

ATTACHMENT I

July 13, 2021 Historic Preservation
Board Staff Report

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: July 13, 2021 **FILE:** 21-CM-37

TO: Historic Preservation Board

VIA: Leslie A. Del Monte, Planning Manager

FROM: Fitz M. Murphy, Planning Administrator

SUBJECT: John K Goymer and Kimberly D Howard request a Certificate of Appropriateness for Demolition and Design for a single family home located at 1049 Tyler Street, within the Lakes: Harrison and Tyler Street Historic District (Goymer Residence).

APPLICANT'S REQUEST

Certificate of Appropriateness for Demolition and Design for a single-family home located within the Lakes: Harrison and Tyler Street Historic District.

STAFF'S RECOMMENDATION

Determination of Historic Status: To be determined by the Historic Preservation Board, based on 5.5.D.3.b. criteria.

Certificate of Appropriateness for Demolition: Based on the determination of Historic Status, the following shall apply:

- a. If the Board determines the status of the property is Non-Historic, no further action is required and a Certificate of Appropriateness for Demolition shall be issued.
- b. If the Board determines that the status of the property is Historic, a recommendation by the Board, based on 5.5.F.4.e. Criteria, shall be forwarded to the City Commission.

Certificate of Appropriateness for Design: If Certificate of Appropriateness for Demolition is approved, approval with the condition that **if any rolling gate is to be used as a part of the pool enclosure, a motorized self-closing gate or similar self-closing self-latching device shall be installed.**

BACKGROUND

The original two-story home proposed to be demolished was constructed in 1926 on an approximately 1/3 acre lot located at 1049 Tyler. The home is set on the west side of the property with a non-conforming setbacks for the detached structures in the rear. The existing structure exhibits Mediterranean Revival Style architectural characteristics. *What is commonly referred to as "Mediterranean Revival" is the predominant style of Historic Properties on Harrison and Tyler Streets. This often flamboyant style was a strong influence for Joseph Young in the planning of early Hollywood.*

REQUEST

The Applicant requests a Certificate of Appropriateness for Demolition for a 2,285 square foot two-story main structure, detached cottage and garage, and a Certificate of Appropriateness for Design for an approximate 3,864 square foot two-story four bedroom single-family home. The existing home is currently below the Federal Emergency Management Agency's Base Flood Elevation (FEMA BFE). The Feasibility Study provided by the Applicant concludes that *the three buildings should be demolished since rehabilitation is not a feasible option*. Therefore, the Applicant is proposing to demolish the existing home. In its place, the Applicant is proposing to construct a new home of the same architectural style.

The Applicant's proposed Mediterranean Revival home sits on a wide lot and is centered on the site to maximize the use of the property. The new home consists of four bedrooms, including a master suite on the first floor, and three bedrooms and two bathrooms on the second floor. All bedrooms have access to a terrace with direct access to pool and pool deck in the rear yard. Typical of residences in this neighborhood, the Applicant maximizes the use of the rear yard by also including a service entrance with a rolling gate for ease of access. Considering that this rolling gate will be used as part of the pool enclosure, Staff recommends a condition that **if any rolling gate is to be used as a part of the pool enclosure, a motorized self-closing gate or similar self-closing self-latching device shall be installed**. The new home meets all applicable requirements including setbacks, height, and approximately 55.23% pervious open area. Required parking is accommodated on a driveway on the west side of the property and an oversized one car garage. As such, the proposed redevelopment of the property, if the demolition is approved, will maintain and improve the character of the area.

The proposed materials are compatible and consistent in quality, color, texture, finish, and dimension to other Mediterranean Revival homes in the historic district. According to the Applicant, "The new design will be complementary to the surrounding neighborhood by retaining the features that best represent the Mediterranean Revival style. These include the asymmetrical front entry, attic vents, flat roofs with parapets, low-pitched roofs with barrel tile, wood eave outlookers, arched windows & doors, and patios that extend the living spaces to the outdoors." In the feasibility study, the Applicant has identified key architectural elements that that will be reclaimed for the new home, including the newel post for the staircase and the chimney medallion.

The Historic Preservation Board is guided by the Secretary of the Interior's Standards for Rehabilitation and the City of Hollywood's Design Guidelines for Historic Properties and Districts. These documents offer design controls for materials, scale, massing and location for all properties within the District. The proposed home is consistent with the character of the Lakes Area Historic Multiple Resource Listing District and the design maintains the spatial relationship with surrounding properties in its scale and massing.

SITE BACKGROUND

Applicant/Owner:	John K Goymer and Kimberly D Howard
Address/Location:	1049 Tyler Street
Size of Property:	16,000 sq.ft. (0.44 acres)
Present Zoning:	Single-Family Residential (RS-6) Lakes: Harrison and Tyler Street Historic District (HPOD-2)
Present Land Use:	Low (5) Residential (LRES)
Present Use of Land:	Single Family
Year Built:	1926 (Broward County Property Appraiser)

ADJACENT ZONING

North:	Single-Family Residential District (RS-6) Lakes Area Multiple Resource Listing District (HMPRLD-1)
South:	Single-Family Residential District (RS-6) Lakes: Harrison and Tyler Street Historic District (HPOD-2)
East:	Single-Family Residential District (RS-6) Lakes: Harrison and Tyler Street Historic District (HPOD-2)
West:	Single-Family Residential District (RS-6) Lakes: Harrison and Tyler Street Historic District (HPOD-2)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.*

The proposed design is consistent with the scale and massing of the adjacent neighborhood; while allowing the Applicant to maximize the living area of their property. By allowing the Applicant to construct the proposed home, the City is accomplishing the desired reinvestment in the Lakes Area Historic Multiple Resource Listing District.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed home is sensitive to the character of the Historic Lakes Section through its design which possess similar characteristics to existing structures in the surrounding neighborhood.

Policy 2.46: *Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.*

Policy CW.15: *Place a priority on protecting, preserving and enhancing residential neighborhoods.*

The CWMP also states *the single-family character of the area should be preserved and enhanced through strict zoning code enforcement, traffic calming and streetscape improvements.* The project has minimal impact on the current streetscape while enhancing the landscaping.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

Although, the existing two-story home was constructed in 1924 and exhibits Mediterranean Revival architectural characteristics, the new proposed home is in keeping with the architectural style while maximizing the property and meeting the needs of the current home owner. Therefore, the example of this kind of architecture will not be lost with the proposed home.

APPLICABLE CRITERIA

Decisions on Certificates of Appropriateness for Demolition. Based on the following criteria and other appropriate considerations, the Board must determine if the building is of historic significance. The Zoning and Land Development Regulations does not provide guidance as to how much weight should be given to each criterion.

CRITERION 1: Association with events that have made a significant contribution to the broad patterns of our history.

CRITERION 2: Association with the lives of persons significant in our past.

CRITERION 3: Embodiment of distinctive characteristics of a type, period, or method of construction.

CRITERION 4: Possession of high artistic values.

CRITERION 5: Representation of the work of a master.

CRITERION 6: Representation of a significant and distinguishable entity whose components may lack individual distinction.

CRITERION 7: Yield, or the likelihood of yielding information important in prehistory or history.

Analysis of criteria and finding for Certificate of Appropriateness for Demolition as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION 1: The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark or site.

ANALYSIS: The Historic District Design Guidelines recommend *identifying, retaining and preserving buildings which are important in defining the overall historic character of a historic district or neighborhood*. Although the existing home was constructed in 1924, the Master Site File *"the building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished."*

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

ANALYSIS: While the material of the home is relatively inexpensive and used simple materials with traditional detailing, any renovations to the home would require significant modifications to the existing structure, rendering it non-feasible, as it would result in great difficulty and expense for a structure.

CRITERION 3: The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.

ANALYSIS: As previously stated, the existing two-story home constructed in 1924 exhibits Mediterranean Revival architectural characteristics, the new proposed home is in keeping with the architectural style while maximizing the property and meeting the needs of the current home owner. Therefore, the example of this kind of architecture will not be lost with the proposed home.

CRITERION 4: The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.

ANALYSIS: The Florida Master Site File does not find the existing structure architecturally significant on an individual basis, it helps to define the character of the neighborhood, as such a replacement of the existing structure with a similar Mediterranean Revival architectural style is appropriate.

CRITERION 5: Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS: As stated hereinabove, the existing home does not individually embody a structure steeped in historical significance that would provide an opportunity for study of local history, architecture, or design. Should the Board approve the demolition, it may request that the Hollywood Historical Society, or the owner, at the owner's expense, document and record the existing home for archival records. Such documentation may include measured drawings and high-definition photography.

In the feasibility study, the Applicant has identified key architectural elements that that will be reclaimed for the new home, including the newel post for the staircase and the chimney medallion.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely effect on the historic character of the Historic District.

ANALYSIS: The Applicant is proposing to demolish the existing home and construct a new home. Meeting all applicable code requirements, the proposed design is consistent with the scale and massing of the adjacent neighbors. The proposed home is similar in style to the existing home, and allows the Applicant to maximize the use of their property. The design

is enhanced by a formal landscape plan which includes an array of native species. Required parking is accommodated on a driveway on the west side of the property and a oversized one car garage. As such, the proposed redevelopment of the property, if the demolition is approved, will maintain and improve the character of the area.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.

ANALYSIS: The Unsafe Structures Board has not ordered the demolition of this home. However, improvements, such as increasing the finished floor elevation to meet FEMA's regulatory heights, impede the owner's ability to move forward with design in manner that is financial feasible or sound. The reinvestment in the property without the freedom of design for a property that individually significant would be an undue burden for the Applicant. Therefore, the Applicant purports that restoring the existing home is not a feasible option, and is proposing a new home to enhance the property in a manner consistent with the goals of the district.

CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

ANALYSIS: The Applicant states in their Criteria Statement that a determination the home has no historic merit based on their research. It is not individually designated and a Master Site File is concludes that the property is not individually architecturally significant.

Analysis of criteria and finding for Certificate of Appropriateness of Design as stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings*. The intent of the Applicant is to design a livable space by replacing the non-conforming structure that addresses climatic conditions, while complying with regulations. The proposed construction complies with required setbacks and site coverage and does not adversely affect the character of the neighborhood.

FINDING: Consistent.

CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines encourages new construction to be compatible with the character of the neighborhood with regard to scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape and environment. The proposed design help to enhance the design

of the existing in the same architectural style. The Applicant has worked with Staff to ensure that the design is not compromised by the requirements of the City's regulations.

FINDING: Consistent

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, "...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood." The home as proposed demonstrates the compatibility with the neighborhood and does not disrupt the relationship. Typical of residences in this neighborhood, the Applicant maximizes the use of the rear yard by also including a service entrance with a rolling gate for ease of access. Considering that this rolling gate will be used as part of the pool enclosure, Staff recommends a condition that **if any rolling gate is to be used as a part of the pool enclosure, a motorized self-closing gate or similar self-closing self-latching device shall be installed.**

FINDING: Consistent.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. The proposed materials are compatible and consistent in quality, color, texture, finish, and dimension to other Mediterranean Revival homes in the historic district. According to the Applicant, "The new design will be complementary to the surrounding neighborhood by retaining the features that best represent the Mediterranean Revival style. These include the asymmetrical front entry, attic vents, flat roofs with parapets, low-pitched roofs with barrel tile, wood eave outlookers, arched windows & doors, and patios that extend the living spaces to the outdoors."

FINDING: Consistent.

CRITERION: WORKMANSHIP

ANALYSIS: The proposed design is consistent with current workmanship styles and methods and does not imitate or copy any existing style or period while complying with all regulations and it fits within the neighborhood's character. In the feasibility study, the Applicant has identified key architectural elements that that will be reclaimed for the new home, including the newel post for the staircase and the chimney medallion. Additionally, the proposed landscaping will enhance the ambience achieved by the home's design, allowing for shade, visibility, and framing of the property.

FINDING: Consistent.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings...* Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district. Meeting all applicable code requirements, the proposed design is consistent with the scale and massing of the adjacent neighborhood. This project enhances the streetscape elements of the existing residence and the neighbors. Required parking is accommodated on a driveway on the west side of the property and an oversized one car garage. As such, the proposed redevelopment of the property, if the demolition is approved, will maintain and improve the character of the area.

FINDING: Consistent.

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph
ATTACHMENT C: Permit History

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: MAY 11, 2021 FOR JULY 13, 2021

Location Address: 1049 TYLER STREET HOLLYWOOD FL 33019

Lot(s): 1/2 OF 2, 3 + 4 Block(s): 49 Subdivision: HOLLYWOOD LAKES

Folio Number(s): 5142 140 18 - 760

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: SINGLE FAMILY HOMES Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: REQUEST FOR APPROVAL TO DEMOLISH EXISTING IN ORDER TO BUILD A NEW SINGLE FAMILY HOME.

Number of units/rooms: 4B / 4.5 B Sq Ft: 3,863.93

Value of Improvement: 695,507 (+/-) Estimated Date of Completion: _____

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: JOHN K GOYMER AND KIMBERLY HOWARD

Address of Property Owner: 1049 TYLER STREET HOLLYWOOD FL

Telephone: 305 206 0795 Fax: 305 932 0025 Email Address: jgoymer@barentsre.

Name of Consultant (Representative) Tenant (circle one): LARIE SWEDROE

Address: 20100 NE 21ST AVENUE NMB Telephone: 305 725 4108

Fax: 305 932 0025 Email Address: swedroe@gmail.com

Date of Purchase: 01/28/20 Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only):

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 3/11/21

PRINT NAME: _____

JOHN K. GOYMER

Date: 3/11/21

Signature of Consultant/Representative: _____

Laurie M. Swedroe

Date: _____

PRINT NAME: _____

LAURIE M. SWEDROE, ARCHITECT

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

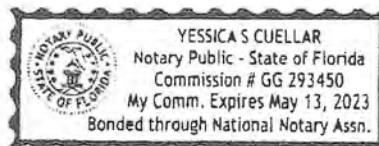
Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 11th day of March 2021

Yessica S Cuellar
Notary Public
State of Florida



Signature of Current Owner

Print Name

My Commission Expires: 5/13/23 (Check One) ☒ Personally known to me; OR ☐ Produced Identification



roger piper
architect, inc.

aa 3398 • n.c.a.r.b. certified

May 6, 2021

City of Hollywood Division of Planning
2600 Hollywood Boulevard, Room 315
Hollywood, Florida 33020

Re: Custom Residence for:
Mr. & Mrs. John Goymer
1049 Tyler Street • Hollywood, Florida
Folio 5142 140 18 – 760

**CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION CRITERIA STATEMENT
FOR THE HISTORIC PRESERVATION BOARD**

CRITERION 1:

The building, structure, improvement, or site is designated on either a National, State or Local level as a Historic Preservation District or an Architectural Landmark or Site.

ANALYSIS:

The Hollywood Historical Society, in 1997, recognized the house at 1049 Tyler Street as a historical residence being built in 1924. As noted in the Records & Archives, *"the building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished."*

The property comprises two and one-half lots. The detached garage is located on half of Lot 2 at the rear of the property. The one-story cottage and the two-story main house are located on Lot 3. The property includes Lot 4, a landscaped lot.

The existing structures are documented as Mediterranean Revival style. Although the house is not an Architectural Landmark compared to the significant Mediterranean Revival style examples at 1112 Tyler Street and 1021 Harrison Street, the new single-family home design will incorporate many of the architectural features of the Mediterranean Revival style such as flat roofs with straight parapets, low-pitched roofs with barrel tile, wood eave outlookers, attic vents, a jutting chimney, arched windows & doors, and stone trim. The new design will be compatible with the massing, size, and scale of Mediterranean Revival architecture, and the architectural features will honor the style while protecting the historic integrity of the property and neighborhood.



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CRITERION 2:

The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty or expense.

ANALYSIS:

The detached garage, detached cottage, and main house are in very poor condition based on our visual observation. The buildings do not meet the current Florida Building Code requirements necessary to protect life and property. Renovating to integrate modern conveniences such as mechanical, electrical, and plumbing will be a considerable challenge both financially and logistically. While paying homage to the Mediterranean Revival style by celebrating architectural features prominent at neighboring homes, the new design will also meet today's Building and Zoning Codes and adhere to the current regulations set forth by FEMA and the Florida Energy Code.

CRITERION 3:

The building, structure, improvement, or site is only of the last remaining examples of its kind in the neighborhood, the county, or the region.

ANALYSIS:

The buildings on site at 1049 Tyler Street are not one of the last remaining examples of its kind. There are several Mediterranean Revival Style properties on both Harrison and Tyler Streets that represent this style of architecture more prominently. The property is a good example of how it relates to the significant tree-lined Tyler Street contributing with majestic Royal Palm trees. The new design will provide a very attractive look to the property and will be consistent with the surrounding historic neighborhood.

CRITERION 4:

The building, structure, improvement, or site contributes significantly to the Historic Character of a Historically Designated District.

ANALYSIS:

The existing buildings do not contribute significantly to the historic character of the historically designated District. Specifically, these buildings do not have the significant elements that can be found at other structures like the ornamentation at 1650 Harrison Street circa 1924 and the Kagey home with its arched windows, balconies, and decorative glazed tiles. There are much better examples throughout the District than at 1049 Tyler Street. The new design will be complementary to the surrounding neighborhood by retaining the features that best represent the Mediterranean Revival style. These include the asymmetrical front entry, attic vents, flat roofs with parapets, low-pitched roofs with barrel tile, wood eave outlookers, arched windows & doors, and patios that extend the living spaces to the outdoors.



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CRITERION 5:

Retention of the building, structure, improvement, or site promotes the general welfare of the City by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS:

The retention of the buildings at 1049 Tyler street would neither add value to nor subtract value from the historic built environment. There are better Mediterranean Revival historic examples on Tyler Street and Harrison Street. Our design for the new single-family home will be compatible in size, proportion, materials, textures, and colors to historic precedents while providing many updates necessary to create a safe and enjoyable living experience. As a footnote, the owners will not only be relocating the original medallion to the new chimney, but they will also retain the original newel post for the new interior staircase as well as incorporate the original wood beams on the living room ceiling. As a finishing touch, they will be featuring architectural drawings & photographs of the original buildings in their new home to historically embrace the past while enjoying the present. Their new home will become a future generation's historical past as another 100 years pass by.

CRITERION 6:

There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect the historic character of the Historic District.

ANALYSIS:

Should the demolition of the buildings be granted, the single-family use of the property will remain the same as the current use. In addition, the current Zoning and Building Codes will be followed including the Florida Energy Code and FEMA flood elevation regulations. The new design will be respectful of existing examples of the Mediterranean Revival style found in the Historic District of the City of Hollywood by complementing the major features of this style in a slightly more modern interpretation. The plans for reuse of the property will not adversely affect the historic character of the District in any way whatsoever. In fact, it will actually embrace and celebrate the historic character of the neighborhood unlike so many "white box" modern homes that are being constructed throughout South Florida.



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CRITERION 7:

The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the Owner of all economically viable uses of the Property.

ANALYSIS:

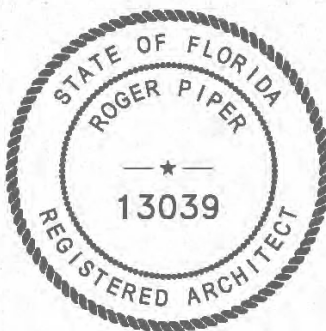
Based on our observation of the buildings on site at 1049 Tyler Street, it is clear that the retention of the three buildings would deny the Owner their desire to create what they deem necessary for fully enjoying the property. The most important fact to consider is that it would not be economically feasible to repair and renovate the buildings to upgrade them to meet the current Florida Building Code, Florida Energy Code, and FEMA flood elevation regulations. Achieving a similar aesthetic appearance by way of new historically-sensitive design and modern construction means, methods, and materials will actually save money while protecting the health, safety, and welfare of the building inhabitants.

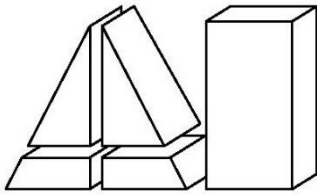
CRITERION 8:

The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

ANALYSIS:

There are better Mediterranean Revival historic examples found within the Historic District based on the Historic Properties Database. The new single-family home will add to the aesthetics and charm of the neighborhood while conforming to State and local construction regulations. The desires of modern living, as well as conforming to current flood elevation criteria and being compliant with Building and Energy Codes, is of utmost importance to the property owners. The research and analysis of all criteria clearly establishes the reasons why a Certification of Appropriateness for Demolition should be issued.





ARBAB ENGINEERING, INC.

CONSULTING ENGINEERS. 3363 NE 163rd STREET, SUITE 701. N. MIAMI BEACH, FL 33160. (305)940-3088. FAX: (305)940-3273

May 6, 2021

City of Hollywood Planning Division
2600 Hollywood Boulevard, Room 315
Hollywood, Florida 33022

Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer
1049 Tyler Street • Hollywood, Florida
Folio 5142 140 18 – 760

To Whom It May Concern:

This report has been prepared for the specific purpose of evaluating the current structural condition of the three buildings associated with the single-family residence located at above referenced property (Lots 3, 4 and half of 2). The descriptions that follow below are our professional opinions based on experience as a result of visual observations of the building on May 4 and 5, 2021.

While there may be latent conditions that have not been fully explored and are not identified such as attic and crawl spaces, this does not impede the fundamental conclusions stated in this report.

Main structure

- The two-story house construction system consists of CMU walls on what appears to be spread footings with 2x wood joist floor framing and wood rafter roof framing.
- CMU stem walls extend up from the foundation at the perimeter and interior to support wood floor joists within the interior of the house.
- Wood floor joists frame both the ground and second level floor systems topped with 1x wood floor decking and finished flooring material.
- Wood roof rafters frame the roof systems topped with 1x wood roof decking and roofing materials. The sloped roofs are covered with barrel tile.
- There are no metal connectors fastening the roof rafters to the CMU exterior walls.

(Continued on Page 2)

City of Hollywood Planning Division

Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 2
May 6, 2021

- The ceilings and walls are finished with plaster throughout the house with wood beams exposed in the living room below the flat roof.
- The ground and second level floors show signs of sagging due to the wood joists spanning too far for their size and because of moisture damage as a result of insufficient crawl space ventilation.
- Several of the interior wood framed, plaster-finished partitions are load-bearing which support the second level floor joists.
- Many of the exterior wood frame doors and windows are rotted due to moisture and termite infestation.
- There are damaged wall and ceiling areas due to moisture and termite infestation.
- Much of the original electrical system is still in place which presents a potential fire hazard due to the use of outdated cloth wiring.
- All of the exterior walls, doors, windows, and roof structures do not meet the current Building Code requirements to protect against hurricane force winds.
- There is evidence of the original cast iron sanitary sewer pipes and galvanized steel water pipes throughout the house.
- The finished floor elevation is marginally above grade (Elev. 3.16' NAVD) and is nearly 3 feet below the minimum FEMA flood elevation criteria.

Cottage

- The one-story cottage construction system consists of partial CMU and partial wood frame walls on what appears to be spread footings with both concrete slab on grade and 2x wood joist floor framing and wood rafter roof framing.
- CMU stem walls extend up from the foundation at the perimeter and interior to support wood floor joists within the interior of the cottage.
- Wood floor joists frame the floor system topped with 1x wood floor decking and finished flooring material.
- Wood roof rafters frame the flat roof system topped with 1x wood roof decking and usual built-up roofing materials. The parapet edge has a detail of barrel tile.

(Continued on Page 3)

City of Hollywood Planning Division

Re: **Structural Evaluation Report for:
Mr. & Mrs. John Goymer**

Page 3
May 6, 2021

- There are no metal connectors fastening the roof rafters to the CMU exterior walls.
- The ceilings and walls are finished with both plaster and 1x wood panels throughout the cottage.
- The wood floor shows signs of sagging due to the wood joists spanning too far for their size and because of moisture damage as a result of insufficient crawl space ventilation.
- The exterior doors and windows are rotted due to moisture and termite infestation.
- There are damaged wall and ceiling areas due to moisture and termite infestation.
- Much of the original electrical system is still in place which presents a potential fire hazard due to the use of outdated cloth wiring.
- All of the exterior walls, doors, windows, and roof structure do not meet the current Building Code requirements to protect against hurricane force winds.
- There is evidence of the original cast iron sanitary sewer pipes and galvanized steel water pipes throughout the cottage.
- The finished floor elevation is barely above grade (Elev. 2.75' & 1.63' NAVD) and is roughly 4 feet below the minimum FEMA flood elevation criteria.

Detached Garage

- The one-story garage construction system consists of CMU walls on what appears to be spread footings and a concrete slab on grade.
- CMU walls extend up from the foundation at the perimeter to support wood roof rafters within the interior of the garage.
- A concrete slab-on-grade is the structural floor system for the garage.
- Exposed wood roof rafters frame the flat roof system topped with 1x wood roof decking and usual built-up roofing materials.
- There are no metal connectors fastening the roof rafters to the CMU exterior walls.
- The walls are finished with stucco throughout the garage.

(Continued on Page 4)

City of Hollywood Planning Division

Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 4
May 6, 2021

- The exterior doors are rotted due to moisture and termite infestation.
- There are damaged ceiling areas due to moisture and termite infestation.
- Much of the original electrical system is still in place which, along with exposed wires not meeting Code, presents a potential fire hazard due to the use of outdated cloth wiring.
- All of the exterior walls, doors, windows, and roof structure do not meet the current Building Code requirements to protect against hurricane force winds.
- The finished floor elevation is barely above grade (Elev. 2.09' NAVD).

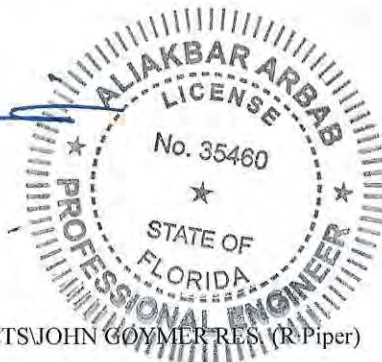
Conclusion:

It is clear that the foundation, floor joists, roof rafters, floor & roof decking, plumbing system, and electrical systems are damaged and continue to deteriorate for reasons previously stated, the first floor of all three structures are between 3' to 4'.0" below flood level and structure is supported by spread footing and not by piles and grade beams. The lack of reinforced masonry walls and steel connectors to fasten the roof structure to the exterior walls and foundation make the buildings unsafe and suspect to catastrophic failure and potential collapse during a hurricane or other strong wind event. The considerable cost to repair, reinforce, replace, and reconstruct the structural and MEP systems to provide buildings that meet the current Florida Building Code and allow for the safe & healthy human habitation would lead to a Substantial Improvement condition. That would mandate that the buildings be brought into full compliance with current FEMA regulations and the 2020 Florida Building Code. In my professional opinion based on knowledge and experience, due to the extent of damage to all three structures that is visibly evident, as well as the latent damage and deterioration that is festering below the ground and behind finishes, the three buildings should be demolished since rehabilitation is not a feasible option.

If you have any questions regarding this structural evaluation report, feel free to contact me in my office at 305-940-3088 during office hours.

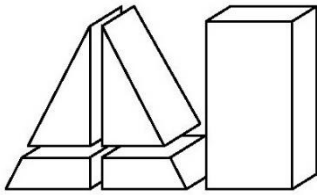
Sincerely,


Ali Arbab, P.E.
For Arbab Engineering, Inc.
FL lic # PE 35460



Attachments

AA/aa Z:\Drive ZZ Drive\2021 PROJECTS\JOHN GOYMER RES. (R Piper)



ARBAB ENGINEERING, INC.

CONSULTING ENGINEERS. 3363 NE 163rd STREET, SUITE 701. N. MIAMI BEACH, FL 33160. (305)940-3088. FAX: (305)940-3273

City of Hollywood Planning Division

Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 1 (Pictures)
May 6, 2021

Materials to reuse:

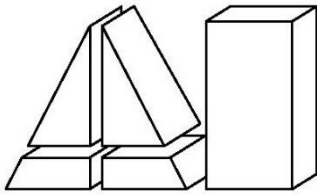
Newel post to be incorporated at new stairwell.



Medallion to be relocated to new chimney.



(Continued on Page 2)



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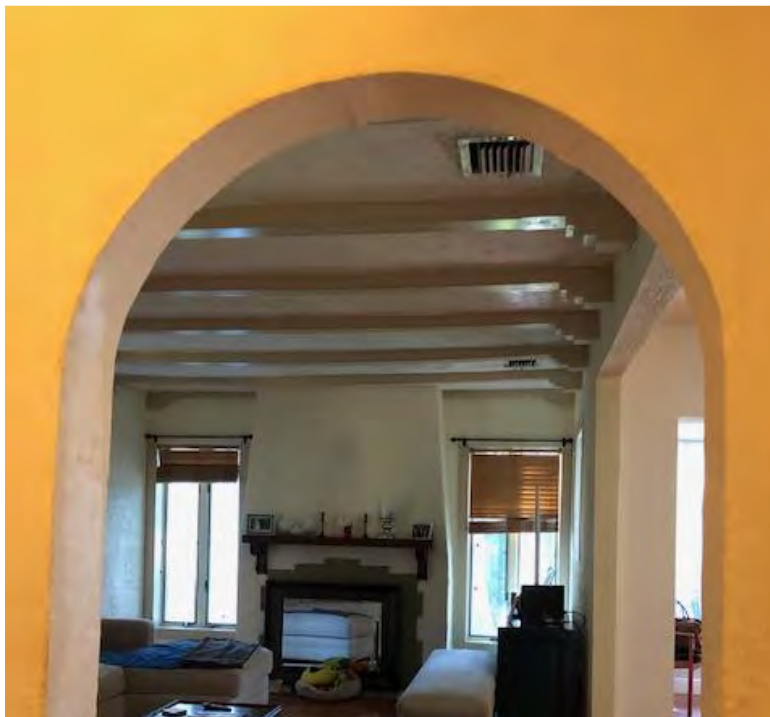
CONSULTING ENGINEERS. 3363 NE 163rd STREET, SUITE 701. N. MIAMI BEACH, FL 33160. (305)940-3088. FAX: (305)940-3273

City of Hollywood Planning Division

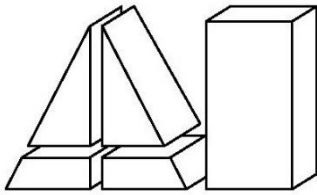
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 2 (Pictures)
May 6, 2021

Exposed Wood Beams in Living Room



(Continued on Page 3)



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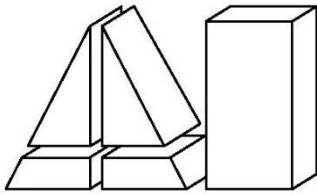
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 3 (Pictures)
May 6, 2021

Main Residence – Water Intrusion – Termite Infestation – Wood Rot



(Continued on Page 4)



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City of Hollywood Planning Division

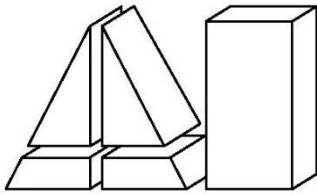
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 4 (Pictures)
May 6, 2021

Main Residence – Water Intrusion – Termite Infestation – Wood Rot – Cloth Wiring – Water Intrusion



(Continued on Page 5)



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City of Hollywood Planning Division

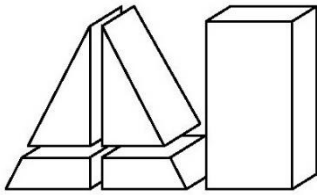
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 5 (Pictures)
May 6, 2021

Main Residence – Water Intrusion – Termite Infestation – Wood Rot – Cloth Wiring – Water Intrusion



(Continued on Page 6)



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City of Hollywood Planning Division

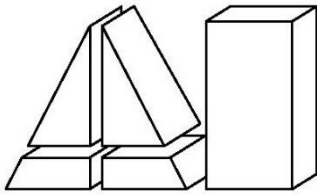
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 6 (Pictures)
May 6, 2021

Cottage Building – Foliage impacting foundation – Non-Impact Windows & Doors – Inefficient Mechanical System



(Continued on Page 7)



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City of Hollywood Planning Division

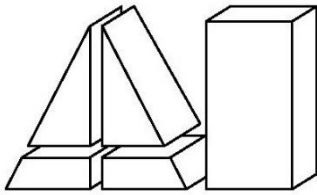
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 7 (Pictures)
May 6, 2021

Cottage Building – Termite Infestation – Non-impact Windows



(Continued on Page 8)



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City of Hollywood Planning Division

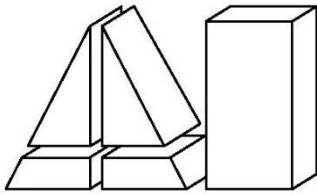
Re: **Structural Evaluation Report for:**
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Page 8 (Pictures)
May 6, 2021

Garage Building – Structural Cracks at Parapet – Wood Rot – Water Intrusion



(Continued on Page 9)



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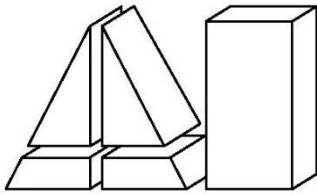
City of Hollywood Planning Division

Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 9 (Pictures)
May 6, 2021



(Continued on Page 10)



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City of Hollywood Planning Division

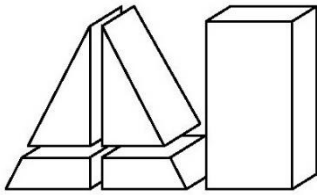
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 10 (Pictures)
May 6, 2021

Wall crack



(Continued on Page 11)



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City of Hollywood Planning Division

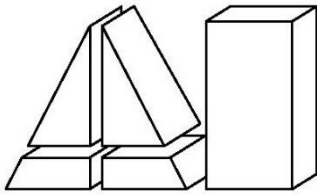
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 11 (Pictures)
May 6, 2021

Wall crack



(Continued on Page 12)



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City of Hollywood Planning Division

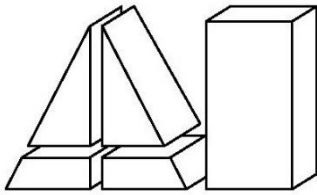
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 12 (Pictures)
May 6, 2021

Deterioration of exterior wall



(Continued on Page 13)



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City of Hollywood Planning Division

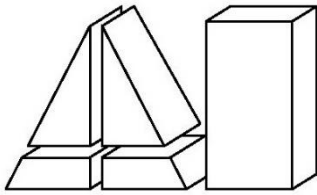
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 13 (Pictures)
May 6, 2021

Moisture penetration and deterioration of wood joist



(Continued on Page 14)



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City of Hollywood Planning Division

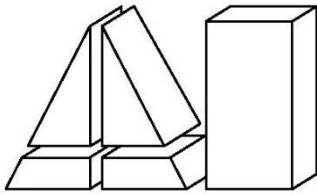
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 14 (Pictures)
May 6, 2021

Deflection of the floor members



(Continued on Page 15)



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City of Hollywood Planning Division

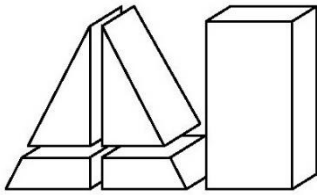
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 15 (Pictures)
May 6, 2021

Exterior wall with horizontal and vertical cracks and window in poor condition



(Continued on Page 16)



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City of Hollywood Planning Division

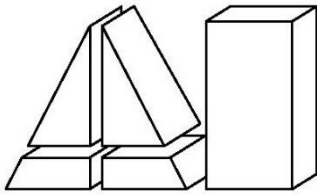
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 16 (Pictures)
May 6, 2021

Damaged exterior wall at base.



(Continued on Page 17)



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City of Hollywood Planning Division

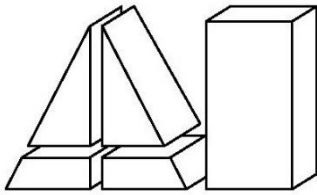
Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 17 (Pictures)
May 6, 2021

Erosion adjacent to footing



(Continued on Page 18)



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City of Hollywood Planning Division

Re: **Structural Evaluation Report for:**
Mr. & Mrs. John Goymer

Page 18 (Pictures)
May 6, 2021

Deteriorated wood members



NAME OF OWNER A. GIBSON

ADDRESS 1049 TYLER ST

LEGAL DESCRIPTION

COST

DESCRIPTION OF CONST.

ARCHITECT:

PERMIT TYPE	NO.	DATE	TO WHOM	FIXT. or OUT.
BLDG.				
ROOF	67186	7-19-66	SEEL RFG CO.	
ELECTRICAL				
PLUMBING				
GAS	7	12-2-69	Instant Gas	
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

JOB CARD

OWNER

WILKERSON

JOB ADDRESS

1049 Tyler St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 17.70

VALUATION

\$ 2000

DESCRIPTION OF CONSTRUCTION

Re Roof Tar & Gravel

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING

ROOF

2100

50617

10/26/78

Reliable Rfg

SEPTIC/SEWER

AIR/CONDITION

MECHANICAL

SCREEN

POOL

DRIVEWAY

PATIO or WALK

ELECTRIC-BASIC

ELECTRIC-SUPP.

NO. FIX.

