

ATTACHMENT A
Application Package

APPLICATION DATE: _____

2600 Hollywood Blvd
 Room 315
 Hollywood, FL 33022
 Tel: (954) 921-3471
 Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

[CLICK HERE FOR FORMS, CHECKLISTS & MEETING DATES](#)

APPLICATION TYPE (CHECK ALL THAT APPLIES):

- Technical Advisory Committee Art in Public Places Committee Variance
 Planning and Development Board Historic Preservation Board Special Exception
 City Commission Administrative Approval

PROPERTY INFORMATION

Location Address: 1036 JEFFERSON STREET, HOLLYWOOD FL 33019
 Lot(s): 24 Block(s): 55 Subdivision: _____
 Folio Number(s): 5142 14 02 1130

Zoning Classification: RS-6 Land Use Classification: LOW MED.RESIDENTIAL
 Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: 6941 S.F./1

Is the request the result of a violation notice? Yes No **If yes, attach a copy of violation.**
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

DEVELOPMENT PROPOSAL

Explanation of Request: New Construction - Residential One Story Single Family

Phased Project: Yes No Number of Phases:

Project	Proposal
Units/rooms (# of units)	# UNITS: <input type="text" value="1"/> #Rooms <input type="text" value="4"/>
Proposed Non-Residential Uses	<input type="text" value="0"/> S.F.)
Open Space (% and SQ.FT.)	Required %: <input type="text" value="49"/> (Area: <input type="text" value="7495"/> S.F.)
Parking (# of spaces)	PARK. SPACES: (# <input type="text" value="5"/>)
Height (# of stories)	(# STORIES) <input type="text" value="2"/> (<input type="text" value="24"/> FT.)
Gross Floor Area (SQ. FT)	Gross Area (<input type="text" value="6941"/> FT.)

Name of Current Property Owner: Lara Hernandez
 Address of Property Owner: 1036 JEFFERSON STREET, HOLLYWOOD FL 33019
 Telephone: 718 619 2927 Email Address: lcmpeirehollywood@gmail.com

Applicant Kaller Architects Consultant Representative Tenant
 Address: 2417 Hollywood Boulevard, Hollywood, FL 33020 Telephone: 954-920-5746
 Email Address: laurie@kallerarchitects.com
 Email Address #2: jsaavedra@kallerarchitects.com

Date of Purchase: 7/10/2025 Is there an option to purchase the Property? Yes No
 If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : Cutro & Associates
 E-mail Address: cutroplanning@yahoo.com

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Lara Hernandez* Date: 04/07/2026
PRINT NAME: LARA MICHELE HERNANDEZ Date: 04/07/2026

Signature of Consultant/Representative: *Jonathan N. Chades* Date: 04/07/2026
PRINT NAME: JONATHAN N. CHADES, RA Date: 04/07/2026

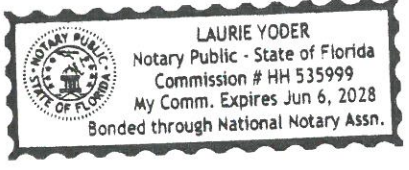
Signature of Tenant: N/A Date: N/A
PRINT NAME: N/A Date: N/A

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Historic Preservation Board to my property, which is hereby made by me or I am hereby authorizing Kaller Architects to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 4 day of April, 2026

Laurie Yoder
 Notary Public
 State of Florida



Lara Hernandez
 Signature of Current Owner
Lara Hernandez
 Print Name

My Commission Expires: _____ (Check One) Personally known to me; OR Produced Identification _____

Certificate of Appropriateness for Design Criteria:

1. INTEGRITY OF LOCATION

The subject property is located within the Hollywood Lakes Historic District, south of Hollywood Boulevard. The proposed new two-story single-family residence complies with all applicable zoning regulations and Historic Preservation Board (HPB) requirements. The project has been designed to respect the established scale, setbacks, and character of the surrounding neighborhood while maintaining consistency with existing development patterns.

2. DESIGN

- **Building Height** – The proposed residence is a two-story structure with a flat roof and parapet, remaining below the maximum allowable height. The building mass has been carefully articulated into smaller components to reduce visual impact and maintain compatibility with adjacent one- and two-story residences.
- **Window Openings** – Window and door openings are vertically proportioned and recessed to provide depth and shadow, reducing perceived scale. Openings are placed to balance natural light, privacy, and compatibility with neighboring properties.
- **Roof** – A flat roof system with parapet walls is proposed. This configuration allows building systems to be screened from public view and maintains a clean, understated profile consistent with the character of the district.

3. SETTINGS

The surrounding context consists primarily of one- and two-story single-family residences. The proposed structure follows a footprint and orientation similar to the existing residence, preserving established front yard, side yard, and rear yard relationships. Outdoor living areas are located primarily toward the rear of the property to limit visibility from the public right-of-way and minimize impacts to adjacent properties.

4. MATERIAL

The proposed building incorporates concrete foundations, CMU walls, and wood-framed floor and roof systems (truss system). Exterior finishes include smooth stucco, natural stone cladding, aluminum wood-like accents, and impact-rated windows and doors. The selected materials are neutral in tone and compatible with both the historic character and architectural fabric of the neighborhood.

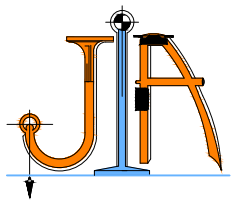
5. WORKMANSHIP

The proposed construction methods and materials reflect a level of quality consistent with surrounding single-family residences in the Hollywood Lakes Historic District. The new residence replaces an existing structure that is no longer viable, ensuring that the property will contribute positively to the overall quality and appearance of the neighborhood.

6. ASSOCIATION

The design addresses site conditions, scale, and historic preservation guidelines through articulated massing, recessed openings, and covered outdoor spaces; and is compatible with the surrounding historic context and reinforces the established residential character of the Hollywood Lakes neighborhood.

Sincerely,



JOHN IBARRA & ASSOC., INC. Professional Land Surveyors & Mappers

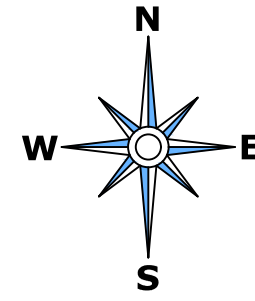
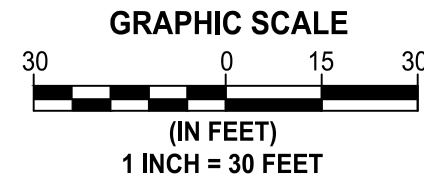
777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400

3725 DEL PRADO BLVD. S.
SUITE 823
CAPE CORAL, FL 33904
PH: (239) 540-2660

LEGEND

- CENTERLINE
- MONUMENT LINE
- OVERHEAD UTILITY LINES
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- BUILDING SETBACK LINE
- LIMITED ACCESS RW
- NON-VEHICULAR ACCESS RW
- EXISTING ELEVATION

ALTA/NSPS LAND TITLE SURVEY



SURVEYOR'S CERTIFICATE:

1. THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE;

1B. THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEYS MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS;" OR

1C. PROPER FIELD PROCEDURES, INSTRUMENTATION AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS;"

2. ADDRESS(ES) OF THE SURVEYED PROPERTY : 1036 JEFFERSON STREET HOLLYWOOD, FLORIDA 33019 THE PROPERTY HAS DIRECT PEDESTRIAN ACCESS AND VEHICULAR ACCESS TO AND FROM PUBLICLY USED AND MAINTAINED STREETS OR HIGHWAYS KNOWN AS ACCESS TO AND FROM PUBLICLY USED AND MAINTAINED STREETS OR HIGHWAYS KNOWN AS JEFFERSON STREET.

3. THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY NO. 125113 PANEL NO.0569, SUFFIX "J", AND HAVING A BASE FLOOD OF 7 FEET, BEARING AN EFFECTIVE DATE OF 07/31/2024.

4. THE LAND AREA OF THE SUBJECT PROPERTY IS IN TOTAL ± 15,337 SQUARE FEET OR ± 0.35 ACRES AS DESCRIBED IN THE LEGAL DESCRIPTION.

5. ELEVATIONS ARE REFERRED TO COUNTY BROWARD BENCHMARK BM 1915, ELEVATION 3.268 FEET OF N.G.V.D. OF 1929, CONVERTED TO NAVD (88) USING CORPSSON, BY SUBTRACTING 1.60 FEET FROM 3.268 FEET NGVD (29) CONVERSION FORMULA = (3.268'-1.60'=1.668') RESULTS = 1.668 FEET NAVD 1988.

6. THE LOCATION OF THE SUBJECT PROPERTY IS IN ZONE RS-6, SINGLE FAMILY RESIDENCE. SETBACKS ARE AS PER CITY OF HOLLYWOOD:

ZONED SETBACKS MUST BE CHECKED WITH THE CITY OF HOLLYWOOD BUILDING DEPARTMENT PRIOR TO ANY CONSTRUCTION OR DESIGN WORK.

(RS-6)
FRONT = 25 FEET
SIDE/INTERIOR= THE SUM OF THE SIDE YARD SETBACKS SHALL BE AT LEAST 25% OF THE LOT WIDTH, BUT NOT TO EXCEED 50 FT. WITH NO SIDE YARD LESS THAN 7.5 FT.; EXCEPT, PLATTED AND RECORDED LOTS OF 50 FT. OR LESS IN WIDTH MAY HAVE A 5 FT. SETBACK (ONLY APPLIES TO ONE STORY ADDITIONS AND NEW CONSTRUCTION OF ONE STORY BUILDINGS). ANY CONSTRUCTION IN EXCESS OF ONE STORY MUST MEET THE 25% RULE WITH A MINIMUM 7.5 FT. SETBACK.

SIDE/STREET= 15 FEET
REAR= 15% OF THE LOT DEPTH; 15 FT. MIN. 50 FT. MAX.; EXCEPT LOTS IN THE LAKES AREA - FOR LOTS WITH A LOT LINE ADJACENT TO A LAKE, SETBACK IS 25 FT.

7. DETACHED AND ATTACHED PARKING GARAGE; MINIMUM SIZE
A. ONE CAR SPACE GARAGE: 10.5 FT WIDE BY 19 FT. LONG
B. TWO CAR SPACE GARAGE 21.0 FT. WIDE BY 19 FT. LONG

8. THE TOTAL BUILDING AREA (BASED UPON EXTERIOR FOOTPRINT OF BUILDING ON GROUND SURFACE, NOT INTERIOR USABLE FLOOR SPACE) IS 2,268 SQUARE FEET.
FLOOR ELEVATION OF EXISTING BUILDING IS 5.39 FEET.
GARAGE ELEVATION = 3.87 FEET
THE HIGHEST PART OF ROOF HAS AN ELEVATION IS 20.30 FEET N.A.V.D. 1988.

9. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND FEATURES REQUIRED PURSUANT TO SECTION 5 ABOVE) (E.G., PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE), SHOWN ON THE SURVEY.

10. THERE ARE 0 REGULAR PARKING SPACES AND 0 MARKED HANDICAPPED PARKING SPACES ON THE SUBJECT PROPERTY.

11. NO PARTY OR COMMON WALLS WERE OBSERVED ALONG THE PROPERTY LINES.

11. THE SUBJECT PROPERTY DOES NOT SERVE ADJOINING PROPERTY FOR VISIBLE SUBSURFACE DRAINAGE STRUCTURES, VISIBLE WATER COURSES, UTILITIES, STRUCTURAL SUPPORT OR INGRESS & EGRESS. MUNICIPAL WATER, MUNICIPAL STORM SEWER AND MUNICIPAL SANITARY FACILITIES, TELEPHONE, AND ELECTRIC SERVICES OF PUBLIC UTILITIES ARE AVAILABLE AT THE BOUNDARY OF THE PROPERTY IN THE LOCATIONS AS SHOWN ON THE SURVEY.

12. AS SPECIFIED BY THE CLIENT, GOVERNMENTAL AGENCY SURVEY-RELATED REQUIREMENTS (E.G., HUD SURVEYS, SURVEYS FOR LEASES ON BUREAU OF LAND MANAGEMENT MANAGED LANDS), THE RELEVANT SURVEY REQUIREMENTS ARE TO BE PROVIDED BY THE CLIENT OR CLIENT'S DESIGNATED REPRESENTATIVE. NOT APPLICABLE.

13. NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. SHOWN ON THE SURVEY.

14. AS SPECIFIED BY THE CLIENT, DISTANCE TO THE NEAREST INTERSECTING STREET. SHOWN ON THE SURVEY.

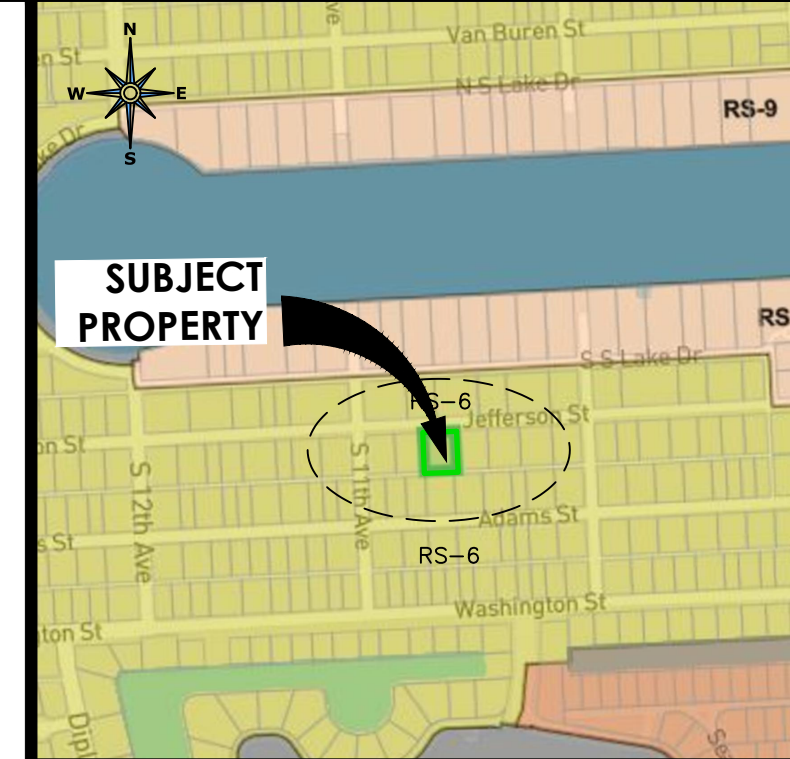
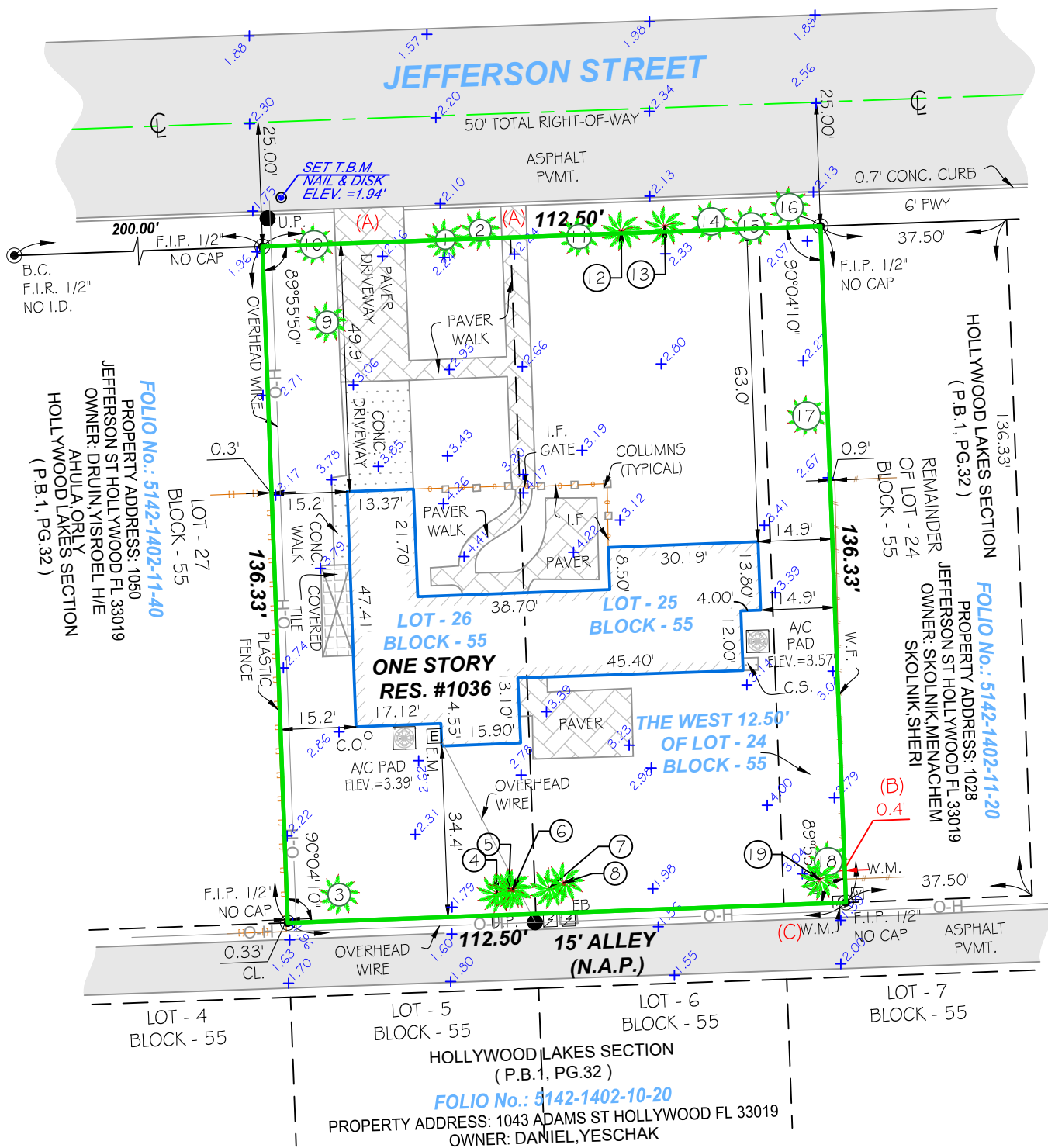
15. RECTIFIED ORTHOPHOTOGRAPHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE/MOBILE LASER SCANNING AND OTHER SIMILAR PRODUCTS, TOOLS OR TECHNOLOGIES AS THE BASIS FOR SHOWING THE LOCATION OF CERTAIN FEATURES (EXCLUDING BOUNDARIES) WHERE GROUND MEASUREMENTS ARE NOT OTHERWISE NECESSARY TO LOCATE THOSE FEATURES TO AN APPROPRIATE AND ACCEPTABLE ACCURACY RELATIVE TO A NEARBY BOUNDARY. NOT APPLICABLE.

16. THERE IS NO VISIBLE OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

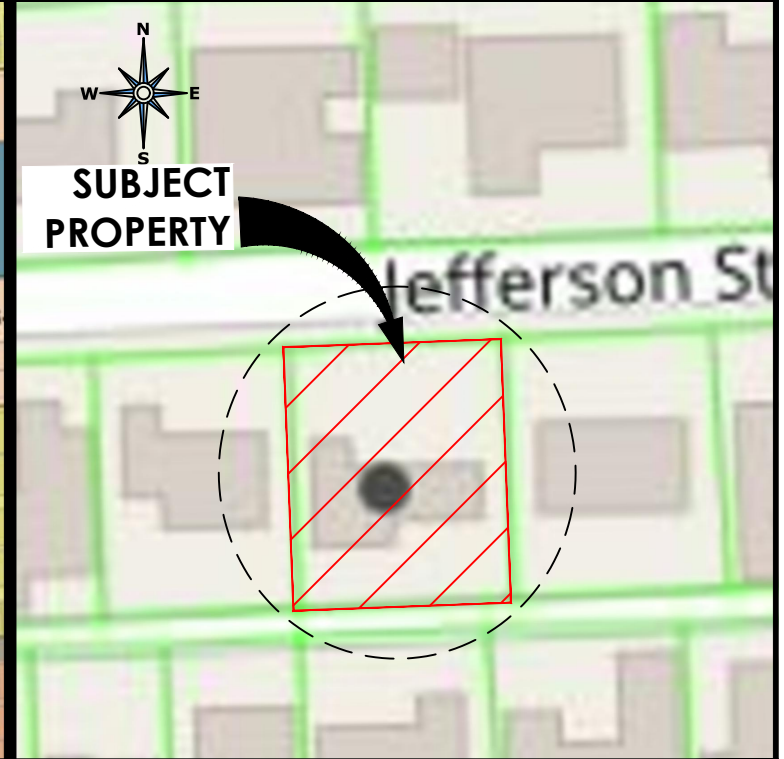
17. THERE IS NO VISIBLE OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

ENCROACHMENT NOTES:

- A. NORTH SIDE OF THE SUBJECT PROPERTY, PAVER DRIVEWAY AND PAVER WALK ARE ENCROACHING INTO THE RIGHT OF WAY OF JEFFERSON STREET.
- B. EAST SIDE OF THE SUBJECT PROPERTY, NEIGHBOR'S WOOD FENCE IS ENCROACHING INTO THE SUBJECT PROPERTY.
- C. SOUTH SIDE OF SUBJECT PROPERTY WATER METER LIES ON SUBJECT PROPERTY.



ZONING SKETCH
SCALE = N.T.S.



LOCATION MAP
SCALE = 1" = 300'

TITLE COMMITMENT NOTES:

THAT I HAVE REVIEWED THE COMMITMENT AND ALL ITEMS ARE SHOWN ON THE SURVEY. THE ITEMS SHOWN HERE FORTH ARE PER SCHEDULE B-II OF AMERICAN LAND TITLE ASSOCIATION ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; COMMITMENT NUMBER 1650139, ISSUING AGENT: 2742801, DATED JUNE 6, 2025, AT 11:00 P.M.;

ITEM NO. 5. ALL MATTERS CONTAINED ON THE PLAT OF HOLLYWOOD LAKES SECTION, AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES AFFECTS THE PROPERTY. LOT LINES, RIGHT OF WAY, ETC. AS SHOWN ON THE SURVEY.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE WEST 12.50 FEET OF LOT 24 AND ALL OF LOTS 25 AND 26, BLOCK 55, HOLLYWOOD LAKES SECTION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTE:
A CERTIFIED ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITIONS AND SPECIES. TREES WERE IDENTIFIED TO THE BEST OF OUR ABILITIES.

TREE TABLE				
No.	Name	Diameter (feet)	Height (feet)	Spread (feet)
1	PALM	0.70	12	0
2	PALM	1.00	21	14
3	PALM	0.60	26	7
4	PALM	0.65	20	8
5	PALM	0.60	20	10
6	PALM	0.70	20	5
7	ROYAL PALM	1.20	33	17
8	ROYAL PALM	1.20	33	15
9	PALM	1.00	17	15
10	PALM	1.20	25	15
11	PALM GROUP	0.70	20	8
12	PALM	1.00	25	15
13	PALM GROUP	0.70	18	8
14	PALM	0.80	17	8
15	PALM	0.65	10	5
16	PALM	1.30	25	15
17	PALM	1.10	20	15
18	PALM	0.70	22	13
19	PALM	0.70	20	10

JOHN IBARRA & ASSOC., INC.
Professional Land Surveyors & Mappers
777 N.W. 72nd AVENUE, SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400

Project Address: 1036 JEFFERSON STREET
HOLLYWOOD, FLORIDA 33019

Project Location: BROWARD COUNTY
SECTION 14, TOWNSHIP 51 SOUTH, RANGE 42 EAST

Folio Number:
5142-14-02-1130

Drawn By: LK

Job Number:
25-000890-2

LB 7806 SEAL

1036 JEFFERSON STREET
HOLLYWOOD, FLORIDA 33019
BASED UPON TITLE COMMITMENT ISSUING AGENT: 2742801
COMMITMENT NUMBER : 1650139,
OF AMERICAN LAND TITLE ASSOCIATION
ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF JUNE 6, 2025, AT 11:00 P.M.;

SURVEYOR'S CERTIFICATION
TO: CARLOS HERNANDEZ, III AND LARA MICHELE HERNANDEZ, HUSBAND AND WIFE; ANGEL FRANCISCO CONDOM, P.A.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; LOANDEPOT.COM, LLC, ITS SUCCESSOR AND/OR ASSIGNS, AS THEIR RESPECTIVE INTERESTS MAY APPEAR:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B-1), 8, 9, 13, 16, 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 27, 2025:

08/27/2025
JOHN IBARRA (DATE OF SURVEY)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA
(NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED SURVEY:

I HEREBY CERTIFY: THIS "ALTA/NSPS SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.



