

PARCEL A.

ALL OF BLOCK 40, HOLLYWOOD HILLS NORTH SECTION ONE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 68, PAGE 20, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED LOTS:

LOT 31 BEGINNING AT THE EASTERMOST CORNER OF LOT 31 OF BLOCK 41 OF SAID PLAT, THE FOLLOWING THREES (3) COURSES BEING: (1) ALONG THE NORTHEASTLY, EASTERLY AND SOUTHERLY LINE OF A 250.0 FOOT RADIUS CURVE BEARING S 92°15'00" EAST (PLAT BEARING) 25.00 FEET TO THE POINT OF TANGENCY OF A 250.0 FOOT RADIUS CURVE BEARING WEST 7°15'00" (PLAT BEARING) EASTERLY, SOUTHERLY AND SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 39.82 FEET; (2) THENCE SOUTH 37°45'00" WEST 7.99 FEET; (3) THENCE NORTH 89°17'54" WEST 61.84 FEET, THENCE NORTH 37°45'00" EAST ALONG THE SOUTTHEASTLY LINE OF SAID LOT 31 A

61, HOLLYWOOD HILLS NORTH SECTION ONE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE FOLLOWING
ACELS:

- [illegible]

61-A, HOLLYWOOD HILLS NORTH SECTION ONE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT 20, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE FOLLOWING CELLS:

- [illegible]

PARCEL D:

ALL OF BLOCK 29-A, EMERALD HILLS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 68, PAGE 26, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED PARCELS:

- ALL THAT PORTION OF SAID BLOCK 29-A LYING SOUTH OF AN EASTERLY EXTENSION OF THE NORTH LINE OF BLOCK 29 OF SAID PLAT, SAID EXTENSION COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK 29.

2. BEGINNING AT THE WESTMOST CORNER OF LOT 30, BLOCK 21 OF SAID PLAT, THENCE SOUTH 45°00'00"E/ST ALONG THE SOUTHWEST LINE OF SAID LOT 30, A DISTANCE OF 45.00 FEET; THENCE SOUTH 30°00'00"E/ST 26°00'00"E THENCE NORTH 45°00'00"E/ST 45.00 FEET TO THE BOUNDARY LINE OF SAID BLOCK 29 OF SAID PLAT, THENCE NORTH 45°00'00"E/ST ALONG SAID BOUNDARY LINE 20.00 FEET TO THE POINT OF BEGINNING.

[illegible]

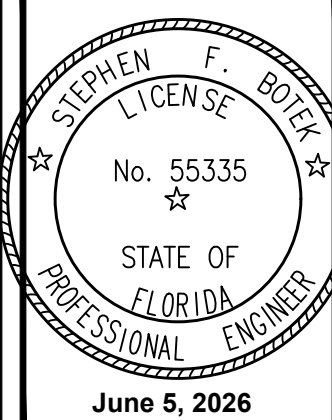
ALSO LEADS AND EXCEPT THE FOLLOWING:

OUTPARCEL 1, OFFICIAL RECORDS BOOK 5458, PAGE 424, BROWARD COUNTY RECORDS
OUTPARCEL 2, OFFICIAL RECORDS BOOK 1544, PAGE 314, BROWARD COUNTY RECORDS
OUTPARCEL 3, OFFICIAL RECORDS BOOK 18557, PAGE 304, BROWARD COUNTY RECORDS
OUTPARCEL 4, OFFICIAL RECORDS BOOK 18475, PAGE 184, BROWARD COUNTY RECORDS
OUTPARCEL 5, OFFICIAL RECORDS BOOK 18776, PAGE 178, BROWARD COUNTY RECORDS
OUTPARCEL 6, OFFICIAL RECORDS BOOK 17044, PAGE 184, BROWARD COUNTY RECORDS
OUTPARCEL 7, OFFICIAL RECORDS BOOK 1867, PAGE 325, BROWARD COUNTY RECORDS
OUTPARCEL 7, OFFICIAL RECORDS BOOK 17451, PAGE 184, BROWARD COUNTY RECORDS
OUTPARCEL 8, OFFICIAL RECORDS BOOK 17147, PAGE 961, BROWARD COUNTY RECORDS
OUTPARCEL 9, OFFICIAL RECORDS BOOK 17172, PAGE 336, BROWARD COUNTY RECORDS
OUTPARCEL 10, OFFICIAL RECORDS BOOK 17141, PAGE 961, BROWARD COUNTY RECORDS
OUTPARCEL 11, OFFICIAL RECORDS BOOK 18088, PAGE 187, BROWARD COUNTY RECORDS
OUTPARCEL 12, OFFICIAL RECORDS BOOK 18088, PAGE 187, BROWARD COUNTY RECORDS
OUTPARCEL 12, OFFICIAL RECORDS BOOK 18088, PAGE 187, BROWARD COUNTY RECORDS
OUTPARCEL 13, OFFICIAL RECORDS BOOK 18613, PAGE 24774, BROWARD COUNTY RECORDS
OUTPARCEL 14, OFFICIAL RECORDS BOOK 13311, PAGE 1420, BROWARD COUNTY RECORDS
OUTPARCEL 15, OFFICIAL RECORDS BOOK 18088, PAGE 187, BROWARD COUNTY RECORDS
OUTPARCEL 16, OFFICIAL RECORDS BOOK 18088, PAGE 187, BROWARD COUNTY RECORDS
SAD LANDS LING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

