



ZTI-LLC

ZACK TANNER INDUSTRIES

3482 NE 12 Terrace
Oakland Park, Florida 33334

Mailing address: 2813 NE 21 Avenue Fort Lauderdale Florida 33306

CPC1458094

zti-llc.com

954.462-0226

ztanner@bellsouth.net

DATE: January 19, 2026
NAME: Driftwood community center Swimming Pool
ADDRESS: 3000 North 69th Avenue
Hollywood Florida
CONTACT: Joanne Cione
PHONE: office (561) 802-7600 cellular (954) 822-2296
EMAIL: joanne@floridapoolfills.com
CONCERNING: Revised Proposal from site meeting on Jan 14, 2026

SCOPE OF WORK: Installation of a new PVC Membrane with all new PVC compliant floor return fittings, new filter system, pump and strainer and removal and reinstallation of existing BECsystem5 chemical controller, and several additions items added from previously provided proposal dated Sept.12, 2025

1. Provide and pay for engineering drawings, and all applicable permit fees.
2. Install a barrier at main access gate to prevent any unauthorized personnel from entering work area.
3. Perform a leak test on all existing piping and gutter boxes.
4. Open all hydrostatic main drain plugs.
5. Drain pool. **Control hydrostatic water issues by connecting up to 3 dewatering pumps to alleviate any potential hydrostatic ground water pressure from damaging the existing pool shell. If applicable.**
6. Cut out and remove all liner materials from pool including exiting wall targets and current pvc membrane, existing geotextile fabric currently under the existing membrane if present, including removal of existing PVC cap covering existing front area of gutter trough and all gutter grating.
7. Remove existing tiles depth markers currently installed in concrete pool deck and stick-on foot and depth markers currently stuck to existing stainless gutter system and reinstall new tiled depth markings to replace current ones in deck and install new stick- on foot and depth markings in appropriate locations all to be no further than 25 lineal feet apart and within 3" accuracy to existing depth as per Florida State Health Department code.
8. Spackle over all existing wall joints, imperfections in the pools walls or floor areas to assure no depressions in the new membrane are visible and as smooth as possible prior to installation of any geotextile fabric or pvc membrane installation.
9. Mobilize out of state and country PVC membrane installation crews, working with ZTI crews.
10. Apply an Antimicrobial either sprayed on or rolled on to entire pool shell to help prevent bacterial or microbial growth under the system.
11. Apply an adhesive to the entire pool shell which will hold in place 10.5-ounce geotextile 100 mill fabric fleece which will be applied and adhered to the entire pool shell, as necessary.

Continued on page 2.

12. Install new 60-mill PVC membrane utilizing Renolit PVC pool membrane materials to entire pool shell. **NOTE:** The floor materials down to 5 feet of depth must be applied with embossed Anti slip PVC membrane materials as per the Florida State Health Dept. code. **NOTE:** This means the entire floor area will need to be embossed membrane. All wall areas will be covered with Smooth PVC membrane materials. The material will be for entire pool structure including the existing lip of the gutters system. All membrane materials will be hand cut, and hand heat fused together by a combination of ZTI's crews and site supervision along with some of the most experienced PVC membrane welders **in the world** Color White or light blue.
13. All coping caps will be removed and replaced with new.
14. Hand saw cut and jackhammer out concrete around all of the existing floor returns in order to cut off and remove all of the existing floor return fitting bodies and replacement of new with PVC compliant floor return fittings that will not require the face plates to be screwed in to anchor the new membrane; instead they will be so the new membrane will be heat fused around the face plate body fittings to eliminate the need for further screws or screw fastened face plates. This is highly recommended by both ZTI and the membrane manufacturer.
15. Provide all new custom face plates for any wall fittings, perimeter coping lip and main drain grate areas with no screw technology.
16. Remove all existing cross brace ladders and replace them with new stainless steel coated commercially approved crossed braced ladders and new ladder bumpers to be installed into existing anchor sockets.
17. Provide and pay for an electrical continuity test.
18. Provide and install 4 new lane lines and 8 new wall targets at the same location as existing. **NOTE:** Although you can go with the traditional light blue membrane on the pools entire wall and floor areas and the traditional black lane lines and wall targets, I highly suggest utilizing color white on the entire pool structure as the light blue tends to fade over time to almost white in color, (as your existing membrane is experiencing now) if you start with white as it fades it will only turn whiter, for the lane lines and wall targets we recommend a color called Caribbean blue which is a dark but vibrant shade of blue but you can certainly choose traditional black color if you prefer. The color white membrane with the Caribbean blue color lane lines and wall targets completely change the light blue and black lane lines look more commonly used which provides a much better aesthetic appearance, provides uniqueness, and does not cost any additional monies.
19. Installation of ladder bumper protectors to PVC membrane at all ladder locations total of 3.
20. Remove all existing gutter grating and replace with new FRP grating color white.
21. Lower main drain sumps and grating to assure main drains grates are as flush as possible to newly installed PVC membrane materials. **NOTE:** The termination around the main drain grating will be within ¼" of flushness as it cannot be exactly flush in order to properly seal the new membrane.
22. Install new air release valves at the top edge of the liner in various positions to relieve trapped air during any fill proceedings.
23. Install underwater clean out fittings at the pools deep end in case of water intrusion through liner as they can be utilized to alleviate any entrapped water under the liner in the future if the conditions arises without the need to drain the pool but is only needed for purposes of intentional vandalism which creates a hole of some sort or the development of any type of tear in the liner for some reason.