PLUMBING

L-P-DRY WALL

FENCE

NOTES;

JCB CARD

OWNER GIBSON	JOB ADDRESS 1049 Tyler St.
-----------------	-------------------------------

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
-------------------	------------	-------	-------------------------

MICROFILM NO.	ARCHITECT	FEE \$ 6.00	VALUATION \$ 400
---------------	-----------	----------------	---------------------

DESCRIPTION OF CONSTRUCTION Re Roof	☐ SEPTIC TANK ☐ SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 800	27516	8/8/75	Seel Roofing	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:	1613-13
--------	---------

JOB CARD

OWNER

WILLIAM GIBSON

JOB ADDRESS

1049 Tyler St.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 6.00

VALUATION

\$

DESCRIPTION OF CONSTRUCTION

Addn Piping Installed

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX. 4724	1/8/74	Dixie	POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

FORM 1144-13

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM

802 ==

1009 ==

(FORMER)
Site Name W.D. Loy Residence Site No. 830 ==
Address of Site: 1049 Tyler Street Hollywood, Florida Survey Date 8008 820 ==
Instruction for locating on the N. side of Tyler St. between 10th and 11th Ave. 905 ==
Location: Hollywood Lakes Section 1-32 B 49 2E1/2, 3 813 ==
subdivision name block no. lot no. 868 ==
County: Broward 808 ==
Owner of Site: Name: William and Charlotte Gibson ;
Address: 1049 Tyler Street
Hollywood, Florida 33019 902 ==
Type of Ownership Private 848 == Recording Date 832 ==
Recorder:
Name & Title: Marlyn Kemper, Director ;
Address: Historic Broward County Preservation Board
1900 Tyler Street Hollywood, Florida 33020 818 ==
Condition of Site: Integrity of Site: Original Use Residence 838 ==
Check One Check One or More
☐ Excellent 863 == ☐ Altered 858 == Present Use Residence 850 ==
☐ Good 863 == ☐ Unaltered 858 == Dates: Beginning c1924 844 ==
☒ Fair 863 == ☒ Original Site 858 == Culture/Phase American 840 ==
☐ Deteriorated 863 == ☐ Restored () (Date:) 858 == Period Twentieth Century 845 ==
☐ Moved () (Date:) 858 ==
NR Classification Category: Building 916 ==
Threats to Site:
Check One or More
☐ Zoning () 878 == ☐ Transportation () 878 ==
☐ Development () 878 == ☐ Fill () 878 ==
☐ Deterioration () 878 == ☐ Dredge () 878 ==
☐ Borrowing () 878 ==
☒ Other (See Remarks Below): Unknown 878 ==
Areas of Significance: Historical, Other, Streetscape 910 ==

Significance:

HISTORICAL: "Miami Winter Guest Buys Attractive Home in Hollywood,"
HOLLYWOOD HERALD, May 26, 1933.

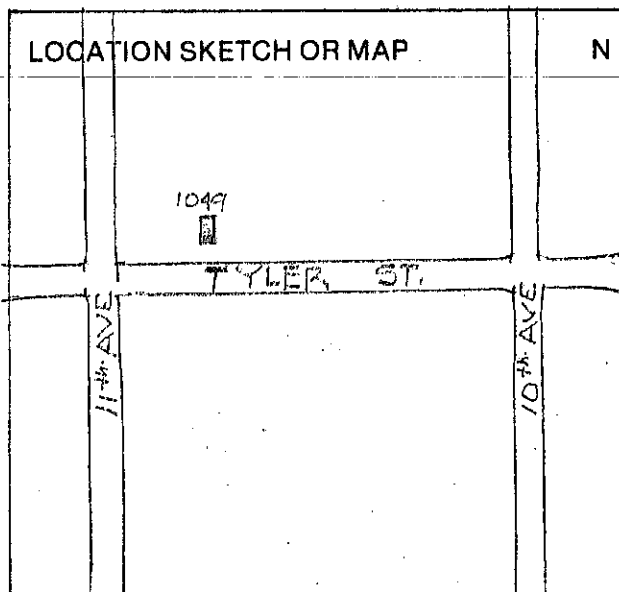
One of the city's most attractive six room homes at 1049 Tyler Street has been purchased by W.D. Loy of Ohio who will spend winters here in the future. Loy, owner of a rock quarry in Ohio, said that Hollywood's cleanliness, attractive landscaping, wide streets, and strategic location of Harding Circle as a beauty spot and the possible construction of a civic center triggered his decision to come to the area. "I believe that the excessive economy involved in maintaining the appearance of the town even in the so called dull season would be highly injurious," he commented.

c1924: As indicated on "Building Cards, Broward County Property Appraiser's Office."

911 ==

Additional Statement of Significance attached.

ARCHITECT Unknown 872 ==
 BUILDER Unknown 874 ==
 STYLE AND/OR PERIOD Mediterranean Revival 964 ==
 PLAN TYPE Irregular; unknown 966 ==
 EXTERIOR FABRIC(S) Stucco: unknown 854 ==
 STRUCTURAL SYSTEM(S) Masonry: concrete block 856 ==
 PORCHES Unknown 942 ==
 FOUNDATION: Piling: unknown, unknown 942 ==
 ROOF TYPE: Unknown 942 ==
 SECONDARY ROOF STRUCTURE(S): Unknown 942 ==
 CHIMNEY LOCATION: NA 942 ==
 WINDOW TYPE: Casement, unknown, unknown 942 ==
 CHIMNEY: NA 882 ==
 ROOF SURFACING: Unknown 882 ==
 ORNAMENT EXTERIOR: Metal 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 2 950 ==
 NO. OF DORMERS None 954 ==
 Map Reference (incl. scale & date) USGS Ft. Lauderdale South, Fla.
7.5 Min. 1962 (1969) 809 ==
 Latitude and Longitude: " " " " " " 800 ==
 Site Size (Approx. Acreage of Property): 1.1 833 ==



Township	Range	Section
51S	42E	14

812 ==

UTM Coordinates:

17 587360 2877220
 Zone Easting Northing

890 ==

Photographic Records Numbers R13/F15

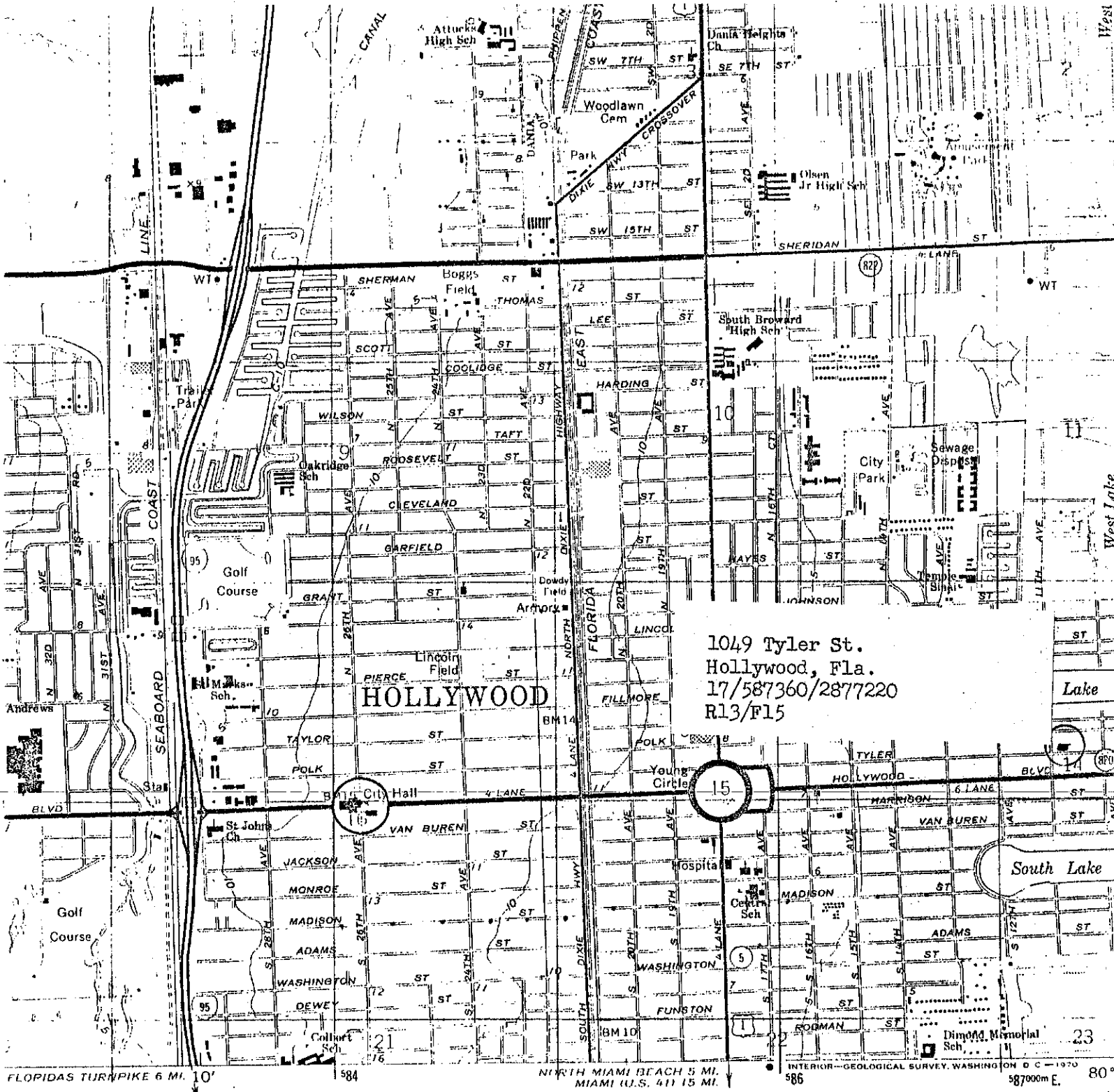
860 ==

Contact Print

Statement of Significance (use continuation sheet if necessary)

OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.

STREETSCAPE: One of a series of residences on Tyler Street between 10th and 16th Ave. Establishes a definite character, but the sites are too dispersed to form a district. However, neighborhood conservation is recommended.



1049 Tyler St.
Hollywood, Fla.
17/587360/2877220
R13/F15

1 MILE
100 FEET
1 INCH



QUADRANGLE LOCATION

ROAD CLASSIFICATION

- | | | | |
|----------------------|-----------|-----------------|-----------------|
| Heavy duty | ————— | Light-duty | |
| Medium-duty | - - - - - | Unimproved dirt | |
| () Interstate Route | | () U. S. Route | () State Route |

FORT LAUDERDALE SOUTH, FL/
N2600—W8007.5/7.5

Permit Search Results

[Search](#) > Properties located at/on/near '...1049...'

6 permits were found for
1049 TYLER ST

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B09-104696	REROOF - COMBINATION OF TYPES	12/10/2009	12/29/2009
Details		E9502115	SERVICE CHANGE- SINGLE FAMILY RESIDENCE		7/25/1995
Details		B9104676	FUMIGATION		7/11/1991
Details		E9000370	ELECTRICAL WORK		2/13/1990
Details		B9000519	FENCE- WOOD,CHAIN LINK,ETC.		1/26/1990
Details		P8900755	GAS PIPING		9/25/1989

Prepared by Record and Return to:

Jeffrey Feinberg, Esquire

Feinberg and Maidenbaum

Certified Title

4651 Sheridan Street, Suite 200

Hollywood, Florida 33021

File Name: Goymer-Triano

Parcel ID Number: 514214-01-8760

Warranty Deed

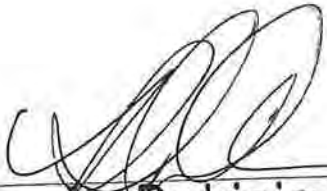
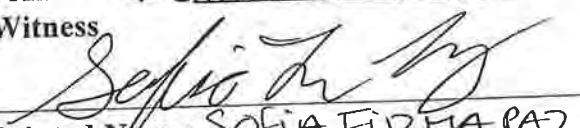
This Indenture, made this 21ST day of January, 2020 A.D., **between Susan Patricia Triano, a single woman**, whose address is: 1426 Mayo Street, Hollywood, Florida 33020 **grantor**, and **John K. Goymer and Kimberly D. Goymer, as husband and wife** whose address is: 1049 Tyler Street, Hollywood, Florida 33019, **grantee**.

Witnesseth that the GRANTOR, for and in consideration of the sum of **TEN DOLLARS (\$10) DOLLARS**, and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of BROWARD State of FLORIDA to wit:

Lots 3,4 And The East One Half of Lot 2 in Block 49 of HOLLYWOOD LAKES SECTION, according to the Map or Plat thereof as recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.

Subject to taxes for the current year and subsequent years; zoning and/or restrictions and prohibitions, if any, imposed by governmental authority; and easements, restrictions, reservations, conditions and covenants of record, if any, without reimposing same and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

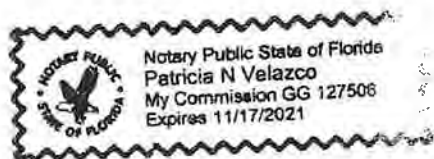
In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

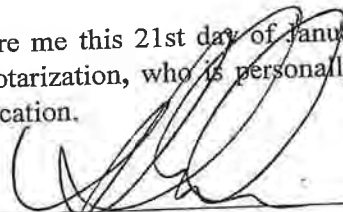

Printed Name: Patricia N Velazco
Witness

Printed Name: Sofia FIRMA PAZ
Witness


Susan Patricia Triano

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 21st day of January, 2020 by Susan Patricia Triano, by means of ☒ physical presence or ☐ online notarization, who is personally known to me or who has produced {his|her} Florida Driver's License as identification.




Printed Name: _____
Notary Public Patricia N Velazco
My Commission Expires: 11 / 11

Prepared by Record and Return to:

Jeffrey Feinberg, Esquire

Feinberg and Maidenbaum

Certified Title

4651 Sheridan Street, Suite 200

Hollywood, Florida 33021

File Name: Goymer-Triano

Parcel ID Number: 514214-01-8760

Warranty Deed

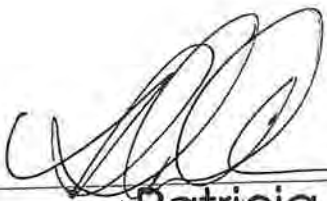
This Indenture, made this 21ST day of January, 2020 A.D., between Susan Patricia Triano, a single woman, whose address is: 1426 Mayo Street, Hollywood, Florida 33020 grantor, and John K. Goymer and Kimberly D. Goymer, as husband and wife whose address is: 1049 Tyler Street, Hollywood, Florida 33019, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of **TEN DOLLARS (\$10) DOLLARS**, and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of BROWARD State of FLORIDA to wit:

Lots 3,4 And The East One Half of Lot 2 in Block 49 of HOLLYWOOD LAKES SECTION, according to the Map or Plat thereof as recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.

Subject to taxes for the current year and subsequent years; zoning and/or restrictions and prohibitions, if any, imposed by governmental authority; and easements, restrictions, reservations, conditions and covenants of record, if any, without reimposing same and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set his hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

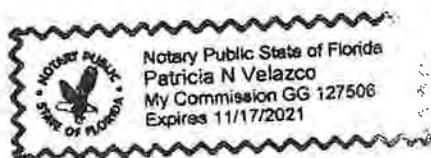

Printed Name: Patricia N Velazco
Witness

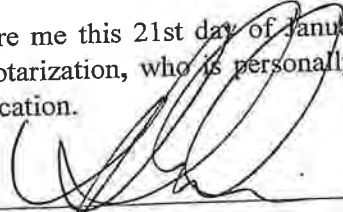

Printed Name: Sofia Firza Paz
Witness


Susan Patricia Triano

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 21st day of January, 2020 by Susan Patricia Triano, by means of ☒ physical presence or ☐ online notarization, who is personally known to me or who has produced {his/her} Florida Driver's License as identification.



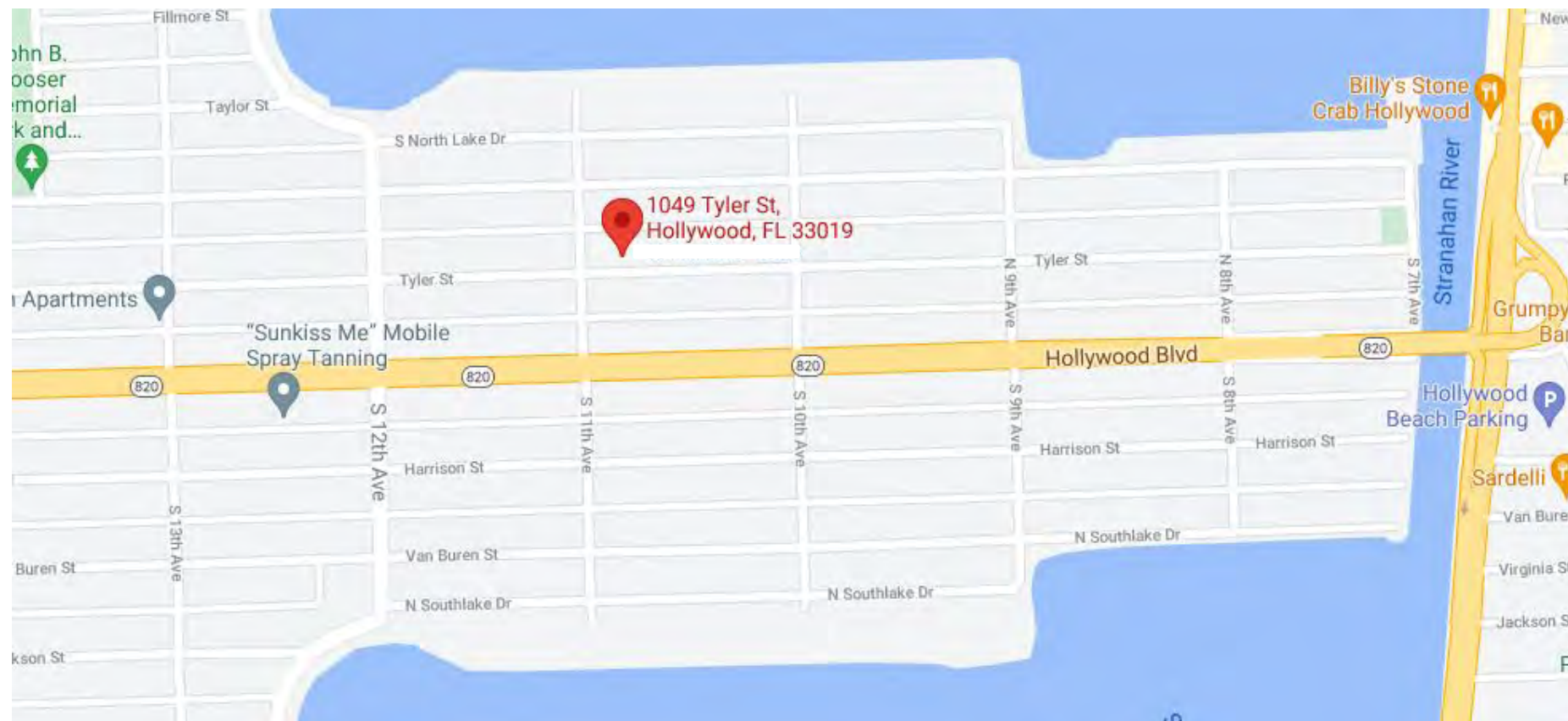

Printed Name: _____
Notary Public Patricia N Velazco
My Commission Expires: 11

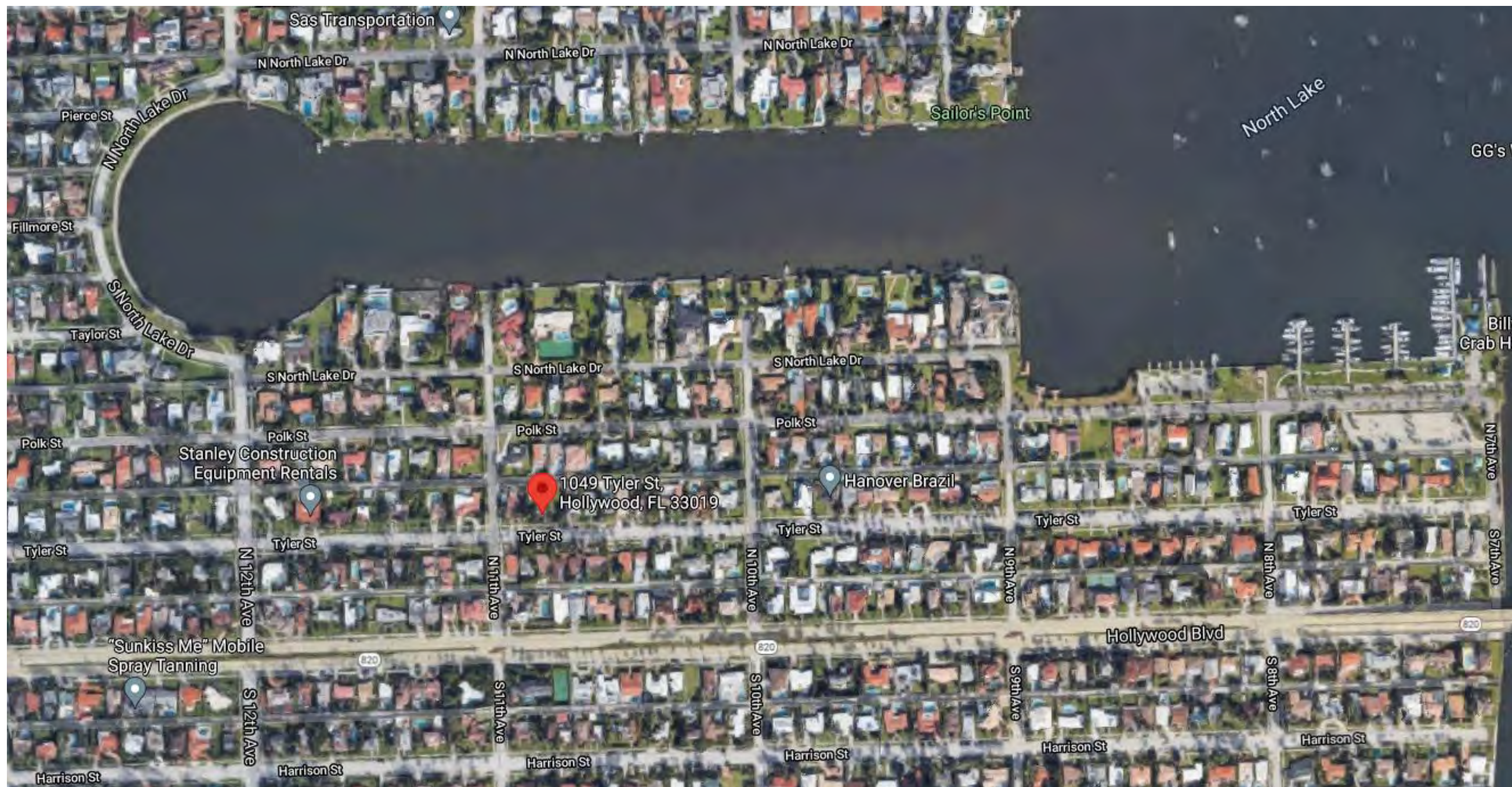
Goymmer Residence

1049 Tyler Street
Hollywood, Florida

HISTORIC PRESERVATION BOARD

July 13, 2021





Goymer Residence

1049 Tyler Street

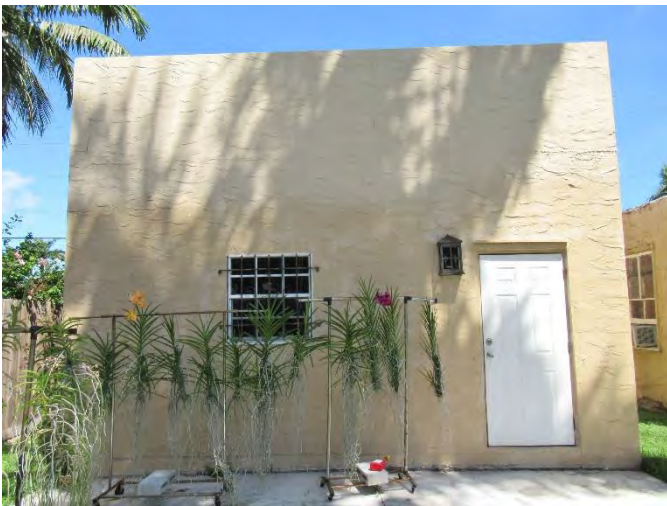
Color Photographs of Site



Main House



Cottage



Garage





Adjacent Property to the West – 1079 Tyler Street



1049 Tyler Street



Adjacent Property to the East – 1041 Tyler Street



Neighboring Properties to the South – 1060 / 1050 / 1046 Tyler Street

roger piper, architect, inc.

20100 NE 21st Avenue, North Miami Beach, Florida 33179 Office: (305) 932-5200 Fax: (305) 932-0025

Custom Residence for: Mr. & Mrs John Goymer 1049 TYLER STREET, HOLLYWOOD, FLORIDA

HISTORIC PRESERVATION BOARD SUBMITTAL

SITE/PROJECT DATA

ZONING: RS-4

SITE AREA: 16,000 SQ. FT.

MAX. LOT COVERAGE: 40% (PERVIOUS)

MAX. BLDG. FOOTPRINT: 60% (IMPERVIOUS)

LOT COVERAGE:

BUILDING: 3,219.77 SQ. FT. (GROUND LEVEL A/C)
43.91 SQ. FT. (COVERED ENTRY)
6,002.5 SQ. FT. (GARAGE)
3,863.93 SQ. FT. (TOTAL COVERAGE/BLDG. FOOTPRINT)

PAVED AREAS: 8,302.5 SQ. FT. (DRIVEWAY & MOTOR COURT)
2,753.2 SQ. FT. (WALKWAYS)
63.37 SQ. FT. (CONCRETE PADS)
2,130.35 SQ. FT. (POOL & POOL DECK)
3,299.29 SQ. FT. (TOTAL COVERAGE/PAVED AREAS)

$3,864 + 3,300 = 7,164/16,000 = 44.77\%$ IMPERVIOUS COVERAGE (60% ALLOWED)
55.23% PERVIOUS AREA PROVIDED

MAX. BLDG. HEIGHT: 30'-0" FT. (FROM F.F.E. TO TOP OF ROOF)

BLDG. HEIGHT PROVIDED: 25'-2" FT. (FROM F.F.E. TO TOP OF ROOF)

MAIN HOUSE SETBACKS

SETBACKS: REQUIRED

FRONT: 25'-0" (MIN.)

REAR: 15'-0" (MIN.) OR 15% OF LOT DEPTH

SIDE: 25% OF LOT WIDTH (COMBINED TOTAL OF 31.25' AND NOT LESS THAN 7.5' ON ONE SIDE)

SETBACKS: PROVIDED

FRONT: 25'-0"

REAR: 43'-8"

SIDE: 31'-3" (COMBINED TOTAL SETBACK: 9'-1" + 22'-2"=31.25')

BUILDING AREA:

GROUND LEVEL (NON A/C):	644.16	GROSS SQ. FT.
GROUND LEVEL (FLOOR AREA A/C):	3,219.77	GROSS SQ. FT.
TOTAL GROUND LEVEL:	3,863.93	GROSS SQ. FT.
SECOND LEVEL (FLOOR AREA A/C):	1,542.77	GROSS SQ. FT.
COMBINED TOTAL AREA:	5,406.7	GROSS SQ. FT.

PARKING:

2 PARKING SPACES FOR THE FIRST 2,000 SQUARE FEET AND 1 SPACE FOR EVERY 500 SQ. FT. AFTER THAT, WITH A 5 PARKING SPACE LIMIT.

LEGAL DESCRIPTION:

THE EAST HALF OF LOT 2, LOT 3 AND LOT 4, BLOCK 49, 'HOLLYWOOD LAKES SECTION' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



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architect, inc.

aa 3398 • n.c.a.r.b. certified

May 6, 2021

City of Hollywood Division of Planning
2600 Hollywood Boulevard, Room 315
Hollywood, Florida 33020

Re: Custom Residence for:
Mr. & Mrs. John Goymer
1049 Tyler Street • Hollywood, Florida
Folio 5142 140 18 – 760

LOT COVERAGE INFORMATION

Single Family Residence

- | | |
|----------------|---|
| 1. 128' x 125' | SQUARE FEET OF LOT (length x width) |
| 2. 5,407 | SQUARE FEET OF YOUR HOUSE (Ground Floor AC, Covered Entry, Second Floor Level AC, Garage) |
| 3. N/A | SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (driveways, walkways, decks, pools, storage sheds, etc.) |
| 4. N/A | SQUARE FEET OF THE ADDITIONS |
| 5. 3,801 | SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC. (pool, pool deck, covered terrace, new walkway, steps to front entry, driveway, A/C pad) |
| 6. 9,208 | TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON LOT (add #'s 2, 3, 4, and 5) |
| 7. 58% | PERCENTAGE OF IMPERVIOUS LOT COVERAGE (divide #6 by #1) |



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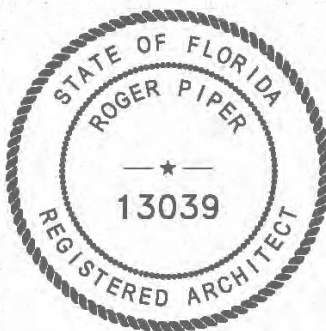
Main House

Front Setback:	25.0'
Rear Setback:	15% of Lot Depth or 15.0' min.
Side Setback:	25% of Lot Width (combined total of 31.25' and not less than 7.5' on one side)
Max. Lot Coverage:	40% (Pervious)
Max. Bldg. Footprint:	60% (Impervious)
Max. Bldg. Height:	30.0' (From F.F.E. to top of roof)

Accessory Building

Rear Setback:	
Less than 200 S.F.:	0.0'
Over 200 S.F.:	Same as Main House
Side Setback:	5.0'

Parking: 2 parking spaces are required for the first 2,000 square feet and 1 parking space is required for every 500 square feet thereafter with a 5 parking space maximum limit.





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May 6, 2021

Revised June 25, 2021

21-CM-37

City of Hollywood Division of Planning
2600 Hollywood Boulevard, Room 315
Hollywood, Florida 33020

RE: Custom Residence for:
Mr. & Mrs. John Goymer
1049 Tyler Street • Hollywood, Florida 33019
Folio 5142 140 18 - 760

**CERTIFICATE OF APPROPRIATENESS FOR DESIGN CRITERIA STATEMENT
FOR THE HISTORIC PRESERVATION BOARD**

INTEGRITY OF LOCATION – DESIGN – SETTING – MATERIALS – WORKMANSHIP -
ASSOCIATION

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings*. The new single-family home design will incorporate many of the architectural features of the Mediterranean Revival style such as flat roofs with straight parapets, low-pitched roofs with barrel tile, wood eave out lookers, attic vents, a jutting chimney, arched windows & doors, and stone trim. The new design will be compatible with the massing, size and scale of Mediterranean Revival architecture and the architectural features will honor the style while protecting the historic integrity of the property and neighborhood.

The intent is to design a livable space by replacing the non-conforming structures that addresses climatic conditions, while complying with regulations. The proposed construction complies with required setbacks and site coverage and therefore does not adversely affect the character of the neighborhood.



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CRITERION: DESIGN

ANALYSIS: The Historic District Design Guidelines encourages new construction to be compatible with the character of the neighborhood regarding scale, materials, texture, and color. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape, and environment. The proposed design helps to enhance the design of the existing in the same architectural style. To ensure that the design is not compromised by the requirements of the City's regulations, we worked with Staff at the Division of Planning and Urban Design. Furthermore, the existing structures are in very poor condition based on our visual observation. The buildings do not meet the current Florida Building Code requirements necessary to protect life and property. Renovating to integrate modern conveniences such as mechanical, electrical, and plumbing will be a considerable challenge both financially and logistically. While paying homage to the Mediterranean Revival style by celebrating architectural features prominent at neighboring homes, the new design will also meet today's Building and Zoning Codes and adhere to the current regulations set forth by FEMA and the Florida Energy Code.

CRITERION: SETTING

ANALYSIS: As stated in the Design Guidelines, *"...setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood."* The home as proposed demonstrates the compatibility with the neighborhood and does not disrupt the relationship. The new design will be complementary to the surrounding neighborhood by retaining the features that best represent the Mediterranean Revival style. These include the asymmetrical front entry, attic vents, flat roofs with parapets, low-pitched roofs with barrel tile, wood eave out lookers, arched windows and doors and patios that extend the living spaces to the outdoors. Should the demolition of the structures be granted, the single-family use of the property will remain the same as the current use. In addition, the current Zoning and Building Codes will be followed including the Florida Energy Code and FEMA flood elevation regulations. The new design will be respectful of existing examples of the Mediterranean Revival style found in the Historic District of the City of Hollywood by complementing the major features of this style in a slightly more modern interpretation. The plans for reuse of the property will not adversely affect the historic character of the district in any way whatsoever. In fact, it will actually embrace and celebrate the historic character of the neighborhood unlike so many "white-box" modern homes that are being constructed throughout South Florida. Furthermore, the retention of the three buildings would deny the Owner their desire to create what they deem necessary for fully enjoying the property. The most important fact to consider is that it would not be economically



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feasible to repair and renovate the buildings to upgrade them to meet the current Florida Building Code, Florida Energy Code and FEMA flood elevation regulations. Achieving a similar aesthetic appearance by way of new historically sensitive design and modern construction means, methods, and materials will save money while protecting the health, safety, and welfare of the building inhabitants.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines state materials are an important part of the fabric of any historic district or property and help to maintain the historic character of the place. The proposed materials are compatible and consistent in quality, color, texture, finish, and dimension to other Mediterranean Revival homes in the historic district. According to the Applicant, "The new design will be complementary to the surrounding neighborhood by retaining the features that best represent the Mediterranean Revival style. These include the asymmetrical front entry, attic vents, flat roofs with parapets, low-pitched roofs with barrel tile, wood eave out lookers, arched windows & doors, and patios that extend the living spaces to the outdoors." The design for the new single-family home will be compatible in size, proportion, materials, textures, and colors to historic precedents while providing many updates necessary to create a safe and enjoyable living experience. As a footnote, the owners will not only be relocating the original medallion to the new chimney, but they will also retain the original newel post for the new interior staircase as well as incorporate the original wood beams on the living room ceiling. As a finishing touch, they will be featuring architectural drawings and photographs of the original buildings in their new home to historically embrace the past while enjoying the present. Their new home will become a future generation's historical past as another 100 years pass by.

CRITERION: WORKMANSHIP

ANALYSIS: The proposed design is consistent with current workmanship styles and methods and does not imitate or copy any existing style or period while complying with all regulations and it fits within the neighborhood's character. In the feasibility study, the Applicant has identified key architectural elements that that will be reclaimed for the new home, including the newel post for the staircase and the chimney medallion. Additionally, the proposed landscaping will enhance the ambience achieved by the home's design, allowing for shade, visibility, and framing of the property. The new single-family home will add to the aesthetics and charm of the neighborhood while conforming to State and local construction regulations. The desires of modern living, as well as conforming to current flood elevation criteria and being compliant with Building and Energy Codes, is of utmost



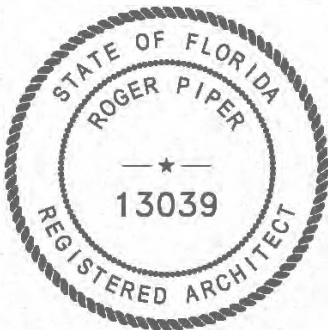
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importance to the property owners. The research and analysis of all criteria clearly establishes the reasons why a Certificate of Appropriateness for Design should be issued.

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines recommend maintaining *consistent spacing and setbacks* and further state *new construction should be compatible with existing buildings...* Within the context of historic preservation, elements of design such as *massing, scale and rhythm reflect architectural style as well as the richness of the historic district*. Meeting all applicable code requirements, the proposed design is consistent with the scale and massing of the adjacent neighborhood. The new design will provide a very attractive look to the property and will be consistent with the surrounding neighborhood. This project enhances the streetscape elements of the existing residence and the neighbors. The property is a good example of how it relates to the significant tree-lined Tyler Street contributing with majestic Royal Palm trees. Required parking is accommodated on a driveway on the west side of the property and an oversized one car garage for a total of five vehicles. As such, the proposed redevelopment of the property, should the demolition be approved, will maintain, and improve the character of the area.





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May 6, 2021

Revised June 25, 2021

21-CM-37

City of Hollywood Division of Planning
2600 Hollywood Boulevard, Room 315
Hollywood, Florida 33020

Re: Custom Residence for:
Mr. & Mrs. John Goymer
1049 Tyler Street • Hollywood, Florida
Folio 5142 140 18 – 760

GENERAL CRITERIA STATEMENT

1. Architectural and Design Components. **Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.**

The architecture of the new single-family home will use traditional materials considerably complementing the massing, size, scale, and architectural features of the Mediterranean Revival style to protect the integrity of the neighborhood and its environment. The new home with its attached 1- car garage plus storage, pool deck, and palm gardens will sit on two and one-half lots and will be set back to allow the asymmetrical, arched front entry to remain the focal feature; another architectural detail found in the Mediterranean Revival vernacular.

2. Compatibility. **The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.**

Incorporating typical ornamental features of the Mediterranean Revival Style from the original main house and weaving them throughout the new design will complement the predominant architectural style found on Tyler Street. A few of these details that will be included are attic vents, flat roofs with parapets, low-pitched roofs with barrel tile, wood eave outlookers, arched windows & doors, and patios that extend the living spaces to the



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outdoors. The new design provides a very attractive look to the property and the massing of the home will be consistent with the character of the surrounding neighborhood.