SAID LANDS LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 7,236,781 SQUARE FEET (166.134 ACRES), MORE OR LESS.

CP-0	CIVIL COVER SHEET
CP-1	CIVIL GENERAL NOTES AND SPECIFICATIONS
CP-1.1	CITY OF HOLLYWOOD GENERAL NOTES
CP-ENG-1	ENGINEERING PLAN

#	DATE	REVISIONS



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CIVIL COVER SHEET

EMERALD HILL
Site P - Park
Hollywood, Florida

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BTE PROJECT #:
22-0401

PROJECT DATE:
6-5-2024

SHEET #:

CP-0

[illegible]

 SITE MAP - N.T.S.

GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES, ENGINEERING, TRANSPORTATION & MOBILITY DIVISION, AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
7. ELEVATIONS SHALL BE IN FEET AND REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
8. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING/STORAGE AREA. CONTRACTOR SHALL SECURE STAGING/STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
9. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
10. CONTRACTOR SHALL CLEAN/SWEEP THE ROAD AT LEAST ONCE A DAY OR AS REQUIRED BY THE ENGINEER.
11. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN/ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
12. CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 6:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
13. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
14. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF DEVELOPMENT SERVICES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
17. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: —
	DRAWN: EG	GENERAL NOTES (1 OF 2)	DRAWING NO.: C-01
	APPROVED: JG		

18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION, AND CITY OF HOLLYWOOD DEPARTMENT OF DEVELOPMENT SERVICES STANDARDS.
19. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
20. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
21. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS/REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CITY ENGINEER.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
23. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
24. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN/VEHICULAR TRAFFIC.
25. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
26. ALL RAMPS, SIDEWALK CURB RAMPS, AND, ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT AND SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX, LATEST EDITION.
27. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SOODED.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
29. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
30. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
31. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
32. THE CITY PREFERS THAT IT'S OWN POLICE OFFICERS PROVIDE TRAFFIC CONTROL TO ENSURE SAFE AND EFFICIENT INTERSECTION OPERATIONS IS MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION, THEREFORE, PLEASE CONTACT MR. JANEL DIXON TO ARRANGE FOR A DETAIL TO PROVIDE THIS SERVICE. HE MAY BE REACHED AT 954-967-4500 OR VIA EMAIL AT jdixon@hollywoodfl.org.
33. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED, REFER TO BCTED, PAVING MARKINGS AND SIGNS DETAILS PLAN, LATEST EDITION.
34. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



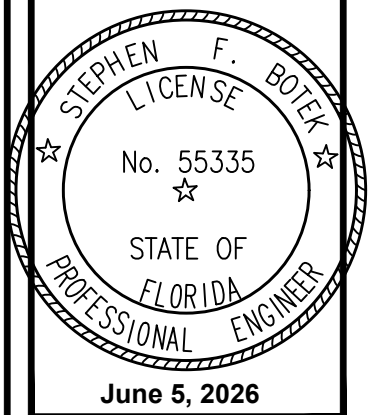
	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: —
	DRAWN: EG	GENERAL NOTES (2 OF 2)	DRAWING NO.: C-02
	APPROVED: JG		

STANDARD PROCEDURE FOR ROW PERMITS:

