

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 9.21.20

Location Address: 5904 PIERCE STREET
Lot(s): 1 & 2 Block(s): 19 Subdivision: HOLLYWOOD BEACH GARDENS.
Folio Number(s): 5143-02-1910
Zoning Classification: CLP Land Use Classification: TRANS. ORIENT. CORR.
Existing Property Use: VACANT LOT Sq Ft/Number of Units: 27,121/18 U.
Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 18 UNITS/RETAIL Sq Ft 27,121
Value of Improvement: \$ 2 M. Estimated Date of Completion: 2021
Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: ACM INVESTMENT GROUP LLC.
Address of Property Owner: 7111 TAFT STREET HOLLYWOOD, FL.
Telephone: (754) 816-5911 Fax: _____ Email Address: ORNAELI@gmail.com
Name of (Consultant/Representative/Tenant (circle one)): PATRICK VALENT, RA.
Address: 14068 NW 82 AVE MIAMI LAKES Telephone: (305) 429-6266
Fax: _____ Email Address: PATRICK@VALENTTDG.COM

Date of Purchase: 10/18/15 Is there an option to purchase the Property? Yes () No (✓)
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Fuat Ornarli & JAMIE AKERS. Address: 7111 TAFT ST. HOLLYWOOD, FL.
Email Address: CEMIL72@hotmail.com
ornarli@gmail.com

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: ACM Investment Group LLC Date: _____

PRINT NAME: Fuat Ornarli Date: 9-18-20

Signature of Consultant/Representative: [Signature] Date: 9-18-20

PRINT NAME: Patrick Valent Date: 9-18-20

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

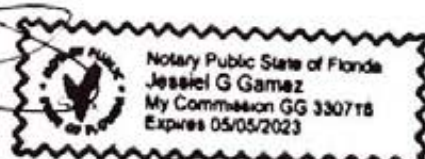
I am the current owner of the described real property and that I am aware of the nature and effect the request for construction to my property, which is hereby made by me or I am hereby authorizing PATRICK VALENT to be my legal representative before the TAC (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 19 day of October

[Signature]
Notary Public

State of Florida

My Commission Expires: 05/05/2023 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



[Signature]

Signature of Current Owner

Fuat Ornarli

Print Name

5904 PIERCE STREET - LEGAL DESCRIPTION

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 19, CORRECTED PLAT HOLLYWOOD BEACH GARDENS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, AT PAGE 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LYING AND BEING IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

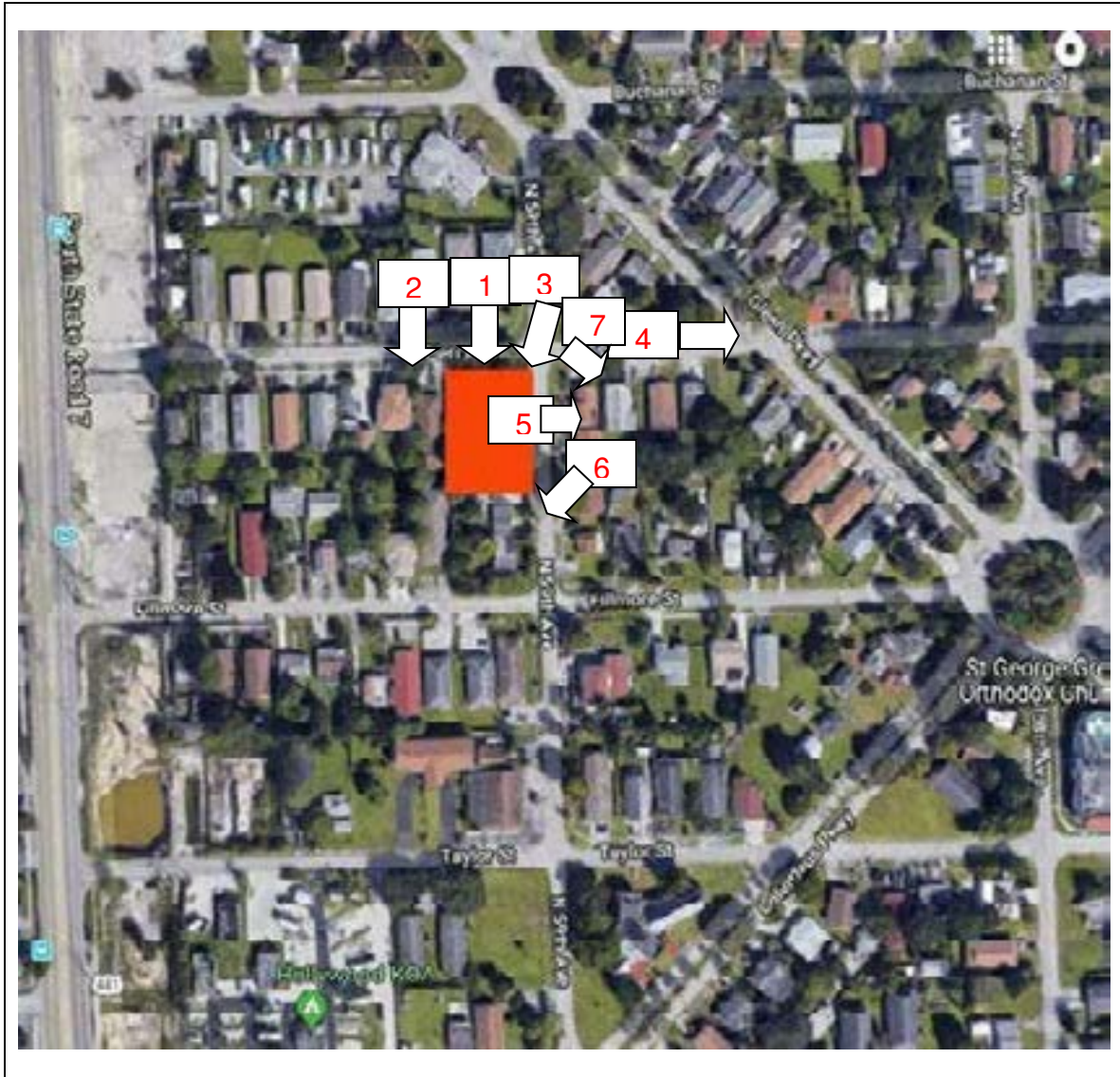
ACM INVESTMENT GROUP, LLC.

7111 TAFT STREET HOLLYWOOD, FL 33024
T/F: (754) 816-5911 info@acminvestmentgroup.com

Project: **PIERCE LOFTS**

Lot location: SW corner of Pierce Street and NW 59th Ave. Hollywood

The photos taken on 9-25-2020 around the subject lot.



The photos taken on 9-25-2020 around the subject lot.



1- From Pierce Street (North of the lot)



2- From Pierce Street (West neighbor)



3- From Pierce-N 59th Street junction (Towards East)



4- From Pierce Street (Towards West)



5- From N 59TH Ave (Towards East)



6- From N 59TH Ave (Towards South)



7- From Pierce Str-N 59TH Ave Junction (Towards South-East)



PATRICK VALENT
AIA 13026

4400 N.W. 12th Ave.
Miami, FL 33150
305.439.1200
PATRICKVALENT.COM

September 25, 2020

City of Hollywood
Planning & Zoning Department
2400 Hollywood Blvd
Hollywood, FL 33022

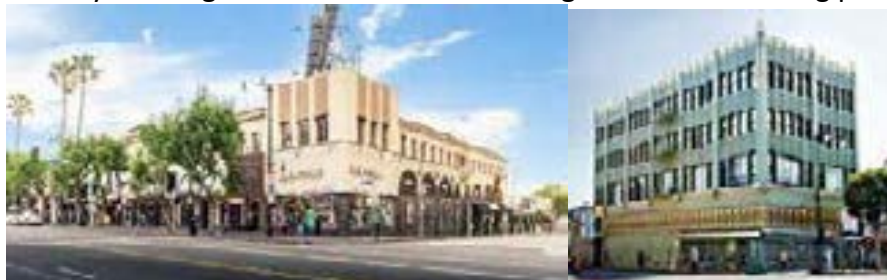
Re: **5904 Pierce Street**
Planning & Development Board
Criteria Statement

(1) Architectural and Design components.

The Architectural approach to the design of the building was intended to take advantage of the intersection of Pierce Street and 59th avenue by creating an entrance tower for both the ground floor retail and upper living units on the corner. We then created a pedestrian friendly storefront along 59th Avenue that serves as a building buffer while screening the parking and “back of house” functions from the public. We then stepped the living units back from the road as the building goes up to make sure the massing would not overwhelm the sidewalk while still maintaining the corner focus element. The finishes are simple and consistent with typical Hollywood architecture. Stucco on block with vertical elements that are pulled from mid-century design features.

(2) Compatibility.

Our approach to the compatibility was to create a building with simple massing while adding the vertical elements similar to many of the Hollywood historic and mid-century buildings like the Cherokee Building and Shane building pictures herein.



(3) Scale/Massing.

Our approach to scale / massing was to follow the new guidelines set by the city planning department which proposes to create a liner of retail or office space that is used to screen the parking. This lower level base massing maximizes the ground level setbacks and allows for the upper levels to set back to create the step back effect that is recommended by the planning department.

(4) Landscaping.

Our approach to landscaping was first to preserve and maintain any existing mature trees wherever possible. We then attempted to use low height native species at a lower ground level to create a buffer or edge at the retail storefront and then adding layer of shade and palm trees to line both 59th Avenue and Pierce Street to create the pedestrian corridor.

Regards,

Patrick S
Valent



Digitally signed
by Patrick S
Valent
Date:
2020.09.28
08:52:28 -04'00'

Patrick Valent, RA

PRELIMINARY TAC MEETING = Jan 22 - 2019
FINAL TAC MEETING = May 6 - 2019
FINAL TAC MEETING (Revised) = Jan 13 - 2020
PLANING AND DEVELOPMENT BOARD = Nov 10 - 2020

Proposed Mixed Use Development:

Pierce Street

5904 PIERCE STREET
HOLLYWOOD, FL 33021

GROUND LEVEL

South Vertical Circulation	=	204 SF.	}	(Building - Ground Level = 2,833 sf.)
North Vertical Circulation	=	241 SF.		
Equipment and Storage	=	120 SF.		
Retail Area (restroom)	=	2,087 SF.		
Lobby	=	181 SF.		
Walkway	=	628 SF.		
Vehicular use area (parking)	=	7,554 SF.		

2nd LEVEL

South Vertical Circulation	=	204 SF.	}	(Building - 2nd Level = 8,623 sf.)
North Vertical Circulation	=	230 SF.		
Circulation/storage	=	1,234 SF.		
Units Area	=	5,589 SF.		
Balconies	=	1,372SF.		

3rd LEVEL

South Vertical Circulation	=	204 SF.	}	(Building - 3rd Level = 8,117 sf.)
North Vertical Circulation	=	230 SF.		
Circulation/storage	=	1,234 SF.		
Units Area	=	5,589 SF.		
Balconies	=	866 SF.		

4th LEVEL

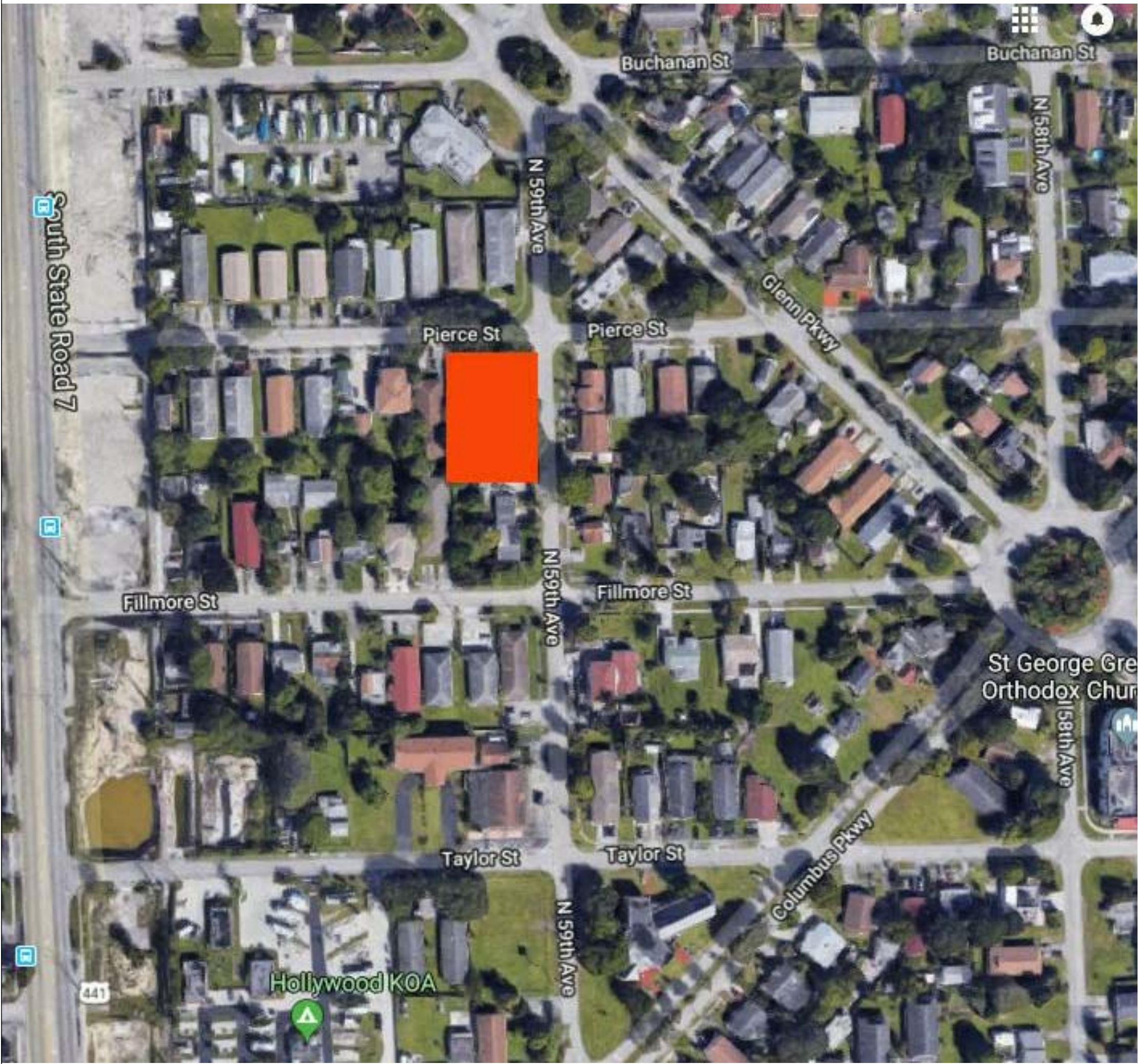
South Vertical Circulation	=	204 SF.	}	(Building - 3rd Level = 8,117 sf.)
North Vertical Circulation	=	230 SF.		
Circulation/storage	=	1,234 SF.		
Units Area	=	5,589 SF.		
Balconies	=	866 SF.		

TOTAL BUILDING AREA = 35,244 SF.

PERVIOUS	=	3,894 SF.
IMPERVIOUS	=	11,015 SF.
LOT AREA	=	14,909 SF.

Patrick S. Valent
Digitally signed by Patrick S. Valent
Date: 2020.10.16 15:30:22 -04'00'

LOCATION PLAN



PROPERTY SUMMARY

LATITUDE: 26 deg. 00'52.74" W
LONGITUDE: 80 deg. 12'21.58" W
ZONING JURISDICTION: CITY OF HOLLYWOOD

FOLIO #: 5141 1302 1910
GROUND FLOOR
2,087 SQ. SF OFFICE
34 PARKING SPACE

RESIDENTIAL 18 UNITS

- SECOND FLOOR
(1) 1 BEDROOM - 1 BATH
(3) 2 BEDROOM - 2 BATH
(2) 3 BEDROOM - 2 BATH
- THIRD FLOOR
(1) 1 BEDROOM - 1 BATH
(3) 2 BEDROOM - 2 BATH
(2) 3 BEDROOM - 2 BATH
- FORTH FLOOR
(1) 1 BEDROOM - 1 BATH
(3) 2 BEDROOM - 2 BATH
(2) 3 BEDROOM - 2 BATH
- ROOF
CONDENSERS UNITS

CURRENT LAND USE:

- C-LP (MIXED USED) RESIDENTIAL/OFFICE
- LAND USE DESIGNATION TRANSIT ORIENTED CORRIDOR

DESIGN CRITERIA

- ALL NEW BUILDING AND STRUCTURES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2017 EDITION OF THE FLORIDA BUILDING CODE

- NEW 3 STORY CONDOMINIUM

All work shall comply as follows:

- 2017. (6TH EDITION) Florida Building Code - Residential
- 2017. (6TH EDITION) Florida Building Code - Mechanical
- 2017. (6TH EDITION) Florida Building Code - Plumbing
- 2017. National Electric Code - NFPA 70
- 2017. Florida Fire Prevention Code
- 2017. Florida Building Code - Energy Conservation

CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

- CONTRACTOR SHALL NOTIFY OWNER FOR ACCESS TO SITE.

FIRE NOTES:

- FIRE STOPPING REQUIREINFP PER NFPA 1-12.3.2
- A KNOX BOX WILL BE REQUIRED FOR AFTER HOURS ACCESS.

DESIGN TEAM

ARCHITECT:
VALENT ARCHITECT

14068 NW 82nd Ave.
MIAMI LAKES, FL 33016
(305) 439-6266
FL CA #AA26003007

CIVIL ENGINEER:
MR ENGINEERING CONSULTANTS INC.

10031 PINES BLVD SUITE 237
PEMBROKE PINES, FLIRDA 33021
(954) 364-8355

LANDSCAPE ENGINEER:

C. Miguel Juncal, RLA

Juncal Design Studio, LLC.
Phone: 786-577-2034
email: juncaldesignstudio@gmail.com

PROJECT CONTACTS

7111 TAFT STREET
HOLLYWOOD, FL 33024
PH: (754) 816-5911

INDEX OF DRAWINGS

Sheet No.	Sheet Name
T-1	COVER SHEET
T-2	RENDERING
C-1	Paving andSURVEY.
C-2	Paving and Drainage Details
C-3	Water Service Details and Notes
LND-1	Landscape Detail
LNP-1	Landscape Plan
TDP-1	Disposition Tree Plan
IND-1	Irrigation Notes and Details
IRR-1	Irrigation Plan
A-0.0	Site Details
A-0.1	Site Details
A-0.2	Site Plan
A-1	1st Level Floor Plan
A-2	2nd Level Floor Plan
A-3	3rd Level Floor Plan
A-4	4th Level Floor Plan
A-5	Roof Plan
A-6	Front Elevation (East)
A-7	Right Elevation (North)
A-8	Rear Elevation (West)
A-9	Left Elevation
A-10.01	Enlarged Unit "A"
A-10.02	Enlarged Unit "B"
A-10.03	Enlarged Unit "C"
A-10.04	Enlarged Unit "D"
A-10.05	Enlarged Unit "E"
A-10.06	Enlarge Unit "F"

Proposed Mixed Use Development:

Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

No	Description	Date
4	TACComments	8-03-20

COVER SHEET

T-1

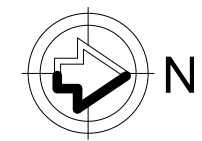


5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY - TAC		JAN-07-2019
No.	Description	Date
	Comments	10-12-20

T-2

10/14/2020 2:14:49 PM



(1)

LEGEND AND ABBREVIATIONS

CONCRETE POLE

CONCRETE POWER POLE

CONCRETE LIGHT POLE

ALUMINUM POLE

ALUMINUM LIGHT POLE

WOOD POLE

WOOD POWER POLE

WOOD LIGHT POLE

TRAFFIC BOX

STREET LIGHT BOX

PHONE BOX

IRRIATION BOX

ELECTRIC BOX

COMMUNICATION BOX

CABLE T.V. BOX

UNKNOWN BOX

TRAFFIC CONTROL BOX

CLEANOUT

BOLLARD

ARM GATE

ANCHOR

WATER METER

IRRIGATION METER

GAS METER

ELECTRIC METER

SQUARECOLUMN

ROUND COLUMN

MAIL BOX

IRRIGATION PUMP

GP

GUARD POST

GROUND LIGHT

FLAG POLE

DRAINAGE WELL

SQUARE DRAINAGE

P6 INLET

P5 INLET

CURB INLET

CIRCULAR DRAINAGE

CATCH BASIN

ACCESS MANHOLE

TRAFFIC SIGNAL POLE

TRAFFIC SIGN

PEDESTRIAN CROSS SIGNAL

PAVEMENT ASPHALT

C&G

V.G.

HANDICAP PAINT MARK

BABY STROLLER PAINT MARK

UNKNOWN MANHOLE

WATER MANHOLE

SEWER MANHOLE

PHONE MANHOLE

IRRIGATION MANHOLE

GREASE TRAP MANHOLE

GAS MANHOLE

FORCEMAIN MANHOLE

ELECTRICITY MANHOLE

DRAINAGE MANHOLE

COMMUNICATION MANHOLE

BELL SOUTH MANHOLE

PARKING METER

PARKING KIOSK

WATER VALVE

SEWER VALVE

IRRIGATION VALVE

GAS VALVE

FORCE MAIN VALVE

VACUUM BREAKER ASSEMBLY

SIAMSE CONNECTION

POST INDICATOR VALVE

FIRE HYDRANT

DOUBLE DETECTOR CHECK VALVE

BACK FLOW PREVENTOR

PROPERTY LINE

CENTERLINE

RIGHT-OF-WAY

RADIUS

DELTA ANGLE

ARC DISTANCE

PERMANENT CONTROL POINT

PERMANENT REFERENCE MONUMENT

PLAT BOOK AND PAGE

OVERHEAD UTILITY WIRES

OFFICIAL RECORDS BOOK

CONCRETE BLOCK STRUCTURE

CHARLINK FENCE

WOOD FENCE

FOUND IRON PIPE

FOUND NAIL & BRASS DISC

CLEAR ENCROACHMENT

DEED OR LEGAL DISTANCE

MEASURED DISTANCE

RECORD OR PLATTED DISTANCE

RECORD CALCULATED

UTILITY EASEMENT

C&G

V.G.

CONCRETE

LOCATION MAP

BUCHANAN STREET

GLENN PARKWAY

PIERCE STREET

FILMORE STREET

NORTH 59 AVENUE

SUBJECT PROPERTY

A PORTION OF SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SCALE 1"=300'

PROPERTY INFORMATION

PROPERTY ADDRESS:

5904 PIERCE STREET

HOLLYWOOD FL 33021.

PROPERTY FOLIO NUMBER:

5141-13-02-1910

CERTIFY TO:

ACM INVESTMENT GROUP LLC.

DATUM AND BENCHMARKS

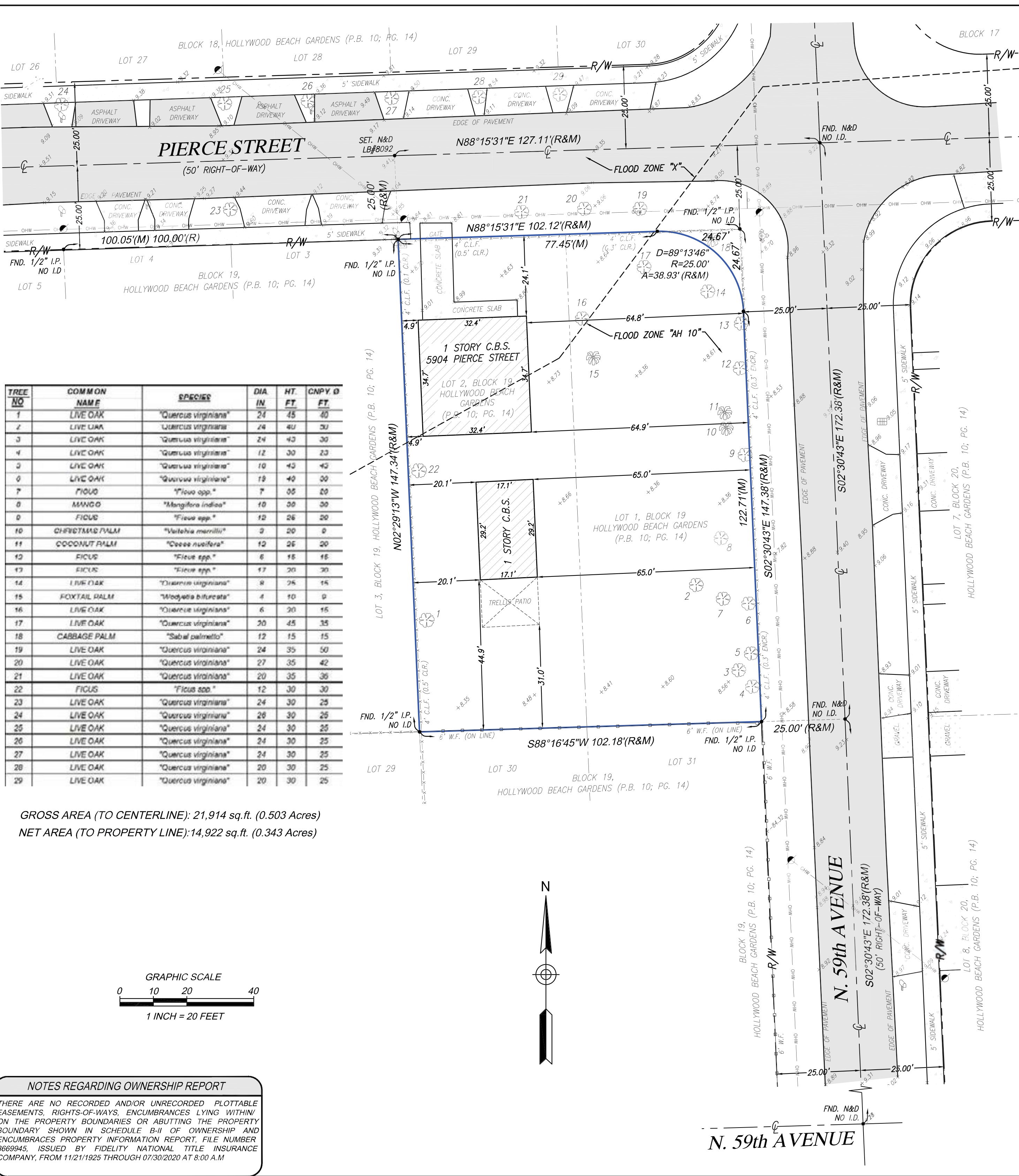
ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (N.G.V.D. 1988) AND ARE EXPRESSED IN FEET.

BENCHMARK: 1852, ELEVATION: 8.624' (N.A.V.D 1988)
DESCRIPTION: A C&G BM DISC, 37" SOUTH OF THE CENTERLINE OF HOLLYWOOD BOULEVARD; 1.5' NORTH OF A CONCRETE LIGHT POLE, 2'NORTHWEST OF A METAL WITNESS POST, ABOUT LEVEL WITH THE BOULEVARD, SET IN THE TOP OF A CONCRETE POST FLUSH WITH THE GROUND.

POSSIBLE CROSSES

4' CHAIN LINK FENCE AT EAST SIDE, CROSSES FROM SUBJECT PROPERTY ONTO ADJOINING LANDS

THERE ARE NO ADDITIONAL OBSERVED POSSIBLE ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.



