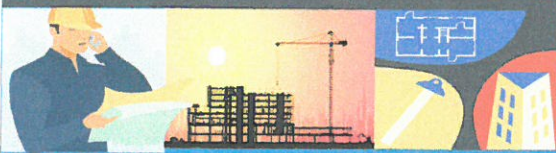


**ATTACHMENT A**  
**Application Package**



# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: 8-9-21

Location Address: 2302-2306 PIERCE ST  
Lot(s): 16 Block(s): 10 Subdivision: HOLLAND LITTLE RANCHES

Folio Number(s): 5142-16-01-4210 - 4220

Zoning Classification: DH-2 Land Use Classification: RAC

Existing Property Use: SINGLE FAM. RES Sq Ft/Number of Units: 2

Is the request the result of a violation notice? ( ) Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: PLANNING & DEVELOPMENT BOARD SITE PLAN APPROVAL

Number of units/rooms: 28 Sq Ft: 950

Value of Improvement: 5.5 MIL Estimated Date of Completion: NOV. 2022

Will Project be Phased? ( ) Yes (✓) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: EVIA PROPERTIES LLC

Address of Property Owner: 596 REVERE AVE. LINWOOD NJ 08221

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant/Representative/Tenant (circle one): JOSEPH B. KALLER

Address: 2417 HOLLYWOOD BLVD Telephone: 954 920 5746

Fax: 954 926 284 Email Address: joseph@kallerarchitects.com

Date of Purchase: 2/26/19 Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: JEFFREY SPORKIN

Address: \_\_\_\_\_

Email Address: jsporkin@gmail.com



# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 8/2

PRINT NAME: Thomas Zambetoglou

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: 8-2-21

PRINT NAME: JOSEPH B. KALLER

Date: 8-2-21

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

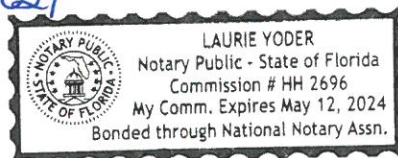
PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Planning & Development Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Planning & Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 2nd day of August 2021



Notary Public  
State of Florida

My Commission Expires: \_\_\_\_\_ (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_

Signature of Current Owner

Thomas Zambetoglou

Print Name





## PROJECT INFO:

5 STORY MULTI- FAMILY RESIDENTIAL  
BUILDING

## LEGAL DESCRIPTION

THE EAST HALF OF LOT 16, HOLLYWOOD LITTLE  
RANCHES, ACCORDING TO THE PLAT THEREOF,  
RECORDED IN PLAT BOOK 1, PAGE 26, OF THE  
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALONG WITH

THE WEST HALF OF LOT 16, HOLLYWOOD LITTLE  
RANCHES, ACCORDING TO THE PLAT THEREOF,  
RECORDED IN PLAT BOOK 1, PAGE 26, OF THE  
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.





## KallerArchitecture

GENERAL CRITERIA STATEMENT  
PARKVIEW APARTMENTS  
2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020  
TAC# 20-DP-20  
November 18, 2020

1. *Architectural and Design Components. Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.*

The Proposed Project is a 44'-0" high, four-story Multi-Family Development located on Pierce Street just east of North 24<sup>th</sup> Ave and across the street from Beachside Montessori Village. The Architectural Style is Modern with elements that create interest and movement. The main Entry Lobby is located on the north-west corner of the first floor which can be used to access not just the units above, but also the adjacent Management Offices. It will have a secure entry leading to the elevator that accesses the upper floors where the residential units are located. Parking is located on the first floor below the building as well as Mechanical and Pump Rooms, Bicycle Storage Racks and Storage Lockers for the units. The vehicular ingress/egress is off of Pierce Street.

The residential units are a mixture of 1 Bedroom, 1 Bathroom and 2 Bedroom, 2 Bathroom Units. The Units come with an open concept Living/Dining/Kitchen area. All the units have large, useable balconies accessed directly from the living areas. A Courtyard area, located on the fourth floor, is available to all the residents, where a BBQ area, Spa and Party Room are also located.

The overall massing of the building is a simple clean white form that has small accents of composite wood siding that accentuates the main entry and the lobby areas at each floor. There are curved metal tubing applied to a section of the front wall that creates visual interest from the street and also helps to define the main entry. Textured concrete finish are small touches in other areas like on the balcony walls and the wall above the garage driveway entry. Railings, columns, and other accents are simple and have clean lines, allowing for ease of maintenance and upkeep.

All choices of Materials and Construction Practices will be done using the Green Building Practices to lessen the carbon footprint in the community and region. The



entire Design and Construction process will be Professionally monitored by a Certified Green Building Expert in compliance with all State requirements for Certification.

2. *Compatibility. The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.*

The Neighborhood, in which the project is located, is a mix of one, two and three-story buildings. There are single family and multi-family buildings, as well as the school to the north.

The Architectural styles of the surrounding community vary. There are Mediterranean Revival buildings, Ranch Style homes, Florida Vernacular and Craftsman bungalows. As does the Architectural styles vary, so do the finishes used. These finishes include textured stucco, smooth stucco, stone or brick veneer, breeze blocks and scrolled metal columns. In most of the building, there are a combination of these textures and finishes on each structure. Roofs also vary in style and finish. There are flat roofs with varying height parapets, hip roofs with concrete tile or asphalt shingles and a gambrel roof with asphalt shingles that mimic wood shakes. It is these variations of finishes that were introduced to the proposed project design using a modern interpretation in the application and the material used.

3. *Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding and fenestration.*

The new Zoning District of DH-2 allows for more density through the use of less parking per unit and floor area ratio to determine the numbers and size. This new Zoning District not only allows for more Density, it promotes the use of Public Transportation, two characteristics that make an Urban/City Center come alive and thrive.

Because it will be one of the first projects built in this area using the newer Zoning Code designations, the height does not fit with the existing buildings around. It will though, set the stage for future development in the area as this project will be providing a 650' sewer line extension along Pierce Street that will benefit everyone on this section of Pierce Street.



4. *Landscaping. Landscaped area should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.*

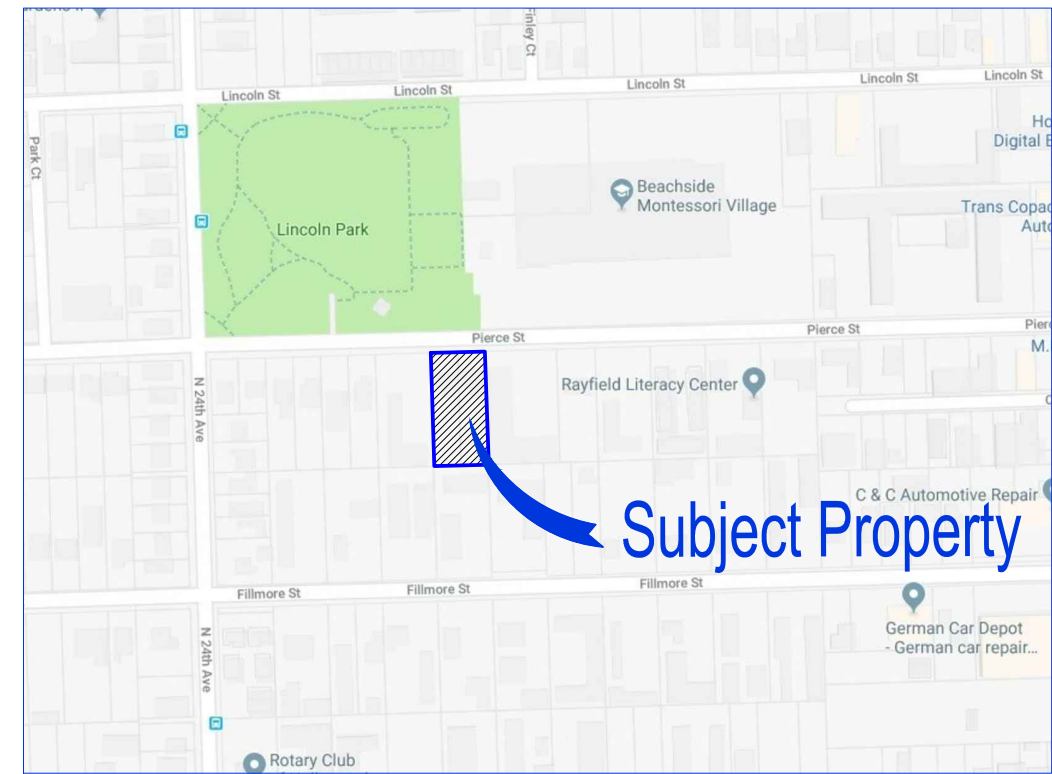
In the Landscape Design, Xeroscape, native species, the variety of color, height and texture, all play an important part in sustainability and beauty of the gardens.

The landscape will be done according to Green Building Practices and will be incorporated into the Green Building Design of the site and structure as well. Where possible, hardscapes will be pervious and reflective and methods of irrigation will employ conservation practices as much as possible.

Altogether, the landscape environment will soften the hard edges, enhance the slender architectural elements, screen the parking areas and provide a visually pleasing atmosphere.



LOCATION MAP  
NOT TO SCALE



# ALTA / NSPS LAND TITLE SURVEY

A parcel of land being a portion of the NE 1/4 of Section 16, Township 51 South, Range 42 East,  
City of Hollywood, Broward County, Florida.



0 10 20

SCALE: 1" = 20'

## LEGAL DESCRIPTION:

Folio # 5142-16-01-4210:

The East 1/2 of Lot 16, Block 10, **HOLLYWOOD LITTLE RANCHES**, according to the plat thereof, as recorded in Plat Book 1, Page 26 of the Public Records of Broward County, Florida.

TOGETHER WITH

Folio # 5142-16-01-4220:

The West 1/2 of Lot 16, Block 10, **HOLLYWOOD LITTLE RANCHES**, according to the plat thereof, as recorded in Plat Book 1, Page 26 of the Public Records of Broward County, Florida.

## SURVEYOR'S REPORT

- This ALTA/NSPS Survey has been made on the ground on March 26th, 2019 and updated on February 6th, 2020 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of an Alta Survey has been prepared in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2016.
- This Alta Survey correctly depicts the lands contained within the subject property as herein described and accurately shows the location and type of all visible above-ground improvements, evidence of utilities and any other relevant matters affecting these lands. Underground utilities and footings have not been located. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered and traversed during the field site work are in consistency with distances and directions from records.
- Except as listed herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways. Excavation and/or a private utility locate request might be necessary for a detailed location of underground utilities.
- At the time of this Alta these lands are improved with a two residential building and its appurtenances built on it. There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from a duly dedicated and accepted public Right of Way: Pierce Street - along the North property line. The undersigned has no knowledge of proposed changes in street right of way lines for this roadway.
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- The subject property is not designated as a wetland in the National Wetlands Inventory (U.S. Fish and Wildlife) and no wetland field designations were present at the time of the survey.

**9. FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 125113 (City of Hollywood), Panel 0569, Suffix H, revised on August 18, 2014, this real property falls in Zone "X". As defined by FEMA, Zone "X" is an area of minimal flood hazard, outside the Special Flood Hazard Area (SFHA) and higher than the elevation of the 0.2-percent-annual-chance flood. This is a designation obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.

**10. HORIZONTAL LOCATION AND ACCURACY:** The lands surveyed had been located on the ground with a precision that, based on a direct distance tested between two (2) corners, does not exceed the maximum allowable Relative Positional Precision for ALTA/NSPS Land Title Survey, which equals 2 cm (0.07 feet) plus 50 parts per million. The accuracy obtained by field measurements and office calculations meets and exceeds the customary minimum horizontal feature accuracy (linear) for a Rural area being equal to 1 foot in 5, 000 feet.

**11. VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Mark # 1: Broward County Engineering Department Bench Mark BM 1896, Elevation = 10.932 feet (NGVD 1929) Bench Mark # 2: Broward County Engineering Department Bench Mark BM 1895, Elevation = 11.076 feet (NGVD 1929)

This Alta Survey exceeds the Standards of Practice as set forth by the Florida Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a "Boundary Survey".

- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1" = 20'. Data is expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Commitment for Title Insurance provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Broward County, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein is based on the assumed bearing along the South Right of way Line of Pierce Street: S89°59'04"E

17. Parcel Folio # 5142-16-01-4210:

This survey has been made based on and upon an examination of Commitment for Title Insurance (the Title Commitment) issued by Attorneys' Title Fund Services, LLC, File No. 833272 Commitment date: January 17th, 2020 @ 11.00 PM. Upon review and examination of instruments of record listed on Schedule B - II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affects these lands have been noted and/or represented on this survey and the following applies:

### TITLE NOTES BASED ON SCHEDULE B-II EXCEPTIONS

- Item # 1:** This property is subject to all matters contained on the Plat of The Amended Plat of Hollywood Little Ranches, as recorded in Plat Book 1, Page 26, Public Records of Broward County, Florida. Refer to Survey map for geometry and lot's configuration.
- Item # 2:** Easement in favor of Florida Power and Light Company recorded in O.R. Book 3725, Page 861, Public Records of Broward County, Florida, does not affect this parcel.
- Item # 3:** This property is subject to reservations contained in instrument recorded in Deed Book 493, Page 120, Public Records of Broward County, Florida. (Lot 16, Block 10) These provisions are of "blanket nature", therefore, non "plottable".
- Item # 4:** This property is subject to Right-of-Way Occupancy Agreement as contained in instrument recorded in O.R. Book 14863, Page 321, Public Records of Broward County, Florida, does not affect this parcel.
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- Item # 6:** Easement grated to Florida Power & Light Company by instrument recorded in O.R. Book 40244, Page 1465, Public Records of Broward County, Florida, does not affect this parcel.

18. Parcel Folio # 5142-16-01-4220:

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## CERTIFICATION

I hereby certify to:

Evia Properties LLC.

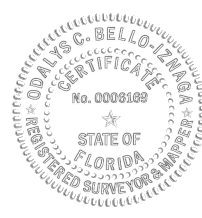
That this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 7 (a) (1), 111 (utilities by observed aboveground visible evidence), 13, 14, 16, 17, 18 and 19 of Table A thereof.

Field Work Date: 03/26/2019

Survey Updated: 02/06/2020 (Title Search Report revised)

Alta Survey Updated: 03/12/2020 (Title Search Report revised)

Odalis C. Bello-Iznaga  
Professional Surveyor and Mapper # 6169  
State of Florida



Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

Property Address:  
2302-2306 Pierce Street, Hollywood, Florida 33020

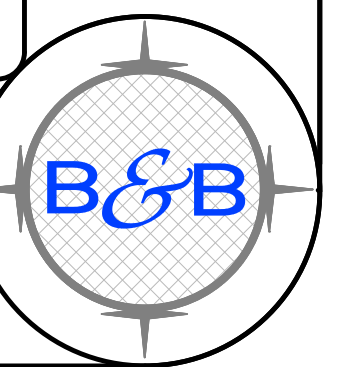
Project No. 19609

Page 1 of 1

Parcel Folios: 5142-16-01-4220 / 5142-16-01-4210

Net Area: 20 520.43 Sq Ft. (+/- 0.47 Acres)

**BELLO & BELLO LAND SURVEYING**  
12230 SW 431 AVENUE • SUITE 201 • MIAMI FL 33186  
LB#7262 • Phone: 305.251.9606 • Fax: 305.251.6057  
e-mail: info@belloland.com • www.bellolandsurveying.com

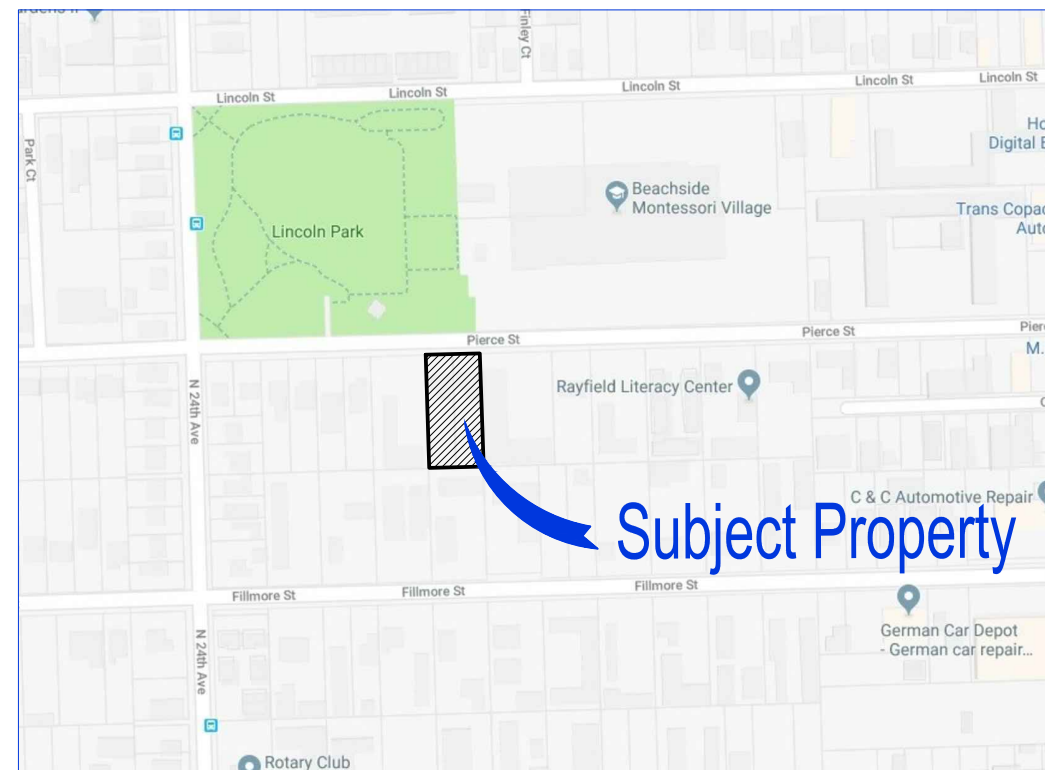




# ALTA / NSPS LAND TITLE SURVEY

A parcel of land being a portion of the NE 1/4 of Section 16, Township 51 South, Range 42 East,  
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## LOCATION MAP NOT TO SCALE



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TOGETHER WITH  
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This survey has been made based on and upon an examination of Commitment for Title Insurance (the Title Commitment) issued by Attorneys' Title Fund Services, LLC, File No. 833295 Commitment date: January 17th, 2020 @ 11:00 PM. Upon review and examination of instruments of record listed on Schedule B - II of said Title Commitment, the shape and location of each easement, right of way, servitude and any other adverse (Survey-related) matter listed therein that affects these lands have been noted and/or represented on this survey and the following applies:

#### TITLE NOTES BASED ON SCHEDULE B-II EXCEPTIONS

- Item # 1:** This property is subject to all matters contained on the Plat of The Amended Plat of Hollywood Little Ranches, as recorded in Plat Book 1, Page 26, Public Records of Broward County, Florida. Refer to Survey map for geometry and lot's configuration.
- Item # 2:** Easement in favor of Florida Power and Light Company recorded in O.R. Book 3725, Page 861, Public Records of Broward County, Florida, does not affect this parcel.
- Item # 3:** This property is subject to reservations contained in instrument recorded in Deed Book 493, Page 120, Public Records of Broward County, Florida, (Lot 16, Block 10) These provisions are of "blanket nature", therefore, non "plottable".

This survey has been updated based on and upon an examination of these OWNERSHIP AND ENCUMBRANCE REPORTS (O&E) issued by Fidelity National Title Insurance Company below is explanation of which documents belongs to each folio:

Parcel Folio # 5142-16-01-4210

File Number 9664415, with a search between May 28, 1921, to July 2, 2021 @ 8:00 AM. Upon review and examination of said report, the following applies:

Owner of Record is Evia Properties LLC, a New Jersey limited liability company.

Other Instruments of Records listed on said O&E have been investigated by this surveyor and its applicability its listed on the surveyor's report attached herein. (Refer to Note No. 17).

Parcel Folio # 5142-16-01-4220

File Number 9664426, with a search between May 28, 1921, to July 2, 2021 @ 8:00 AM. Upon review and examination of said report, the following applies:

Owner of Record is Evia Properties LLC, a New Jersey limited liability company.

Other Instruments of Records listed on said O&E have been investigated by this surveyor and its applicability its listed on the surveyor's report attached herein. (Refer to Note No. 18).

### CERTIFICATION

I hereby certify to:  
Evia Properties LLC  
That this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 7 (a) (1), 111 (utilities by observed aboveground visible evidence), 13, 14, 16, 17, 18 and 19 of Table A thereof.

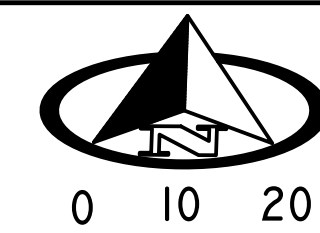
Field Work Date: 03/26/2019

Survey Updated: 02/06/2020 (Title Search Report revised)

Alta Survey Updated: 03/12/2020 (Title Search Report revised)

Alta Survey Updated: 07/14/2021 (Title OWNERSHIP AND ENCUMBRANCE REPORTS (O&E) revised)

Osaiya C. Bello-Izaga  
Professional Surveyor and Mapper # 6169  
State of Florida

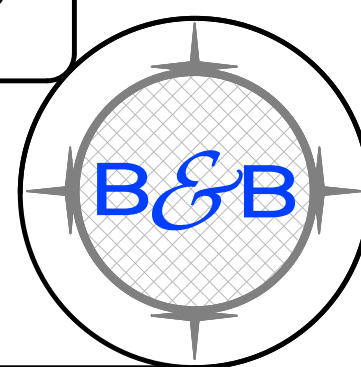


SCALE: 1" = 20'

### LEGEND & ABBREVIATIONS

	= CONCRETE (CONC.)
	= CONCRETE BLOCK WALL
	= WOOD DECK
	= COVERED AREA
	= ASPHALT
	= TILE
	= PAVERS
	= STONE
	= CHAIN LINK FENCE (CLF)
	= WOOD FENCE (WF)
	= IRON METAL BARS FENCE (IF)
	= OVERHEAD WIRES
	= WATER VALVE (WV)
	= POWER POLE (PP)
	= GUY ANCHOR
	= WATER METER (WM)
	= CONC. LIGHT POLE (LP)
	= WELL
	= STREET SIGN
	= SANITARY MANHOLE
	= DRAINAGE MANHOLE
	= MANHOLE
	= FIRE HYDRANT
	= CABLE BOX (CATV)
	= FPL TRANSFORMER
	= CATCH BASIN OR INLET
	= EXISTING ELEVATION
	= PERMANENT REFERENCE MONUMENT (PRM)
	= PROPERTY CORNER
	= PERMANENT CONTROL POINT (PCP)
PT	= POINT OF TANGENCY
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVE
PRC	= POINT OF REVERSE CURVE
BM	= BENCH MARK
BR	= BEARING REFERENCE
TBM	= TEMPORARY BENCH MARK
R	= PROPERTY LINE
C	= CENTER LINE
M	= MONUMENT LINE
CALC	= CALCULATED
MEAS	= FIELD MEASURED
P	= PER PLAT
FSM	= PROFESSIONAL SURVEYOR AND MAPPER
A/C	= AIR CONDITIONER PAD
ENCR	= ENCROACHMENT
FF ELEV	= FINISHED FLOOR ELEVATION
(XX-XX)	= DENOTES PLAT BOOK XX - PAGE XX
ORB	= OFFICIAL RECORD BOOK
CBS	= CONCRETE BLOCK STRUCTURE
R/W	= RIGHT OF WAY
ELEV	= ELEVATION
SEC	= SECTION
T	= TOWNSHIP
R	= RANGE

**BELLO & BELLO LAND SURVEYING**  
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Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

Property Address:  
2302-2306 Pierce Street, Hollywood, Florida 33020

Project No. 19609

Page 1 of 1

Parcel Folios: 5142-16-01-4220 / 5142-16-01-4210

Net Area: 20 520.43 Sq Ft. (+/- 0.47 Acres)



PARKVIEW APARTMENTS

2302 & 2306 PIERCE STREET      HOLLYWOOD      FLORIDA



PACO - OCTOBER 8, 2018  
PRELIMINARY TAC - MARCH 2, 2019  
FINAL TAC - JANUARY 19, 2021

PROJECT TEAM

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.  
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HOLLYWOOD, FL 33020  
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OWNER

EVIA PROPERTIES LLC  
OWNER: THOMAS ZAMBETOGLU  
CONTACT: JEFFERY SPORKIN  
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PHONE: (954) 478-3064  
EMAIL: gabriela@mirrorofparadise.com

CIVIL

ZEPHYR ENGINEERING  
CONTACT: WILFORD ZEPHYR  
ADDRESS: HOLLYWOOD FL  
PHONE: (786) 302-7693  
EMAIL: wzephyr@gmail.com

PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 6TH EDITION 2010  
FLORIDA FIRE PREVENTION CODE, 1TH EDITION  
FLORIDA ADMINISTRATIVE CODE 69A-40

JURISDICTION:

CITY OF HOLLYWOOD  
BROWARD COUNTY  
STATE OF FLORIDA

DRAWING INDEX

T-1 COVER SHEET

SURVEY

9P-0 SITE AND BUILDING DATA

9P-1 SITE PLAN AND NOTES

9P-1A SITE PLAN EXTENTION

9P-2 SITE DETAILS

C-1 EROSION AND SEDIMENT CONTROL PLAN

C-2 PAVING, GRADING AND DRAINAGE PLAN

C-3 CIVIL DETAILS

C-4 PAVEMENT MARKINGS AND SIGNAGE PLAN

C-5 SEWER EXTENSION PLAN AND DETAILS

C-6 WATER & SEWER PLAN AND DETAILS

C-7 UTILITIES DETAILS I

C-8 UTILITIES DEATILS II

DT-1 REMOVAL PLAN AND EXISTING TREE CHART

LT-1 LANDSCAPE PLAN- GROUND LEVEL

LT-2 LANDSCAPE PLAN - 4TH FLOOR DETAILS AND NOTES

LT-3 COLORED PLAN - GROUND LEVEL AND 4TH FLOOR

A-1 FIRST FLOOR PLAN

A-2 SECOND FLOOR PLAN

A-3 THIRD FLOOR PLAN

A-4 FOURTH FLOOR PLAN

A-5 ROOF PLAN

A-6 ELEVATIONS

A-7 ELEVATIONS

A-8 CONTEXTUAL STREET ELEVATION

A-9 UNIT BLOW UP PLANS

A-10 UNIT BLOW UP PLANS

LOCATION MAP

NORTH

SITE

AERIAL

NORTH

SITE

KA

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SEAL

JOSEPH B. KALLER  
FLORIDA R.A. # 0009239

PROJECT TITLE

PARKVIEW  
APTMENTS  
2302- 2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

SHEET TITLE

TITLE SHEET  
SIGN OFFS

REVISIONS

No.	DATE	DESCRIPTION
1	6-18-20	PRELIM TAC
2	4-21-21	FINAL TAC

PROJECT No.: 19031

DATE: 7-1-19

DRAWN BY: TMS

CHECKED BY: JBK

SHEET

T-1

SHEET 1 OF 4

Bidders shall use complete sets of Issued Documents in preparing bids. Issued Documents shall include all drawings, specifications, and all other documents necessary for the proper execution and completion of the work by the Contractor. The Contractor Documents are complementary, and shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the intended results.



### LEGAL DESCRIPTION

The East 1/2 of Lot 16, Block 10, HOLLYWOOD LITTLE RANCHES AMENDED, according to the plat thereof, as recorded in Plat Book 1, Page 26 of the Public Records of Broward County, Florida, along with,

The West 1/2 of Lot 16, Block 10, HOLLYWOOD LITTLE RANCHES AMENDED, according to the plat thereof, as recorded in Plat Book 1, Page 26 of the Public Records of Broward County, Florida.



FOLIO

# 5142-16-01-4210 AND 5142-16-01-4220



### PROPERTY ADDRESSES

2302 AND 2306 PIERCE STREET  
HOLLYWOOD, FL 33020

## SITE INFORMATION

EXISTING ZONING:	DIXIE HIGHWAY MEDIUM INTENSITY MULTI-FAMILY DISTRICT (DH-2)	
LAND USE DESIGNATION:	REGIONAL ACTIVITY CENTER	
NET LOT AREA:	20,500.0 SQUARE FEET	
FAR:	1.75	
	<u>ALLOWED</u>	<u>PROVIDED</u>
BUILDABLE AREA:	35,875.0 SF	35,367.0 SF
PROPOSED NO. OF UNITS:	28 UNITS	
PARKING:	<u>REQUIRED</u>	<u>PROVIDED</u>
UNITS	1 PER 1 BED UNIT = 20 SPACES	20 SPACES
	1.5 PER 2 BED UNIT = 12 SPACES	8 SPACES W/ LIFTS = 16
GUESTS	1 PER 10 UNITS MIN. = 3 SPACES	3 SPACES
TOTAL	= 35 SPACES	39 SPACES 
		INCLD. 2 HC SPACES
LOADING:	<u>REQUIRED</u>	<u>PROVIDED</u>
UNITS	NOT REQ. LESS THAN 50 UNITS	0 SPACE
SETBACKS:	<u>REQUIRED</u>	<u>PROVIDED</u>
(a) FRONTAGE (PIERCE ST)	15'-0"	16'-8"
(b) SIDE INTERIOR (WEST)	10'-0"	10'-0 1/2"
(c) SIDE INTERIOR (EAST)	10'-0"	10'-0" 
(d) REAR	20'-0"	20'-1 1/2"
OPEN SPACE:	<u>REQUIRED</u> 4100 (20%)	<u>PROVIDED</u> 6129 (29.9%)
WALKWAYS AND DRIVEWAYS:	1327 SF	

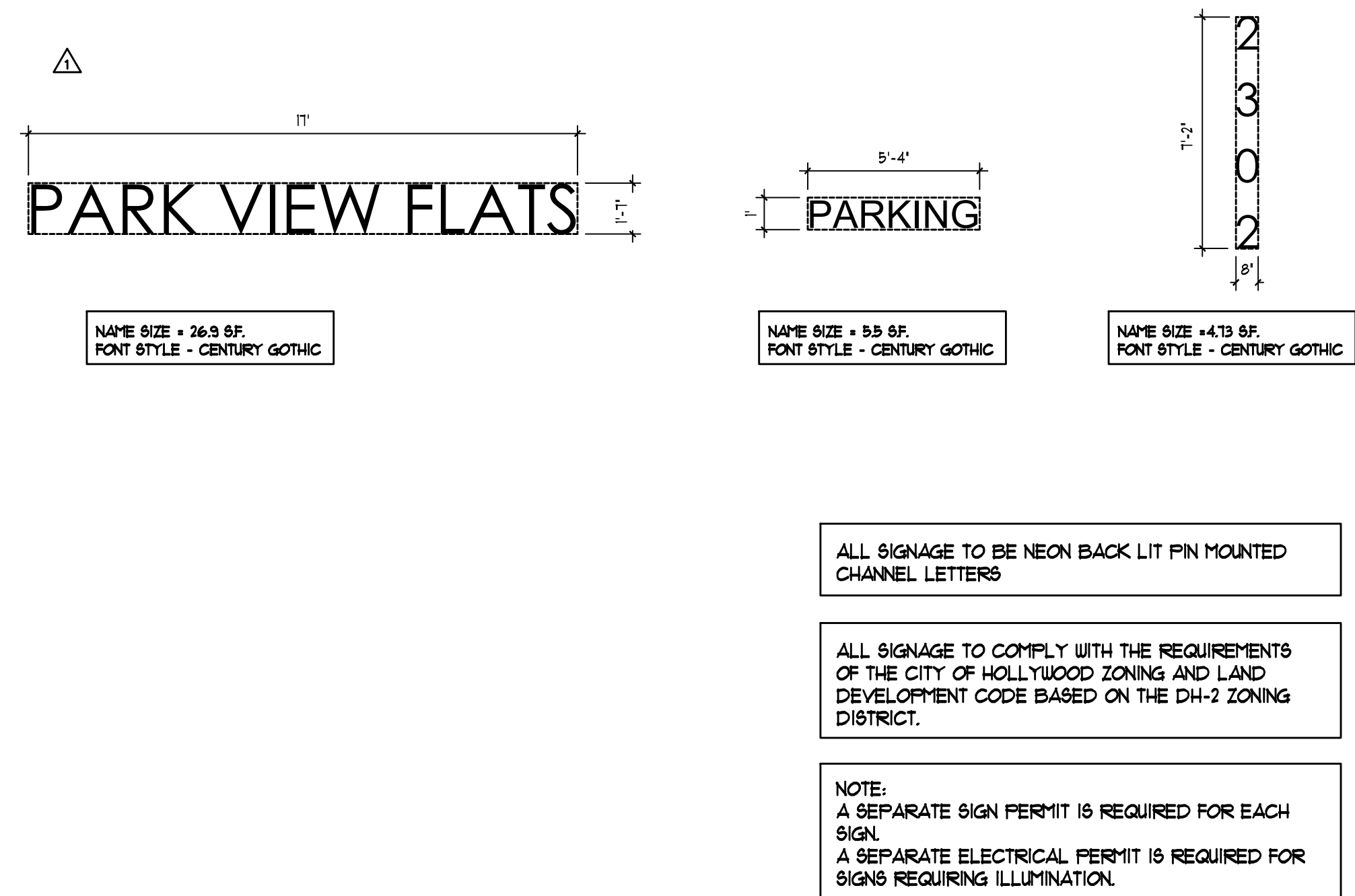
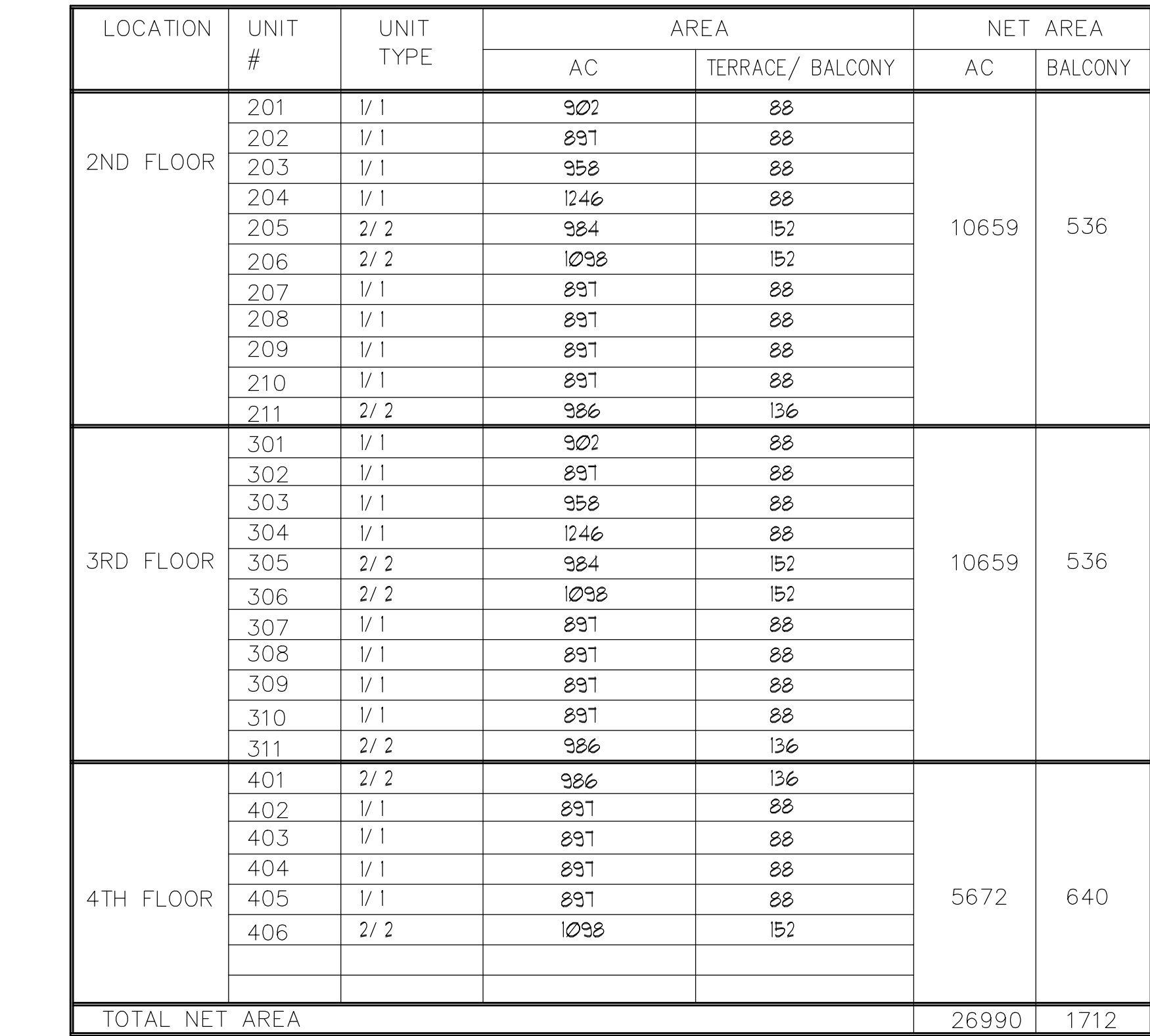
## BUILDING SUMMARY

	<u>ALLOWED</u>	<u>PROVIDED</u>	
BUILDING HEIGHT:	4 STORIES/ 45'-0"	4 STORIES/ 44'-6"	
GROSS BUILDING AREA:	INTERIOR	TERRACES	TOTAL
FIRST FLOOR	1738		
SECOND FLOOR	12431	1144	
THIRD FLOOR	12431	1144	
FOURTH FLOOR	8567	3904	
TOTAL	35693	6192	41885 

	<u>ALLOWED</u>	<u>PROVIDED</u>
MIN. UNIT SIZE:	400 SF	897 SF
CUMULATIVE AVERAGE:	650 SF	964 SF

	SPACE	AREA		GROSS AREA		AREA	AREA
		AC	NON AC	AC	NON AC	NOT INCL.	FAR
1ST FL  A	RESIDENTIAL LOBBY	439		1532	731	10784	1602
	TRASH ROOM		136				
	STAIRWELL 1		224				
	STAIRWELL 2		224				
	ELEVATORS	93					
	OFFICE	525					
	GARAGE (including bike area and storage cages)		10784				
	METER ROOM	122					
	FIRE PUMP ROOM	226					
FPL	127						
MAINTENANCE		147					
2ND FL	CORRIDOR	1314		12066	1509		12368
	UNITS	10659					
	STAIRWELL 1		151				
	STAIRWELL 2		151				
	ELEVATORS	93					
	TRASH CHUTE		63				
	BALCONIES		1144				
3RD FL	CORRIDOR	1314		12066	1509		12368
	UNITS	10659					
	STAIRWELL 1		151				
	STAIRWELL 2		151				
	ELEVATORS	93					
	TRASH CHUTE		63				
	BALCONIES		1144				
4TH FL	CORRIDOR	1450		8135	4337		8504
	UNITS	5672					
	STAIRWELL 1		151				
	STAIRWELL 2		151				
	ELEVATORS	93					
	TRASH CHUTE		63				
	BALCONIES		464				
	ROOF DECK		3441				
	GYM/ PARTY ROOM	920					
HC BATH		67					
				33799	8086		35367
TOTAL GROSS AREA				41885 SF			
TOTAL FAR AREA							

PROVIDED PARKING		
ONE BEDROOM UNITS	20 UNITS	20 SPACES
TWO BEDROOM UNITS	8 UNITS	8 SPACES WITH LIFTS = 16 SPACES
TOTAL NUMBER OF UNITS	28 UNITS	
	1 GUEST SPACE PER 10 UNITS	= 3 SPACES
	TOTAL NUMBER OS SPACES PROVIDED	= 39 SPACES