1. ENGINEERING DIVISION WILL NOT ISSUE R.O.W. PERMITS UNTIL THE UTILITY COMPANY SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING.
2. A REPRESENTATIVE FROM THE UTILITY COMPANY MUST ATTEND THE PRE-CONSTRUCTION MEETING, ALONG WITH THE CONTRACTOR AND/OR SUB-CONTRACTOR ACTUALLY PERFORMING THE WORK. CONTACT INFORMATION FOR THE UTILITY COMPANY REPRESENTATIVE AND THE CONTRACTOR PERFORMING THE WORK MUST BE PROVIDED FOR EACH PROJECT DURING THE PRE-CONSTRUCTION MEETING.
3. PERMITS WILL BE ISSUED FOR A DEFINED PERIOD OF TIME, AND ARE ONLY VALID DURING THE SPECIFIED TIME. THE PERMIT DURATION WILL BE DETERMINED DURING PLAN REVIEW AND WILL BE BASED ON THE SCOPE OF WORK. THE PERMIT WILL ONLY BE VALID DURING THE TIME PERIOD STATED ON THE APPROVED PLANS.
4. WHEN CROSSING OF THE CITY'S CRITICAL OPERATIONAL INFRASTRUCTURE, WHICH IS GENERALLY ANY UTILITY PIPE SIZES 12" AND GREATER, UTILITY COMPANY MUST SUBMIT A SIGNED LETTER FROM AN AUTHORIZED PERSON FROM THE COMPANY, ACKNOWLEDGING THAT THE PROJECT PROPOSES TO CROSS SUCH INFRASTRUCTURE. THIS LETTER SHOULD BE SUBMITTED DURING INITIAL PERMIT SUBMITTAL TO PREVENT DELAYS IN ISSUANCE OF R.O.W. PERMIT. THE LETTER SHALL BE ACCOMPANIED BY A MAP SHOWING THE LOCATION OF ALL SUCH CRITICAL INFRASTRUCTURE BEING CROSSED AND SUCH MAP SHALL BE ON THE COVER PAGE OF THE PERMIT PLAN SET.
5. PERMITS MUST BE ONSITE DURING CONSTRUCTION. ANY CITY EMPLOYEE WITH PROPER IDENTIFICATION CAN STOP AND ASK A CONTRACTOR FOR THEIR PERMITTED SET OF PLANS, AND STOP WORK FOR ANY CONTRACTOR WHO DO NOT PRESENT A VALID PERMITTED SET OF PLANS. A CONTRACTOR WORKING OUTSIDE OF THE PERMIT ISSUANCE WINDOW IS CONSIDERED TO BE WORKING WITHOUT A PERMIT, AND WILL BE SUBJECT TO ISSUANCE OF A VIOLATION FOR DOING WORK WITHOUT A PERMIT. VIOLATIONS FOR WORK WITHOUT A PERMIT CAN RESULT IN SUSPENSION OF A CONTRACTOR'S ABILITY TO OBTAIN PERMITS TO WORK WITHIN THE CITY.
6. WHEN A PROPOSED UTILITY CROSSES AN EXISTING CITY GRAVITY SANITARY SEWER OR DRAINAGE PIPE, THE UTILITY COMPANY MUST TELEVIEW THE PIPE, AND PROVIDE VIDEO AT THE POINT OF CROSSING. A CLEAR SKETCH WITH DIMENSIONS MUST BE PROVIDED IDENTIFYING THE CROSSING POINT. THIS HAS TO BE DONE PRIOR TO SCHEDULING FINAL INSPECTION.
7. WHENEVER A PROPOSED UTILITY CROSSES EXISTING CITY UTILITIES, THE DEPTH OF THE EXISTING CITY UTILITIES MUST BE FIELD VERIFIED VIA SOFT DIGS, OR OTHER ACCEPTABLE METHODS THAT CAN ACCURATELY DETERMINE THE TRUE DEPTH OF THE EXISTING UTILITY. IF A METHOD OTHER THAN SOFT DIG IS UTILIZED TO IDENTIFY THE DEPTH OF EXISTING UTILITIES, THE PERMITTEE MUST NOTIFY THE CITY OF THE METHOD, AND PROVIDE INFORMATION ATTESTING TO THE ACCURACY OF THE METHOD. MINIMUM VERTICAL AND HORIZONTAL SEPARATIONS NOTED ON THE APPROVED PLANS MUST BE PROVIDED.
8. PRIOR TO FINAL INSPECTION, AN AS-BUILT PLAN AND BORE LOG MUST BE SUBMITTED TO THE CITY FOR REVIEW. THE AS-BUILT PLAN MUST CLEARLY IDENTIFY THE DEPTH OF THE CITY'S EXISTING UTILITY AT THE POINT WHERE THE NEWLY INSTALLED UTILITY CROSSES IT, AND THE DEPTH AT WHICH THE NEW UTILITY WAS INSTALLED. THIS IS TO VERIFY THAT PROPER SEPARATION DISTANCES HAVE BEEN PROVIDED.

