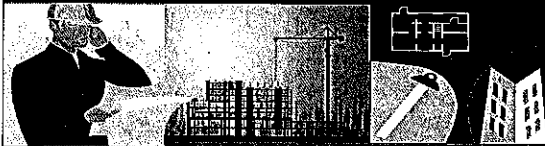


PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 6/15/2021

Location Address: 309 N. 21st Ave, 2031 Polk St, and 421 N 21st Ave Hollywood, Florida 33020

Lot(s): 1-7 of both block + 8-13 of 12 Block(s): 11 and 12 Subdivision: Plat Book 3 page 1

Folio Number(s): 514-215-011-950, 514-215-030-010, 514-215-030-080, & 514-215-000-010

Zoning Classification: GU Land Use Classification: Regional Activity Center

Existing Property Use: Community Center/School/Parking Sq Ft/Number of Units: 113,000 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): YES

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 216 Sq Ft: 326,569 SF

Value of Improvement: \$43,925,489 Estimated Date of Completion: Q3 2023

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: City of Hollywood

Address of Property Owner: 2600 Hollywood Blvd, Room 315, Hollywood FL 33022-9045

Telephone: (954) 921-3471 Fax: (954) 921-3347 Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Rodrigo Paredes

Address: 3225 Aviation Ave., 6th Floor Telephone: (786) 347-4549

Fax: _____ Email Address: rodrigop@htgf.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No ()

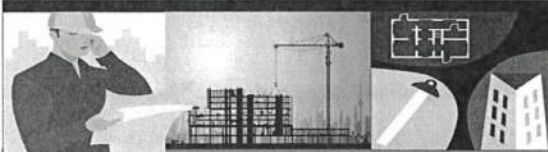
If Yes, Attach Copy of the Contract. Ground Lease with the City

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 6/16/21

PRINT NAME: _____

Date: 6/16/2021

Signature of Consultant/Representative: _____

Date: 6/4/2021

PRINT NAME: Rodrigo Paredes on behalf of University Station I, LLC.

Date: 6/4/2021

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for site plan / design to my property, which is hereby made by me or I am hereby authorizing Rodrigo Paredes to be my legal representative before the +AC (Board and/or Committee) relative to all matters concerning this application.

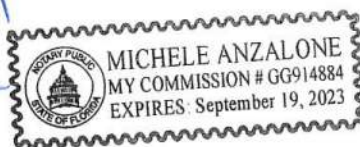
Sworn to and subscribed before me

this 17 day of June, 2021

Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Gustavo Zambrano
Print Name



A. APPLICATION SUBMITTAL

Alexandra Guerrero, Principal Planner (aguerrero@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

-To be provided by owner.

2. The site is located within 20,000 feet of Fort Lauderdale-Hollywood International Airport (FLL) it may be subject to Federal Aviation Regulation. Contact the Broward County Aviation Department.

-To be provided by owner.

3. Work with Engineering Division to ensure the O&E and survey are accurate and that all easements and dedications are indicated.

-Refer to civil

4. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Ensure that the application has not expired at the time of Board Consideration Website:

<https://www.browardschools.com/cms/lib/FL01803656/Centricity/Domain/13479/PublicSchoolImpactApplication1.pdf>

-To be provided by owner.

5. A public participation outreach meeting shall be required for Land Use, Rezoning, Special Exception, and Site Plan requests. Applicants shall conduct at least one public participation outreach meeting and provide mailed written notice to all property owners and certified/registered civic and neighborhood association(s) within 500 feet of the proposed project. Fifteen days prior to the meeting, the applicant shall mail such notice and post a sign on the property, including the date, time, and place of the public participation outreach meeting. Such meeting shall occur prior to the applicable Committee, Board or City Commission submittal and the Applicant shall include in its application packet a letter certifying the date(s), time(s), location(s), a copy of the sig-in sheet, presentation material and general summary of the discussion, including comments expressed during the meeting(s).

The following Civic Association are located within 500 feet project site.

a. Hollywood Lakes Civic Association, Inc

- b. Downtown Parkside Royal Poinciana Civic Association,
- c. Parkside Civic Association
- d. Highland Garden Civic Association
- To be provided by owner.

Visit <http://www.hollywoodfl.org/204/Neighborhood-Association-Contact-List> for Contact Information.

- 6. Sheet after sheet A-0.02 is not labeled and has incorrect label markers. Revise accordingly.
- Labels have been revised.

- 7. Revise the following on all plans illustrating garage levels:
 - a. Consecutively number each individual parking space in all plans and provide a parking count table on each sheet where parking is proposed.
 - Parking spaces have been numbered
 - b. Provide a separate Floor Plan for last level of parking garage illustrating the end of the ramp.
 - See sheet A-1.13

8. Site Data:

- a. Ensure that legal description matches Alta Survey and O&E exactly.
- Verified
- b. Total floor area of each type of unit/room including a breakdown of air-conditioned and non-air-conditioned space (balconies, garages, terraces, etc).
- Area has been provided @ A-1.03 to A-1.09 and A-5.00 to A-5.01
- c. Number of dwelling units/rooms in each building including the number of bedrooms/bathrooms for each unit type
- Provided in sheet A-1.00
- d. Total number of allowed and proposed dwelling units/rooms and density per acre (including calculation). Provide required and proposed minimum and average unit size.
- To be determined

- 9. Provide a demolition plan. If phasing is anticipated please specify.
- No phasing will be required.

10. Additional comments may be forthcoming.

11. Provide written responses to all comments with next submittal. Responses must be provided on the preparer's letterhead.

B. ZONING

Alexandra Guerrero, Principal Planner (aguerrero@hollywoodfl.org) 954-921-3471

- 1. Provide unit floor plans with next submittal; interior layout, doors, etc.
- See sheets A-5.00 to A-5.01

2. 25 percent of the total square footage of the paved Vehicular Use Area shall be landscaped. It shall not include required parking lot setbacks, buffers, or parking overhangs. Please show calculations.

-TBD

- a. Provide a break down calculation of pervious and impervious areas, including impervious surfaces, required landscape, setbacks, buffers, and parking overhangs.

-TBD

- b. Delineate, label, and dimension such areas on Site Plan and Landscape Plan.

-Refer to sheet A-1.00

3. Provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative.

-Providing a 6' high pool fence see A-1.00

4. Provide details of all regulatory signage and pavement markings. Work with the Engineering Division to ensure signage provided will adequately serve proposed circulation.

-Refer to Civil plans

5. The location of ADA parking spaces shall be indicated on Site Plan none currently shown.

-Spaces have been provided

6. Is outdoor seating area proposed for future retail/commercial space? If associated with restaurant use this area shall count towards parking requirement.

-No is for the plaza

7. Provide different material when pedestrian connection traverses vehicular areas. ADA requirements should also be considered.

-Refer to landscape plans

8. No column shall be within 3 feet of the entrance to a parking space, e.g. 7th floor. Illustrate compliance.

-Dimension provided showing 3' typ.

9. Will there be restricted access; e.g. gates?

-Yes location TBD

10. Work with the City's Landscape Architect to ensure that all landscape requirements are met.

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Guerrero, Principal Planner (aguerrero@hollywoodfl.org) 954-921-3471

1. Design is minimalistic, which would be appropriate as long as the workmanship and quality is suitable. Currently elevations need more detail (a-3.00A); mood images provide the right vision however the elevations, materials, etc. need more attention.

-Will take into consideration

2. Indicate how public transportation will be integrated into the site design; bus stop locations, travel routes, pedestrian accessibility, etc.

-Future train station will be part of the public transportation around site.

3. Consider providing a different material (e.g. pavers, stamped concrete) for the pedestrian walkways from the garage to the building proposed along 21st Ave.

-Refer to landscape plan, TBD

4. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations. Include note stating that all equipment shall be properly screened from public view.

-Note provided in sheet A-1.00

5. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

-Refer to Landscape plans

6. On sheet A-2.02 a vertical garden is called out. Is the intent for this to be a living wall? If faux material is intended provide an example of it currently being used elsewhere in addition to specifications for the material.

-Refer to sheet A-2.02 for artificial wall model and sample

7. Provide detail of the aluminum cladding system proposed for the garage. Light spillage from vehicles is a concern, ensure headlights are not visible.

-TBD

D. SIGNAGE

Alexandra Guerrero, Principal Planner (aguerrero@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided.

-Owner

2. Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

-Owner

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

-Owner

E. LIGHTING

Alexandra Guerrero, Principal Planner (aguerrero@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed).

-Note was added to sheet A-1.00

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Alexandra Guerrero, Principal Planner (aguerrero@hollywoodfl.org) 954-921-3471

1. As per the City of Hollywood's green building ordinance in Chapter 151, the project will require a third party green building certification since it has more than 20,000 square feet of total floor area. USGBC's LEED certification or Florida Green Building Coalition certification are the

minimum standards. Include a note on the site plan specifying which third party certifier will be used. (See 151.150-151.160)

2. Indicate on the site plan where the infrastructure necessary for future installation of electric vehicle-charging equipment will be located for each building. (See 151.154, Ordinance O-2016-02) Try to place it adjacent to handicapped spaces so that it will be accessible from both types of spaces.

-Provided in garage floor plans Sheets A-1.10 – A-1.13

3. The City of Hollywood Commission adopted a goal in 2017 to reduce carbon emissions city-wide by 2% per year from its baseline of 1.3 million metric tons in 2014 to reach an 80% reduction by 2050. To that effort, Staff recommends either of the following options:

- a. the installation of a true Green Roof, as approved by applicable divisions; or
-Green sports field provided at top of Garage struct.

- b. the installation of solar panels.
TBD

3. Ensure the outdoor dumpster enclosures and the trash rooms also accommodate recycling bins. Label them on the site plan.

Recycling bins have been identified in both trash rooms A-1.00

5. Recycle materials from demolition and construction to the greatest extent possible. These materials constitute part of Florida's 2020 recycling goal.

6. Make recycling as easy as possible for occupants. Include space for recycling collection wherever trash receptacles are provided in common areas on each floor.

-Designated space has been provided on all floors both buildings

7. Use sustainable building materials and low VOC materials.

G. ENGINEERING

Azita Behmardi, City Engineer (abehmardi@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

Jose Garcia, Engineer, (jgarcia@hollywoodfl.org) 954-921-3900

Martha McNicholas, Senior Project Manager (mmcnicolas@hollywoodfl.org) 954-921-3900

Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. No comments received.

H. LANDSCAPING

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. Provide official tree survey signed and sealed by surveyor not older than 6 months for existing trees on site including swale trees on a separate table include: location, species, estimated ht./spread, and /DBH diameter of trunks in inches. Provide tree survey is older than 6 months provide new revised survey.

-Tree survey Provided

2. Provide a Tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. --Provide tabular data chart on plan that identifies City of Hollywood landscape requirements and how they are being met for Perimeter landscape, Species diversity requirements, Interior landscape for at grade parking lots and vehicular use areas, open space, view triangle, overhead and underground utilities, Center line , monument line, lot dimensions, and adjacent street names and shall comply with all planning and development board and historic preservation board individual requirements when applicable. Landscape plan should comply with all the requirements according to City of Hollywood Landscape manual, chapter 155.52, Article 9 LDR. Landscape plan set to include and clarify what is been provided as per city code requirements for landscape for project type. Landscape plans submitted shall clearly define which trees have been provided as required in terms of amount of inches of DBH for hardwood trees proposed to be removed and trees required to be planted per landscape code per zoning district. Palms to be mitigated at 1:1. All trees and palms provided should meet City of Hollywood minimum height or DBH requirements at planting. If any trees are to be remain in close proximity to building construction activities to be clearly shown on plans with tree protection barriers with standard CRZ protection of a minimum of one (1) foot of radius per inch of tree trunk diameter. AS per submitted L1 Revise RAC code requirements to reflect correct calculations for street tree 1/30lf not 1/50lf

-Refer to Landscape plans

3. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

-Refer to Landscape plans

4. Additional comments may be forthcoming at Building permit submittal.

According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual. Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species should be used for mitigation or code: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarkia, Sable, Carpentaria, Washingtonian, Chinese Fan Palm and Coconut. Minimum height requirements for all palms at planting is 8' of CT.

No tree removals without a tree removal sub- permit. Supplemental arborist report might be required as needed to approve any tree removal permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal.

Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org

I. UTILITIES

Alicia Vereas-Feria, Engineer (averea-feria@hollywoodfl.org) 954-921-3302

1. Submit civil engineering plans indicating existing and proposed water, sewer and drainage for initial review.

-Refer to Civil plans

2. Show Water and Sewer demand calculations on proposed utilities plans.

-Refer to Civil plans

3. Clarify how the fire line will be serviced for this property.

-Refer to Civil plans

4. A new cleanout shall be installed at the property line if an existing sewer lateral is field verified.

-Refer to Civil plans

5. Include the City's latest applicable standard water and sewer details. The details can be requested from Mike Zaske via email at mzaske@hollywoodfl.org.

-Refer to Civil plans

6. Show existing City utilities within the right-of-way. A utility atlas can be requested from Mike Zaske via email at mzaske@hollywoodfl.org.

-Refer to Civil plans

7. This site resides currently within FEMA Flood Zone X. The Finished Floor Elevations (FFE) must conform with section 154.50 of the City's Code of Ordinances where the minimum FFE for residential shall be, at a minimum, 18-inches above the elevation of the crown of the adjacent road for residential and 6-inches for commercial.

-FFE has been provided in all buildings

8. Indicate FFE for all enclosed areas on the ground floor.

-FFE has been provided in all buildings

9. All elevations must reference North American Vertical Datum (NAVD) 1988, not NGVD 1929.

-NAVD is being used

10. Provide perimeter cross sections across all property limits including transition areas meeting adjacent property grades.

-Cross sections provided on A-4.00 series

10. Ensure all stormwater is retained onsite.

-Refer to Civil Plans

11. Indicate how roof drainage will be collected and connected to the on-site drainage system.

-TBD

13. Provide preliminary drainage calculations.

-TBD

14. Permit approval from outside agencies will be required.

-Owner

15. Landscape plans to be submitted should coordinate with civil plans to accommodate for drainage features.

-Landscape plans will be provided

16. Additional comments may follow upon further review of requested items.

J. BUILDING

Russell Long, Assistant Building Official (rlong@hollywoodfl.org) 954-921-3490

Daniel Quintana, Electrical Plans Examiner/Inspector (dquintana@hollywoodfl.org) 954-921-3335

1. Application is substantially compliant.

K. FIRE Jorge Castano, Deputy Fire Marshal / Battalion Chief (jcastano@hollywoodfl.org) 954-967-4404
Fire review for TAC is limited to fire department access and minimum fire flow requirements for water supply for firefighting purposes. A complete architectural review will be completed during formal application of architectural plans to the building department.

1. Water supply must meet NFPA 1, 18.4.5.3. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921- 3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2 showing that the project meets the minimum fire flow requirements for the building.
-Refer to Civil plans
2. At time of submittal civil drawings must be provided for the underground fire main. Providing location of fire department connection, fire hydrants, DDCV, and size of fire line from water supply, etc. Check with our water department engineer for city requirements in addition to fire. Ensure plans that there is a fire hydrant within 100 feet of fire department connections.
-Refer to Civil plans

3. Provide a note on civil drawing all underground fire main work must be completed by fire protection contractor holding a Class I, II, or V license per FS 633.102.

-Refer to Civil plans

4. When submitting plans, they must show fire department access roads along with the required turning radius. Show on a plan, fire dept. access around and to the building. The minimum width for FD access roads is 20' unobstructed per NFPA 1:18. 2.3.5.1.1, per 18.2.3.5.1.2, fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft. 6 in. (4.1 m) and per 18.2.3.5.3.1, the turning radius for fire trucks access: 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior.

-Refer to Civil plans

5. Be advised that NFPA 1 (2018 edition) Chapter 11.10.1 requires that minimum radio signal strength for fire department communications be maintained at a level determined by the AHJ for all new and existing buildings including complying with NFPA 72 (2016 edition). BDA system may be required.

6. Per NFPA 1, 12.3.2* a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the registered design professional responsible for design. Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.2. Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. Provide a note on the plan regarding NFPA 1, 12.3.2*.

L. PUBLIC WORKS

Charles Lassiter, Assistant Public Works Director (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Applicant shall submit park impact fee application.

N. COMMUNITY DEVELOPMENT

Liliana Beltran, Housing inspector (lbeltran@hollywoodfl.org) 954-921-2923

1. No comments received.

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. What is the estimated number of new jobs associated with this proposed project?
2. What are anticipated types of retail establishments for the commercial spaces?

P. POLICE DEPARTMENT

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. No comments received.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

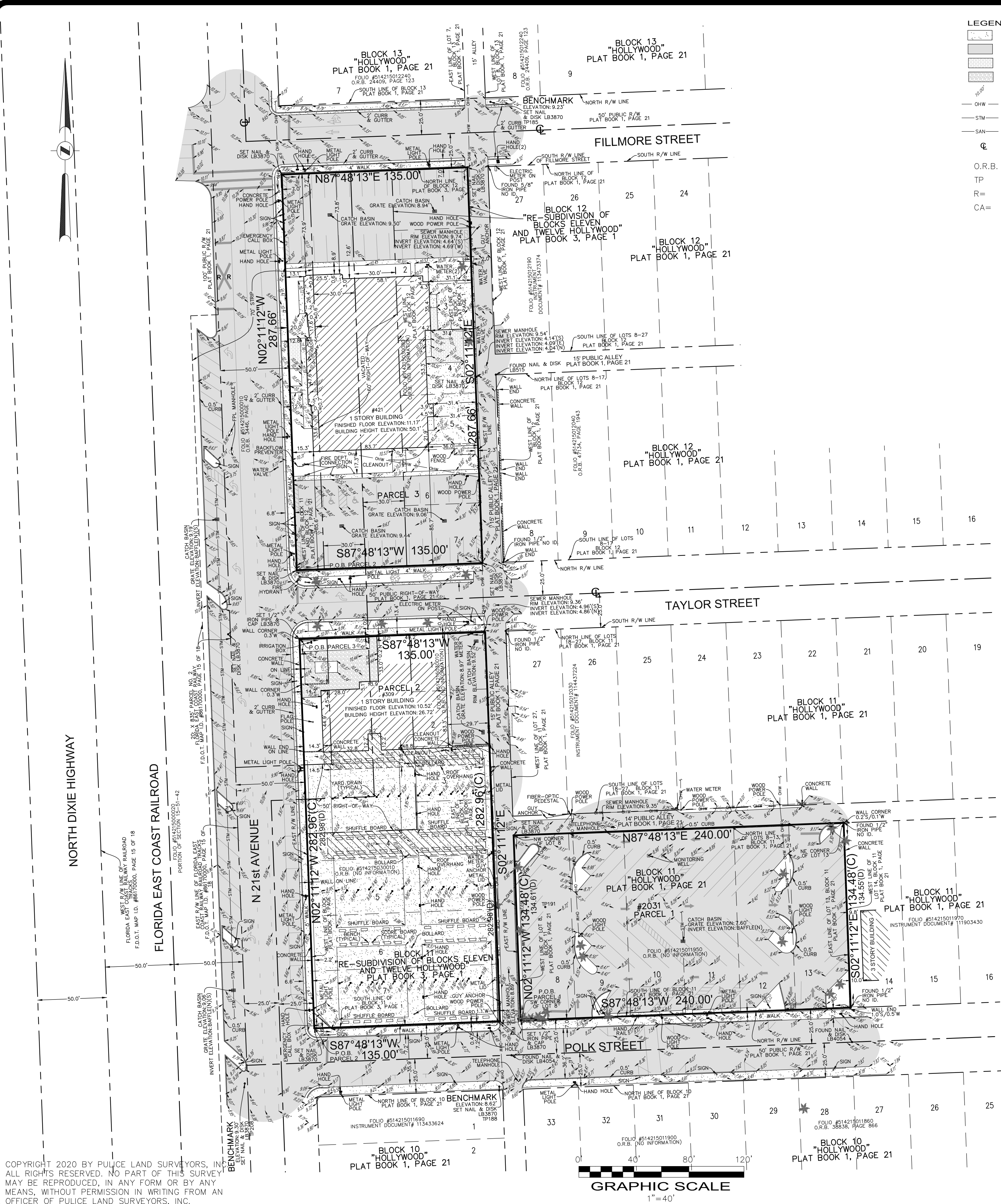
1. Coordinate the streetscape and design guidelines such as but not limited to hardscape, landscape, lighting, site furnisher, etc. along the public ROW with the CRA.

R. PARKING

Hal King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

Jovan Douglas, Parking Operations Manager (jdouglas@hollywoodfl.org) 954-921-3548

1. Application is substantially compliant.



LEGAL DESCRIPTION:

PARCEL 1:
POLK STREET PARKING LOT:
BEING ALL OF LOTS 8, 9, 10, 11, 12 AND 13, BLOCK 11, "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 8, BLOCK 11, BEING A POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET WITH THE EAST LINE OF A 15 FOOT ALLEY AND THE WEST LINE OF SAID LOT 8;

THENCE NORTHERLY ALONG SAID WEST LINE OF SAID LOT 8, A DISTANCE OF 134.61 FEET TO THE NORTHWEST CORNER OF SAID LOT 8, BEING A POINT OF INTERSECTION OF SAID EAST LINE OF A 15 FOOT ALLEY WITH THE SOUTH LINE OF A 14 FOOT ALLEY;

THENCE EASTERLY ALONG THE NORTH LINE OF LOTS 8 THROUGH 13, AND SAID SOUTH LINE OF SAID 14 FOOT ALLEY, A DISTANCE OF 240.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 13, BLOCK 11;

THENCE SOUTHERLY, ALONG THE EAST LINE OF SAID LOT 13, A DISTANCE OF 134.55 TO A POINT OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET;

THENCE WESTERLY, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 240.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8 AND THE POINT OF BEGINNING.

SAID LANDS SITUATED, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PARCEL 2:

SHUFFLEBOARD PARK:

BEING THAT PORTION OF BLOCK 11 AND PUBLIC RIGHT-OF-WAY ADJACENT THERETO, "RE-SUBDIVISION OF BLOCKS ELEVEN AND TWELVE HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET WITH THE EAST RIGHT-OF-WAY LINE OF NORTH 21ST AVENUE, BEING A LINE FIFTY (50) FEET EAST OF, AND PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE F.E.C. RAILROAD; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND THE NORTHERLY EXTENSION OF THE MOST WESTERLY LINE OF SAID BLOCK 11, A DISTANCE OF 282.98 FEET TO A POINT OF INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF TAYLOR STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 15 FOOT-WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 282.98 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF POLK STREET; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PARCEL 3:

OLD FIRE STATION (BARRY UNIVERSITY):

BEING THAT PORTION OF BLOCK 12 AND PUBLIC RIGHT-OF-WAY ADJACENT THERETO, "RE-SUBDIVISION OF BLOCKS ELEVEN AND TWELVE HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF TAYLOR STREET WITH THE EAST RIGHT-OF-WAY LINE OF NORTH 21ST AVENUE, BEING A LINE 50 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE F.E.C. RAILROAD;

THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND THE NORTHERLY EXTENSION OF THE MOST WESTERLY LINE OF BLOCK 11 OF SAID PLAT, A DISTANCE OF 287.66 FEET TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF FILLMORE STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 15 FOOT-WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 287.66 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF TAYLOR STREET; THENCE WESTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.

NOTES:

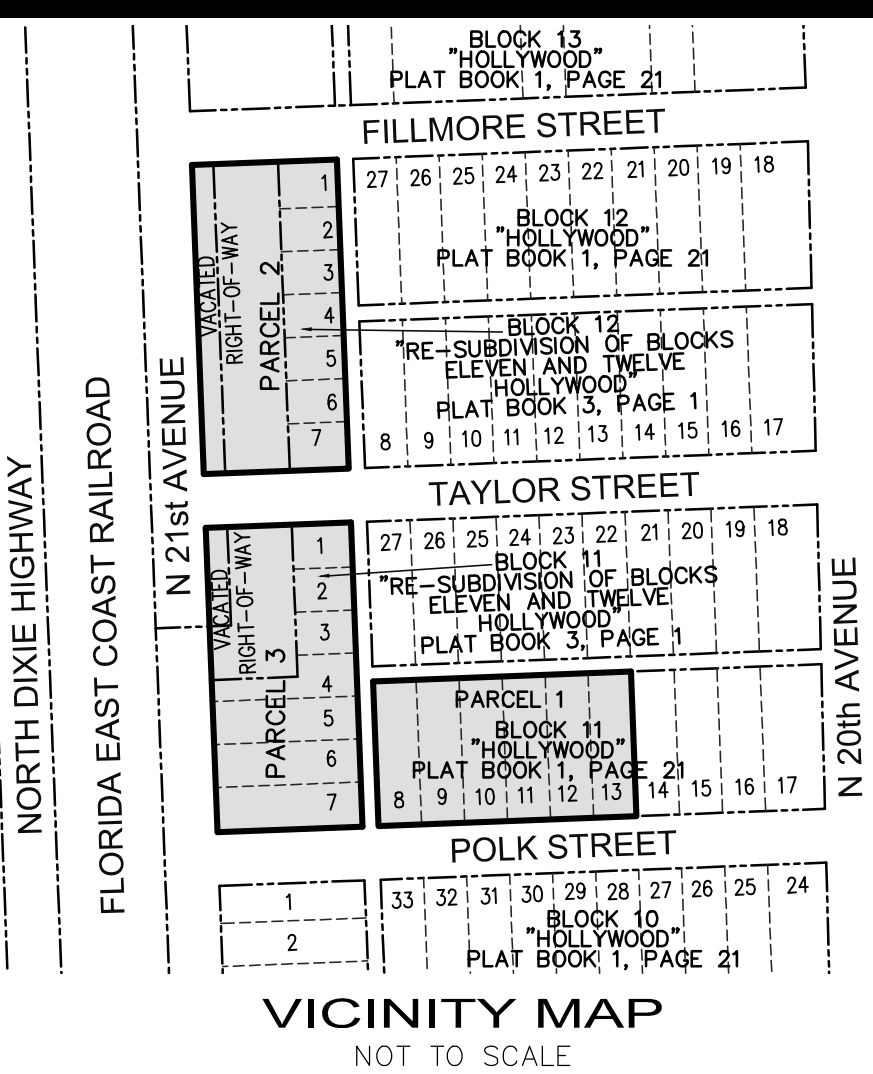
- THIS SITE CONTAINS 109,308 SQUARE FEET (2.5094 ACRES) MORE OR LESS.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #P239; ELEVATION: 9.07 FEET.
- FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #12011C0569H; COMMUNITY #125113; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 15, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON AN ASSUMED MERIDIAN WITH THE EAST LINE OF THAT 15 FOOT WIDE ALLEY GOING THROUGH BLOCKS 11 AND 12 BEING S02°11'12"E.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- THIS SITE CONTAINS 124 TOTAL PARKING SPACES (117 REGULAR & 7 DISABLED).
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A COMMITMENT FOR TITLE INSURANCE, ORDER NO. 8439601, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE 10/16/2020 AT 11:00 PM; REVISION NO. 2 ON 10/21/2020. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B SECTION II OF SAID COMMITMENT:
 - ITEMS 1, 2, 3 & 4: STANDARD EXCEPTIONS NOT ADDRESSED.
 - ITEM 5: NOT ADDRESSED.
 - AND ORDER NO. 89133324, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE 10/16/2020 AT 11:00 P.M. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B SECTION II OF SAID COMMITMENT:
 - ITEMS 1, 2, 3, 4 & 5: STANDARD EXCEPTIONS NOT ADDRESSED.
 - ITEM 6: NOT ADDRESSED.
- ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS.

CERTIFICATION:

TO FIDELITY NATIONAL TITLE INSURANCE COMPANY; HOUSING TRUST GROUP, LLC, A FLORIDA LIMITED LIABILITY COMPANY; STEARNS WEAVER MILLER WEISSLER ALHADEFF & SITTERSON, P.A.:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b), 8, 9 & 11 OF TABLE A THEREOF.

- ☐ JOHN F. POLICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
☐ DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290
STATE OF FLORIDA



5		
4		
3		
2		
1		
NO.	REVISIONS	BY

UNIVERSITY STATION		
309 & 421 NORTH 21ST AVENUE & 2031 POLK STREET		
HOLLYWOOD, BROWARD COUNTY,		
FLORIDA 33020		

BOUNDARY AND TOPOGRAPHIC SURVEY		
ALTA/NSPS LAND TITLE SURVEY		

POLICE LAND SURVEYORS, INC.		
5381 NOB HILL ROAD		
SUNRISE, FLORIDA 33351		
TELEPHONE: (954) 572-1777		
FAX: (954) 572-1778		
E-MAIL: surveys@policeandsurveyors.com		
WEBSITE: www.policeandsurveyors.com		
CERTIFICATE OF AUTHORIZATION LB#3870		

DRAWN BY: L.H.	SCALE: 1" = 40'	FILE: HOUSING TRUST GROUP
CHECKED BY: J.F.P.	SURVEY DATE: 9/24/20	ORDER NO.: 67604



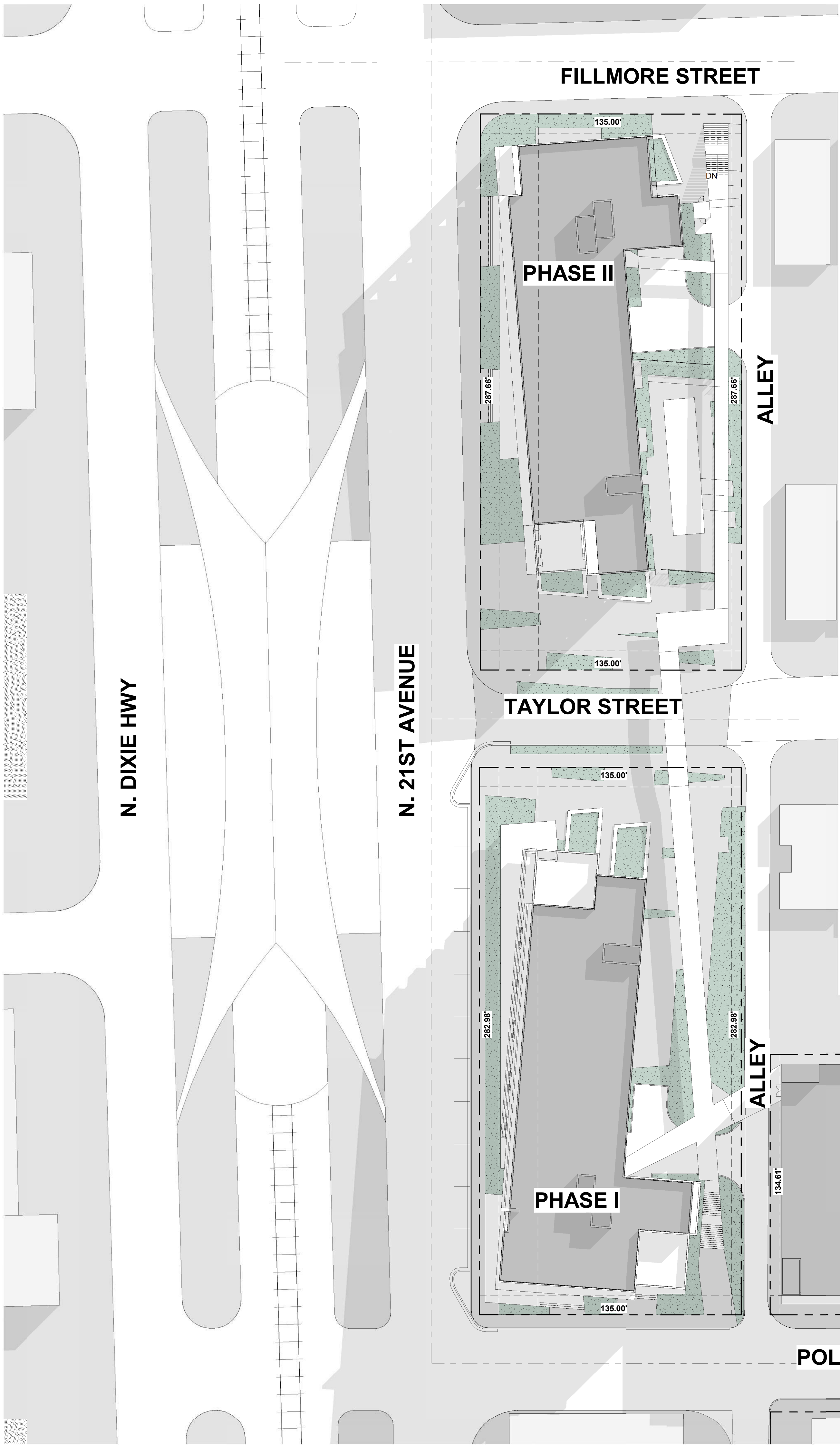
HTG Housing Trust Group
3225 AVIATION AVE. STE 602
MIAMI, FL 33133

University Station

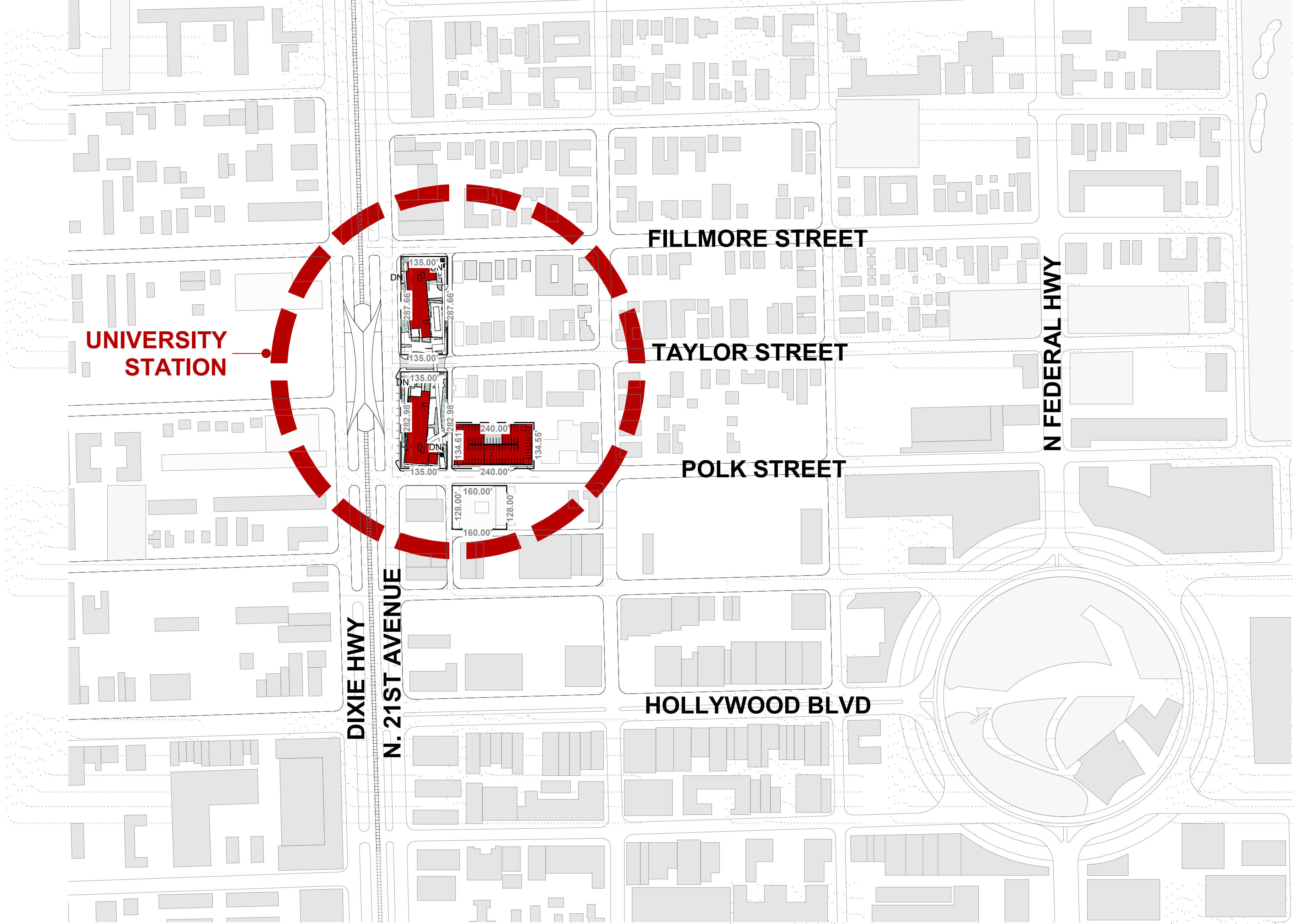
2030 Polk St
Hollywood, FL 33020
8/20/2021