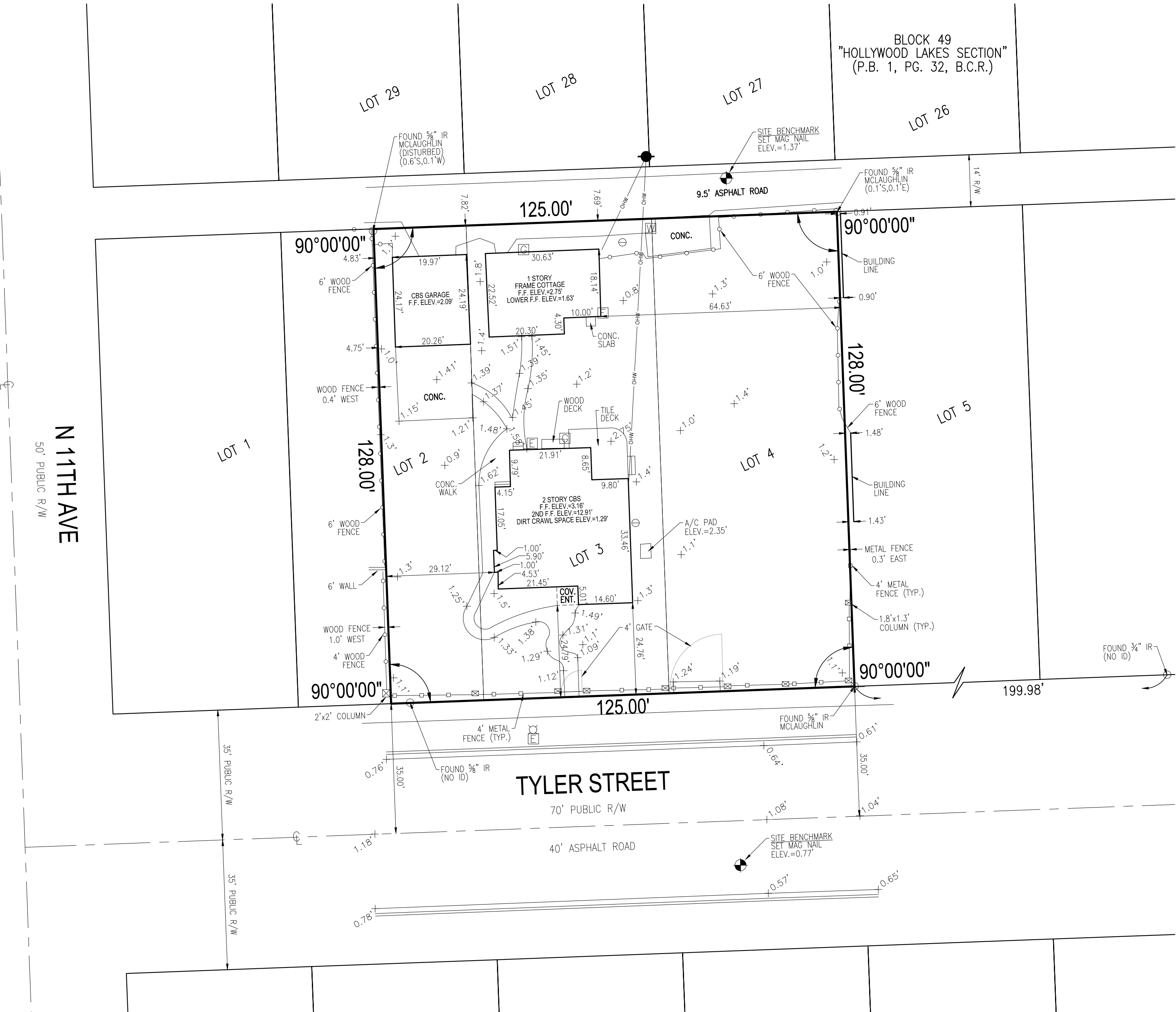
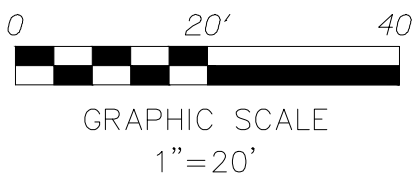
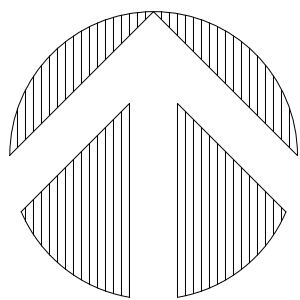
3. Scale / Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding, and fenestration.

The new single family home design will be in scale with the adjacent residential properties due to its compatible size, proportion, and height which is consistent with the adjacent neighbors' homes. Additionally, the property will feature extended outdoor living spaces which is another feature of Mediterranean Revival architecture. The design layout for the entire property is within the scale / massing of the surrounding neighborhood. The new front entry with its deep, arched opening and stone detail, as well as the new fenestration at the staircase, offer prominent examples of Mediterranean Revival detailing.

4. Landscaping. Landscaped area should contain a variety of native and other compatible plant types and forms and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

The landscaping design, as per the Landscape Code, compliments the existing majestic Royal Palm trees that line Tyler Street. The trees and shrubs will vary in height, texture, and color as found in the Florida Friendly handbook and Landscape Manual, maintaining a balance between native and non-native species for diversity. These various heights will assist in emphasizing the deep-set front entry. The path that leads to the front door will also bring one to experience the softscape of the indigenous plant material and palm gardens on either side. The new covered terrace and pool deck will extend the living space to the outdoors and provide a place to gather and relax amongst the native flora and fauna. In addition, the owner's extensive orchid collection will add additional color and beauty to the property.





LEGAL DESCRIPTION

THE EAST 1/2 OF LOT 2, LOT 3 AND LOT 4, BLOCK 49, "HOLLYWOOD LAKES SECTION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAIN 16,000 SQUARE FEET, MORE OR LESS.

NOTES

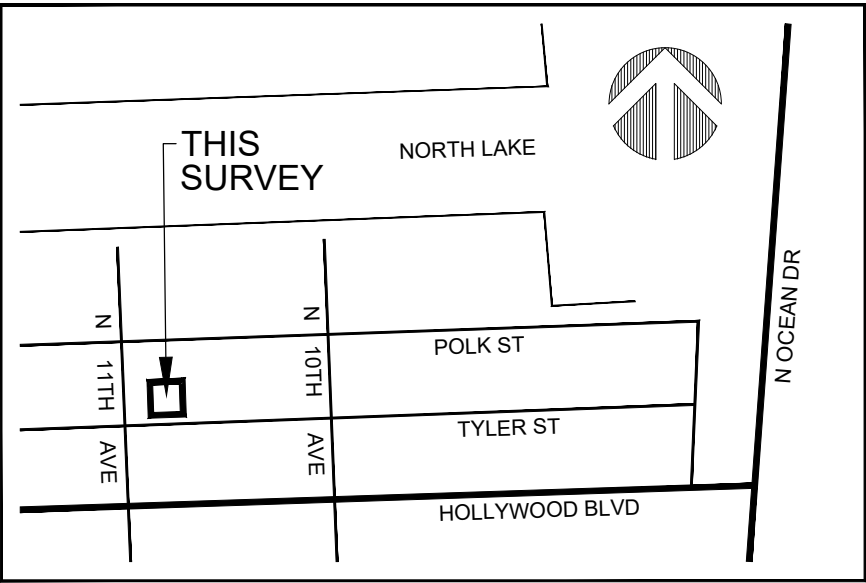
- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SURVEY.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM N.G.S. BENCHMARK "B 311" ELEVATION = 1.68'.
- PROPERTY ADDRESS: 1049 TYLER STREET, HOLLYWOOD, FL 33019
- FLOOD INFORMATION IS AS FOLLOWS:
COMMUNITY NUMBER : 125113
PANEL NUMBER : 12011C0569H
DATE OF FIRM INDEX : 08-18-2014
ZONE : AE
BASE FLOOD ELEVATION : 5.0' FOR AE
- THIS SURVEY IS CERTIFIED TO:
A. JOHN K. GOYMER
B. KIMBERLY D. HOWARD

ABBREVIATIONS

A/C = AIR CONDITIONER
ALUM. = ALUMINUM
B.C.R. = BROWARD COUNTY RECORDS
CB = CATCH BASIN
C.B.S. = CONCRETE BLOCK & STUCCO
CLF = CHAIN LINK FENCE
CONC. = CONCRETE
Δ = DELTA (CENTRAL ANGLE)
D.E. = DRAINAGE EASEMENT
ELEV. = ELEVATION
F.F. = FINISHED FLOOR
FND. = FOUND
GAR. = GARAGE
IP = IRON PIPE
IR = IRON ROD
IRC = IRON ROD & CAP
L = ARC LENGTH
L.M.E. = LAKE MAINTENANCE EASEMENT
MON. = MONUMENT
N/D = NAIL AND DISC
P.B. = PLAT BOOK
PG. = PAGE
R = RADIUS
R/W = RIGHT-OF-WAY
TYP. = TYPICAL
U.E. = UTILITY EASEMENT

LEGEND

WATER SERVICE
ELECTRIC SERVICE
TELEPHONE BOX
CABLE TV BOX
DRAINAGE MANHOLE
SANITARY MANHOLE
WATER VALVE
SIGN
FIRE HYDRANT
CATCH BASIN
LIGHT POLE
WOOD UTILITY POLE
CONCRETE UTILITY POLE
CLEAN OUT
CENTERLINE
EXISTING ELEVATION



LOCATION MAP

NOT TO SCALE

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

DATE OF LAST FIELD WORK: APRIL 1, 2020



BOUNDARY AND TOPOGRAPHIC SURVEY

1049 TYLER STREET

NO.	DATE	BY	CK'D	REVISION
1	04/01/2020	AJR	JSH	BOUNDARY AND TOPOGRAPHIC SURVEY

SEAL

JOB NO. 20131

SCALE 1" = 20'

DRAWN AJR

CHECKED JSH

SHEET 1 OF 1

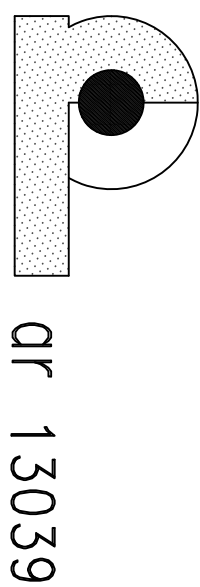
CUSTOM RESIDENCE FOR:
MR. & MRS JOHN GOYMER
- SINGLE FAMILY RESIDENCE -
1049 TYLER STREET, HOLLYWOOD, FLORIDA
HISTORIC PRESERVATION BOARD SUBMITTAL



ARTIST'S RENDERING

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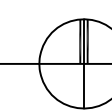
OF 1 SHEETS

CROSSHATCHED AREAS ON THIS SITE PLAN INDICATE EXISTING TO BE DEMOLISHED AND COMPLETELY REMOVED (TYPICAL WHERE DEPICTED).

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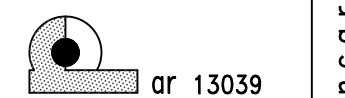
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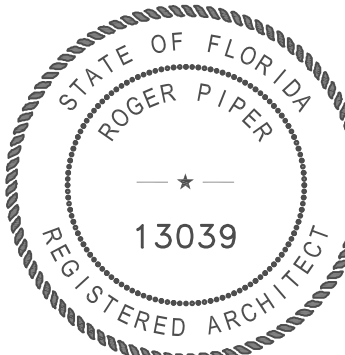
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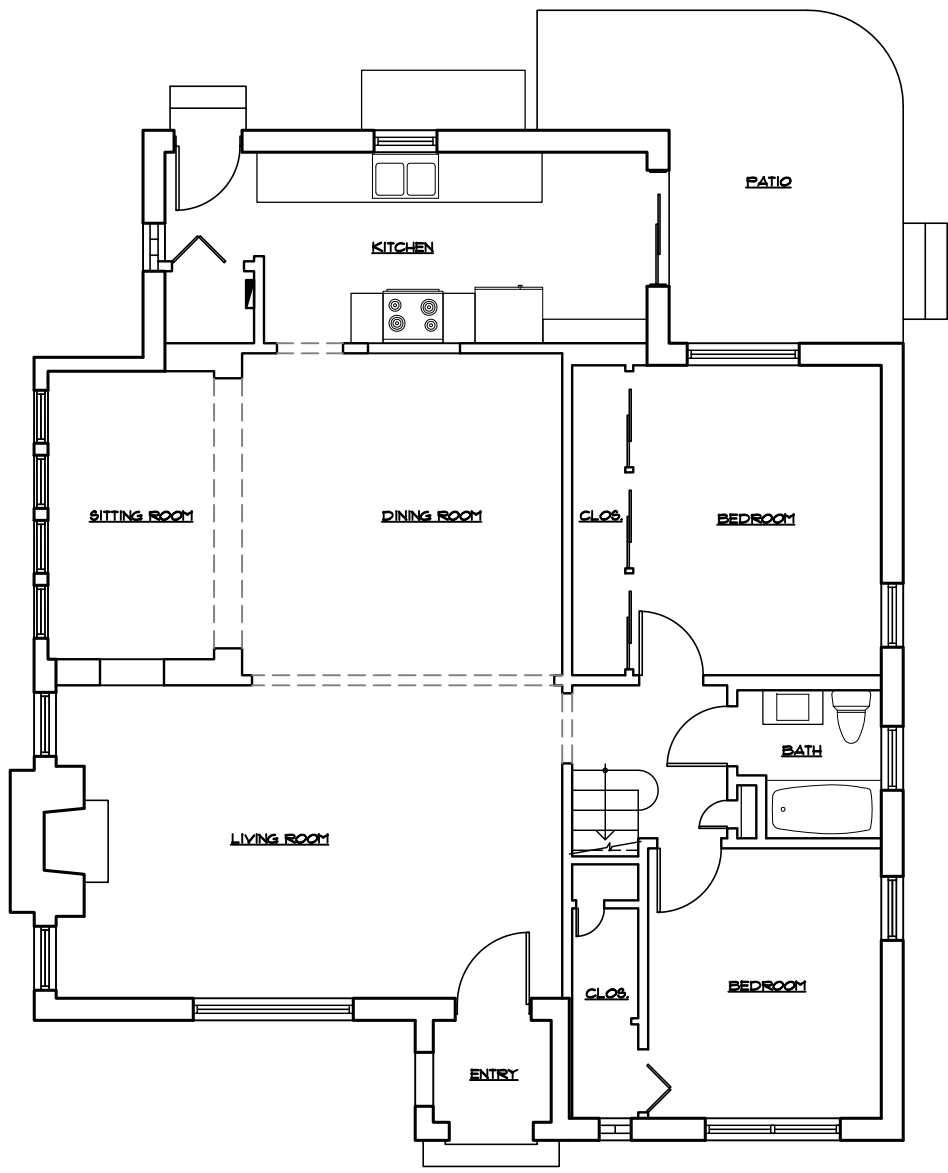


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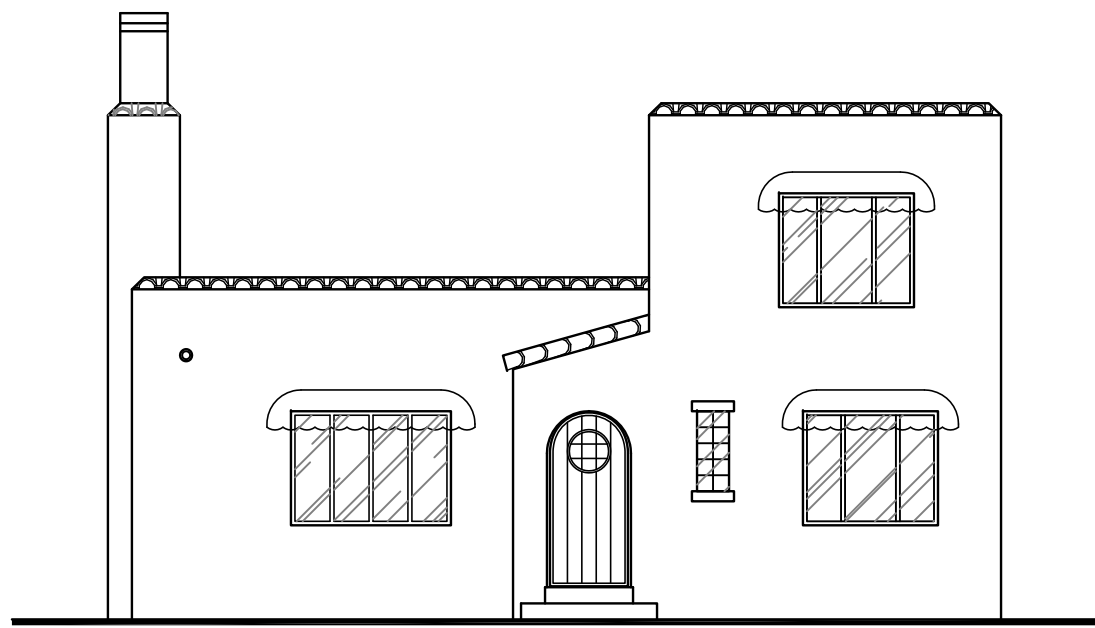
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EX-1

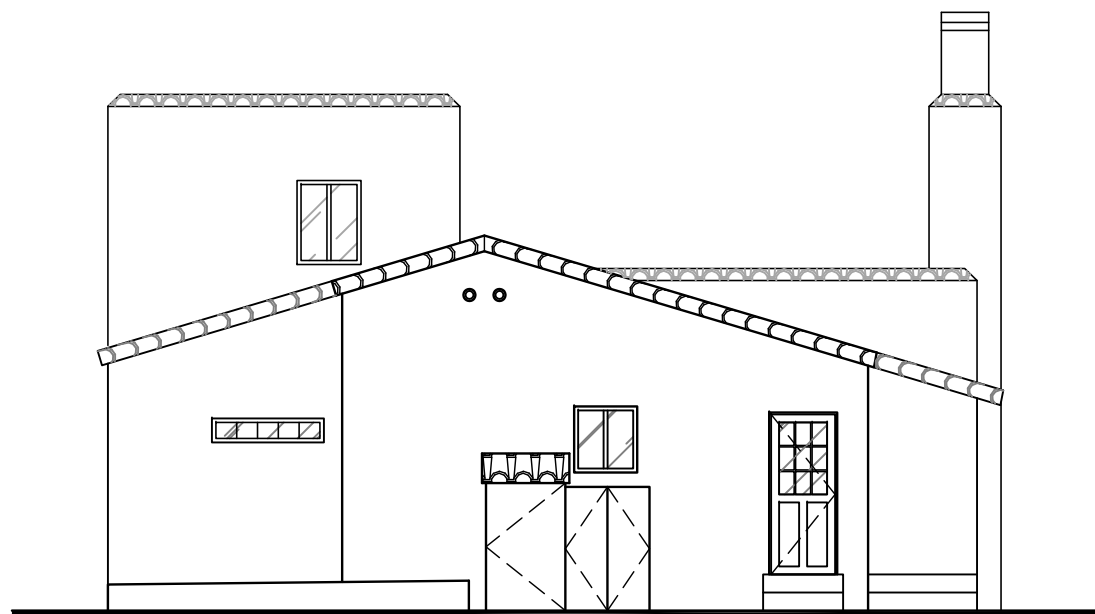
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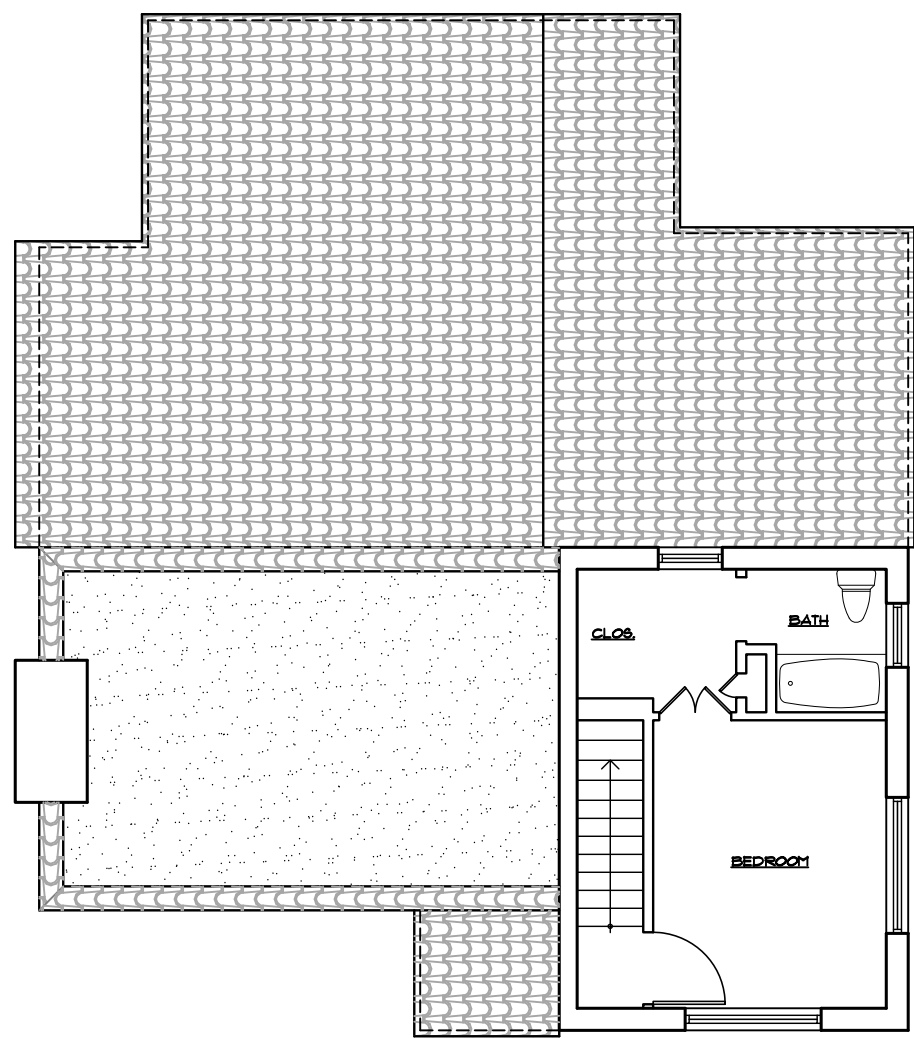
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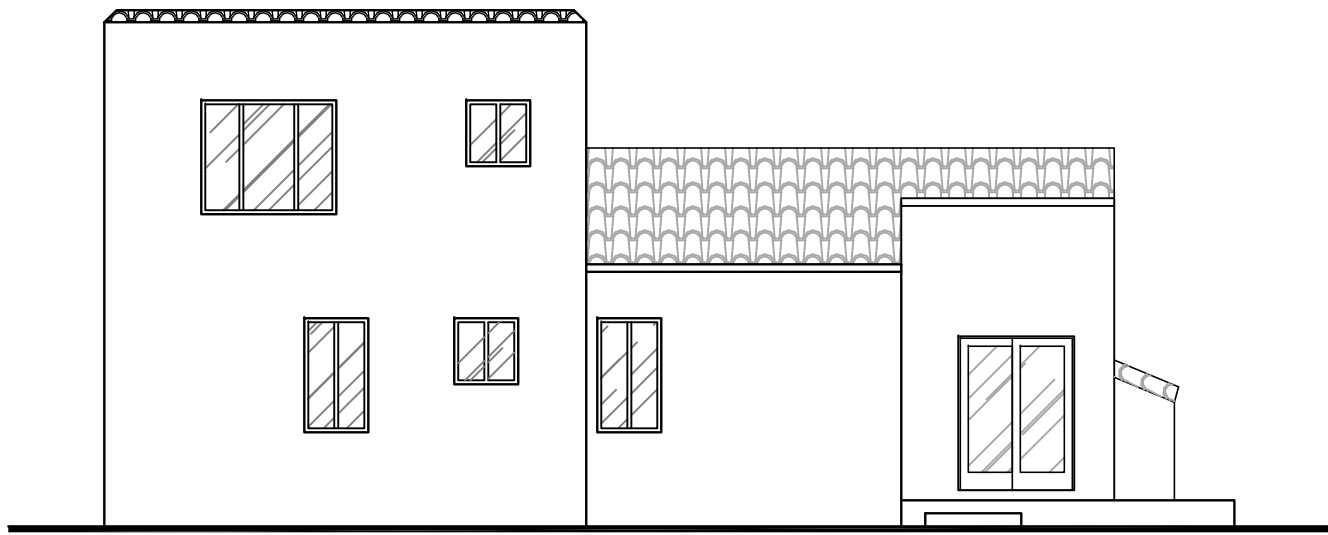
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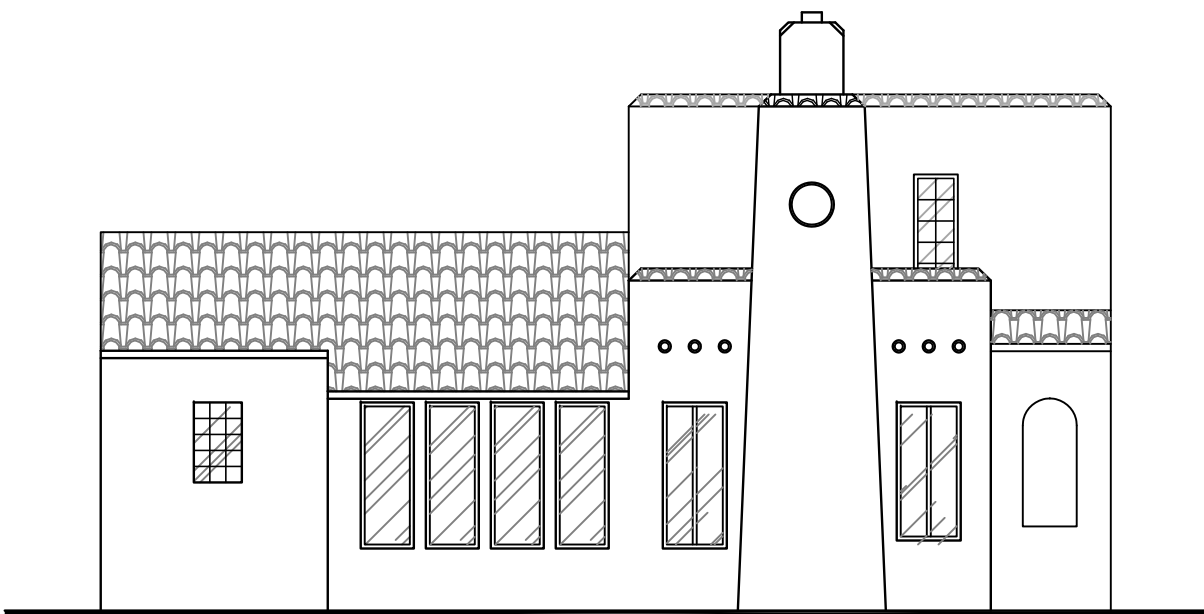
EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0"



EXISTING SECOND LEVEL PLAN
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0"



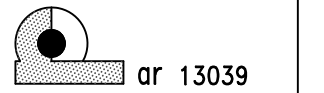
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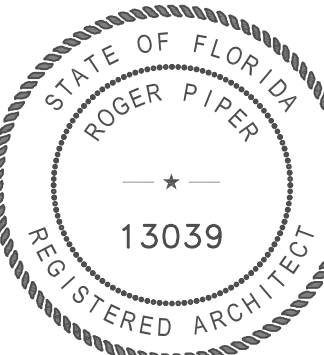
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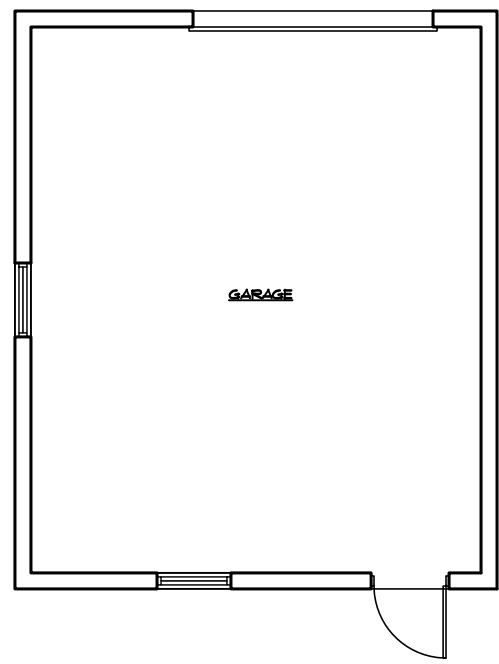


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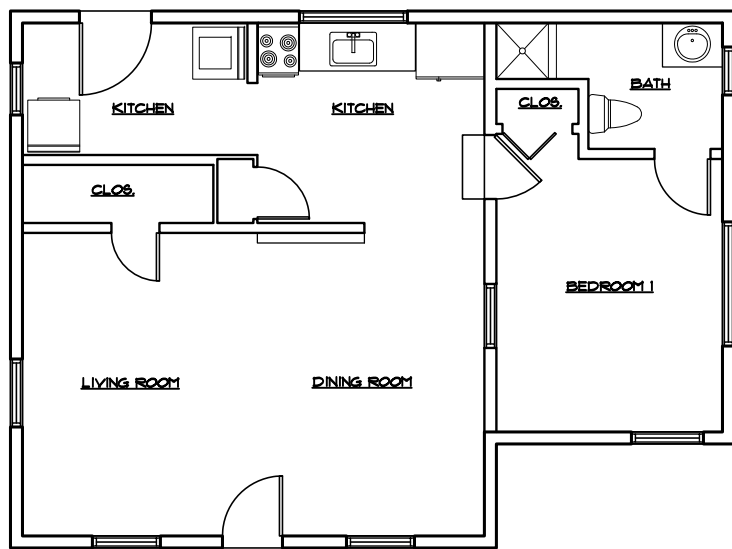
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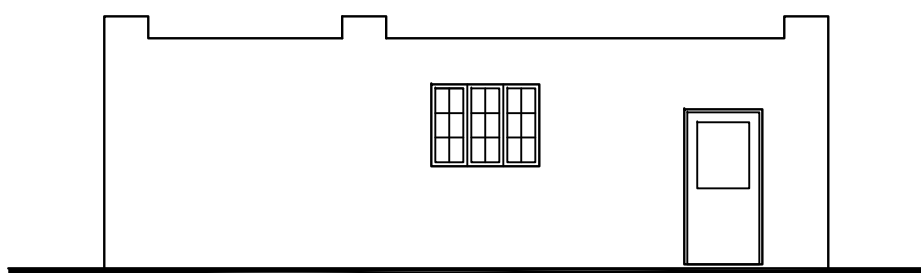
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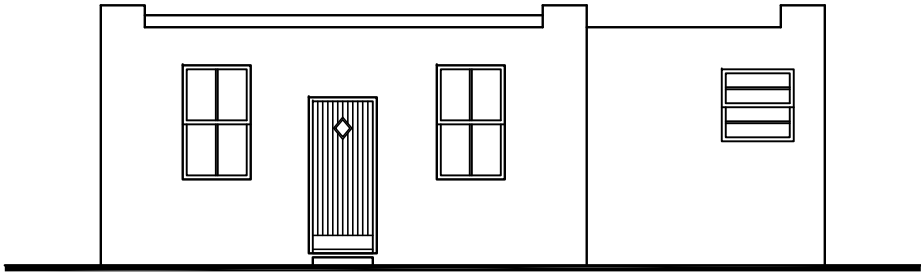


EXISTING COTTAGE PLAN

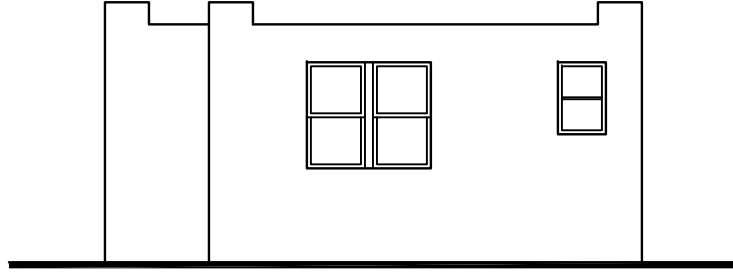
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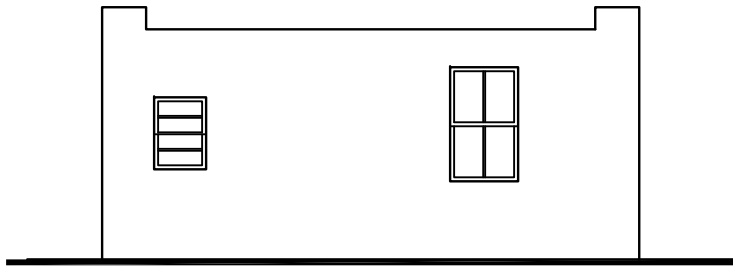
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SOUTH



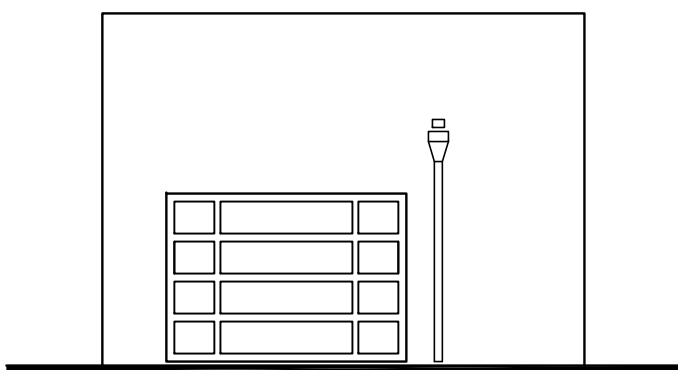
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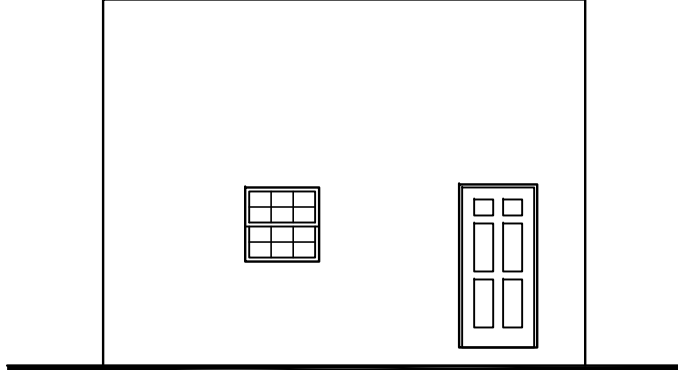
WEST

EXISTING COTTAGE ELEVATIONS

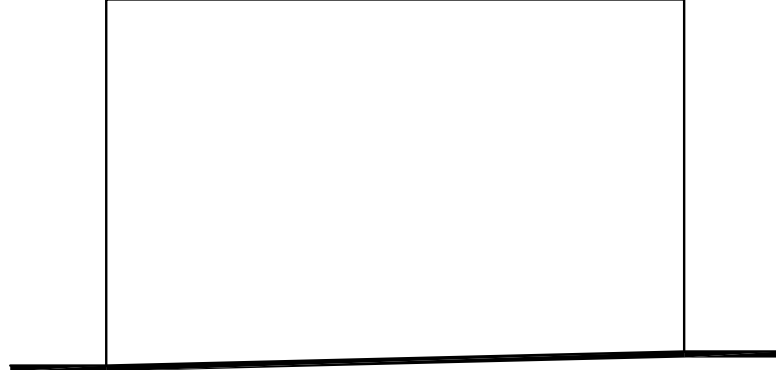
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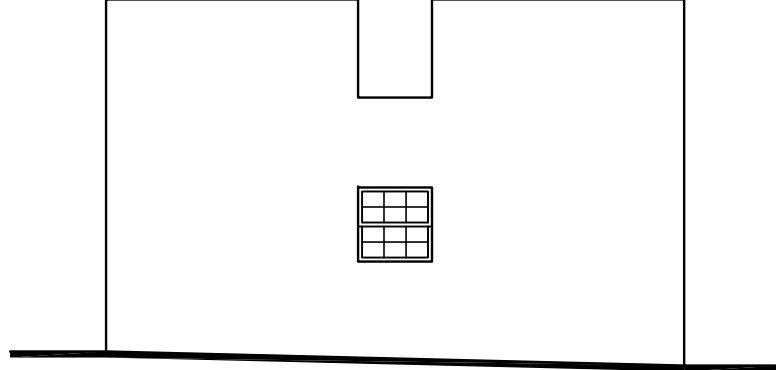
NORTH



SOUTH



EAST



WEST

EXISTING GARAGE ELEVATIONS

SCALE: 1/8"=1'-0"