## SIGN DETAILS

SCALE: 1/4" = 1'-0"



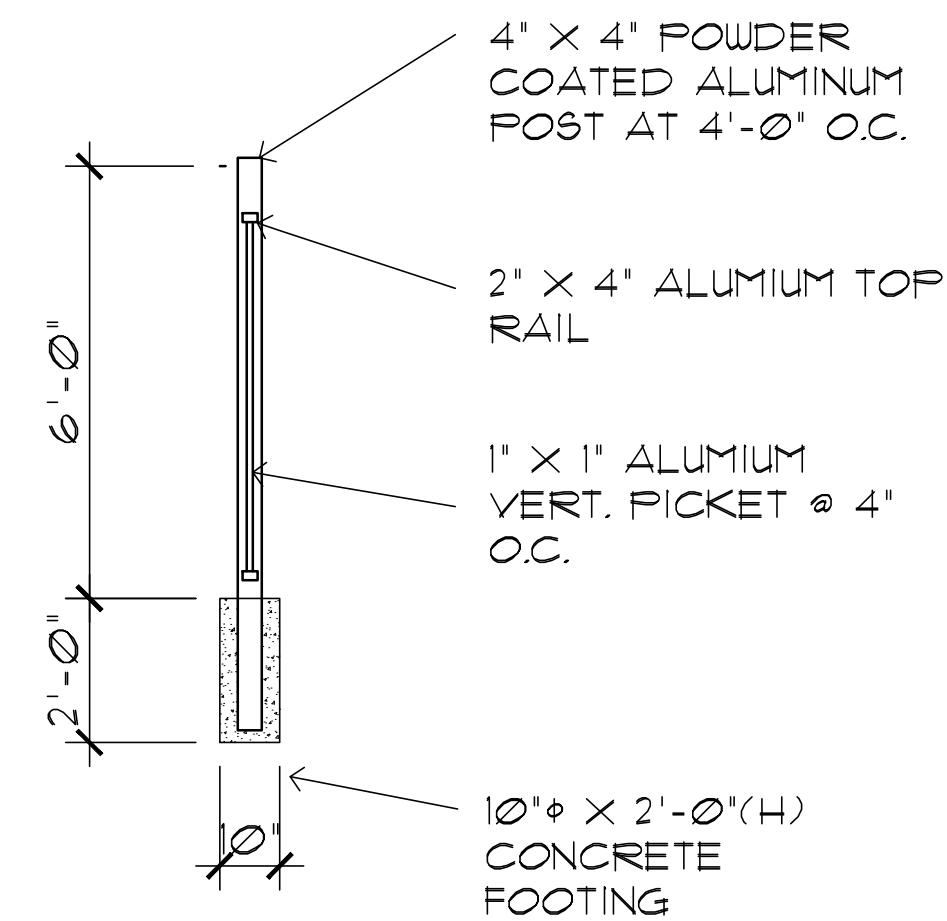
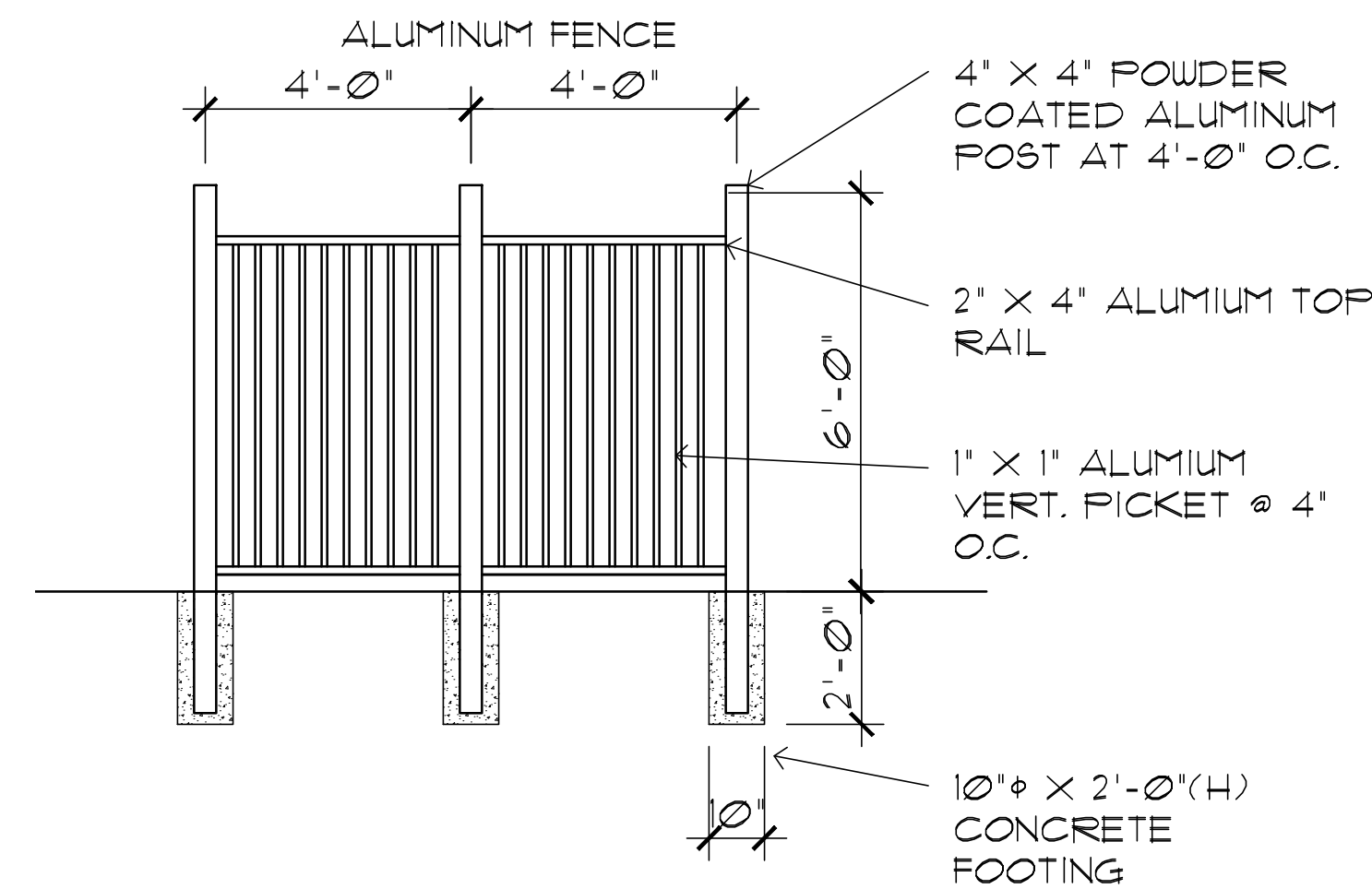
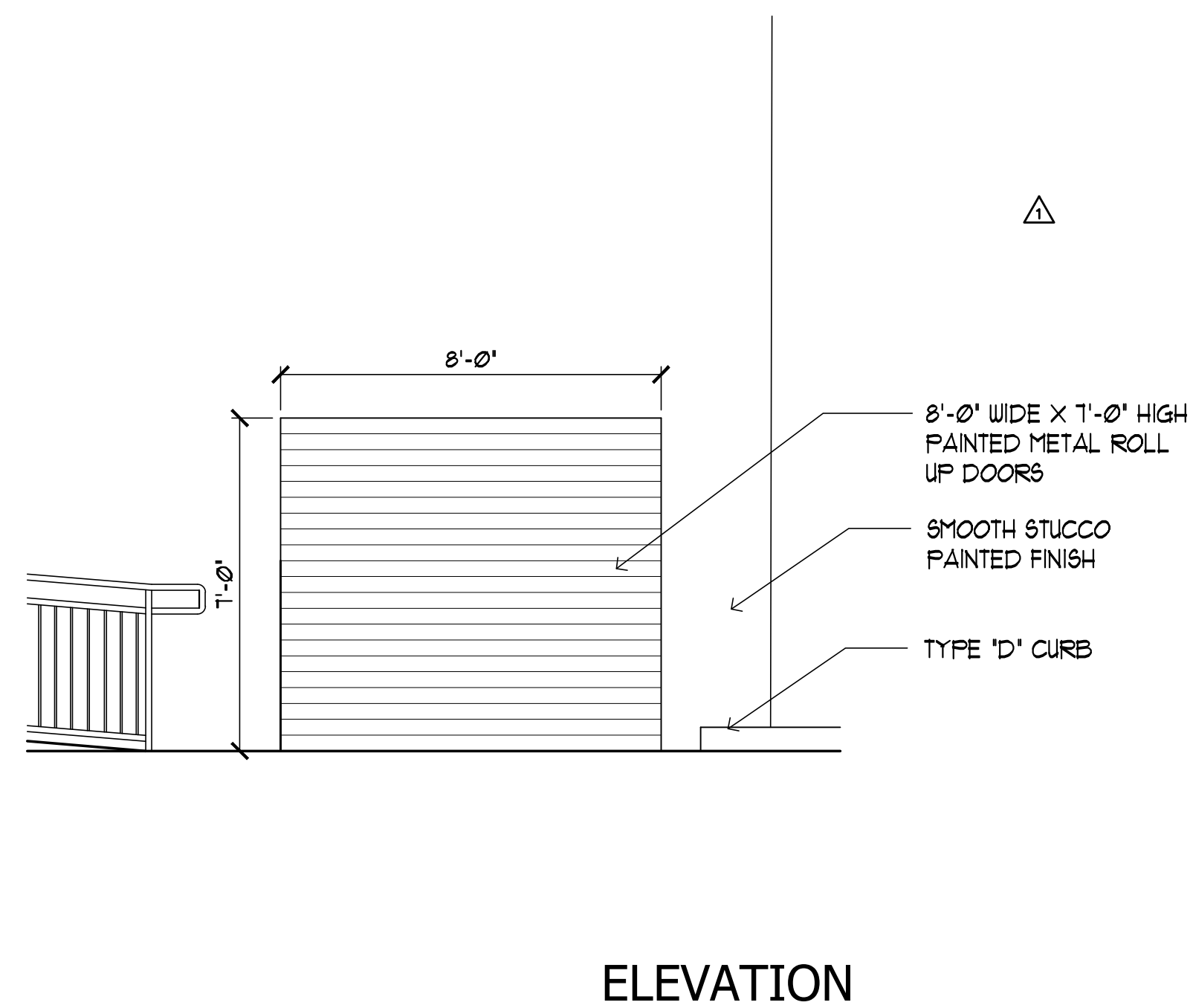
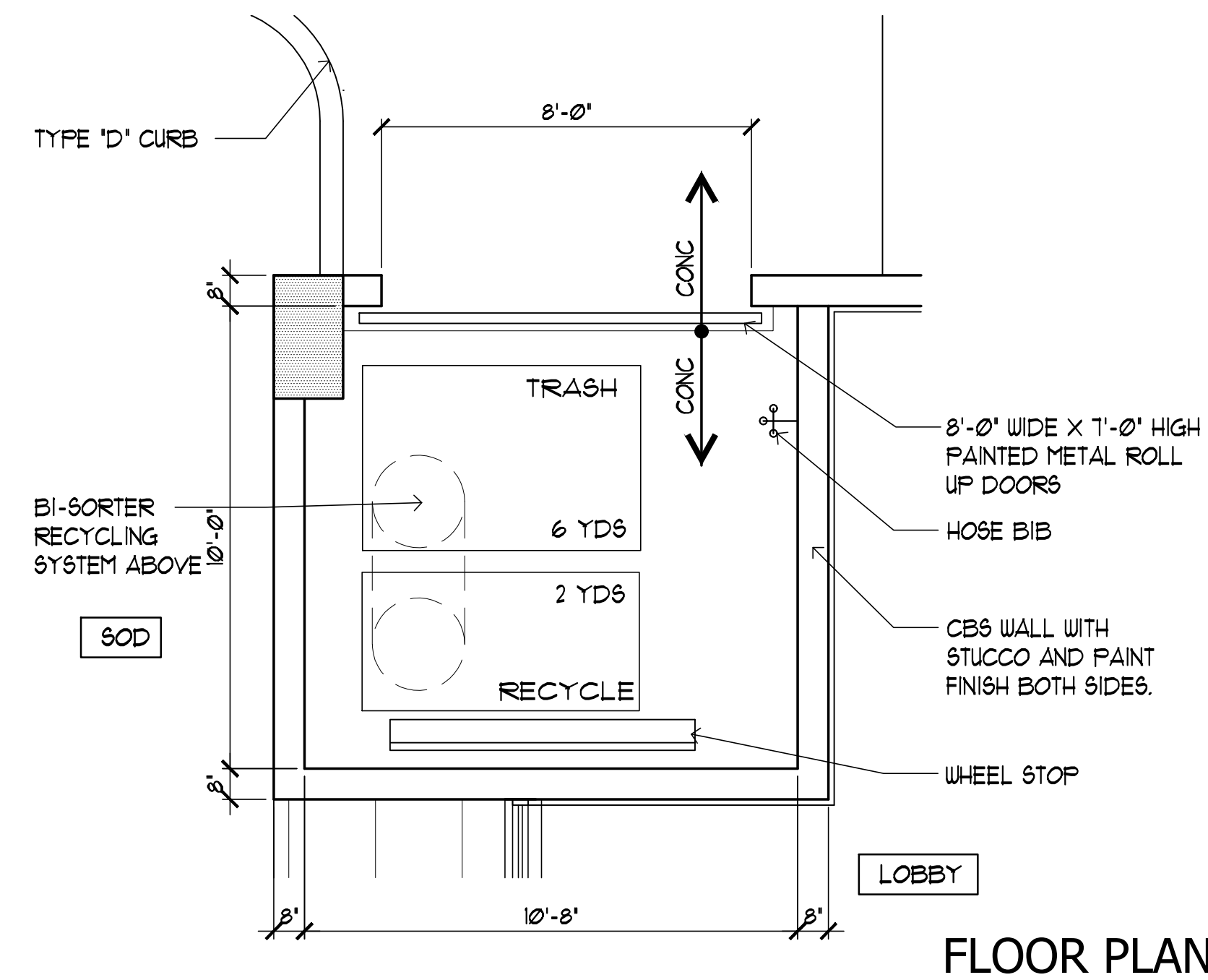


SEE SITE DATA ON SHEET SP-0



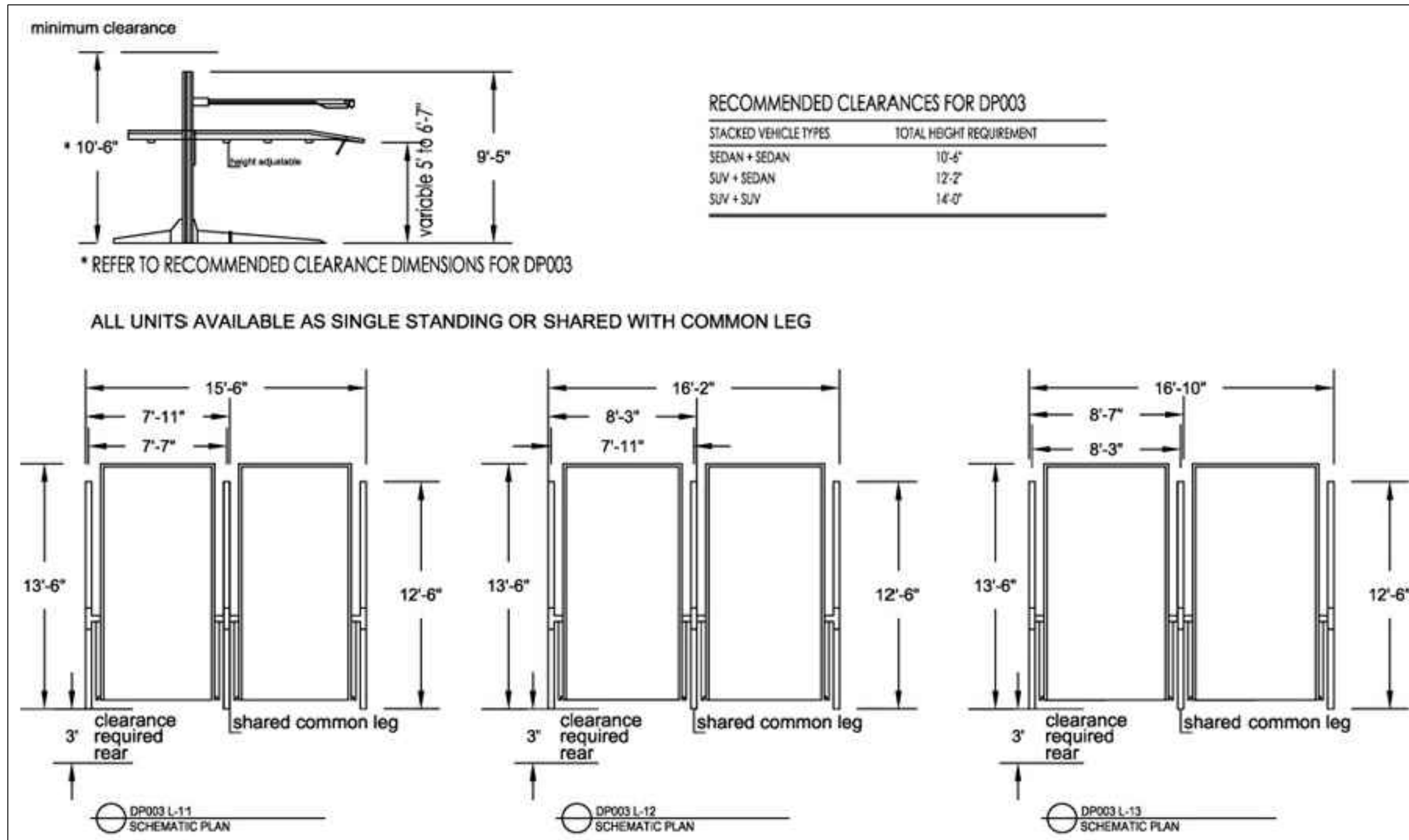






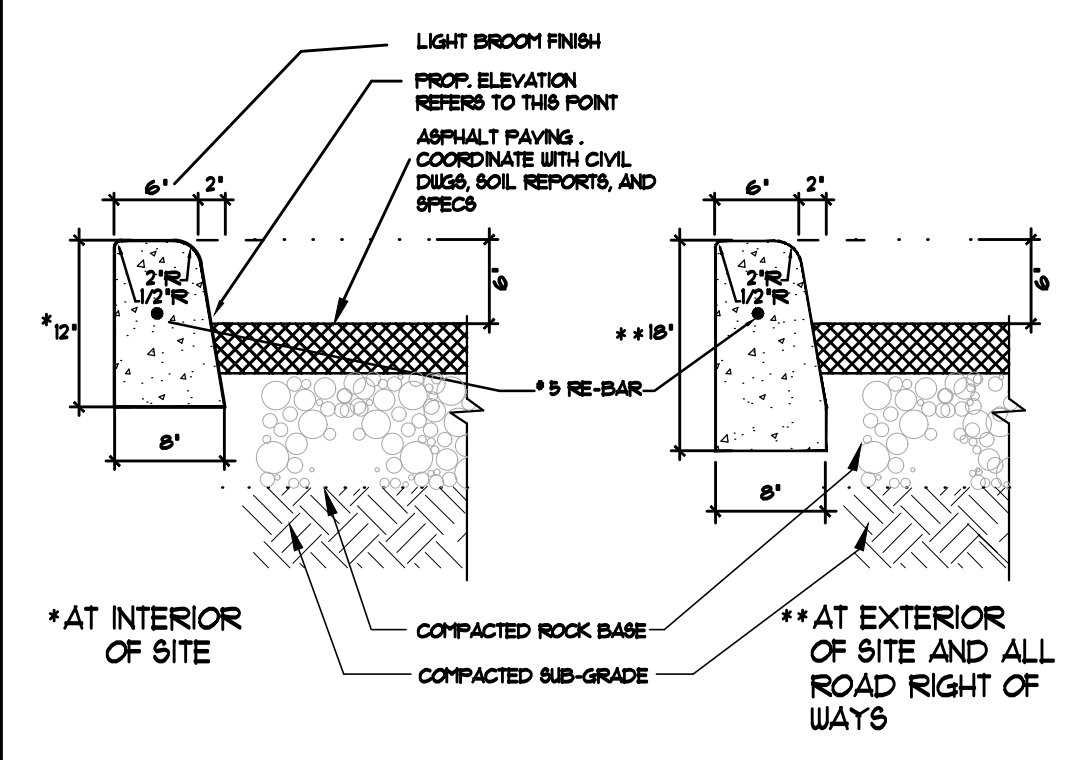
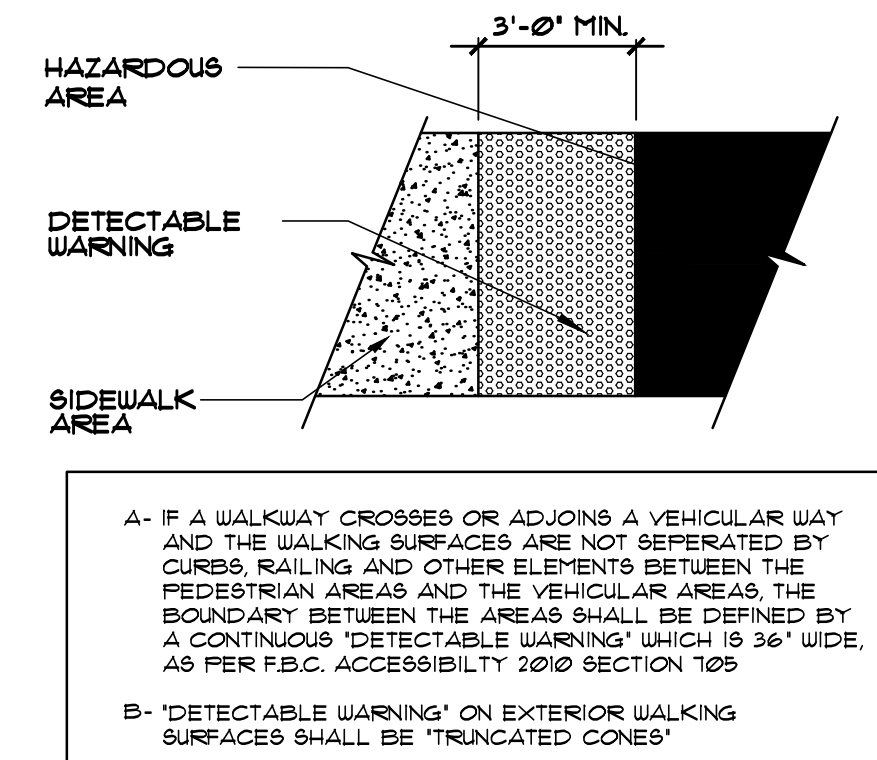
1 REFUSE ENCLOSURE DETAIL

**(NTS)**



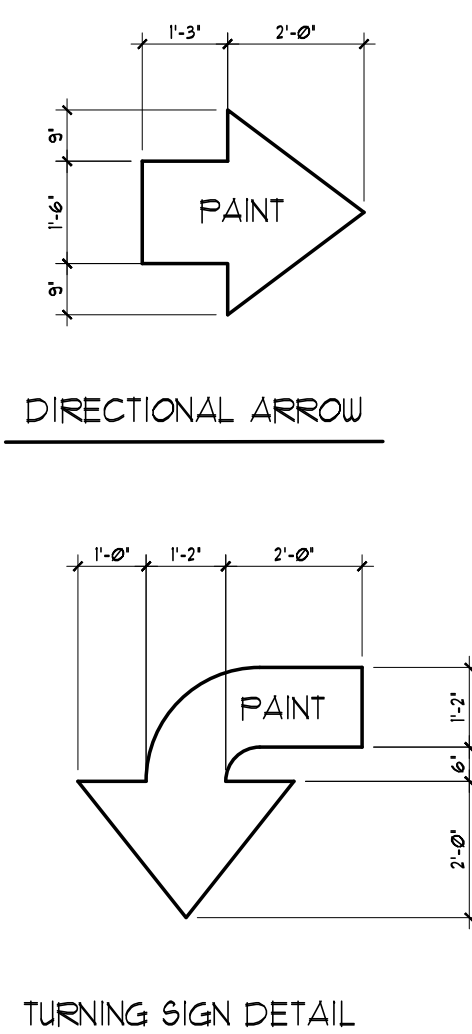
## 2 | FENCE DETAIL

**3/8" = 1'-0"**



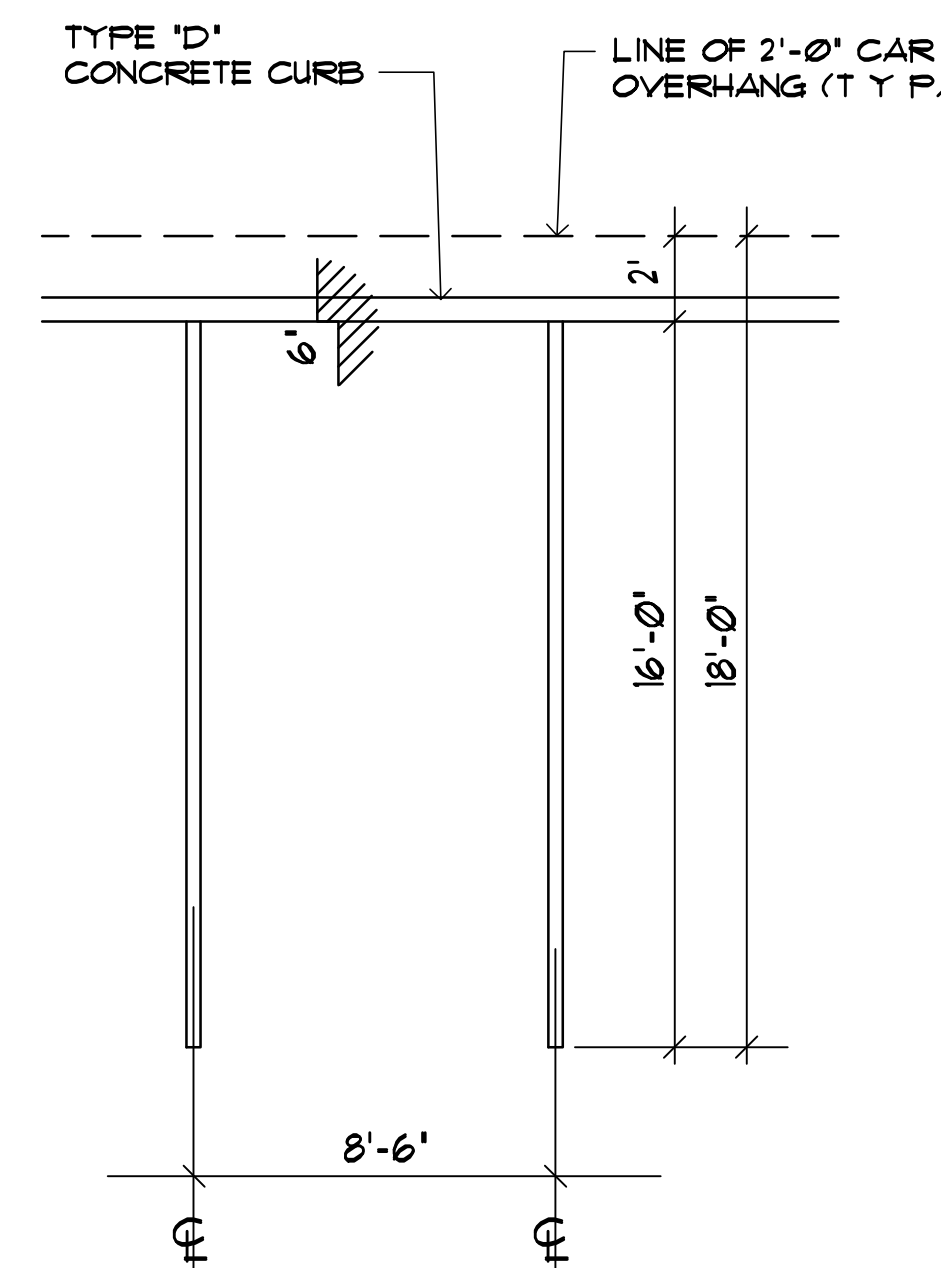
## 5 TRAFFIC ARROWS

**(NTS)**

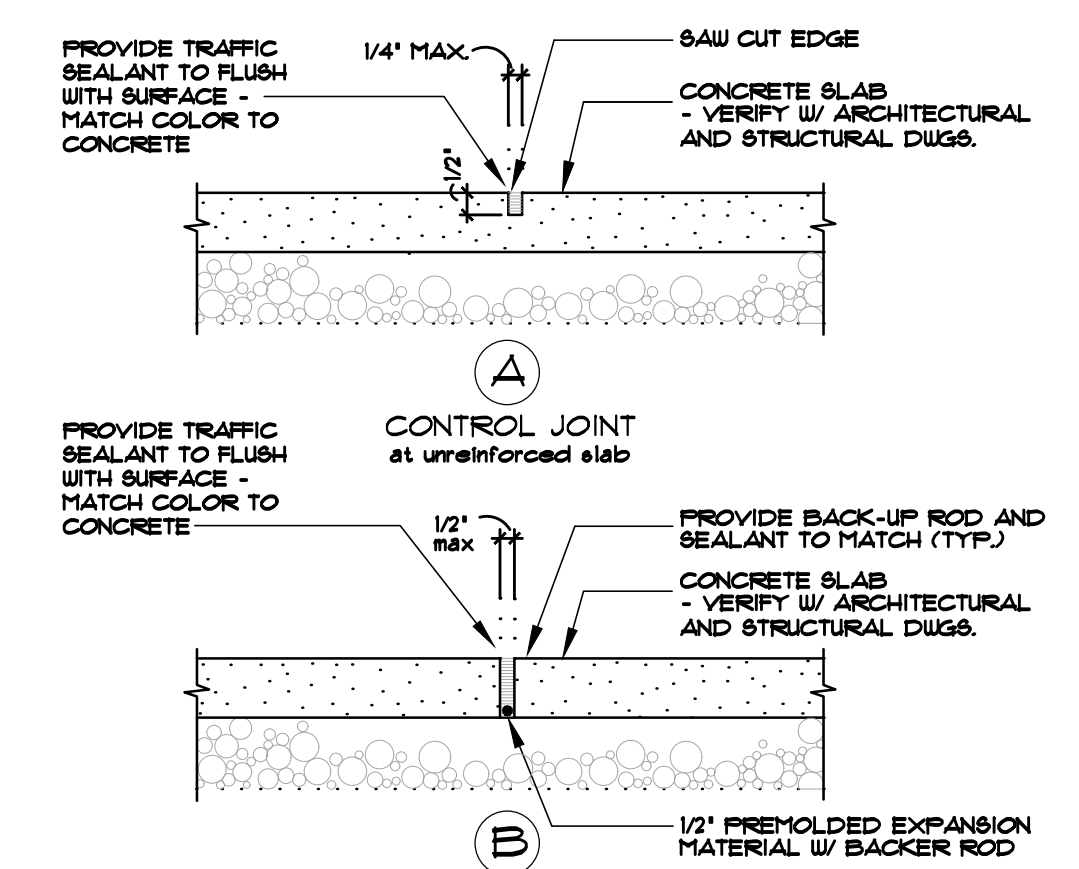


NOTE: SEE CIVIL ENGINEER'S DRAWINGS FOR ADDITIONAL 'DIRECTIONAL' DRIVEWAY PAVING DETAILS.

## 6 DETECTABLE WARNING



7 | TYP. TYPE D CONCRETE CURB



## 8 CAR LIFT DETAILS

**(NTS)**

### 3 SITE ACCESSIBILITY NOTES

ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

**SLOPE AND RISE -**  
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:20. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN.

**CLEAR WIDTH -**  
1. MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR  
2. RAMPS THAT ARE PART OF A REQUIRED MEANS OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR.

**LANDINGS**  
RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:  
1. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.  
2. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES  
3. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY WITH ACCESSIBILITY 200.

**HANDRAILS -**  
1. A RAMP RUN SHALL HAVE A RISE GREATER THAN 6 IN OR A HORIZONTAL PROJECTION GREATER THAN 12 IN. THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJUNCT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 426 OF THE ADA CODE AND SHALL HAVE THE FOLLOWING FEATURES:  
1. HANDRAILS SHALL BE PRICES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.  
2. HANDRAILS ON RAMPS WHICH ARE NOT CONTINUOUS SHALL EXTEND NOT LESS THAN 18" BEYOND THE SLOPED SURFACE OF THE RAMP AT BOTH TOP AND BOTTOM, AND SHALL BE PARALLEL TO THE FLOOR OR GROUND SURFACE.  
3. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1/2 INCH  
4. GRIPPING SURFACES SHALL BE CONTINUOUS.  
5. TOP OF CURB OR GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 IN AND 38 IN ABOVE RAMP SURFACES.  
6. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETIRED SMOOTHLY TO FLOOR, WALL OR POST  
7. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

**CROSS SLOPE SURFACES**  
THE CROSS SLOPE OF RAMP SURFACES SHALL BE NOT GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY W/ CHAPTER 4 OF 2000 ACCESSIBILITY CODE.

**EDGE PROTECTION -**  
RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 1 IN HIGH

**OUTDOOR CONDITIONS**  
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

8 | TYP. PARKING SPACE DETAIL

10	TYP. CONC. SLAB JOINTS
----	------------------------

**(NTS)**

[illegible]





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EAL

JOSEPH B. KALLER  
FLORIDA R.A. # 0009239

**PARK VIEW**  
APARTMENTS  
2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

# PROJECT TITLE

## FIRST FLOOR PLAN

SHEET 1111E

REVISIONS	DESCRIPTION
-----------	-------------

[illegible]

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PROJECT No.: 19031  
DATE: 7-1-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

**A-1**

HEET 1 OF 4



# 1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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JECT TITLE

**PARK VIEW**  
APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE

## SECOND FLOOR PLAN

[illegible]

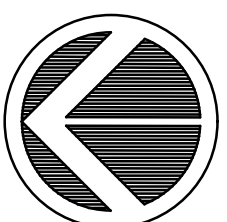
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PROJECT No.: 19031  
DATE: 7-1-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

**A-2**

HEET 1 OF 4

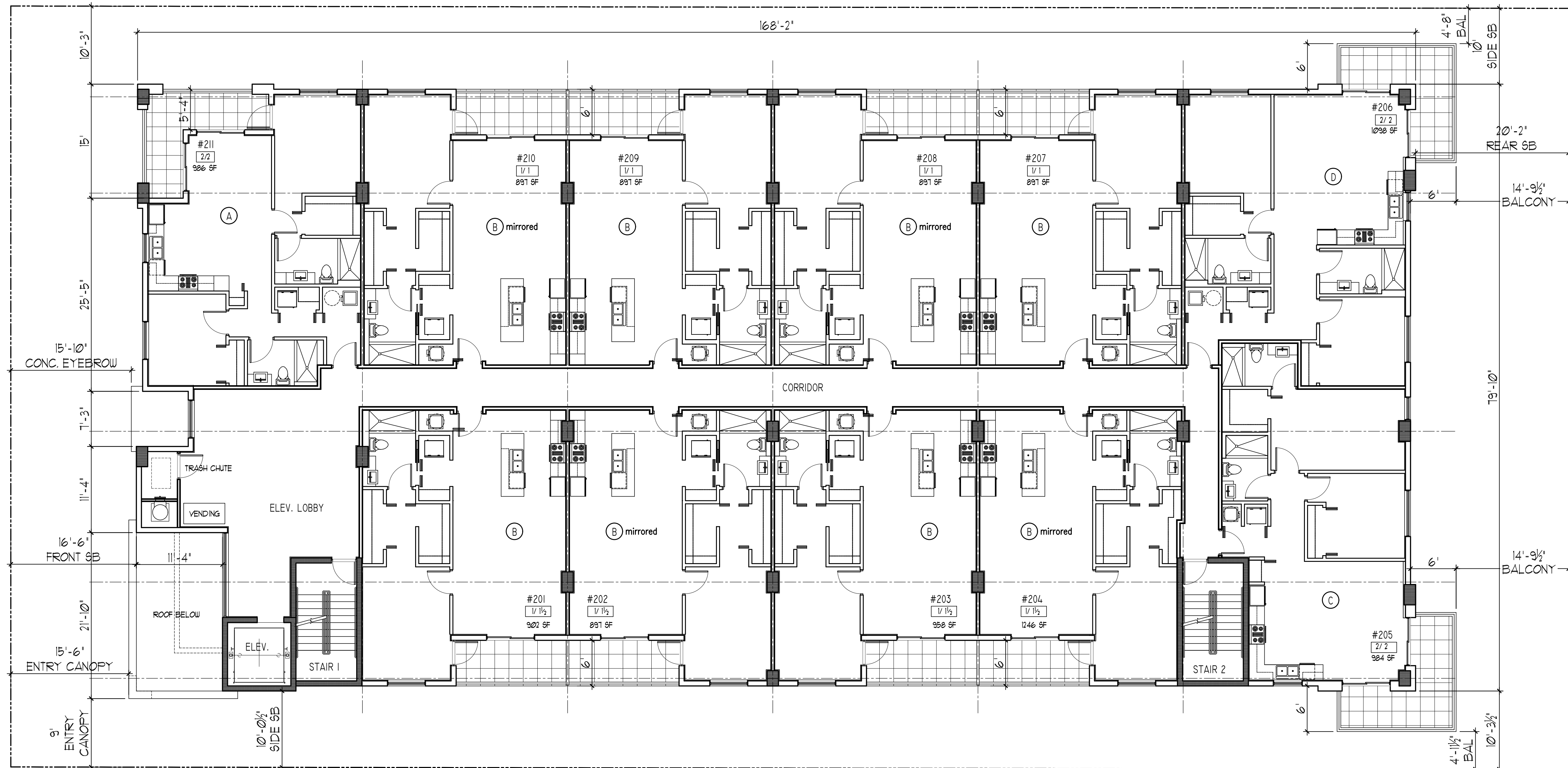


NORTH

SEE SHEETS A-9 AND A-10 FOR UNIT BLOW UP PLANS

## 1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



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EAL

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**PARK VIEW**  
APARTMENTS  
2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

# PROJECT TITLE

### THIRD FLOOR PLAN

SHEET 1111E

REVISIONS	DESCRIPTION
-----------	-------------

[illegible]

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PROJECT No.: 19031  
DATE: 7-1-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

**A-3**

SHEET 1 OF 4



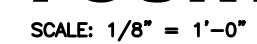
### 1 THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

SEE SHEETS A-9 AND A-10 FOR UNIT BLOW UP PLANS

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SEAL

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ECT TITLE

**PARK VIEW**  
APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

# PROJECT TITLE

SHEET TITLE

## ROOF PLAN

REVISIONS		
No.	DATE	DESCRIPTION

[illegible]

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PROJECT No.: 19031  
DATE: 7-1-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