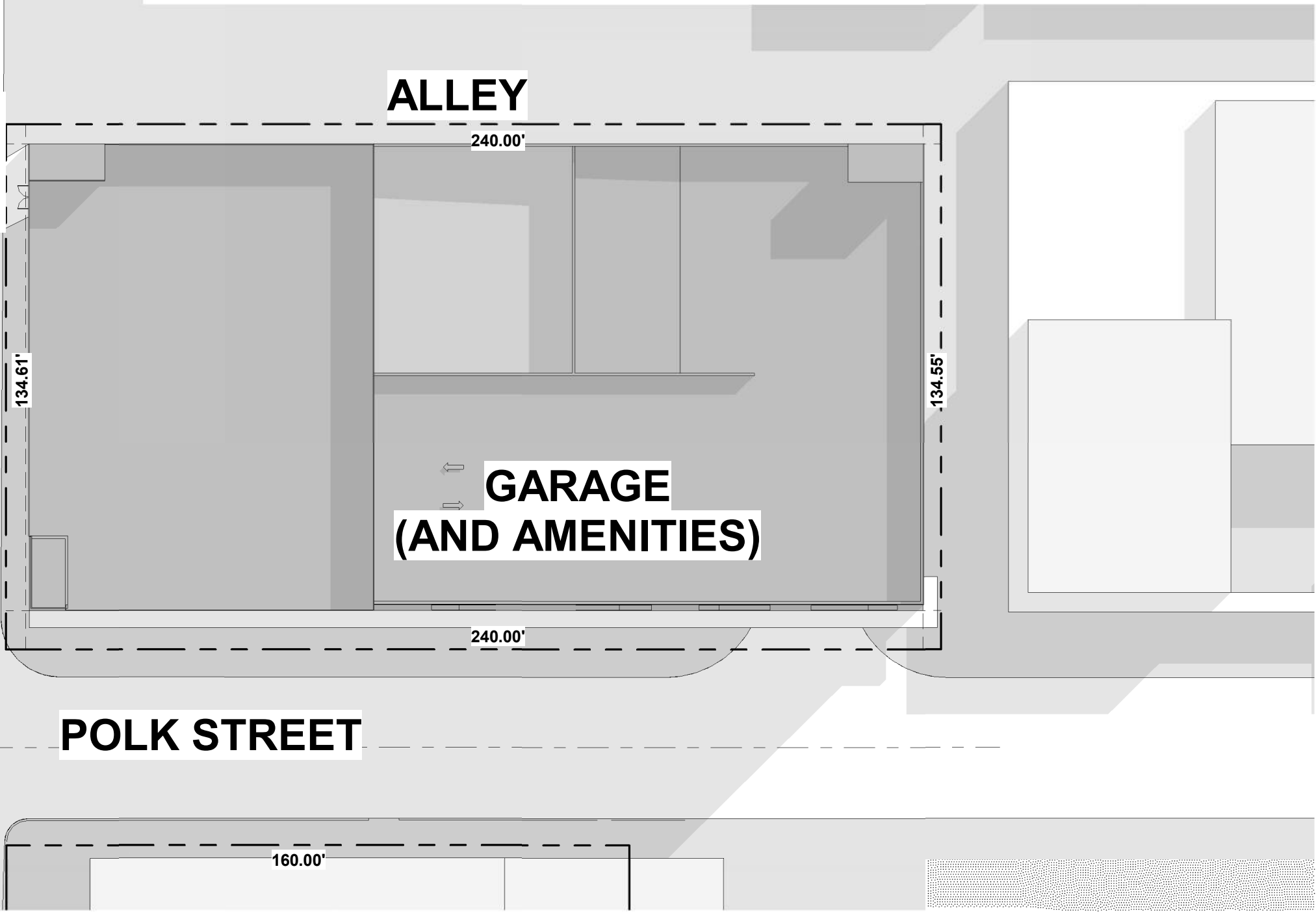
CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383



KEY PLAN
SCALE: 1/32" = 1'-0"



LOCATION PLAN
SCALE: 1" = 200'-0"



ZONING DATA SHEET		
MIX-USE MULTI-FAMILY RESIDENTIAL		
FUTURE LAND USE DESIGNATION	REGIONAL ACTIVITY CENTER	
CURRENT LAND USE	COMMERCIAL	
ZONING DISTRICT	RAC	
CORE DISTRICT	DH-3 DIXIE HWY HIGH INTENSITY MIXED-USE DISTRICT	
TOTAL LOT AREA	109,308 S.F. (2.5094 ACRES)	
RESIDENTIAL UNITS	PHASE I = 108 UNITS PHASE II = 108 UNITS	
BUILDING HEIGHT	ALLOWED 10 STORIES 140 FT.	PROVIDED Phase I & II 8 story 71'-8" Parking 8 story 68'-8"
BUILDING SETBACK	REQUIRED 10 FT.	PROVIDED 10'-0" TO 55'-11"
ALL FRONTAGES	0 FT.	N/A
SIDE INTERIOR	5 FT.	5'-0" TO 48'-10"
ALLEY		
FAR	ALLOWED 3.0 MAX (327,927 SF)	PROVIDED 1.80 (196,641 SF)
OPEN SPACE AREA	REQUIRED N/A	PROVIDED 53,407 S.F.
OPEN SPACE AT GRADE	25% OF OPEN SPACE TO BE VEGETATED	13,352 S.F. (35%)
PARKING	REQUIRED 324	PROVIDED 324
1 SPACE PER UNIT	216 X 1.5 = 324	22
VISITOR 10 SPACES PER UNIT	216/10 = 22	12
COMMERCIAL (RETAIL) 3 SPACES/1000 SF	12	80
PUBLIC PARKING SPACES	80	20
BARRY UNIVERSITY SPACES	20	112
ADDITIONAL SPACES		
TOTAL PARKING SPACES	458	570
HANDICAP SPACES 2% OF TOTAL	9	12 (INCLUDED IN TOTAL)
1 VAN ACCESSIBLE STALL FOR EVERY 6 ACCESSIBLE PARKING PROVIDED.	2	2 AT GROUND LEVEL (INCLUDED IN ACCESSIBLE PARKING PROVIDED)
LOADING SPACES 1-50 UNITS 1 SPACE + 1 SPACE PER 100 UNIT	2	2
BICYCLE STORAGE		
TOTAL BIKES REQUIRED 1/10 UNITS	22	22 SPACES
LEGAL DESCRIPTION		
PARCEL 1: POLK STREET PARKING LOT, BEING A LOT 10 & 11, 12 AND 13, BLOCK 11, "HOLLYWOOD," ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 11; BEING A POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET WITH THE EAST LINE OF A 16-FOOT ALLEY AND THE WEST LINE OF SAID LOT 11; THENCE NORTHERLY ALONG SAID WEST LINE OF SAID LOT 11 A DISTANCE OF 146.51 FEET TO THE NORTHWEST CORNER OF SAID LOT 11; BEING A POINT OF INTERSECTION OF SAID EAST LINE OF A 16-FOOT ALLEY WITH THE SOUTHWEST CORNER OF SAID LOT 11; THENCE EASTERLY ALONG THE NORTH LINE OF LOTS 8 THROUGH 13, AND SAID SOUTH LINE OF SAID 14 FOOT ALLEY, A DISTANCE OF 240.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 13, BLOCK 11; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 13 A DISTANCE OF 134.55 FEET TO THE NORTHWEST CORNER OF THE MOST WESTERLY EXTENSION OF THE MOST WESTERLY LINE OF SAID BLOCK 11, A DISTANCE OF 20.00 FEET TO A POINT OF INTERSECTION OF THE SOUTHWEST CORNER OF SAID LOT 13 WITH THE NORTH LINE OF POLK STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 15.00 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 16-FOOT WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 382.00 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF POLK STREET; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 18.15 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.		
PARCEL 2: SHUTTLEMAN PARK, BEING THAT PORTION OF BLOCK 11 AND PUBLIC RIGHT-OF-WAY ADJACENT THERETO, "THE SUBDIVISION OF BLOCKS ELEVEN AND TWELVE HOLLYWOOD," ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET WITH THE EAST RIGHT-OF-WAY LINE OF NORTH 21ST AVENUE; BEING A LINE 877.00 FEET EAST-OF AND PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE F.E.C. RAILROAD; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND THE NORTHERLY EXTENSION OF THE MOST WESTERLY LINE OF SAID BLOCK 11, A DISTANCE OF 20.00 FEET TO A POINT OF INTERSECTION OF THE SOUTHWEST CORNER OF SAID LOT 13 WITH THE NORTH LINE OF POLK STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 15.00 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 16-FOOT WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 382.00 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF POLK STREET; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 18.15 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.		
PARCEL 3: CITY OF MIAMI STATION (BARRY UNIVERSITY), BEING THAT PORTION OF BLOCK 12 AND PUBLIC RIGHT-OF-WAY ADJACENT THERETO, "THE SUBDIVISION OF BLOCKS ELEVEN AND TWELVE HOLLYWOOD," ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF TAYLOR STREET WITH THE EAST RIGHT-OF-WAY LINE OF NORTH 21ST AVENUE; BEING A LINE 877.00 FEET EAST-OF AND PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE F.E.C. RAILROAD; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND THE NORTHERLY EXTENSION OF THE MOST WESTERLY LINE OF SAID BLOCK 11, A DISTANCE OF 20.00 FEET TO A POINT OF INTERSECTION OF THE SOUTHWEST CORNER OF SAID LOT 13 WITH THE NORTH LINE OF POLK STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 15.00 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 16-FOOT WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 382.00 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF TAYLOR STREET; THENCE WESTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 18.15 FEET TO THE POINT OF BEGINNING. SAID LANDS SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.		

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

KEY PLAN

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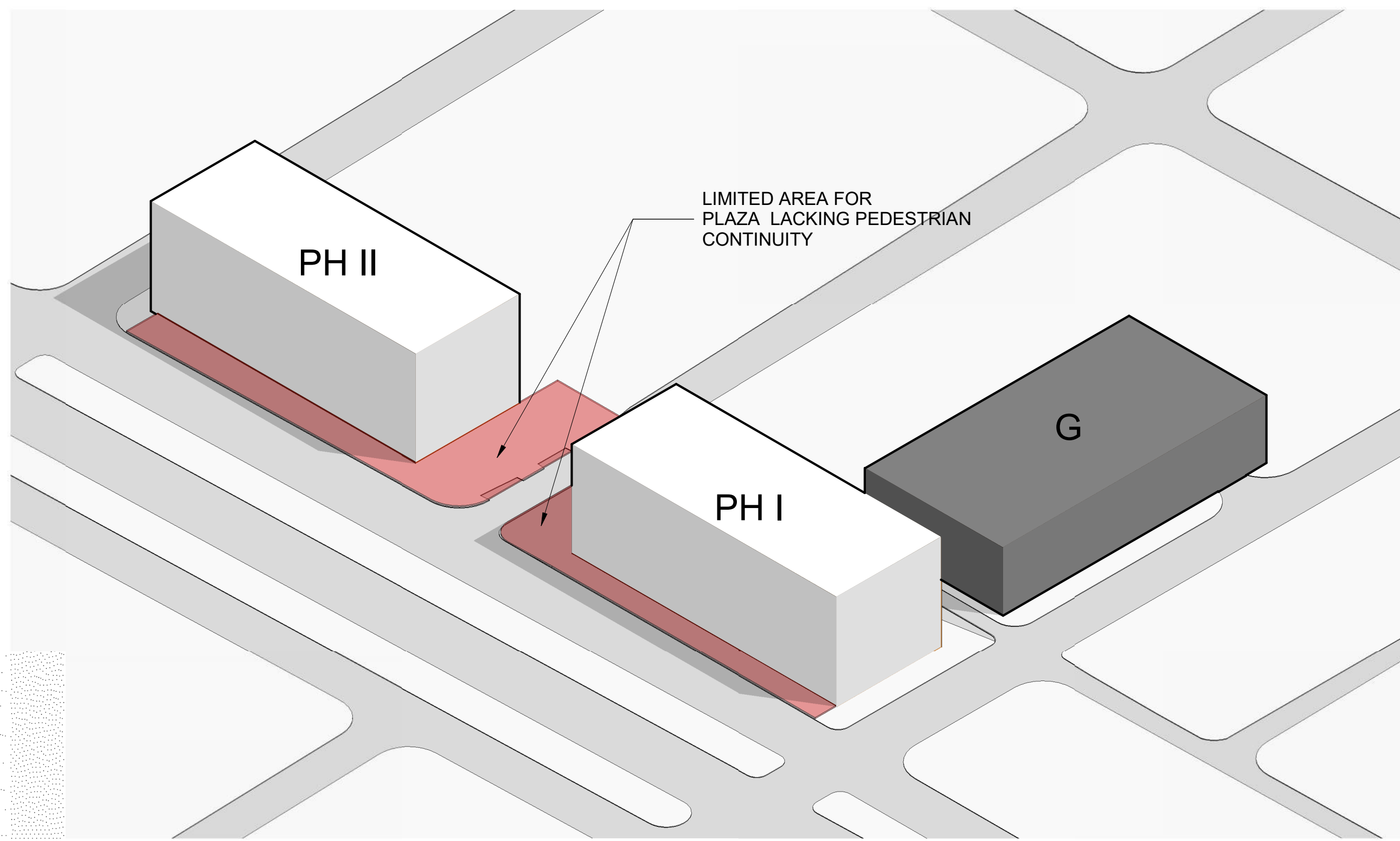
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JOB No.: 2020-11
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APPR BY: AMC

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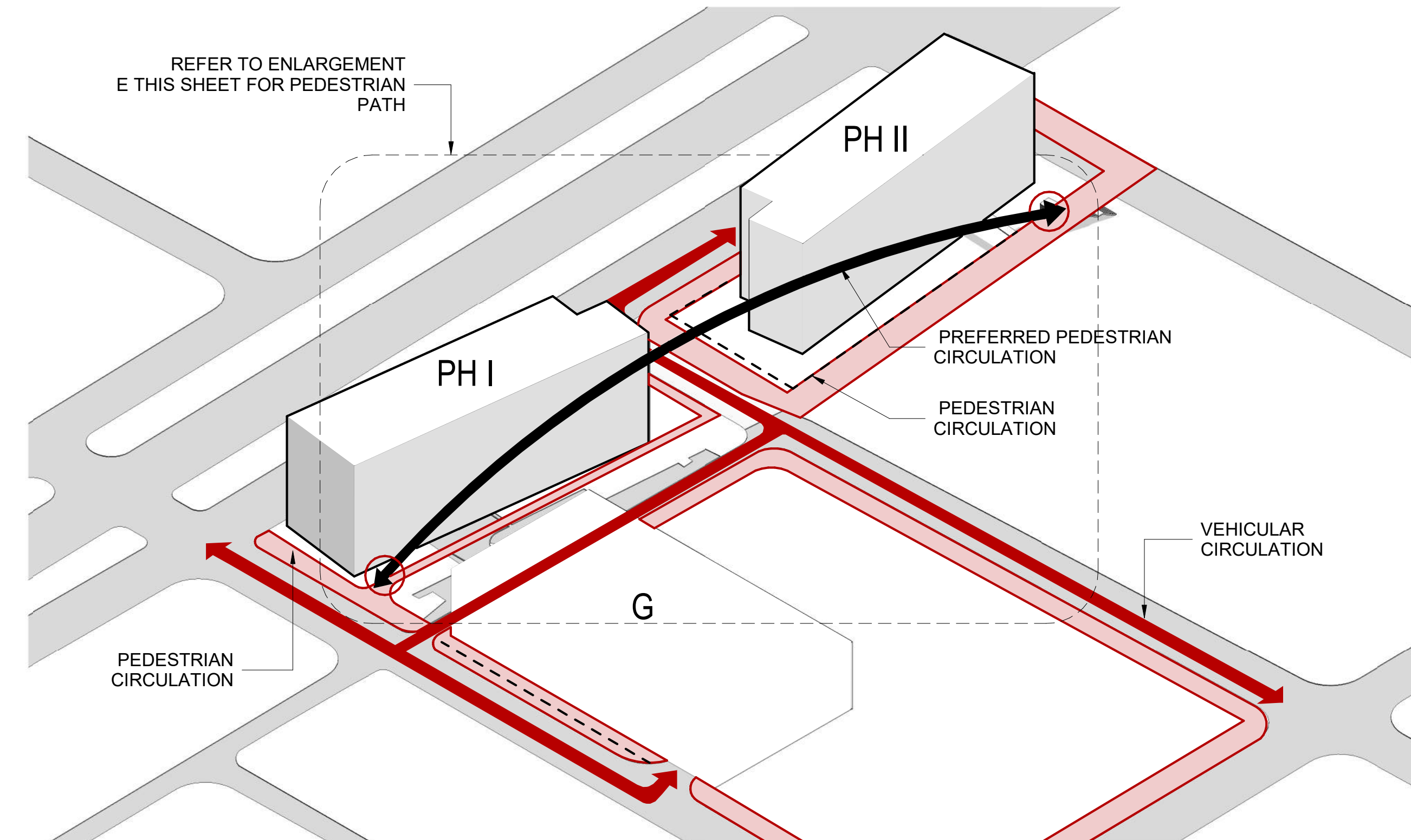
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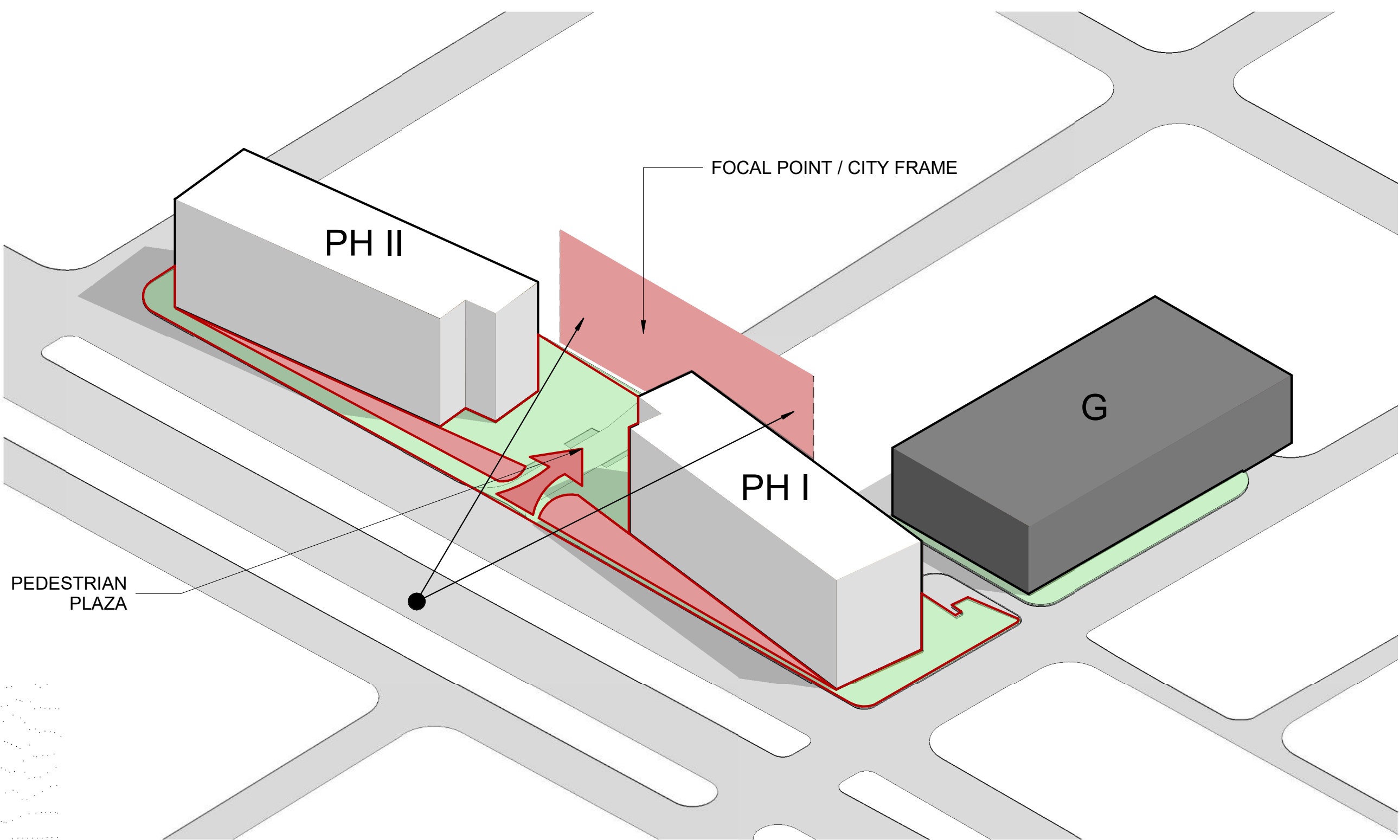
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LIC. NO. AA-C002151 T.305.448.7383



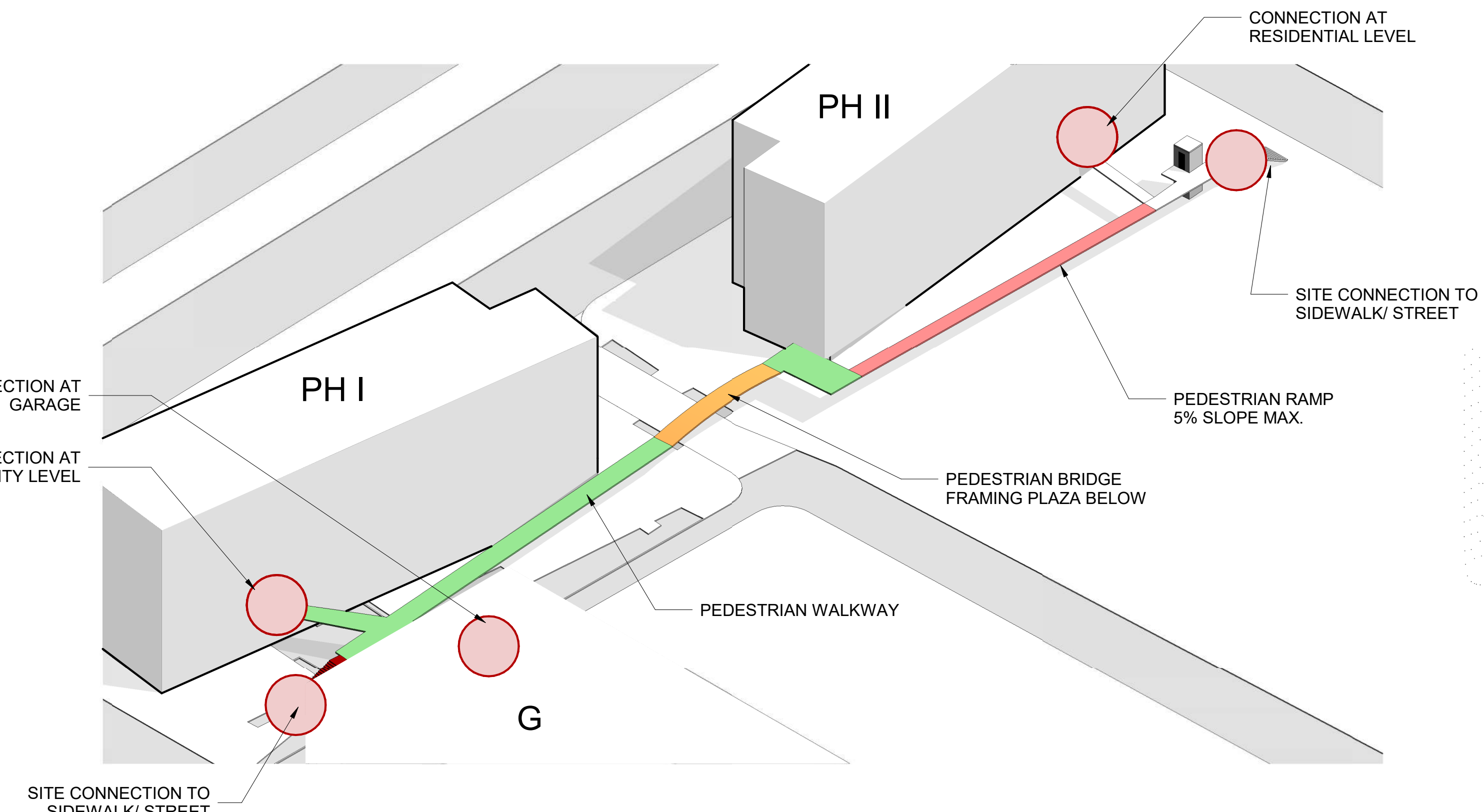
A ORIGINAL VOLUMETRIC SCHEME
SCALE:



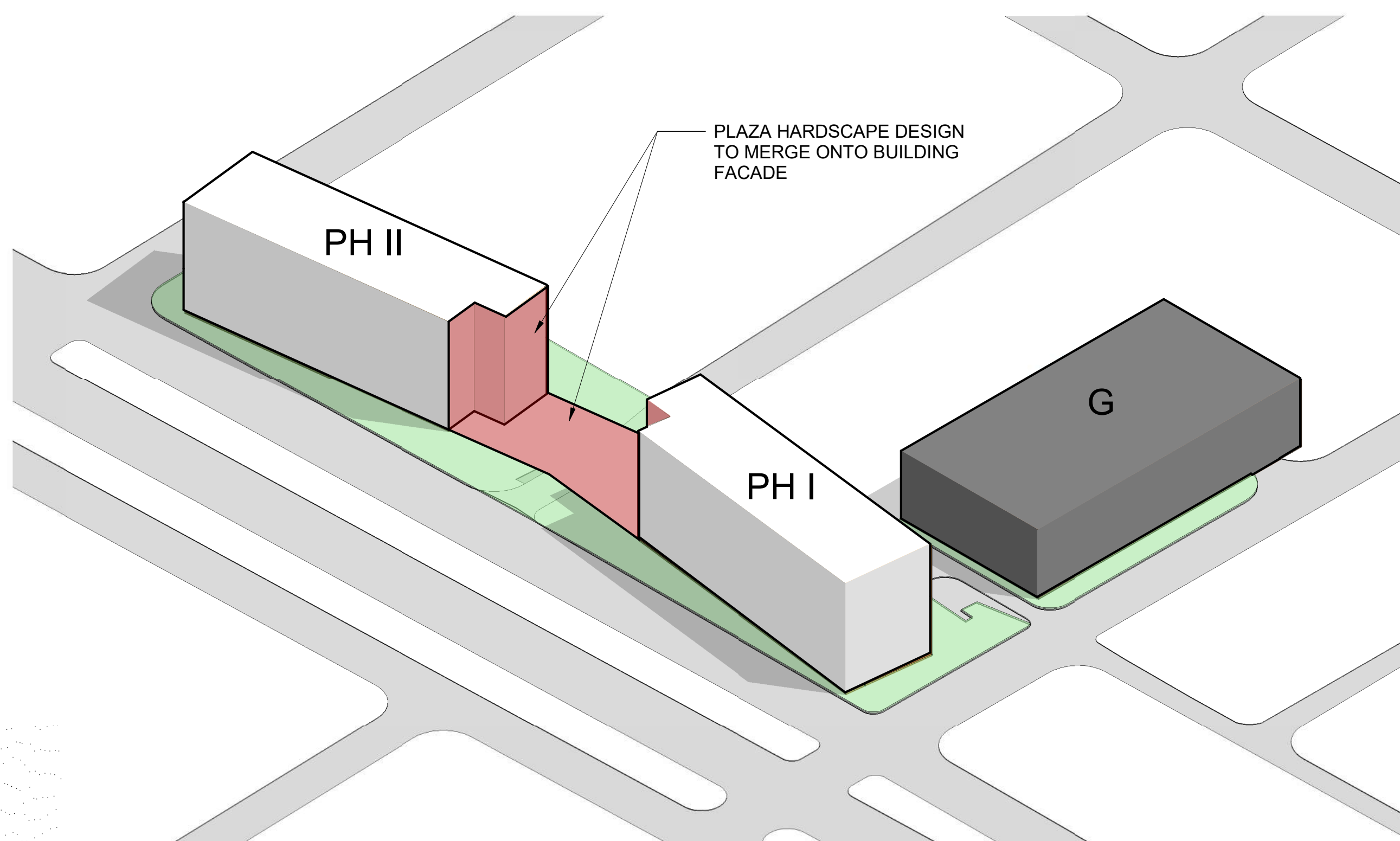
D LACK OF PEDESTRIAN CONTINUITY
SCALE:



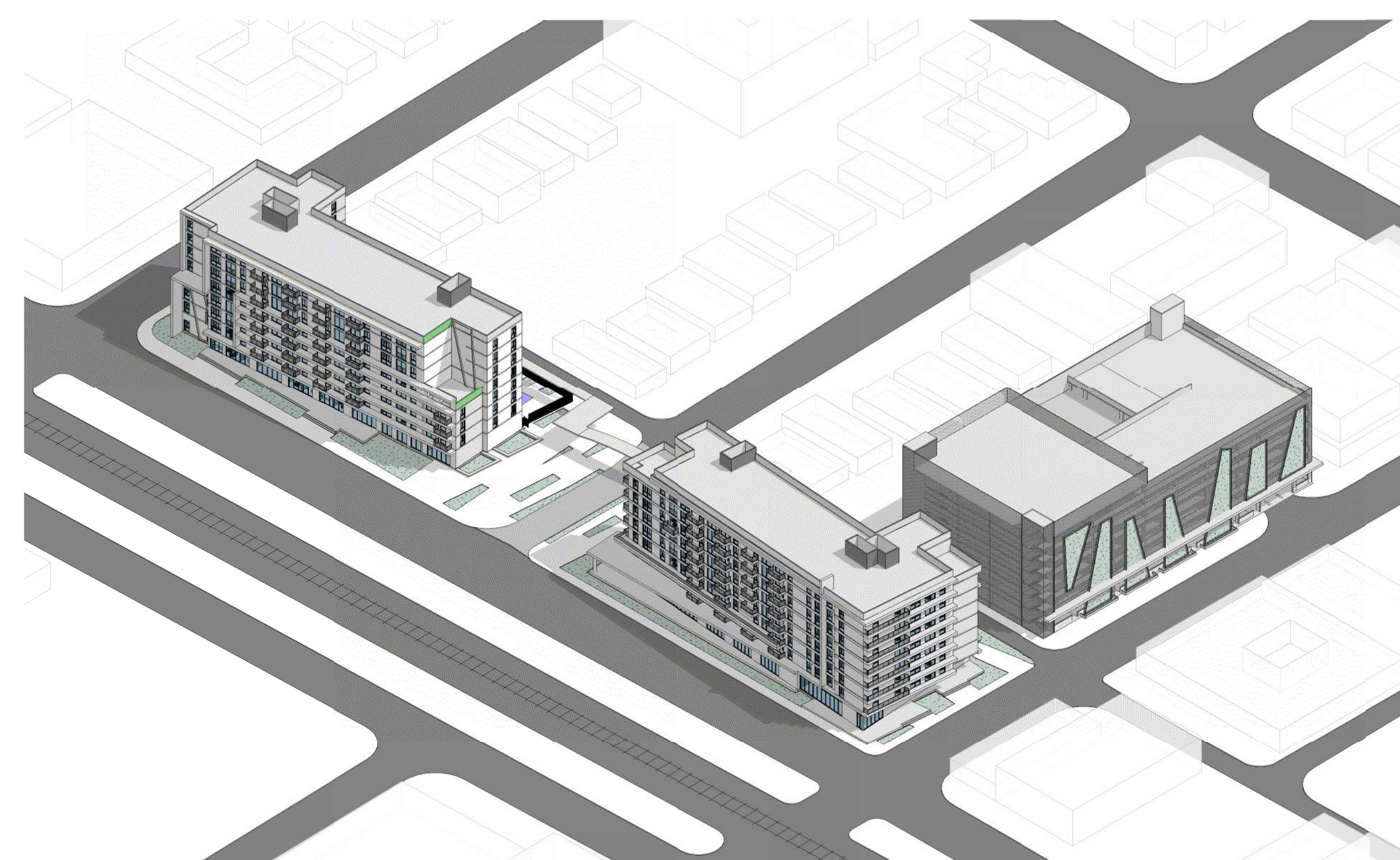
B PLAZA ACTIVATION
SCALE:



E PEDESTRIAN SITE CONTINUITY
SCALE:



C FACADE & PLAZA INTEGRATION
SCALE:



F MASSING SITE STUDY
SCALE:

PROJECT:

University Station

2030 Polk St
Hollywood, FL 33020

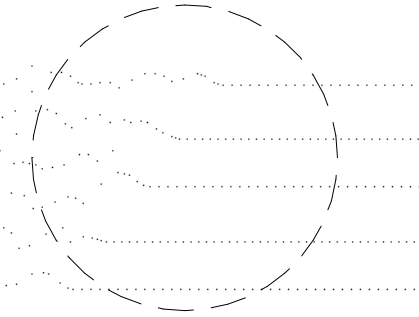
OWNER:

HTG Housing Trust Group

3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

CONCEPTUAL DIAGRAMS

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SHEET NUMBER:

A-0.02



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T. 305.448.7383



COLOR SITE PLAN
SCALE: 3/64" = 1'-0"

REFERENCES

- | | | |
|-----------------------------------|---------------------|------------------------------|
| 1 OFF - STREET PARKING GARAGE | 8 ELEVATOR LOBBY | 14 TWO BEDROOM UNIT |
| 2 LOADING AREA | 9 RETAIL AREA | 15 PEDESTRIAN BRIDGE |
| 3 TRASH ROOM/ TRASH CHUTE & VEST. | 10 LEASING AREA | 16 PUBLIC PLAZA |
| 4 BACK OF HOUSE | 11 MAIL ROOM | 17 LIFT |
| 5 STAIRS | 12 BARRY UNIVERSITY | 18 ON-STREET PARKING |
| 6 ELEVATORS | 13 ONE BEDROOM UNIT | 19 TERRACE / OUTDOOR BALCONY |
| 7 MAIN LOBBY | | |

	NARROW PAVERS		SQUARE PAVERS		LANDSCAPE AREA
	NARROW PAVERS W/ GREEN JOINT		CONCRETE SIDEWALK		

COLOR SITE PLAN

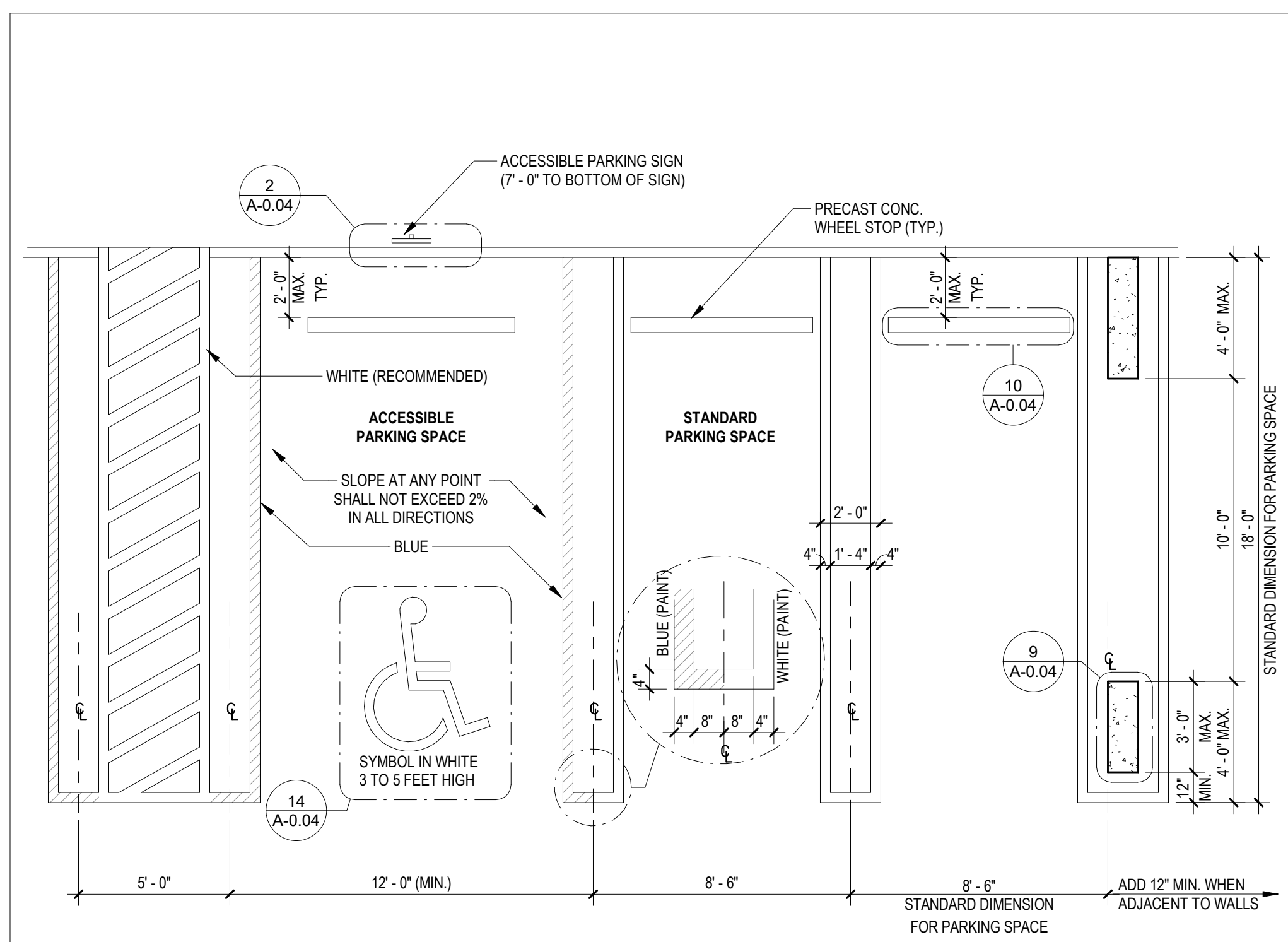
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DATE: 3/7/2020
JOB No.: 2020-11
DRAWN BY: GL, MA
APPR BY: AMC