SUBJECT PROPERTY



1-1050 Jefferson St



2-1050 Jefferson St



3-1035 Jefferson St



4-1024 Jefferson St



5-1050 Jefferson St



6-1014 Jefferson St



7-1022 Jefferson St



8-1028 Jefferson St

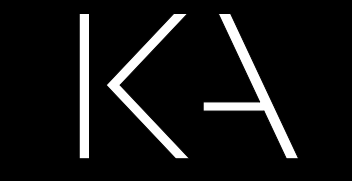
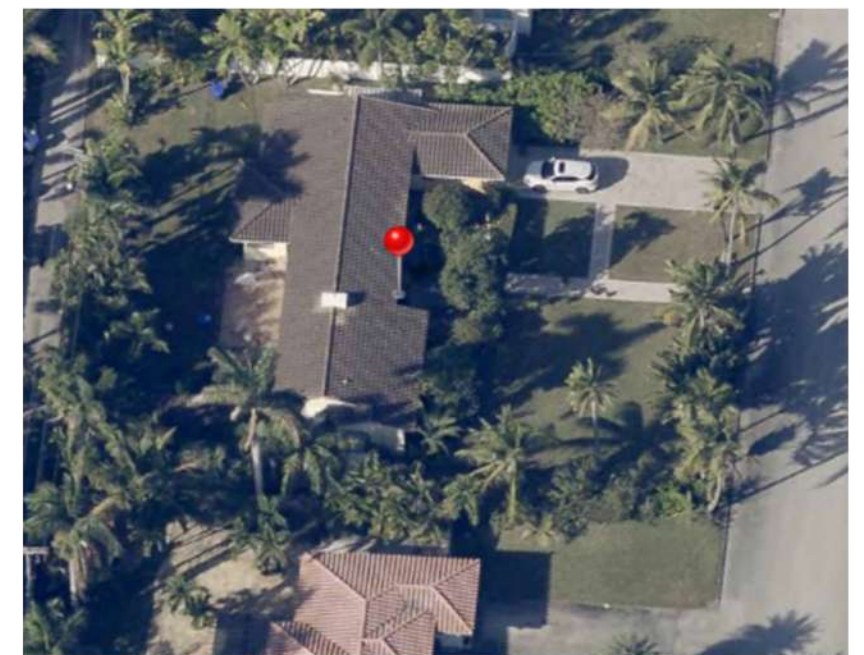
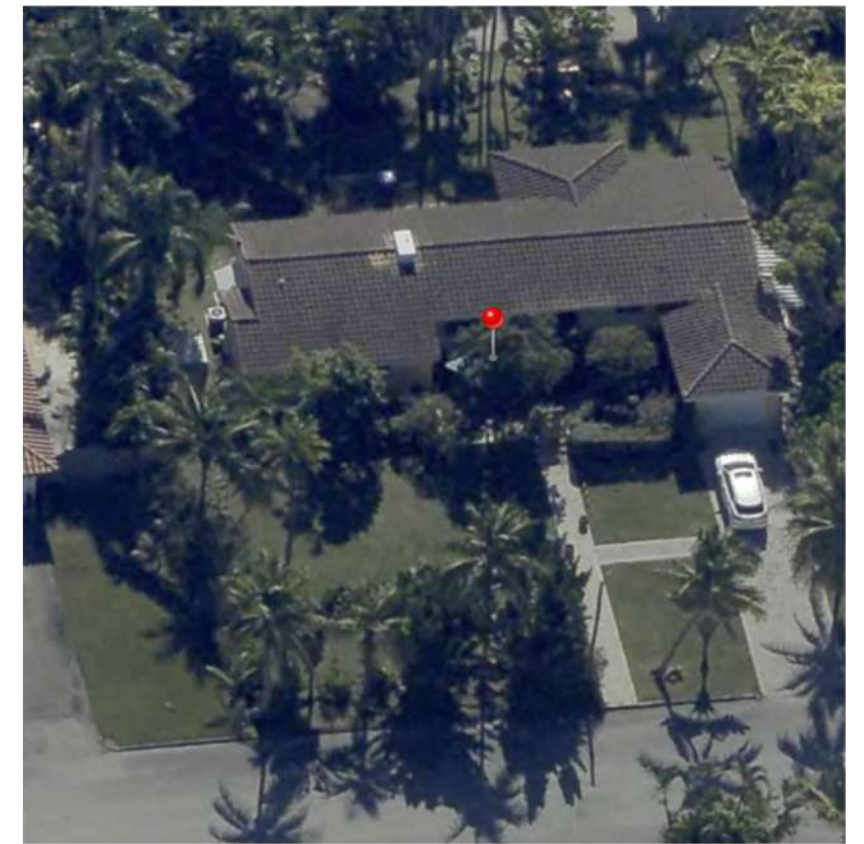


9-1041 Jefferson St



10-1058 Jefferson St

SUBJECT PROPERTY

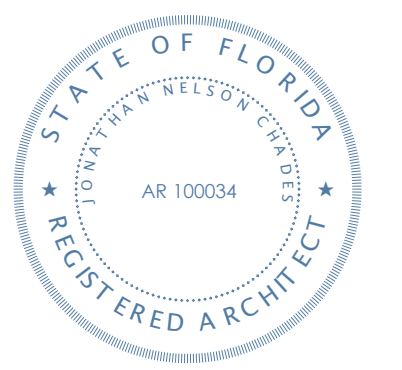


Kaller Architecture

AA#26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
info@kallerarchitects.com

www.kallerarchitects.com

SEAL



JONATHAN NELSON CHADES
FLORIDA R.A. #100034

CONSTRUCTION DOCUMENTS
HERNANDEZ RESIDENCE

1036 JEFFERSON STREET

HISTORIC
PRESERVATION BOARD

REVISIONS

No.	Description	Date

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, submitted or used in any way without the permission of the Architect.

PROJECT No.: 25138
DATE: 01/12/2026
DRAWN BY: GMV
CHECKED BY: JNC

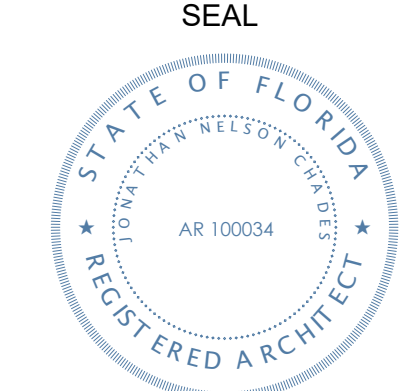
SHEET

A-001



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 AA#2601212
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 954.920.5746
 info@kallerarchitects.com

www.kallerarchitects.com



JONATHAN NELSON CHADES
 FLORIDA R.A. #100034

CONSTRUCTION DOCUMENTS
HERNANDEZ RESIDENCE
 1036 JEFFERSON STREET

SHEET TITLE
SITE DEMOLITION

REVISIONS

No.	Description	Date
1	CITY COMMENTS - REV 1	04-28-2026

This drawing is an instrument of service. It and its contents shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 25138
 DATE: 01/12/2026
 DRAWN BY: GMV
 CHECKED BY: JNC

SHEET

A-003

DEMOLITION NOTES

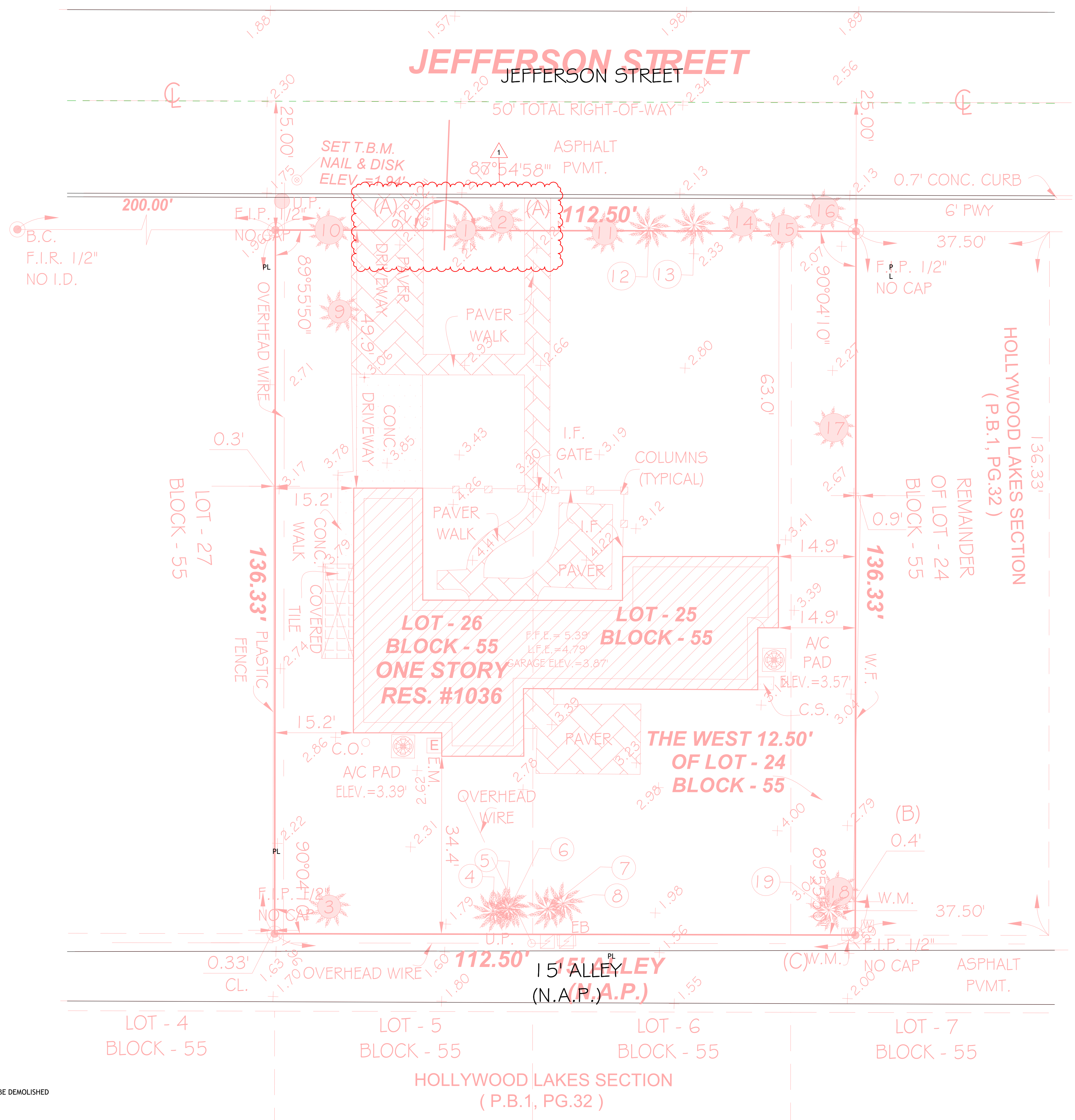
1. AT ALL TIMES DURING DEMOLITION WORK, CONTRACTOR SHALL SECURE PUBLIC SAFETY, HEALTH AND GENERAL WELFARE THROUGH STRUCTURAL STRENGTH IN TEMPORARY SUPPORTS, STABILITY, SANITATION AND SAFETY TO LIFE AND PROPERTY DURING THE REMOVAL OF STRUCTURES, ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE FLORIDA BUILDING CODE PARTICULARLY CHAPTER 33 WITH REGARD TO DEMOLITION & SITE WORK.
3. THE EXTENT OF THE DEMOLITION WORK IS TO SHOW ON THE DEMOLITION DRAWING AND REFERRED TO IN ALL DRAWINGS. DEMOLITION INCLUDES THE COMPLETE REMOVAL OF PORTIONS OF THE BUILDING AS INDICATED, AND ALL MISCELLANEOUS DAMAGED PORTIONS OF THE BUILDING AS REQUIRED TO MEET SPECIFICATIONS AND DRAWINGS REQUIREMENTS. EXISTING PLUMBING AND ELECTRICAL LINES TO BE REMOVED OR CONCEALED BY EXISTING STRUCTURE AND NEW WORK SHALL BE FULLY DE-ACTIVATED.
4. REMOVE ALL DEMOLITION MATERIALS AND DEBRIS FROM THE CONSTRUCTION SITE.
5. ALL EXISTING EXPOSED SURFACES THAT ARE TO REMAIN IN PLACE THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS REQUIRED TO MATCH EXISTING UNDAUNAGED SURFACES.
6. ARRANGE WITH UTILITY COMPANIES FOR THE DISCONNECTION OF SERVICES AND REMOVAL FITTINGS AND EQUIPMENT BEFORE STARTING DEMOLITION WORK

1. PROTECT PARTS OF THE EXISTING WORK SCHEDULED TO REMAIN. CUT AWAY CAREFULLY THE PARTS TO BE DEMOLISHED TO REDUCE THE AMOUNT OF NECESSARY REPAIRS.
2. SECURE OWNER'S EXISTING PROPERTY TO BE SALVAGED. COORDINATE THOSE ITEMS WITH THE OWNER.
3. SHORE, BRACE AND SECURE STRUCTURAL ITEMS TO REMAIN BEFORE DEMOLITION.
4. REMOVE ANY AND ALL NECESSARY EXISTING CONCRETE SLABS TO ACCOMMODATE NEW PLUMBING LINES, COLUMNS, FOUNDATIONS & OTHER STRUCTURAL ITEMS IN COORDINATION WITH THESE DRAWINGS.

STANDARDS FOR DEMOLITION (SECTION 3406 OF FBC)

1. DEMOLITION WORK HAVING COMMENCED SHALL BE PURSUED DILIGENTLY AND WITHOUT INTERRUPTION WITH DUE REGARD TO SAFETY. IT IS THE INTENT OF THIS SECTION TO LIMIT THE EXISTENCE OF ANY UNSAFE CONDITION OR NUISANCE ON THE PREMISES DURING THE PERIOD OF DEMOLITION OPERATIONS.
2. ANY SURFACE HOLES OR IRREGULARITIES, WELLS, SEPTIC TANK, BASEMENTS, CELLAR, SIDEWALK VAULTS OR COAL CHUTES REMAINING AFTER DEMOLITION OF ANY BUILDING OR STRUCTURE SHALL BE FILLED WITH MATERIAL AS APPROVED BY THE BUILDING OFFICIAL, AND SHALL BE GRADED IN A MANNER THAT WILL PROVIDE EFFECTIVE SURFACE DRAINAGE.
3. ALL DEBRIS AND ACCUMULATION OF MATERIAL RESULTING FROM DEMOLITION OF ANY BUILDING OR STRUCTURE SHALL BE REMOVED FROM THE PREMISES.
4. ALL BUILDING SEWERS SHALL BE EFFECTIVELY PLUGGED WITH CONCRETE AT THE PROPERTY LINE, OR AS MAY BE REQUIRED BY THE BUILDING OFFICIAL.
5. IN ORDER TO CONTROL DUST DURING A DEMOLITION PROJECT, THE PERMIT HOLDER SHALL TAKE THE NECESSARY SAFEGUARDS TO ENSURE THAT WATER SUPPLY IS AVAILABLE AND APPROPRIATE ACTIONS ARE TAKEN TO RETAIN DUST AT THE IMMEDIATE VICINITY OF THE DEMOLITION PROJECT AND TO ENSURE THAT NO DUST IS TRANSMITTED TO NEIGHBORING PROPERTIES OR STREETS.

1. THE EXTENT OF THE DEMOLITION MAY BE ADJUSTED PENDING FIELD CONDITIONS OF THE STRUCTURE.
2. ALL EXT G INTERIOR GYP. BD., AND STUCCO TO BE REMOVED.

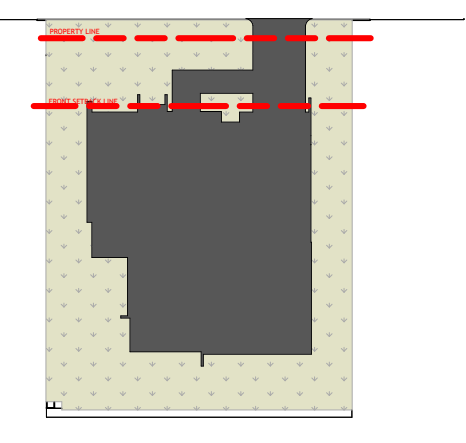


TO BE DEMOLISHED

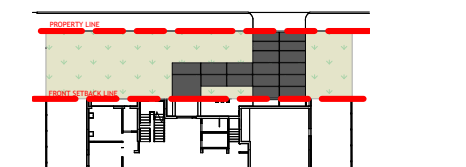
1 SITE DEMOLITION PLAN
 3/32" = 1'-0"

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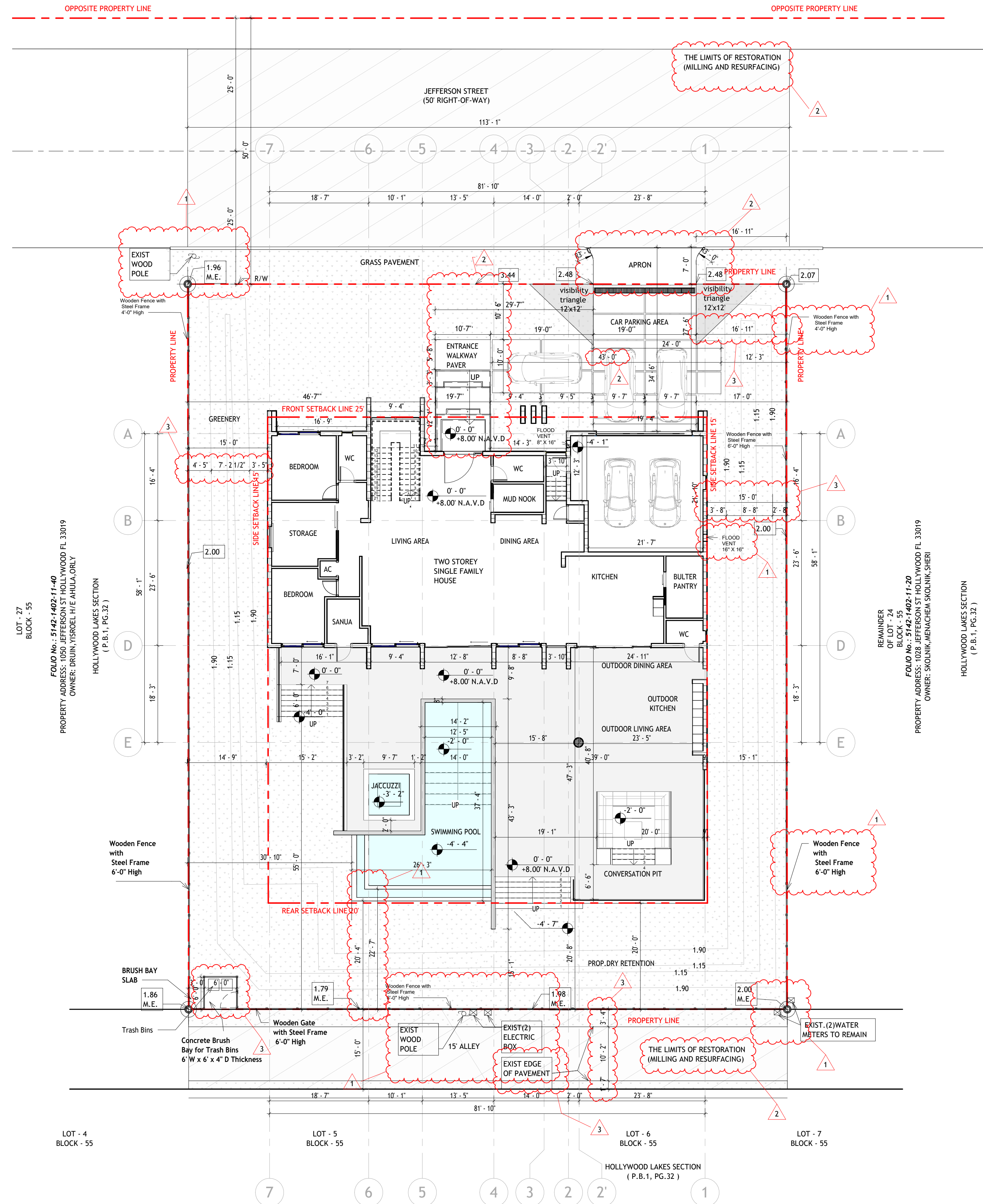
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TOTAL AREA: 15,474 SF
 LANDSCAPE AREA (TURF): 7,495 SF (49%)
 NON-LANDSCAPE AREA: 7,979 SF (51%)



FRONT YARD AREA: 2817.13 SF
 LANDSCAPE AREA (TURF): 2,091.10 SF (74%)



LOT - 27
 BLOCK - 55
 HOLLYWOOD LAKES SECTION
 (P.B.1, PG.32)

REMAINDER
 OF LOT - 24
 BLOCK - 55
 HOLLYWOOD LAKES SECTION
 (P.B.1, PG.32)

LOT - 4
 BLOCK - 55

LOT - 5
 BLOCK - 55

LOT - 6
 BLOCK - 55

LOT - 7
 BLOCK - 55

FOLIO No.: 5142-1402-10-20
 PROPERTY ADDRESS: 1043 ADAMS ST HOLLYWOOD FL 33019
 OWNER: DANIEL, YESCHAK

PROPERTY ADDRESS

1036 JEFFERSON ST HOLLYWOOD FL 330191913
FOLIO
 5142-14-02-1130
LEGAL DESCRIPTION
 HOLLYWOOD LAKES SECTION 1-32 B LOT 24 W 12 1/2,25,26 BLK 55

SITE INFORMATION

	EXISTING	PROPOSED
ZONING:	RS-6	RS-6
SUB-DISTRICT:	N/A	N/A
BUILDING USE:	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING
LAND USE DESIGNATION:	RESIDENTIAL	RESIDENTIAL
COUNTY USE DESIGNATION:	RESIDENTIAL	RESIDENTIAL
LOT AREA:	15474 SF	8.0' NAVD
BASE FLOOD ZONE:	AE - 7.0' NAVD	8.0' NAVD

BUILDING INTENSITY

	ALLOWED	PROPOSED
LOT COVERAGE	N/A	N/A
FAR:	N/A	N/A
A/C AREA:	N/A	5293 SF
BUILDING FOOT PRINT	N/A	6941 SF
PROPOSED DWELLING	1	2
NUMBER OF FLOORS	2	2
BUILDING HEIGHT	30'	24'

BUILDING INFORMATION

	EXISTING	PROPOSED
TYPE OF CONSTRUCTION	TBD	TYPE V - B
SPRINKLER (REQUIRED)	TBD	TBD
FIRE ALARM (REQUIRED)	TBD	TBD
OCCUPANCY CLASSIFICATION	R-3	R-3

PARKING CALCULATION:

	REQUIRED	PROVIDED
	5	5

1 SPACE PER 500 SQ. FT ABOVE FIRST 2,000 SQ. FT.; PROVIDED, HOWEVER, AN ADDITION OF 500 SQ. FT. OR LESS WITH NO BEDROOM SHALL NOT REQUIRE ANY ADDITIONAL SPACES. TOTAL REQUIRED SPACES NOT TO EXCEED 5. TANDEM SPACES ALLOWED IF CARPORT OR GARAGE PRESENT

SETBACKS:

	REQUIRED	PROVIDED
(a) FRONTAGE (JEFFERSON) (NORTH)	25' 0"	25'
(b) SIDE INTERIOR (EAST)**	15'	15'
(c) SIDE INTERIOR (WEST)**	15'	15'
(d) REAR* (ALLEY)	20'	20'

*15% LOT DEPTH
 **25% OF LOT WIDTH

LANDSCAPE

	REQUIRED	PROVIDED
IMPERVIOUS AREA BUILDING FOOTPRINT, PARKING SIDEWALKS & DRIVES	N/A	7,979 (51%)
PERVIOUS AREA (GREEN) LANDSCAPE AREAS (SITE)	6,189.6 SF (40%)	7,495 (49%)

	REQUIRED	PROVIDED
GROSS BUILDING A/C AREA		INTERIOR
	FIRST FLOOR (A.C.)	2545 SF
	SECOND FLOOR (A.C.)	2748 SF
	ROOF LEVEL (A.C.)	N/A
	TOTAL (A.C.) AREA	5293 SF

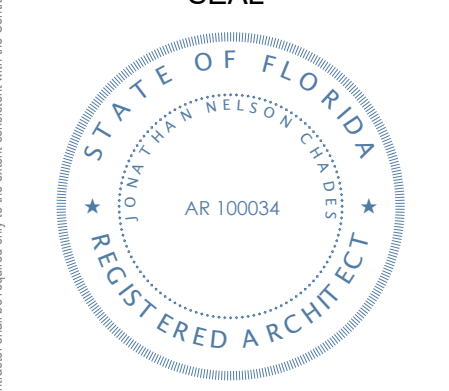
FLOOD VENTS

MODEL	FLOOD COVERAGE	AIR VENTILATION	DIMENTION	ROUGHOPENING
1540-510	200 SQ FT	51 SQ IN	16"W X 8"H X 3"D	16 1/4" X 8 1/4"
1540-511	400 SQ FT	102 SQ IN	16"W X 16"H X 3"D	16 1/4" X 16 1/4"



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CONSTRUCTION DOCUMENTS
HERNANDEZ RESIDENCE
 1036 JEFFERSON STREET

SHEET TITLE
SITE PLAN

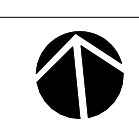
REVISIONS

No.	Description	Date
1	CITY COMMENTS - REV 1	04-28-2026
2	CITY COMMENTS - REV 2	05-11-2026
3	CITY COMMENTS - REV 3	05-14-2026