Continued on page 3.

24. Remove all existing filtration system, pumping system, and all existing plumbing, piping, and valving. And haul away to legal dump site.
25. At this point we will need to remove the northern access double doors as well as remove a portion of the pump room wall to the southwest and the existing one electrical socket in order for us to make enough room to enable us to bring in and maneuver the new filtration equipment.
26. Once the filter is in place we will clean up the entire pump room, rebuild the wall back to original size, replace the existing double door with a new metal double door and replace the electrical socket back to original condition.
27. At this point we will thoroughly hand sand the entire pump room floor and evaluate the floor slope to ensure it has positive slope towards the existing drains. **NOTE:** This is necessary as the current health inspector will evaluate this to make sure the floor meets slope ratio codes and must be done of course prior to installation of the new filtration equipment.
28. If the floor does not slope to drains fast enough, we will apply a new layer of cement skim coat to achieve proper floor slopes, if it currently does have positive drainage we will then continue on with an application of a new epoxy speckled floor over the entire pump room floor. This will not only improve its ability to resist wear against chemical corrosion and overall blunt force of heavy object but will dramatically improve its overall aesthetics. **NOTE:** This will be done at no charge, it is just what we do on all of our jobs to improve the overall results and project longevity.
29. Install one new EKO 3 Gen2 42"x42.0 sq. Ft. high-rate permanent media sand filter, flow rate is based on 42 sqft filter area at 16 GPM/sqft @ 670gpm. With internal lateral and distribution manifolds, 6" backwash valve connections, manual and auto air relief, with 16" manway cover with see through window and 3" drain port. 100psi; NSF 50 certified. Complete with EKO3 gen2 filter system piping kit: 6" infl/eff x6" tank connections for eko-42420 single tank filter system. 78- 55lb bags of permanent glass filter media , shipping weight of 1,032 lbs. operating weight of 123,127 lbs. with a 15-year factory warranty.
30. Install one new 20 HP precision control Nema motor control center w/ MCC-VFD. 68 amps.
31. Install one new ½ H.P 115 -230 VAC 1ph 60 hertz ODP motor pressure amplification pump.
32. Install one new 4x5x9.5 close coupled flooded suction pump with 3M scotch Kote fusion bonded epoxy coating 134 with 3-year factory warranty.
33. Install one new 6"x5" AMF FRP vinyl ester resin with UV inhibitors and integral vent package with 316 SS basket with a clear acrylic lid which comes with a 5-year shell warranty, 1 year of lids, baskets, and gaskets.
34. Install one new precision control AMF strainer 8"x5" FRP Vinyl Ester resin with UV inhibitors and integral vent plug, with clear acrylic lid and 316 SS. Basket with welded handle with a 5-year FRP shell warranty, 1 year warranty on lids, baskets, and gaskets.
35. Install one new BECS SYSTEM 7 chemical controller system factory calibrated and complete with new ORP and PH. controls, flow cell, communications module with all new tubing, and one additional set of probes to have available as spare set.
36. Upon completion of the filtration systems filtration, pumps, piping, pressure gauges, and valving all piping will be color coded painted with varying colors which indicate incoming cool water with color blue, heated water with color red, brown color for waste piping etc. All piping will have stick on labeled directional arrows and piping functionality.
37. We will replace or reseal all gutter anchors and flanges, as necessary.
38. All supplied equipment is covered by on-site service and warranty program, administered by a factory trained service technician or qualified agents provided by CES of Jupiter Florida.
39. Required electrical hook up of new motors and any other electrical equipment to be provided by a state certified Electrical Contractor and paid for by ZTI.