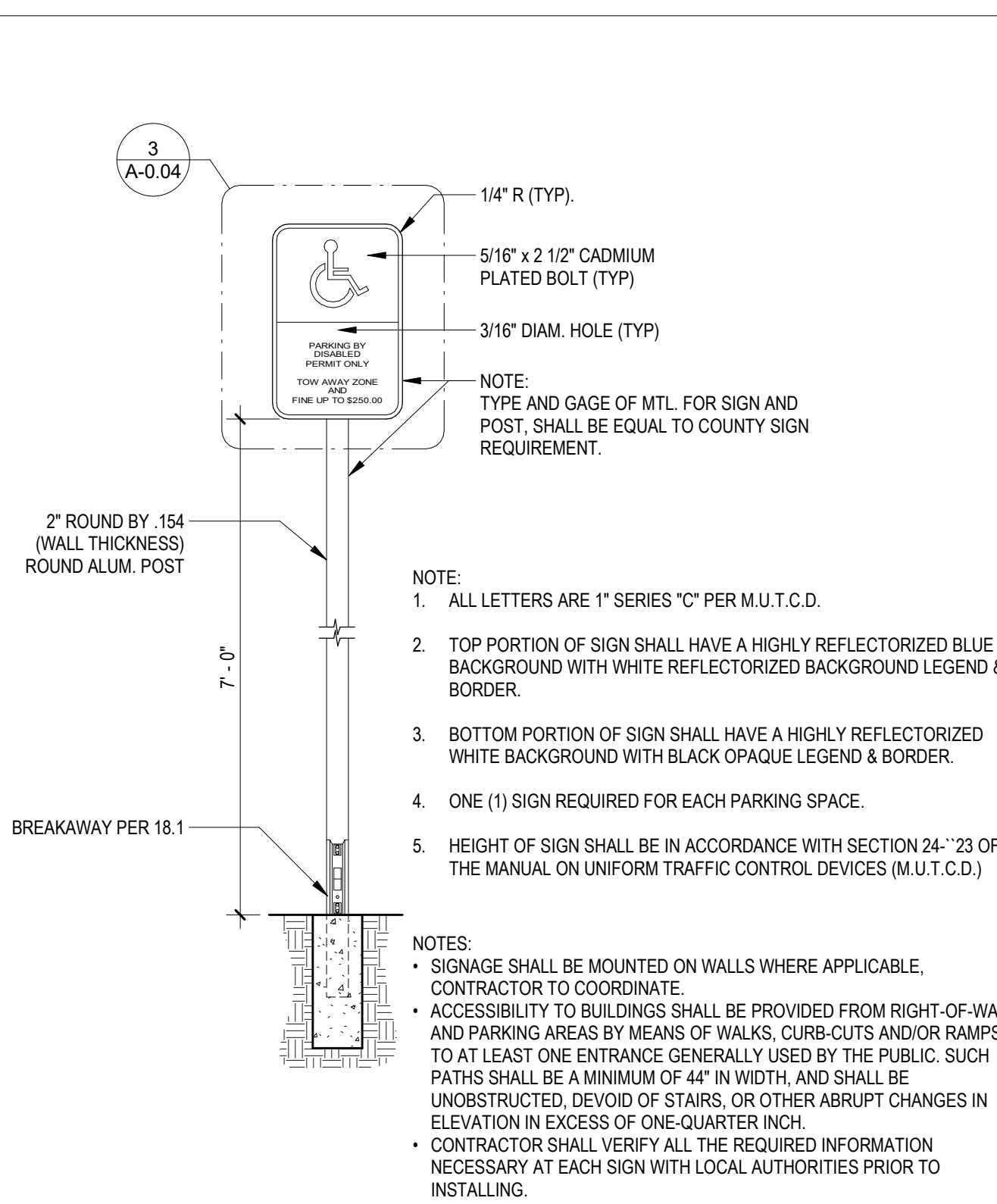
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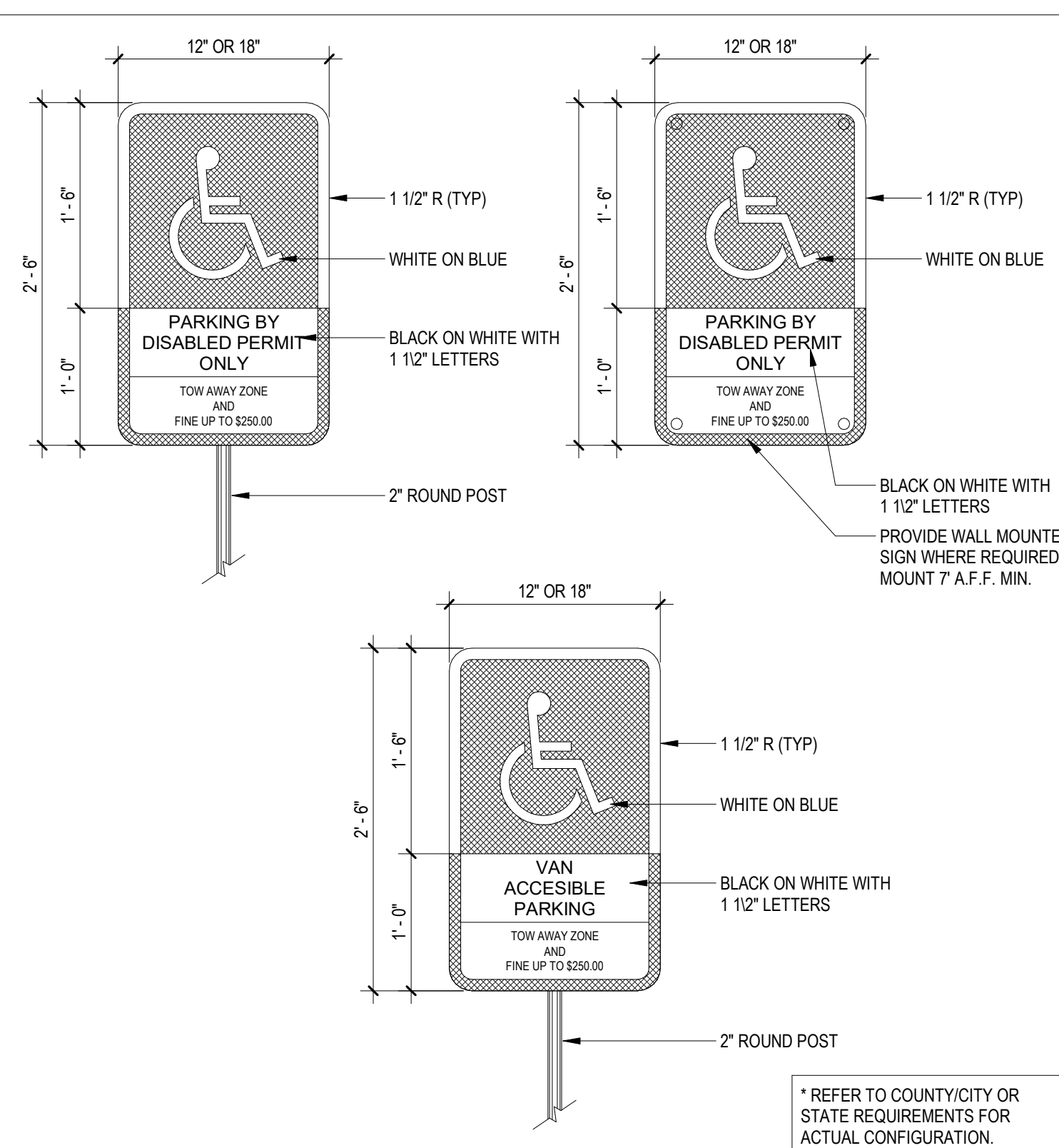
1 ACCESSIBLE AND STANDARD PARKING DETAIL

SCALE: 1/4" = 1'-0"



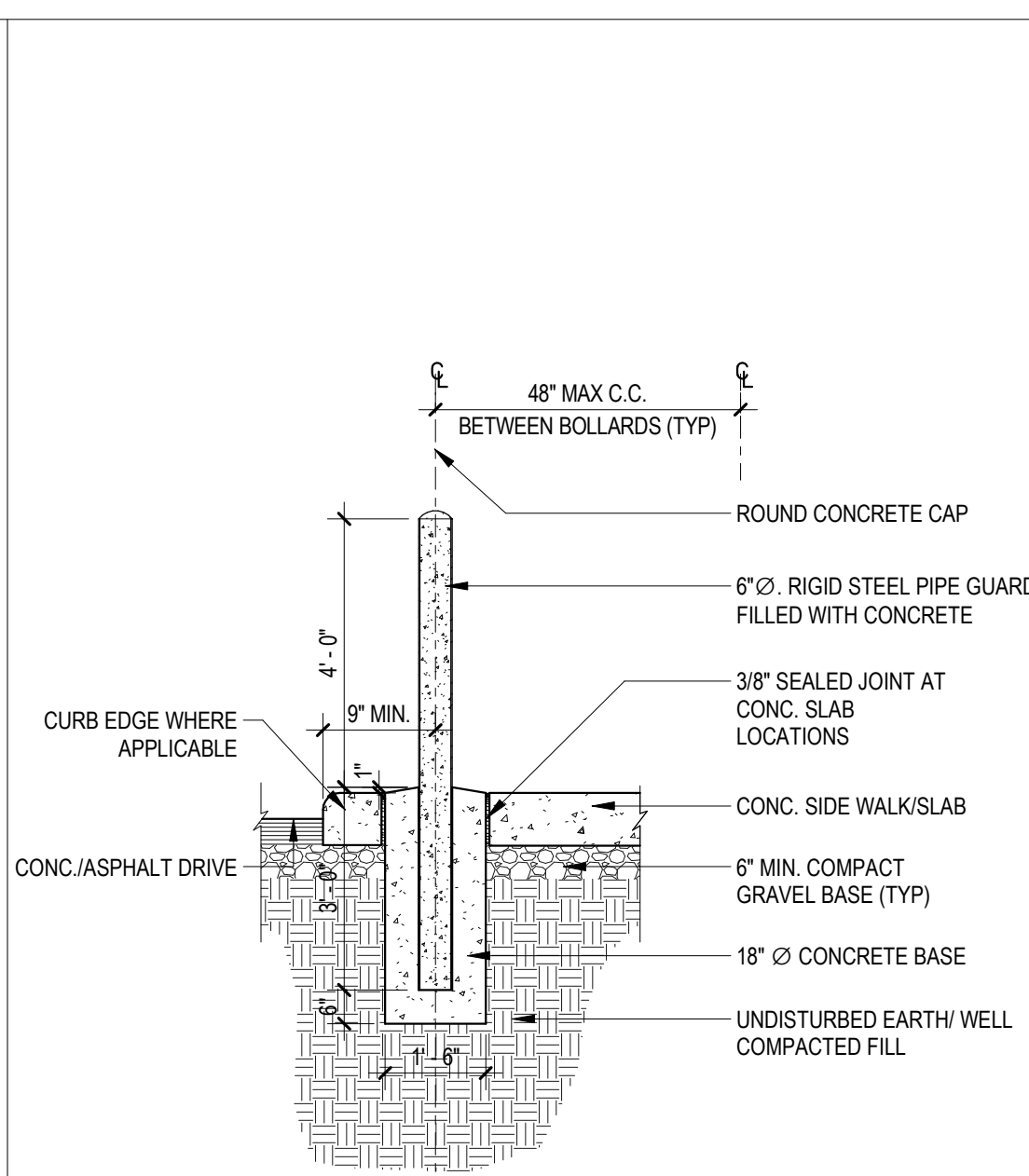
2 ACCESSIBLE PARKING SPACE SIGN

SCALE: 1/4" = 1'-0"

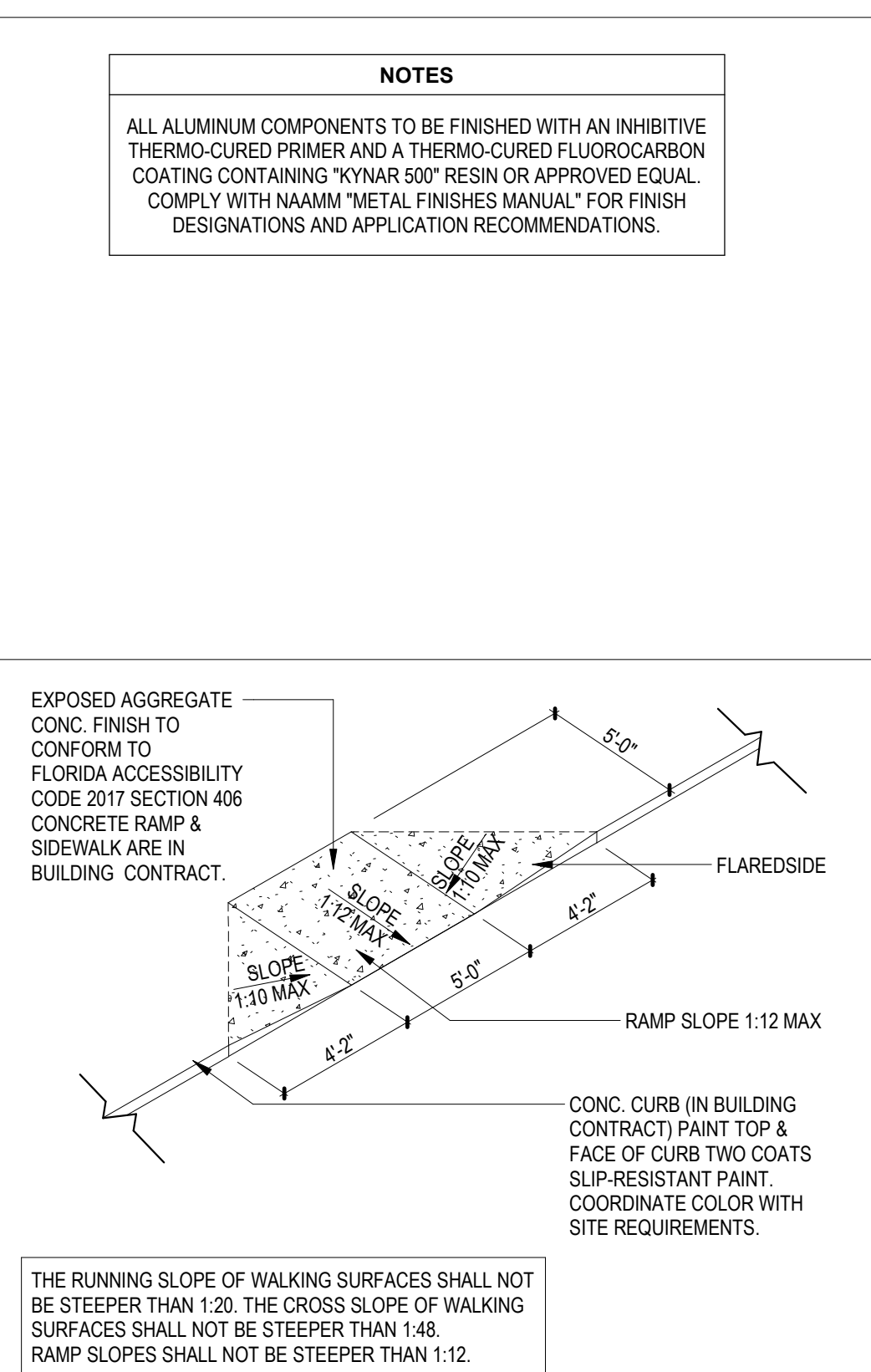


3 ACCESSIBLE PARKING SIGN DETAIL

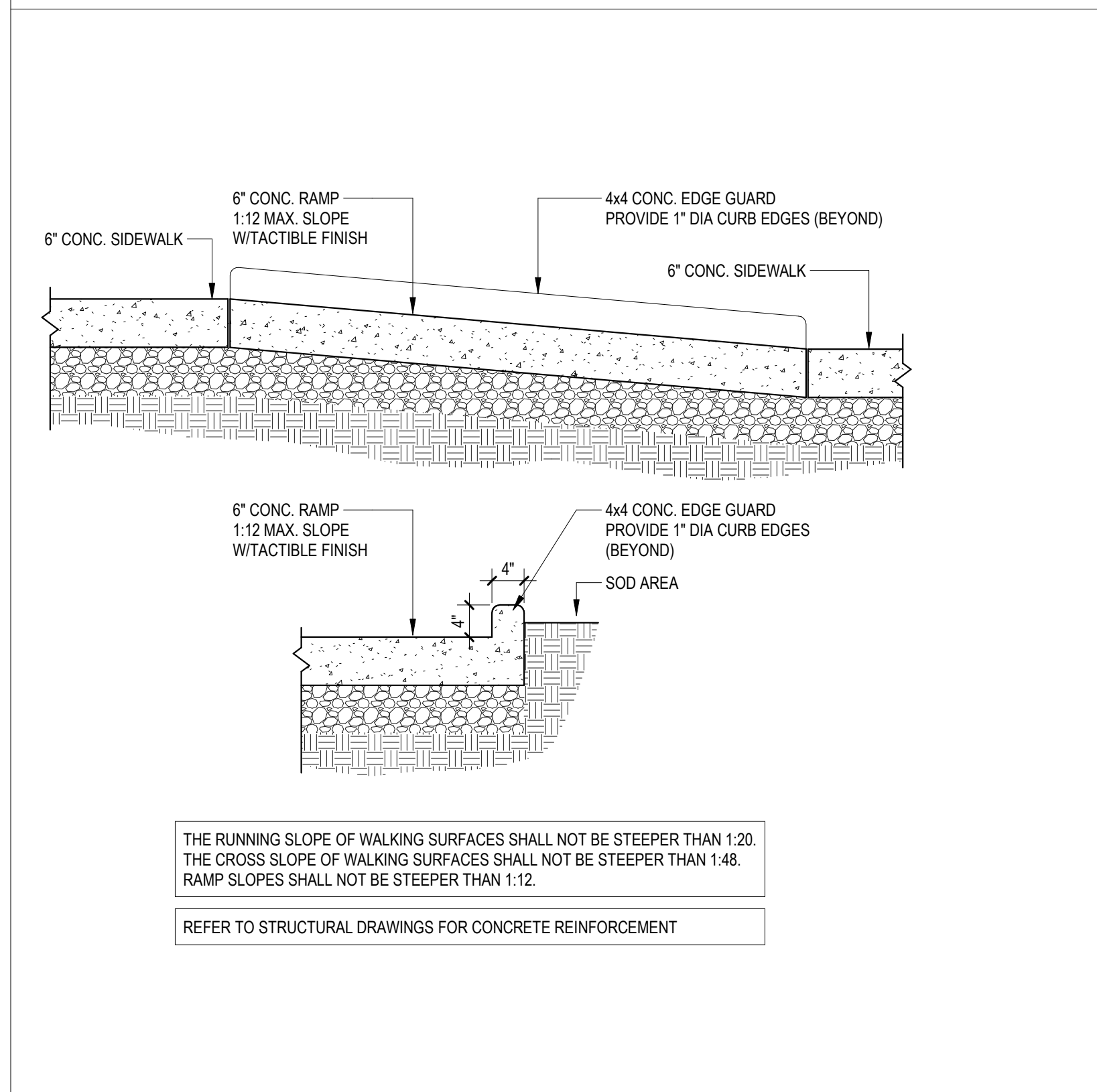
SCALE: 1" = 1'-0"



4 TYPICAL BOLLARD AT
GROUND FLOOR
SCALE: 3/8" = 1'-0"

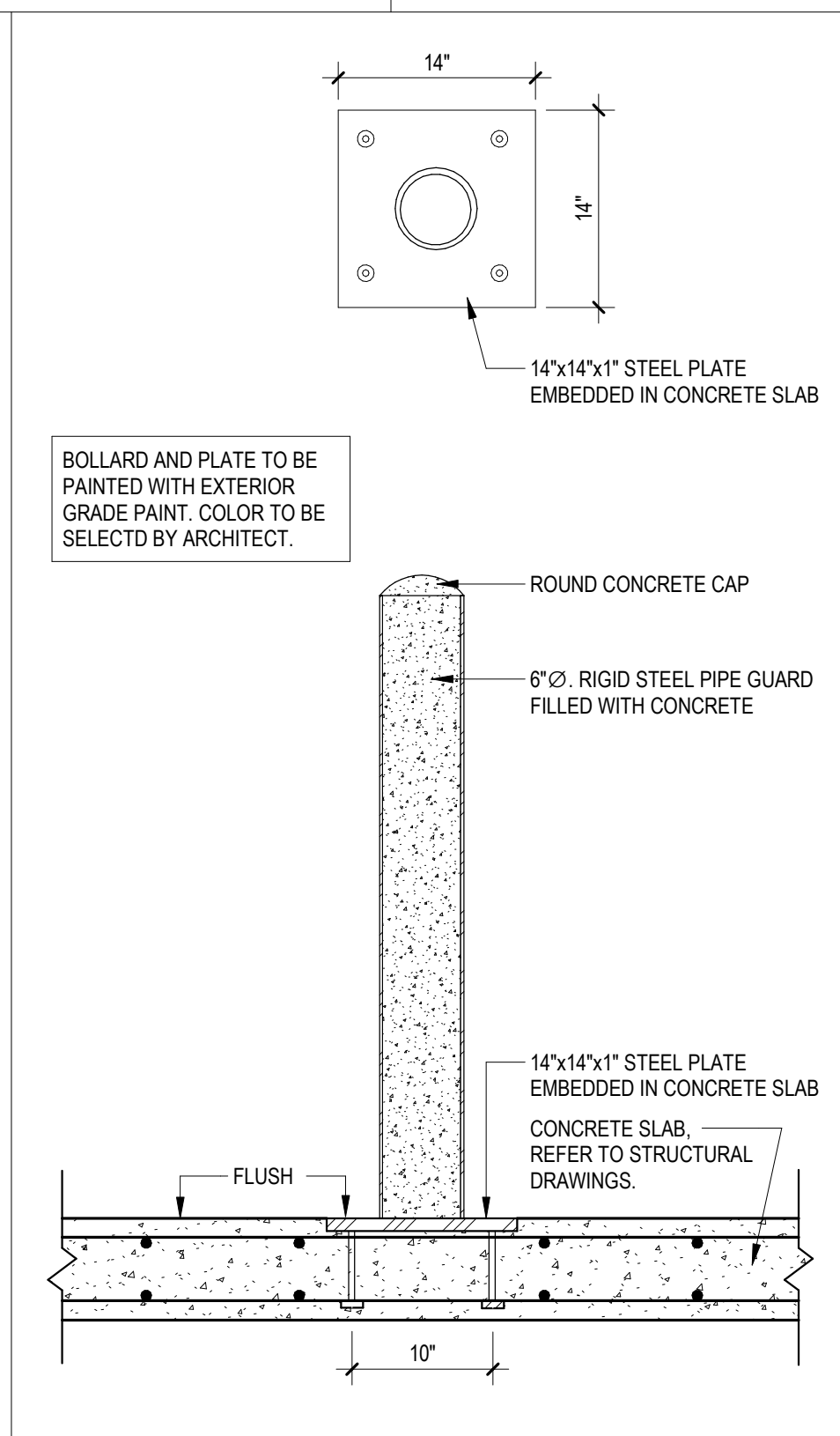


5 CONCRETE RAMP SLOPE
SCALE: 1" = 1'-0"

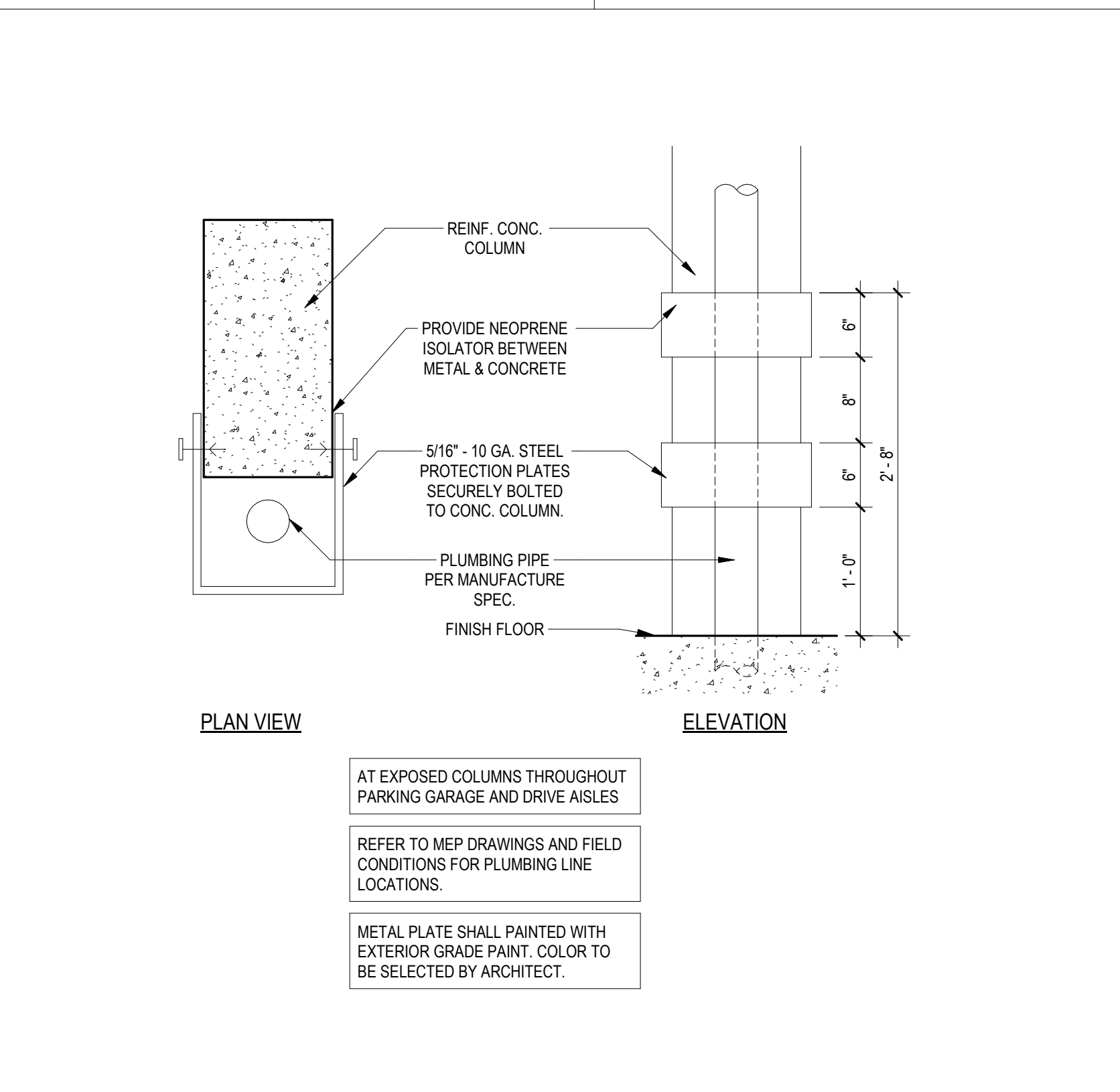


H.C. CONCRETE RAMP W/ EDGE PROTECTION

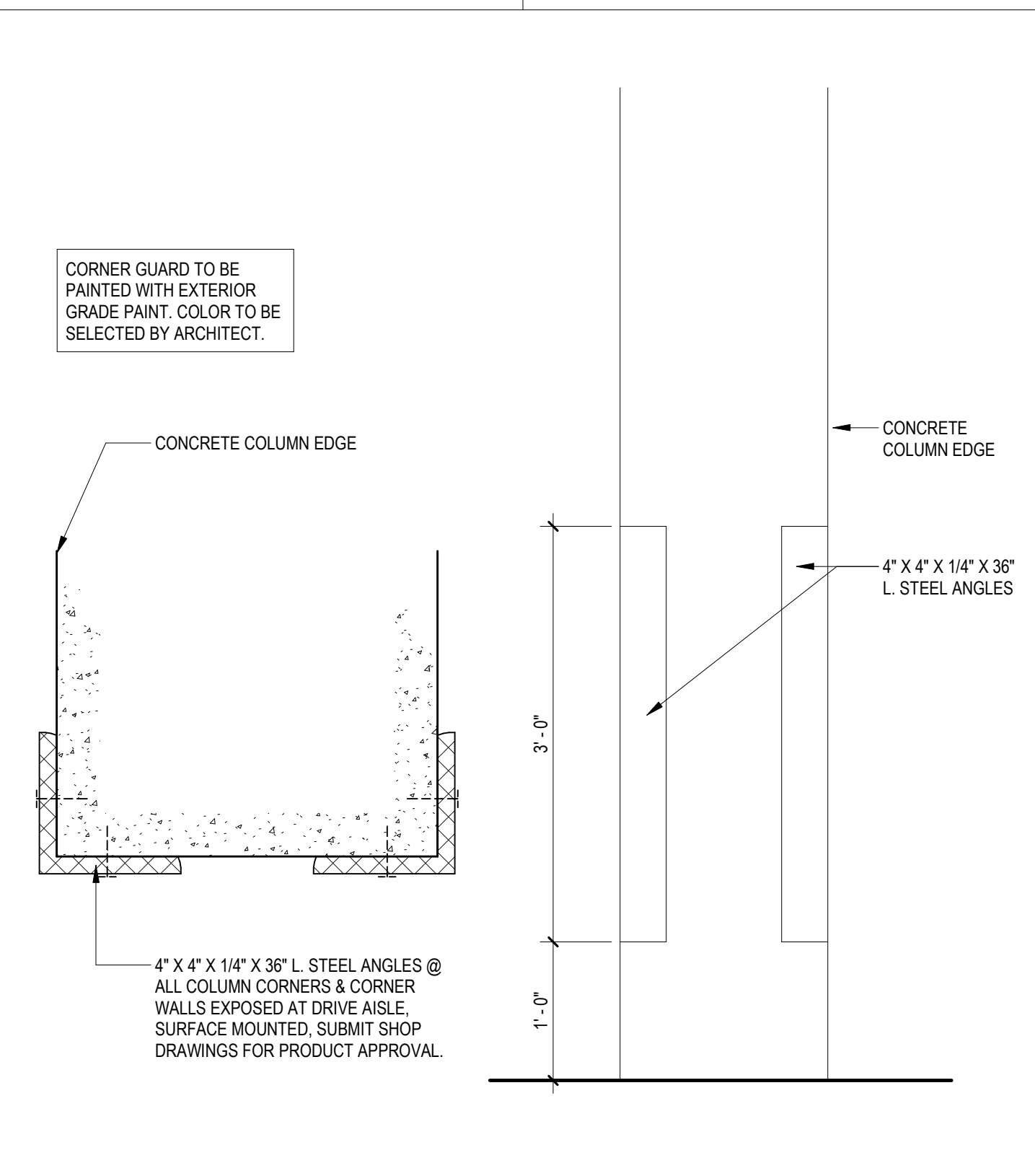
6 SCALE: 3/4" = 1'-0"



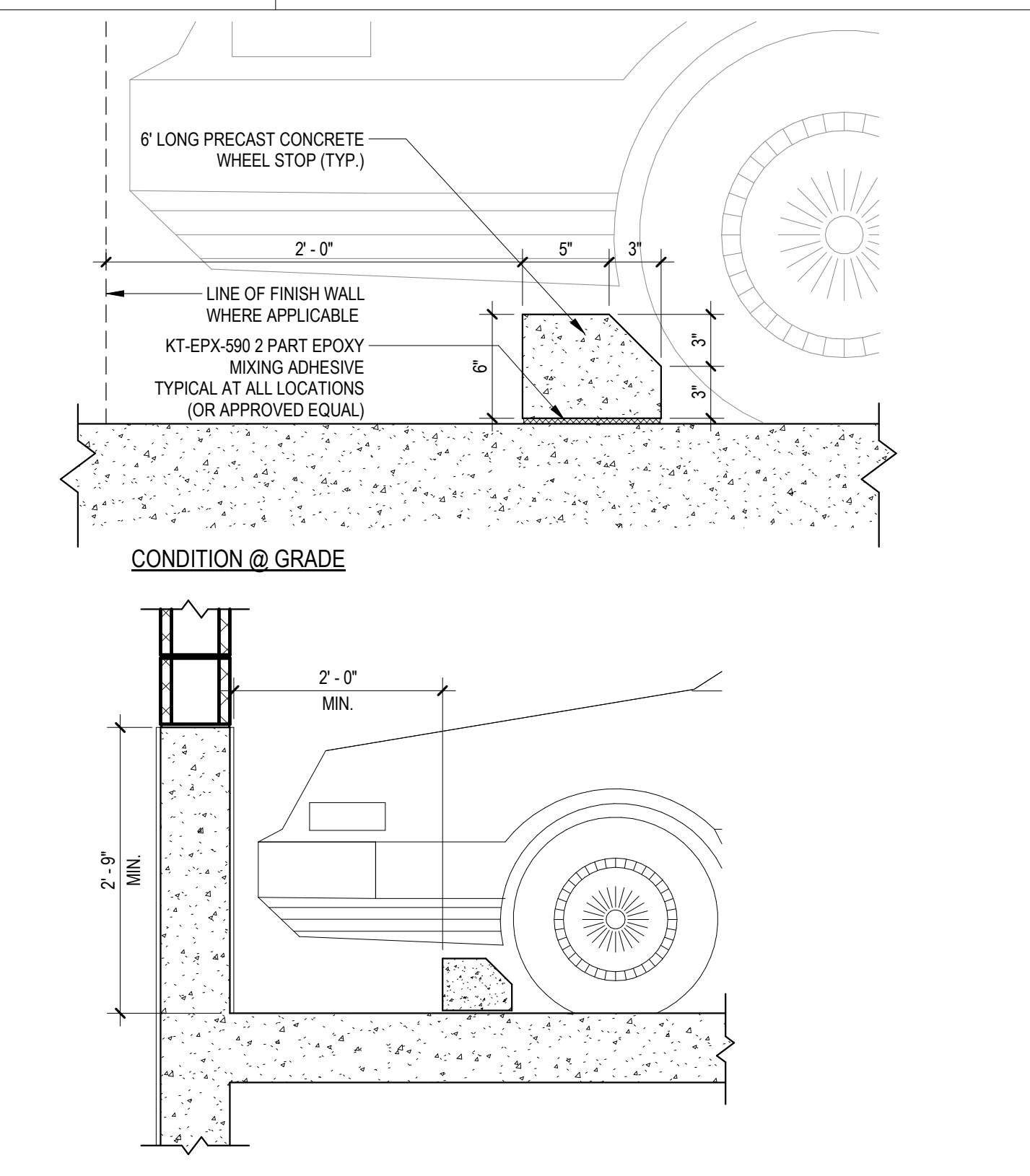
7 TYPICAL BOLLARD AT ELEVATED SLABS
SCALE: 1" = 1'-0"



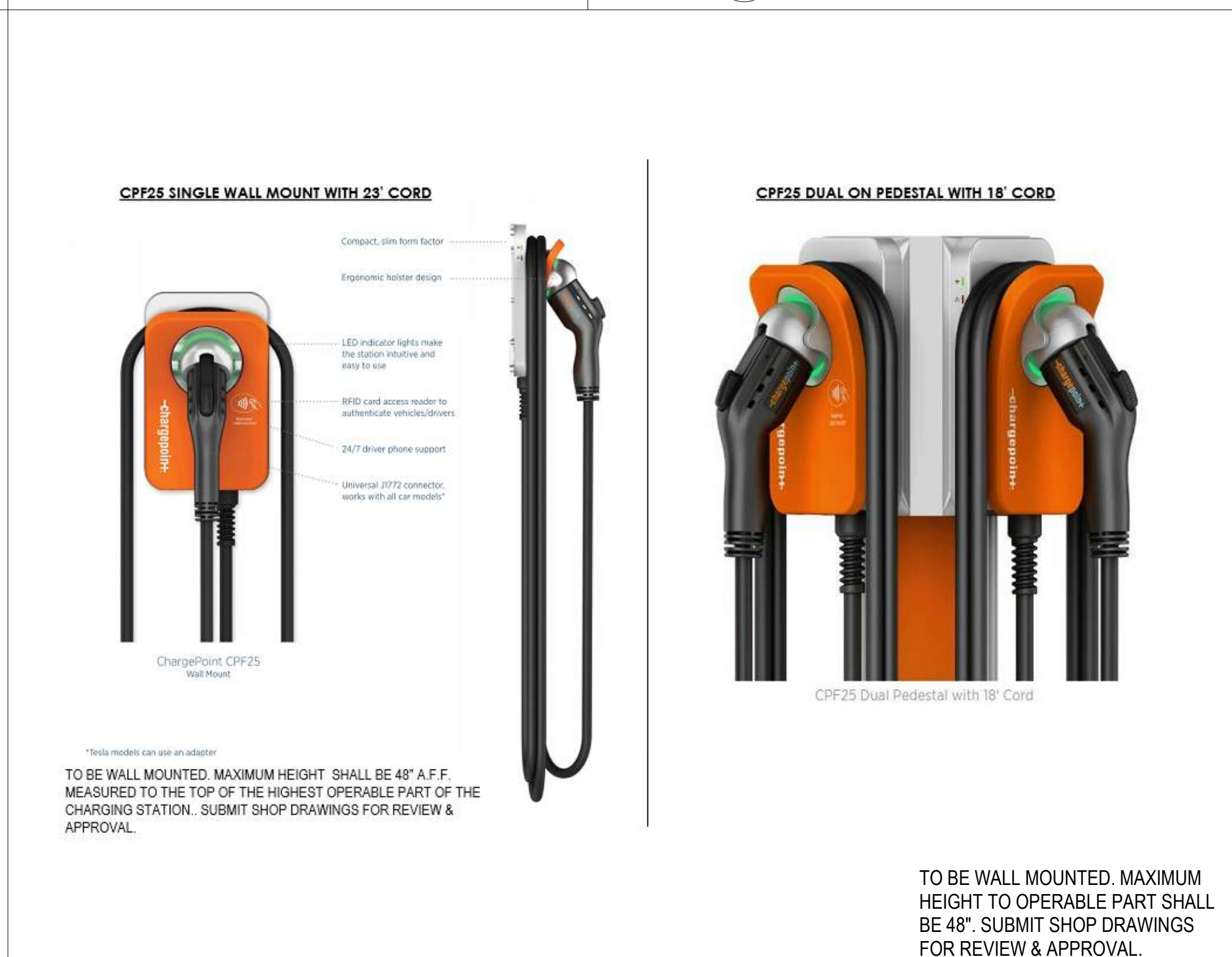
8 TYPICAL STEEL PIPE PROTECTION



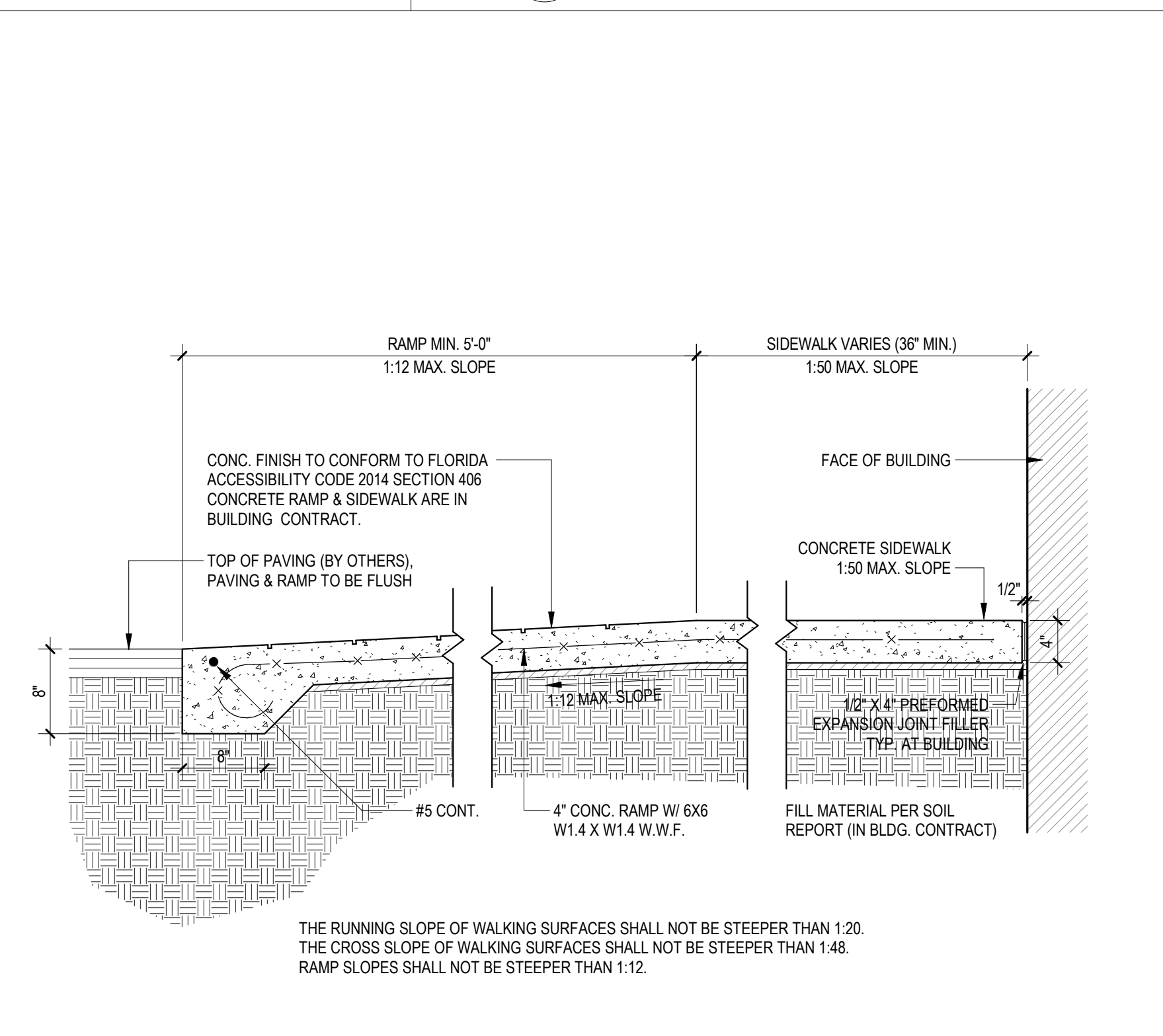
9 COLUMN GUARD DETAIL
SCALE: 1/4" = 1'-0"



