

Technical Advisory Committee

Monday, March 18, 2024

1:30 PM

City of Hollywood



Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Room 215

Thank you for demonstrating an interest in the City of Hollywood Technical Advisory Committee meeting. The public may view the meeting either in person or virtually <http://hollywoodfl.org/calendar> and selecting the meeting's date.

Any member of the public wishing to speak on an agenda item, which calls for public comment, may do so either in person or virtually:

In-person:

On the day of the meeting a comment card shall be completely filled out. Comment cards will be available at the start of the meeting and must be received by the Committee Chair prior to the close of public comment for each item. If commenting on multiple items, a comment card shall be completed for each individual item.

Virtually:

Virtual comment is offered as a courtesy. The City is not responsible for technical difficulties that may periodically arise. Pre-registration shall be REQUIRED.

To register use the Meeting Registration and Public Comment Form. If commenting on multiple items, the form shall be completed for each individual item. The form may be found at the following link and shall be submitted by 6:00 PM the day before the meeting:

<https://www.hollywoodfl.org/1248/Public-CommentRegistration-and-Submittal>

Comments CANNOT be read into the record. Public comment shall be limited to three minutes speaking time maximum. Comments left on voicemail machines, emailed, posted to the City's social media accounts shall not be accepted.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. For the hearing and speech impaired at 800-955-8771 (V-TDD).

For additional information or for assistance, please contact Planning and Urban Design Division, at 954-921-3471 option 3 or via email at planningdivision@hollywoodfl.org.

Persons attending meetings shall remain seated at all times unless called upon to speak, will not callout comments during the meeting or make inappropriate hand or facial gestures.

Please silence all cell phones prior to entering the meeting.

A. Roll Call**B. Approval of Minutes**

Attachments: [2024_0304_Minutes.pdf](#)

C. Preliminary Site Plan Review

None

D. Final Site Plan Review

[1. 2024_0318](#)

FILE NO.: 24-DP-02
APPLICANT: 2022 Mayo LLC
LOCATION: 1835 Fletcher Street
REQUEST: Site Plan and Design for a 15-unit residential development.

Attachments: [2402_F_Application_Package_Part_1_2024_0318.pdf](#)
[2402_F_Application_Package_Part_2_2024_0318.pdf](#)

E. Old Business**F. New Business**

Text Amendment to the Zoning and Land Development Regulations amending Articles 2, 3, 4, 5, and 6 relative to the Development Review Process, Zoning Relief measures, and the intent of the Planned Development zoning district

G. Adjournment

Legal descriptions for each of the above petitions is on file in the Department of Development Services.

Two or more members of the same city board, commission, or committee, who are not of this Commission, may attend this meeting and may, at that time, discuss matters on which foreseeable action may later be taken by their board, commission or committee.

Persons with disabilities who require reasonable accommodations to participate in City programs and/or services may call Clarissa Ip, ADA Coordinator/City Engineer, five business days in advance at 954-921-3915 (voice) or email: cip@hollywoodfl.org. If an individual is hearing or speech impaired, please call 1-800-955-8771 (V-TDD).

Note: Pre-Application Conceptual Overview (PACO) conference will be held immediately following conclusion of the Technical Advisory Committee (TAC). PACO is a non-sunshine conference.



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

Agenda Date: 3/18/2024

Agenda Number:

To: Technical Advisory Committee

Title:

**SUMMARY OF THE MINUTES
TECHNICAL ADVISORY COMMITTEE MEETING**

**CITY OF HOLLYWOOD
2600 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33020**

A. ADMINISTRATIONS

The regular meeting of the Technical Advisory Committee (TAC) convened at 1:47 p.m. on March 4, 2024, at City Hall located at 2600 Hollywood Boulevard, Room 215, and via Cisco WebEx, with the following members present:

Andria Wingett	Director of Development Services
Anand Balram	Planning Division – Planning Manager
Cameron Palmer	Planning Division – Principal Planner
Giselle Hipolito	Building – Plan Examiner
Clarissa Ip	Engineering Division – City Engineer
Rick Mitinger	Engineering Division – Transportation Engineer
Alicia Vereas-Feria	Public Utilities – Utilities Permit Review Administrator
Favio Perez	Landscape Inspector/Plans Examiner
Francisco Diaz-Mendez	CRA – Project Manager
Christopher Crocitto	CRA – Project Manager
Herbert Conde-Parlato	CMED – Economic Development Manager
Chris Clinton	Fire Rescue and Beach Safety – Fire Marshall

The following members from the Department of Development Services – Division of Planning and Urban Design were also present:

Carmen Diaz	Planning Administrator
Reginald White	Planning Administrator
Daniela Solange Baquero-Meza	Development Review Coordinator
Laura Gomez	Associate Planner
Tasheema Lewis	Associate Planner
Shellie Thompson	Assistant Planner
Margaret Smart	Administrative Assistant I
Shira Ridley Risk	Administrative Specialist II

B. APPROVAL OF MINUTES

Motion for approval of the February 20, 2024, minutes was made by Rick Mitinger and seconded by Cameron Palmer. (Approved).

C. PRELIMINARY SITE PLAN REVIEW

1. **FILE NO.:** 24-DP-08
APPLICANT: SENG A Architecture LLC
LOCATION: 2127 N State Road 7
REQUEST: Design and Site Plan Review for a mixed-use development, including 2500 square feet of commercial space and 36 residential units.

Anand Balram asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

Anand Balram opened public comment, and comment was made by Patricia Antrican. No additional comments were submitted and/or made.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Anand Balram and Andria Wingett explained the incorporation of the recently passed Art Ordinance or In Lieu of Parking required for each new development in the City of Hollywood.

2. **FILE NO.:** 24-DP-14
APPLICANT: 2219 Lincoln LLC
LOCATION: 2219 Lincoln Street
REQUEST: Design and Site Plan Review for a 109-unit residential development.

Anand Balram asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

Anand Balram opened public comment, and comments were made by Jonas Caulfield, Patrick Dunne, Patricia Antrican, Mira Stanton, Cat Uden, and Helen Chervin. No additional comments were submitted and/or made.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Anand Balram and Andria Wingett explained the incorporation of the recently passed Art Ordinance or In Lieu of Parking required for each new development in the City of Hollywood.

D. FINAL SITE PLAN REVIEW

3. **FILE NO.:** 23-DP-73
APPLICANT: Allen Konstam – Condra Property Group
LOCATION: 2007-2115 N. Ocean Dr. 309-341 Oklahoma Street, 320-324 Mckinley Street, 320-326 Nebraska Street, 2012 Surf Road

REQUEST: Site Plan review for a mixed-use development with 139 residential units and 87 affordable units, and approx. 15,000 sq. ft. commercial, pursuant to Senate Bill 102 - Live Local Act (OM-Mixed Use Residential)

Anand Balram asked the Applicant if they received a draft copy of the Staff Report. The Applicant responded they received a copy of the Staff Report.

Anand Balram opened public comment, and comments were made by Jonas Caulfield, Julie Greenfield, Robert Rolsten, Zachary Harmon, Bob Glickman, Sierra Grace, Lia Baker, Cat Uden, Jim Culpepper and Helen Chervin. No additional comments were submitted and/or made.

The Applicant asked questions of the Committee. Discussion ensued regarding comments from the staff report. The Applicant shall address all comments and findings as identified by the Committee prior to submitting for TAC Sign-off. Anand Balram and Andria Wingett explained the incorporation of the recently passed Art Ordinance or In Lieu of Parking required for each new development in the City of Hollywood.

E. OLD BUSINESS

Nothing was discussed.

F. NEW BUSINESS

Nothing was discussed.

The next TAC Meeting is scheduled March 18, 2024, and comments are due by March 13, 2024.

G. ADJOURNMENT

The meeting was adjourned at 3:28 p.m.

H. PRE-APPLICATION CONCEPTUAL OVERVIEW (PACO)

There were no items to discuss.



City of Hollywood

Staff Summary

Hollywood City Hall
2600 Hollywood Blvd
Hollywood, FL 33020
<http://www.hollywoodfl.org>

File Number: 1. 2024_0318

Agenda Date:	3/18/2024	Agenda Number:	
To:	Technical Advisory Committee		
Title:	FILE NO.: 24-DP-02 APPLICANT: 2022 Mayo LLC LOCATION: 1835 Fletcher Street REQUEST: Site Plan and Design for a 15-unit residential development.		

GENERAL APPLICATION

APPLICATION DATE: _____

2600 Hollywood Blvd

Room 315

Hollywood, FL 33022

Tel: (954) 921-3471

Email: Development@Hollywoodfl.org

SUBMISSION REQUIREMENTS:

- One set of digitally signed & sealed plans (i.e. Architect or Engineer)
- One electronic **combined** PDF submission (max. 25mb)
- Completed Application Checklist
- Application fee (per review)

NOTE:

- This application must be **completed in full** and submitted with all documents to be placed on a Board or Committee's agenda.
- The applicant is responsible for obtaining the appropriate checklist for each type of application.
- Applicant(s) or their authorized legal agent **must** be present at all Board or Committee meetings.

**CLICK HERE FOR
FORMS, CHECKLISTS, &
MEETING DATES**

APPLICATION TYPE:

- ☒ Technical Advisory Committee
☐ City Commission

☐ Variance/Special Exception Requested

- ☐ Administrative Approvals
☐ Historic Preservation Board
☐ Planning and Development Board

PROPERTY INFORMATION

Location Address: 2022 MAYO LLC

Lot(s): 10 Block(s): 2 Subdivision: Alden Manor

Folio Number(s): 514222330200

FH-2

Zoning Classification: FH-2 Land Use Classification: R.A.C.

Existing Property Use: Single Family Sq Ft/Number of Units: 1,048 / 1

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide

File/Resolution/Ordinance No.: _____

DEVELOPMENT PROPOSAL

Explanation of Request: 15-unit Multi-Family Apartment building

Phased Project: Yes / No ☒ Number of Phases: _____

Project	Proposal
Units/rooms (# of units)	15 (Area: 18,495 S.F.)
Proposed Non-Residential Uses	S.F.
Open Space (% and SQ.FT.)	13% (Area: 1,037 S.F.)
Parking (# of spaces)	23 (Area: S.F.)
Height (# of stories)	5 stories (55 FT.)
Gross Floor Area (SQ. FT)	31,350 s.f.

Name of Current Property Owner: 2022 MAYO LLC

Address of Property Owner: 3241 SW 44 ST FORT LAUDERDALE, FL 33312

Telephone: 9548424626 Email Address: rhinvestmentus@gmail.com

Applicant Luis La Rosa

☒ Consultant ☐ Representative ☐ Tenant (check one)

Address: 9000 Sheridan Street Suite 158 Telephone: 7865430851

Email Address: llarosa@larosaarchitects.com

Email Address #2: _____

Date of Purchase: 8/23/23 Is there an option to purchase the Property? Yes ☐ No ☒

If Yes, Attach Copy of the Contract.

Noticing Agent (FTAC & Board submissions only) : _____

E-mail Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign as approved by the Division of Planning & Urban Design. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Gil Betzau Date: 1-4-24

PRINT NAME: Gil Betzau Date: _____

Signature of Consultant/Representative: Wes La Rosa Date: 1-5-24

PRINT NAME: Wes La Rosa Date: _____

Signature of Tenant: _____ Date: _____

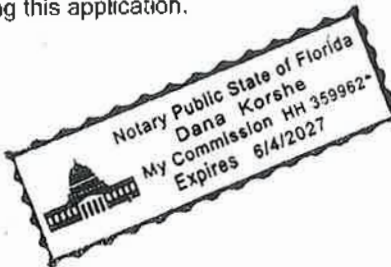
PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 1 day of 5-24

[Signature]
Notary Public
State of Florida



Gil Betzau
Signature of Current Owner

Gil Betzau
Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

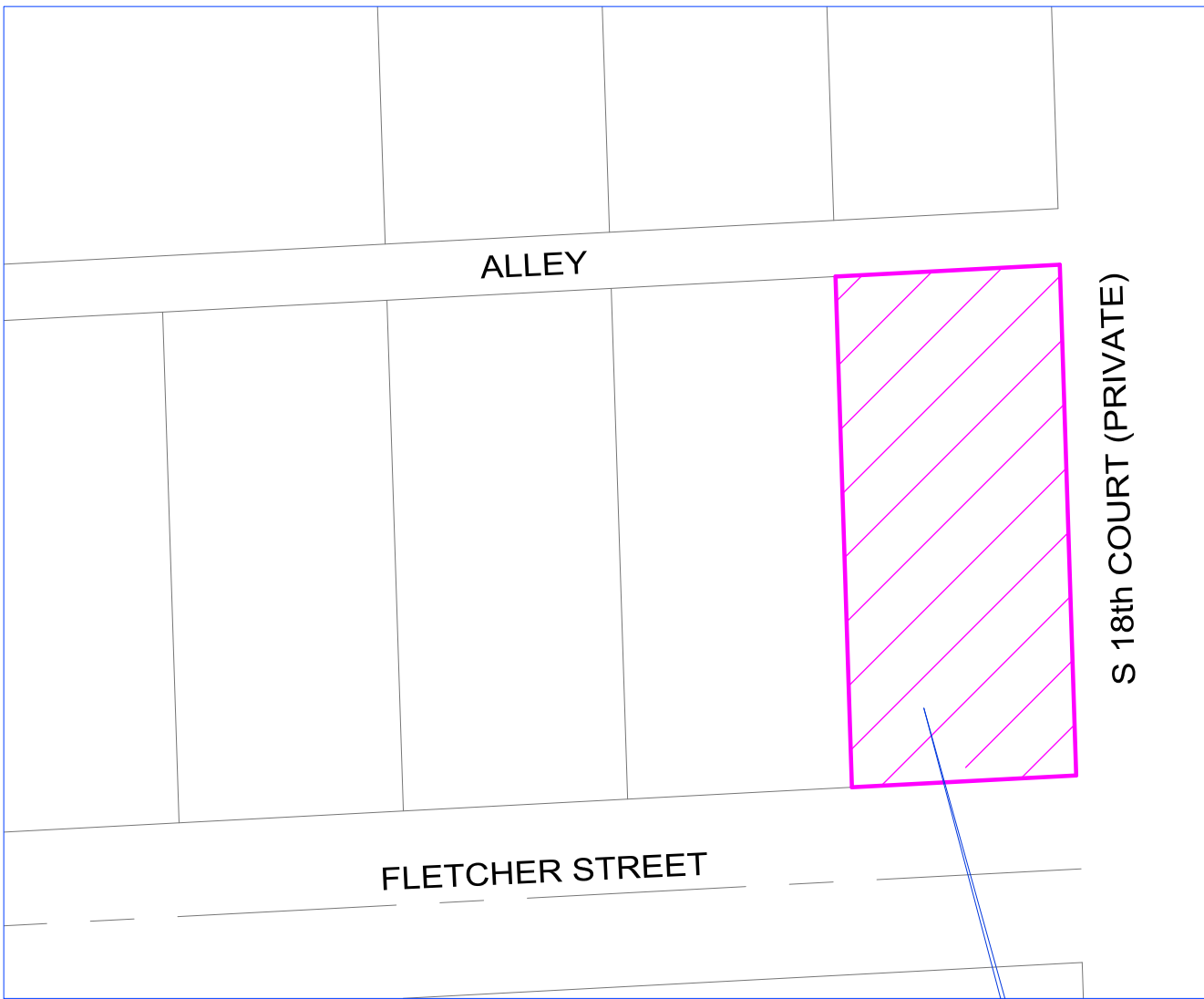
ALTA / NSPS LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING A PORTION OF THE N.W. 1/4 IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

0 10 20

SCALE: 1" = 20'

9 SURVEY MAP



1 VICINITY MAP

Not to Scale

2 PROPERTY ADDRESS

1835 Fletcher Street, Hollywood, Florida 33020
Parcel Id: 5142223302200

3 LEGAL DESCRIPTION

Lot 10, Block 2, **ALDEN MANOR**, according to the plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Hollywood, Broward-County, Florida.

4 AREA TABULATION

Net Area of subject parcel: +/-8,190.0 SqFt (+/-0.18 Acres) (As measured in the field).
Gross Area of subject parcel: +/-9,688.0 SqFt (+/-0.22 Acres) (Calculated to include up to center line of Abutting right of way(s)).

5 ZONING INFORMATION

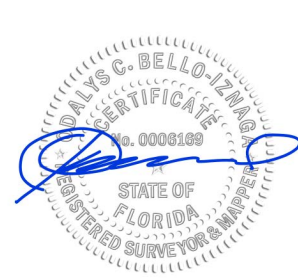
Zoning District: FH-2 Federal Highway Medium-High-Intensity Mixed-Use District (as per City of Hollywood Interactive Zoning Map) (A Zoning Report has not been provide to Surveyor).

7 CERTIFICATIONS

I hereby certify to: Miami-Dade County, a Political Subdivision of the State of Florida; National Title and Abstract Company ; Old Republic National Title Insurance Company. That this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5, 6, 7 (a), 8, 11 (utilities by observed aboveground visible evidence), 13, 14, 16, 17, 18 and 19 of Table A thereof.

Date of Plat or Map: December 01st, 2023

Date of Completion: December 15th, 2023



Digitally signed by Odalys C Bello
DN: c=US, o=Bello and Bello Land
Surveying Corp.,
dnQualifier=A01410C000001884E3B
67E800DD40A, cn=Odalys C Bello
Date: 2023.12.15 15:33:50 -05'00'

Odalys C. Bello-Iznaga
Professional Surveyor & Mapper # 6169
State of Florida

SURVEY LEGEND

- Vicinity Map
- Property Address and Tax Folio
- Legal Description
- Area Tabulation
- Zoning Information
- Surveyor's Report
- ALTA/NSPS Certification
- Project / Survey Number.
- Survey Map

Note: Tree Location Survey has not been performed based on a Certified Arborist Report. Common names and scientific names were determined to the best our knowledge.

TREE CHART					
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in) (+/-)	Approximate Height (ft)(+/-)	Approximate Canopy (ft)(+/-)
1	Palm	Unknown	8	12	15
2	Palm	Unknown	7	11	9
3	Palm	Unknown	7	11	6
4	Unknown	Unknown	15	32	10
5	Palm	Unknown	7	8	11
6	Palm	Unknown	7	11	8
7	Palm	Unknown	7	11	8
8	Palm	Unknown	8	13	7
9	Unknown	Unknown	5	15	12
10	Mango Tree	Mangifera Indica	15	25	20
11	Coconut Palm	Cocos nucifera	12	25	10
12	Coconut Palm	Cocos nucifera	6	12	6
13	Palm	Unknown	5	12	8
14	Unknown	Unknown	12	15	10

6 SURVEYOR'S REPORT

- This ALTA/NSPS Survey has been made on the ground on December 1st, 2023 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an ALTA Survey has been prepared in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2021.
- This ALTA Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. Existing trees have not been located. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from records.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities.
- There is no observable evidence of site usage as solid waste dump, swamp and/or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Ways: Fletcher Street - along the South property line, and a 15' wide Public Alley along the North property line.
Note that there is a roadway (apparently "PRIVATE" being S 18th Court running along the East Line of the subject property that the undersigned surveyor did not investigate and is not aware it's about the ownership and maintenance. The undersigned has no knowledge of proposed changes in street right of way lines for the above mentioned public right of way(s).
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- No evidence of wetland field designations were present at the time of the survey.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 120113 (City of Hollywood), Panel 0732, Suffix H, revised on Sept 11th, 2009, this real property falls in Zone "X". As defined by FEMA, Zone "X" is an area of minimal flood hazard, outside the Special Flood Hazard Area (SFHA) and higher than the elevation of the 0.2-percent-annual-chance flood. Mandatory flood insurance purchase requirements and floodplain management standards apply. This determination is obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- HORIZONTAL LOCATION AND ACCURACY:** The lands surveyed had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million. The accuracy obtained by field measurements (redundant measurements) and office calculations meets and exceeds the customary minimum horizontal feature accuracy (linear) for an urban area being equal to 1 foot in 7,500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988), Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.605 feet or (minus 1.605 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Broward County Engineering Division Bench Mark 1135, Elevation = 10.77 feet (NGVD29)
Description: "Square" cut in South edge of concrete sidewalk and at center of sidewalk leading to Stevens funeral home, residence #315 Pembroke Road, Hollywood, 100' East of N.W. 4 Avenue, 38' South of centerline of asphalt Pembroke Road, 60' East of a power pole. B.M. found 4-6-2000 mark is 100' east of east edge of pavement of N.W. 4th Avenue.
Bench Mark # 2: Broward County Engineering Division Bench Mark 1080, Elevation = 9.13 feet (NGVD29)
Description: "Square" cut in Northeast corner of concrete stoop in front of residence #405 northwest Dixie Highway, Hallandale, 23' west of centerline of Dixie Highway, 23' North of a power pole 3' East of building.
- This Survey meets and exceeds the minimum Standards of Practice as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".
- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1": 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Ownership and Encumbrance Repor provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Broward County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein is based on the assumed bearing along the Center Line of Fletcher Street being S87°17'52"W
- This survey has been made based on and upon an examination of said Ownership and Encumbrance Report (the O&E Report) provided by the client, issued by Carusi Law, prepared by Daniel S. Carusi, Esq., and dated December 7th, 2023. Upon review and examination of instruments of record listed on said O&E Report, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affect these lands have been noted and/or represented on this survey and the following applies:

Active Encumbrances listed: NONE
Restrictions/Easements listed:
Item # 1: All matters contained on the Plat of **ALDEN MANOR**, as recorded in Plat Book 24, Page 8, Public Records of Broward County, Florida. (does apply, depicted on survey)
Item # 2: Restriction contained in Deed Book 613, Page 149, Public Records of Broward County, Florida. (Not a survey related matter)

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

QA/QC BY: O.C.B.I.	DRAWN BY: I.C.
FIELD DATE: 12/01/2023	UPDATED DATE: N/A
8 PROJECT NUMBER	23482 Page 1 of 1

BELLO & BELLO LAND SURVEYING
12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186
LBH7262 • Phone: 305.251.9606 • Fax: 305.251.6057
e-mail: info@belloland.com • www.bellolandsurveying.com





February 26, 2024

Luis La Rosa, A.I.A., President
LLR Architects, Inc.
9000 Sheridan Street, Suite 158
Pembroke Pines, Florida 33024

Via Email Only

Dear Mr. La Rosa:

Re: Platting requirements for a parcel legally described as Lot 10, Block 2, "Alden Manor," according to the Plat thereof, as recorded in Plat Book 24, Page 8, of the Public Records of Broward County, Florida. This parcel is generally located on the north side of Fletcher Street, between South 19 Avenue and Federal Highway/U.S. 1, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed multi-family residential development on the above referenced parcel.

Planning Council staff has determined that replatting **would not be required** by Policy 2.13.1 of the Broward County Land Use Plan (BCLUP) for the proposed development, subject to compliance with any applicable Broward County Trafficways Plan requirement.

As per the criteria of Policy 2.13.1, replatting is required for the issuance of building permits when constructing a non-residential or unified residential development, unless all of the following conditions are met:

- a. The lot or parcel is smaller than 10 acres and is unrelated to any adjacent development;
- b. A majority of the lot or parcel has been specifically delineated in a recorded plat;
- c. All land within the lot or parcel which is necessary to comply with the County Trafficways Plan has been conveyed to the public by deed or easement; and
- d. The proposed development is in compliance with the applicable land development regulations.

The subject parcel is less than 10 acres (approximately 0.19 acres) and meets the specifically delineated requirement. This platting interpretation is subject to the municipality finding that the proposed development is unrelated to any adjacent development, as noted in "a." above.

Some jurisdictions may be more restrictive and require platting in more situations than the BCLUP. The City of Hollywood's platting requirements should be investigated.

Luis La Rosa
February 26, 2024
Page Two

The contents of this letter are not a judgment as to whether this development proposal complies with State or local vehicular access provisions, the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the BCLUP, including concurrency requirements.

If you have any additional questions concerning the BCLUP's platting requirements, please contact Dawn Teetsel at your convenience.

Respectfully,



Barbara Blake Boy
Executive Director

BBB:DBT

cc/email: George R. Keller, Jr., CPPT, City Manager
City of Hollywood

Andria Wingett, Director, Development Services
City of Hollywood





LLR Architects Inc.

March 4, 2024

City of Hollywood

***RE: 2022 Mayo LLC
1835 Fletcher Street
Hollywood, FL 33020
File Number: 24-DP-02***

Preliminary Site Plan Review

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

A. APPLICATION SUBMITTAL

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Application Form:

- a. The correct project address should be indicated on the development application. Please resubmit the application.

Response: Revised application

- b. Put the date of the Preliminary TAC meeting date on the cover sheet.

Response: Provided on Cover Sheet

2. Ownership & Encumbrance Report (O&E):

- a. Indicate the report was searched from the time of platting or 1953 (earliest of the two).

Response: Revised

- b. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated.

Response: Acknowledged

- c. Indicate the listed encumbrances are abutting the property boundary necessary for legal access to the property.

Response: No Encumbrances

- d. Ensure O&E addresses the requirements on the TAC submittal checklist:

<http://www.hollywoodfl.org/ArchiveCenter/ViewFile/Item/453>

Response: Acknowledged

3. Alta Survey:

- a. Work with the Engineering Division to ensure the survey includes the appropriate elements such as all easements and dedications are indicated.

Response: Acknowledged



LLR Architects Inc.

4. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Plat determination letter shall be for all properties in this project.

Response: Provided with submittal. No re-platting required.

5. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

Response: We have applied BCSB

6. Indicate past, current and future meeting dates as they happen (not submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Provided on Cover Sheet

7. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

a. Parkside Civic Association

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

Response: Acknowledged

8. Additional comments may be forthcoming.

9. Provide written responses to all comments with next submittal.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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B. ZONING

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Indicate past, current, and future meeting dates as they happen (in addition to submittal dates) on Cover Sheet. Indicate specific Board/Committee (i.e. TAC, PDB, etc.) For future Board/Committee dates not known, leave blank until staff has advised of next meeting date.

Response: Provided on Cover Sheet

2. Site Plan:

a. Include a note on the site plan indicating that all changes to the design will require planning review and may be subject to Board approval.

Response: Provided, on sheet SP-1.1

b. Clearly indicate the property line, with a darker line weight.

Response: Provided, refer to SP-1.1

c. Dimension all balcony setbacks to all property lines. Per Sec. 4.6.B.3.a.(9)(i), balconies may encroach a maximum of 75% into the required setback.

Response: Provided, no balconies into setbacks in this project.

d. Provide dimensions for stairs and elevators.

Response: Provided on all Floor Plan Sheets

e. Are parking spaces enclosed? Please provide details of the parking facility.

Response: Refer to notes on SP-1.1, A-1.1 & A-2.1, A-2.4

f. If columns exist, please Indicate columns are at least 3ft from the entrance to a parking space for both sides of the parking lot.

Response: Proposed columns do not encroach into any Parking Space

g. Indicate concrete car stops (6ft long) for parking spaces on the site plan. SP 1.1

Response: Added note on sheet SP-1.1 & A-1.1



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h. Label the guest parking spaces, handicap, and electric vehicle charging stations. Please provide at least one space dedicated for a electric vehicle charging station.

Sec 151.154

The city shall require each person or entity desiring to construct a new commercial or residential structure to construct the infrastructure necessary for future installation of an electric vehicle charging station within be included in such project. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate; or a fully functional electric vehicle-charging station.

Response: Provided, refer to sheet SP-1.1

i. Indicate provided parking in your parking calculations.

Response: Provided, refer to sheet SP-1.1

j. Tandem parking spaces must be assigned to one unit. Please note parking tandem parking and single parking assignments in the tabulator data.

Response: The parking spaces slide & lift are accessible to any tenant using dedicated "FOB". There are no dedicated spaces only for guests.

k. According to your site plan and parking calculations, it appears that there is not enough parking provided for the 15-unit multifamily development. Please explain carousel parking arrangement.

Response: The parking spaces slide & lift are accessible to any tenant using dedicated "FOB". There are no dedicated spaces only for guests.

3. Site calculations:

a. Per Sec. 4.6.B.3.a.(7), include the minimum required and provided dwelling unit sizes and cumulative averages. Provide a breakdown of all units per floor, including balcony area.

Response: Provided, refer to sheet SP-1.1

b. Include the provided FAR as a ratio, not just the overall provided square footage.

Response: Provided, refer to sheet SP-1.1

c. The common areas: corridors, stairs, elevators, gym, all shall be counted towards FAR.

Response: Revised accordingly, refer to sheet SP-1.1(No GYM amenities only open terrace)

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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d. Tandem spaces can only be counted toward one unit, ensure tandem spaces are called out on parking statistics table.

Response: No tandem spaces provided

e. Provide VUA calculation. Please see section 4.6(3)(d)(3) of the code.

Response: Provided, refer to Sheet SP-1.2

4. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

Response: Ok



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C. ARCHITECTURE AND URBAN DESIGN

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Provide a rendering of all the sides.

Response: To be provided

2. Indicate and demonstrate access to the dumpster on site plan.

Response: Provided, refer to sheet SP-1.1

3. Work with the Building Department to ensure that adequate ventilation is provided for the parking garage.

Response: Ok



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D. SIGNAGE

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Provide note on Site Plan: “All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.”

Response: Provided, refer to Sheet SP-1.1



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E. LIGHTING

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

N/A



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F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since this project has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the minimum standards. Include which third party certification program this project has chosen in a note on the site plan and provide green registration documentation with next submittal.

Response: Acknowledged note added on sheet SP-1.1

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located. (See 151.154, Ordinance O-2016-02) Consider placing it adjacent to a handicapped space so that the future charger will be accessible from both types of spaces. Recommend to locate the charging stations in the visitor parking spaces.

Response: Provided, refer to Sheet SP-1.1

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved and remove the list of Green Building Practices.

Response: Ok



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G. ENGINEERING

Azita Behmardi, Deputy Director (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

Revision Procedure:

-Any revisions applied to the plans shall be numbered and bubbled/clouded.

-In an 8.5"x11" revision summary, identify each revision by providing the plan sheet number, revision cloud / bubble number and a narrative describing each change or how a comment is being addressed.

1. Provide a signed and sealed survey from the surveyor.

Response: To be provided

2. Per the survey, South 18 Court is "apparently private". Please provide documentation to confirm ownership is private. Currently, utility poles and overhead power lines exists along this area.

Response: Ok

3. Provide a plat determination letter from the Broward County Planning Council.

Response: To be provided

4. Provide an overall site plan with the following information:
 - a. Existing right-of-way width dimension and show limits of the rights-of-way on all streets/alleys adjacent to the site. (i.e., swales, sidewalk curbs, curb, include dimensions.)

Response: Provided, refer to sheet SP-1.1

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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b. Include and show all surrounding elements of the site on plans, as applicable, i.e., adjacent alley, road, properties and their primary use, limits of rights-of-way on both sides of adjacent streets or alleys including any curb cuts, edge of pavement, swale, sidewalks, etc.