GROSS AREA (TO CENTERLINE): 21,914 sq.ft. (0.503 Acres)
NET AREA (TO PROPERTY LINE):14,922 sq.ft. (0.343 Acres)

NOTES REGARDING OWNERSHIP REPORT

THERE ARE NO RECORDED AND/OR UNRECORDED PLOTTABLE EASEMENTS, RIGHTS-OF-WAYS, ENCUMBRANCES LYING WITHIN/ ON THE PROPERTY BOUNDARIES OR ABUTTING THE PROPERTY BOUNDARY SHOWN IN SCHEDULE B-II OF OWNERSHIP AND ENCUMBRANCES PROPERTY INFORMATION REPORT, FILE NUMBER 8669945, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, FROM 11/21/1925 THROUGH 07/30/2020 AT 8:00 A.M

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR:

ACM INVESTMENT GROUP LLC

LYING AND BEING IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

J.Hernandez & Associates Inc

LAND SURVEYORS AND MAPPERS

CERTIFICATE OF AUTHORIZATION No. LB8092

4805 NW 79th AVE. SUITE #9, MIAMI, FL 33166

(P) 305-526-0606 (E) info@jhasurveys.com

DRAWN BY: M.J.M.

DATE: 01/31/19

CHECKED BY: J.G.H.

DATE: 01/4/19

JOB NUM.: 151554

F.B. MD-12, PG. 8

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 19, CORRECTED PLAT HOLLYWOOD BEACH GARDENS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, AT PAGE 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LYING AND BEING IN SECTION 13, TOWNSHIP 51 SOUTH, RANGE 41 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. FIELD SURVEY WAS COMPLETED ON: JANUARY 3th, 2019.

2. LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT.

3. SUBJECT PROPERTY AREA: 14,922± SQ.FT. (0.343 ACRES)

4. BEARINGS BASED ON AN ASSUMED BEARING OF S02°30'43"E ALONG THE CENTERLINE OF N. 59th AVENUE.

5. DISTANCES ALONG BOUNDARY LINES, AS SHOWN HEREON, ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.

6. INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.

7. UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.

8. ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.

9. SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM PIERCE STREET, A PUBLIC DEDICATED RIGHT-OF-WAY.

10. THIS ALTA/NSPS LAND TITLE SURVEY REFLECTS PLOTTABLE EASEMENTS AND RIGHTS-OF-WAYS SHOWN IN SCHEDULE B-II OF OWNERSHIP AND ENCUMBRANCES PROPERTY INFORMATION REPORT, FILE NUMBER 677403, ISSUED BY ATTORNEYS' TITLE FUND SERVICES, LLC, HAVING AN EFFECTIVE DATE FROM JUNE 15, 2018 AT 2:28 P.M. TO DECEMBER 31, 2018 AT 11:00 P.M.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN FEDERAL FLOOD ZONE "X" AND "AH" ELEVATION 10 FEET, AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12011C0564H, DATED AUGUST 18th, 2014.

ELEVATION REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 AND IS EXPRESSED IN FEET.

REVISIONS

DATE	JOB No.	REV.	BY:
01/23/19	N/A	REV. PER CITY COMMENTS (01/22/19)	J.G.H.
09/02/20	N/A	NOTES REGARDING OWNERSHIP REPORT	J.G.H.

SURVEYOR'S CERTIFICATION:

THIS IS CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7, 8, 9, AND 11 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 3, 2019.

I HEREBY CERTIFY THAT THIS "ALTA/NSPS LAND TITLE SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

Digitally signed by Jose G. Hernandez
DN: c=US, st=Florida, l=Doral, ou=Land Surveying, o=J.Hernandez and Associates, Inc., cn=Jose G. Hernandez, email=jhernandez@jhasurveys.com
Date: 2020.09.03 06:17:49 -0400

THIS CERTIFICATE DOES NOT CONSTITUTE ANY UNNAMED PARTIES

JOSE G. HERNANDEZ

LICENSE

NO. 6952

STATE OF FLORIDA

PROFESSIONAL SURVEYOR AND MAPPER

BY: JOSE G. HERNANDEZ, PRESIDENT

PROFESSIONAL LAND SURVEYOR NO. 4008

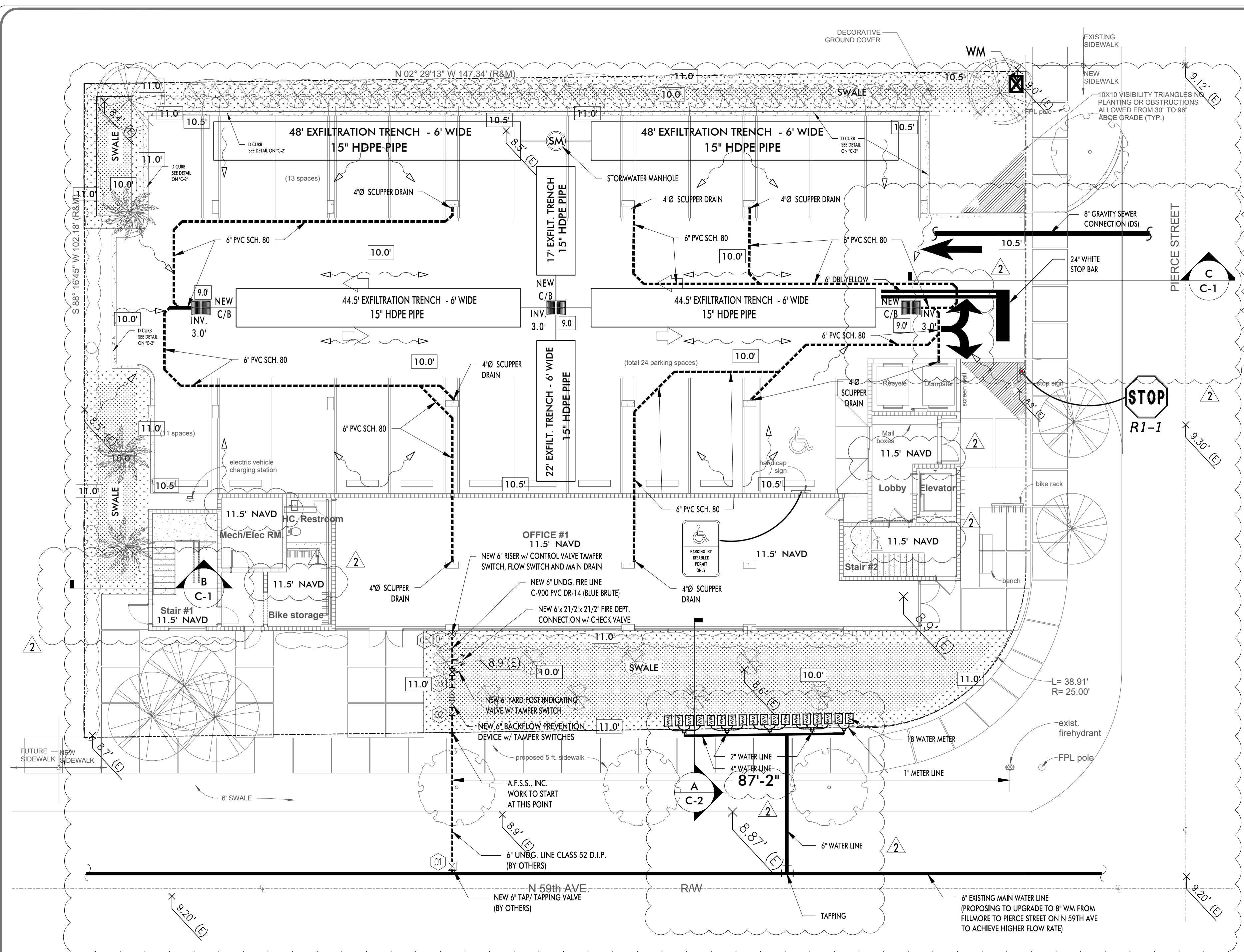
STATE OF FLORIDA.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THIS IS A BOUNDARY SURVEY

PROJECT NUMBER: BC-160

SHEET NUMBER: 1 OF 1



POST DEVELOPMENT
SCALE: 1"=10'

FBC 2017 6TH EDITION

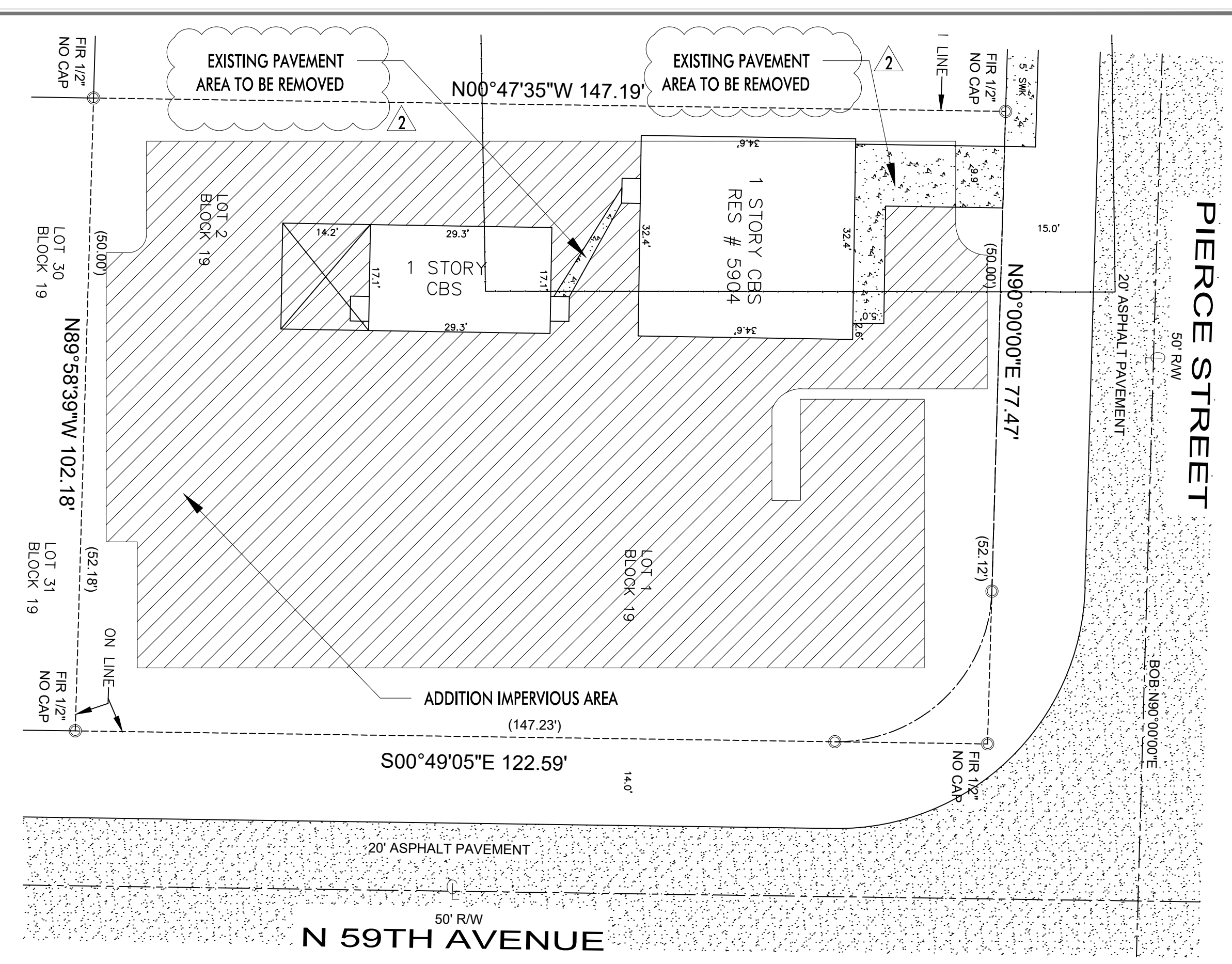
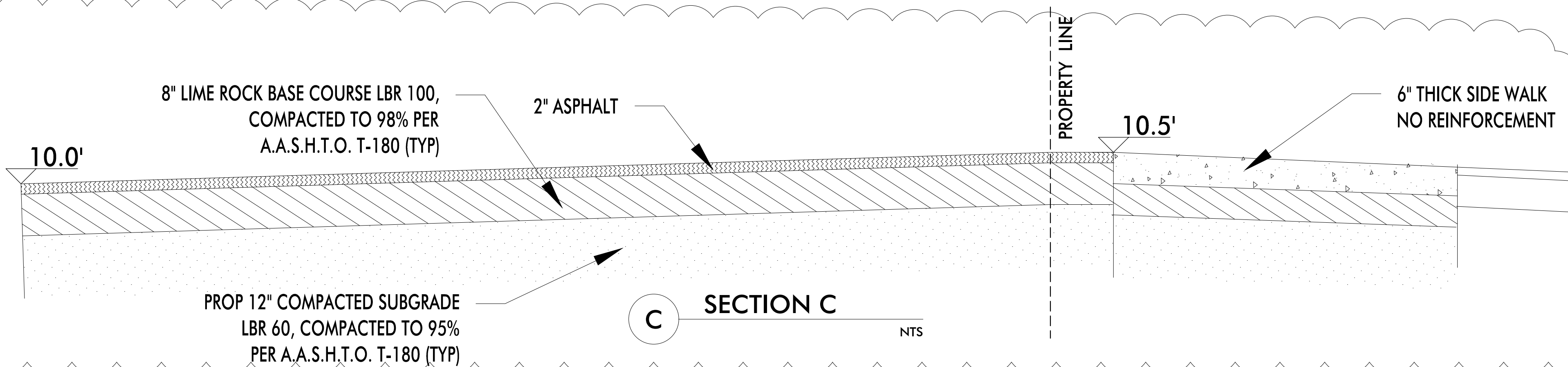
NOTE:
WATER QUANTITY DESIGN FOR
25 YEARS 3d AND 100 YEARS 3d

NOTE:
ALL EXISTING PAVEMENT AREA TO BE REMOVED

PRE. AND POST AREA
-SITE = 14,909.3 SF
EXISTING IMPERVIOUS = 2,011 SF
ADDITION IMPERVIOUS = 8,953 SF
PROPOSED IMPERVIOUS = 10,964 SF

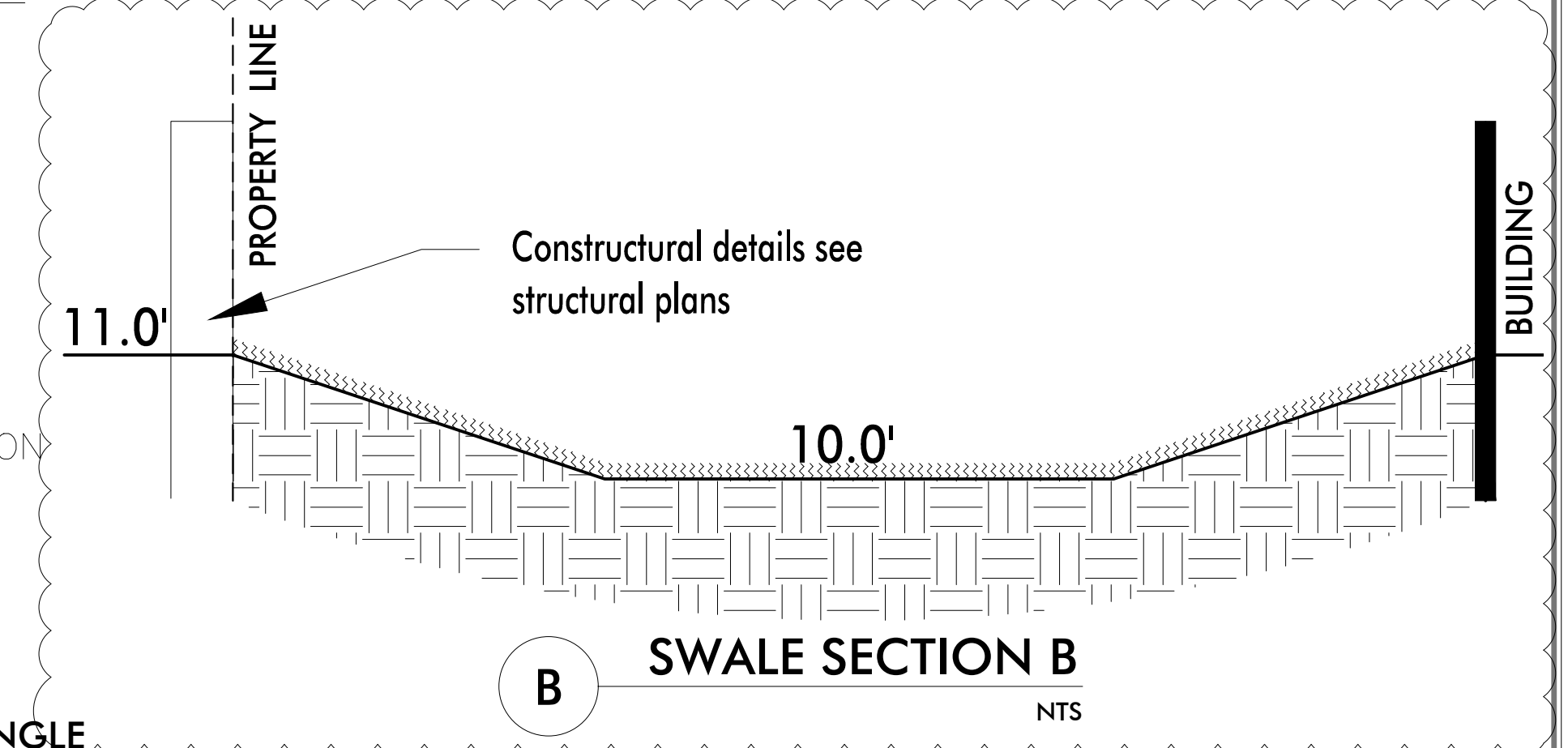
NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE
COMPLETED BY A CONTRACTOR HOLDING A
CLASS I, II, OR V LICENSE PER FS 633.102.

- SCOPE OF WORK:
1. INSTALL NEW ASPHALT PARKING
 2. INSTALL NEW CATCH BASIN
 3. INSTALL NEW EXFILTRATION TRENCHES
 4. INSTALL NEW SIGNAGE AS PER PLAN

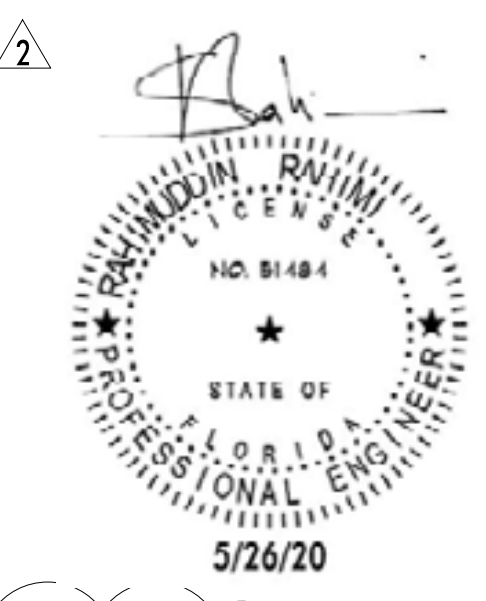


PRE DEVELOPMENT
SCALE: 1"=10'

- LEGEND:
- TRAFFIC FLOW
 - WATER SLOPE
 - NEW ELEVATION
 - EXISTING ELEVATION
 - PARKING BY DISABLED PERMIT ONLY
 - R1-1 STOP SIGN
 - 10'X10' VISIBILITY TRIANGLE



10.8 Joint Restraint.
10.8.1 General.
10.8.1.1* All tees, plugs, caps, bends, reducers, valves, and hydrant branches shall be restrained against movement by using thrust blocks in accordance with 10.8.2 or restrained joint systems in accordance with 10.8.3.
10.8.3* Restrained Joint Systems. Fire mains utilizing restrained joint systems shall include one or more of the following:
(1) Locking mechanical or push-on joints
(2) Mechanical joints utilizing setscrew retainer glands
(3) Bolted flange joints
(4) Heat-fused or welded joints
(5) Pipe clamps and tie rods



Rahimuddin Rahimi
Digitally signed by Rahimuddin Rahimi
Date: 2020.05.26 13:02:34 -04'00'

RAHI MUDDIN RAHIMI PE
LICENSE NUMBER 51484
PROFESSIONAL ENGINEER

CONNECTION WITH THE SPECIFIED PROJECT: NONE OF SUCH IDEAS OR CONCEPTS ARE TO BE CONSIDERED AS PART OF THE PROJECT. WITHOUT THE WRITTEN PERMISSION OF MREC, WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. CONDITIONS SHOWN BY THESE DRAWINGS FROM THE DIMENSIONS AND SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

REVISIONS:	
NO.	DATE
1	12/18/19
2	1/21/20
3	

TAC COMMENTS (OWNER CHANGES)	
NO.	DATE
1	12/18/19
2	1/21/20
3	

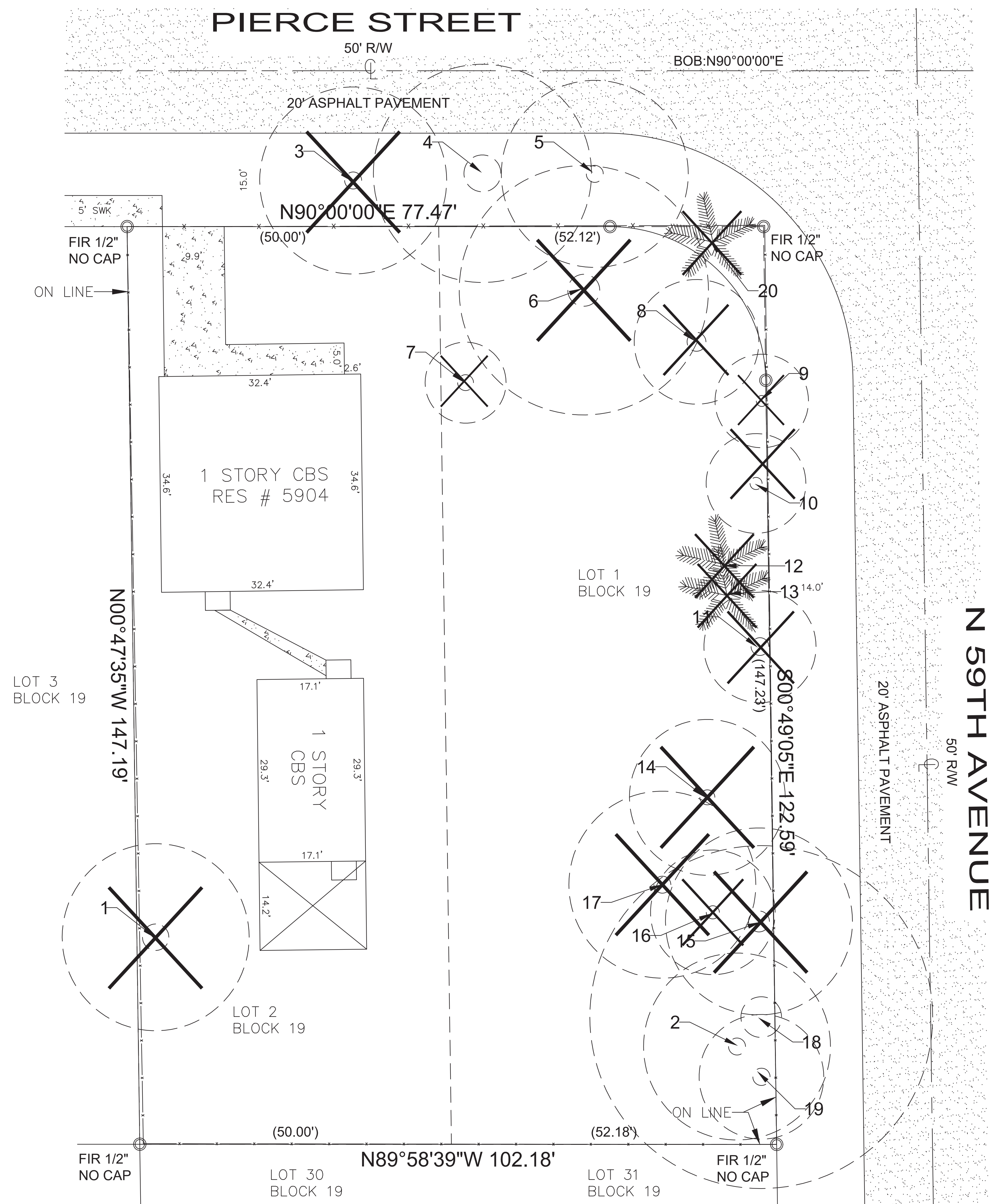
MR ENGINEERING CONSULTANTS INC
STRUCTURAL, CIVIL, GEOTECHNICAL, ENVIRONMENTAL ENGINEERS
CA 9824
10031 PINES BLVD SUITE 237 - PEMBROKE PINES, FLORIDA 33024
P (954) 364-8355 F (954) 432-9266

PROJECT NO: 37R
DATE: 3/16/20
DRAWN BY: B.J.I.
CHECKED: R.R.