PROJECT No.: 25138
 DATE: 01/12/2026
 DRAWN BY: GMV
 CHECKED BY: JNC

SHEET

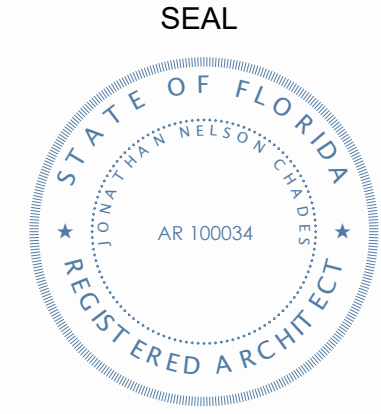
A-100



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CONSTRUCTION DOCUMENTS
HERNANDEZ RESIDENCE
 1036 JEFFERSON STREET

SHEET TITLE
EAST & WEST ELEVATION

REVISIONS

No.	Description	Date
1	CITY COMMENTS - REV 1	04-28-2026

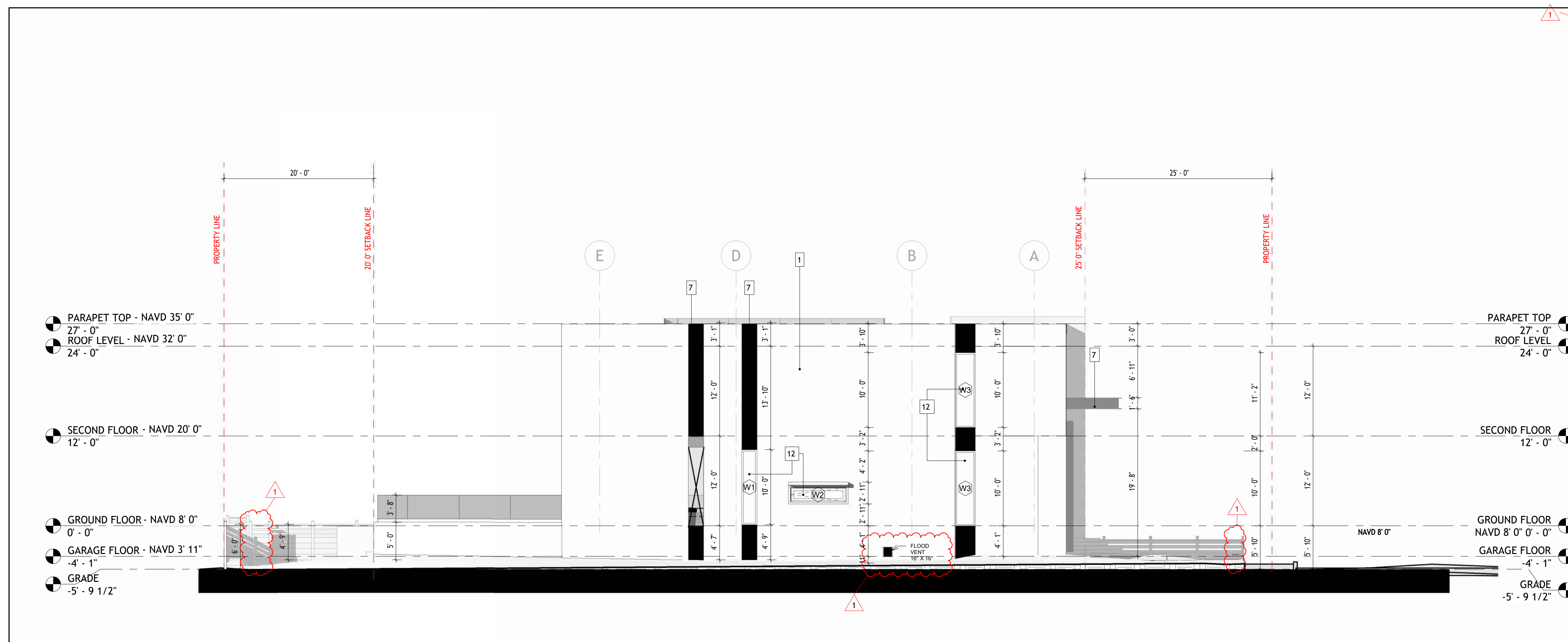
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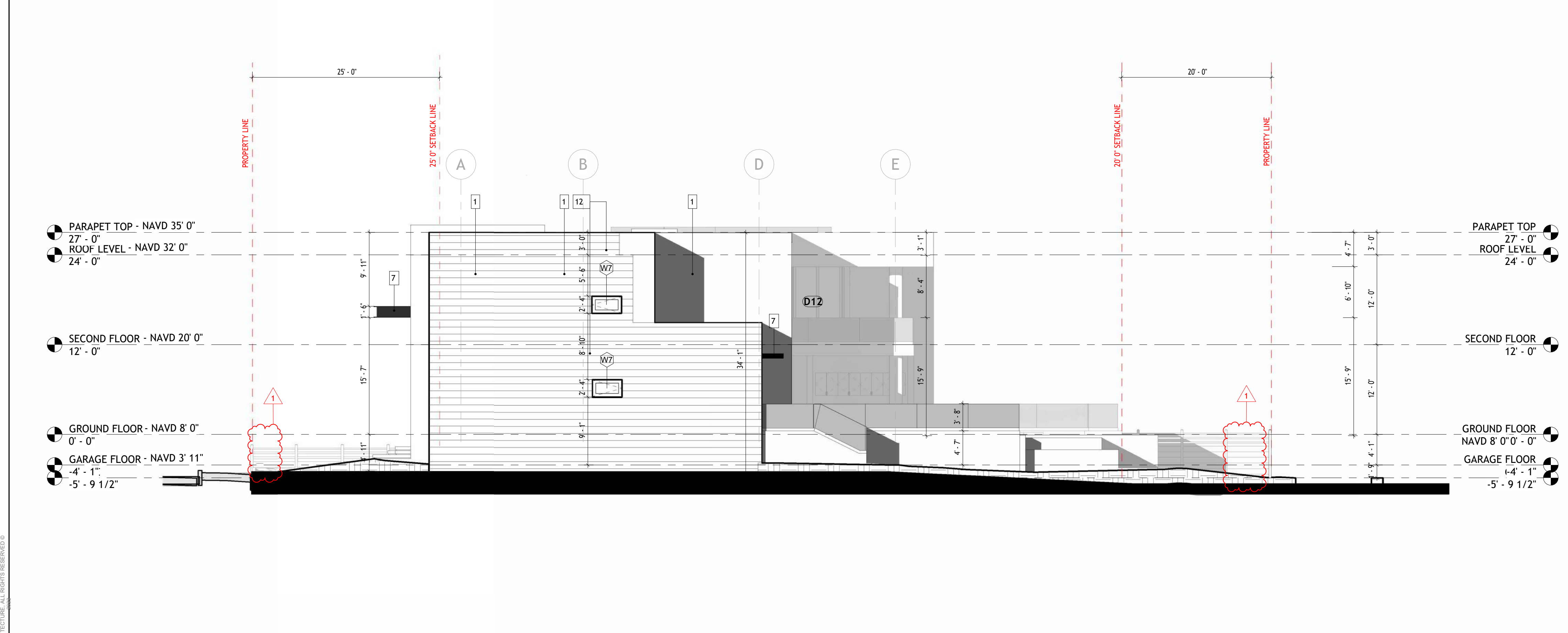
SHEET

A-302

MATERIAL DESCRIPTION	
1	STUCCO SYSTEM OVER CMU - SMOOTH FINISH - PAINTED WHITE/GREIGE OFF
2	STUDIO ARCA TILE- IVORY SANDBLASTED 24 X 48 3/4IN TRAVERTINE TILE BL001647 OR SIMILAR
3	LIGHT BROWN COMPOSITE WIDE SLAT EXTERIOR CLADDING
4	STUCCO SYSTEM OVER CMU - SMOOTH FINISH - PAINTED WHITE
5	SD-01 - GLASS SLIDING DOOR SYSTEM - BLACK ALUMINUM FRAME
6	CONTEMPORARY BLACK ALUMINUM & BLACK LAMINATE (PRIVACY) GLASS GARAGE DOOR
7	STUCCO SYSTEM OVER CMU - SMOOTH FINISH - PAINTED BLACK
8	ENTRANCE STEPS IN CONCRETE-LOOK TILE
9	DRIVEWAY IN CONCRETE PAVERS
10	MOSAIC TILES
11	CLEAR GLASS OR SIMILAR
12	W-01 GLASS WINDOW SYSTEM - BLACK ALUMINUM FRAME



1 EAST ELEVATION
 1/8" = 1'-0"



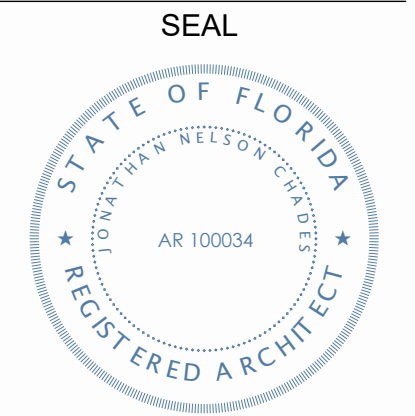
2 WEST ELEVATION
 1/8" = 1'-0"

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CONSTRUCTION DOCUMENTS
HERNANDEZ RESIDENCE
 1036 JEFFERSON STREET

SHEET TITLE
SECTIONS

REVISIONS

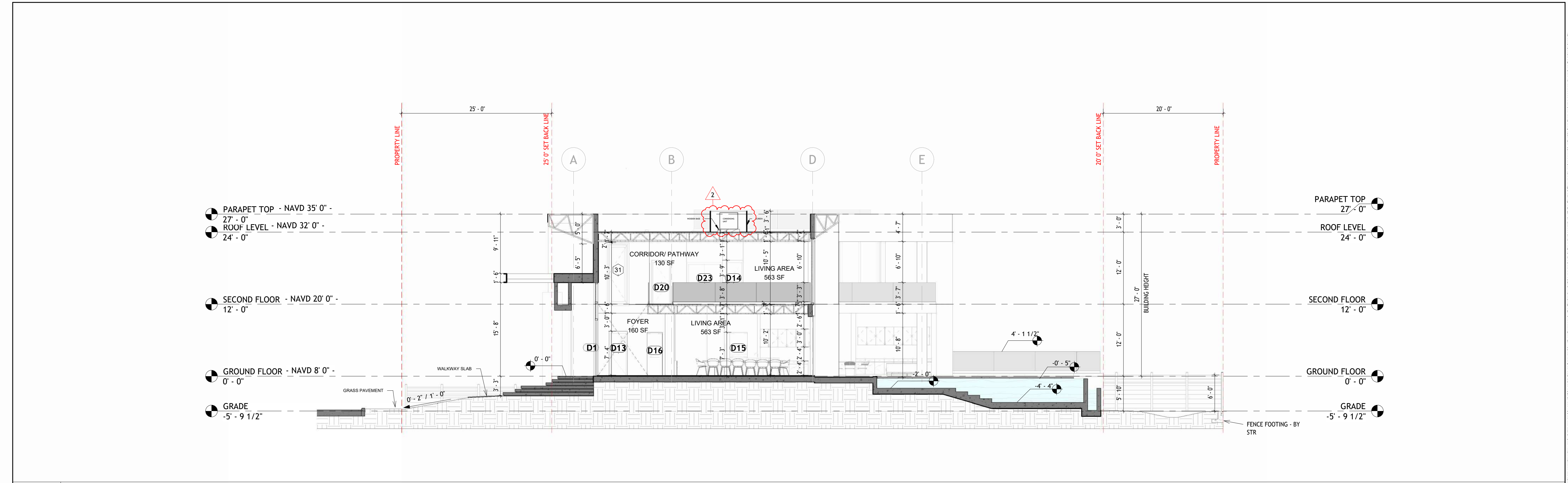
No.	Description	Date
2	CITY COMMENTS - REV 2	05-11-2026

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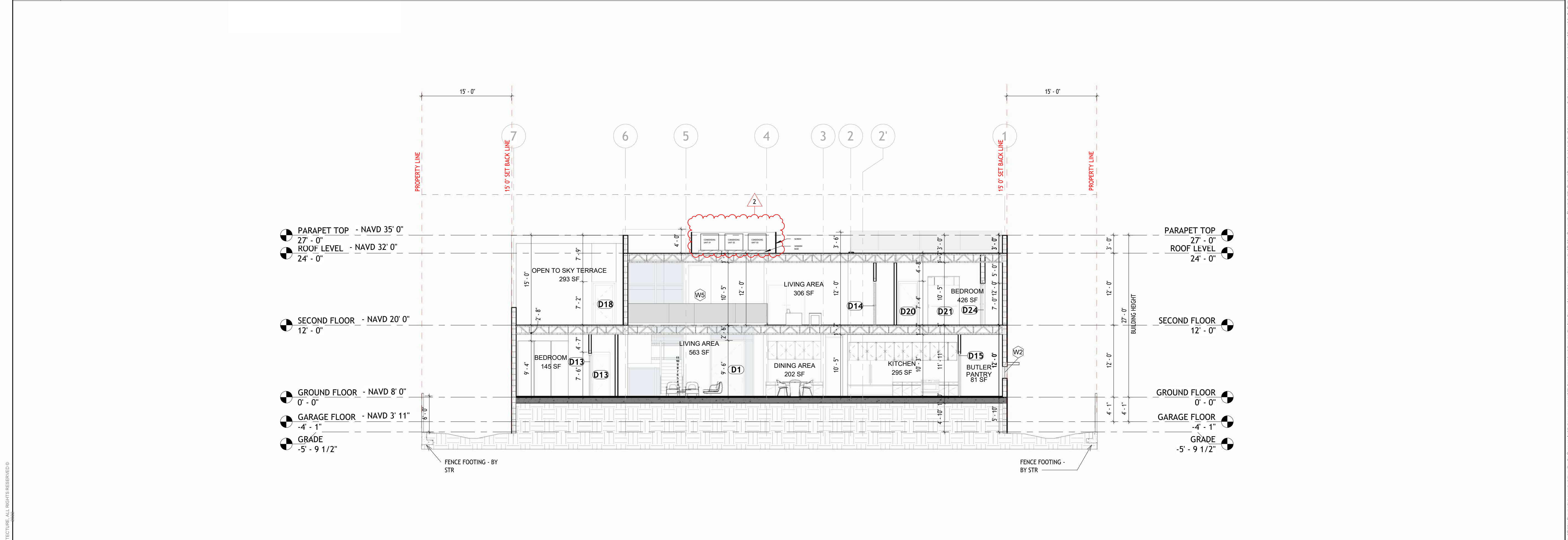
PROJECT No.: 25138
 DATE: 01/12/2026
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SHEET

A-400



1 SECTION 1
 1/8" = 1'-0"



2 SECTION 2
 1/8" = 1'-0"

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GENERAL NOTES:

- 1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE CONSTRUCTION. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/STORAGE AREA. CONTRACTOR SHALL SECURE STAGING STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL Haul AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVERNIGHT.
14. CONTRACTOR SHALL CLEAN/ SWEEP AT LEAST ONCE A DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES, THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES, OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITIONS.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM ECSD FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION, ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/ REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR OPERATIONS AND/ OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PART OF EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS, OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/ VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770.



- 41. ALL CONNECTIONS TO EXISTING MAINS SHALL BE RESPONSIBILITY OF THE CONTRACTOR, WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
42. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID
A. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND, AND HORIZONTAL PIPE DEFLECTION WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
B. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION
C. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
D. PROFILE WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISH GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN, THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND, AND VERTICAL PIPE DEFLECTION.
E. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
F. ALL CAD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD " SURVEY/ AS-BUILT CAD DRAWING STANDARDS"

WATER SYSTEM NOTES

- 1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HAND WHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

- 11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURER'S RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

SEWER NOTES

- 1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMPING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMPING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC). THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:
L = S x D x P / 148,000
WHERE:
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR
D = PIPE DIAMETER IN INCHES
S = LENGTH OF LINES IN LINEAL FEET
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.
9. ALL CATCH BASINS WILL BE COVERED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ALL CATCH BASINS WILL BE CLEANED AND BE FREE OF DEBRIS.
10. ANY DAMAGE TO THE RIGHT OF WAY MUST BE REPAIRED BY THE CONTRACTOR.
11. APPROACH MUST HAVE 5FT RADIUS.

LOCATED IN: E:\Vop_My_Company\Projects\2025\2548-Jefferson Street, Hollywood, FL - GENERAL NOTES - 1036_JEFFERSON_ST.dwg & PRINTED ON: Monday, April 13, 2026, 4:46:58 PM



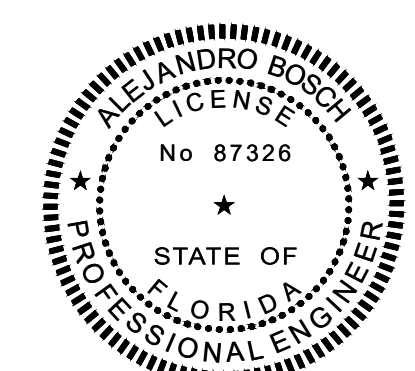
PROJECT NAME
1036 JEFFERSON STREET,
HOLLYWOOD, FL 33019

SHEET TITLE
GENERAL NOTES
AND SPECIFICATIONS

B.E.S PROJ. No.:
DATE: JANUARY, 2026
DRAWN BY:
DESIGNED BY:
CHECKED BY:

Table with 2 columns: date, description no.

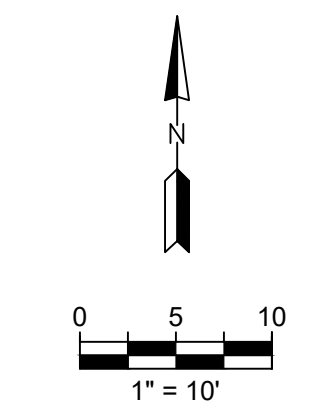
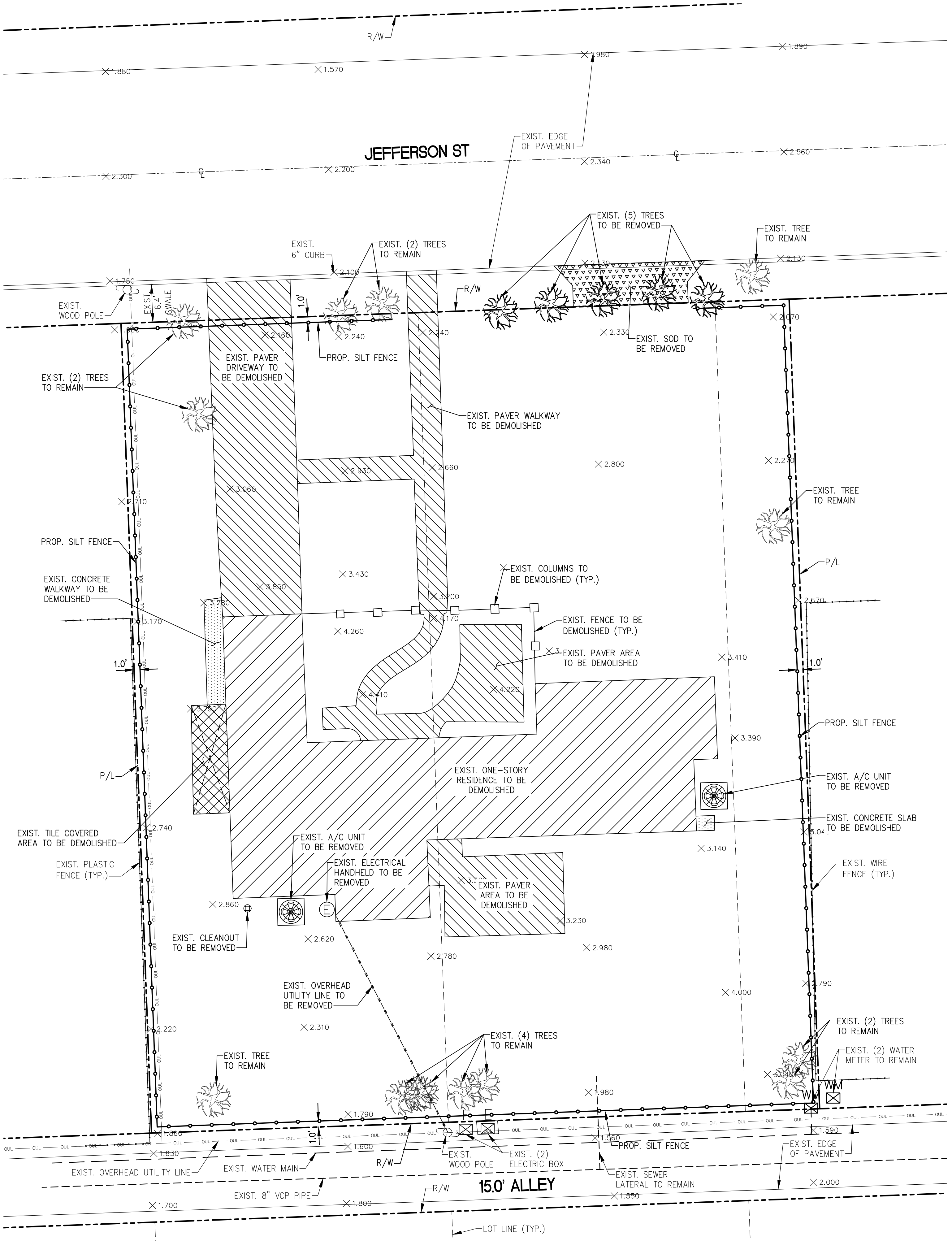
SHEET
C-1



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5/14/2026

LOCATED IN: E:\Vee_My_Company\Projects\2025\2548--Jefferson Street, Hollyw, FL (Hernandez, Residence)\CAD\01-1 -- DEMOLITION PLAN -- 1036 JEFFERSON ST.dwg & PRINTED ON: Monday, April 13, 2026, 4:53:15 PM



- NOTES:**
- PHYSICAL SEPARATION BETWEEN THE BUILDING AND THE WATER AND SEWER SERVICE LINES IS REQUIRED PRIOR TO BUILDING DEMO.
 - EXISTING ELECTRICAL UTILITIES REMOVAL TO BE FIELD VERIFIED BY THE CONTRACTOR AND COORDINATED WITH UTILITY PROVIDER.
 - EXISTING UNDERGROUND TELEPHONE REMOVAL TO BE FIELD VERIFY AND COORDINATED WITH UTILITY PROVIDER.
 - EXISTING GAS LINE REMOVAL TO BE FIELD VERIFIED BY THE CONTRACTOR AND COORDINATED WITH UTILITY PROVIDER
 - PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 - DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 - A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED
 - DEMOLITION CONTRACTOR MUST USE BEST MANAGEMENT PRACTICES DURING AND AFTER THE DEMO TO PREVENT SEDIMENT AND EROSION RUNOFF FROM PROPERTY DURING AND AFTER CONSTRUCTION.



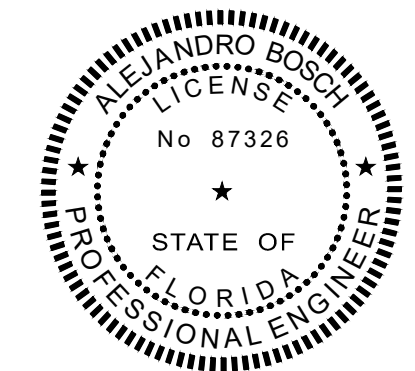
PROJECT NAME
 1036 JEFFERSON STREET,
 HOLLYWOOD, FL 33019

SHEET TITLE
 DEMOLITION PLAN

B.E.S PROJ. No.: _____
 DATE: JANUARY, 2026
 DRAWN BY: _____
 DESIGNED BY: _____
 CHECKED BY: _____

date	description	no.

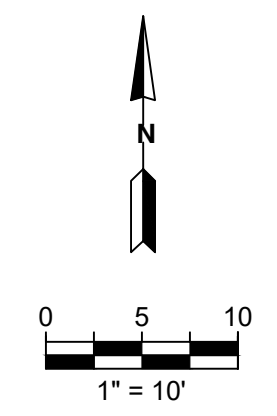
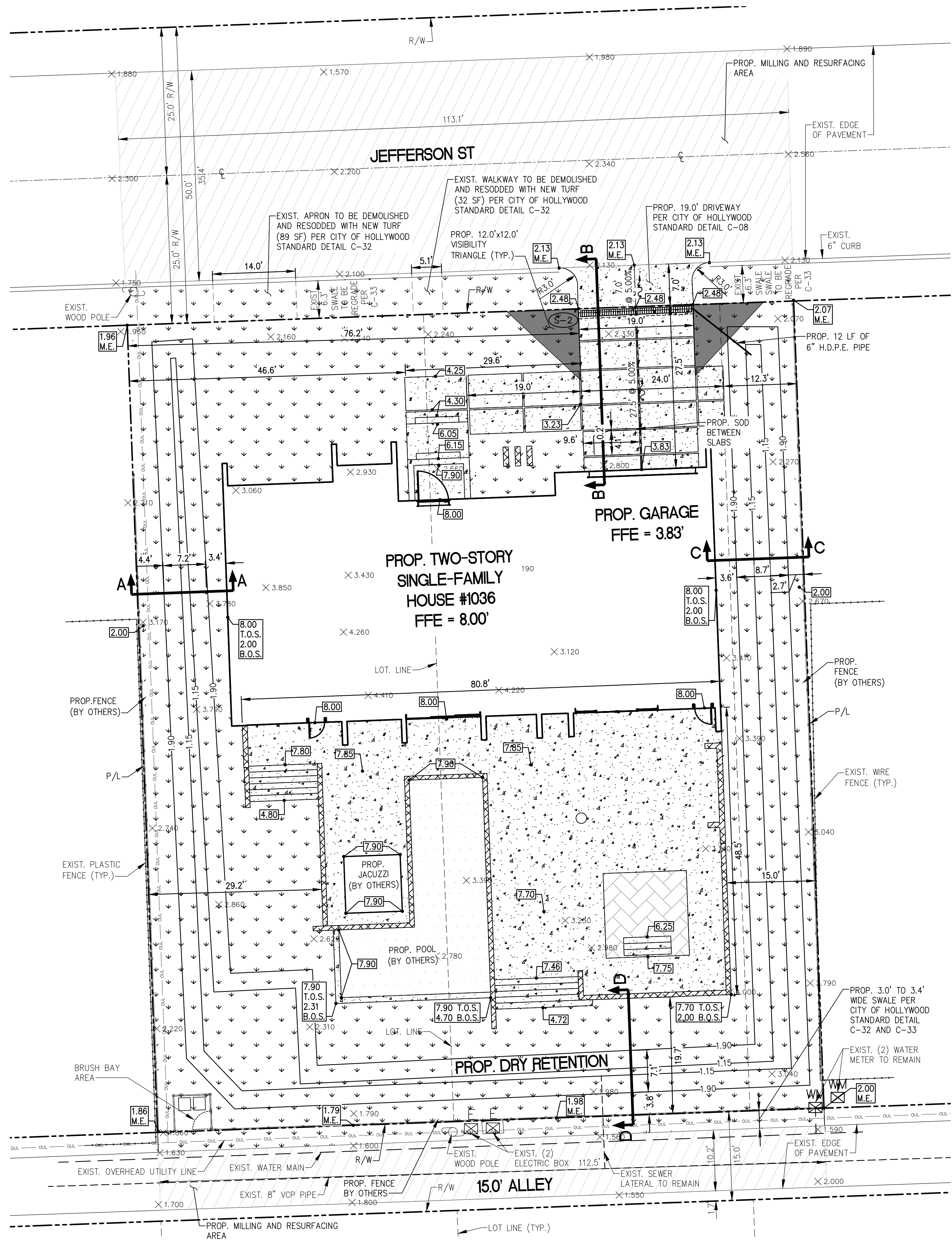
SHEET
 D-1



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5/14/2026

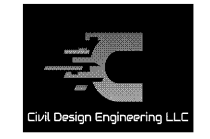
LOCATED IN: D:\For My Company\Projects\2025\2548--Jefferson Street, Hollywood, FL (Hennandez Residence)\CAD\C-2 - Paving, Grading and Drainage - 1036 Jefferson Street.dwg & PRINTED ON: Thursday, May 14, 2026, 5:07:13 PM



- LEGEND:**
- PROPOSE GREEN AREA
 - PROPOSE CONCRETE AREA
 - PROPOSE PAVEMENT AREA
 - EXISTING ELEVATION
 - PROPOSED ELEVATION

DRAINAGE STRUCTURE SCHEDULE				
STRUCTURE No.	STRUCTURE TYPE	RIM ELEVATION	BOTTOM ELEVATION	PIPE INVERT ELEVATION
S-1	ZURN Z882	2.48-3.44	SEE DETAIL ON SHEET C-3	

- NOTES:**
- NO ROW UTILITY WORK PROPOSED.
 - ROOF DRAINAGE WILL BE COLLECTED THROUGH SCUPPERS AND ROUTED TO THE PROPOSED SWALE.
 - ADJACENT ROADS AND ALLEYS TO BE FULLY MILLED AND RESURFACED.