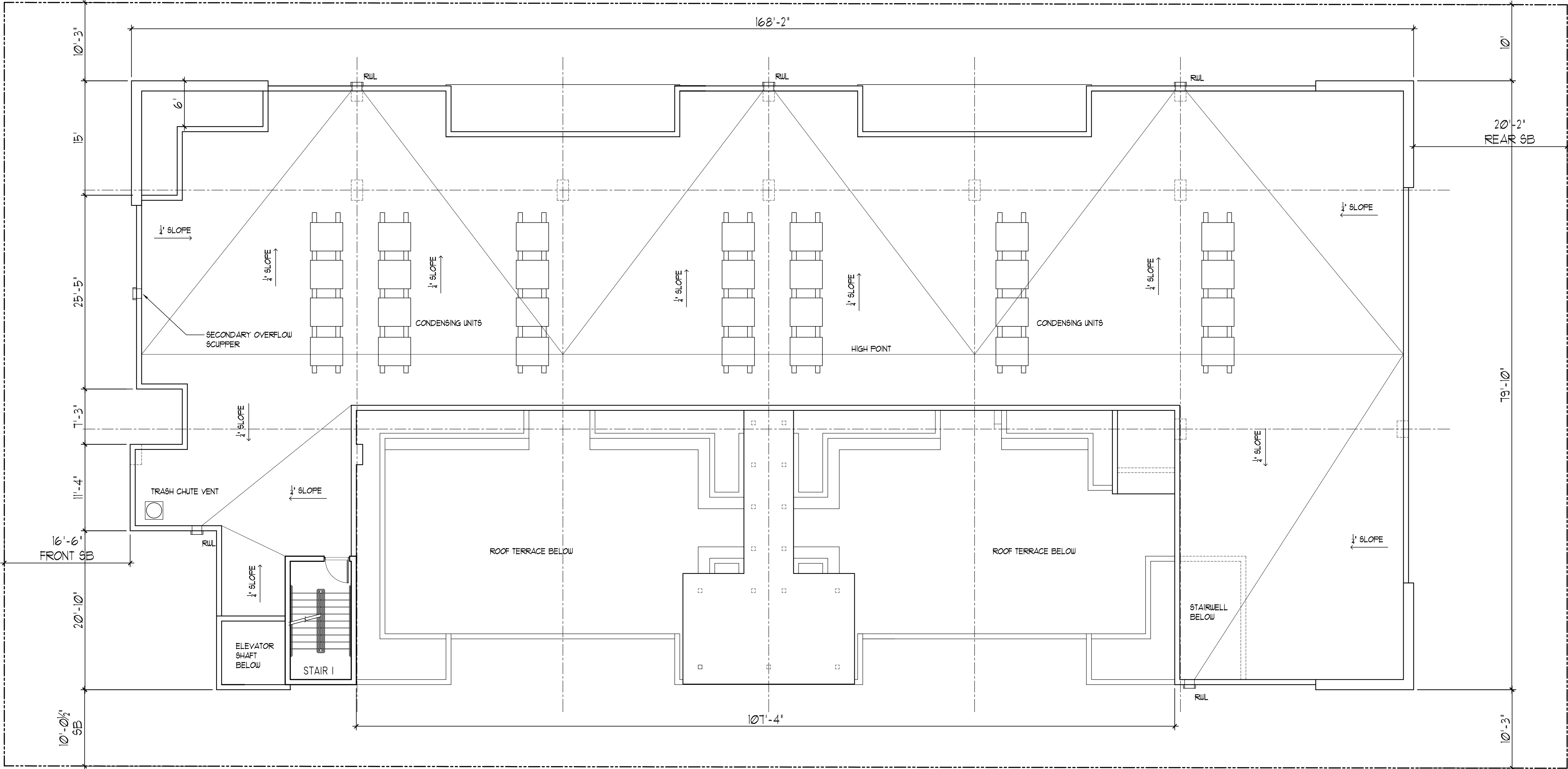
# A-5

SHEET 1 OF 1



# 1 ROOF PLAN

SCALE: 1/8" = 1'-0"



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SEAL

JOSEPH B. KALLER  
FLORIDA R.A. # 0009239

JECT TITLE

**PARK VIEW**  
APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

SHEET TITLE  
ELEVATIONS

[illegible]

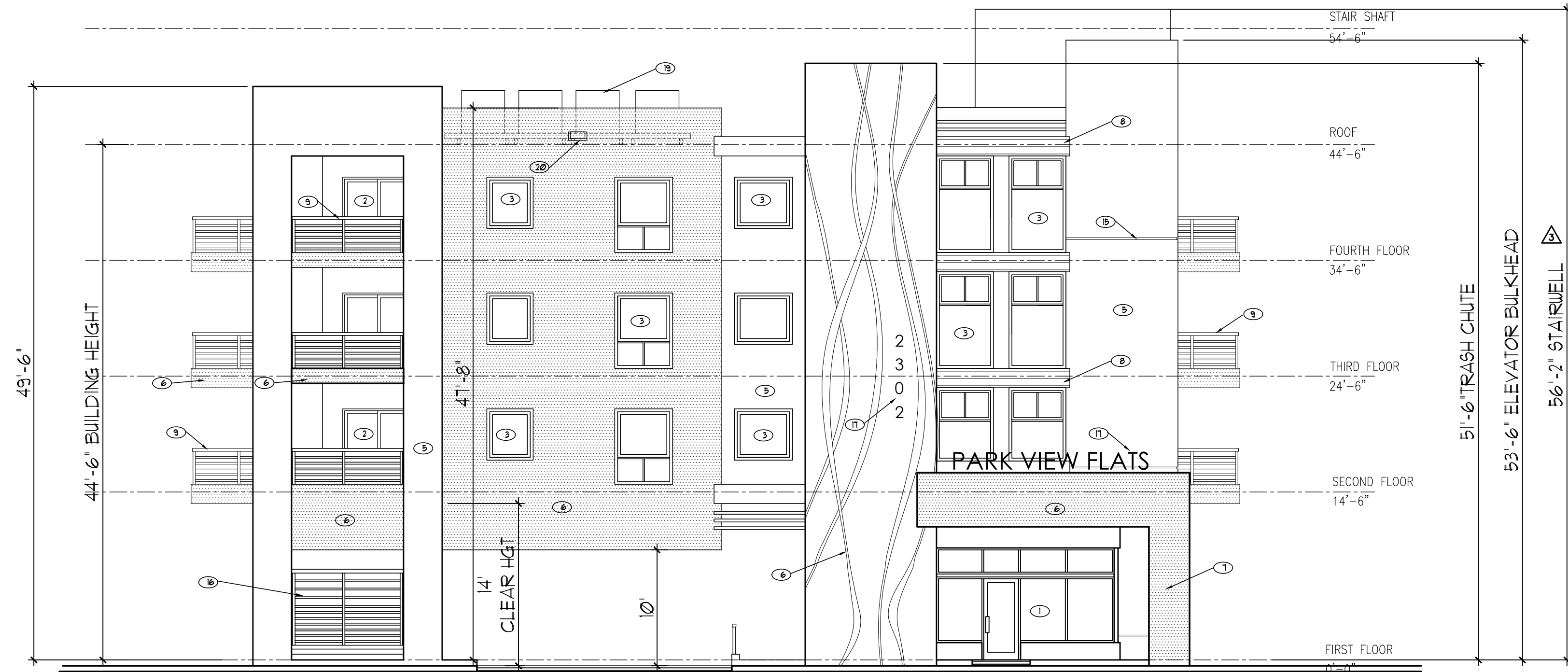
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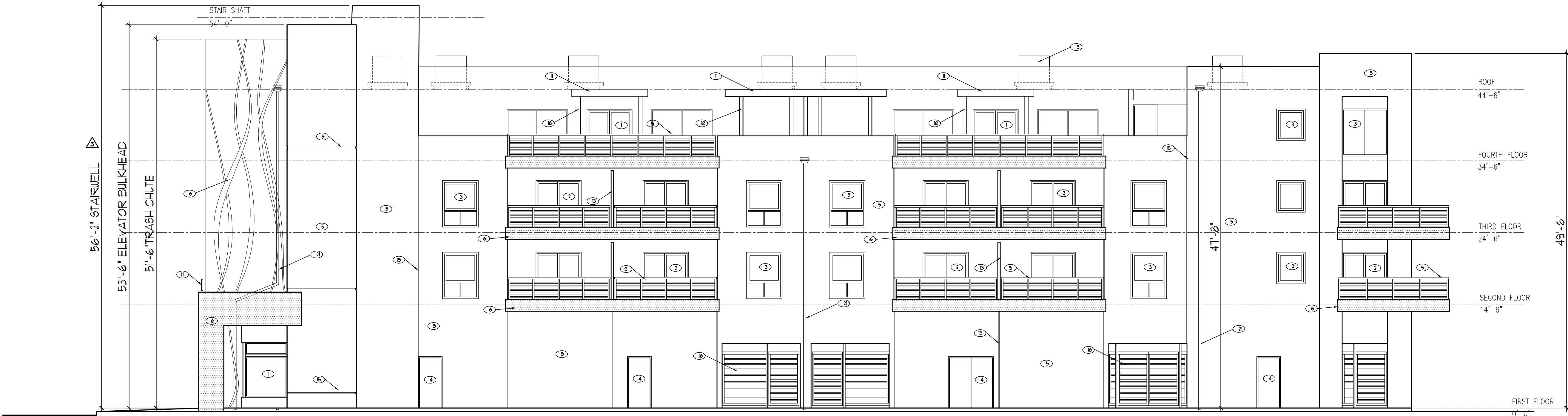
A-6

SHEET 1 OF 4



## NORTH ELEVATION

1. TINTED IMPACT RESISTANT STOREFRONT  
COLOR - BRONZE
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS  
COLOR - BRONZE
3. TINTED IMPACT RESISTANT WINDOWS  
COLOR - BRONZE
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. MEDIUM TEXTURED STUCCO WALL FINISH
7. CURVED METAL SCULPTURAL WALL FINISH
8. COMPOSITE WOOD SIDING
9. 42" MIN. HIGH POWDER COATED ALUMINUM GUARD RAILING
10. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
11. CONCRETE CANOPY
12. CONCRETE EYEBROW
13. POWDER COATED METAL PRIVACY SCREEN
14. POWDER COATED METAL COLUMN
15. HORIZONTAL AND VERTICAL STUCCO SCORING
16. POWDER COATED ALUMINUM HORIZONTAL GARAGE SCREENS
17. BACKLIT CHANNEL LETTER METAL SIGN
18. POWDER COATED GALVANIZED METAL COLUMN
19. CONDENSING UNITS BEYOND
20. SECONDARY OVERFLOW SCUPPER
21. RAIN WATER LEADER



## WEST ELEVATION

# 1 ELEVATIONS





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2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

HEET TITLE

ELEVATIONS

[illegible]

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SHEET

A-7

SHEET 1 OF 4



1. TINTED IMPACT RESISTANT STOREFRONT  
COLOR - BRONZE
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS  
COLOR - BRONZE
3. TINTED IMPACT RESISTANT WINDOWS  
COLOR - BRONZE
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
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20. SECONDARY OVERFLOW SCUPPER
21. RAIN WATER LEADER



# 1 ELEVATIONS

SCALE: 1/8" = 1'-0"





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ECT TITLE

**PARK VIEW**  
APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

# PROJECT TITLE

# CONTEXTUAL STREET ELEVATION

[illegible]

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SHEET

**A-8**

SHEET 1 OF 4



PIERCE STREET LOOKING SOUTH

# 1 CONTEXTUAL STREET ELEVATION

SCALE: 1" = 10'-0"





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ECT TITLE

**PARK VIEW**  
APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

PROJECT TITLE

SHEET TITLE

## UNIT BLOW-UP PLAN

[illegible]

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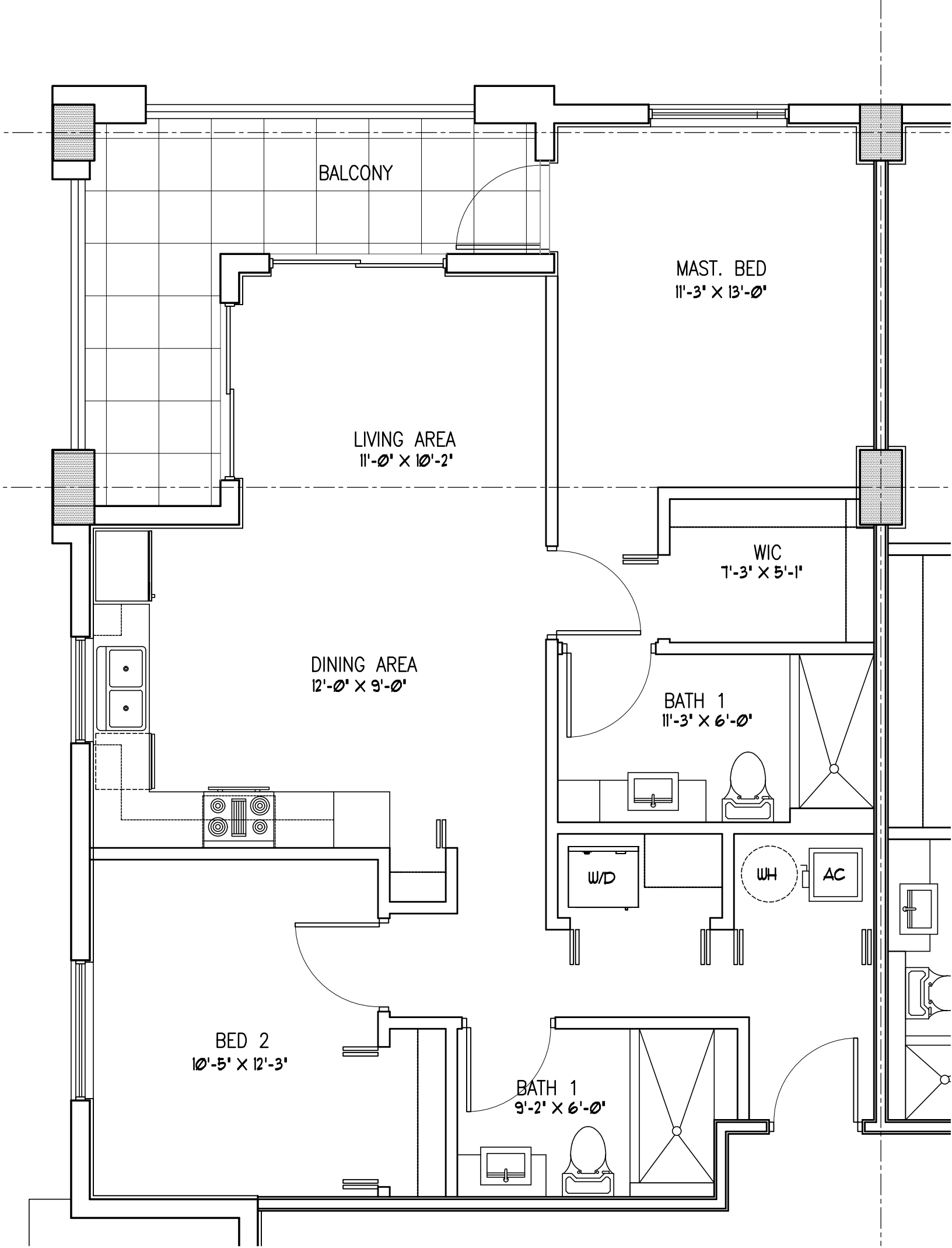
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DRAWN BY: TMS  
CHECKED BY: JBK

HEET

# A-9

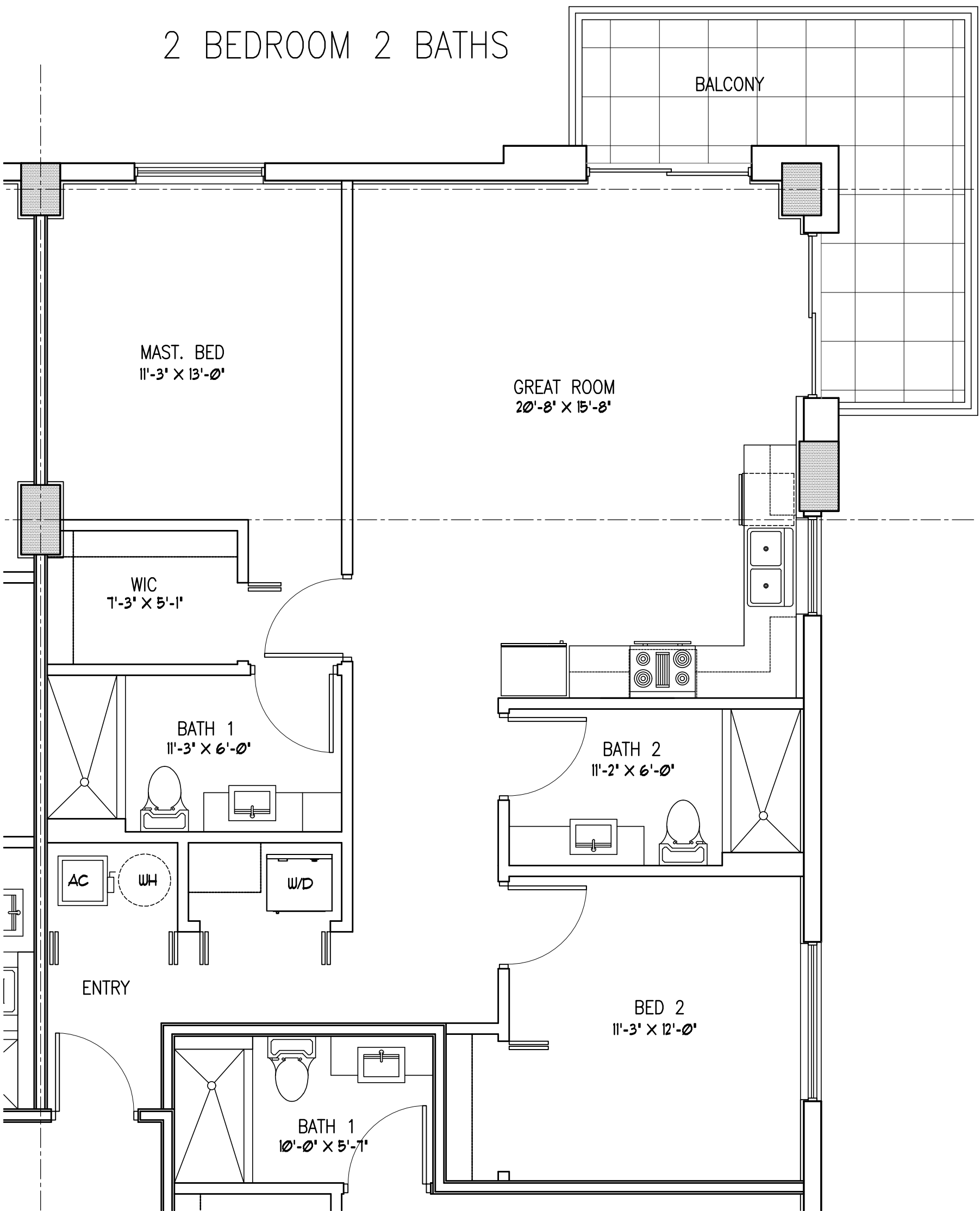
HEET 1 OF 4

2 BEDROOM 2 BATHS



## UNIT TYPE A

2 BEDROOM 2 BATHS



## UNIT TYPE D

# 1 UNIT BLOW UP PLANS

SCALE:  $1/4" = 1'-0"$





SEAL

ECT TITLE

**PARK VIEW**  
APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD FLORIDA 33020

PROJECT TITLE

UNIT BLOW-UP PLAN

[illegible]

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SHEET

# A-10

SHEET 1 OF 4



## UNIT TYPE B



## UNIT TYPE C







**Benjamin Moore  
Wish AF-680**



metal wall sculpture



signage

[illegible]

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DATE: 7-1-19  
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CHECKED BY: JBK

SHEET

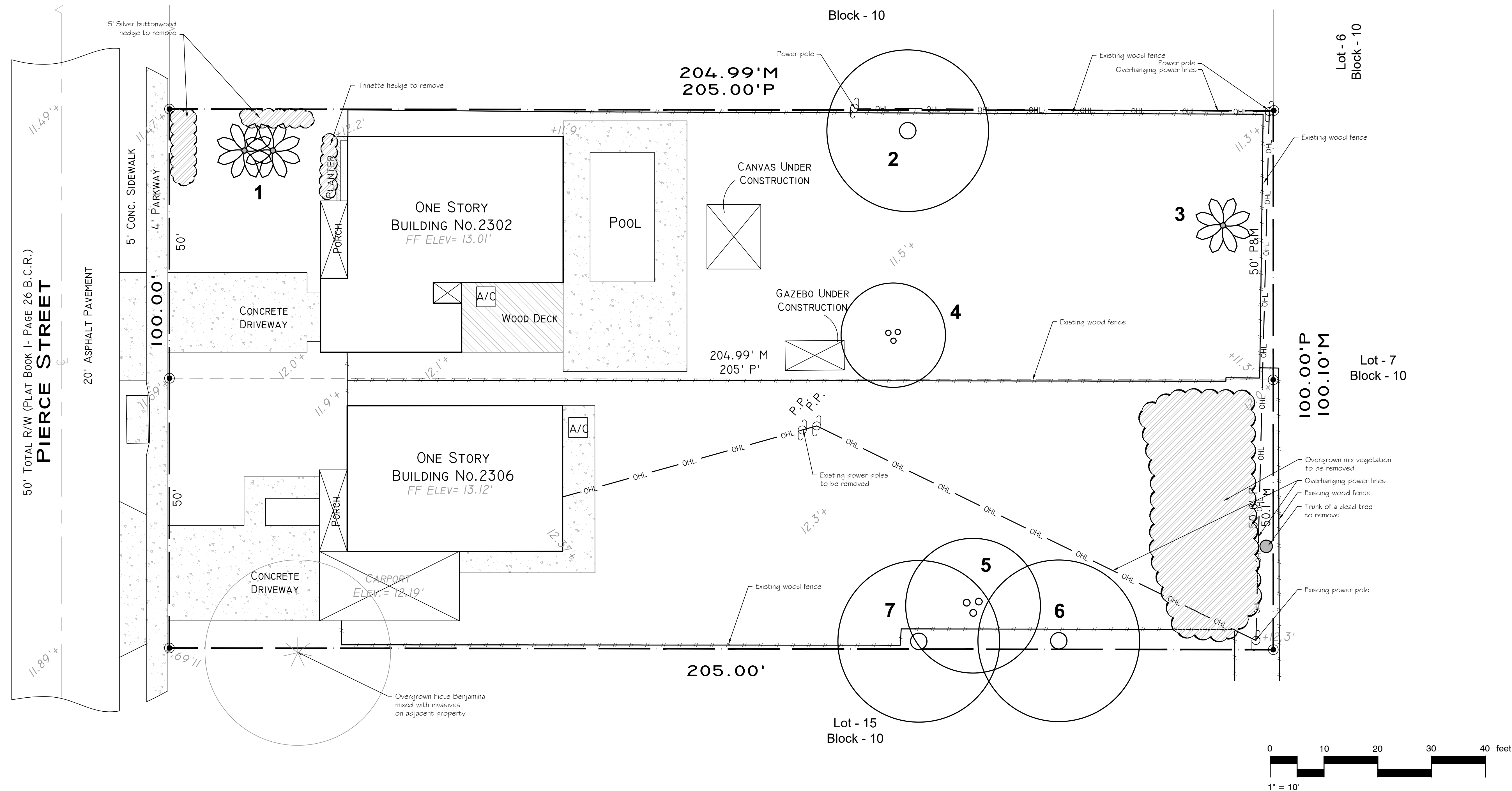
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PAGE 1 OF 4










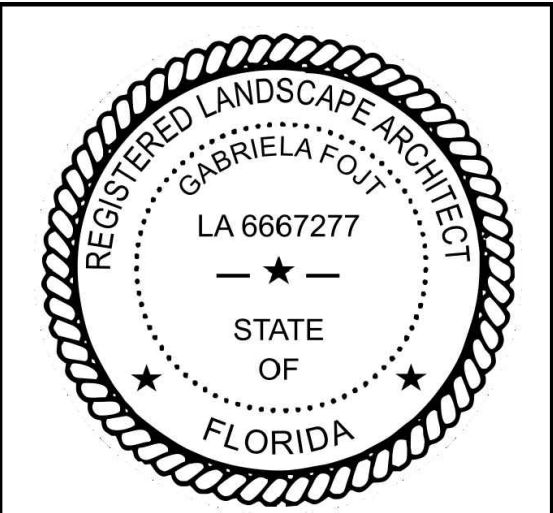
EXISTING TREES

NR	Botanical name	Common name	Hight	Spread	DBH	Notes	Action	Mitigation
1	Adonidia merriilli	Christmas palm, double trunk	8'CT				REMOVE	1 palm
2	Cocos nucifera	Coconut palm	28'CT				REMOVE	1 palm
3	Adonidia merriilli	Christmas palm, single trunk	6'CT				REMOVE	1 palm
4	Mangifera indica	Mango	25'OA	22'x15'	10"		REMOVE	10" dbh
5	Mangifera indica	Mango	30'OA	40'x20'	13+14+9 (tot.36")	in power line	REMOVE	36" dbh
6	Schinus terebinthifolia	Brazilian pepper				on property line	INVASIVE - REMOVE	N/A
7	Schinus terebinthifolia	Brazilian pepper				on property line	INVASIVE - REMOVE	N/A



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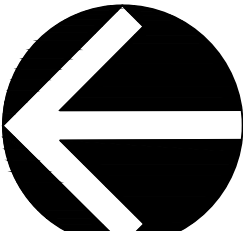
NOTE:  
INDICATED UTILITIES ARE APPROXIMATE.  
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION  
OF ALL UTILITIES ON SITE PRIOR TO  
COMMENCEMENT OF ANY WORK.  
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY  
FOR UTILITY DAMAGE.



Gabriela Fojt

The Mirror of Paradise

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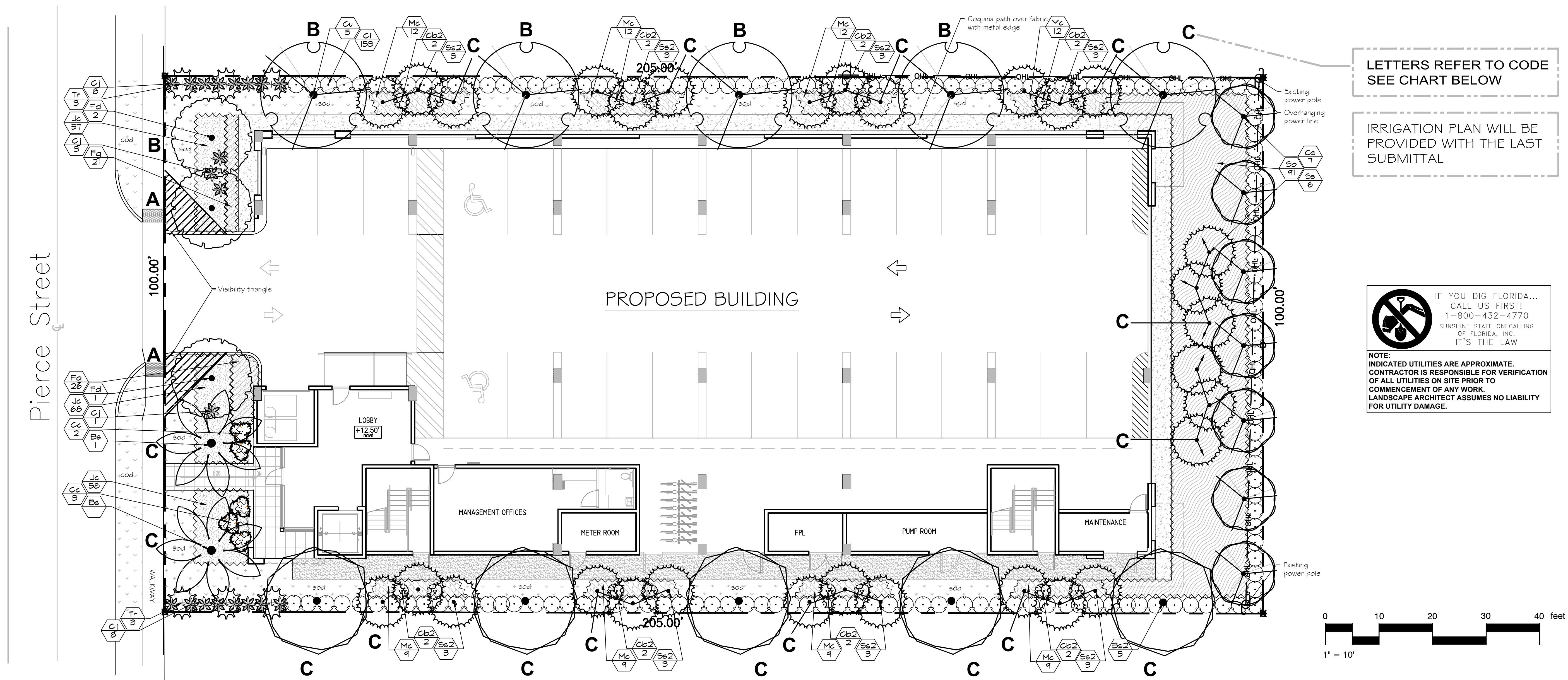
SCALE 1"=10'-0"

DESIGNED BY	GW, GF
DRAWN BY	GF
CHECKED BY	GW, GF
CAD DWG.	
DATE	07.14.20
REVISIONS	

PARKVIEW FLATS  
2302,2306 Pierce Street  
HOLLYWOOD, FL

REMOVAL PLAN, EXISTING TREES CHART





PLANT SCHEDULE GROUND LEVEL

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Bs	2	Bismarckia nobilis 'Silver' / Silver Bismarck Palm	12' CT matched	AS SHOWN	NO	HIGH
Bs2	5	Bursera simaruba / Gumbo Limbo	12-14'OA, 3"dbh	AS SHOWN	YES	HIGH
Cu	5	Coccoloba vitifera / Sea Grape	12-14' OA, 2.5"dbh	AS SHOWN	YES	HIGH
Cs	7	Conocarpus erectus sericeus / Silver Buttonwood	10-12'OA, 1.5"dbh	AS SHOWN	YES	HIGH
Fd	3	Filicium decipiens / Japanese Fern Tree	12-14'OA, min.2"dbh, matched	AS SHOWN	NO	HIGH
Se2	24	Sabal palmetto / Cabbage Palmetto	12-18' CT staggered, booted	AS SHOWN	YES	HIGH
Se	6	Sabal palmetto / Cabbage Palmetto	12-24'CT, curved	AS SHOWN	YES	HIGH
ACCENT PALMS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Cc	5	Chamaedorea cataractarum / Cat Palm	4'x4'	AS SHOWN	NO	MODERATE
Tr	6	Thrinax radiata / Florida Thatch Palm	4'OA	AS SHOWN	YES	HIGH
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Cb2	16	Callicarpa americana / American Beautyberry	3 gal 24"OA	24" O.C.	YES	HIGH
Ci	153	Chrysobalanus icaco / Coco Plum	7 gal, 36"OA	36" O.C.	YES	HIGH
Cj	20	Crinum jagus / St. Christopher Lily	15 gal	AS SHOWN	NO	MODERATE
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Fg	47	Ficus microcarpa 'Green Island' / Green Island Fig	3 gal	18" O.C.	NO	HIGH
Jc	183	Juniperus conferta / Shore Juniper	3 gal, 15" spr	18" O.C.	NO	HIGH
Mc	84	Muhlenbergia capillaris / Pink Muhly Grass	3 gal	30" O.C.	YES	HIGH
Sd	91	Spartina bakeri / Sand Cordgrass	3 gal, 24"OA	48" OC	YES	HIGH

Mulch all beds as indicated on detail.  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.  
PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

CODE REQUIREMENT MULTI-FAMILY DH-2

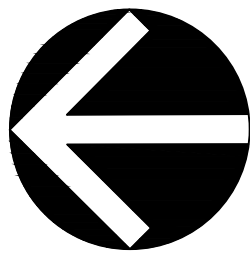
Code letter	Code requirement	Required	Existing	Proposed	Provided
A	<b>Perimeter landscape</b> one 12'oa street tree/each 50 lf of street frontage continuous hedge along adjacent properties	100lf/50=2 trees		2	provided provided
	<b>Interior landscaping and VUA</b>	N/A			
B	<b>Open space</b> 1 tree per 1000sf of pervious site area (4,802 sf) 20% minimum lot space as open/landscape	4.8=5 trees 4,100 sf		5 6,129 sf-open/4,800sf landsc	provided provided
	60% of required trees and 50% of shrubs to be native No more than 50% of trees to be palms (3:1 count) Automated irrigation to provide 100%+ coverage View triangle on a corner property	4 native trees		4	provided provided provided
C	<b>Mitigation trees</b>	3 palms + 46" dbh		2 Bismarck, 1 Sabal palm (for palms mitig) 5 Gumbo (5x3"=15") 1 Seagrape 2.5" 7 Buttonwoods(7x1.5"=10.5") 27 Sabals for 18"dbh mitig.	provided



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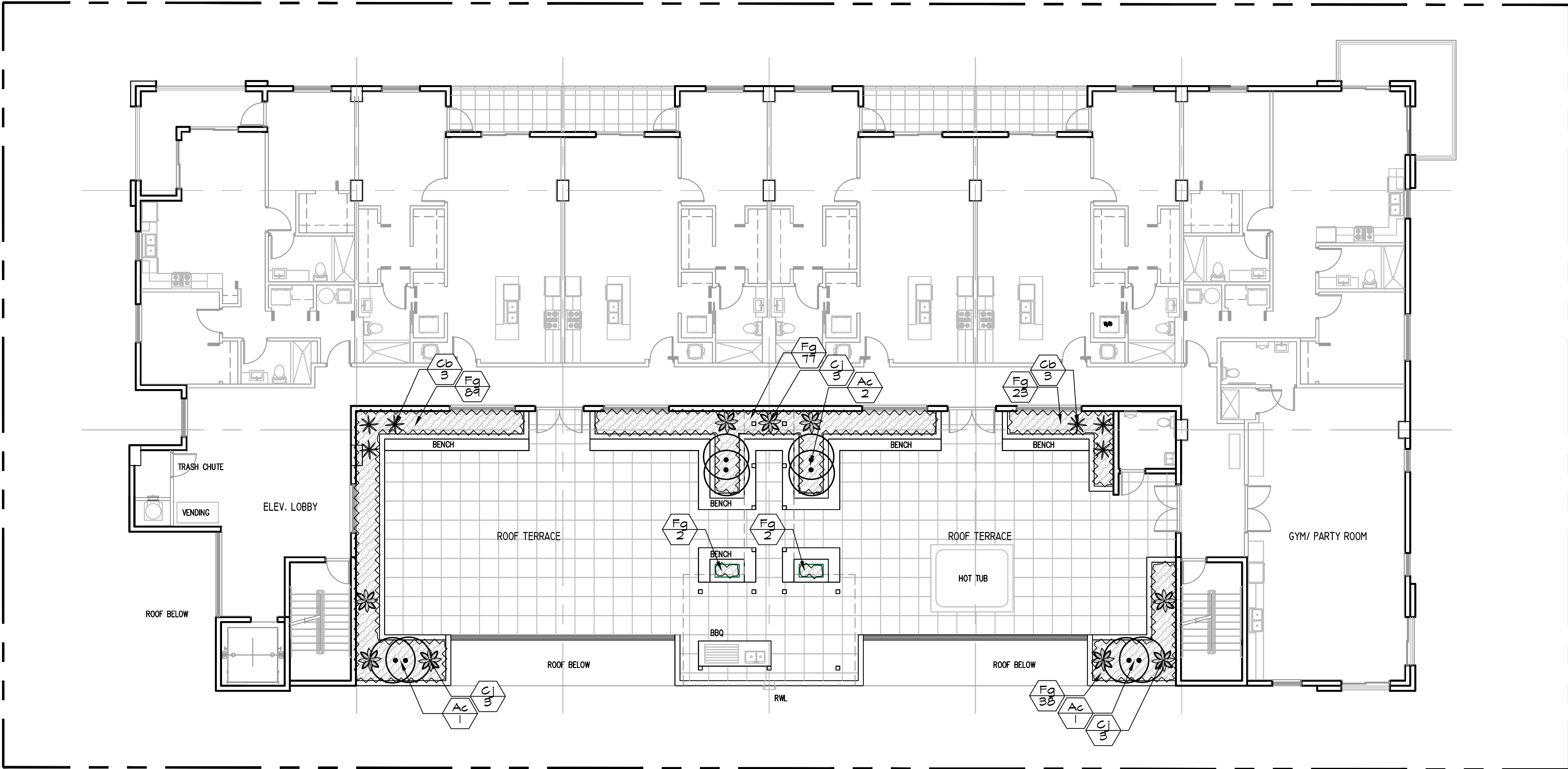


SCALE 1"=10'-0"  
DESIGNED BY GW, GF  
DRAWN BY GF  
CHECKED BY GW, GF  
CAD DWG.  
DATE 07.14.20  
REVISIONS

PARKVIEW FLATS  
2302,2306 Pierce Street  
HOLLYWOOD, FL

LANDSCAPE PLAN - GROUND LEVEL, CODE CHART





GENERAL LANDSCAPE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND <50/50> WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
6. APPLY 3" MELALEUCA/EUCALYPTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- \*12. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knif plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malaysian Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud. Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material. Trees should have no open wounds or damage, flush cuts, crosshairs, shorter or taller than specified height, girdling roots, undersize loose root ball, charring branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees must be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect. No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood. V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable. Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height. Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. No overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

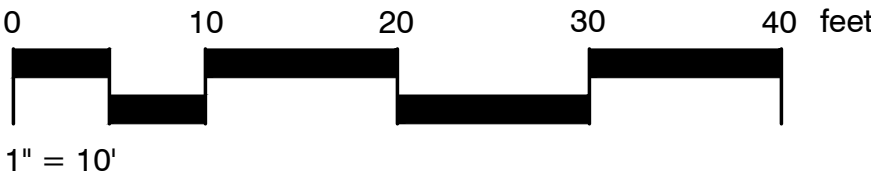
Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

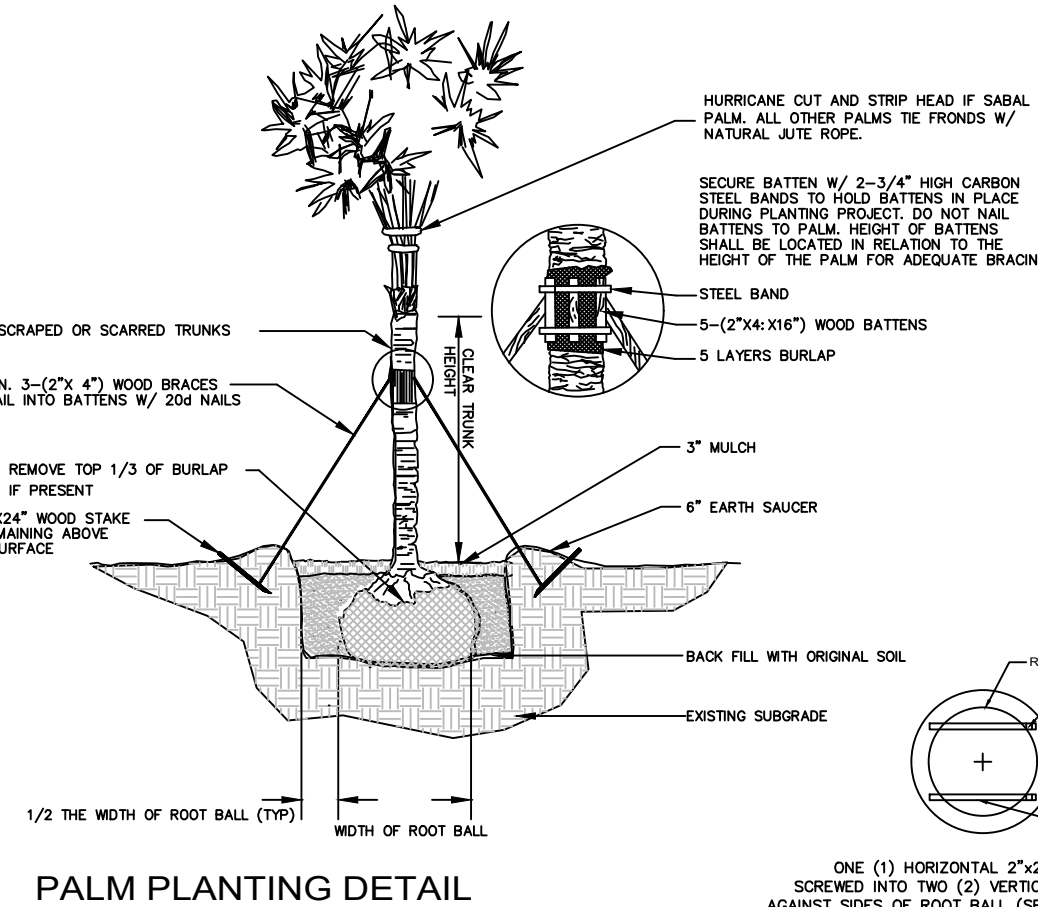
PLANT SCHEDULE POOL DECK

ACCENT PALMS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Ac	4	Adonidia merrillii / Christmas Palm	6-8' OA double matched	AS SHOWN	NO	MODERATE
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Cb	6	Cordyline fruticosa 'Black Magic' / Black Magic TI	3 gal	AS SHOWN	NO	MODERATE
Cj	9	Crinum jagus / St. Christopher Lily	15 gal	AS SHOWN	NO	MODERATE
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Fg	231	Ficus microcarpa 'Green Island' / Green Island Fig	3 gal	18" O.C.	NO	HIGH