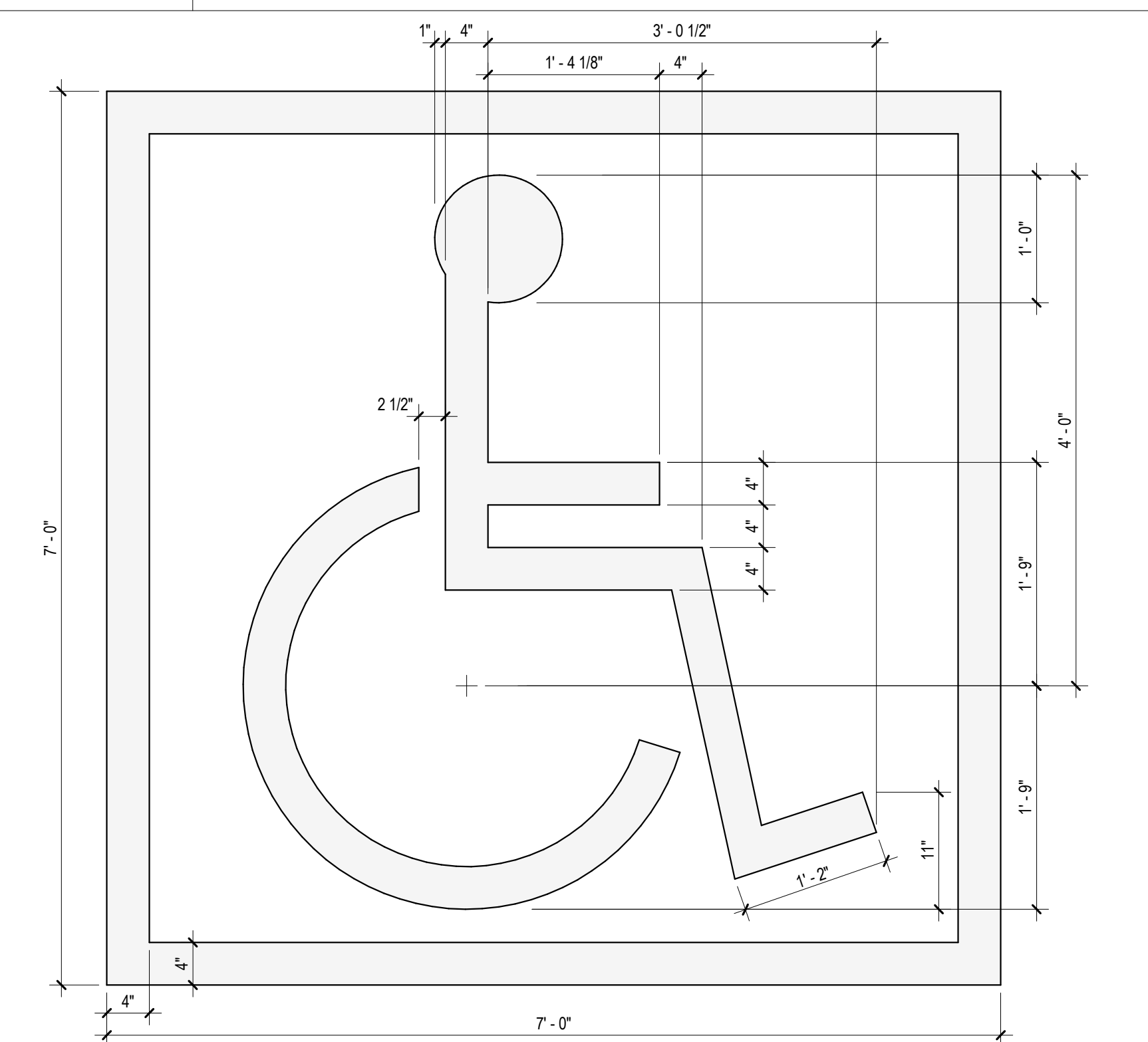
**10 TYPICAL CRASH WALL/ WHEEL STOP
DETAIL @ ELEV. SLAB**
SCALE: 3/4" = 1'-0"



11 ELECTRICAL VEHICLE (EV) CHARGING STATION DETAIL SCALE: 1/4" = 1'-0"



13 **SIDEWALK SECTION/CONNECTION TO WALL**
SCALE: 1" = 1'-0"



14 STRIPPED SYMBOL @ H.C. PARKING STALL
SCALE: 1" = 1'-0"

PROJECT:

University Station

2030 Polk St
Hollywood, FL 33020

OWNER:

**HTG Housing Trust
Group**

3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

SITE DETAILS

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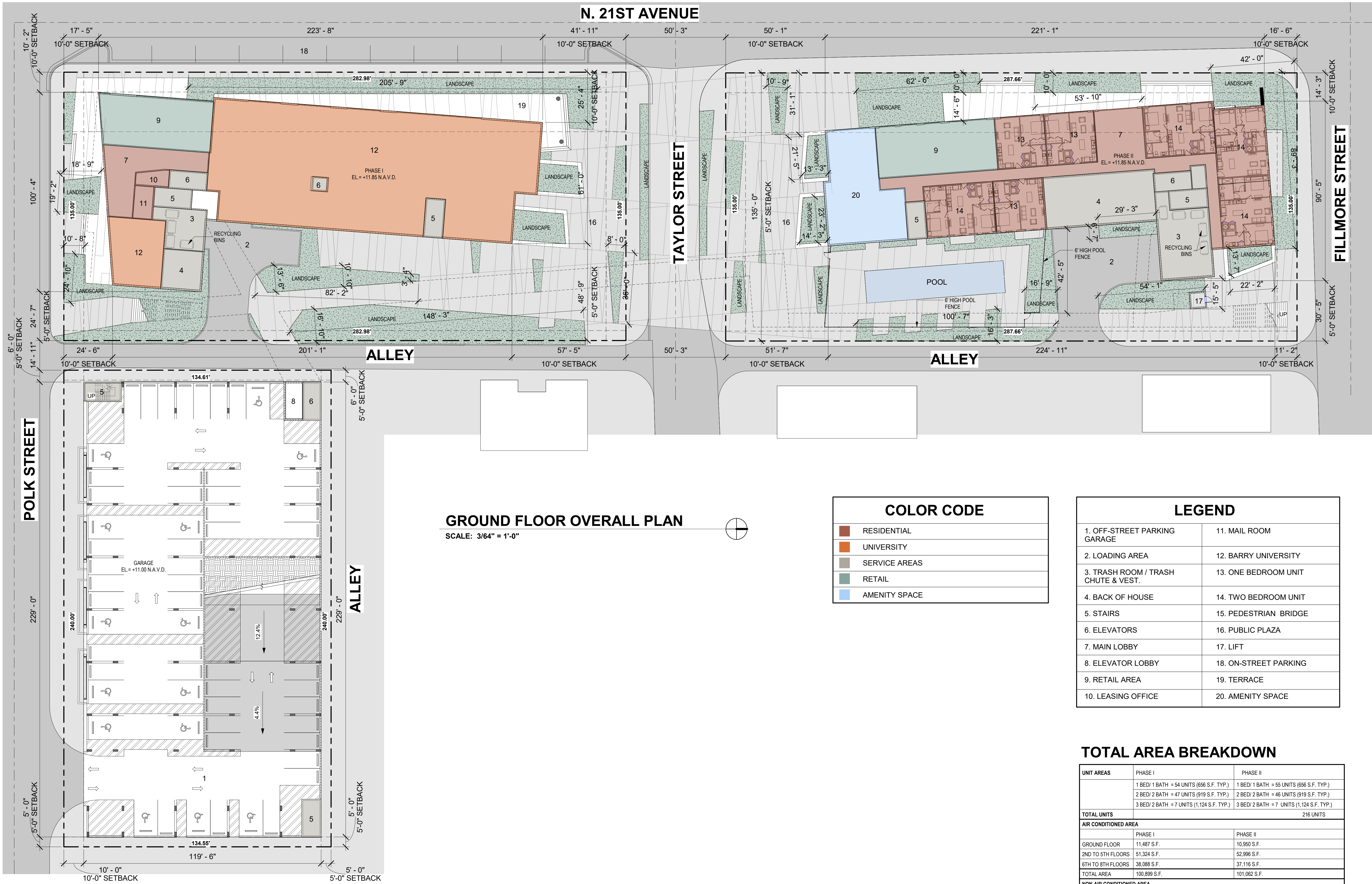
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APPR BY: AMC

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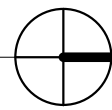


CORWILARCHITECTS
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GROUND FLOOR OVERALL PLAN

SCALE: 3/64" = 1'-0"



COLOR CODE

- RESIDENTIAL
- UNIVERSITY
- SERVICE AREAS
- RETAIL
- AMENITY SPACE

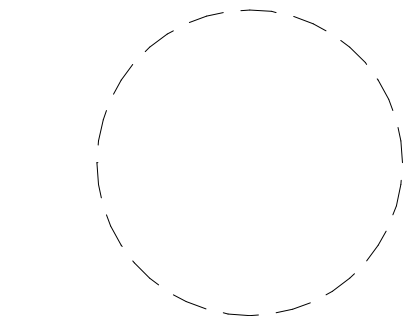
LEGEND

- | | |
|-------------------------------------|-----------------------|
| 1. OFF-STREET PARKING GARAGE | 11. MAIL ROOM |
| 2. LOADING AREA | 12. BARRY UNIVERSITY |
| 3. TRASH ROOM / TRASH CHUTE & VEST. | 13. ONE BEDROOM UNIT |
| 4. BACK OF HOUSE | 14. TWO BEDROOM UNIT |
| 5. STAIRS | 15. PEDESTRIAN BRIDGE |
| 6. ELEVATORS | 16. PUBLIC PLAZA |
| 7. MAIN LOBBY | 17. LIFT |
| 8. ELEVATOR LOBBY | 18. ON-STREET PARKING |
| 9. RETAIL AREA | 19. TERRACE |
| 10. LEASING OFFICE | 20. AMENITY SPACE |

TOTAL AREA BREAKDOWN

UNIT AREAS	PHASE I	PHASE II
	1 BED/ 1 BATH = 54 UNITS (656 S.F. TYP.) 2 BED/ 2 BATH = 47 UNITS (919 S.F. TYP.) 3 BED/ 2 BATH = 7 UNITS (1,124 S.F. TYP.)	1 BED/ 1 BATH = 55 UNITS (656 S.F. TYP.) 2 BED/ 2 BATH = 46 UNITS (919 S.F. TYP.) 3 BED/ 2 BATH = 7 UNITS (1,124 S.F. TYP.)
TOTAL UNITS	216 UNITS	
AIR CONDITIONED AREA		
	PHASE I	PHASE II
GROUND FLOOR	11,487 S.F.	10,950 S.F.
2ND TO 5TH FLOORS	51,324 S.F.	52,996 S.F.
6TH TO 8TH FLOORS	38,088 S.F.	37,116 S.F.
TOTAL AREA	100,899 S.F.	101,062 S.F.
NON-AIR CONDITIONED AREA		
	PHASE I	PHASE II
GROUND FLOOR	1,896 S.F.	3,065 S.F.
2ND TO 5TH FLOORS	3,180 S.F.	2,796 S.F.
6TH TO 8TH FLOORS	2,214 S.F.	2,097 S.F.
TOTAL AREA	7,290 S.F.	7,958 S.F.
GARAGE AREA		AC AREAS
GROUND FLOOR	29,786 S.F.	
2ND - 6TH FLOORS	135,096 S.F.	
7TH FLOOR	12,478 S.F.	
8TH FLOOR	9,890 S.F.	7,048 S.F. (AMENITY SPACE)
TOTAL AREA	187,249 S.F.	7,048 S.F.
TOTAL BUILDING AREA		
	PHASE I	PHASE II
PHASE I	108,189 S.F.	
PHASE II	109,026 S.F.	
GARAGE	194,297 S.F.	
*NOTE:		
1. ALL AREAS ARE TENTATIVE		
2. ALL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW.		
3. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 ALLOWED).		

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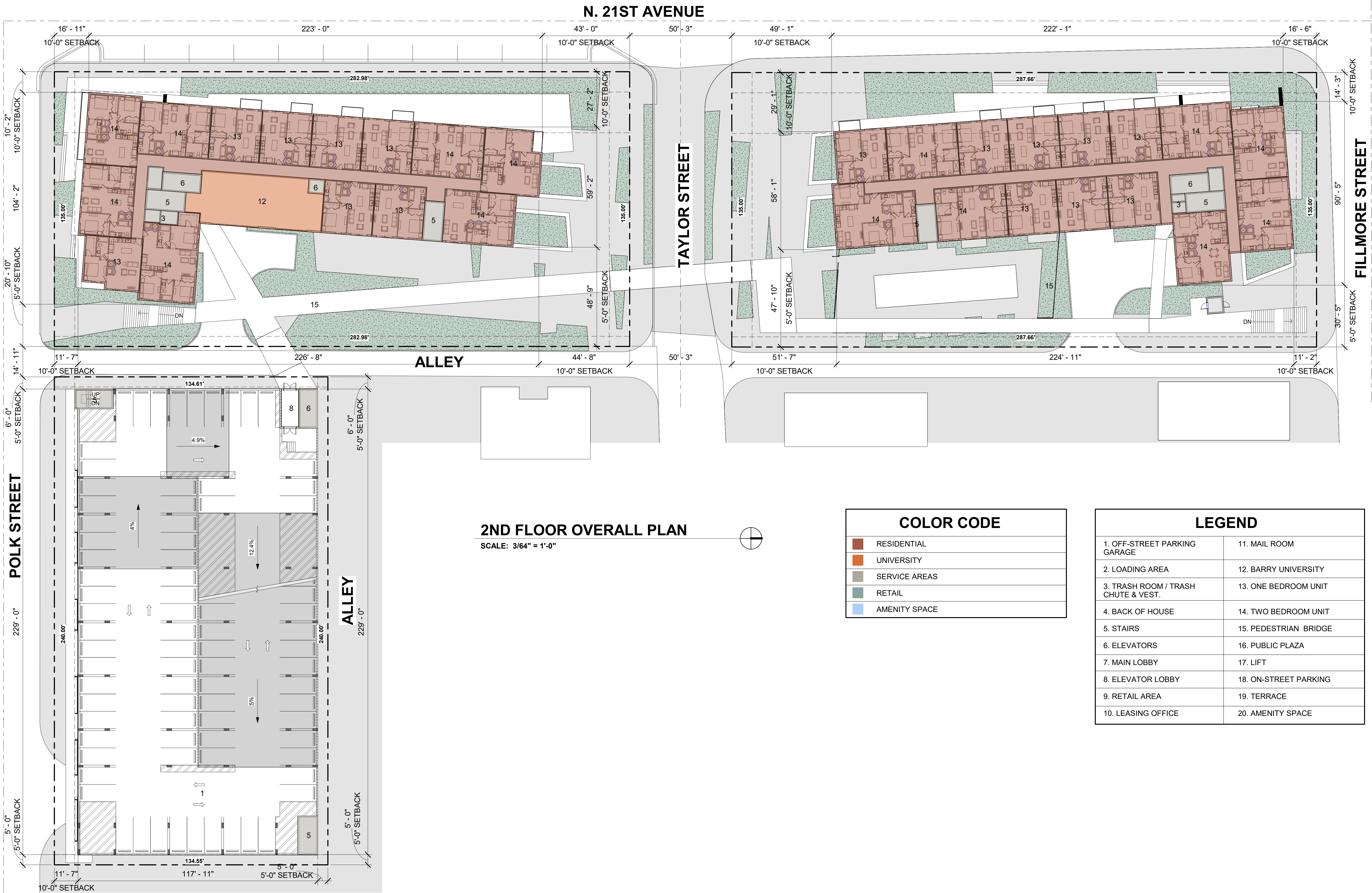
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JOB No.: 2020-11
DRAWN BY: MA, GL
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SHEET NUMBER:

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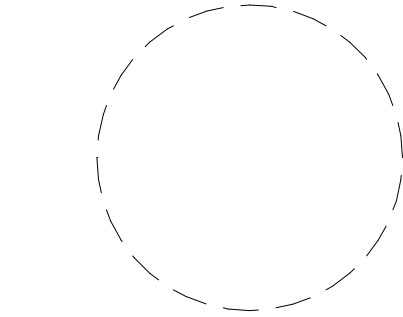


2ND FLOOR OVERALL PLAN
SCALE: 3/64" = 1'-0"

COLOR CODE	
	RESIDENTIAL
	UNIVERSITY
	SERVICE AREAS
	RETAIL
	AMENITY SPACE

LEGEND	
1. OFF-STREET PARKING GARAGE	11. MAIL ROOM
2. LOADING AREA	12. BARRY UNIVERSITY
3. TRASH ROOM / TRASH CHUTE & VEST.	13. ONE BEDROOM UNIT
4. BACK OF HOUSE	14. TWO BEDROOM UNIT
5. STAIRS	15. PEDESTRIAN BRIDGE
6. ELEVATORS	16. PUBLIC PLAZA
7. MAIN LOBBY	17. LIFT
8. ELEVATOR LOBBY	18. ON-STREET PARKING
9. RETAIL AREA	19. TERRACE
10. LEASING OFFICE	20. AMENITY SPACE

SEAL:

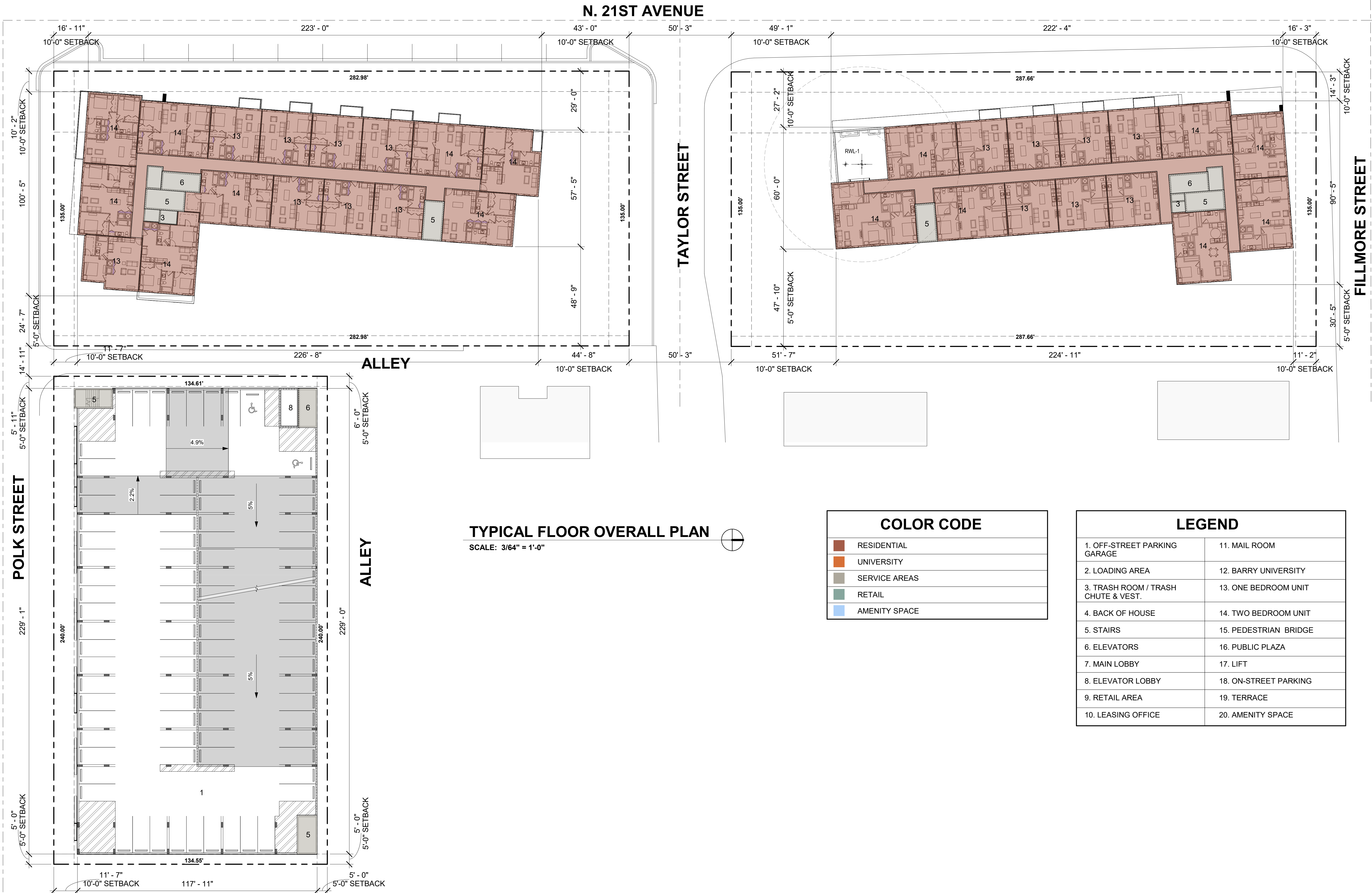


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JOB No.: 2020-11
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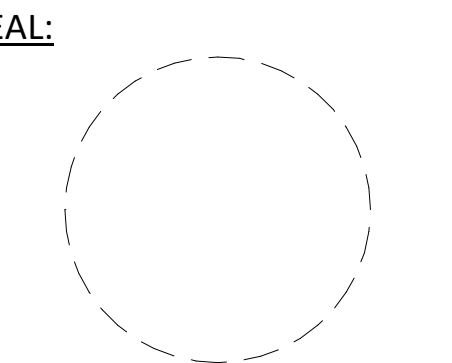
A-1.01



TYPICAL FLOOR OVERALL PLAN
SCALE: 3/64" = 1'-0"

COLOR CODE	
■	RESIDENTIAL
■	UNIVERSITY
■	SERVICE AREAS
■	RETAIL
■	AMENITY SPACE

LEGEND	
1. OFF-STREET PARKING GARAGE	11. MAIL ROOM
2. LOADING AREA	12. BARRY UNIVERSITY
3. TRASH ROOM / TRASH CHUTE & VEST.	13. ONE BEDROOM UNIT
4. BACK OF HOUSE	14. TWO BEDROOM UNIT
5. STAIRS	15. PEDESTRIAN BRIDGE
6. ELEVATORS	16. PUBLIC PLAZA
7. MAIN LOBBY	17. LIFT
8. ELEVATOR LOBBY	18. ON-STREET PARKING
9. RETAIL AREA	19. TERRACE
10. LEASING OFFICE	20. AMENITY SPACE



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APPR BY: AMC

SHEET NUMBER:

A-1.02

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
**HTG Housing Trust
Group**
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

N. 21ST AVENUE



GROUND FLOOR PLAN
(PHASE I)

GROUND FLOOR PHASE I
SCALE: 3/32" = 1'-0"

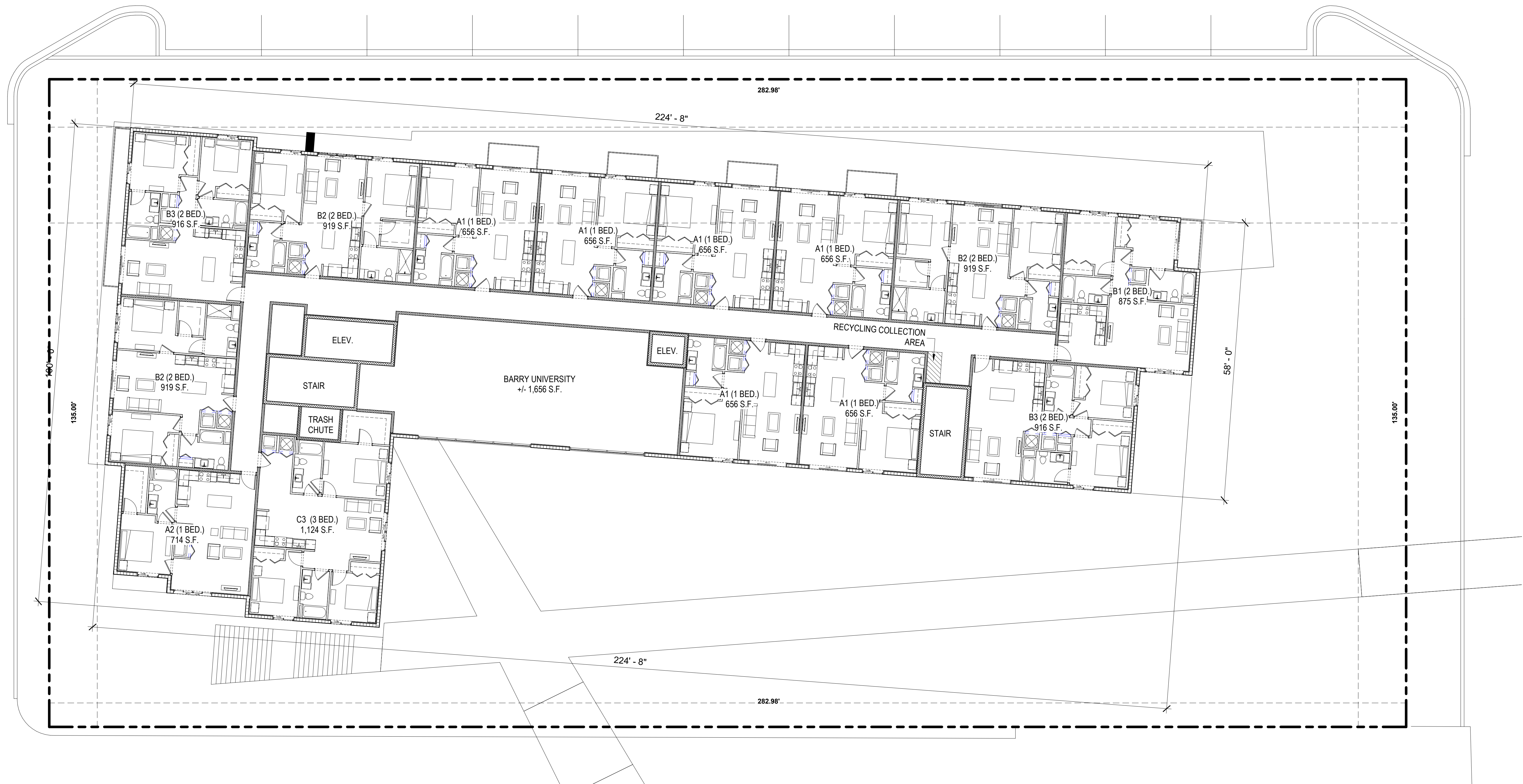
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2ND FLOOR PLAN (PHASE I)

LEVEL 2 PHASE I
SCALE: 3/32" = 1'-0"

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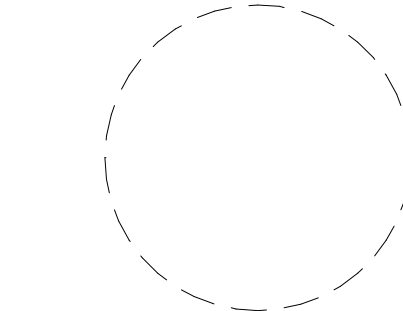
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3RD-7TH FLOOR PLAN
(PHASE I)

1 LEVEL 6-7 PHASE I
SCALE: 3/32" = 1'-0"

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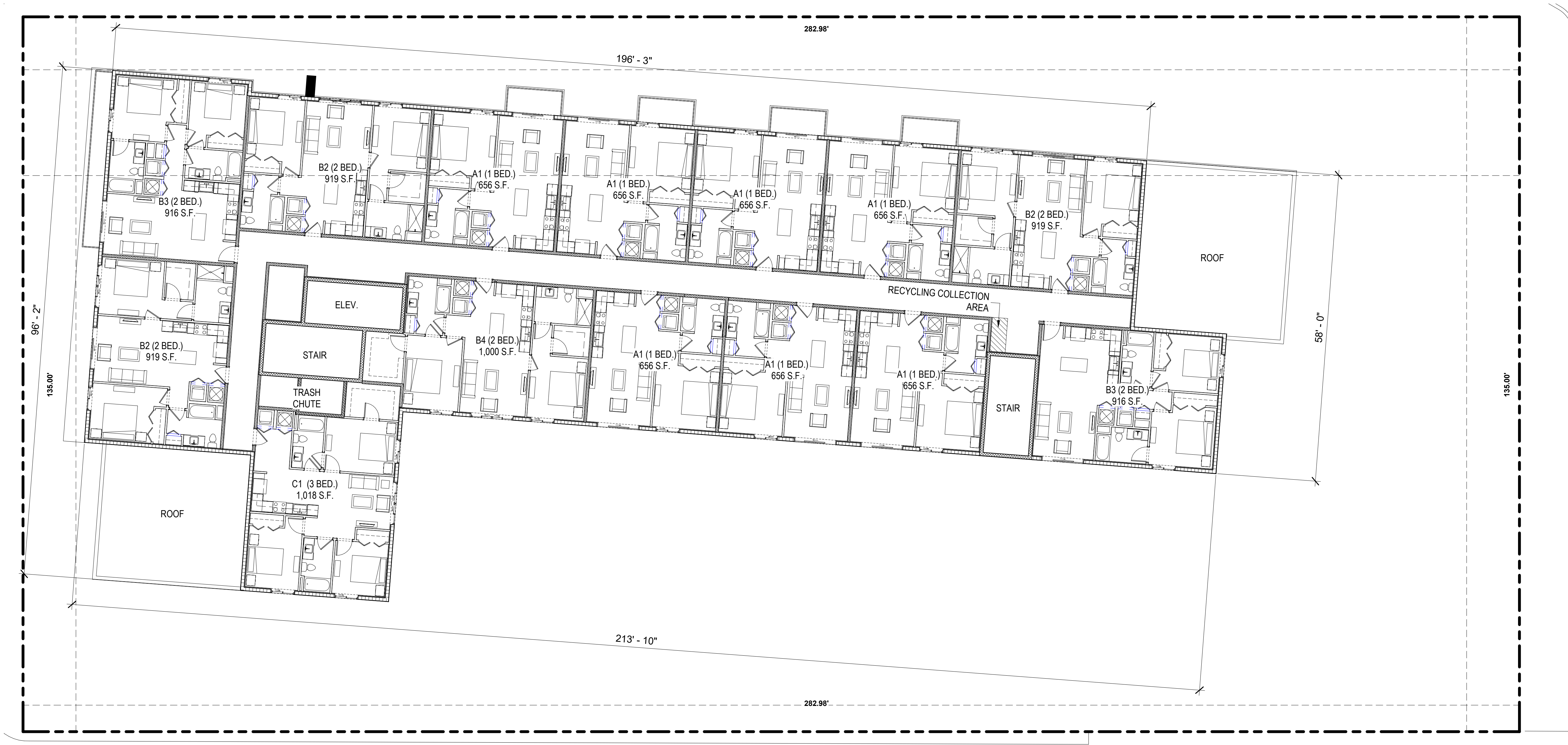
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1 LEVEL 8 PHASE I
SCALE: 3/32" = 1'-0"

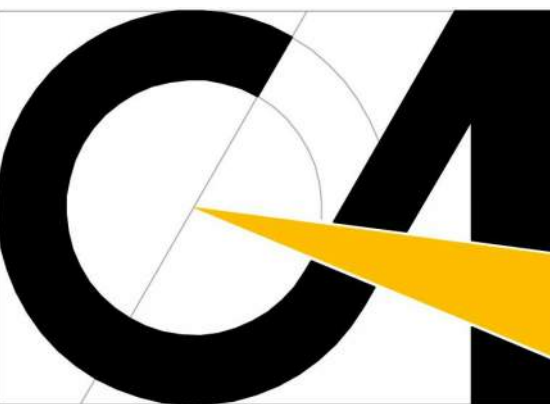
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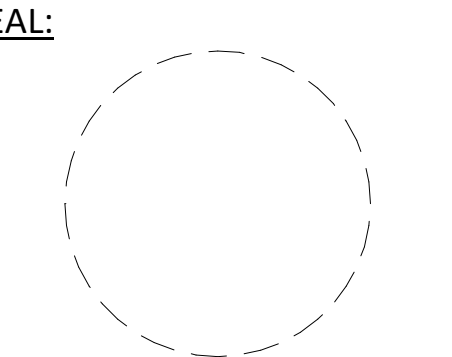
A-1.06



CORWIL ARCHITECTS
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LIC. NO. AA-C002151 T.305.448.7383



8TH FLOOR PLAN (PHASE I)