New 2-Story Multi-Family Apartment Building:
5904 Pierce Street
Hollywood, Florida 33021

DRAWING NO.
C-1

C-3



TREE DISPOSITION CHART						
NUMBER	BOTANICAL NAME	COMMON NAME	DBH	SPREAD	HT	DISPOSITION
1	<i>Quercus virginiana</i>	Live Oak	24	30		Remove
2	<i>Quercus virginiana</i>	Live Oak	22	20		Remain
3	<i>Quercus virginiana</i>	Live Oak	24	30		Remove
4	<i>Quercus virginiana</i>	Live Oak	30	35		Remain
5	<i>Quercus virginiana</i>	Live Oak	30	30		Remain
6	<i>Quercus virginiana</i>	Live Oak	18	40		Remove
7	<i>Quercus virginiana</i>	Live Oak	6	13		Remove
8	<i>Quercus virginiana</i>	Live Oak	18	20		Remove
9	<i>Ficus spp</i>	Ficus	20	15		Remove
10	<i>Quercus virginiana</i>	Live Oak	8	16		Remove
11	<i>Quercus virginiana</i>	Live Oak	14	18		Remove
12	<i>Veitchia merrillii</i>	Christmas Palm			9	Remove
13	<i>Cocos nucifera</i>	Coconut Palm			20	Remove
14	<i>Mangifera indica</i>	Mango Tree	18	25		Remove
15	<i>Mangifera indica</i>	Mango Tree	18	30		Remove
16	<i>Mangifera indica</i>	Mango Tree	10	20		Remove
17	<i>Quercus virginiana</i>	Live Oak	24	30		Remove
18	<i>Quercus virginiana</i>	Live Oak	20	30		Remain
19	<i>Quercus virginiana</i>	Live Oak	30	55		Remain
20	<i>Sabal palmetto</i>	Cabbage Palm			15	Remove
Total DBH removed			202			
Total feet palm removed					44	

LEGEND:

TREES TO REMAIN

TREES TO BE REMOVED

PALMS TO BE REMOVED

SCALE: 1' = 10"

Casto Miguel Juncal

Digitally signed by Casto Miguel Juncal
Date: 2020.05.11 21:57:54 -04'00'

PREPARED BY:
VALENT ARCHITECT
7480 FAIRWAY DRIVE, SUITE 206
MIAMI LAKES, FL 33014
(305) 438-8288
FL CA #A06005062

PROFESSIONAL SEAL
REGISTERED LANDSCAPE ARCHITECT
CASTO MIGUEL JUNCAL
LA 6667184
STATE OF FLORIDA
CASTO MIGUEL JUNCAL
LA6667184
05-11-18

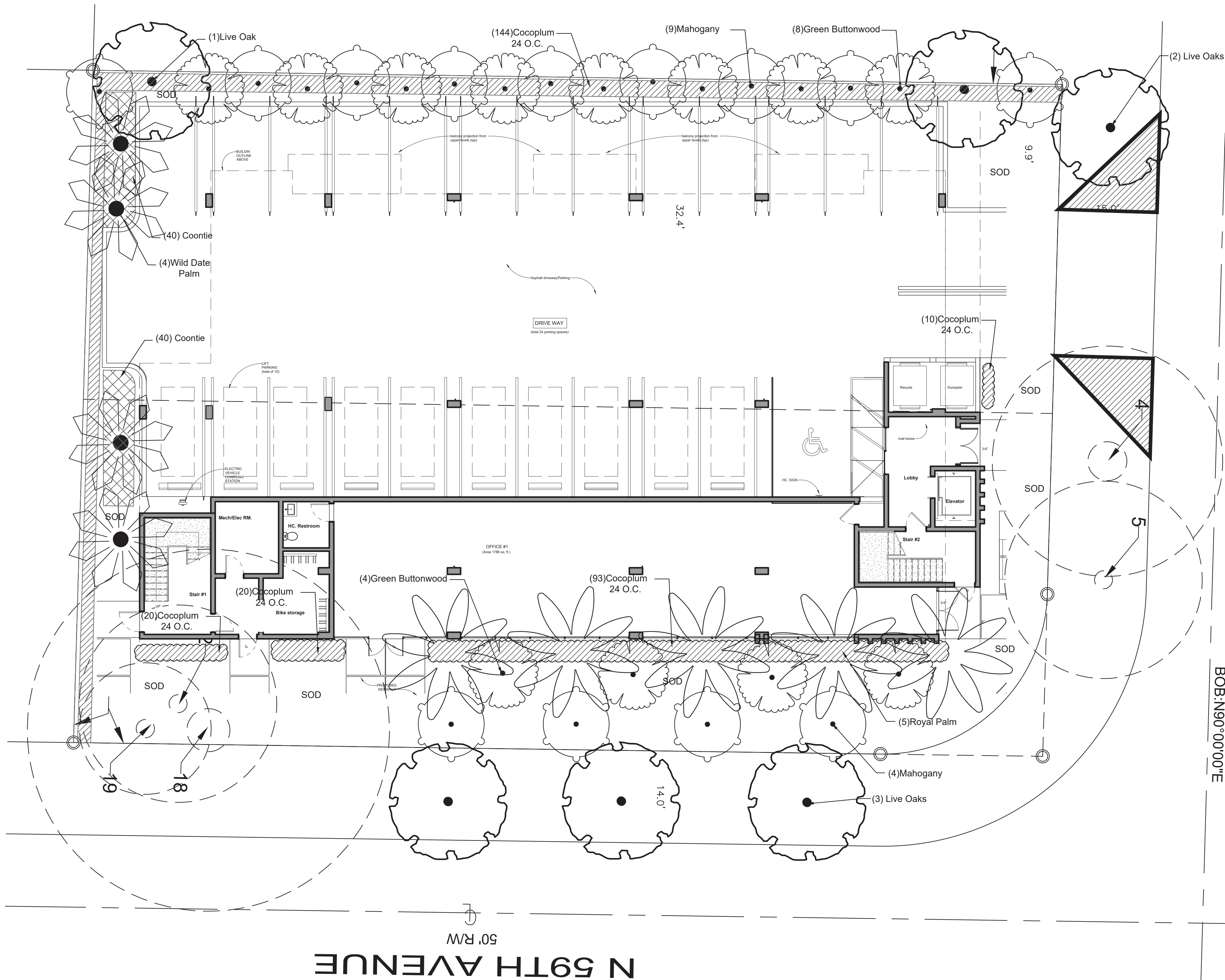
PROJECT INFORMATION
PIERCE STREET
5904 PIERCE STREET.
HOLLYWOOD, FL 33021

REVISIONS

NO.	DATE	DESCRIPTION

SHEET NAME
TREE DISPOSITION PLAN

SHEET NUMBER
TDP-1



LANDSCAPE PLANT SCHEDULE

TREES / PALMS

	COMMON NAME	BOTANICAL NAME	DBH	HEIGHT	SPREAD	SPACE	QUANTITY
	Live Oak	Quercus virginiana	2"	12'	5'-6'		6
	Wild Date Palm	Phoenix sylvestris		8' CT			4
	Royal Palm	Roystonea Elata		8' CT			5
	Green Buttonwood	Conocarpus erectus	2"	12'	4'-5'		12
	Mahogany	Swietenia mahogani	2"	12'	4'-5'		13

SHRUBS

	Cocoplum	Chrysobalanus icaco		24"ht ,3g		24" O.C.	287
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GROUND COVER

	Coontie	Zamia pumila		24"ht ,3g		24" O.C.	80
--	---------	--------------	--	-----------	--	----------	----

Landscape Requirements (Mult-Family)						
Perimeter Landscape						
	Required			Provided		
	Trees	Palms	Shrubs	Trees	Palms	Shrubs
One 12" Street tree per 50 Linear FT	4	0	0	4 - exst trees #4 & #5 and 2 live oak trees	0	0
Landscape Buffer Required per setback	0	0	215	0	0	215 - cocoplum
Interior Landscape for VUA						
	Required			Provided		
	Trees	Palms	Shrubs	Trees	Palms	Shrubs
Parking Island is required per every 10 parking space	2	0	0	2- live oak	0	0
Lots width of 50FT or greater 25% shall be Landscape	0	0	0	0	0	0
Open Space Requirements						
Minimum of 40% must be landscape						
	Required			Provided		
	Trees	Palms	Shrubs	Trees	Palms	Shrubs
Lot Area= 15043 sf						
Minimum of one tree per every 1,000 s.f.	15	0	150	15 - 56xst, 2 live oak, 4 mahogany, 6 buttonwood	0	152- 72 cocoplum, 80 coontie
TOTAL	21			38		

City of Hollywood Tree Mitigation		
Tree Replacement Req		
	Required	Provided
	Trees	Trees
Mitigation Trees - 2" dbh	101	17
Mitigation Palms	3	3

NOTE:

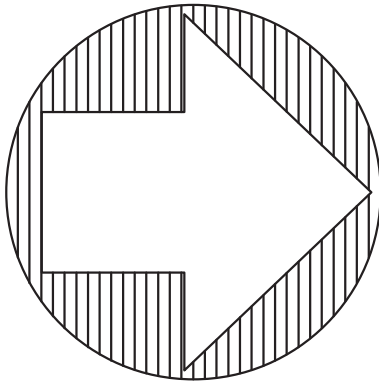
- MONETARY CONTRIBUTION TO THE CITY OF HOLLYWOOD TREE TRUST FUND AFTER EXCESS MITIGATION CANNOT BE PROVIDED ON SITE, OR DONATED TO PUBLIC PROPERTY, WILL BE DETERMINED AND APPROVED BY LANDSCAPE PLAN REVIEWER. OF 202" MITIGATION, 34" PROVIDED ON SITE. EXCESS OF 168" = (84) 2" DBH TREES. 84 TREES @ \$350 EA. = \$29,400 TREE FUND CONTRIBUTION PER CITY OF HOLLYWOOD CODE.
- SUBMITTAL TO TREE REMOVAL PERMIT WILL BE REQUIRED AT BUILDING TIME FOR LANDSCAPE PLAN APPROVAL.

MITIGATION FOR 202" MET BY THE FOLLOWING 2" DBH REPLACMENT TREES:

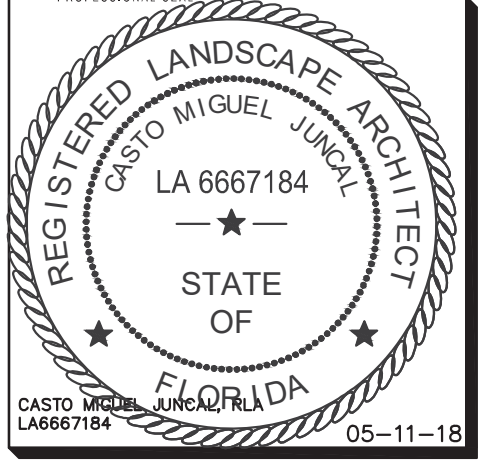
- 1 - Live Oak
- 9- Mahogany
- 6 - Green Buttonwood
- 2 - (5 Royal Palms & 1 Sylvester Palms)

MITIGATION FOR 3 PALMS MET BY THE FOLLOWING REPLACMENT PALMS:

- 3 - Sylvester Palms



SCALE: 1' = 10"



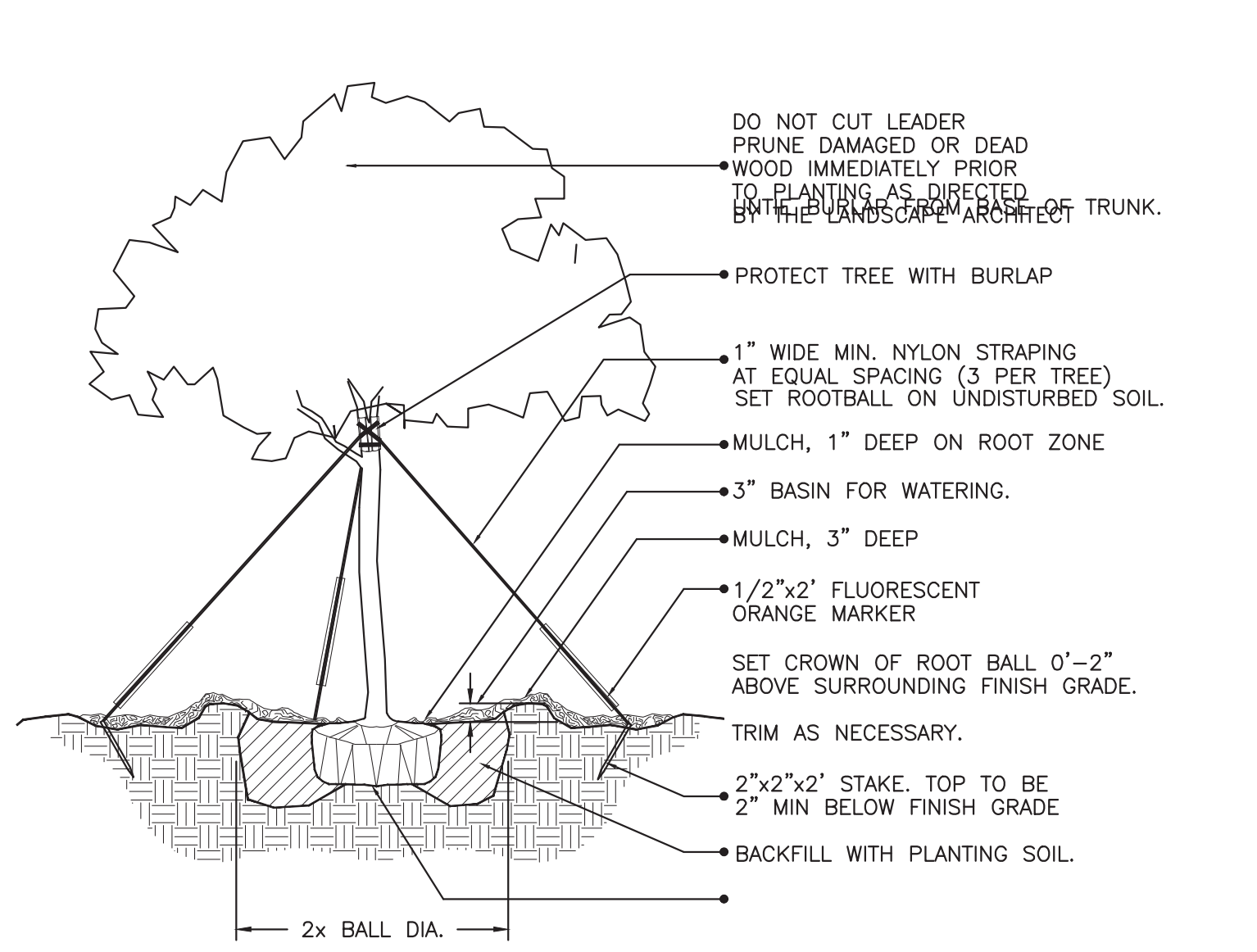
Casto Miguel Juncal
Digitally signed by Casto Miguel Juncal
Date: 2020.05.11 21:58:36 -04'00'

PIERCE STREET
5904 PIERCE STREET.
HOLLYWOOD, FL 33021

PROJECT NO.	5/7/20
DATE	
REVISION	

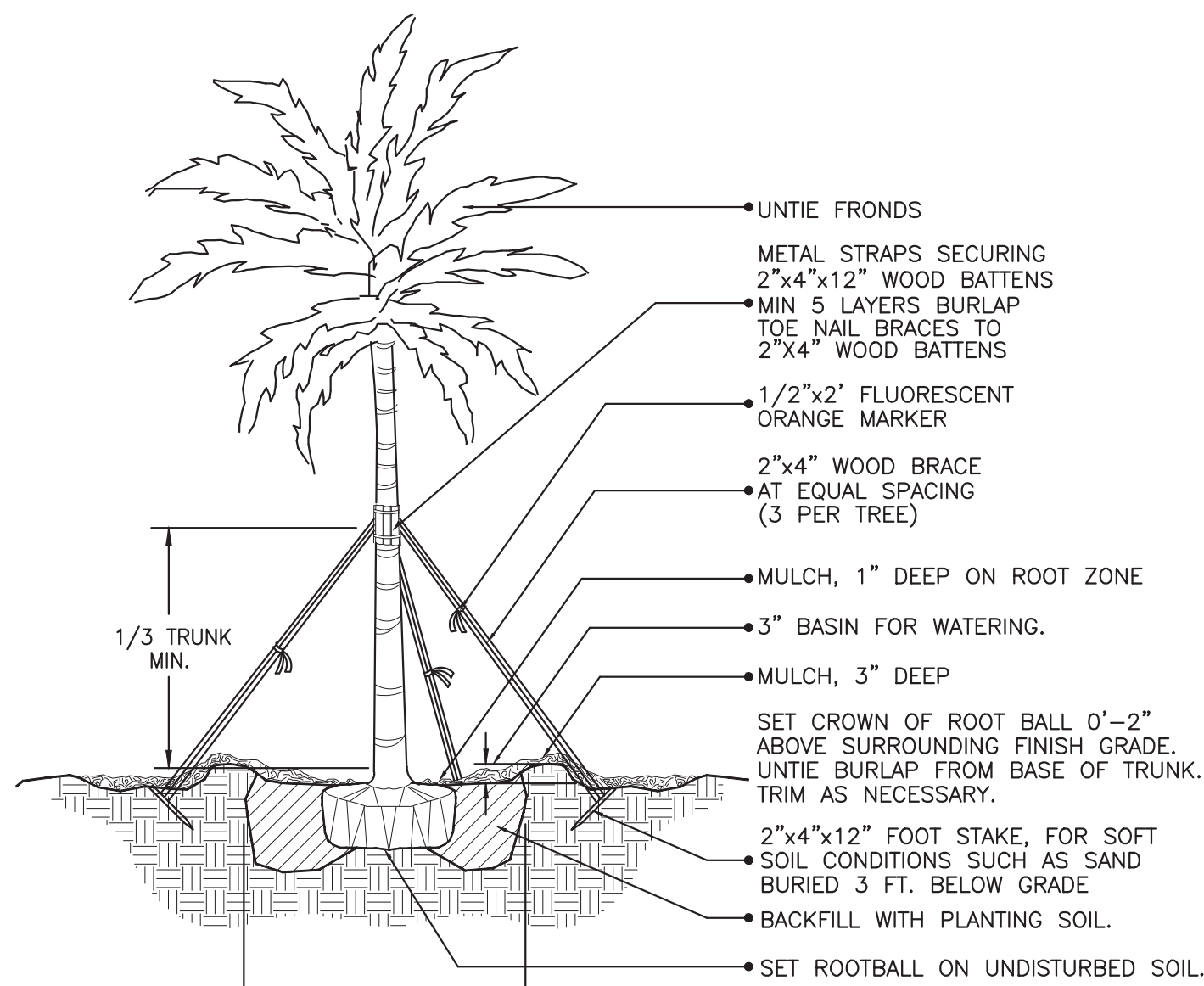
LANDSCAPE PLAN

LNP-1



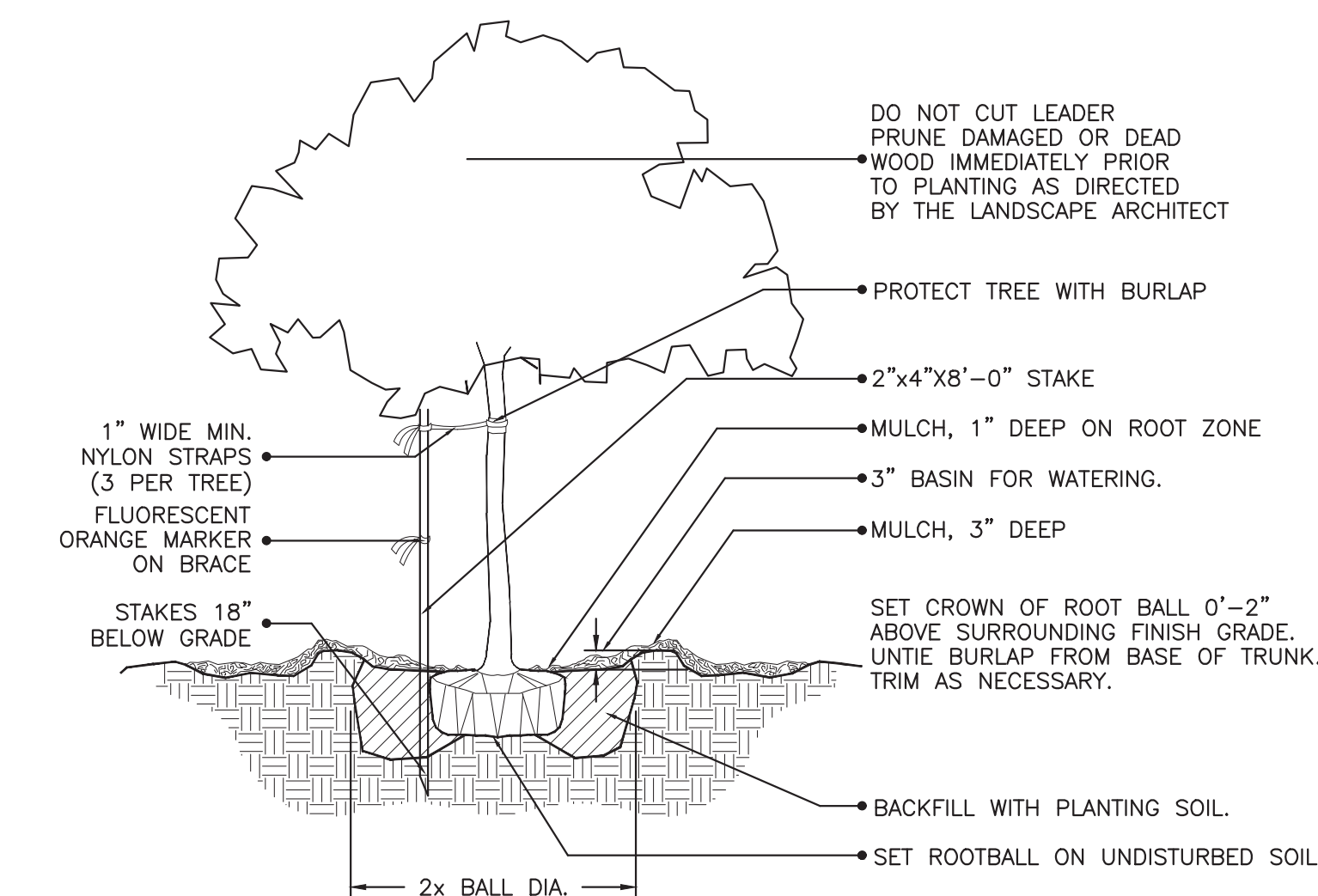
(2" cal. and over) LARGE TREE PLANTING DETAIL

NT&



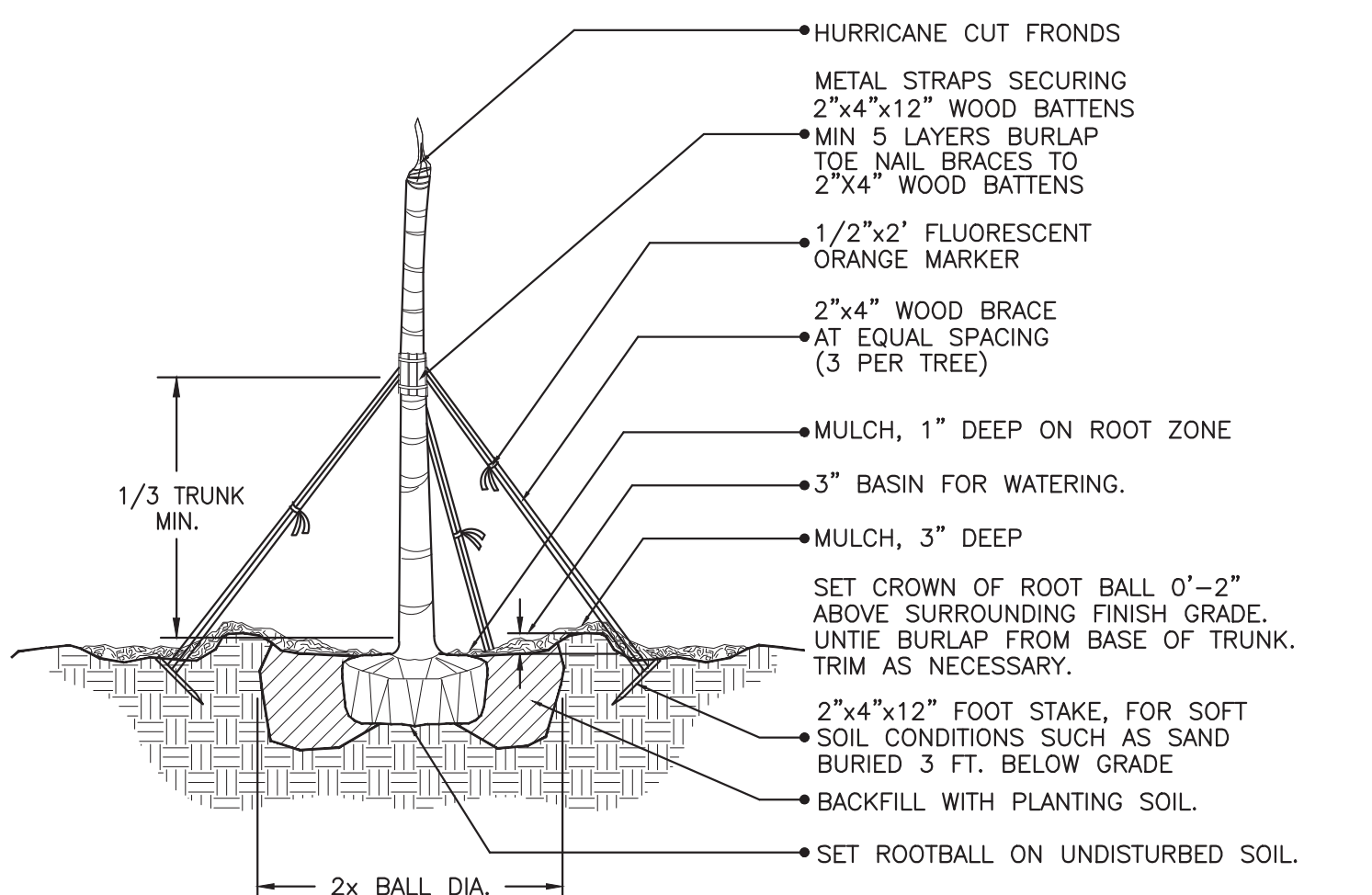
LARGE PALM PLANTING DETAIL

NT&



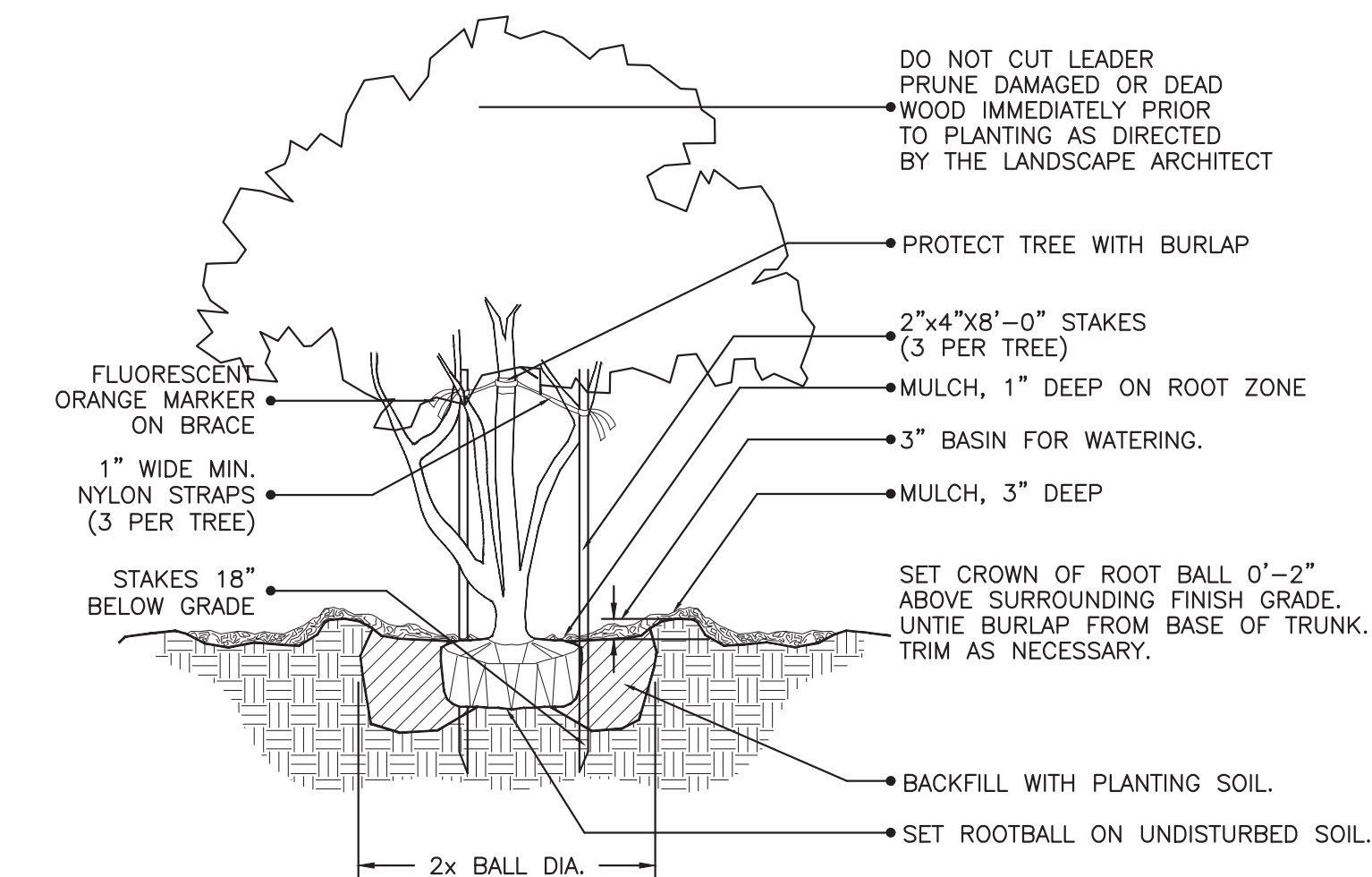
(2" cal. and under) SMALL TREE PLANTING DETAIL