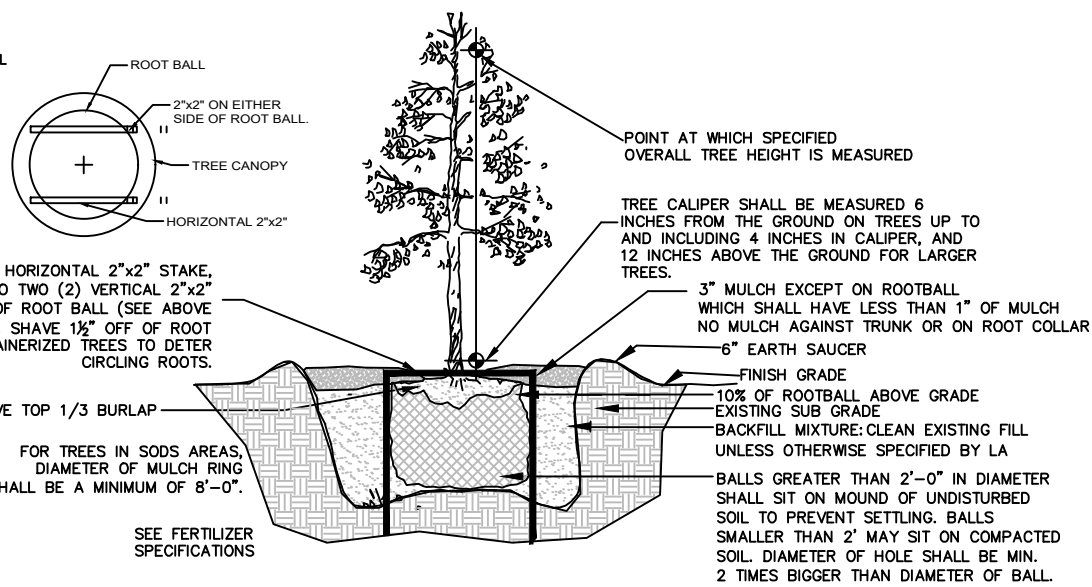


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1-800-432-4770  
SUNSHINE STATE OECALING  
OF FLORIDA, INC.  
IT'S THE LAW

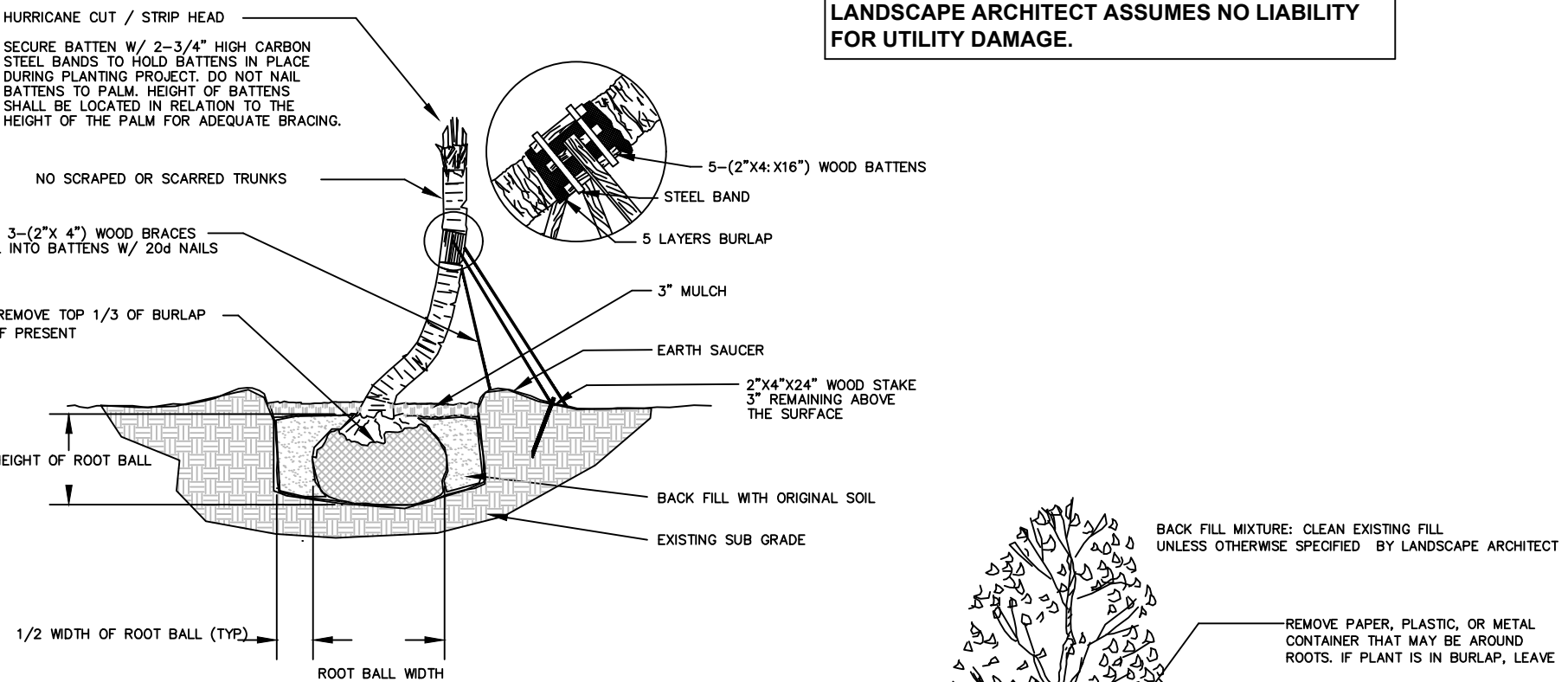
NOTE:  
INDICATED UTILITIES ARE APPROXIMATE.  
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION  
OF ALL UTILITIES ON SITE PRIOR TO  
COMMENCEMENT OF ANY WORK.  
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY  
FOR UTILITY DAMAGE.



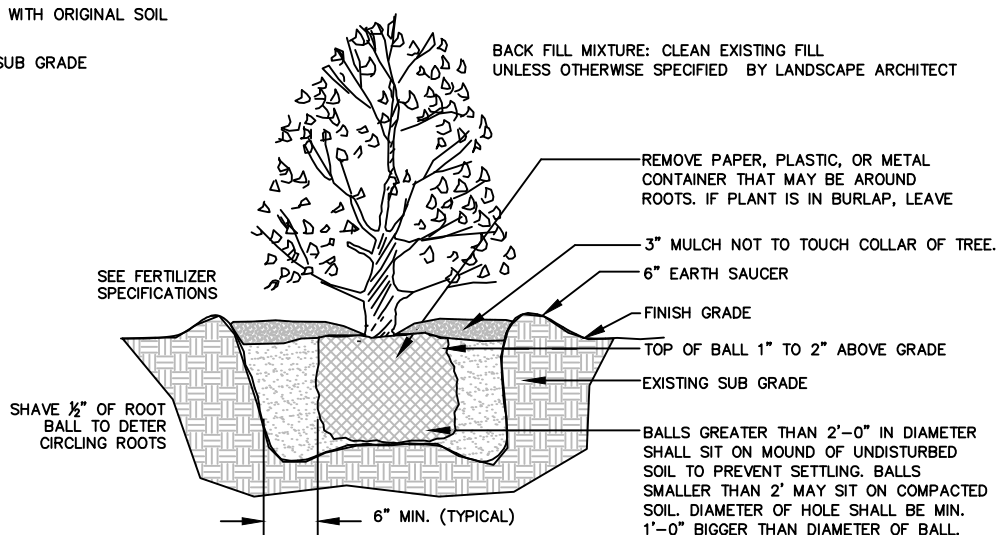
PALM PLANTING DETAIL



TREE PLANTING DETAIL



CURVED SABAL PLANTING DETAIL



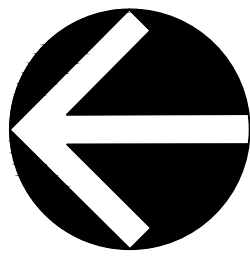
SHRUB PLANTING DETAIL



Gabriela Fojt

The Mirror of Paradise

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FL 33308  
Tel (954) 478 3064  
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gabriela@themirrorofparadise.com



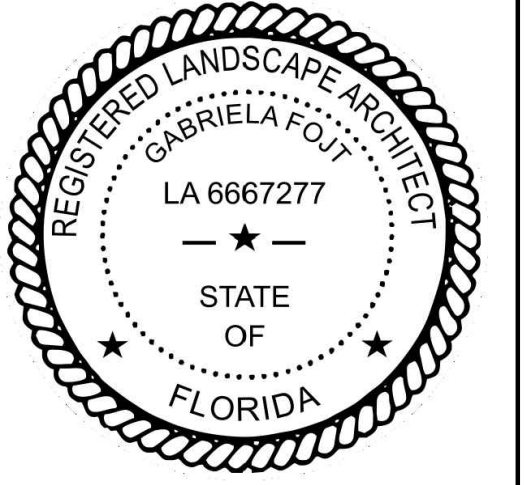
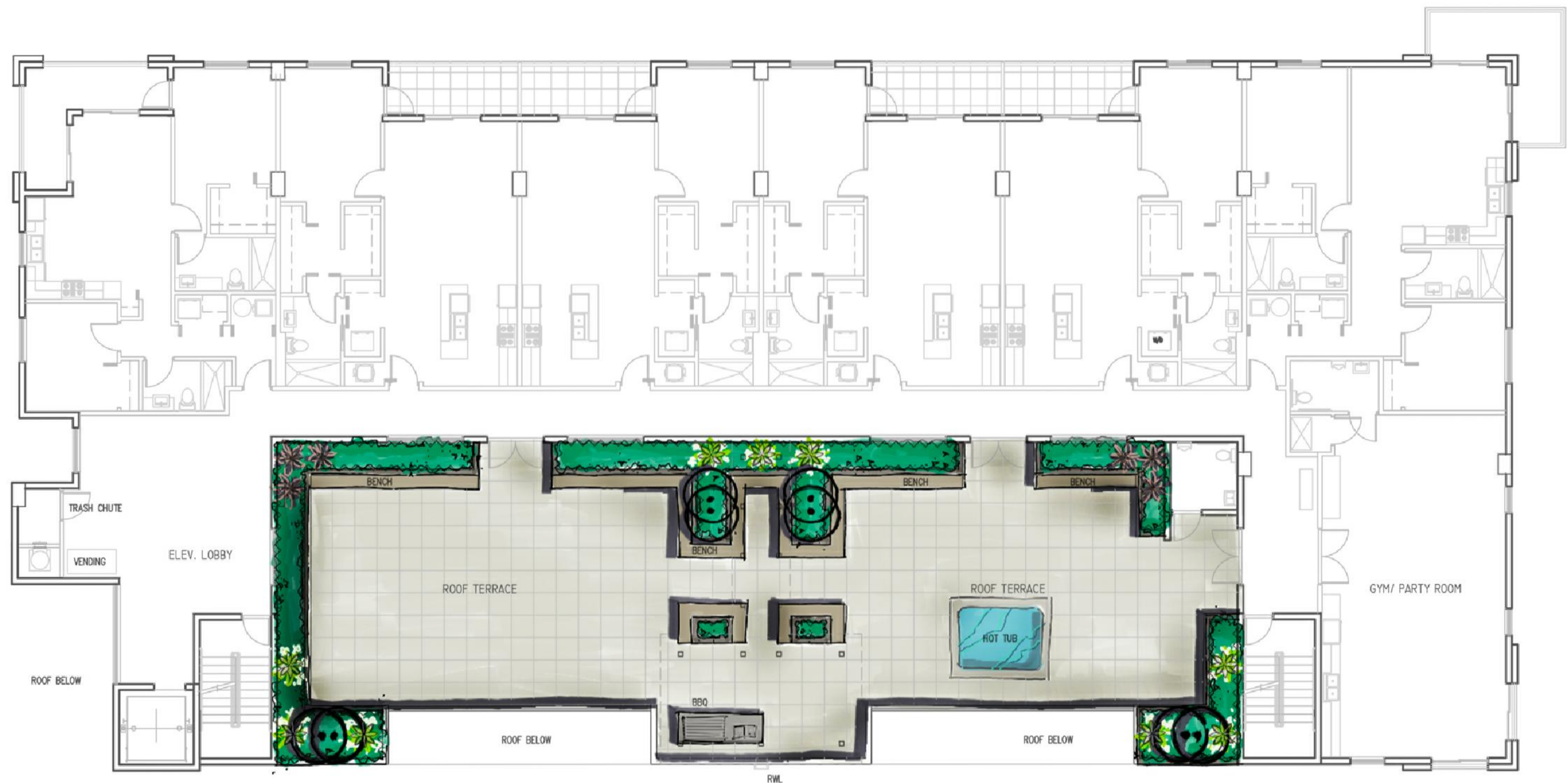
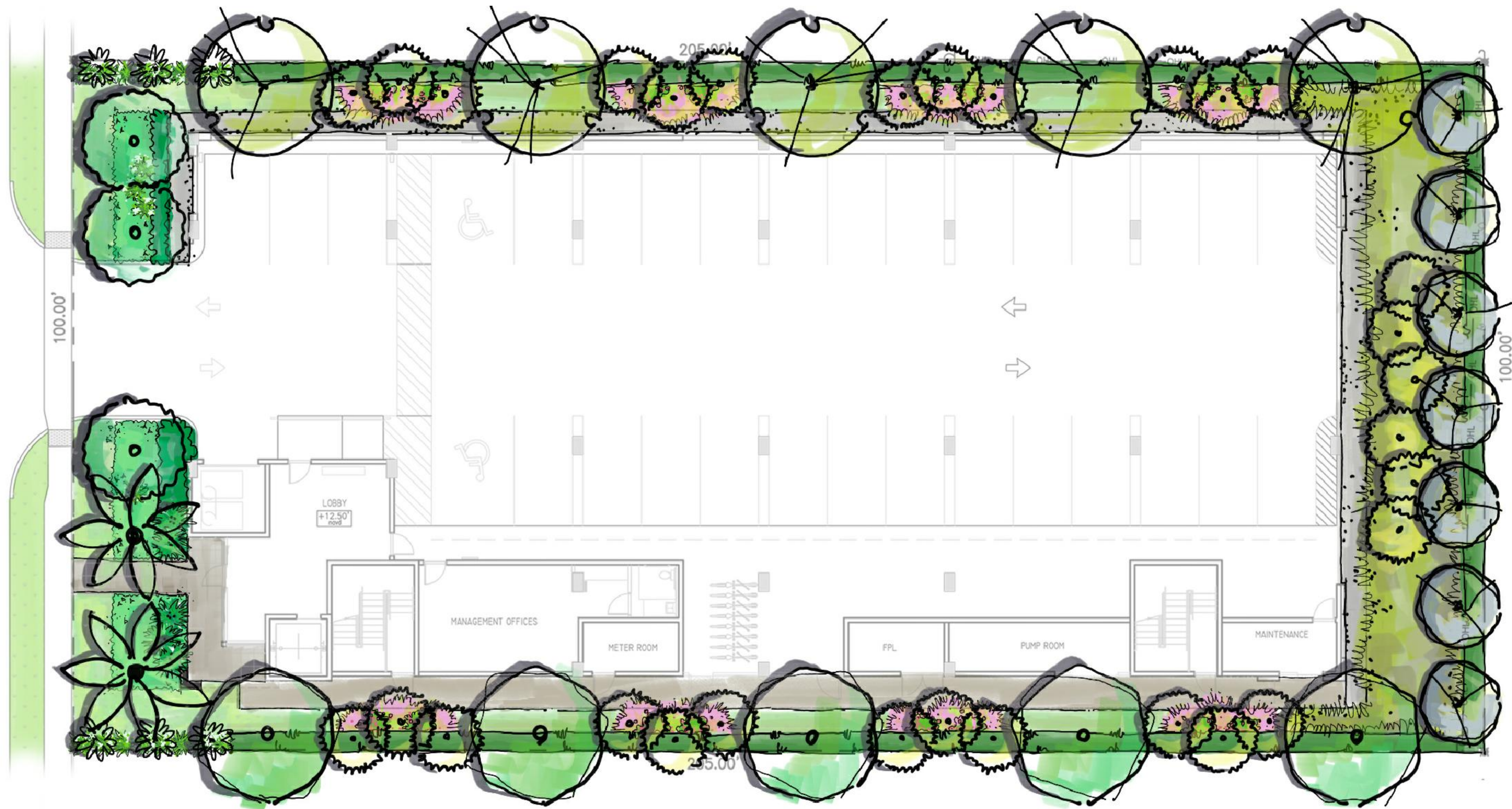
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DESIGNED BY	GW, GF
DRAWN BY	GF
CHECKED BY	GW, GF
CAD DWG.	
DATE	07.14.20
REVISIONS	

PARKVIEW FLATS

2302,2306 Pierce Street  
HOLLYWOOD, FL

LANDSCAPE PLAN 4th FLOOR, DETAILS, NOTES

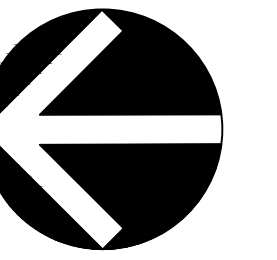




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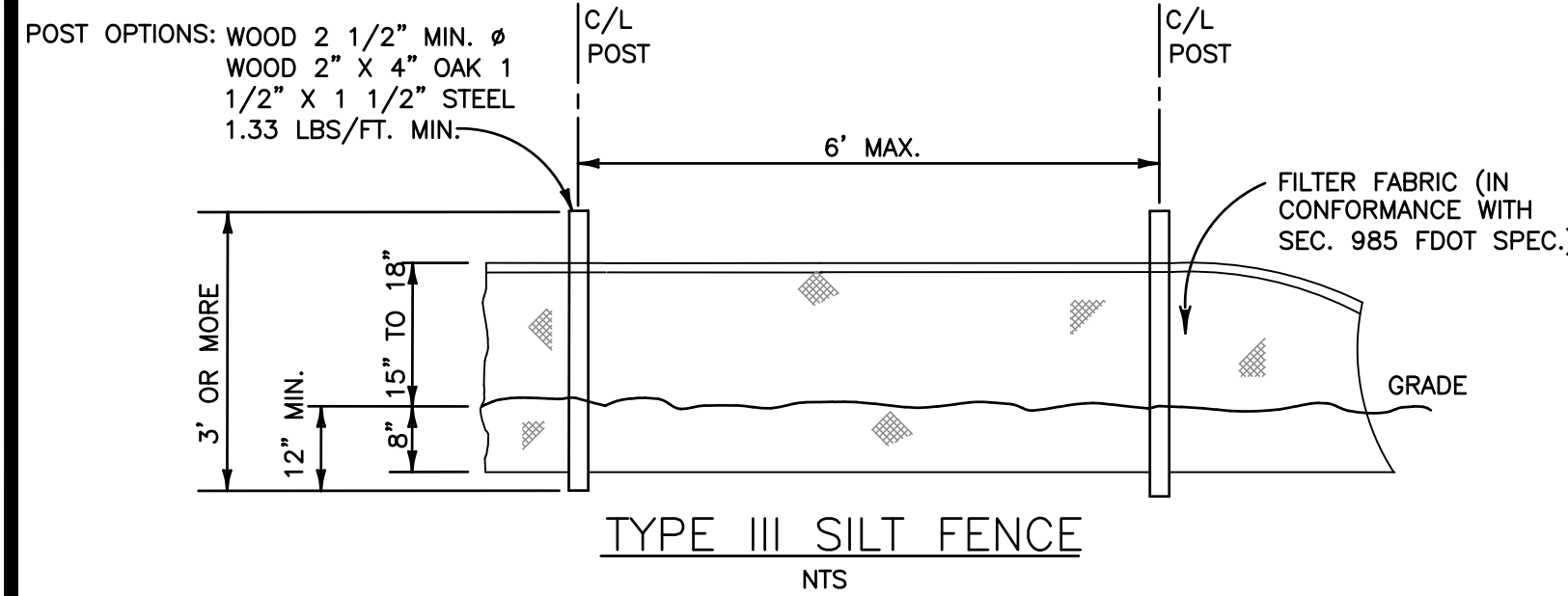


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DRAWN BY	GF
CHECKED BY	GW, GF
CAD DWG.	
DATE	07.14.20
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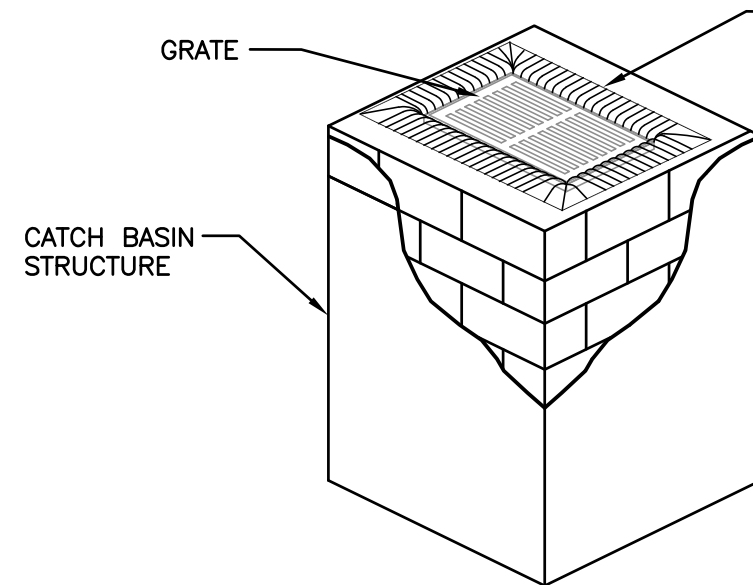
PARKVIEW FLATS  
2302, 2306 Pierce Street  
HOLLYWOOD, FL

COLORED PLAN - GROUND LEVEL AND 4TH FLOOR





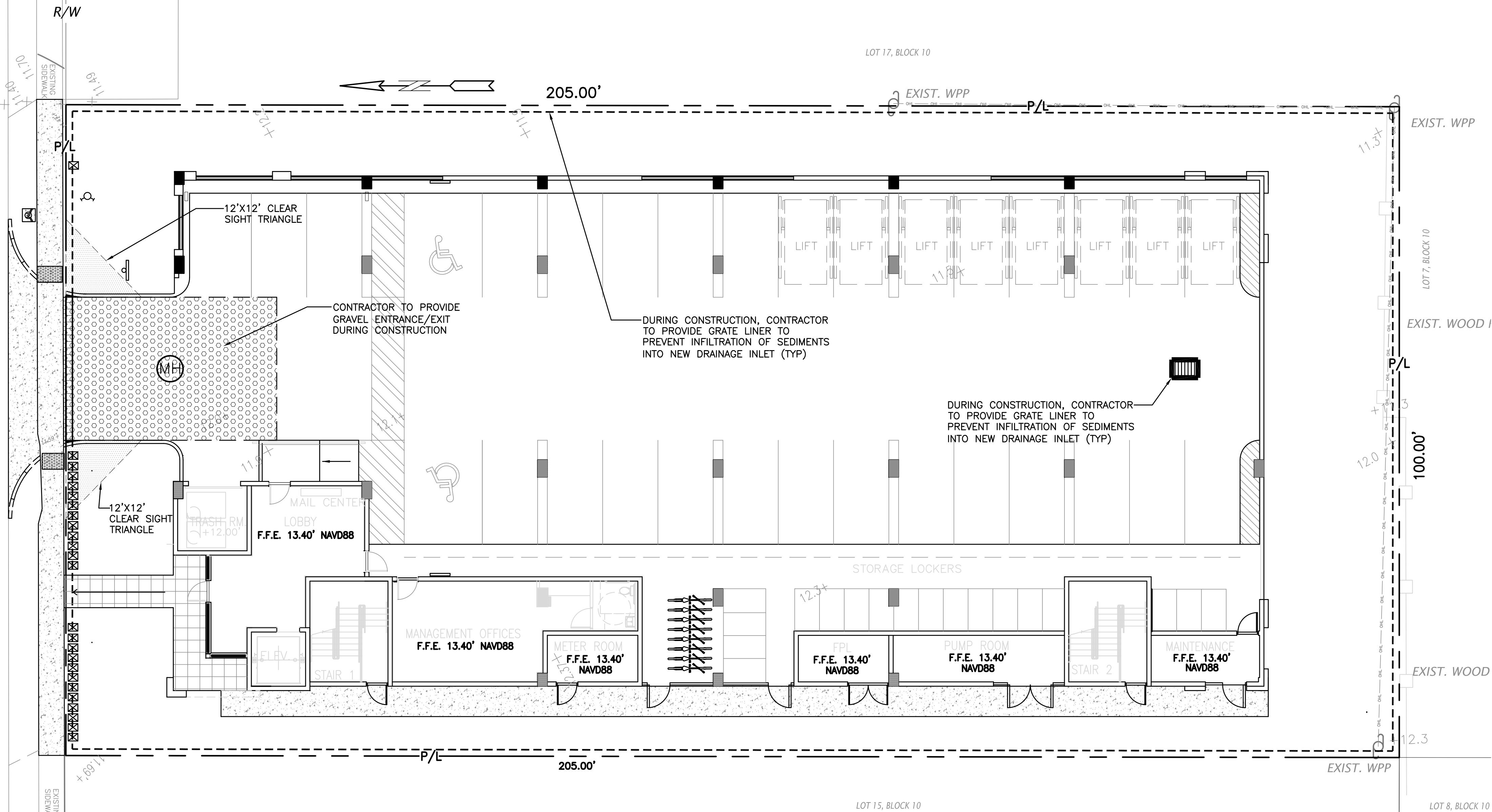
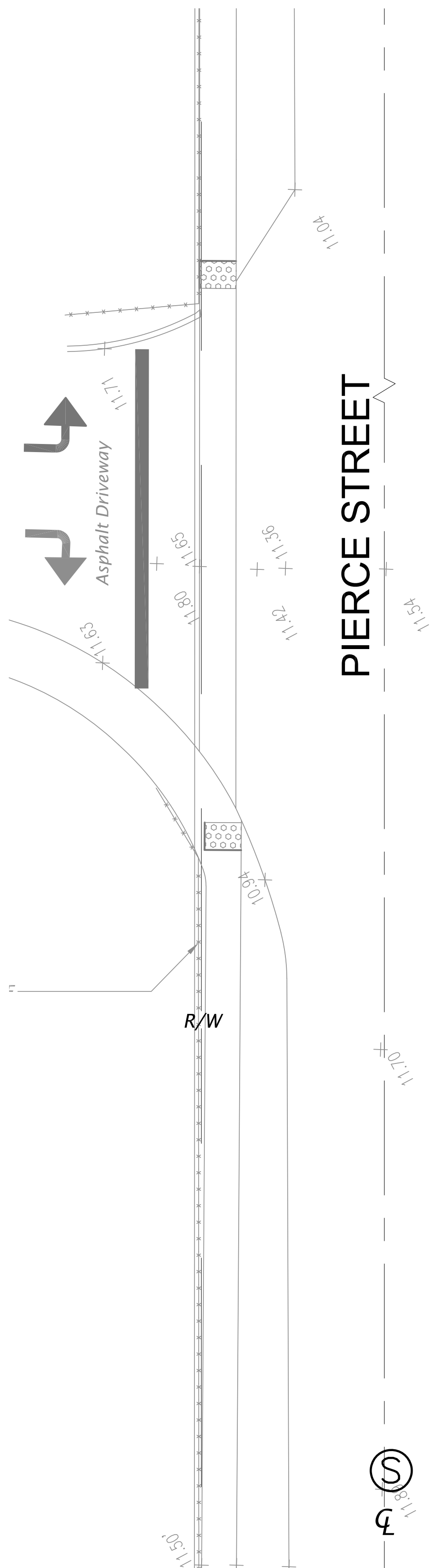
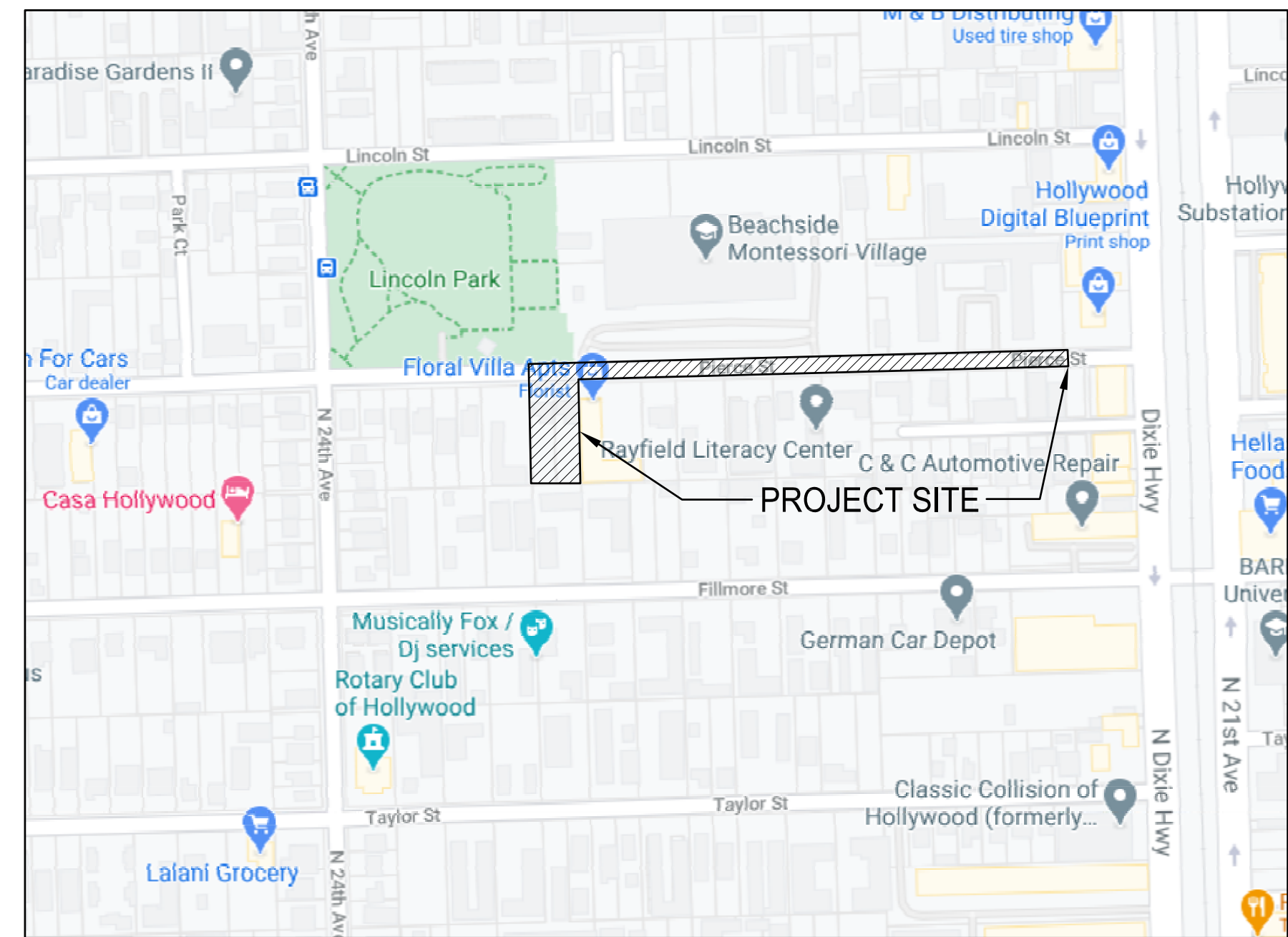
- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
  2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
  4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
  5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
  6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
  7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
  10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
  11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



POLLUTION PREVENTION FOR CATCH BASIN

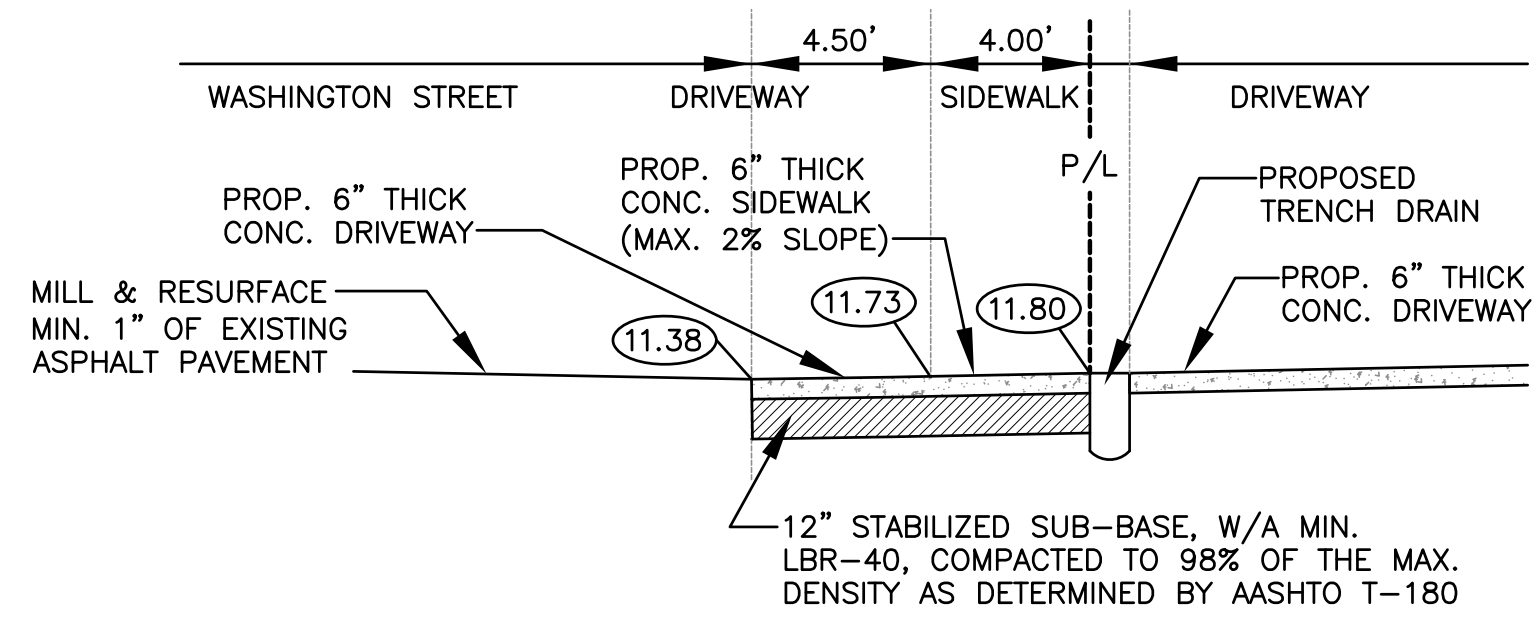
CONTRACTOR TO LIFT GRATE OFF AREA DRAINS AND INSTALL FILTER FABRIC ACROSS INLET OPENING. REPLACE GRATE TO HOLD FABRIC SECURELY IN PLACE

- NOTES:**
1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
  2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

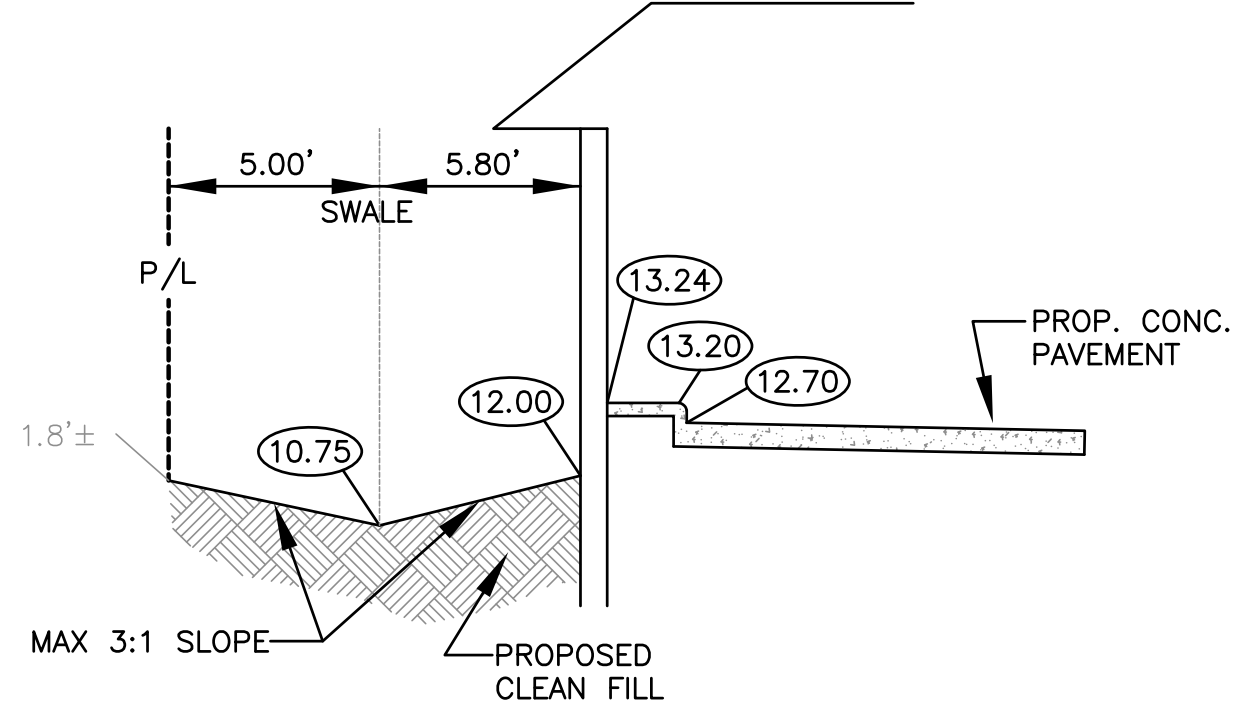




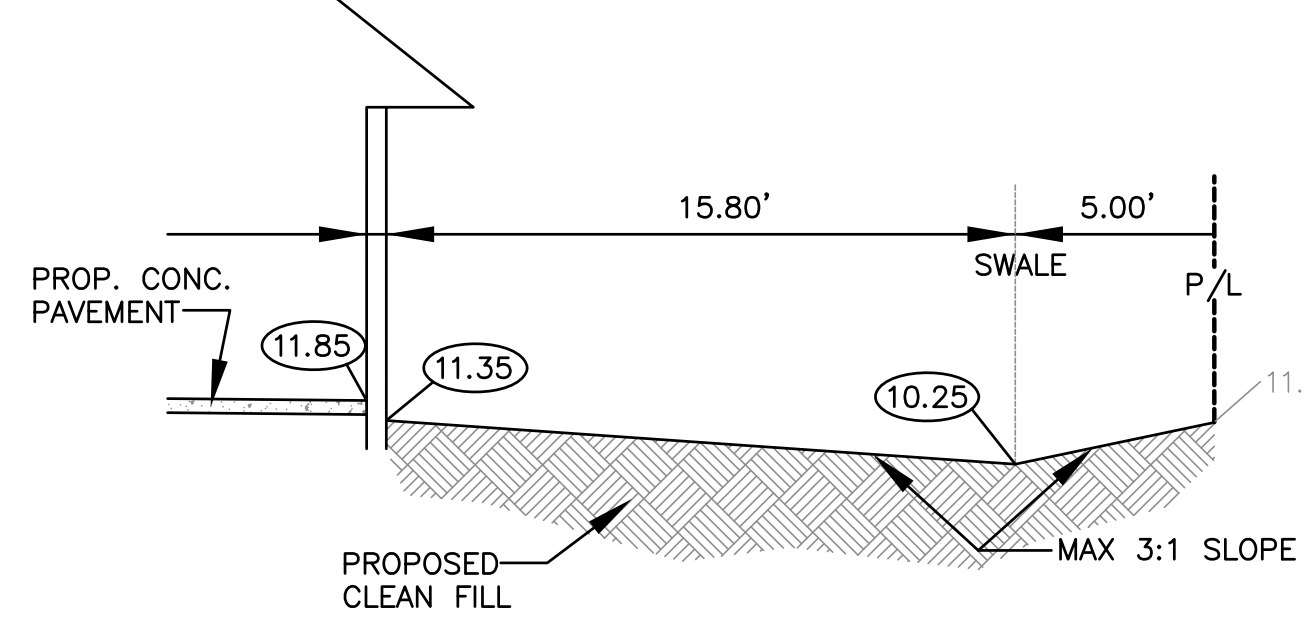
ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