Response: Provided, refer to sheet SP-1.1

c. All features of City streets and alleys within full right-of-way on both sides from property line to adjacent property lines.

Response: Provided, refer to sheet SP-1.1

d. Provide setbacks following City of Hollywood Land Development Code, Article 4.6.

Response: Provided, refer to sheet SP-1.1

5. Please label the property line on all sheets.

Response: Provided

6. Driveway openings shown on plans exceed the allowable width by code, a variance will be required. Such variance would be supported by Engineering to provide for the required separate ingress and egress.

Response: Variance will be provided

7. Please list all and any variances being requested on the cover sheet and clearly call them out on the plan. (i.e., curb cuts)

Response: Provided on Cover Sheet

8. Please identify the apron radius flares proposed for the curb cut.

Response: Provided

9. Please show on plans for the existing curb cut to be removed and for rights-of-way to be restored.

Response: No existing curbs along Fletcher Street

10. Please provide ADA detectable warning pad for sidewalk connecting to the 18th Court.

Response: Provided, refer to sheet SP-1.1

11. Please provide in plans the standard FDOT details for the ADA detectable warning pads.

Response: : Provided, refer to sheet SP-1.2

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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12. Identify any elevation differences or slopes from the sidewalk in the ROW and accessible parking stall to the entrance of the building. If there is no difference state, the transition is flush.

Response: Provided, refer to sheet SP-1.1

13. Please indicate on plans if a garage door/gate is being proposed. If so, please show the type of gate being proposed and how it operates, i.e., keypad, fod, barcode scanner, etc., will be in place to allow entrance and exit from the parking garage.

Response: No garage door/gate to be proposed

14. On site and civil plans, please provide dimensions for the vehicular queueing space. This space should be 19' by 8.5' minimum and should be measured after the property line and before any parking stalls.

Response: Provided, refer to sheet SP-1.1

15. Please provide landing pad and walk path for Stairs 1 and 2.

Response: Concrete landing provided, refer to SP-1.1

16. Please call out all materials for the walkways, sidewalks, drive aisles and vehicular parking areas. Ensure the material requirements align with City of Hollywood Code. This applies to the ADA accessible route connection between building and sidewalk in the public right of way.

Response: Revised accordingly

17. On site plan, sheet SP 1.1, the parking area calls out for an asphalt driveway. However, on civil plans, sheet C-1.1, the parking area is divided between asphalt and concrete. Please clarify.

Response: Corrected accordingly

18. Please provide a pavement marking plan for both on and off-site. These pavement markings are to comply with the City of Hollywood Standard Details in addition to Broward County Traffic Engineering Division Standard details. Please provide any applicable details in the plan set. Ensure pavement markings across plan sets are identical.

Response: Provided, refer to sheet C-1.4

19. On sheet C-1.1, cross section A-A calls out for an asphalt approach of 7'6". However, no measurements are added to site plan regarding the same features and dimensions. Please provide details.

Response: Revised accordingly



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20. Please provide all applicable Standard City of Hollywood details: <https://www.hollywoodfl.org/1459/Standard-Details-for-Engineering-and-Lan>.

Response: Provided

21. Show all vehicular turning radius to and from the property; include inside radius, centerline radius and outside radius.

Response: Provided

22. In the parking calculations table, include the required number of ADA accessible spaces and number of ADA spaces being provided.

Response: Provided, refer to sheet SP-1.1

23. Provide visibility triangles as per City Code, Chapter 155.12. For properties in which the property line is located less than 12 feet from the street, the visibility triangle area is delineated by a line connecting points measured 12 feet along the property line from the intersection of the access way and 12 feet along the access way from the intersection of the property line. For properties in which the property line is located more than 12 feet from the street, the visibility triangle area is delineated by a line connecting points measured 6 feet along the property line from the intersection of the accessway and 12 feet along the property line.

Response: Provided, refer to SP-1.1

24. Please indicate location for recycling on this site.

Response: Trash-chute provide o each floor and dumpster location on 1st floor

25. Please consider providing bicycle parking on site.

Response: Provided, refer to sheet Sp-1.1

26. Please provide all dimensions to parking stalls 22-23 in the same way they were provided to parking stalls 20-21.

Response: Provided

27. Parking stalls 3-4, 5-6, 7-8, 9-10, 12-13, 14-15, 16-17, and 18-19 are calling out the placement of a parkplus-ls lift sliding system 2-levels high. Model No. LS2HOD. However, measurements were provided following the City of Hollywood standard details of a minimum of 18' by 8'-5", whereas the lift requires a minimum of 19'-9" by 8'-2 1/2". Please provide specifications of a parking lift system that can be accommodated within the parking stalls.

Response: Corrected accordingly

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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28. Applicant is proposing ingress/egress to back Alley. Please modify access configuration to egress only. Full access, ingress and egress is to be reviewed and considered.

Response: Corrected accordingly, refer to SP-1.1

29. For the Alley egress, please provide the appropriate pavement marking and traffic sign following City of Hollywood and Broward County Traffic Engineering Division (BCTED) standard details.

Response: Provided

30. BCTED approval will be required for all pavement markings being restored in the ROW. Please provide a plan showing the proposed pavement markings to be restored.

Response: Ok

31. For utilities work within City rights-of-way, ROW permit will be required at the time of permit.

Response: Ok

32. MOT plans required at the time of City Building Permit review.

Response: Ok

33. All outside agency permits are required at the time of City Building Permit review.

Response: Ok

More comments may follow upon review of the requested information.

H. LANDSCAPING

Favio Perez, Landscape Reviewer (fperez@hollywoodfl.org) 954-921-3900

Clarissa Ip, City Engineer (cip@hollywoodfl.org) 954-921-3915

6 – Plan page LS-01 appears to have a tree (labeled LN-C 1) which could pose an access issue with regard to the fire DDCV and the FDC. --- Please coordinate with the civil engineer (see page C-1.1).

Response: Corrected accordingly

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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I. UTILITIES

Alicia Verea-Feria, Floodplain Development Review Administrator (averea-feria@hollywoodfl.org) 954921-3302

1. All existing utilities within all the adjacent rights-of-way shall be labeled with size and material on plans. ‘Existing 4” Sanitary’ along 15’ alley should read ‘Existing 8” VCP Sanitary’. Please contact Juan Picon at jpicon@hollywoodfl.org to request City’s utility atlas information and update plans accordingly.

Response: Corrected, refer to sheet C-1.1

2. Proposed 6” Water Main extension is not necessary. Water shall be connected to the existing 8” DIP WM along S 18th Ct or 4” DIP WM within the alley to the north.

Response: Corrected accordingly

3. Verify size and location of existing sewer lateral. May need to install new 6-inch lateral due to condition and capacity.

Response: Revised accordingly

4. Fireline ‘4” DDCV Assembly’ is called out without proposed fire line shown.

Response: Corrected accordingly

5. Proposed cleanout shall include concrete aprons when in grass areas.

Response: Provided, refer to sheet C-1.1

6. Water meter(s) shall not be located within sidewalk.

Response: Corrected accordingly

7. This site currently resides within FEMA Flood Zone X. The proposed Finished Floor Elevations (FFE) shall comply with the greatest of the following three (3) conditions, as applicable.

a. Section 154.50 of the City’s Code of Ordinances requires the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road or 6-inches, at a minimum, for non-residential areas, OR

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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Response: Revised accordingly

b. Broward County Preliminary 2019 FEMA Flood Maps (as recommended), available online via the following link:

<https://bcgis.maps.arcgis.com/apps/View/index.html?appid=ea44837317bd47eaa>

5373ce3e2f01b6e; OR

Response: Ok

c. Broward County Future Conditions 100-year Flood Map 2060, in effect as of July 2021, available online via the following

link: <https://bcgis.maps.arcgis.com/apps/webappviewer/index.html?id=ec160b81e7f84bdeacda62575e817380>

Response: Ok

8. Indicate FFE for all enclosed areas on the ground floor.

Response: Provided

9. Note Lobby shall be floodproofed up to elevation 9.5' NAVD88.

Response: Corrected accordingly

10. Additional proposed and existing grades shall be shown along property limits.

Response: Provided

11. Elevations on cross-sections shall match elevations on plan view. Existing grades range 6'+/- NAVD88. Proposed grades indicate 7.5'+/- at property limits. Perimeter cross-sections across all property limits shall match adjacent property grades or provide retaining wall due to elevation difference.

Response: Corrected accordingly

12. Provide additional cross-section through north driveway.

Response: Provided

13. Cross sections shall indicate maximum swale depth of 6-inches with maximum 3:1 slope and label landscape areas within swale areas.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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Response: Corrected.

14. Provide catch basin and french drain details along with rim and invert elevations.

Response: Provided, refer to C-1.1

15. Label trench drain shown across driveway along north property line and illustrate in corresponding cross section.

Response: No trench drain on north property

16. Transverse Section elevations do not match elevations shown on plan view.

Response: Corrected

17. Provide preliminary drainage calculations.

Response: To be provided

18. Ensure all stormwater is retained onsite.

Response: Ok

19. Permit approval from outside agencies will be required.

Response: Ok

20. Landscape plans shall coordinate with civil plans to accommodate drainage features.

Response: Ok

21. Additional comments may follow upon further review of requested items.

Response: OK

J. BUILDING

Russell Long, Chief Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Assistant Building Official (dquintana@hollywoodfl.org) 954-921-3335

1. No comments received.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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K. FIRE

Chris Clinton, Fire Marshal (cclinton@hollywoodfl.org) 954-967-4404

Marcy Hofle, Deputy Fire Marshall (mhofle@hollywoodfl.org) 954-967-4404

1 - Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. --- A complete architectural review will be completed during formal application of architectural plans to the building department.

Response: Ok

2 - Cite on the plans (page SP 1.1) and show the use of the current codes for this project:

Florida Fire Prevention Code (8th Ed.)

NFPA 1 (2021 Ed.)

NFPA 101 (2021 Ed.)

Response: Corrected accordingly

3 - Water supply shall meet the requirements of NFPA 1 (2021 Ed.) Section 18.4.5.3. --- To determine the minimum fire flow required for firefighting purposes, a Hydrant Flow Test will need to be scheduled through our Underground Utilities Department via email. ---
underground@hollywoodfl.org

After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.2.1 showing that the project meets the minimum fire flow requirements for the building.

For your convenience, I have attached a sample Fire Flow Calculation letter which can be used as a template.

Response: Fire Flow Calculation will be provided on separated letter attached in this submittal.

4 - On plan page C-1.1, provide the DDCV size for the fire line, the size of the fire line, and also the type of pipe used for the fire line from the water supply to the building.

Response: Provided.

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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5 - Any stacked parking in the garage will require a fire sprinkler design category of Extra Hazard Group II as per NFPA 13 (2019 Ed.) Section 4.3.6 --- Extra hazard (Group 2) occupancies shall be defined as occupancies or portions of other occupancies with moderate to substantial amounts of flammable or combustible liquids or occupancies where shielding of combustibles is extensive.

NFPA 13 (2019 Ed.) Section A.4.3.6 (9) --- Car stackers and car lift systems with 2 cars stacked vertically.

Response: Acknowledged

6 - Plan page LS-01 appears to have a tree (labeled LN-C 1) which could pose an access issue with regard to the fire DDCV and the FDC. --- Please coordinate with the civil engineer (see page C-1.1).

Response: Corrected accordingly



LLR Architects Inc.

L. PUBLIC WORKS

Annalie Holmes, Public Works Director (aholmes@hollywoodfl.org) 954-967-4207

Daniel Millien, Environmental Services Manager (dmillien@hollywoodfl.org) 954-967-4207

1. Approved with no comment.



LLR Architects Inc.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. No Comments received.



LLR Architects Inc.

N. COMMUNITY DEVELOPMENT

Ryon R. Coote, Community Development Manager (RCoote@hollywoodfl.org) 954-924-2958

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No Comments received.

O. ECONOMIC DEVELOPMENT

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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Joann Hussey, Interim Director (jhussey@hollywoodfl.org) 954-924-2922

***Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org)
954924-2922***

P. POLICE DEPARTMENT

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

ISSUE:

Crime Prevention Through Environmental Design Blueprint Review/Recommendations.

EXPLANATION:

The following recommendations were developed during the Crime Prevention Through Environmental Design review of the blueprints for “1835 Fletcher St- Hollywood,

Florida”- Preliminary.

RECOMMENDATION:

*****Note: Application is substantially compliant.**

Note: Crime Prevention Recommendations: The following are the reviews and recommendations for the CPTED review of the blueprints for “1835 Fletcher St - Hollywood, Florida” – Preliminary.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

Examples of clear border definition may include fences, shrubbery of signs in exterior areas.

Response: Acknowledged

External Lighting

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

Response: Acknowledged

- o These levels may be subject to reduction in specific circumstances where after hours use is restricted.

Response: Acknowledged

- o The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- o Exterior lighting should be controlled by automatic devices (preferably by photocell).
- o Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.

Response: Acknowledged

- o Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.

Response: Acknowledged

- o Light fixtures below 10’ in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

Response: Acknowledged

Landscaping: o Make sure all landscaping is trimmed and well maintained. o Make sure that landscaping does not obstruct the natural surveillance (visibility) of the area.

Response: Acknowledged

- o Plant height appropriate shrubbery along walkways as to not obstruct visibility or allow individuals to hide behind.

Response: Acknowledged

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



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- o Plants/Shrubbery should not be more than 2ft in height.

Response: Acknowledged

- o Tree canopies should not be lower than 6ft in height.

Response: Acknowledged

Building(s) Perimeter Doors o Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior. o Ideally, exterior doors should be equipped with electronic propped door alarms, which announce either locally and/or at the security office.

- o Lobby should be accessible to residents only.

Response: Acknowledged

- o Lobby should remain locked after hours

Response: Acknowledged

- o Electrical, Mechanical, Pump Room, Maintenance Rooms, should be kept locked when not in use.

Response: Acknowledged

- o Parking Garage should be accessible to residents only. Guests can be given access by residents.

Response: Acknowledged

Internal Circulation and Control o There should not be recessed areas in corridors that could be used for hiding or loitering.

Response: Acknowledged

- o Convex mirrors should be used in corners and in stairwells. o Stairwells should have closed area at first level, to prevent someone from hiding beneath stairs.

Response: Acknowledged

- o Glass elevator is recommended so residents can see out/in.

Response: Acknowledged

- o Garbage room should be locked when not in use o Roof should remain locked when not in use.

9000 Sheridan Street-suite 158
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(office) 954-862-2248
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Response: Acknowledged

- o Trash Chute should remain locked when not in use
- o Mailbox area should be well lit.

Response: Acknowledged

- o Janitors closet should remain locked when not in use.

Response: Acknowledged

- o Trained staff to use carousel parking

Response: Acknowledged

Corridors

- o Corridors should be well-lighted with no dark areas. o Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.

Response: Acknowledged

General locations

- o Mechanical, electrical, HVAC, or other equipment located outside the building should be surrounded by a protective enclosure. Ex. Dumpster Enclosures.

Response: Acknowledged

CCTV

- o CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

Response: Acknowledged

Fencing



LLR Architects Inc.

- o (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Response: Acknowledged

Non-Pedestrian Building Entry Points o Sturdy fencing should enclose locations where gas and electric utilities enter buildings.

- o Locations where gas and electric utilities enter buildings should be well lighted.

Response: Acknowledged

Signage

- o Ensure proper signage is posted throughout property.
- o Sundeck should have hours of operation posted

Response: Acknowledged

- o Sundeck should have rules and regulations posted

Response: Acknowledged

Q. DOWNTOWN AND BEACH CRA

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

Francisco Diaz-Mendez, Project Manager (fdiaz-mendez@hollywoodfl.org) 954-924-2980

1. Not Applicable.

R. PARKING

Angela Kelsheimer, Parking Manager (akeisheimer@hollywoodfl.org) 954-921-3548

9000 Sheridan Street-suite 158

Pembroke Pines, FL 33024

(office) 954-862-2248

e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

1. Comments forthcoming in separate memo.

S. ADDITIONAL COMMENTS

Reginald White, Planning Administrator (rwhite@hollywoodfl.org) 954-921-3471

1. Park Impact Fee Application Required.
9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LLR Architects Inc.

Response: Acknowledged

2. Provide School Capacity Availability Determination Letter of approval.

Response: Acknowledged

3. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471. Sincerely,

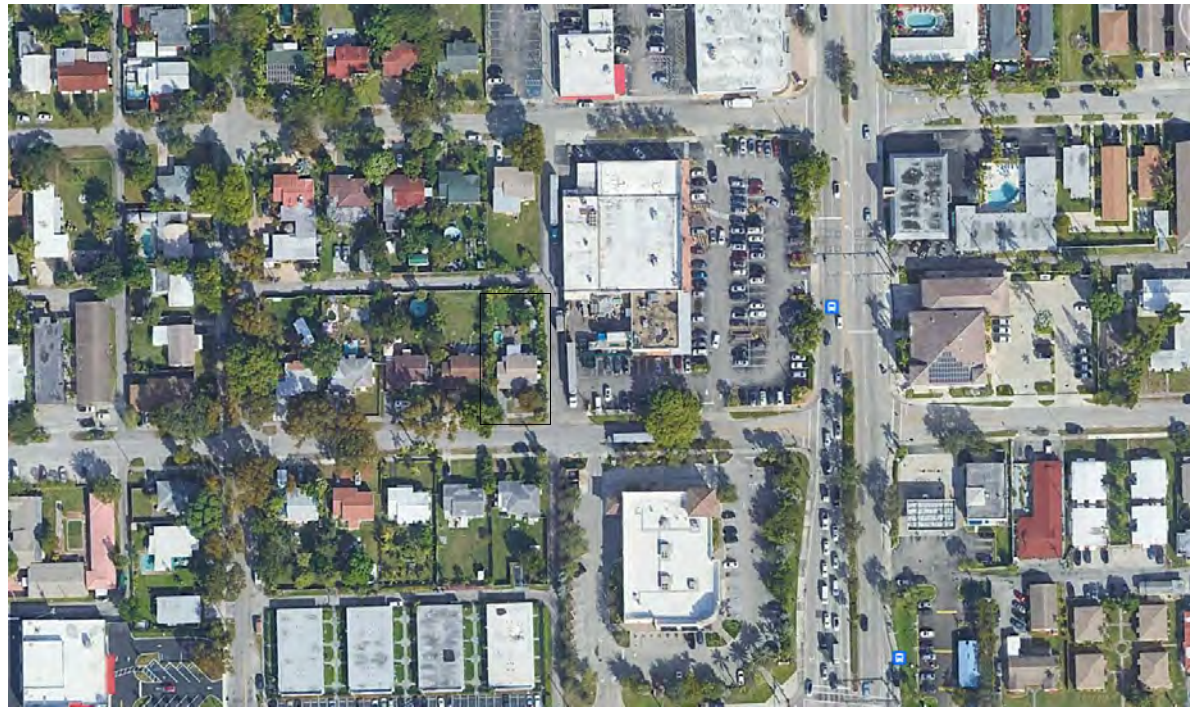
Reginald White

Planning Administrator

C: Luis La Rosa; llarosa@larosaarchitects.com

9000 Sheridan Street-suite 158
Pembroke Pines, FL 33024

(office) 954-862-2248
e-mail: llarosa@larosaarchitects.com



LOCATION MAP

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER STREET

1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020



LLR Architects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024

(OFF.) – 305-403-7926
(CELL)– 786-543-0851
E-MAIL: LLAROSA@LAROSAARCHITECTCTS.COM

Luis LaRosa-Registered
Architect
AR#-0017852

AYLWARD ENGINEERING
CIVIL ENGINEERING

3222 RIDGE TRACE
DAVIE,FLORIDA 33328

(O)- 954-424-5852

E-MAIL: AYLWARDENGINEER@GMAIL.COM



SHEET INDEX

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SURVEY	
SP-1.1	LOCATION PLAN GENERAL NOTES LEGAL DESCRIPTION SITE DATA SITE PLAN BUILDING CALCULATION DETAIL SCREEN
SP-1.2	DUMPSTER DETAIL TYP. HANDICAP DETAIL TYP. PARKING DETAIL DIAGRAM F.A.R. CALCULATION
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	3RD FLOOR PLAN
A-1.4	4TH FLOOR PLAN
A-1.5	5TH FLOOR PLAN
A-1.6	/ROOF PLAN
A-2.1	PROPOSED SOUTH ELEVATION
A-2.2	PROPOSED WEST ELEVATION
A-2.3	PROPOSED NORTH ELEVATION
A-2.4	PROPOSED EAST ELEVATION
A-2.5	PROPOSED AXONOMETRIC VIEW

PACO MEETING: OCTOBER, 2023

TAC 1 MEETING: JANUARY 22, 2024

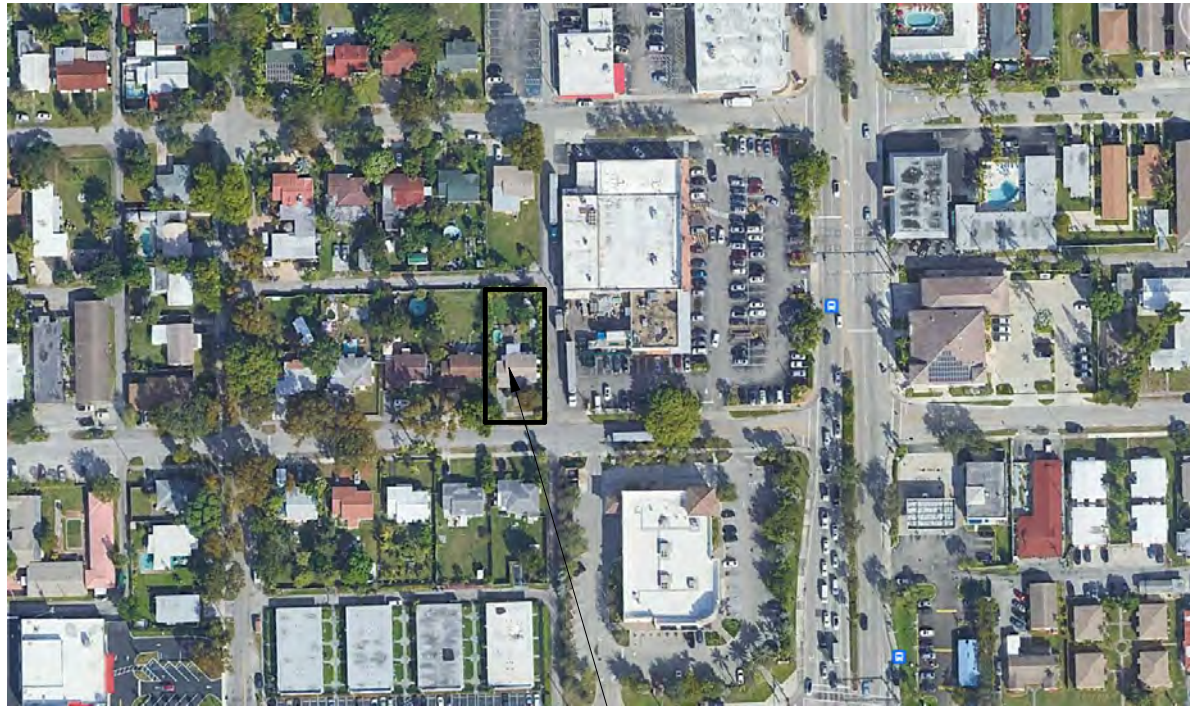
TAC 2 MEETING:

VARIANCES:

1-VARIANCE REQUESTED FOR 22' CURB CUT.
CODE ALLOWED 18'(30%).

BRANDON M. WHITE- ASLA
LANDSCAPE ARCHITECTURE

1708 SW JOY HAVEN ST
PORT ST. LUCIE, FL 34983
(O)-772-834-1357



1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

1 LOCATION PLAN

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2023-8th . EDITION, FLORIDA FIRE PREVENTION CODE 2020 (8TH EDITION), WITH BROWARD COUNTY AMENDMENTS. NFPA-1 & 101, 2021 EDITION. APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.

3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.

5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.

7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.

8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.

9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.

10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NNOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).

11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.

12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.

13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

SITE CALCULATIONS:

TOTAL SITE AREA:
NET AREA= 8,100 SF or 0.18 ACRES

BUILDING FOOTPRINT AREA 6,270 SF
DRIVEWAY 463 SF
CONC. SLAB 330 SF

TOTAL IMPERVIOUS AREA= 7,063 SF (87.2 %)

TOTAL PERVIOUS AREA= 1,037 SF (12.8 %)

FAR CALCULATION

FAR ALLOWED= 8,100 X 3.0= 24,300 SF
FIRST FLOOR= 311 SF
(LOBBY,ELEV, STAIR)
2ND FLOOR= 5,797 SF
(LOBBY,ELEV, STAIR,UNITS)
3RD FLOOR= 5,797 SF
(LOBBY,ELEV, STAIR,UNITS)
4TH FLOOR= 5,797 SF
(LOBBY,ELEV, STAIR,UNITS)
5TH FLOOR= 4,856 SF
(LOBBY,ELEV, STAIR,UNITS,SUN DECK)

FAR PROVIDED= 22,558 SF/2.78 FAR RATIO

1st floor	unit size	2nd floor	unit size	3rd floor	unit size	4th floor	unit size	5th floor	unit size
COMMON AREAS	311	201	1362	301	941	401	941	501	1362
		202	1362	302	1362	402	1362	502	1253
		203	1253	303	1253	403	1253	503	1303
		204	1303	304	1303	404	1303	COMMON AREAS	938
Totals	311		5,797		5,797		5,797		4,856

- OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE O 2016-02.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LEND DEVELOPMENT REGULATION.
- OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
- A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 11.10 AND BROWARD AMENDMENT 118.2
- GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
- BIKE RACK TO BE INSTALLED AS SHOWN
- WHITE ROOF TO REFLECT LIGHT.

GREEN BUILDING PRACTICE

THIS PROJECT REQUIRES A GREEN BUILDING CERTIFICATION. WE WILL BE PROVIDING A CERTIFICATIONS THROUGH THE GREEN BUILDING COUNCIL.

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
3-(1) BEDROOM=3x1= 3 PARKING SPACE	3	
12-(3) BEDROOMS=12x1.5= 18 PARKING SPACE	18	
(1 ADA PARKING REQ. 1 PROVIDED)		
GUEST PARKING SPACES		
(1 SPACE FOR EVERY 10 UNITS FOR 30 UNITS)=	2.0	
TOTAL PARKING SPACES	23.0	23

NOTE:
1. CAROUSEL IS DESIGNATED TO 3-BEDROOM UNIT(18 PARKING SPACES)

MINIMUM & AVERAGE DWELLING UNIT SIZE TABLE

	REQUIRED	PROVIDED
MINIMUM DWELLING UNIT SIZE	400 S.F.	941 S.F.
MINIMUM CUMULATIVE AVERAGE UNIT SIZE	650 S.F.	1,233 S.F.

SETBACK CALCULATIONS:

	REQUIRED	PROVIDED
FRONT	10'	15'-0"
REAR ALLEY	5'	5'-0"
SIDE ALLEY	N	3'-0"
SIDE INTERIOR	0'	3'-3"

HEIGHT CALCULATIONS:

	REQUIRED	PROVIDED
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'	55'-0" TOP OF ROOF

LAND. USE DESIGNATION: RAC

ZONING DESIGNATION: FH-2

NOTE:
1. ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW & MAY BE SUBJECT TO BOARD APPROVAL.

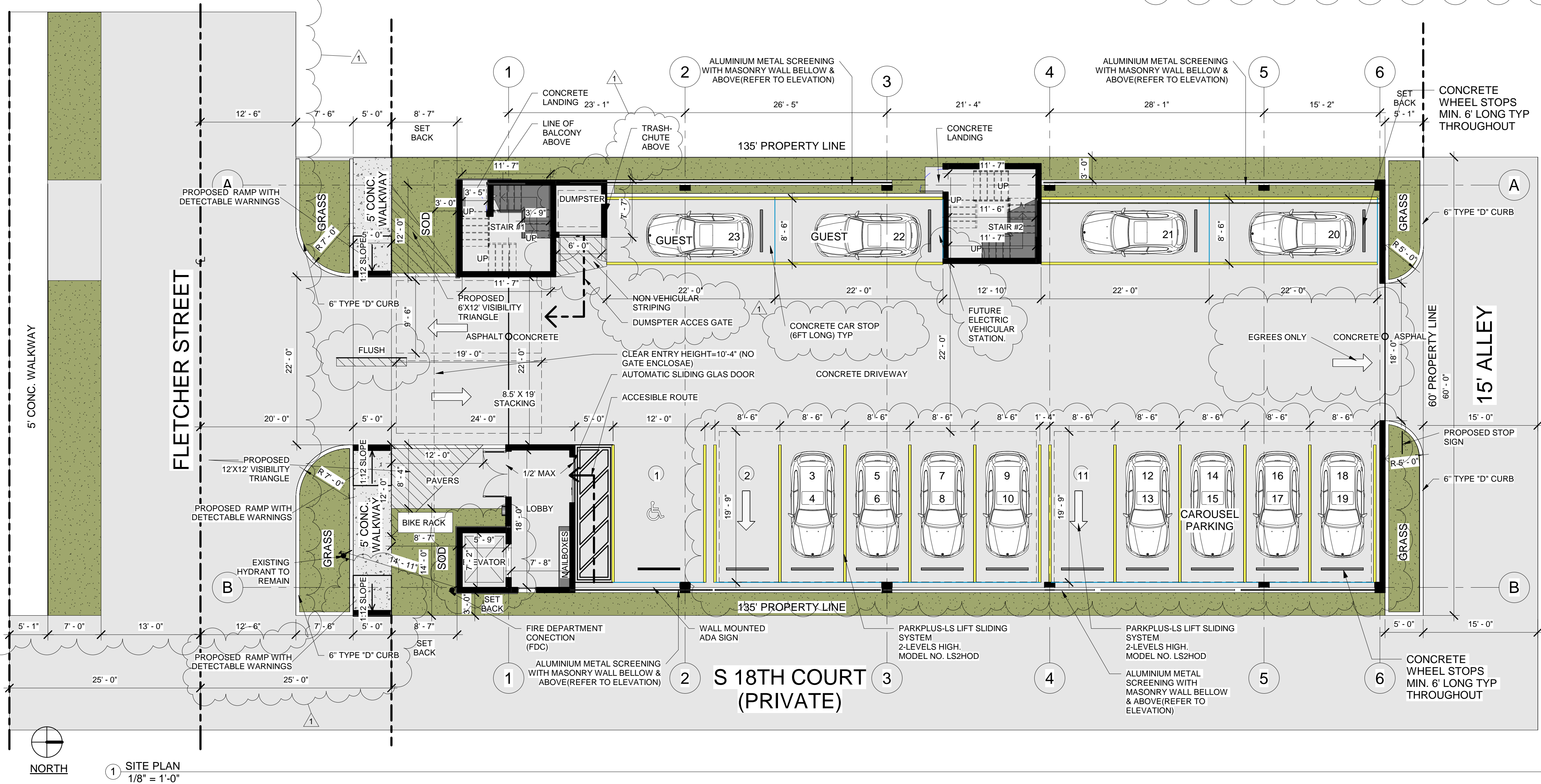
2. THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.