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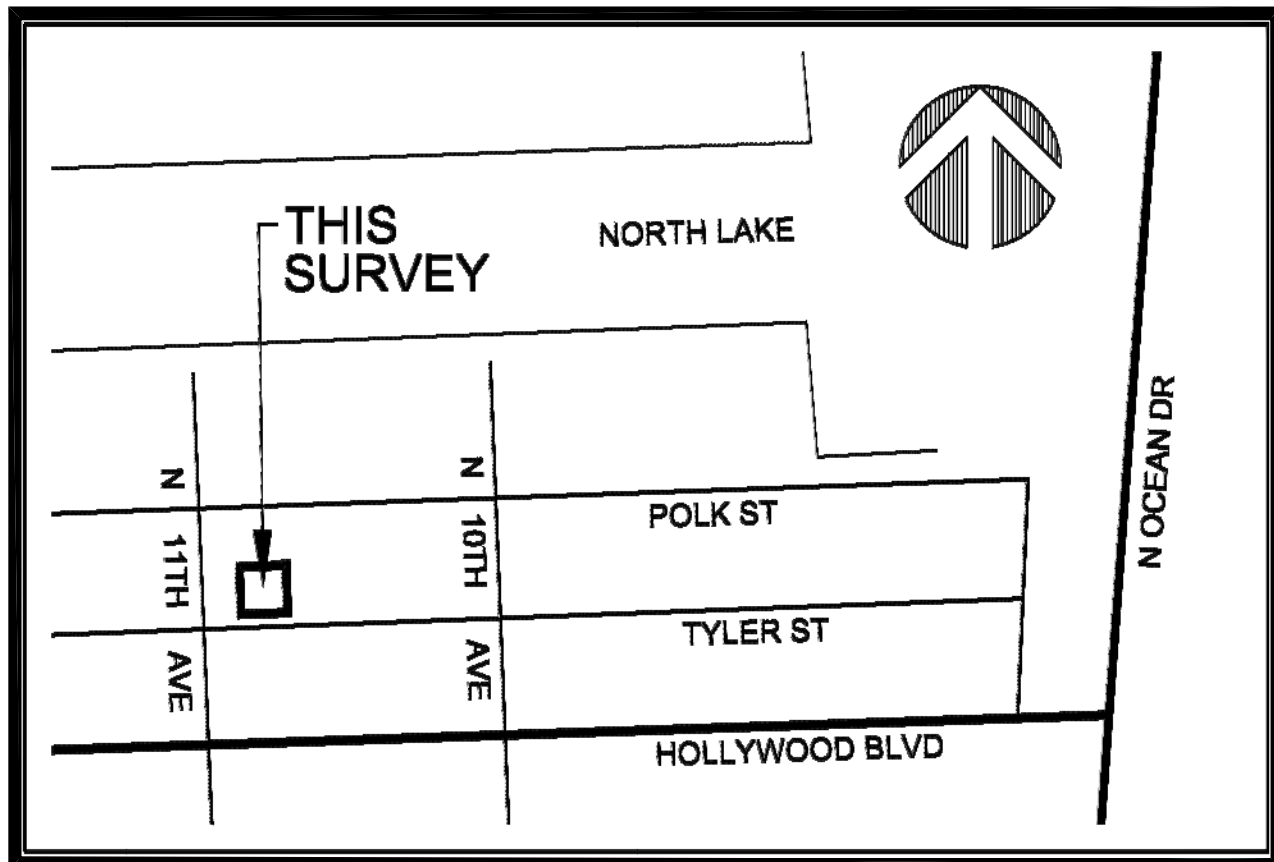
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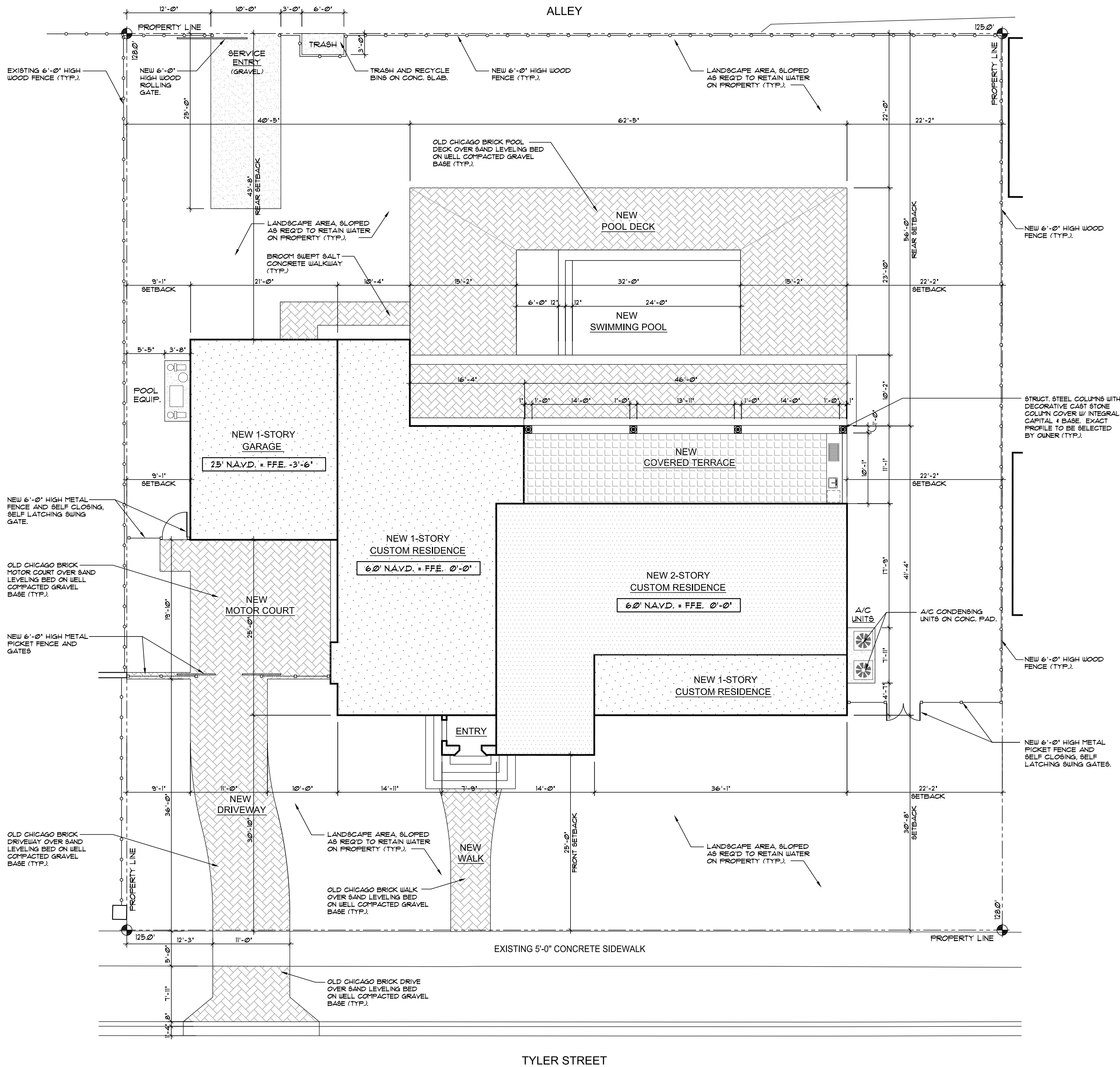
SITE / PROJECT DATA

ZONING:	RS-4
SITE AREA:	16,000 SQ. FT.
MAX. LOT COVERAGE:	40% (PERVIOUS)
MAX. BLDG. FOOTPRINT:	60% (IMPERVIOUS)
LOT COVERAGE:	
BUILDING:	3,219.11 SQ. FT. (GROUND LEVEL A/C) 43.91 SQ. FT. (COVERED ENTRY) 6,002.5 SQ. FT. (GARAGE) 3,863.93 SQ. FT. (TOTAL COVERAGE/BLDG. FOOTPRINT)
PAVED AREAS:	830.25 SQ. FT. (DRIVEWAY & MOTOR COURT) 215.32 SQ. FT. (WALKWAYS) 63.37 SQ. FT. (CONCRETE PADS) 2130.35 SQ. FT. (POOL & POOL DECK) 3,299.29 SQ. FT. (TOTAL COVERAGE/PAVED AREAS) $3,864 + 3,300 = 7,164/16,000 = 44.71\%$ IMPERVIOUS COVERAGE (60.0% ALLOWED) 55.23% PERVIOUS AREA PROVIDED
MAX. BLDG. HEIGHT:	30'-0" FT. (FROM F.F.E. TO TOP OF ROOF)
BLDG. HEIGHT PROVIDED:	25'-2" FT. (FROM F.F.E. TO TOP OF ROOF)
MAIN HOUSE SETBACKS	
SETBACKS:	REQUIRED
FRONT:	25'-0" (MIN.)
REAR:	15'-0" (MIN.) OR 15% OF LOT DEPTH
SIDE:	25% OF LOT WIDTH (COMBINED TOTAL OF 3125' AND NOT LESS THAN 15' ON ONE SIDE)
SETBACKS:	PROVIDED
FRONT:	25'-0"
REAR:	43'-8"
SIDE:	31'-3" (COMBINED TOTAL SETBACK: 9'-1" + 22'-2"=3125')
BUILDING AREA:	
GROUND LEVEL (NON A/C):	6,441.6 GROSS SQ. FT.
GROUND LEVEL (FLOOR AREA A/C):	3,219.11 GROSS SQ. FT.
TOTAL GROUND LEVEL:	3,863.93 GROSS SQ. FT.
SECOND LEVEL (FLOOR AREA A/C):	1,542.11 GROSS SQ. FT.
COMBINED TOTAL AREA:	5,406.1 GROSS SQ. FT.
PARKING:	
2 PARKING SPACES FOR THE FIRST 2,000 SQUARE FEET AND 1 SPACE FOR EVERY 500 SQ. FT. AFTER THAT, WITH A 5 PARKING SPACE LIMIT.	
LEGAL DESCRIPTION:	
THE EAST HALF OF LOT 2, LOT 3 AND LOT 4, BLOCK 49, 'HOLLYWOOD LAKES SECTION' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	
SCOPE OF WORK:	
DEMOLITION OF AN EXISTING TWO STORY CBS RESIDENCE AND CONSTRUCTION OF A NEW TWO STORY CBS RESIDENCE	
CONSTRUCTION COMPLIANCE:	
THIS BUILDING COMPLIES WITH F.B.C. 2020 7th EDITION	



LOCATION MAP

SCALE: N.T.S.



NEW SITE PLAN

SCALE: 1/8"=1'-0"

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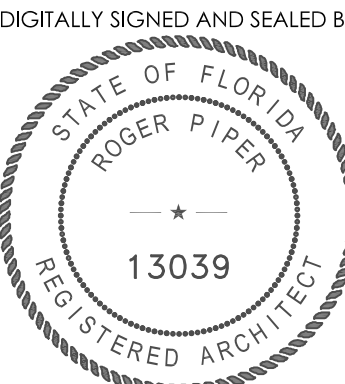
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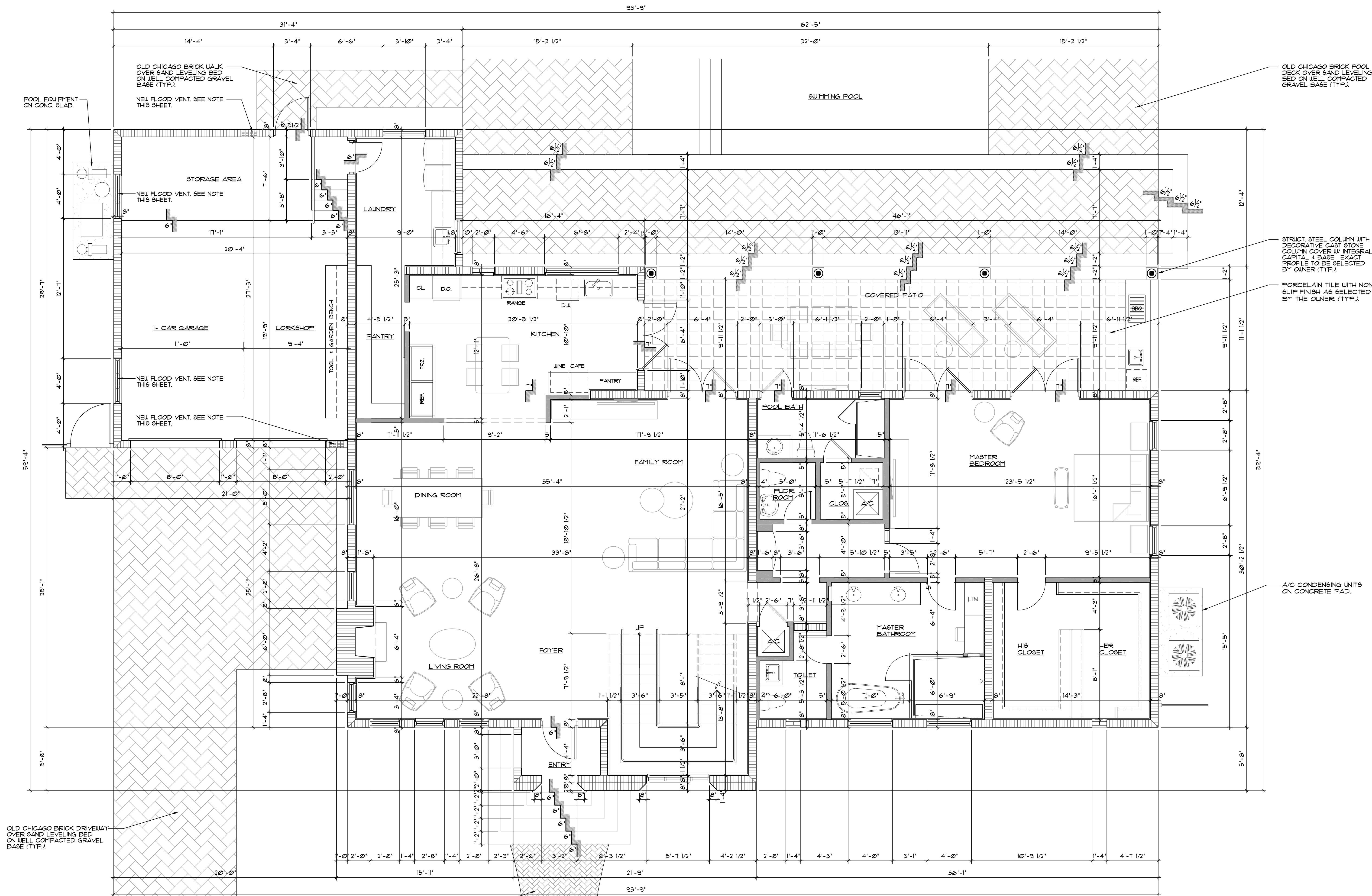
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A-1



FLOOD VENT NOTE AND CALCULATION:
HYDROSTATIC FLOOD VENTS ARE REQUIRED AS FOLLOWS: 1 SQ. INCH OF OPENING FOR EACH 1 SQ. FOOT OF ENCLOSED GARAGE AREA (TOTAL GARAGE AREA = 600 SQ. FT.). CONTRACTOR SHALL PROVIDE (4) 8"H x 16"W ENGINEERED, STAINLESS STEEL, HIGH EFFICIENCY, INSULATED FLOOD VENTS BY "SMART VENT" MODEL. (EACH VENT IS CERTIFIED TO PROVIDE PROTECTION FOR UP TO 200 SQ. FT.). INSTALL FLOOD VENTS AT A HEIGHT OF 8" MEASURED FROM THE TOP OF THE ADJACENT SLAB/GRADE TO THE BOTTOM OF THE FLOOD VENTS. 600 SQ. IN. REQUIRED, 800 SQ. IN. IS PROVIDED WITH A TOTAL OF 4 VENTS AT THE GARAGE AS DEPICTED ON THE FLOOR PLAN.

OLD CHICAGO BRICK WALK OVER SAND LEVELING BED ON WELL COMPACTED GRAVEL BASE (TYP.).

GROUND LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

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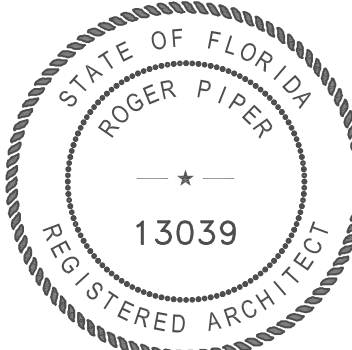
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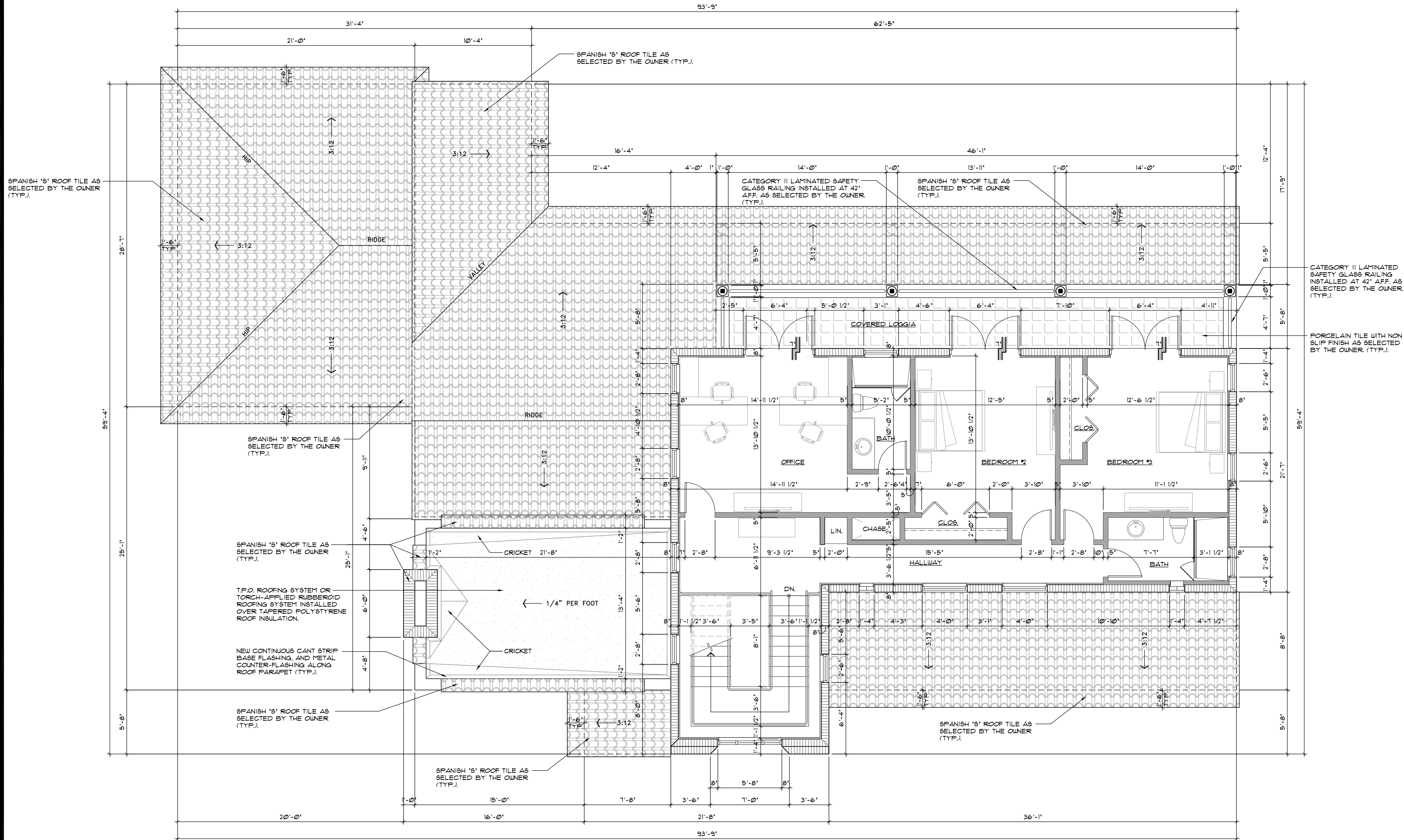


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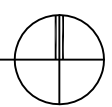
A-2

OF 7 SHEETS



SECOND LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"



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REGISTERED ARCHITECT

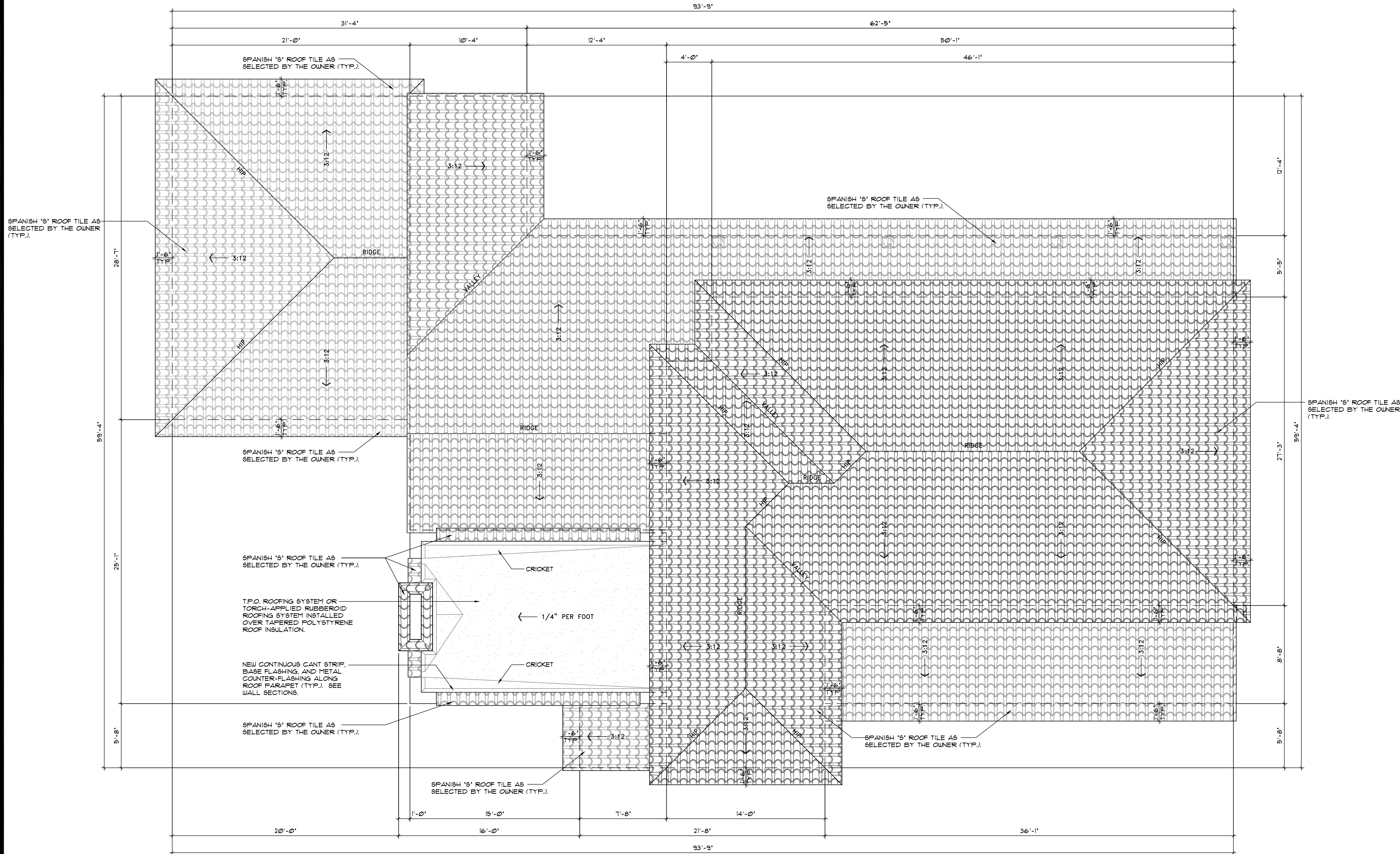
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A-3	
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OVERALL ROOF PLAN
SCALE: 1/4"=1'-0"

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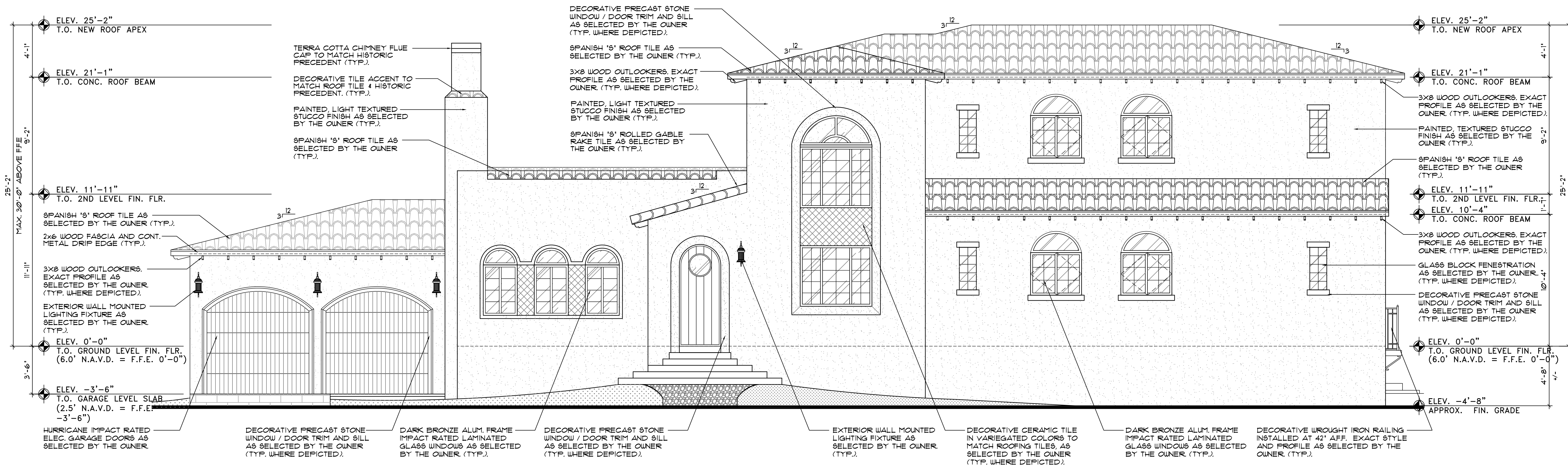
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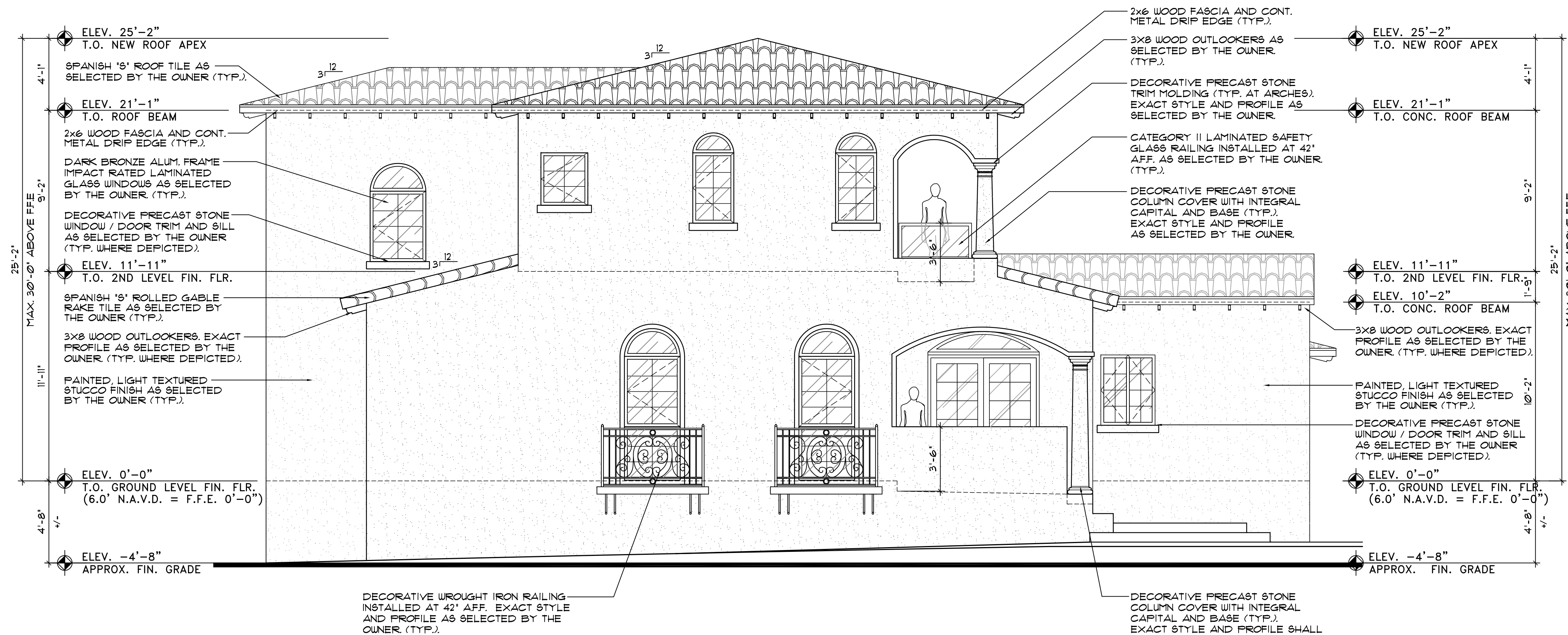
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SOUTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

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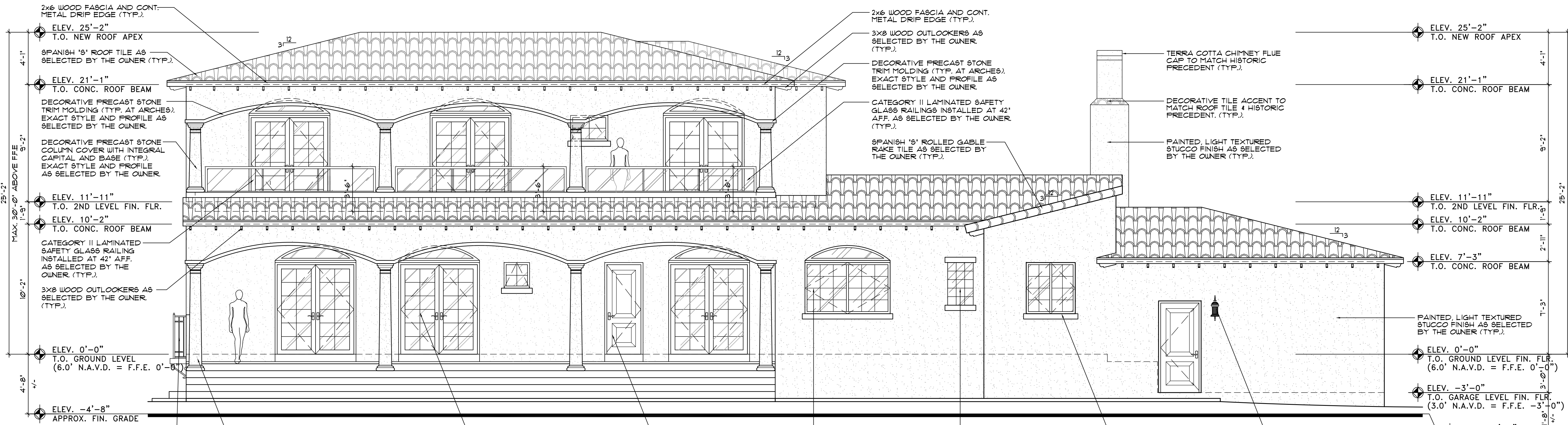
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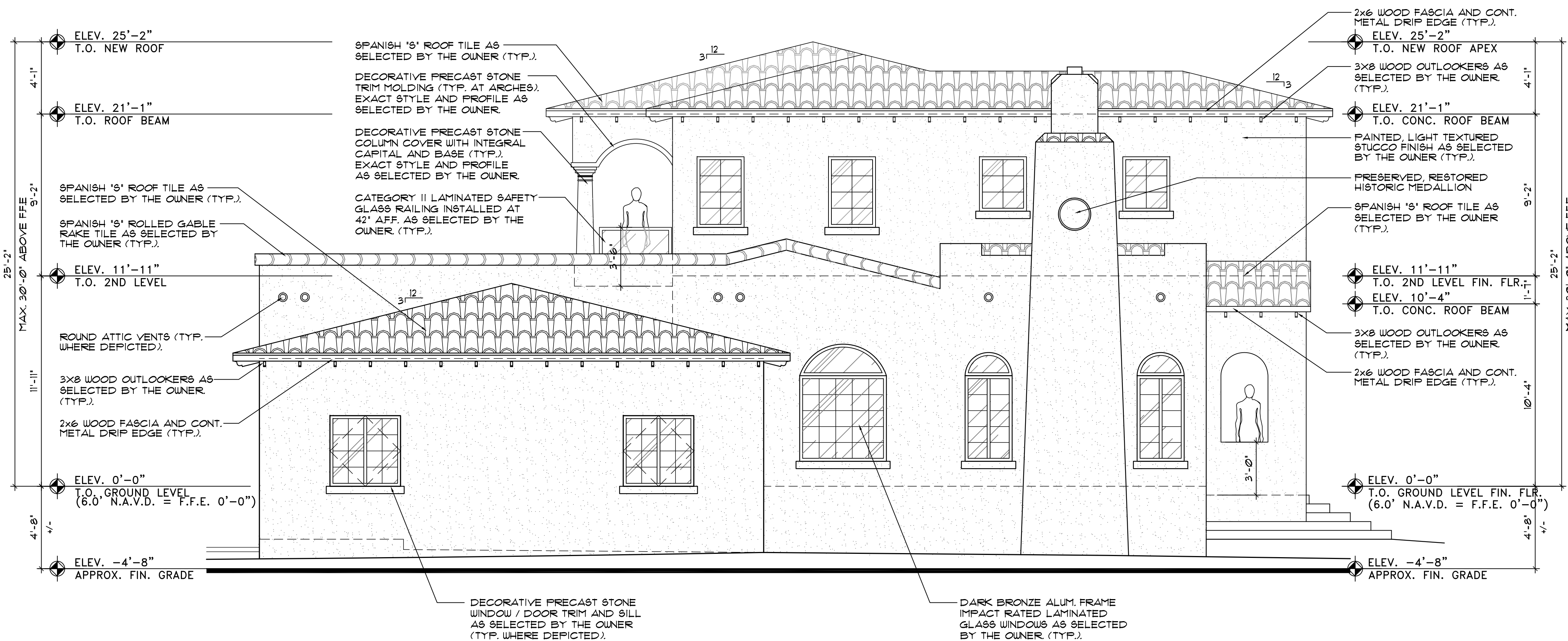
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NORTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

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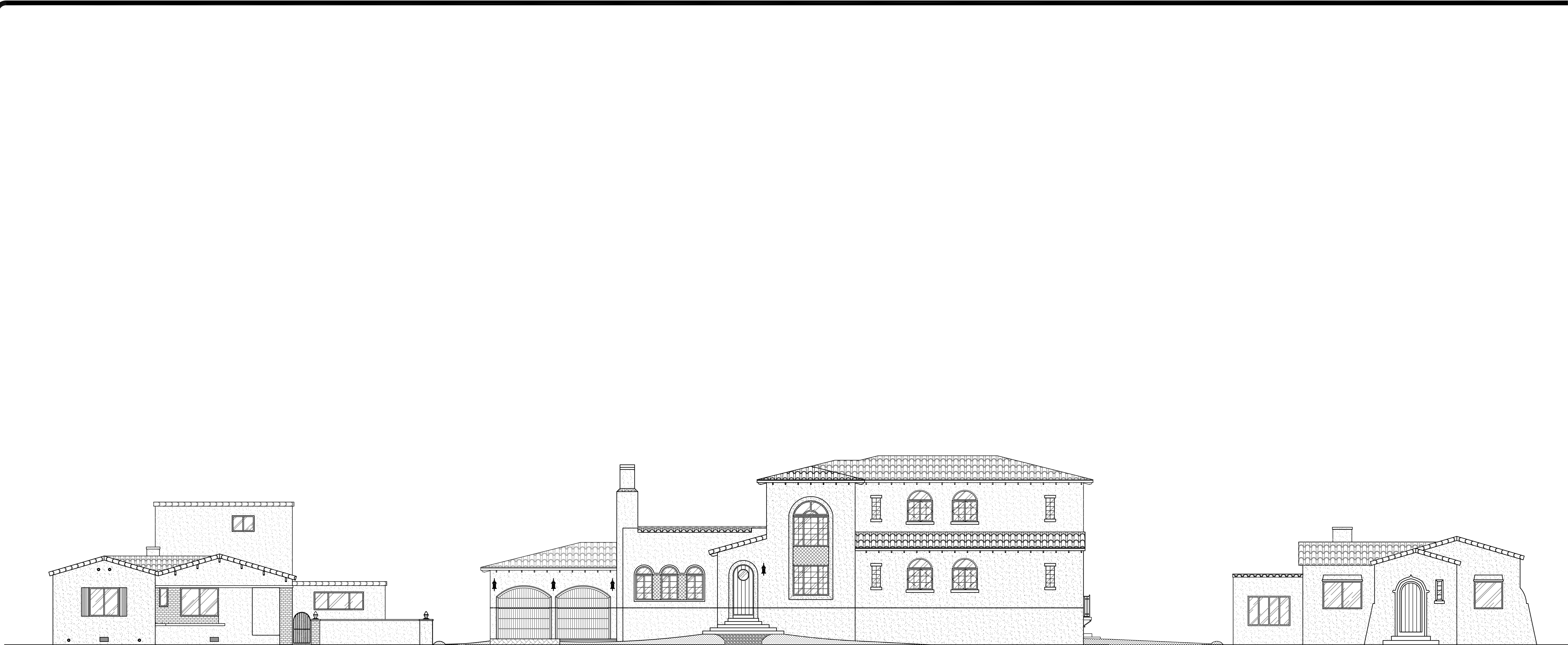
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OF 7 SHEETS



1041 TYLER STREET

1049 TYLER STREET

1079 TYLER STREET

STREET PROFILE ELEVATION

SCALE: 1/8"=1'-0"

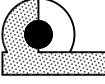
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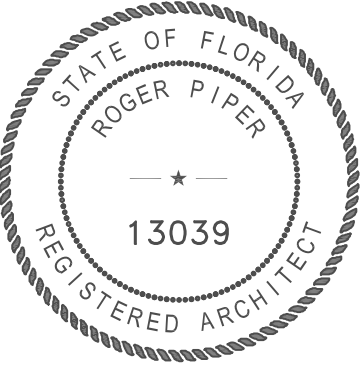
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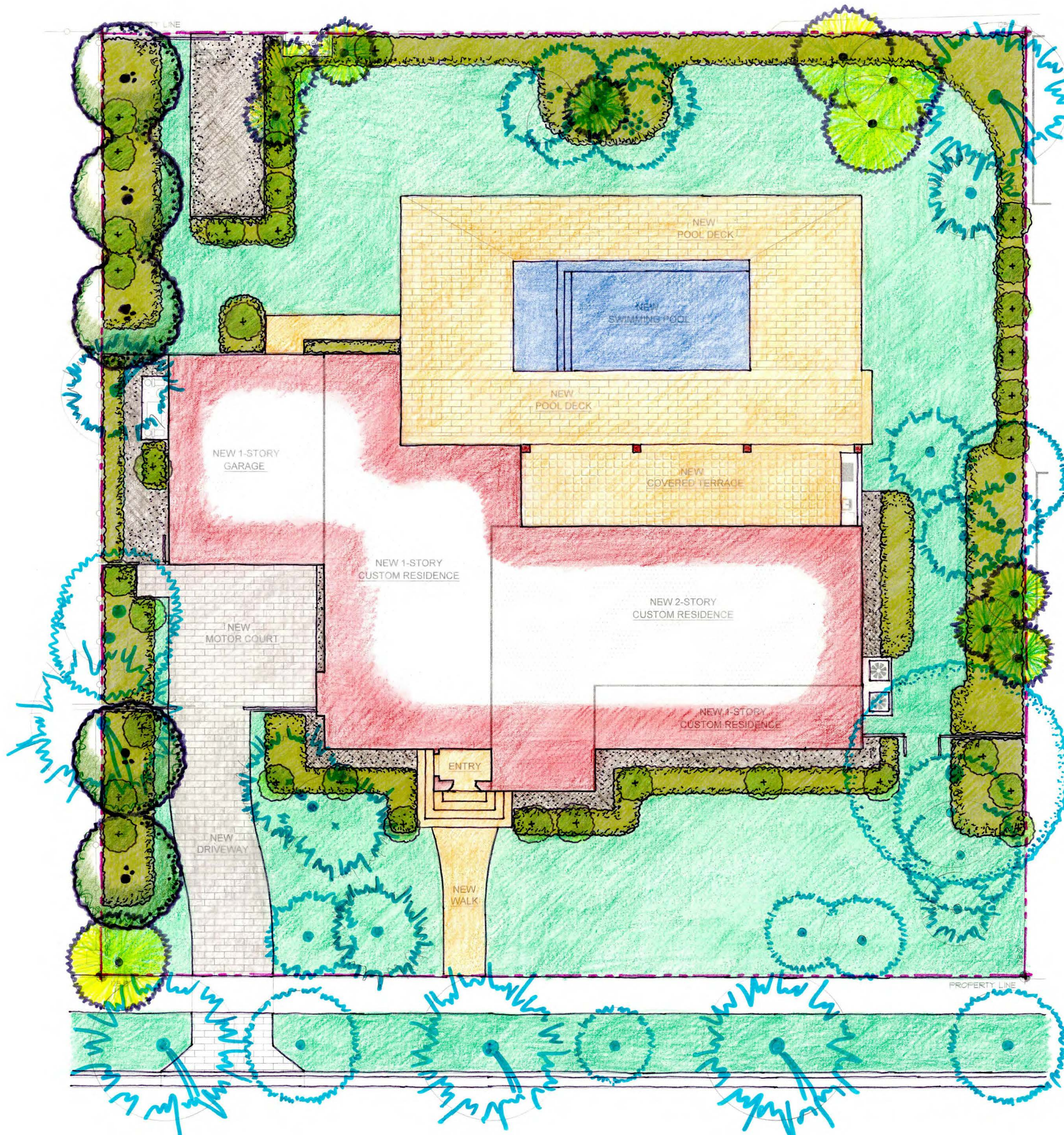
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ILLUSTRATIVE PLANTING PLAN

SCALE: 1/8"=1'-0"



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Call before you dig.