**TYPICAL SECTION A-A**  
N.T.S.



**TYPICAL SECTION B-B**  
N.T.S.

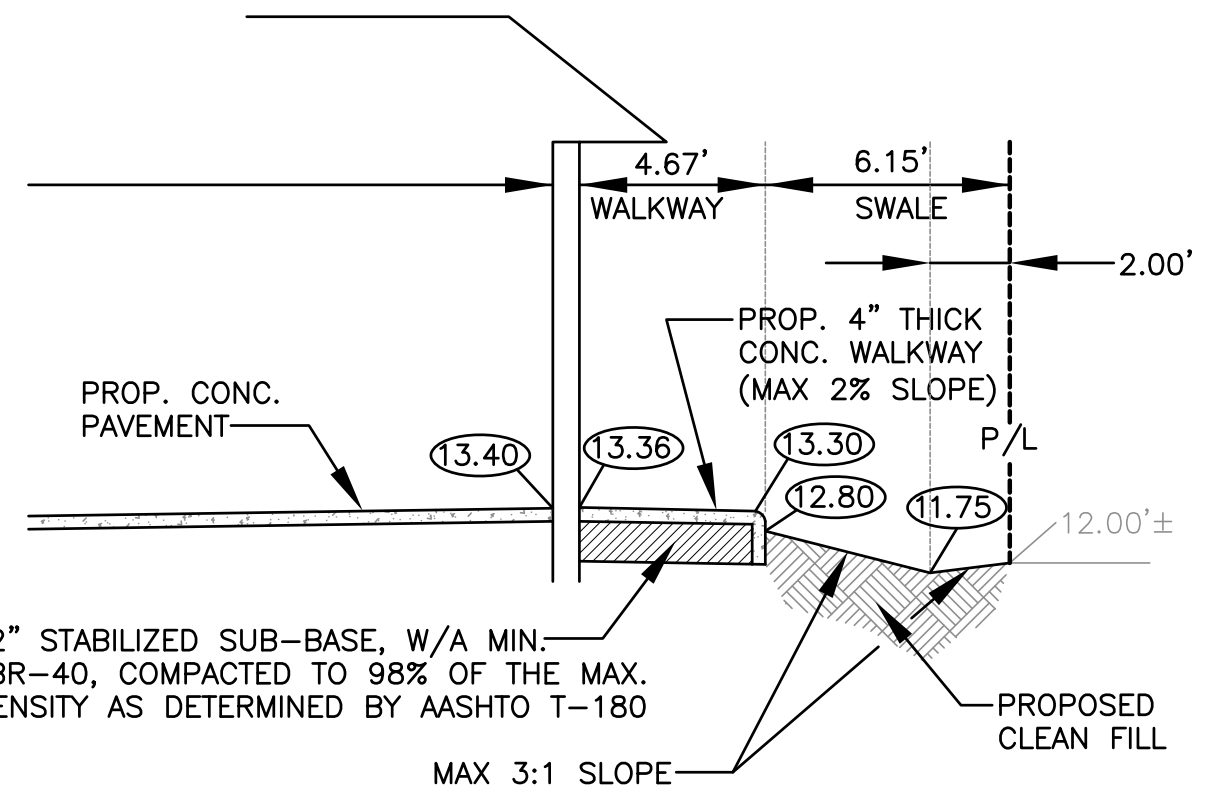


**TYPICAL SECTION C-C**  
N.T.S.

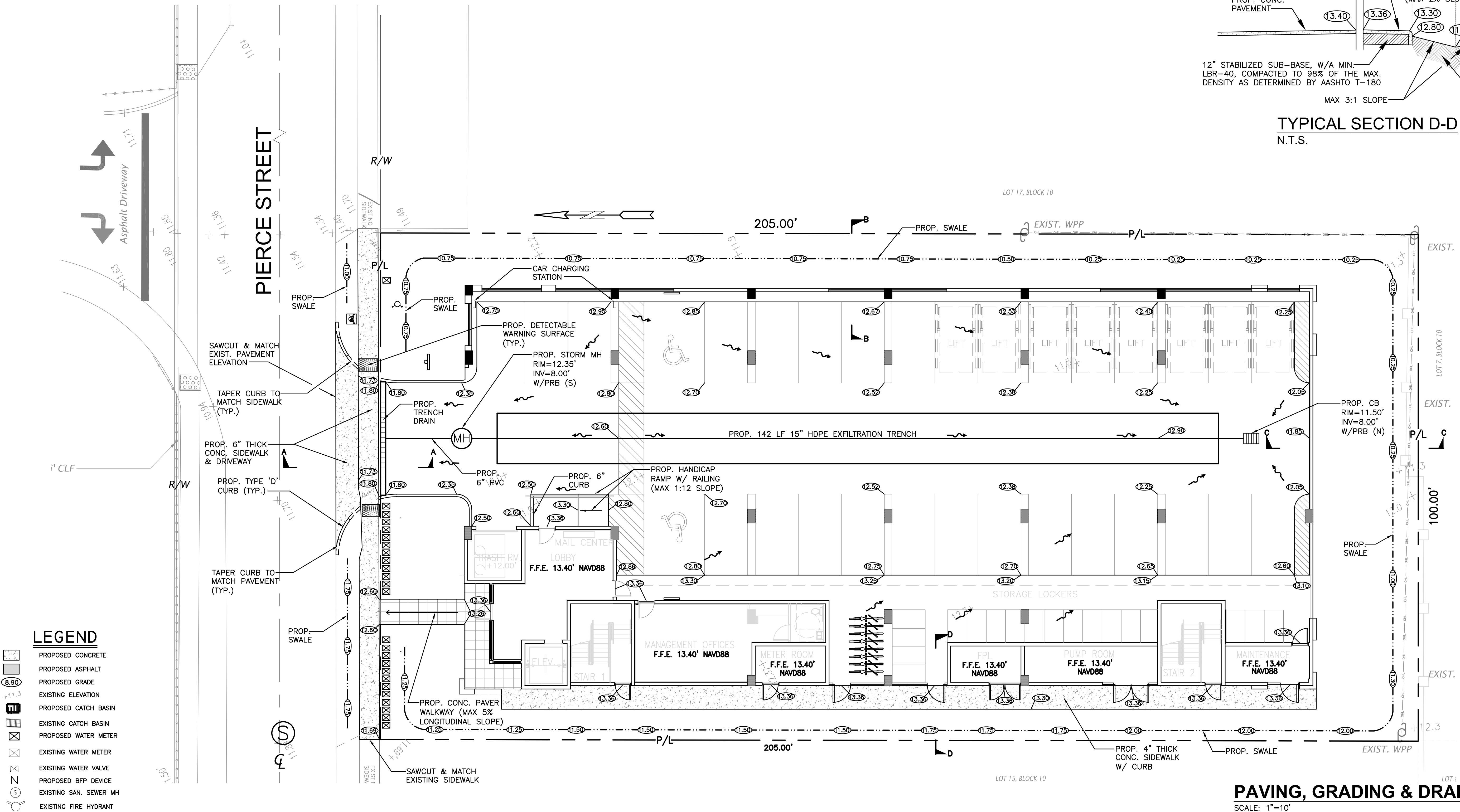


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

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TYPICAL SECTION D-D  
N.T.S.



REVISIONS	
	DESCRIPTION

NO.	DATE
-----	------

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.

**W**  
**N**

**PARKVIEW APARTMENTS**  
2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 11/11/20

SCALE: 1"=10'

SHEET NO.:

C2

2 OF 8

PROJECT NO.: 20-38



GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:  
FLORIDA POWER & LIGHT CO., CONSTRUCTION  
BELL SOUTH  
COMCAST  
TECO  
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS  
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AS APPLICABLE  
UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.I.N.E.)

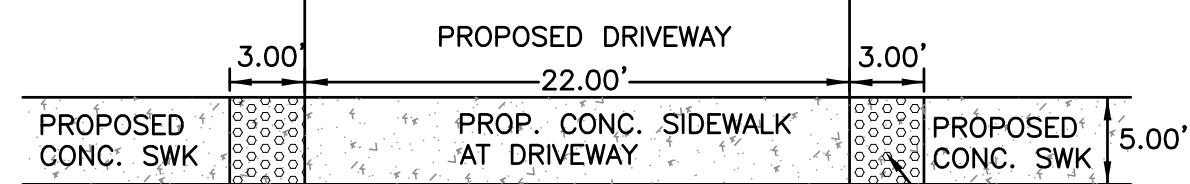
PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -  
ROP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III  
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196  
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196  
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942  
PVC = POLYVINYL CHLORIDE PIPE  
PCMP = PERFORATED CMP, FDOT SECTION 945  
DIP = DUCTILE IRON PIPE  
HDPE = HIGH DENSITY POLYETHYLENE PIPE.
15. ASPHALT -  
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1996 EDITION, SECTION 916-1.  
PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

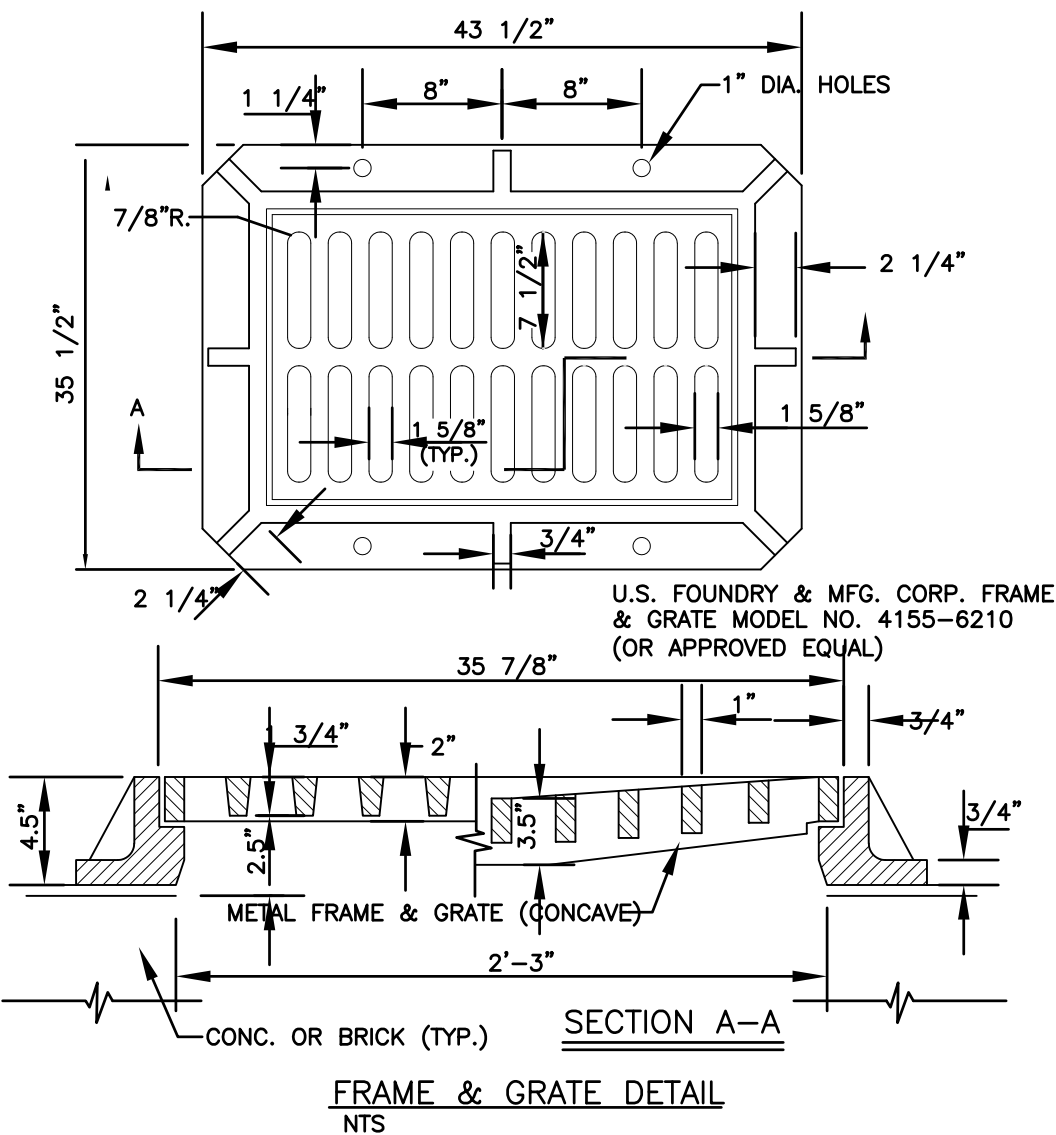
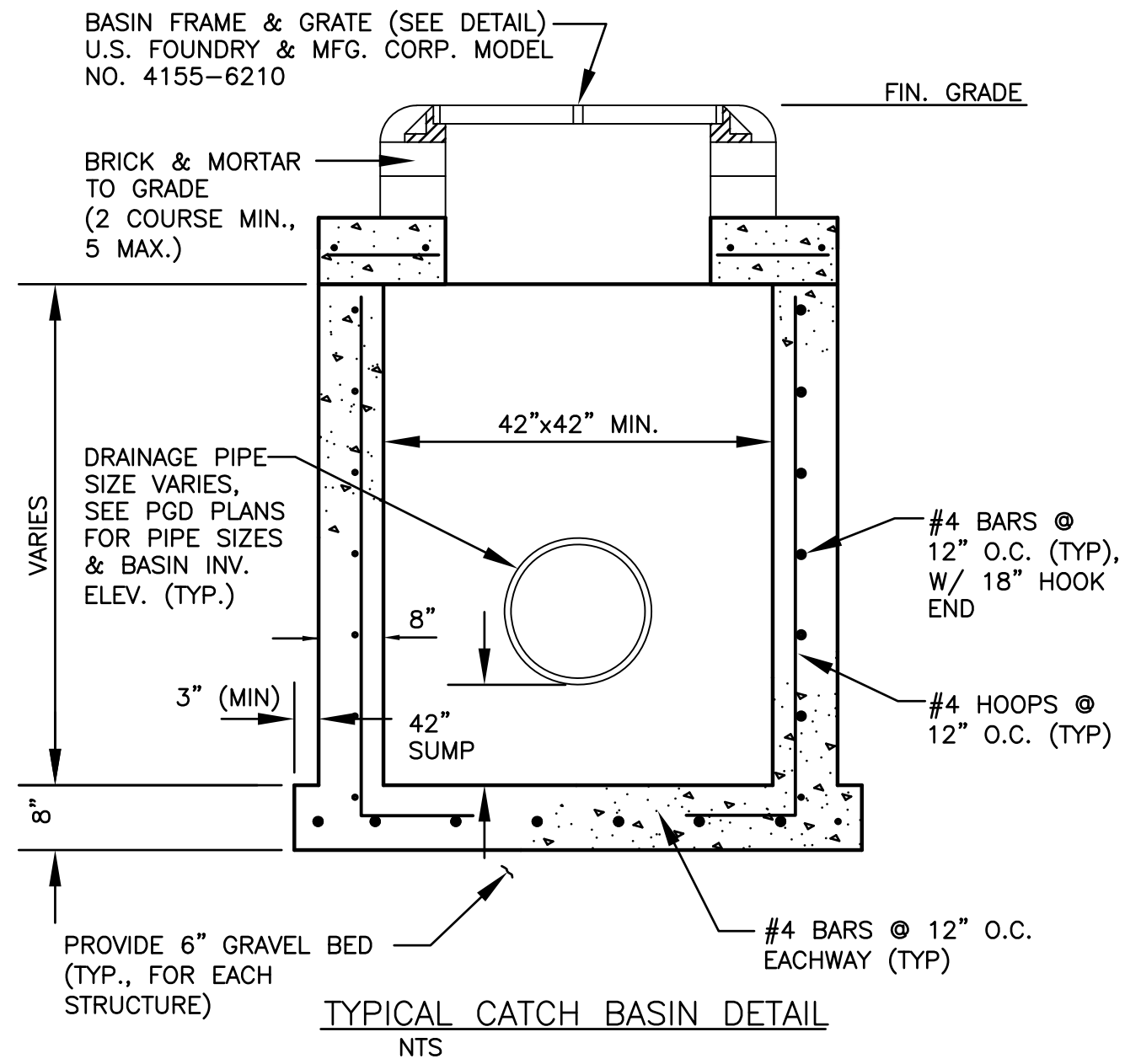
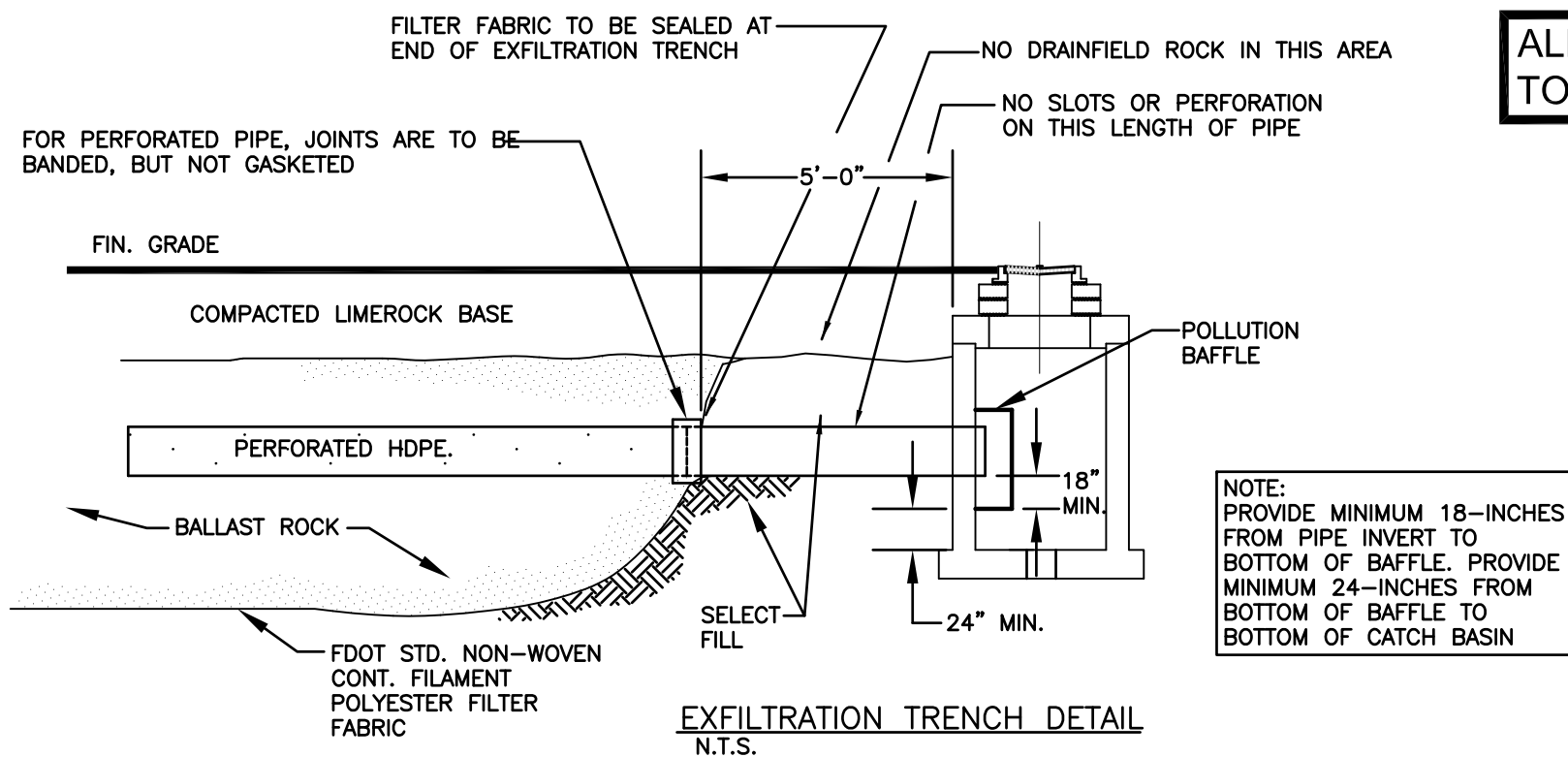
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



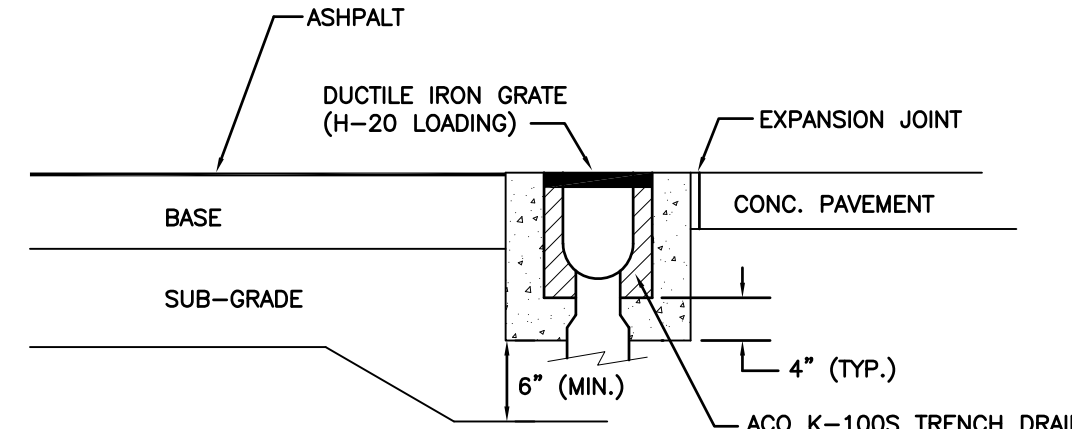
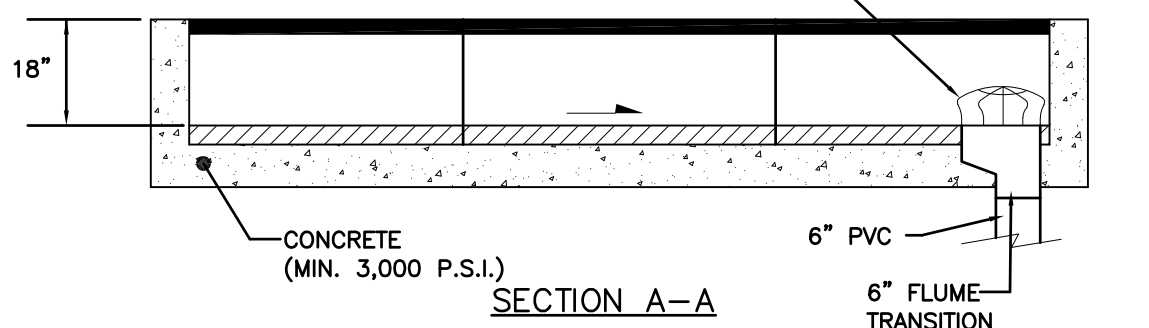
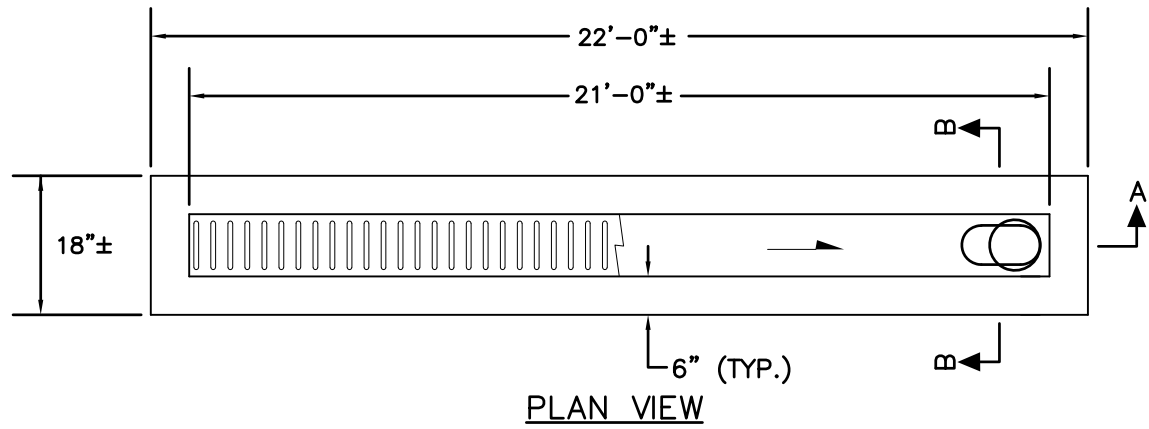
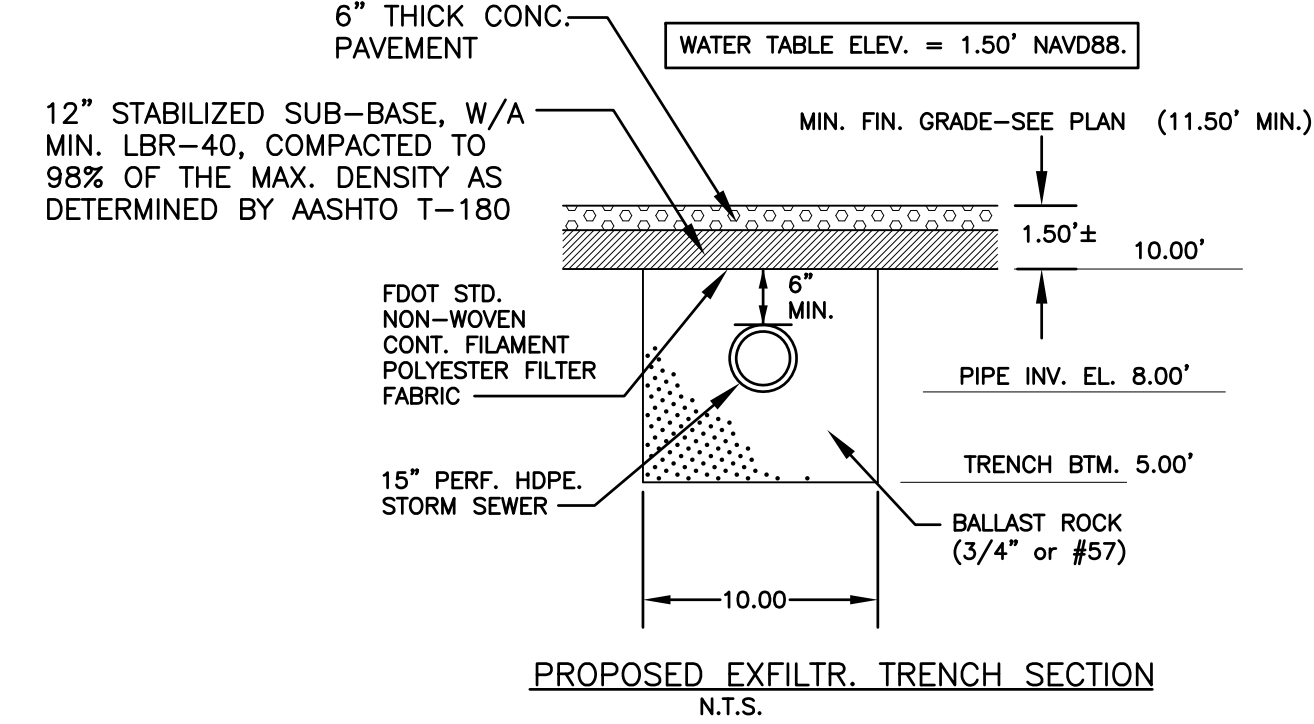
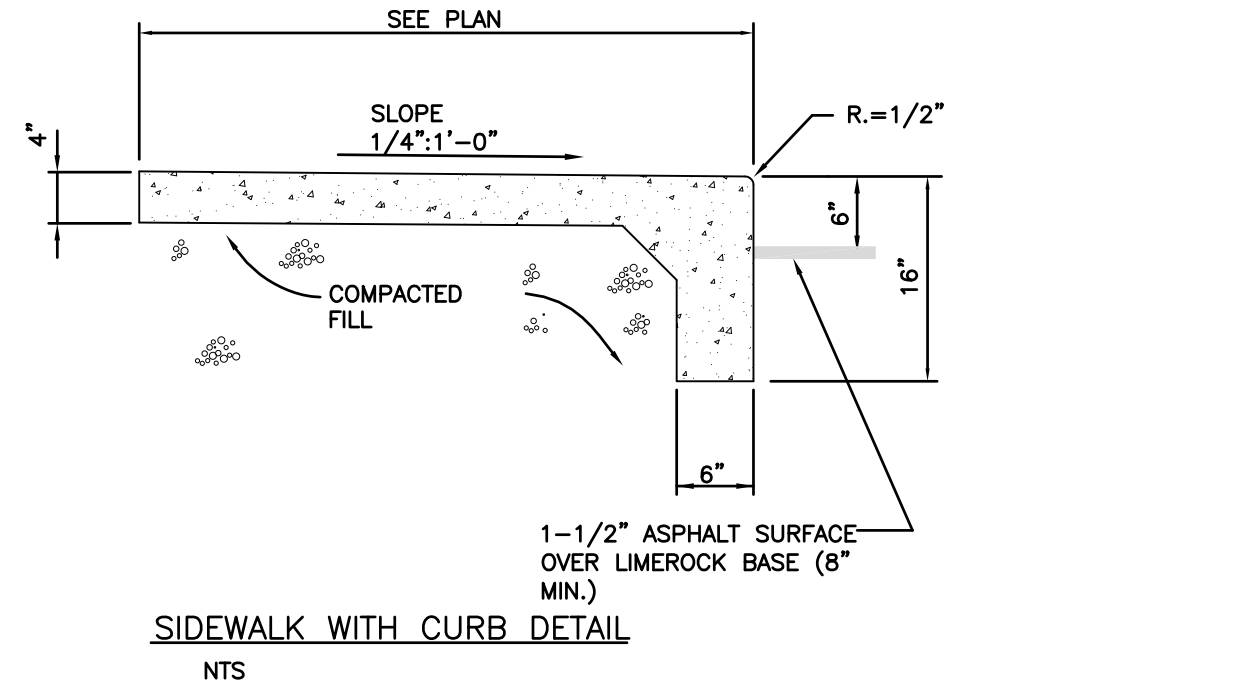
NOTE:

DETECTABLE WARNING SURFACE, PER FDOT INDEX 304, SHALL EXTEND FULL WIDTH OF SIDEWALK AND IN THE DIRECTION OF TRAVEL, 36" FROM EDGE OF DRIVEWAY. THE DETECTABLE WARNING SURFACE SHALL BE CONSTRUCTED BY TEXTURING A TRUNCATED DOME PATTERN IN CONFORMANCE WITH U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBILITY GUIDELINES, SECTION 4.29.2. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.

DETECTABLE WARNING SURFACE DETAIL  
NTS



ALL ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM



- NOTES:
1. SUBGRADE SHALL BE COMPACTED TO 95% MOD. PROCTOR DENSITY (AASHTO T-180)
  2. CONNECT TRENCH DRAIN TO OUTFALL PIPE IN ACCORDANCE WITH:  
ALTERNATIVE-A: FOR A TERMINAL CONNECTION USE ONE (1) 90° ELBOW.  
ALTERNATIVE-B: FOR AN IN-LINE CONNECTION USE ONE (1) 45° ELBOW AND ONE (1) WYE.

TRENCH DRAIN DETAIL  
NTS

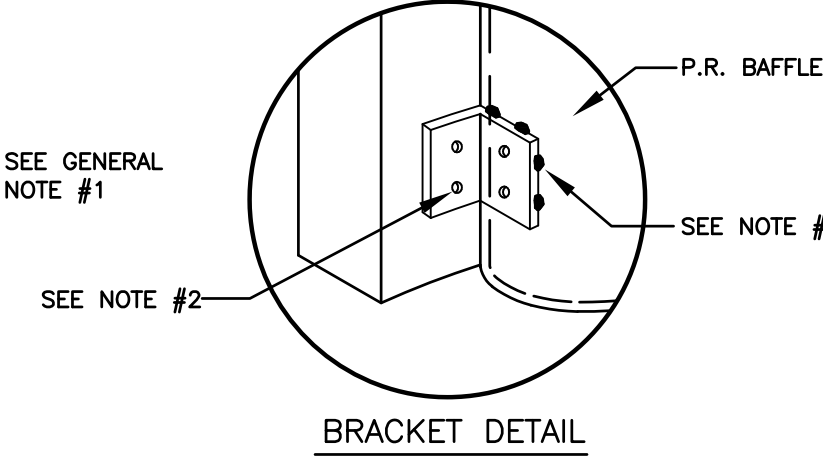
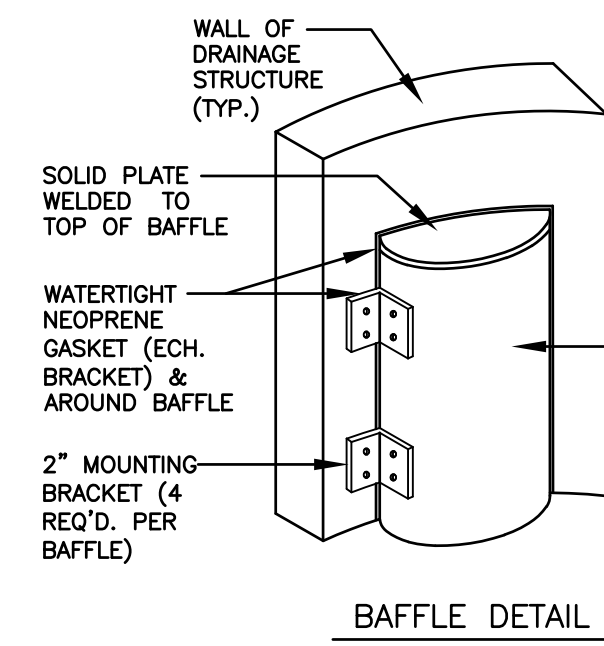


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILFORD ZEPHYR ON THE DATE ADJACENT TO THE SEAL.

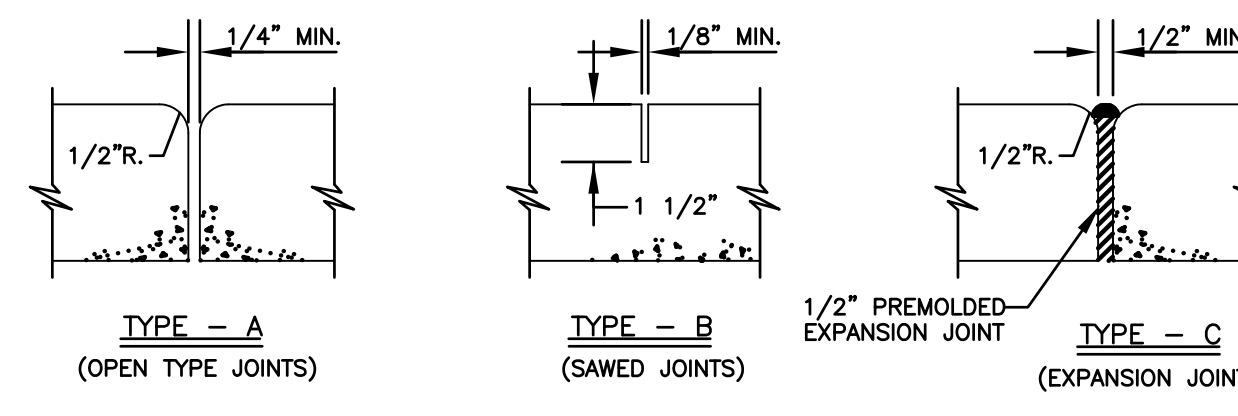
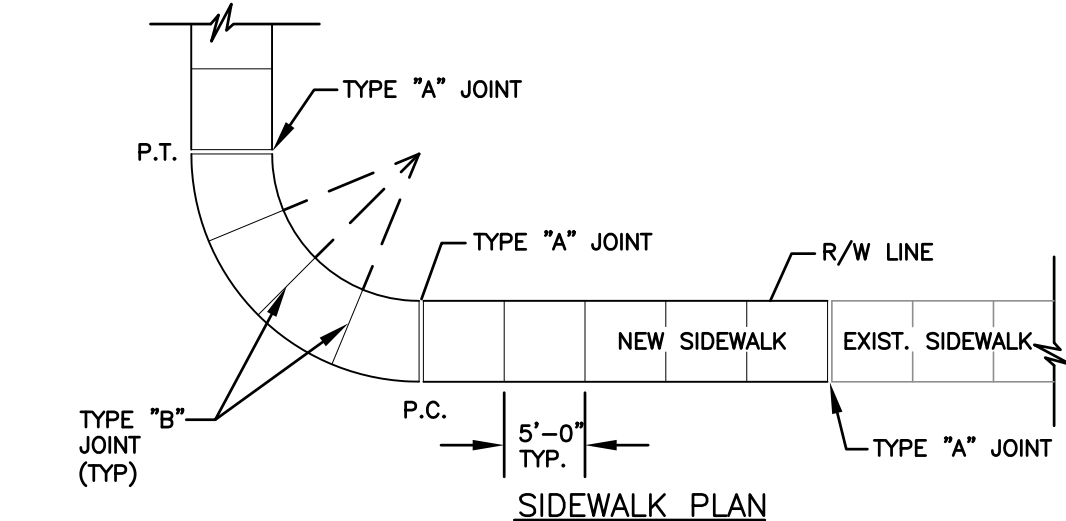
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GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



POLLUTION RETARDANT BAFFLE DETAIL  
NTS

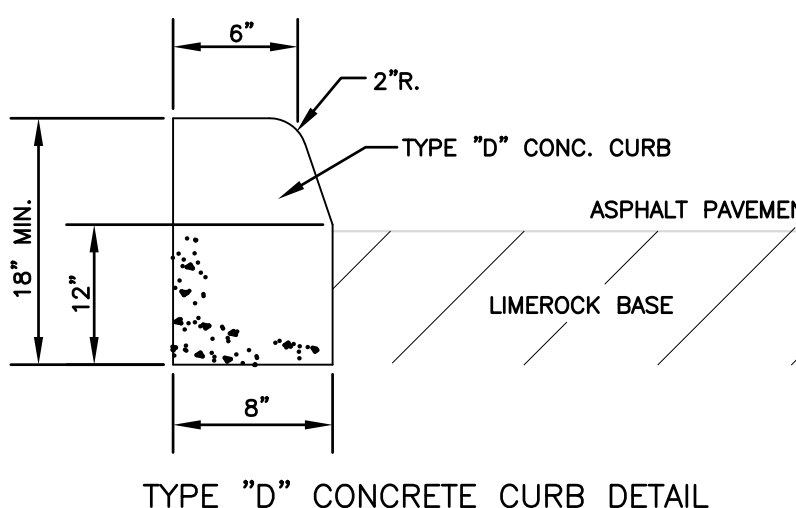


SIDEWALK JOINTS  
N.T.S.