3. REFER TO DETAIL 2 ON SPECIFICATION SHEET FOR CAR LIFTS. WE ARE USING AM S.U.V.-SEDAN CONFIGURATION WHICH REQUIRES A 12'-2" CLEARANCE.

4. ALL STREETS & ALLEYS ADJACENT TO SITE (MONROE STREET, NORTH ALLEY & WEST ALLEY) TO BE MILLED & RESURFACED (FOR FULL WIDTH OF ROAD LENGTH OF PROPERTY).

5."ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN."

2 SITE & BUILDING DATA

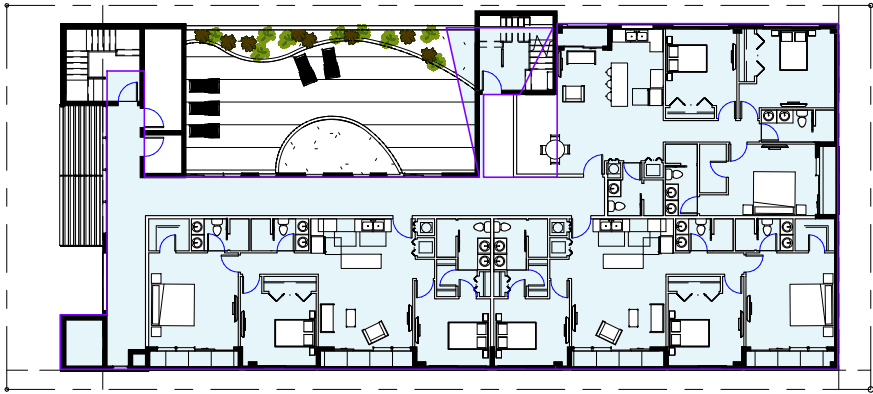


4 SITE PLAN

FAR CALCULATION

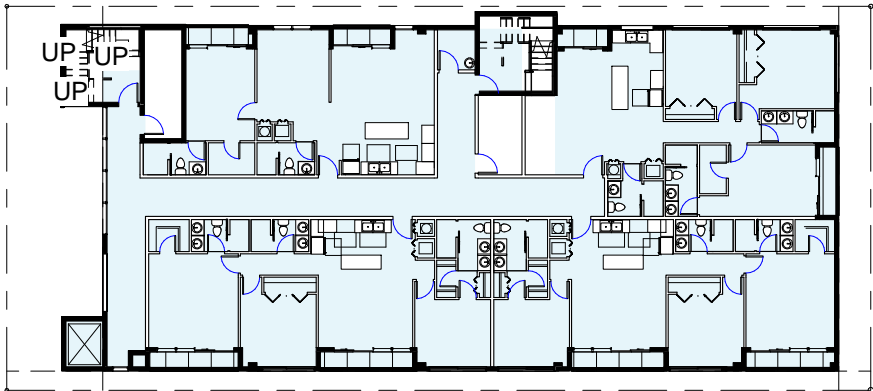
FAR ALLOWED= 8,100 X 3.0= 24,300 SF
FIRST FLOOR= 311 SF
2ND FLOOR= 5,817 SF
3RD FLOOR= 5,817 SF
4TH FLOOR= 5,817 SF
5TH FLOOR= 4,901 SF

FAR PROVIDED= 22,663 SF



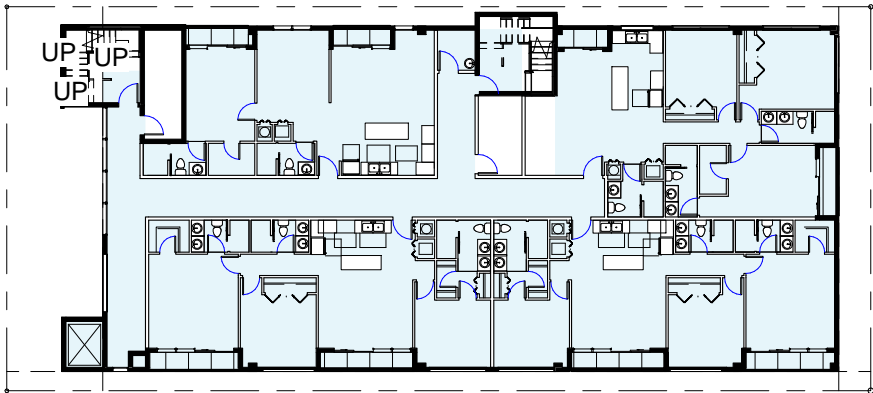
5 5TH FLOOR
1" = 30'-0"

FAR / FLOOR= 4,901 SF



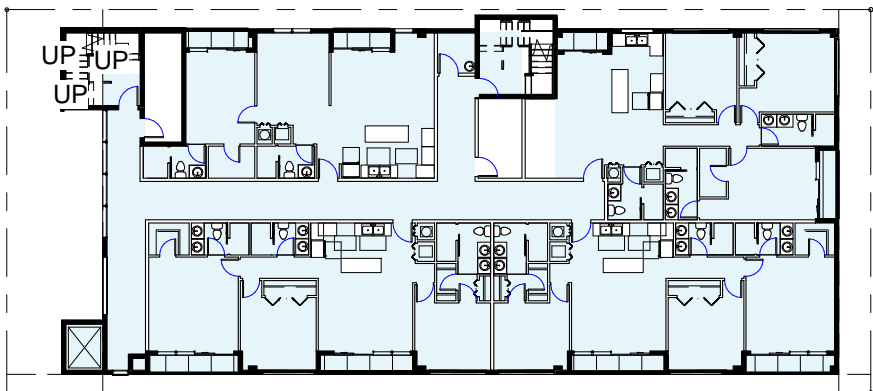
4 4TH FLOOR PLAN
1" = 30'-0"

FAR / FLOOR= 5,817 SF



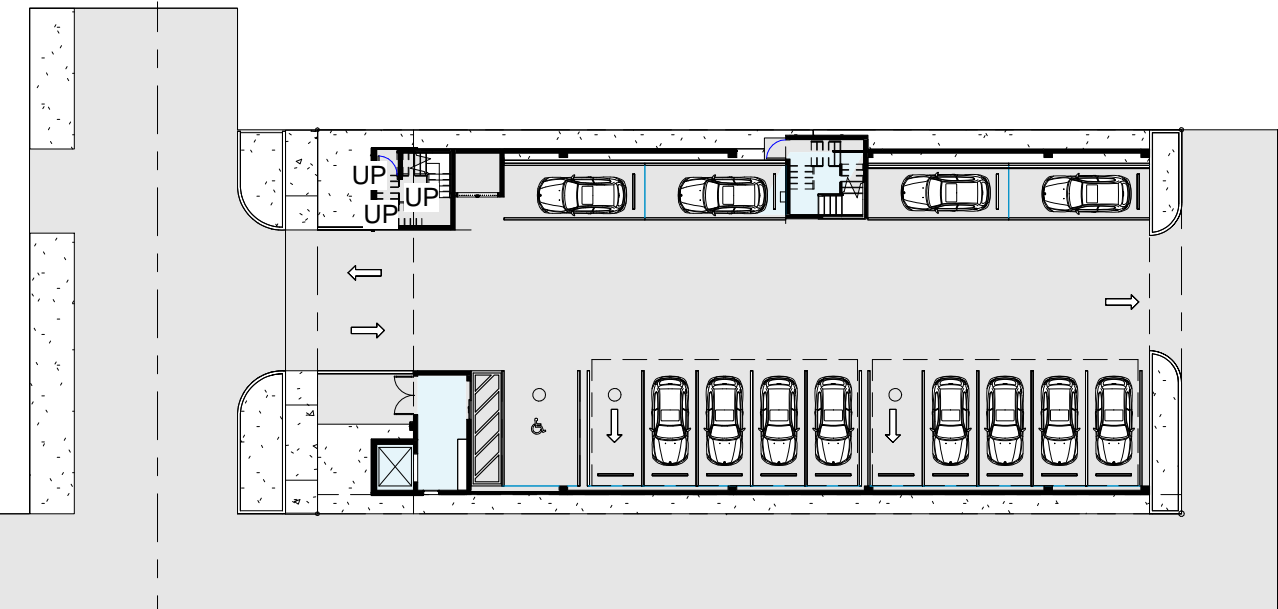
3 3RD FLOOR PLAN
1" = 30'-0"

FAR / FLOOR= 5,817 SF



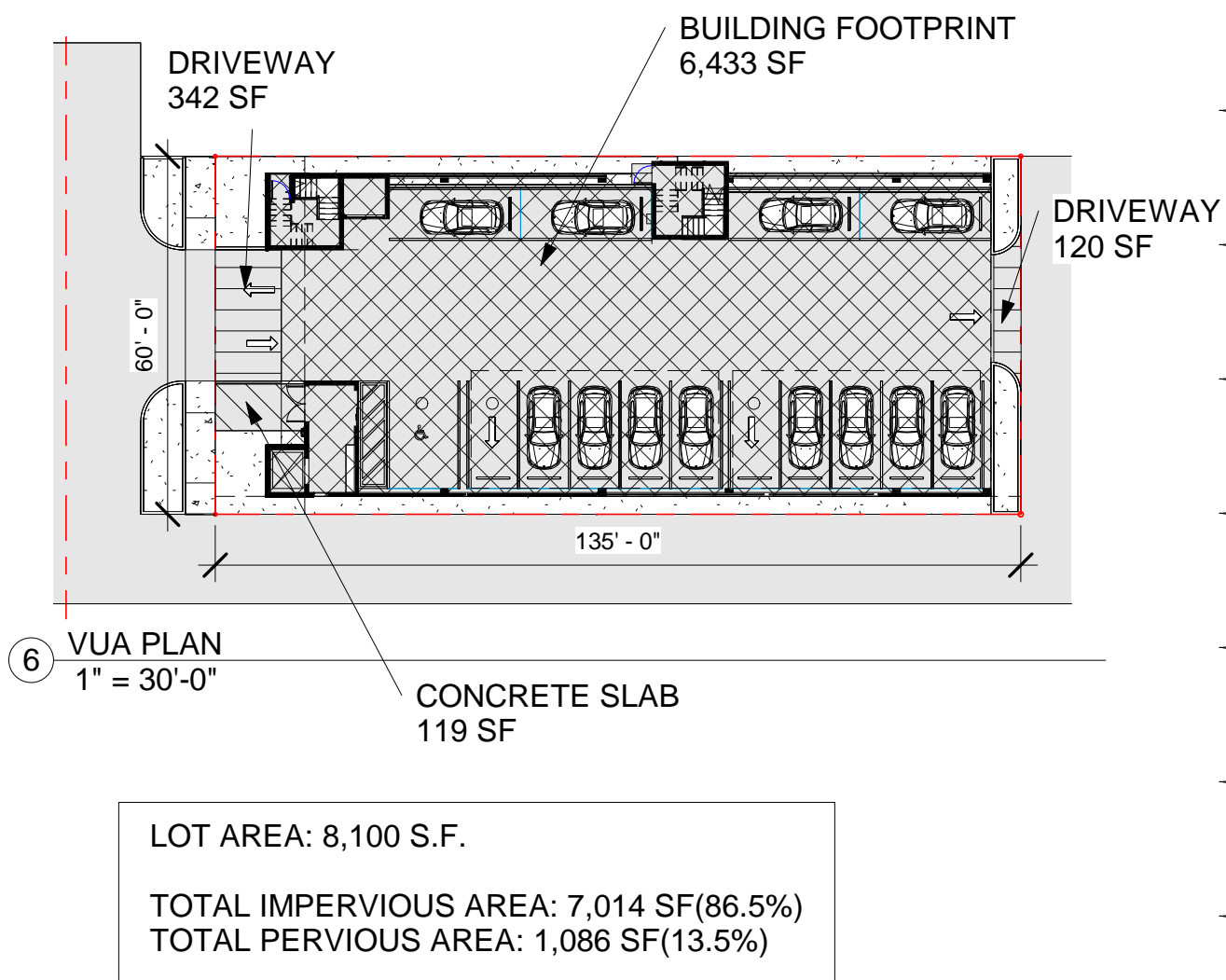
2 2ND FLOOR PLAN
1" = 30'-0"

FAR / FLOOR= 5,817 SF



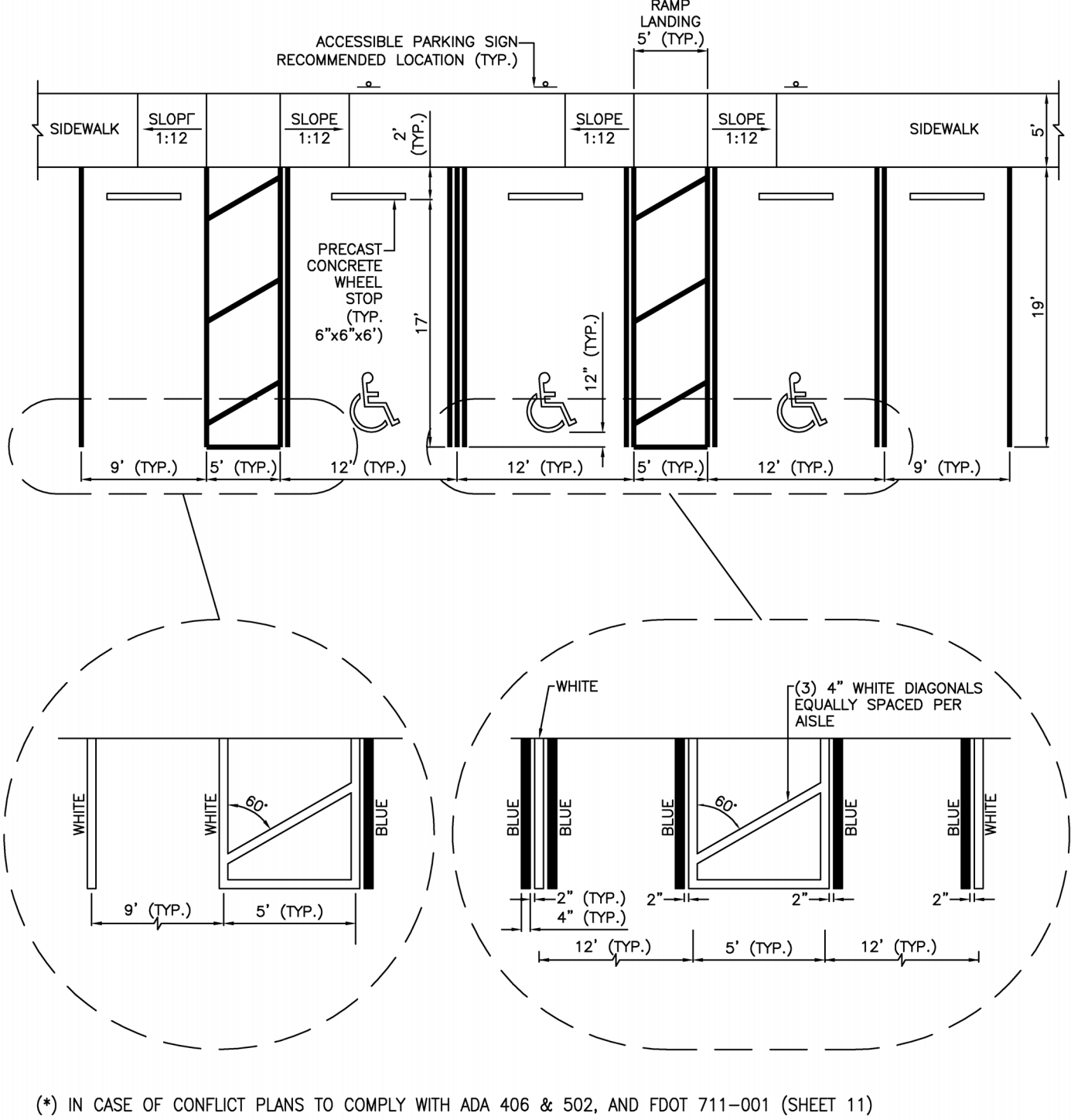
1 FIRST FLOOR PLAN
1" = 30'-0"

FAR / FLOOR= 311 SF

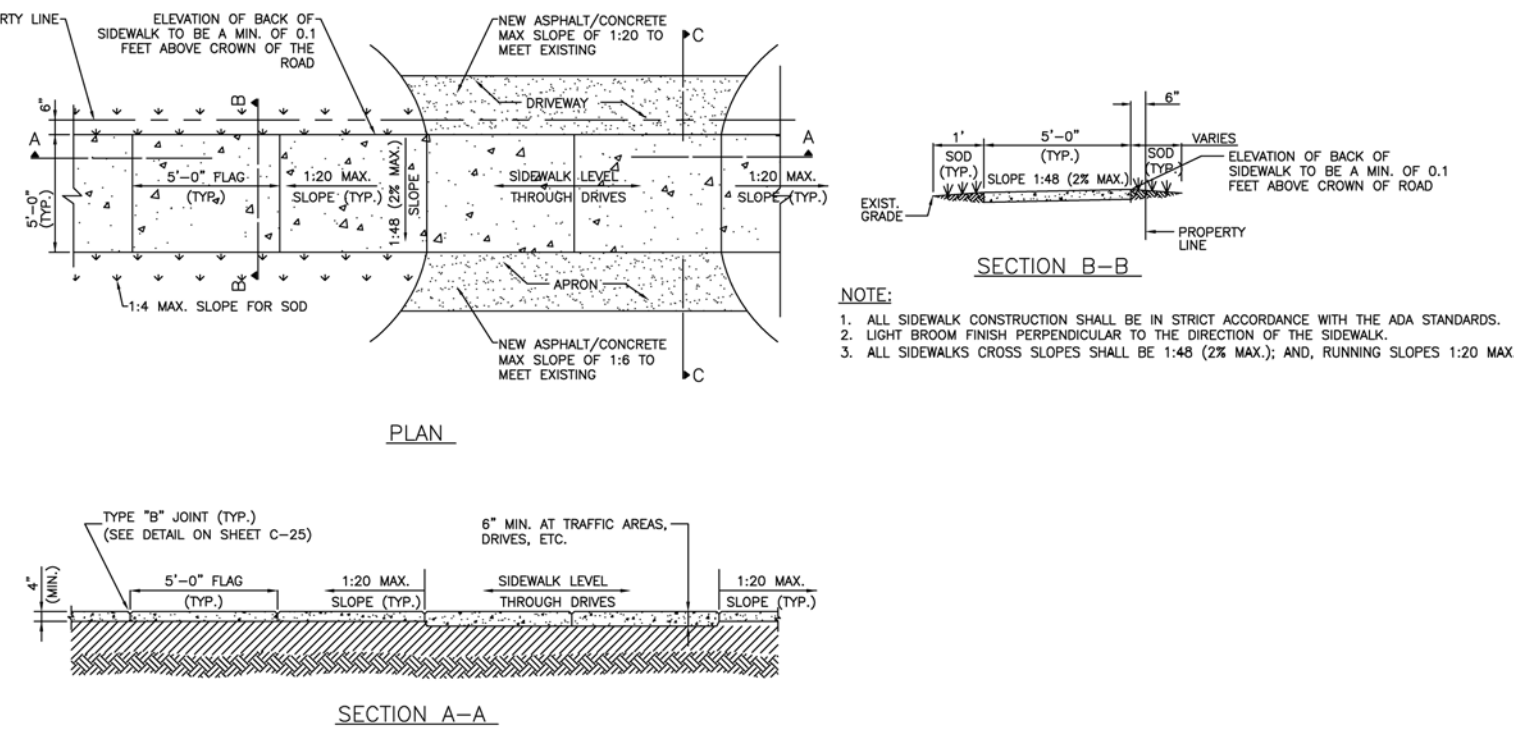


6 VUA PLAN
1" = 30'-0"

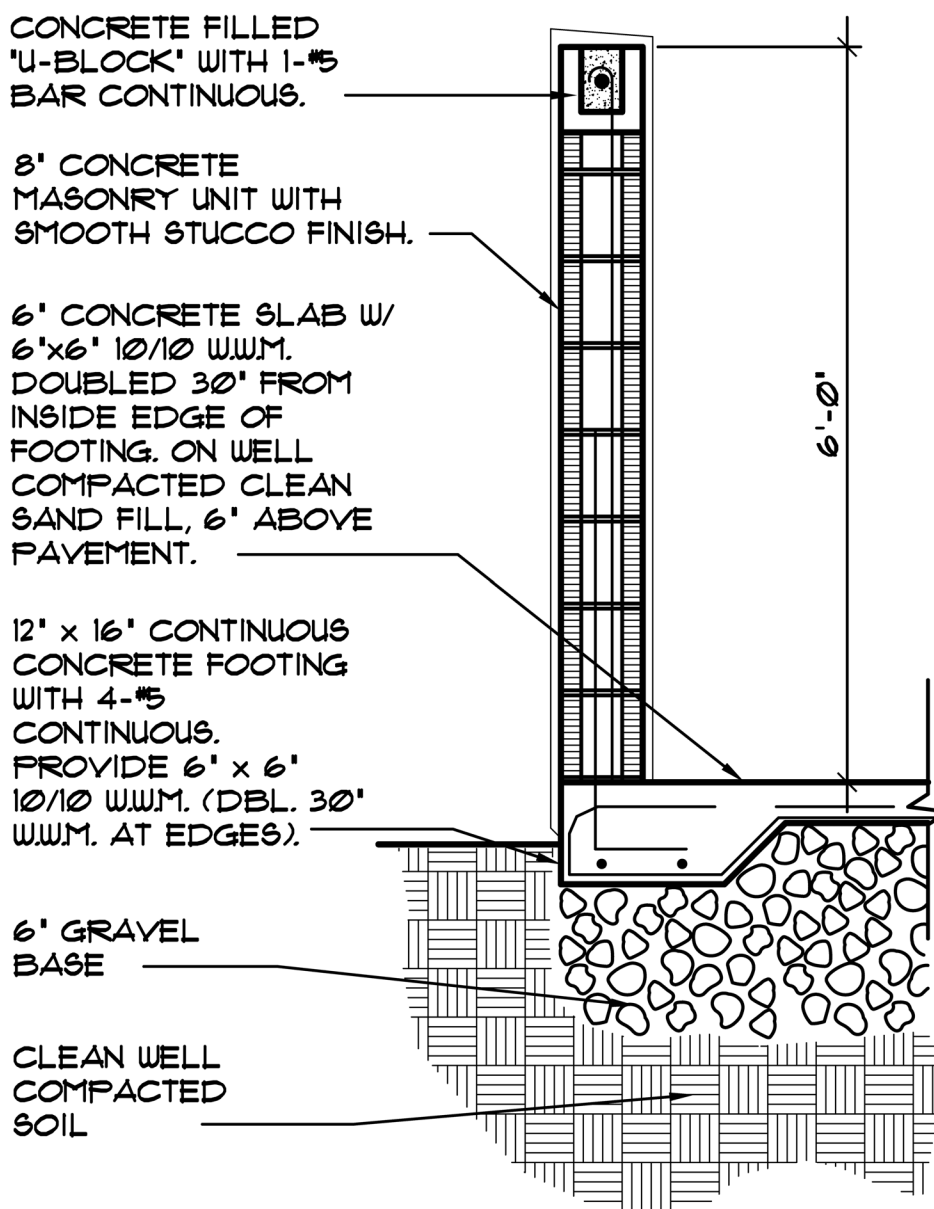
LOT AREA: 8,100 S.F.
TOTAL IMPERVIOUS AREA: 7,014 SF(86.5%)
TOTAL PERVIOUS AREA: 1,086 SF(13.5%)