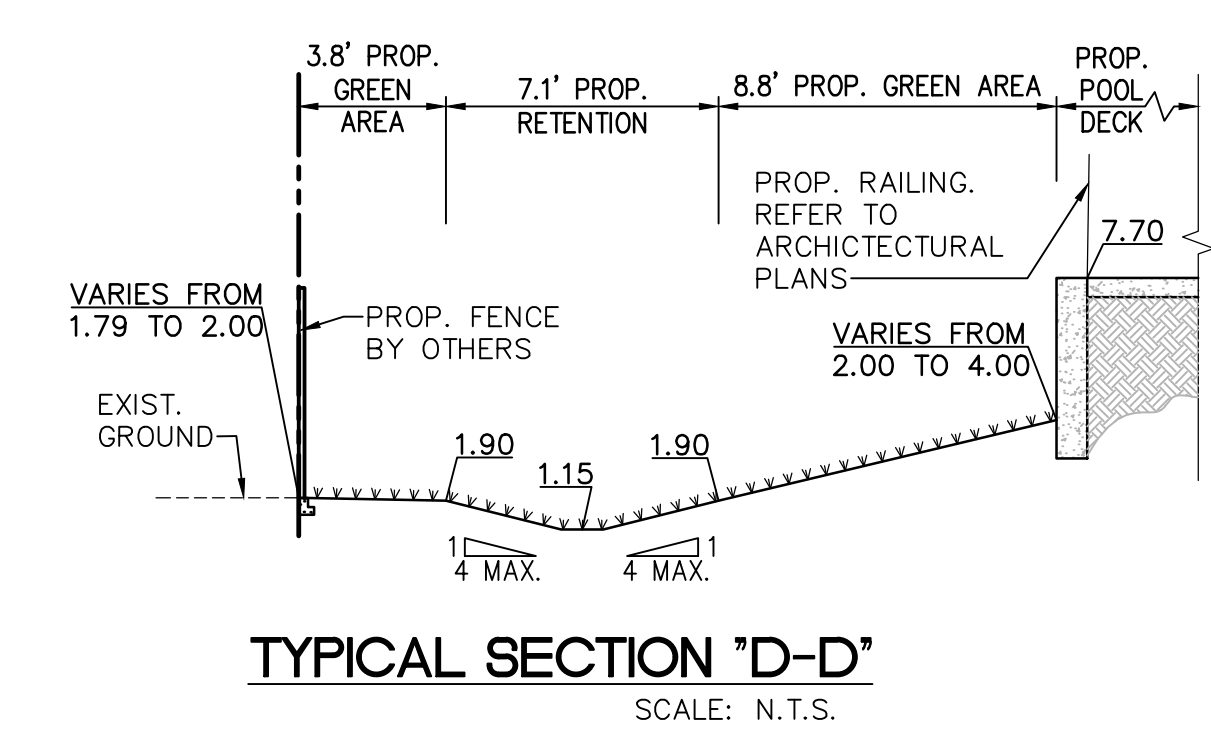
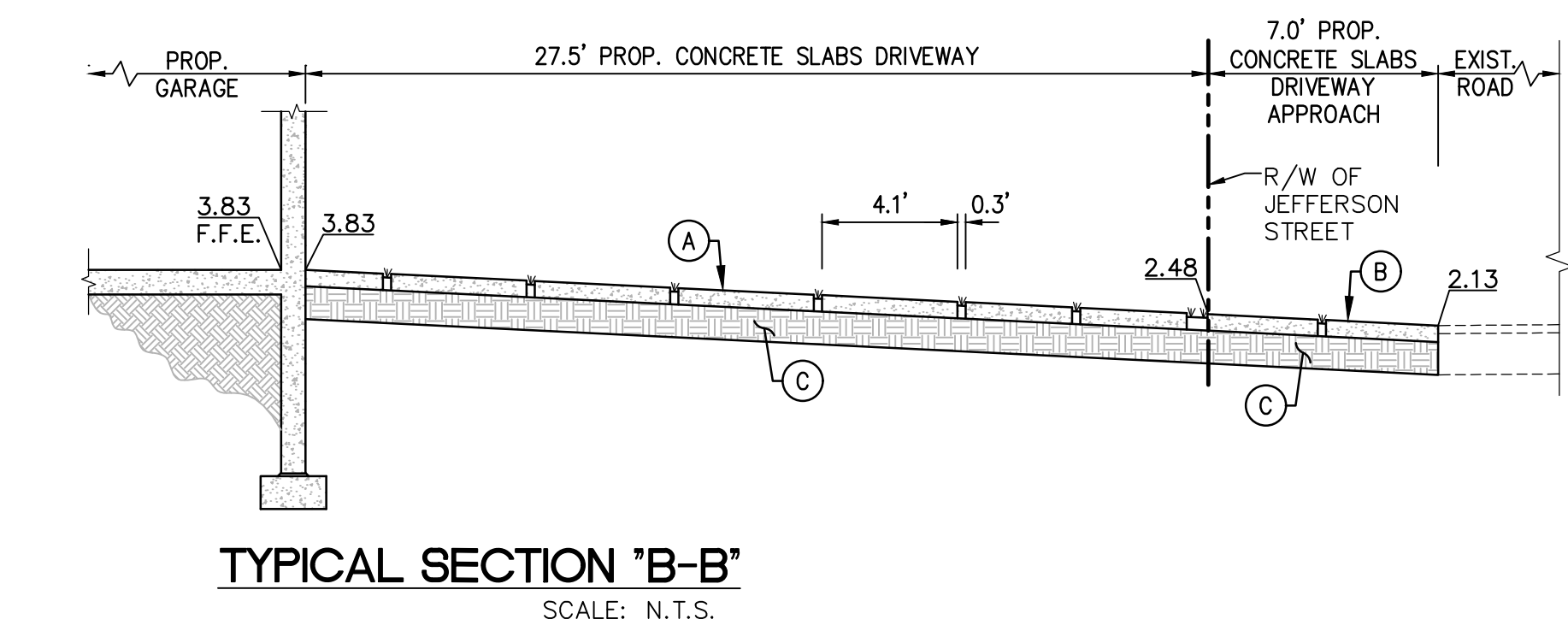
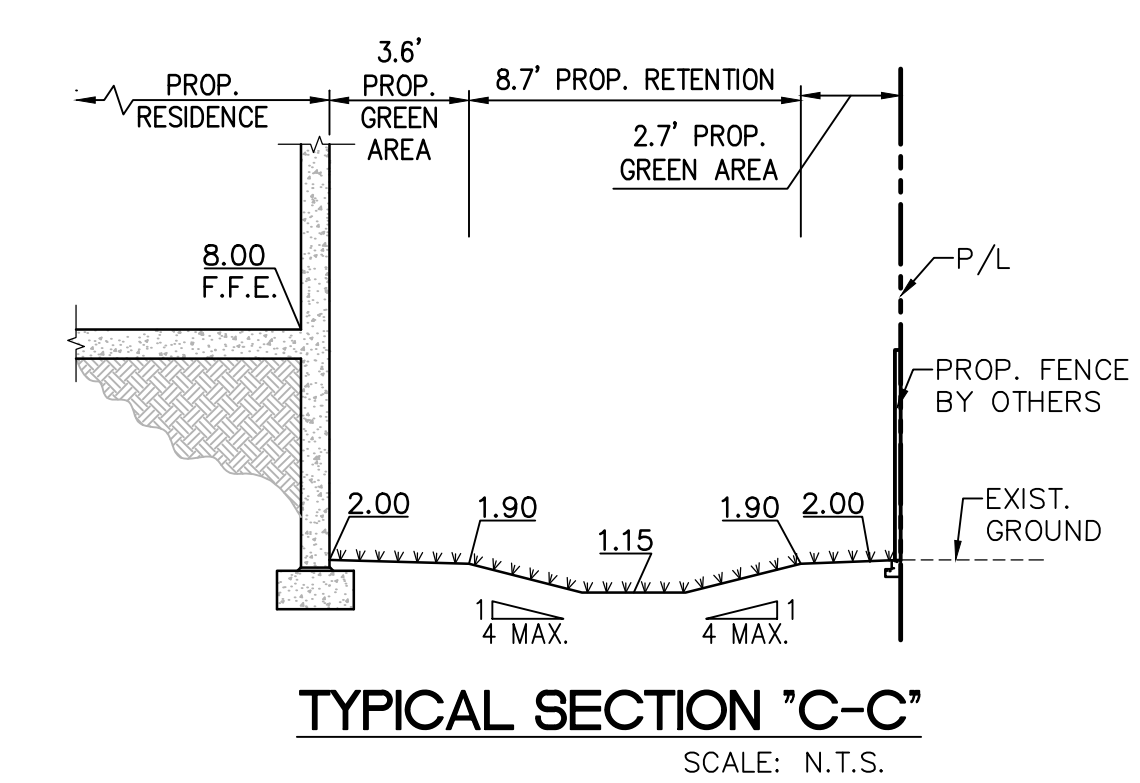
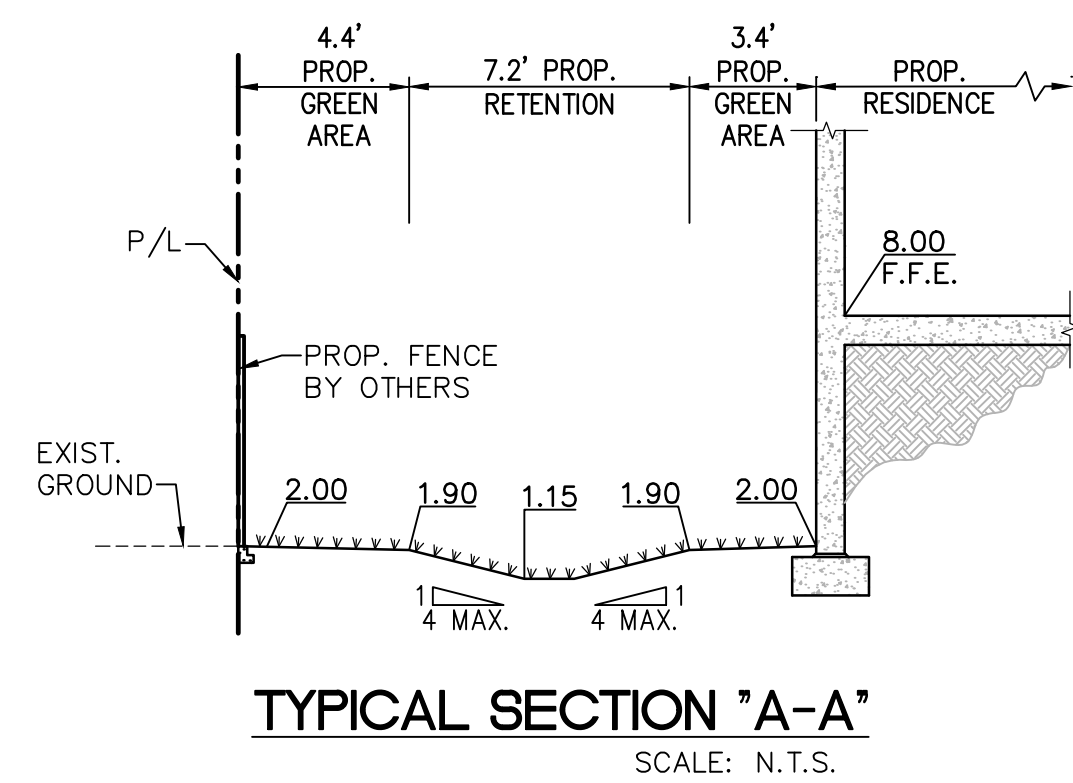
1036 Jefferson Street, Hollywood, Florida
Water Quality Calculations

Prepared by: Alejandro Bosch, P.E., VMA

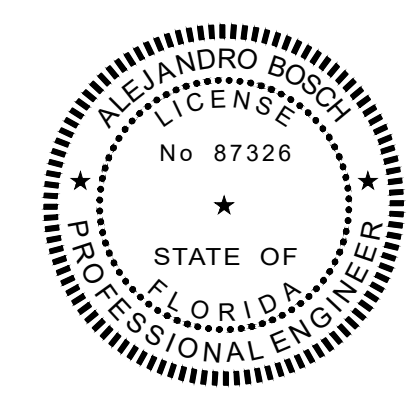
SYSTEM	TOTAL AREA (Ac.)	IMPERVIOUS AREA (Ac.)	BUILDING AREA (Ac.)	PERVIOUS AREA (Ac.)	1" OVER TOTAL AREA (Ac-ft)	2.5" OVER IMPERVIOUS AREA (Ac-ft)	WATER QUALITY TREATMENT REQUIRED (Ac-ft)	DRY-RETENTION TREATMENT VOLUME PROVIDED (Ac-ft)	DEFICIT/SURPLUS (Ac-ft)
RETENTION	0.352	0.189	0.076	0.16	0.016	0.023	0.023	0.029	0.005

DRY RETENTION

Elev.	Area (Ac)	Incr. Vol. (Ac-Ft)	Treatment Volume (Ac-Ft)	Remark
1.15	0.0141	0.000	0.000	
1.40	0.0299	0.0055	0.0055	
1.90	0.0622	0.023	0.029	



- LEGEND:**
- (A) 5" 3,000 PSI CONCRETE WITH FIBER MESH CONCRETE.
 - (B) 6" 3,000 PSI CONCRETE TO BE CONSTRUCTED FLUSH WITH EXISTING ROADWAY.
 - (C) 12" CLEAN SUBGRADE COMPACTED TO 98% PER AASHTO T-180.



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PROJECT NAME
**1036 JEFFERSON STREET,
 HOLLYWOOD, FL 33019**

SHEET TITLE
**PAVING, GRADING AND
 DRAINAGE PLAN AND
 TYPICAL SECTIONS**

B.E.S PROJ. No.: _____
 DATE: JANUARY, 2026
 DRAWN BY: _____
 DESIGNED BY: _____
 CHECKED BY: _____

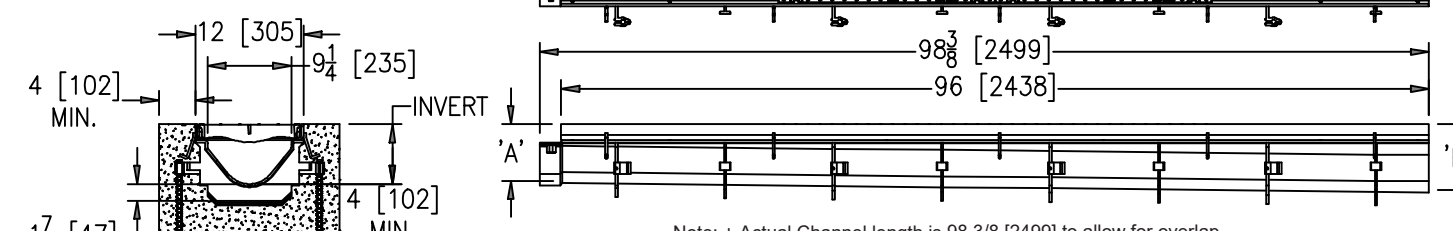
REVISIONS		
NO.	REVISION	DATE
1	REVISION 1	

SHEET
C-2

ZURN Z882-HDG
12 [305] WIDE REVEAL TRENCH DRAIN SYSTEM
WITH GALVANIZED STEEL FRAME
SPECIFICATION SHEET
TAG

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

SPECIFYING ENGINEER IS RESPONSIBLE FOR CONCRETE ENCASEMENT AND REINFORCING BASED UPON APPLICATION AND LOCAL CODES



ENGINEERING SPECIFICATION: Zurn Z882-HDG Channels shall be 96 [2438] long, 12 [305] wide reveal and have a 9-1/4 [235] throat. Modular channel sections shall be made of 0% water absorbent High Density Polyethylene (HDPE). Shall have a positive mechanical connection between channel sections that will not separate during the installation and shall mechanically lock into the concrete surround every 12 [305]. Channels shall weigh less than 5.06 lbs. [2.29kg] per linear foot, have a smooth, 3 [76] radiused self-cleaning bottom with a Manning's coefficient of 0.009 and 1.04% or neutral 0% built in slope. Channels shall have all grates locked down. Shall have rebar clips standard to secure trench in its final location. Shall be provided with the standard GDC grate that locks down to the frame. Zurn 12 [305] wide reveal Galvanized Ductile Iron Slotted Grate. Ductile Iron conforms to ASTM specification A536-84, Grade 80-55-08. Galvanized Ductile Iron grate is rated class C per the DIN EN1433 top load classifications. Supplied in 24 [608] nominal lengths with 13/16 [21] wide slots, and 1-1/2 [38] bearing depth. Grate has an open area of 57.50 sq. in per ft. [121708 sq. mm per meter]. The 1/4 [6] thick Galvanized Carbon Steel Frame Assembly conforms to ASTM specification A36 and Galvanizing conforms to ASTM specification A123 with 10 - 4 [102] long concrete anchors per 96 [2438]. Grate lockdown bars are integral to the frame. All welds must be performed by a certified welder per ASTM standard AWS D1.1. Frames shall be produced in the USA.

PREFIX OPTIONS (Check/specify appropriate options)

—Z Eight-foot High Density Polyethylene (HDPE) Channel, Heavy-Duty Frame with Anchor Studs.

SUFFIX OPTIONS (Check/specify appropriate options)

Outlet Adapters Add/Each

Trench No.	'A' Shallow Inv.	'B' Deep Inv.	(cfs)	Flow (gpm)[lps]
8201	6.25[159]	7.25[184]	1.241	557 35
8202	7.25[184]	8.25[210]	1.725	774 49
8203	8.25[210]	9.25[235]	2.226	999 63
8203N	9.25[235]	9.25[235]	-	-
8204	9.25[235]	10.25[260]	2.745	1232 78
8205	10.25[260]	11.25[286]	3.271	1468 93
8206	11.25[286]	12.25[311]	3.806	1709 108
8206N	12.25[311]	12.25[311]	-	-
8207	12.25[311]	13.25[337]	4.347	1951 123
8208	13.25[337]	14.25[362]	4.893	2196 139
8209	14.25[362]	15.25[387]	5.443	2443 155
8209N	15.25[387]	15.25[387]	-	-
8210	15.25[387]	16.25[413]	5.986	2691 170
8211	16.25[413]	17.25[438]	6.551	2940 186
8212	17.25[438]	18.25[464]	7.106	3189 202

Grate Options (Load Classifications are per DIN EN1433)

- BDC Black Acid Resistant Epoxy Coated Ductile Grate - Class C
- BDE Black Acid Resistant Epoxy Coated Ductile Grate - Class E
- DC Ductile Iron Solid Cover - Class C
- DGC Ductile Iron Slotted Grate - Class C
- DGE Ductile Iron Slotted Grate - Class E
- DGF Ductile Iron Slotted Grate - Class F
- GDC Galvanized Ductile Slotted Grate - Class C
- GDE Galvanized Ductile Slotted Grate - Class E
- GDF Galvanized Ductile Slotted Grate - Class F
- GHPDG Galvanized Heel-Proof Ductile Grate - Class B
- GHPDE Galvanized Heel-Proof Ductile Slotted Grate - Class E
- HPD Heel-Proof Ductile Slotted Grate - Class B
- HPDE Heel-Proof Ductile Slotted Grate - Class E

Miscellaneous Options (cont.)

- CFA Galvanized Frame Assembly
- JC Joint Connector
- SW Sidewall Extensions - 11 [279] High
- SWZ Double Sidewall Extensions - 22 [559] High
- VP Vandal-Proof Lockdown

MADE IN THE U.S.A.

- ADA-USA Meets Americans with Disabilities Act Requirements - Class C
- BG Galvanized Steel Bar Grate - Class D
- DGC-USA Ductile Iron Slotted Grate - Class C
- DGE-USA Ductile Iron Slotted Grate - Class E
- FG Fabricated Galvanized Steel Slotted Grate - Class A
- GADA-USA Galvanized Ductile ADA Slotted Grate - Class C
- GDC-USA Galvanized Ductile Slotted Grate - Class C
- GDE-USA Galvanized Ductile Slotted Grate - Class E
- GG Fiberglass Grate - Class A
- RG Perforated Galvanized Steel Grate - Class A
- RFG Reinforced Galvanized Slotted Grate - Class B
- RPG Reinforced Galvanized Perforated Grate - Class B

