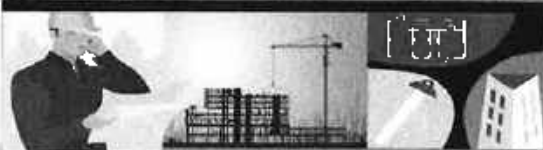


ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: _____

Location Address: GRIFFIN ROAD & SW 40TH AVE.

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5042 31 23 0020

Zoning Classification: COMMERCIAL (C-3) Land Use Classification: GENERAL BUSINESS

Existing Property Use: VACANT Sq Ft/Number of Units: 74,608SF LOT

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): File #: 18-DSP-62

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Proposed Site Plan for 5,411 SF Convenience Store with 20 fuel positions

Number of units/rooms: 1 Sq Ft: 5,411

Value of Improvement: TBD Estimated Date of Completion: 1st Quarter of 2021

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: RAZ PROPERTIES INC

Address of Property Owner: 3300 N 29 AVENUE, SUITE 101, HOLLYWOOD, FL

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): RYAN O. THOMAS

Address: 6300 NW 31 Avenue Telephone: (954) 202-7000

Fax: (954) 202-7070 Email Address: RTHOMAS@THOMASEG.COM

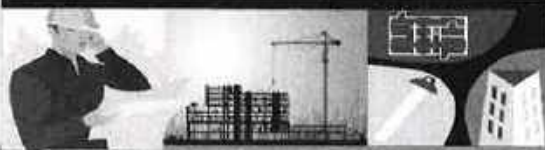
Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Samantha Jones - RACETRAC

PETROLEUM INC Address: 200 GALLERIA PARKWAY SE, SUITE 900, ATLANTA, GA 30339
Email Address: SJONES@RACETRAC.COM

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

I/(We) certify that I/(we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. I/(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. I/(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

PRINT NAME: Ryan Thomas, Authorized Representative

Date: 08/25/2020

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: Ryan Thomas, President of Thomas Engineering Group

Date: 08/25/2020

Signature of Tenant: _____

Date: _____

PRINT NAME: Ryan Thomas, Authorized Representative for RaceTrac Petroleum

Date: 08/25/2020

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan & Special Exception for RaceTrac to my property, which is hereby made by me or I am hereby authorizing Ryan Thomas/Thomas Engineering to be my legal representative before the Planning & Development (PDB) (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 25 day of August, 2020

Notary Public

State of Florida

My Commission Expires: 11/19/23 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Signature of Current Owner

Print Name



August 29, 2018

TO: All applicable Governmental Permitting Agencies
City of Hollywood, Florida
Broward County, Florida
State of Florida

Consent for: RAZ PROPERTIES INC
3990 Griffin Rd
Hollywood, FL 33312
Folio Number: 504231230020

RE: Authorization of Agent

This will serve as confirmation that the undersigned, RAZ PROPERTIES INC, the current property owner of the property located at 3990 Griffin RD, Hollywood, Broward County identified by tax folio no. 504231230020, hereby appoints RaceTrac Petroleum, Inc., the contracted party to lease the Property, and Thomas Engineering Group, LLC and/or any of its representatives, Kevin Betancourt or Ryan Thomas, to act as its authorized agent concerning all city, county, state, and government agency permits and applications, but only to the extent that such permits and applications pertain to the proposed RaceTrac Market development at the Property (see attached for contracted property area).

By: _____

(Signature)

BENNETT L DAVID, III

(Print Name, Title)

STATE OF FLORIDA

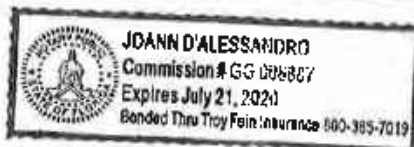
)

) ss.

COUNTY OF

)

The foregoing instrument was acknowledged before me this 29 day of August, 2018, by BENNETT L DAVID, III. He/she ☒ is personally known to me or ☐ has produced _____ as identification.



Joann D'Alessandro
Print Name: JOANN D'ALESSANDRO
NOTARY PUBLIC

My Commission Expires: _____

January 13, 2020

Shiv Newaldass
Director of Planning and Development Services
City of Hollywood
2600 Hollywood Blvd., Room 315
Hollywood, FL 33020

SPECIAL EXCEPTION JUSTIFICATION STATEMENT
RACETRAC MARKET-GRIFFIN RD & SW 40TH AVE, HOLLYWOOD
(18-DSP-62)

General Information:

The RaceTrac parcel is a 1.71 acres in size and is a currently vacant parcel of land located at the southeast corner of the intersection of Griffin Road and SW 40th Avenue in the city of Hollywood. The RaceTrac parcel is a leased parcel under the same ownership as the adjacent property which will remain vacant for future development.

RaceTrac intends to develop a fuel center (no service) with 20 fuel dispensers (10 fuel islands) and RaceTrac's signature, state of the art, 5411 square foot convenience store that will provide a wide range of products for the public. The new RaceTrac fuel center provides the consumer with accessible fueling stations which are convenient and safe and a modern convenience store that provides the public with many products and choices. The new facility is designed to meet the needs of the modern consumer in every way.

The property is designated General Business on the applicable land use plan and is zoned with a Medium Intensity Convenience District. Both land use and zoning designations recognize that this parcel is suitable and desirable for commercial development that serves surrounding residential and commercial zones.