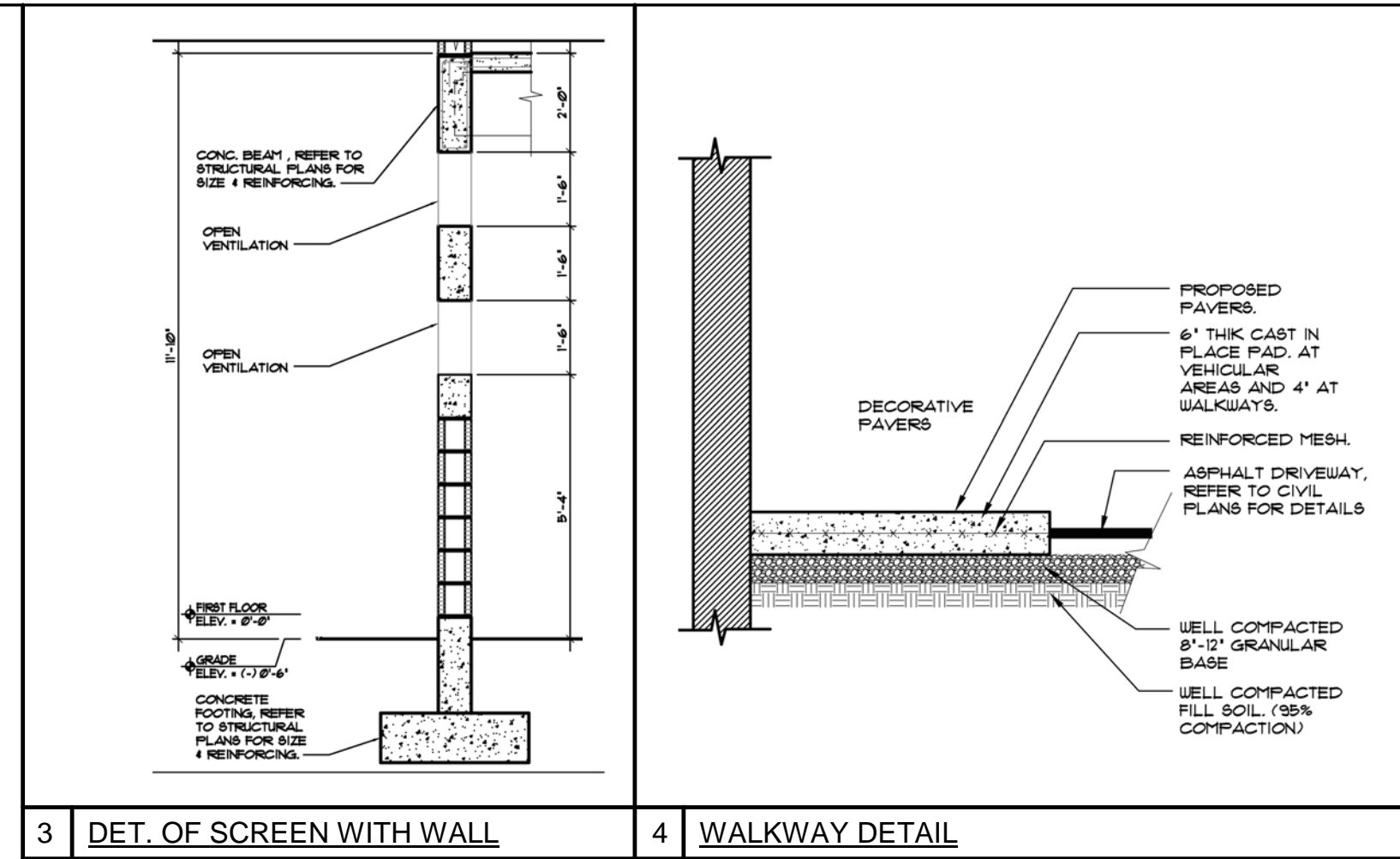
2 TYP. PARKING HANDICAP STALL DETAIL



6 ACCESSIBLE CURB RAMP

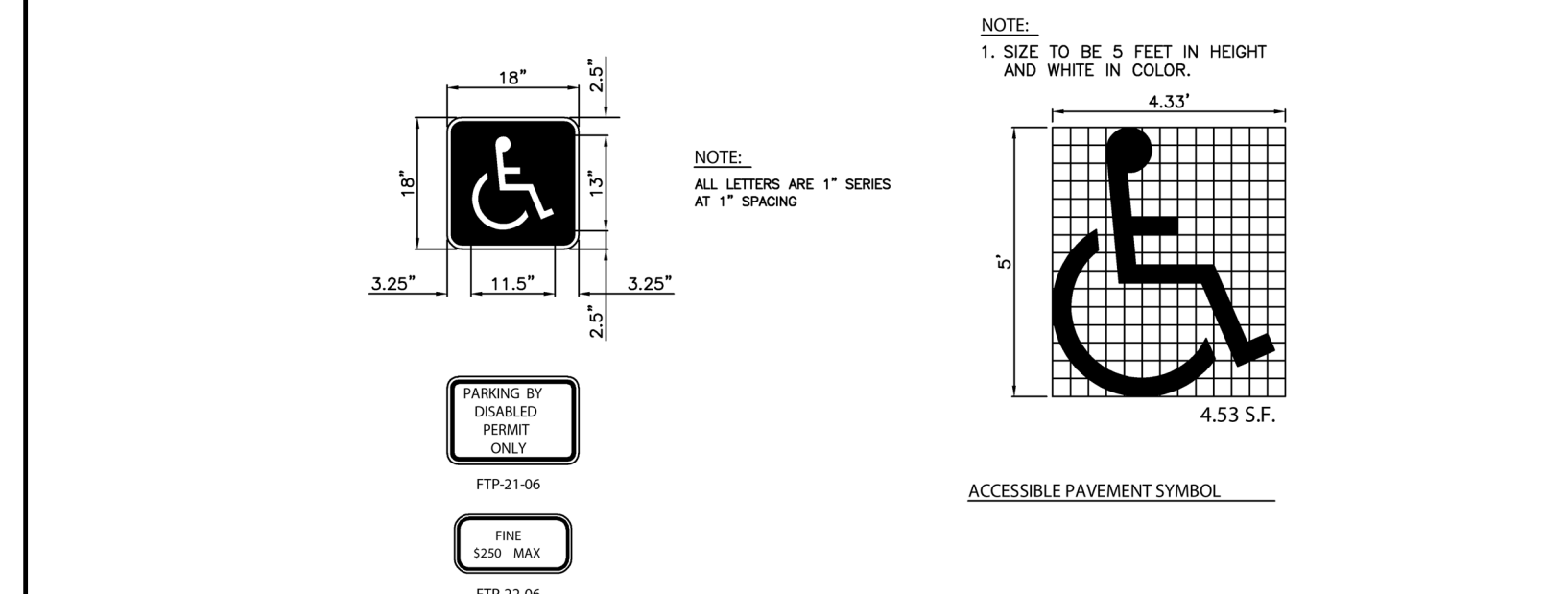


8 DUMPSTER ENCLOSURE DETAIL

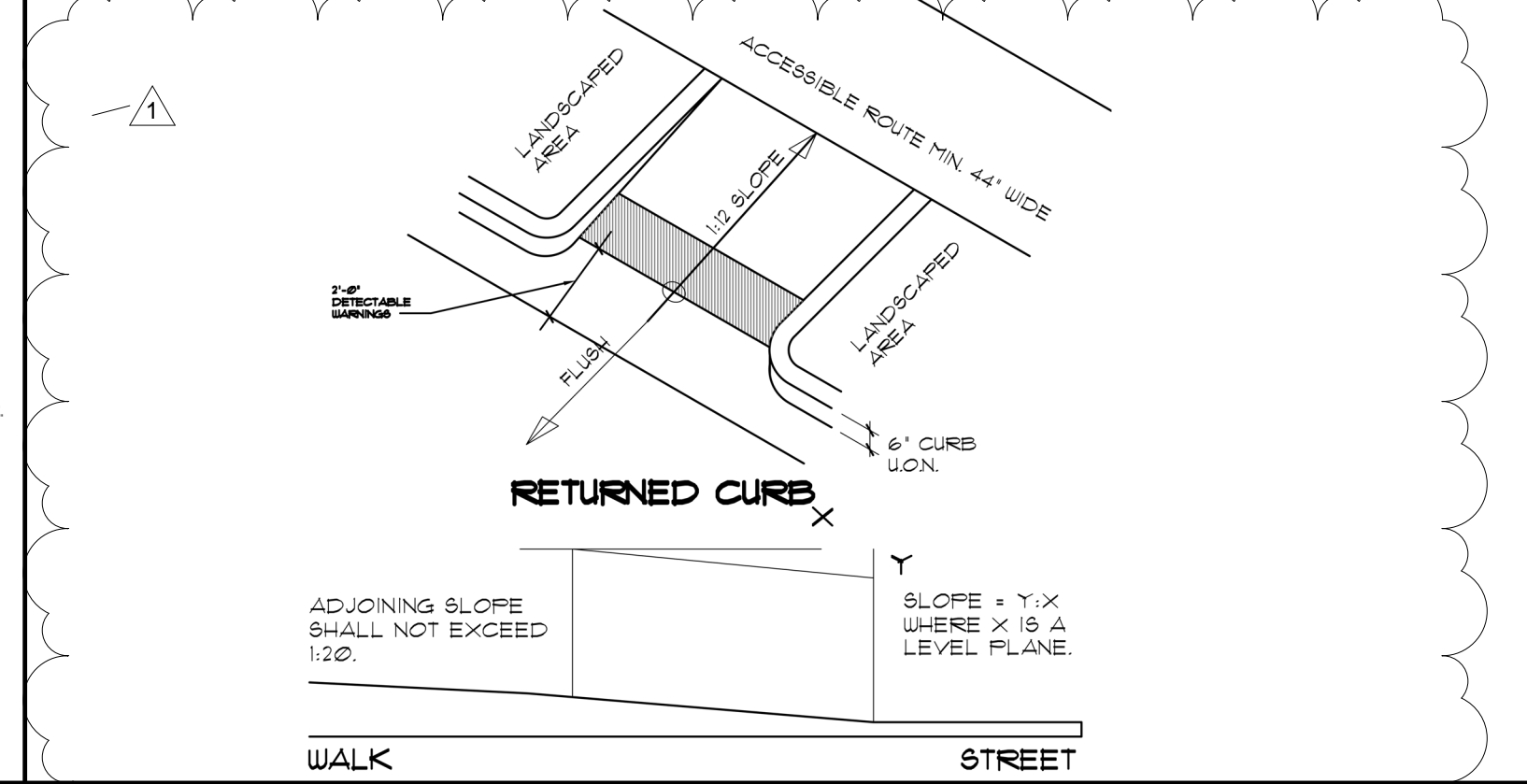


3 DET. OF SCREEN WITH WALL

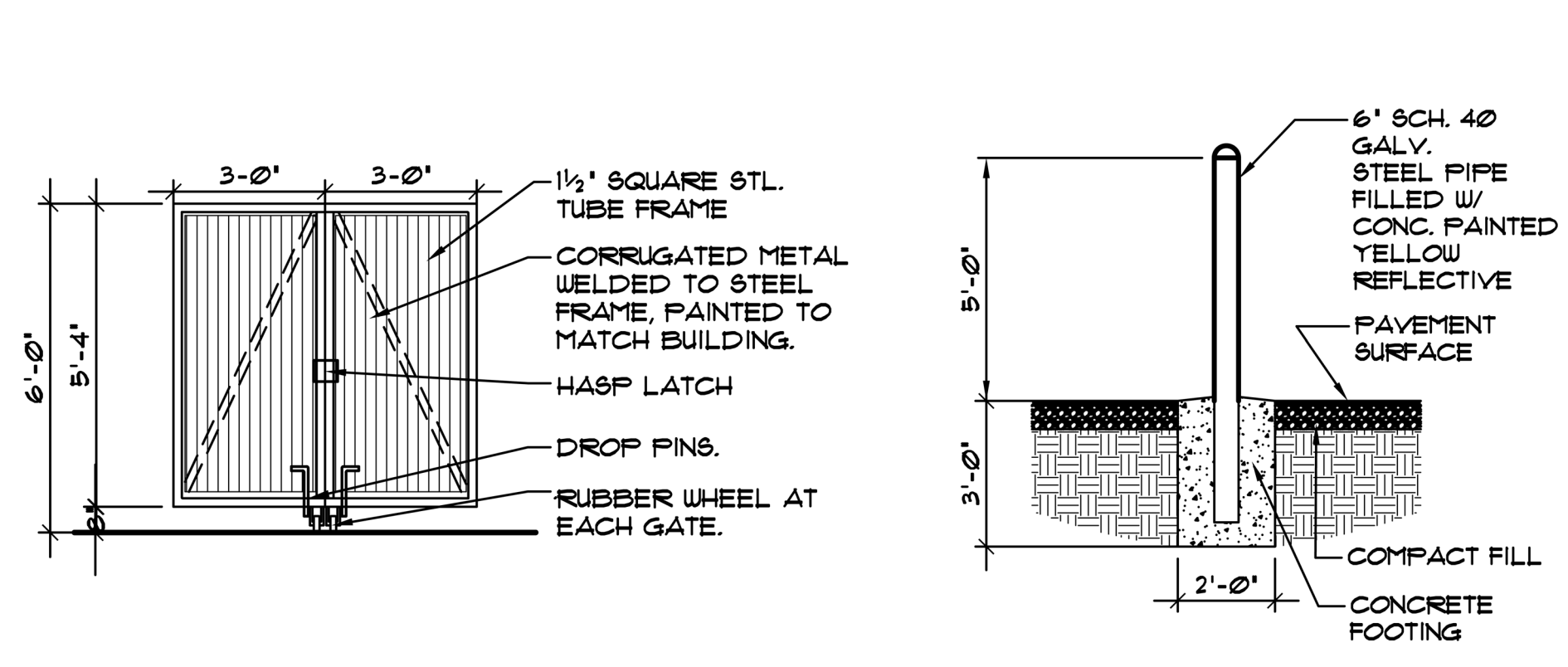
4 WALKWAY DETAIL



5 TYP. PARKING STALL DET.



7 ACCESSIBLE CURB RAMP



1.) THE MIN. INSIDE DIM. OF THE ENCLOSURE SHALL BE THREE (3) FEET WIDER THAN THE WIDTH OF THE RECEPTACLE AND TWO (2) FEET DEEPER THAN THE DEPTH. IF THE SIZE OF THE RECEPTACLE IS UNKNOWN, THEN THE MINIMUM SIZE OF A PROPOSED ENCLOSURE SHALL BE NO LESS THAN TEN (10) FEET BY TEN (10) FEET (INSIDE DIMENSION) WITH SIX-FOOT-HIGH WALLS.

2.) THE HEIGHT OF THE WALLS AND GATES SHALL BE AS FOLLOWS:
-UP TO SIX-CUBIC YARD CONTAINER, SIX (6) FEET HIGH.
-UP TO EIGHT-CUBIC YARD CONTAINER, EIGHT (8) FEET HIGH.

3.) THE BASE OF THE ENCLOSURE IS TO BE CONCRETE WITH A MINIMUM DEPTH OF SIX (6) INCHES IN DEPTH.

LLRArchitects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: L.L.R.A@LLRARCHITECTS.COM
Luis A. Rodriguez -Registered Architect
AR-0017852
Lara

Revision			
#	REV	DATE	BY
1	TAC 2	3/1/24	A. G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN:	A.G.
CHECKED:	L.L.R.
DATE:	10/3/2023
SCALE:	AS NOTED
JOB NO.:	023-041
SHEET:	

SP 1.2
OF: SHEETS:

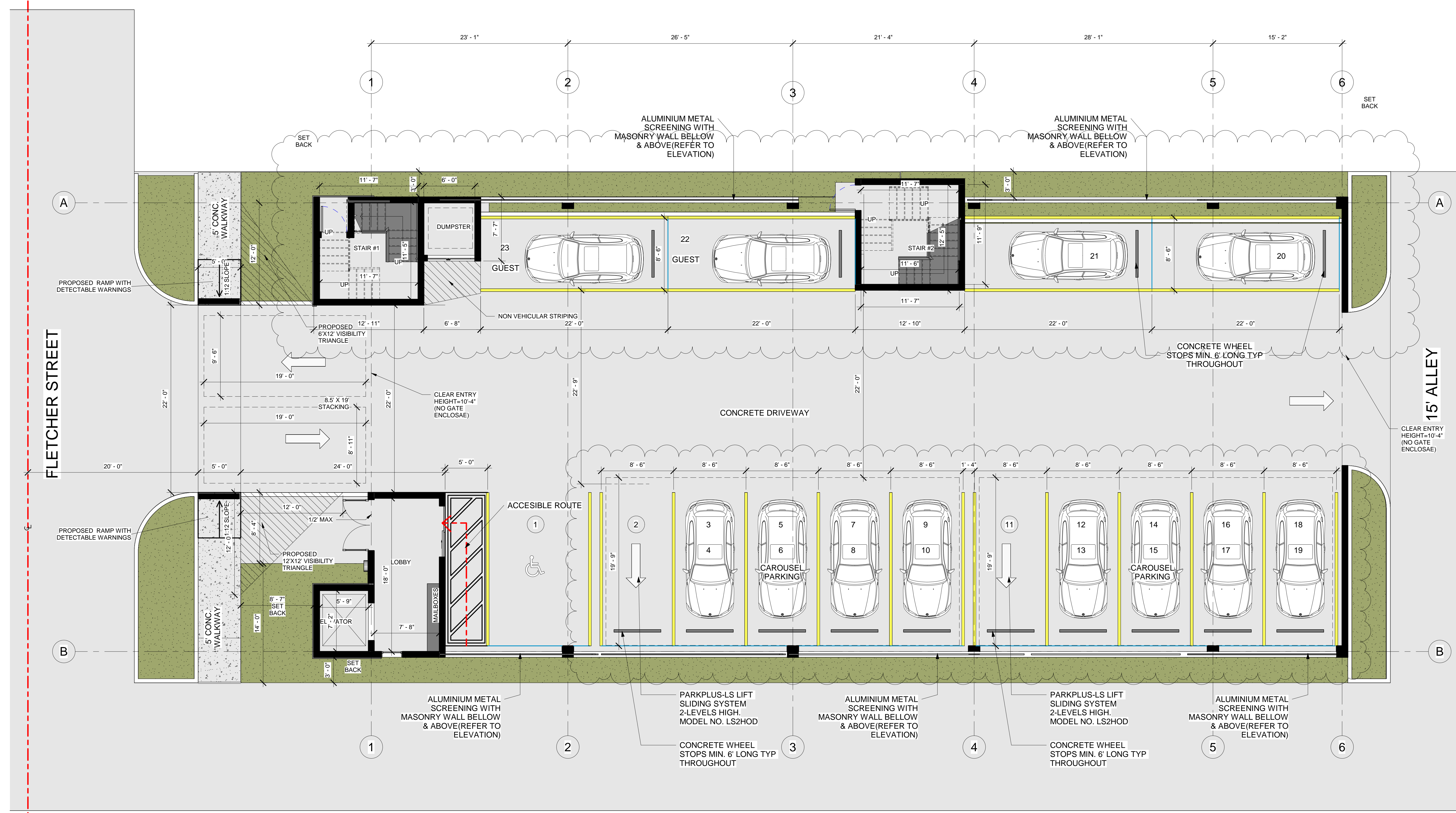
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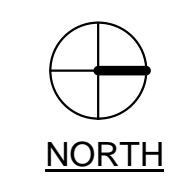
DRAWN:	A.G.
CHECKED:	L.L.R.
DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	

A 1.1
OF: SHEETS:



FLETCHER STREET

15' ALLEY



1 FIRST FLOOR
3/16" = 1'-0"

Revision			
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PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
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DRAWN:	A.G.
CHECKED:	LLR
DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	

A 1.2
OF: SHEETS:



1 2ND FLOOR PLAN
3/16" = 1'-0"

Revision			
#	REV	DATE	BY

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN: A.G
CHECKED: L.L.R
DATE: 10/3/2023
SCALE: AS NOTED
JOB. NO.: 023-041
SHEET:

A 1.3
OF: SHEETS:



1 3RD FLOOR PLAN
3/16" = 1'-0"



NORTH

Revision			
#	REV	DATE	BY

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN:	A.G
CHECKED:	L.L.R
DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	

A 1.4
OF: SHEETS:



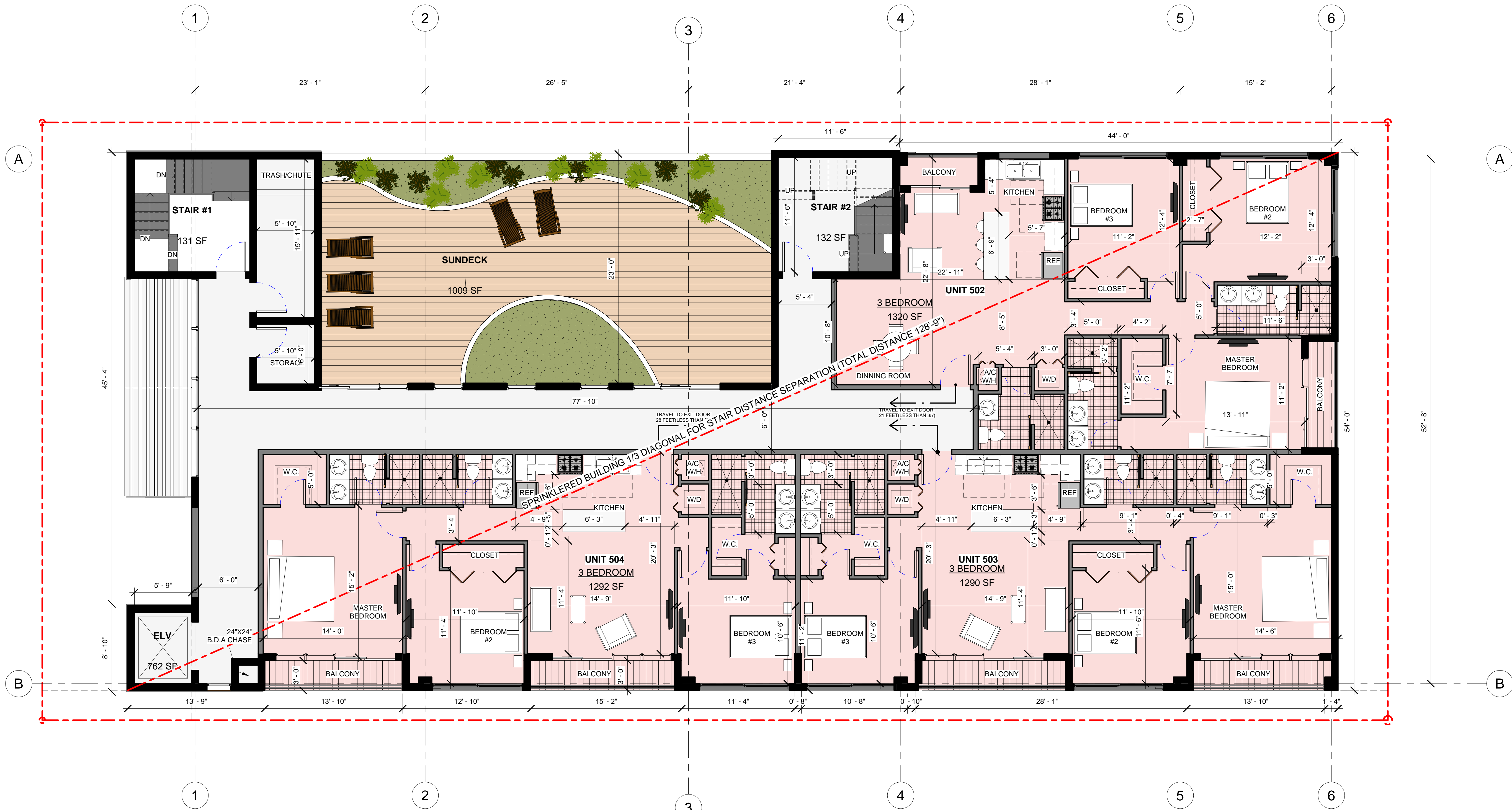
1 4TH FLOOR PLAN
3/16" = 1'-0"

REVISION:	BY:

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN:	A.G.
CHECKED:	L.L.R.
DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	
OF:	SHEETS:



1 5TH FLOOR
3/16" = 1'-0"



LLRArchitects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL - LUIS@LLRARCHITECTS.COM

Luis
AR 0017852
LA ROSA

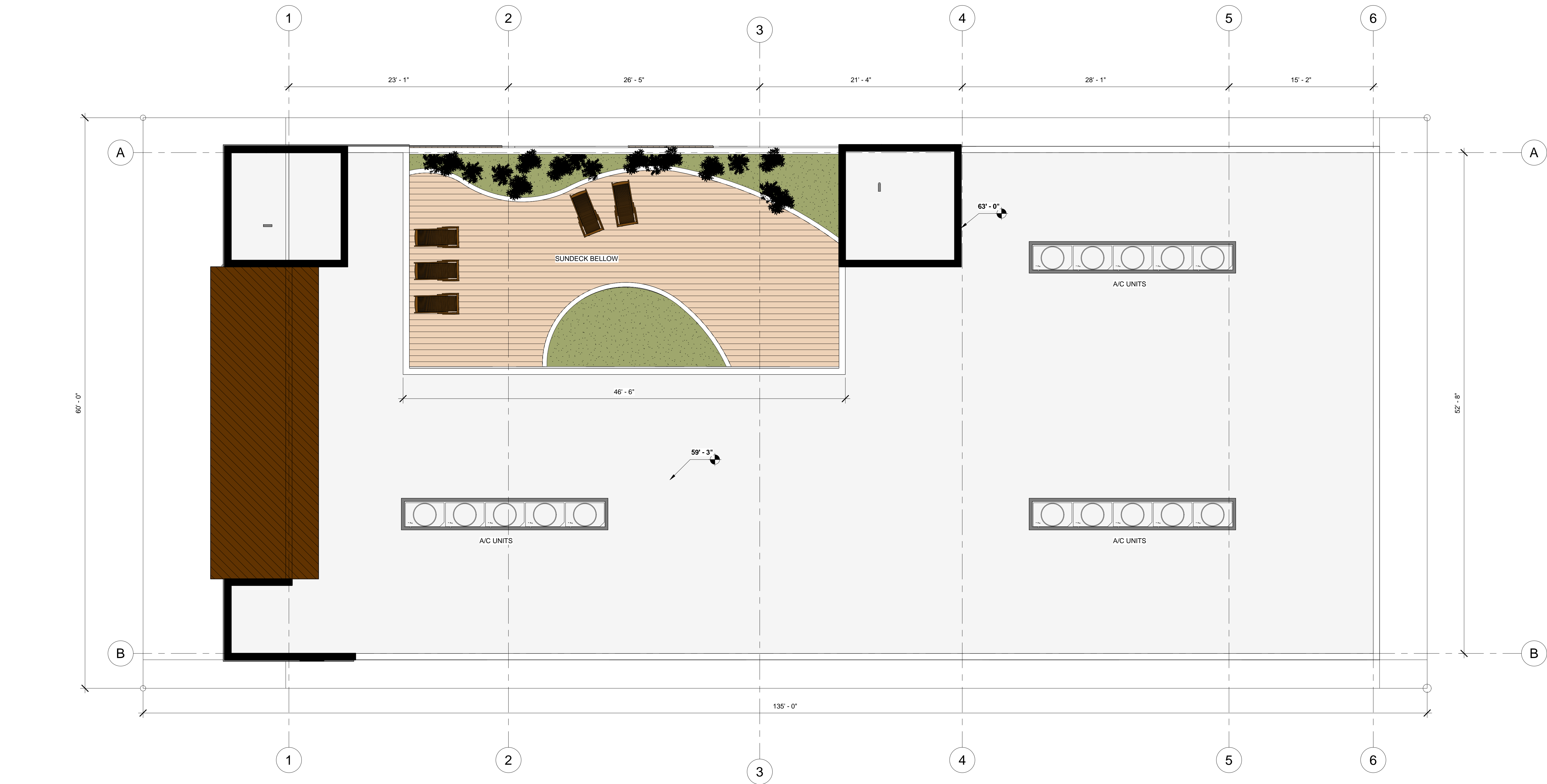
-Registered Architect

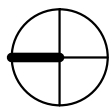
REVISION:	BY:

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1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN:	Author
CHECKED:	Checker
DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	
A 1.6	
OF:	SHEETS:




NORTH

① 6TH FLOOR/ROOF PLAN
3/16" = 1'-0"


Revision			
#	REV	DATE	BY
1	TAC 2	3/1/24	A. G.

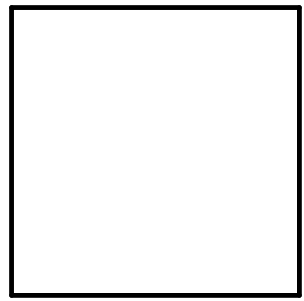
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SHEET:	
A 2.1	
OF:	SHEETS:


MATERIAL LEGEND

- 

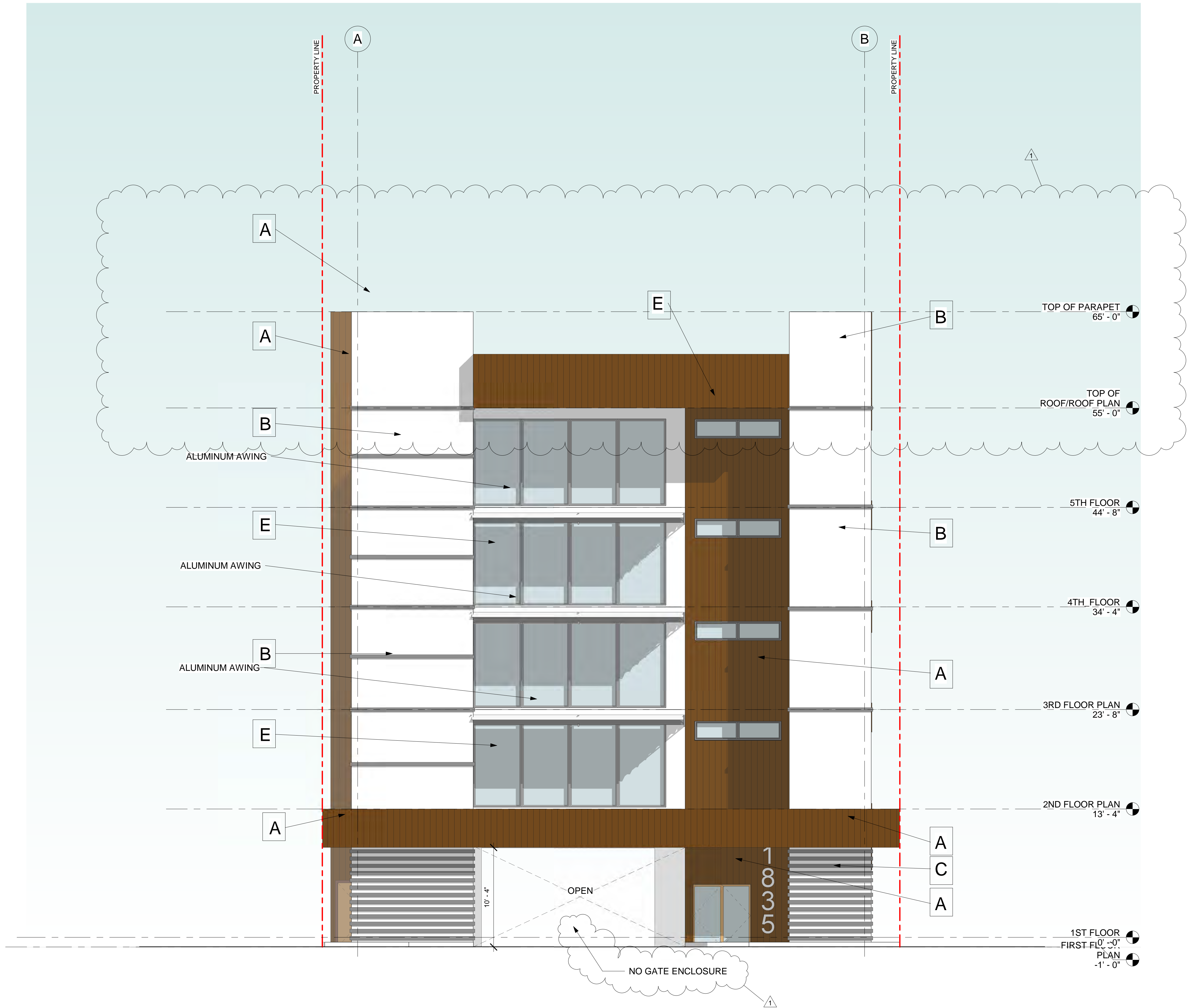
A
PORCELAIN WOOD
(VERTICAL)
- 

B
STUCCO FINISH PAINTED
COLOR: SW 9541
WHITE SNOW
- 

C
METAL SILVER
- 

D
ALUMINIUM GUARDRAILS
- 

E
CLEAR GLASS



1 PROPOSED NORTH ELEVATION
3/16" = 1'-0"

Revision			
#	REV	DATE	BY
1	TAC 2	3/1/24	A. G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA


DRAWN:	Author
CHECKED:	Checker
DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	
A 2.2	
OF:	SHEETS:



1 PROPOSED WEST ELEVATION
3/16" = 1'-0"

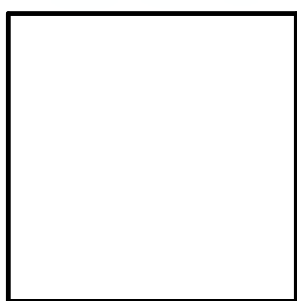
MATERIAL LEGEND

A




PORCELAIN WOOD
(VERTICAL)

B




STUCCO FINISH PAINTED
COLOR: SW 9541
WHITE SNOW

C




METAL SILVER

D

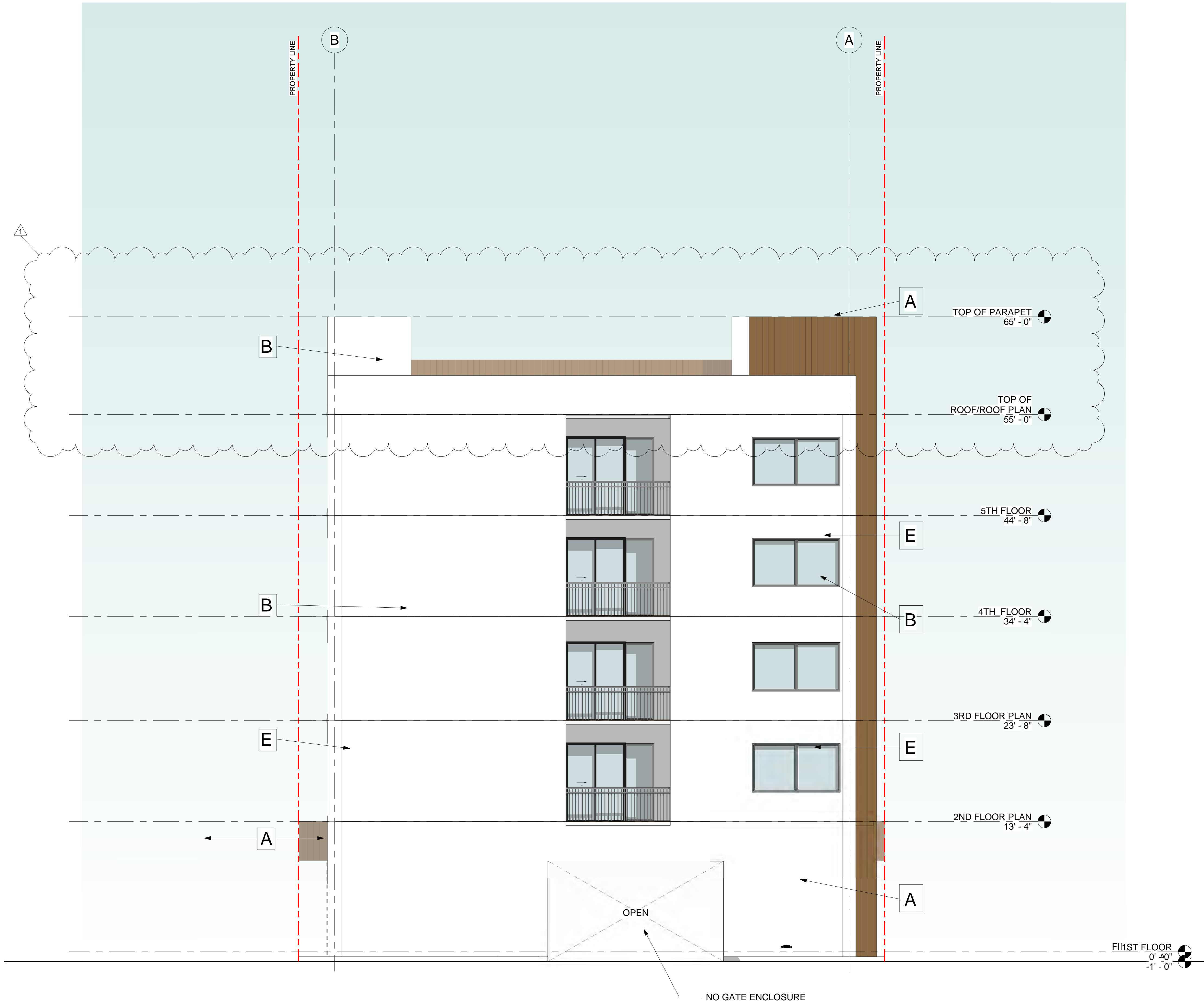


ALUMINIUM GUARDRAILS

E



CLEAR GLASS



1 PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



LLR Architects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LUIS@LLRARCHITECTS.COM
Luis A. Rosa - Registered Architect
AR# 0017852

Revision			
#	REV	DATE	BY
1	TAC 2	3/1/24	A. G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