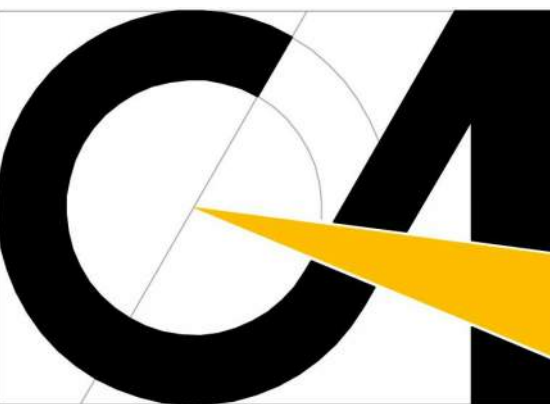


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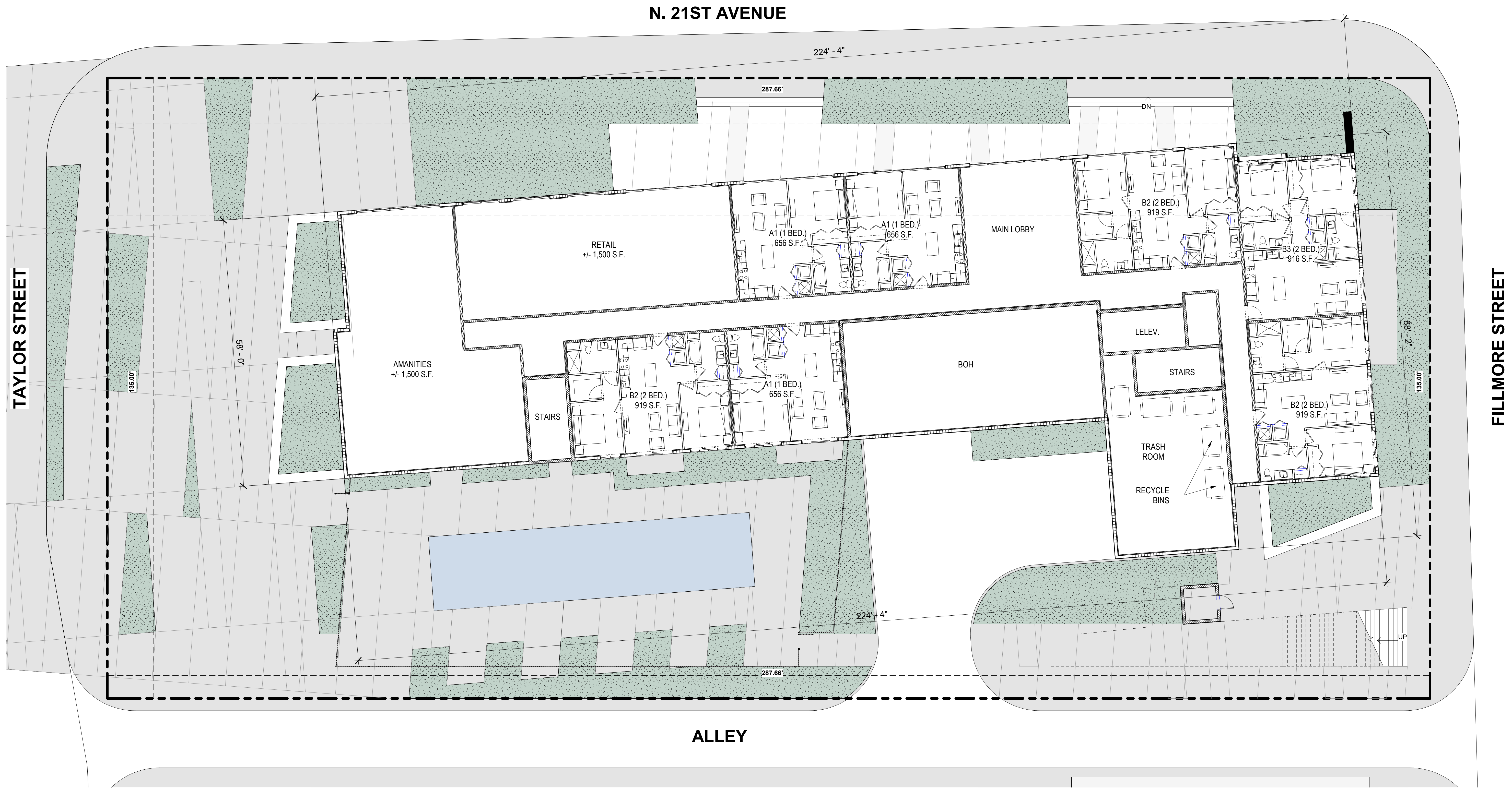


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4210 LAGUNA ST, CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

1 LEVEL 8 PHASE I
SCALE: 3/32" = 1'-0"

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133



GROUND FLOOR PLAN
(PHASE II)

GROUND FLOOR PHASE II
SCALE: 3/32" = 1'-0"

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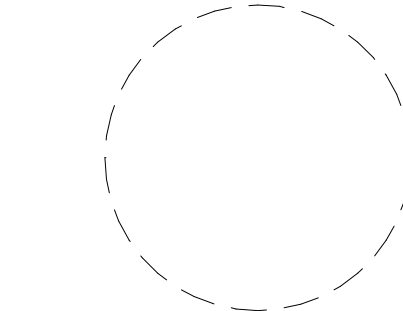
A-1.07



2ND-4TH FLOOR PLAN
(PHASE II)

LEVEL 2-4 PHASE II
SCALE: 3/32" = 1'-0"

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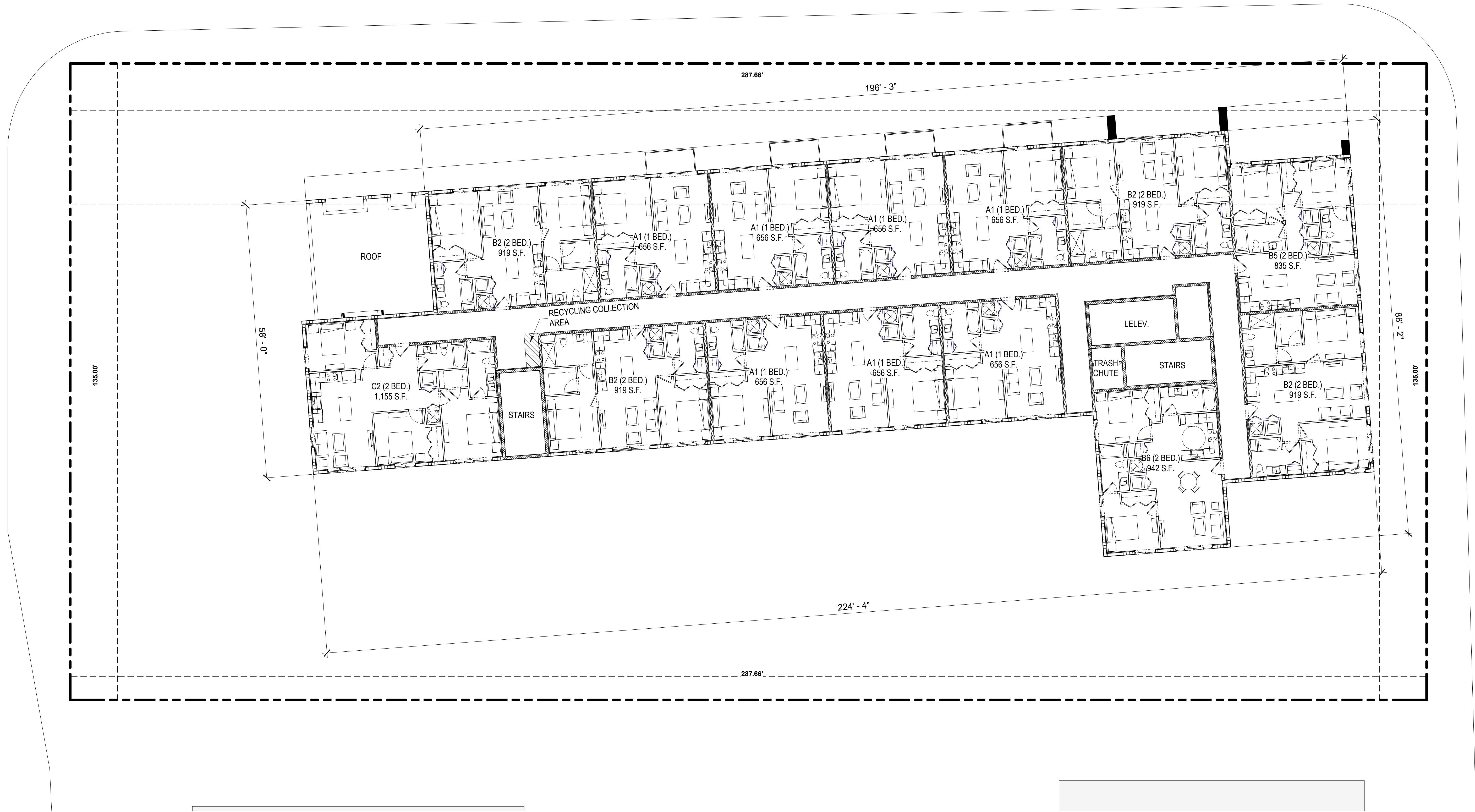
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A-1.08



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383



LEVEL 5-8 PHASE II
SCALE: 3/32" = 1'-0"

**5TH-8TH FLOOR PLAN
(PHASE II)**

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JOB No.: 2020-11
DRAWN BY: GL, MA
APPR BY: AMC

SHEET NUMBER:

A-1.09

PARKING BREAKDOWN	
GROUND FLOOR (G.XX)	PROVIDED
REGULAR PARKING SPACES	72 SPACES
HC SPACES	14 SPACES
TOTAL PARKING SPACES	86 SPACES
FUTURE ELECTRICAL VEHICLES SPACES	5 SPACES

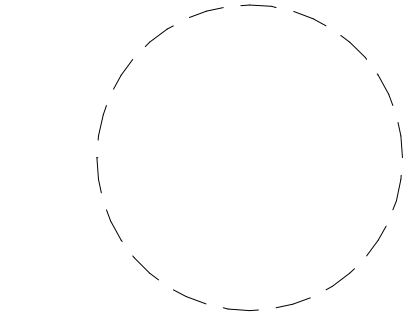
PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
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GROUND FLOOR PLAN
(GARAGE)

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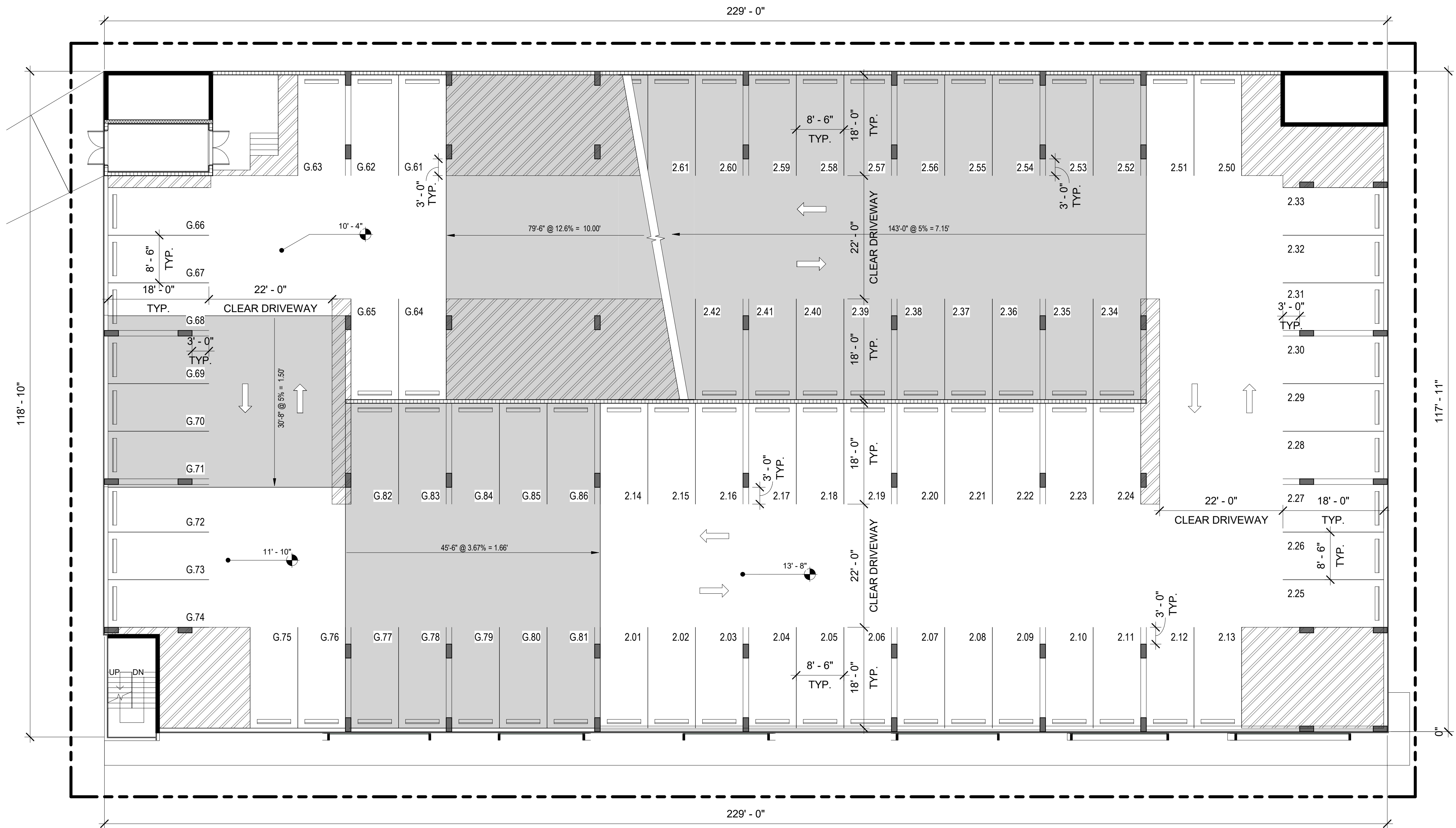
A-1.10

GROUND FLOOR
SCALE: 3/32" = 1'-0"

PARKING BREAKDOWN	
SECOND FLOOR (2.XX)	PROVIDED
REGULAR PARKING SPACES	80 SPACES
HC SPACES	2 SPACES
TOTAL PARKING SPACES	82 SPACES
FUTURE ELECTRICAL VEHICLES SPACES	0 SPACES

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

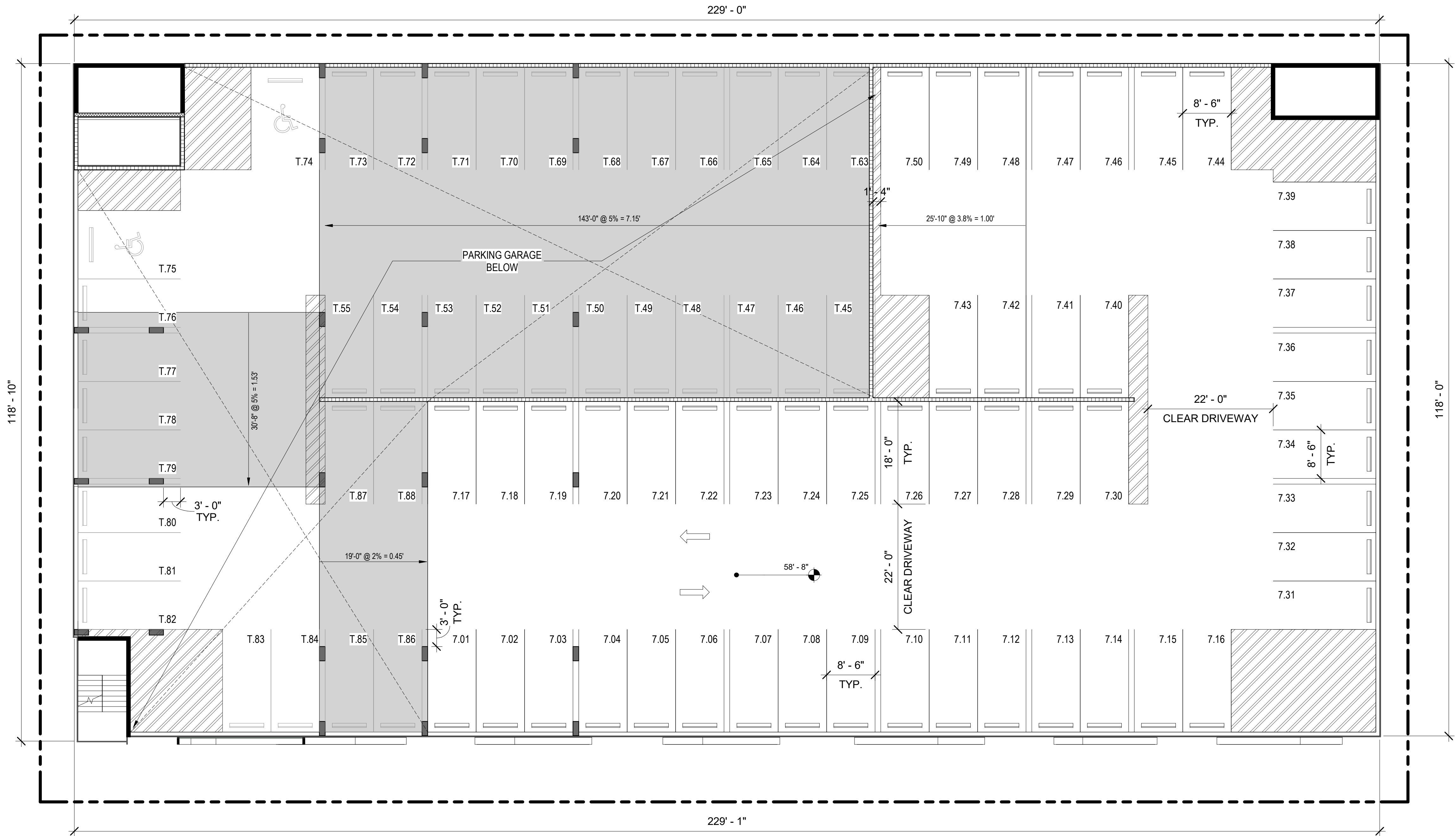
OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133



PARKING BREAKDOWN	
7TH FLOOR (7.XX)	PROVIDED
REGULAR PARKING SPACES	50 SPACES
HC SPACES	0 SPACES
TOTAL PARKING SPACES	50 SPACES
FUTURE ELECTRICAL VEHICLES SPACES	0 SPACES

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
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MIAMI FL. 33133



Level 7
SCALE: 3/32" = 1'-0"

**7TH FLOOR PLAN
(GARAGE)**

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A-1.13



PROJECT:

University Station
2030 Polk St
Hollywood, FL 33020

OWNER:

HTG Housing Trust
Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

8TH FLOOR PLAN
(GARAGE)

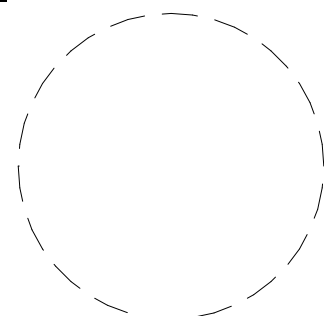
PHASE:

MASSING
STUDY

PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

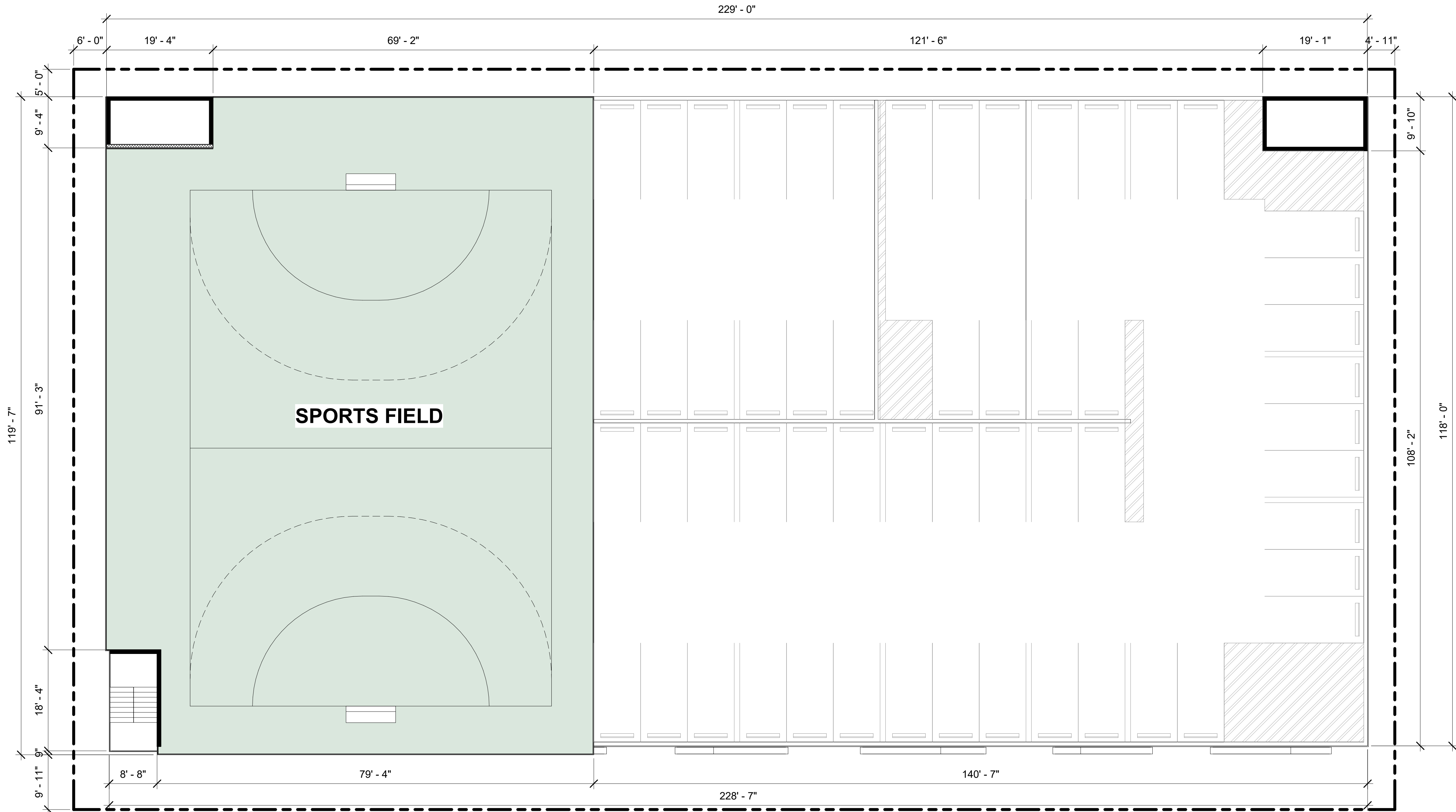


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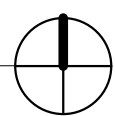
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Level 8

SCALE: 3/32" = 1'-0"





PROJECT:

University Station

2030 Polk St
Hollywood, FL 33020

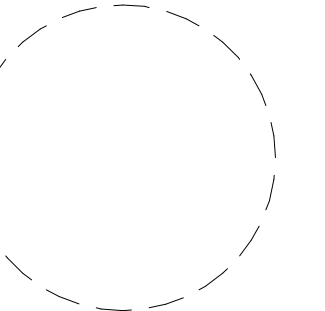
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Group**

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PERSPECTIVE VIEW

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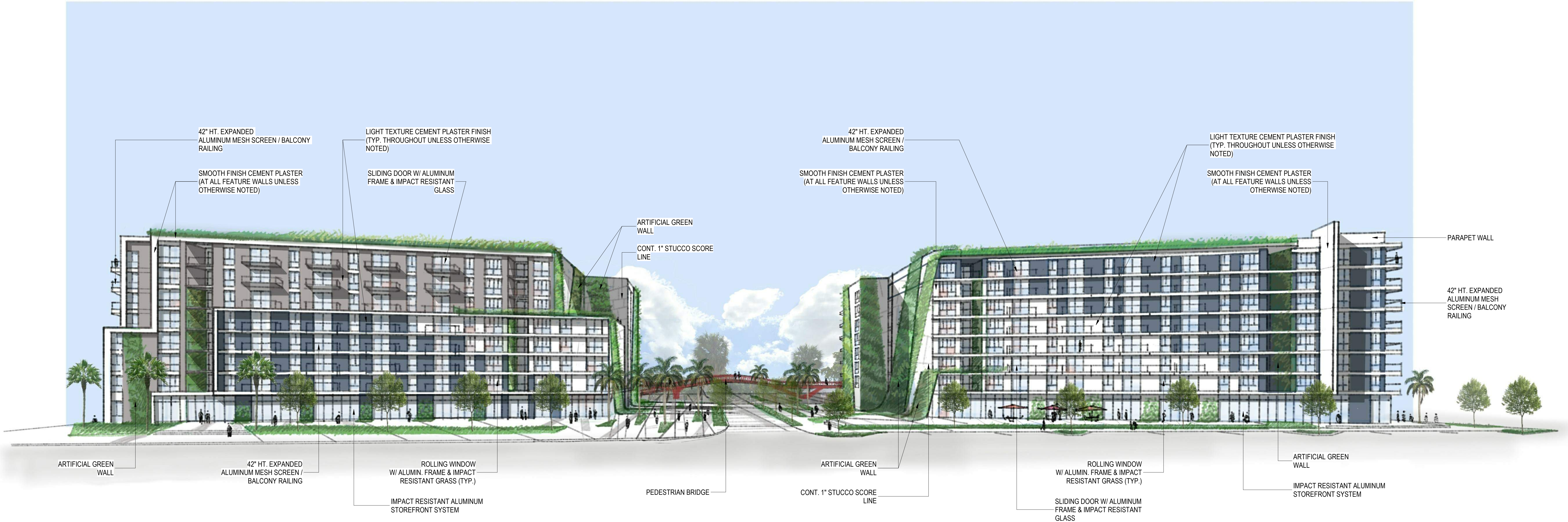
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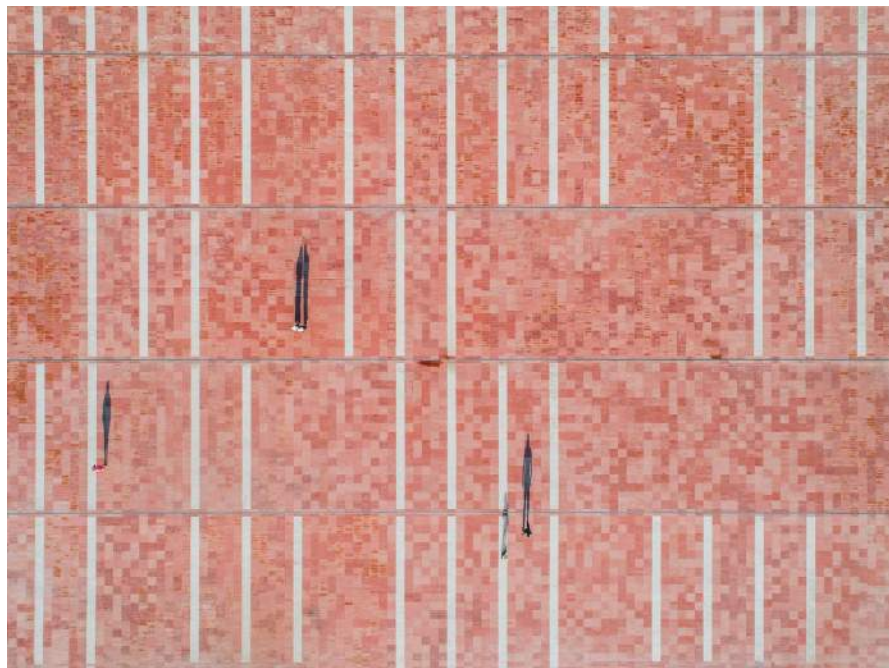
CORWIL ARCHITECTS
4210 LAGUNA ST, CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383



PERSPECTIVE VIEW



EXPANDED ALUMINUM BALCONY RAILING



PLAZA PAVEMENT MATERIAL



PLAZA DESIGN INTENT



PEDESTRIAN BRIDGE



ARTIFICIAL GREEN WALL



WALL PLANTER SYSTEM

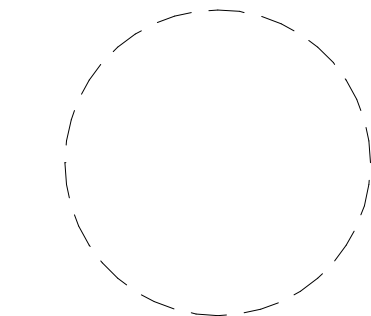


BOLLARDS



FEATURE WALL ARTICULATION

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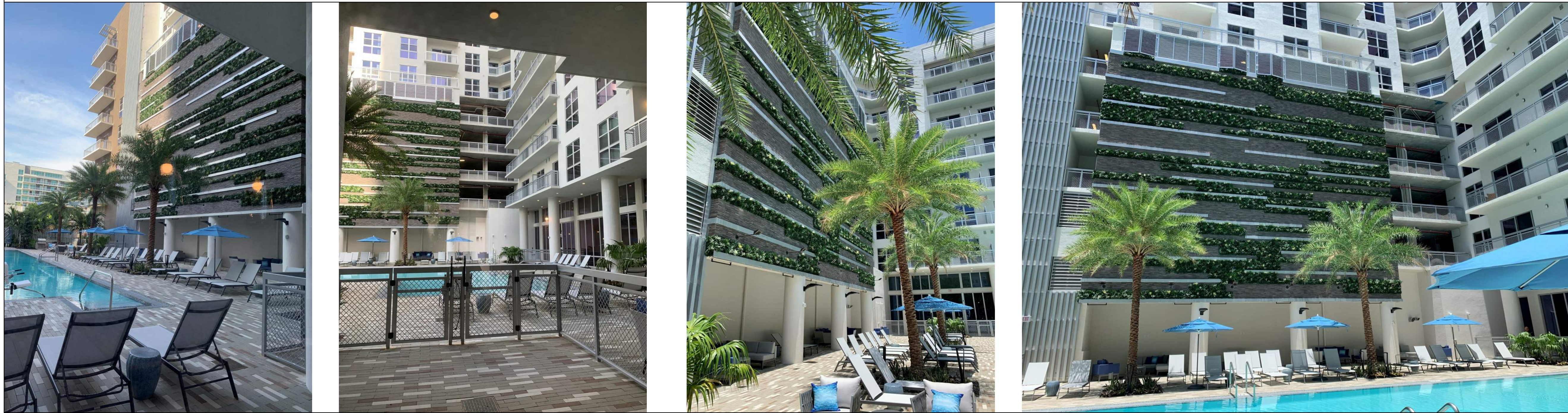


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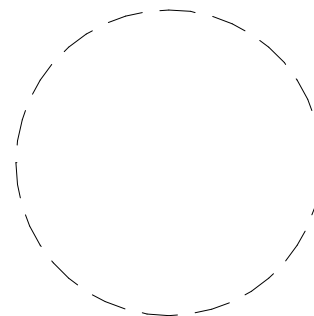
- | | |
|--|---------------------------------|
| 1. VERTICAL GARDEN | 4. VEHICULAR BOLLARD |
| 2. 18" HIGH POURED IN PLACE CONC. BENCH | 5. 6" X 24" CONC. NARROW PAVERS |
| 3. 6" X 24" CONC. NARROW PAVERS (OPEN JOINT) | 6. PEDESTRIAN BRIDGE |

SECTION

ARTIFICIAL GREEN WALL FROM EASYGREEN / VISTAGREEN LINE. (SEE SAMPLE WORK BELOW)



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SHEET NUMBER:

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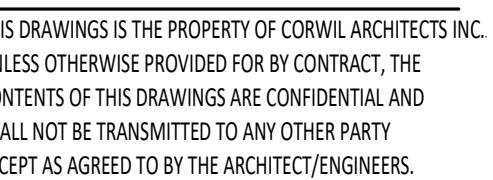


CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

University Station

OWNER:

3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

REAL:

SHEET NUMBER:



CORWIL ARCHITECTS
210 LAGUNA ST. CORAL GABLES FL. 33146
C.NO. AA-C002151 T.305.448.7383



ELEVATION LEGEND							
1	LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	5	BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR.	10	ROLLING WINDOW W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS (TYP.)	16	ACCESS STEPS/ STOOP.
2	SMOOTH FINISH CEMENT PLASTER, AT ALL FEATURE WALLS UNLESS OTHERWISE NOTED	6	42" H. EXPANDED ALUMINUM MESH SCREEN / BALCONY RAILING (KYNAR FINISH). MESH SHALL RESIST 4" OBSTACLES.	11	IMPACT RESISTANT METAL DOOR	17	CONCRETE ARCHITECTURAL FIN
3	CONT. 1" WIDE STUCCO SCORE LINE. ALL LINES TO BE CONTINUOUS AND AT SAME HEIGHT THROUGHOUT ELEVATIONS	7	6" H. AL. ALUMINUM PRIVACY PANEL (KYNAR)	12	CONCRETE ROUND COLUMN	18	GARAGE ENTRANCE
4	CONCRETE EYEBROW W/ SLOPE AND APPLIED WATERPROOFING THROUGHOUT.	8	SLIDING DOOR W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS	13	PARAPET WALL	19	ALUMINUM CLADDING SYSTEM (KYNAR FINISH. COLOR TO BE SELECTED BY OWNER/ ARCHITECT LANDSCAPE PLANTER
		9	IMPACT RESISTANT ALUMINUM (KYNAR FINISH) STOREFRONT SYSTEM.	14	STAIR CORE AT ROOF LEVEL	20	ARTIFICIAL GREEN WALL SYSTEM
				15	ELEVATOR CORE AT ROOF LEVEL	21	12" X 24" BUILDING SIGNAGE (UNDER SEPARATE PERMIT)

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133



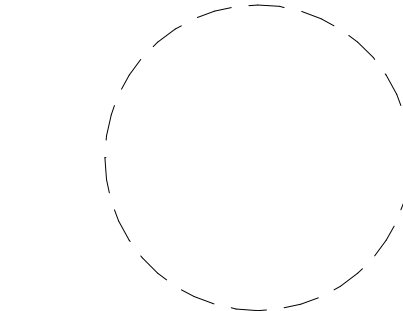
PHASE I W COLOR ELEVATION



PHASE II W COLOR ELEVATION

COLOR ELEVATIONS

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DATE: 3/7/2020
JOB No.: 2020-11
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.00A



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

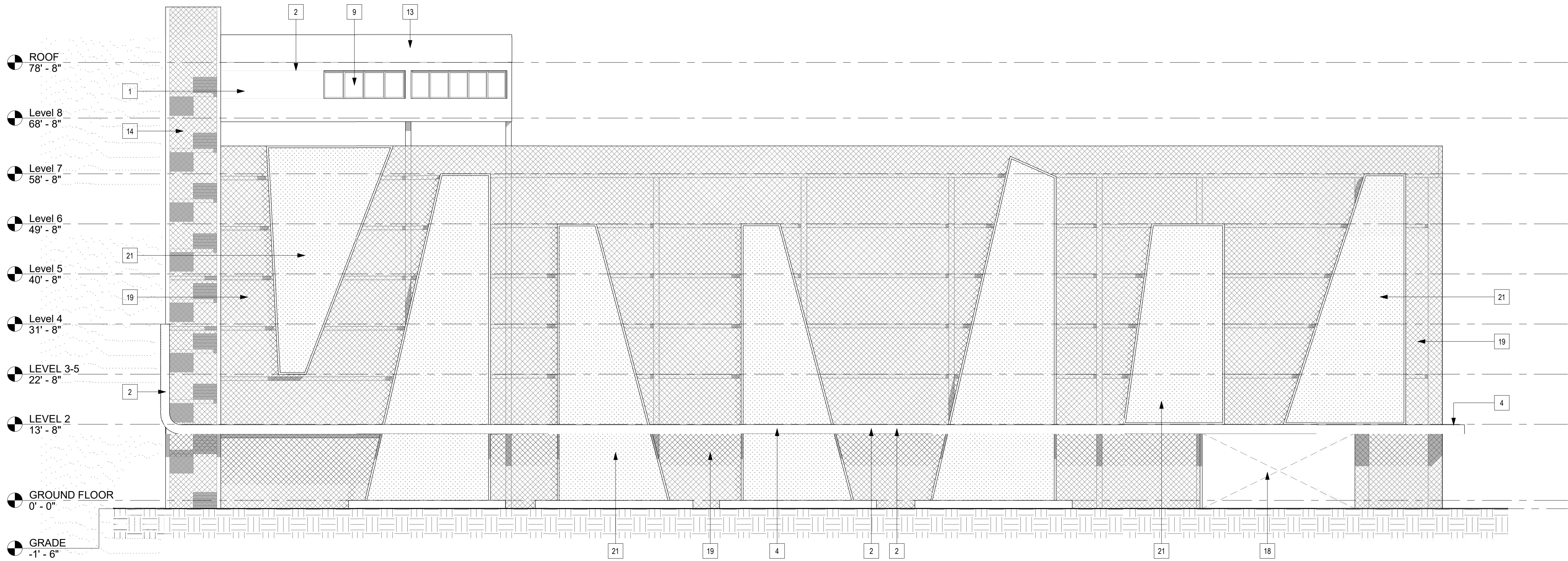
University Station

2030 Polk St
Hollywood, FL 33020

OWNER:

HTG Housing Trust
Group

3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

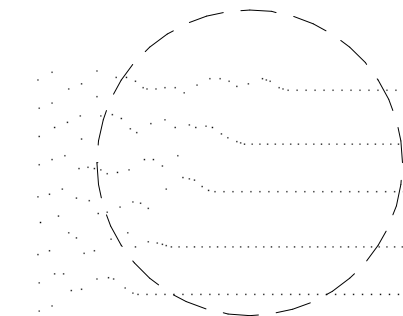


1 GARAGE S ELEVATION

SCALE: 3/32" = 1'-0"

ELEVATIONS

SEAL:



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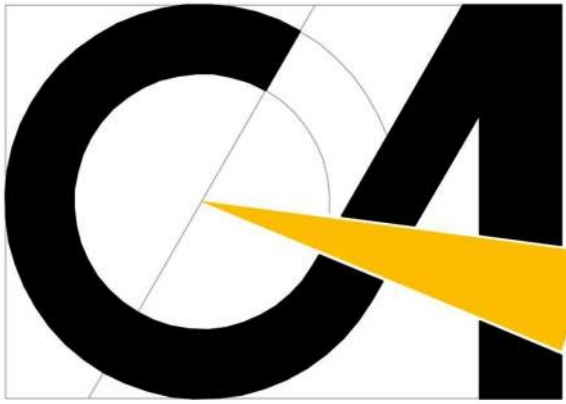
DATE: 3/7/2020
JOB No.: 2020-11
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.01