NT&



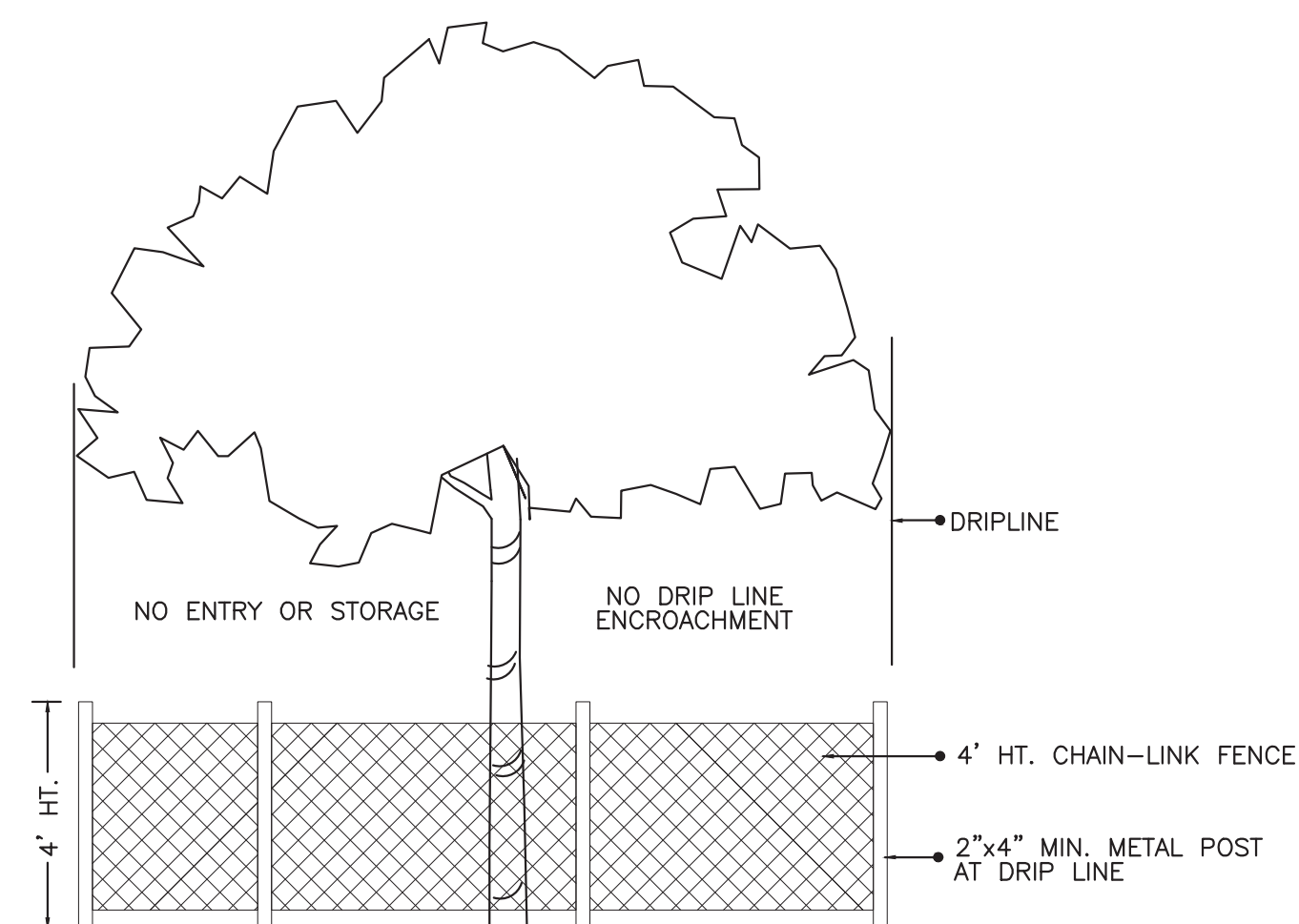
CIGARED SABAL PALM PLANTING DETAIL

NT&



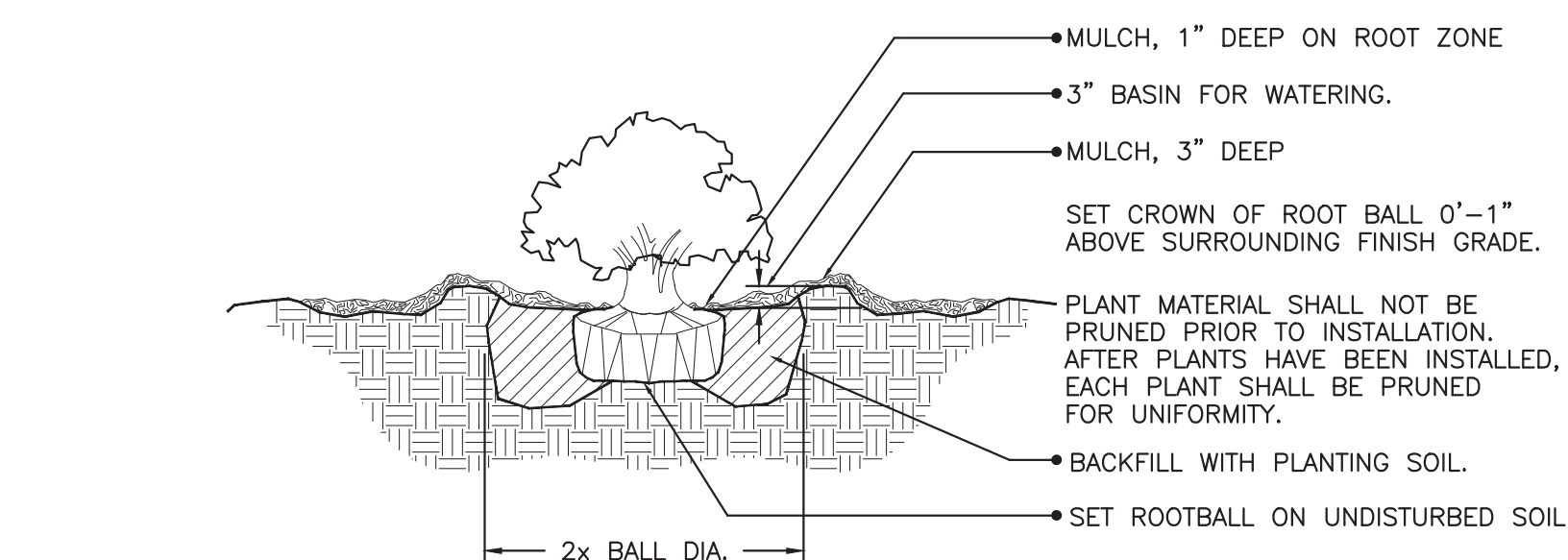
MULTI- TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL

NT&



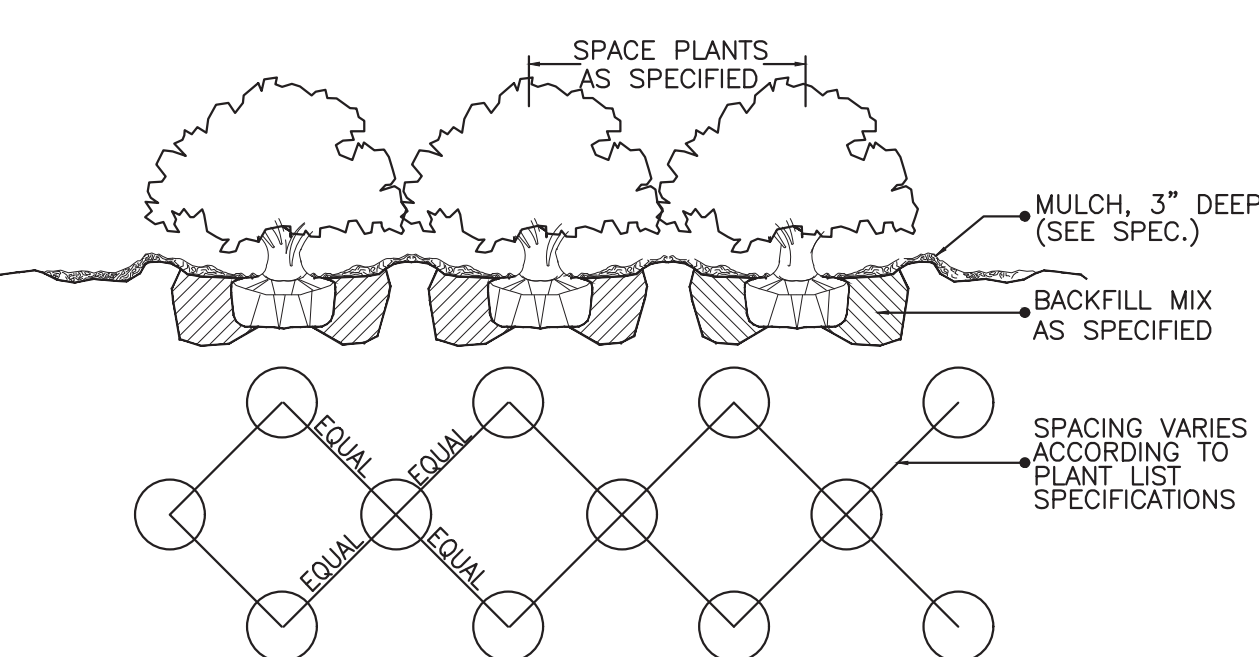
TREE PRESERVATION BARRICADE FENCING DETAIL

NT&



SHRUB PLANTING DETAIL

NT&



SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NT&

GENERAL PLANTING NOTES (SEE PROJECT SPECIFICATIONS IF APPLICABLE)

- MATERIAL STANDARDS:** ALL PLANT MATERIAL SHALL MEET OR EXCEED PLANT LIST SIZES AND THE SHAPE RELATIONSHIPS AND BALL DIAMETERS AS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND FLORIDA NO. 1 AS CLASSIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE (EXCEPT AS NOTED IN THE PLANT LIST). NO MATERIAL SHALL BE ACCEPTED WHICH IS NOT PEST AND DISEASE FREE.
- LIST OF PLANT MATERIAL:** THE CONTRACTOR WILL VERIFY THE PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANT REQUIRED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THIS CONTRACT WILL BE BASED ON THE BIDDER HAVING VERIFIED PRIOR TO BIDDING THE AVAILABILITY OF THE REQUIRED PLANT MATERIAL AS SPECIFIED ON THE PLANT LIST. ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION.
- PLANT BED PREPARATION:** APPROXIMATELY ONE WEEK PRIOR TO BEGINNING PLANTING OPERATIONS, ALL PLANT BEDS SHOULD BE GERMINATE ANY WEEK SEED TWO TO FIVE DAYS LATER, SPRAY PLANT BEDS WITH "ROUNDUP" OR OTHER APPROVED SYSTEMIC WEEK KILLER, APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE OF DILUTION AND COVERAGE OF HERBICIDE. APPLICATION SHALL BE WITNESSED AND APPROVED BY CONSULTANT.
- EXCAVATION:** ROADCROSS BACKFILL IN MEDIANS SHALL BE EXCAVATED TO A DEPTH OF EIGHTEEN (18") FROM THE TOP OF CURB. HOLES FOR TREES SHALL BE (24") LARGER IN DIAMETER THAN THE SIZE OF BALL OR CONTAINER AND SHALL HAVE VERTICAL SIDES. HOLES FOR SHRUBS SHALL BE (12") WIDER WITH VERTICAL SIDES. PLANT BEDS SHALL BE BACKFILLED WITH SPECIFIED SOIL MIX. AT THE TIME OF PLANTING ROTOTILL TO A DEPTH OF (8") AN AREA (18") BEYOND THE AVERAGE OUTSIDE EDGE OF PLANT BALLS AFTER APPLYING A MINIMUM OF (2") OF GENERAL PURPOSE PLANTING SOIL.
- SOIL MIX:** SOIL MIX FOR ALL PLANT BEDS, EXCEPT PALM LOCATIONS, WILL BE 80/20 MIX OF GENERAL PURPOSE PLANTING SOIL TO SAND. PALM PLANT PITS ARE TO RECEIVE A 70/30 GENERAL PLANTING SOIL TO SAND MIX.

- PLANTING:** BACKFILLING SHALL BE DONE WITH SPECIFIED SOIL MIX FREE OF STONES, SUBSOIL, STUMPS, ROOTS, WEEDS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER GRADING, PLANTING, OR MAINTENANCE OPERATIONS. SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE, SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THE CONTRACTOR SHALL NOTIFY THE OWNER AND AVOID INSTRUCTIONS FOR POSSIBLE EXTRA WORK BEFORE PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DRAINAGE FROM ALL PLANTS. THE PLANT SHALL BE SET PLUMB AND STRAIGHT, AND SHALL BE STAKED AT THE TIME OF PLANTING. BACKFILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED BY WATERING. PLANTS SHALL BE PLANTED WITH SAME RELATION TO FINISH GRADE. SAUCERS SHALL BE FORMED ABOVE EXISTING GRAD AND AROUND THE OUTER RIM OF THE PLANT PIT. ALL TREES SHALL BE PLANTED VERTICALLY AND BACKFILL COMPACTED WITH WATER AND RODDING TO REMOVE ALL VOIDS AND TO SEAT ROOT BALL. SEE TREE PLANTING DETAILS. TREES TRANSPLANTED BY MACHINE SHALL BE MOVED BY MACHINES THAT PROVIDE A MINIMUM BALL DIAMETER OF 9" PER 1" OF TREE CALIPER. HOLES ARE TO BE DUG BY THE SAME SIZE MACHINE AS THE ONE TRANSPORTING THE PLANT. THE PLANT MATERIAL SHALL BE TRANSPLANTED IN APPROXIMATELY THE SAME GROWING CONDITIONS OF SOIL TYPE AND MOISTURE CONTENT AS IT IS PRESENTLY GROWING. SHRUBS AND TREE-FORM SHRUBS SHOULD BE TURNED IN THE PLANT PIT TO OBTAIN THE BEST FOLIAGE RELATIONSHIP TO RELOCATION PRIOR TO STARTING BACKFILL. GROUNDCOVERS SHALL BE PLANTED AFTER MULCH HAD BEEN INSTALLED. NO PLANTS EXCEPT VINEY GROUNDCOVERS OR ESPALIERED MATERIAL SHALL BE PLANTED CLOSER THAN 30" TO BUILDINGS, WALK, OR CURBS.

ALL PLANTINGS SHALL CONFORM TO F.D.O.T. MINIMUM STANDARDS FOR CLEAR SIGHT LINES AS PER INDEXES 945, 946, AND 700 AND BROWARD COUNTY MINIMUM STANDARDS APPLICABLE TO PUBLIC RIGHT OF WAYS, CURRENT EDITION.

CONTRACTOR SHALL STAKE & GUY ALL TREES & PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD. ALL RELOCATED TREES & PALMS SHALL BE BRACED AT LEAST ONE (1) YEAR.

NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.

- FERTILIZATION:** FERTILIZATION FOR DICOT TREES, SHRUBS, GROUND COVERS AND VINES SHALL BE OF 8% NITROGEN, 10% PHOSPHORUS AND 10% POTASSIUM COMPOSITION ANALYSIS. FERTILIZER FOR PALMS SHALL BE "PALM FERTILIZER" OF 13% NITROGEN, 3% PHOSPHORUS AND 13% POTASSIUM COMPOSITION ANALYSIS. FERTILIZER FOR GRASSING AREAS SHALL BE OF 8% NITROGEN (OF WHICH 50% SHALL BE ORGANICALLY DERIVED), 6% PHOSPHORUS AND 6% POTASSIUM COMPOSITION ANALYSIS. CONTRACTOR SHALL APPLY GRANULAR FERTILIZER TO THE SOIL MIX AT THE FOLLOWING RATES: TREE PITS, 1-2 LBS. PER CALIPER INCH, SHRUB BEDS, 2-3 LBS. PER 100 SQUARE FEET, GROUND COVER, 1-2 LBS. PER 100 SQUARE FEET, GRASSING AREAS, 1LB. PER 100 SQUARE FEET.

- MULCH:** ALL PLANT BEDS AND SAUCERS SHALL BE THOROUGHLY MULCHED WITH SHREDDED MELALEUCA OR EQUIVALENT NON-NATIVE MULCH GRADE "B" OR BETTER. MULCH SHALL BE A MINIMUM OF 3" DEEP. THOROUGH WEEDING AND REPLIMING OF MULCH SHALL BE REQUIRED IMMEDIATELY PRIOR TO THE INSPECTION AT THE END OF THE GUARANTEE PERIOD. ALL BEDS SHALL BE FREE OF WEEDS AND DEBRIS PRIOR TO FINAL INSPECTION.

- MAINTENANCE:** THE CONTRACTOR SHALL BE RESPONSIBLE, DURING THE CONTRACT AND UP TO THE TIME OF ACCEPTANCE, FOR KEEPING NEW PLANTINGS AND WORK INCIDENTAL THERETO IN GOOD CONDITION. THIS MAY BE ACCOMPLISHED BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING, SPRAYING, RESTAKING AND CLEANING UP, AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE. THIS MAINTENANCE SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

- MISCELLANEOUS:** THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. REFER TO THE "UTILITY" SECTION OF THE NOTES ON THE ENGINEERING PLANS. THE CONTRACTOR SHALL COMPLY WITH ALL COUNTY AND MUNICIPAL CODES AND ORDINANCES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER. EXISTING TREES AND PALMS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. AN ORANGE BARRICADE FENCE SHALL BE INSTALLED AROUND THE TREES AND PALMS TO REMAIN (SEE TREE PROTECTION DETAIL).

THE CONTRACTOR IS RESPONSIBLE FOR CLEAN-UP OF DEBRIS RESULTING FROM LANDSCAPE CONSTRUCTION ACTIVITIES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF ALL DEBRIS INCLUDING TRASH, LARGE ROCKS, BOTTLES, CANS, STAKES, WIRE, ETC.

THE CONTRACTOR SHALL FURNISH TO BROWARD COUNTY ENGINEERING DIVISION A UNIT PRICE BREAKDOWN FOR ALL MATERIALS, B.C.E.D. MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.

- SUBSTITUTIONS AND CHANGES:** ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE, AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROJECT ENGINEER.

12. GUARANTEE:

GUARANTEE SHALL BE IN WRITING.

ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE BY THE OWNER, AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.

GUARANTEE SHALL COVER BOTH LABOR AND MATERIALS. EARTH SAUCERS, TAKES, GUYS, AND BRACING SHALL BE REMOVED AND TREES AND SHRUBS MULCHED TO A 3" DEPTH JUST PRIOR TO EXPIRATION OF THE ONE YEAR GUARANTEE. THE OWNER SHALL BE NOTIFIED IN WRITING TWO WEEKS PRIOR TO THIS WORK.

AT THE END OF THE GUARANTEE PERIOD, INSPECTION WILL BE MADE BY THE OWNER, OR HIS DESIGNEE. ANY PLANT INSTALLED UNDER THE CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY GROWTH, AS DETERMINED BY THE OWNER, OR HIS DESIGNEE, SHALL BE REMOVED FROM THE SITE, THESE PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT. AT THE OWNER AND CONTRACTOR'S OPTION, THEY MAY ELECT TO ALLOW ANY SUCH PLANT INITIALLY REJECTED BY THE OWNER TO REMAIN THROUGH ANOTHER COMPLETE GROWING SEASON, AT WHICH TIME THE REJECTED PLANT, IF FOUND TO BE DEAD, IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION SHALL BE REPLACED.

ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AS ORIGINALLY PLANTED AND SHALL BE OF SIZE SHALL TO THAT ATTAINED BY ADJACENT PLANTS OF THE SAME KIND AT THE TIME OF REPLACEMENTS. ALL COSTS OF REPLACEMENT PLANTINGS SHALL BE BORNE BY THE CONTRACTOR.

13. TREE REMOVAL / RELOCATION:

THESE SPECIFICATIONS SHALL BE INCLUDED IN THE UNIT COST OF TREE AND/OR PALM RELOCATION.

1.00 LOCATION

A. TREES & PALMS SHALL BE RELOCATED ONCE FROM THEIR PRESENT LOCATION TO A LOCATION ON THE PROJECT SITE. SPECIFIED ON THE PLANS.

1.01 ROOT PRUNING, WATERING BEFORE TRANSPLANTING:

A. ALL TREE & PALM RELOCATION, ROOT PRUNING AND TRIMMING, SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.

B. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO MOVING THEM. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER, 2 TO 3 DAYS PRIOR TO ROOT PRUNING. CABBAGE PALMS DO NOT REQUIRE ROOT PRUNING.

C. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH TWO-THIRDS (2/3) OF THE WAY AROUND THE TREE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8". THIS TRENCH SHALL FORM A ROOTBALL OF THE FOLLOWING SIZES:

UP TO 4" CALIPER	3' DIAMETER
4" - 8" CALIPER	4' DIAMETER
8" - 12" CALIPER	5' DIAMETER
OVER 12" CALIPER	6' DIAMETER

D. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL, CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THEM THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

1.02 TOP PRUNING AND THINNING:

A. THE AMOUNT OF GENERAL PRUNING AND THINNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGGS OR BRANCHES AS A RESULT OF TRANSPORTING OPERATIONS. PRUNING AND THINNING SHALL BE DONE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF A PLANT. THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PERFORMING ANY MAJOR PRUNING OR THINNING.

1.03 BRACING AND GUYING OF TREES AFTER ROOT PRUNING:

A. BRACING AND GUYING SHALL BE PROVIDED TO ASSURE THE TREES' STABILITY DURING THE ROOT REGENERATION PERIOD, AS PER THE APPLICABLE DETAIL.

1.04 BALLING AND BURLAPING

A. PLANT MATERIAL, WHICH IS IN A SOIL OF A LOOSE TEXTURE, WHICH DOES NOT READILY ADHERE TO THE ROOT SYSTEM, ESPECIALLY IN THE CASE OF LARGE PLANTS OR TREES, SHALL HAVE THE ROOTBALL WRAPPED IN BURLAP AND THEN WIRE, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

1.05 TRANSPLANTING PLANT MATERIAL

A. MOVEMENT OF PLANTS ON PUBLIC R.O.W.'S SHALL COMPLY WITH ALL ORDINANCES, CODES AND SAFETY REQUIREMENTS, ETC.

B. TRANSPORT MATERIALS ON VEHICLES LARGE ENOUGH TO ALLOW PLANTS TO NOT BE CROWDED AND DAMAGED. PLANTS SHALL BE COVERED TO PREVENT WIND DAMAGE DURING TRANSIT.

C. PROTECT PLANT MATERIAL DURING TRANSPORTING TO PREVENT DAMAGE TO THE ROOT SYSTEM AND DESICCATION OF LEAVES. TREES SHALL BE PROTECTED BY TYING IN THE BRANCHES AND COVERING ALL EXPOSED BRANCHES AS NECESSARY. DO NOT BEND OR BIND THE PLANT MATERIAL IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES OR ALTER THE NATURAL SHAPE.

D. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING, STORING, AND TRANSPORTING MATERIAL TO PREVENT DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF MATERIALS STORED.

E. TRANSPORTING MUST BE DONE WITHIN 24 HOURS AFTER BEING DUG, STORE PLANTS IN SHADE AND KEEP THE ROOT BALL AND CANOPY MOIST.

1.06 INSTALLATION

A. EXCAVATION OF HOLES: PLANT HOLES SHALL BE ROUGHLY CYLINDRICAL IN SHAPE WITH SIDES APPROXIMATELY VERTICAL. THE DEPTH OF THE HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12" UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE. THE DIAMETER OF THE HOLE SHALL BE A MINIMUM OF 24" LARGER THAN THE ROOTBALL DIAMETER.

B. SETTING OF PLANTS PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR RELOCATION AND PLACEMENT ON THE NEW SITE. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE TOP OF THE HOLE. CREATE A SAUCER, APPROXIMATELY 6" DEEP TO HELP HOLD WATER. THE PLANTS SHALL BE SET STRAIGHT OR PLUMB OR NORMAL TO THE RELATIONSHIP OR THEIR GROWTH PRIOR TO TRANSPLANTING. THE PROJECT ENGINEER OR REPRESENTATIVE RESERVES THE RIGHT TO REALIGN ANY PLANT MATERIAL AFTER IT HAS BEEN SET, WITHOUT ADDITIONAL COST.

C. BACKFILLING 1) USE PLANTING SOIL FOR TREE INSTALLATION CONSISTING OF 80/20 MIX OF GENERAL PURPOSE PLANTING SOIL TO SAND. PALMS RECEIVE 30/70 GENERAL PURPOSE PLANTING SOIL TO SAND MIX.

2) BACKFILL THE BOTTOM TWO-THIRDS OF THE PLANTING HOLE AND FIRMLY TAMP AND SETTLE BY WATERING AS BACKFILLING PROGRESSES. AFTER HAVING TAMPED AND SETTLED THE BOTTOM TWO-THIRDS OF THE HOLE, THOROUGHLY PUDDLE WITH WATER AND FILL REMAINING ONE-THIRD OF THE HOLE WITH PLANTING SOIL, TAMPING AND WATERING TO ELIMINATE AIR POCKETS.

1.07 WATERING TRANSPLANTED TREES:

A. ROOTBALL WATERING: MAINTAIN A SOIL MOISTURE IN THE ROOT ZONE AT AN OPTIMUM LEVEL FOR HEALTHY GROWTH. DEEP WATER THE ENTIRE ROOTBALL AREA AT A MINIMUM ACCORDING TO THE FOLLOWING SCHEDULE:

WHEN	FREQUENCY	AMOUNT
FIRST MONTH	ONCE DAILY	3" PER TREE OR PALM
SECOND MONTH	EVERY OTHER DAY	2" PER TREE OR PALM
FOLLOWING TWO MONTHS	TWICE A WEEK	1" PER TREE OR PALM
LAST EIGHT MONTHS	ONCE PER WEEK	1" PER TREE OR PALM

B. IF THERE IS NO SOURCE FOR WATER AVAILABLE AT THE PROJECT, SUCH AS A HOSE BIB(S) OR FIRE HYDRANT(S) IF APPROVED FOR USE, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING WATER BY MEANS OF A TRUCK OR TANK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAY ANY FEES FOR WATER USE.

C. THE CONTRACTOR SHALL ADHERE TO THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT'S WATER RESTRICTIONS CURRENT AT THE TIME OF RELOCATION ACTIVITIES.

1.08 MULCHING OF PLANT SAUCER:

A. SPREAD 3" MINIMUM DEPTH THICK LAYER OF SHREDDED EUCALYPTUS OR MELALEUCA GRADE "B" MULCH OR EQUAL OVER ENTIRE AREA OF THE ROOTBALL.

1.09 APPLICATION OF FERTILIZER:

A. AT TIME OF WATERING ROOT-PRUNED TREES PRIOR TO TRANSPLANTING, DRENCH ROOTBALL ONCE PER WEEK DURING THE COURSE OF WATERING WITH A SOLUBLE FERTILIZER THAT HAS A 20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

B. THREE (3) WEEKS AFTER TRANSPLANTING, AND AFTER MULCHING, APPLY ON THE SURFACE, EVENLY SPREAD OVER THE AREA OF THE ENTIRE ROOTBALL, FFC (FLORIDA EAST COAST FERTILIZER CO.) #6231 (12-6-8) OR EQUAL AT THE RATE OF 0.5KG PER 1" OF TRUNK DIAMETER.

1.10 STAKING TREES:

A. STAKE ALL TREES AND PALMS AT THE NEW SITE WITH NEW TIMBERS WITH A MINIMUM 2" X 4" DIMENSION AS PER THE DETAILS ENCLOSED, OR IN THE CASE OF OBSTACLE, IN ANOTHER MANNER WHICH WILL SUPPORT THE TREES.

1.11 CLEAN-UP:

A. DISPOSAL OF WASTE: ALL WASTE AND OTHER OBJECTIONABLE MATERIAL CREATED THROUGH PLANTING OPERATIONS AND LANDSCAPE CONSTRUCTION SHALL BE REMOVED COMPLETELY ON A DAILY BASIS FROM THE JOB OR AS DIRECTED BY THE PROJECT ENGINEER. ANY PAVED AREAS, INCLUDING CURBS AND SIDEWALKS THAT HAVE BEEN STAINED WITH SOIL, SOD WASTE, FERTILIZER OR OTHER WASTE SHALL BE THOROUGHLY SWEEP.

B. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF STAKES AND BATTENS AND UNTIE ANY TIED-UP CANOPIES WHEN IT IS DETERMINED BY THE PROJECT ENGINEER THAT SUFFICIENT TIME HAS ELAPSED FOR THE PLANTS TO ROOT STABILIZE, AND/OR AT THE END OF THE ONE YEAR GUARANTEE PERIOD. THIS SHALL BE DONE EVEN IF THE PROJECT HAS BEEN COMPLETED AND GIVEN FINAL ACCEPTANCE. THE CONTRACTOR SHALL UNTIE CANOPIES IMMEDIATELY AFTER INSTALLATION AND REMOVE STAKES AFTER ONE YEAR.