LOCATION :	TYPE	LOCATION :
PEDESTRIAN AREAS	4"	"A" P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
DRIVEWAYS & OTHER	6"	"B" 5'-0" O.C. ON SIDEWALKS.
		"C" * WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

\* INSTALLED AT THE DISCRETION OF THE ENGINEER

SIDEWALK DETAIL  
NTS



CIVIL DETAILS

SCALE: N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION

ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@gmail.com  
CA#: 31158

PARKVIEW APARTMENTS  
2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 11/11/20

SCALE: N.T.S.

SHEET NO.: C3

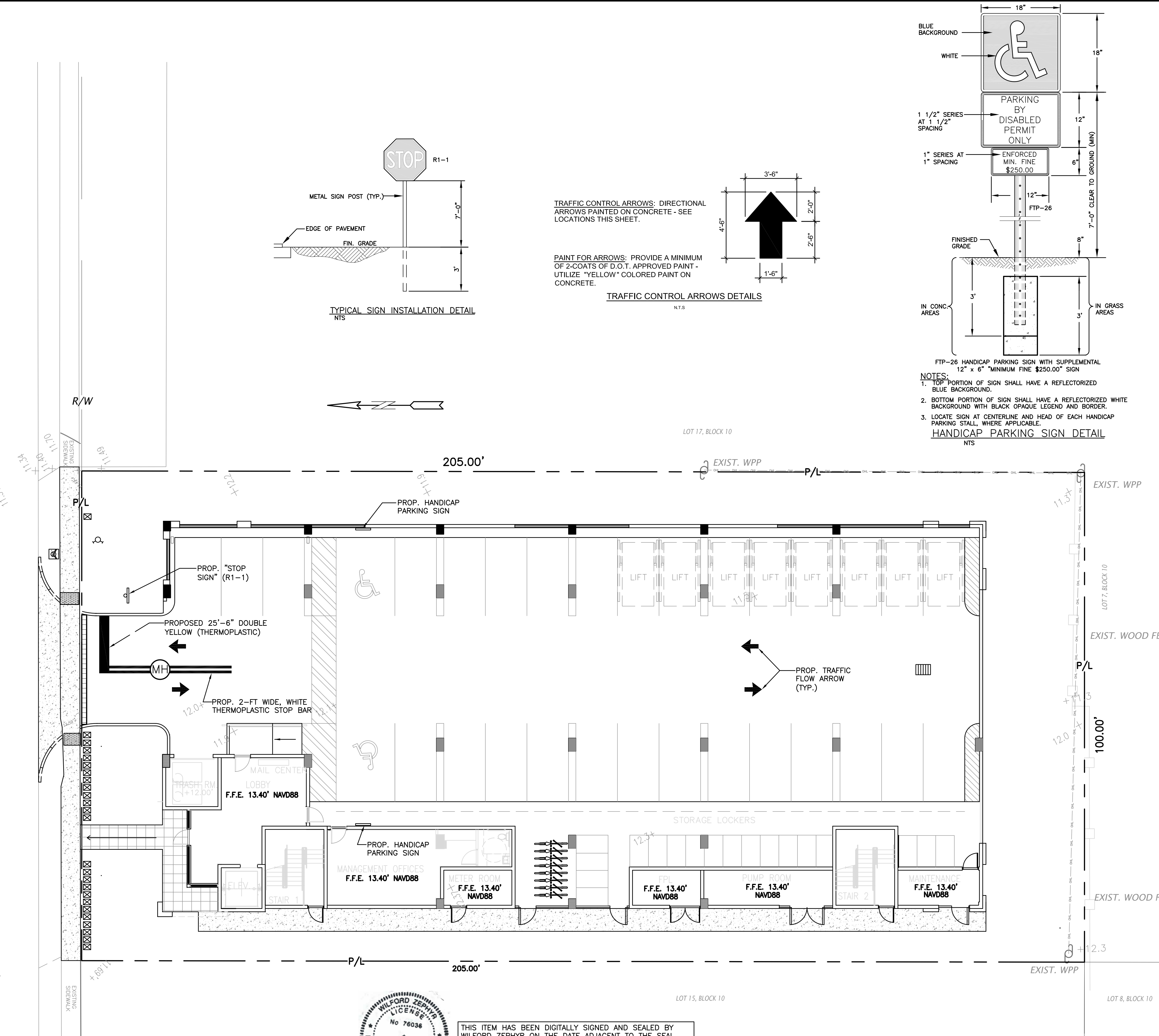
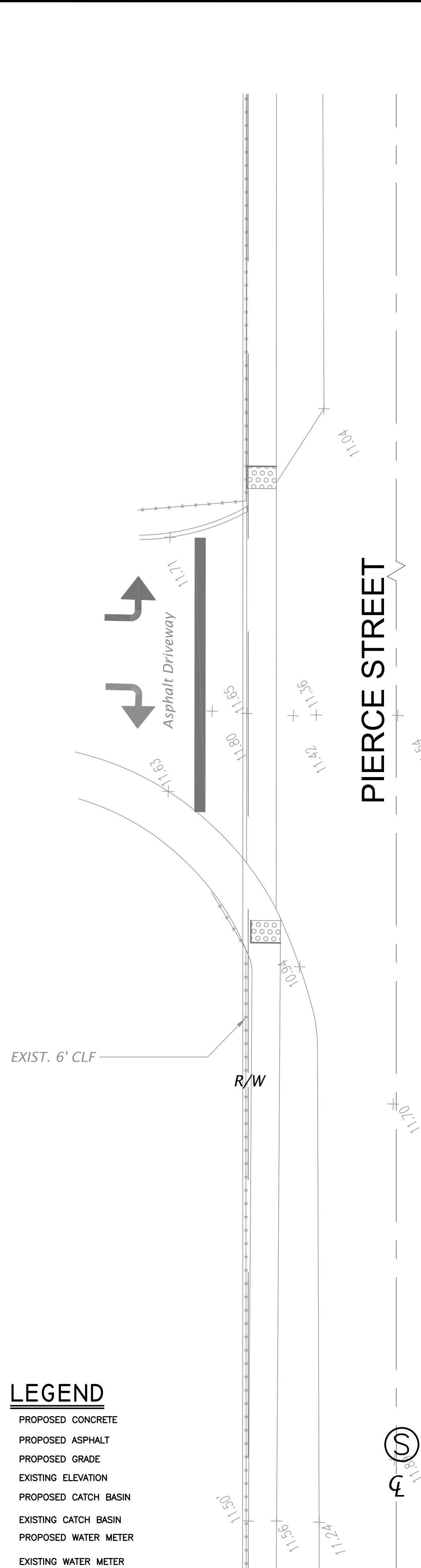
3 OF 8

PROJECT NO.: 20-38



# LEGEND

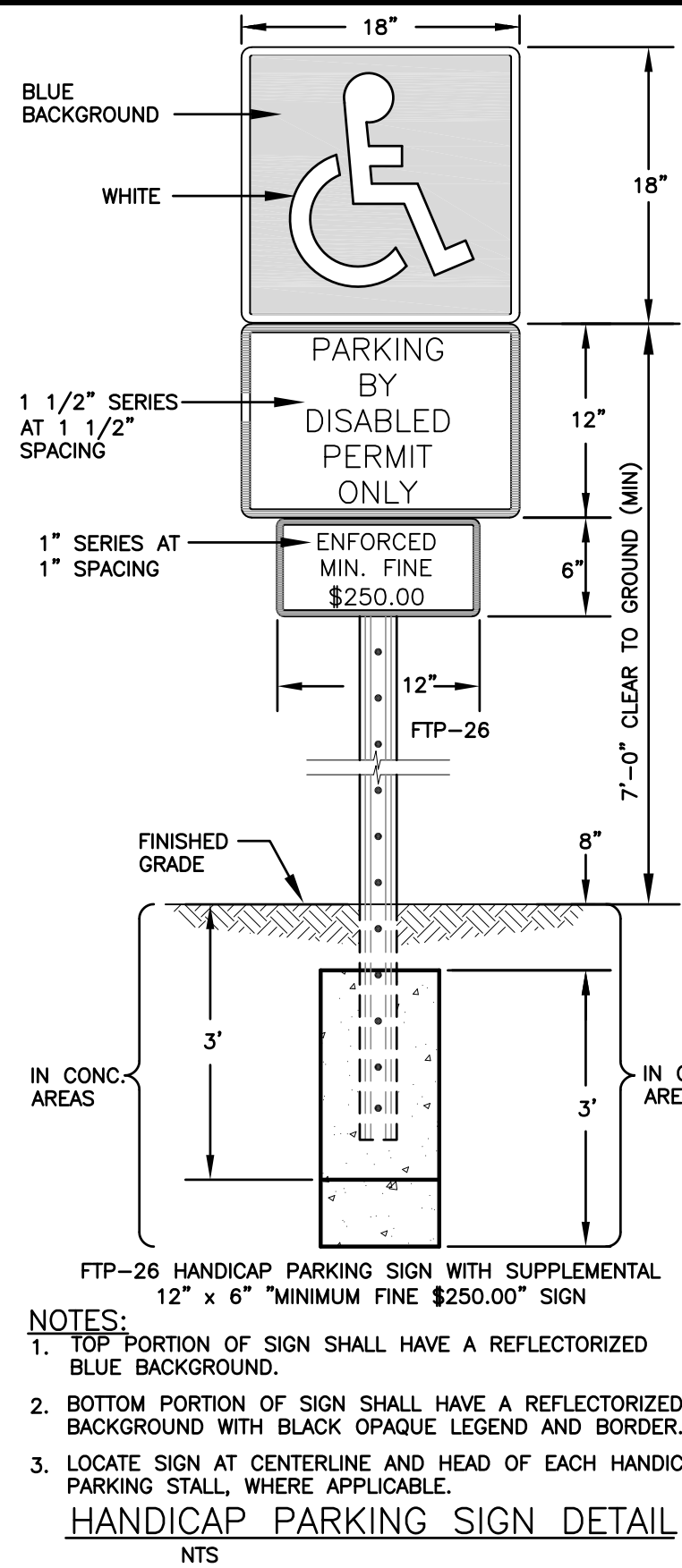
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING WATER VALVE
- PROPOSED BFP DEVICE
- EXISTING SAN. SEWER MH
- EXISTING FIRE HYDRANT



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## PAVEMENT MARKINGS & SIGNAGE PLAN SCALE: 1"=10'



FTP-26 HANDICAP PARKING SIGN WITH SUPPLEMENTAL 12" x 6" "MINIMUM FINE \$250.00" SIGN

NOTES:

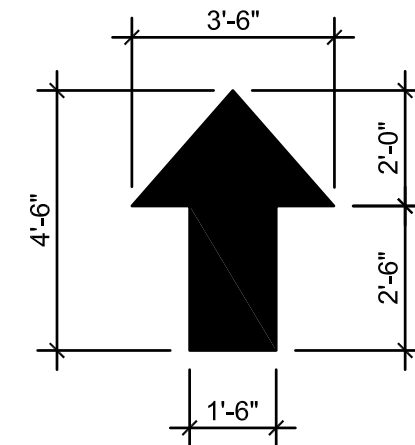
- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN DETAIL

TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON CONCRETE - SEE LOCATIONS THIS SHEET.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "YELLOW" COLORED PAINT ON CONCRETE.

### TRAFFIC CONTROL ARROWS DETAILS



### REVISIONS

NO.	DATE	DESCRIPTION

## ZEPHYR ENGINEERING

**ZE**

PARKVIEW APARTMENTS  
2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020

P.E. #76036

DATE: 11/11/20

SCALE: 1"=10'

SHEET NO.:

C4

4 OF 8

PROJECT NO.: 20-38

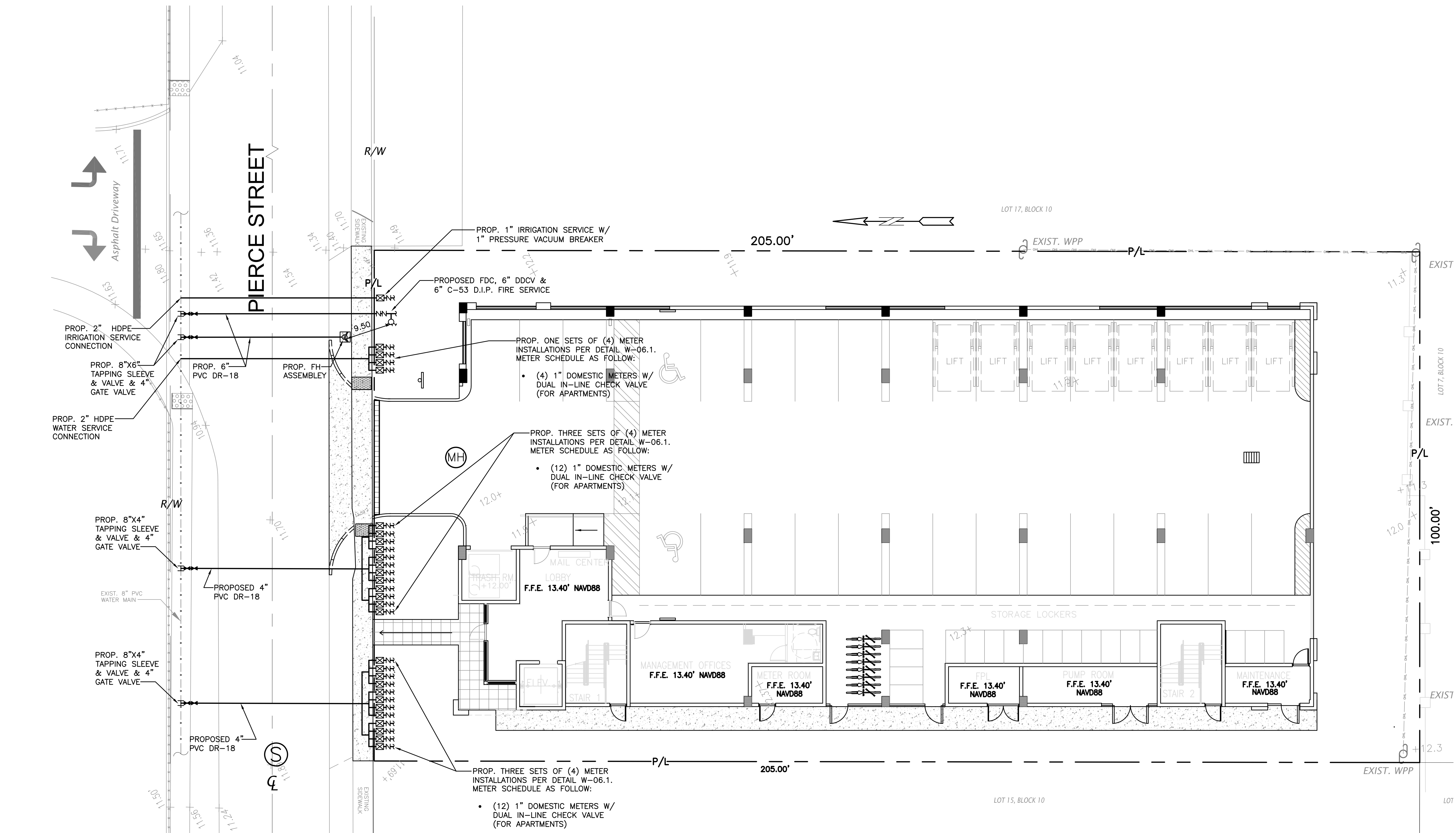
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@gmail.com  
CA# 31158







ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



LEGEND	
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED GRADE
	EXISTING ELEVATION
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	PROPOSED WATER METER
	EXISTING WATER METER
	EXISTING WATER VALVE
	PROPOSED BFP DEVICE
	EXISTING SAN. SEWER MH
	EXISTING FIRE HYDRANT

NOTE:  
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED  
BY A CONTRACTOR HOLDING A CLASS III, OR V  
LICENSE AS DEFINED BY FLORIDA STATUTE 633.102.

#### WATER & SEWER DEMAND CALCULATIONS:

##### PROJECT INFO:

- 28 RESIDENTIAL UNITS

WATER DEMAND  
(28 RESIDENTIAL UNITS)X(141 GPD/UNIT)=3,948 GPD

WASTEWATER DEMAND  
(28 RESIDENTIAL UNITS)X(100 GPD/UNIT)=2,800 GPD

(PER BROWARD COUNTY WATER & WASTEWATER ENGINEERING  
DIVISION'S GUIDELINE FOR DETERMINING ABILITY TO PROVIDE  
POTABLE WATER & WASTEWATER SERVICE AND EQUIVALENT  
RESIDENTIAL UNIT FACTORS PUBLICATIONS)



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## WATER & SEWER PLAN & DETAILS

SCALE: 1"=20'

REVISIONS	
NO.	DESCRIPTION

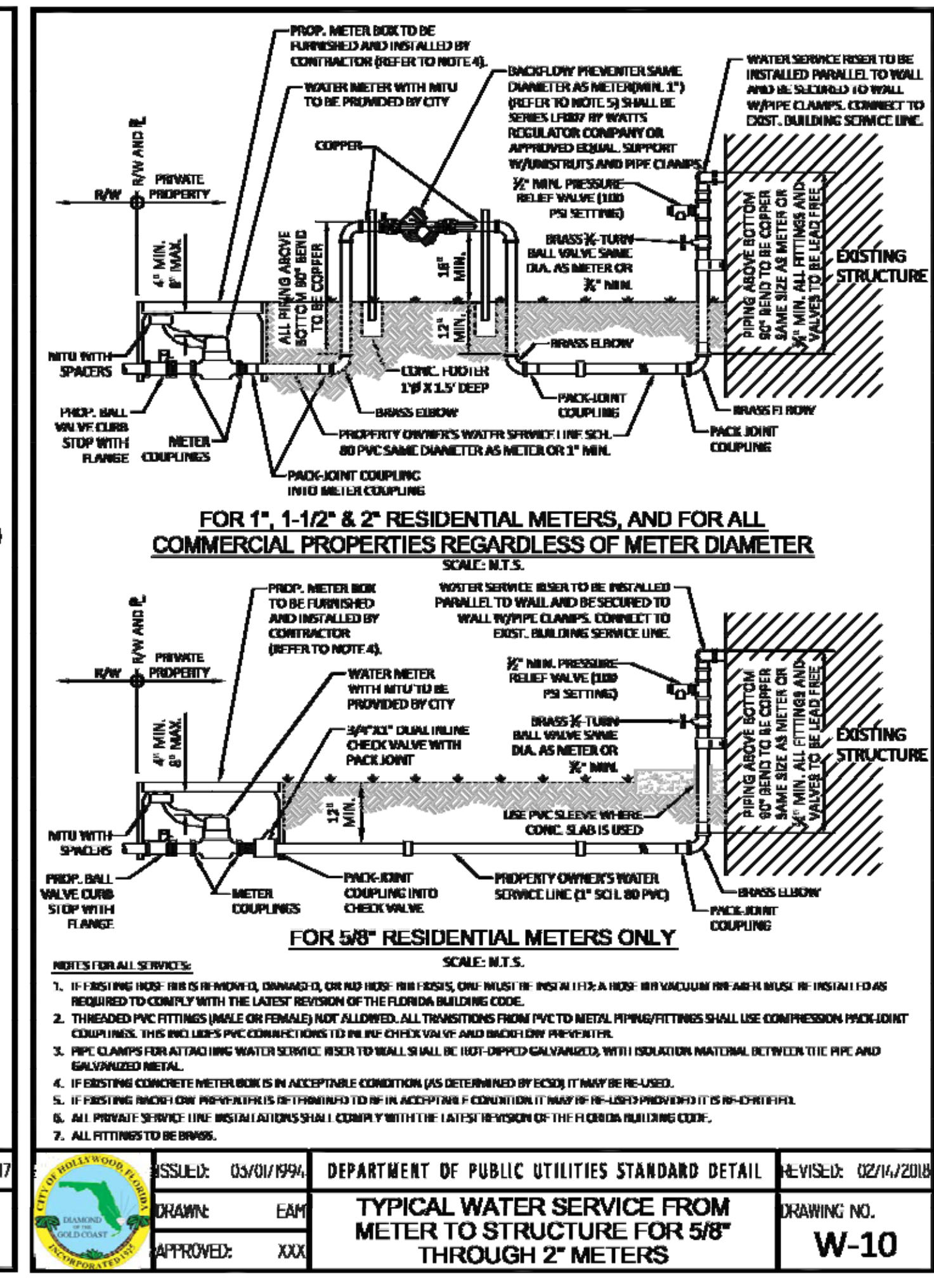
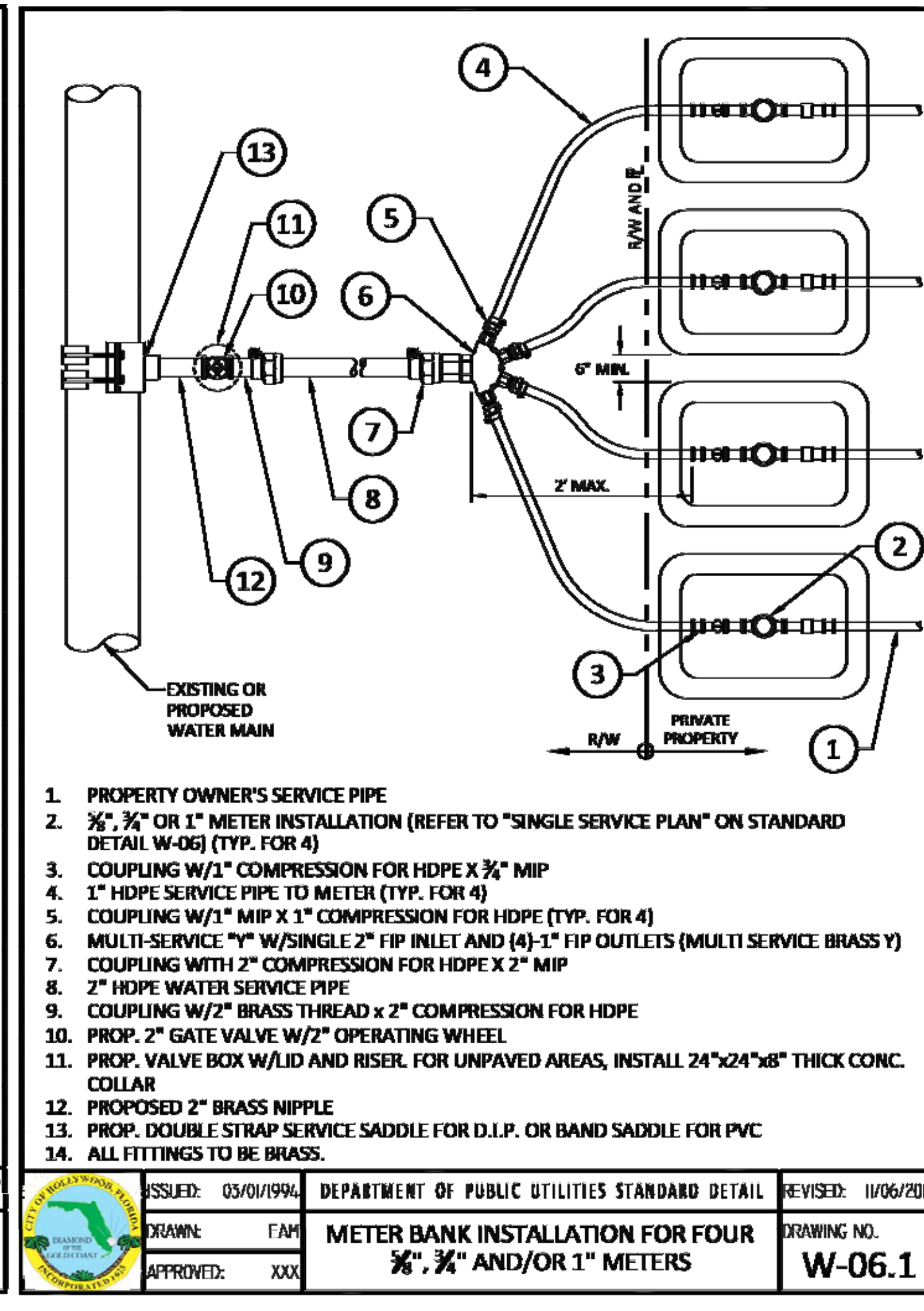
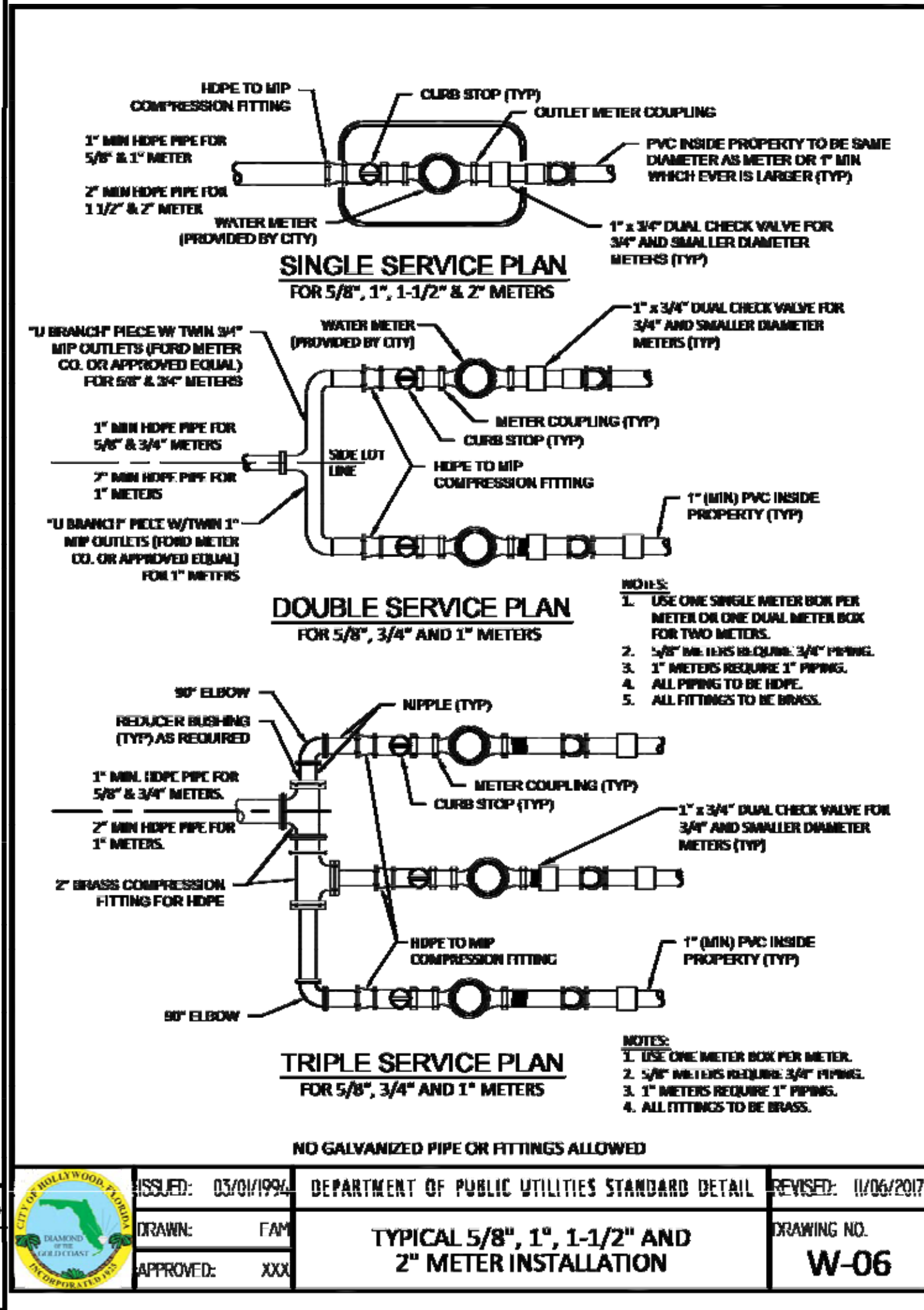
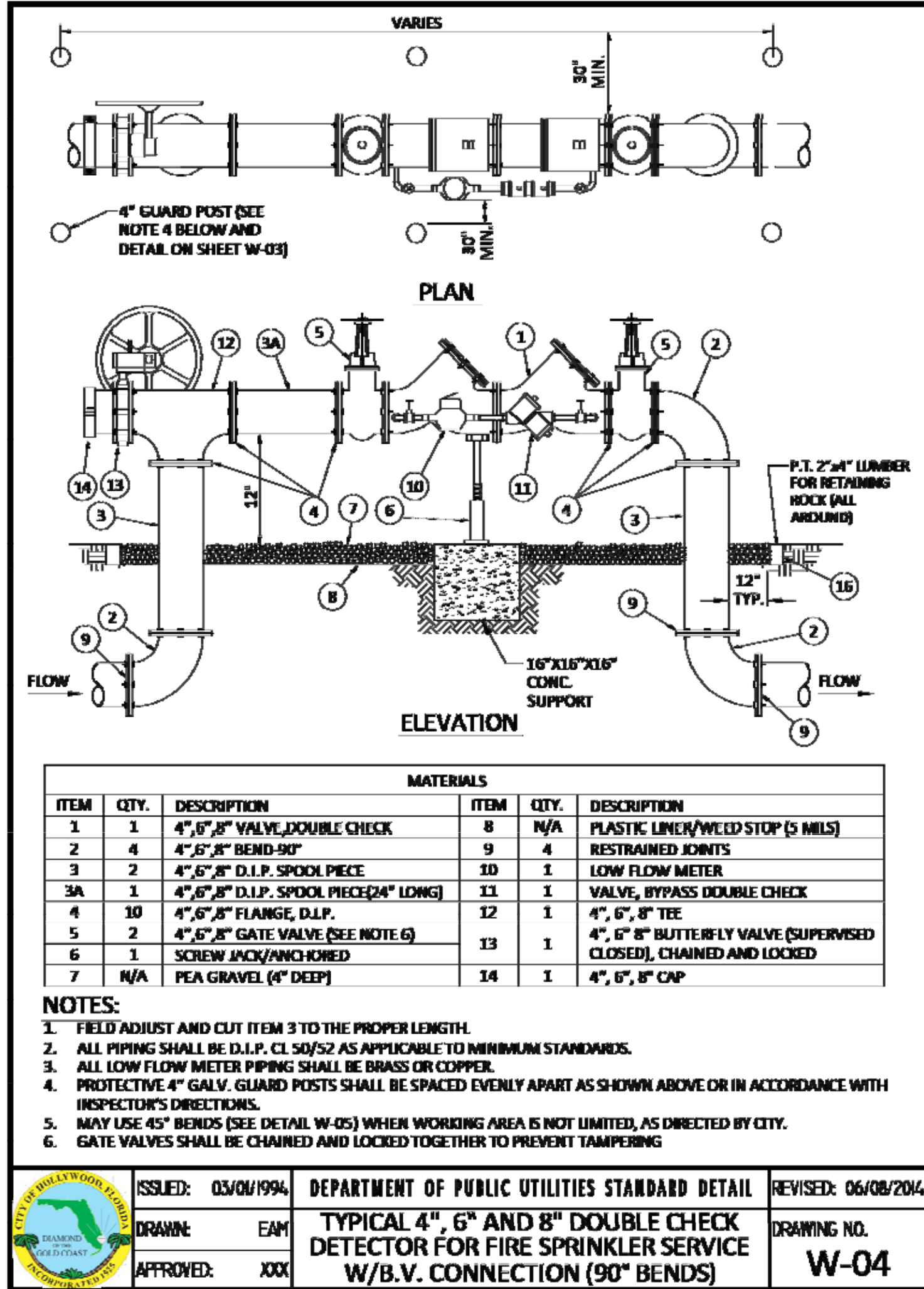
**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA# 31158

**ZE**

**PARKVIEW APARTMENTS**  
2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020

P.E.#: 76036  
DATE: 11/11/20  
SCALE: 1"=10'  
SHEET NO.:  
**C6**  
6 OF 8  
PROJECT NO.: 20-38





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## UTILITIES DETAILS I

SCALE: N.T.S.

NO.	DATE	DESCRIPTION

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@gmail.com  
CA#: 31158

**ZE**

**PARKVIEW APARTMENTS**  
2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020

P.E.#: 76036  
DATE: 11/11/20  
SCALE: N.T.S.  
SHEET NO.:  
7 OF 8  
PROJECT NO.: 20-38

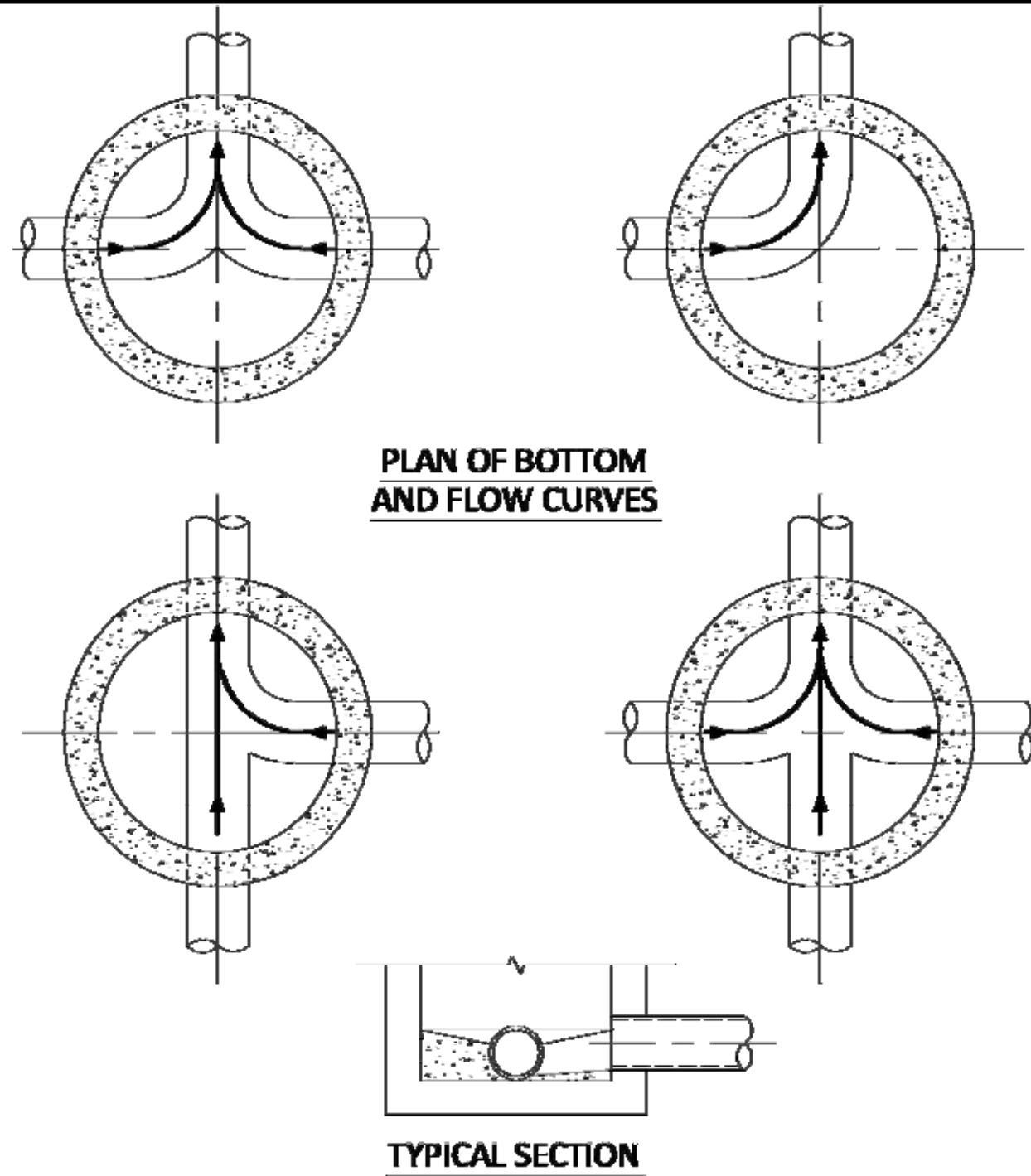


## SEWER NOTES:

1. THE MINIMUM DEPTH OF COVER OVER D.I.P. SANITARY SEWER GRAVITY OR FORCE MAINS IS 30". THE MINIMUM DEPTH OF COVER OVER PVC SANITARY SEWER OR FORCE MAINS IS 36".
2. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. LEAKAGE TESTS AND ALIGNMENT (LAMMING) TESTS SHALL BE PERFORMED ON ALL NEW SEWER LINES UP TO THE CONNECTION POINT WITH THE EXISTING SEWER SYSTEM. THESE TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
4. LAMMING TESTS SHALL BE PERFORMED ON GRAVITY SEWERS FROM MANHOLE TO MANHOLE UP TO AND INCLUDING THE POINT OF CONNECTION TO THE EXISTING SEWER SYSTEM.
5. LEAKAGE TESTS SHALL BE PERFORMED ON ALL SEGMENTS OF A GRAVITY SEWER SYSTEM, INCLUDING SERVICE LATERALS AND MANHOLES, FOR A CONTINUOUS PERIOD OF NO LESS THAN 2 HOURS. AT THE END OF THE TEST, THE TOTAL MEASURED LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM, WITH ZERO ALLOWABLE LEAKAGE FOR LATERALS AND MANHOLES. AN EXFILTRATION OR INFILTRATION TEST SHALL BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET ON THE SECTION BEING TESTED.
6. FORCE MAINS SHALL BE PRESSURE-TESTED IN ACCORDANCE WITH RULE 62-555.330 (FAC), THE PRESSURE TEST SHALL CONSIST OF HOLDING A TEST PRESSURE OF 150 PSI ON THE PIPELINE FOR A CONTINUOUS PERIOD OF 2 HOURS. THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE DETERMINED BY THE FOLLOWING FORMULA:  
$$L = S \times D \times \sqrt{P}$$

WHERE:  
L = ALLOWABLE LEAKAGE FOR SYSTEM IN GALLONS PER HOUR  
D = PIPE DIAMETER IN INCHES  
S = LENGTH OF LINES IN LINEAL FEET  
P = AVERAGE TEST PRESSURE IN PSI
7. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH FORCE MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, FORCE MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 12" MINIMUM SEPARATION FROM WATER MAINS AND 6" MINIMUM SEPARATION FROM OTHER UTILITIES. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
8. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

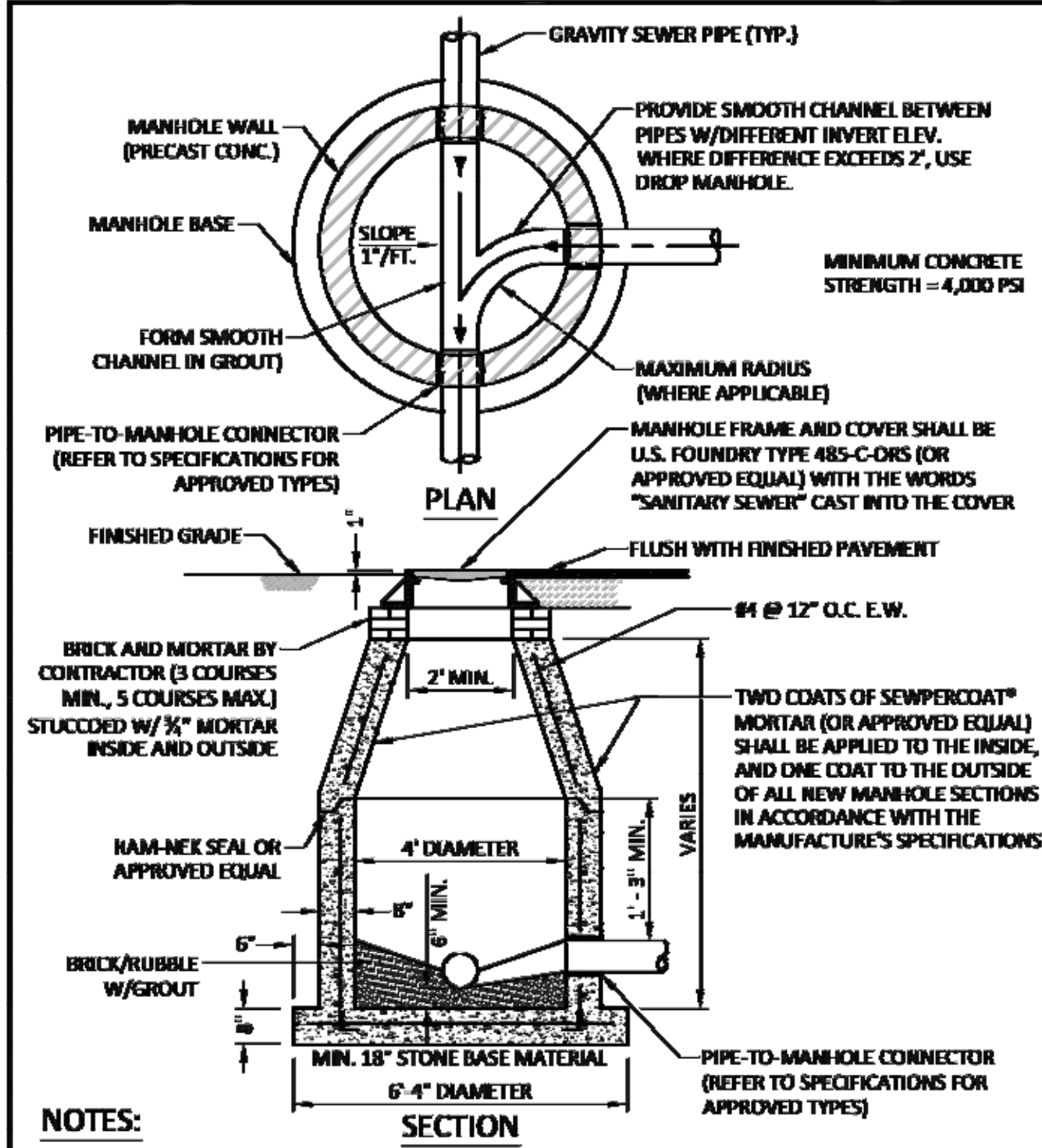
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SANITARY SEWER MAIN	DRAWING NO. S-01
APPROVED: XXX	CONSTRUCTION NOTES	



## NOTES:

1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10' IS REQUIRED.