ELEVATION LEGEND			
1	LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	5	BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR
2	SMOOTH FINISH CEMENT PLASTER (AT ALL FEATURE WALLS UNLESS OTHERWISE NOTED)	6	42" HT. EXPANDED ALUMINUM MESH SCREEN / BALCONY RAILING (KYNAR FINISH). MESH SHALL REJECT 4" OBJECTS.
3	CONT. 1" WIDE STUCCO SCORE LINE. ALL LINES TO BE CONTINUOUS AND AT SAME HEIGHT THROUGHOUT ELEVATIONS	7	6'-0" HT. ALUMINUM PRIVACY PANEL (KYNAR)
4	CONCRETE EYEBROW W/ SLOPE AND APPLIED WATERPROOFING THROUGHOUT.	8	SLIDING DOOR: W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS
		9	IMPACT RESISTANT ALUMINUM (KYNAR FINISH) STOREFRONT SYSTEM.
		10	ROLLING WINDOW W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS (TYP.)
		11	IMPACT RESISTANT METAL DOOR
		12	CONCRETE ROUND COLUMN
		13	PARAPET WALL
		14	STAIR CORE AT ROOF LEVEL
		15	ELEVATOR CORE AT ROOF LEVEL
		16	ACCESS STEPS/ STOOP.
		17	CONCRETE ARCHITECTURAL FIN
		18	GARAGE ENTRANCE
		19	ALUMINUM CLADDING SYSTEM (KYNAR FINISH. COLOR TO BE SELECTED BY OWNER/ ARCHITECT
		20	LANDSCAPE PLANTER
		21	ARTIFICIAL GREEN WALL SYTEM
		22	12" X 24" BUILDING SIGNAGE (UNDER SEPARATE PERMIT)

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

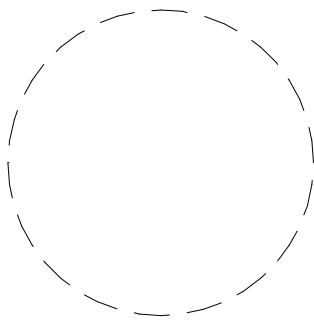
OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133



GARAGE S COLOR ELEVATION

COLOR ELEVATIONS

SEAL:



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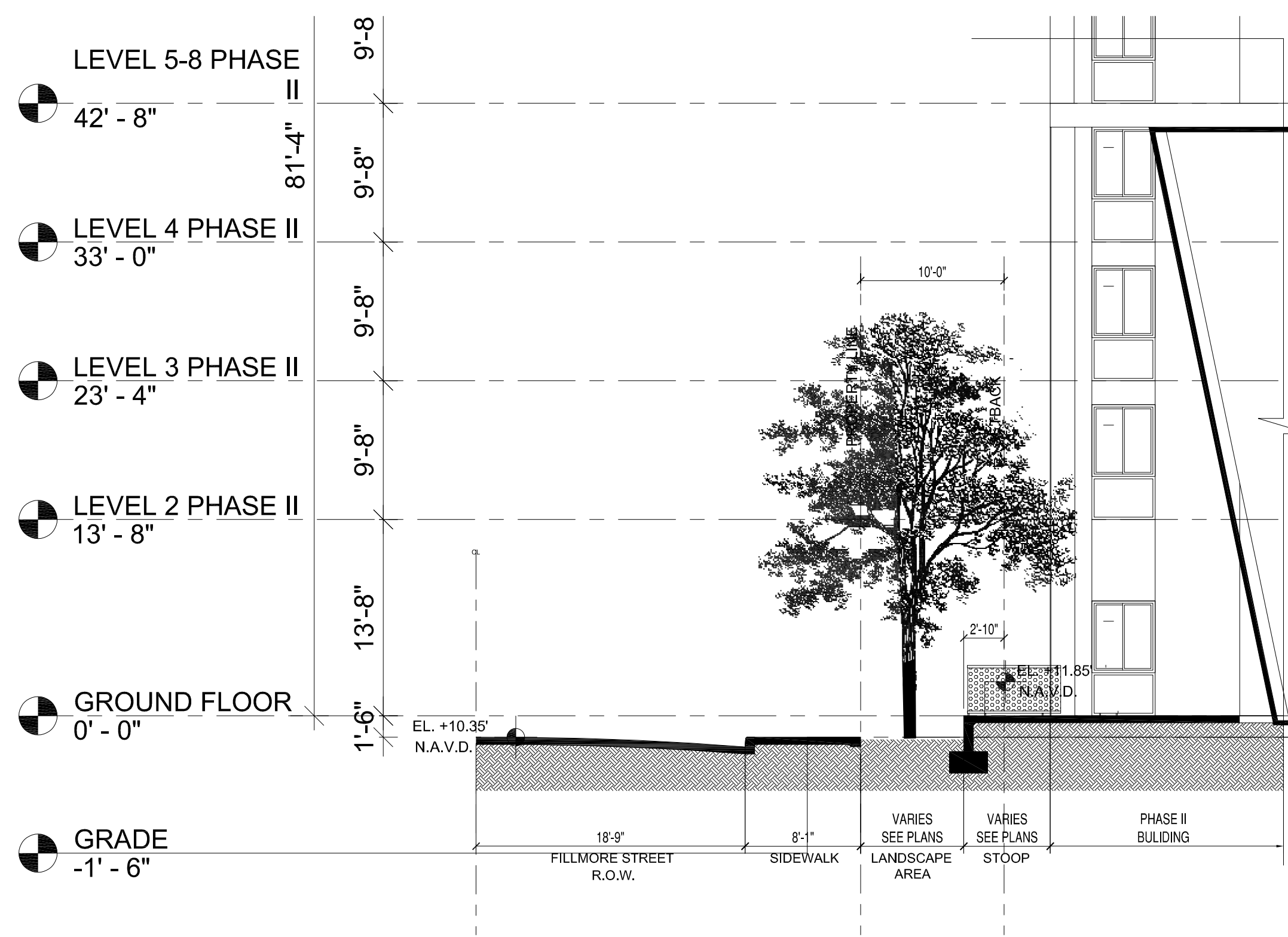
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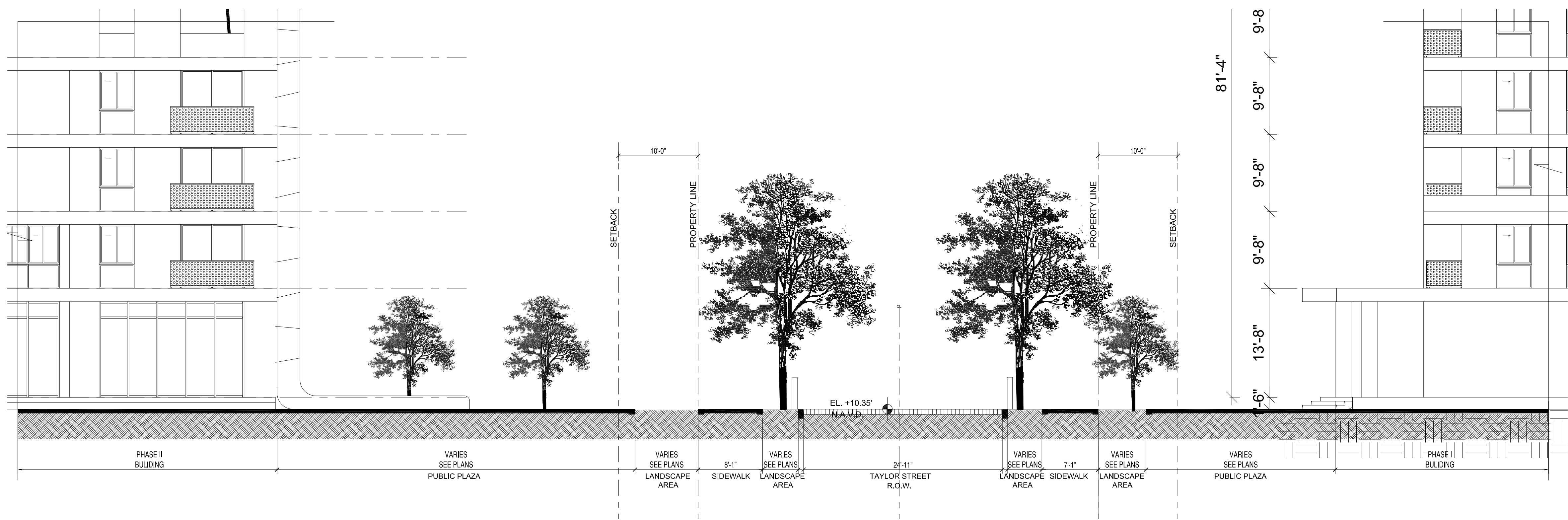
CORWIL ARCHITECTS
4210 LAGUNA ST, CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

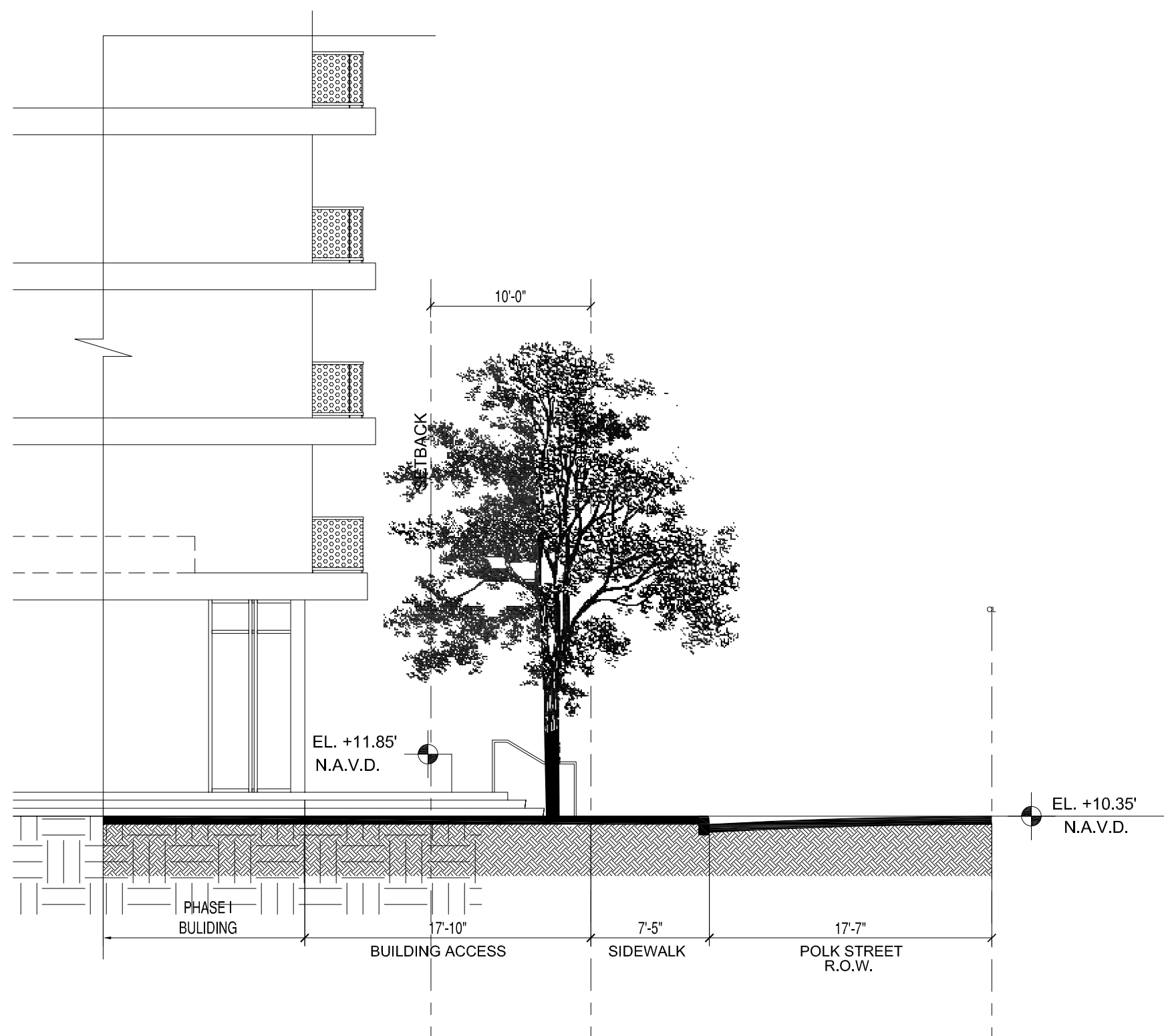
OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602,
MIAMI FL, 33133



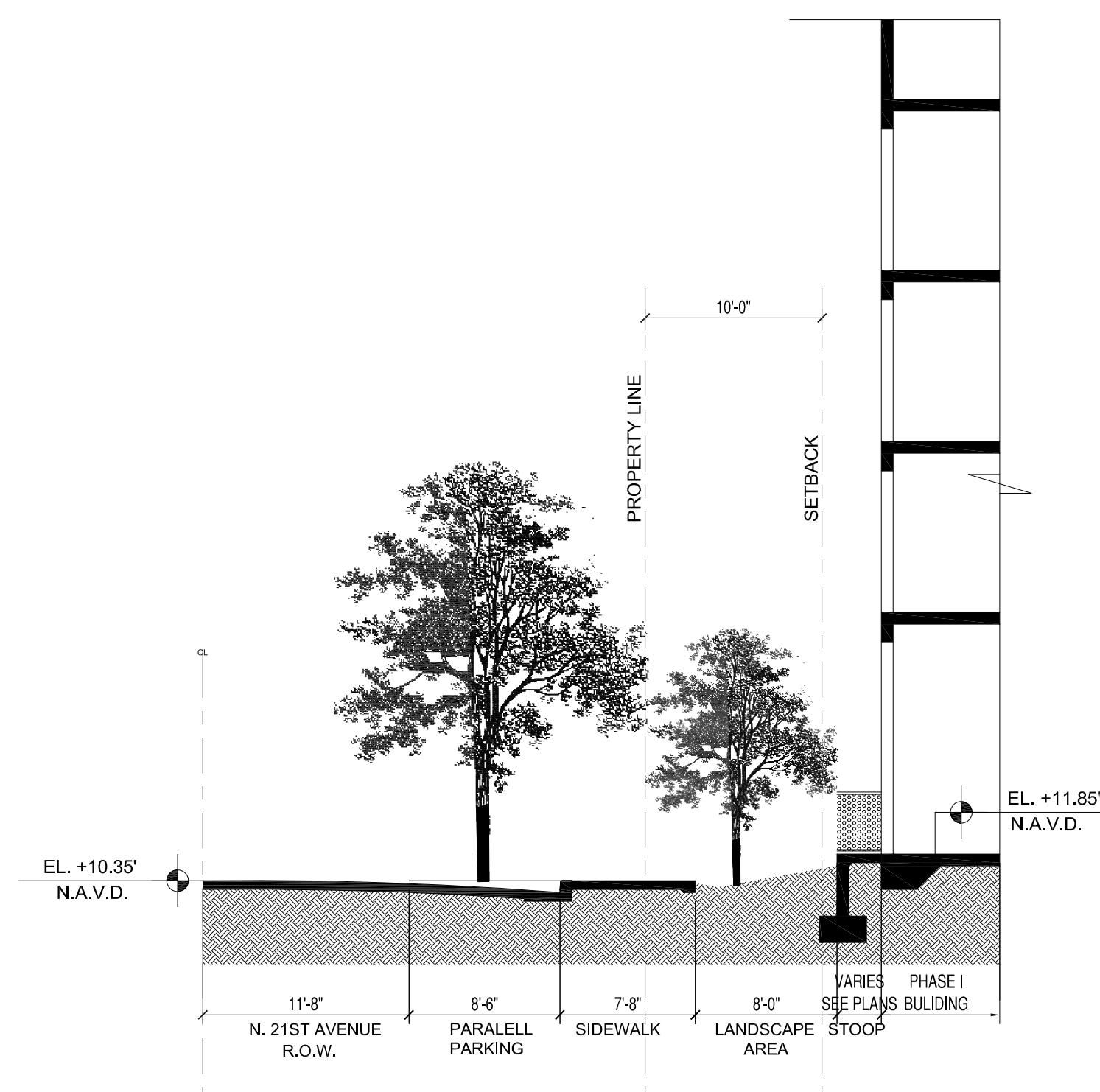
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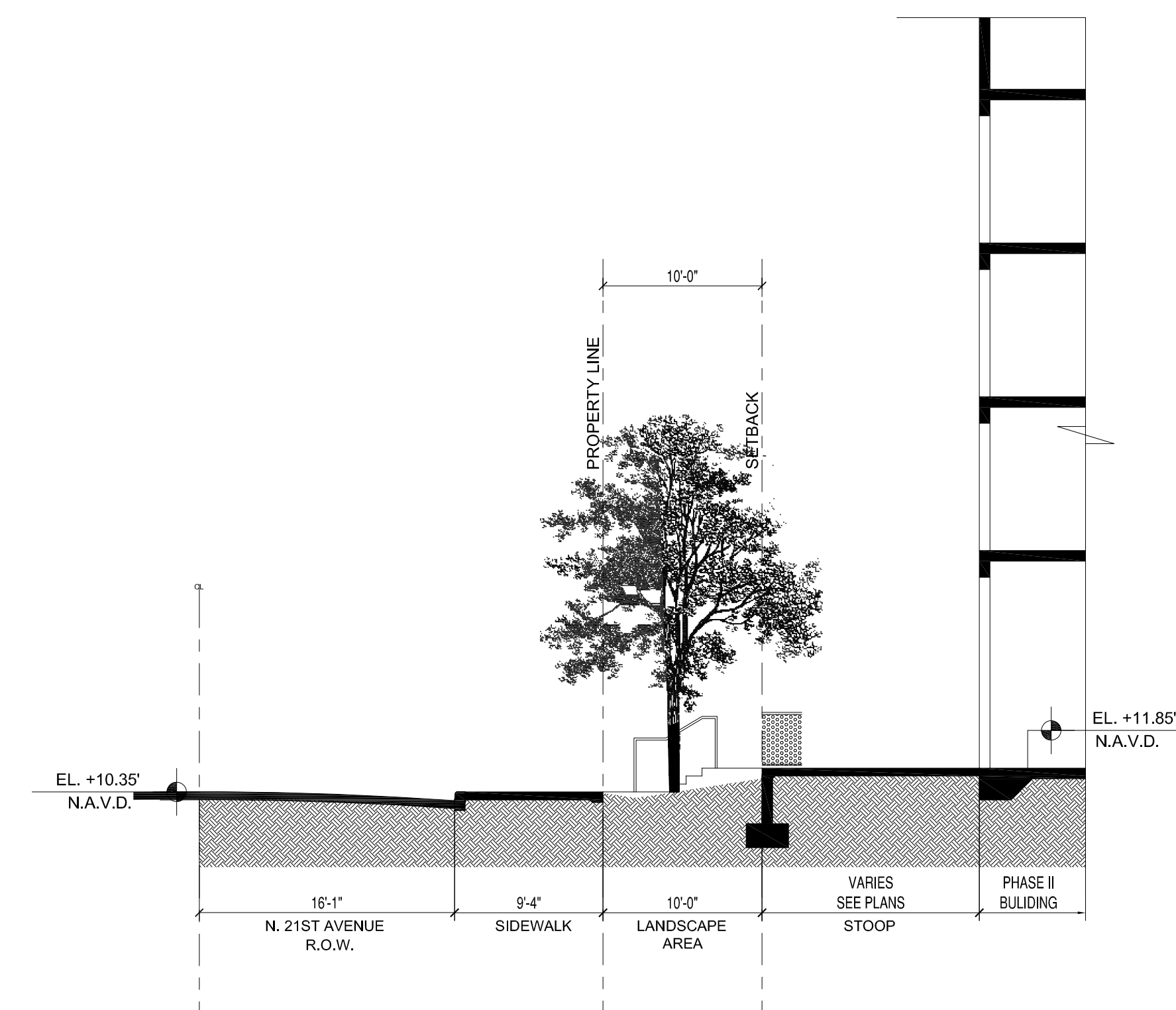
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SCALE: 1/8" = 1'-0"



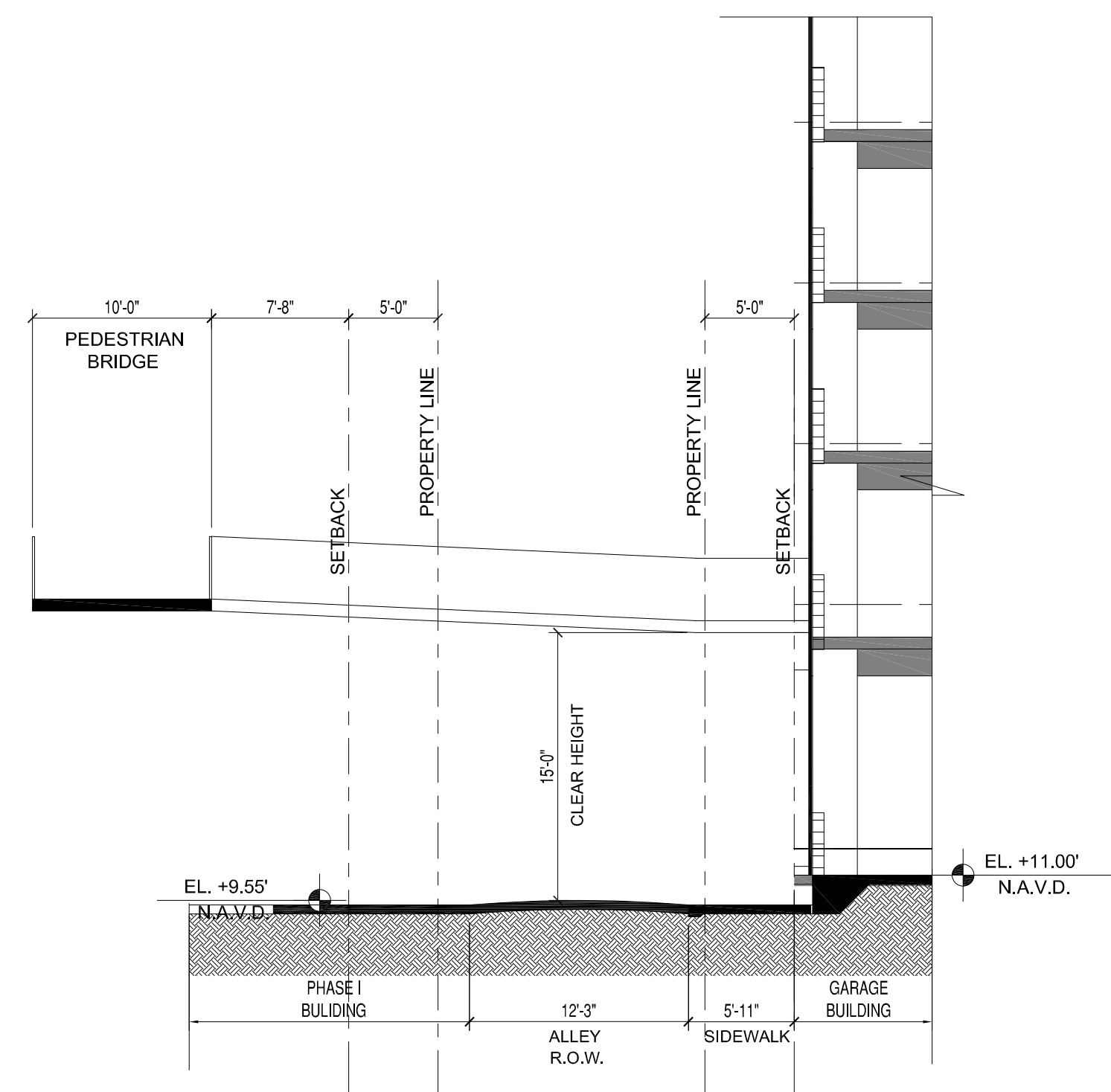
3 SECTION 3
SCALE: 1/8" = 1'-0"



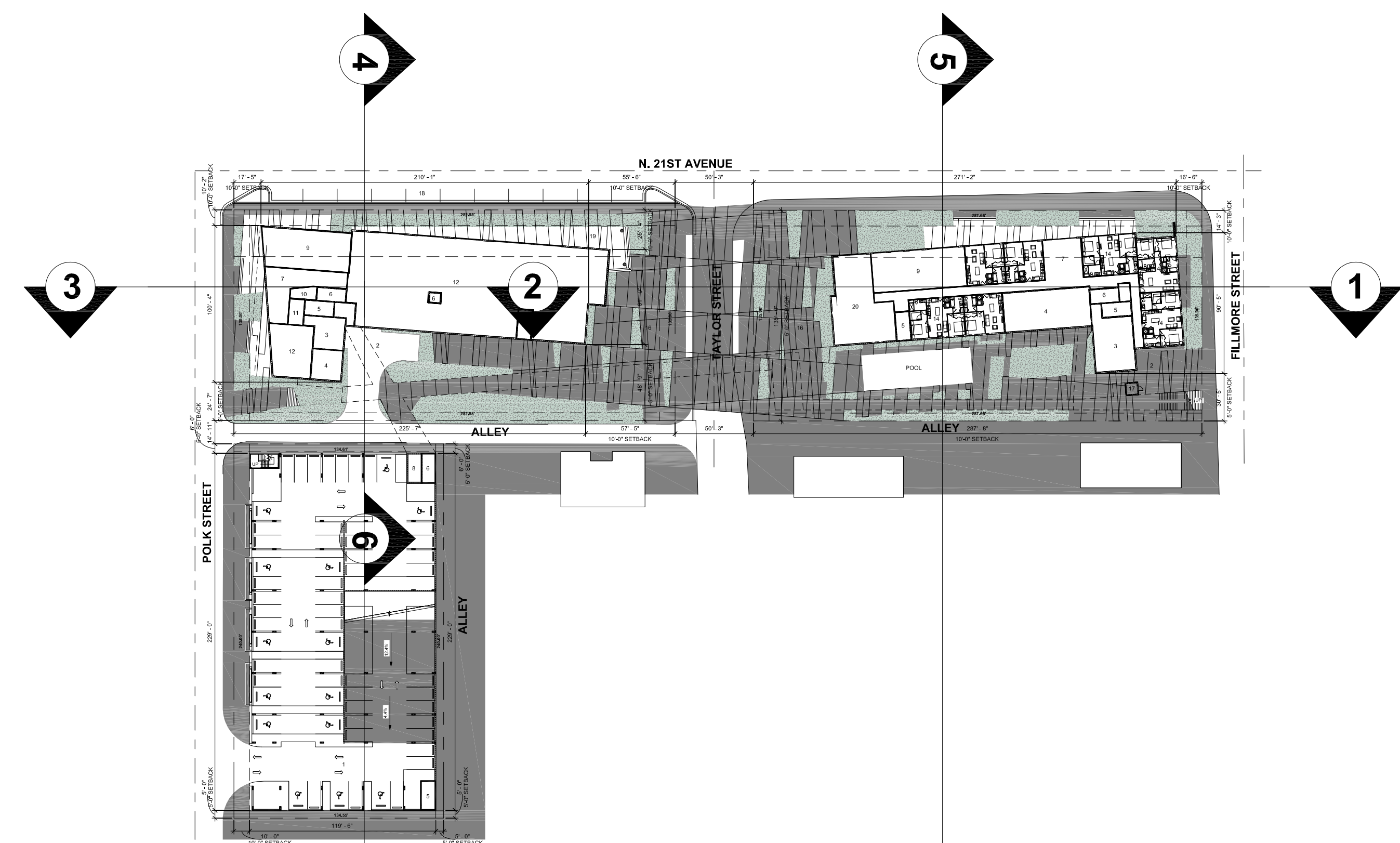
4 SECTION 4
SCALE: 1/8" = 1'-0"



5 SECTION 5
SCALE: 1/8" = 1'-0"



6 SECTION 6
SCALE: 1/8" = 1'-0"



1 KEY PLAN
SCALE: 3/32" = 1'-0"

STREET SECTIONS

SEAL:

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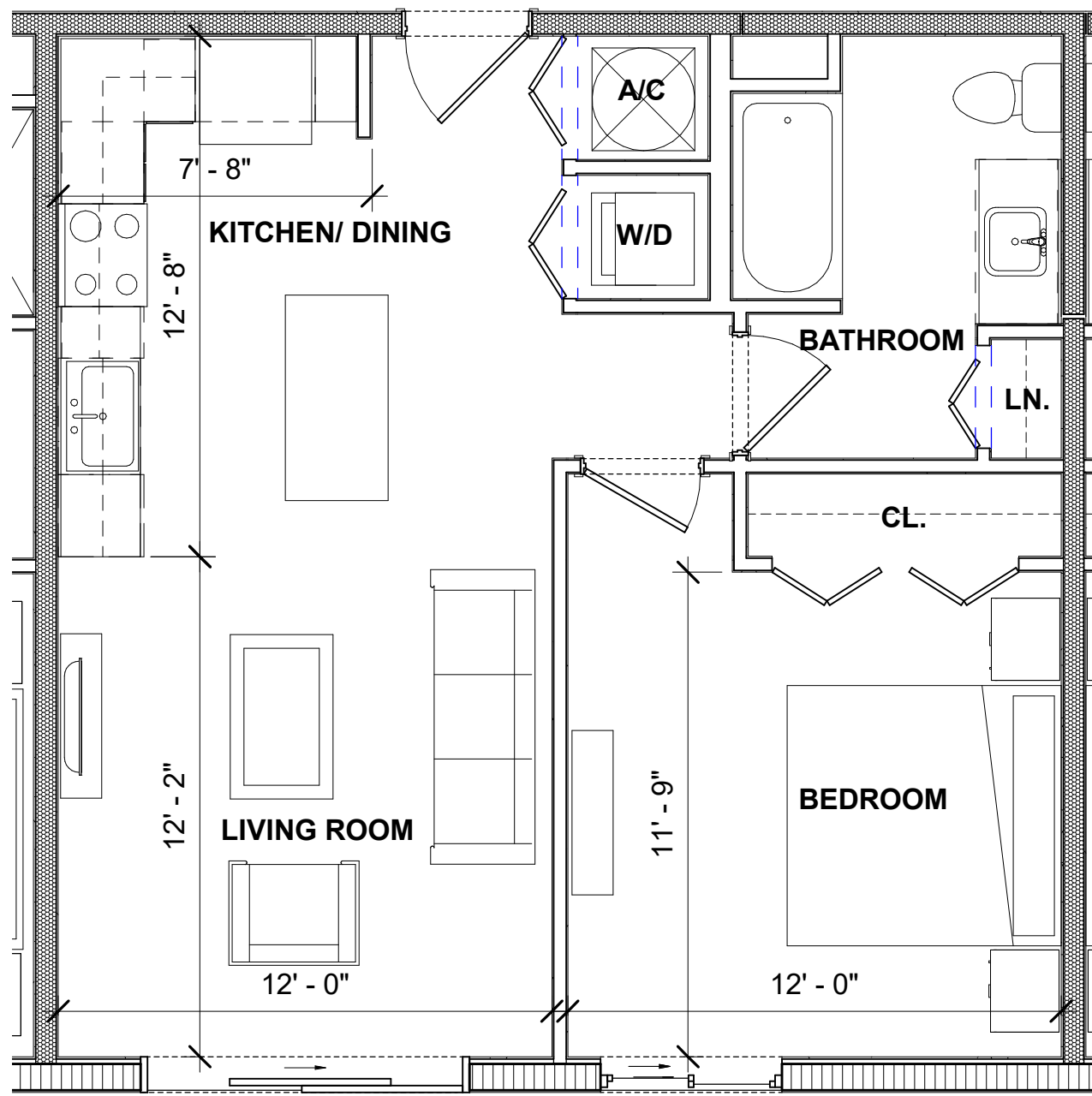
DATE: 3/7/2020
JOB No.: 2020-11
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APPR BY: Approver

SHEET NUMBER:

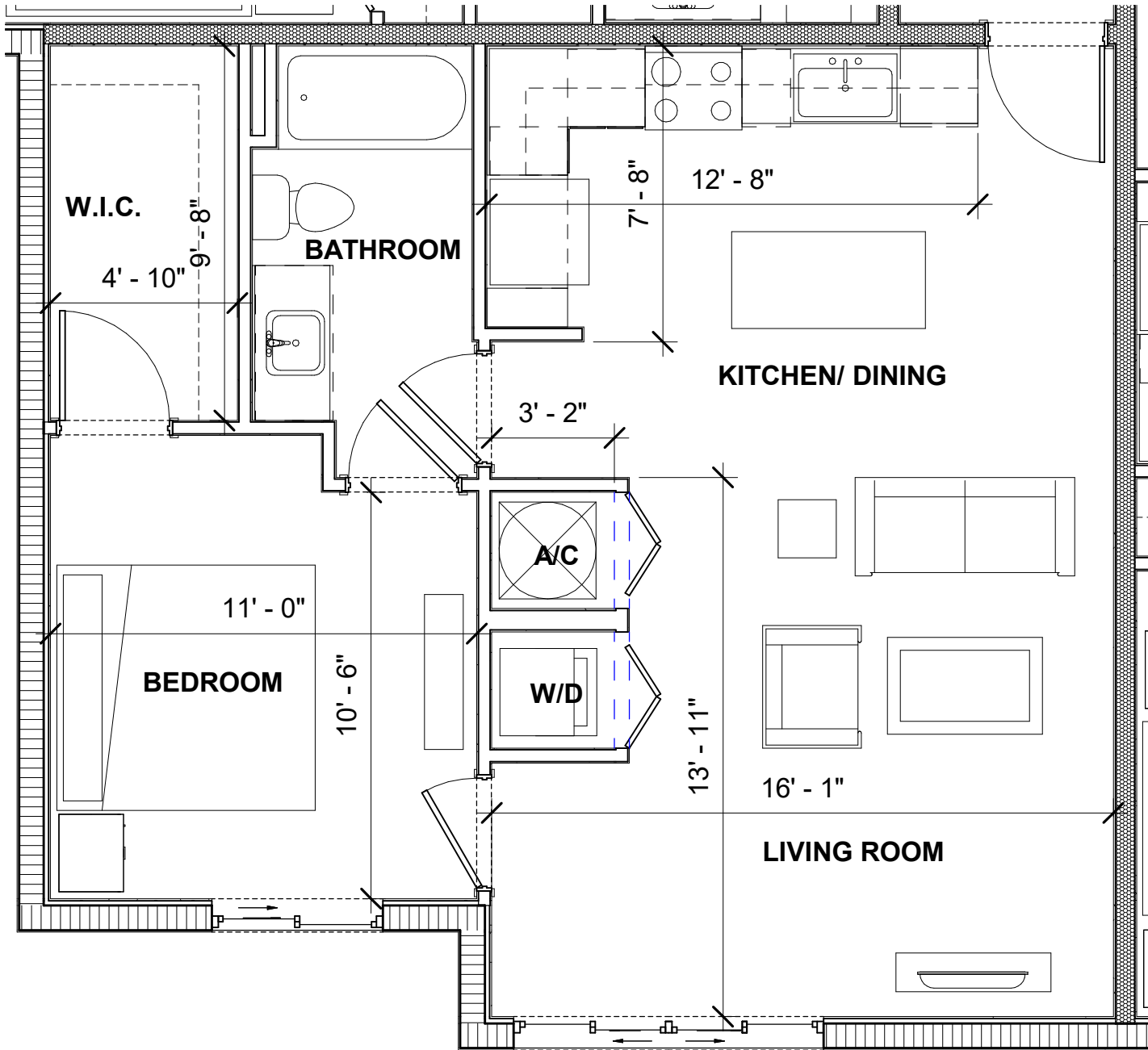
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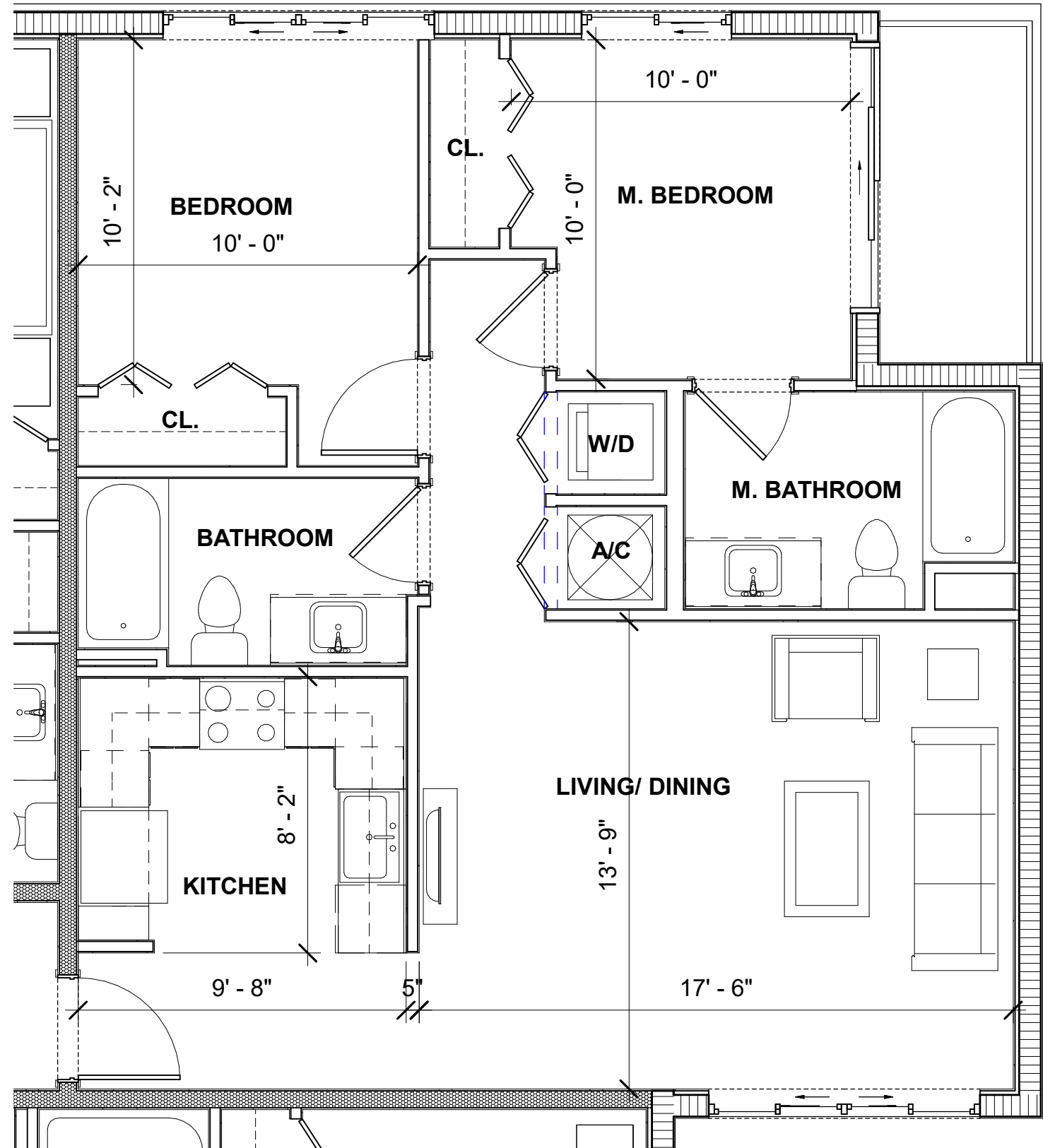
CORWIL ARCHITECTS
4210 LAGUNA ST., CORAL GABLES FL, 33146
LIC. NO. AA-C002151 T.305.448.7383