C. BACKFILLING OF HOLE LEFT BY RELOCATED TREE SHALL BE DONE IMMEDIATELY AFTER TREE REMOVAL, OR SUITABLE BARRICADES SHALL BE PROVIDED TO PREVENT INJURIES UNTIL HOLES ARE FILLED. THE CONTRACTOR SHALL BACKFILL HOLES WITH CLEAN FILL AND TOP SOIL TO A LEVEL FLUSH WITH ADJACENT GRADE.

1.12 GUARANTEE AND REPLACEMENT:

A. ALL RELOCATED PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF RELOCATION.

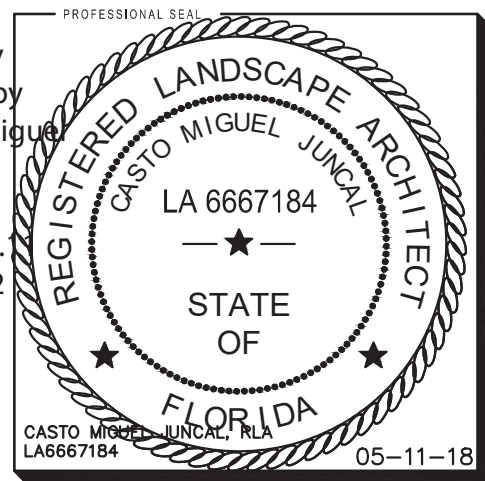
B. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO BROWARD COUNTY.

1.13 SCHEDULE AND APPROVALS:

THE LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN SCHEDULE OF OPERATIONS AND WRITTEN REQUESTS FOR APPROVALS IN ACCORDANCE WITH PROJECT SPECIFICATIONS OR AS OTHERWISE AGREED UPON WITH THE OWNER.

1.14 FINAL ACCEPTANCE:

OWNER SHALL REVIEW PROJECT UPON NOTIFICATION BY CONTRACTOR. OWNER SHALL ISSUE A FINAL ACCEPTANCE AFTER ALL CONTRACT ITEMS AND OBLIGATIONS ARE SATISFACTORY.



DATE: 05-11-18

PROJECT INFORMATION

PIERCE STREET

5904 PIERCE STREET.

HOLLYWOOD, FL 33021

LANDSCAPE NOTES & DETAILS

LND-1

IRRIGATION NOTES & SPECIFICATIONS

The system has been designed to conform with the requirements of all applicable codes. Should any conflict exist, the requirements of the codes shall prevail. It is the responsibility of the owner/installation contractor to insure the entire system is installed according to all applicable laws, rules, regulations and conventions. Irrigation contractor is responsible for obtaining all required permits according to federal, state and local laws.

The scope of work is shown on the plans, notes and details. The Irrigation Contractor shall be certified as a CERTIFIED IRRIGATION CONTRACTOR by the Irrigation Association. The certification shall be current and in good standing.

SCOPE OF WORK

The work specified in this section consists of furnishing all components necessary for the installation, testing, and delivery of a complete, fully functional automatic landscape irrigation system that completely complies with the 100% IRRIGATION PLANS, specifications, notes, details and all applicable laws, regulations, codes and ordinances. This work shall include, but not be limited to, the providing of all required material (pipe, valves, fittings, controllers, wire, primer, glue, etc.), layout, protection of the public, excavation, assembly, installation, back filling, compacting, repair of road surfaces, controller and low voltage feeds to valves, cleanup, maintenance, guarantee and as-built plans.

All irrigated areas shall provide 100% head-to-head coverage from a fully automatic irrigation system with a rain sensor as shown. The rain sensor shall be installed to prevent its activation by adjacent heads. All watering procedures shall conform to local codes, as well as this project's regional Water Management District restrictions and regulations. Zones are prioritized first by public safety and then by hydraulic concerns. This sequencing will be a mandatory punch list item.

Contractor shall verify the location of all underground utilities 72 hours prior to commencement of work.

It is the responsibility of the irrigation contractor to familiarize themselves with all grade differences, location of walls, retaining walls, structures and utilities. Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstruction, grade differences or differences in the area dimensions exist that might not have been considered in the design. Such obstructions, or differences, should be brought to the attention of the owner' authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.

Irrigation contractor shall repair or replace all existing site items damaged by their work. Irrigation contractor shall coordinate their work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc.

The contractor shall take immediate steps to repair, replace, or restore all services to any utilities which are disrupted due to their operations. All costs involved in disruption of service and repairs due to negligence on the part of the contractor shall be the contractor's responsibility.

POINT OF CONNECTION (P.O.C.)

The P.O.C. is a potable source. The P.O.C. must be capable of delivering a minimum of 35 G.P.M. at 30 PSI. Contractor shall verify these minimum conditions can be met prior to beginning irrigation system installation.

If the conditions can not be met, the contractor must notify the designer prior to proceeding with the work. If the contractor does not do so, the contractor proceeds at their own risk and becomes responsible for any future work required to make the system perform as required.

PIPING

Pipe locations shown on the plan are schematic and shall be adjusted in the field. When laying out mainlines place a maximum of 18" away from either the back of curb, front of walk, back of walk, or other hardscape to allow for ease in locating and protection from physical damage. Install all lateral pipe near edges of pavement or against buildings whenever possible to allow space for plant root balls. Always install piping inside project property boundary.

Pipes shall always be placed in planting beds. If it is necessary to have piping under hardscapes, such as roads, walks, and patios, the pipes must be sleeved using Sch 40 PVC with the sleeve diameter being twice the size of the pipe it is carrying with a minimum sleeve size of 2".

Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.

Mainline shall be Schedule 40 gasketed 'O' ring PVC with ductile iron fittings (sized per plans).

Contractor to ensure all mainline piping is properly restrained using mechanical joint fittings, restraining collars, threaded rods, thrust blocks, etc., as and where required. Contractor shall refer to pipe manufacturer's recommended installation practices for further direction.

PVC pipe joint compound and primer: slow-drying, heavy duty cement and tinted (purple) primer that is compatible with the cement. The PVC cement shall be Weld-On 2711 grey and the primer shall be Weld-On P70 purple primer, or approved equals.

ELECTRICAL POWER SUPPLY

Electrical supply for controllers to be provided by others.

All electrical installation to comply with the National Electrical Code and any and all other applicable electrical codes, laws and regulations. A licensed electrician shall perform all electrical hook-ups. Power for the controller shall be 120 volt, 20 amp.

WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire suitable for direct burial and continuous operation at rated voltages.

Tape and bundle control wires every 10' and run adjacent to the mainline. At all turns in direction make a 2' coil of wire. At all valve boxes coil wire around a 3/4" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3M-DBT,DBR connectors.

Number all wires using an electrical book of numbers according to the plans. Number wires in all valve boxes, junction boxes and at the controller.

Wire sized, numbered and colored as follows:

- #14 white for common
- #14 spare black common
- #14 red for hot wires
- #14 spare yellow hot wire

CONTROLLER GROUNDING

Contractor to utilize 4"X8'X5/8" copper grounding plates, 5/8"X10' copper clad grounding rods, 'One Strike' CAD wells at all connection points, #6 bare copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification on a licensed electrical contractors letter head showing the date of the test, controller location, and test results. Each controller shall be so grounded and tested.

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.

Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to insure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail Sheet.

Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.

Shrub heads shall be installed on 3/4" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other hardscaped areas. Shrub heads shall be installed to a standard height of 4" below maintained height of plants and shall be installed within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will be installed from a reuse water system with purple PVC risers.

Locate valves prior to excavation. Insure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc., and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer; only in shrub beds. Never install valve boxes in sport field areas.

VALVES

Sequence all valves so that the farthest valve from the P.O.C. operates first and the closest to the P.O.C. operates last. The closest valve to the P.O.C. should be the last valve in the programmed sequence.

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using 3" high number stencils, paint the valve number in white on the lid of each valve box.

EQUIPMENT

Bubblers shall be installed using Sch 80 nipples and shall be placed at the base of trees for low level watering.

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints.

All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications, and in accordance with local and state laws.

SIGNAGE & MARKING

The water source is reclaimed water. All system components must comply with the law. Properly mark/identify all piping, valves, sprinkler heads, valve boxes, controllers, and irrigated areas. Color code using 'Pantone Purple' and properly sign irrigated areas, as required.

Advisory signs designating the nature of the reuse project must be posted in areas where reuse is practiced. Advisory signs may be posted at entrances and access points where reclaimed water is used for landscape irrigation. Advisory signs must include the text: "Do not drink" in English and Spanish together with the equivalent standard international symbol.

Advisory signs posted adjacent to lakes/ponds or other decorative water features that use reclaimed water must also include the text: "Do not swim" in English and Spanish together with the equivalent standard international symbol.

All signs should be clearly legible, and enough signs should be posted to ensure reasonable notice is provided to the public per 62-610.468, FAC.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.

Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be the same genus, species, and size of the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely determined by the owner or owner's representative.

INSTALLATION

Cut all pipe square and deburr. Clean pipe and fittings of foreign material, then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement. First apply a thin layer to the pipe, then a thin layer inside the fitting, and finally another very thin layer on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe a 1/4 turn and hold for 10 seconds. Make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded.

Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.

BACKFILLING

The backfill 6" below and 6" above all piping shall be clean sand. All other trench backfill can be native material but shall not contain anything larger than 2" in diameter.

Main line pipe depth measured to the top of pipe shall be 24" minimum, 36" minimum at vehicular crossings.

Lateral line depths measured to top of pipe shall be 18" minimum, 30" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2' on each side of every joint (bell fittings, 90's, tees, 45's, etc.). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.

FLUSHING

Prior to the placement of heads, flush all lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Use screens in heads and adjust heads for proper coverage avoiding excess water on walls, walks and paving.

TESTING

Remove all remote control valves and cap using a threaded cap. Fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe. Gasketed piping shall lose no more water than allowed per the Florida State Building Code, Volume II Plumbing, Part VI, Appendix 'F'. Refer to this section for the formula to be used to calculate the maximum allowable water loss during the testing time. If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.

The lateral lines must be filled and visually checked for leaks. Any leaks detected must be repaired. No pressure test of the lateral lines is required.

Once the mainline and lateral lines have passed their respective tests and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner or his/her representative that proper coverage is obtained and that the system works automatically from the controller. This demonstration requires that each zone be turned on in the proper sequence as shown on the plans from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function will be solely determined by the owner or owner's representative.

Operational Testing - Upon completion of backfilling, finish grading and contouring, test the entire system for proper operation, including electrically actuating the remote control valves. Run each zone until water begins to puddle or run off. This will allow determination of the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In sandy soils no puddling will occur. In these cases, calculate the required run times.

SUBMITTALS

The contractor must submit for approval, prior to installation, copies of the manufacturer's cut sheets/specifications for all components to be used in the irrigation system.

After project completion, and as a condition of final acceptance, the irrigation contractor shall provide the owner with a high quality, accurate, and legible set of as-built drawings. The as-builts must identify all remote control valves, gate valves, ball valves, splice boxes, controllers, mainline, sleeving, and low voltage wiring. Each of these items is shall located using a submeter GPS system. The irrigation contractor must also provide accurate, informative, and easy to follow and understand operation and maintenance manuals for all components of the irrigation system.

Controller charts - Upon completion of "as-builts", contractor shall prepare controller charts at one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside of the controller door. The reduction shall be hermetically sealed inside two 2ml pieces of clear plastic.

Contractor shall furnish extra materials described below that match products installed and that are packaged with protective covering for storage and identified with labels describing contents. Include tools to service these products.

- Sprinkler Units: Five of each unit for each type and size installed, but no fewer than two units.
- Emitter Units: Five of each unit for each type and size installed, but no fewer than two units.

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.

- Final walk-thru and correction of all punch list items.
- Completion and acceptance of 'as-built' drawings.
- Acceptance of required controller charts and placement inside of controllers.
- Turnover of all required parts and tools as outlined in the project specifications.

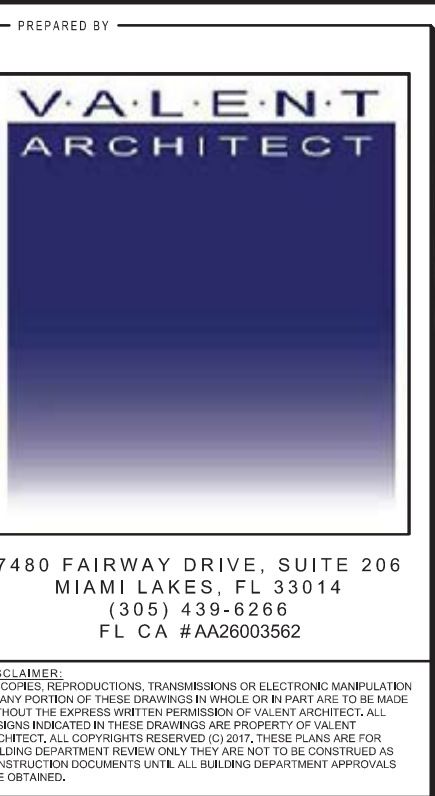
GUARANTEE: The irrigation systems shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MAINTENANCE PROCEDURES

- Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems were repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:
 - Turn on each zone from the controller to verify automatic operation.
 - Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.
 - Check remote control valve to ensure proper operation.
 - Check setting on pressure regulator to verify proper setting, if present.
 - Check flow control and adjust as needed and ensure valve closure within 10-15 seconds after deactivation by controller.
 - Check for leaks in mainline, lateral lines, valves, heads, etc.
 - Check all heads as follows:
 - Proper set height (top of sprinkler is 1" below mow height)
 - Verify head pop-up height - 6" in turf, 12" in ground cover, and pop-up on riser in shrub beds.
 - Check wiper seal for leaks - if leaking, clean head and reinspect. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
 - All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
 - Check for proper vertical alignment and ensure coverage area is correct. Minimize overspray onto hardscapes.
 - Raise or lower raiser height to accommodate plant growth patterns and ensure proper coverage.
 - Verify that pop-up riser retracts after operation. If it does not, repair/replace as needed.
- Check controller grounds for resistance (10 ohms or less) once per year. Submit written reports.
- Check rain shut-off device monthly to insure it functions properly.
- Inspect all filters monthly and clean/repair/replace as needed.
- Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.
- Inspect all valve boxes to ensure they are in good condition and that lids are in place and locked.
- Check pump stations for proper operation, pressures, filtration, settings, etc. (Refer to pump station operations manual)
- Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.
- Winterize, if applicable, as weather in your area dictates. Follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.
- Conduct additional inspections, maintenance tasks, etc. that are specific for your site.

Casto Miguel Juncal

Digitally signed by Casto Miguel Juncal Date: 2020.05.11 22:00:27 -0400



PIERCE STREET

5904 PIERCE STREET.
HOLLYWOOD, FL 33021

ISSUED DATE					

SHEET NAME
IRRIGATION NOTES & DETAILS

SHEET NUMBER
IND-1

General Notes:

SITE NOTES

1. THE MINIMUM LOWEST FIRST FLOOR ELEVATION SHALL NOT BE LESS THAN 4" ABOVE CROWN OF ROAD OR THE FEDERAL AND/OR COUNTY FLOOD CRITERIA ELEVATION, WHICHEVER IS HIGHER. CONTRACTOR SHALL SUBMIT AN ELEVATION SURVEY PRIOR TO POURING FIRST FLOOR SLAB AND A FINAL SURVEY UPON COMPLETION OF PROJECT.
2. WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS SET OF DRAWINGS SHALL BE, BUT NOT LIMITED TO, DRIVEWAYS, SODDING TO ASPHALT LINE AND UTILITY CONNECTIONS.
3. EXISTING TREES WITHIN BUILDING FOOTPRINT SHALL BE REMOVED. CONTRACTOR SHALL PROCURE PERMIT.
4. CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. VERIFY ALL DIMENSIONS AND NOTES BEFORE PROCEEDING WITH WORK.
5. SOIL AT THIS SITE IS UNDISTURBED ROCK AND SAND ADEQUATE OF SUPPORTING THE DESIGN LOAD OF 2000 P.S.F. IF OTHER CONDITIONS ARE ENCOUNTERED, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK. THIS VALUE IS CONSIDERED SAFE WITH RESPECT TO ACTUAL FAILURE OF THE SUPPORTING GROUND, BUT DOES NOT NECESSARILY ENSURE THE PREVENTION OF EXCESSIVE FOUNDATION MOVEMENTS.
6. BURY WATER, PHONE, CABLE, AN ELECTRIC SERVICE 18" BELOW FINISH GRADE WITH 1'-0" RADIUS SAND BACKFILL AROUND PIPES.
7. IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL HIS PRACTICAL TRADES.
8. APPLY AN APPROVED AND ACCEPTABLE SOIL POISONING TREATMENT TO AREAS UNDER ENTIRE SURFACE OF FLOOR SLAB AND ALL OTHER APPLICABLE CRITICAL AREAS, INCLUDING BUT NOT LIMITED TO PATIOS, WALKS ETC., PRIOR TO PLACEMENT OF VISQUEEN AS PER FBC 1816.1 AND FBC R 3320.1 AND FBC R 4409.13.5 TERMITE PROTECTION - PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

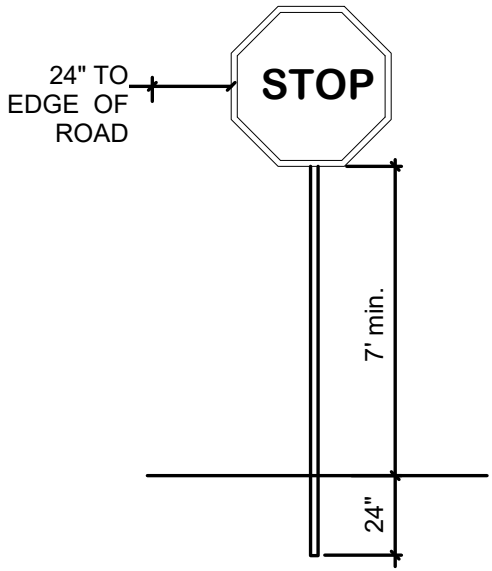
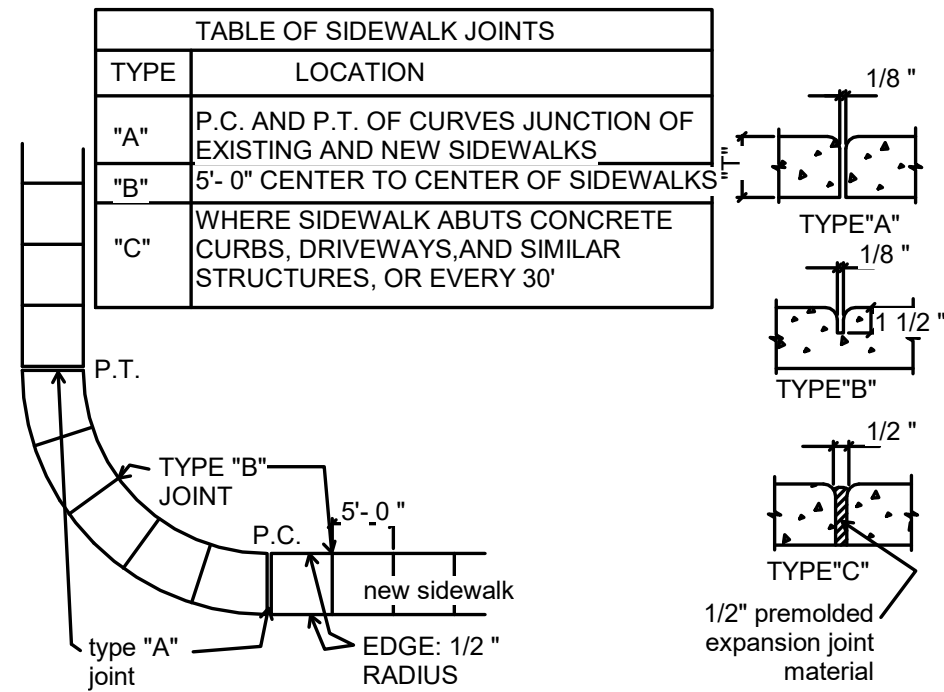
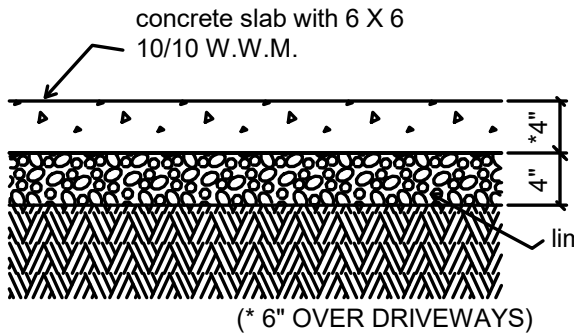
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES"

SPECIAL NOTES

1. PLANS PART OF THIS SET ARE COMPLEMENTARY. INFORMATION IN NOT LIMITED TO ONE PLAN. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY THE OWNER ON OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. THESE PLANS WERE PREPARED TO BE SUBMITTED TO GOVERNMENTAL BUILDING AUTHORITIES FOR REVIEW FOR COMPLIANCE WITH APPLICABLE CODES AND IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO BUILD ACCORDING TO APPLICABLE BUILDING CODES.
2. IF CONTRACTOR OR SUB-CONTRACTOR FIND IT NECESSARY TO DEViate FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUB-CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
3. IN EVERY EVENT, THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL BE INTERPRETED TO BE A MINIMUM ACCEPTABLE MEANS OF CONSTRUCTION BUT THIS SHALL NOT RELIEVE THE CONTRACTOR, SUB-CONTRACTOR, AND/OR SUPPLIER/MANUFACTURER FROM PROVIDING A COMPLETE AND CORRECT JOB WHEN ADDITIONAL ITEMS ARE REQUIRED TO THE MINIMUM SPECIFICATION. IF ANY ITEMS NEED TO EXCEED THESE MINIMUM SPECIFICATIONS TO PROVIDE A COMPLETE, ADEQUATE AND SAFE WORKING CONDITION, THEN IT SHALL BE THE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE DRAWINGS. FOR EXAMPLE, IF AN ITEM AND/OR PIECE OF EQUIPMENT REQUIRES A LARGER WIRE SIZE (I.E. ELECTRICAL WIRE), STRONGER OR LARGER PIPING, INCREASED QUANTITY (I.E. STRUCTURAL ELEMENTS), REDUCED SPACING, AND/OR INCREASED LENGTH (I.E. BOLT LENGTHS, BAR LENGTHS) THEN IT SHALL BE DEEMED AND UNDERSTOOD TO BE INCLUDED IN THE BID/PROPOSAL. THESE DOCUMENTS ARE MEANT AS A GUIDE AND ALL ITEMS REASONABLY INFERRED SHALL BE DEEMED TO BE INCLUDED.
4. ATTENTION TO OWNERS AND BUILDERS:
IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO NOTIFY THE ARCHITECT FOR ANY REQUIRED INSPECTIONS AS PER FBC. A FINAL INSPECTION WILL NOT BE PERFORMED BY THIS OFFICE IF NO OTHER INSPECTIONS HAVE BEEN PERFORMED. THESE INSPECTIONS ARE NECESSARY IN ORDER TO RECEIVE A LETTER OF COMPLIANCE FROM THE ARCHITECT OF RECORD AND THUS ATTAIN A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL. THESE INSPECTIONS ARE NOT PART OF THE OWNER/ARCHITECT AGREEMENT UNLESS PRIOR ARRANGEMENTS HAVE BEEN MADE.
THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

External Lighting Notes:

- a. Parking Lots 3-5 foot candles
- b. Walking Surfaces 3 foot candles
- c. Recreational Areas 2-3 foot candles
- d. Building Entryways 5 foot candles
- e. These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- f. Research types of Security Lighting, such as LED, Metal Halide, etc.
- g. Light fixtures should be protected against casual vandalism by means of vandal resistant materials and design.
- h. Lighting should be uniformly spread to reduce contrast between shadows and illuminated areas.
- i. All entrance/exit ways should be well-lit, well-defined and visible.
- j. Fully illuminate the exterior of the property and grounds at night.
- k. A system of lighting fixture identification should be developed.
- l. The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- m. Exterior lighting should be controlled by automatic devices (preferably by photocell).
- n. Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- o. Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- p. Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).
- q. If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.
- r. Make sure new light fixtures are not obstructed by the existing trees.



1. PARKING SPACE AND ACCESS AISLE SLOPE NOT TO EXCEED 1:48 SLOPE IN ANY DIRECTION.
2. ACCESS ROUTE SLOPE NOT TO EXCEED 1:20 SLOPE IN DIRECTION OF TRAVEL AND SLOPE NOT TO EXCEED 1:48 IN CROSSING DIRECTION WITH NO CHANGE IN LEVEL GREATER THAN 1/2".
3. RAMP SLOPE NOT TO EXCEED 1:12 FOR A MAXIMUM DISTANCE OF 30'-0" AND MAXIMUM RISE OF 30".
4. RAMPS EXCEEDING 6'-0" IN LENGTH OR 6" IN RISE SHALL HAVE HANDRAILS ON EACH SIDE PROJECTING 18" BEYOND RAMP WITH 44" CLEAR WIDTH MINIMUM.
5. LANDING AT BOTTOM TO BE 6'-0" LONG MINIMUM AND AT LEAST THE SAME WIDTH AS THE RAMP.
6. INTERMEDIATE LANDING TO BE 5'-0" LONG MINIMUM AND 5'-0" BY 5'-0" MINIMUM IF THERE IS A CHANGE OF DIRECTION.
7. TOP LANDING TO BE 5'-0" LONG MINIMUM.
8. LANDING AT ENTRANCE DOOR FOR A DISTANCE OF 5'-0" MUST BE LEVEL.
9. A SLOPE OF 1:48 OR LESS IS CONSIDERED LEVEL.
10. THESE NOTES SHALL TAKE PRECEDENCE OVER ANY CONFLICTING NOTES UNLESS CONFLICTING NOTES ARE MORE STRINGENT OR RESTRICTIVE.

N.T.S.	SIDEWALK DETAIL	N.T.S.	SIDEWALK JOINT DETAIL	N.T.S.	STOP DETAIL	HANDICAP SITE NOTES	
N.T.S.	INTERIOR ELEVATION - URINAL	N.T.S.	WATER CLOSET AND GRAB BAR - FRONT VIEW	N.T.S.	WATER CLOSET AND GRAB BAR SIDE VIEW	N.T.S.	HANDICAP SIGN
N.T.S.	WALL SINK FRON VIEW	N.T.S.	WALL SINK - SIDE VIEW	N.T.S.	INTERIOR ELEVATION TOWEL PAPER DISPENSER	N.T.S.	PARKING STALL LAYOUT
				NOT USED			
N.T.S.	INTERIOR ELEVATION - DRINKING FOUNTAIN	N.T.S.	MINIMUM CLEAR FLOOR SPACE	N.T.S.	NOT USED	N.T.S.	WHEEL STOP DETAIL
N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.	TYPE CURB DETAIL "D"

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PROFESSIONAL SEAL
PATRICK STEPHEN VALENT
AR 13831
REGISTERED ARCHITECT

PROFESSIONAL SEAL

PROFESSIONAL SEAL

PREPARED FOR:
PROJECT INFORMATION

Proposed Mixed Use Development:
Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY - YES
No. Description Date

SHEET NAME
Site Details

SHEET NUMBER
A-0.1
OF

10/14/2020 2:05:22 PM
FUT ORMALI, PE
FL Lic. No. 60795
Mechanical Engineer
PATRICK VALENT
RA # 13831

ZONING SUMMARY

LAND USE _____ TOC (TRANSIT ORIENTED CORRIDOR)

ZONING _____ C-LP (CENTRAL LINEAR PARK)

LOCATION _____ 5904 PIERCE STREET, HOLLYWOOD, FL 33021

LEGAL DESCRIPTION _____ LOT 1 AND 2, BLOCK 19, CORRECTED PLAT OF HOLLYWOOD BEACH GARDENS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING AND BEING IN SECTION 13 TOWNSHIP 51 SOUTH, RANGE 41 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

LOT SIZE _____ GROSS = 21,900 SF - 0.50275482 ACRE
NET = 14,909 SF - 0.34226354 ACRE.