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LANDSCAPE ARCHITECT
MARSH KRIPLIN
1251 SW 20TH STREET
MIAMI, FL 33145
T: 305.322.2898
LA6667007

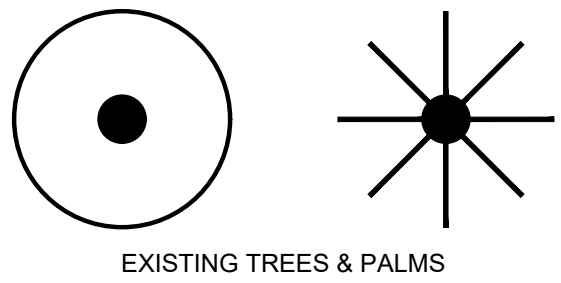
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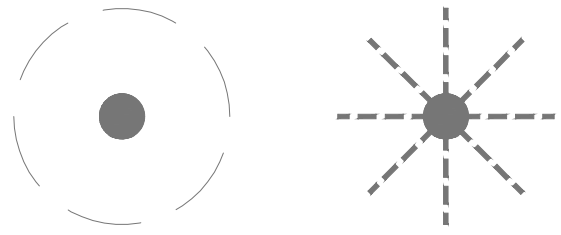
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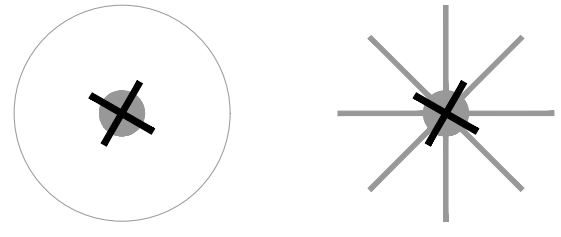
MITIGATION SYMBOL
LEGEND



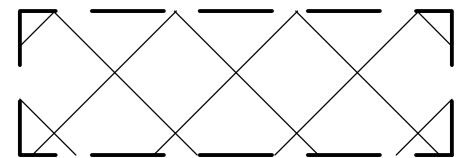
EXISTING TREES & PALMS



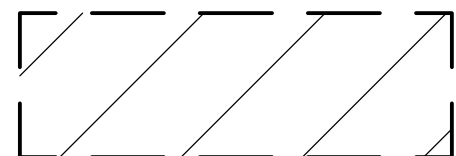
RELOCATED TREES & PALMS



REMOVED TREES & PALMS



FOOTPRINT OF
PROPOSED STRUCTURES



FOOTPRINT OF
PROPOSED HARDSCAPE

MITIGATION DATE LEGEND

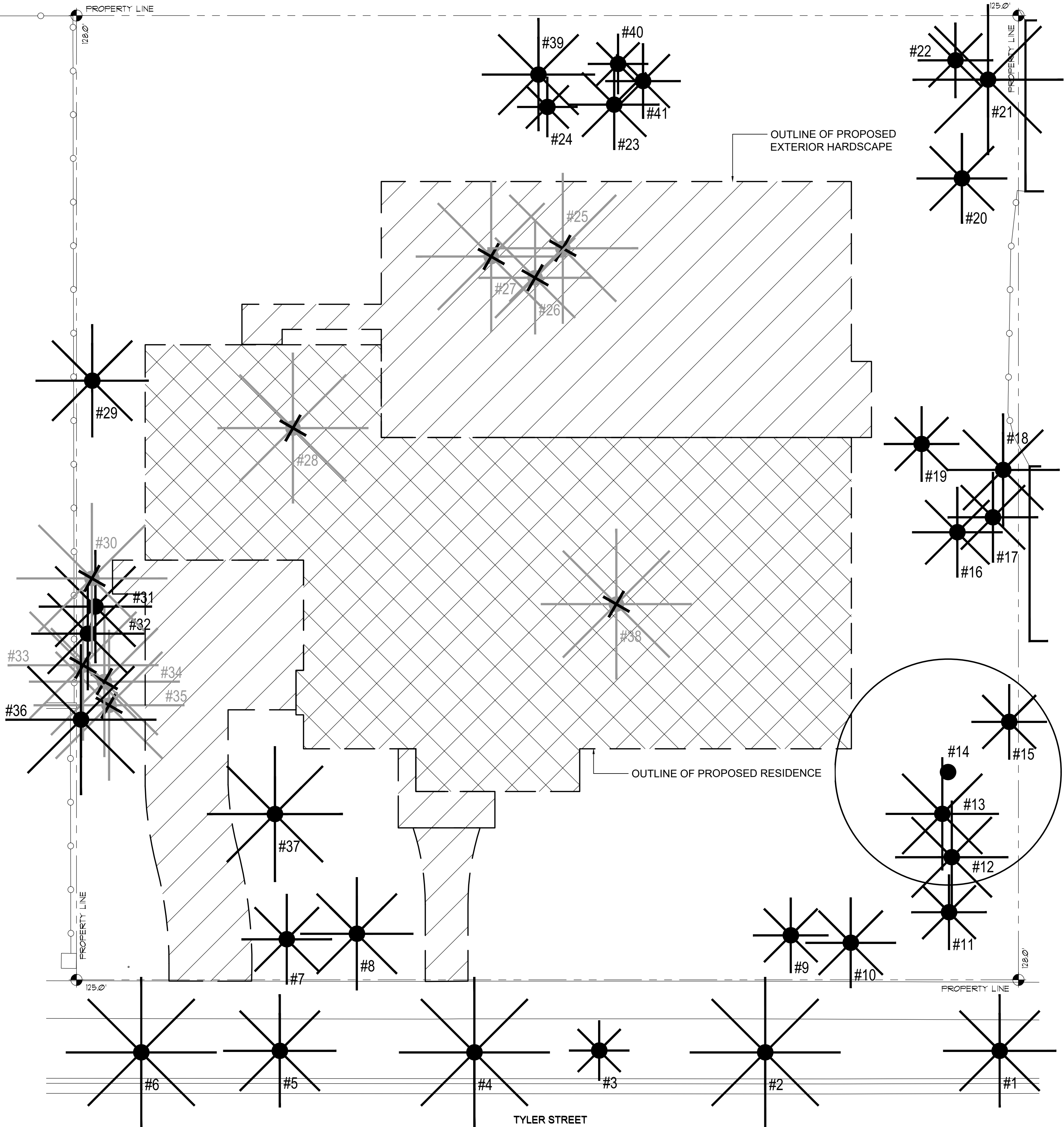
TREES REMOVED	REPLACEMENT PROVIDED
9 Regulated Palms (On-site)	9 NEW PALMS (On-site)
(8) Royal Palms & (1) Coconut Palm	(6) sabal Palms & (3) Canary Isl. Date Palms

Remaining mitigation not planted on-site to be satisfied via payment to City tree fund.
0" owed x (\$350 per 2" DBH) = \$0 Total

Note: Replacement tree shall be of a type and species having shade potential and other values, at least equal to the tree being removed, and shall be a minimum of ten (12) feet in height when planted on private property and twelve (12) feet when planted on swales. Palms minimum 8' clear trunk.

#	BOTANICAL NAME	COMMON NAME	DBH	HT	SP	DISPOSITION	MITIGATION REQUIRED	NOTES
1	Washingtonia robusta	Mexican Fan Palm	11"	45'	16'	Remain		Street Tree
2	Roystonea elata	Florida Royal Palm	16"	30'	22'	Remain		Street Tree
3	Veitchia merrillii	Christmas Palm	4"	12'	8'	Remain		Street Tree
4	Roystonea elata	Florida Royal Palm	15"	30'	22'	Remain		Street Tree
5	Washingtonia robusta	Mexican Fan Palm	15"	45'	16'	Remain		Street Tree
6	Roystonea elata	Florida Royal Palm	18"	42'	22'	Remain		Street Tree
7	Hyophorbe verschaffeltii	Spindle Palm	12"	14'	12'	Remain		Street Tree
8	Dypsis decaryi	Triangle Palm	13"	18'	15'	Remain		
9	Sabal palmetto	Sabal Palm	5"	8'	10'	Remain		
10	Sabal palmetto	Sabal Palm	6"	13'	12'	Remain		
11	Phoenix roebelenii	Pygmy Date Palm	8"	10'	10'	Remain		Size Not Regulated
12	Sabal palmetto	Sabal Palm	8"	20'	14'	Remain		
13	Sabal palmetto	Sabal Palm	8"	23'	14'	Remain		
14	Delonix regia	Royal Poinciana	18"	26'	30'	Remain		
15	Veitchia merrillii	Christmas Palm	6"	18'	10'	Remain		
16	Caryota mitis	Fishtail Palm	7"	14'	12'	Remain		
17	Dictyosperma album	Hurricane Palm	7"	16'	12'	Remain		
18	Washingtonia robusta	Mexican Fan Palm	16"	38'	16'	Remain		
19	Latania loddigesii	Blue Latan Palm	9"	10'	10'	Remain		
20	Dypsis leptochelios	Teddy Bear Palm, Redneck Palm	6"	13'	12'	Remain		
21	Roystonea elata	Florida Royal Palm	18"	23'	20'	Remain		
22	Veitchia merrillii	Christmas Palm	6"	16'	10'	Remain		
23	Ptychosperma macarthurii	Macarthur Palm Multi	12"	24'	11'	Remain		
24	Veitchia merrillii	Christmas Palm	3"	15'	8'	Remain		Size Not Regulated
25	Roystonea elata	Florida Royal Palm	22"	43'	22'	Remove	X	
26	Cocos nucifera	Coconut Palm	11"	24'	18'	Remove	X	
27	Roystonea elata	Florida Royal Palm	21"	45'	22'	Remove	X	
28	Roystonea elata	Florida Royal Palm	18"	36'	22'	Remove	X	
29	Cocos nucifera	Coconut Palm	11"	26'	18'	Remain		
30	Roystonea elata	Florida Royal Palm	23"	36'	22'	Remove	X	
31	Washingtonia robusta	Mexican Fan Palm	13"	35'	16'	Remain		
32	Washingtonia robusta	Mexican Fan Palm	12"	36'	16'	Remain		
33	Roystonea elata	Florida Royal Palm	15"	36'	20'	Remove	X	
34	Roystonea elata	Florida Royal Palm	18"	38'	20'	Remove	X	
35	Roystonea elata	Florida Royal Palm	19"	38'	20'	Remove	X	
36	Roystonea elata	Florida Royal Palm	14"	34'	20'	Remain		
37	Dictyosperma album	DBL Hurricane Palm	12"	20'	18'	Remain		
38	Roystonea elata	Florida Royal Palm	17"	42'	22'	Remove	X	
39	Veitchia merrillii	Christmas Palm Cluster	10"	18'	14'	Remain		
40	Ptychosperma elegans	Solitaire Palm	3"	18'	8'	Remain		
41	Veitchia merrillii	Christmas Palm	4"	14'	10'	Remain		Size Not Regulated

Total Trees / Palms Removed 9 Regulated Palms



TREE MITIGATION PLAN

SCALE: 1/8"=1'-0"

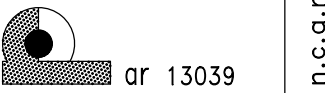


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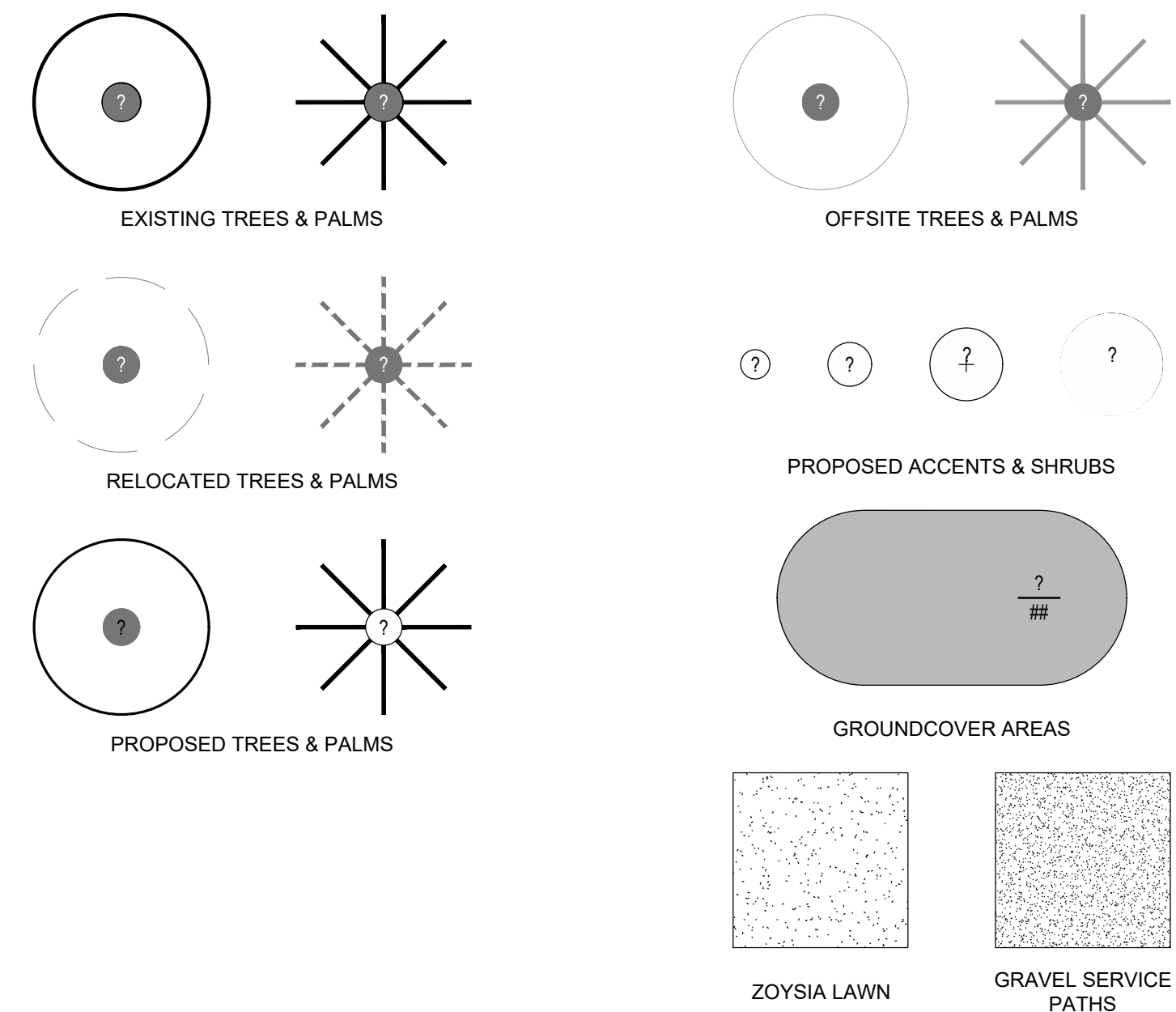
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CUSTOM RESIDENCE FOR:
MR. & MRS. JOHN GOYMER
1049 TYLER STREET
HOLLYWOOD, FLORIDA

DRAWN
A.J.C.
CHECKED
R.P.
DATE
4-30-21
SCALE
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JOB NO.
2010
SHEET

L-2

PLANT SYMBOL LEGEND

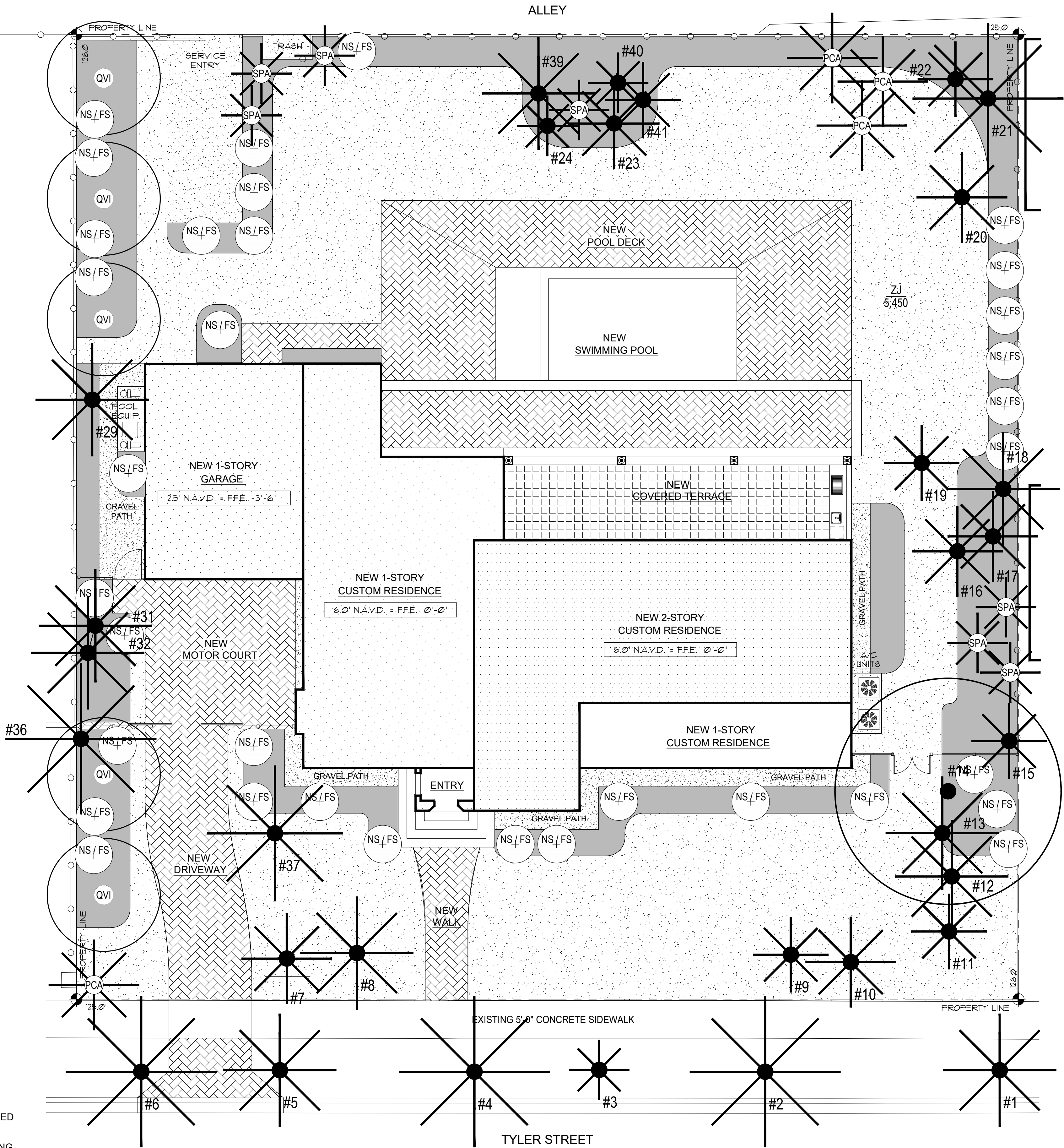


LANDSCAPE DATE LEGEND		
Zoning District: Single Family District (RS-6)	Required	Provided
Perimeter Landscape	2 Trees	6 Existing Plams
One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	125' Frontage / 50'= 2	(3) Exist. Royal Palms, (2) Exist. Fan Palms, (1) Christmas Palm
Open Space	783.6 SF (20%)	3,315 SF (85%)
A minimum of 20% of the required front yard area shall be landscaped pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs.	3,918 x 20%= 783.6	
One tree per 1,250 sq. ft. (including any fraction) of front yard area.	3.14 Trees= (3) Trees	(2) New Oak Trees + (1) Exist. Royal Poinciana
Minimum Tree Size		
Shade Trees: 2" DBH x 10' HT. Minimum		
Palm Trees: 6' Clear Trunk Minimum		
Native Requirements	2 Trees	3 Trees
A minimum of 60% of required trees and 50% of required shrubs must be native species.		(2) New Oak Trees + (1) Exist. Royal Poinciana
Note: Replacement tree shall be of a type and species having shade potential and other values, at least equal to the tree being removed, and shall be a minimum of ten (10) feet in height when planted on private property and twelve (12) feet when planted on swales.		

PLANT LIST				
Symb.	Quant.	Botanical Name	Common Name	Description
Trees				
QVI	5	<i>Quercus virginiana</i>	Live Oak	12' O.A. HT. 2" DBH Min.
Palms				
PCA	4	<i>Phoenix canariensis</i>	Canary Island Date Palm	8' G.W. to 15' G.W. Staggered (Three of these palms to be used as replacements for removed Exist. P
SPA	6	<i>Sabal Palmetto</i>	Sabal Palm	8' G.W. Min. (Total of these palms to be used as replacements for removed Exist. Palms).
Understory Shrubs				
NS / FS	34	<i>Native Flowering Shrubs (Mixed Variety)</i>	Same	25G. F. B.
Grasses				
ZI	5,450	<i>Zoysia sp.</i>	Zoysia Grass	S.F. Area.
Groundcovers				
GC	2,661	<i>Groundcover Plantings (Mixed Variety)</i>		S.F. Area.
Removals & Relocations				
<i>Total Removed Trees: 9 Regulated Palms.</i>			See sheet L-1 Tree Mitigation Site Plan	
Miscellaneous Groundcovers				
GR / RR	TBD	<i>Gravel & River Rock Blend</i>	Same	S.F. Area. 3" deep. Blend: 70% Gravel, 30% River Rock (Mixed Sizes)
GR	TBD	<i>Gravel</i>	Same	S.F. Area. 2" deep. Stabilized
MU	TBD	<i>Natural Mulaleuca Mulch</i>	Same	No Cypress, Colored nor Synthetic Mulch

LANDSCAPE NOTES

- ALTERNATIVE PLANT SPECIES FOR REQUIRED LANDSCAPE MAY BE PERMITTED SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF HOLLYWOOD PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- ALL PROHIBITED EXOTIC OR INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRE SITE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE MUST BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- NO CYPRESS MULCH TO BE USED ON-SITE. EUCALYPTUS OR MELALEUCA MULCH IS TO BE USED IN A 3" CONSISTENT LAYER IN ALL PLANTING BEDS.
- ENHANCE LANDSCAPE BEYOND MINIMUM REQUIREMENTS WILL CONFORM TO ALL APPLICABLE SECTIONS OF THE CITY OF HOLLYWOOD LANDSCAPE MANUAL.
- FOR EXISTING OR PROPOSED UTILITIES, NO TREE SHALL BE PLANTED WHERE IT COULD AT MATURE HEIGHT CONFLICT WITH OVERHEAD POWERLINES.
- TREE SPECIES SHALL BE SELECTED AS TO MINIMIZE CONFLICTS WITH EXISTING OR PROPOSED UTILITIES.
- SEE ENGINEERS PLANS FOR ALL UNDERGROUND & OVERHEAD UTILITIES AND FIELD LOCATE ALL PRIOR TO INSTALLATION. CONTACT ARCHITECT / OWNER REGARDING ANY CONFLICTS.
- CITY ASSUMES LIABILITY AND MAINTENANCE OF TREES PLACED OUTSIDE OF PROPERTYLINE.
- LANDSCAPE ADJACENT TO VEHICULAR TRAFFIC TO BE MAINTAINED TO PRESERVE SITE LINE VISIBILITY.
- TREE RELOCATION NOTE: DO NOT RELOCATE WITHOUT OBTAINING PERMIT FROM THE CITY OF HOLLYWOOD, EXISTING TREES TO BE RELOCATED REQUIRE ROOT PRUNING BY A QUALIFIED PROFESSIONAL PRIOR TO RELOCATION. IF THE TREE(S) DOES NOT SURVIVE AFTER RELOCATION AND IS DEAD OR IN POOR HEALTH AT TIME OF FINAL INSPECTION, MITIGATION WILL BE REQUIRED THROUGH PAYMENT INTO THE TREE PRESERVATION FUND EQUAL TO \$350 PER EVERY 2" OF MITIGATION OWED.
- IRRIGATION NOTE: ALL LANDSCAPED AREAS SHALL RECEIVE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES, SOUTH FLORIDA WATER MANAGEMENT DISTRICT & APPLICABLE STATE CODES.



PROPOSED PLANTING PLAN

SCALE: 1/8"=1'-0"



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**CUSTOM RESIDENCE FOR:
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DRAWN A.J.C.
CHECKED R.P.
DATE 4-30-21
SCALE AS NOTED
JOB NO. 2010
SHEET

L-3

GENERAL PLANTING NOTES AND SPECIFICATIONS:

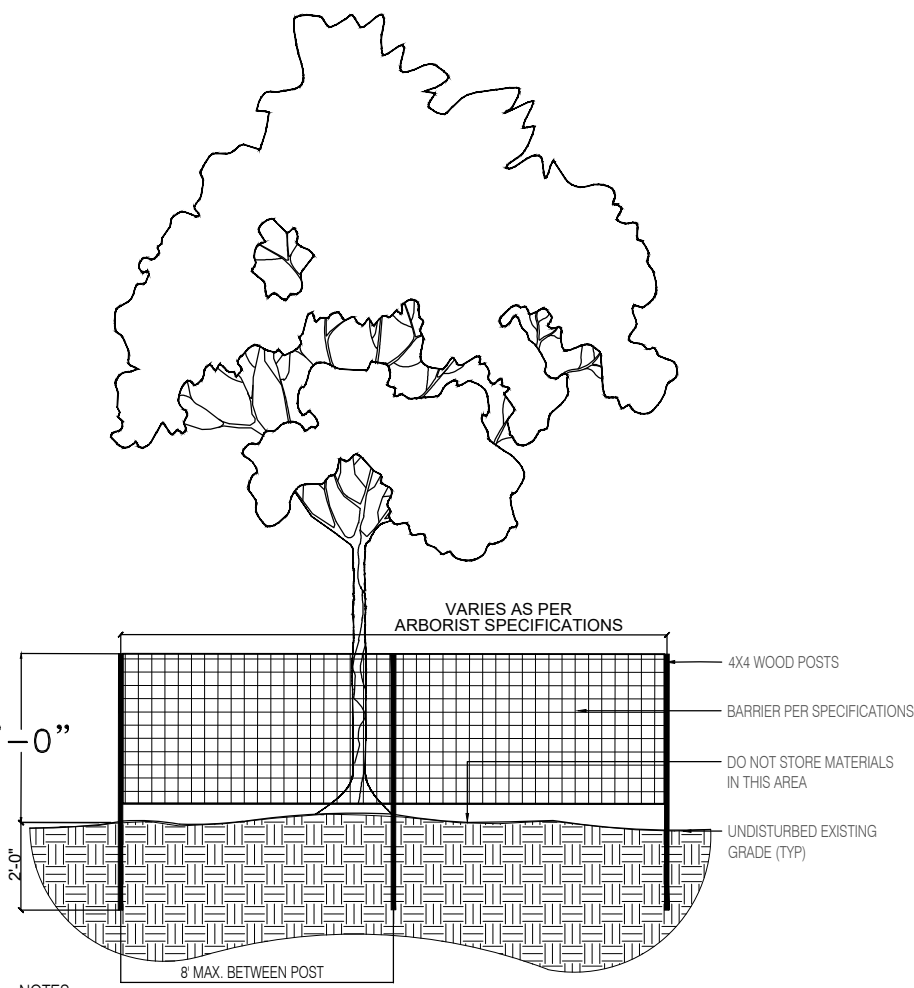
GENERAL

- EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED DURING ALL CONSTRUCTION PHASES. ANY TREES OR SHRUBS SCARRED OR DESTROYED DESIGNATED TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- EXISTING TREES DESIGNATED TO BE STORED OFF-SITE, SHALL BE PROTECTED AND CARED FOR ACCORDINGLY TO INDUSTRY STANDARD. ANY TREES OR SHRUBS SCARRED OR DESTROYED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SIMILAR SPECIES, SIZE AND QUALITY.
- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO UNDERGROUND UTILITIES AND/OR CONSTRUCTION CAUSED BY UTILITY DAMAGE, AT NO COST TO THE OWNER.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING HIS BID. PLANTING PLAN TO TAKE PRECEDENCE OVER PLANT LIST.
- EXISTING PLANT MATERIAL NOT SHOWN ON THE PLAN AND IN CONFLICT WITH NEW PLANTING SHALL BE EVALUATED AT THE TIME OF NEW PLANTING INSTALLATION BY THE LANDSCAPE ARCHITECT.
- ALL BUILDING CONSTRUCTION MATERIAL AND FOREIGN MATERIAL SHALL BE REMOVED FROM PLANTING AREAS AND REPLACED WITH 80/20 MIX FILL SOIL OR AS PER SPECIFICATIONS. ALL ISLANDS IN PARKING LOTS AND AROUND BUILDINGS SHALL BE EXCAVATED TO A DEPTH OF 3 MIN. AND REPLACED WITH 80/20 PLANT MIX, OR AS PER SPECIFICATIONS.
- ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY CONTRACTOR TO AVOID ALL UTILITIES AND ALL OTHER OBSTRUCTIONS AFTER CONSULTING THE LANDSCAPE ARCHITECT.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES TO HAVE SINGLE TRUNK UNLESS OTHERWISE NOTED ON THE PLANS OR PLANT LIST.
- SITE PREPARATION SHALL INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS, GRASS, AS WELL AS CLEAN UP OF ANY DEAD MATERIAL AND FINISH GRADING AS PER THE SPECS.
- THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE JOB SITE CLEAN AND FREE FROM ACCUMULATION OF WASTE MATERIAL, DEBRIS, AND RUBBISH.
- THE LANDSCAPE CONTRACTOR SHALL EXERCISE CAUTION TO PROTECT ANY NEW HARDSCAPE CONSTRUCTION OR IMPROVEMENT ANY DAMAGE SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL STATE BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTING MATERIAL TO BE FLORIDA #1 OR BETTER AS DEFINED BY THE FLORIDA DEPARTMENT OF AGRICULTURES' CODES AND STANDARDS FOR NURSERY PLANTS PART I AND II.
- MULCH ALL PLANTING AREAS WITH SHREDDED ORGANIC MULCH TO A MINIMUM DEPTH OF 2" WITH THE EXCEPTION OF BEACH PLANTING.
- ALL PLANTING AREAS WITHIN LIMIT OF WORK SHALL BE 100% FULLY IRRIGATED. THE IRRIGATION CONTRACTOR AWARDED THE BID SHALL COMPLY WITH THE PROPOSED IRRIGATION DESIGN.
- ON-SITE LAYOUT OF PLANT MATERIAL MUST BE COORDINATED WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR TO INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTIONS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE GOVERNING COUNTY AND/OR AN ISSUED ERM TREE OR ENVIRONMENTAL PERMIT.
- TREE PROTECTION BARRIERS MUST BE INSTALLED AT THE DRP LINES OF ALL TREES AND PALMS TO REMAIN OR BE RELOCATED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ON-SITE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS COMPLETED.
- MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNKS THAT ARE INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES/PALMS, PLEASE UTILIZE AMBERGLOW PREMIUM PINKBARK BROWN SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.
- SHOULD ANY CORRECTIVE STRUCTURAL PRUNING BE NECESSARY FOR TREES PROPOSED TO REMAIN ON-SITE, DUE TO CLEARANCE, SAFETY OR FOR CONSTRUCTION RELATED REASONS THE PRUNING SHALL BE DIRECTED OR PERFORMED BY AN ISA OR ASCA CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION OF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES. THE CITY URBAN FORESTER SHALL BE PROVIDED WITH A WRITTEN COPY OF THE PROPOSED PRUNING PLAN INCLUDING THE REASONS WHY PRUNING IS NECESSARY, PRIOR TO THE PRUNING ACTIVITIES TAKING PLACE.
- CARE SHALL BE TAKEN TO AVOID UTILITY OR CONSTRUCTION TRENCHING THROUGH EXISTING TREE OR PALM DRIP LINES OR TREES BLATED TO REMAIN IN PLACE OR BE RELOCATED. IF CONSTRUCTION REQUIRES THE CUTTING OF ANY ROOTS WITH A DIAMETER OF 2" OR GREATER, ROOTS SHALL BE CLEANLY CUT WITH A SHARP TOOL, AS DIRECTED BY AN ISA CERTIFIED ARBORIST, AND IN ACCORDANCE WITH THE ANSI A-300 STANDARDS. CUT ROOTS SHOULD BE IMMEDIATELY COVERED WITH SOIL TO PREVENT DRYING. ROOTS SHOULD NOT BE TORN OR BROKEN BY HEAVY EQUIPMENT, AND SHREDDED, RAGGED OR BROKEN ROOTS ENDS SHOULD BE NOTED AND REVIEWED WITH THE LANDSCAPE ARCHITECT PRIOR TO ANY ROOT PRUNING TAKING PLACE.

- WARRANTY**
1. LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE (1) YEAR GUARANTEE FOR ALL RELOCATED TREES/PALMS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR CLIENT.
2. LANDSCAPE CONTRACTOR SHALL REMOVE COMPLETELY AND DISPOSE OF OFF-SITE ANY RELOCATED TREE/PALM THAT FAILS TO THRIVE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
3. FOR ANY RELOCATED TREE/PALM REMOVED DUE TO ITS FAILURE TO THRIVE, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND INSTALLING WITH A SPECIMEN OF EQUAL OR GREATER SPECIFICATION OF ORIGINAL. REPLACEMENT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION OR INSTALLATION.
- TREE / PALM RELOCATION NOTES**
1. VERIFY AND INSURE ALL TREES/PALMS IDENTIFIED ON THE CONSTRUCTION DRAWINGS AND THOSE TAGGED IN THE FIELD CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARATION.
2. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TREE/PALM PROTECTION OF ALL VERIFIED MATERIAL. INSTALL BARRICADE OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH TO ENCOMPASS THE DRP LINE OF THE TREE/PALM. BARRICADE TO BE REMOVED UPON COMPLETION OF BACKFILLING.
3. TREE ROOT BALL SHALL BE ROOT PRUNED 50% (EQUALLY AROUND TREE) 60 DAYS PRIOR TO TRANSPLANT. THE REMAINING 50% TO BE PRUNED 30 DAYS PRIOR TO TRANSPLANTING.
4. PALMS TO BE RELOCATED MAY BE IMMEDIATELY RELOCATED AFTER DIGGING.
5. ROOTS TO BE PRUNED WITH CLEAN SHARP TOOLS. ROOTS ONE (1) INCH AND LARGER IN DIAMETER SHALL BE NEATLY AND CLEANLY CUT WITH A HAND SAW OR OTHER APPROVED CUTTING IMPLEMENT.
6. LANDSCAPE CONTRACTOR TO APPLY MYCORRHIZA APPLICATION TO ROOTS DURING ROOT PRUNING AND DIGGING OPERATIONS. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
7. DEAD WOOD, CROSSING BRANCHES, AND GENERAL CANOPY PRUNING SHALL BE PERFORMED OR DIRECTED BY AN ISA OR ASCA CERTIFIED ARBORIST IN ACCORDANCE WITH THE LATEST VERSION IF THE ANSI A-300 PRUNING STANDARDS AND GOOD HORTICULTURAL PRACTICES IMMEDIATELY AFTER COMPLETION OF ROOT PRUNING OF EACH SPECIMEN TO BE RELOCATED. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
8. ROOT BALL SIZE TABLE:
- | ROOT BALL SIZES SHALL EXCEED MINIMUM STANDARDS SET FORTH IN 'GRADES AND STANDARDS FOR NURSERY PLANTS, PART II, PALMS AND TREES, FLORIDA DEPARTMENT OF AGRICULTURE' | |
|--|-----|
| 1'-1 1/2' | 16" |
| 1 1/2'-1 3/4' | 20" |
| 1 3/4'-2' | 24" |
| 2'-2 1/2' | 28" |
| 2 1/2'-3 1/2' | 32" |
| 3 1/2'-4' | 36" |
| 4'-4 1/2' | 40" |
| 4 1/2'-5' | 44" |
| 5'-5 1/2' | 48" |
- THE ROOT BALL OF LARGER CALIPER SIZES SHALL BE INCREASED PROPORTIONALLY AT THREE (3) INCHES OF ROOT BALL DIAMETER FOR EVERY INCREASE OF ONE (1) INCH IN CALIPER OR FRACTION THEREOF.
9. MAINTAIN COMPACT ROOT BALLS. ROOT BALLS SHALL BE COMPLETELY ENCLOSED WITHIN A BURLAP COVERING OR STRETCH WRAP AS COMMONLY USED WITHIN THE HORTICULTURAL INDUSTRY, IN TWO COMPLETE LAYERS (THICKNESS).
10. ALL TREES TO BE FLOODED FOR FIVE (5) DAYS PRIOR TO TRANSPLANT.
11. ALL PITS TO BE FILLED THE SAME DAY AND WITH CLEAN FILL IN 18 INCH LIFTS/LAYERS. EACH THEN COMPACTED BEFORE A SUBSEQUENT 18" LIFT/LAYER IS PLACED. REPEAT UNTIL BACKFILL IS FLUSH WITH SURROUNDING GRADE.
12. CORRECT ALL PROBLEMS RELATED TO SETTLEMENT, EROSION, OR OTHER DISTRESS OF EXCAVATED/BACKFILLED PIT FROM WHICH TREE/PALM HAS BEEN REMOVED, INCLUDING THE COMPLETE AND THOROUGH REMOVAL OF ALL RESIDUAL ROOTS, STUMPS AND PORTIONS AND PARTS THEREOF.
13. RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS. MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM ONE-YEAR WARRANTY ON SETTLING AND PLANT MATERIAL.
14. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTION FENCING, FLAGGING, ROOT BALL BURLAP OR SHRINK WRAP.