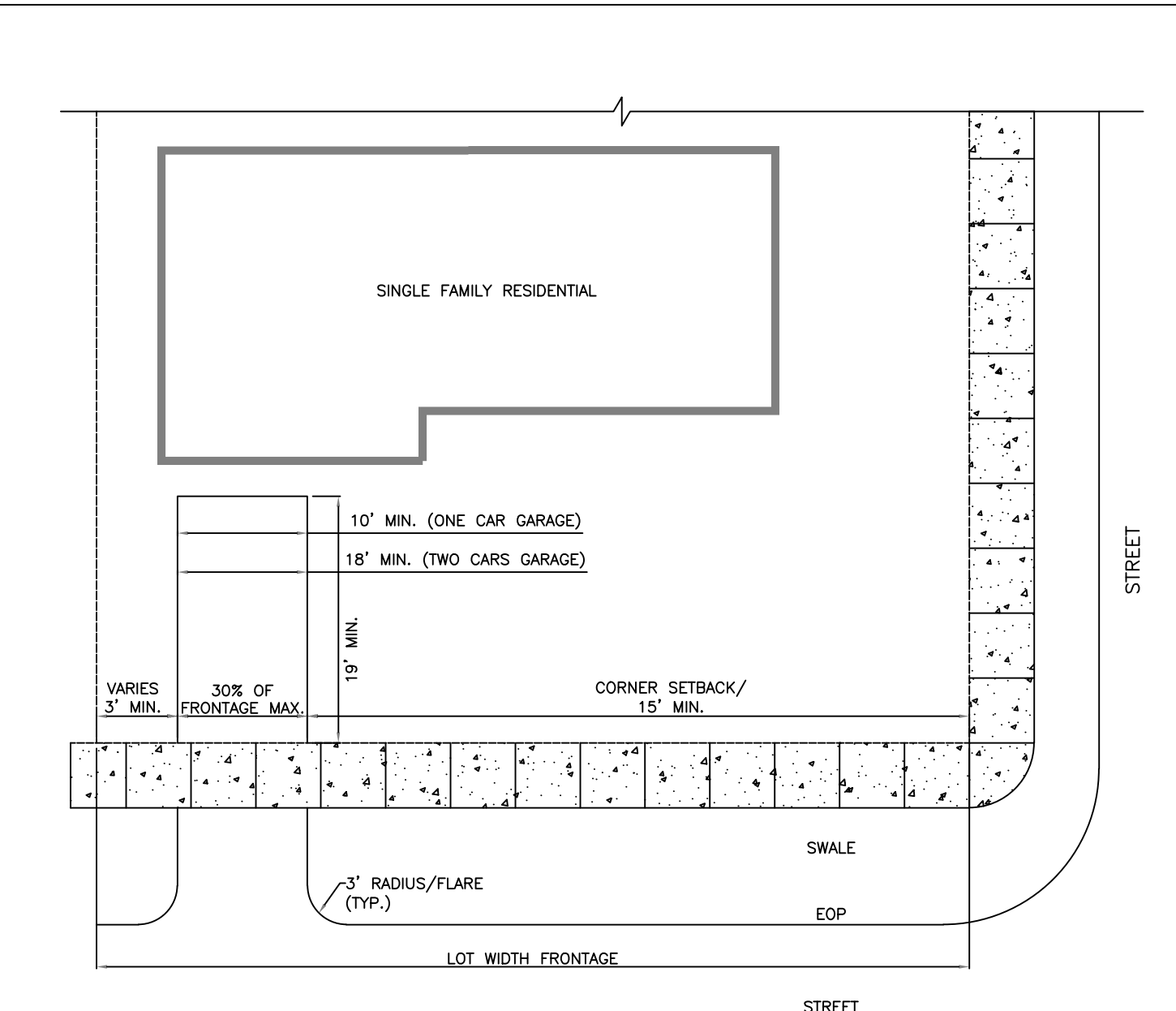
Miscellaneous Options

- DB Bottom Dome Strainer

REGULARLY FURNISHED UNLESS OTHERWISE SPECIFIED

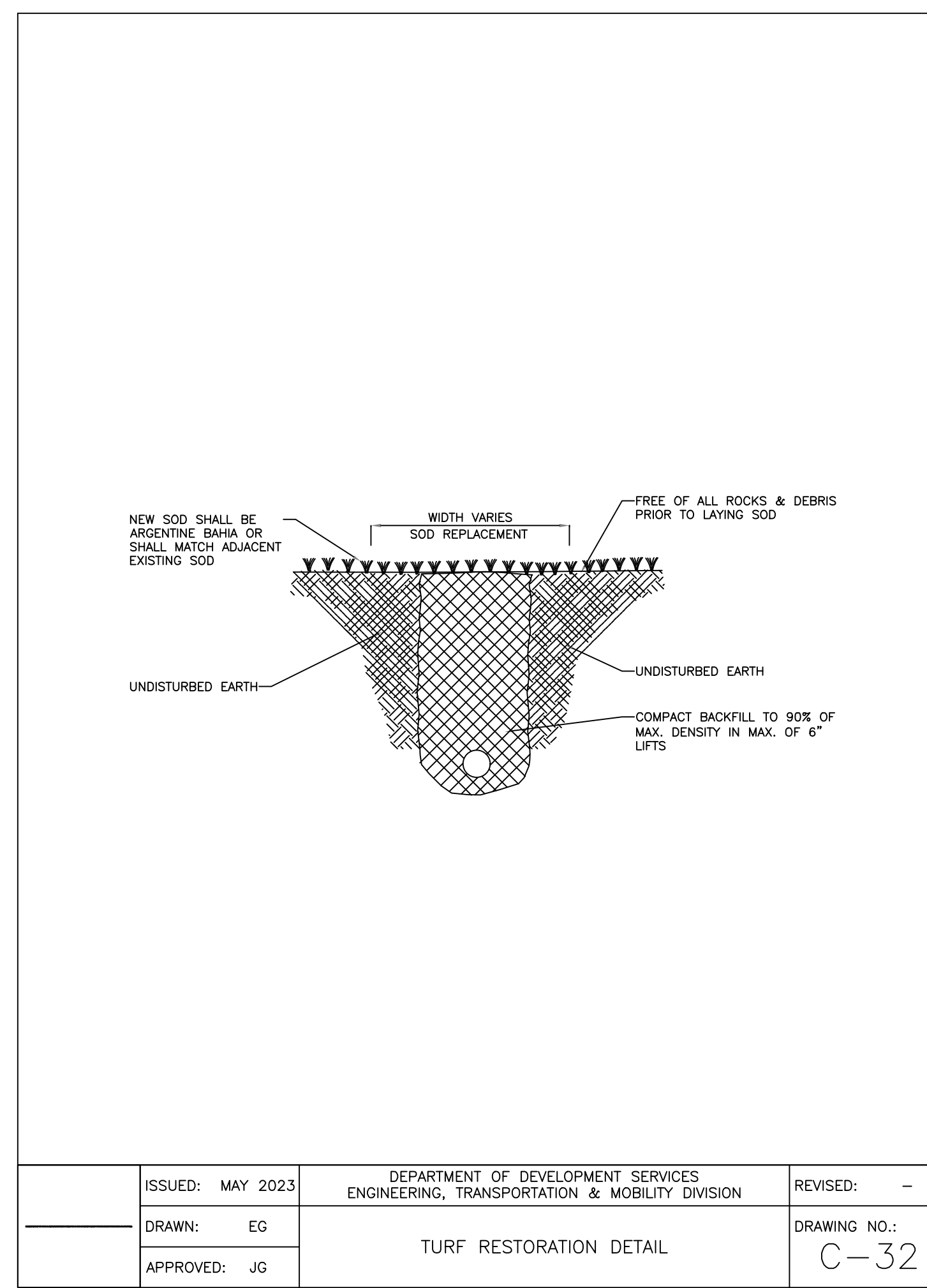
ZURN INDUSTRIES, LLC • SPECIFICATION DRAINAGE OPERATION • 1801 Pittsburgh Ave. • Erie, PA 16514
Phone: 814-465-0921 • Fax: 814-464-7929 • World Wide Web: www.zurn.com
In Canada: ZURN INDUSTRIES LIMITED • 3544 Nashua Drive • Mississauga, Ontario L4V1L2 • Phone: 905-405-8272 Fax: 905-405-1292

REV. C DATE: 7/15/11 C.N. NO. 121593
DWG. NO. 301769 PRODUCT NO. Z882-HDG

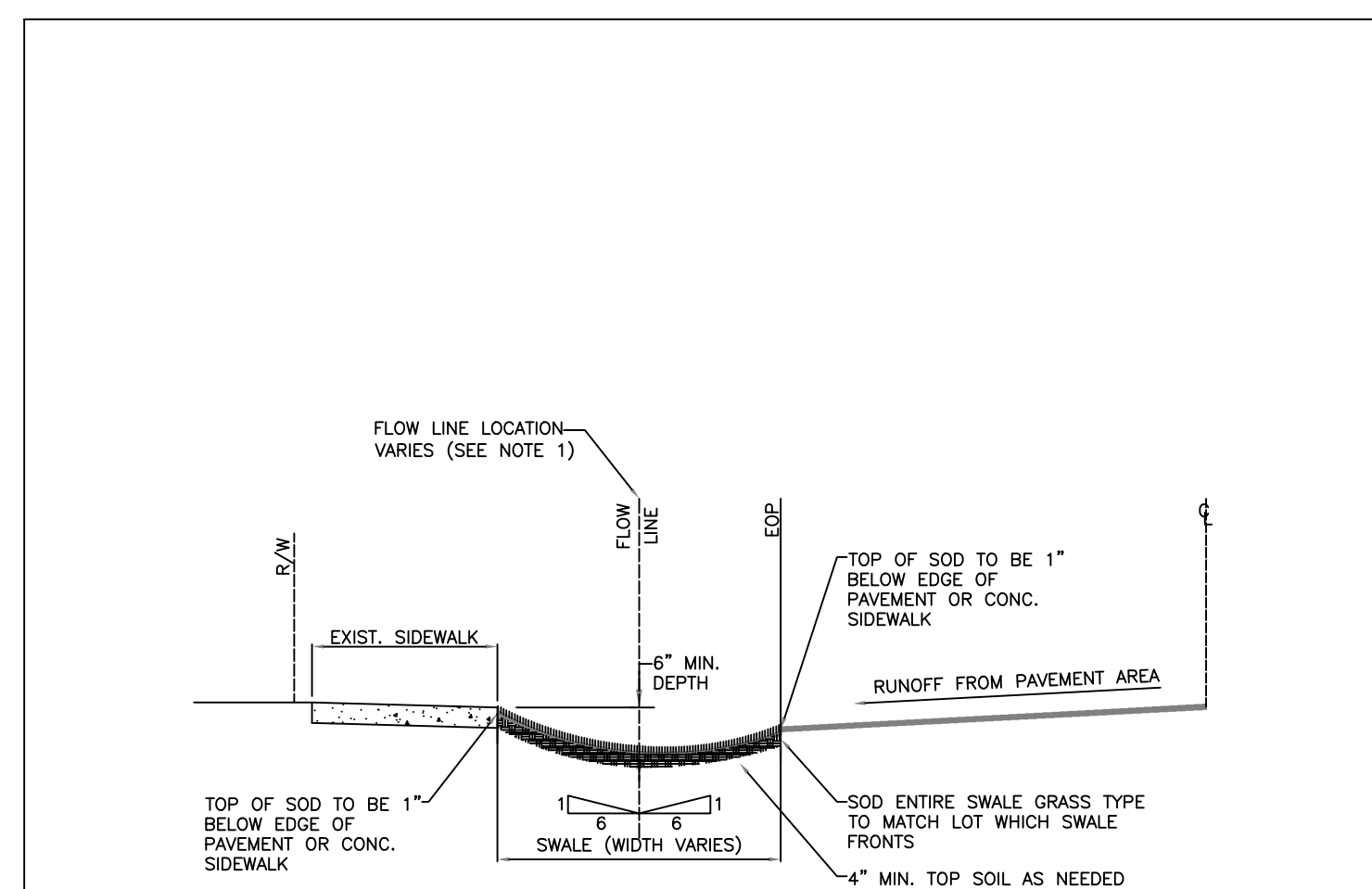


- NOTES:**
- ALL DRIVEWAY AND CURB CUTS SHALL BE IN ACCORDANCE WITH CITY OF HOLLYWOOD'S CODE OF ORDINANCES SECTION 155.08 AND 155.11.
 - CURB CUTS IN RESIDENTIAL DISTRICTS SHALL NOT EXCEED A MAXIMUM TOTAL WIDTH OF 30% OF THE LOT DIMENSION WHERE THE CURB CUT IS PROPOSED AND MAY NOT EXCEED A WIDTH OF 24 FEET EXCEPT AS SET FORTH BELOW.
 - A MINIMUM OF ONE 18 FOOT CURB CUT OR TWO TEN FOOT CURB CUTS MAY BE PERMITTED ON ALL RESIDENTIAL LOTS OR A MINIMUM OF ONE TEN FOOT AND ONE 18 FOOT CURB CUT FOR A RESIDENTIAL LOT SERVING A TWO CAR GARAGE/CARPORT.
 - RESIDENTIAL DEVELOPMENTS OF FOUR UNITS OR LESS, PROVIDING ENCLOSED GARAGE FACILITIES, SHALL BE PERMITTED A MINIMUM CURB CUT OF NINE FEET SERVING A ONE CAR GARAGE AND 18 FEET SERVING A TWO CAR GARAGE, WITH A MINIMUM SIX FOOT SEPARATION BETWEEN CURB CUTS.
 - CURB CUTS SERVING THREE CAR GARAGE FACILITIES MAY BE A MAXIMUM WIDTH OF 27 FEET SUBJECT TO COMPLIANCE WITH THE 30% TOTAL WIDTH CRITERIA.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	SINGLE FAMILY RESIDENTIAL SINGLE DRIVEWAY	DRAWING NO.: C-08
APPROVED: JG		

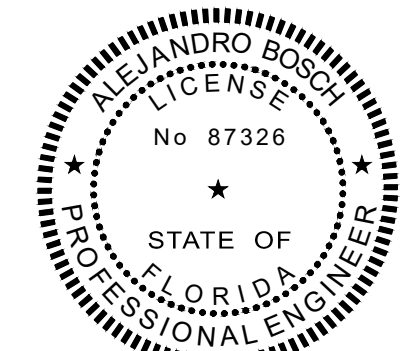


ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TURF RESTORATION DETAIL	DRAWING NO.: C-32
APPROVED: JG		



- NOTES:**
- HORIZONTAL BOTTOM (FLOW LINE) OF SWALE LOCATION IS TO BE PLACED AT THE POINT WHERE 6:1 SLOPE FROM EDGE OF S/W AND 6:1 SLOPE FROM EDGE OF PAVEMENT MEET.
 - TOP OF SOD ELEVATION AS SHOW ABOVE.

ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: -
DRAWN: EG	TYPICAL SWALE GRADING	DRAWING NO.: C-33
APPROVED: JG		



This item has been digitally signed and sealed by ALEJANDRO BOSCH, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

5/14/2026



PROJECT NAME
1036 JEFFERSON STREET,
HOLLYWOOD, FL 33019

SHEET TITLE
PAVING AND DRAINAGE
DETAILS

B.E.S PROJ. No.: _____
DATE: JANUARY, 2026
DRAWN BY: _____
DESIGNED BY: _____
CHECKED BY: _____

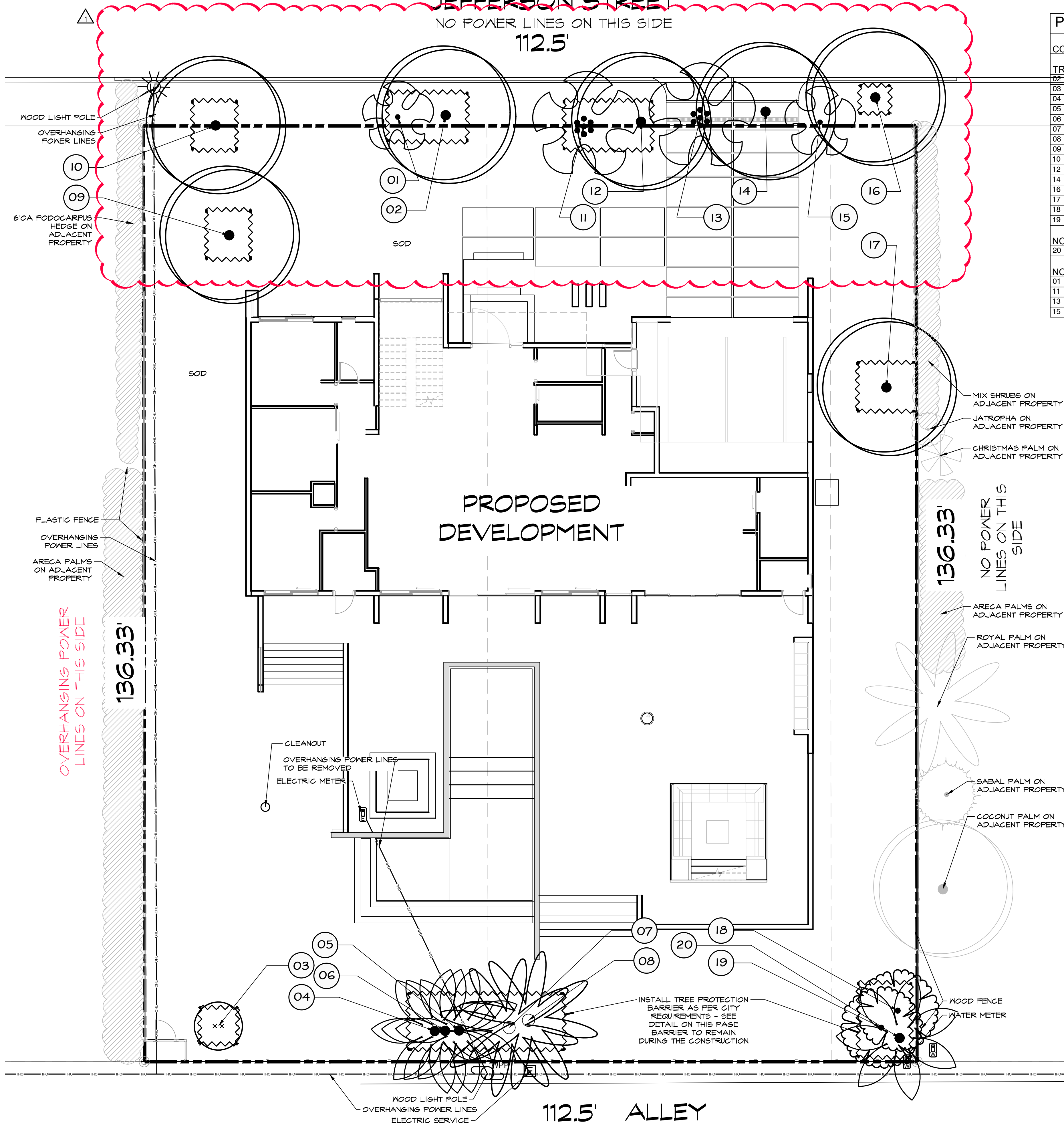
date	description	no.

SHEET
C-3

JEFFERSON STREET

NO POWER LINES ON THIS SIDE

112.5'

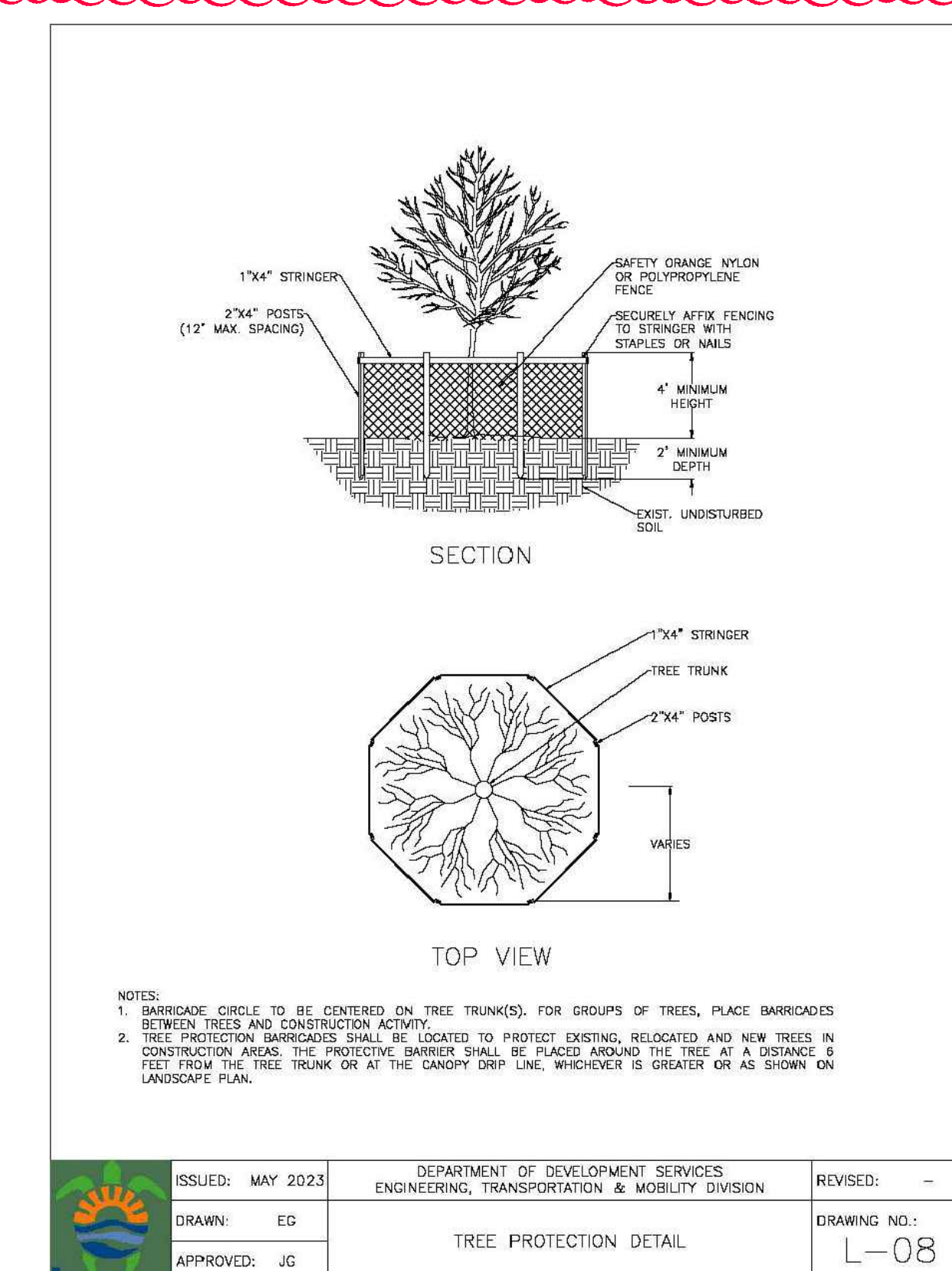


PLANT SCHEDULE

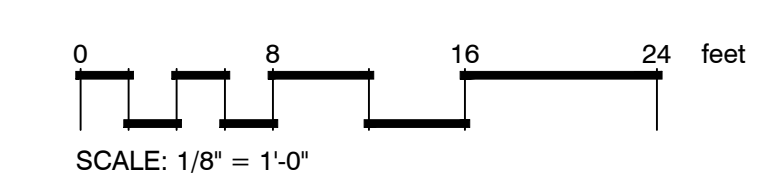
CODE	BOTANICAL NAME	COMMON NAME	DBH	HEIGHT/CT	CANOPY	CONDITION	NOTES	ACTION
TREES								
02	Cocos nucifera	Coconut Palm	N/A	20' CT	20'	Fair	leaning	TO REMAIN
03	Ptychosperma elegans	Alexander Palm DOUBLE	N/A	25' CT	7'	Fair	Double	TO REMAIN
04	Wodyetia bifurcata	Foxtail Palm	N/A	20' CT	18'	Fair		TO REMAIN
05	Wodyetia bifurcata	Foxtail Palm	N/A	20' CT	18'	Fair		TO REMAIN
06	Wodyetia bifurcata	Foxtail Palm	N/A	20' CT	18'	Fair		TO REMAIN
07	Roystonea regia	Royal Palm	N/A	20' CT	20'	Fair		TO REMAIN
08	Roystonea regia	Royal Palm	N/A	30' CT	20'	Fair		TO REMAIN
09	Cocos nucifera	Coconut Palm	N/A	17' CT	20'	Fair		TO REMAIN
10	Cocos nucifera	Coconut Palm	N/A	25' CT	20'	Fair		TO REMAIN
12	Cocos nucifera	Coconut Palm	N/A	25' CT	20'	Fair		TO REMAIN
14	Cocos nucifera	Coconut Palm	N/A	15' CT	20'	Fair		REMOVE
16	Cocos nucifera	Coconut Palm	N/A	25' CT	20'	Fair		TO REMAIN
17	Cocos nucifera	Coconut Palm	N/A	20' CT	20'	Fair		TO REMAIN
18	Syagrus romanzoffiana	Queen Palm	N/A	22' CT	12'	Fair		TO REMAIN
19	Syagrus romanzoffiana	Queen Palm	N/A	20' CT	12'	Fair		TO REMAIN
NOT ON SURVEY								
20	Wodyetia bifurcata	Foxtail Palm	N/A	25' CT	18'	Fair		TO REMAIN
NOT QUALIFYING AS A TREE								
01	Ravenala madagascariensis	Traveler's Tree	N/A	5' CT	10'	Fair	NOT QUALIFYING AS TREE	TO REMAIN
11	Ravenala madagascariensis	Traveler's Tree	N/A	20' OA	15'	Fair	NOT QUALIFYING AS TREE	TO REMAIN
13	Ravenala madagascariensis	Traveler's Tree	N/A	20' OA	15'	Fair	NOT QUALIFYING AS TREE	REMOVE
15	Ravenala madagascariensis	Traveler's Tree	N/A	5' CT	10'	Fair	NOT QUALIFYING AS TREE	REMOVE

15 PALMS PRESERVED
1 PALM TO REMOVE.....\$350
NO HARDWOOD TREES REMOVED
1 NATIVE TREE PROPOSED FOR MITIGATION - SEE LP-1

NO MITIGATION TO BE PAID FOR CITY TREE FUND.

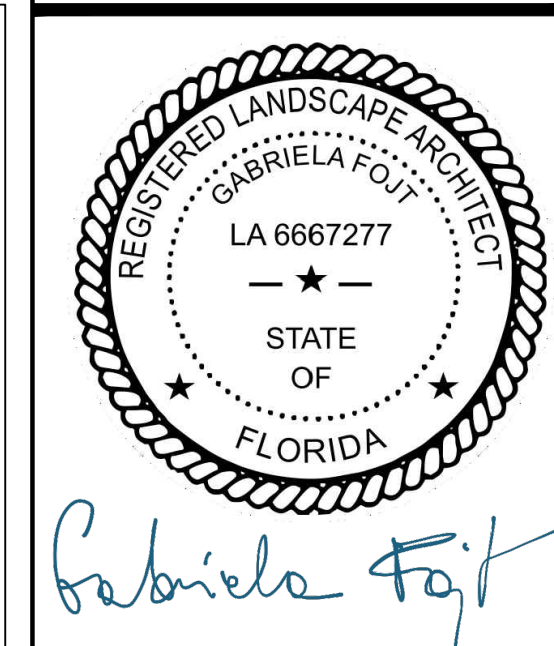


A GENERAL LAYOUT
 scale 1/8" = 1'-0"



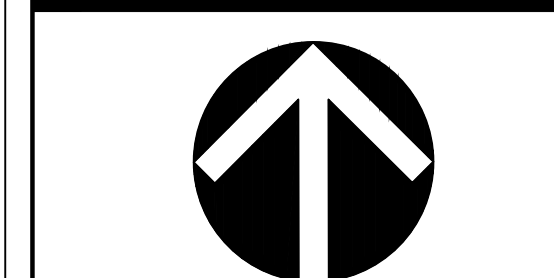
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NOTE:
 INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.