MAXIMUM DENSITY (MIXED USE)

36 UNIT/ACRE _____ 18 UNITS (18 UNITS ALLOWED)
* AVG UNIT SIZE = 800 SF.

MAXIMUM HEIGHT _____ 65 FT. (PROVIDED 42'-6" Top of Roof
62'-6" Top of Projections)

OPEN SPACE

	REQUIRED	PROVIDED
15% OF NET	2,239 SQ. FT.	3,894 SQ. FT.

SETBACK INFORMATION:

	REQUIRED	PROVIDED
Pierce Street (north)	10'/15'	15'-3"
SIDE (west)	10'	16'-2"
FRONT (east) (59th Ave)	10'/15'	15'-5" (10'-2" vertical circulation)
SIDE INTERIOR (south)	10'	10'-0"
PARKING BUFFER	5'	5'-0"

SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.

AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO LAKE ORT CANAL.

LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

ANY APPLICANT RESOLUTION:

NOTICE:

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. SECTION 553.79 (IO) FLORIDA STATUTES, EFFECTIVE 7/10/87

PUBLIC WORKS DEPARTMENT

AS SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES. THE HEIGHT OF THE FENCES, WALL AND HEDGES SHALL NOT EXCEED 25 FEET IN HEIGHT WITHIN 10 FT. OF THE EDGE OF ANY DRIVEWAY LEADING TO A RIGHT OF WAY.

THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE. GRADE = ELEVATION OF PUBLIC SIDEWALK OR CROWN OF ROAD.

FLOOD ZONE:

CITY FLOOR CRITERIA _____ BASE FLOOD ELEVATION:
HIGHEST CROWN OF ROAD:

	ELEVATION EXISTING PROPOSED REQUIRED	LOWEST FLOOR	GARAGE EXISTING PROPOSED REQUIRED	GRADE
			N/A	N/A

ASBUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR AND AS-BUILT ELEVATION CERTIFICATE IS REQUIRED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY OR COMPLETION

OSFH - (OUTSIDE SPECIAL FLOOD HAZARD) ALL ELECTRICAL AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE REQUIRED LOWEST FLOOR ELEVATION.

SPFH - (SPECIAL FLOOD HAZARD) ALL ELECTRICAL AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE BASE FLOOD ELEVATION OR REQUIRED LOWEST FLOOR ELEVATION, WHICHEVER IS GREATER

LOWEST FLOOR - SHALL MEAN THE LOWEST FLOOR OF THE LOWEST ENCLOSED AREAS (INCLUDING BASEMENT) AN UNFINISHED OR FLOOD ELEVATION RESISTANT ENCLOSURE, USABLE FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE IN AN AREA OTHER THAN A BASEMENT AREA, IS NOT CONSIDERED A BUILDINGS LOWEST FLOOR PROVIDED THAT SUCH ENCLOSURE IS NOT BUILT AS TO RENDER THE STRUCTURE IN VIOLATION OF THE APPLICABLE NON-ELEVATION DESIGN REQUIREMENTS.

SITE NOTES:

- COORDINATE EXIST POOL EQUIPMENT RELOCATION W/ OWNER
- COORDINATE NEW SANITARY TIE IN W/ OWNER & SEPTIC CONTRACTOR
- PROVIDE NEW WELL, (COORDINATE W/ OWNER)
- RESOD AREAS ADJACENT TO NEW ADDITION AFTER CONSTRUCTION

TYPICAL SITE NOTES:

- THE MINIMUM LOWEST FIRST FLOOR ELEVATION SHALL NOT BE LESS THAN 12" ABOVE CROWN OF ROAD OR THE FEDERA AND/OR COUNTY FLOOD CRITERIA ELEVATION, WHICHEVER IS HIGHER. CONTRACTOR SHALL SUBMIT AN ELEVATION SURVEY PRIOR TO POURING FIRST SLAB AND A FINAL SURVEY UPON COMPLETION OF PROJECT
- WORK OUTSIDE OF THE PROPERTY LINE INCLUDED IN THIS SET OF DRAWINGS SHALL BE, BUT NOT LIMITED TO, DRIVEWAYS, SODDING TO ASPHALT LINE, TREES AND UTILITY CONNECTIONS.
- EXISTING TREES WITHIN BUILDING FOOTPRINT SHALL BE REMOVED. CONTRACTOR SHALL PROCURE PERMIT.
- CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL UTILITY SERVICE CONNECTION LOCATIONS PRIOR TO SUBMITTING BID AND PROCEEDING WITH WORK. VERIFY ALL DIMENSIONS AND NOTES BEFORE PROCEEDING WITH WORK.
- SOIL AT THIS SITE IS UNDISTURBED ROCK AND SAND ADEQUATE OF SUPPORTING THE DESIGN LOAD 2000 P.S.F. IF OTHER CONDITIONS ARE ENCOUNTERED, NOTIFY ARCHITECT BEFORE PROCEEDING WORK. THIS VALUE IS CONSIDERED SAFE WITH RESPECT TO ACTUAL FAILURE OF THE SUPPORTING GROUND, BUT DOES NOT NECESSARILY ENSURE THE PREVENTION OF EXCESSIVE FOUNDATION MOVEMENTS (2400.2 S.F.B.C.)
- BURY WATER, PHONE, CABLE, AND ELECTRIC SERVICE 18" BELOW FINISH GRADE WITH 1'-0" RADIUS SAND BACK FILL AROUND PIPES.
- IN ORDER TO AVOID ANY CONFLICTS, CONTRACTOR SHALL COORDINATE ALL HIS PRACTICAL TRADES.
- APPLY ON APPROVED AND ACCEPTABLE SOIL POISONING TREATMENT TO AREAS UNDER ENTIRE SURFACE OF FLOOR SLAB AND ALL OTHER APPLICABLE CRITICAL AREAS, INCLUDING BUT NOT LIMITED TO PATIOS, WALKS ETC. PRIOR TO PLACEMENT OF VISQUEEN.
- ATTENTION TO OWNERS AND BUILDERS:
IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO NOTIFY THE ARCHITECT FOR ANY REQUIRED INSPECTIONS. AS PER FBC. A FINAL INSPECTION WILL NOT BE PERFORMED BY THIS OFFICE IF NO OTHER INSPECTIONS HAVE BEEN PERFORMED. THESE INSPECTIONS ARE NECESSARY IN ORDER TO RECEIVE A LETTER OF COMPLIANCE FROM THE ARCHITECT OF RECORD AND THUS, ATTAIN A CERTIFICATE OF OCCUPANCY FROM THE BUILDER OFFICIAL. THESE INSPECTIONS ARE NOT PART OF THE OWNER/ARCHITECT AGREEMENT UNLESS PRIOR ARRANGEMENTS HAVE BEEN MADE.
- THE CONTRACTOR SELECTED BY THE OWNER SHALL BE A CERTIFIED CONTRACTOR LICENSED BY THE DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION AND MUST CARRY WORKER'S COMPENSATION INSURANCE (WAIVER OF INSURANCE IS NOT ACCEPTABLE) AND LIABILITY INSURANCE. THE AMOUNT OF INSURANCE MUST BE DECIDED BY THE OWNER BUT SHOULD NEVER BE LESS THAN THE MINIMUM AMOUNTS REQUIRED BY LAW AND/OR THE CITY/COUNTY BUILDING DEPARTMENT THAT EMITS THE BUILDING PERMIT. THE OWNER MUST AVOID THE LIABILITY EXPOSURE AND DECIDE IF THE MINIMUM REQUIRED INSURANCE AMOUNTS ARE ENOUGH FOR THEIR PROTECTION. THESE CONTRACT DOCUMENTS AND SPECIFICATIONS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND BETWEEN THE ARCHITECT AND THE CONTRACTOR.

GROUND LEVEL

South Vertical Circulation	=	204 SF.	} (Building - Ground Level = 2,833 sf.)
North Vertical Circulation	=	241 SF.	
Equipment and Storage	=	120 SF.	
Retail Area (restroom)	=	2,087 SF.	
Lobby	=	181 SF.	
Walkway	=	628 SF.	
Vehicular use area (parking)	=	7,554 SF.	

2nd LEVEL

South Vertical Circulation	=	204 SF.	} (Building - 2nd Level = 8,623 sf.)
North Vertical Circulation	=	230 SF.	
Circulation/storage	=	1,234 SF.	
Units Area	=	5,589 SF.	
Balconies	=	1,372SF.	

3rd LEVEL

South Vertical Circulation	=	204 SF.	} (Building - 3rd Level = 8,117 sf.)
North Vertical Circulation	=	230 SF.	
Circulation/storage	=	1,234 SF.	
Units Area	=	5,589 SF.	
Balconies	=	866 SF.	

4th LEVEL

South Vertical Circulation	=	204 SF.	} (Building - 3rd Level = 8,117 sf.)
North Vertical Circulation	=	230 SF.	
Circulation/storage	=	1,234 SF.	
Units Area	=	5,589 SF.	
Balconies	=	866 SF.	

TOTAL BUILDING AREA = 35,244 SF.

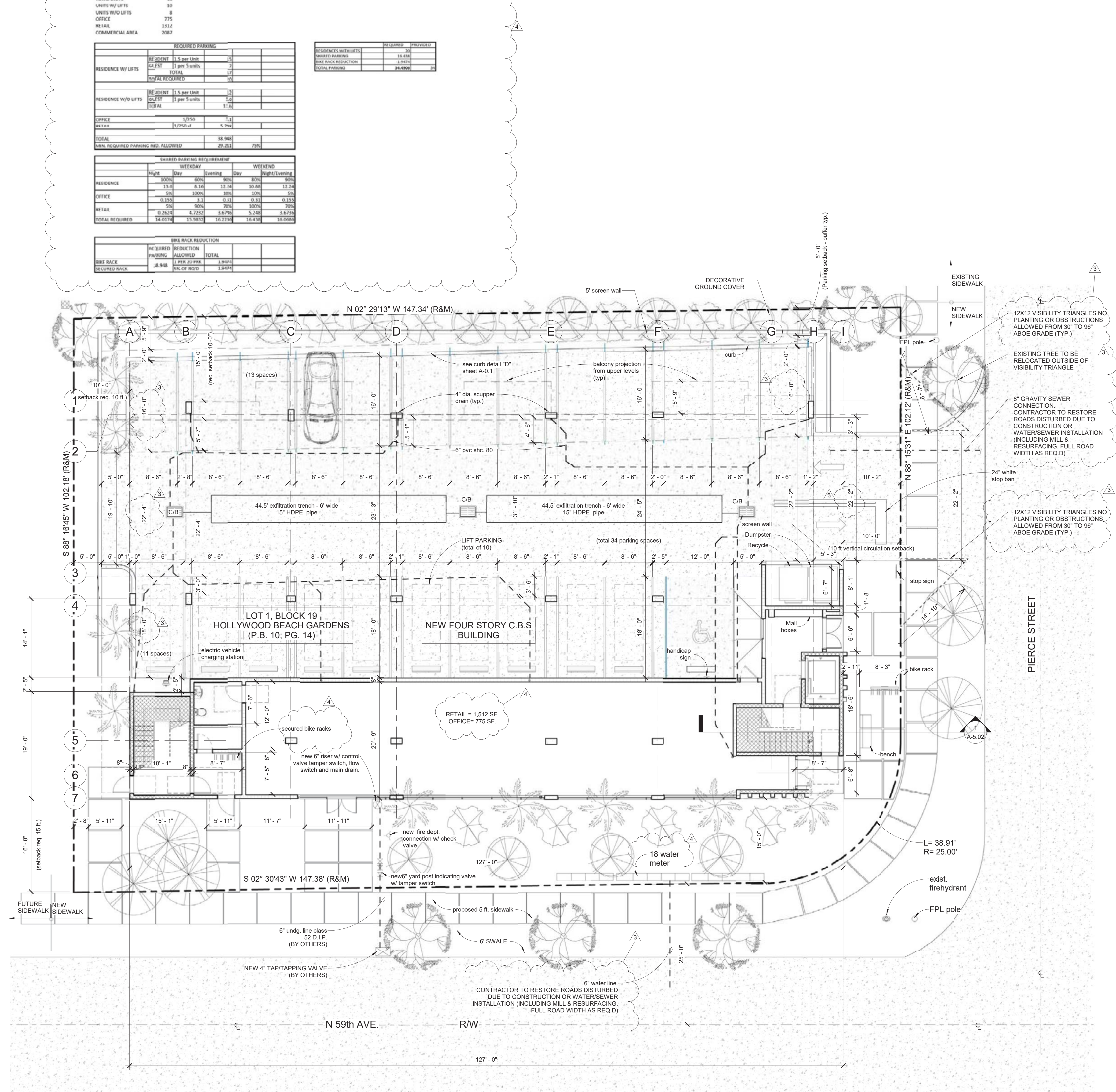
PERVIOUS = 3,894 SF.
IMPERVIOUS = 11,015 SF.
LOT AREA = 14,909 SF.

SITE GENERAL NOTES

- Low VOC materials to be used
- All external lighting should be fully shielded and meet the requirements of the International Dark Sky Association.
- Install energy efficient light fixtures, Energy Star or water sense certified appliances, and programmable thermostats.
- Install an Energy Star certified or Cool Roof Council rated roof.
- Use rainwater for irrigation or non-potable water uses in the building.
- Use permeable pavement. Where applicable
- The maximum foot-candle level at all property lines (Maximum 0.5 allowed)
- Third party green building certification required.
- All signage shall be in compliance with zoning and land development regulations. (separate permits are required for each sign)

ROAD RESTORATION NOTE:

Area of road restoration, mill and resurface needs to be shown. Full road width mill and resurface for the streets abutting the project site will be necessary.



1 Site Plan
1/8" = 1'-0"

RESIDENTIAL 18 UNITS

- SECOND FLOOR
(1) 1 BEDROOM - 1 BATH
(3) 2 BEDROOM - 2 BATH
(2) 3 BEDROOM - 2 BATH
- THIRD FLOOR
(1) 1 BEDROOM - 1 BATH
(3) 2 BEDROOM - 2 BATH
(2) 3 BEDROOM - 2 BATH
- FORTH FLOOR
(1) 1 BEDROOM - 1 BATH
(3) 2 BEDROOM - 2 BATH
(2) 3 BEDROOM - 2 BATH
- ROOF
CONDENSERS UNITS

PROPOSED BY

VALENT ARCHITECT

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FL CA #AAS0005862

PROFESSIONAL SEAL

PATRICK STEPHEN VALENT
REGISTERED ARCHITECT
AR 13831

PROFESSIONAL SEAL

PROJECT INFORMATION

Proposed Mixed Use Development:

Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY - YES

No. Description Date

2 TAComments 3-12-20

3 TAComments 5-10-20

4 Comments 10-12-20

SHEET NAME

Site Plan

SHEET NUMBER

A-0.2

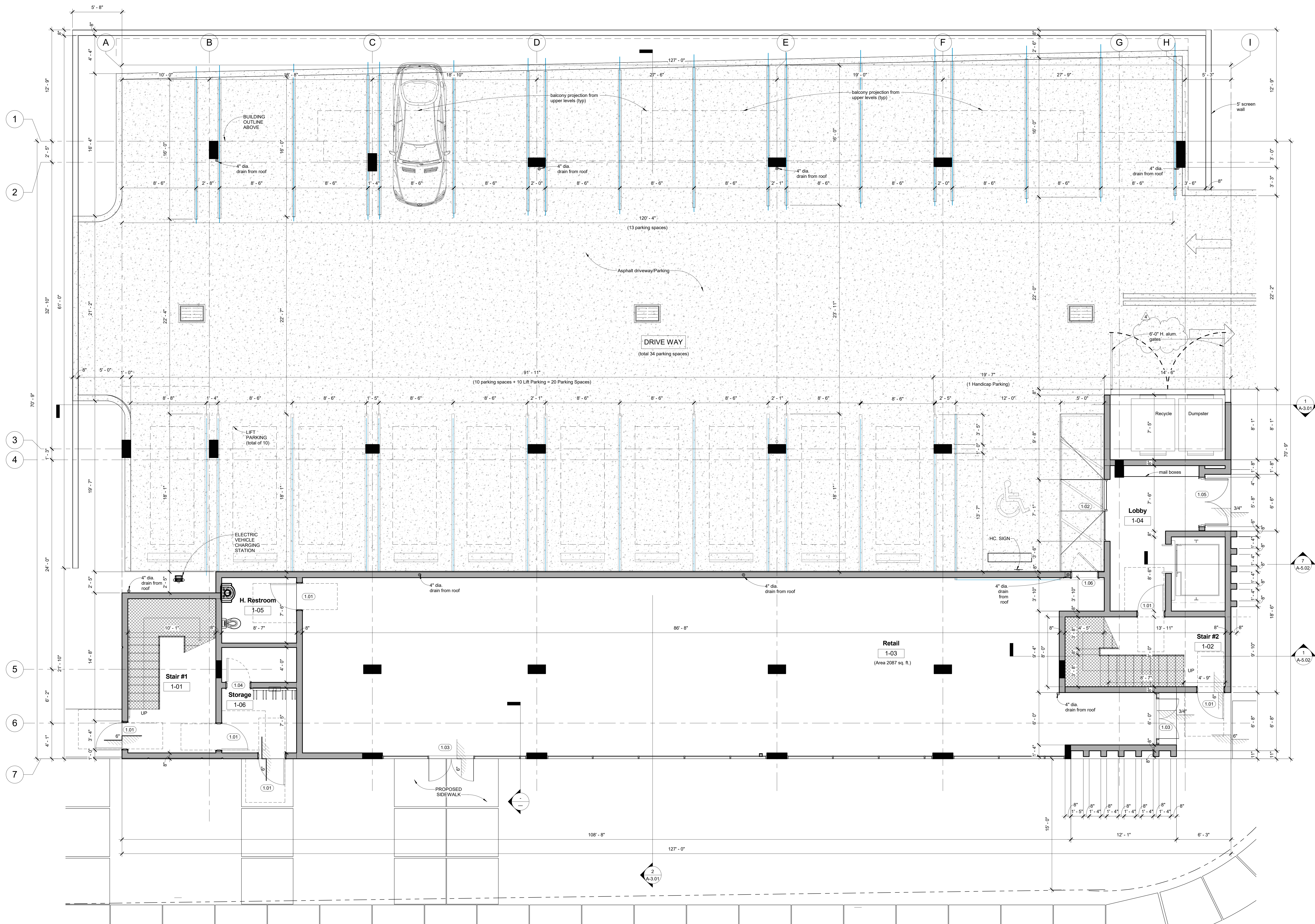
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PATRICK VALENT
RA # 13831

FUAT ORMALLI DE
FL Lic. No. 60795

Mechanical Engineer



1 1st Level Floor Plan
1/4" = 1'-0"

Proposed Mixed Use Development:

Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

NO.	Description	Date
4	Comments	10-12-20

1st Level Floor Plan

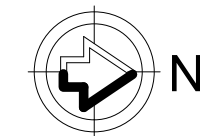
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STATE OF FLORIDA
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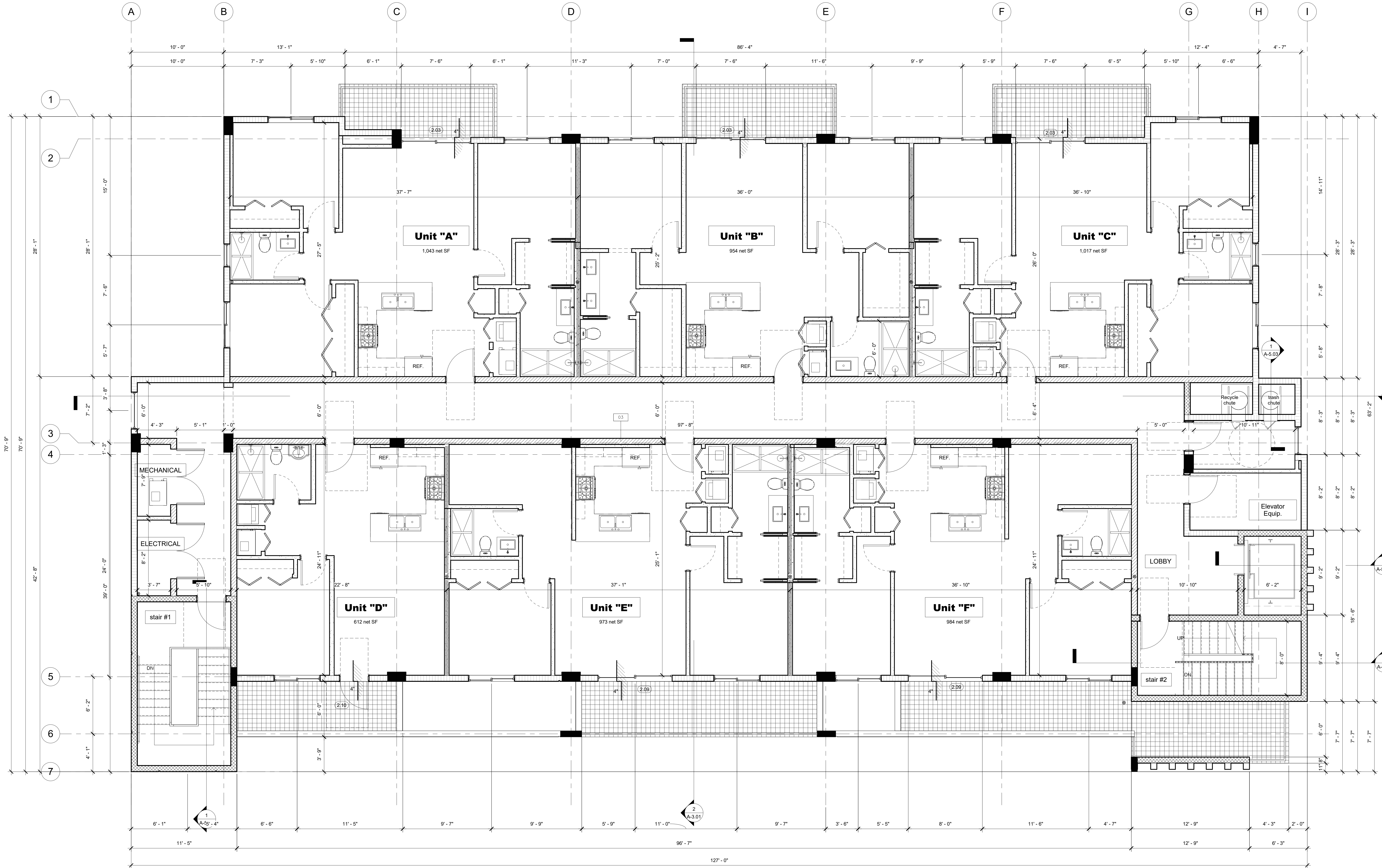
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A-2


$$1/4" = 1'-0"$$



1 4th Level Floor Plan
1/4" = 1'-0"

Proposed Mixed Use Development:

Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY - YES		JAN 07 2020	
No.	Description	Date	
SHEET NAME			
4th Level Floor Plan			
SHEET NUMBER			
A-4			

PREPARED BY:
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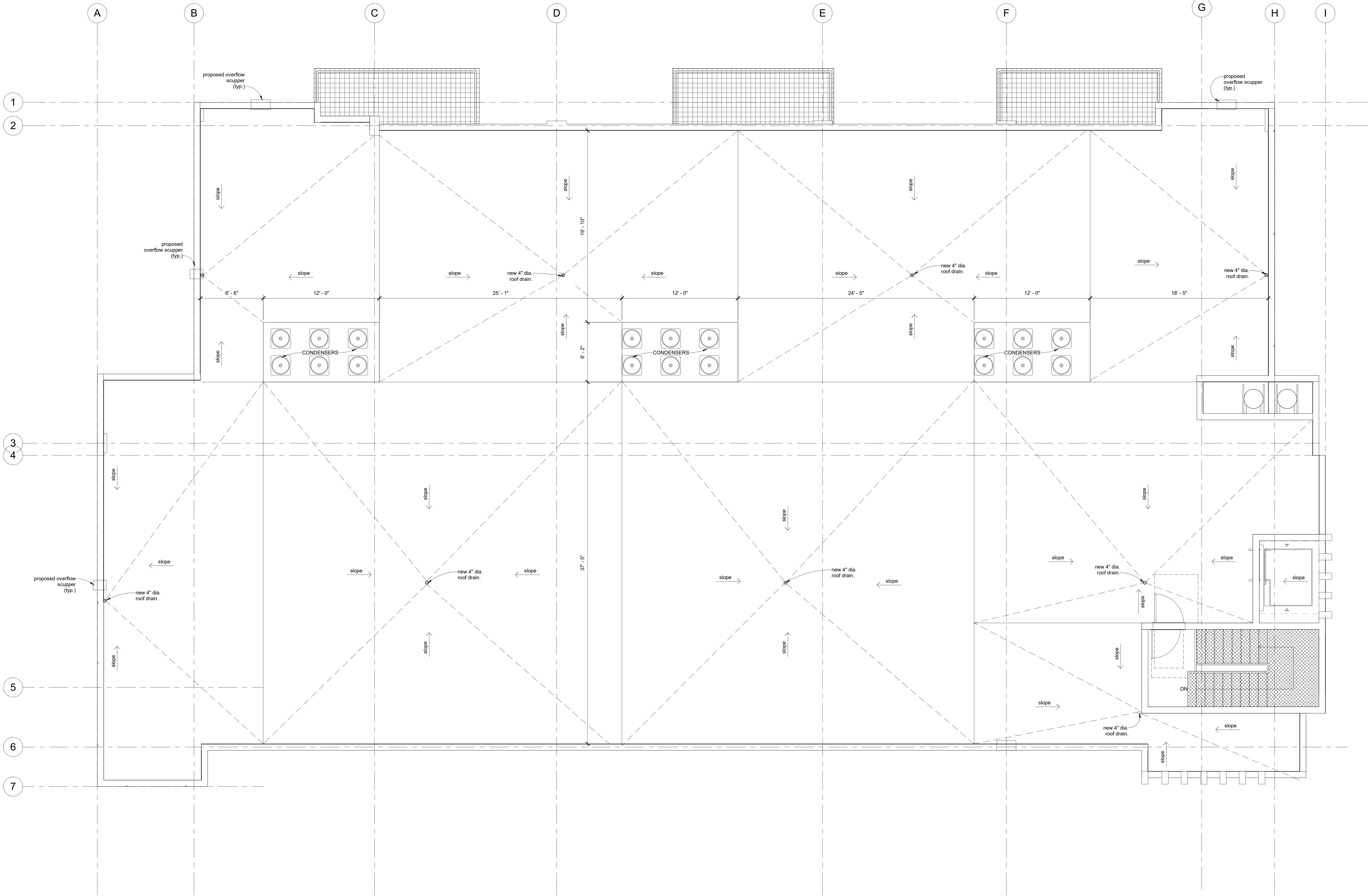
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PROJECT INFORMATION

1 A-3.01

7 A-5.02

1 A-5.02



HIGHER ROOF DECK SCUPPER CALCULATION
ROOF DECK PROJECTED ROOF AREA = X,XXX SF
X,XXX SF / X,XXX = (0.XX) 1 SCUPPER MIN. FOR A 512 SF AREA OR LESS
EACH SCUPPER HAS A 3" HEAD AND A 6" WEIR (PER FBC RESIDENTIAL 2007 TABLE 1106.7)

- GENERAL ROOF NOTES:
1. ROOFING SYSTEM + DECK WATER PROTECTION SYSTEM UNDER SEPARATION PERMIT.
 2. MIAMI DADE N.O.A. IS REQUIRED FOR ALL WATER PROTECTION SYSTEMS.
 3. ALL FLASHING ATTACHMENTS TO BE INSTALLED ANSI/SPR ES-1-98.
 4. ALL HORIZONTAL, INCLUDING TOPS OF PARAPETS, SURFACES TO SLOPE AT 1/4" PER FOOT MIN. (TOWARDS A DRAIN OR SCUPPER U.O.N.)
 5. NO PROJECTED ROOF AREA IS ALLOWED TO ACCUMULATE MORE THAN 4" AT 1/4" PER FOOT MIN.