- INSTALLATION**
1. VERIFY ALL UNDERGROUND CONSTRUCTIONS OR OBSTRUCTION (UTILITIES, SEPTIC SYSTEMS, ETC.) ARE IDENTIFIED, LOCATED AND CLEARLY MARKED AS APPROPRIATE PRIOR TO EXCAVATION OF PLANTING PITS FOR RELOCATED TREES AND PALMS. ANY UNKNOWN OBJECTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO INSTALLING AND BACKFILLING.
2. LANDSCAPE CONTRACTOR TO FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
3. PLANTING PITS SHALL BE A MINIMUM OF TWO (2) TIMES LARGER IN DIAMETER AND ONE AND A HALF (1-1/2) TIMES LARGER IN DEPTH THAN THE ROOT BALL OF EACH PLANTING PIT TO FORM WATERING BASIN. MULCH TO A DEPTH OF 3".
4. AFTER EACH PLANTING PIT IS EXCAVATED, PLACE SUFFICIENT PLANTING MIX IN BOTTOM OF EXCAVATION, AND SEAT PLANT, INSURING TOP OF ROOT BALL IS FLUSH WITH IMMEDIATELY ADJACENT FINAL OR PROPOSED GRADE.
5. LANDSCAPE CONTRACTOR TO INSURE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION. REFER TO HARDSCAPE PLANS AND CIVIL ENGINEER'S GROWING PLANS FOR PROPOSED SITE ELEVATIONS.
6. LANDSCAPE CONTRACTOR TO INSURE ALL ROOT PLUMES ARE POSIED.
7. CENTER EACH RELOCATED TREE/PALM IN ITS PLANTING PIT AND BACKFILL WITH SPECIFIED PLANTING MIX.
8. PLACE PLANTING MIX IN 12 INCH LIFTS/LAYERS AROUND ROOT BALL AND COMPACT UNTIL ALL VOID ARE FILLED WITH COMPACTED PLANTING MIX.
9. BUILD SOIL SAUCER OF MOULDED EXCAVATED SOIL AROUND PERIMETER OF EACH PLANTING PIT TO FORM WATERING BASIN. MULCH TO A DEPTH OF 3".
- HANDLING AND TRANSPORTATION**
1. TREES/PALMS SHALL BE PROPERLY HANDLED DURING EXCAVATION, MOVING, STORAGE, RELOCATION AND REPLANTING. DO NOT SCAR OR OTHERWISE DAMAGE TRUNKS AND BRANCHES, AND AVOID BREAKING LIMBS, BRANCHES, AND FRONDS. DAMAGE TO TREE/PALM MAY BE CAUSE FOR ITS REJECTION, AND MAY REQUIRE MITIGATION REPLACEMENT BY THE CONTRACTOR.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUAL WATERING OF ALL RELOCATED TREES/PALMS DURING MAINTENANCE PERIOD, UNTIL FINAL ACCEPTANCE OF ALL WORK BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.
3. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TREE/PALM PROTECTION. INSTALL BARRICADE OF GALVANIZED WELDED WIRE FABRIC OR PLASTIC MESH TO ENCOMPASS THE DRP LINE OF THE TREE/PALM. BARRICADE SHALL BE PLUMB, TAUT, AND STURDY. BARRICADE TO BE LEFT UP AND MAINTAINED UNTIL DIRECTED TO REMOVE BY LANDSCAPE ARCHITECT.

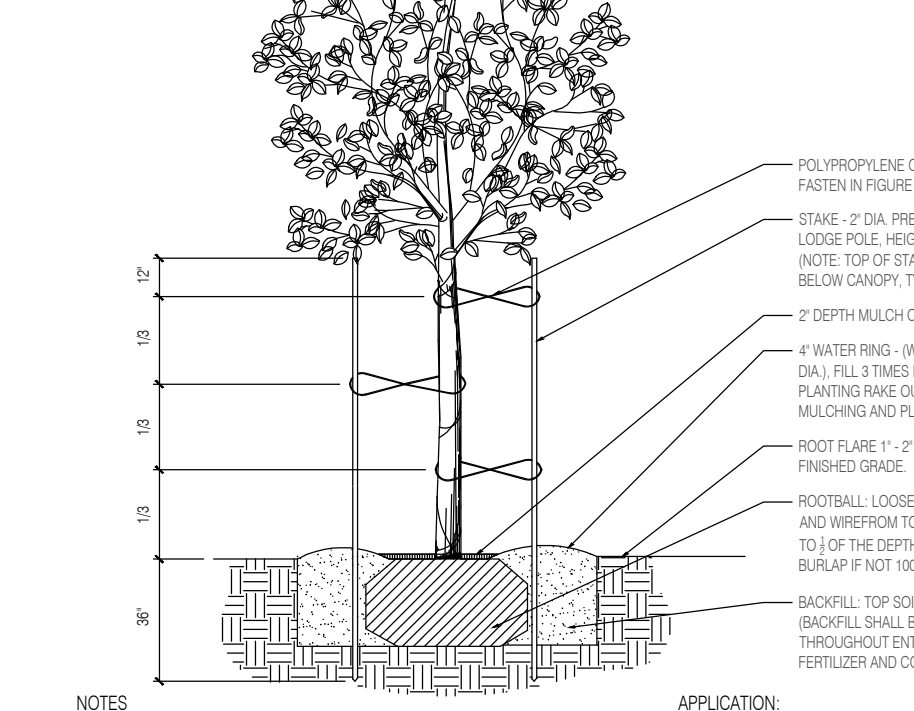
- TREE PROTECTION MATERIALS**
1. BARRICADE SHALL BE GALVANIZED AND WELDED WIRE FABRIC: 1X1" MESH (80, 48" IN HEIGHT) RECOMMENDED CONTACT: Wincor-Min 7158 128th Circle N. Largo, FL 33773. TEL: 1-888-847-5256. FAX: 727-524-4000.
2. POSTS & RAIL: 4X4" WOOD, SUFFICIENT TO HOLD FABRIC PLUMB AND TAUT & 2X4" WOOD FOR TOP RAIL.
3. ACCESS: PROVIDE HINGED LATCHING GATE.
4. METAL GATE SHALL PERMIT FREE PASSAGE OF WATER, AIR AND SHALL ACCEPT CONSTRUCTION TRAFFIC WITHOUT EXCESSIVE DEFLECTION.



- NOTES**
- 1) THE TREE PROTECTION BARRICADE SHALL BE AT LEAST FOUR (4) FEET HIGH. THE BARRIER SHALL CONSIST OF EITHER A WOOD FENCE WITH 4X4 POSTS PLACED A MINIMUM OF EIGHT (8) FEET APART, WITH A 2X4 MINIMUM TOP RAIL, OR A TEMPORARY WIRE MESH FENCE OR OTHER SIMILAR BARRIER WHICH WILL LIMIT ACCESS TO THE PROTECTED AREA. THE BARRICADE SHALL BE AT LEAST 10" IN RADIUS AS PER CHPT. 17 SECTION 17.7. TREE PROTECTION UNLESS A CERTIFIED ARBORIST OTHERWISE DETERMINES IN WRITING THAT A SMALLER OR LARGER PROTECTED AREA IS ACCEPTABLE FOR EACH TREE, OR AN ALTERNATIVE TREE PROTECTION METHOD IS APPROVED. PLEASE REFER TO ARBORIST SPECIFICATIONS IN THE TREE RESOURCE EVALUATION SUBMITTED AS AN ADDENDUM TO THESE PLANS.
- 2) HAND WORK ONLY WITHIN TREE BARRICADES.
- 3) TREE BARRICADE APPROVAL: OBTAIN CITY APPROVAL OF TREE BARRICADES BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.

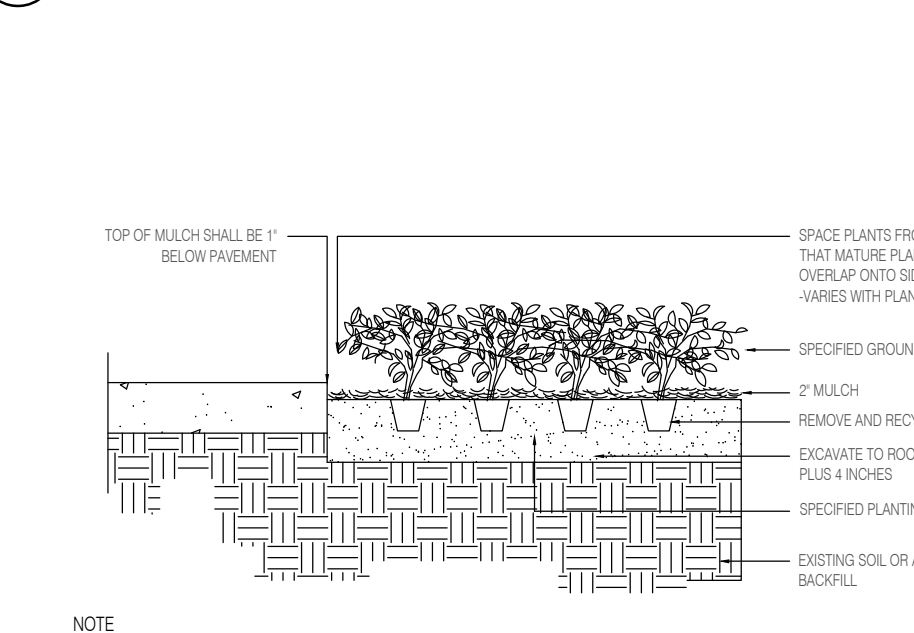
TREE/PALM CALIPER	MINIMUM ROOT BALL DIAMETER
1'-1 1/2'	16"
1 1/2'-1 3/4'	20"
1 3/4'-2'	24"
2'-2 1/2'	28"
2 1/2'-3 1/2'	32"
3 1/2'-4'	36"
4'-4 1/2'	40"
4 1/2'-5'	44"
5'-5 1/2'	48"

- 2 TREE PROTECTION DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 4 SMALL TREE PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 5 LARGE TREE PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



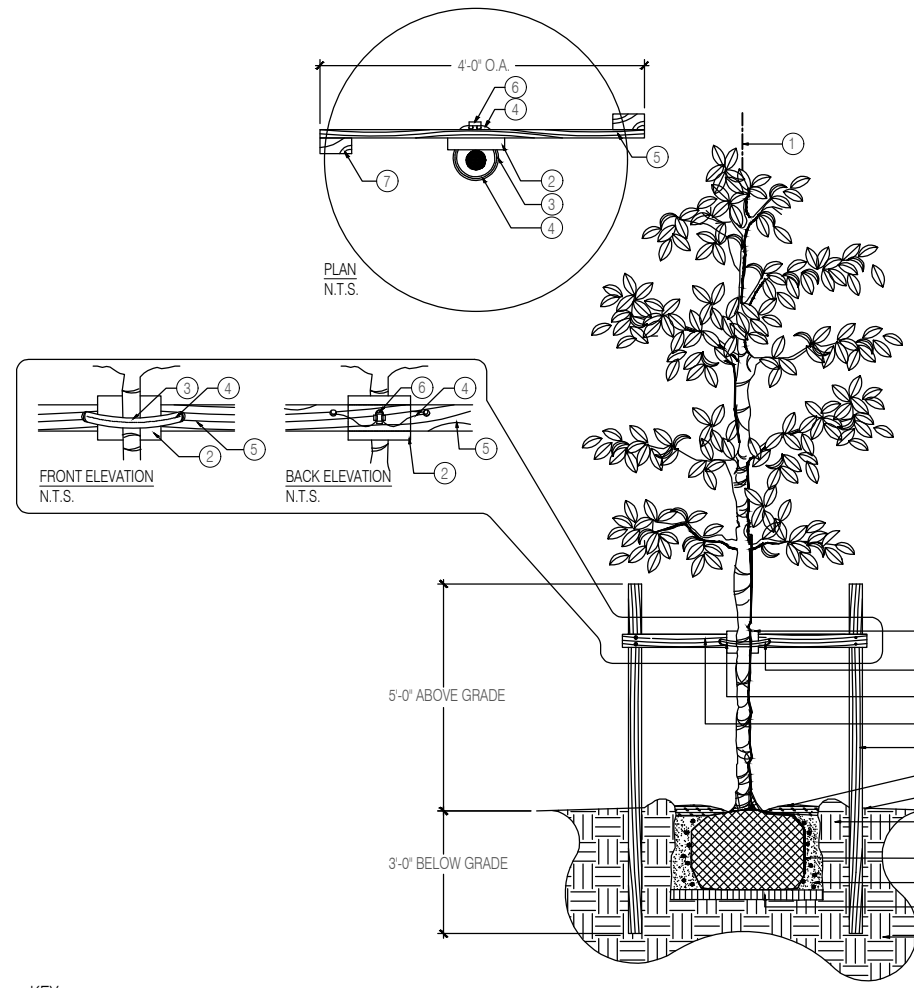
- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 6 SHRUB PLANTING DETAIL**
SCALE: N.T.S.



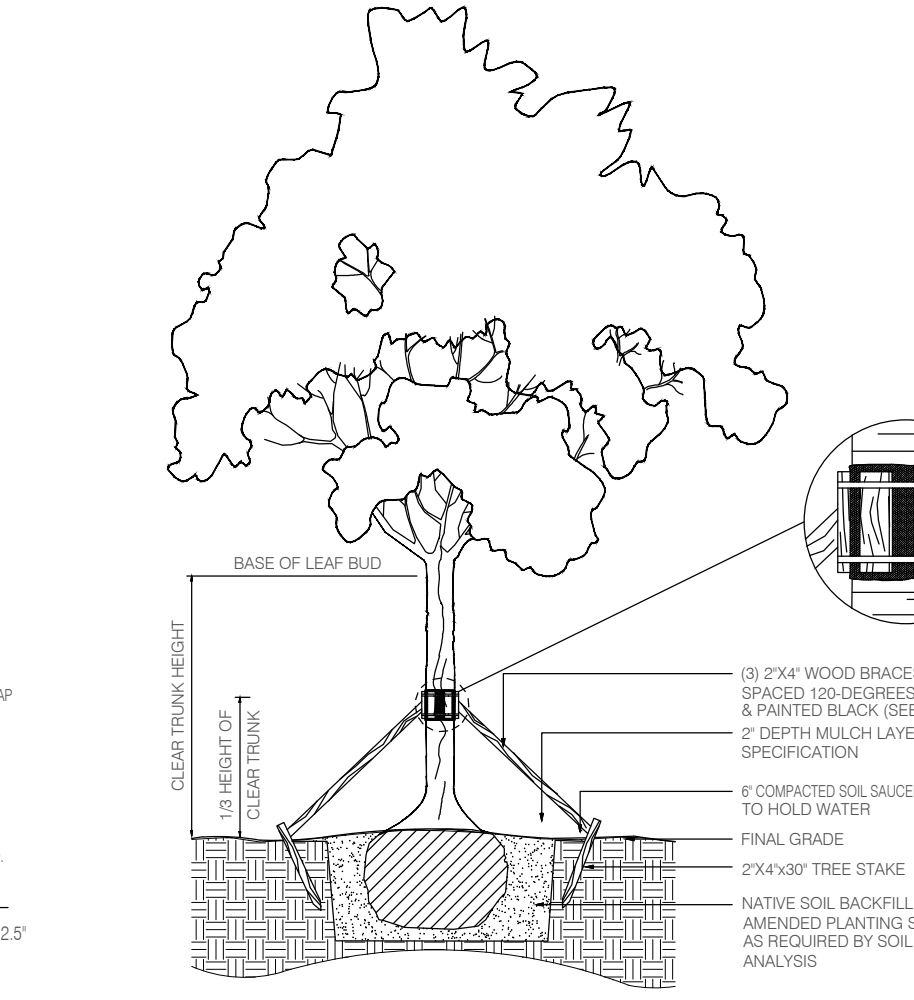
- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 7 GROUND COVER PLANTING DETAIL**
SCALE: N.T.S.



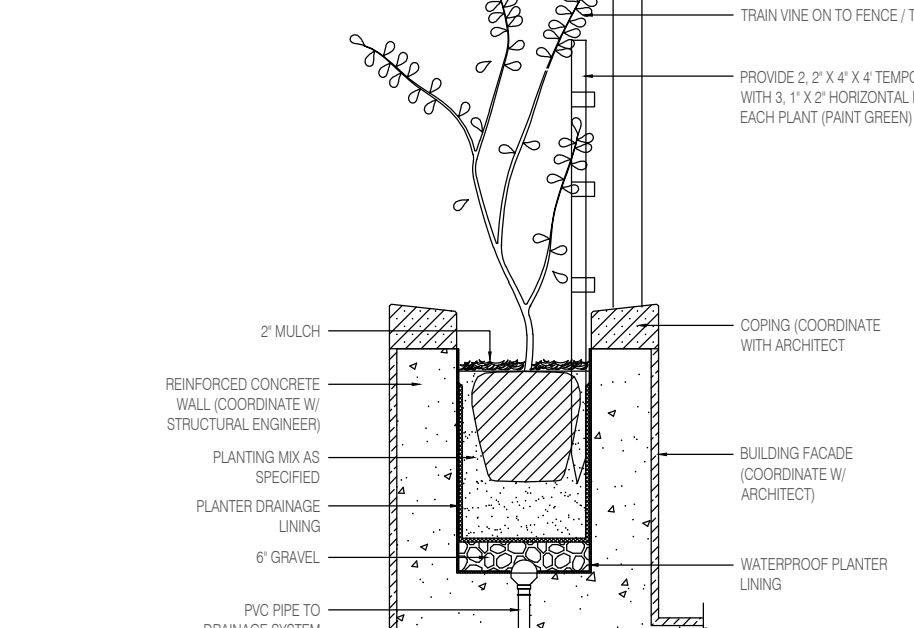
- KEY**
- 1) SET TREE PLUMB IN PLANTING PIT.
- 2) PROTECT TREE TRUNK WITH 1x6x6x6 @ 2\"/>

- 2 MEDIUM TREE PLANTING & STAKING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 3 PALM PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.



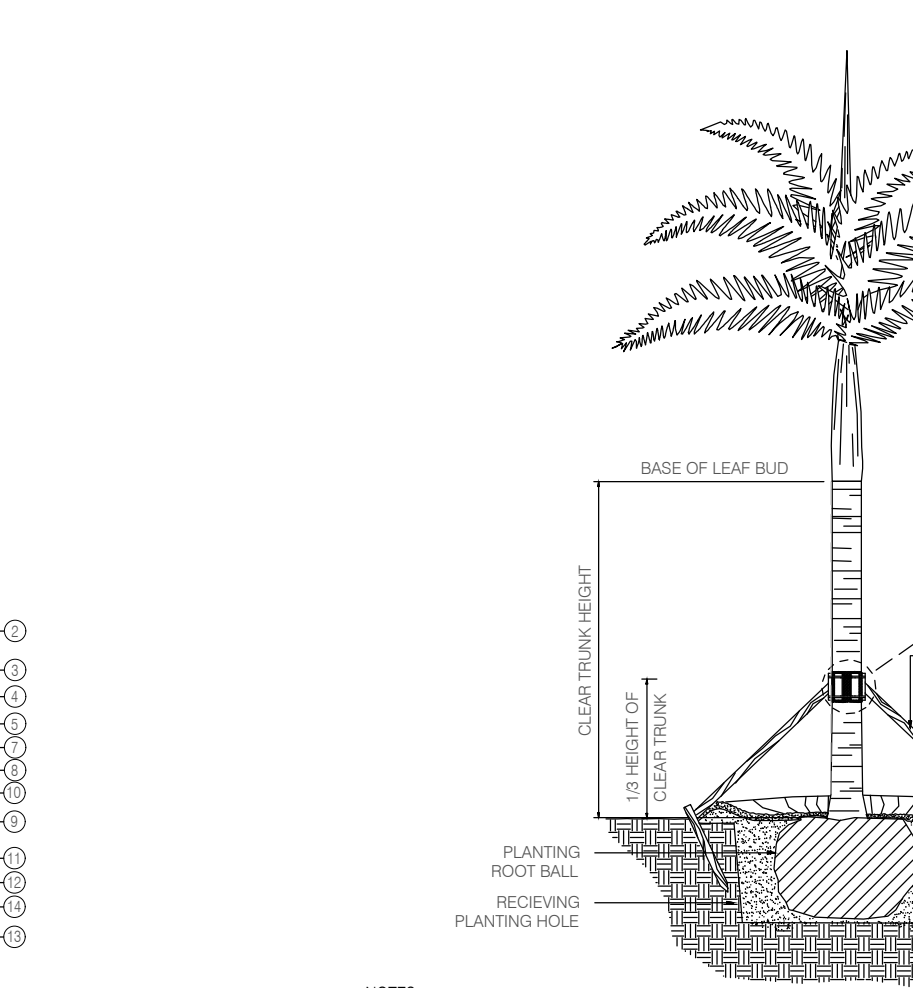
- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 4 PALM PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



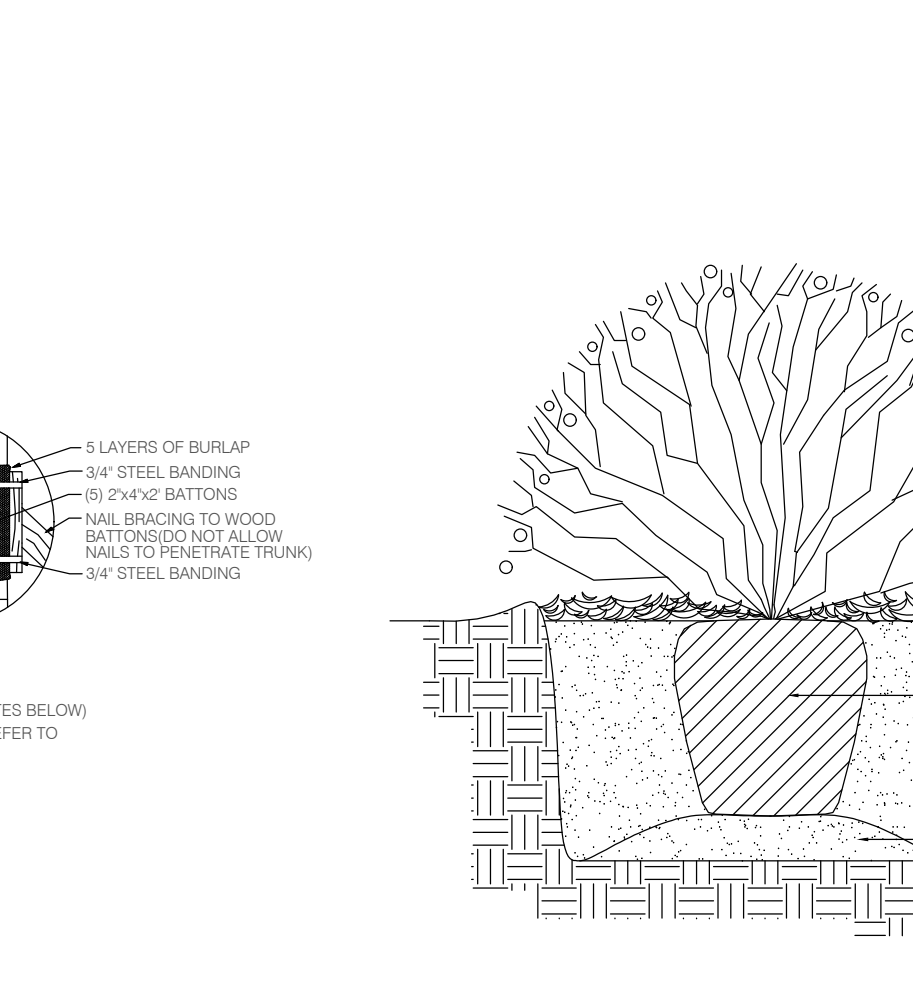
- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 5 LARGE TREE PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



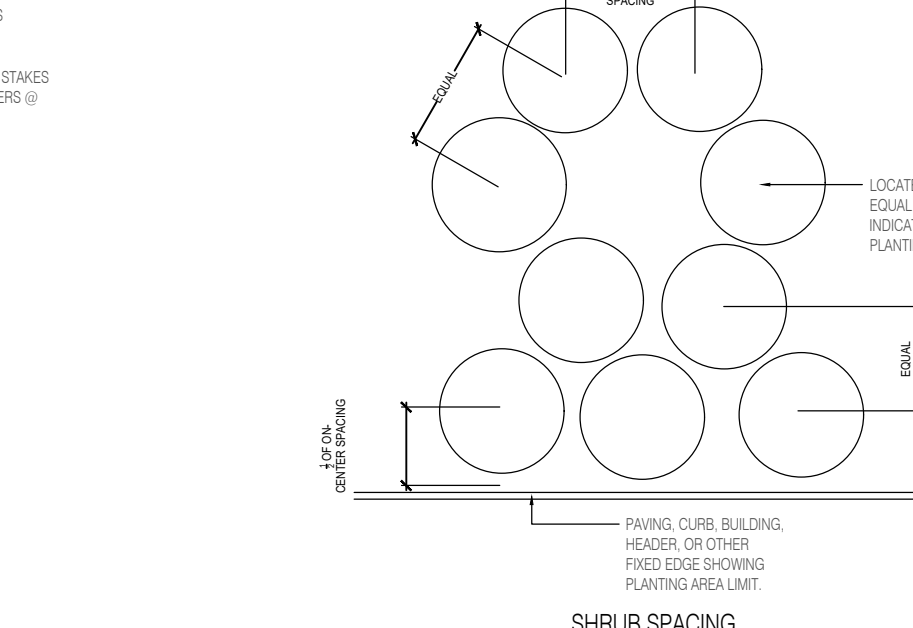
- NOTES**
- 1) PALMS OVER 30' GW HEIGHT, USE MINIMUM (4) 4X4 BRACING AND STAKES.
- 2) PRIMARY STAKES SHOULD BE PLACED PARALLEL TO WALKWAYS WHENEVER POSSIBLE.
- 3) RECEIVING PLANTING HOLE SHALL BE APPROXIMATELY 1/3 LARGER THAN ROOTBALL.
- 4) BLD SHALL BE PERPENDICULAR TO THE GROUND PLANE.
- 5) TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES.
- 6) NO SCARRED OR BLACKENED TRUNKS.
- 7) AMENDED SOIL MIX, TO BE ADDED AT THE TIME OF PLANTING IF NEEDED. SHALL CONSIST OF A RATIO MIX OF 80% CLEAN SILICA SAND AND 20% SCREENED, PLUMBERIZED TOPSOIL AS NEEDED.

- 3 PALM PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 6 SHRUB PLANTING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.



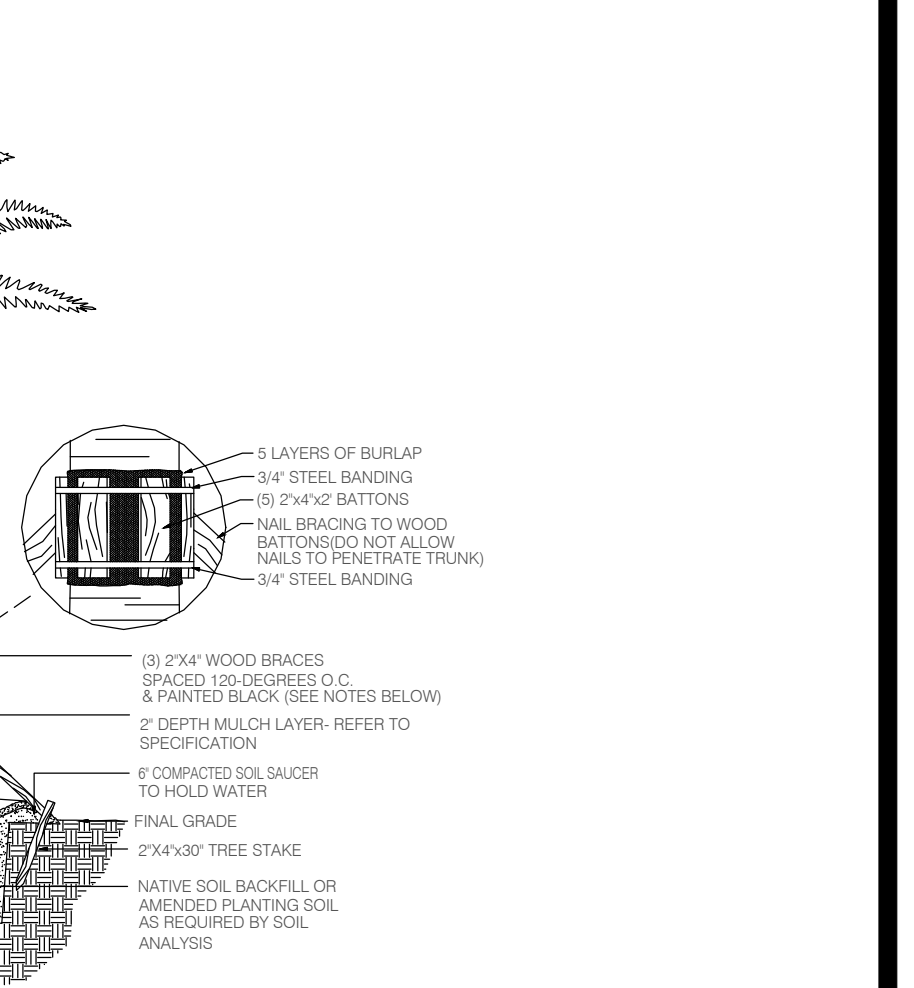
- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 7 GROUND COVER PLANTING DETAIL**
SCALE: N.T.S.



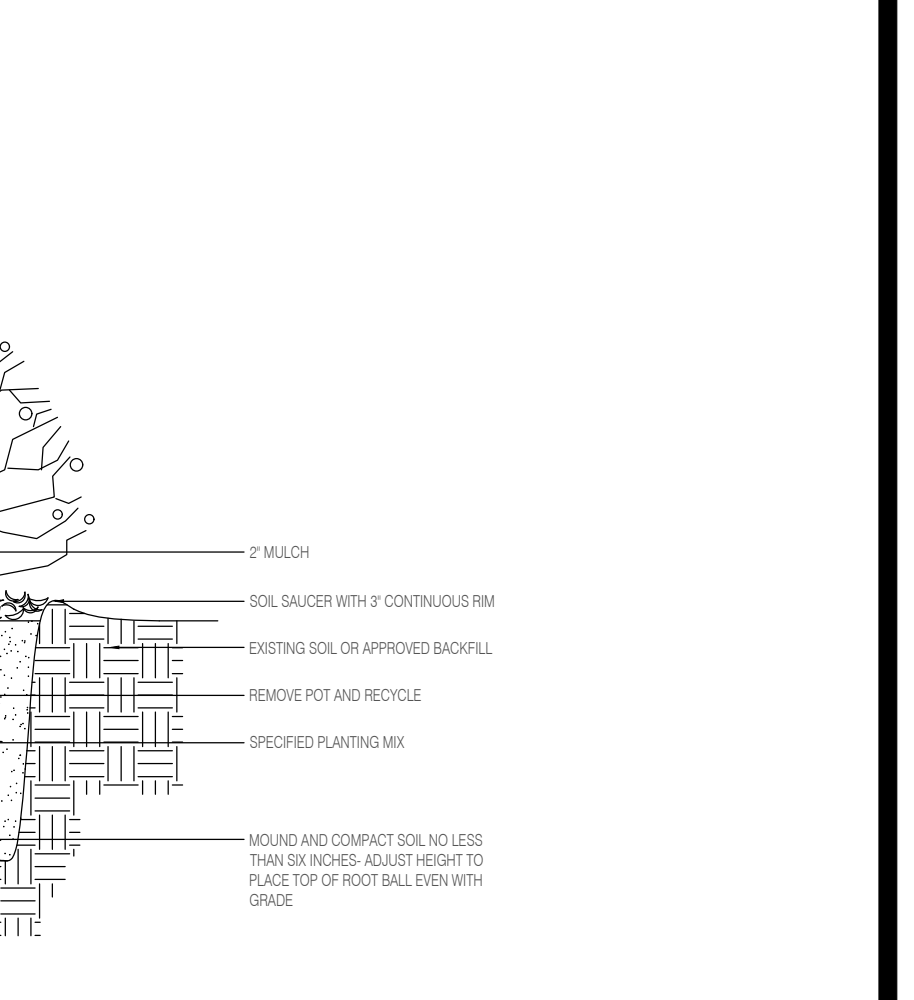
- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 8 VINE PLANTING DETAIL**
SCALE: N.T.S.



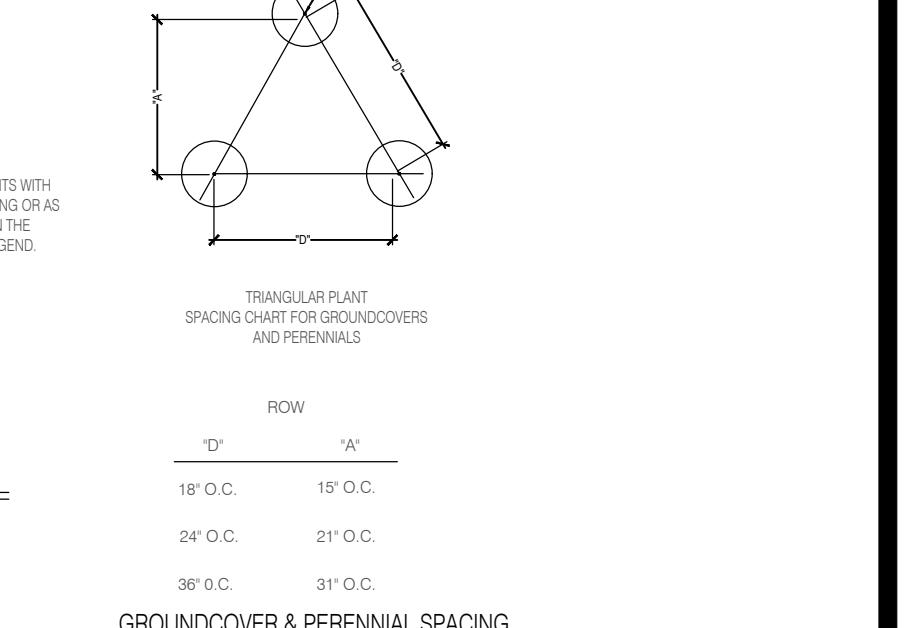
- NOTES**
- 1) PALMS OVER 30' GW HEIGHT, USE MINIMUM (4) 4X4 BRACING AND STAKES.
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- 7) AMENDED SOIL MIX, TO BE ADDED AT THE TIME OF PLANTING IF NEEDED. SHALL CONSIST OF A RATIO MIX OF 80% CLEAN SILICA SAND AND 20% SCREENED, PLUMBERIZED TOPSOIL AS NEEDED.

- 3 PALM PLANTING AND STAKING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 6 SHRUB PLANTING DETAIL**
SCALE: N.T.S.



- NOTES**
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- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
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- 7 GROUND COVER PLANTING DETAIL**
SCALE: N.T.S.



- NOTES**
- 1) PRUNING: REMOVE ANY BROKEN BRANCHES.
- 2) NO MULCH WITHIN 4" OF TRUNK, TYP.
- 3) USE THREE LOOSE POLES FOR ADDED STABILITY.

- 8 VINE PLANTING DETAIL**
SCALE: N.T.S.

REVISIONS	No.

20100 n.e. 21 avenue
no. miami beach, fl 33179

(305) 932-5200

roger piper
architect, inc.

or 13039

n.e.a.r.b. certified • c.i.a. associate

LANDSCAPE ARCHITECT
MARSH KRIPLEN
1251 SW 20TH STREET
MIAMI, FL 33145
T: 305.322.2898
LA6667007

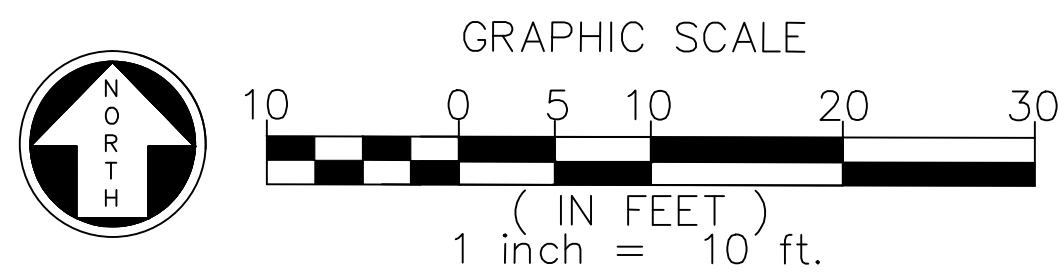
CUSTOM RESIDENCE FOR:
MR. & MRS. JOHN GOYMER

1049 TYLER STREET
HOLLYWOOD, FLORIDA

DRAWN A.J.C.
CHECKED R.P.
DATE 4-30-21
SCALE AS NOTED
JOB NO. 2010
SHEET L-4

PLANTING NOTES & DETAILS

811 Know what's below.
Call before you dig.



DATUM NOTE:

UNLESS OTHERWISE INDICATED, ALL ELEVATIONS SHOWN HEREON REFER TO FINISH ELEVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD).