	ISSUED: MAY 2023	DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING, TRANSPORTATION & MOBILITY DIVISION	REVISED: —
	DRAWN: EG	ROW PERMITS STANDARD PROCEDURE	DRAWING NO.: C-03
	APPROVED: JG		

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CITY OF HOLLYWOOD GENERAL NOTES

EMERALD HILLS

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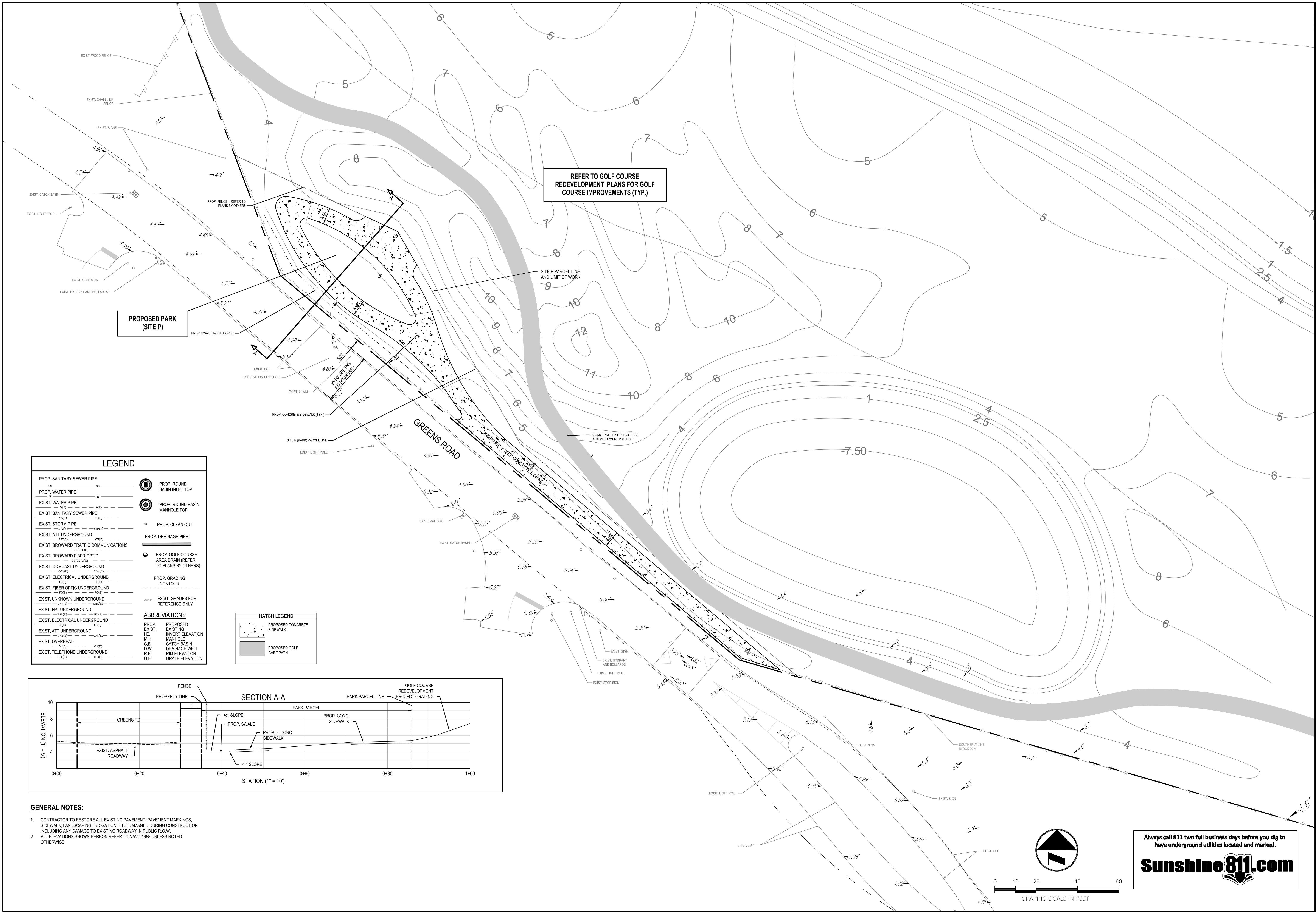
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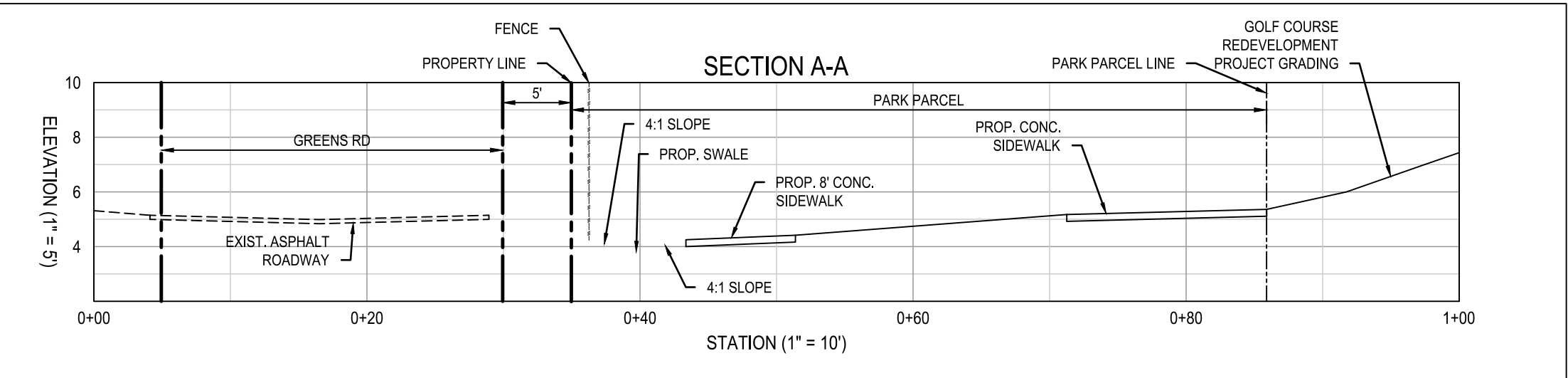
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CP-1.1