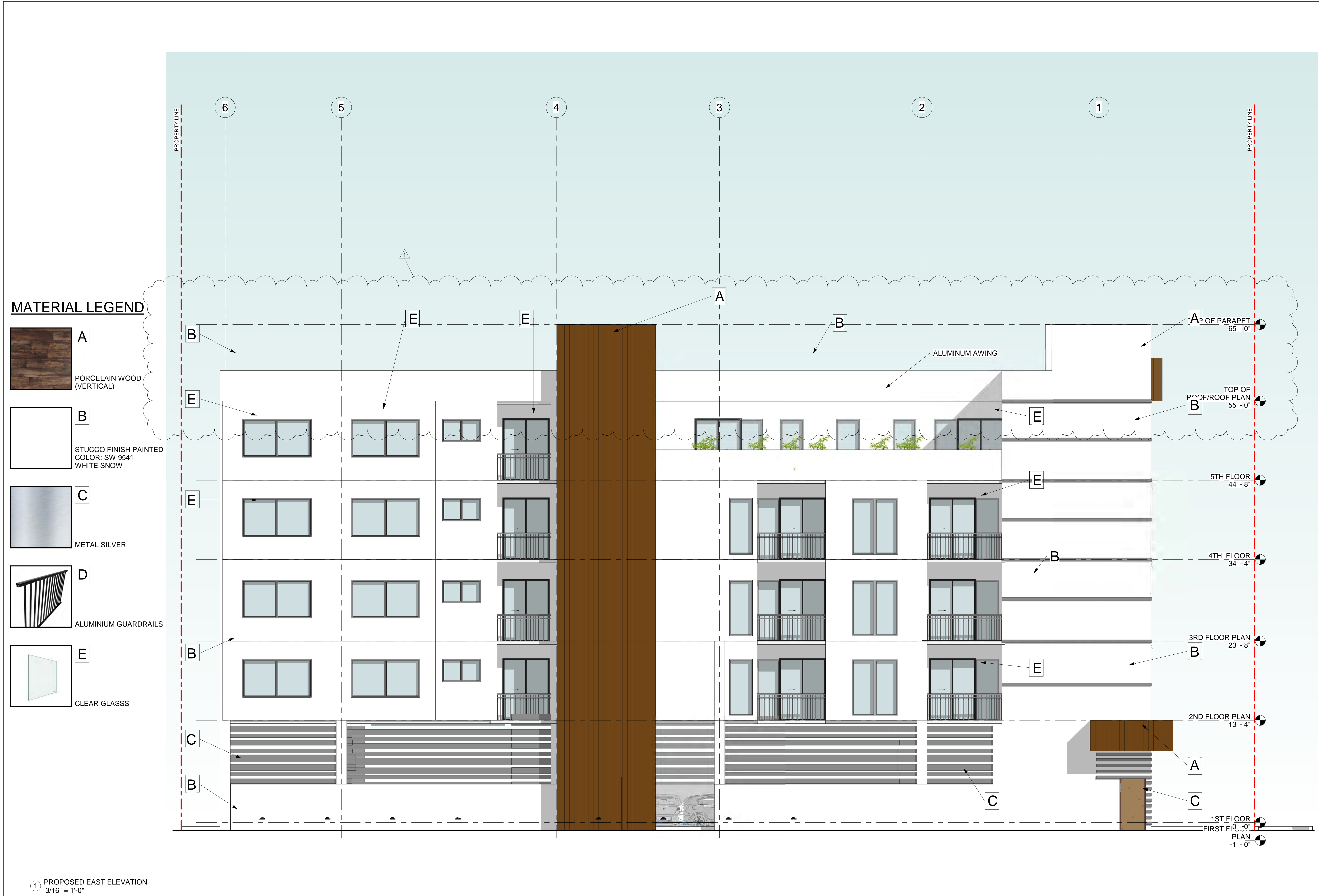
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DATE:	10/3/2023
SCALE:	AS NOTED
JOB. NO.:	023-041
SHEET:	
A 2.3	
OF:	SHEETS:

Revision			
#	REV	DATE	BY
1	TAC 2	3/1/24	A. G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS A. ROSA

DRAWN:	Author
CHECKED:	Checker
DATE:	10/3/2023
SCALE:	AS NOTED
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SHEET:	
A 2.4	
OF:	SHEETS:





1 (3D)



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ARCHITECTURE & PLANNING
9000 SHERIDAN STREET ST. 158
PEMBROKE PINES, FL 33024
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LUIS@LLRARCHITECTS.COM
Luis
AR# 0017852
Luis

Revision

#	REV	DATE	BY
---	-----	------	----

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1835 FLETCHER
1835 FLETCHER STREET HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN: Author

CHECKED: Checker

DATE: 10/3/2023

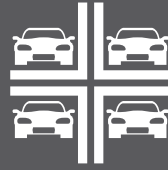
SCALE: AS NOTED

JOB. NO.: 023-041

SHEET:

A 2.5

OF: SHEETS:



PARKPLUS
HIGH DENSITY PARKING SYSTEMS



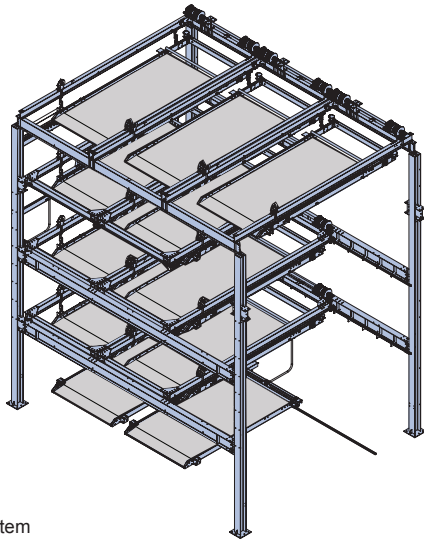
LShd

LIFT-SLIDING
Semi-Automated
Parking System

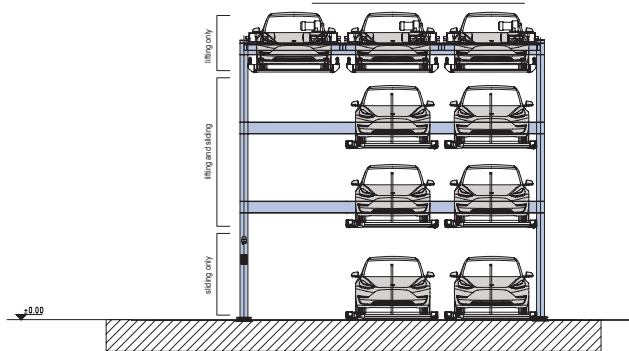


SPEC SHEET

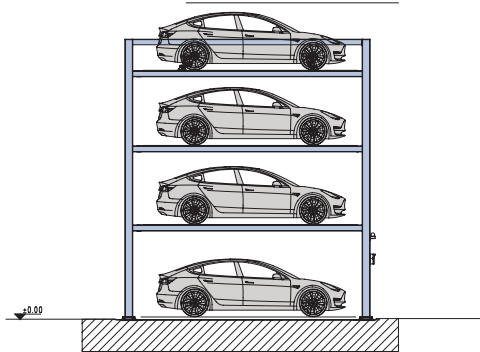
PARKPLUS LS LIFT-SLIDING



* Typical LS System



Front View



Side View

Applications

Lift-Sliding System can be installed in attended/valet applications and self-park applications:

- Multi-Family Residential Buildings
- Indoor & Outdoor Installations
- Low & High Rise Buildings
- Commercial Buildings
- Surface Lots

The **PARKPLUS** Semi-Automated Lift-Sliding Parking System is a multi-level customizable vehicle storage and retrieval system for storing cars in vertical and horizontal arrays. The Lift-Slide uses Programmable Logic Control (PLC) software to move stacked cars on platforms to receive and present vehicles at grade, providing direct access to stacked vehicles without removing other vehicles from the system.

Entire assembly comes pre-welded and is assembled in the field. System is designed to be mounted on grade with an engineered foundation. System can be designed to stack up to 5 vehicles above grade and up to 2 vehicles below grade, with a maximum vertical stacking capacity of 7 vehicles in the space usually occupied by a single vehicle. There are no horizontal limitations to the system.

The **PARKPLUS** Lift-Sliding System is designed to be installed indoors and outdoors. System can be customized with external cladding/siding, garage doors and roof, per project specifications. Platform height is set at fixed height between 5'-2" min. and 7'-0" max. Each city may have minimum height requirements and different clear requirements for code required parking. Owner/Architect should review with local planning and building departments. **MEP coordination with project team must meet code requirements and satisfy equipment clearances.**

Suitable for

- Standard passenger vehicles
- SUVs
- *Custom Solutions Available

Specifications

Load per Platform:	5,200 lbs.
Weight of Unit:	(Determined by Model)
Length of Stall:	19'-9"
Width of Stall:	8'-2 1/2"
Height of Unit:	(Determined by Model)

*Excluding column dimensions of structural framework

*Custom Dimensions Available

Operation: Electric
Control Panel
Programmable Logic Control (PLC)
Automatic with Manual Override

Control: Push Button Control
Key Fob
Remote Control (Optional)
Mobile App (Optional)

Power

Lift Motor: 3 HP – 5 HP

Traversing Motor: 0.55 HP

Electrical

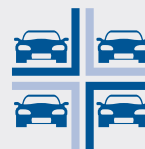
1 Disconnect required per system module

3 PH 208V (100Amp)-480V (60Amp) / 60HZ

All control wiring is a Class 2 Circuit 24V

Power & Electrical specifications vary per Product Model

- **Cost-Effective, Multi-Layered Parking Solution**
- **In-house Design, Manufacturing, Installation & Service**
- **Minimal Moving Parts – Reduced Maintenance**
- **Self Parking – No Attendant Required**



PARKPLUS
HIGH DENSITY PARKING SYSTEMS

Operation

Each module requires an empty stack – allows for shifting of platforms. User will always park & retrieve car from same position on grade. Dedicated spaces/platforms can be assigned.

PARKING / STORAGE

- User requests platform by keypad/push-button control, key fob remote control and or mobile app.
- System prepares platform and presents at grade level
- Safety gate opens when platform is in position
- Driver pulls vehicle onto platform
- Driver engages parking brake, shuts off vehicle

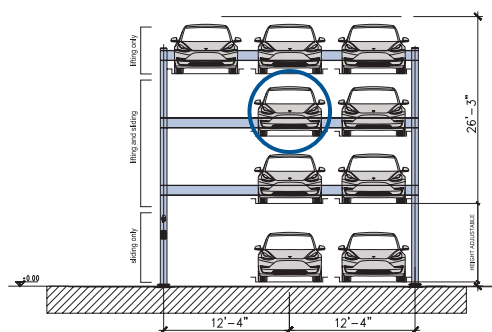
- Driver exits vehicle and completes storage command at keypad
- Safety gate closes
- Vehicle is transferred to specified storage position

RETRIEVAL

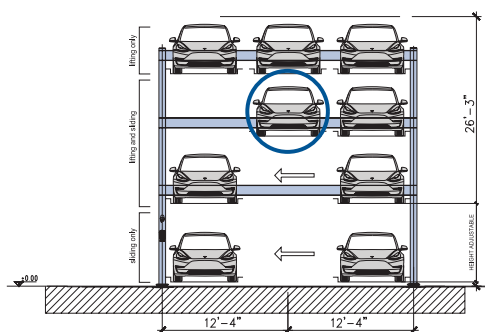
- User requests retrieval at keypad
- Process is followed in reverse
- System presents vehicle at same position of loading
- Driver enters vehicle, starts and drives away
- Safety gate closes
- System returns to neutral

A system of safety feature ensures normal operation of each cycle.

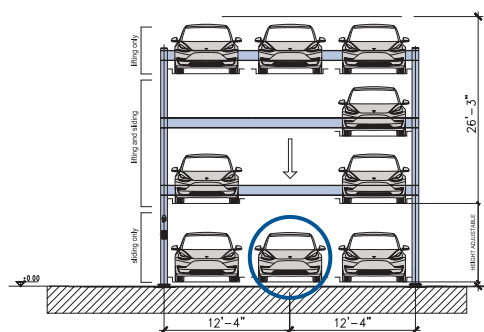
* System shown at capacity



1. Stand by mode. Vehicle requested.



2. Slide-motion initiated.



3. Vehicle presented at ground level.

ADDITIONAL INFORMATION

Safety

System is equipped with limit switches which limit motions to correct system levels and positions. Motion detectors and lasers detect obstructions within system and stop operation in emergency. System requires operator reset to check safety and obstruction removal. System is equipped with safety locking system. The safety hook system holds full weight of vehicle on platform in locked position. System is equipped with a secondary (anti-fall) safety system. System is equipped with Visual and Audible alarms and Emergency Stops. Safety Gates are required for Self Parking and In-ground units.

Fire Protection

In most metropolitan areas, car stacker systems are reviewed as similar to high piled storage and non-building structures. Fire rating of structural components is not required. Sprinklers may be required per following section. Each city may have fire department guidelines.

Fire Sprinklers

Outdoor: 1. Most cities do not require fire sprinklers. 2. May need to conform to additional zoning regulations and building code requirements.

Indoor: 1. Installation shall be in a sprinklered garage. In tandem array, additional sprinkler requirements may apply. 2. Sprinkler Plans filed and approved by local municipality. 3. Sprinkler system designed as required by NFPA 13 and local building codes. 4. Clear building height within parking area must accommodate height of equipment plus additional requirements for adequate coverage of fire sprinklers.

Temperature

This device is designed to operate between 20° and 120° F.

Loading

Structural design and loading is provided on a project by project basis and is dependant on seismic zones, soil conditions and other environmental conditions.

Warranty

12-month Standard Manufacturer's Warranty on new equipment.

Extended Warranty is available at time of purchase.

Service

At end of 12-month warranty period a service contract is available upon request.

Rental option includes Service & Maintenance for full term.

Approvals

- OTCR Certified, City of New York
- LAETL Approved, LARR#Pending, City of Los Angeles
- ISO Compliant
- California Seismic Code Compliant
- Miami Dade County Compliant
- Approved in Multiple U.S. Cities

PARKPLUS, INC. HEADQUARTERS
83 BROAD AVENUE, SUITE 2
FAIRVIEW, NJ 07022

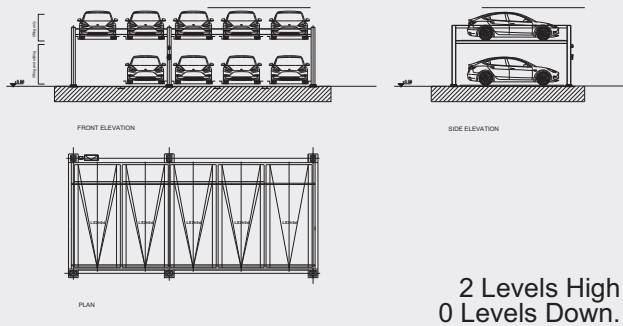
PARKPLUS CALIFORNIA
8640 TAMARACK AVENUE
LOS ANGELES, CA 91352
CSLB# 1018794

PARKPLUS FLORIDA, INC.
1111 OLD GRIFFIN ROAD
DANIA BEACH, FL 33004

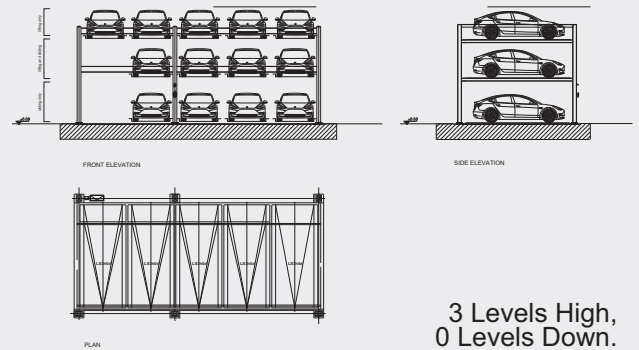
PARKPLUSINC.COM

PRODUCT MODELS

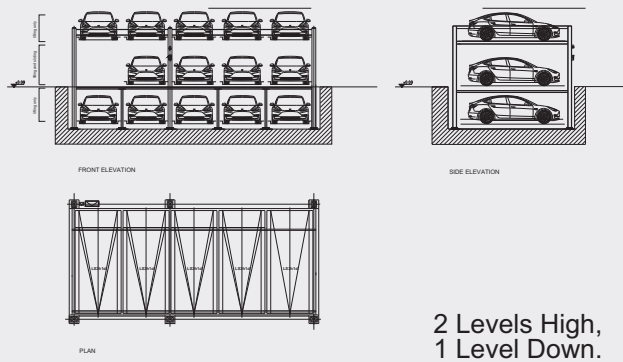
MODEL LS2h0d



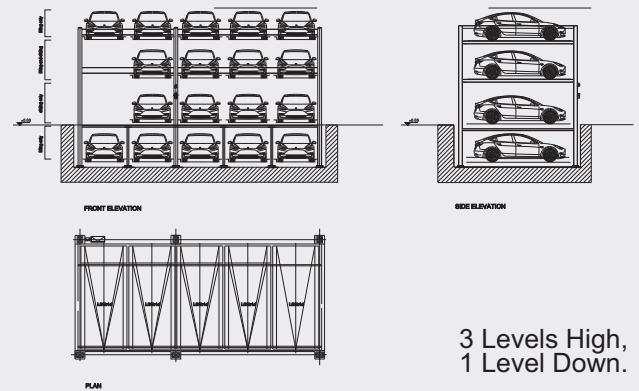
MODEL LS3h0d



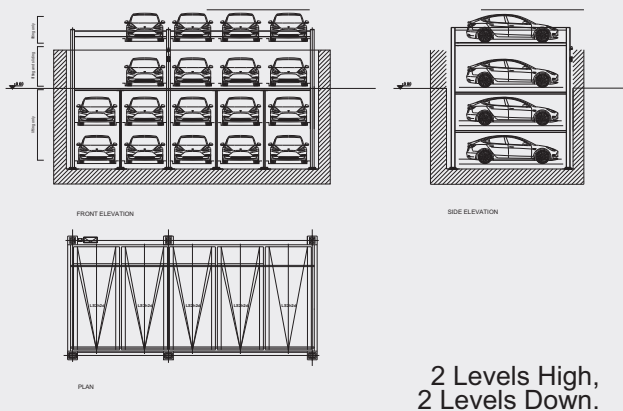
MODEL LS2h1d5w



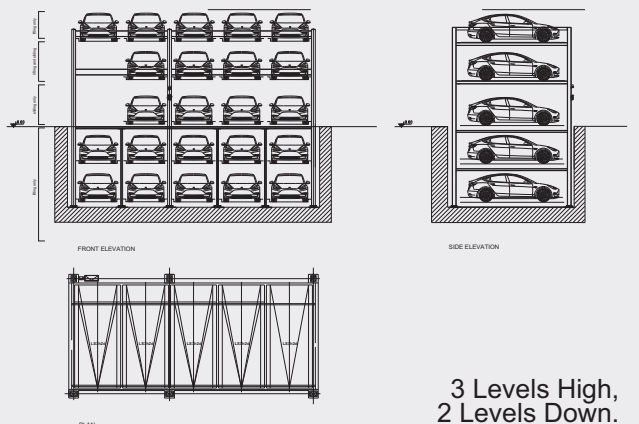
MODEL LS3h1d5w



MODEL LS2h2d5w



MODEL LS3h2d5w

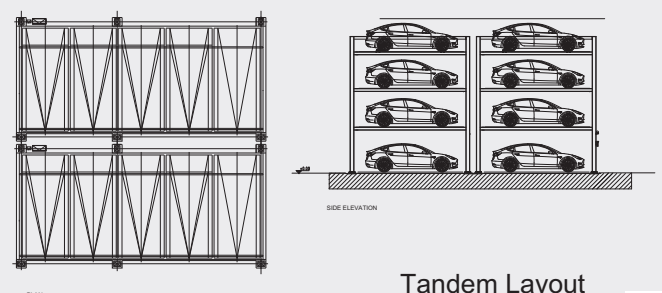


Layout

PARKPLUS LS Lift-Sliding System can be arranged in single or tandem arrays, with or without Pit, on either side of a drive aisle.

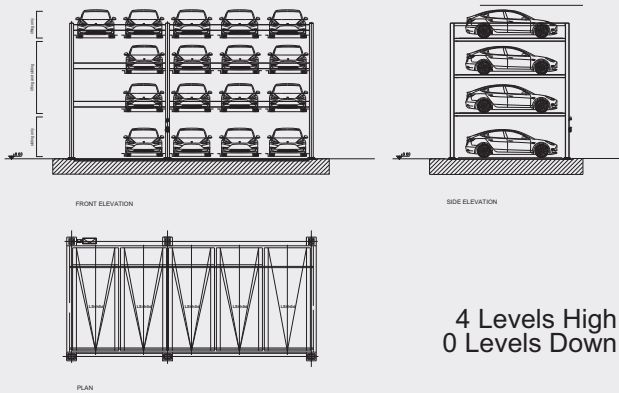
TYPE	Sedan	SUV
Pit Depth	7'-3"	9'-0"
On Grade	6'-8"	6'-8"
Above Grade	5'-2"	6'-8"

*Custom dimensions available.

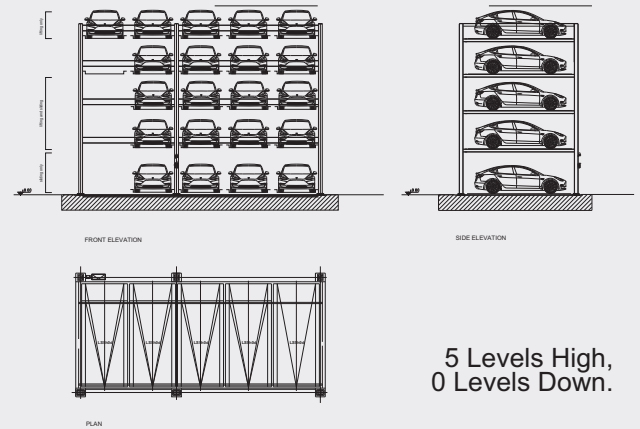


PRODUCT MODELS

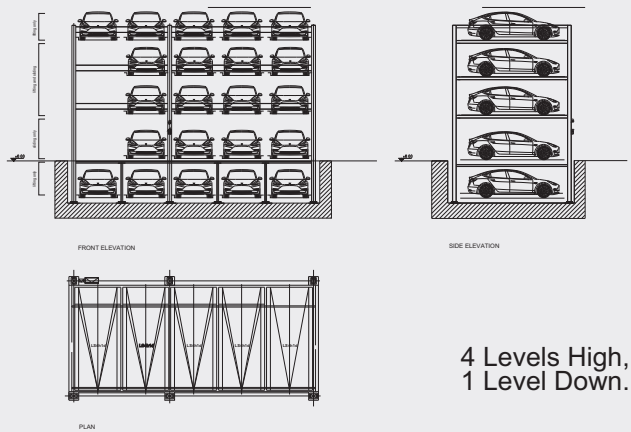
MODEL LS4h0d5w



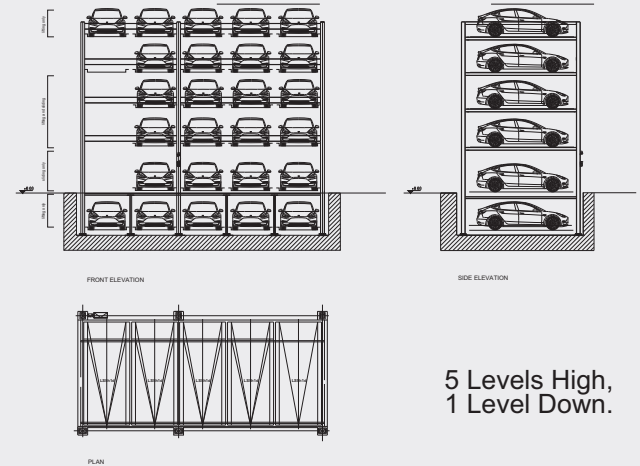
MODEL LS5h0d5w



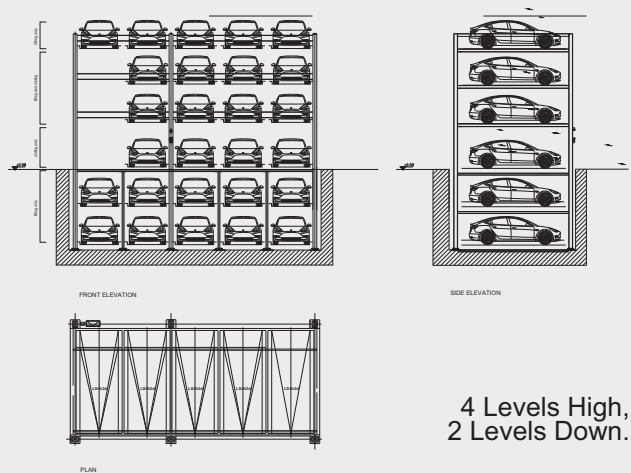
MODEL LS4h1d5w



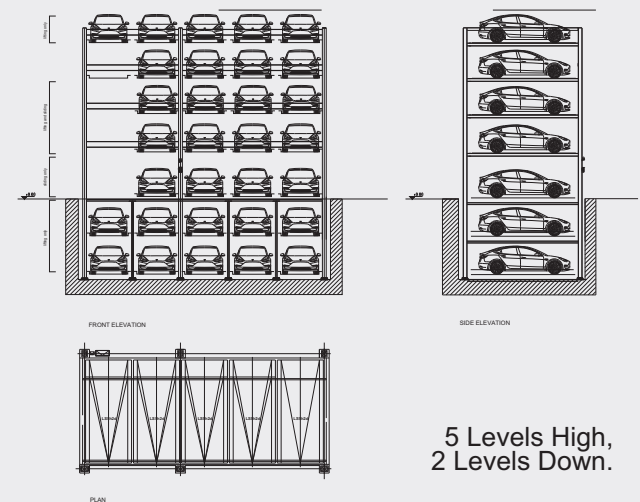
MODEL LS5h1d5w



MODEL LS4h2d5w



MODEL LS5h2d5w



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LOS ANGELES, CA 91352
CSLB# 1018794

PARKPLUS FLORIDA, INC.
1111 OLD GRIFFIN ROAD
DANIA BEACH, FL 33004

Architect
AR#-0017852
AA#-26003693

REVISION:	BY:
1 01/29/2024 TAC 2	A.G.

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:

835 FLETCHER

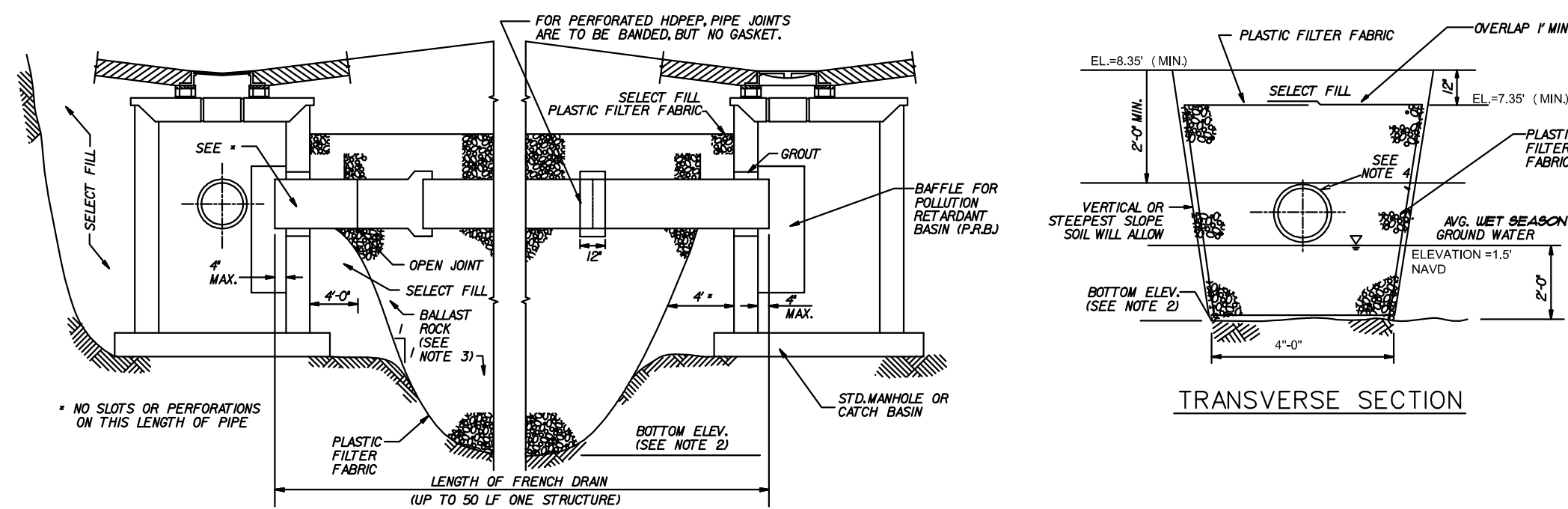
1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	L.L.R.
DATE	10/3/2023
SCALE	AS NOTED
JOB. NO.	023-041
SHEET	

$$C = 1.$$

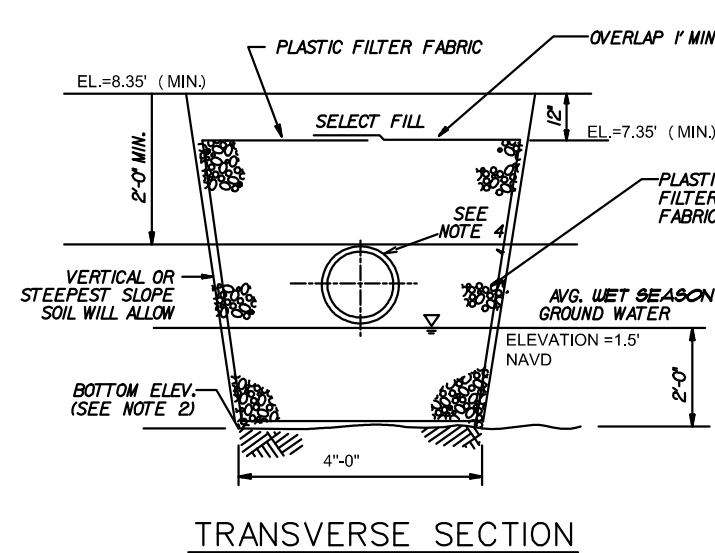
OF SHEETS



LONGITUDINAL SECTION

NOTES:

1. PLASTIC FILTER FABRIC (AT EASIDE TOP & BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 2'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE COMPLETELY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF LOCAL BALLAST IS USED, BALLAST SHALL BE WASHED DOWN TO THE BALLAST COURSE TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
4. INVERT ELEVATION TO BE ABOVE AVERAGE OCTOBER GROUND WATER LEVEL OF 18' - NAD/ PER BRADSHAW COUNTY'S FUTURE CONDITIONS AVERAGE WEI BEASON GROUNDWATER ELEVATION MAP.
5. PLUS 20" PIPES WITH 10" O.D. GALV. STEEL MESH OR ALUMINUM MESH (OVER END OF PIPE)



WATER & SEWER DEMAND

$$15 \text{ UNITS} \times 250 \text{ GPD/UNIT} = 3,750 \text{ GPD}$$

FIRE NOTES:

1). UNDERGROUND FIRE MAIN
WORK WILL BE COMPLETED BY A
CONTRACTOR HOLDING A CLASS
I, II OR V LICENSE AS PER fs
633.102

2). NO FIRE PUMP IS REQUIRED

3). PER NFPA 1, 12.3.2* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

LEGEND: (note all values are N.A.Y.D.88)

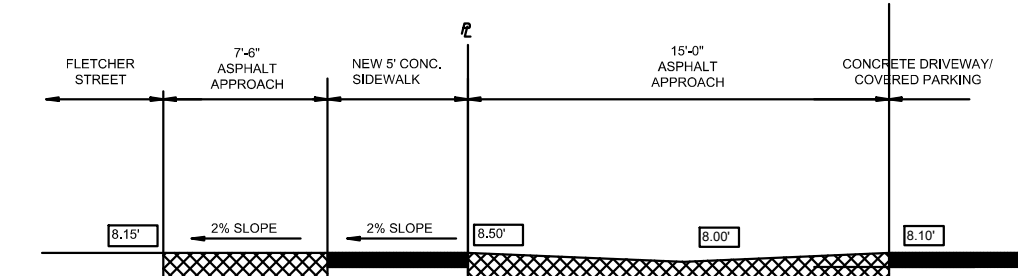
(XX) DENOTES EXISTING GRADE

XX DENOTES PROPOSED GRADE

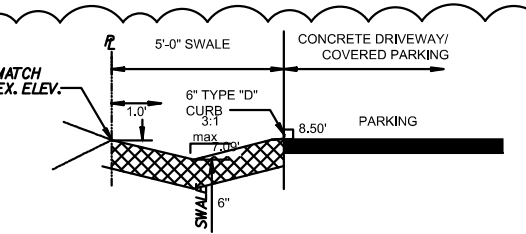
NOTE:

1. ALL STREETS & ALLEYS ADJACENT TO SITE TO BE MILLED & RESURFACED. (FULL WIDTH OF ROAD AT STREET OR ALLEY AND FULL LENGTH OF PROPERTY). (IDENTIFIED IN GRAY HATCH)

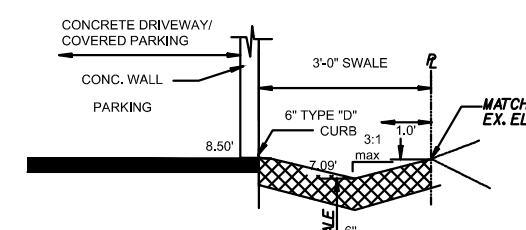
2. THE MAX LIP AT GROUND FLOOR DOORS IS 1/2". ANY LIP GREATER THAN 1/4" WILL BE BEVELED TO MEET A.D.A. REQUIREMENT.