DRAINAGE RETENTION NOTE:

THE CONTRACTOR SHALL GRADE THE SITE ACCORDING TO THE PROPOSED CONTOUR LINES AND ELEVATION IN ORDER TO RETAIN THE FIRST INCH OF RUNOFF. REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION.

DRAINAGE NOTE:

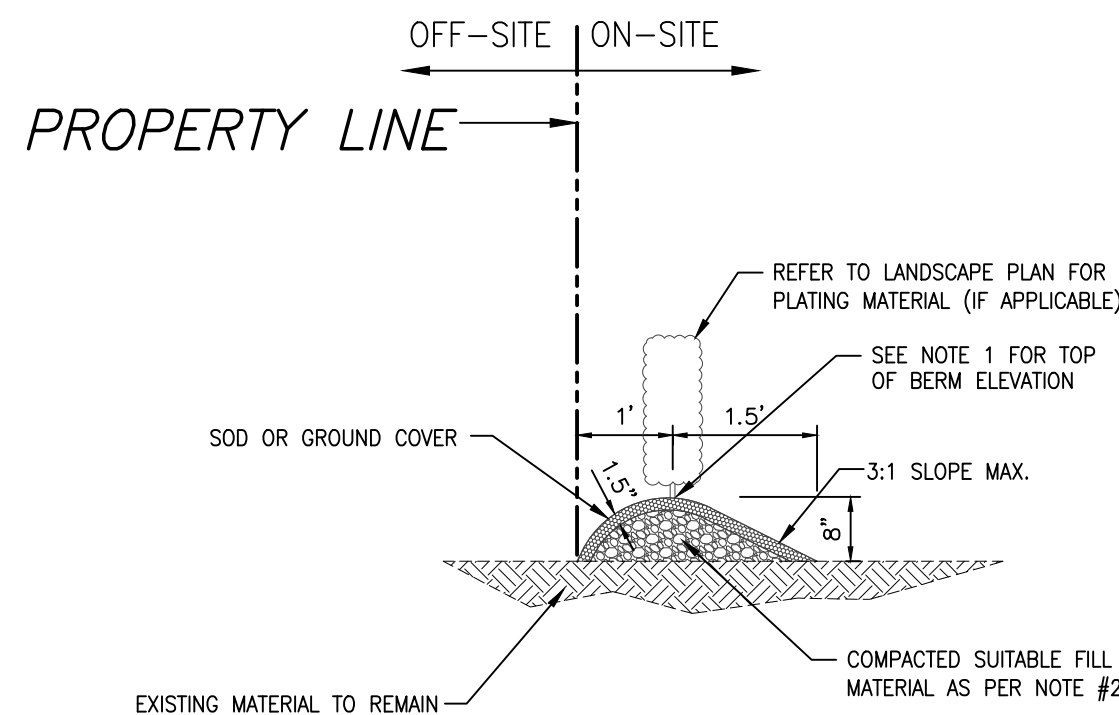
THIS SITE IS DESIGNED TO RETAIN, ON-SITE, THE VOLUME OF RUNOFF GENERATED DURING THE FIRST INCH OF RAINFALL. THE RETENTION AREAS PROVIDED ON SITE ARE CAPABLE OF RETAINING THAT RUNOFF VOLUME. CALCULATIONS FOLLOW THE METHODOLOGY SET FORTH BY THE SFWMD IN THEIR PUBLICATION TITLED "MANAGEMENT AND STORAGE OF SURFACE WATER, PERMIT INFORMATION MANUAL, VOLUME 4."

NOTE:

REFER TO SHEET C-200 FOR SITE SECTIONS AND SPECIFICATIONS

ROOF DRAINAGE NOTE:

ALL ROOF DRAINAGE (DOWNSPOUTS) SHALL BE COLLECTED AND CONNECTED TO THE ON-SITE DRAINAGE RETENTION AREAS. DOWNSPOUTS SHALL NOT DISCHARGE TO IMPERVIOUS AREAS.



PROPERTY BERM DETAIL

N.T.S.

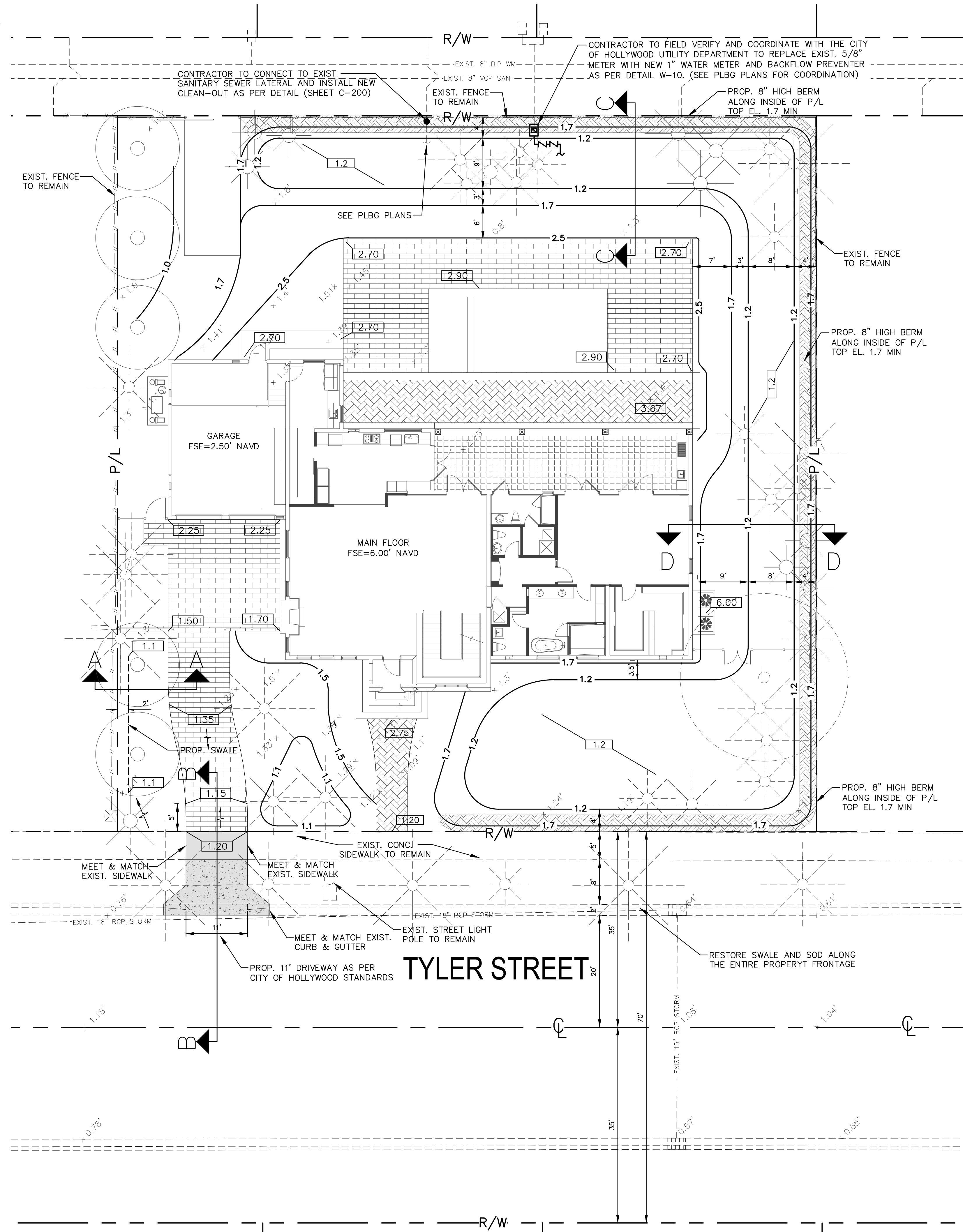
NOTES:

1- CONTRACTOR SHALL CONSTRUCT A BERM ALONG THE PROPERTY PERIMETER, AS SHOWN ON PLAN. THE BERM SHALL BE 8" HIGH MINIMUM. THE TOP OF BERM ELEVATION 1.70' NAVD (MIN.)

2- SOIL USED TO CONSTRUCT BERM SHALL BE SUITABLE FILL MATERIAL OR A STRUCTURAL MIXTURE COMPRISED OF 60% NATIVE CRUSHED LIMESTONE AND 40% PLANTING SOIL, NO MUCK OR OPEN GRADE SILICA. BERM TO BE COMPACTED TO 80% DENSITY, AND SODDED OR STABILIZED IN AN APPROVED METHOD TO PREVENT EROSION.

P, G & D LEGEND

- PROPOSED 6" CONCRETE SIDEWALK/DRIVEWAY
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED ELEVATIONS (NAVD)
- EXISTING ELEVATIONS (NAVD)
- F.S.E. FINISHED SLAB ELEVATION
- DENOTES GRADE TO DRAIN
- DENOTE PROPOSED CONTOUR LINE ELEVATION
- DENOTES PROPERTY LINE
- DENOTES RIGHT OF WAY LINE



GENERAL NOTES

- ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM (N.A.V.D.), UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD, BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE PROTECTION (BC-DNRP), DEP & SFWMD.

IN CASE OF CONFLICT, THE MORE STRINGENT SPECIFICATIONS SHALL GOVERN. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL GRADES SHOWN IN PLAN ARE FINISHED GRADES.
- EXISTING ABOVE GROUND FEATURES ARE SHOWN ACCORDING TO THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH THE EXISTING PAVEMENT
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY SHALL BE RESTORED BY THE CONTRACTOR, TO THEIR ORIGINAL CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
- WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF OWNER, ENGINEER, AND THE CITY OF HALLANDALE BEACH.

PAVEMENT SPECIFICATIONS (ON-SITE):

OPTIONAL
SURFACE COURSES: CONCRETE PAVERS SHALL BE: 3 1/8" THICK SOLID CONCRETE INTERLOCKING PAVING UNITS (PER ASTM C 936), OVER 1-1/2" SAND. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL TO THE ARCHITECT.

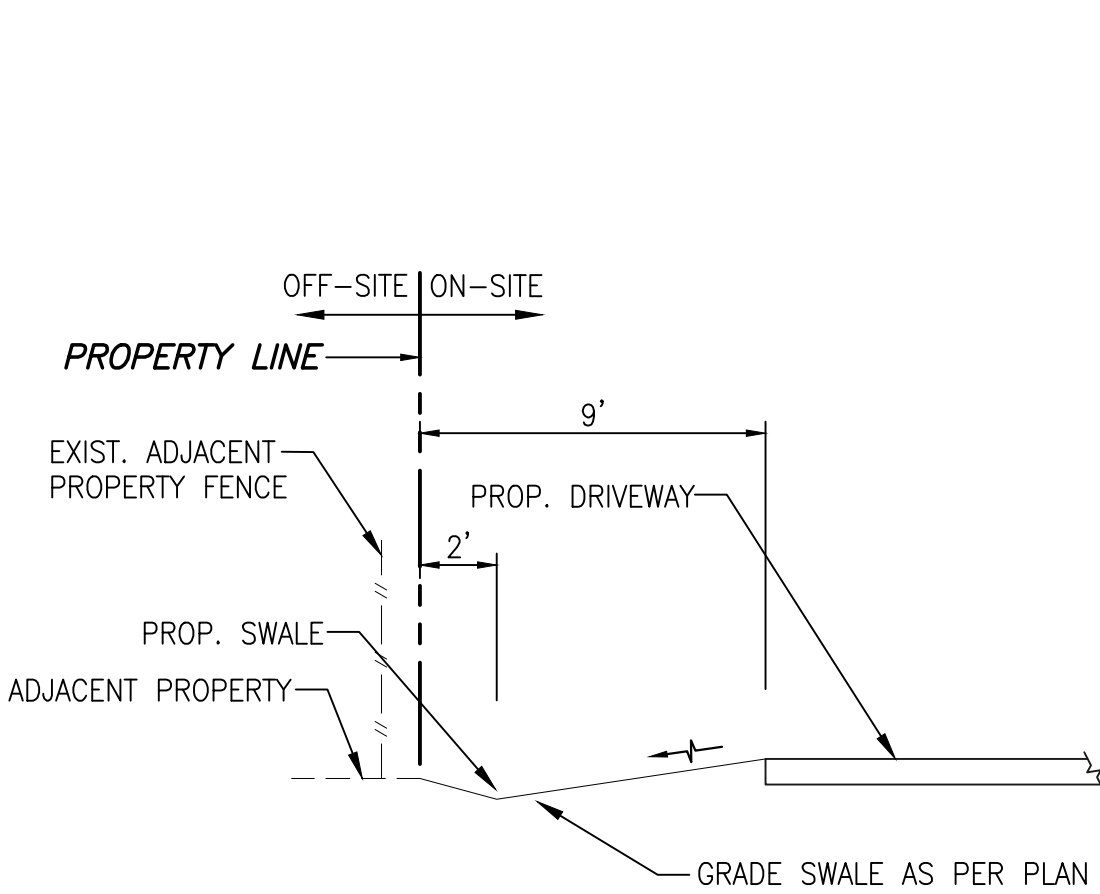
RIGID CONCRETE SURFACE SHALL BE: 6" CLASS I CONCRETE, ATTAINING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND REINFORCED WITH 6"x6" 10/10 WELDED WIRE MESH, AND FLEXURAL STRENGTH (MODULUS OF RUPTURE) OF 600 PSI, BASED ON THE THIRD POINT LOADING CONCRETE BEAM SAMPLES.

ASPHALTIC CONCRETE SURFACE SHALL BE: 1 1/2" TYPE SP-12.5 AS PER FDOT 2017 SPECS SECTION 320, 330 AND 334.

ROCK BASE: 8" LIMEROCK COMPACTED TO 98% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT PER A.A.S.H.T.O. T-180, METHOD "D". EXTEND 6" BEYOND EDGE OF SURFACE COURSE OR BACK OF CURB, AS APPLICABLE (PER FDOT SPECS SECTION 200) PRIME COAT ON LIME ROCK BASE COURSE SHALL MEET FDOT SPECS SECTION 300.

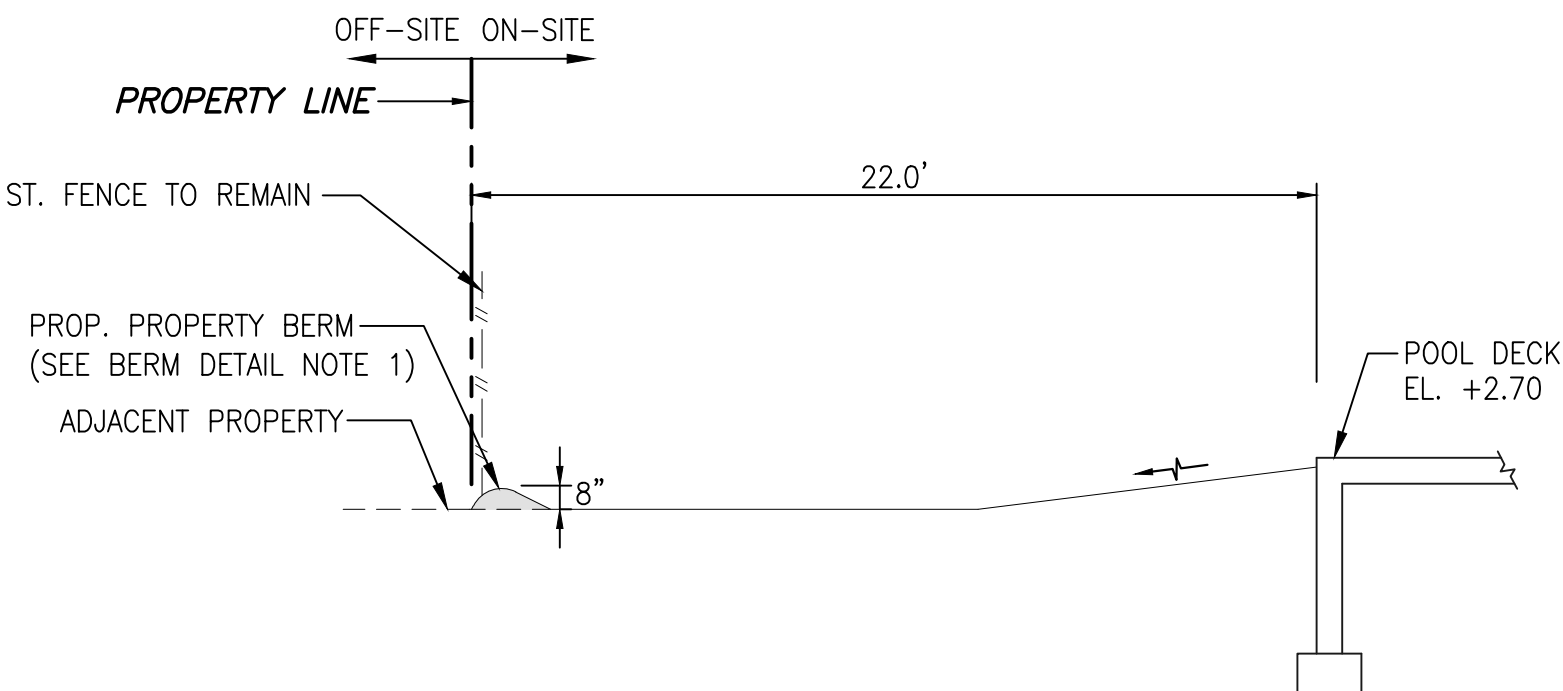
SUBGRADE: 12" STABILIZED GRANULAR MATERIAL COMPACTED TO 98% MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT PER A.A.S.H.T.O. T-180, METHOD "D" - IF EXISTING MATERIAL PROVIDES MINIMUM LBR OF 40, STABILIZATION IS NOT REQUIRED. EXTEND 12" BEYOND EDGE OF SURFACE COURSE OR BACK OF CURB, AS APPLICABLE (PER FDOT SPECS SECTION 160).

ALL DRIVEWAY AREAS SHALL BE DEMUCKED OR STABILIZED WITH GEOTEXTILE MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS, AND CITY SPECIFICATIONS AND REQUIREMENTS.



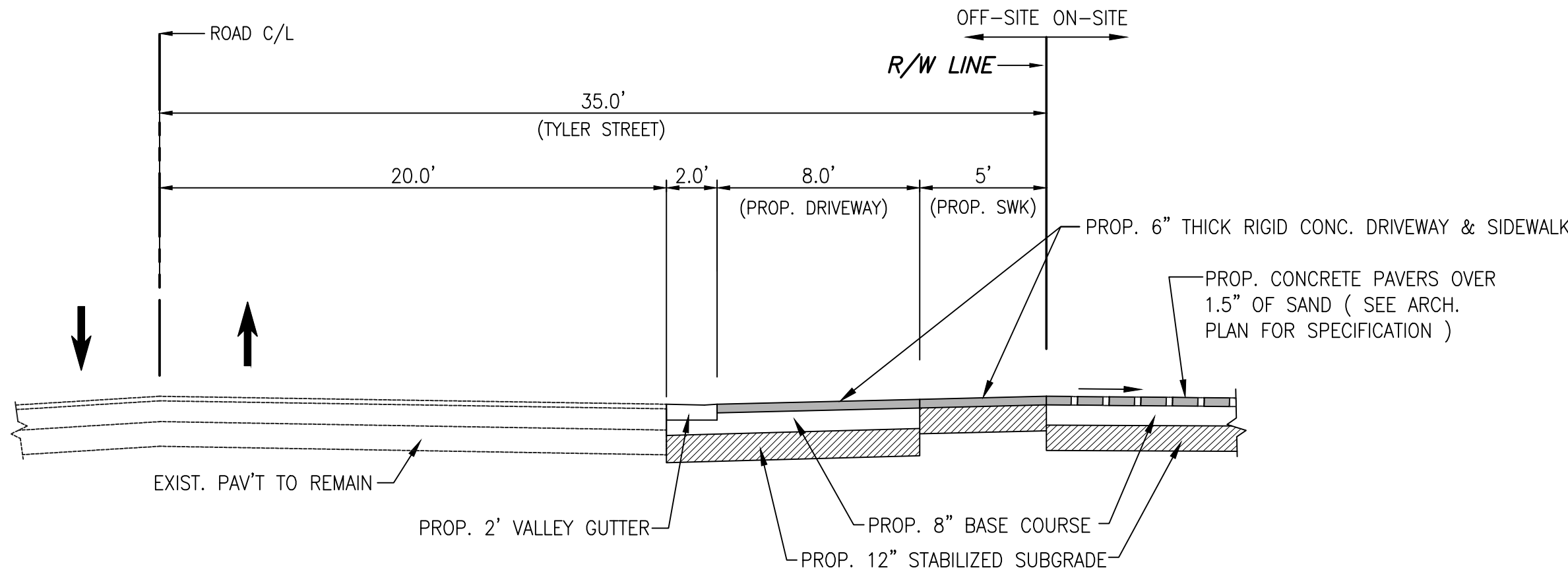
SECTION A-A

N.T.S.



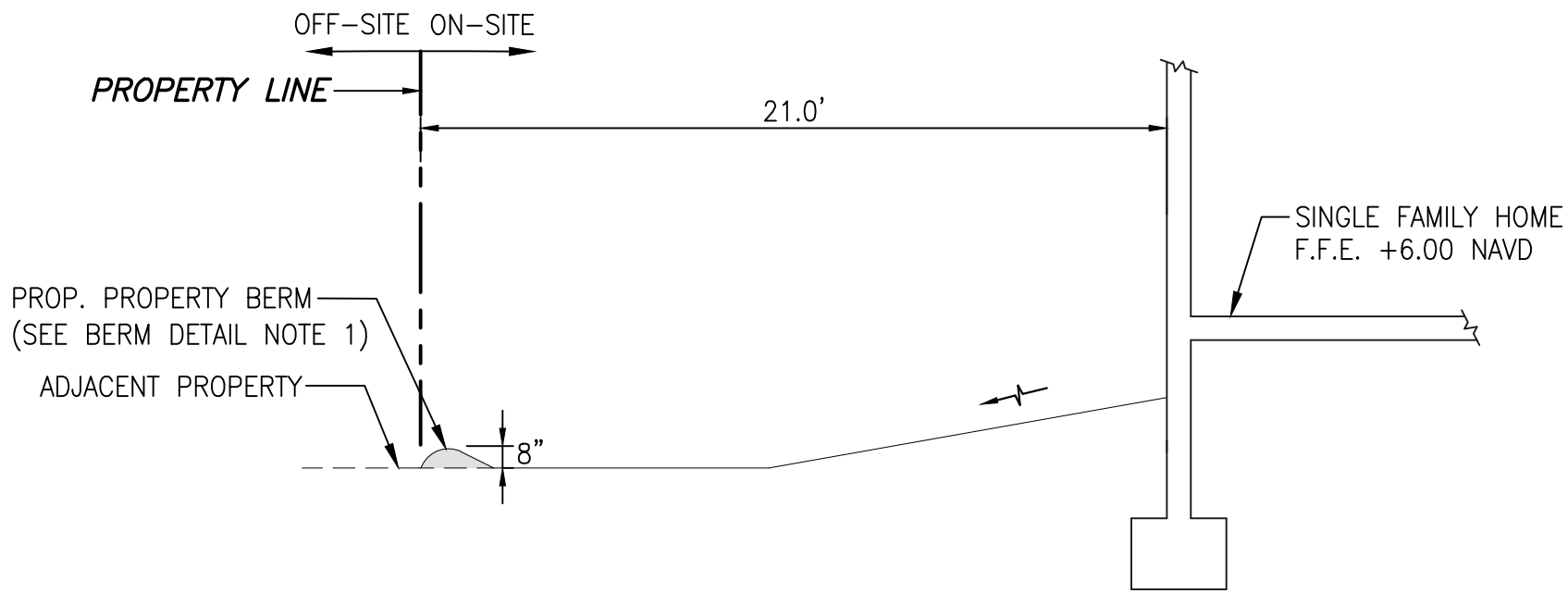
SECTION C-C

N.T.S.



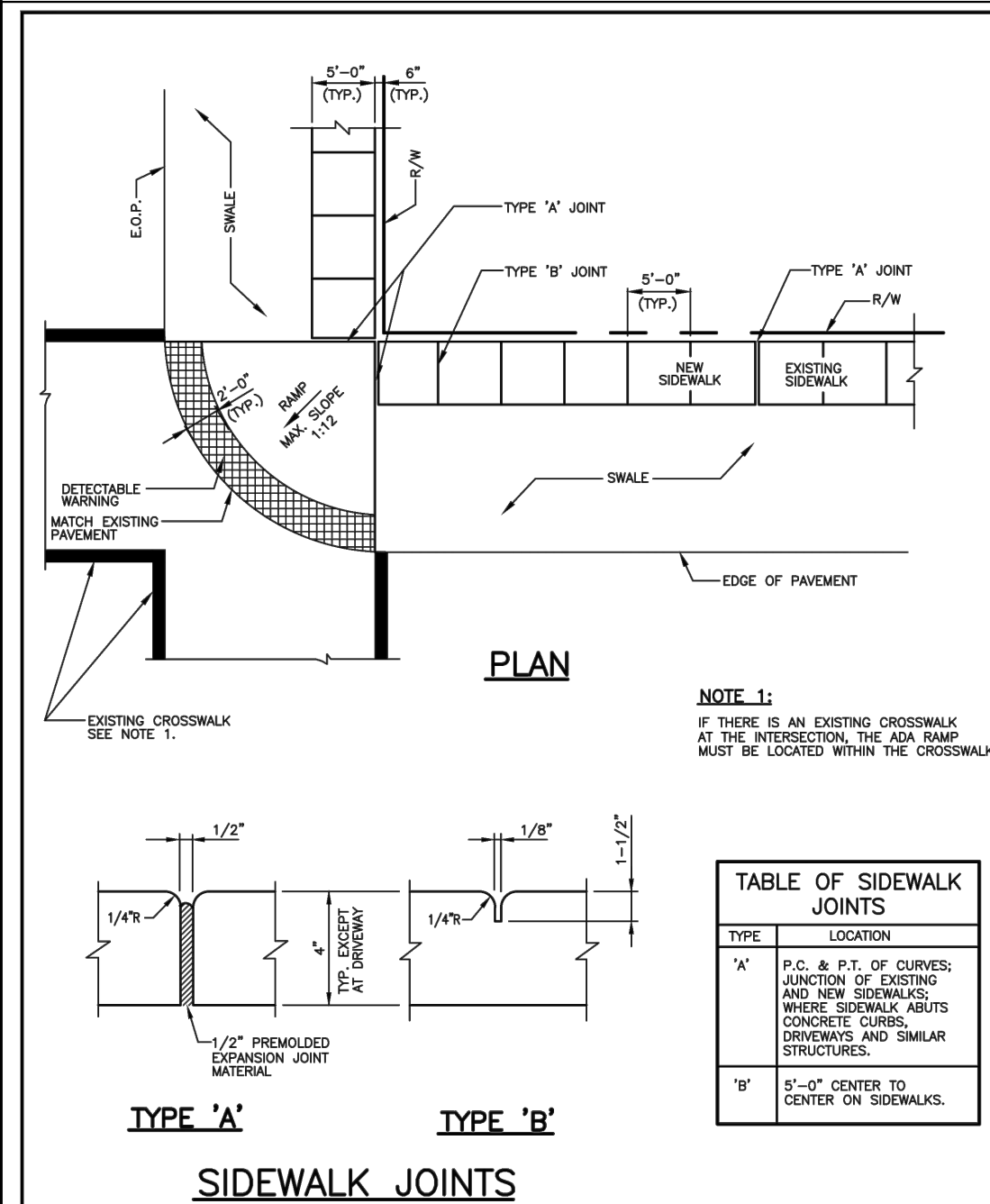
SECTION B-B

N.T.S.

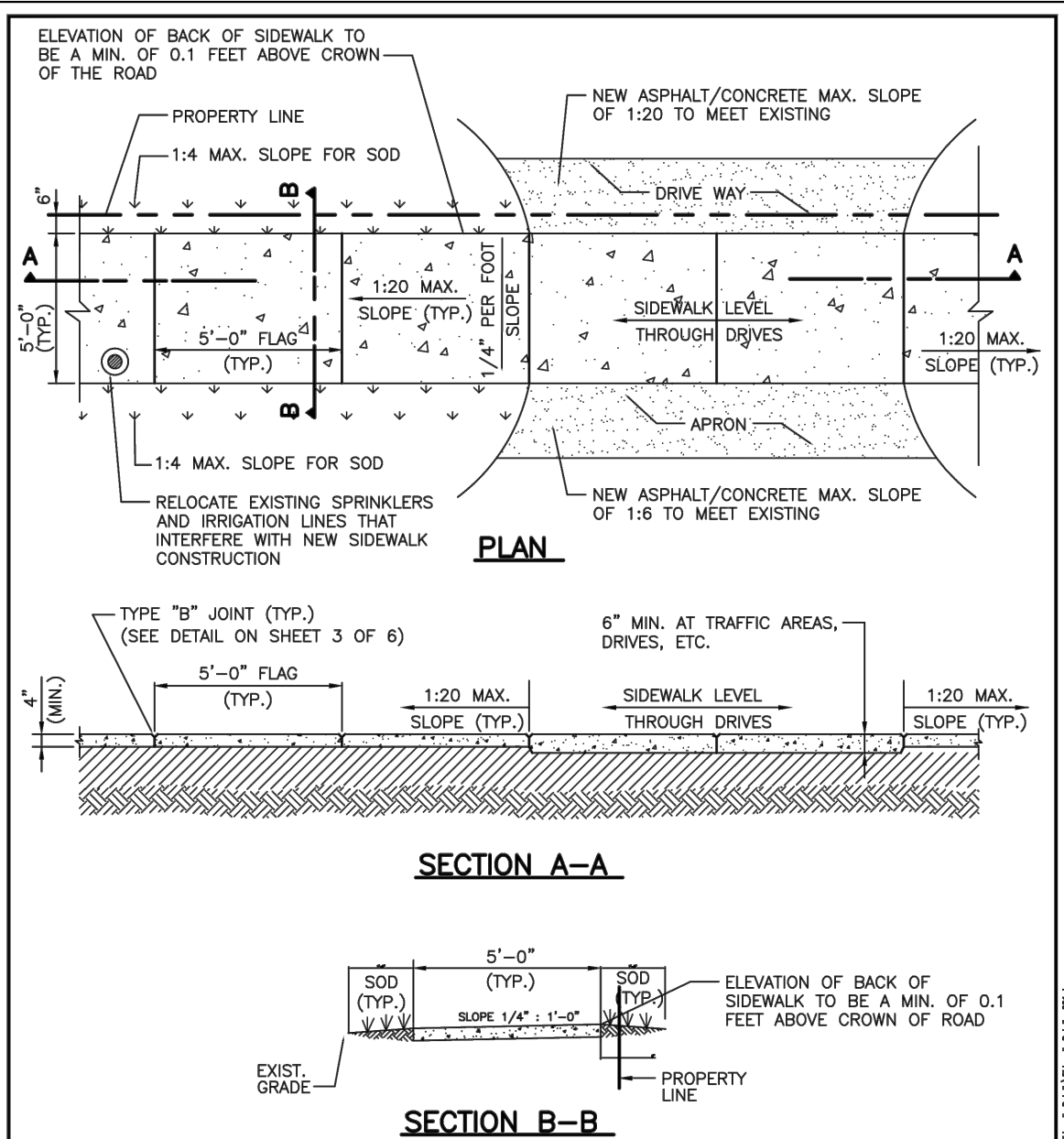


SECTION D-D

N.T.S.



CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING TRANSPORTATION AND MOBILITY DIVISION STANDARD DETAIL SIDEWALK CONSTRUCTION DETAIL	DESIGNED BY	J.V.	SCALE	N.T.S.	APPROVED BY	
	DRAWN BY	R.A.Q.	PROJECT NO.		CITY ENGINEER	
	CHECKED BY	ACT. NO.	ACT. NO.		SHEET NO.	3
	DATE	05/20/2010	CADD/DWG NO.		OF	4 SHEETS

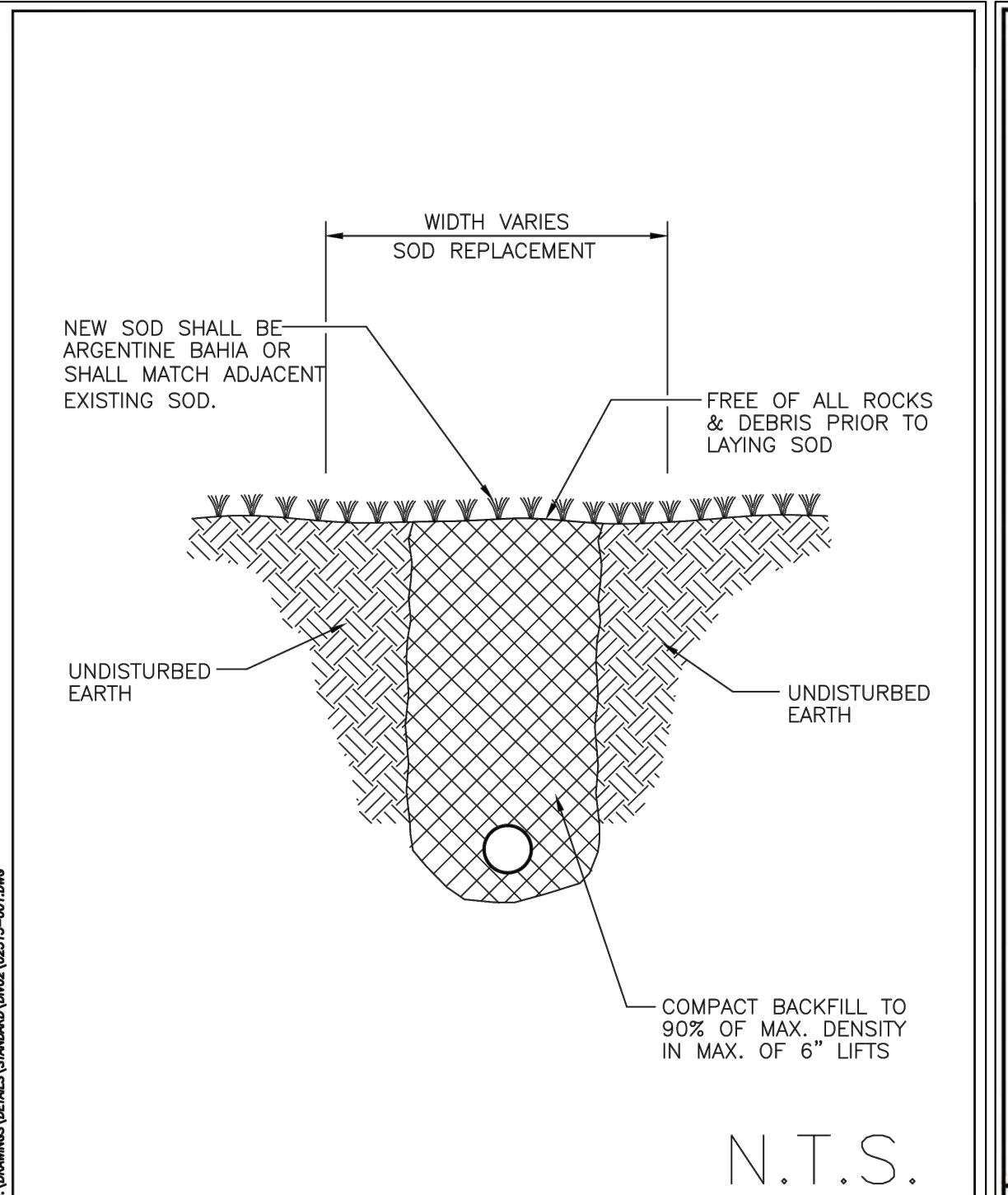


SECTION A-A

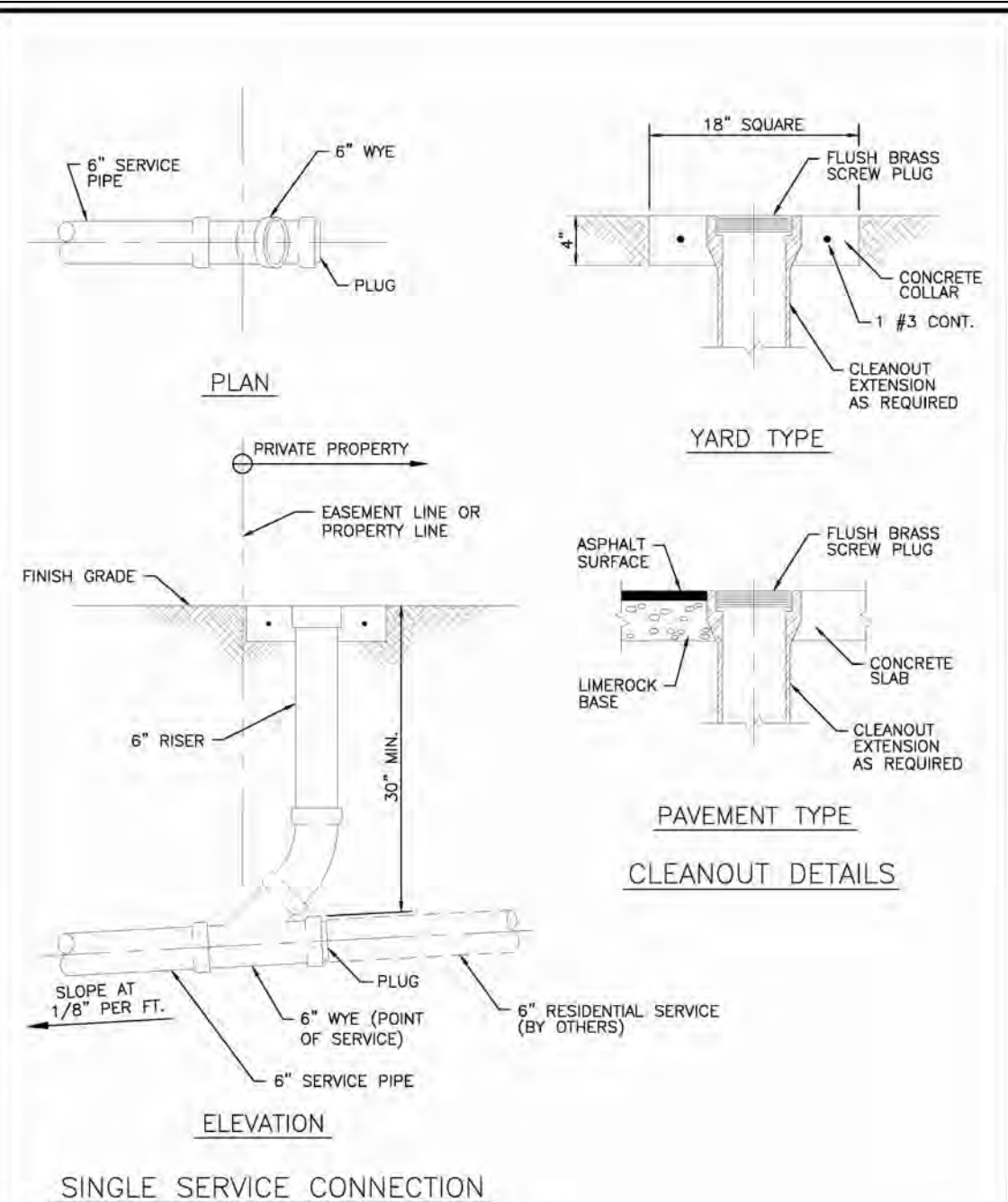
SECTION B-B

NOTE:
ALL SIDEWALK CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF THE SIDEWALK.