LEGEND	
PROP. SANITARY SEWER PIPE	SS
PROP. WATER PIPE	W
EXIST. WATER PIPE	W(E)
EXIST. SANITARY SEWER PIPE	SS(E)
EXIST. STORM PIPE	ST(E)
EXIST. ATT UNDERGROUND	ATT(E)
EXIST. BROWARD TRAFFIC COMMUNICATIONS	BROWARD
EXIST. BROWARD FIBER OPTIC	BROWARD
EXIST. COMCAST UNDERGROUND	COMCAST
EXIST. ELECTRICAL UNDERGROUND	ELE(E)
EXIST. FIBER OPTIC UNDERGROUND	FIBER
EXIST. UNKNOWN UNDERGROUND	UNKNOWN
EXIST. FPL UNDERGROUND	FPL(E)
EXIST. ELECTRICAL UNDERGROUND	ELE(E)
EXIST. ATT UNDERGROUND	ATT(E)
EXIST. OVERHEAD	OH(E)
EXIST. TELEPHONE UNDERGROUND	TEL(E)
PROP. ROUND BASIN INLET TOP	○
PROP. ROUND BASIN MANHOLE TOP	●
PROP. CLEAN OUT	○
PROP. DRAINAGE PIPE	—
PROP. GOLF COURSE AREA DRAIN (REFER TO PLANS BY OTHERS)	—
PROP. GRADING CONTOUR	---
EXIST. GRADES FOR REFERENCE ONLY	---
ABBREVIATIONS	
PROP.	PROPOSED
EXIST.	EXISTING
I.E.	INVERT ELEVATION
M.H.	MANHOLE
C.B.	CATCH BASIN
D.W.	DRAINAGE WELL
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION

HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GOLF CART PATH



- GENERAL NOTES:**
- CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING ANY DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
 - ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE.

BTE REF DATE: 6-5-2026

REVISIONS

DATE

#

STEPHEN F. BOTEK
LICENSE
No. 55335
STATE OF FLORIDA
PROFESSIONAL ENGINEER
June 5, 2026

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ENGINEERING PLAN

EMERALD HILLS
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