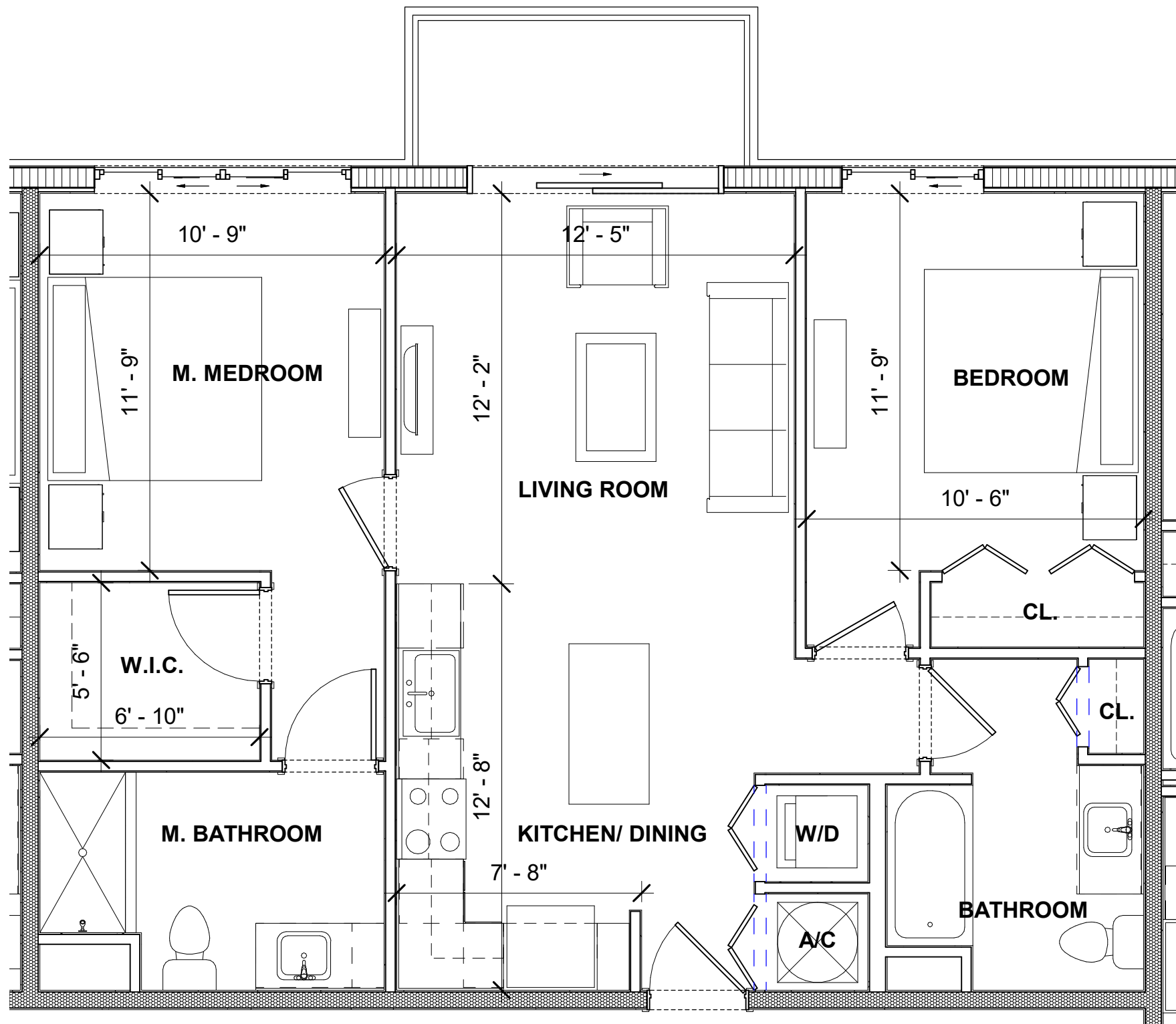
UNIT A-1
SCALE: 1/4" = 1'-0" AREA: 656 SF



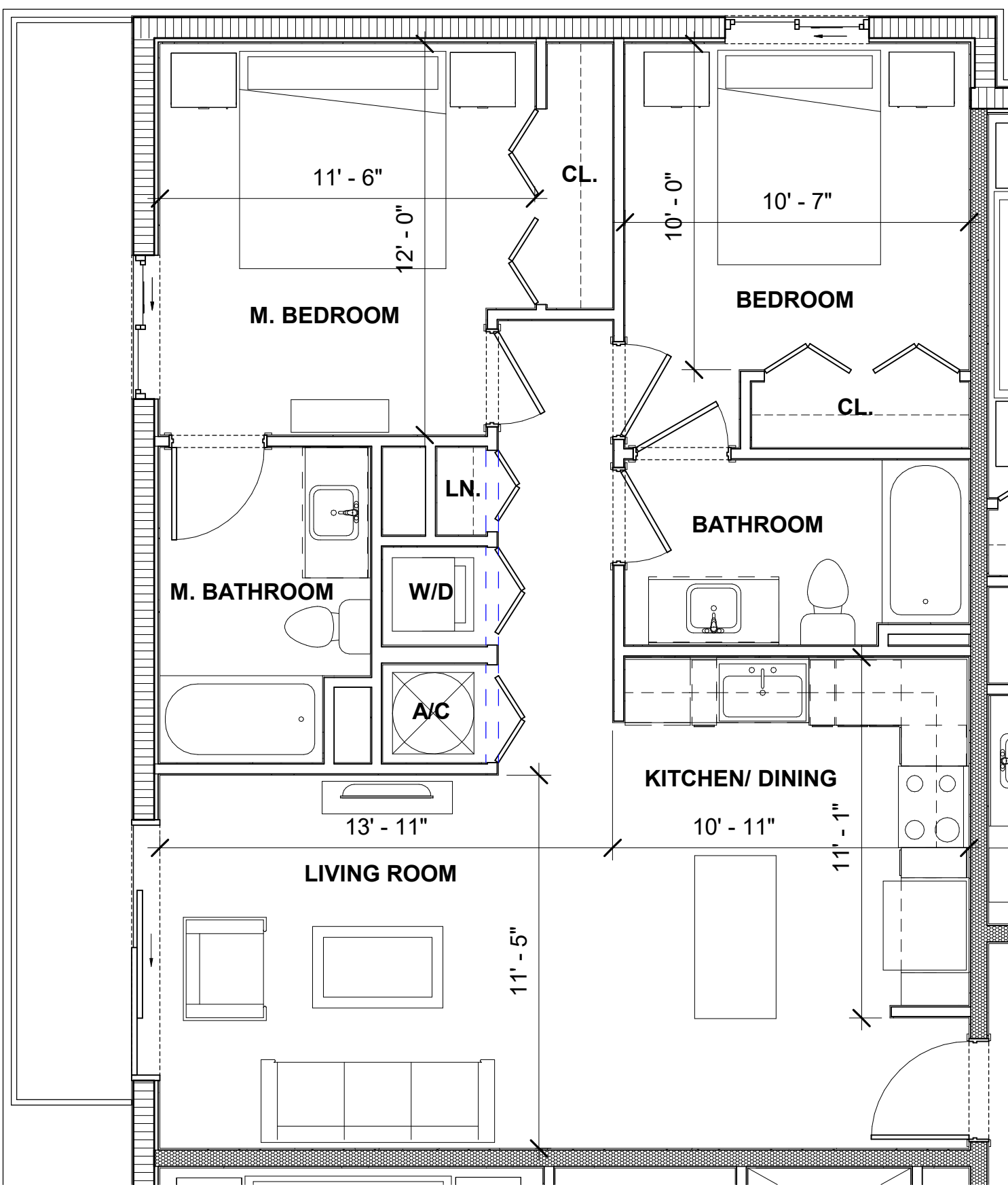
UNIT A-2
SCALE: 1/4" = 1'-0" AREA: 714 SF



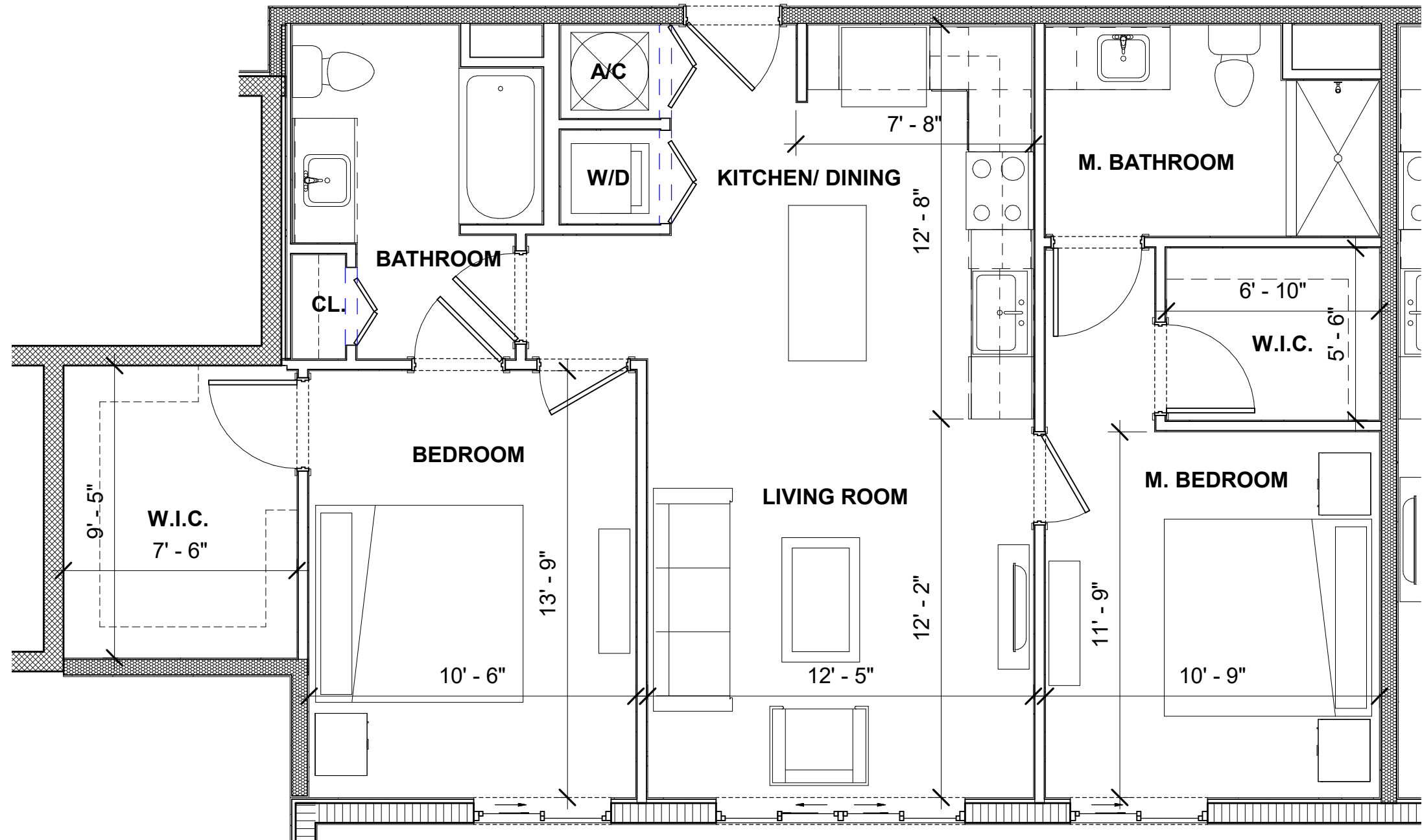
UNIT B-1
SCALE: 1/4" = 1'-0" AREA: 875 SF



UNIT B-2
SCALE: 1/4" = 1'-0" AREA: 919 SF



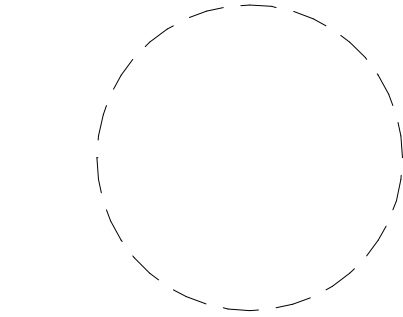
UNIT B-3
SCALE: 1/4" = 1'-0" AREA: 916 SF



UNIT B-4
SCALE: 1/4" = 1'-0" AREA: 1,000 SF

UNIT PLANS

SEAL:

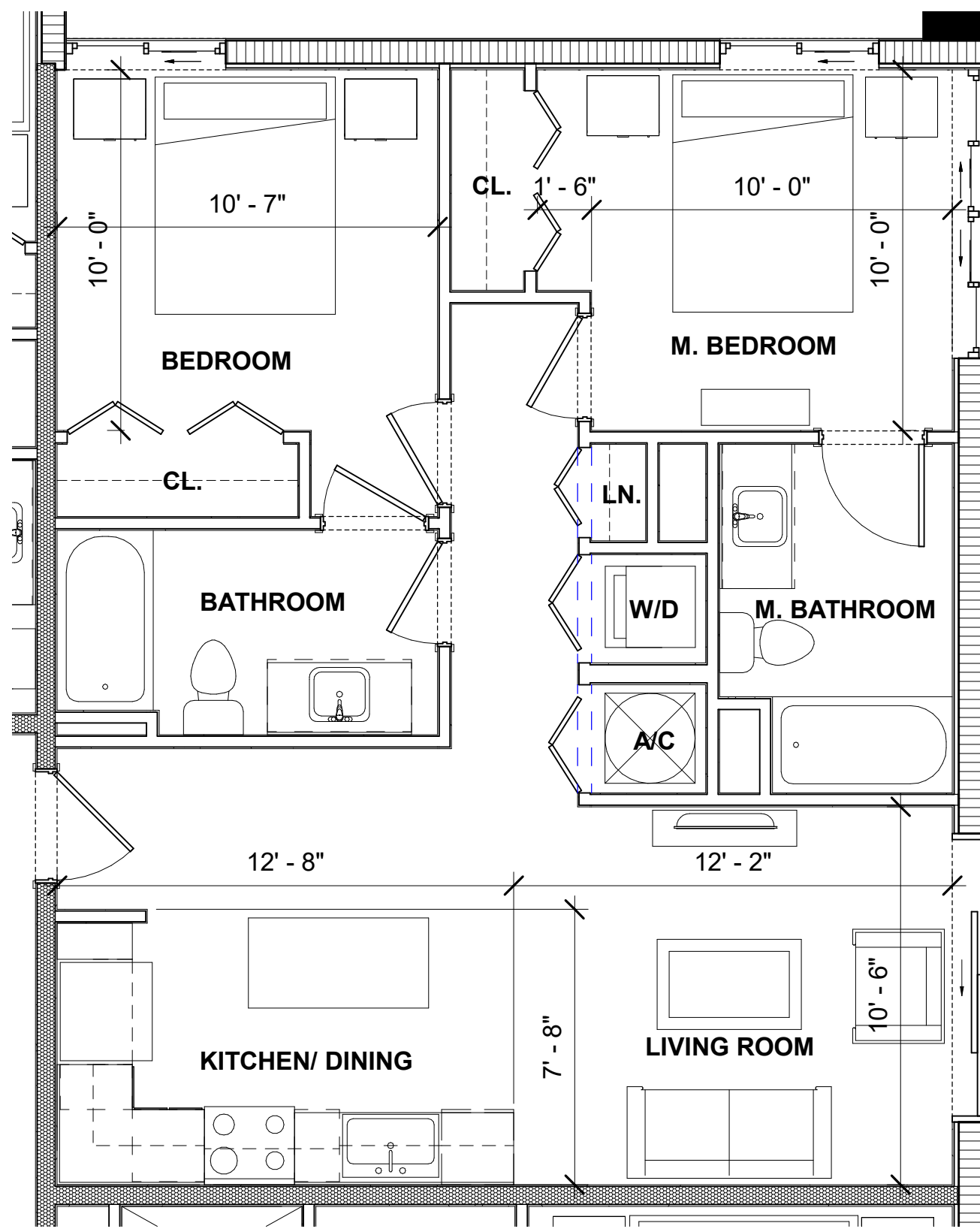


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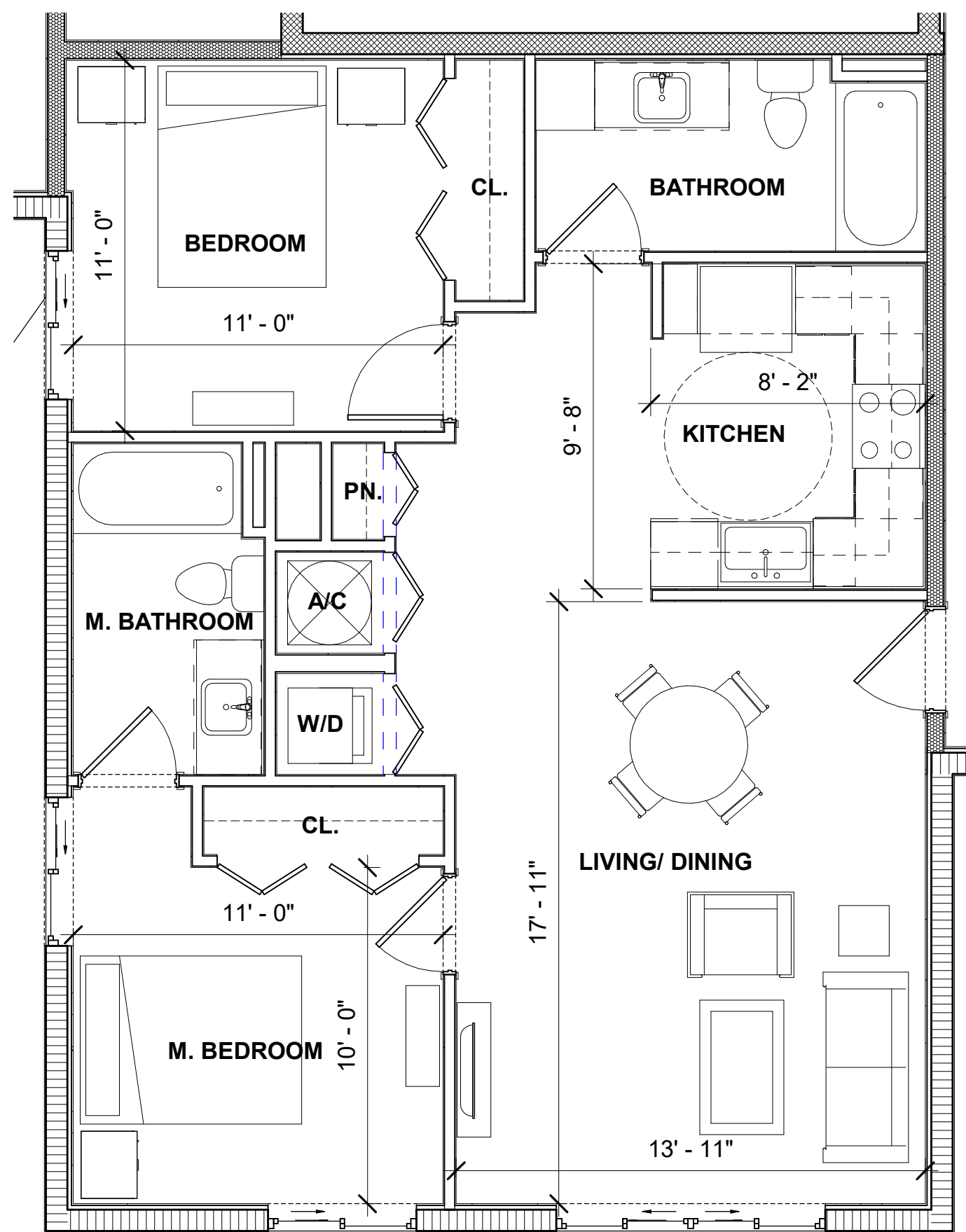
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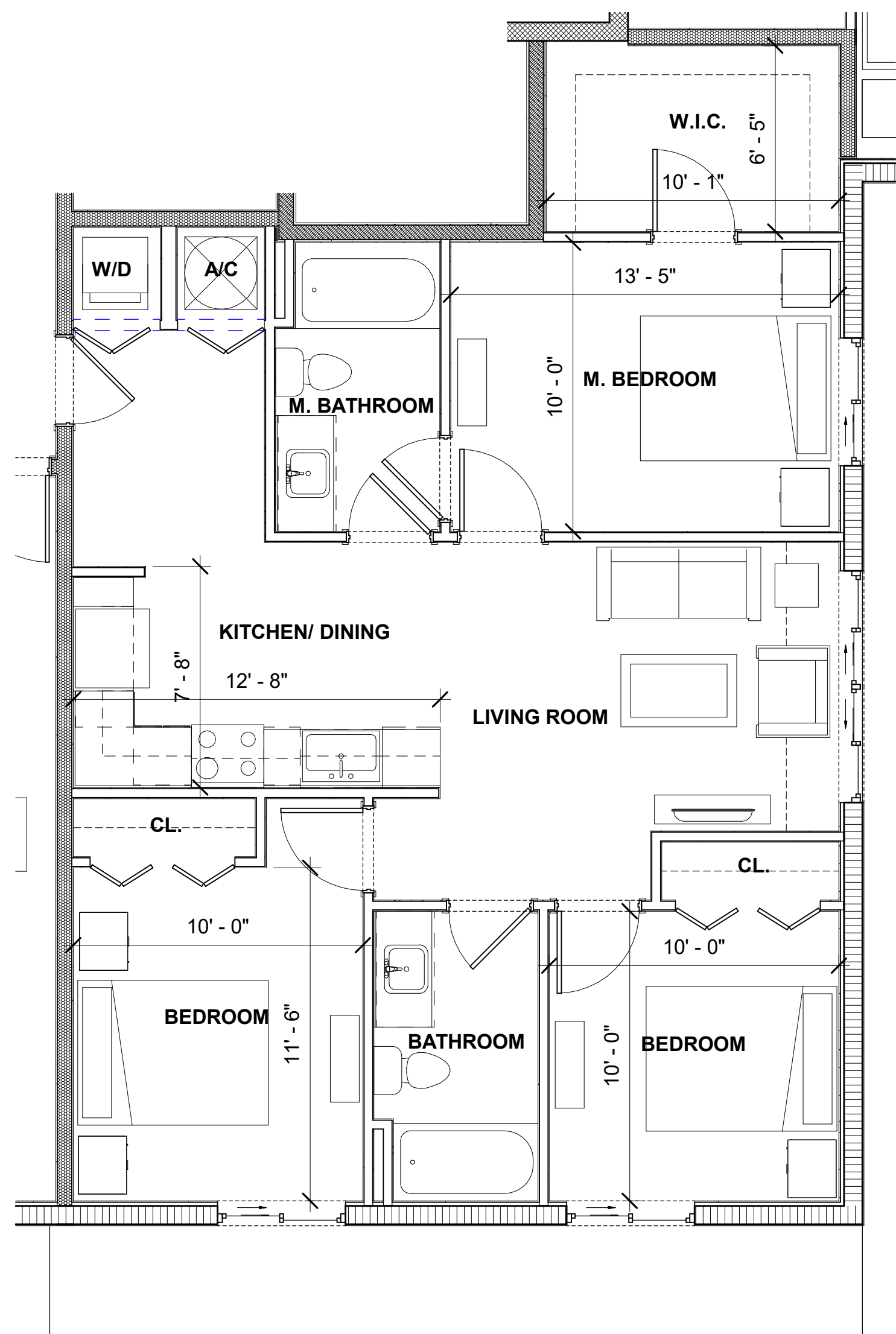
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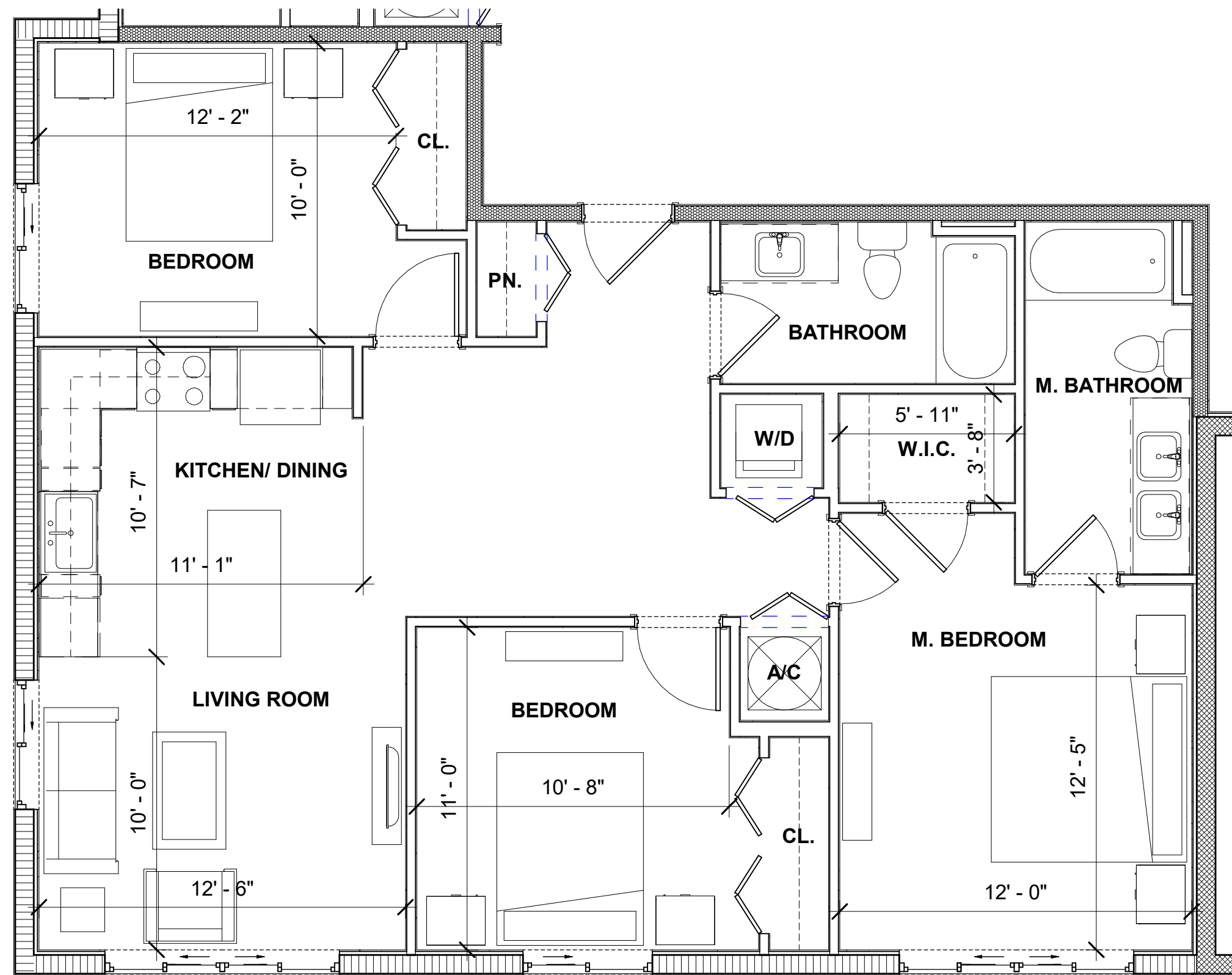
UNIT B-5
SCALE: 1/4" = 1'-0" AREA: 835 SF



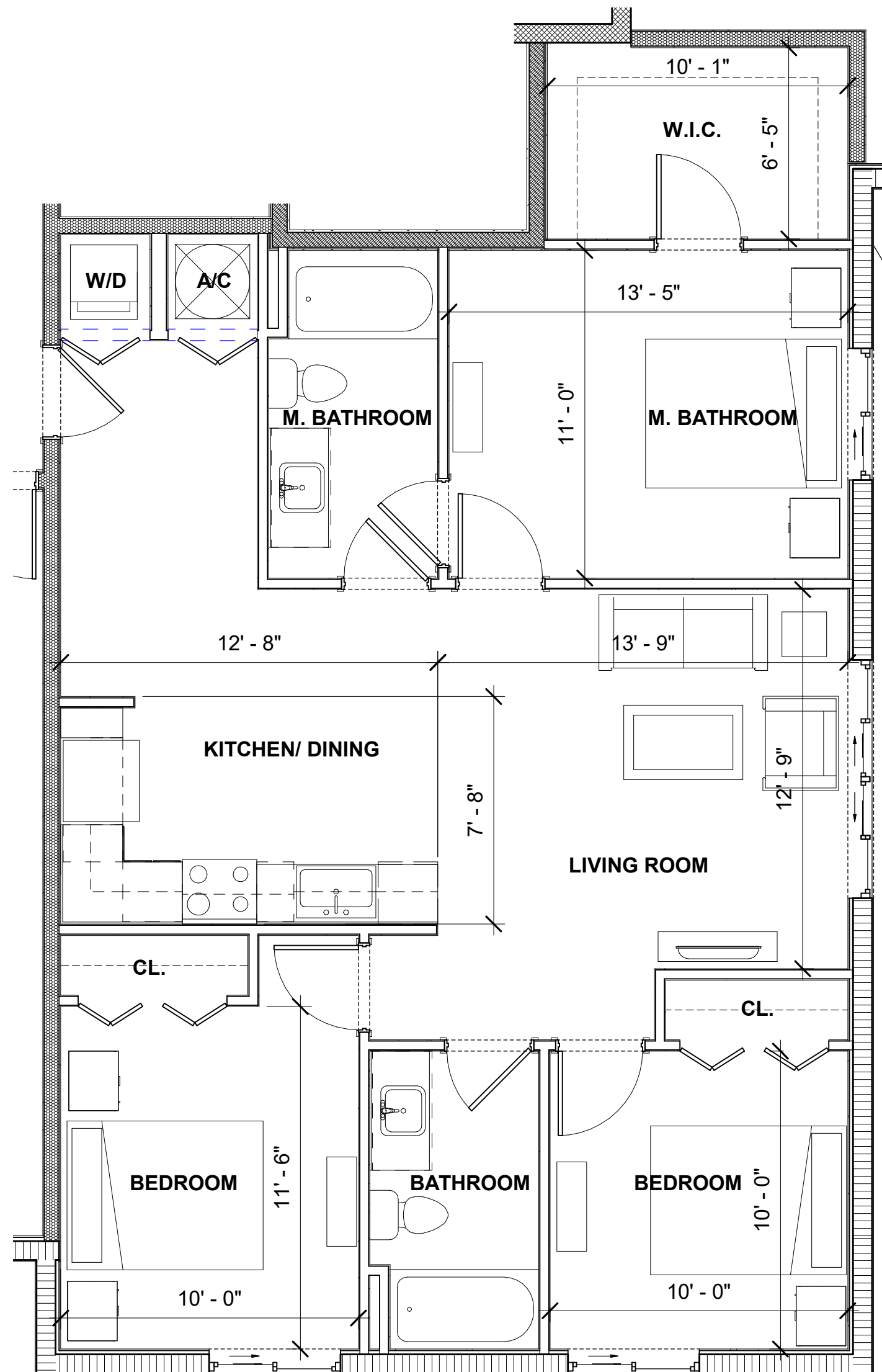
UNIT B-6
SCALE: 1/4" = 1'-0" AREA: 942 SF



UNIT C-1
SCALE: 1/4" = 1'-0" AREA: 1,018 SF



UNIT C-2
SCALE: 1/4" = 1'-0" AREA: 1,155 SF



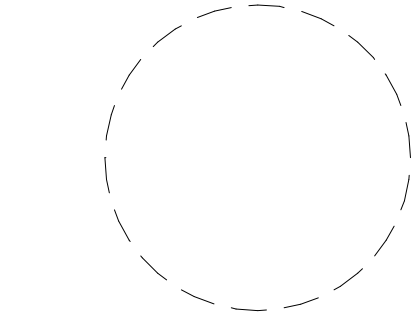
UNIT C-3
SCALE: 1/4" = 1'-0" AREA: 1,124 SF

PROJECT:
University Station
2030 Polk St
Hollywood, FL 33020

OWNER:
HTG Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

UNIT PLANS

SEAL:



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DATE: 3/7/2020
JOB No.: 2020-11
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-5.01



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

UNIVERSITY STATION

CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

HOUSING TRUST GROUP

LEGAL DESCRIPTION

PARCEL 1:
POLK STREET PARKING LOT;
BEING ALL OF LOTS 8, 9, 10, 11, 12 AND 13, BLOCK 11, "HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 8, BLOCK 11, BEING A POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET WITH THE EAST LINE OF A 15 FOOT ALLEY AND THE WEST LINE OF SAID LOT 8;

THENCE NORTHERLY ALONG SAID WEST LINE OF SAID LOT 8, A DISTANCE OF 134.61 FEET TO THE NORTHWEST CORNER OF SAID LOT 8, BEING A POINT OF INTERSECTION OF SAID EAST LINE OF A 15 FOOT ALLEY WITH THE SOUTH LINE OF A 14 FOOT ALLEY;

THENCE EASTERLY ALONG THE NORTH LINE OF LOTS 8 THROUGH 13, AND SAID SOUTH LINE OF SAID 14 FOOT ALLEY, A DISTANCE OF 240.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 13, BLOCK 11;

THENCE SOUTHERLY, ALONG THE EAST LINE OF SAID LOT 13, A DISTANCE OF 134.55 TO A POINT OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET;

THENCE WESTERLY, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 240.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8 AND THE POINT OF BEGINNING.

SAID LANDS SITUATED, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PARCEL 2:
SHUFFLEBOARD PARK;
BEING THAT PORTION OF BLOCK 11 AND PUBLIC RIGHT-OF-WAY ADJACENT THERETO, "RE-SUBDIVISION OF BLOCKS ELEVEN AND TWELVE HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF POLK STREET WITH THE EAST RIGHT-OF-WAY LINE OF NORTH 21ST AVENUE, BEING A LINE FIFTY (50) FEET EAST OF, AND PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE F.E.C. RAILROAD; THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND THE NORTHERLY EXTENSION OF THE MOST WESTERLY LINE OF SAID BLOCK 11, A DISTANCE OF 282.98 FEET TO A POINT OF INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF TAYLOR STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 15 FOOT-WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 282.98 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF POLK STREET; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO THE POINT OF BEGINNING.

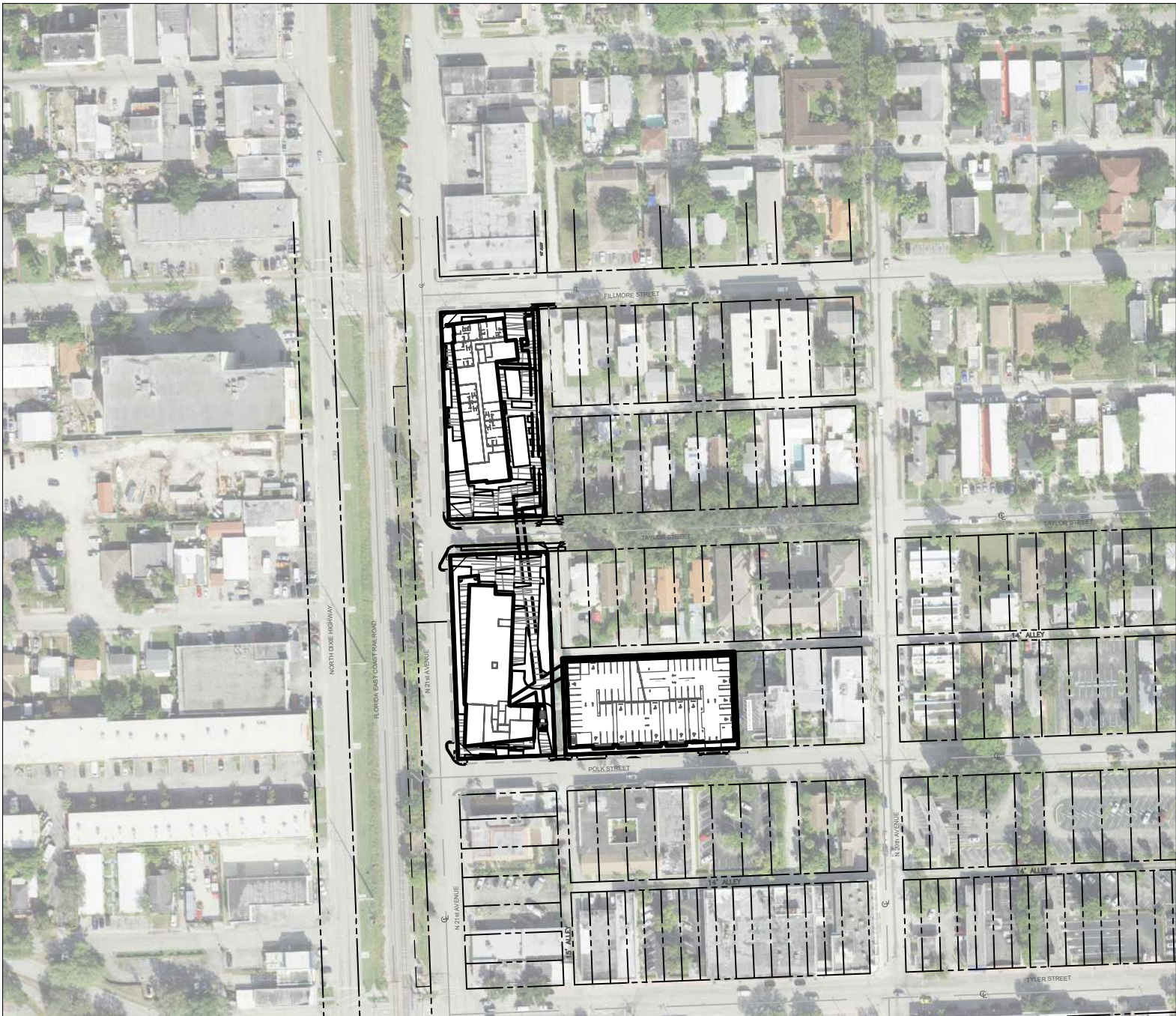
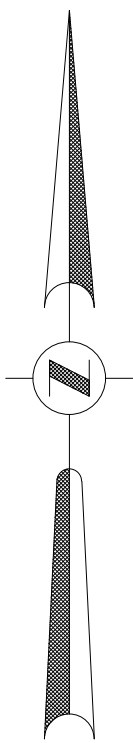
SAID LANDS SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.