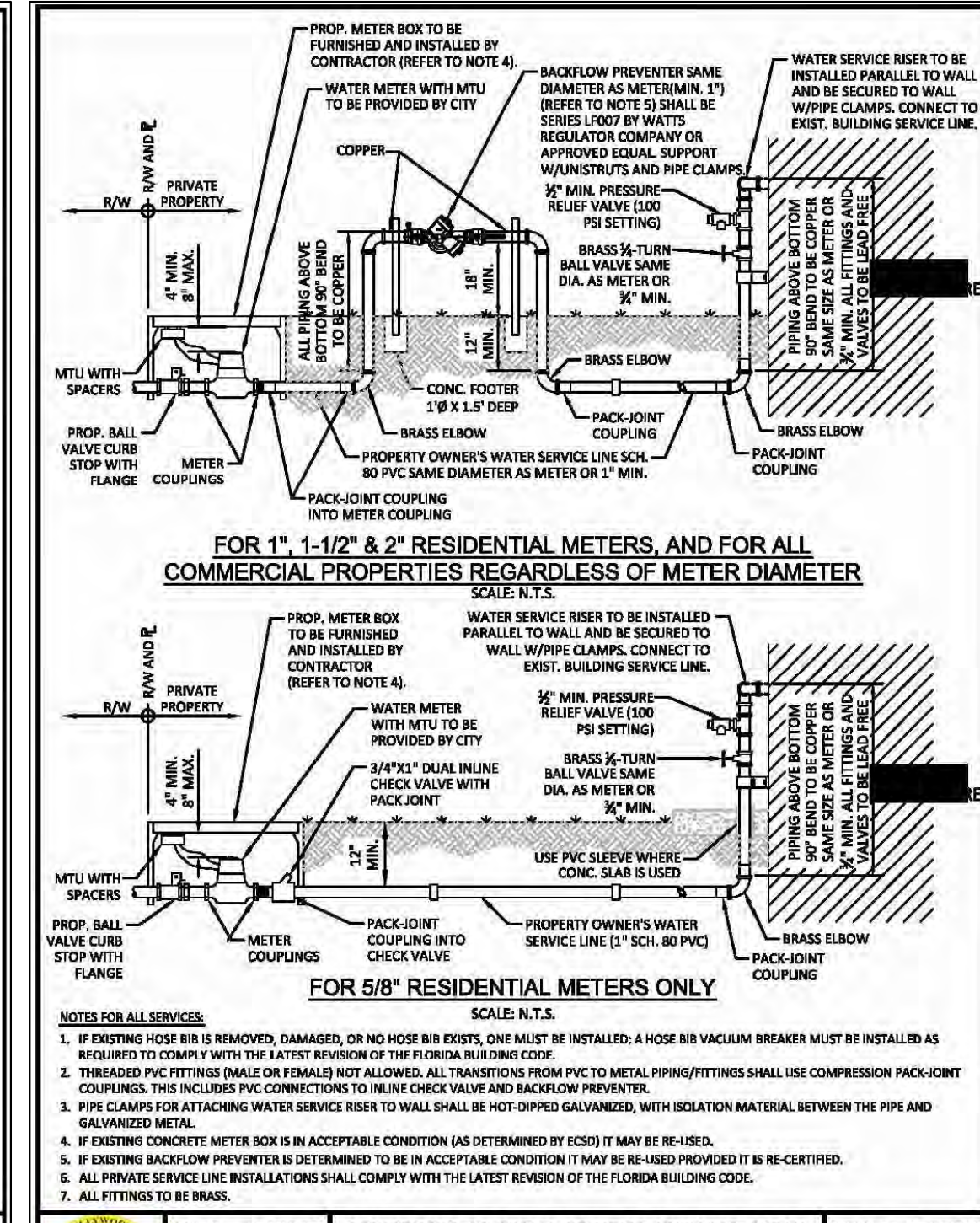
CITY OF HOLLYWOOD, FLORIDA DEPARTMENT OF DEVELOPMENT SERVICES ENGINEERING TRANSPORTATION AND MOBILITY DIVISION STANDARD DETAIL SIDEWALK CONSTRUCTION DETAIL	DESIGNED BY	J.V.	SCALE	N.T.S.	APPROVED BY	
	DRAWN BY	R.A.Q.	PROJECT NO.		CITY ENGINEER	
	CHECKED BY	ACT. NO.	ACT. NO.		SHEET NO.	1
	DATE	05/20/2010	CADD/DWG NO.		OF	4 SHEETS



REVISION DATE:	TURF RESTORATION DETAIL	DETAIL
DRAWING DATE:	City of Hollywood, Florida Department of Design and Construction Management	2315-1



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 02/14/2018
DRAWN: EAM	TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS	DRAWING NO. W-10
APPROVED: XXX		

REVISIONS	No.

20100 n.e. 21 avenue
no. miami beach, fl 33179

(305) 932-5200

roger piper
architect, inc.

n.c.c.r.b. certified • o.a.a. associate

or 13039

TERRA
CIVIL ENGINEERING

4011 w. flagler st., ste. 404
miami florida 33134
ph: 305 499-5010
cert. of authorization # 27209

THESE PLANS HAVE BEEN ELECTRONICALLY SIGNED
AND SEALED BY MARCO A. OSCORIO ON THE DATE
ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED VALID UNLESS THEY BEARING THE
SIGNATURE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

MARCO A. OSCORIO
LICENSE
No. 44090
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

CUSTOM RESIDENCE FOR:
MR. & MRS JOHN GOYMER

1049 TYLER STREET
HOLLYWOOD, FLORIDA

DRAWN
M.O.

CHECKED
R.P.

DATE
4-30-21

SCALE
AS SHOWN

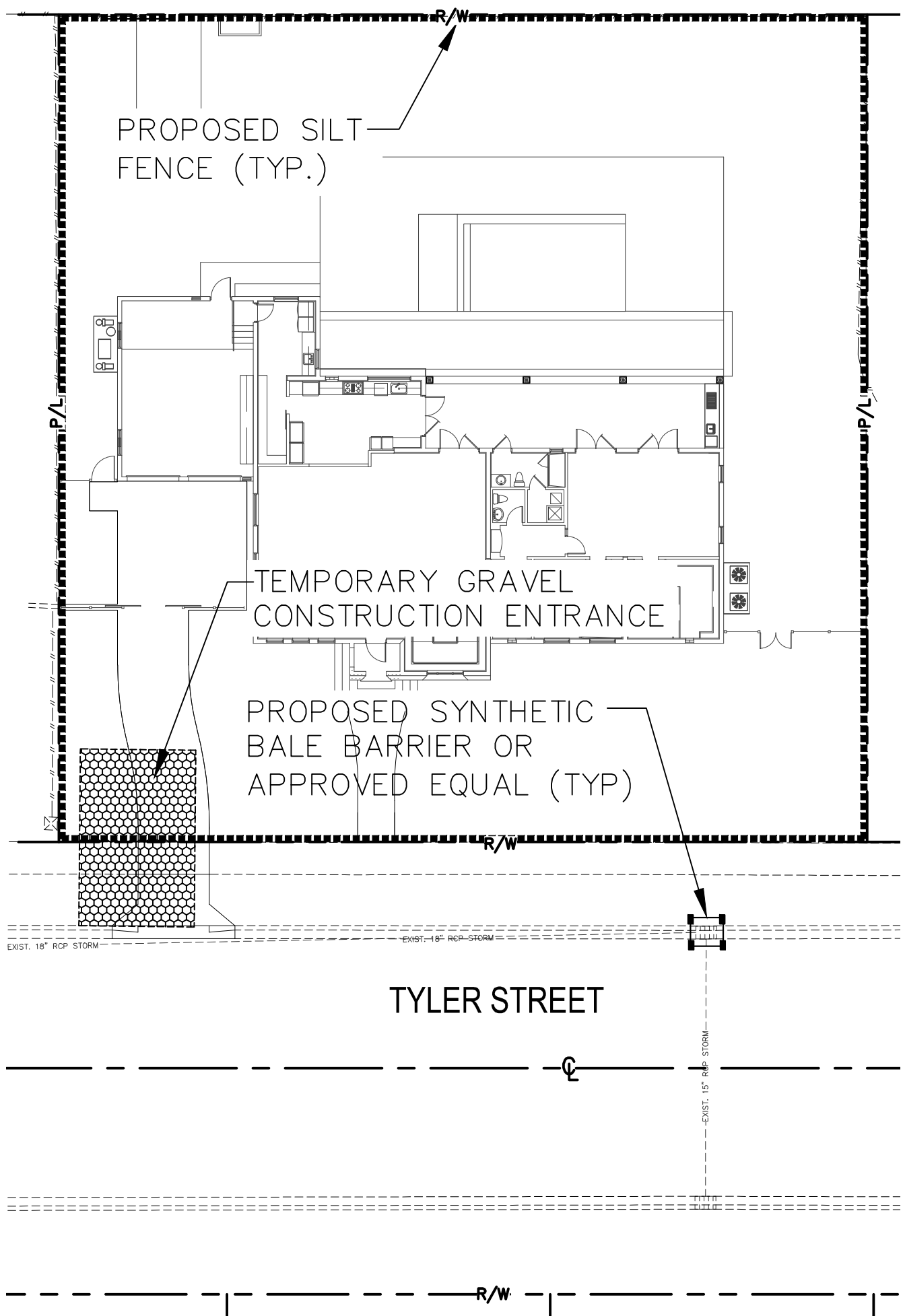
JOB NO.
210327

SHEET
P G & D

NOTES AND DETAILS

C-200

OF SHEETS



OVERALL PLAN

SCALE: 1" = 20'

LEGEND

- TYPE III FENCE AS PER FDOT INDEX NO. 102
- SYNTHETIC BALE BARRIER

NATURE OF ACTIVITY

THE PROJECT WILL DISTURB A 0.37 ACRE AND CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE.

THERE ARE NO NON-STORMWATER DISCHARGES ANTICIPATED.

GENERAL NOTES

THE CONTRACTOR SHALL OBTAIN A EROSION AND SEDIMENTATION CONTROL AGREEMENT FROM THE CITY OF HOLLYWOOD. THE CONTRACTOR SHALL EXECUTE THE WORK AUTHORIZED IN A MANNER SO AS TO MINIMIZE ANY ADVERSE IMPACT OF THE WORKS ON NATURAL ENVIRONMENTAL VALUES, WATER QUALITY, FISH, AND WILDLIFE. CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING FILL COMPACTION OF ANY FILL MATERIAL PLACED AROUND NEWLY INSTALLED STRUCTURES, TO REDUCE EROSION, TURBIDITY, NUTRIENT LOADING AND SEDIMENTATION ON THE RECEIVING WATERS. ANY EROSION SHOALING OR DELETERIOUS DISCHARGES DUE TO CONTRACTOR'S ACTIONS SHALL BE CORRECTED PROMPTLY.

FOR SITES THAT ARE 1 ACRE OR BIGGER, AT LEAST TWO DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL ISSUE A NOTICE OF INTENT (N.O.I.) TO THE FLORIDA DEP, IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.

A COPY OF THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NOTICE OF INTENT (N.O.I.) SHALL BE POSTED AT THE CONSTRUCTED SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING.

CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. IN PARTICULAR, SEDIMENT AND EROSION CONTROLS AND STORM WATER MANAGEMENT MEASURES SHALL BE STRICTLY FOLLOWED.

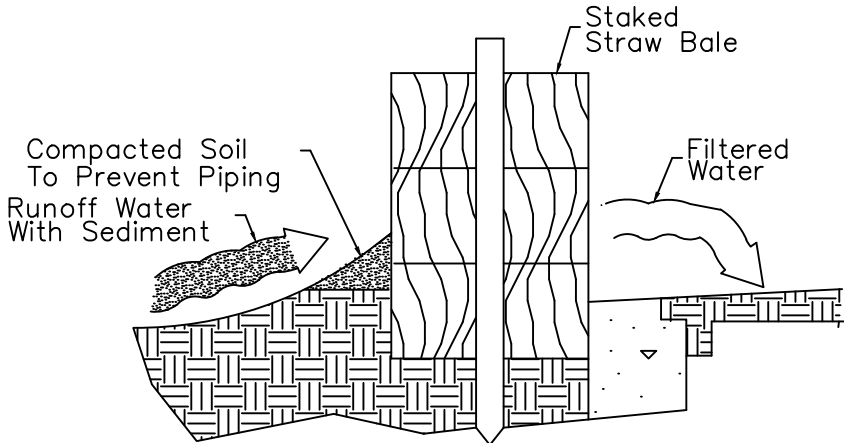
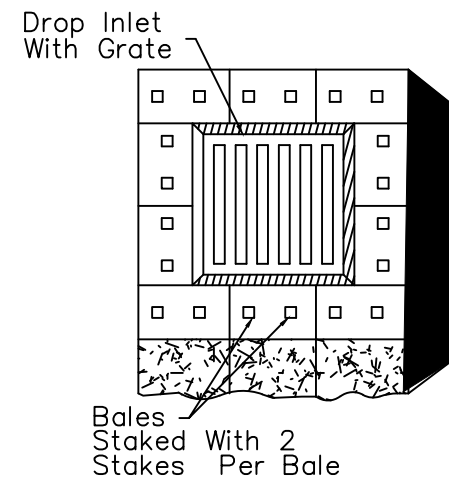
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION, SEDIMENTATION AND STORM WATER MANAGEMENT MEASURES FOR THE DURATION OF THE PROJECT. ONCE THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY STORM WATER MANAGEMENT MEASURES AND SHALL DISPOSE THEM ACCORDING TO CODE.

EROSION AND SEDIMENTATION CONTROLS

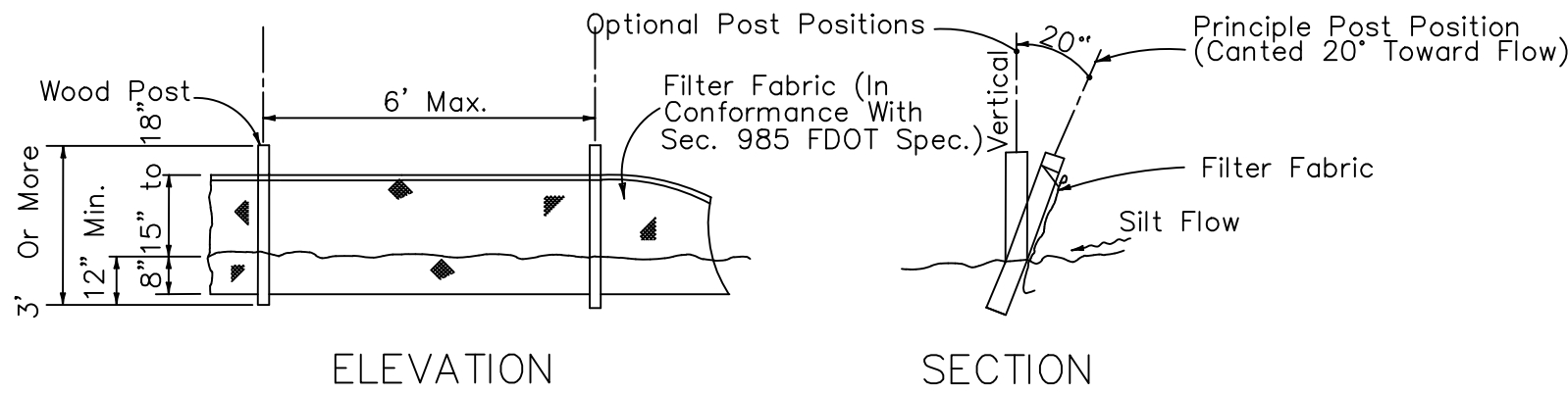
- CONTRACTOR SHALL INSTALL A TYPE III SILT FENCE, AS PER FDOT STANDARD INDEX NO. 102, AROUND THE LIMITS OF CONSTRUCTION PRIOR TO ANY DEMOLITION, FILLING OR GRADING OF ANY PORTIONS OF THE SITE.
- PROPOSED INLETS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF BY THE USE OF HAY BALES AS PER FDOT STANDARD INDEX NO. 102.
- A GRAVEL ACCESS ROAD SHALL BE CONSTRUCTED TO MINIMIZE THE EFFECTS OF TRUCK TRAFFIC AND SEDIMENTATION TRACKING BOTH ON AND OFF OF THE SITE.
- TOP OF SOIL PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE SEEDING SHALL BE RYE (GRAIN) APPLIED AT THE RATE OF 120 POUNDS PER ACRE. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 4,000 POUNDS OF STRAW PER ACRE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. SEEDING SHALL BE THE SAME AS IN TEMPORARY SEEDING.

OTHER CONTROLS

- ALL CONSTRUCTION WASTE MATERIAL SHALL BE COLLECTED AND STORED IN A SECURELY METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANANEMENT REGULATIONS. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATIONS.
- DUMP TRUCKS IMPORTING FILL MATERIALS TO THE SITE SHALL COVER THEIR LOADS WITH A TARPULIN TO AVOID UNNECESSARY GENERATION OF DUST.
- ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF AS PER LOCAL AND/OR STATE REGULATIONS OR AS RECOMMENDED BY THE MANUFACTURER. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- A STABILIZED CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE SHALL BE SWEEPED DAILY TO REMOVE ANY EXCESS OF MUD, DIRT, OR ROCK TRACKED FROM THE SITE.



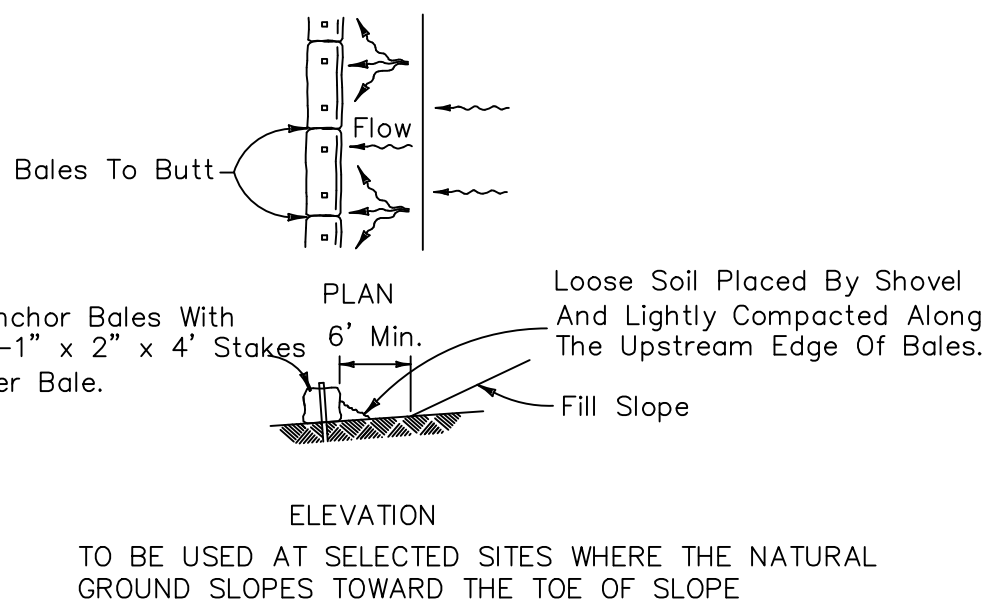
BALE INLET SEDIMENT FILTER



Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

TYPE III SILT FENCE DETAIL

(AS PER FDOT INDEX NO. 102)



BARRIERS FOR FILL SLOPES

(AS PER FDOT INDEX NO. 102)

MAINTENANCE AND INSPECTION PROCEDURES

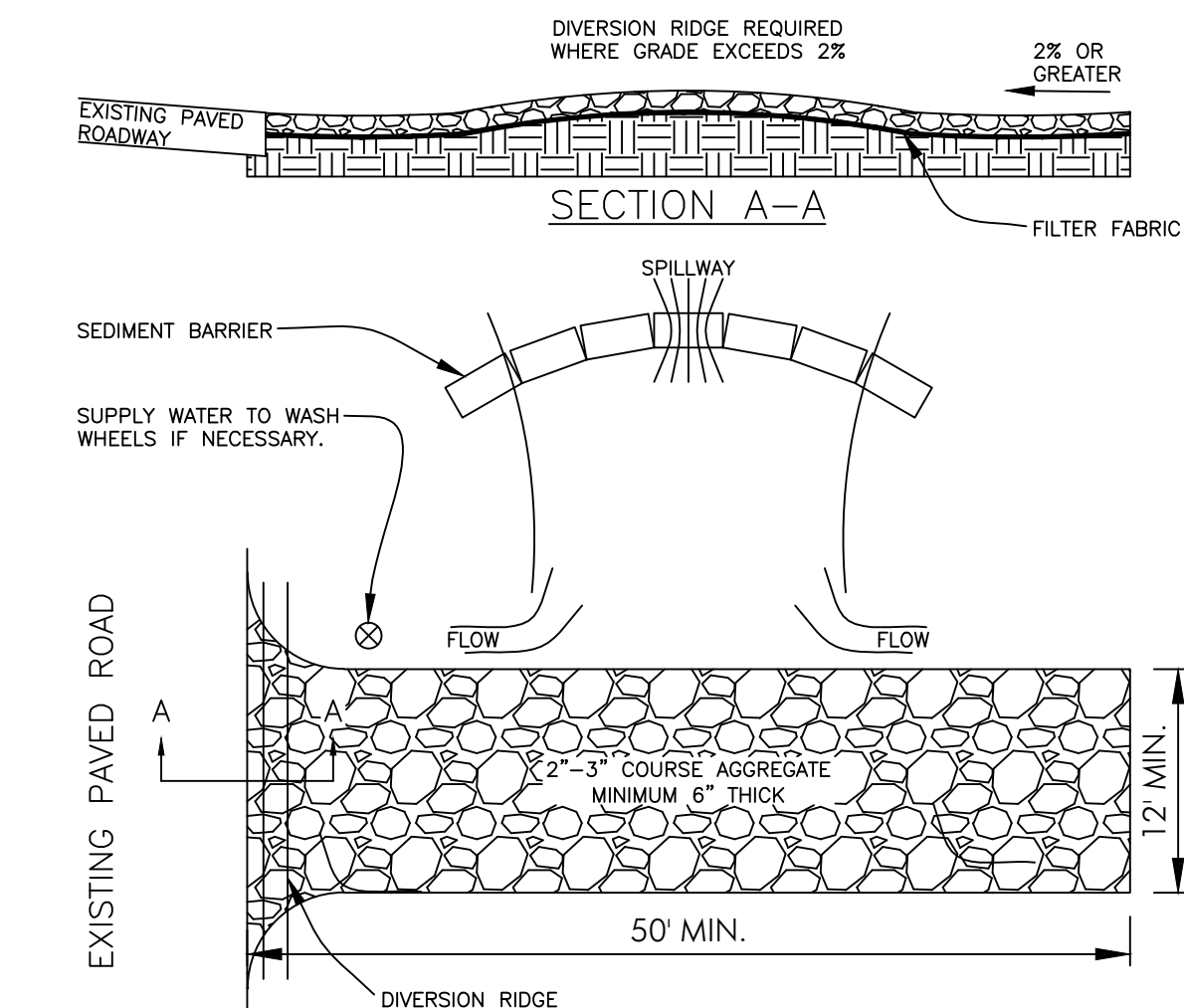
- THE GENERAL CONTRACTOR'S SITE SUPERINTENDENT SHALL SELECT A INDIVIDUAL WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION MAINTENANCE REPORT. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE PROPER TRAINING IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH. ALL CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE AREA THEY PROTECT HAS BEEN COMPLETELY STABILIZED AND THE CONSTRUCTION IS COMPLETE.
- BUILT UP SEDIMENT WILL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE THIRD OF THE HEIGHT OF THE FENCE.
- SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT. TEARS, IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND IF FENCE POSTS ARE FIRMLY IN THE GROUND.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- THE INSPECTOR SHALL RECORD ANY DAMAGES OR DEFICIENCIES IN THE CONTROL MEASURES ON AN INSPECTION REPORT FORM PROVIDED FOR THIS PURPOSE. THESE REPORTS SHALL DOCUMENT THE INSPECTION OF ALL POLLUTION PREVENTION MEASURES AND SHALL ALSO BE USED TO REQUEST MAINTENANCE AND REPAIR. THE CONTRACTOR SHALL CORRECT DAMAGE OR PROVIDE MAINTENANCE AS RECOMMENDED BY REPORT AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION. FAILURE TO DO SO SHALL BE REPORTED TO THE DEP.

SEQUENCE OF MAJOR ACTIVITIES

- INSTALL TYPE III SILT FENCE AT BOUNDARIES OF PROPOSED CONSTRUCTION.
- COMMENCE SITE CONSTRUCTION ACTIVITIES.
- AS PROPOSED INLETS ARE CONSTRUCTED, INSTALL SYNTHETIC SILT BARRIER.
- INSTALL TEMPORARY SEED AND MULCH IN AREAS WHERE CONSTRUCTION TEMPORARILY CEASES FOR AT LEAST 21 DAYS NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
- INSTALL PERMANENT SEEDING AND PLANTING IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY VEASED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
- REMOVE ACCUMULATED SEDIMENT.
- REMOVE TEMPORARY POLLUTION PREVENTION MEASURES AFTER ALL CONSTRUCTION ON SITE HAS BEEN COMPLETED AND DISPOSE OF ACCORDING TO CODE.

NOTES FOR SYNTHETIC BALES OF BALE TYPE BARRIERS

- TYPE 1 AND 2 SYNTHETIC BARRIER SHOULD BE SPACED IN ACCORDANCE WITH CHART 1, SHEET 1 PER INDEX 102 OF THE 2010 FDOT DESIGN STANDARDS.
- BALES SHALL BE ANCHORED WITH 2-1" x 2" (FOR 1" DIA.) x 4" WOOD STAKES. STAKES OF OTHER MATERIAL OR SHAPE PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER. STAKES OTHER THAN WOOD SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
- RAILS AND POSTS SHALL BE 2" x 4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.
- ADJACENT BALES SHALL BE BUTTED FIRMLY TOGETHER.
- WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.



- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OR-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING T.G.C.E. AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED.
- A SOIL TRACKING PREVENTION DEVICE (STPD) IS AN ACCEPTABLE ALTERNATIVE TO THIS DETAIL. REFERENCE FDOT INDEX 106 FOR DETAILS.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

REVISIONS	No.

20100 n.e. 21 avenue
no. miami beach, fl 33179

(305) 932-5200

roger piper
architect, inc.

n.c.s.r.b. certified • a.i.a. associate

or 13039

TERRA
CIVIL ENGINEERING

4011 w. flagler st., ste 404
miami florida 33134
ph: 305 499-5010
cert. of authorization # 27209

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CUSTOM RESIDENCE FOR:
MR. & MRS JOHN GOYMER
1049 TYLER STREET
HOLLYWOOD, FLORIDA

DRAWN
M.O.

CHECKED
R.P.

DATE
4-30-21

SCALE
AS SHOWN

JOB NO.
210327

SHEET
POLLUTION
PREVENTION PLAN
C-300

OF SHEETS

DRAINAGE REPORT

FOR

GOYMER RESIDENCE

@

1049 TYLER STREET

HOLLYWOOD, FL 33019

Prepared by:



Florida Certificate of Authorization No: 27209

4011 West Flagler Street, Ste 404
Miami, Florida 33126

June 2, 2021

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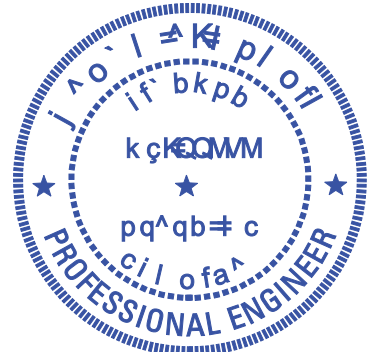


Table of Contents

- **EXECUTIVE SUMMARY**
- **PROJECT DETAILED INFORMATION DESCRIPTION**
- **SOIL STORAGE CAPACITY CALCULATIONS**
- **TOTAL VOLUME OF RUNOFF GENERATED**
- **RETENTION VOLUME PROVIDED IN SWALES**
- **DRAINAGE MAP**

EXECUTIVE SUMMARY

The proposed project consists of demolishing the existing house and the construction of a new residence. The site is designed to retain, on-site, the volume of runoff generated during the first inch of rainfall. The proposed site retention areas and swales can retain that runoff volume. The calculations follow the methodology recommended by the SFWMD in their publication "Management and Storage of Surface Waters, Permit Information Manual, Volume 4.

LAND USE INFORMATION

Total Basin Area	=	16,000 sf
Total Impervious Area	=	7,160 sf
Total Pervious Area	=	8,840 sf

Assumptions: Average Grade Elevation = 1.20' NAVD
 Assumed Water Table = 1.00' NAVD



Date: 6/2/2021
Document: Residential Drainage Calculation
Project Address: 1049 TYLER STREET
Project Name: GOYMER RESIDENCE

Summary

Definitions		Project Information	Comments
I	One inch (1") of rainfall	1.00	
S	Soil storage capacity (compacted) (in)	0.05	
A	Site total cont. area (sf)	16,000	
Perv	Pervious area - grass, gravel... - (sf)	8,840	
Imp	Impervious area - roof, pavement, walkways, decks,	7,160	
R	Run off depth (in)	0.94	
V	Volume of runoff (cubic feet)	1,257	
WE	Compacted water storage (in)	0.09	
AEPA	Average elevation of Pervious Areas (ft)	1.20	
HGWE	High ground water elevation (ft)	1.00	
DW	Distance between Avg Elevation of Pervious Areas and the High Ground Water Elevation	0.20	AEPA - HGWE = Depth to Water table - DW

Project detailed information:

Impervious areas		Description	Pervious areas		Description
Imp_1	7,160	bldg, driveway & decks (Average)	Per_1	8,840	green area (less drainfield)
Imp_2		drainfield area	Per_2		
Imp_3			Per_3		
Imp_4			Per_4		
Tot_Imp =	7160		Tot_Per =	8840	



4011 West Flagler Street, Suite 404
 Miami, Florida 33134, (305) 499-5010
 CA No. 27209

Soil Storage Capacity Calculations (S)

Depth to Water Table	WE Compacted Water Storage (in)
1	0.45
2	1.88
3	4.95
4	8.18

$$S = \frac{\text{Pervious Area} * WE}{\text{Site Total Area}}$$

$$S = \frac{8,840}{16,000} = 0.09$$

WE = 0.09	S = 0.05
------------------	-----------------

Runoff Depth Calculation (R)

$$R = \frac{(I - 0.2 * S)^2}{(I + 0.8 * S)}$$

$$R = 0.94 \text{ in}$$

Volume of Runoff (V)

NOTE: The volume of runoff generated during a 1-inch intensity storm (V) must be contained within the property boundaries

$$V = A * R / 12$$

$$V = 1,257 \text{ Cubic feet}$$

Volume of retention provided

NOTE: The retention volume provided must be larger than retention volume generated. Retention volume provided on swales, retentions areas, drains within property, etc.

Volume of swales

Retention	A1 (Ft^2)	Ao (Ft^2)	A average (Ft)	h (ft)	Volumen (Ft^3)
1	4662	2903	3782.50	0.5	1891
2	0	0	0.00	0	0
3	0	0	0.00	0	0
			0.00		0
				Total	1891

Volume of runoff

<

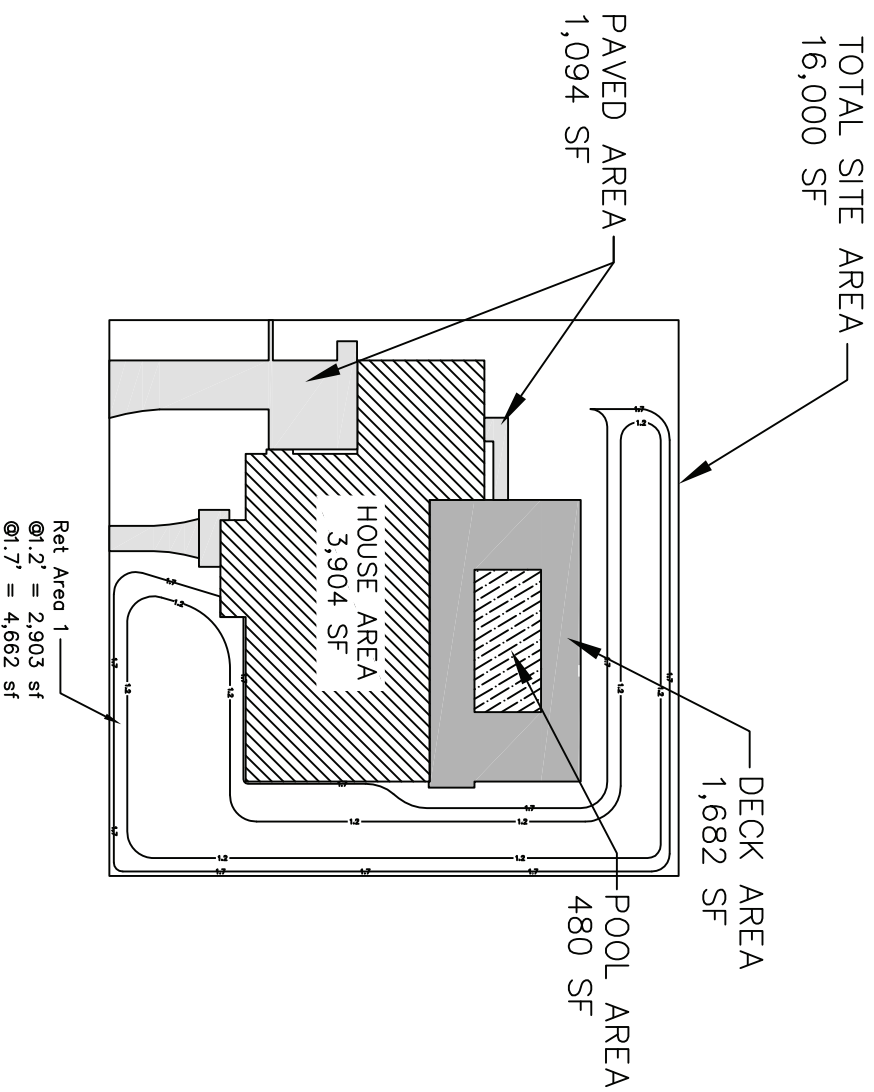
Volume of Retention

Conclusion

Volume provided the by retention areas (cf) =	1,891
Volume of runoff (cf) =	1,257

The volume provided in the retention areas (1,891 cf) is bigger than the runoff volume generated by the first inch of rainfall (1,257 cf). Therefore the entire runoff volume will be contained within the property.

DRAINAGE MAP



HOUSE AREA 3,904 SF

PAVED AREA 1,094 SF

DECK AREA 1,682 SF

POOL AREA 480 SF

TOTAL IMPERVIOUS AREA 7,160 SF

GREEN AREA 8,840 SF

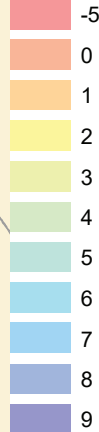
TOTAL PERVIOUS AREA 8,840 SF

TOTAL AREA 16,000 SF

Future Conditions Average Wet Season Groundwater Elevation Map

DRAFT 4.0
05/05/2017

Groundwater Table Elevation (feet, NAVD 1988)



**PROJECT LOCATION
FUTURE WT= 1.0' NAVD**

0 1 2
Miles

Division Name: Environmental Planning and Community Resilience
Department Name: Environmental Protection and Growth Management

Miami-Dade County

USGS - United States Geological Survey
COAPS - Center for Ocean-Atmospheric Prediction Studies
CCSM - Community Climate System Model
USACE - United States Army Corps of Engineers
NRC3 - National Research Council Curve 3
NAVD 88 - 1988 North American Vertical Datum

The map represents the expected future average wet season groundwater elevations for Broward County. The average is based on model outputs for the months of May through October over the period of 2060-2069. The models used are The Broward County Inundation Model and the Broward County Northern Variable Density model, both developed by the USGS and MODFLOW based. The future conditions that are modified in the models are both precipitation and sea level rise. The future precipitation pattern is based on the COAPS downscaled CCSM global model and represents an increase of 9.1% rainfall from the base case of 1990-1999 (53.4 in/yr to 58.2 in/yr). Sea level rise was based on the USACE NRC3 curve which equates to an increase of 26.6 to 33.9 inches to the future period from 1992 levels. Final results are presented in NAVD 88.

This map is for planning purposes and should not be used for legal boundary determinations.

ATTACHMENT B

Aerial Photograph

1049 TYLER STREET