Continued on page 4.

40. Fill pool with your hose facility.
41. Initial one-time stabilization of pool chemistry.
42. Project will at all times be staffed by a full-time site superintendent of ZTI-LLC.
43. ZTI will provide and pay for either a 20 cubic yard dumpster or utilize its own dump trailers for removal of all debris.

NOTE: A sample of the new floor fitting used to prevent the need for any screws for floor fittings was provided to Joanne Cione at the time of our site meeting.

Responsibilities of Customer:

1. Provide adequate parking for all company vehicles as close as possible to pool site without charge.
2. Provide lavatory facilities for all ZTI personnel.
3. Provide all required water and electricity for duration of project.
4. For scheduling purposes, please notify us by end February 2026 of award or denial of project to assure our availability.
5. Allow us to use your overhead lights at night if needed to stay on schedule at no charge.
6. Provide permissible hours of operation Monday through Sunday with noise and without.
7. Provide color selection of PVC membrane materials for main pool and lane line/wall targets.

TOTAL PROPOSED PRICE: \$800,000.00 NOTE: See optional price reduction as explained in our attached letter Labeled optional price offer.

NOTE:

PAYMENT SCHEDULE:

\$200,000.00 Due upon acceptance of contract.

\$600,000.00 Balance due on Fridays at the end of each work week by 5:00 P.M. over the 12-week projects duration in 12 equal payments of \$50,000.00. **NOTE:** If project slows down or speeds up the monies will follow suite. For example, if it rains for 2 weeks straight and no work gets accomplished no monies will be required or requested for those two weeks pay draws, on the other hand if we make great strides and are able to finish the project in 4 weeks rather than five, we will bill for and expect payment to be doubled upon to keep up with the project progression. In either case it will be a very obvious condition and will be a mutually agreed upon issue. This payment method has worked very well over the past 15 years with previous customers and projects and is extremely fair to both parties concerned.

NOTE: Pricing provided is good for a period of 30 days as we cannot control others price increases.

NOTE: This offer is a no change order contract which means that the price quoted will not be increased for any reason by ZTI unless owner requests the change order or if the condition presents itself as explained in the next paragraph below labeled IMPORTANT NOTICE.

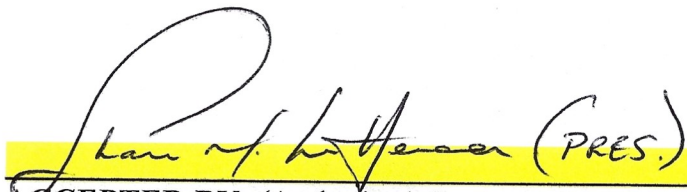
Continued on page 5.

IMPORTANT NOTICE: Due to the uncertainty of the pool's leak condition, or the uncertainty of the pool's current electrical conductivity rating if any leaks are determined or the pool's electrical conductivity test fails additional costs would be incurred by owner and their related costs would be based on the severity of the leaks or conductivity location breach or breach's locations.

Project duration to be: 12 weeks barring inclement weather.

Project warranty for PVC membrane portion of the project to be: 20 years manufacturer's warranty including labor and materials against water leaking through PVC membrane seams or any face plates, returns fittings, gutter, coping or main drains. 3 years labor and materials against any other work provided deemed to be caused by contractor error.

NOTE: Any distribution of any portion of this proposal is not to be given to any persons for any reason without the express written consent of ZTI personnel.

 (PRES.)

ACCEPTED BY: (Authorized Customer Signature)

3/12/2026

DATE:

PREPARED BY: Zack C. Tanner, President
Stuart Mead,

954-275-8652
954 695-2343

ztanner@bellsouth.net
stuartmead8235@gmail.com

Continued on page 6.

Page 6. CUSTOMER: Driftwood Community Center

Section 1: The work order proposal is only valid for 30 days unless accepted in writing by the buyer. The proposal once agreed to and signed supersedes any previous or subsequent agreements.

Section 2: Unless otherwise stated, the price does not include permits. Customer will be responsible for providing three (3) copies of a signed and sealed property survey for obtaining the permit. Permit will be obtained by Contractor and paid for by Customer.

Section 3: The definition of a contractor section 489.103(3) Florida Statutes is one who "undertakes himself or by others" to do construction work. The customer is contracting with and only with licensed contractor.

Section 4: If project includes any type of brick installation, it is computed on a SQ FT and LINEAL FT basis. All pricing is an estimated cost. Due to the various building codes throughout Florida, the cost of construction will vary drainage issues, swales, footers, setbacks, etc. Our sales personnel will try to be as accurate as possible.