PARCEL 3:
OLD FIRE STATION (BARRY UNIVERSITY);
BEING THAT PORTION OF BLOCK 12 AND PUBLIC RIGHT-OF-WAY ADJACENT THERETO, "RE-SUBDIVISION OF BLOCKS ELEVEN AND TWELVE HOLLYWOOD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE POINT OF INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF TAYLOR STREET WITH THE EAST RIGHT-OF-WAY LINE OF NORTH 21ST AVENUE, BEING A LINE 50 FEET EAST OF AND PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE F.E.C. RAILROAD;

THENCE NORTHERLY ALONG SAID EAST RIGHT-OF-WAY LINE AND THE NORTHERLY EXTENSION OF THE MOST WESTERLY LINE OF BLOCK 11 OF SAID PLAT, A DISTANCE OF 287.66 FEET TO A POINT OF INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF FILLMORE STREET; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF A 15 FOOT-WIDE ALLEY; THENCE SOUTHERLY ALONG SAID WEST LINE, A DISTANCE OF 287.66 FEET TO A POINT OF INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF TAYLOR STREET; THENCE WESTERLY ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 135 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE, LYING AND BEING IN HOLLYWOOD, BROWARD COUNTY, FLORIDA.



LOCATION MAP
SCALE: 1" = 200'
SECTION 15 / TOWNSHIP 51 S / RANGE / 42 E

INDEX OF PLANS

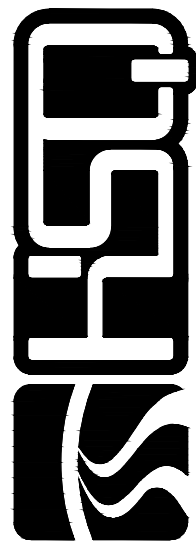
SHEET NO.	SHEET TITLE
CS-1	COVERSHEET
PD-1	PAVING & DRAINAGE PLAN 1
PD-2	PAVING & DRAINAGE PLAN 2
TCP-1	TRAFFIC CONTROL PLAN 1
TCP-2	TRAFFIC CONTROL PLAN 2
WSU-1	UTILITY PLAN 1
WSU-2	UTILITY PLAN 2

SITE DEVELOPMENT PLANS



HSQ GROUP, INC.
Engineers · Planners · Surveyors
4577 N Nob Hill Road, Suite 205
Sunrise, Florida 33351 · 954.440.6990
C26258 · LB7924

ENGINEER'S CERTIFICATION
THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREET AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



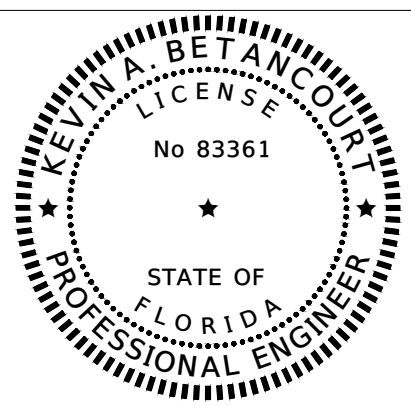
HSQ GROUP, INC.
Engineers · Planners · Surveyors

C26258 · LB7924

UNIVERSITY STATION

COVERSHEET

DATE: 04/21
DESIGNED BY: KB
DRAWN BY: NR
CHECKED BY: KB



DATE: 8/20/21
KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO. - 83361

PROJECT: 2107-63

SHEET: CS-1



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

DATE: Aug 20, 2021 - 6:03pm W:\650 Broward\Civil Projects\2021\2107-63 University Station (Hollywood)\Drawings\Construction Plans\210763-PPDP.DWG



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

FLORIDA EAST COAST RAILROAD

N 21st AVENUE

MATCH LINE SEE SHEET PD-2

TAYLOR STREET

POLK STREET

HATCH LEGEND

- PROPOSED ASPHALT PAVEMENT (SEE PD-3 FOR SECTION DETAILS)
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE PAVEMENT (SEE PD-3 FOR SECTION DETAILS)

KEY MAP

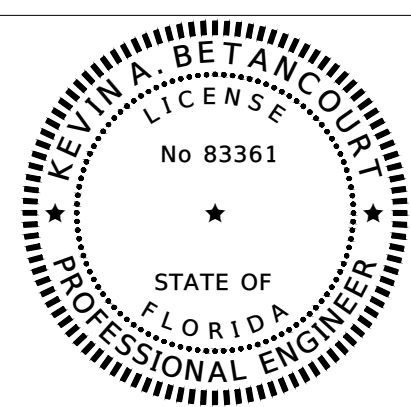
DRAINAGE STRUCTURE SCHEDULE

- S-101** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.00
I.E.: 1.50 W
I.E.: 1.50 N
- S-102** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.85
I.E.: 1.50 W
I.E.: 1.50 S
I.E.: 1.50 N
- S-103** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.85
I.E.: 1.50 E
- S-104** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.85
I.E.: 1.50 S
- S-201** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 11.50
I.E.: 1.50 SW
I.E.: 1.50 N
- S-202** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 11.50
I.E.: 1.50 S
I.E.: 1.50 W
- S-203** TYPE "P" BOX (48" ROUND W./ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 11.50
I.E.: 1.50 E

UNIVERSITY STATION

PAVING & DRAINAGE PLAN 1

DATE: 08/20/2021
DESIGNED BY: KB
DRAWN BY: KB
CHECKED BY: KB



DATE: 8/20/21
KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO. - 83361

PROJECT: 2107-63

SHEET: PD-1



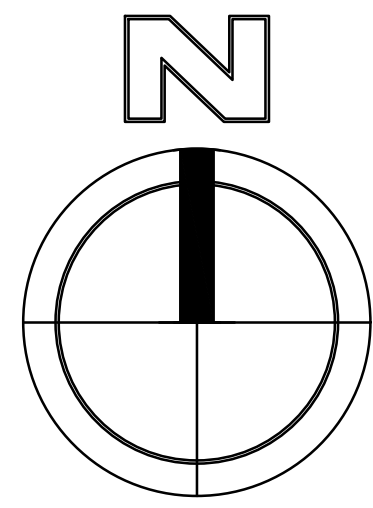
C26258 - LB7924

REVISIONS

DATE

NO

BY



DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICAN
VERTICAL DATUM OF 1988 (NAVD 88)

PD-2

PD-1

PROP. PARKING GARAGE

PROP. 8 STORY MIXED-USE BUILDING
FFE: 11.85 NAVD

14' PUBLIC ALLEY
PLAT BOOK 1, PAGE 21

PROP. 10 LF-24" HDPE & W/ 100 LF 24" PHDPE W/ 6X4' EXFIL TRENCH

PROP. 10 LF-24" HDPE & W/ 117 LF 24" PHDPE W/ 6X4' EXFIL TRENCH

PROP. 34 LF-24" HDPE

PROP. 12 LF-18" HDPE & W/ 114 LF 18" PHDPE W/ 6X4' EXFIL TRENCH

PROP. 22 LF-24" HDPE

PROP. 30 LF-18" HDPE

INVERT ELEVATION: 5.80' (N)

W/ 100 LF 24" PHDPE W/ 6X4' EXFIL TRENCH

W/ 117 LF 24" PHDPE W/ 6X4' EXFIL TRENCH

W/ 34 LF-24" HDPE

W/ 12 LF-18" HDPE & W/ 114 LF 18" PHDPE W/ 6X4' EXFIL TRENCH

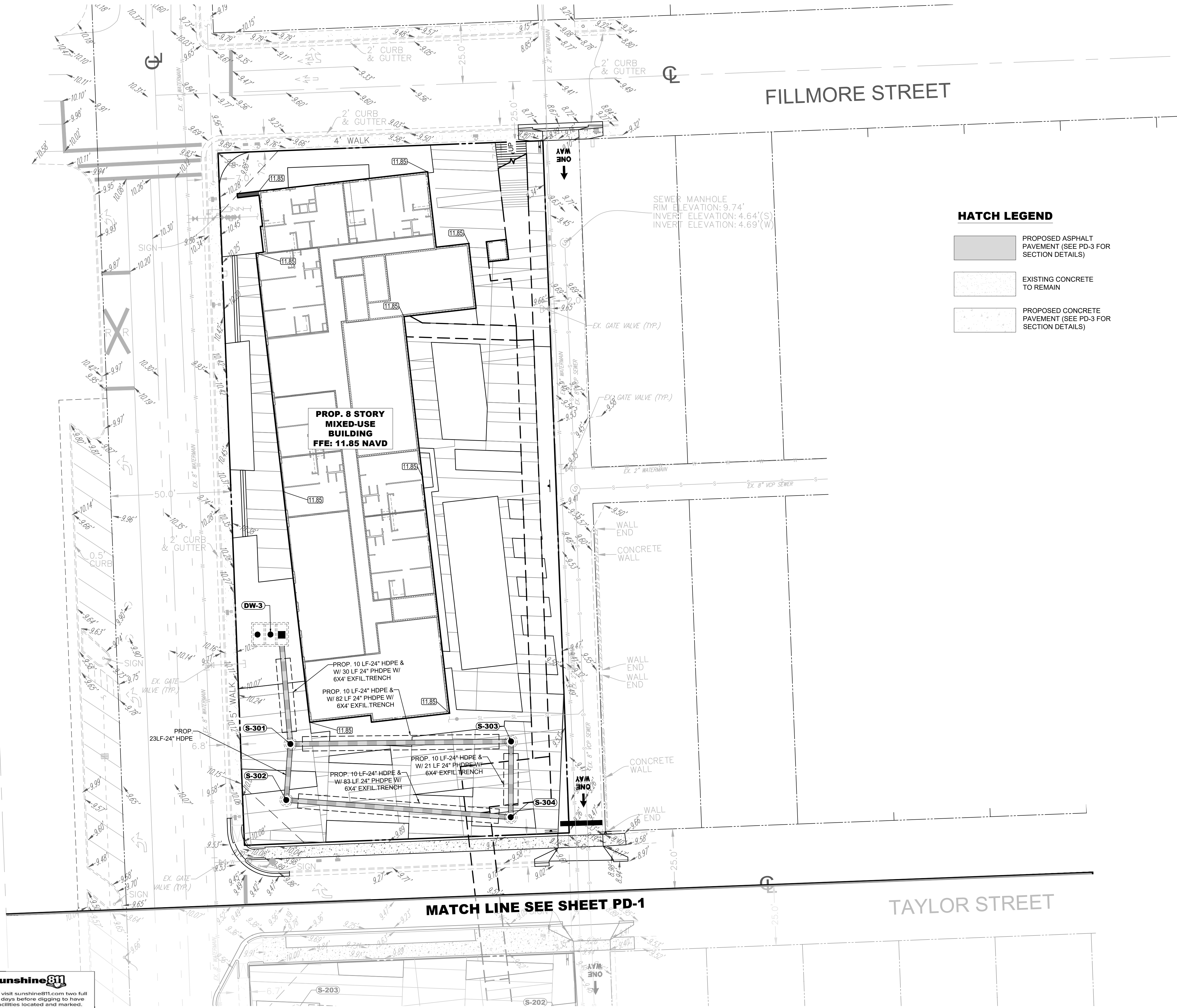
W/ 22 LF-24" HDPE

W/ 30 LF-18" HDPE

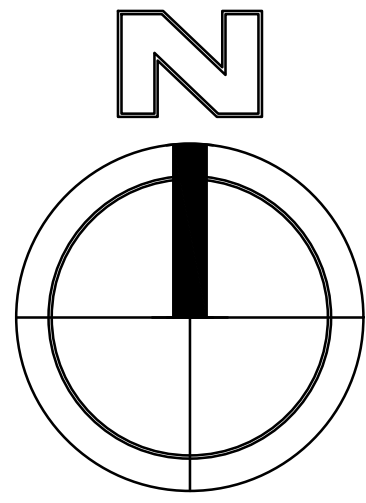
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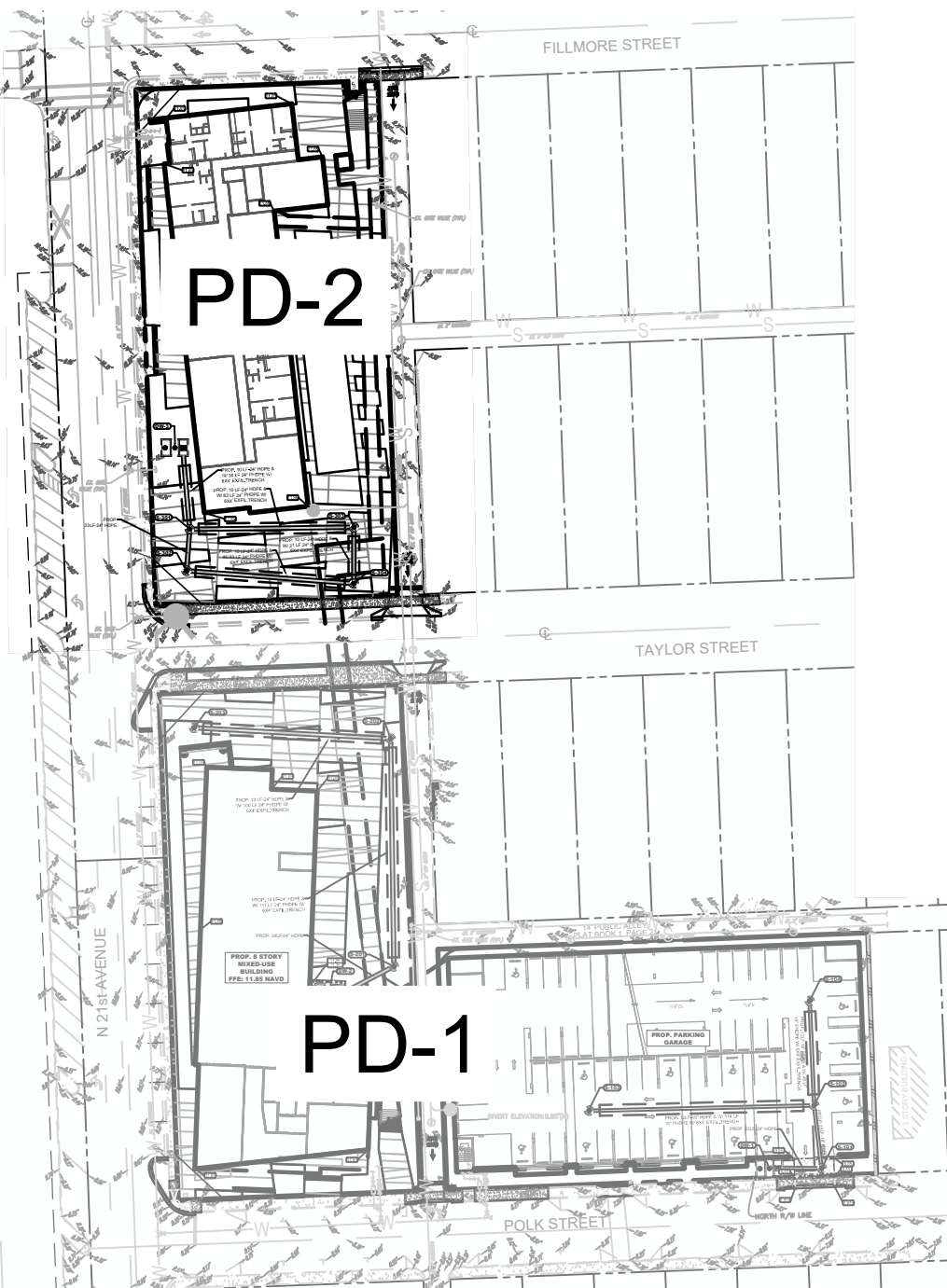


DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICAN
VERTICAL DATUM OF 1988 (NAVD 88).



HATCH LEGEND

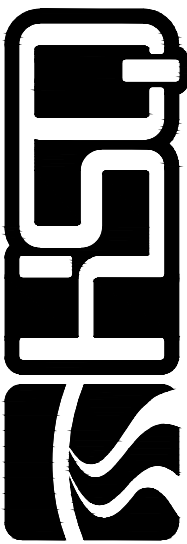
- PROPOSED ASPHALT PAVEMENT (SEE PD-3 FOR SECTION DETAILS)
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE PAVEMENT (SEE PD-3 FOR SECTION DETAILS)



KEY MAP
N.T.S

DRAINAGE STRUCTURE SCHEDULE

- S-301** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.00
I.E.: 1.50 N
I.E.: 1.50 S
I.E.: 1.50 E
- S-302** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.85
I.E.: 1.50 N
I.E.: 1.50 E
- S-303** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.85
I.E.: 1.50 W
I.E.: 1.50 S
- S-304** TYPE "P" BOX (48" ROUND W/ TOP SLAB PER MDPWD DETAIL SD 2.6 W/ U.S.F. 4700-6233 FRAME & HINGED GRATE
R.E.: 9.85
I.E.: 1.50 N
I.E.: 1.50 W



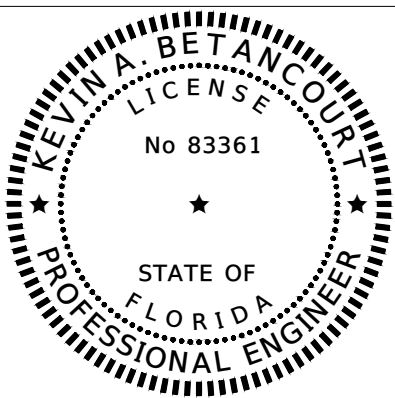
HSQ GROUP, INC.
Engineers - Planners - Surveyors

C26258 - LB7924

UNIVERSITY STATION

PAVING & DRAINAGE PLAN 2

DATE: 08/20/2021
DESIGNED BY: KB
DRAWN BY: KB
CHECKED BY: KB



DATE: 8/20/21
KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO. - 83361

PROJECT: 2107-63

SHEET: PD-2

DATE: Aug 20, 2021 - 6:04pm W:\HSQ Broward\Civil Projects\2021\2107-63 University Station (Hollywood)\Drawings\Construction Plans\210763-TCP.DWG



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

FLORIDA EAST COAST RAILROAD

N 21st AVENUE

PROP. 8 STORY
MIXED-USE
BUILDING
FFE: 11.85 NAVD

MATCH LINE SEE SHEET TCP-2

TAYLOR STREET

SIGN LEGEND



R1-1 "STOP SIGN" (30" X 30")



HANDICAP PARKING ONLY SIGN (SEE DETAIL)



R5-1 "DO NOT ENTER"



R6-1 "ONE WAY"

NOTE:

ALL SIGNS TO BE MOUNTED IN ACCORDANCE WITH FDOT INDEX 11860

FIBER-OPTIC
PEDESTAL
CUIV
ANCHOR

WOOD
POWER
POLE

WATER METER
WOOD
POWER
POLE

WOOD
POWER
POLE

CONCRETE
WALL

14' PUBLIC ALLEY
PLAT BOOK 1, PAGE 21

REFER TO PLANS BY
ARCHITECT FOR PARKING
GARAGE STRIPING

PROP. 24"
WHITE
STOP BAR

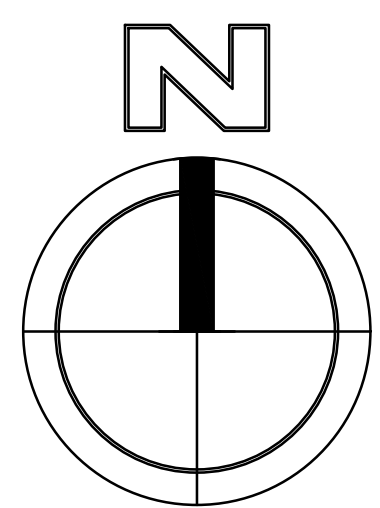
PROP. 25' 6"
DOUBLE YELLOW
PROP. 24"
WHITE
STOP BAR

CONCRETE
WALL

3 STORY BUILDING

WALL END
1.0'S/0.5'W

POLK STREET



20 10 5 0 20
1"=20'

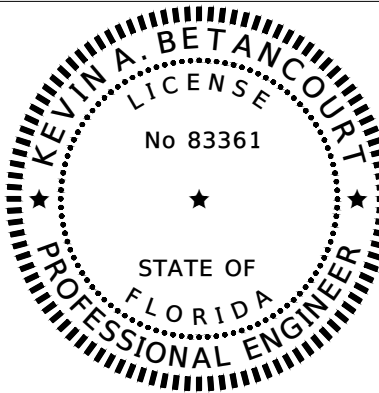
TCP-2

TCP-1

UNIVERSITY STATION

TRAFFIC CONTROL PLAN 1

DATE: 08/20/2021
DESIGNED BY: KB
DRAWN BY: KB
CHECKED BY: KB



DATE: 8/20/21
KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO. - 83361

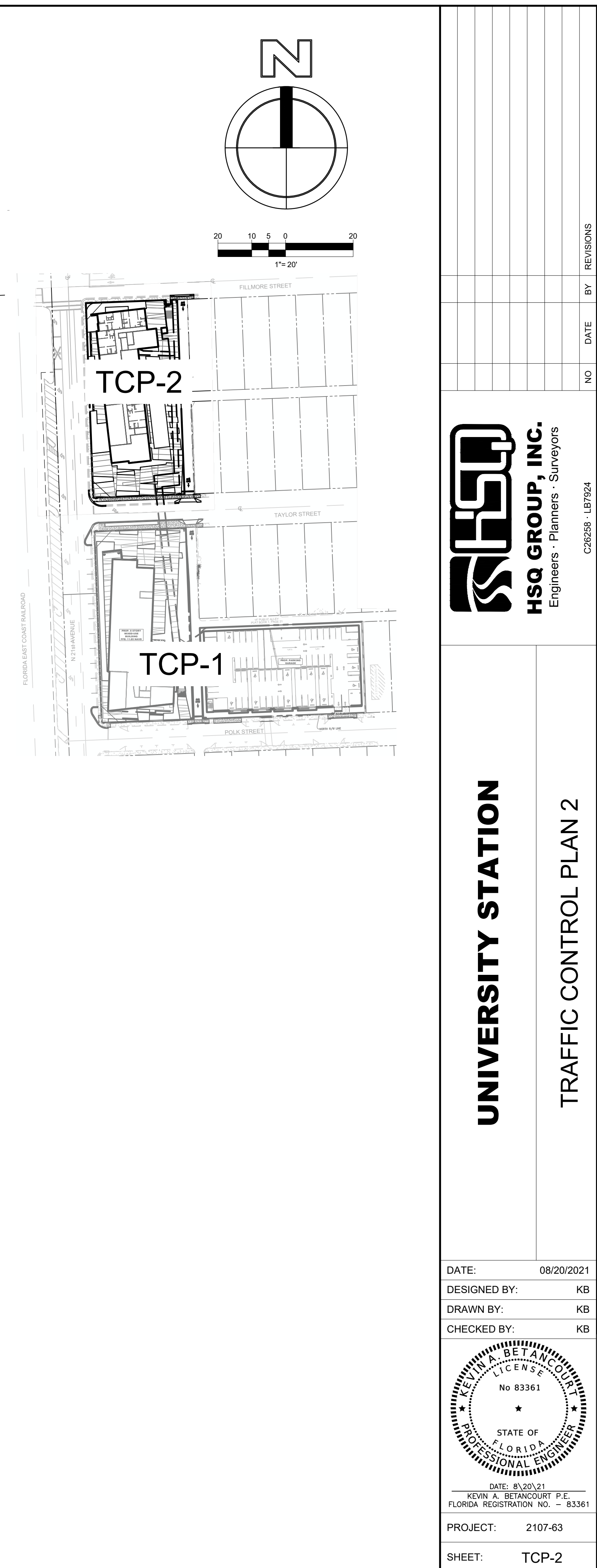
PROJECT: 2107-63

SHEET: TCP-1



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NO DATE BY REVISIONS



DATE: Aug 20, 2021 - 6:04pm W:\HSQ Broward\Civil Projects\2021\2107-63 University Station (Hollywood)\Drawings\Construction Plans\210763-WSU.DWG

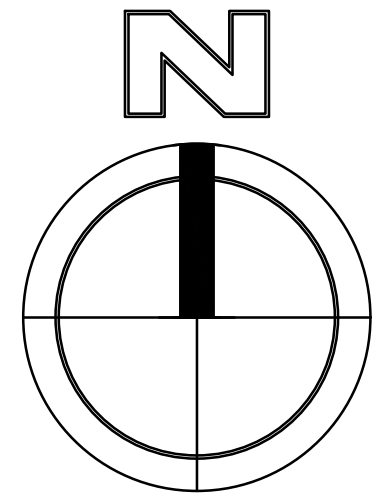
FLORIDA EAST COAST RAILROAD

N 21st AVENUE

MATCH LINE SEE SHEET WSU-2

TAYLOR STREET

POLK STREET



FLOW DEMANDS:

WATER:	SEWER:
RETAIL 0.037 GPD/SQ.FT.	RETAIL 0.030 GPD/SQ.FT.
3,000 SF X 0.037 GPD/SF = 111 GPD (PER BROWARD COUNTY GUIDELINES)	3,000 SF X 0.030 GPD/SF = 90 GPD (PER BROWARD COUNTY GUIDELINES)
OFFICE 0.000 GPD/SQ.FT.	OFFICE 0.034 GPD/SQ.FT.
12,500 SF X 0.000 GPD/SF = 112 GPD (PER BROWARD COUNTY GUIDELINES)	12,500 SF X 0.034 GPD/SF = 425 GPD (PER BROWARD COUNTY GUIDELINES)
MULTI-FAMILY 141 GPD/UNIT	MULTI-FAMILY 100 GPD/UNIT
216 UNITS X 141 GPD/UNIT = 30,456 GPD (PER BROWARD COUNTY GUIDELINES)	216 UNITS X 100 GPD/UNIT = 21,600 GPD (PER BROWARD COUNTY GUIDELINES)
ONE (1) WATER ERC = 350 GPD (111 GPD + 112 GPD + 30,456 GPD) x 1 ERC / 350 GPD = 87.65 ERCs	ONE (1) WATER ERC = 350 GPD (90 GPD + 425 GPD + 21,600 GPD) x 1 ERC / 350 GPD = 63.19 ERCs
TOTAL WATER ERCs: 87.65 ERCs	TOTAL WATER ERCs: 63.19 ERCs

WSU-2

WSU-1

KEY MAP
N.T.S

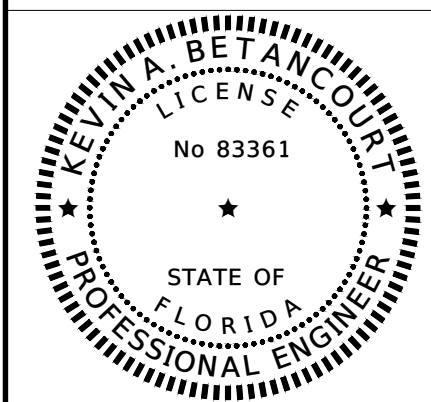
PROP. 8 STORY
MIXED-USE
BUILDING
FFE: 11.85 NAVD

PROP. PARKING
GARAGE

UNIVERSITY STATION

UTILITY PLAN 1

DATE: 08/20/2021
DESIGNED BY: KB
DRAWN BY: KB
CHECKED BY: KB



DATE: 8/20/21
KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO. - 83361

PROJECT: 2107-63

SHEET: WSU-1



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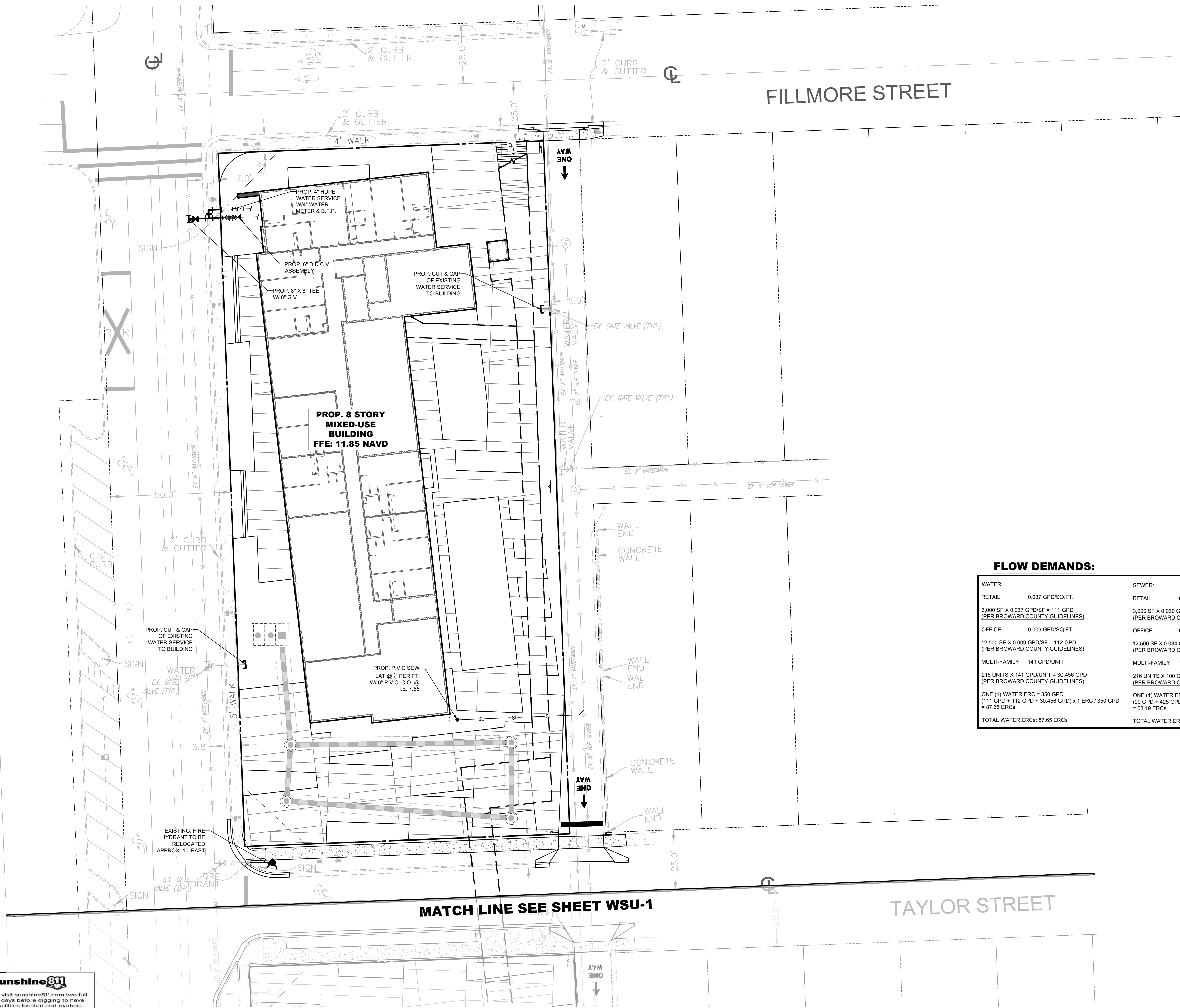
DATE: Aug 20, 2021 - 6:04pm W:\HSQ Broward\Civil Projects\2021\2107-63 University Station (Hollywood)\Drawings\Construction Plans\210763-WSF.DWG



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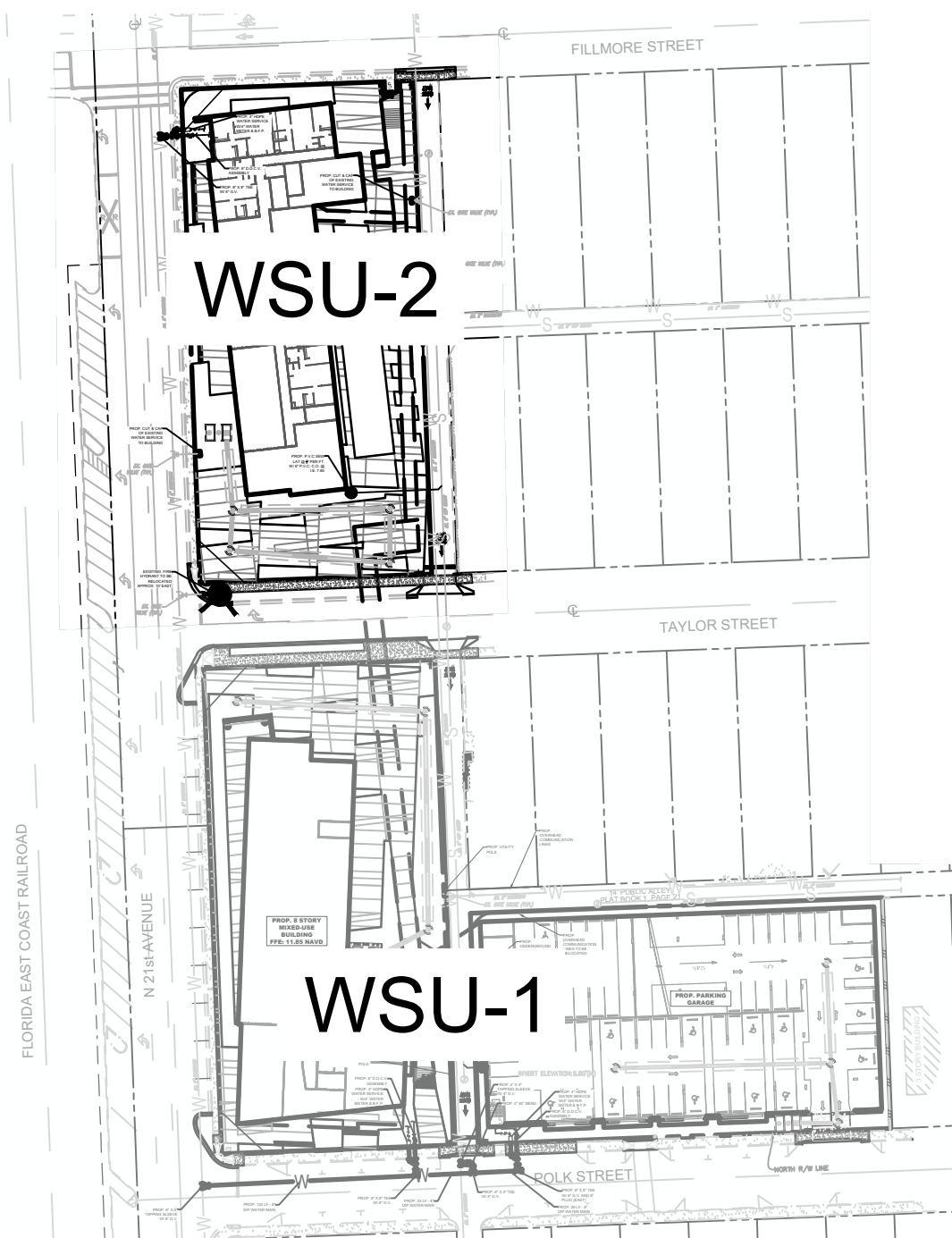
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Check positive response codes before you dig!



FLOW DEMANDS:

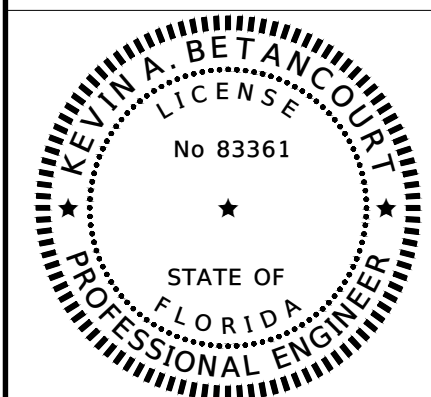
WATER:		SEWER:	
RETAIL	0.037 GPD/SQ.FT.	RETAIL	0.030 GPD/SQ.FT.
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TOTAL WATER ERCs: 87.65 ERCs		TOTAL WATER ERCs: 63.19 ERCs	



UNIVERSITY STATION

UTILITY PLAN 2

DATE:	08/20/2021
DESIGNED BY:	KB
DRAWN BY:	KB
CHECKED BY:	KB



DATE: 8/20/21
KEVIN A. BETANCOURT P.E.
FLORIDA REGISTRATION NO. - 83361

PROJECT: 2107-63

SHEET: WSU-2



C26258 - LB7924

NO	DATE	BY	REVISIONS