The Mirror of Paradise
 Gabriela Fojt
 LA 6667277
 ISA FL-10207A

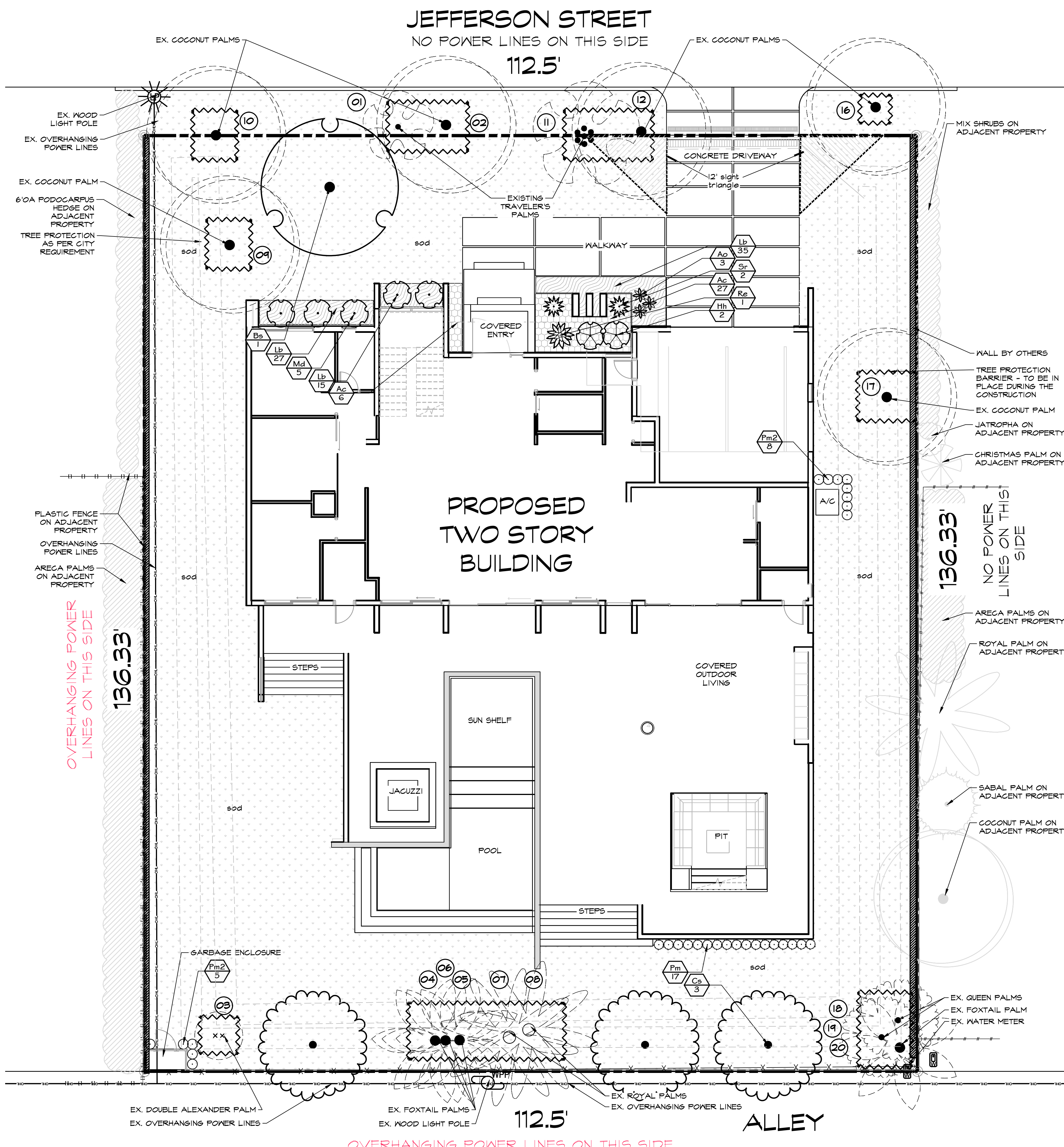
2300 E Oakland Park Blvd
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 FL 33306
 c. (954) 478 3064
 www.florida-landscape.com
 gabriela@themirrorofparadise.com



SCALE 1/8" = 1'-0"
 DESIGNED BY GF
 DRAWN BY KM,GF
 CHECKED BY GF
 DATE 01.29.2026
 REVISIONS
 per City comments 04.16.2026

HERNANDEZ RESIDENCE
 1036 JEFFERSON STREET
 HOLLYWOOD, FL

REMOVAL PLAN & TREE PROTECTION DETAIL



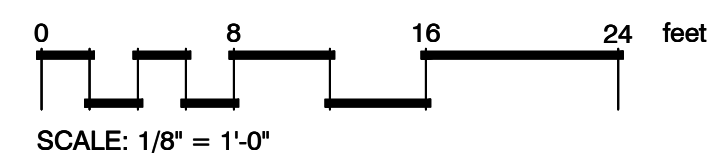
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESIST.
TREES								
	Bs	1	Bursera simaruba	Gumbo Limbo	12' OA, 2" dbh, std	AS SHOWN	YES	HIGH
	Cs	3	Conocarpus erectus f. sericeus	Silver Buttonwood	12' OA, 2" dbh, std	AS SHOWN	YES	HIGH
EXISTING PALMS								
	eCn	6	Cocos nucifera	Coconut Palm	see DT-1	EXISTING	NO	HIGH
	ePe	1	Ptychosperma elegans	Alexander Palm	see DT-1	EXISTING	NO	HIGH
	eRm	2	Ravenala madagascariensis	Traveler's Tree	see DT-1	EXISTING	NO	HIGH
	eRr	2	Roystonea regia	Royal Palm	see DT-1	EXISTING	YES	HIGH
	eSq	2	Syagrus romanzoffiana	Queen Palm	see DT-1	EXISTING	NO	MODERATE
	eWb	4	Wodyetia bifurcata	Foxtail Palm	see DT-1	EXISTING	NO	HIGH
SHRUBS								
	Ao	3	Alcantarea odorata	Giant Silver Bromeliad	7 gal	AS SHOWN	NO	HIGH
	Hh	2	Heliconia caribaea x bihai 'Hot Rio Nights'	Hot Rio Nights Heliconia	15 gal, full	AS SHOWN	NO	MODERATE
	Md	5	Monstera deliciosa	Split-leaf Philodendron	3 gal, full	48" OC	NO	MODERATE
	Pm	17	Podocarpus macrophyllus	Yew Podocarpus	3 gal fib	18" OC	NO	HIGH
	Pm2	13	Podocarpus macrophyllus	Yew Podocarpus	4" OA, full	18" OC	NO	HIGH
	Re	1	Rhapis excelsa	Lady Palm	3'-4" OA, full	AS SHOWN	NO	LOW
	Sr	2	Strelitzia reginae	Bird Of Paradise	7 gal	AS SHOWN	NO	HIGH
SHRUB AREAS								
	Ac	33	Alocasia odora 'California'	California Elephant Ear	3 gal	24" OC	NO	LOW
	Lb	77	Liriope muscari 'Big Blue'	Big Blue Lilyturf	3 gal, full	18" OC	NO	HIGH
GROUND COVERS								
	Ss	7,650 sf	Stenotaphrum secundatum	St. Augustine Grass	sod			

- NOTES:**
- SOD & MULCH AS INDICATED.
 - MULCH ALL BEDS AS INDICATED ON DETAIL.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
 - PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

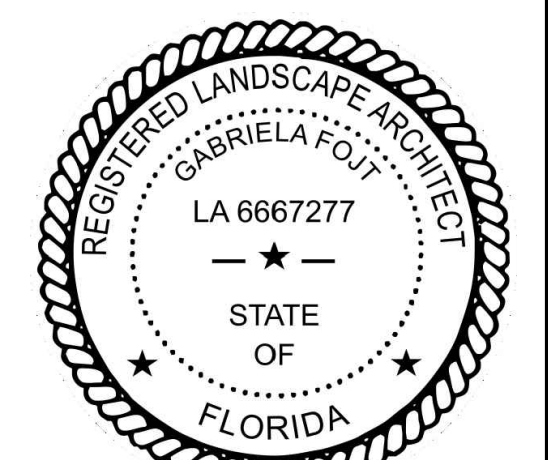
LANDSCAPE REQUIREMENTS RS-6	Required	Existing	Proposed	Total Provided
TREES REQUIRED ON THE LOT				
1 tree/each 1,250 sq.ft. of front yard (2,207 sf/1,250=1.7)	2		2 Silver Buttonwoods	2 provided
Min. 20% of front yard pervious area to be landscaped (2,207 sf x 2= 441.4 sf)	442 sf		1,754 sf	100% provided
SWALE TREES				
1 tree/each 50 lf of street frontage (112.5+Alley 112.5/50=4.5)	5	2 Royal Palms (1:1), 2 Coconuts	1 Silver Butonwood	5 provided
Project plants:				
Min. 15 shrubs in front yard	15		(+15)	(+15) provided
Min. 10 shrubs in back yard	10		(+10)	(+10) provided
Palms no more than 50% of required trees (7x.5=3.5)	4	4		4 provided
Min 60% of required trees to be native (7 x .6=4.2)	5	2	3	5 provided
MITIGATION TREES				
	1 palm		1 Gumbo limbo	1 provided

A GENERAL LAYOUT
scale 1/8" = 1'-0"



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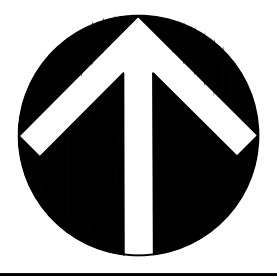
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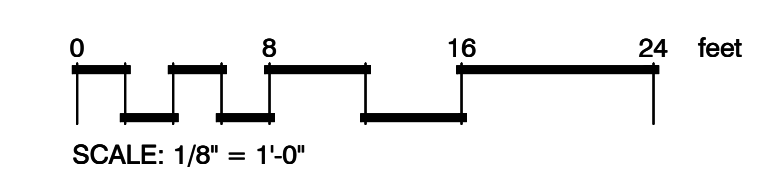
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HERNANDEZ RESIDENCE
1036 JEFFERSON STREET
HOLLYWOOD, FL

LANDSCAPE PLAN, PLANT SCHEDULE, CODE CHART

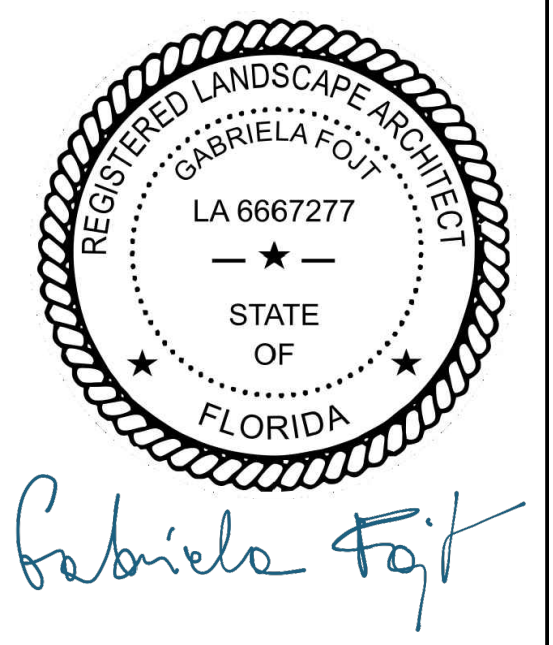


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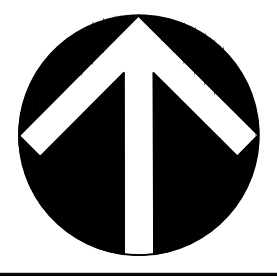
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DESIGNED BY	GF
DRAWN BY	KM,GF
CHECKED BY	GF
DATE	01.29.2026
REVISIONS	
per City comments	04.16.2026

HERNANDEZ RESIDENCE
1036 JEFFERSON STREET
HOLLYWOOD, FL

COLORED LANDSCAPE PLAN

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have top growth which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

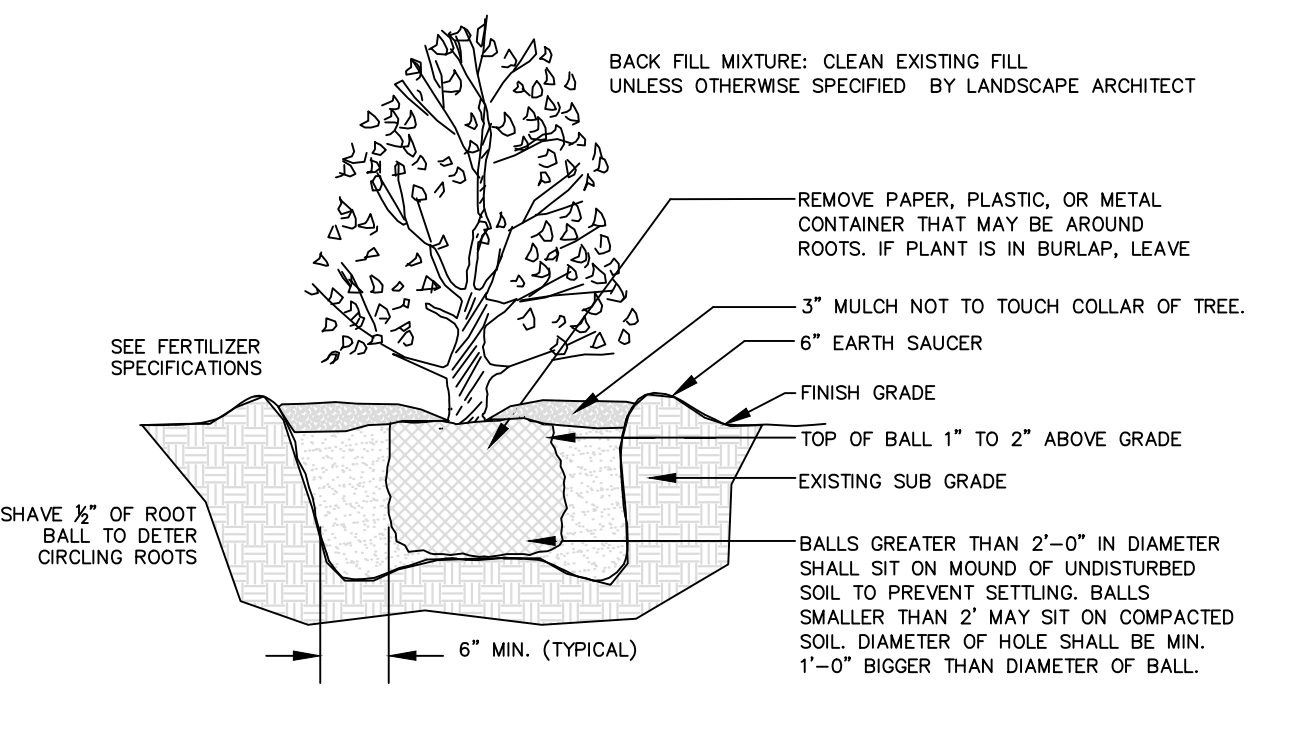
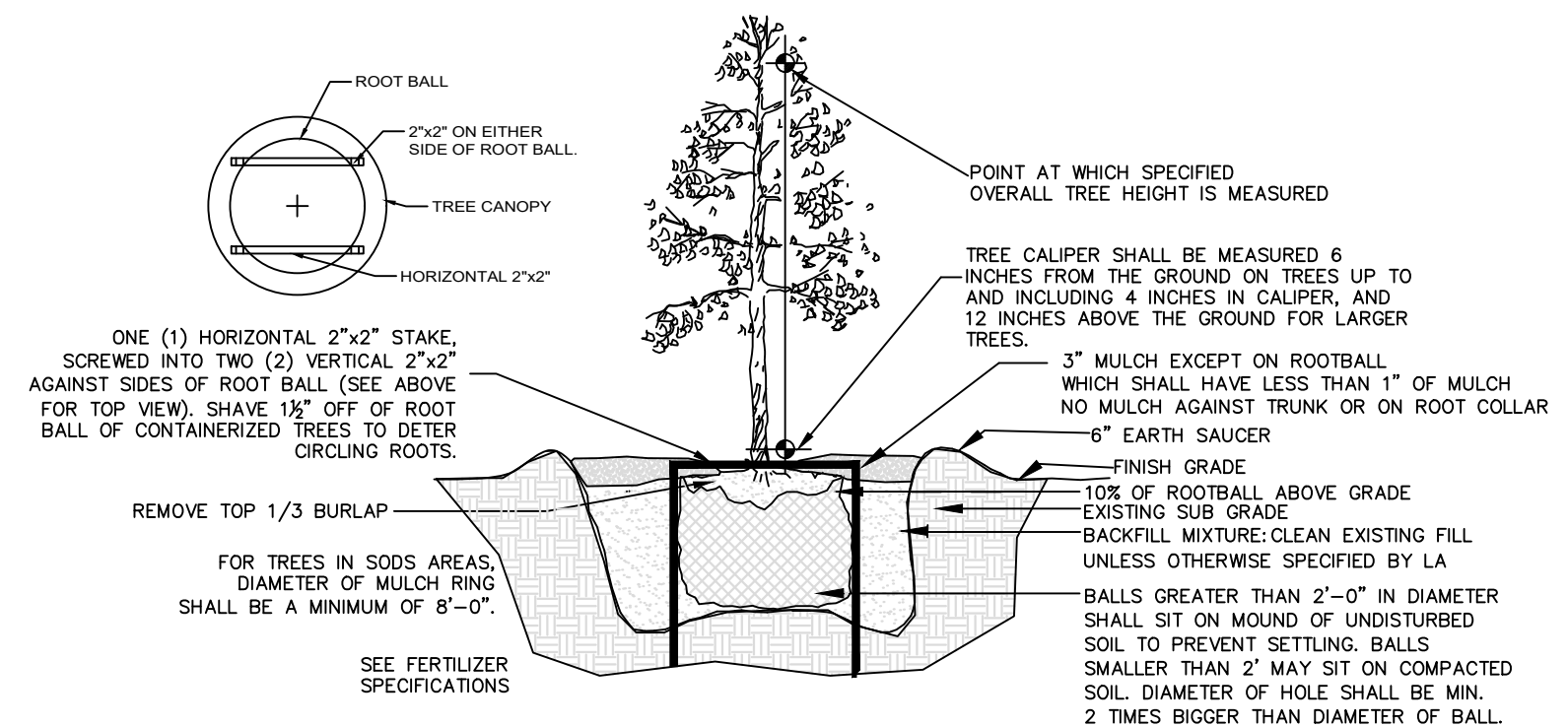
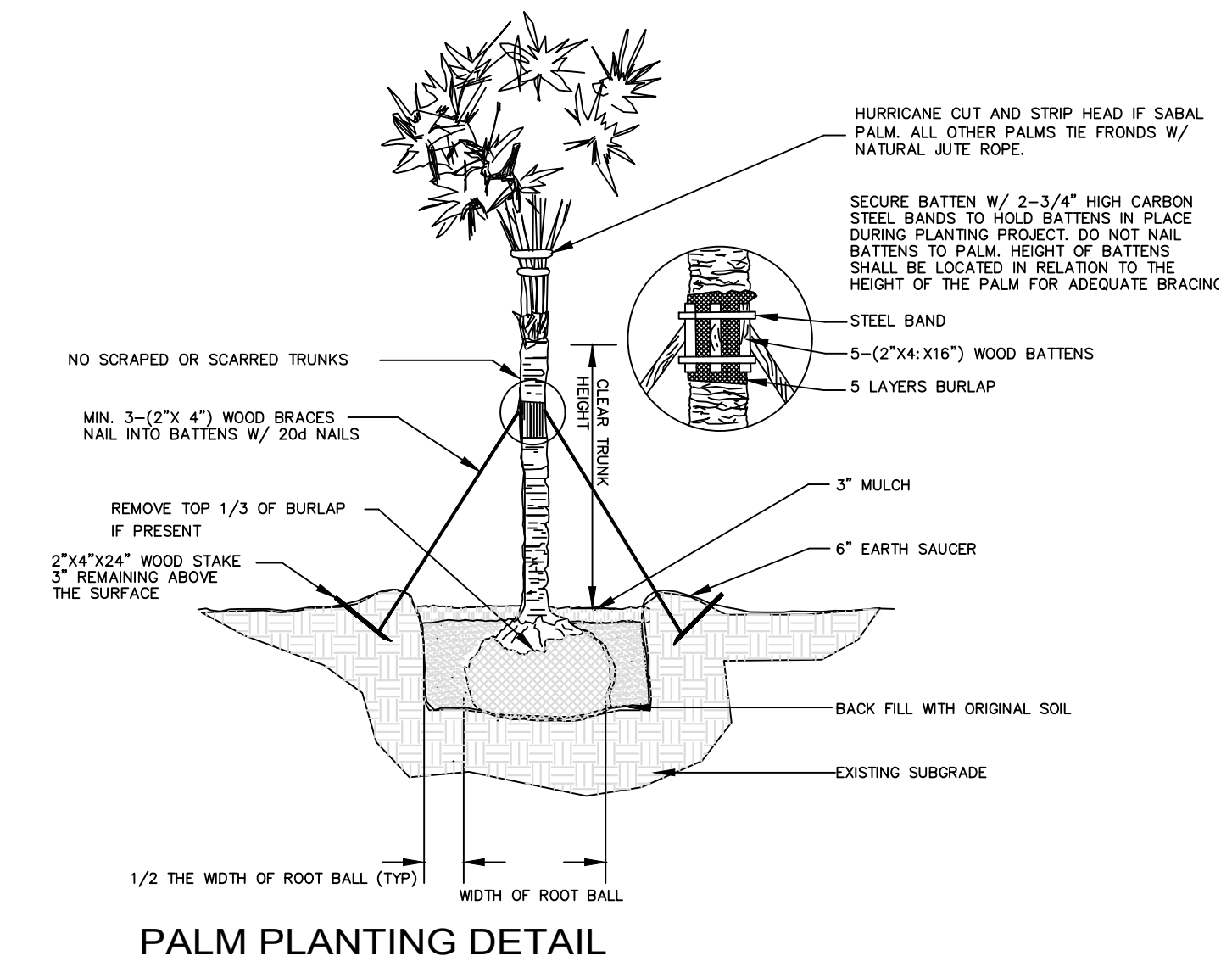
Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

HORIZONTAL CLEARANCE TO UTILITIES, A MINIMUM 5 FT IS REQUIRED FOR SMALL TREES AND 10 FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS. IF CLEARANCE LESS THAN REQUIRED, INSTALL ROOT BARRIERS (BY DEEPROOT OR EQUIVALENT) MIN. 12" FROM UTILITY AS PER MANUFACTURER INSTRUCTIONS

PLANT MATERIAL SHALL NOT BE PLANTED IN THE ROOT BALLS OF ANY TREE AS PER SEC.3.10



CONTRACTOR TO PROVIDE SCREENING HEDGE FOR ANY ADDITIONAL EQUIPMENT NOT SHOWN ON PLAN. PROVIDE MINIMUM OF 36" HT.