Section 5: Should Customer refuse any portion of material deliveries for any reason, a restocking fee and additional freight fees will be applicable.

OWNER'S RESPONSIBILITIES:

(A) The Owner warrants that he owns the land upon which the project is to take place, or that he has full authority from the owner thereof, or all co-owners, to enter into this contract, and the owner will indemnify and hold harmless the Contractor in all manners arising on this contract.

(B) The Owner agrees to supply the Contractor with required current and valid surveys of Owner's property. Further, the Owner agrees to verify the project location, dimensions, and elevation after it is set by contractor's personnel, and accepts full responsibility for same. Minor variations in dimension or elevations shall not affect the validity of this contract, nor the Owner's responsibility under it.

(C) Unless otherwise stated herein, site preparation includes removal (and reinstallation if applicable) or protection of trees, shrubs, or other vegetation, removal of any underground sprinklers, pipelines, septic tanks, electrical lines or any other objects on the property, any fencing, hurricane shutters, or tracking.

(D) The Owner shall grant the contractor ample access area for equipment, personnel and materials delivered to the site and shall furnish adequate water and electrical power and grant the right to store materials and debris during course of construction. The Owner assumes full responsibility for clearance damage to anything in the area of access whether it be the Owner's property or that of a neighbor. The contractor is specifically held free of responsibility for damage to landscaping, sod shrubs, trees, fencing, walls, sprinklers, paving driveways, curbs, sidewalks, septic tanks, sewer lines, water lines, or other items above or below ground in the area of access and or construction.

(E) It is agreed that the Contractor shall be permitted to perform his work without interruptions or delays, or any other acts of negligence caused by the Owner or the Owner's representative.

(F) If project includes brick pavers installation, efflorescence may form on the surface of the concrete pavers during the first two years after installation. It is caused by the reaction of carbon dioxide in the air and free calcium hydroxide within the paver and will form a white film on the top of the surface. With further exposure, the efflorescence will become a highly soluble calcium hydrogen carbonate which will be normally washed away by rain.

(G) With any concrete products there may be variations in color and texture which is beyond our control.

PERSONAL PROPERTY: The Owner agrees that all equipment and materials placed on his property for use in construction will remain in the private property of the Contractor until the sums due in the Contract have been paid in full.

INSURANCE OF CONTRACTOR: The Contractor carries public liability and property damage insurance and workman's compensation.

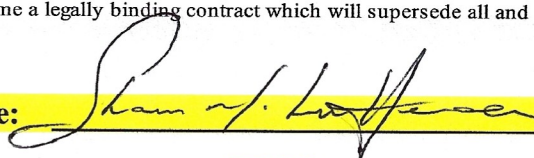
CONTRACTORS REMEDIES IN THE EVENT OWNER DEFAULTS: (A) Owner will be in default if (1) any payment called for under this contract is not paid promptly when due. (2) Any agreement made by the Owner is not promptly performed or. (3) any conditions warranted by the Owner prove to be untrue. (B) In the event of default by Owner, Contractor may do any or all of the following: (1) Suspend the work and remove materials from the premises. (2) remove any of the equipment for use in the construction whether or not it has been installed. In this regard, Owner agrees that Contractor may enter upon Owner's property for the purpose of repossessing such equipment without liability to Owner for trespass or any other reason. (3) retain monies paid hereunder, regardless of the stage of completion of the work and attorney's fees (including fees incurred in connection with appeals) incurred by Contractor in enforcing its rights under this contract. Contractor and owner agree that any claim or action by either party, arising from the existence of this Contract or any other warranty provided hereunder, shall be brought in the appropriate state court in Broward County, Florida. (C) Owner agrees that no claims may be filed under the warranty unless and until the indebtedness to Contractor is paid in full.

The Contractors shall not be responsible for damages or delays resulting from acts of GOD, riots, civil commotions or disorders, delays or defaults by carriers or inherent defects on premises in which work is to be done, strikes, fires, accidents, storms, or other causes beyond its reasonable control. The contractor shall not be responsible for the movement and/or shifting of the subsurface soil and foundation of any structures nor any other activity that may occur that is beyond our control.

Every attempt will be made to mark off areas where work is in progress. However, it is the responsibility of the customer to keep any non-authorized persons from the designated areas. Contractor cannot accept any responsibility for any accident or liabilities whether they occur on the premises marked off or not.

This estimate proposal when signed will become a legally binding contract which will supersede all and any previous subsequent agreements.

Authorized Customer Signature:



Date: 3/12/2026

ZTI-LLC