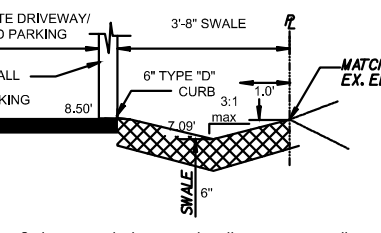
SECTION "A-A"



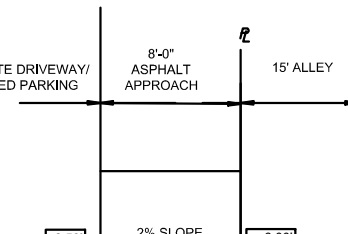
SECTION "B-B"



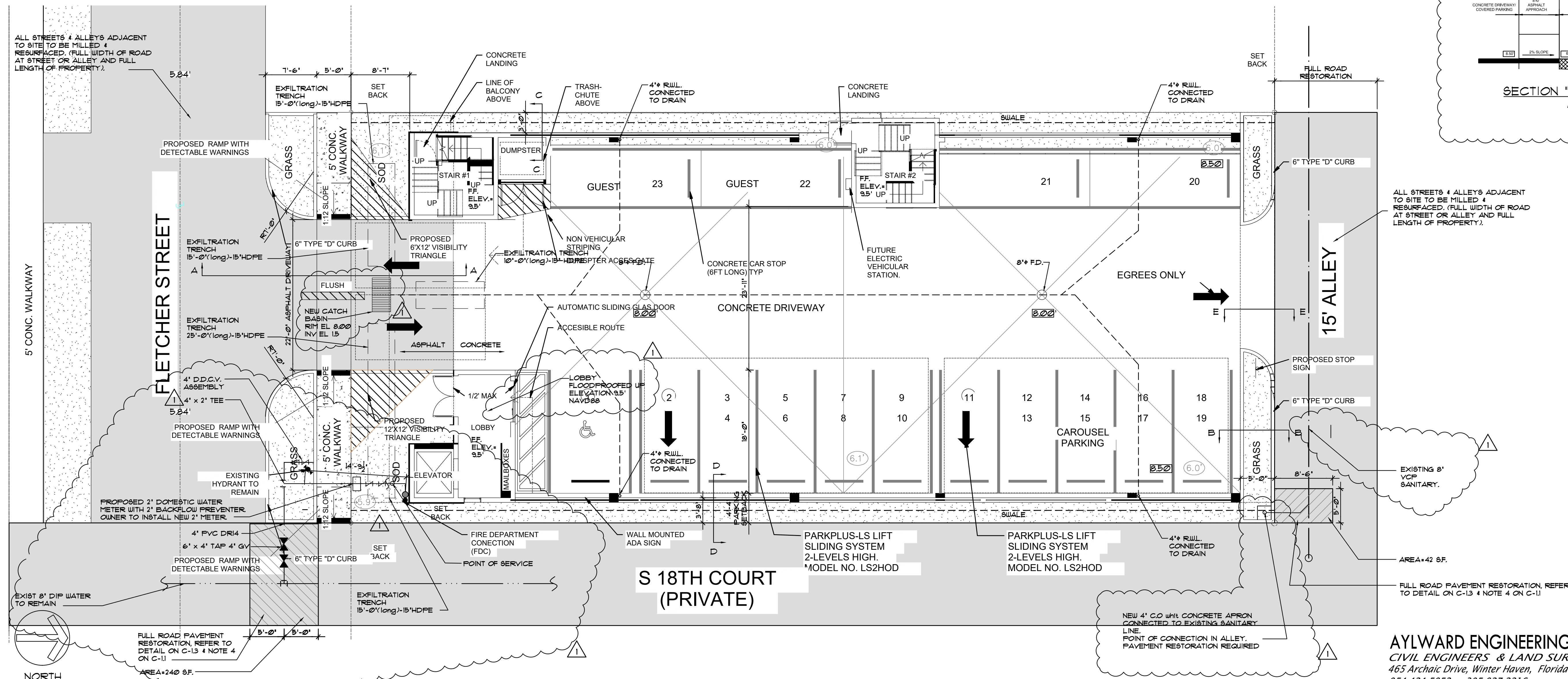
SECTION "C-C"



SECTION "D-D"



SECTION "E-E"




AYLWARD ENGINEERING & SURVEYING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
 465 Archaic Drive, Winter Haven, Florida 33880 *EB/LB No. 5183*
 954-424-5852 or 305-827-2216

EB/LB No. 5183


PROPOSED PAVING, GRADING , WATER & SEWER PLAN

SCALE: 1/8" = 1'-0"


- GENERAL NOTES:**
1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
 2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
 3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
 4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED BY THE UTILITY OWNER.
 6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
 7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
 8. THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
 9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
 10. THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
 11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	GENERAL NOTES		DRAWING NO. G-00
APPROVED: XXX			

- GENERAL NOTES (CONTINUED):**
12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
 13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
 14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
 15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
 16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
 17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
 18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
 20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
 22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
 23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
 24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
 25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
 26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		DRAWING NO. G-00.1
APPROVED: XXX			


- GENERAL NOTES (CONTINUED):**
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
 28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
 29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
 30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
 32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
 33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
 34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
 35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
 36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
 37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
 38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
 39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

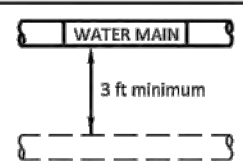
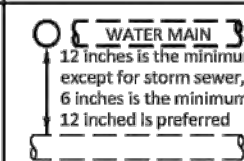
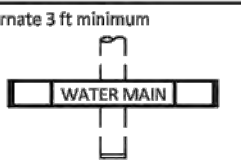
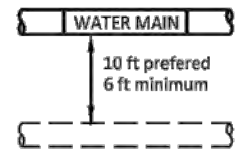
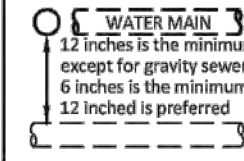
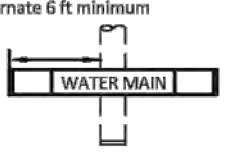
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		DRAWING NO. G-00.2
APPROVED: XXX			

- GENERAL NOTES (CONTINUED):**
40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).



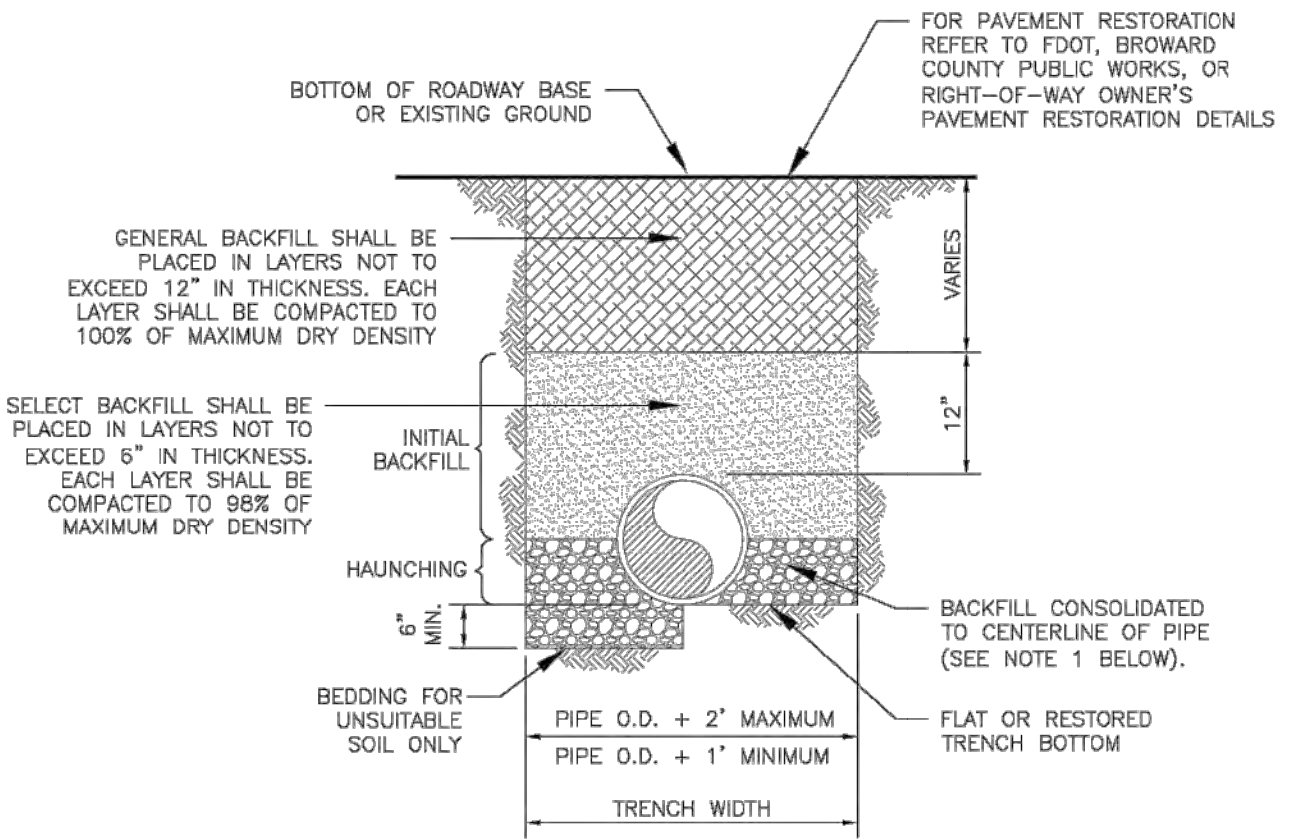
41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		DRAWING NO. G-00.3
APPROVED: XXX			

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314			
OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)			Alternate 3 ft minimum 
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER			Alternate 6 ft minimum 
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum		


1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 36" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. A MINIMUM 6 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

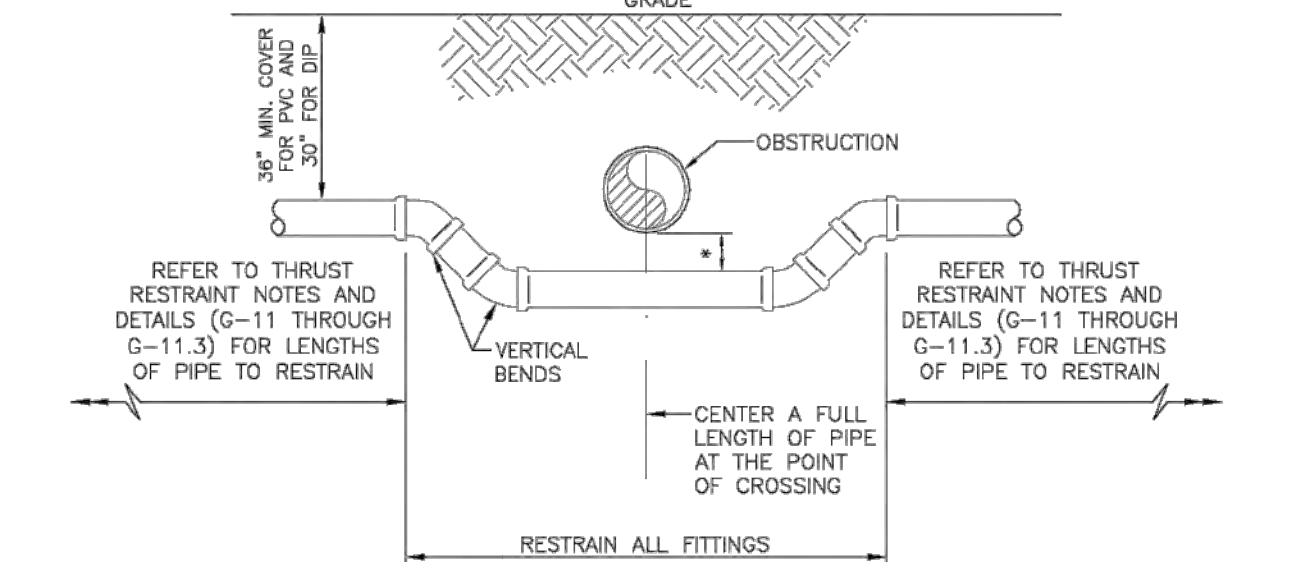
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	SEPARATION REQUIREMENTS OF F.D.E.P.		DRAWING NO. G-01.1
APPROVED: XXX			



NOTES:

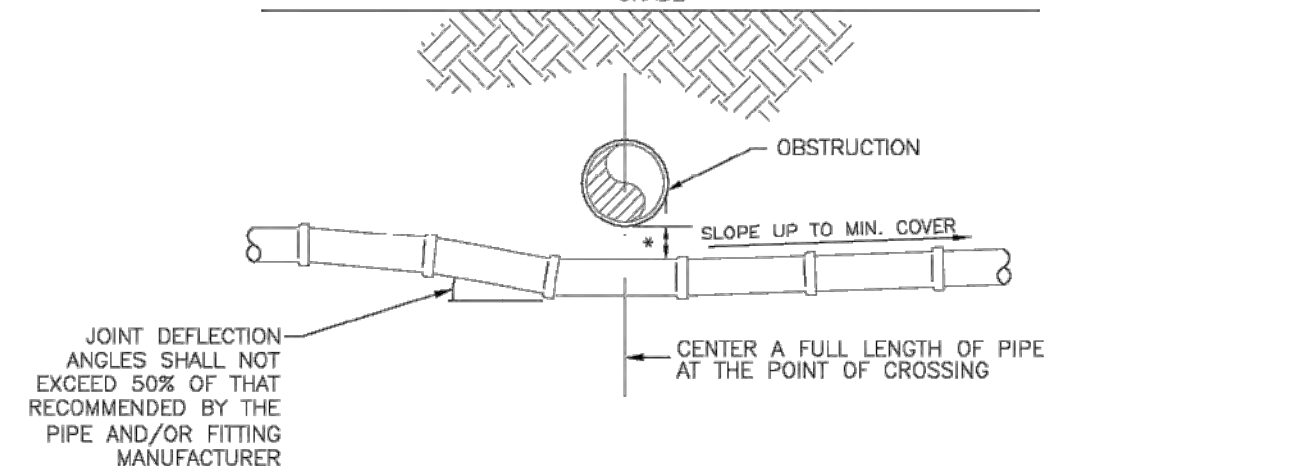
1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-B.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)		DRAWING NO. G-02
APPROVED: XXX			




UTILITY CROSSING USING FITTINGS

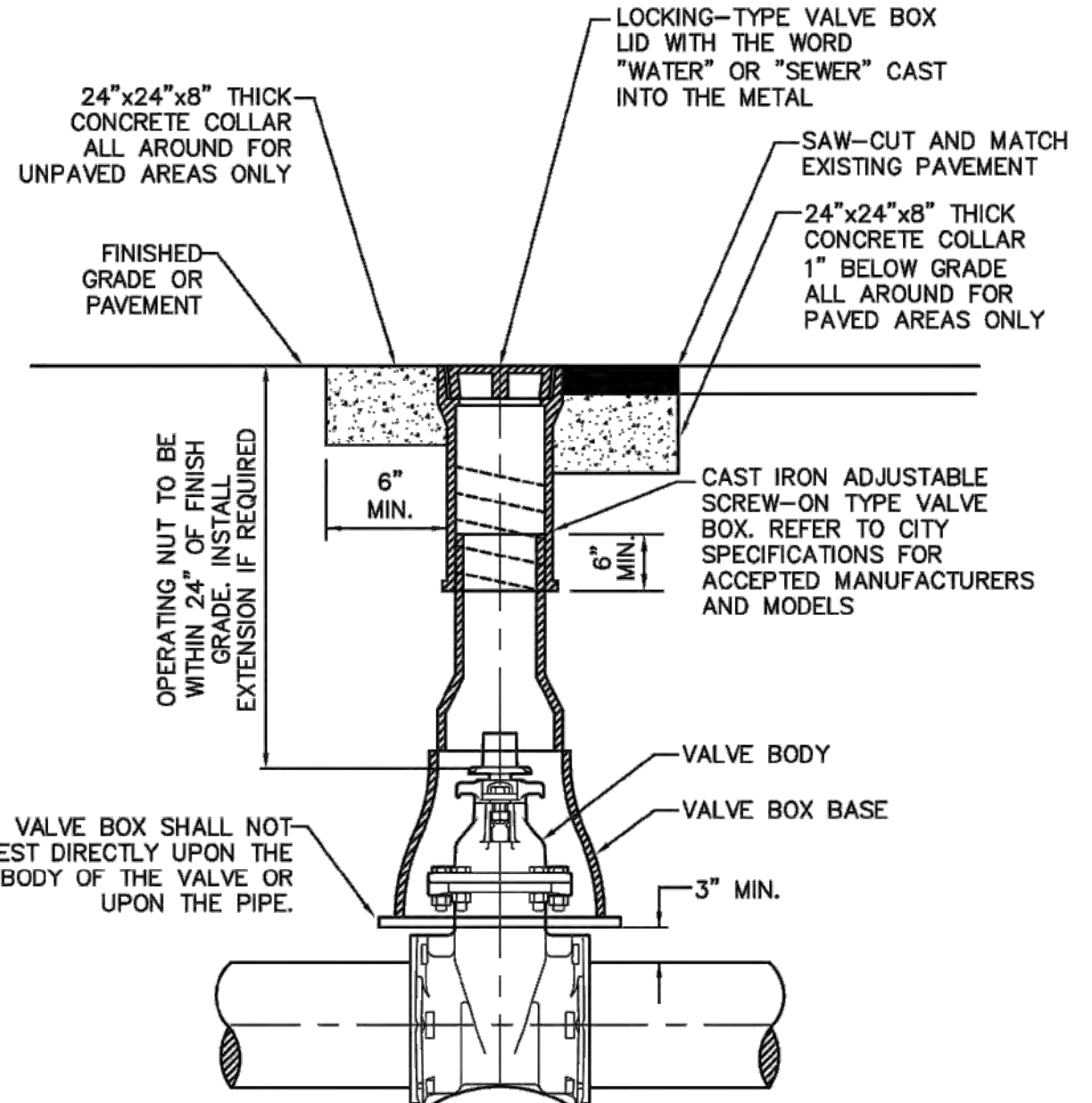
- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.



UTILITY CROSSING USING JOINT DEFLECTIONS

- * REFER TO STANDARD DETAIL G-01.1, "SEPARATION REQUIREMENTS", FOR FDEP AND HEALTH DEPARTMENT SEPARATION REQUIREMENTS.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	UTILITY CROSSING DETAIL		DRAWING NO. G-04
APPROVED: XXX			



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	TYPICAL VALVE BOX SETTING		DRAWING NO. G-05
APPROVED: XXX			


LLR Architects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET
158 PEMBRIDGE PINES, FLORIDA 33024
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM
Luis La Rosa-Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

PROPOSED 15-UNITS MULTI-FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	10/3/2023
SCALE	AS NOTED
JOB NO.	023-041
SHEET	

C-1.2
OF SHEETS

REVISION:	BY:

PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	10/3/2023
SCALE	AS NOTED
JOB. NO.	023-041
SHEET	

C-1.3

PLAN

ELEVATION

NOTES:

1. NOTIFY THE CITY OF HOLLYWOOD 48 HOURS IN ADVANCE OF PROPOSED TAP.
2. TAPPING MUST BE DONE IN THE PRESENCE OF AN AUTHORIZED CITY REPRESENTATIVE.
3. TEMPORARY THRUST BLOCKS TO BE INSTALLED AND REMAIN IN PLACE DURING TAPPING OPERATIONS.
4. FOR SEWAGE FORCE MAINS, REFER TO DETAIL OF PRIVATE FORCE MAIN TIE-IN AT PROPERTY LINE.
5. FOR WATER MAINS, A GATE VALVE OF SAME DIAMETER SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF THE TAPPING VALVE.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

REVISD: 06/08/2014

TYPICAL TAPPING SLEEVE
AND VALVE SETTING

DRAWING NO.
G-06

ELEVATION

NOTES:

1. 24"x24"x8" THICK CONCRETE COLLAR ALL AROUND FOR UNPAVED AREAS ONLY.
2. 24"x24"x8" THICK CONCRETE COLLAR 1" BELOW GRADE ALL AROUND FOR PAVED AREAS ONLY.
3. SAW-CUT AND MATCH EXISTING PAVEMENT.
4. VALVE BOX (REFER TO STANDARD DETAIL G-05).
5. GATE VALVE (MECHANICAL JOINTS).

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

REVISD: 06/08/2014

TYPICAL GATE VALVE AND
VALVE BOX SETTING

DRAWING NO.
G-07

FLEXIBLE PAVEMENT RESTORATION NOTES:

1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

REVISD: 11/06/2017

FLEXIBLE PAVEMENT RESTORATION
NOTES

DRAWING NO.
G-12

TACK COAT ALL SURFACES, AND PROVIDE 1" SP 9.5 MIN. SUPERPAVE ASPHALTIC CONC. OVERLAY AS SHOWN ON THE PAVEMENT RESTORATION PLANS.

NOTES:

1. SAW CUT ALONG A NEAT AND STRAIGHT EDGE. TACK COAT ALL SURFACES AND EDGES.
2. SHH RECYCLE TO BE FLUSH W/EXIST. ASPHALT. 1" MIN. THICK IF MILLING IS NOT REQUIRED. 2" THICK IF MILLING IS REQUIRED.
3. 12" THICK (MIN.) LIMEROCK BASE W/MIN. LBR 100 COMPACTED TO NO LESS THAN 100% OF MAX. DENSITY PER ASHTO T-180.
4. 12" TYPE "B" STABILIZED SUBGRADE W/MIN. LBR 40 COMPACTED TO 100% OF MAX. DENSITY PER ASHTO T-180.
5. COMPACTED FILL (REFER TO DETAILS G-02 AND G-03).
6. 12" PIPE O.D. MAX.
7. TRENCH WIDTH.
8. IF THE DISTANCE TO THE EDGE OF THE EXISTING LIMEROCK BASE IS 2' OR LESS, EXTEND THE LIMEROCK BASE RECONSTRUCTION TO THE EDGE.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

REVISD: 11/06/2017

FLEXIBLE PAVEMENT RESTORATION
FOR TRENCHES CUT PERPENDICULAR
AND PARALLEL TO THE ROADWAY

DRAWING NO.
G-12.1

WATER SYSTEM NOTES:

1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASUREMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM, IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISD: 06/08/2014
WATER SYSTEM NOTES		DRAWING NO. W-01

WATER SYSTEM NOTES (CONTINUED):

1. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
2. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
3. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
4. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
5. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
6. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
7. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
8. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
9. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
11. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTINGS.
12. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISD: 06/08/2014
WATER SYSTEM NOTES		DRAWING NO. W-02

PLAN

ELEVATION

MATERIALS

ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4", 6", 8" VALVE, DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4", 6", 8" BEND-90°	8	N/A	PLASTIC LINER/WEED STOP (5 MILS)
3	2	4", 6", 8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	1	4", 6", 8" D.I.P. SPOOL PIECE (24" LONG)	10	1	LOW FLOW METER
4	7	4", 6", 8" FLANGE, D.I.P.	11	1	VALVE, BYPASS DOUBLE CHECK
5	2	4", 6", 8" GATE VALVE (SEE NOTE 6)	12	1	16"X16"X16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. 2X4 LUMBER ALL AROUND

NOTES:

1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

REVISD: 06/08/2014

TYPICAL 4", 6" AND 8" DOUBLE CHECK
DETECTOR ASSEMBLY FOR FIRE
SPRINKLER SERVICE (90° BENDS)

DRAWING NO.
W-03

SINGLE SERVICE PLAN
FOR 5/8", 1", 1-1/2" & 2" METERS

DOUBLE SERVICE PLAN
FOR 5/8", 3/4" AND 1" METERS

TRIPLE SERVICE PLAN
FOR 5/8", 3/4" AND 1" METERS

NOTES:

1. USE ONE SINGLE METER BOX PER METER OR ONE DUAL METER BOX FOR TWO METERS.
2. 5/8" METERS REQUIRE 3/4" PIPING.
3. 1" METERS REQUIRE 1" PIPING.
4. ALL PIPING TO BE HOPE.
5. ALL FITTINGS TO BE BRASS.