LANDSCAPE NOTES:

1. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND FREE FROM DISEASES, INSECTS EGGS, AND SHALL HAVE A HEALTHY NORMAL ROOT SYSTEM. FURNISHED IN THE MINIMUM SIZES INDICATED IN THE SCHEDULE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT A WRITTEN PERMISSION FROM THE CITY OF HOLLYWOOD.
2. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
3. ALL PLANTING SOIL AND TOP SOIL SHALL CONSIST OF 30% MUCK, 70% SAND, AND SHALL BE FREE OF HEAVY CLAY, COARSE SAND, ROCKS LARGER THAN 2" LUMPS, STICKS OR ANY OTHER DEBRIS.
4. FERTILIZER SHALL BE 12-12-12, SLOW RELEASE OR SLOW RELEASE NITROGEN.
5. TERRA-SORB OR APPROVED EQUAL SHALL BE PROVIDED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
6. ALL PLANT MATERIALS EXCEPT TREES SHALL BE GUARANTEED FOR 180 DAYS AFTER THE COMPLETED PROJECTS IS ACCEPTED BY THE CITY. TREES SHALL BE GUARANTEED FOR ONE (1) YEAR.
7. CONTRACTOR SHALL CONFORM TO ALL CITY ORDINANCES AND REGULATIONS.
8. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE AREA AND PLANTS FOR 90 DAYS STARTING ON THE DATE OF SUBSTANTIAL COMPLETION.
9. MULCH SHALL BE EUCALYPTUS GRADE A OR BETTER. USE OF CYPRESS BARK MULCH IS PROHIBITED IN THE PUBLIC RIGHT-OF-WAY.
10. THE ESTABLISHMENT PERIOD SHALL BEGIN AT THE TIME OF ACCEPTANCE OF INSTALLATION OF PLANTING AND IRRIGATION, AND EXTEND FOR 90 DAYS FROM THAT DATE, AND SHALL INCLUDE THE FOLLOWING ACTIVITIES:
 - a. SUFFICIENT WATER IN SUFFICIENT AMOUNTS REQUIRED TO INSURE ESTABLISHMENT AND GOOD GROWTH FOLLOWING INDUSTRY STANDARDS. WATERING SCHEDULE MAY BE INTERRUPTED DURING PERIODS OF HEAVY RAINFALL (0.50" OR MORE PER DAY).
 - b. STRAIGHTEN TREES AND PALMS AS REQUIRED (INCLUDING RE-GUING AND RE-STAKING AS REQUIRED).
 - c. WEEDING IS REQUIRED.
 - d. MOWING EVERY 21 DAYS.
 - e. MAINTAIN AND REPAIR IRRIGATION SYSTEM AS REQUIRED.
 - f. INSECT AND DISEASE CONTROL AS REQUIRED.
 - g. REMOVE STAKES AND GUYS AT THE END OF THE MAINTENANCE PERIOD.
11. ALL SOD AND LANDSCAPE SHALL RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
12. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
13. ALL TREES AND PALMS SHALL BE PLANTED AT LEAST FIVE (5) FEET AWAY FROM ANY UNDERGROUND UTILITY LINE.
14. ALL TREES AND PALMS SHALL BE PLANTED AT LEAST SEVEN AND A HALF (7.5) FEET AWAY FROM ANY FIRE HYDRANT.
15. ANY SPECIES THAT ARE LISTED AS CATEGORY I AND II SPECIES ON THE MOST CURRENT FLORIDA EXOTIC PEST PLANT COUNCIL LIST ARE PROHIBITED TO BE PLANTED ON PRIVATE PROPERTY OR ON CITY PROPERTY INCLUDING ROW AND SMALL AREAS - SEC. 106.01.
16. A MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE OF A PALM SPECIES. SEC.3.5.
17. STREET TREES, AT TIME OF INSTALLATION, SHADE TREES MUST BE A MINIMUM OF 12' OVERALL HEIGHT, APPROVED PALM TREES ARE TO HAVE A MINIMUM OF 8' CLEAR TRUNK (CT).
18. IDENTIFY ALL TREES TO REMAIN ON SITE WITH THE CORRESPONDING TREE PROTECTION AND PROTECTION BARRIERS. PROVIDE A TREE PROTECTION BARRIER DETAIL ON PLAN AS APPROVED BY CITY OF HOLLYWOOD. OUTLINE THE TREE PROTECTION BARRIER TO SCALE AROUND EACH TREE/PALM TO REMAIN ON PLAN.
19. PROVIDE A BULLET TREE NUMBER, COMMON NAME, BOTANICAL NAME, DBH, OVERALL HEIGHT, SPREAD, CONDITION, AND DISPOSITION (TO REMAIN, TO BE RELOCATED, TO BE REMOVED). SHOW ALL CANOPY INCLUDING CROWNS OF TREES FROM ADJACENT LOT LOCATED WITHIN 10' FROM PROPERTY LINE.
20. SHOW ALL TREES ON SITE TO SCALE. SUPERIMPOSE EXISTING TREES ON PROPOSED SITE PLAN. THE TREE LEGEND MUST INCLUDE THE TREE NUMBER, COMMON NAME, BOTANICAL NAME, DBH, OVERALL HEIGHT, SPREAD, CONDITION, AND DISPOSITION (TO REMAIN, TO BE RELOCATED, TO BE REMOVED). SHOW ALL CANOPY INCLUDING CROWNS OF TREES FROM ADJACENT LOT LOCATED WITHIN 10' FROM PROPERTY LINE.
21. PROVIDE SIGHT TRIANGLES ON PLANS AT INTERSECTION OF DRIVEWAY AND PROPERTY LINE.
22. NOTE PLANT REQUIREMENTS, SOE TREES, SOE SHRUBS - SEC. 3.4.
23. LABEL ALL SIDES OF PROPERTY WEATHER THERE ARE EXISTING OVERHEAD POWERLINES OR NO OVERHEAD POWERLINES. PROVIDE FOR APPROVED TREES FOR PLANTING UNDER POWERLINES.
24. TREE REMOVAL DISCLAIMER: WRITE THIS STATEMENT ON ALL SHEETS FOR EXISTING/PROPOSED LANDSCAPE: "TREES AND PALMS SHALL NOT BE REMOVED WITHOUT FIRST OBTAINING AN APPROVED TREE REMOVAL PERMIT FROM THE CITY OF HOLLYWOOD."
25. REMOVE ALL EQUIPMENT, WHERE REQUIRED FOR SCREENING PURPOSES, HEDGE SHALL BE PLANTED AT EQUIPMENT HEIGHT FOR VISUAL SCREENING.
26. NO TREE REMOVALS ALLOWED WITHOUT AN APPROVED CITY OF HOLLYWOOD TREE REMOVAL PERMIT.
27. FOR BUILDING PERMITS: NO TREE REMOVAL OR PLANTING ALLOWED WITHOUT AN APPROVED SUB-PERMIT.
28. EQUIPMENT (TRANSFORMERS, ETC. WITH THE EXCEPTION OF FIRE HYDRANTS) MUST BE SCREENED ON AT LEAST THREE SIDES BY LANDSCAPE MATERIAL A MINIMUM OF 30 INCHES TALL. LANDSCAPING MUST NOT INTERFERE WITH THE NORMAL OPERATION OF THE EQUIPMENT.
29. IF YOU ARE PLANNING A PROJECT ON YOUR PROPERTY THAT INVOLVES DIGGING, SUCH AS INSTALLING A MAILBOX, FENCES, PLANTING TREES, ETC. YOU ARE ENCOURAGED TO CALL 811 A FEW DAYS BEFORE YOU START TO MAKE SURE YOU DO IT SAFELY. UTILITY COMPANIES WILL MARK BURIED LINES SO THAT YOU CAN DIG SAFELY AROUND THEM. VISIT CALL811.COM FOR DETAILS.

ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: --
DRAWN: EG LANDSCAPING GENERAL NOTES DRAWING NO.: L-05
APPROVED: JG

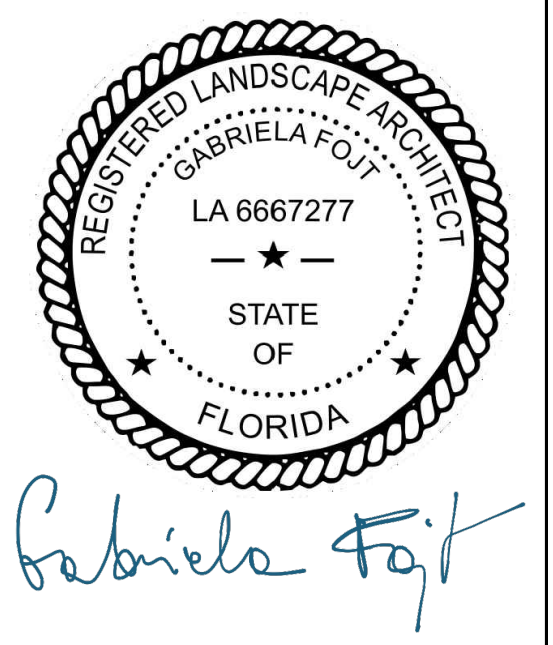
SECTION

TOP VIEW

NOTES:

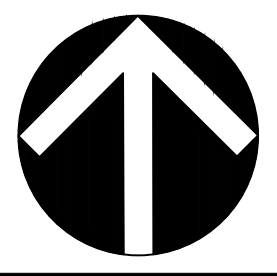
1. BARRICADE CIRCLE TO BE CENTERED ON TREE TRUNK(S). FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.
2. TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT EXISTING, RELOCATED AND NEW TREES IN CONSTRUCTION AREAS. THE PROTECTIVE BARRIER SHALL BE PLACED AROUND THE TREE AT A DISTANCE 5 FEET FROM THE TREE TRUNK OR AT THE CANOPY DRIP LINE, WHICHEVER IS GREATER OR AS SHOWN ON LANDSCAPE PLAN.

ISSUED: MAY 2023 DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION REVISED: --
DRAWN: EG TREE PROTECTION DETAIL DRAWING NO.: L-08
APPROVED: JG



The Mirror of Paradise
Gabriela Fojt
LA 6667277
ISA FL-10207A

2300 E Oakland Park Blvd
Suite 208
Fort Lauderdale
FL 33306
c. (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



SCALE	AS NOTED
DESIGNED BY	GF
DRAWN BY	KM,GF
CHECKED BY	GF
DATE	01.29.2026
REVISIONS	
per City comments	04.16.2026

HERNANDEZ RESIDENCE
1036 JEFFERSON STREET
HOLLYWOOD, FL

NOTES & DETAILS

5
JOB CARD

OWNER

JOB ADDRESS

Trevathan

1036 Jefferson Street

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

514214021130

MICROFILM NO.

ARCHITECT

FEE

VALUATION

88 MISC T

None

\$52.50

\$ 2500.00

DESCRIPTION OF CONSTRUCTION

Replace A/C.

- SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	21349	1-13-88	AAA Modern
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRI VEWAY			
FENCE				PATIO or WALK			

NOTES:

County surcharge - \$1.05

OWNER:

JOB ADDRESS:

CONSTRUCTION	DATE	PLUMBING	DATE	AIRCONDITIONING	DATE	NOTES
FOUNDATION		1st ROUGH		A/C HEAT DUCTS		
PILING		2nd ROUGH		DUCTS		
GRADE BEAM		SEPTIC/SEWER		MECHANICAL		
SOIL		SEWER SKETCH				
SLAB-BLDG.		GREASE TRAP		FINAL	1-29-88	
PADS/COLUMNS		GAS				
TIE BEAM				FIRE BUREAU		
FRAMING		FINAL		SPEC. INSP.		
LATHING						
TIM CAP/TILE		ELECTRIC	DATE	FINAL-ENG.		
SCREEN ENCLOSURE		TEMPORARY POLE				
MATERIAL FINAL		ROUGH		UTILITIES		
POOL STEEL		SLAB		SEWER TAP		
CONC. SLAB/GRADE		TEMPORARY FINAL		BONDS		
C/A STRUCTURE				BLDG. FORM		c/o DATE:
		FINAL		ZONING FINAL		rec'd by:

NAME OF OWNER

ADDRESS

LEGAL DESCRIPTION

COST

DESCRIPTION OF CONST.

ARCHITECT:

WELL/pump under violation/Clyde Owens, Inc. or

PERMIT TYPE

NO.

DATE

TO WHOM

FIXT. or OUT.

BLDG.

ROOF

ELECTRICAL

185

12-30-69

Cuddy Elec

100 to 150-800

PLUMBING

GAS

SEPTIC, SEWER

A/C DUCTS

224

1-12-70

CLYDE OWENS

SCREEN ENCL.

POOL

DRIVEWAY

FENCE

A/C

238

1-14-70

Whitson

INSPECTIONS

FOUNDATION	PLUMBING	ELECTRIC
FTING	1st ROUGH	TEMP POLE
GRADE BEAM	2nd ROUGH	ROUGH
SOIL	SEPTIC SEWER	SLAB
SLAB	SEWER SKETCH	TEMP. FINAL
PADS COLUMNS	GREASE TRAP	POOL
TIE BEAM	FINAL	FINAL 2-16-70
FRAMING	GAS	A/C HEAT DUCTS
LATHING		DUCTS
ROOF TIN CAP TILE		A/C 1-28-70
SCREEN ENCL.	CERT OF OCCUPANCY	HEAT
MATERIAL FINAL		
POOL		BOND
STEEL FINAL	SURVERY DATE	
Well + Pump 1-28-70	1st	C/A DATE
	2nd	REC'D BY
	BLDG FORM	P & L
		GAS

JOB CARD

OWNER
Hangel

JOB ADDRESS
1036 Jefferson St.

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

VALUATION

\$ 15.00

\$ 500.

DESCRIPTION OF CONSTRUCTION

Fumigation

- SEPTIC TANK
- SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	82785	6-27-83	BIPS	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County Surcharge: .20

OWNER:

JOB ADDRESS:

CONSTRUCTION	DATE	PLUMBING	DATE	AIRCONDITIONING	DATE	NOTES
FOUNDATION		1st ROUGH		A/C HEAT DUCTS		
PILING		2nd ROUGH		DUCTS		
GRADE BEAM		SEPTIC/SEWER		MECHANICAL		
SOIL		SEWER SKETCH				
SLAB-BLDG.		GREASE TRAP		FINAL		
PADS/COLUMNS		GAS				
TIE BEAM				FIRE BUREAU		
FRAMING		FINAL		SPEC. INSP		
LATHING						
TIN CAP/TILE		ELECTRIC	DATE	FINAL-ENG.		
SCREEN ENCLOSURE		TEMPORARY POLE				
MATERIAL FINAL		ROUGH		UTILITIES		
POOL STEEL		SLAB		SEWER TAP		
CONC. SLAB/GRADE		TEMPORARY FINAL		BONDS		
C/A STRUCTURE				BLDG. FORM		c/o DATE:
		FINAL		ZONING FINAL		rec'd by:

JOB CARD

OWNER: Dengel JOB ADDRESS: 1036 Jefferson Street

LEGAL DESCRIPTION: LOT NUMBER: BLOCK: SUBDIVISION OR ADDITION:

MICROFILM NO.: ARCHITECT: FEE: \$ 22.40 VALUATION: \$ 3000

DESCRIPTION OF CONSTRUCTION: replace 32 windows to awning type

SEPTIC TANK
 SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	54727	6/5/79	Quality Ctrl	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREENS			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$1.05

OWNER:

JOB ADDRESS:

CONSTRUCTION	DATE	PLUMBING	DATE	AIRCONDITIONING	DATE	NOTES
FOUNDATION		1st ROUGH		A/C HEAT DUCTS		
PILING		2nd ROUGH		DUCTS		
GRADE BEAM		SEPTIC/SEWER		MECHANICAL		
SOIL		SEWER SKETCH				
SLAB-BLDG.		GREASE TRAP		FINAL		
PADS/COLUMNS		GAS				
TIE BEAM				FIRE BUREAU		
FRAMING		FINAL		SPEC. INSP.		
LATHING						
TILE CAP/TILE		ELECTRIC	DATE	FINAL-ENG.		
SCREEN ENCLOSURE		TEMPORARY POLE				
MATERIAL FINAL		ROUGH		UTILITIES		
POOL STEEL		SLAB		SEWER TAP		
CONC. SLAB/GRADE		TEMPORARY FINAL		BONDS		
C/A STRUCTURE	12-26-79			BLDG. FORM		c/o DATE:
		FINAL		ZONING FINAL		rec'd by:

18 permits were found for
1036 JEFFERSON ST

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B22-103089	POOL - RESIDENTIAL	6/20/2022	
Details		B22-102252	FENCE-CHAIN LINK &/OR WOOD	4/7/2022	5/17/2022
Details		B15-103000	REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE	6/12/2015	6/22/2015
Details		B09-104021	FENCE-CHAIN LINK &/OR WOOD	10/13/2009	10/21/2009
Details		P08-100472	GAS PIPING	4/21/2008	4/30/2008
Details		P07-100850	NATURAL GAS SERVICE	11/19/2007	12/5/2007
Details		E07-100186	OUTLETS,SERVICE,PANELS,ETC	7/11/2007	7/11/2007
Details		P07-100074	PLUMBING WORK	7/10/2007	7/10/2007
Details		B07-100098	ALTERATIONS-INTERIOR	5/10/2007	7/10/2007
Details	33789	M0700319	A/C - CENTRAL - REPLACEMENT	4/5/2007	4/13/2007
Details		B9906222	DRIVEWAY		10/5/1999
Details		B9906219	STORM SHUTTERS		10/5/1999
Details		E9604777	ELECTRICAL WORK		11/27/1996
Details		B9604579	STORM SHUTTERS		6/27/1996
Details		B9405040	RE-ROOF-METAL,TILE,WOOD SHINGLE OR SHAKE		8/10/1994
Details		E9200897	SERVICE CHANGE-SINGLE FAMILY RESIDENCE		4/10/1992
Details		P22-100951	POOL PIPING AND FILTER EQUIPMENT		
Details		E22-101577	ELECTRICAL WORK		



CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

Letter of Transmittal

To: City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33022-4807
Phone: (954) 921-3300 • Fax: (954) 921-3037

Date: 7/28/99
Process Number: 83493
Project/Reference: _____

For Review By: (check all applicable spaces)

Division: Building Zoning Engineering Fire Water/Sewer Drainage
Discipline: Structural Electrical Plumbing Mechanical Reserve Capacity Charges

From: PAVER CENTER & SHUTTERS
Address: 4400 NO FEDERAL HWY
FT. LAUD.
Contact: NICKI
Phone: () 770-3338 Fax: ()

PLANS SUBMITTED: (check)

Architectural sheet # _____
 Structural sheet # _____
 Electrical sheet # _____
 Mechanical sheet # _____
 Plumbing sheet # _____
 Water sheet # _____
 Fire sheet # _____
 Zoning sheet # _____
 Engineering sheet # _____
 RCC sheet # _____
 Drainage sheet # _____
 Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check)

Via hand delivery Postal delivery
 special delivery fax copy

initial (original) sets of plans
 corrected (non-permitted) plans
 revised (permitted) plans
 shop drawings: structural steel
 wood trusses
 glass/glazing
 product approvals
 fire protection

spot survey
 final survey
 energy (insulation) certification
 special inspector letter
 soil report
 inspection reports
 energy calcs
 site plans
 other

Special Instructions:

For Departmental Use Only:

Received by: [Signature] Date: 7/28/99

CITY OF HOLLYWOOD, FLORIDA PERMIT APPLICATION



ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135:

DATE 7-23 MASTER PERMIT # _____ MASTER PROCESS # 83493
 TAX FOLIO # _____
 LEGAL DESCRIPTION: LOT 24 BLOCK 55 SUBDIVISION _____
 JOB NAME JAROSLAW KUTYNSKY PHONE # 925-7581
 JOB ADDRESS 1036 JEFFERSON ST. CITY HOLLYWOOD STATE FL ZIP 3319
 WORK DESCRIPTION: INSTALL PAVERS IN DRIVEWAY
 ESTIMATED VALUE: \$ 3650.00
 CONTRACTOR'S NAME PAVER CENTER + SHUTTERS INC. PHONE # 776-3338
 CONTRACTOR'S ADDRESS 4460 N. Federal Hwy CITY FT. LAUD. STATE FL ZIP 33308
 CERTIFICATE OF COMPETENCY # 96-1430W FAX # 492-8769
 OWNER NAME JAROSLAW KUTYNSKY
 OWNER ADDRESS 1036 JEFFERSON ST.
 BONDING COMPANY _____
 BONDING COMPANY ADDRESS _____ CITY _____ STATE _____
 ARCHITECT/ENGINEER'S NAME _____ PHONE # _____
 ARCHITECT/ENGINEER'S ADDRESS _____ CITY _____ STATE _____
 MORTGAGE LENDER'S NAME _____
 MORTGAGE LENDER'S ADDRESS _____ CITY _____ STATE _____

1999 JUL 28
 CITY OF HOLLYWOOD
 BUILDING DIVISION
 ZIP

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, BOILERS, TANKS, AIR CONDITIONERS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

X SIGNATURE Jaroslav Kutynsky
Owner or Agent

DATE 7/23/99

NOTARY as to Owner or Agent

My Commission Expires _____

SIGNATURE [Signature]
Prime Contractor (Owner/Builder)

DATE _____

NOTARY as to Contractor

My Commission Expires _____

By Building Department: PROCESS FEE PAID \$ _____ APPLICATION APPROVED BY _____

Permit Officer



CITY of HOLLYWOOD, FLORIDA

GEN. JOSEPH W. WATSON CIRCLE • P.O. BOX 229045 • ZIP 33022-9045

DATE: 7-23

PERMIT PROCESS NO. _____

PERMIT NO. _____

NAME: JAROSLAW KUTYNSKY

ADDRESS: 1036 JEFFERSON ST. HOLLYWOOD, FL.

In the event the City of Hollywood must excavate in the public right-of-way or easements, the owner of the property listed herein has indicated with their signature, they shall be responsible for:

Restoration of a driveway constructed of stamped concrete, decorative paving blocks or any type of paving, concrete construction, or surface dressing not included as part of the City's standards.

I, _____ owner of the above property hereby certify and accept the responsibility for the item(s) noted above.

Jaroslav Kutynsky
Signature

Date

(Seal)
Notary Public,
State of Florida

Date

My Commission expires:

1999 JUL 28 P 1:18
CITY OF HOLLYWOOD
BUILDING DIVISION

HISTORICAL

AREA

PLEASE DO REVIEW

AND

COMPUTER

DESIGN REVIEW

Date: _____ REVIEWER: _____

Property Address: _____

APPROVED AS SHOWN

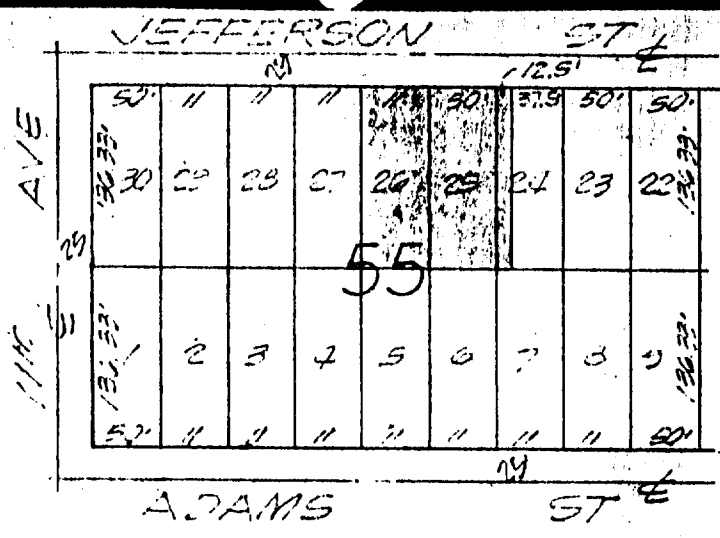
APPROVED WITH CONDITIONS
(Conditions on back of sheet)

DENIED

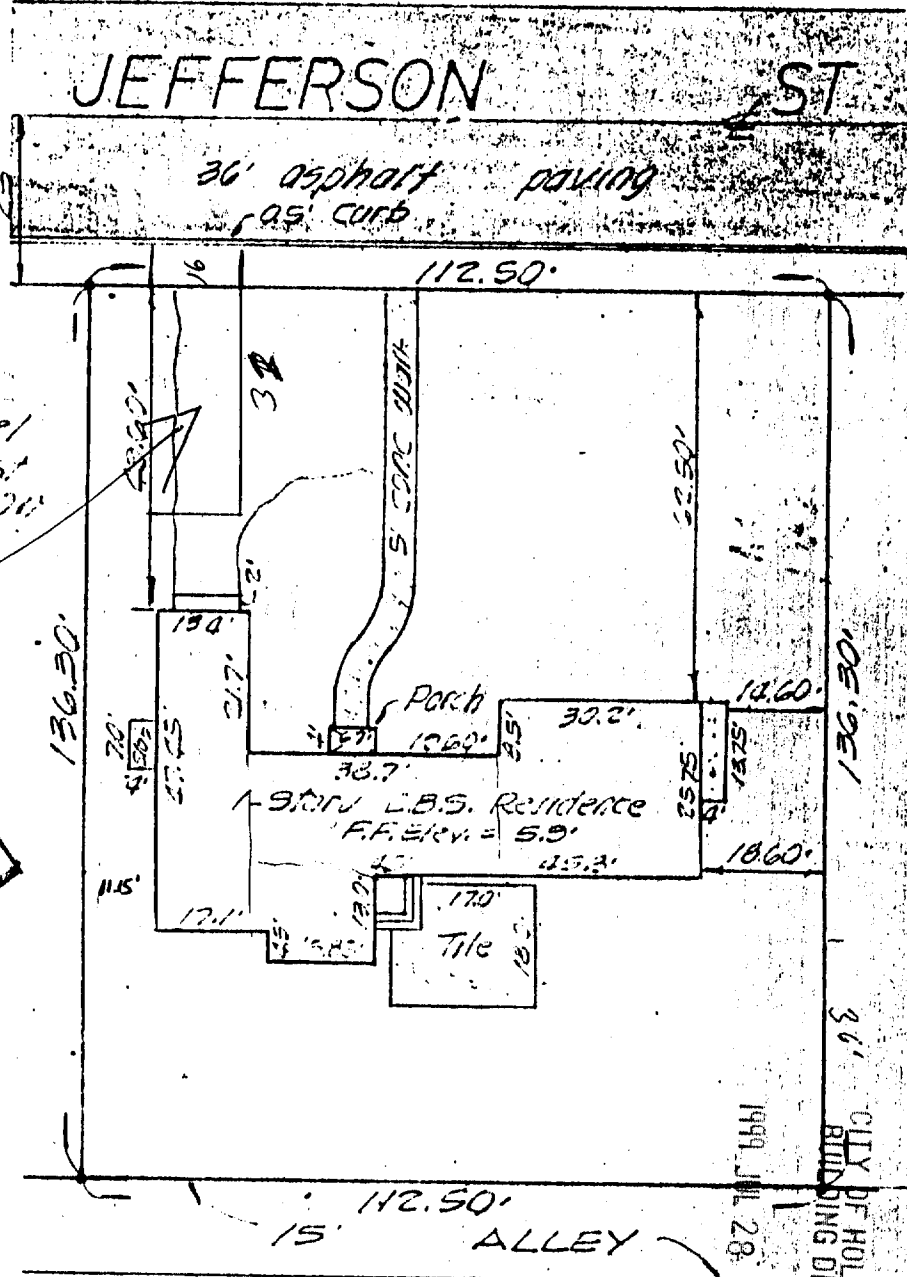
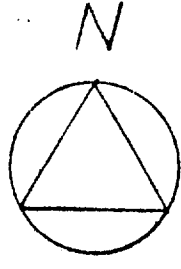
SHEET _____ OF _____

This Property described as:
 The West 12.5 feet of Lot 24 and All
 of Lots 25 and 26, Block 55;
~~HOLLYWOOD BY THE SEA~~, HOLLYWOOD LAKES
 SECTION, according to the plat thereof,
 as recorded in Plat Book 1, Page 32 of
 the Public Records of Broward County,
 Florida.

Certified To: First Nationwide
 Savings.



LOCATION MAP
 SCALE: 1" = 150'



Note
 Elevation shown refers to
 N.G.V.D. Mean Sea Level
 F.F. Elev. denotes lowest
 Residence Floor Elevation

STANLEY
 WALKERS

THE NFP FLOOD MAPS HAVE DESIGNATED
 THE HEREIN DESCRIBED LAND TO BE
 SITUATED IN ZONE **A-1**

PROPERTY OF: Trevathan, 1036 Jefferson Street, Hollywood, Florida.

I HEREBY CERTIFY that the survey
 represented hereon meets the mini-
 mum requirements adopted by the
 F.S.P.L.S. and the F.L.T.A. and
 there are not encroachments, over-
 laps, easements appearing on the
 plat or visible easements other than
 as shown hereon.
Kenna M. Linn
 FL. Reg. Surveyor No. 2243
 FL. Reg. Engineer No.