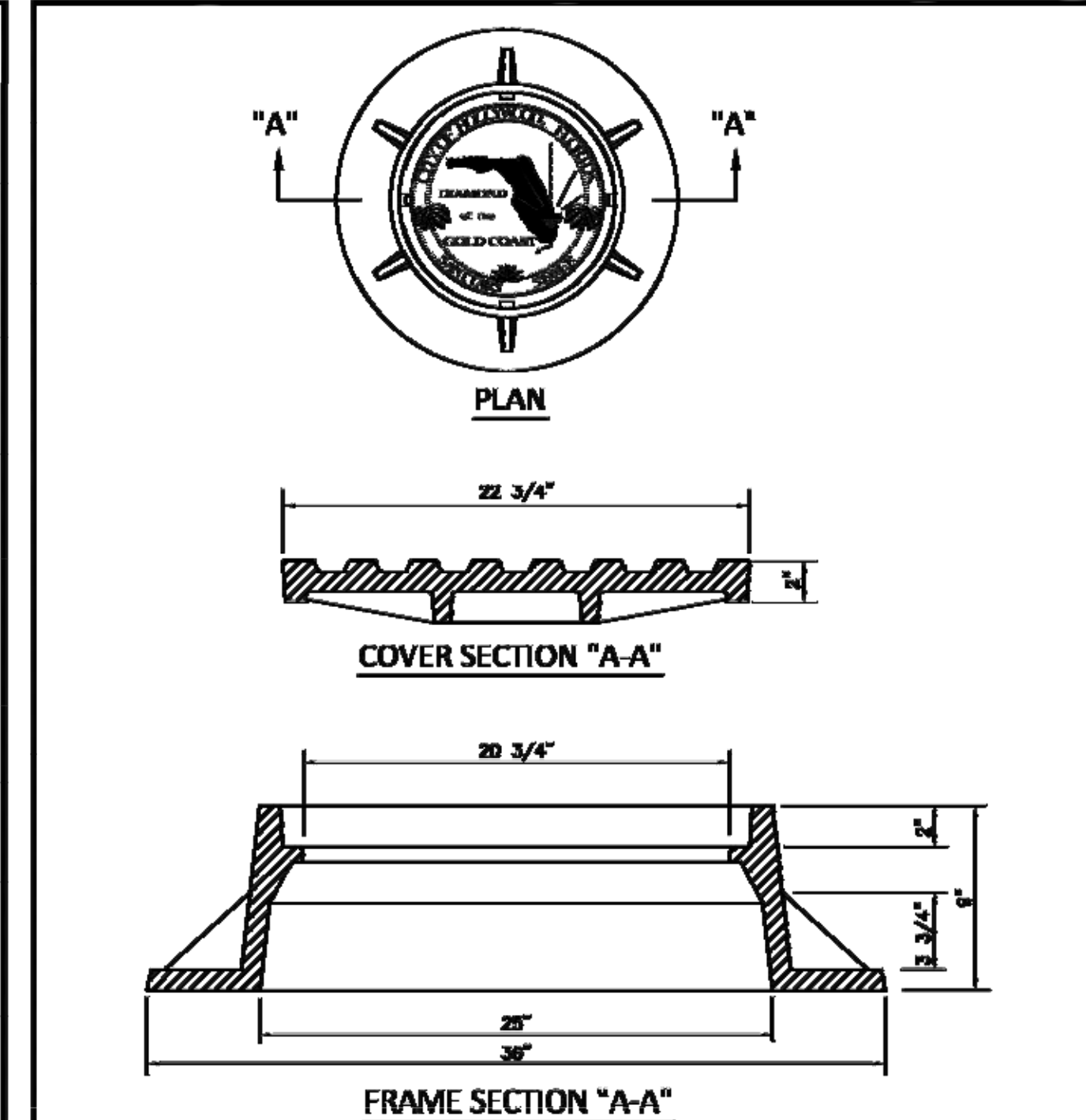
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	MANHOLE FLOW PATTERNS	DRAWING NO. S-02
APPROVED: XXX		



## NOTES:

1. SHOP DRAWINGS SHOWING ALL DIMENSIONS, INCLUDING CONCRETE REINFORCEMENT AND BUOYANCY, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION TO A MINIMUM OF 9" ABOVE SLAB BASE.
3. NO CONSTRUCTION JOINTS ARE ALLOWED BELOW ELEVATION +2.00 NAVD. ABOVE ELEVATION +2.00 NAVD CONSTRUCTION JOINTS ARE ALLOWED, IF ADEQUATE JOINTS WITH KEY-WAYS AND WATER STOPS ARE PROVIDED. SUBMIT SHOP DRAWINGS OF JOINT DETAILS TO THE ENGINEER FOR APPROVAL.

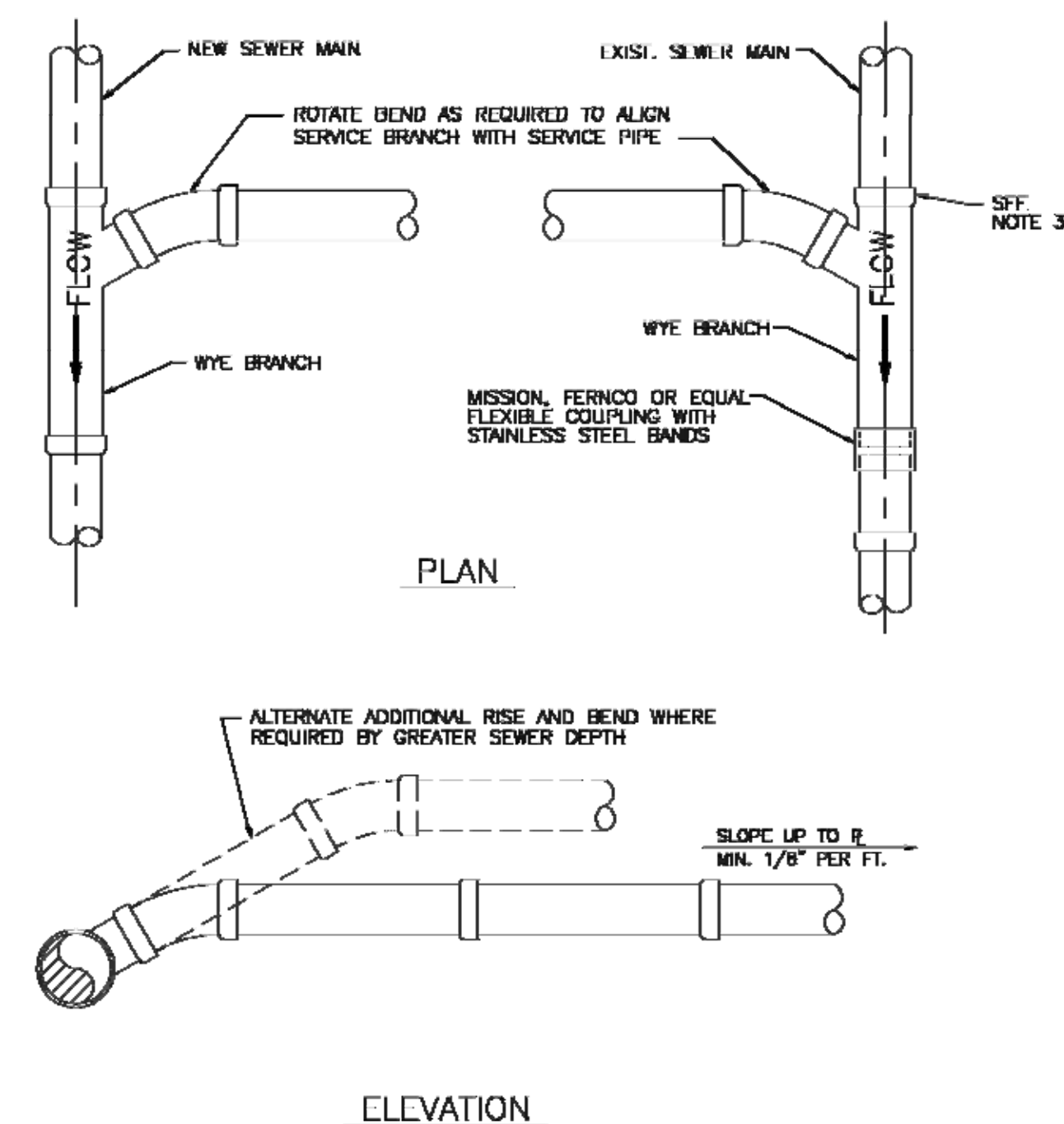
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 01/18/2008
DRAWN: EAM	STANDARD PRECAST MANHOLE	DRAWING NO. S-03
APPROVED: XXX		



## NOTES:

1. LETTERS ON COVER TO BE 3/8" HIGH, 1/4" TO 5/16" THICK AND FLUSH WITH TOP OF COVER.
2. ALL BEARING SURFACES TO BE MACHINED.
3. MINIMUM WEIGHTS: COVER - 160 LBS., TOTAL - 400 LBS.
4. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY 485-C-DRS TYPE E1, WITH THE WORDS "SANITARY SEWER" CAST INTO THE COVER.

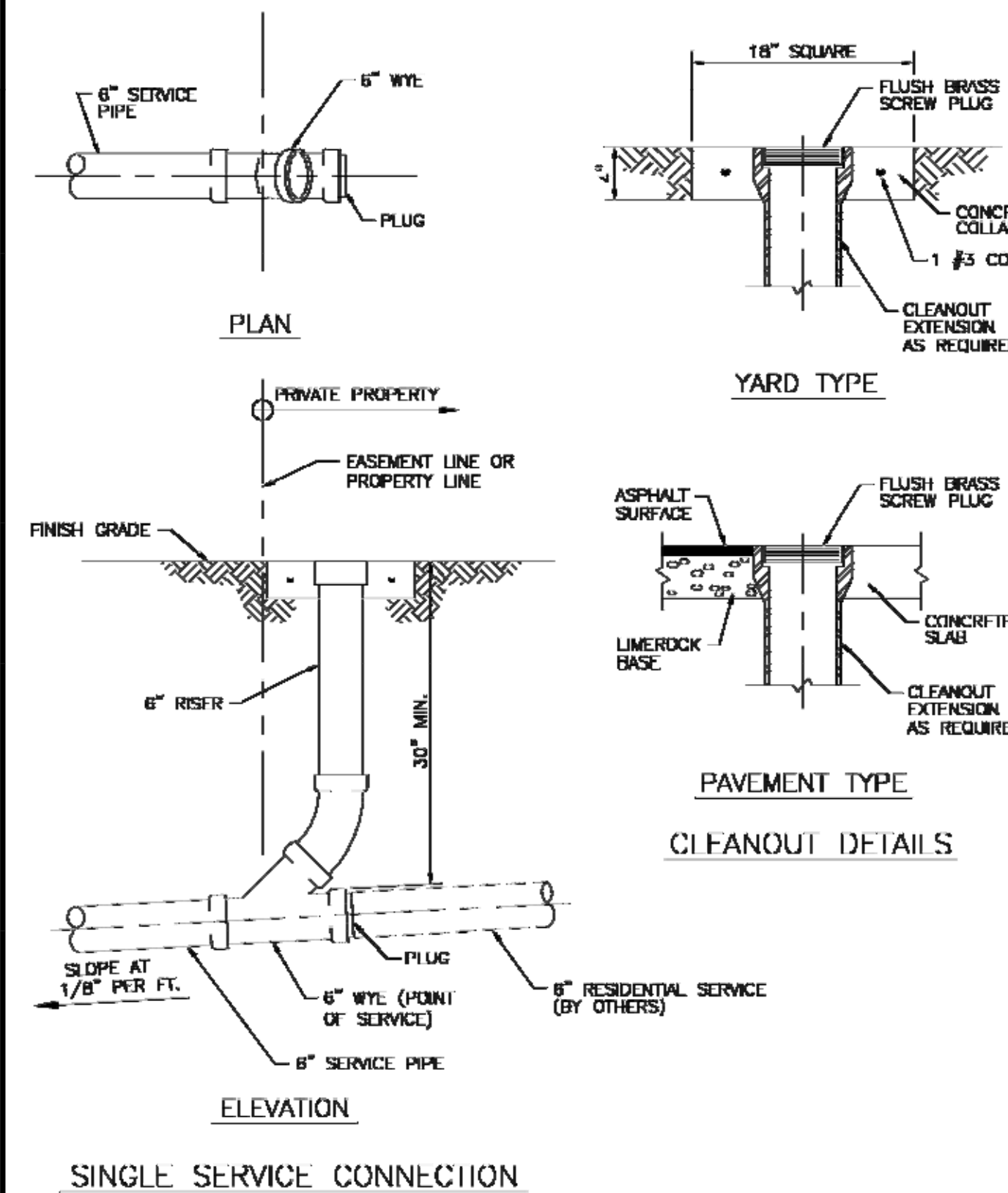
ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	MANHOLE FRAME AND COVER	DRAWING NO. S-06.1
APPROVED: XXX	CITY OF HOLLYWOOD	



## NOTES:

1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO. S-09
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		



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## UTILITIES DETAILS II

SCALE: N.T.S.

## REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

## ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyr@gmail.com  
CA#: 311158

## ZE

## PARKVIEW APARTMENTS

2302-2306 PIERCE STREET  
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 11/11/20

SCALE: N.T.S.

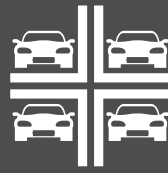
SHEET NO.:

C8

8 OF 8

PROJECT NO.: 20-38





**PARKPLUS**  
HIGH DENSITY VEHICLE STORAGE

# DP003

## **DOUBLE STACKER**

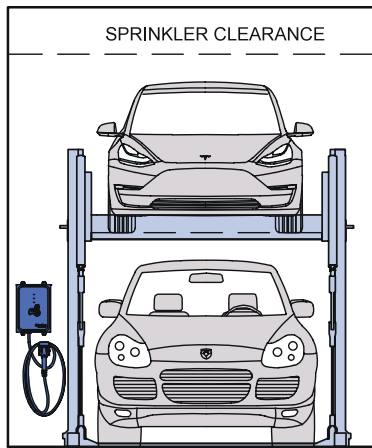
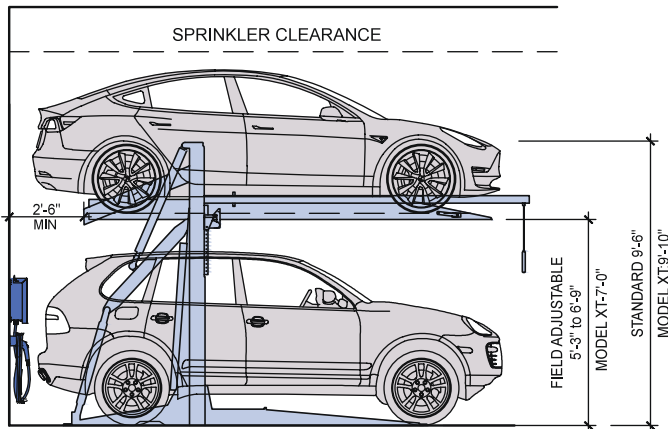
### 2 Level Parking System





# SPEC SHEET

# PARKPLUS DP003 DOUBLE STACKER



## Clearance

S = Standard/SUV  
C = Compact/Sedan

MODEL	HEIGHT
C/C	10'-6"
C/S	12'-2"
S/S	14'-0"
S/S*	14'-6"

\*LA City requirement

## Width

MODEL	WIDTH
W01	7'-11"
W02	8'-3"
W03	8'-6"
W04	9'-0"
W05	Custom

WIDTH = Center of Leg to Center of Leg

The **PARKPLUS DP003** Double Stacker is a hydraulic 2-post, 2-level cantilevered vehicle lift for parking cars one above another. The **DP003** raises and locks a platform in place so that a second vehicle can be parked at grade.

Entire assembly comes pre-welded and is assembled in the field. Stackers may be installed as single units or in arrays with shared common legs. Stacker is designed to be mounted on grade, concrete or asphalt. Approved foundation system may be required for installation of stackers.

The **PARKPLUS DP003** Double Stacker is designed to be installed indoors and outdoors. Platform height is field adjustable in 1 1/2" increments. Each city may have minimum height requirements and different clear requirements for code required parking. Owner/Architect should review with local planning and building departments. **MEP coordination with project team must meet code requirements and satisfy equipment clearances.**

## Suitable for

- Standard passenger vehicles
- SUVs

## Specifications

Load per Platform:	6,000 lbs.
Weight of Unit:	+/- 3,050 lbs.
Length of Platform:	13'-6"
Length incl. Overhang:	16'-6"
Width of Unit:	7'-11" to 9'-0"
Height of Unit:	9'-6" to 9'-10"
Operation:	Hydraulic
Control:	Push Button Pendant

\*Custom Height and Width Available

## Power Pack

### Hydraulic Power System (HPS)

HPS1:	1-2 units (208-230V / 1 PH / 60 HZ / 2-3 HP / 18 FLA)
HPS-1P10:	1-30 units (208-230V / 1 PH / 60 HZ / 10 HP / 40 FLA)
HPS-3P10:	1-30 units (208-230V / 3 PH / 60 HZ / 10 HP / 28.4 FLA)

## Electrical

1 Disconnect required per HPS  
3 PH 208-230V / 40Amp  
1 PH 208-230V / 60Amp  
All control wiring is a Class 2 Circuit 24V

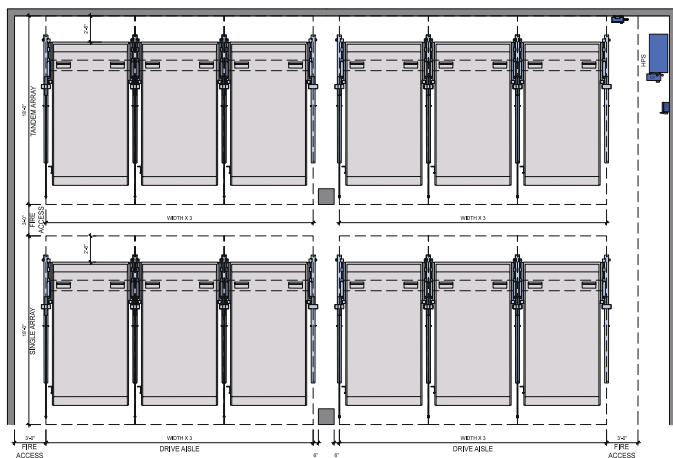
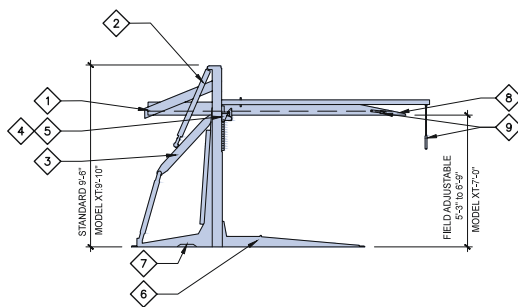
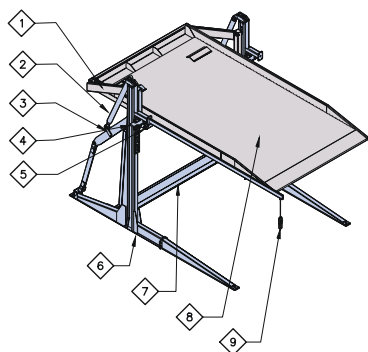
## Applications

**DP003** Double Stacker can be installed in attended/valet and self-park applications:

- Single & Multi-Family Residential Buildings
- Indoor & Outdoor Installations
- Low & High Rise Buildings
- Commercial Buildings
- Surface Lots



- In-house Design, Manufacturing, Installation & Service
- Minimal Moving Parts – *Reduced Maintenance*
- Galvanized, Commercial-Grade Machines
- Premium Quality Hydraulic Cylinders



## Components

- 1 CRADLE FRAME ASSEMBLY
- 2 HYDRAULIC CYLINDER
- 3 PARALLEL ARM ASSEMBLY
- 4 ADJUSTABLE HEIGHT ASSEMBLY
- 5 SAFETY LOCKS ASSEMBLY
- 6 END LEG ASSEMBLY
- 7 SEISMIC BEAM ASSEMBLY
- 8 PLATFORM ASSEMBLY
- 9 PUSH BUTTON CONTROLS

## Layout

**PARKPLUS DP003** Double Stacker can be arranged in single or tandem arrays on either side of a drive aisle. Queuing space of at least 2 vehicles must be provided to allow for shuffling of cars. Queuing space may be in drive aisle. For commercial projects, during peak traffic, all platforms will be lowered for quick filling of stackers. Surface space to be provided for code-required Accessible Parking.

## ADDITIONAL INFORMATION

### Safety

Device is equipped with safety locking system. 'Posi-lock' double suspension system holds full weight of vehicle on platform in locked position. Device can be equipped with individual keyed controller for extra safety. Self-attended applications may require additional sensors to detect objects located under platform or entering the area below platform.

### Fire Protection

In most metropolitan areas, car stackers are reviewed as similar to high piled storage and non-building structures. Fire rating of structural components is not required. Sprinklers may be required per following section. Each city may have fire department guidelines.

### Fire Sprinklers

**Outdoor:** 1. Most cities do not require fire sprinklers. 2. May need to conform to additional zoning regulations and building code requirements.

**Indoor:** 1. Installation shall be in a sprinklered garage. In tandem array, additional sprinkler requirements may apply. 2. Sprinkler Plans filed and approved by local municipality. 3. Sprinkler system designed as required by NFPA 13 and local building codes. 4. Clear building height within parking area must accommodate height of equipment plus additional requirements for adequate coverage of fire sprinklers.

### Temperature

Device is designed to operate between 20° and 120° F. For below freezing environments, hydraulic heaters for Power Packs are recommended.

### Loading

Structural design and loading is provided on a project by project basis and is dependant on seismic zones, soil conditions and other environmental conditions.

### Warranty

12-month Standard Manufacturer's Warranty on new equipment.  
Equipment Lifespan: Indoor = 7,500 cycles; Outdoor = 5,000 cycles.

### Service

At end of 12-month warranty period a service contract is available upon request.

Rental option may include Service & Maintenance for full term.

### Approvals

- MEA/OTCR Certified, City of New York
- LAETL Approved, LARR#930501, City of Los Angeles
- California Seismic Code Compliant
- Miami Dade County Compliant
- Approved in Multiple U.S. Cities

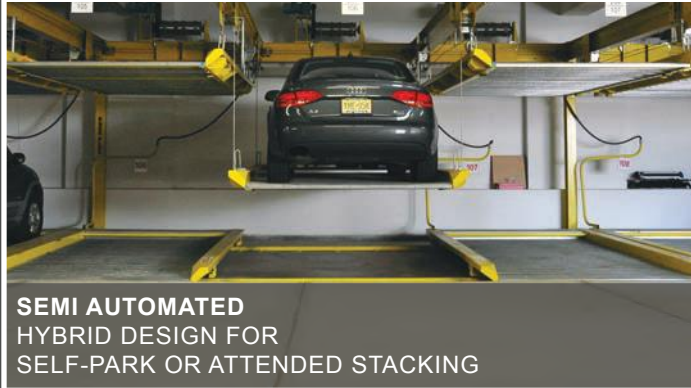




**MECHANICAL**  
ATTENDED SYSTEMS  
FOR BASIC STACKING



**AUTOMATED**  
ADVANCED TECHNOLOGIES FOR  
ROBOTIC PARKING SOLUTIONS



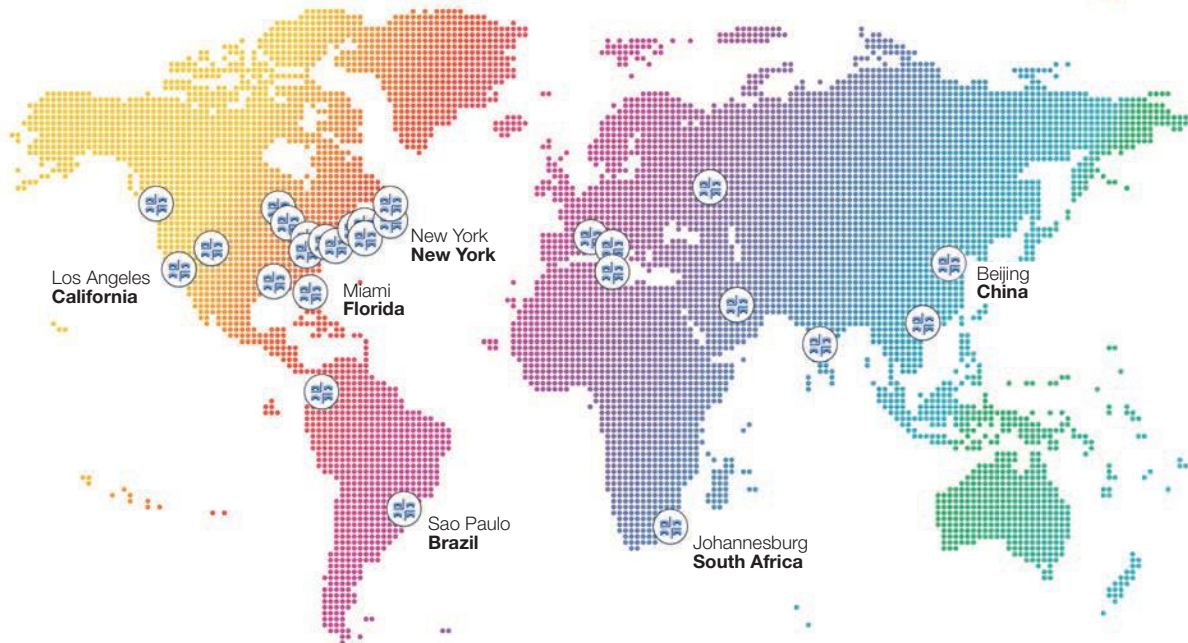
**SEMI AUTOMATED**  
HYBRID DESIGN FOR  
SELF-PARK OR ATTENDED STACKING



**DISPLAY UNITS**  
CREATIVE SOLUTIONS FOR  
CUSTOM DESIGN & EXPOSURE

INFO@PARKPLUSINC.COM

## OUR GLOBAL FOOTPRINT



CALL US: **8-444-PARKPLUS**



**PARKPLUS**  
HIGH DENSITY VEHICLE STORAGE

**PARKPLUS, INC. HEAD OFFICE**  
83 BROAD AVENUE, SUITE 2  
FAIRVIEW, NJ 07022

**PARKPLUS CALIFORNIA**  
8640 TAMARACK AVENUE  
LOS ANGELES, CA 91352

**PARKPLUS FLORIDA, INC.**  
1111 OLD GRIFFIN ROAD  
DANIA BEACH, FL 33004





KallerArchitecture

## VIRTUAL COMMUNITY MEETING INVITATION

We are inviting you to attend a Virtual Community Meeting to discuss an Application submitted to the City of Hollywood. This meeting is being held to discuss the Residential Development proposed for the property identified in the location map below. All interested parties are encouraged to participate in this virtual meeting. Joseph B. Kaller, Architect of Kaller Architecture will be presenting this Proposed Project and immediately following the presentation will be a time to address questions.

### **2302 – 2306 Pierce Street MAP**





## VIRTUAL COMMUNITY MEETING DETAILS

Meeting Date & Time: **Thursday, October 29th, 2020 at 6:00 PM**

To participate, you must register before **12:00 P.M. on October 27, 2020** (Instructions provided below).

We will also be offering In-Person Meeting Attendance, however due to Covid and Social Distancing Guidelines, this will be limited to **Four (4)** seats and will be on a first come first serve basis and masks shall be worn. Please e-mail [laurie@kallerarchitects.com](mailto:laurie@kallerarchitects.com) to reserve your seat.

If you have specific questions regarding the Proposed Development that you would like answered during this meeting, we request that you please send them to Laurie Yoder via e-mail to [laurie@kallerarchitects.com](mailto:laurie@kallerarchitects.com) in advance of the meeting on or before **12:00 P.M. on October 27, 2020**.

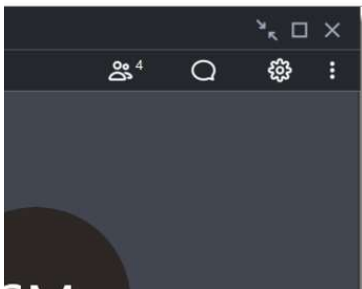
## REGISTRATION

To Register, please e-mail your name and e-mail address to [laurie@kallerarchitects.com](mailto:laurie@kallerarchitects.com) no later than **12:00 P.M on October 27, 2020**.

## INSTRUCTIONS FOR REGISTRATION FOR VIRTUAL MEETING

- In order to see and hear our Presentation, you will need a computer, laptop, smartphone or tablet with speakers and just click on the gotomeet link below. If you don't already have the GoTo software, it will download automatically, and you'll be placed into the meeting. Just in case you've misplaced the information, please see the Public Participation Link below for the meeting login.

We will only be accepting questions through an email to [laurie@kallerarchitects.com](mailto:laurie@kallerarchitects.com) before the meeting time or during the meeting through the Chat function on the GoTo Meeting on your computer or tablet. Please click on the chat button (bubble looking button) shown below and type in your question.





**Please join my meeting from your computer, tablet or smartphone.**

<https://www.gotomeet.me/JosephKaller>

If you do not have the equipment listed above, you can also call into the meeting to hear the presentation and ask questions by dialing in with the number below.

**You can also dial in using your phone.**

United States: [+1 \(571\) 317-3112](tel:+15713173112)

The meeting ID/Access Code will be provided when you register for the meeting as your Registration Confirmation.



## Joseph Kaller's Meeting Attendees

### Summary

**Meeting Date**

October 29, 2020 2:56 PM PDT

**Meeting Duration**

32 minutes

### Details

**Name**

George

Joseph Kaller

Tom Zambetoglou

**Email Address**

joseph@kallerarchitects.com



**Number of Attendees**   **Meeting ID**  
3   159-353-365

<b>Join Time</b>	<b>Leave Time</b>	<b>Time in Session (minutes)</b>
3:14 PM	3:28 PM	14
2:56 PM	3:28 PM	32
2:59 PM	3:28 PM	29





## CERTIFICATION LETTER

**City of Hollywood**

**Date:** October 12, 2020

**Applicant:** Evia Properties LLC

**Legal Description:** Lot 16 Block 10 of Hollywood Little Ranches Plat as Recorded in Plat Book 1 Page 26 of the Public Records of Broward County, Florida.

**Address or General Location:** 2302-2306 Pierce Street

This letter certifies that the attached list of property owners was prepared using the latest tax folio rolls supplied by the Broward County Property Appraisers Office as of October 8, 2020. This list includes all properties within 500 feet from each property line of the subject site in regulations.

This letter also certifies that the attached notification was sent to the persons on the list of property owners. The notice was mailed October 12, 2020.

Finally, this letter certifies that the site was posted with 2 notice sign that meets the City of Hollywood notification regulations. The sign was posted October 9, 2020.

Thank You,

A handwritten signature in blue ink, appearing to read "Christina Mathews", is written over a horizontal line.

Christina Mathews

Sworn and subscribed before me this 12<sup>th</sup> day of October, 2020.

A handwritten signature in blue ink, appearing to read "Natalie Bebell", is written over a horizontal line.