ISSUED: 03/01/1994
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL

REVISD: 11/06/2017

TYPICAL 5/8", 1", 1-1/2" AND
2" METER INSTALLATION

DRAWING NO.
W-06

REVISION:	BY:

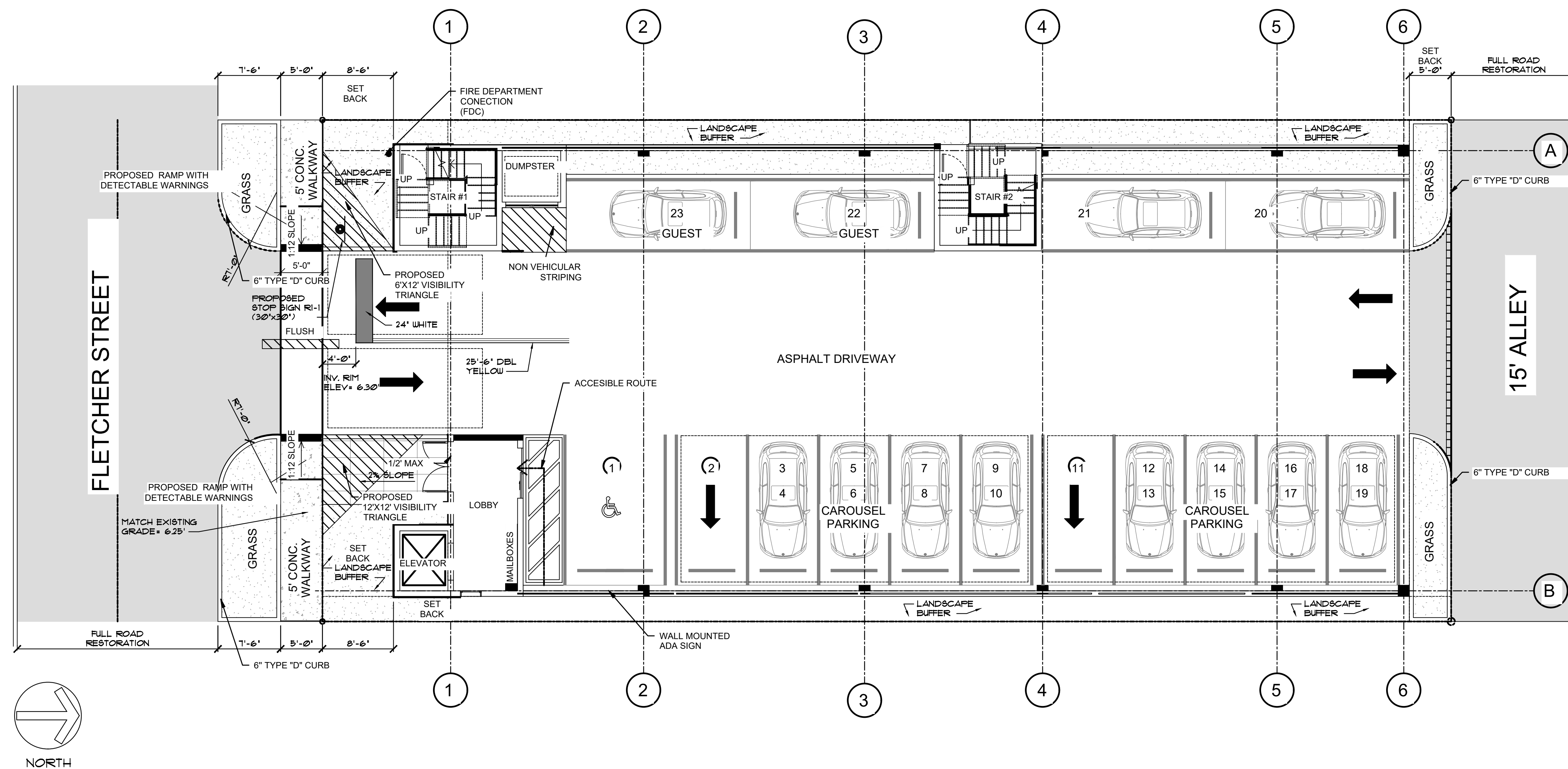
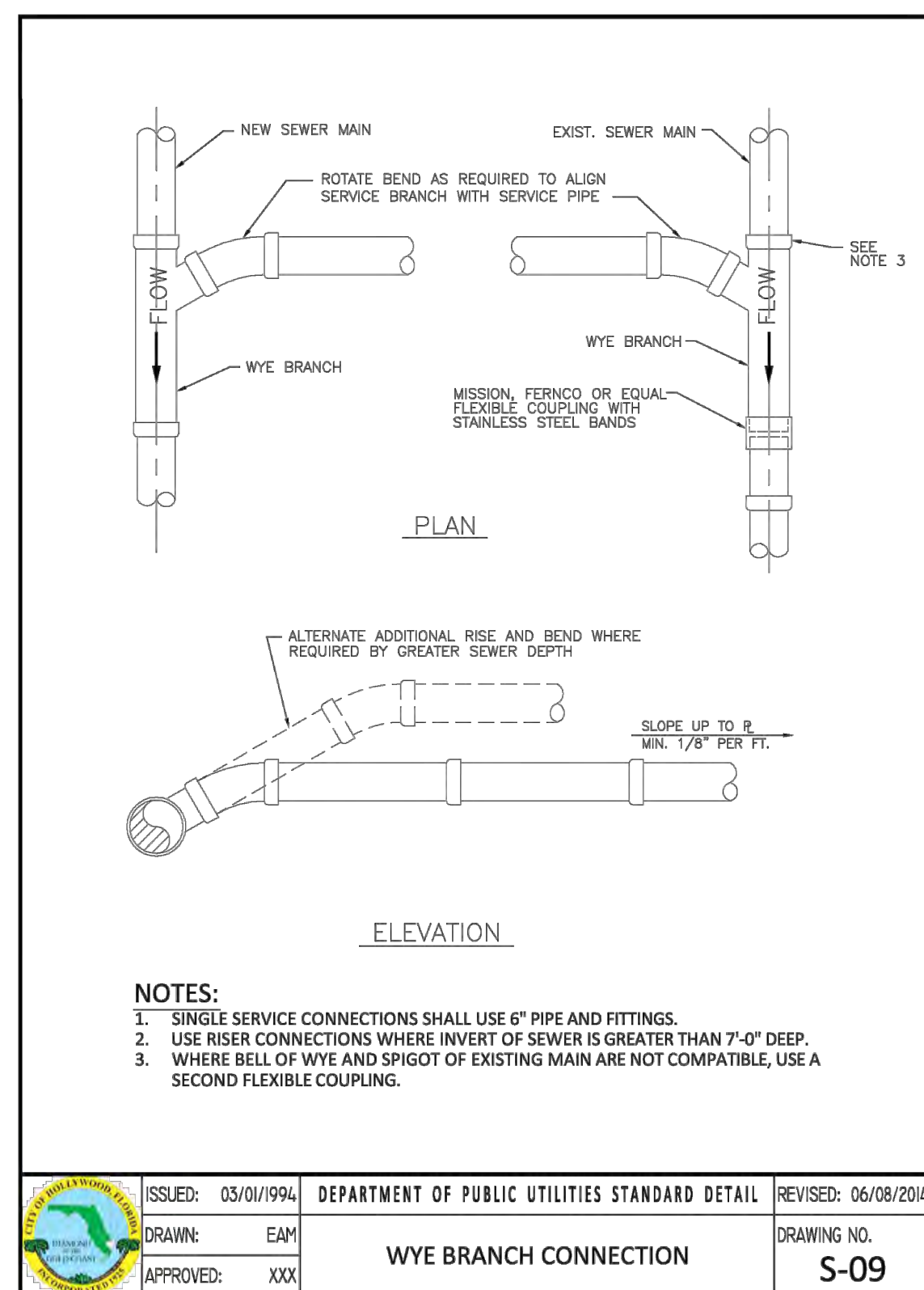
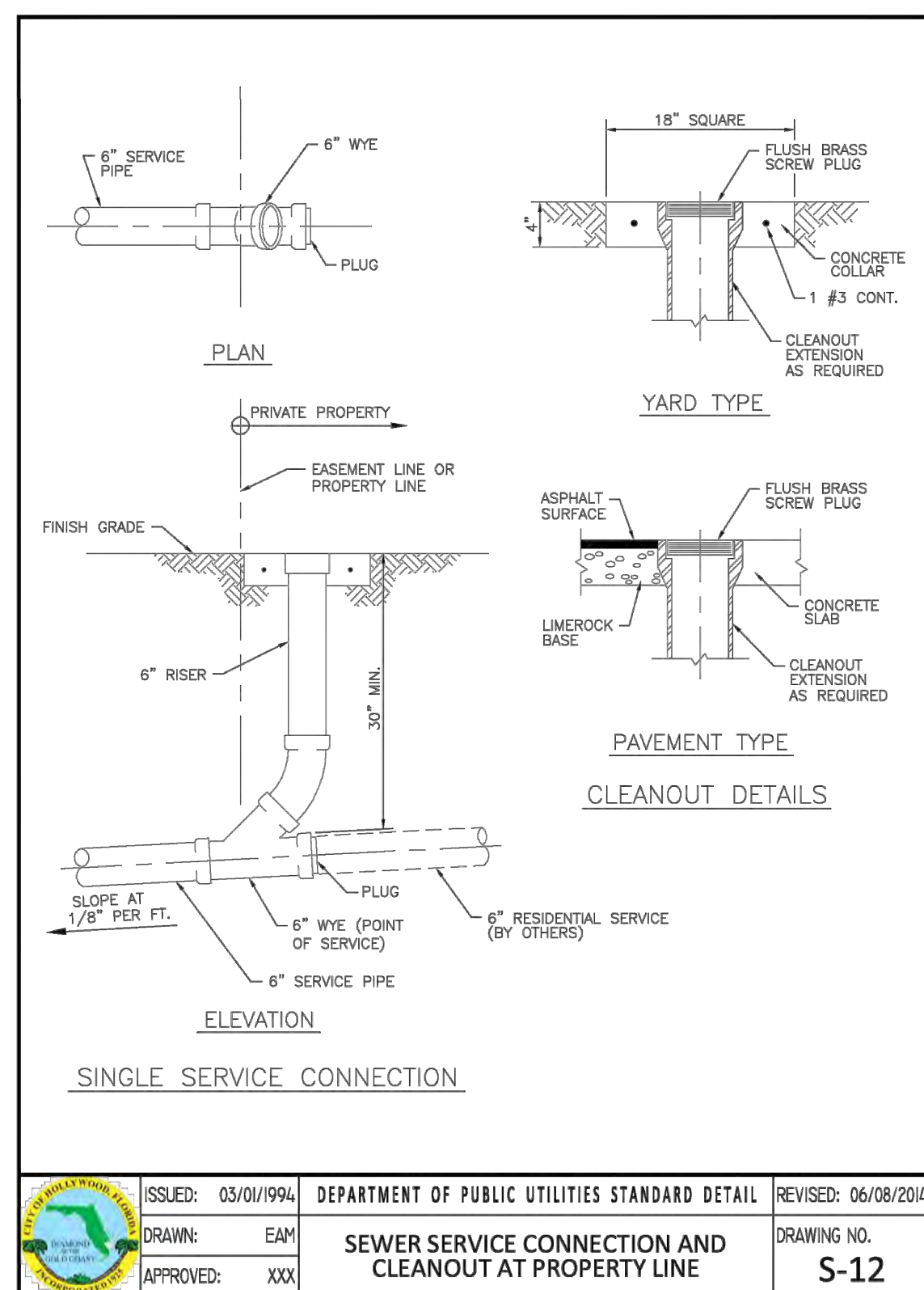
PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

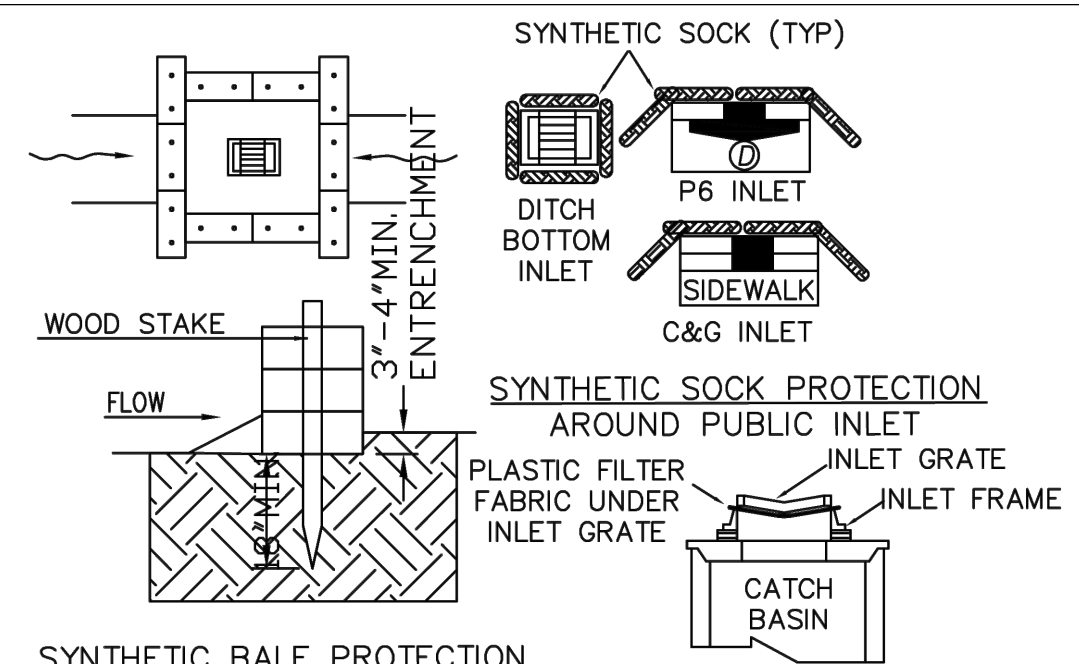
SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	L.R.
DATE	10/3/2023
SCALE	AS NOTED
JOB. NO.	023-041
SHEET	

C-1.4

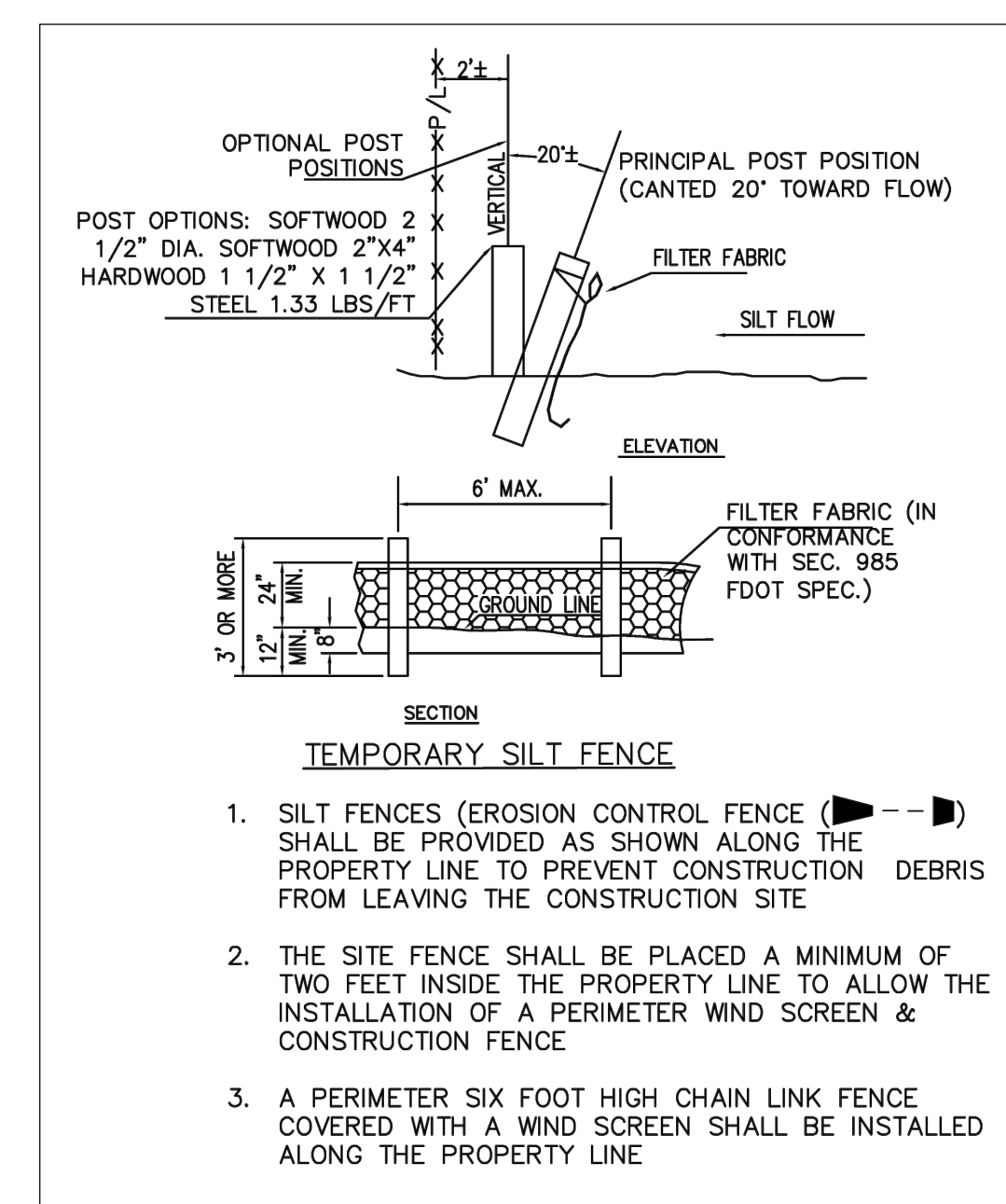
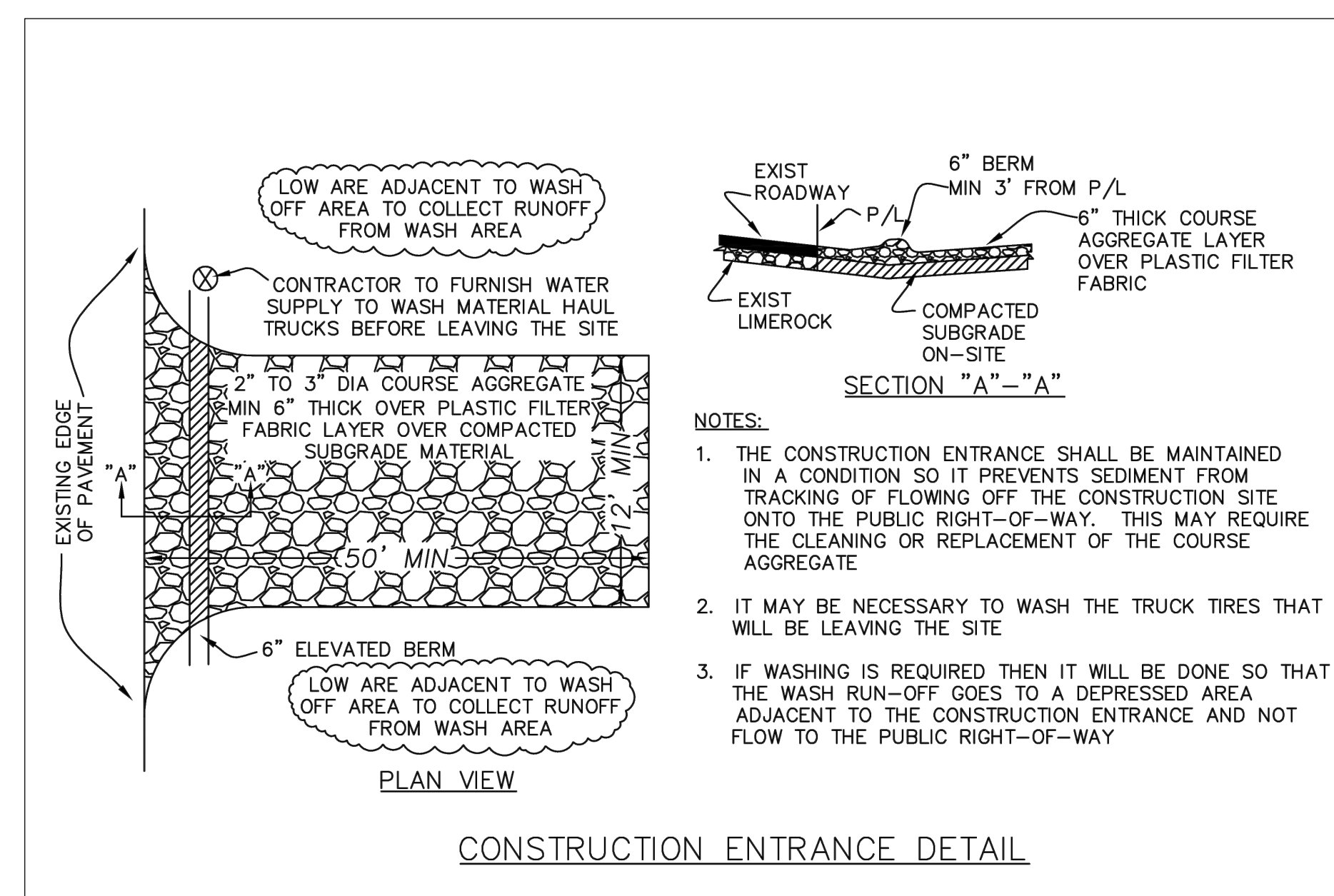
OF SHEETS





SYNTHETIC BALE PROTECTION AROUND PRIVATE INLET

- NOTES:**
1. SYNTHETIC BALES SHALL BE TRENCHED 3" TO 4" AND ANCHORED WITH 2 - 1" X 2" (OR 1" DIAM.) X 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER
 2. ADJACENT SYNTHETIC BALES SHALL BE BUTTED FIRMLY TOGETHER. UNAVOIDABLE GAPS SHALL BE PLUGGED WITH HAY OR STRAW TO PREVENT SILT FROM PASSING
 3. SYNTHETIC BALES SHALL BE INSTALLED AT ALL NEW INLETS ON PRIVATE PROPERTY AND SYNTHETIC "SOCKS" ON EXISTING INLETS IN THE PUBLIC RIGHT OF WAY DURING CONSTRUCTION
 4. CONTRACTOR TO INSTALL PLASTIC FILTER FABRIC UNDER INLET GRATE ON ALL NEW INLETS AND IT SHALL REMAIN THERE FOR THE DURATION OF THE CONSTRUCTION



LLR Architects, Inc.
ARCHITECTURE & PLANNING
9000 SHERIDAN STREET
158 PEMBROKE PINES, FLORIDA 33024
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM
Luis La Rosa-Registered
Architect
AR#-0017852
AA#-26003693

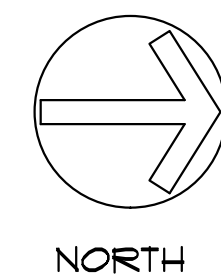
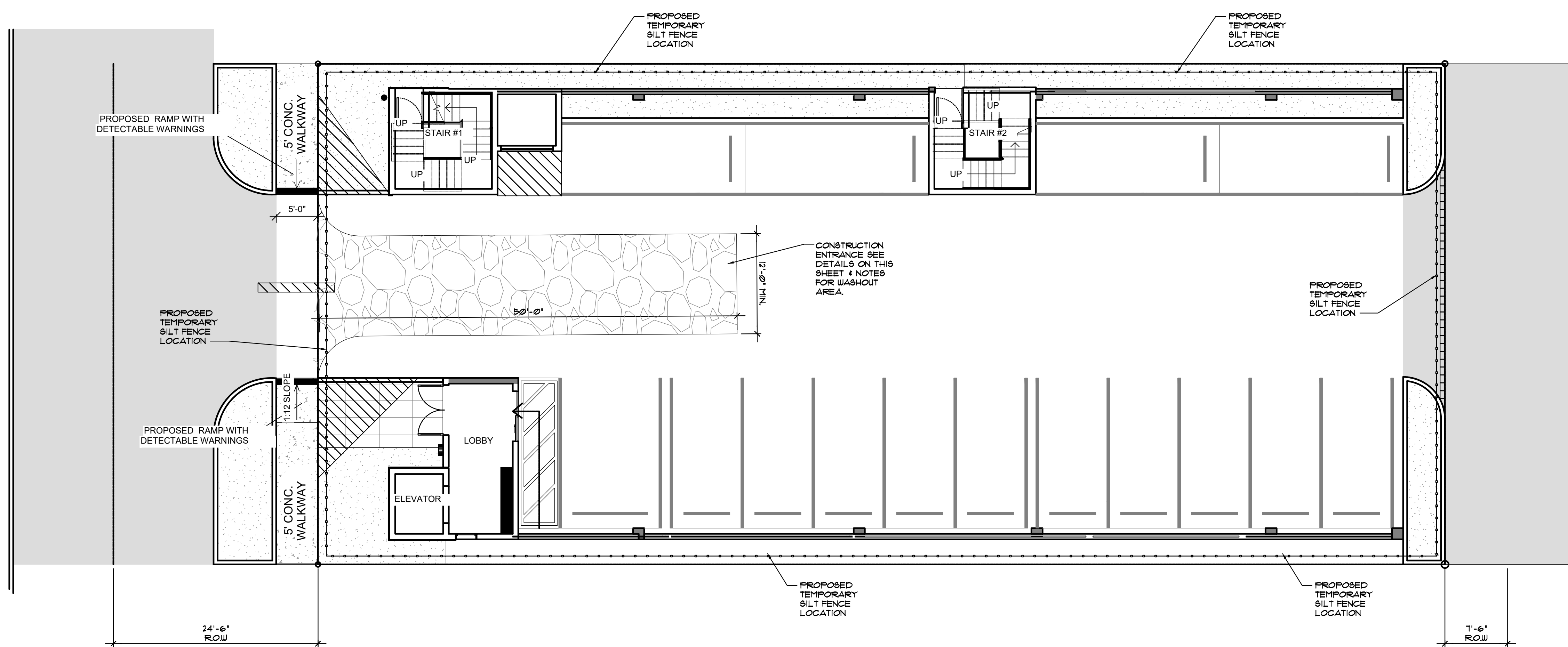
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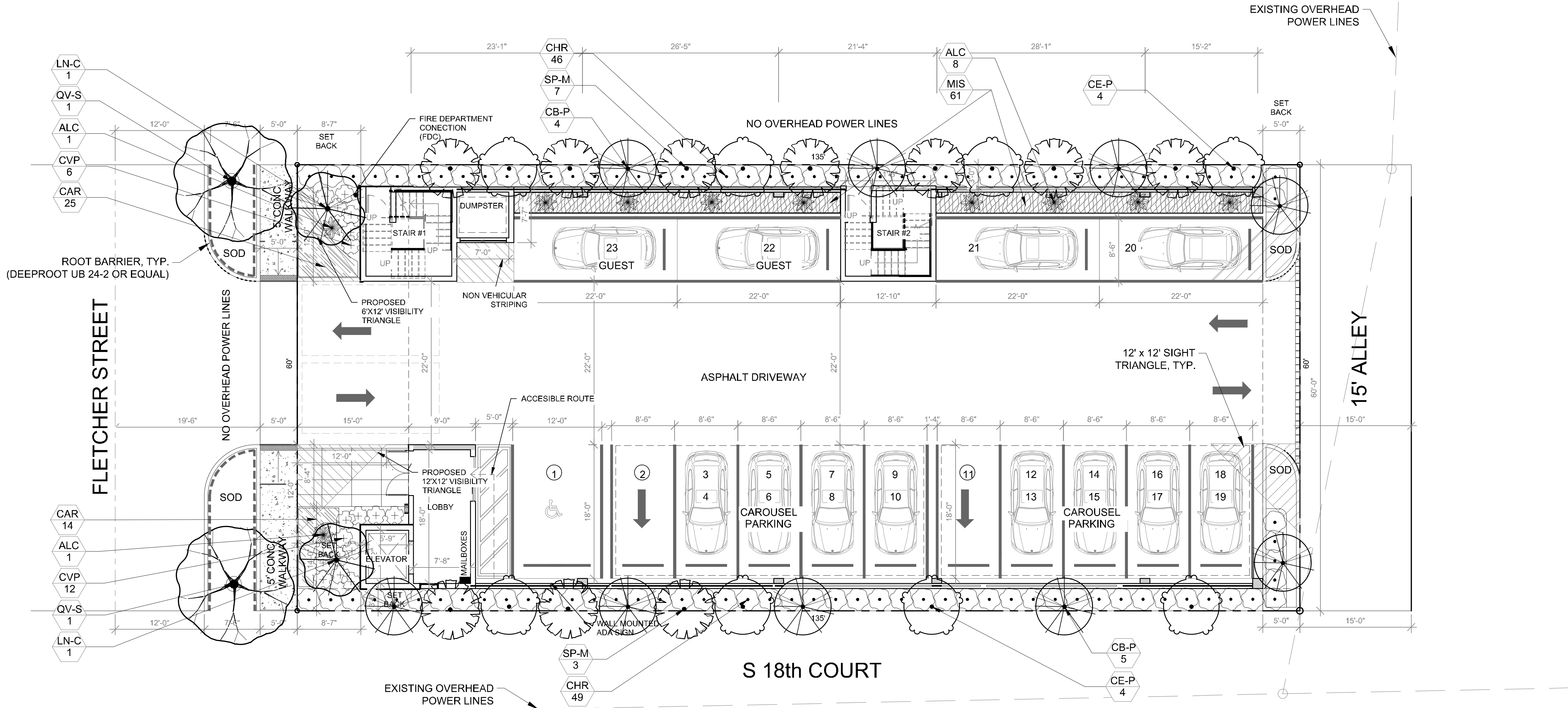
PROPOSED 15-UNITS MULTI FAMILY DEVELOPMENT FOR:
1835 FLETCHER
1835 FLETCHER STREET
HOLLYWOOD, FLORIDA 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	10/3/2023
SCALE	AS NOTED
JOB. NO.	023-041
SHEET	

C-1.5
OF SHEETS





Disclaimer: Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.
Note: Proposed landscaping along perimeter will not interfere with proposed grass swales function.

Landscape Data:

RAC Zoning - FH-2 (Federal Highway Medium-High Intensity Mixed-Use District)	Required	Provided
Perimeter Landscape One 12' street tree per 30 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	2 Trees (60/30)	2 Trees (See Schedule)
Residential Uses shall provide a five (5) foot landscape buffer within required setback areas with one (1) tree for every 20 linear feet of required buffer area.	17 Trees (330/20)	17 Trees (See Schedule)
Minimum Open Space All pervious areas must be landscaped with grass, ground cover, and/or shrubbery. Minimum of one tree per 1,000 sq. ft. of pervious area. Ground Floor: 1,229 sf	2 Trees	2 Trees (See Schedule)
Total Required:	2 Trees (1,229 SF)	2 Trees (See Schedule)
Minimum Tree Sizes Shade trees: 2" DBH/ 12' height. Palm trees: 8' of GW or CT. (One Palm = 1 Tree Credit)		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	14 Trees 55 Shrubs	19 Trees 95 Shrubs

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Plant Schedule:

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE	SPACING
MITIGATION TREES						
SP-M	10	Sabal palmetto	Sabal Palm	FG, 8' -12- CT, HVY C, SP	Yes	
PERIMETER TREES						
CE-P	8	Conocarpus erectus 'sericeus'	Silver Buttonwood	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	
CB-P	9	Cordia sebestena	Orange Geiger Tree	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	
CODE TREES						
LN-C	2	Lagerstroemia indica `Natchez`	Natchez Crape Myrtle	FG, 12` HT, 2" DBH MIN, STD, SP	No	
STREET TREES						
QV-S	2	Quercus virginiana	Southern Live Oak	FG, 12` HT, 2" DBH MIN, STD, SP	Yes	
SHRUBS						
ALC	10	Alcantarea odorata	Giant Silver Bromeliad	17" POT, 36" OA, SP	No	
CHR	95	Chrysobalanus icaco `Redtip`	Red Tip Cocoplum	3G, 24" OA, F,	Yes	
CVP	18	Codiaeum variegatum `Petra`	Bravo Croton	3G, 24" OA, F,	No	
GROUND COVERS						
CAR	39	Carissa macrocarpa `Emerald Blanket`	Emerald Blanket Carissa	3G, 12" OA, F, @	No	18" o.c.
MIS	61	Microsorium scolopendrum	Wart Fern	1G, 12" OA, F,	No	24" o.c.
SOD		Stenotaphrum secundatum	St. Augustine Grass	Sod, Free of Weeds, Pests, & Debris	No	

Project Team

Landscape Architect:

LAS

LANDSCAPE
ARCHITECTURAL
SERVICES, LLC
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357 | brandon@las-fl.com

Architect:

LR Architects, Inc.

ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL)- 786-543-0851
E-MAIL: LLANDS@LANDSARCHITECTS.COM

PROPOSED MULTIFAMILY DEVELOPMENT FOR:

2022 MAYO LLC

1835 Fletcher Street, Hollywood, FL 33020

Landscape Plan

Revisions		
Date	Init.	Description
01.04.24	BW	Initial Submittal

REGISTERED LANDSCAPE ARCHITECT

PAUL A. GOULAS

LA 6666807

STATE OF FLORIDA

PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: DC

Checked By: PG

Municipal Project:

Scale:

NORTH

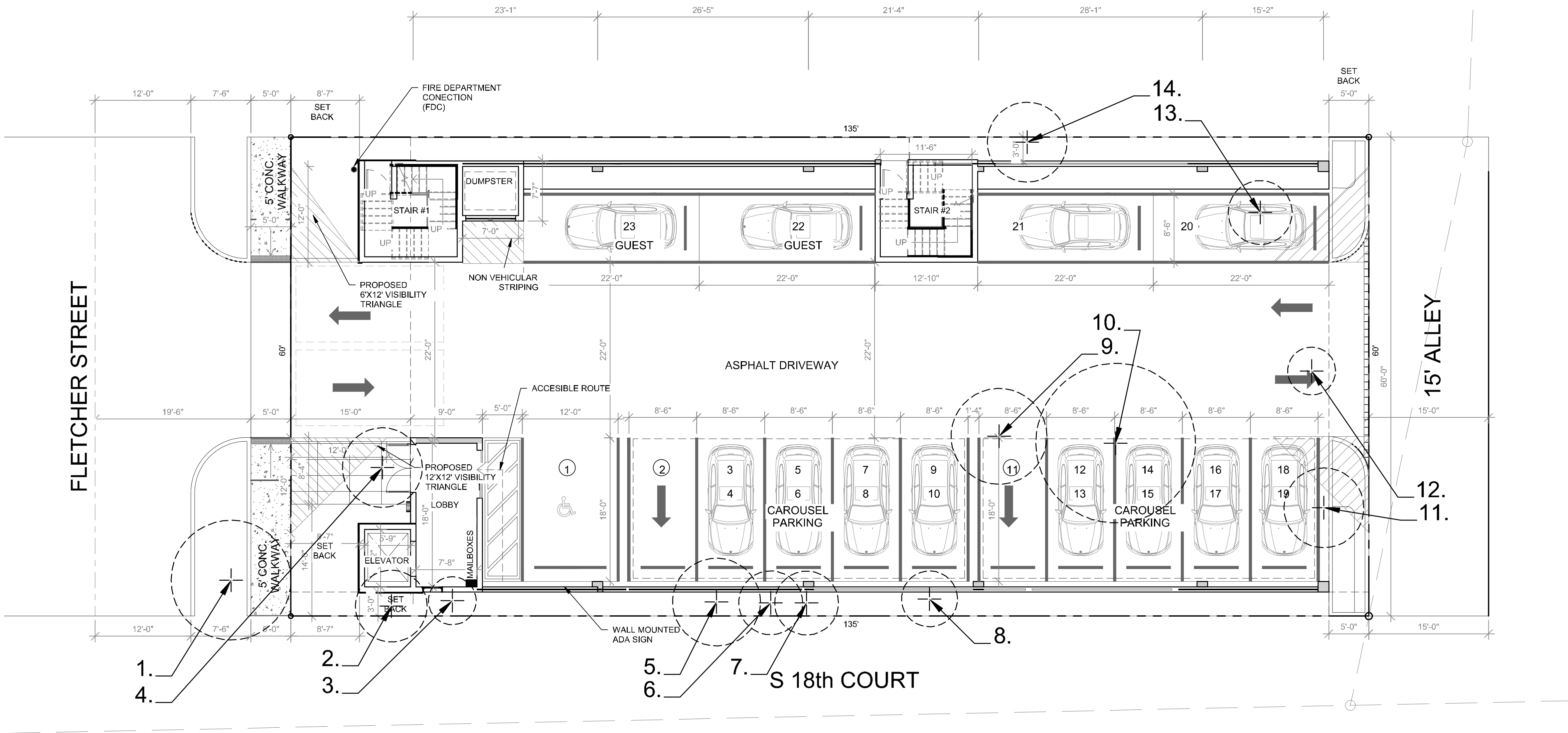
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0 4' 8' 16'

LS-01

Digitally signed by Paul A. Goulas
Date: 2024.01.04 12:04:45 -05'00'
Adobe Acrobat version: 2023.006.20380





NOTE: Trees and Palms shall not be removed without first obtaining an approved Tree Removal Permit from the City of Hollywood.

Existing Trees to be Removed:

TREE CHART					
Tree #	Common Name	Scientific Name	Trunk Diameter at Breast Height DBH(in) (+/-)	Approximate Height (ft)(+/-)	Approximate Canopy (ft)(+/-)
1	Palm	Unknown	8	12	15
2	Palm	Unknown	7	11	9
3	Palm	Unknown	7	11	6
4	Unknown	Unknown	15	32	10
5	Palm	Unknown	7	8	11
6	Palm	Unknown	7	11	8
7	Palm	Unknown	7	11	8
8	Palm	Unknown	8	13	7
9	Unknown	Unknown	5	15	12
10	Mango Tree	Mangifera Indica	15	25	20
11	Coconut Palm	Cocos nucifera	12	25	10
12	Coconut Palm	Cocos nucifera	6	12	6
13	Palm	Unknown	5	12	8
14	Unknown	Unknown	12	15	10

Landscape Tree Mitigation Data:

Trees Removed	Replacement Provided	Trees Removed	Replacement Provided
1. <i>Palm, Unknown</i> , 8" DBH, 12' Height, 15' Canopy Spread	1 Palm Tree (Sabal Palm)	14. <i>Unknown, Unknown</i> , 12" DBH, 15' Height, 10' Canopy Spread	\$2,100 Payment Contribution (\$350 / 2" DBH @ 12")
2. <i>Palm, Unknown</i> , 7" DBH, 11' Height, 9' Canopy Spread	1 Palm Tree (Sabal Palm)	Total mitigation planted on site to satisfy required tree replacement: Ten (10) Total Palms. See 'Mitigation Trees' listed in the plant schedule, Sheet LS-01. Remaining (47") of mitigation to be provided by payment to City Tree Fund: \$8,225 Total Payment Required.	
3. <i>Palm, Unknown</i> , 7" DBH, 11' Height, 6' Canopy Spread	1 Palm Tree (Sabal Palm)		
4. <i>Unknown, Unknown</i> , 15" DBH, 32' Height, 10' Canopy Spread	\$2,625 Payment Contribution (\$350 / 2" DBH @ 15")	<i>*Mitigation Tree Requirements: All replacement trees minimum of twelve (12) feet in height when planted on private property and twelve (12) feet when planted on swales and commercial properties. Palms minimum 8' clear trunk.</i>	
5. <i>Palm, Unknown</i> , 7" DBH, 8' Height, 11' Canopy Spread	1 Palm Tree (Sabal Palm)		
6. <i>Palm, Unknown</i> , 7" DBH, 11' Height, 8' Canopy Spread	1 Palm Tree (Sabal Palm)		
7. <i>Palm, Unknown</i> , 7" DBH, 11' Height, 8' Canopy Spread	1 Palm Tree (Sabal Palm)		
8. <i>Palm, Unknown</i> , 8" DBH, 13' Height, 7' Canopy Spread	1 Palm Tree (Sabal Palm)		
9. <i>Unknown, Unknown</i> , 5" DBH, 15' Height, 12' Canopy Spread	\$875 Payment Contribution (\$350 / 2" DBH @ 5")		
10. <i>Mango Tree, Mangifera inidica</i> , 15" DBH, 25' Height, 20' Canopy Spread	\$2,625 Payment Contribution (\$350 / 2" DBH @ 15")		
11. <i>Coconut Palm, Cocos nucifera</i> , 12" DBH, 25' Height, 10' Canopy Spread	1 Palm Tree (Sabal Palm)		
12. <i>Coconut Palm, Cocos nucifera</i> , 6" DBH, 12' Height, 6' Canopy Spread	1 Palm Tree (Sabal Palm)		
13. <i>Palm, Unknown</i> , 5" DBH, 12' Height, 8' Canopy Spread	1 Palm Tree (Sabal Palm)		

Project Team

Landscape Architect:

LA

LANDSCAPE ARCHITECTURAL SERVICES, LLC

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Architect:

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PROPOSED MULTIFAMILY DEVELOPMENT FOR:

2022 MAYO LLC

1835 Fletcher Street, Hollywood, FL 33020

Tree Disposition Plan

Revisions		
Date	Init.	Description
01.04.24	BW	Initial Submittal

REGISTERED LANDSCAPE ARCHITECT

PAUL A. GOULAS

LA 6666807

STATE OF FLORIDA

PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: DC

Checked By: PG

Municipal Project:

Scale:

NORTH

SCALE: 1" = 8'

0 4' 8' 16'

LS-02

Landscape Specifications:

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE:
- A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS:
- A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03 SITE EXAMINATION:
- A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

- 1.04 ERRORS AND OMISSIONS:
- A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for higher own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
- B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
- C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

- 1.05 EXECUTION OF THE WORK:
- A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
- B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

- 1.06 PROTECTION OF PUBLIC AND PROPERTY:
- A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

- 1.07 CHANGES AND EXTRAS:
- A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

- 1.08 GUARANTEE:
- A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.
- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

- 1.09 CARE AND MAINTENANCE:
- A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
- B. The Owner agrees to execute the instructions for such care and maintenance.

- 1.10 SAFETY:
- A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

- 1.11 CONTRACTOR QUALIFICATION:
- A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
 2. A listing of not less than (3) completed projects of similar scale and nature.
 3. Permanent name and address of place of business.
 4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

- 1.12 INSURANCE AND BONDING:
- A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

- 1.13 PERMITS AND CERTIFICATES:
- A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

- 2.01 PLANT MATERIALS:
- A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
- B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
- C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
- D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
- E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
- F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

- 2.02 INSPECTION:
- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.
- 2.03 PROTECTION OF PLANT MATERIALS:
- A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
- B. Plants with broken, damaged or insufficient rootballs will be rejected.
- C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
- D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other materials from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

- 2.04 STORAGE:
- A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
- B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
- C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
- D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

- 2.05 PROTECTION DURING PLANTING:
- A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

- 2.06 PLANTING SOIL:
- A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.
- 2.07 FERTILIZER:
- A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
- B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:
- | | |
|--------------------|-----------|
| 1 gallon container | 1 tablet |
| 3 gallon container | 2 tablets |
| 5 gallon container | 3 tablets |
| 7 gallon | 5 tablets |
- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.

- 2.08 MULCH:
- A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.
- B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

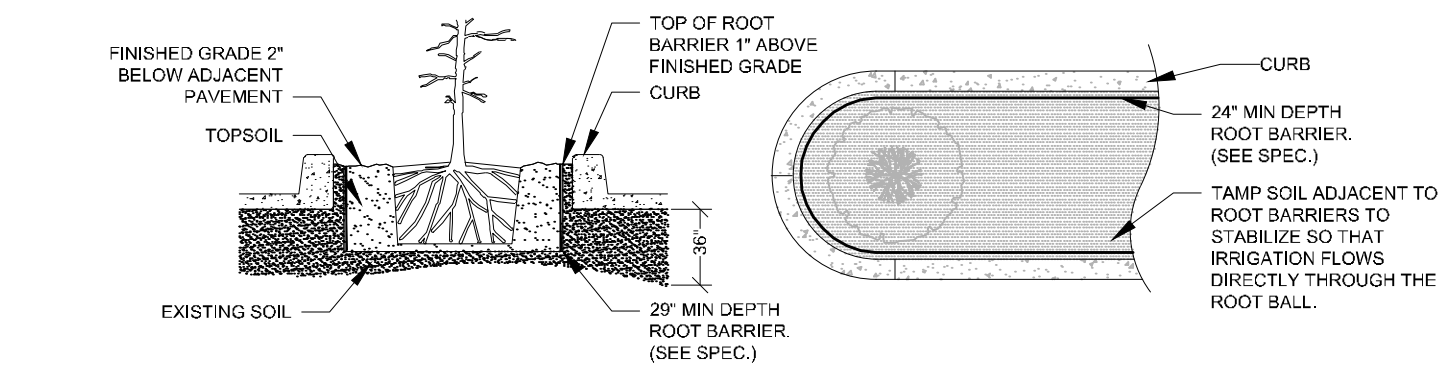
PART 3: EXECUTION

- 3.01 DIGGING:
- A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

- 3.02 GRADING:
- A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
- B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drainage, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

- 3.03 PLANTING:
- A. Planting shall take place during favorable weather conditions.
- B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.
- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
- D. Excavation of holes shall extend to the required subgrade as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".
- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
- F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil:
- | | |
|----------------------------|----------------------|
| 1 Gallon material (1 gal.) | 12" x 12" x 12" min. |
| 3 Gallon material (3 gal.) | 20" x 20" x 18" min. |
| Letto material (7 gal.) | 30" x 30" x 24" min. |
- Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.
- G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.
- H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
- I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
- J. All flagging ribbon shall be removed from trees and shrubs before planting.
- K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
- L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a neat, clean manner.

- 3.04 PRUNING:
- A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
- B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
- C. Trees shall not be poled or topped.
- D. Remove all trimmings from site.



SPECIAL APPLICATIONS ROOT BARRIER DETAIL

- NOTES:
- 1- ROOT BARRIER SHALL BE DEEPROOT UB24-24\"/>
 - 2- ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

- 3.05 GUYING:
- A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.
- D. Stake & Brace all trees larger than 12\"/>
- E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
- 3.06 WATER:
- A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
- B. See General Notes of Landscape Plan for water source.

- 3.07 SOD:
- A. The Landscape Contractor shall sod all areas indicated on the drawings.
- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.
- C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
- F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
- G. The finished level of all sod areas after settlement shall be one (1\") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.
- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

- 3.08 SEEDING:
- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1\") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
- B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

- 3.09 CLEANING UP:
- A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

- 3.10 MAINTENANCE:
- A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.
- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.
- D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

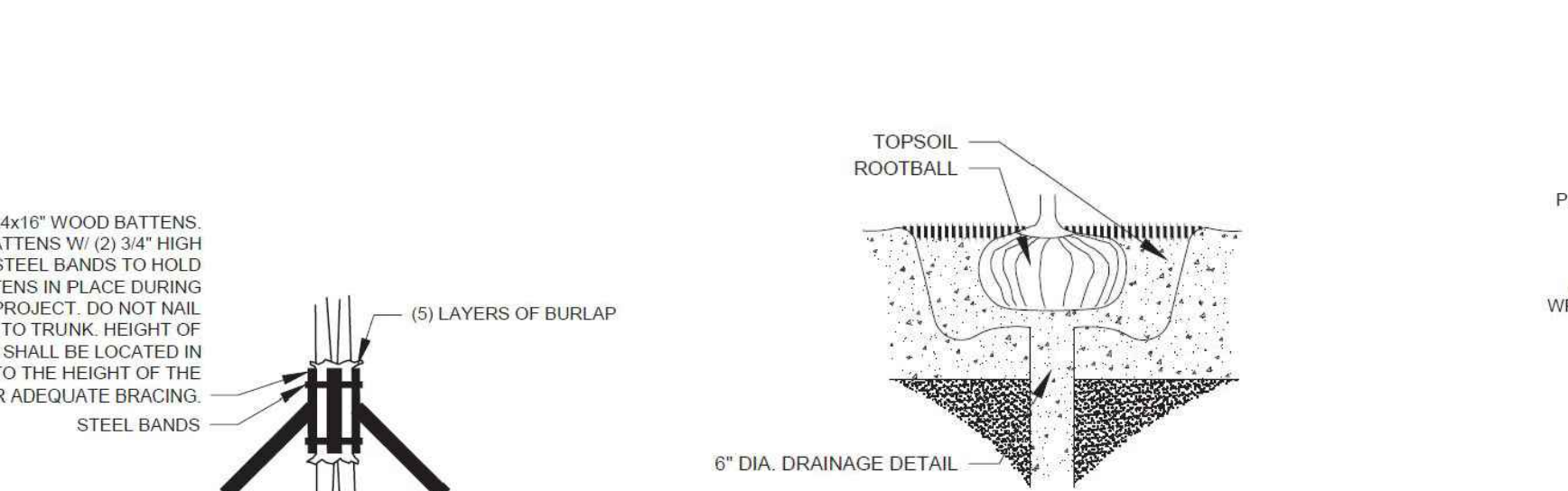
- 3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
- A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
- C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER

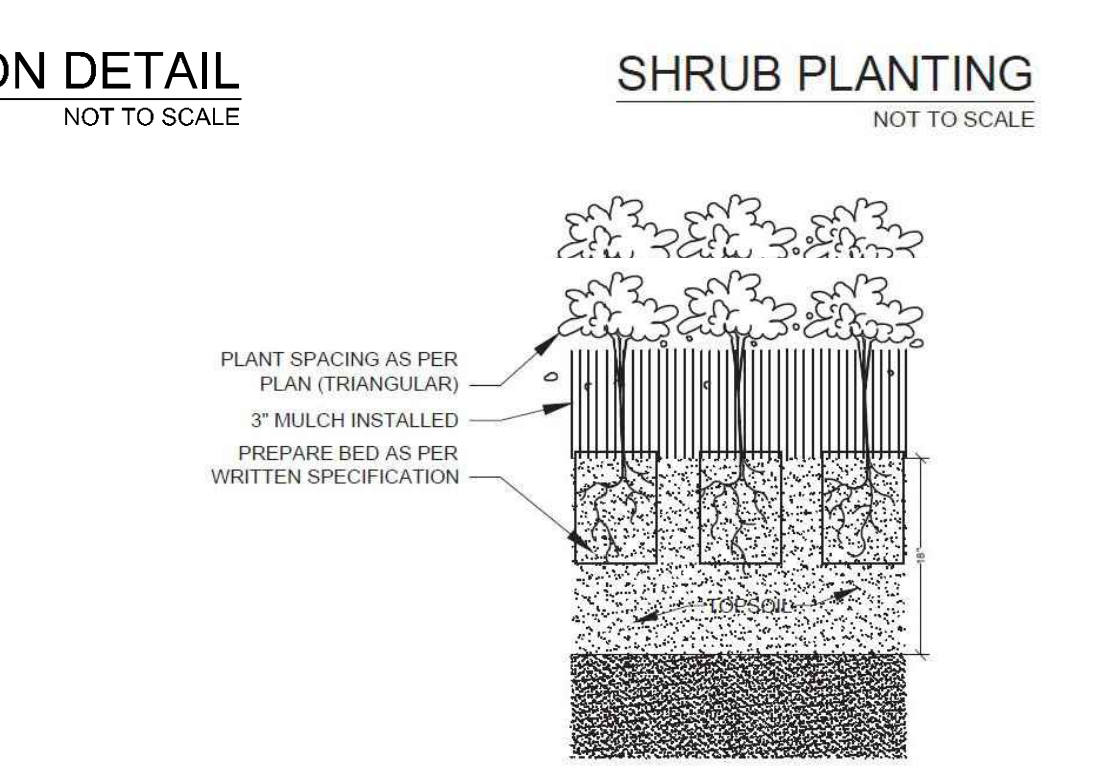
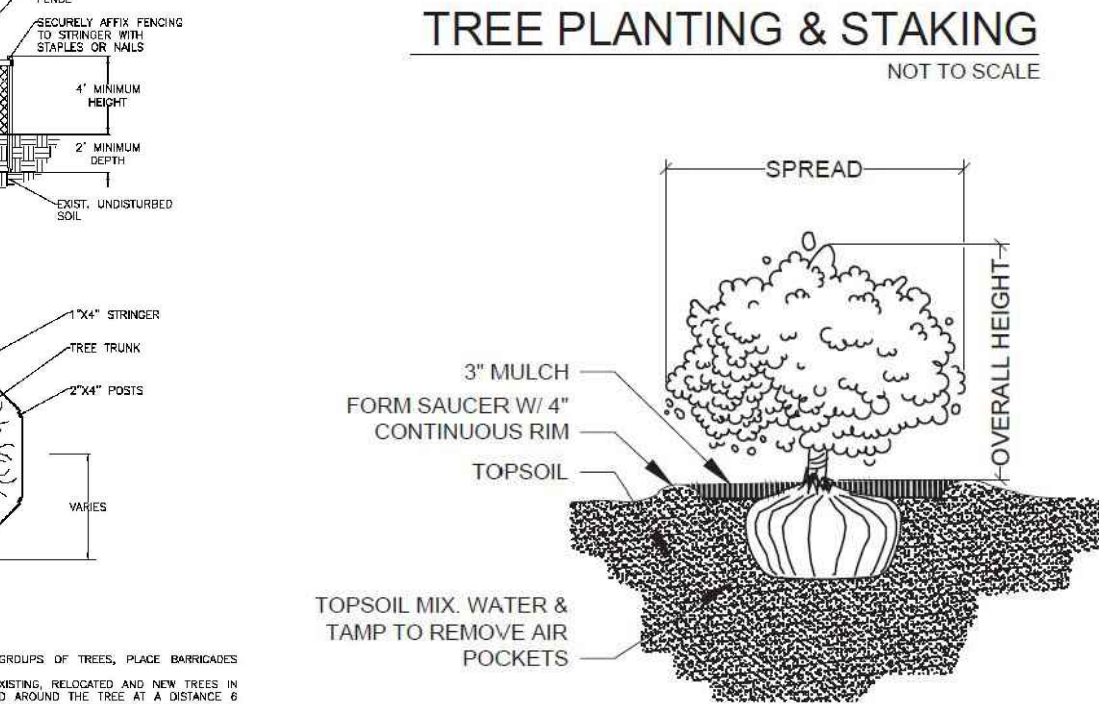
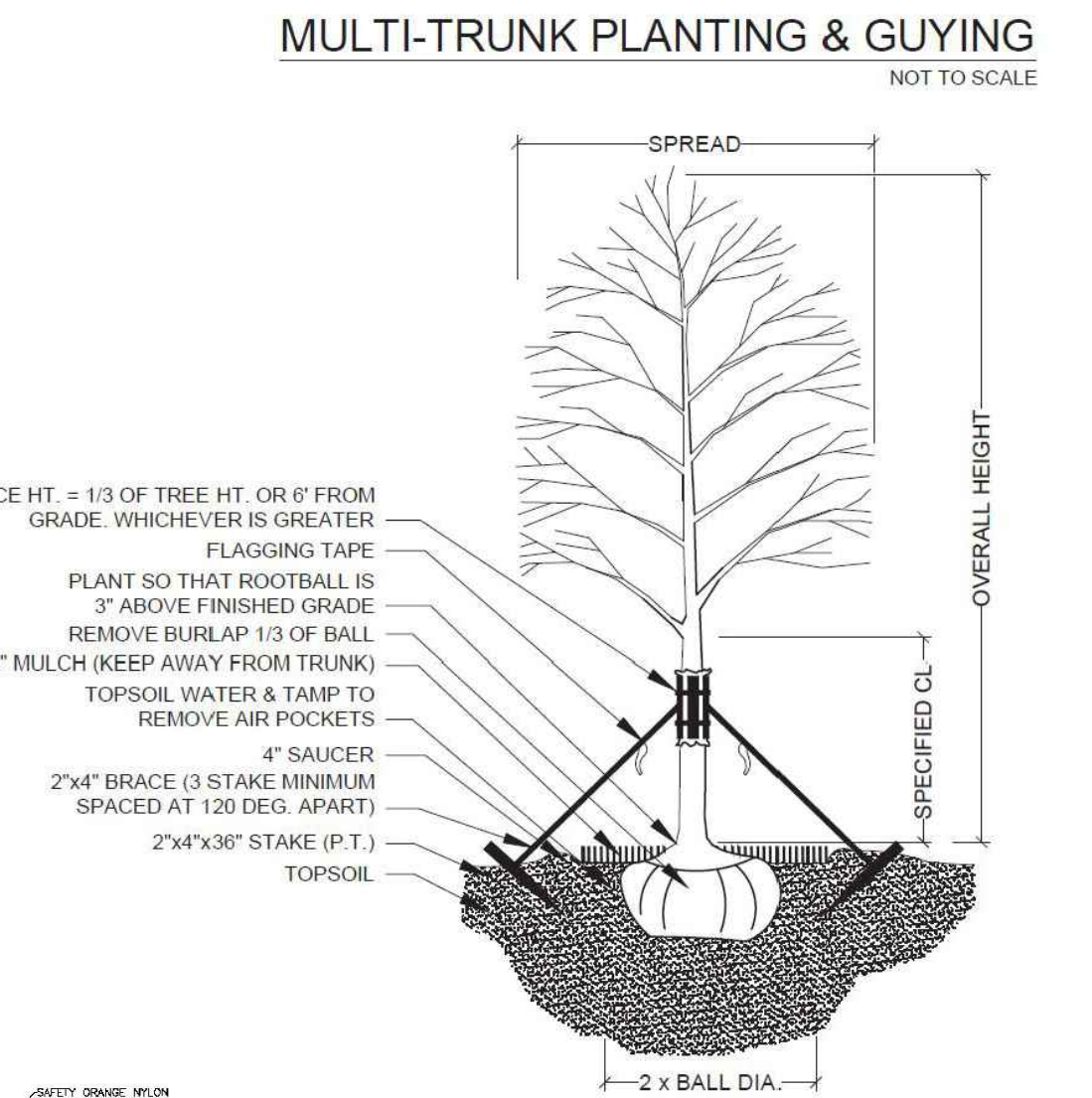
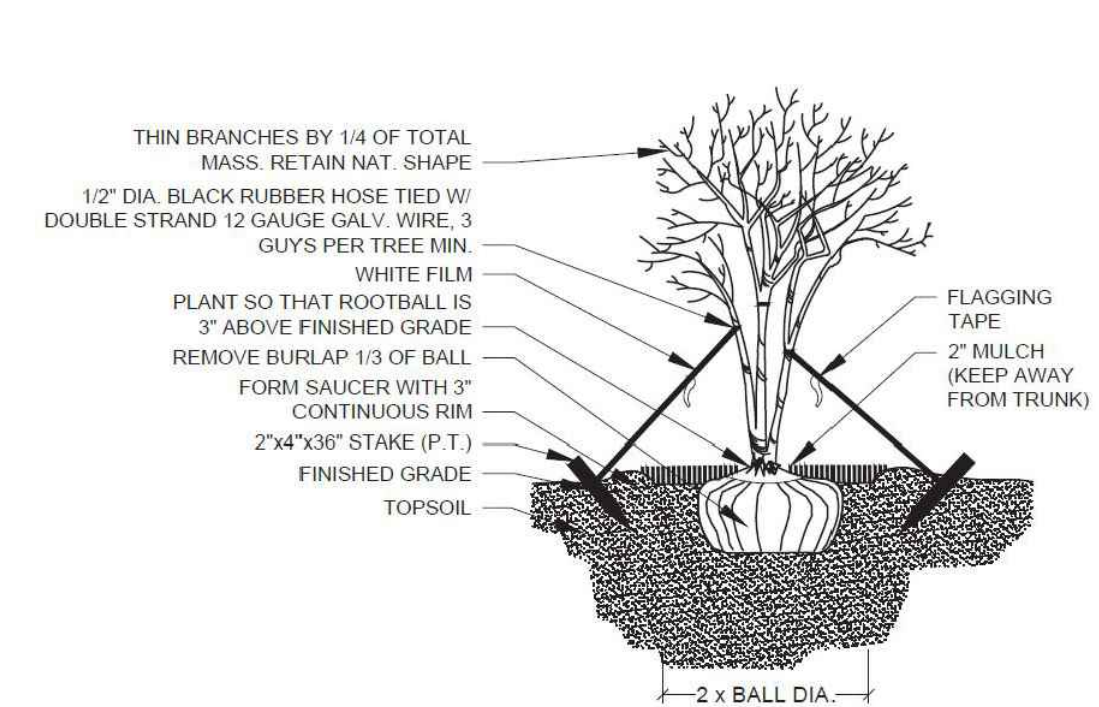
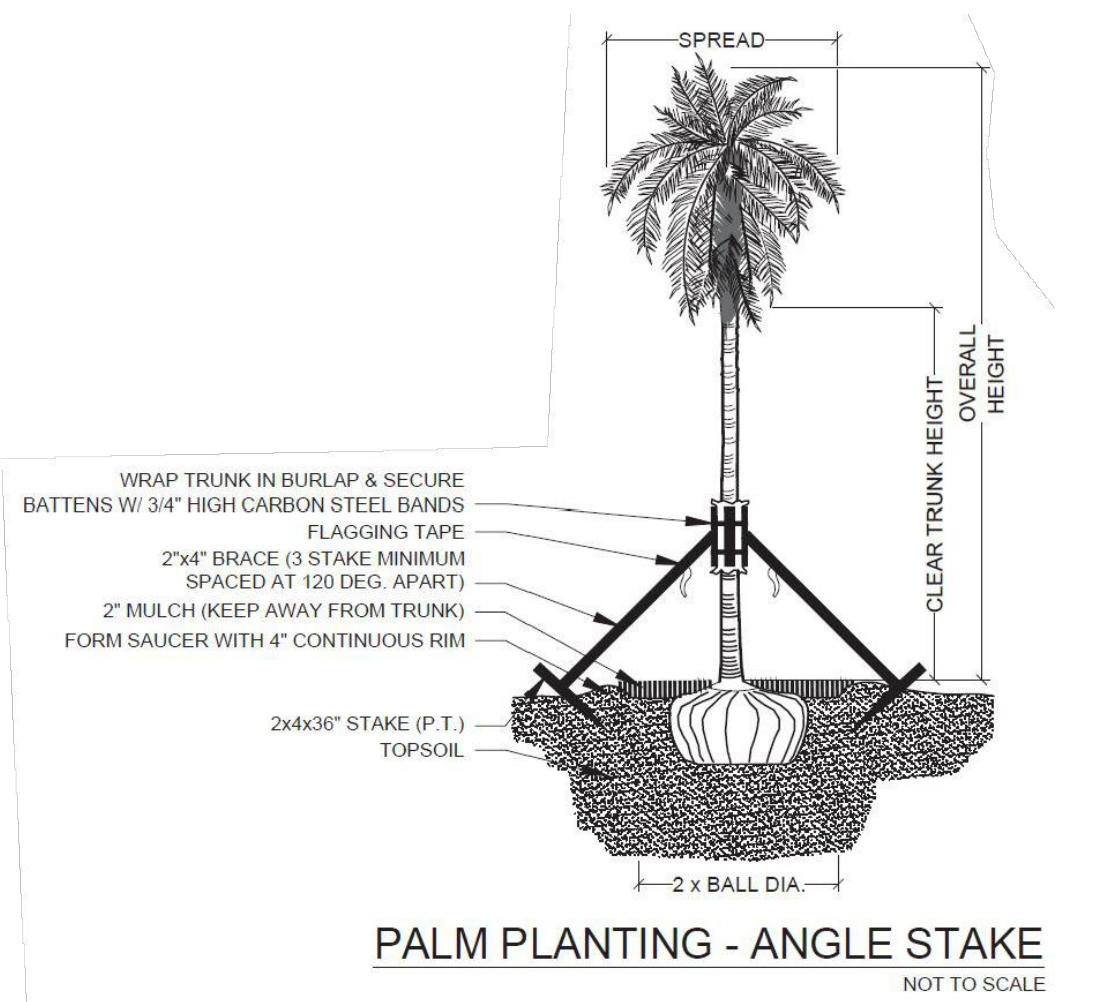
- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- B. FILL PLANTING PIT WITH TWELVE INCHES (12\") OF WATER. IF THE WATER LEVEL DROPS FOUR (4\") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4\") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

TREE PROTECTION DETAIL



DRAINAGE TESTING DETAIL

NOT TO SCALE



GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

Project Team

Landscape Architect:

LAS LANDSCAPE ARCHITECTURAL SERVICES, LLC

1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357 | brandon@las-fl.com

Architect:

LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027

(OFF) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLAR03@LLAR03AAARCHTCTLS.COM

PROPOSED MULTIFAMILY DEVELOPMENT FOR:

2022 MAYO LLC

1835 Fletcher Street, Hollywood, FL 33020

Landscape Details & Specifications

Revisions			
Date	Init.	Description	
01.04.24	BW	Initial Submittal	

REGISTERED LANDSCAPE ARCHITECT

LA 6666807

STATE OF FLORIDA

PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: DC

Checked By: PG

Municipal Project:

Scale:

NORTH

SCALE: 1" = N.T.S.

0 0 0 0

LS-03