1 Main Roof Level Access Plan
1/4" = 1'-0"

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PROFESSIONAL SEAL

PROFESSIONAL SEAL

PROFESSIONAL SEAL

PREPARED FOR:

PROJECT INFORMATION:

Proposed Mixed Use Development:
Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY - YES

No.

Description

Date

4

Comments

10-12-20

SHEET NAME

Roof Plan

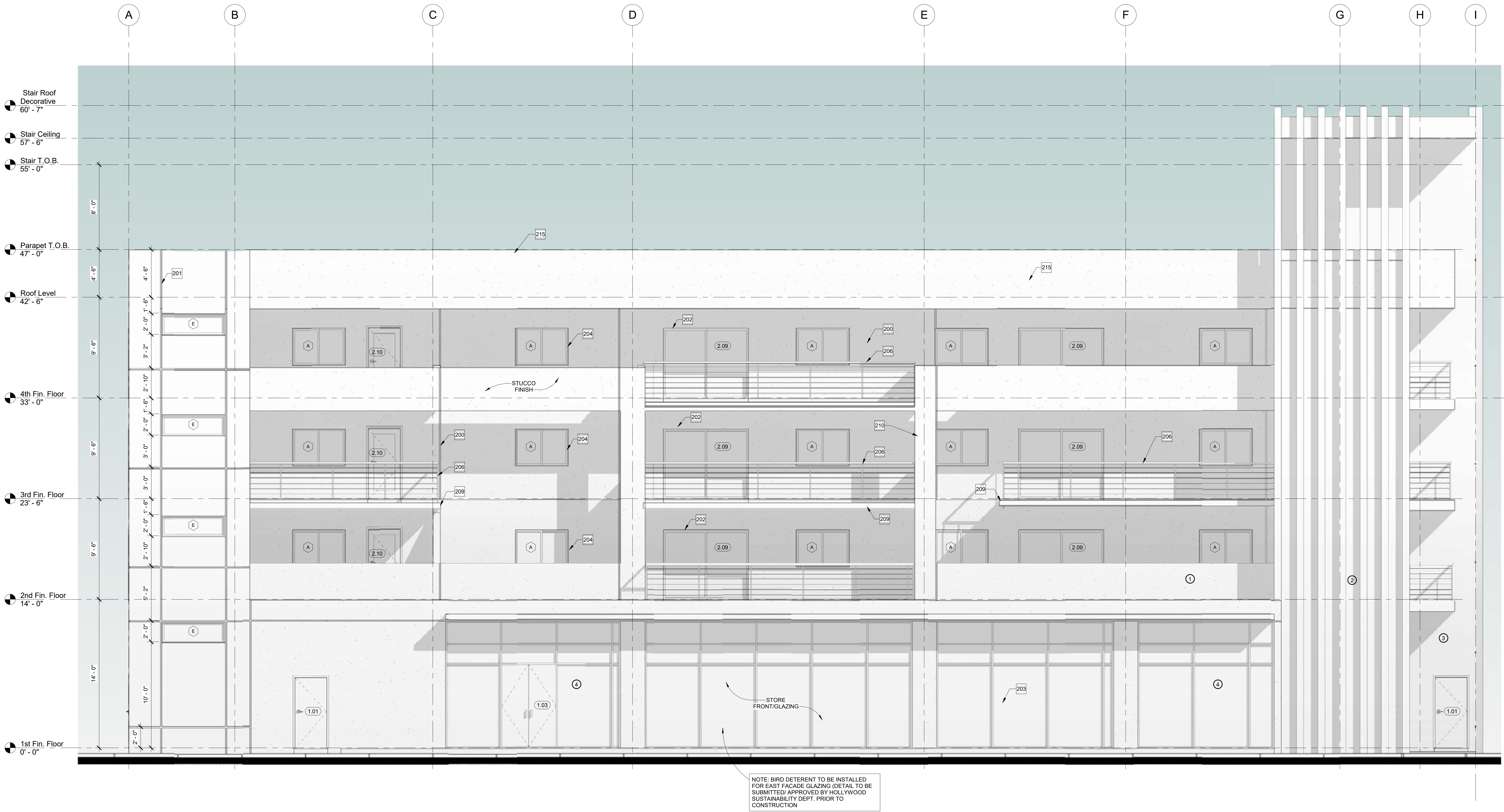
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1 Front Elevation (East)
1/4" = 1'-0"

FINISH LEGEND

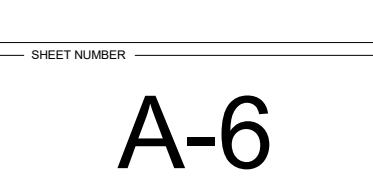
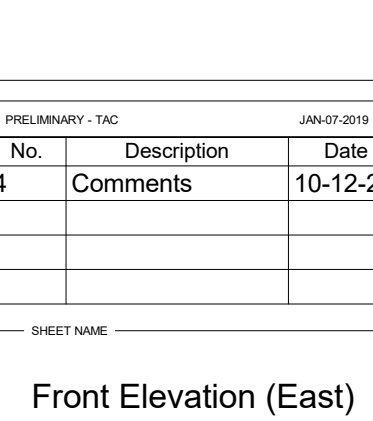
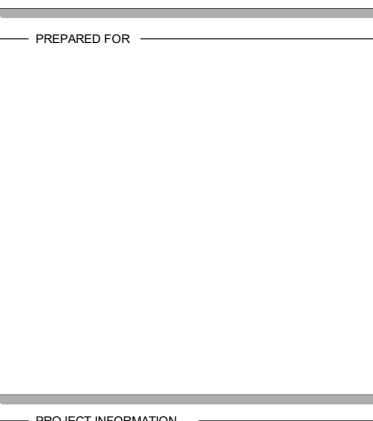
- 1 SMOOTH STUCCO FIN. (PAINTED WHITE)
- 2 FLUTED VERTICAL BLOCK PAINTED GREY
- 3 SMOOTH STUCCO FIN. PAINTED ALLUM. GREY
- 4 WHITE ALUM. STOREFRONT

KEY NOTES

- 200 PAINTED 5/8" SMOOTH STUCCO FINISH OVER 8" CBS/ CONC. WALL.
- 201 TOOLED STUCCO SCORIE LINE.
- 202 IMPACT RESISTANT SLIDING GLASS DOOR W/ LIGHT GRAY LAMINATED GLASS, SEE GLAZING SCHEDULE.
- 203 IMPACT RESISTANT STOREFRONT SYSTEM W/ LIGHT GRAY LAMINATED GLASS, SEE GLAZING SCHEDULE.
- 204 IMPACT RESISTANT WINDOW W/ LIGHT GRAY LAMINATED GLASS.
- 206 42" HIGH ALUMINUM RAILING TO REJECT A 4" SPHERE, BOTTOM RAIL TO REJECT A 2" SPHERE.
- 209 CONCRETE BALCONY/ OVERHANG WITH DRIP EDGE.
- 210 CONCRETE COLUMN.
- 215 CONCRETE PARAPET.

Proposed Mixed Use Development:

Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021





2 Right Elevation (North)
1/4" = 1'-0"

FINISH LEGEND	
1	SMOOTH STUCCO FIN. (PAINTED WHITE)
2	FLUTED VERTICAL BLOCK PAINTED GREY
3	SMOOTH STUCCO FIN. PAINTED ALLUM. GREY
4	WHITE ALUM. STOREFRONT

KEY NOTES	
200	PAINTED 5/8" SMOOTH STUCCO FINISH OVER 8" CBS/ CONC. WALL.
201	TOOLED STUCCO SCORELINE.
203	IMPACT RESISTANT STOREFRONT SYSTEM W/ LIGHT GRAY LAMINATED GLASS. SEE GLAZING SCHEDULE.
204	IMPACT RESISTANT WINDOW W/ LIGHT GRAY LAMINATED GLASS.
206	42" HIGH ALUMINUM RAILING TO REJECT A 4" SPHERE, BOTTOM RAIL TO REJECT A 2" SPHERE.
209	CONCRETE BALCONY/ OVERHANG WITH DRIP EDGE.
210	CONCRETE COLUMN.
212	8" X 6'-0" HIGH CMU SCREEN WALL.
215	CONCRETE PARAPET.

Proposed Mixed Use Development:
Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

REVISIONS	
No.	Description
4	Comments
SHEET NAME	
Right Elevation (North)	
SHEET NUMBER	
A-7	

PREPARED BY

VALENT ARCHITECT

16888 NW 22nd Ave.
MIAMI LAKES, FL 33016
(305) 439-6266
FL CA #AAS0003582

REGISTERED ARCHITECT

STATE OF FLORIDA

PATRICK STEPHEN VALENT
AR 13831

PROJECT INFORMATION

PROJECT NAME

PROJECT LOCATION

PROJECT DATE



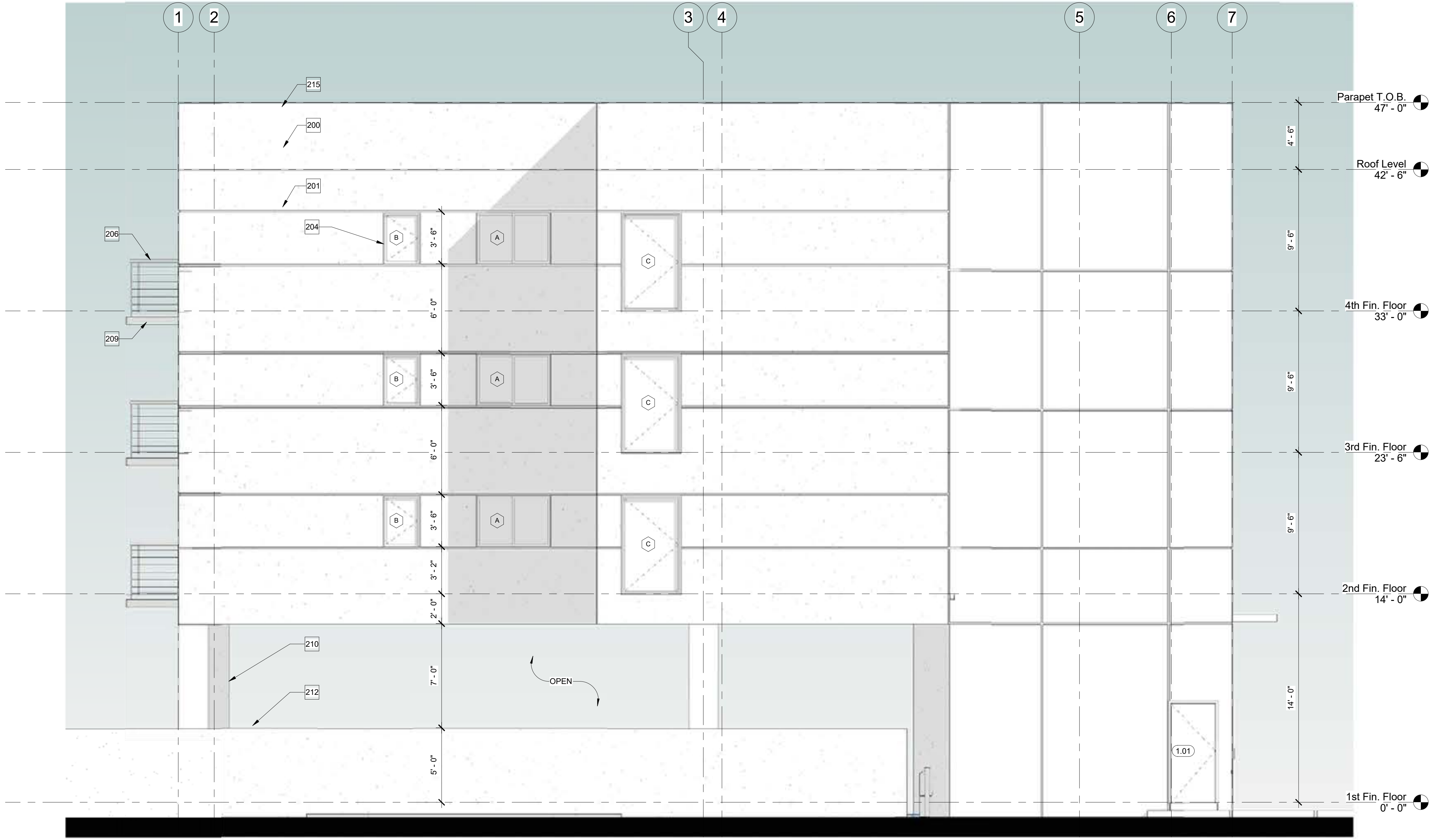
1 Rear Elevation (West)
1/4" = 1'-0"

KEY NOTES	
200	PAINTED 5/8" SMOOTH STUCCO FINISH OVER 8" CBS/ CONC. WALL.
201	TOOLED STUCCO SCORELINE .
206	42" HIGH ALUMINUM RAILING TO REJECT A 4" SPHERE, BOTTOM RAIL TO REJECT A 2" SPHERE.
209	CONCRETE BALCONY/ OVERHANG WITH DRIP EDGE.
210	CONCRETE COLUMN..
212	8" x 6'-0" HIGH CMU SCREEN WALL.
215	CONCRETE PARAPET.

PRELIMINARY - EAC		JAN-27-2019
No.	Description	Date
4	Comments	10-12-20

REAR ELEVATION (WEST)

A-8



1 Left Elevation (South)
1/4" = 1'-0"

KEY NOTES		
200	PAINTED 5/8" SMOOTH STUCCO FINISH OVER 8" CBS/ CONC. WALL.	
201	TOOLED STUCCO SCORELINE	
204	IMPACT RESISTANT WINDOW W/ LIGHT GRAY LAMINATED	
206	42" HIGH ALUMINUM RAILING TO REJECT A 4" SPHERE, BOTTOM RAIL TO REJECT A 2" SPHERE	
209	CONCRETE BALCONY/ OVERHANG WITH DRIP EDGE.	
210	CONCRETE COLUMN.	
212	8" X 6'-0" HIGH CMU SCREEN WALL.	
215	CONCRETE PARAPET.	

Proposed Mixed Use Development:
Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

REVISIONS		
No.	Description	Date
4	Comments	10-12-20
SHEET NAME		
Left Elevation		
SHEET NUMBER		
A-9		

PREPARED BY

VALENT ARCHITECT

16888 NW 2nd Ave.
MIAMI LAKES, FL 33016
(305) 439-6266
FL CA #AAS0003562

REGISTERED ARCHITECT

STATE OF FLORIDA

PATRICK STEPHEN VALENT
AR 13831

PROFESSIONAL SEAL

PROFESSIONAL SEAL

PROFESSIONAL SEAL

PROFESSIONAL SEAL

GENERAL RESTROOM NOTES:

- GENERAL NOTES:

1. ALL WALLS IN RESTROOMS TO BE DRYWALL W/ PAINT FINISH
2. PAINT USED IN RESTROOMS AND SERVICE SINKS AREA TO BE ENAMEL (SEMI-GLOSS) COLOR OR SELECTION BY ARCHITECT
3. ALL GYPSUM WALL BOARD TO BE MOISTURE RESISTANT (MR)
4. ALL INTERIOR FINISHES (WALLS, CEILING, ETC.) INCLUDING WOOD SHALL HAVE A MINIMUM FLAME SPREAD RATING OF CLASS "C" PROVIDED BY MANUFACTURER.
5. INSTALL KICK PLATES ON ALL DOORS AT RESTROOM SIDES.
6. ALL TOILET EQUIPMENT SHALL BE SUPPLIED BY GENERAL CONTRACTOR.
7. ALL FIXTURES SHALL COMPLY WITH THE LATEST MINIMUM ACCESSIBILITY REQUIREMENTS FOR THE STATE OF FLORIDA.
8. PROVIDE ADAQUE BACKING IN WALLS AS REQUIRED-TYPICAL ALL GRAB BARS, FIXTURES AND ACCESSORIES.
9. FLOOR AND WALL BASES SHALL EXTEND A MINIMUM OF 4" ABOVE FLOOR, PER FBC 1210.2.1
10. WALLS AND PARTITIONS WITHIN 24" OF FIXTURES SHALL BE NON-ABSORBENT SURFACE A MIN. OF 48" A.F.F., PER FBC 1210.2.2
11. SHOWER WALLS SHALL HAVE A NON-ABSORBENT SURFACE UP TO 70" A.F.F., PER FBC 1210.2.3

NOTES :

REFER TO INTERIOR DESIGN DRAWINGS FOR ALL FIXTURE SELECTIONS

ALL PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS SECTION 604.4 FBC, PLUMBING & TABLE 604.4

SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT, ACCESSORIES, ETC. FOR ARCHITECT APPROVAL PRIOR TO ORDER.

CONTRACTOR TO PROVIDE ANTI-SCALD VALVE PER F.B.C. 424.4 AT SHOWER.

Shower Compartment Compliance

THE WALL AREA ABOVE BUILT-IN TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE CONSTRUCTED OF SMOOTH, NONCORROSIVE AND NONABSORBENT WATERPROOF MATERIALS TO CEILING HEIGHT ABOVE THE ROOM FLOOR LEVEL. SUCH WALLS SHALL FORM A WATER-TIGHT JOINT WITH EACH OTHER AND WITH EITHER THE TUB,

THE SHOWER COMPARTMENT ACCESS AND EGRESS OPENING SHALL HAVE A MINIMUM CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF 22 INCHES (559 MM).

FLOOR SURFACES SHALL BE CONSTRUCTED OF IMPERVIOUS, NONCORROSIVE, NONABSORBENT AND WATER-PROOF MATERIALS.

BATH TUB COMPLIANCE

THE WASTE OUTLET SHALL BE EQUIPPED WITH AN APPROVED STOPPER. THE WHIRLPOOL PUMP SHALL BE LOCATED ABOVE THE WEIR OF THE FIXTURE TRAP

WINDOWS AND DOORS WITHIN A BATHTUB ENCLOSURE SHALL CONFORM TO THE SAFETY GLAZING REQUIREMENTS AND SHALL BE CATEGORY II TEMPERED SAFETY GLASS MINIMUM. DOORS WITHIN A BATHTUB ENCLOSURE SHALL CONFORM TO ASME A112.19.15

ACCESS SHALL BE PROVIDED TO CIRCULATION PUMPS IN ACCORDANCE WITH THE FIXTURE OR PUMP MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR AS NOTED ON DRAWINGS. THE ACCESS OPENING SHALL BE UNOBSTRUCTED AND OF THE SIZE NECESSARY TO PERMIT THE REMOVAL AND REPLACEMENT OF THE CIRCULATION PUMP.

Clothes Washer Compliance

THE WATER SUPPLY TO AN AUTOMATIC CLOTHES WASHER SHALL BE PROTECTED AGAINST BACKFLOW BY AN AIR GAP INSTALLED INTEGRALLY WITHIN THE MACHINE CONFORMING TO ASSE 1007 OR WITH THE INSTALLATION OF A BACKFLOW PREVENTER - COORDINATE WITH MACHINE SUPPLIED BY OWNER.

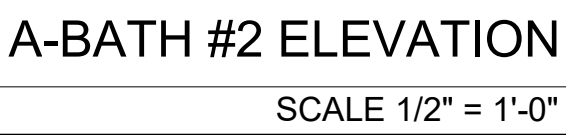
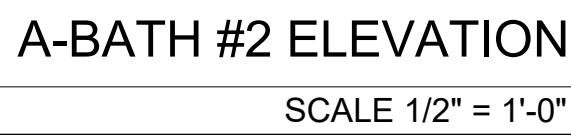
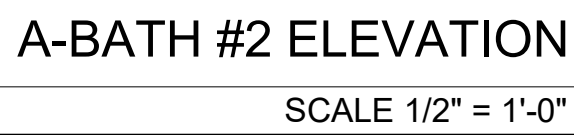
THE WASTE FROM AN AUTOMATIC CLOTHES WASHER SHALL DISCHARGE THROUGH AN AIR BREAK INTO A STANDPIPE IN ACCORDANCE WITH SECTION 802.4 FBC-P.

Shower/Tub Fixture Compliance

HAND-HELD SHOWERS SHALL CONFORM TO ASME A112.18.1 OR CSA B125.1. HAND-HELD SHOWERS SHALL PROVIDE BACKFLOW PROTECTION IN ACCORDANCE WITH ASME A112.18.1 OR CSA B125.1 OR SHALL BE PROTECTED AGAINST BACKFLOW BY A DEVICE COMPLYING WITH ASME A112.18.3.

INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED-PRESSURE, THERMOSTATIC OR COMBINATION BALANCED-PRESSURE/THERMOSTATIC VALVES THAT CONFORM TO THE REQUIREMENTS OF ASSE 1016 OR ASME A112.18.1/CSA B125.1 AND SHALL BE INSTALLED AT THE POINT OF USE. SHOWER AND TUB-SHOWER COMBINATION VALVES REQUIRED BY THIS SECTION SHALL BE EQUIPPED WITH A MEANS TO LIMIT THE MAXIMUM SETTING OF THE VALVE TO 120°F (49°C), WHICH SHALL BE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. IN-LINE THERMOSTATIC VALVES SHALL NOT BE UTILIZED.

THE HOT WATER SUPPLIED TO BATHTUBS AND WHIRLPOOL BATHTUBS SHALL BE LIMITED TO A MAXIMUM TEMPERATURE OF 120°F (49°C) BY A WATER-TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA B125.3, EXCEPT WHERE SUCH PROTECTION IS OTHERWISE PROVIDED BY A COMBINATION TUB/SOWER VALVE IN ACCORDANCE WITH SECTION 424.3.



1. HC. WATER CLOSETS SEAT HEIGHT - 17" MIN. TO 19" AFF.
2. CENTER LINE OF WATER CLOSET - 18" FROM SIDE OF WALL.
3. GRAB BAR BEHIND WATER CLOSET - 36" LONG, 36" AFF.
4. GRAB BAR AT SIDE OF WATER CLOSET - 42" LONG, 33" A.F.F.
5. GRAB BAR DIAMETER - 1 1/2"
6. SPACE BETWEEN WALL AND GRAB BAR - 1 1/2"
7. TOILET TISSUE DISPENSER - 36" MAX. FROM REAR WALL, 19" MIN. AFF.
8. KNEE CLEARANCE AT LAVATORY - APRON 29" MIN. HEIGHT, 8" MIN. DEPTH.
9. LAVATORY DEPTH - 17" MIN.
10. LAVATORY HOT WATER AND DRAIN PIPES INSULATED WHEREVER EXPOSED
11. LAVATORY RIM SURFACE - 34" MAX. AFF
12. MIRROR BOTTOM EDGE - 40" MAX. AFF
13. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED ON THE EXTERIOR OF EACH RESTROOM DOORS, 60" A.F.F. TO CENTER LINE OF SIGN

ALL WALLS IN RESTROOMS TO BE DRYWALL W/ PAINT FINISH

PAINT USED IN RESTROOMS AND GROSS SINKS AREA TO BE ENAMEL (SEMI-GLOSS)- COLOR SELECTION BY ARCHITECT.

ALL GYPSUM WALL BOARD TO BE MOISTURE RESISTANT (MR).

ALL INTERIOR FINISHES (WALLS, CEILING, ECT) MUST BE PLYWOOD SHALL HAVE A MINIMUM FLAME SPREAD RATING OF CLASS "C"- PROVIDED BY MANUFACTURER.

INSTALL KICK PLATES ON ALL DOORS AT RESTROOM SIDES.

ALL TOILET EQUIPMENT SHALL BE SUPPLIED BY GENERAL CONTRACTOR.

ALL FIXTURES SHALL COMPLY WITH THE LATEST HANDICAP ACCESSIBILITY REQUIREMENTS FOR THE STATE OF FLORIDA.

PROVIDE ADEQUATE BACKING IN WALLS AS REQUIRED-TYPICAL ALL GRAB BARS, FIXTURES AND ACCESSORIES.