Signature of Notary

1025 Yale Drive  
Hollywood, Florida 33021  
954-920-2205  
Email: cutroplanning@yahoo.com









FOLIO_NU_1	NAME	ADDRESS_LI	CITY	STATE	ZIP	ZIP4	LEGAL
514216013790	2231 TAYLOR INC	2231 TAYLOR ST	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 4 W1/2 BLK 9
514216013810	MCASA LLC	206-08 LORI DR #75C	BAYSIDE	NY	11360		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 6 BLK 9
514216013820	GOTTLIEB,MARVIN	125 N 46 AVE	HOLLYWOOD	FL	33021	6601	HOLLYWOOD LITTLE RANCHES 1-26 BLOT 7 BLK 9
514216013830	CRESPO,ALAINCRESPO,LYNETTE	8945 NW 180 TER	HIALEAH	FL	33018		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 8 BLK 9
514216013840	BENA,MICHAEL	PO BOX 24913	OAKLAND PARK	FL	33307		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 9 BLK 9
514216013850	MEL GLOBAL SOLUTIONS LLC	6960 O'BANNON DR	LAS VEGAS	NV	89117		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 10 BLK 9
514216013890	L A HOLDING COMPANY LLC	3434 SW 53 CT	FORT LAUDERDALE	FL	33312		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 13 BLK 9
514216013900	L A HOLDING COMPANY LLC	3434 SW 53 CT	FORT LAUDERDALE	FL	33312		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 14 W 47 FT BLK 9
514216013910	ANGELA BAGIOTTI REV LIV TRBAGIOTTI,ALDO & ANGELA TRSTEE	4318 GRANT ST	HOLLYWOOD	FL	33021	5343	HOLLYWOOD LITTLE RANCHES 1-26 BLOT 14 LESS W 47 FT BLK 9
514216013920	3H FILLMORE INC	3731 N 53 AVE	HOLLYWOOD	FL	33021		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 15 BLK 9
514216013930	NUNEZ,EDUARDO OMAR	2300 FILLMORE ST	HOLLYWOOD	FL	33020	4410	HOLLYWOOD LITTLE RANCHES 1-26 BLOT 16 BLK 9
514216013940	NW 59 CAPITAL LLC	1729 SW 4 ST	FORT LAUDERDALE	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 17 BLK 9
514216013950	CSB6 LLC	3623 N ANDREWS AVE	OAKLAND PARK	FL	33309		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 18 BLK 9
514216013960	CURRITHERS,DAVID & EUNICECURRITHERS,AERIEL	16070 NE 11 AVE	NORTH MIAMI BEACH	FL	33162	5431	HOLLYWOOD LITTLE RANCHES 1-26 BLOT 19 BLK 9
514216013970	2222 FILLMORE LLC	PO BOX 10472	MIAMI	FL	33101		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 20 BLK 9
514216013990	EMJAY VENTURES LLC	4835 HOLLYWOOD BLVD #1	HOLLYWOOD	FL	33021		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 21 BLK 9
514216014010	GIRAL PROPERTIES LLC	1909 TYLER ST #600	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 1 BLK 10
514216014020	PONMATTAM,VARGHESE P	12095 87 ST N	WEST PALM BCH	FL	33412	2370	HOLLYWOOD LITTLE RANCHES 1-26 BLOT 2 BLK 10
514216014030	2221 FILLMORE TRCANO,MARCO & PATRICIA TRSTEEES	11301 NW 8 ST	PLANTATION	FL	33325		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 3 BLK 10
514216014040	CESPEDES,JOSE	6235 SW 33 ST	MIRAMAR	FL	33023		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 4 BLK 10
514216014050	FILLMORE ONE LLC	2707 NE 164 ST	MIAMI	FL	33160		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 5 E 50 FT BLK 10
514216014060	FILLMORE ONE LLC	2707 NE 164 ST	MIAMI	FL	33160		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 5 LESS E 50 FT BLK 10
514216014080	FILLMORE OAKS LLC	6099 STIRLING RD STE 214	DAVIE	FL	33314		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 7 BLK 10
514216014090	MIRON 2319 LLC	407 POINCIANA DR	HALLANDALE BEACH	FL	33009	6537	HOLLYWOOD LITTLE RANCHES 1-26 BLOT 8 BLK 10
514216014100	PAYNE,KURT E	2325 FILLMORE ST APT 3	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 9 LESS ST BLK 10
514216014110	PILCO,DORIS G	2230 TAYLOR ST APT 1	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 10 BLK 10
514216014120	LIZARRAGA,PAULINA ESTHEFANILIZARRAGA,MIGUEL ANGEL	527 N 24 AVE	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 12 N 50 OF S 105 BLK 10
514216014130	MAFELI INVESTMENTS LLCARLEN HOUSE	523 N 24 AVE	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 12 S 55 BLK 10
514216014140	2338 PIERCE STREET LAND TRWILSON,WINSTON TRSTEE	5846 S FLAMINGO RD #191	COOPER CITY	FL	33330		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 12 W 50 OF N 100 BLK 10
514216014150	SMITH,SHAWN DANIEL	2334 PIERCE ST	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 12 E 50 OF N 100 BLK 10



514216014160	MONSALVE,IRAIDA	9618 N MIAMI AVE	MIAMI SHORES	FL	33150		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 13 W1/2 BLK 10
514216014170	NOTHDURFT,KRISTIN MARIE	2326 PIERCE ST	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 13 E1/2 BLK 10
514216014180	HOSSAIN,MONIR	2322 PIERCE ST	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 14 W1/2 BLK 10
514216014190	BOOKER,ANGELA D LELOTT,LONDON	2316 PIERCE ST	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 14 LESS W 50 FT BLK 10
514216014200	JACKSON ARMS L L C	2421 HOLLYWOOD BLVD	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 15 BLK 10
514216014210	EVIA PROPERTIES LLC	596 REVERE AVE	LINWOOD	NJ	08221		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 16 E1/2 BLK 10
514216014220	EVIA PROPERTIES LLC	596 REVERE AVE	LINWOOD	NJ	08221		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 16 W1/2 BLK 10
514216014230	H&H ASSET HOLDINGS 7 LLC	2719 HOLLYWOOD BLVD	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 17,18 W 30 BLK 10
514216014240	OLIVERO,ANA RAQUEL GUERRA,ADALBERTO	2236 PIERCE ST	HOLLYWOOD	FL	33020		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 18 E 70 BLK 10
514216014250	ULTIMO FAM TRULTIMO,JOSEPH & MARY A TRSTES	11881 NW 27 CT	PLANTATION	FL	33323		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 19 BLK 10
514216014260	DECO INN INC	3401 SW 160 AVE #330	MIRAMAR	FL	33027		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 20 BLK 10 LESS BLDGS 426.1,426.2 & 426.3 PER SURVEYAKA: COMMON AREA
514216014261	DECO INN INC	3401 SW 160 AVE #330	MIRAMAR	FL	33027		HOLLYWOOD LITTLE RANCHES 1-26 BPOR OF LOT 20 BLK 10 DESC AS;COMM NW COR SAID LOT 20,S 39;E8 TO POB CONT E 24,S 15.70;E 5;S 26.50;W 5;S 30.10;E 5;S 26.50W 5;S 16.20;W 24;N 115 TO POB
514216014262	DECO INN INC	3401 SW 160 AVE #330	MIRAMAR	FL	33027		HOLLYWOOD LITTLE RANCHES 1-26 BPOR OF LOT 20 BLK 10 DESC AS:COMM NE COR SAID LOT 20,S 39;W8 TO POB S 115;W 24;N 16.20;W 5;N 26.50;E 5;N 30,W 5;N 26.50,E 5N 15.80,E 24 TO POB
514216014263	DECO INN INC	3401 SW 160 AVE #330	MIRAMAR	FL	33027		HOLLYWOOD LITTLE RANCHES 1-26 BPOR OF LOT 20 BLK 10 DESC AS:COMM NW COR SAID LOT 20,S 170.55E 8 TO POB S 24;E 84;N 24;W21.77,N 5;W 40.45;S 5;W 21.77 TOPOB
514216014270	RAYFIELD FAMILY LITERACY INC	7788 EMBASSY BLVD	MIRAMAR	FL	33023		HOLLYWOOD LITTLE RANCHES 1-26 BLOTS 21 BLK 10
514216014271	RAYFIELD FAMILY LITERACY INC	7788 EMBASSY BLVD	MIRAMAR	FL	33023		HOLLYWOOD LITTLE RANCHES 1-26 BLOT 22 BLK 10
514216220010	501 NORTH LLC	900 N FEDERAL HWY STE 203	HALLANDALE BEACH	FL	33009		JOHN H MAX SUB RESUB LOT 11BLK 10 HOLLYWOOD LITTLE RANCHES7-12 BLOT 1,2
514216220020	CARU 147 LLC	2049 S OCEAN DR #1203	HALLANDALE BEACH	FL	33009		JOHN H MAX SUB RESUB LOT 11BLK 10 HOLLYWOOD LITTLE RANCHES7-12 BLOT 3
514216220030	REID-WALLACE,LISA	511 N 24 AVE	HOLLYWOOD	FL	33020	4303	JOHN H MAX SUB RESUB LOT 11BLK 10 HOLLYWOOD LITTLE RANCHES7-12 BLOT 4
514216220040	ORTIZ,SAMUEL M JRORTIZ,SINEAD ALVES	2211 HARDING ST	HOLLYWOOD	FL	33020		JOHN H MAX SUB RESUB LOT 11BLK 10 HOLLYWOOD LITTLE RANCHES7-12 BLOT 5
514216230030	DUNNE,P J & BARBARA J	2247 LINCOLN ST	HOLLYWOOD	FL	33020	3900	FINLEYS RESUB LOTS 5 & 6 BLK 12HOLLYWOOD LITTLE RANCHES 12-8 BLOT 3
514216230031	TERRENCE V CANTRELL REV TRLYNN B CANTRELL REV TR	745 HARRRISON ST	HOLLYWOOD	FL	33019		FINLEYS RESUB LOTS 5 & 6 BLK 12HOLLYWOOD LITTLE RANCHES 12-8 BLOT 4
514216240080	PRESTON,KAREN ANDREA	2407 PIERCE ST	HOLLYWOOD	FL	33020	4309	OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 1 BLK 14
514216240090	BH HOLLYWOOD 26 LLC	4100 N 34 AVE	HOLLYWOOD	FL	33021		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 2,3 BLK 14



514216240100	ALBO INVESTMENTS LLC	2421 HOLLYWOOD BLVD	HOLLYWOOD	FL	33020		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 4 BLK 14
514216240150	THOMAS,ANDREW RICHARD	2401 FILLMORE ST	HOLLYWOOD	FL	33020		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 1 BLK 15
514216240160	FLEURIDOR,BAPTISTE	506 N 24 AVE	HOLLYWOOD	FL	33020	4304	OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 2 BLK 15
514216240170	EMMERSON,MARK D	510 N 24 AVE	HOLLYWOOD	FL	33020		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 3 BLK 15
514216240180	GORAYANOVA,SVETLANA	514 N 24 AVE	HOLLYWOOD	FL	33020		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 4 BLK 15
514216240190	GOLOVINOV,NIKOLAY	245 POINCIANA ISLAND DR	SUNNY ISLES BEACH	FL	33160		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 5 BLK 15
514216240200	GOLOVINOV,NIKOLAY	245 POINCIANA ISLAND DR	SUNNY ISLES BEACH	FL	33160		OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 6 BLK 15
514216240210	LOPEZ,MERY ROJAS & ELIESER	528 N 24 AVE	HOLLYWOOD	FL	33020	4304	OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 7 BLK 15
514216240220	EUGENIO FERRARI TR	7389 HIGH AVE	LA JOLLA	CA	92037	5210	OCEAN BREEZE GARDENS RESUBLOTS 1 & 30 IN BLKS 13 TO 16HOLLYWOOD LITTLE RANCHES 5-7 BLOT 8 BLK 15
514216410010	SCHOOL BOARD OF BROWARD COUNTYATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301	3125	LINCOLN PARK/ELEMENTARY SCHOOL C179-77 BPOR OF PAR A,DESC AS,HOLLYWOODLITTLE RANCHES 1-26B,LOTS 1 THRU8 & 19 THRU 21,22 W 1/2 BLK 11LESS A POR OF LOT 8 BLK 11,DESCAS BEG SW COR OF LOT 8,N 97.70ELY 44.21,E 13.19,S 93.46,W57.10 TO POB
514216410011	SCHOOL BOARD OF BROWARD COUNTYATTN:FACILITY MANAGEMENT	600 SE 3 AVE	FORT LAUDERDALE	FL	33301	3125	LINCOLN PARK/ELEMENTARY SCHOOL C179-77 BPOR OF PAR A,DESC AS,HOLLYWOODLITTLE RANCHES 1-26B,POR OF LOT8 BLK 11,DESC AS BEG SW COR OFLOT 8,N 97.70,ELY 44.21,E 13.19S 93.46,W 57.10 TO POBAKA:PAR LEASED TO THE CITY OFHOLLYWOOD
514216410012	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV	2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807	LINCOLN PARK/ELEMENTARY SCHOOL C179-77 BPOR OF PAR A,DESC AS,HOLLYWOODLITTLE RANCHES 1-26B POR OF LOTS9,10,13,14,15 & 16 TOG WITH ALLOF LOTS 17 & 18 BLK 11,DESC AS,COMM NW COR BLK 11,E 454.03 TOPOB,E 245.93,S 204.96,W 400.03S 107.30,WLY 333.22,ELY 30.01E 319.57,N 51.77 TO POB
514216410013	CITY OF HOLLYWOODDEPT OF COMMUNITY & ECONOMIC DEV	2600 HOLLYWOOD BLVD #206	HOLLYWOOD	FL	33020	4807	LINCOLN PARK/ELEMENTARY SCHOOL C179-77 BPOR OF PAR A,DESC AS,HOLLYWOODLITTLE RANCHES 1-26B LOTS 9 TO18 BLK 11,LESS A POR DESC AS,COMM NW COR BLK 11,E 454.03 TOPOB,E 245.93,S 204.96,W 400.03S 107.30,WLY 333.22,ELY 30.01E 319.57,N 51.77 TO POB,LESSR/W
514216410020	PUBLIC LAND % CITY OF HOLLYWOODOFFICE OF BUSINESS & INTL TRADE	2600 HOLLYWOOD BLVD #212	HOLLYWOOD	FL	33020	4807	LINCOLN PARK/ELEMENTARY SCHOOL C179-77 BR/W (DEDICATED BY PLAT)



514216AP0010	MEKHALIK,LARISA &MELCHANOV,SERGEY	2314 JOHNSON ST #1A	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 1 BLDG APER CDO BK/PG:41153/1999
514216AP0020	PAN,QUING HONT & AIZHEN GUAN	17109 SW 49 PL	MIRAMAR	FL	33027	4919	HOLLYWOOD PLACE CONDOMINIUMUNIT 2 BLDG APER CDO BK/PG:41153/1999
514216AP0030	BONCAMPER,DEVerson H/EBONCAMPER,MELVILLE DON	2314 JOHNSON ST # 3-A	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 3 BLDG APER CDO BK/PG:41153/1999
514216AP0040	JOHNSON STREET PROPERTIES I LLC	9595 HARDING AVE	SURFSIDE	FL	33154		HOLLYWOOD PLACE CONDOMINIUMUNIT 4 BLDG APER CDO BK/PG:41153/1999
514216AP0050	JOHNSON STREET PROPERTIES II LLC	9595 HARDING AVE	SURFSIDE	FL	33154		HOLLYWOOD PLACE CONDOMINIUMUNIT 5 BLDG APER CDO BK/PG:41153/1999
514216AP0060	CERULLO FAM TRCHURBA,KAMI TRSTEE	12161 NW 7 ST	PLANTATION	FL	33325		HOLLYWOOD PLACE CONDOMINIUMUNIT 6 BLDG APER CDO BK/PG:41153/1999
514216AP0070	MILLER,HARRY	4500 YPRES AVE #212	*WINDSOR ON	CA	N8W 5	X3	HOLLYWOOD PLACE CONDOMINIUMUNIT 7 BLDG APER CDO BK/PG:41153/1999
514216AP0080	THORNTON,JANET N LETHORNTON,BRIANA	2314 JOHNSON ST #8B	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 8 BLDG BPER CDO BK/PG:41153/1999
514216AP0090	RESI SFR SUB LLC%HAVENBROOK HOMES	3505 KOGER BLVD #400	DULUTH	GA	30096		HOLLYWOOD PLACE CONDOMINIUMUNIT 9 BLDG BPER CDO BK/PG:41153/1999
514216AP0100	JESP LIVING LLC	1020 GRAND CONCOURSE #8G	BRONX	NY	10451		HOLLYWOOD PLACE CONDOMINIUMUNIT 10 BLDG BPER CDO BK/PG:41153/1999
514216AP0110	VALENCIA,FLAVIA	2314 JOHNSON ST #11B	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 11 BLDG BPER CDO BK/PG:41153/1999
514216AP0120	OLMOS FAM REV TROLMOS,ANGELA PUERTO DE TRSTEEES	14154 CRESCENTA WAY	RCH CUCAMONGA	CA	91739	2122	HOLLYWOOD PLACE CONDOMINIUMUNIT 12 BLDG BPER CDO BK/PG:41153/1999
514216AP0130	PICHER,PIERRE	2314 JOHNSON ST # 13B	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 13 BLDG BPER CDO BK/PG:41153/1999
514216AP0140	COLONNA,MARK & SUZANNE R	2314 JOHNSON ST #14-B	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 14 BLDG BPER CDO BK/PG:41153/1999
514216AP0150	KELLEY,DAVID D & JANET	2314 JOHNSON ST #15-C	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 15 BLDG CPER CDO BK/PG:41153/1999
514216AP0160	POLANIA,BORIS HERMAN	19500 PRUNERIDGE AVE APT 2104	CUPERTINO	CA	95014	6706	HOLLYWOOD PLACE CONDOMINIUMUNIT 16 BLDG CPER CDO BK/PG:41153/1999
514216AP0170	TILVE,PABLO HERNAN%TERESITA MARCECA	1565 NE 118 TER	MIAMI	FL	33161	6921	HOLLYWOOD PLACE CONDOMINIUMUNIT 17 BLDG CPER CDO BK/PG:41153/1999
514216AP0180	SANTOS,DANIELLASANTOS,PEDRO	2314 JOHNSON ST #18C	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 18 BLDG CPER CDO BK/PG:41153/1999
514216AP0190	RODRIGUES,ROSEMARY CAPPRODRIGUES,CELSO LUIZ CALCADA	2314 JOHNSON ST #19-C	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 19 BLDG CPER CDO BK/PG:41153/1999
514216AP0200	LAI,RONALD K	70 ALMADOR	IRVINE	CA	92614		HOLLYWOOD PLACE CONDOMINIUMUNIT 20 BLDG CPER CDO BK/PG:41153/1999
514216AP0210	MARTIN,JESSICA H/EMARTIN,THOMAS	2314 JOHNSON ST #21-C	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 21 BLDG CPER CDO BK/PG:41153/1999
514216AP0220	POWER PACK 55 LLC% CARLOS J VILLANUEVA PA	2525 EMBASSY DR #16	COOPER CITY	FL	33026		HOLLYWOOD PLACE CONDOMINIUMUNIT 22 BLDG CPER CDO BK/PG:41153/1999
514216AP0230	DE JESUS,JANEL	2314 JOHNSON ST #23D	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 23 BLDG DPER CDO BK/PG:41153/1999
514216AP0240	BARNINGHAM,RICHARD F	2314 JOHNSON ST #24D	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 24 BLDG DPER CDO BK/PG:41153/1999
514216AP0250	CORDOVA,GLENDA IVELICE LIRA	2314 JOHNSON ST # 25D	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 25 BLDG DPER CDO BK/PG:41153/1999
514216AP0260	MIRANDA,VERONICA LEPEDRO,CLAUDIA & CURETON,C ETAL	2314 JOHNSON ST #26D	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 26 BLDG DPER CDO BK/PG:41153/1999
514216AP0270	GOSSY,DIANA P	3300 S. DIXIE HWY #1-264	WEST PALM BEACH	FL	33405		HOLLYWOOD PLACE CONDOMINIUMUNIT 27 BLDG EPER CDO BK/PG:41153/1999
514216AP0280	CHINN,SOPHEAP	2314 JOHNSON ST #28-E	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 28 BLDG EPER CDO BK/PG:41153/1999
514216AP0290	LOUIS,IMMACULA JEAN	2314 JOHNSON ST # 29E	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 29 BLDG EPER CDO BK/PG:41153/1999
514216AP0300	CUENCA,EVELYN BEATRIZZBOROWSKI,KRIS MARIUSZ	2314 JOHNSON ST #30E	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 30 BLDG EPER CDO BK/PG:41153/1999
514216AP0310	BUITRAGO,CRISTIAM B MONTROYAMOMOT,ALISA	2314 JOHNSON ST #31E	HOLLYWOOD	FL	33020		HOLLYWOOD PLACE CONDOMINIUMUNIT 31 BLDG EPER CDO BK/PG:41153/1999



514216GB0010	BURNS,DIANA	2336 FILLMORE ST	HOLLYWOOD	FL	33020		GEORGETOWN 4 CONDOUNIT 1A
514216GB0020	DIBENEDETTO,GAETANO & BRIDGET	2022 THOMAS ST	HOLLYWOOD	FL	33020		GEORGETOWN 4 CONDOUNIT 2A
514216GB0030	YOUNG,GLENN M LEYOUNG,JACQUELINE CASTIGLIONI	3508 W PARK RD	HOLLYWOOD	FL	33021		GEORGETOWN 4 CONDOUNIT 1B
514216GB0040	DIBENEDETTO,GUY & BRIDGET	2022 THOMAS ST	HOLLYWOOD	FL	33020		GEORGETOWN 4 CONDOUNIT 2B
514216GB0050	PROPTY MANAGEMENT CORP	4840 SW 58 AVE	DAVIE	FL	33314		GEORGETOWN 4 CONDOUNIT 1C
514216GB0060	786 HOLDING CORP	4840 SW 58 AVE	DAVIE	FL	33314		GEORGETOWN 4 CONDOUNIT 2C
514216GH0010	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 1APER CDO BK/PG: 8231/19
514216GH0020	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 2APER CDO BK/PG: 8231/19
514216GH0030	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 3BPER CDO BK/PG: 8231/19
514216GH0040	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 4BPER CDO BK/PG: 8231/19
514216GH0050	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 5BPER CDO BK/PG: 8231/19
514216GH0060	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 6BPER CDO BK/PG: 8231/19
514216GH0070	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 7BPER CDO BK/PG: 8231/19
514216GH0080	ACS 2237 LLC	2425 E COMMERCIAL BLVD STE 101	FORT LAUDERDALE	FL	33308		HOLLYWOOD PLACE CONDOMINIUMUNIT 8BPER CDO BK/PG: 8231/19
514216HD0010	CALDERON,ILEANA%VICTOR C GARLOCK	206 E STATE ST #2	BLACK MOUNTAIN	NC	28711		CORONET GLEN CONDOUNIT 1
514216HD0020	CALDERON,ILEANA	2245 FILLMORE ST UNIT 2	HOLLYWOOD	FL	33020	4465	CORONET GLEN CONDOUNIT 2
514216HD0030	OPEBIYI,YVONNE	405 GREENGROVE AVE	UNIONDALE	NY	11553	1818	CORONET GLEN CONDOUNIT 3
514216HD0040	MONTOYA,PATRICIA	2245 FILLMORE ST UNIT 4	HOLLYWOOD	FL	33020	4465	CORONET GLEN CONDOUNIT 4
514216HD0050	TCHIIK,ELENA & ALEXANDRE	1438 MADISON ST	HOLLYWOOD	FL	33020		CORONET GLEN CONDOUNIT 5
514216HD0060	PASSALACQUA,RAUL	12200 SW 52 PL	COOPER CITY	FL	33330		CORONET GLEN CONDOUNIT 6
514216HD0070	SUWAL,SUDHAN	2245 FILLMORE ST APT 7	HOLLYWOOD	FL	33020	4469	CORONET GLEN CONDOUNIT 7
514216HD0080	GUZMAN,ROSALINA	2245 FILLMORE ST UNIT 8	HOLLYWOOD	FL	33020		CORONET GLEN CONDOUNIT 8



Planning and Zoning  
20-DP-20

**PARKVIEW FLATS**  
2302 & 2306 PIERCE STREET  
HOLLYWOOD, FL 33020

*Public Participation Meeting I*

*Date*

*Time*



## Owner:

- Evia Properties LLC

## Owner's Representative:

- Jeffery Sporkin

## Architect:

- Kaller Architecture

## Civil:

- Zephyr Engineering

## Landscape:

- Mirrors of Paradise

# ABOUT US

*Project Team*



Parkview Flats is a four-story residential complex located at 2302 & 2306 Pierce Street in Hollywood. It is located directly south of Lincoln Park.

There are twenty-eight units total; twenty are one-bedroom with one bath and eight are two-bedroom with two baths. Amenities are located on the fourth floor. They include a roof deck with barbeque and a hot tub. There is also a gym/party room.

The Architectural design is modern yet whimsical.

# PROJECT

*Scope of Work*



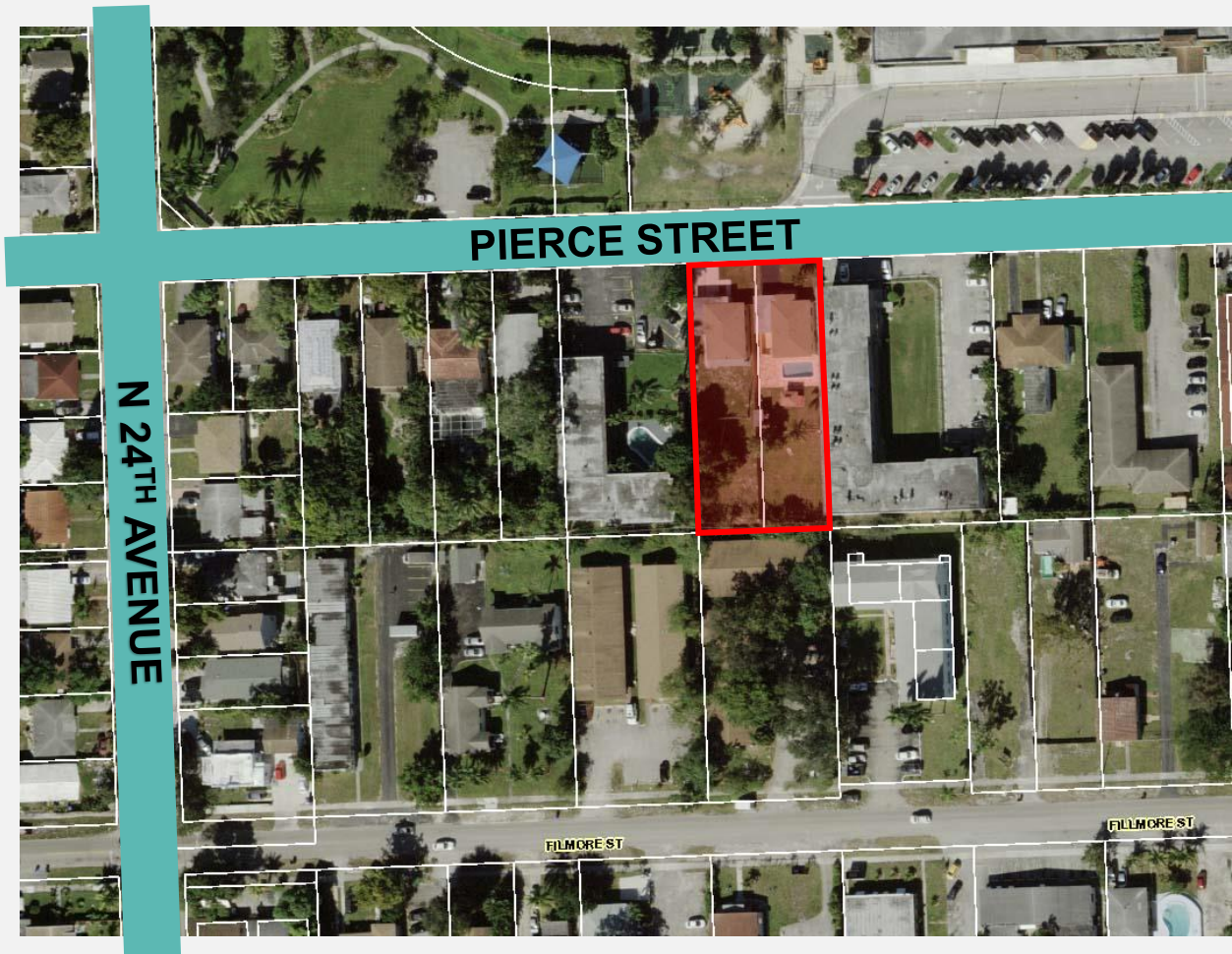


# PROJECT SITE LOCATION

*2302 and 2306 Pierce Street - Hollywood*



KallerArchitecture



## Site Information

- Address:  
2302 & 2306 Pierce Street  
Hollywood, FL 33020
- Zoning:  
DH-2
- Land-Use:  
Regional Activity Center  
(RAC)
- Site Area:  
20,500 Sq. ft.





The background of the slide is a dark, high-contrast architectural drawing. It features a site plan on the left with a circular feature and a rectangular area labeled '8'0"'. To the right is a floor plan with various rooms and labels including 'D/W', 'ST', 'CP', 'EP', and '10'0"'.

# SITE + FLOOR PLAN

## PROJECT INFORMATION



# SITE PLAN

Color Site plan



KallerArchitecture



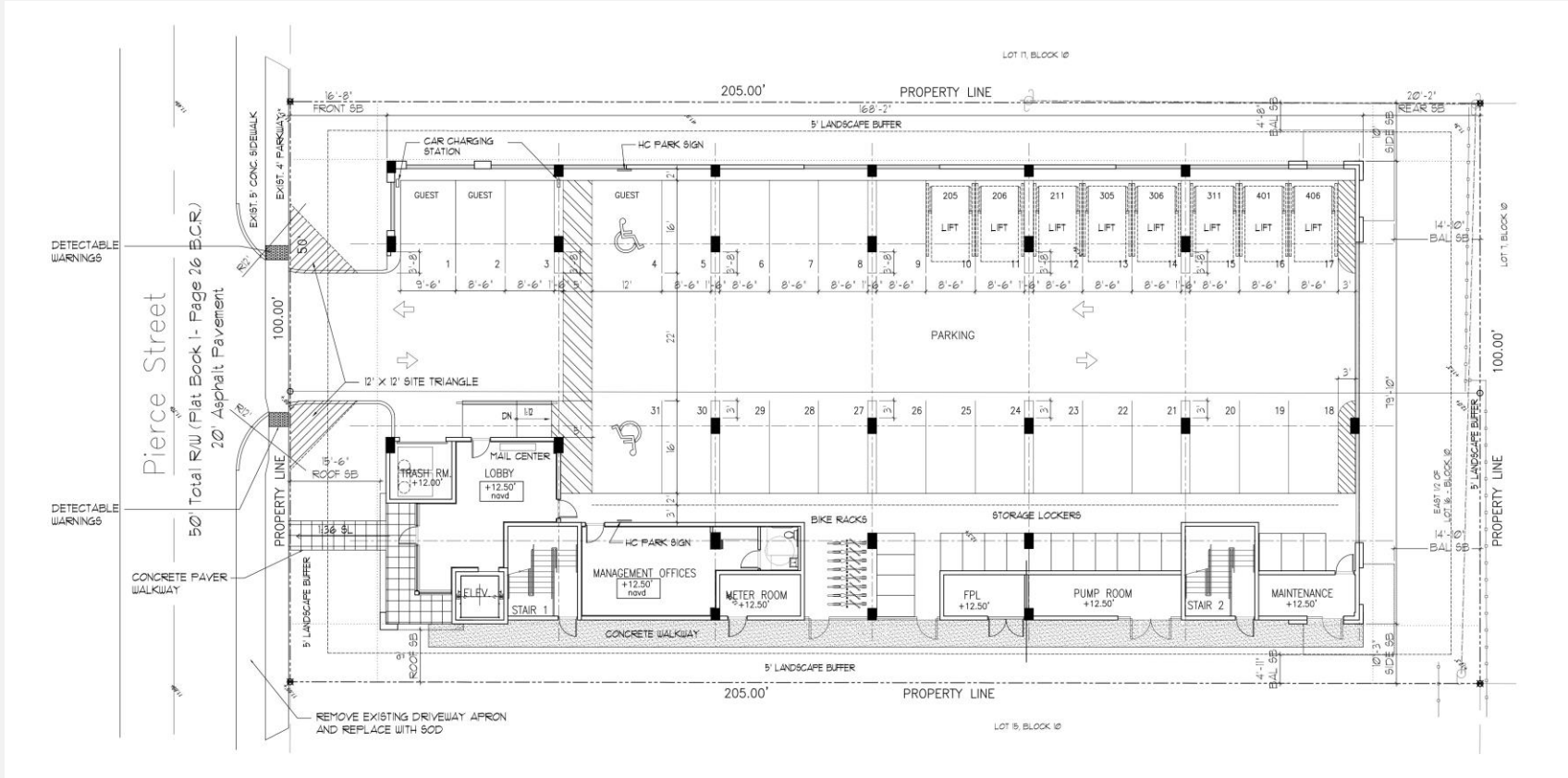


# FLOOR PLAN

## Ground Floor Plan



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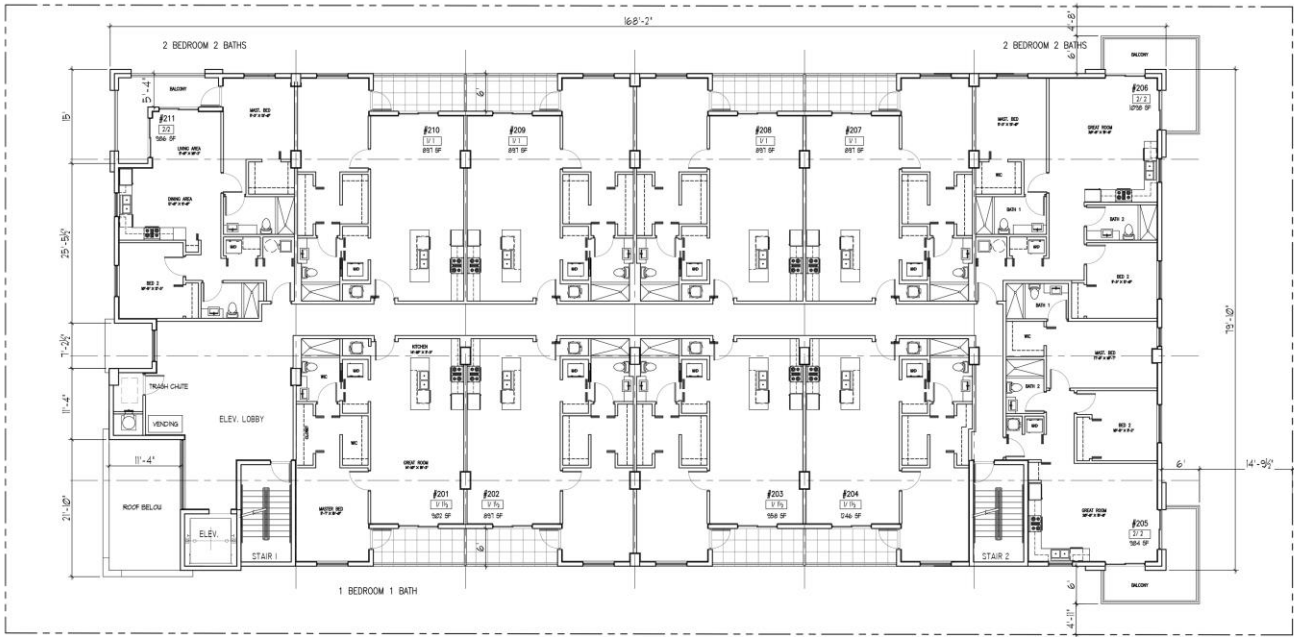


# FLOOR PLAN

2nd Floor Plan



KallerArchitecture



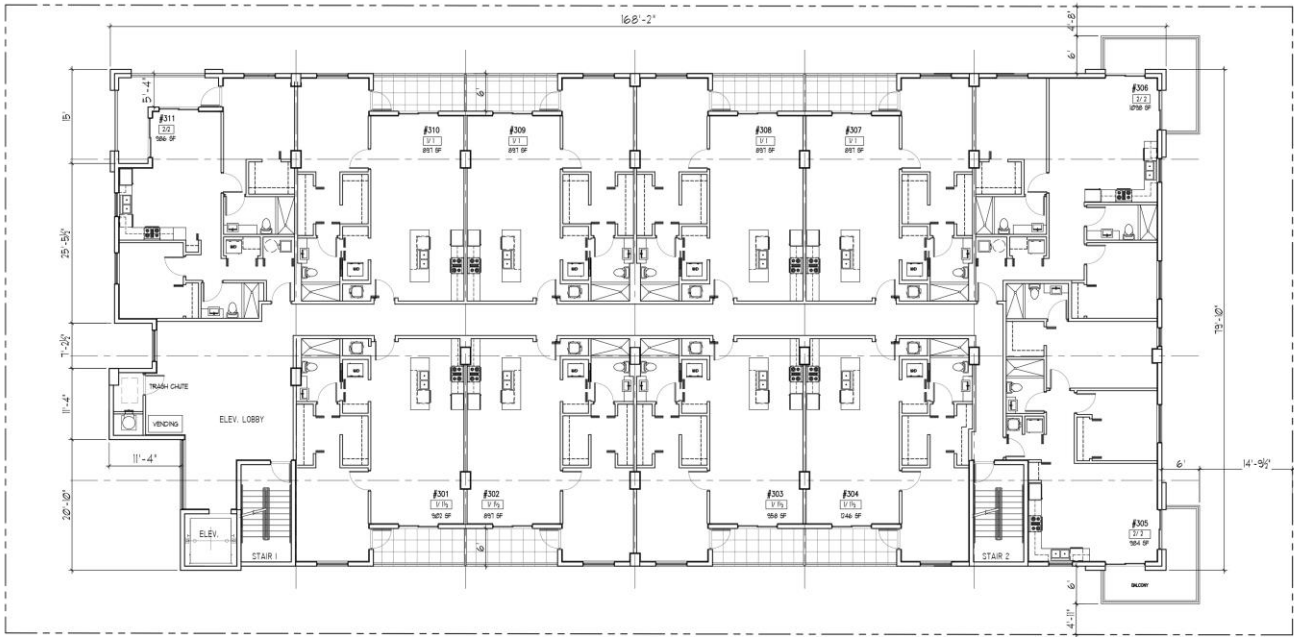


# FLOOR PLAN

3rd Floor Plan



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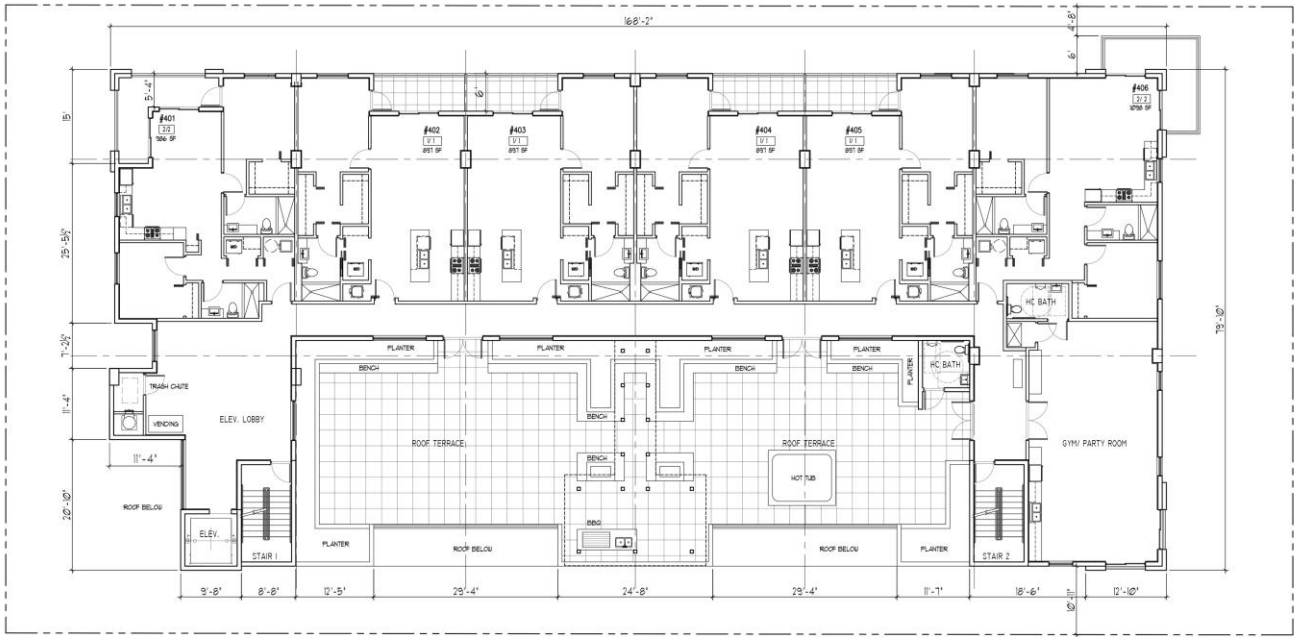


# FLOOR PLAN

4th Floor Plan



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The background is a dark, high-contrast architectural floor plan. It features various rooms and spaces outlined in white. Key elements include a circular dining table with four chairs in the top left, a kitchen area with a stove labeled 'ST' and a refrigerator labeled 'F' in the bottom left, and a bathroom with a toilet in the bottom center. Other labels like 'D/W' (door/window), 'CP' (cabinet), and 'EP' (entrance) are visible. Dimensions such as '8'0"' and '10'0"' are also present. The overall style is technical and minimalist.

# BUILDING ELEVATIONS



## *Building Elevations – North & West*





# ELEVATIONS

## *Building Elevations – South & East*



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SOUTH ELEVATION



EAST ELEVATION

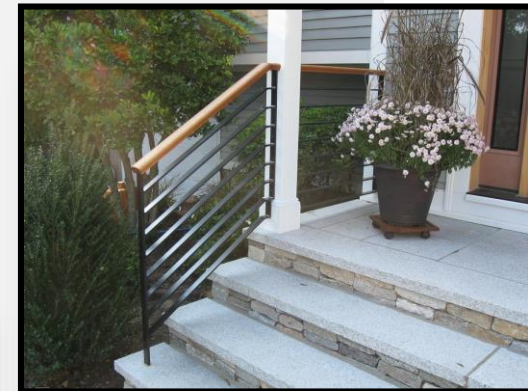
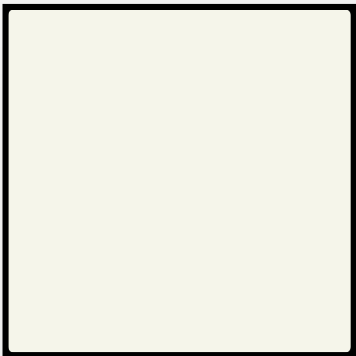


A dark, high-contrast architectural floor plan serves as the background. It features various room layouts, including a kitchen with a circular island, a living area with a sofa, and a bedroom. Dimensions like '8'0"' and '10'0"' are visible. Labels such as 'D/W', 'ST', 'F', 'CP', and 'EP' are scattered throughout the plan.

# RENDERINGS & INSPIRATION



# INSPIRATION IMAGES





# RENDERING



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# THANK YOU

Joseph B Kaller

*Kaller Architecture*

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