LANNES and GARCIA, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS
 P. O. Box 561131
 Miami, Florida 33156
 DATE: 6-23-83
 SCALE: 1" = 30'
 DRAWN BY: L.L.
 DRWG. NO.: 183-5380



CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

Letter of Transmittal

To: City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33022-4807
Phone: (954) 921-3300 • Fax: (954) 921-3037

Date: 11 / 9 / 99 ³⁴

Process Number: 84093

Project/Reference: 83493

For Review By: (check all applicable spaces)

Division: Building Zoning Engineering Fire Water/Sewer Drainage

Discipline: Structural Electrical Plumbing Mechanical Reserve Capacity Charges

From: PAVER CENTER & SUPPLERS

Address: 4460 NO. FEDERAL HWY
FORT LAUDERDALE FL 33308

Contact: NICK I

Phone: () 776-3338 Fax: () _____

PLANS SUBMITTED: (check)

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Sewer sheet # _____
<input type="checkbox"/> Water sheet # _____	

NOV - 1999
2:43
CITY OF HOLLYWOOD
BUILDING DIVISION

WE ARE SUBMITTING TO YOU (check)

Via hand delivery Postal delivery
 special delivery fax copy

initial (original) sets of plans
 corrected (non-permitted) plans
 revised (permitted) plans
 shop drawings: structural steel
 wood trusses
 glass/glazing
 product approvals
 fire protection

spot survey
 final survey
 energy (insulation) certification
 special inspector letter
 soil report
 inspection reports
 energy calcs
 site plans
 other

Special Instructions:

WALK THROUGH REQUESTED
FOR PAUSES ON WALKWAY
ADDITION TO PERMIT
#89906222

For Departmental Use Only:

Received by: [Signature] Date: 11.9.99

CITY OF HOLLYWOOD, FLORIDA PERMIT APPLICATION



ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135:

DATE _____ MASTER PERMIT # _____ MASTER PROCESS # 83423

TAX FOLIO # _____

LEGAL DESCRIPTION: LOT 25426 BLOCK 55 SUBDIVISION HOLLYWOOD LAKES SECTION

JOB NAME JAROSLAW KUTYNSKY PHONE # _____

JOB ADDRESS 1036 JEFFERSON ST. CITY HOLLYWOOD STATE FL ZIP _____

WORK DESCRIPTION: INSTALLATION OF PAVERS ON WALKWAY

Sq. Ft. 355 ESTIMATED VALUE: \$ 1800⁰⁰

CONTRACTOR'S NAME PAVER CENTER & SHUTTERS PHONE # 776-3338

CONTRACTOR'S ADDRESS 4460 NO. FED. HWY. CITY FT. LAUD. STATE FL ZIP 33308

CERTIFICATE OF COMPETENCY # _____ FAX # _____

OWNER NAME _____

OWNER ADDRESS _____

BONDING COMPANY _____

BONDING COMPANY ADDRESS _____ CITY _____ STATE _____ ZIP _____

ARCHITECT/ENGINEER'S NAME _____ PHONE # _____

ARCHITECT/ENGINEER'S ADDRESS _____ CITY _____ STATE _____

MORTGAGE LENDER'S NAME _____

MORTGAGE LENDER'S ADDRESS _____ CITY _____ STATE _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, BOILERS, TANKS, AIR CONDITIONERS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE Jaroslav Kutynsky
Owner or Agent

DATE 11/5/99

SIGNATURE [Signature]
Prime Contractor (Owner/Builder)

DATE 11/5/99

NOTARY PUBLIC JOEL JACK BROWN
MY COMMISSION # CC 875013
EXPIRES: October 2, 2003
Bonded Thru Notary Public Underwriters

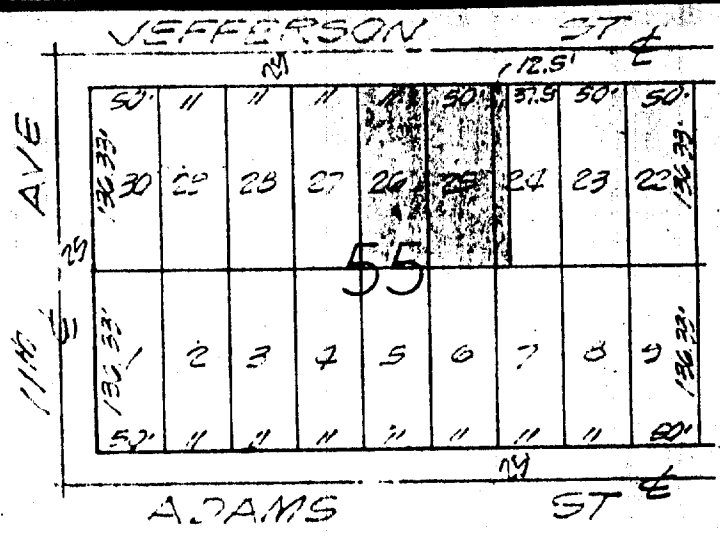
NOTARY PUBLIC JOEL JACK BROWN
MY COMMISSION # CC 875013
EXPIRES: October 2, 2003
Bonded Thru Notary Public Underwriters

By Building Department: PROCESS FEE PAID \$ _____ APPLICATION APPROVED BY _____

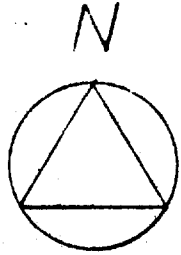
Permit Officer

This Property described as:
 The West 12.5 feet of Lot 24 and All
 of Lots 25 and 26, Block 55,
~~HOLLYWOOD BY THE SEA~~, HOLLYWOOD LAKES
 SECTION, according to the plat thereof,
 as recorded in Plat Book 1, Page 32 of
 the Public Records of Broward County,
 Florida.

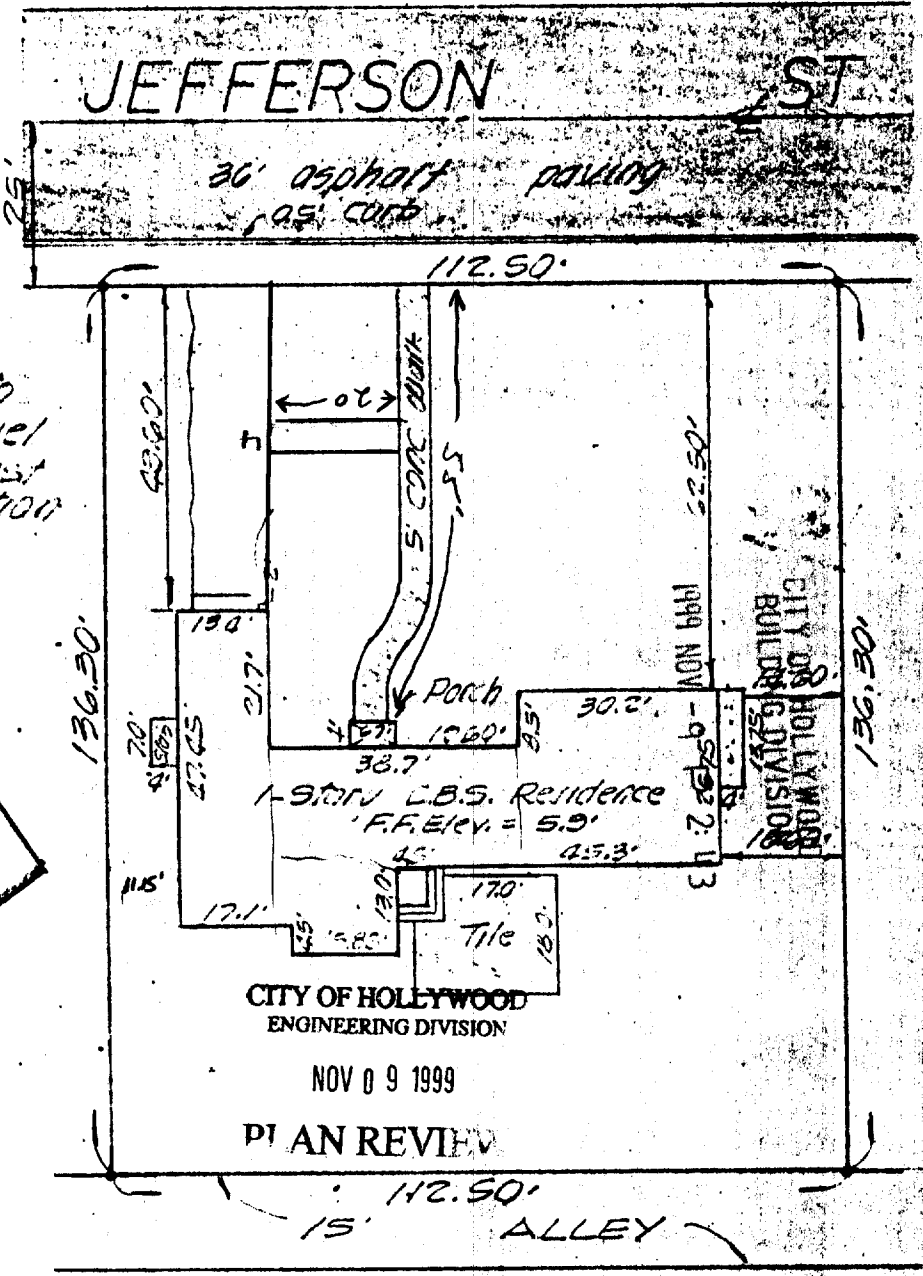
Certified To: First Nationwide
 Savings.



LOCATION MAP
 SCALE: 1" = 150'



Note
 Elevation shown refers to
 N.G.V.D. Mean Sea Level
 F.F. Elev. denotes Lowest
 Residence Floor Elevation



THE NFIP FLOOD MAPS HAVE DESIGNATED
 THE HEREIN DESCRIBED AND TO BE
 SITUATED IN ZONE **A1**

PROPERTY OF: Trevathan, 1036 Jefferson Street, Hollywood, Florida.

I HEREBY CERTIFY that the survey
 represented hereon meets the mini-
 mum requirements adopted by the
 F.S.P.L.S. and the F.L.T.A. and
 there are not encroachments, over-
 laps, easements appearing on the
 plat or visible easements other than
 as shown hereon.

Anna M. Lutz
 FL. Reg. Surveyor No. 2243
 FL. Reg. Engineer No.

LANNES and GARCIA, INC.
 ENGINEERS - LAND SURVEYORS - LAND PLANNERS

P. O. Box 561131
 Miami, Florida 33156

DATE 6-28-99	SCALE 1" = 30'	DRAWN BY L.L.	DRWG. NO. 183-5380
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CITY of HOLLYWOOD, FLORIDA

GEN. JOSEPH W. WATSON CIRCLE • P.O. BOX 229045 • ZIP 33022-9045

DATE: 9/8/99

PERMIT PROCESS NO. 83493

PERMIT NO. _____

NAME: JAROSLAW KUTYNSKY

ADDRESS: 1036 JEFFERSON ST.

In the event the City of Hollywood must excavate in the public right-of-way or easements, the owner of the property listed herein has indicated with their signature, they shall be responsible for:

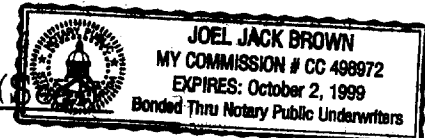
Restoration of a driveway constructed of stamped concrete, decorative paving blocks or any type of paving, concrete construction, or surface dressing not included as part of the City's standards.

I, JAROSLAW KUTYNSKY owner of the above property hereby certify and accept the responsibility for the item(s) noted above.

Jaroslav Kutynsky
Signature

9/8/99
Date

Joel Jack Brown
Notary Public,
State of Florida



9/8/99
Date

My Commission expires: OCT. 2, 1999



CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

Letter of Transmittal

To: City of Hollywood
2600 Hollywood Blvd.
Hollywood, FL 33022-4807
Phone: (954) 921-3300 • Fax: (954) 921-3037

Date: 9/17/99
Process Number: 83493
Project/Reference: _____

For Review By: (check all applicable spaces)

Division: Building Zoning Engineering Fire Water/Sewer Drainage

Discipline: Structural Electrical Plumbing Mechanical Reserve Capacity Charges

From: PAVER CENTER & SHUTTERS

Address: 4460 NO. FEDERAL HWY
FORT LAUD. FL. 33308

Contact: NICKI

Phone: 954-716-3338 Fax: () _____

PLANS SUBMITTED: (check)

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

WE ARE SUBMITTING TO YOU (check)

Via hand delivery Postal delivery
 special delivery fax copy

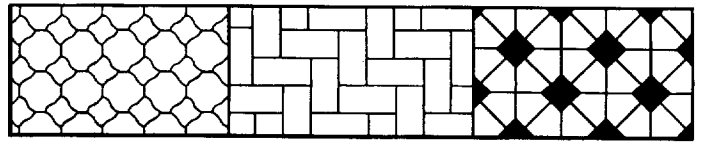
initial (original) sets of plans
 corrected (non-permitted) plans
 revised (permitted) plans
 shop drawings: structural steel
 wood trusses
 glass/glazing
 product approvals
 fire protection

spot survey
 final survey
 energy (insulation) certification
 special inspector letter
 soil report
 inspection reports
 energy calcs
 site plans
 other

Special Instructions:
SUBMITTAL OF
ADDITIONAL INFORMATION
REQUIRED.

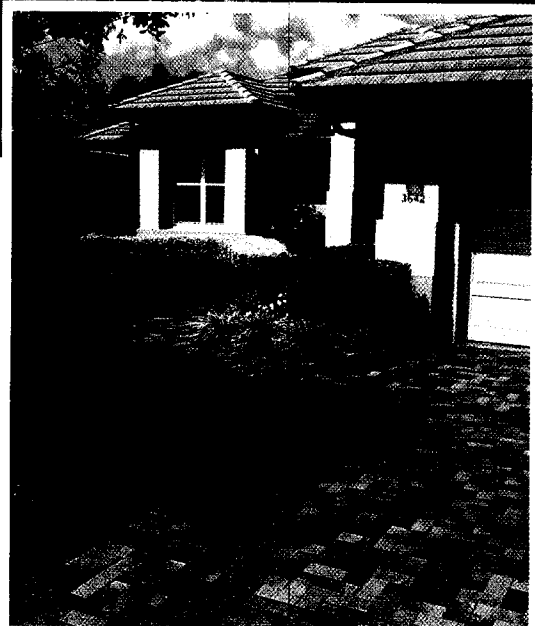
For Departmental Use Only:
Received by: Dongren Date: 9/17/99

AMERICAN PAVERS



MANUFACTURING, INC.

BORDER



The BRICK paver is reminiscent of quaint European streets and open plazas. More durable than clay brick, it has a warmth of texture and is available in a wide array of decorator colors.

Concrete Pavers have a multitude of uses for both residential and commercial properties. Projects range from pool decks and driveways to retail plazas and streetscapes.

Their segmental design, flexibility, durability, easy maintenance and cost effectiveness make concrete pavers popular among architects, site engineers and landscape architects.

American Pavers is a privately American owned company with over fourteen years experience. We offer the latest, most innovative designs, materials and colors in paving products. Over 250 colors are available as well as custom colors, textures and patterns.

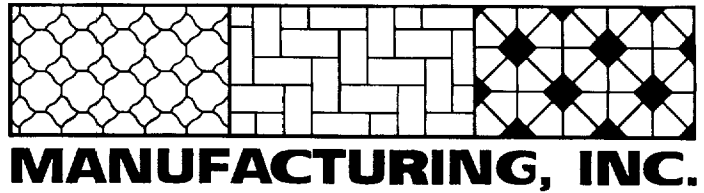
American Pavers Guarantee:

We stand behind our products and fully warranty them for 10 years against structural failure. Structural failure means: Paver breaking in (2) two under normal traffic and with proper base support.

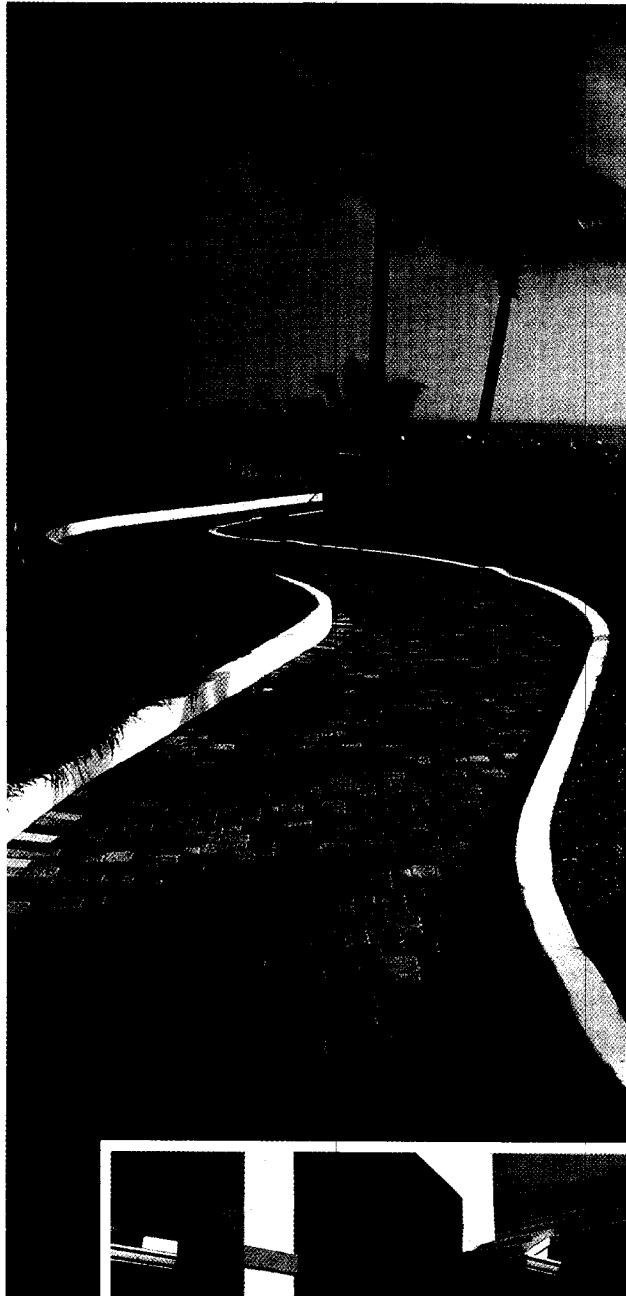


Brick

AMERICAN PAVERS



DRIVEWAY
CHARISMA



Beautifully intricate yet subtle in design, the CHARISMA paver combines two scored shapes in a single paver. This durable low maintenance paver provides a real touch of elegance in a wide range of settings.

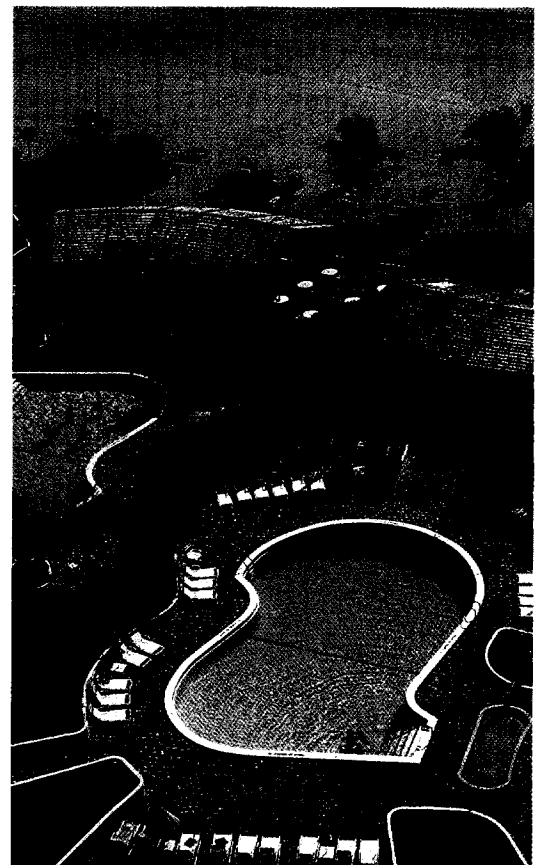
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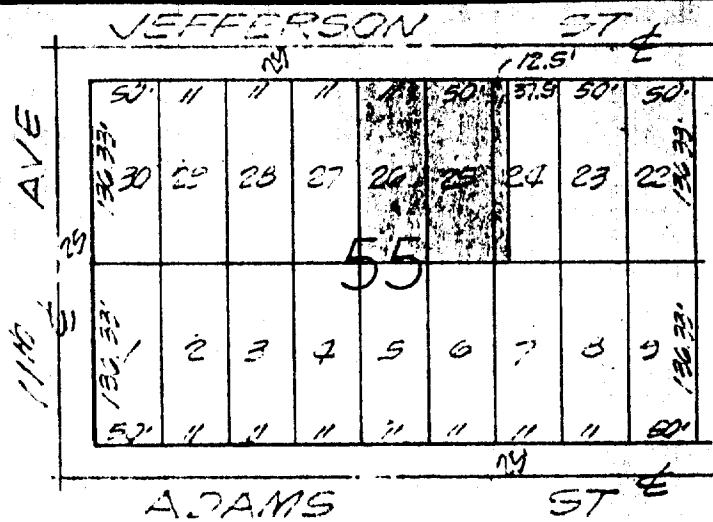


Charisma

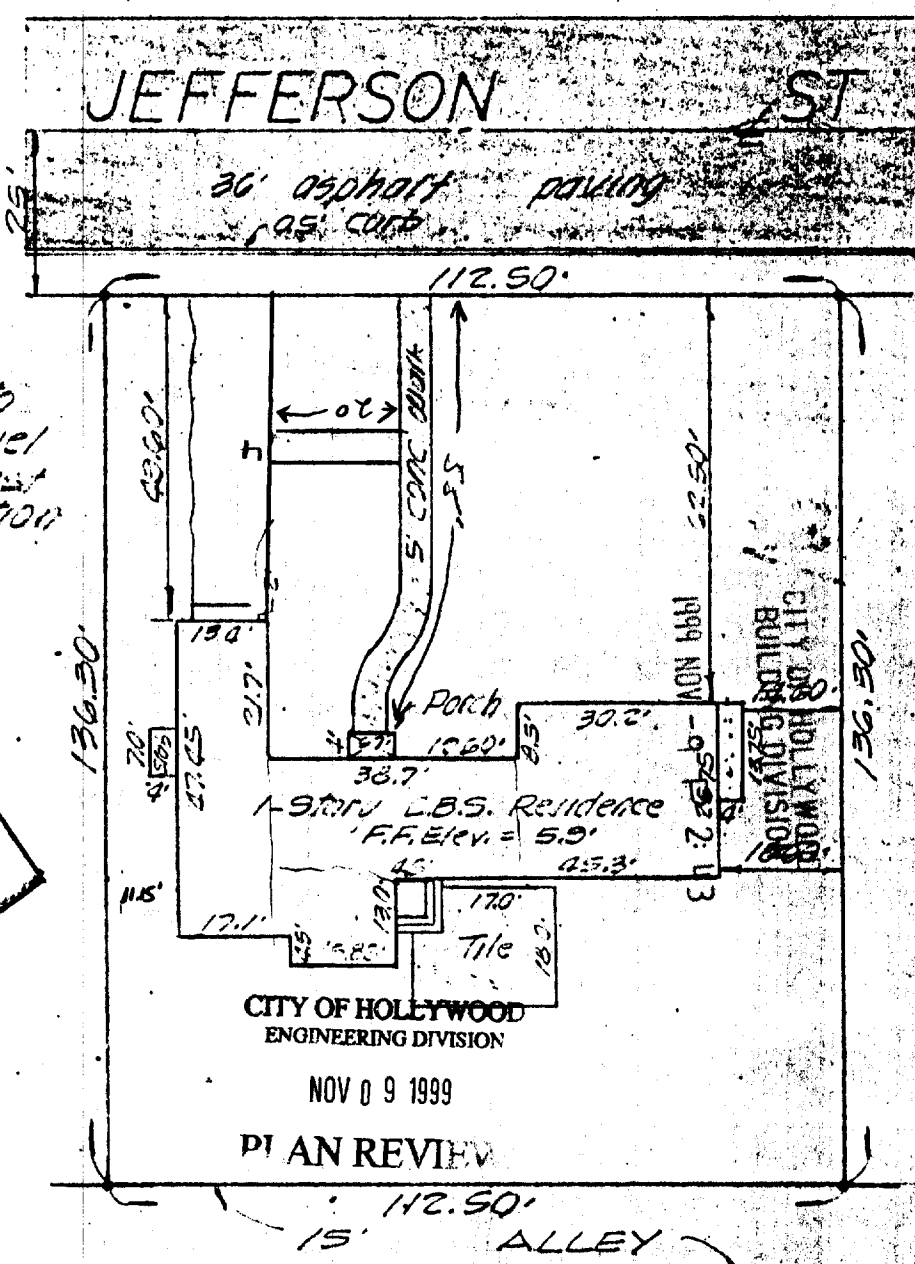
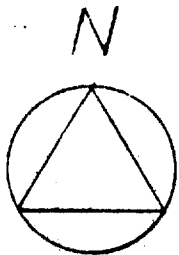
4-6

This Property described as:
The West 12.5 feet of Lot 24 and All
of Lots 25 and 26, Block 55;
~~HOLLYWOOD BY THE SEA~~, HOLLYWOOD LAKES
SECTION, according to the plat thereof,
as recorded in Plat Book 1, Page 32 of
the Public Records of Broward County,
Florida.

Certified To: First Nationwide
Savings.



LOCATION MAP
SCALE: 1" = 150'



Note
Elevation shown refers to
N.G.V.D. Mean Sea Level
F.F. Elev. denotes lowest
Residence Floor Elevation

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Kevin M. L...
FL. Reg. Surveyor No. 2243
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LANNES and GARCIA, INC.
ENGINEERS - LAND SURVEYORS - LAND PLANNERS

P. O. Box 561131
Miami, Florida 33156

DATE: 6-28-83 SCALE: 1" = 30' DRAWN BY: L.L. DRWG. NO.: 183-5380



KUTYNSKY RESIDENCE
1036 JEFFERSON ST.



KUTYNSKY RESIDENCE
1036 JEFFERSON ST.