FLOOR AND WALL BASES SHALL EXTEND A MINIMUM OF 4" ABOVE FLOOR, PER FBC 120.2.1

WALLS & PARTITIONS WITHIN 24" OF FIXTURES SHALL BE NON-ABSORBENT SURFACE A MIN. OF 48" A.F.F., PER FBC 120.2.2

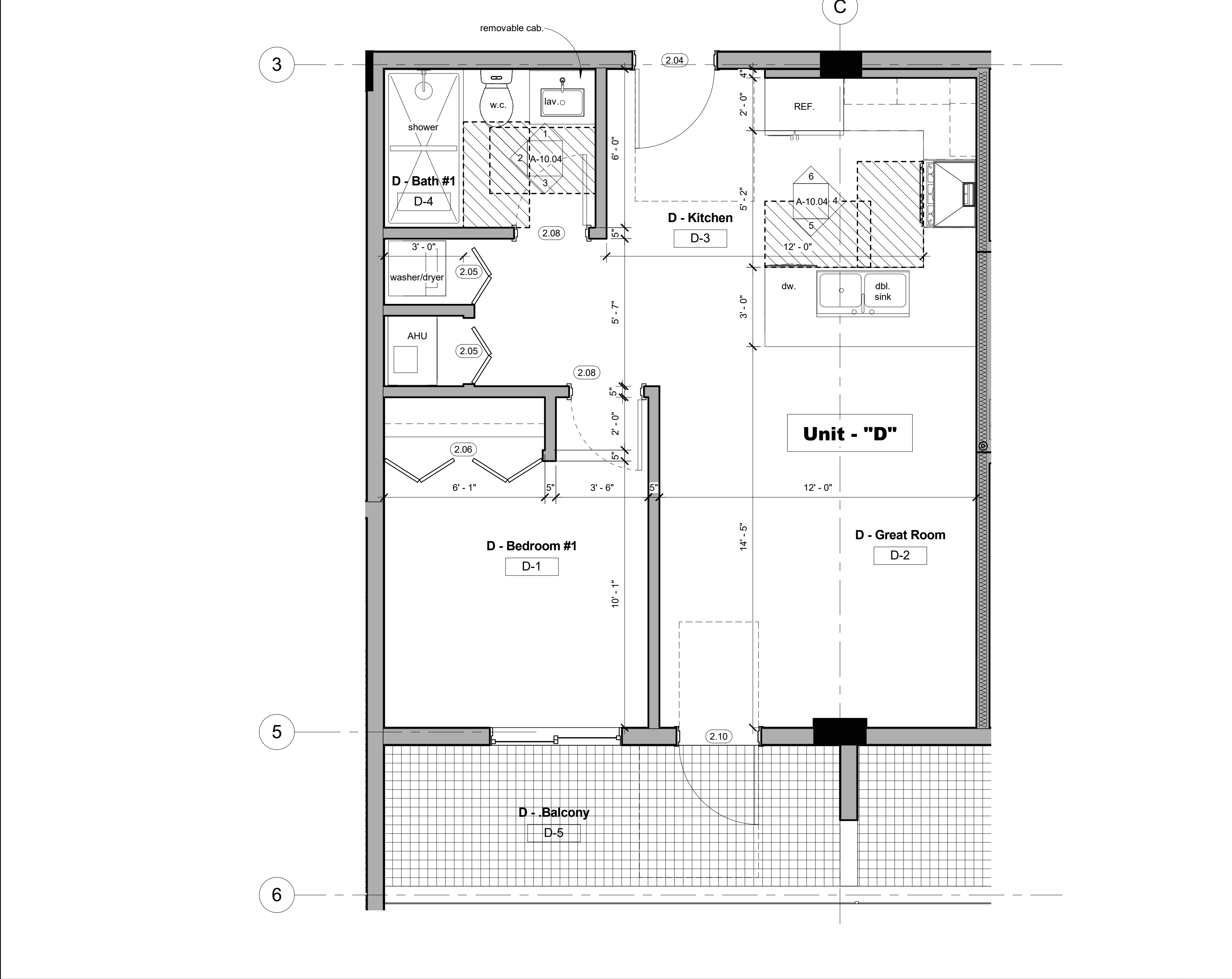
SHOWER WALLS SHALL HAVE A NON-ABSORBENT SURFACE UP TO 70" A.F.F., PER FBC 120.2.3

Proposed Mixed Use Development:

Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

Project File Name and Location: \\Architecture\Arch-Valent\Patrick\2020\R-PIERCE STREET\2. Drawings\2. BIMTAC set\05-2018-PIERCE STREET-TAC -10-07-20.rvt
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT

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UNIT TYPE "D" FLOOR PLAN (612 NET SF.) SCALE 3/8" = 1'-0"	
<div>GENERAL RESTROOM NOTES:</div> <div>1. HC. WATER CLOSETS SEAT HEIGHT - 17" MIN. TO 19" AFF. 2. CENTER LINE OF WATER CLOSET - 18" FROM SIDE OF WALL. 3. GRAB BAR BEHIND WATER CLOSET - 36" LONG, 36" AFF. 4. GRAB BAR AT SIDE OF WATER CLOSET - 42" LONG, 33" A.F.F. 5. GRAB BAR DIAMETER - 1 1/2" 6. SPACE BETWEEN WALL AND GRAB BAR - 1 1/2" 7. TOILET TISSUE DISPENSER - 36" MAX. FROM REAR WALL, 19" MIN. AFF. 8. KNEE CLEARANCE AT LAVATORY - APRON 29" MIN. HEIGHT, 8" MIN. DEPTH. 9. LAVATORY DEPTH - 17" MIN. 10. LAVATORY HOT WATER AND DRAIN PIPES INSULATED WHEREVER EXPOSED. 11. LAVATORY RIM SURFACE - 34" MAX. AFF 12. MIRROR BOTTOM EDGE - 40" MAX. AFF 13. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED ON THE EXTERIOR OF THE TOILET ROOM DOORS, 60" A.F.F. TO CENTER LINE OF SIGN</div> <div>GENERAL NOTES:</div> <div>1. ALL WALLS IN RESTROOMS TO BE DRYWALL W/ PAINT FINISH 2. PAINT USED IN RESTROOMS AND SERVICE SINKS AREA TO BE ENAMEL (SEM-GLOSS)- COLOR SELECTION BY ARCHITECT 3. ALL GYPSUM WALL BOARD TO BE MOISTURE RESISTANT (MR). 4. ALL INTERIOR FINISHES (WALLS, CEILING, ECT.) INCLUDING WOOD, SHALL HAVE A MINIMUM FLAME SPREAD RATING OF CLASS "C" - PROVIDED BY MANUFACTURER. 5. INSTALL KICK PLATES ON ALL DOORS AT RESTROOM SIDES. 6. ALL TOILET EQUIPMENT SHALL BE SUPPLIED BY GENERAL CONTRACTOR. 7. ALL FIXTURES SHALL COMPLY WITH THE LATEST HANDICAP ACCESSIBILITY REQUIREMENTS FOR THE STATE OF FLORIDA. 8. PROVIDE ADEQUATE BACKING IN WALLS AS REQUIRED-TYPICAL ALL GRAB BARS, FIXTURES AND ACCESSORIES. 9. FLOOR AND WALL BASES SHALL EXTEND A MINIMUM OF 4" ABOVE FLOOR, PER FBC 1210.2.1 10. WALLS AND PARTITIONS WITHIN 24" OF FIXTURES SHALL HAVE NON-ABSORBANT SURFACE A MIN. OF 48" A.F.F., PER FBC 1210.2.2 11. SHOWER WALLS SHALL HAVE A NON-ABSORBENT SURFACE UP TO 70" A.F.F., PER FBC 1210.2.3</div>	
UNIT TYPE "D" FLOOR PLAN (612 NET SF.) SCALE 3/8" = 1'-0"	
NOT USED SCALE 1/2" = 1'-0"	
NOT USED SCALE 1/2" = 1'-0"	

PREPARED BY
VALENT ARCHITECT
16888 NW 82nd Ave.
MIAMI LAKES, FL 33016
(305) 439-6266
FL CA #AAS0005862

PROFESSIONAL SEAL
STATE OF FLORIDA
PATRICK STEPHEN VALENT
AR 13831
REGISTERED ARCHITECT

PROFESSIONAL SEAL

PROFESSIONAL SEAL

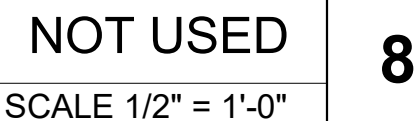
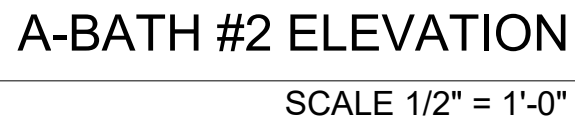
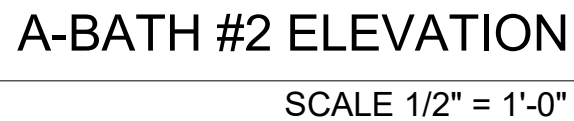
PROFESSIONAL SEAL

PROJECT INFORMATION

Proposed Mixed Use Development:
Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY - YES
No. Description Date
JAN 07 2018
SHEET NAME
Enlarged Unit "D"
SHEET NUMBER
A-10.04
OF

10/14/2020 2:28:14 PM
FUT ORMALI, PE
FL Lic. No. 60795
Mechanical Engineer
PATRICK VALENT
RA # 13831



1. ALL WALLS IN RESTROOMS TO BE DRYWALL W/ PAINT FINISH
2. PAINT USED IN RESTROOMS AND GLOSS SINKS AREA TO BE ENAMEL (SEMI-GLOSS) COLOR SELECTION BY ARCHITECT
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10. WALLS AND PARTITIONS WITHIN 24" OF FIXTURES SHALL BE NON-ABSORBENT SURFACE A MIN. OF 48" A.F., PER FCB 1210.2.2
11. SHOWER WALLS SHALL HAVE A NON-ABSORBENT SURFACE UP TO 70" A.F., PER FCB 1210.2.3

NOT USED

SCALE 1/2" = 1'-0"

NOT USED

SCALE 1/2" = 1'-0"



Isonometric View



Front View

VALENT
ARCHITECT

14068 NW 52nd Ave.
MIAMI LAKES, FL 33195
(305) 439-4266
FL CA #A28003582

Valent Architect, Inc. is a professional architectural firm licensed in the State of Florida. The firm is owned and operated by Patrick Valent, a professional architect with over 15 years of experience in the field. Valent Architect, Inc. is committed to providing high-quality architectural services to its clients, and is a member of the American Institute of Architects (AIA).

PROFESSIONAL SEAL

PATRICK VALENT
AIA # 12841

PROJECT FOR

PROJECT INFORMATION

Proposed Mixed Use Development:
Pierce Street
5904 PIERCE STREET
HOLLYWOOD, FL 33021

PRELIMINARY		NO.	DESCRIPTION	DATE

SHEET NAME

Street Profile

SHEET NUMBER

A-11

OF



PROPERTY INFORMATION REPORT

Order No.: 8669945

Customer Reference Number 20-0183

Addressee:

Global Title Services of South Florida, Inc
3600 Red Road, Suite 402
Miramar, FL 33025
954-450-2274
954-212-0350

Fidelity National Title Insurance Company has caused to be made a search of the Public Records of Broward County, Florida, ("Public Records"), from 11/21/1925, through 07/30/2020 8:00 AM, as to the following described real property lying and being in the aforesaid County, to-wit: Easements and dedications as shown on the plat of Corrected Plat of Hollywood Beach Gardens, recorded in Plat Book 10, page 14, of the Public Records of Broward County, Florida. Lots 1 and 2, Block 19, Corrected Plat Hollywood Beach Gardens, a Subdivision, according to the Plat thereof as recorded in Plat Book 10, page(s) 14, of the Public Records of Broward County, Florida.

As of the effective date of this Report, the apparent record Fee Simple title owner(s) to the above-described real property is/are:

ACM Investment Group, LLC, a Florida limited liability company, by virtue of the Quit Claim Deed recorded under Clerk's File Number 115419048, of the Public Records of Broward County, Florida.

The following liens against the said real property recorded in the aforesaid Public Records have been found:

1. There are no liens or mortgages of record.

B-II

1. Easements and dedications as shown on the plat of Corrected Plat of Hollywood Beach Gardens, recorded in Plat Book 10, Page 14, of the Public Records of Broward County, Florida.

Note: No Easements of record as to Lot 1 and 2 Block 19.

No recorded and unrecorded encumbrances lying within/ on the property boundaries or abutting the property boundary necessary for legal access

Public Records shall be defined herein as those records currently established under the Florida Statutes for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.

This Report shows only matters disclosed in the aforesaid Public Records, and it does not purport to insure or guarantee the validity or sufficiency of any documents noted herein; nor have the contents of any such documents been examined for references to other liens or encumbrances. This Report is not to be construed as an opinion, warranty, or guarantee of title, or as a title insurance policy; and its effective date shall be the date above specified through which the Public Records were searched. This Report is being provided for the use and benefit of the Addressee(s) only, and it may not be used or relied upon by any other party. This Report may not be used by a Fidelity National Title Insurance

Company agent for the purpose of issuing a Fidelity National Title Insurance Company title insurance commitment or policy.

This Report is not title insurance. Pursuant to s. 627.7843, Florida Statutes, the maximum liability of the issuer of this property information report for errors or omissions in this property information report is limited to the amount paid for this property information report, and is further limited to the person(s) expressly identified by name in the property information report as the recipient(s) of the property information report.

Fidelity National Title Insurance Company

Juan Montalvo

Juan Montalvo

Prepared by and return to:
Alex Trujillo, Esq.
8250 NW 170th Terrace
Hialeah, FL 33015

Parcel Identification No. 5141 13 02 1910

(Space Above This Line For Recording Data)

Quit Claim Deed

This Quit Claim Deed made this 18th day of October, 2018 between Mustafa Cankat, a single man, whose post office address is 9230 S Cypress Circle, Miramar, FL 33025, grantor, and ACM Investment Group, LLC, a Florida Limited Liability Company whose post office address is 7111 Taft Street, Hollywood, FL 33024, grantee;

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Broward County, Florida, to-wit:

LOTS 1 AND 2, BLOCK 19, CORRECTED PLAT HOLLYWOOD BEACH GARDENS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE(S) 14, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.


Physical Address: **5904 PIERCE STREET, HOLLYWOOD FL 33021**


ID Number: **5141 13 02 1910**


To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, all of the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: Jaime Cesar Albas


Witness Name: FUAT ORNARLI

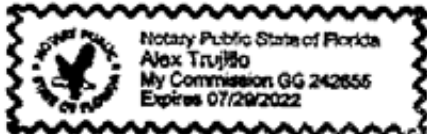
By: 
Mustafa Cankat

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 18th day of October, 2018 by Mustafa Canbat. He

☐ is personally known to me or ☒ has produced Driver's License as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: Alex Trujillo

My Commission Expires: 07/29/2022

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Brad P. Scobey

Spirit Title & Escrow, Inc.

9000 Sheridan Street

Pembroke Pines, Florida 33024

pursuant to the issuance of title insurance.

Property Appraisers Parcel Identification (Folio) Number: 514113-02-1910

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the **15th** day of **June, 2018** by **Paradise More, LLC**, a **Florida limited liability company**, herein called the grantor, to **Mustafa Cankat**, a **single man** whose post office address is **9230 South Cypress Circle, Miramar, FL 33025**, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the grantor, for and in consideration of the sum of \$10.00 and/or other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in **BROWARD County, State of Florida, viz.:**

Lots 1 and 2, Block 19, Corrected Plat Hollywood Beach Gardens, a Subdivision, according to the Plat thereof as recorded in Plat Book 10, page(s) 14, of the Public Records of Broward County, Florida.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes for the year 2018 and subsequent years.

File No.: 11288

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Paradise More, LLC, a Florida
limited liability company

Brad P. Scobey
Witness #1 Signature Brad P. Scobey

Cemil Akbas
Witness #1 Printed Name Cemil Akbas

Witness #2 Signature

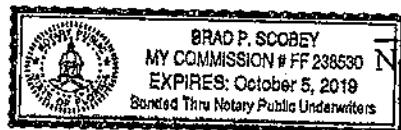
Witness #2 Printed Name

Yoel Amozig
Yoel Amozig, Manager
20801 Biscayne Blvd. Ste 403 #1001, Aventura, FL 33180

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 15th day of June, 2018 by Yoel Amozig, Manager of Paradise More, LLC, a Florida limited liability company on behalf of the corporation. He/She is personally known to me or has produced FRENCH PASSPORT as identification.

SEAL



Brad P. Scobey
Notary Signature

Brad P. Scobey

My Commission Expires:

Printed Notary Signature

File No.: 11288

This Document Prepared By and Return to:
Adam R. Schiffman, Esquire
Florida Guaranty Title & Escrow, Inc.
2875 N.E. 191 Street, Suite 404
Aventura, Florida 33180

Parcel ID Number: 514113-02-1910

Warranty Deed

This Indenture, Made this 19th day of October, 2015 A.D., Between
Tania Bernet, a married woman

of the County of Charlotte, State of Florida, grantor, and
Paradise More, LLC, a Florida limited liability company

whose address is: 20801 Biscayne Blvd, Suite 403, #1001, AVENTURA, FL 33180

of the County of MIAMI-DADE, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of

TEN DOLLARS (\$10) DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Broward State of Florida to wit:

Lots 1 and 2, Block 19, CORRECTED PLAT HOLLYWOOD BEACH GARDENS,
according to the Plat thereof, recorded in Plat Book 10, Page 14, of the Public Records
of Broward County, Florida.

THIS CONVEYANCE IS SUBJECT TO:

- 1. Taxes for the year of 2015 and subsequent years, which are not yet due and payable.
- 2. Conditions, restrictions, limitations and easements of record, none of which Grantor seeks to reimpose.

This property is not the homestead of the Grantor, does not adjoin the homestead of Grantor, no member of Grantor's family resides thereon, and Grantor's homestead is located at 512 East Ann Street, Punta Gorda, FL 33950.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

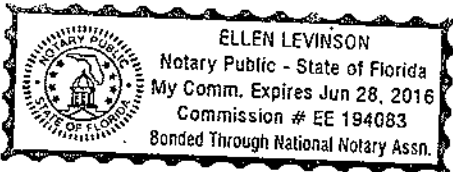
Mariel Villar
Printed Name: Mariel Villar
Witness

Ellen Levinson
Printed Name: Ellen Levinson
Witness

Tania Bernet (Seal)
P.O. Address: 512 E Ann St, Punta Gorda, FL 33950

STATE OF Florida
COUNTY OF Charlotte

The foregoing instrument was acknowledged before me this 16th day of October, 2015 by
Tania Bernet, a married woman, who produced FLORIDA DRIVER'S LICENSE
as identification.



Ellen Levinson
Printed Name: Ellen Levinson
Notary Public
My Commission Expires:

4
Hill / Bernet
W/C M.J.D. Services for WC#163
Frank, Weinberg & Black, P.L.
7805 S.W. 6th Court
Plantation, FL 33324

Prepared by and return to:

Steven Weinberg
Attorney at Law
Frank, Weinberg & Black, P.L.
7805 SW 6 Court
Plantation, FL 33324
954-474-8000
File Number: 14024.001
Will Call No.: 163

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 8th day of June, 2011 between Stephen Hill as Trustee of the Hill Property Trust U/A/D 4/11/11 whose post office address is 809 South 26th Avenue, Hollywood, FL 33020, grantor, and Tania Bernet, a single woman whose post office address is 5925 Fillmore Street, Hollywood, FL 33021, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida**, to-wit:

Lots 1 and 2, Block 19, HOLLYWOOD BEACH GARDENS CORRECTED PLAT, according to the Plat thereof, recorded in Plat Book 10, Page 14, of the Public Records of Broward County, Florida.

Parcel Identification Number: 514113-02-1910

Subject to taxes for 2011 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

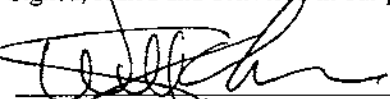
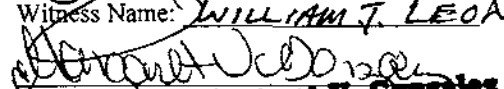
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

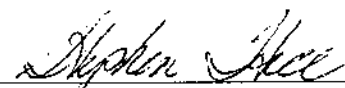
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: WILLIAM J. LEON

Witness Name: Margaret V. Gonzalez


Stephen Hill, Trustee

DoubleTime®

State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 8th day of June, 2011 by Stephen Hill as Trustee of the Hill Property Trust U/A/D 4/11/11, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]



Margaret Vega Gonzalez
Notary Public

Printed Name: Margaret Vega Gonzalez

My Commission Expires: _____

2

Prepared by and Return to:
RANDY J. NATHAN, ESQ.
FRANK, WEINBERG & BLACK, P. L.
7805 SW SIXTH COURT
PLANTATION, FL 33324

**AFFIDAVIT OF CONTINUOUS MARRIAGE AND
SAME NAME**

STATE OF FLORIDA }
COUNTY OF BROWARD } §§

BEFORE ME, the undersigned authority personally appeared Adrian Philip Thomas, Esquire, as Successor Personal Representative of the Estate of Elizabeth Riedel Fauver, ("Affiant"), who, after being duly sworn according to law, did depose and say the following:

1. That the Affidavit is made with regard to the following real property:

Lots 1 and 2, Block 19, CORRECTED PLAT OF HOLLYWOOD BEACH GARDENS, according to the Plat thereof, as recorded in Plat Book 10 at Page 14, of the Public Records of Broward County, Florida.
2. That at the time title was acquired by Frank Riedel and Elizabeth Riedel, to the above described property, by virtue of Warranty Deed dated February 22, 1955 and recorded March 14, 1955 in O.R. Book 325, Page 526 of the Public Records of Broward County, Florida, Frank Riedel and Elizabeth Riedel were married and remained continuously married without interruption through the time of the death of Frank Riedel which occurred on February 4, 1963.
3. That Elizabeth Riedel Fauver, decedent in that certain Probate Case #07-4510 in the Circuit Court of Broward County, Florida, is one and the same as Elizabeth Fauver who took title in the aforescribed Warranty Deed.
4. That Elizabeth Riedel Fauver was not survived by a spouse or minor child.

Affiant states that he is familiar with the nature of an oath; and with the penalties as provided by the laws of the State aforesaid for falsely swearing statements made in an instrument of this nature. Affiant further certifies that he has read, or has heard read to him, the full facts of this affidavit and understands its context.

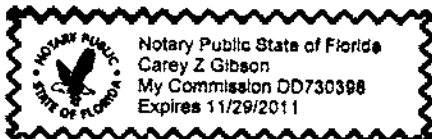
FURTHER AFFIANT SAYETH NAUGHT.


ADRIAN PHILIP THOMAS, ESQUIRE

SWORN TO AND SUBSCRIBED before me this 6th day of June, 2011, by Adrian Philip Thomas, Esquire, as Successor Personal Representative of the Estate of Elizabeth Riedel Fauver, who is personally known to me or who has produced _____ as identification.


Notary Public, State of Florida

My Commission Expires _____



14054.000 Hill/Fauver
W/C M.J.D. Services for WC163
Frank, Weinberg & Black, P.L.
7805 S.W. 6th Court
Plantation, FL 33324

WITNESS my hand and official seal at Fort Lauderdale, County of Broward and State of Florida, this 18th day of March, A. D. 1927.

(N. P. SEAL)

W. O. Robertson
Notary Public for the State of Florida at Large
My Commission Expires June 4, 1929.

STATE OF FLORIDA,)
COUNTY OF BROWARD.)

This instrument filed for record 21 day of Mar. 1927, and recorded in book 139 of Deeds on page 143. RECORD VERIFIED.

FRANK A. BRYAN, Clerk of Circuit Court,

By *W. O. Robertson* D.C.

#110679

WARRANTY DEED

THIS INDENTURE, Made this 16th day of February, A. D. 1927, BETWEEN HOLLYWOOD PARK, INC., a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Dade and State of Florida, and lawfully authorized to transact business in the State of Florida, party of the first part, and J. R. Stephenson, of the County of Hale and State of Alabama party of the second part, WITNESSETH:

That the said party of the first part, for and in consideration of the sum of Ten and no/100 (\$10.00) Dollars to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part his heirs and assigns forever, the following described land situate, lying and being in the County of Broward and State of Florida, to-wit:

Lot 12 of Block 15, Lot 13 of Block 10, Lot 1 of Block 19 in Hollywood Beach Gardens a subdivision of lands in the North East Quarter of Section Thirteen (13), Township Fifty One South, Range Forty-one (41) East, according to corrected plat thereof, recorded in Plat Book 10, at Page 14 of the Public Records of Broward County, Florida.

This deed is given subject to the restriction that there may be erected on the lots described private residences and/or apartment houses only, together with such outbuildings as may properly be considered a necessary adjunct to such private residences or apartment houses; also that no building shall be erected unless same be of concrete, cement blocks, stucco, steel, brick, or building tile; also that no residence shall be built costing less than Thirty-Five Hundred Dollars, exclusive of architect's fees.

And the said party of the first part reserves unto itself an easement of three (3) feet off from the rear of each lot for the installation of such public utilities as may be necessary.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its proper officers, and its corporate seal to be affixed, attested by its secretary, the day and year above written.

(CORPORATE SEAL)

Hollywood Park, Inc.

Attest:

John H. Evans
Secretary

By H. P. Froman
President

Signed, sealed and delivered
in the presence of us:

Anna M. Wootten
Evelyn Anker

STATE OF FLORIDA,)
COUNTY OF DADE.)

I HEREBY CERTIFY, that on this 17th day of February, A. D. 1927, before me personally appeared H. P. Froman and John H. Evans, President and Secretary respectively of HOLLYWOOD PARK, INC., a corporation under the laws of the State of Florida, to me known to be the persons who signed the foregoing instrument as such officers and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned; and that they affixed thereto the official seal of said corporation, and that the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal at Miami, in the County of Dade and State of Florida, the day and year last aforesaid.

(N. P. SEAL)

Evelyn Anker (Seal)
Notary Public
My commission expires June 18, 1930.

STATE OF FLORIDA,)
COUNTY OF BROWARD.)

This instrument filed for record 21 day of March 1927, and recorded in book 139 of Deeds on page 144. RECORD VERIFIED.

FRANK A. BRYAN, Clerk of Circuit Court,

By *W. D. L. H. p* D.C.

#110680
WARRANTY DEED

THIS INDENTURE, Made this 8th day of May A. D. 1926, BETWEEN DIXIE PROPERTIES INCORPORATED, a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Broward and State of Florida, and lawfully authorized to transact business in the State of Florida, party of the first part, and W. C. Burkett, of the County of Broward and State of Florida party of the second part, WITNESSETH:

That the said party of the first part, for and in consideration of the sum of Ten Dollars and other valuable considerations to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part, his heirs and assigns forever, the following described land situate, lying and being in the County of Broward and State of Florida, to-wit:

Lot Seven (7) Block Six (6) of Dixie Park, according to the plat thereof recorded in plat book 9, page 19, of the Broward County, Records.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed in its name by its proper officers, and its corporate seal to be affixed, attested by its secretary, the day and year above written.

(SCROLL CORPORATE SEAL)

DIXIE PROPERTIES INCORPORATED.

Attest:
R. D. Edmondson
Secretary

By R. T. Hodges
President

Signed, sealed and delivered
in the presence of us:

D. M. Cook
Eva Lee Jones

STATE OF FLORIDA,)
COUNTY OF BROWARD.)

I HEREBY CERTIFY, that on this 8th day of May A. D. 1926, before me personally appeared R. T. Hodges and R. D. Edmondson President and Secretary respectively of DIXIE PROPERTIES INCORPORATED, a corporation under the laws of the State of Florida, to me known to be the persons who signed the foregoing instrument as such officers and severally acknowledged the execution thereof to be their free act and deed as such officers for the uses and purposes therein mentioned; and that they affixed thereto the official seal of said corporation, and that the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal at Fort Lauderdale in the County of Broward and State of Florida the day and year last aforesaid.

(N. P. SEAL)

D. M. Cook (Seal)
Notary Public, State of Florida
at Large
My Commission expires Aug. 24, 1929.

STATE OF FLORIDA,)
COUNTY OF BROWARD.)

This instrument filed for record 21 day of Mar. 1927, and recorded in book 139 of Deeds on page 145. RECORD VERIFIED.

FRANK A. BRYAN, Clerk of Circuit Court,

By *W. D. L. H. p* D.C.

#110681
QUIT CLAIM DEED

THIS INDENTURE, Made this 23rd day of February, A. D. 1927, between M. C. Frost a widower, of the County of Broward and State of Florida, party of the first part, and Broward County of the County of Broward and State of Florida, party of the second part,

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Ten (\$10) dollars, in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has remised, released and quit-claimed, and by these presents does remise, release and quit-claim unto the said party of the second part, and its grantees, their heirs and assigns forever, all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece, or parcel of land situate, lying and being in the County of Broward, State of Florida, and being more particularly described as follows:

This Indenture
BETWEEN

Made this

27th

day of

March

A. D. 1953.

LULU I. CRAWFORD

of the County of
first part and

FRANK RIEDEL and ELIZABETH RIEDEL, his wife,
5022 Pierce Street, Hollywood, Florida,

and State of Pennsylvania

part

of the

second part, WITNESSETH that the said part of the first part, for and in consideration of the sum of

Ten Dollars and other valuable considerations

to her in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold and transferred, and by these presents does grant, bargain, sell and transfer unto the said parties of the second part and their heirs and assigns forever, all that certain parcel of land lying and being in the County of Broward and State of Florida, more particularly described as follows:



Lot Two (2) in Block Nineteen (19) of
HOLLYWOOD BEACH GARDENS, according to
the plat thereof recorded in Plat Book
12, Page 14, of the Public Records of
Broward County, Florida.



STATE OF FLORIDA, COUNTY OF BROWARD

This instrument filed for record 28 day

of Mar. 1953 and recorded in book 817
of Deed on page 107 RECORD VERIFIED-

TED CABOT, Clerk of the Circuit Court

By *[Signature]* D. C.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, dower and right of dower, reversion, remainder and easement thereto belonging or in anywise appertaining: TO HAVE AND TO HOLD the same in fee simple forever. And the said part of the first part covenants with the said part of the second part that she is lawfully seized of the said premises that they are free from all encumbrances and that she has good right and lawful authority to sell the same; and that the said part of the first part do hereby fully warrant the title to the said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said part of the first part has hereunto set her hand and seal the day and year above written.

Signed, Sealed and Delivered in Our Presence:

[Signature]
[Signature]

[Signature] (SEAL)
(SEAL)
(SEAL)
(SEAL)

State of FLORIDA

County of BROWARD

I HEREBY CERTIFY, That on this 27 day of March
before me personally appeared LULU I. CRAWFORD

A. D. 1953.

to me known to be the person described in and who executed the foregoing conveyance and severally acknowledged the execution thereof to be her free act and deed for the uses and purposes therein mentioned.

WITNESS my signature and official seal at Fort Lauderdale
in the County of Broward and State of Florida the day and year
last aforesaid.

My commission expires:

[Signature]
Notary Public
Notary Public, State of Florida at Large
Atty. Commission Expires Feb. 23, 1954
Bonded by American Surety Co. of N. Y.