RaceTrac Site Plan:

The RaceTrac site has been designed to comply with all applicable City land use and zoning requirements and to be compatible with the adjacent neighborhoods. Further, RaceTrac has worked with the City's planning and zoning staff to develop a site plan that exceeds many of the City's requirements and that addresses concerns raised by the adjacent neighborhood. The following are pertinent points regarding the RaceTrac site plan:

- The perimeter buffer along Griffin Road and SW 40th Avenue have been increased from 5' to 21.41' and 18.25', respectively.
- Shared access points have been provided at the south, west, and north ends for future developments in adjacent areas and to provide safe traffic movement.

- A total of 36 parking spaces are provided exceeding parking requirements by the Code.
- 2,604 shrub plants are being provided.
- Planters are being provided along the northern façade of the convenience store building which is not required by the Code.

Specific Special Exception Criteria:

1. *The proposed use must be consistent with the principles of the City's Comprehensive Plan.*

The RaceTrac project is part of a vacant area with a General Business land use designation surrounded by Medium Intensity Commercial and Planned Development Districts with land use designations of General Business and Low/Low Medium Residential. The development of this RaceTrac is consistent with the principles of the City's Comprehensive Plan as it builds upon the existing developments. The RaceTrac is to be adjacent to a high traffic roadway and will be beneficial for travelers as well as residents in the area.

The RaceTrac project will be a state of the art facility with expanded and upscale offerings in the convenience store such a soft yogurt service (Swirl World), gourmet coffee offerings and a wide range of food options for locals as well as travelers. The site is designed to minimize backups at the pump and to provide safe and convenient access to and from the pumps, convenient store and adjacent roadways.

2. *The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment or other real properties within the vicinity.*

The RaceTrac project, as discussed above, is an outparcel within a vacant lot designated with a General Business land use. The land use pattern established for the area is for commercial development. The proposed RaceTrac is compatible with the existing land use patterns and will serve as encouragement for the surrounding General Business designated land adjacent to the site to be developed.

3. *That there will be provisions for the safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.*

Safe traffic movement is provided for both pedestrian and vehicular access. Vehicular access points are proposed at the west, north and south ends, respectively, which are to provide for good circulation on-site and will be of use for future developments adjacent to the site. The existing median on Griffin Road will allow for a right-turn only at the north access point, providing for safer traffic.

4. *That there are setbacks, buffering and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances and all other similar plans adopted by the City.*

All setbacks, buffering and general amenities have been met and, in some cases, exceeded, the requirements of the Code. The RaceTrac is to provide enhanced amenities and will afford the greatest protection possible for adjacent properties.

5. *The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety or appearance of the neighborhood or other adjacent uses by reason of orientation intensity or relation to the neighborhood or other adjacent uses.*

The RaceTrac use is a commercial use permitted under the land use plan and allowed as a special exception under the applicable zoning. The use is located along a major roadway and is appropriate to serve the traveling public as well as local residents as contemplated by the land use designation. The convenience store, canopy, gas tanks and accessory uses have been designed and oriented to be compatible with the adjacent properties and neighborhoods.

6. *The subject parcel must be adequate in shape and size to accommodate the proposed use.*

The RaceTrac parcel is sufficient size and shape to accommodate the RaceTrac use with additional and enhanced buffering and amenities.

7. *The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.*

As set forth above, the RaceTrac use complies with the standards in the Code for the granting of a Special Exception.

Sincerely,

THOMAS ENGINEERING GROUP, LLC

A handwritten signature in blue ink, appearing to read 'KB', is written over a faint, light blue circular stamp.

Kevin Betancourt, P.E.
Project Manager

August 25, 2020

Shiv Newaldass
Director of Planning and Development Services
City of Hollywood
2600 Hollywood Blvd., Room 315
Hollywood, FL 33020

DESIGN CRITERIA STATEMENT
RACETRAC MARKET-GRIFFIN RD & SW 40TH AVE, HOLLYWOOD
(18-DSP-62)

General Information:

The RaceTrac parcel is a 1.71 acres in size and is a currently vacant parcel of land located at the southeast corner of the intersection of Griffin Road and SW 40th Avenue in the city of Hollywood. The subject parcel will be leased to RaceTrac Petroleum; therefore, this area will have the same ownership as the overall vacant tract with a designated commercial use. The remainder of the property will remain vacant for future development.

RaceTrac intends to develop a fuel center (self service) with 20 fuel dispensers (10 fuel islands) and RaceTrac's signature, state of the art, 5411 square foot convenience store that will provide a wide range of products for the public. The new RaceTrac fuel center provides the consumer with accessible fueling stations which are convenient and safe and a modern convenience store that provides the public with many products and choices. The new facility is designed to meet the needs of the modern consumer in every way.

The property is designated General Business on the applicable land use plan and is zoned with a Medium Intensity Commercial District. Both land use and zoning designations recognize that this parcel is suitable and desirable for commercial development that serves surrounding residential and commercial zones.

The following narrative demonstrates how the proposed development complies with the criteria set forth in Article 5 of the Zoning and Land Development Regulations.

Design Criteria:

Criteria 1. Architectural and design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment. The design should consider architectural elements that are characteristic of the surrounding neighborhood.

The proposed design provides the enhanced usage of an undeveloped parcel since platted for commercial development in 1998, Since then this area has remained vacant, but used as a nursery. The design of the proposed building includes a brick design with stone accents. The canopy columns will be clad with the same brick and stone appearance to provide an aesthetic superior to typical gas stations/convenience stores. This design perfectly balances aesthetic consideration with functionality to invite customers into what will be a state of the art facility with expanded and upscale offerings in the convenience store such a soft yogurt service, gourmet coffee offerings and a wide range of food options for locals as well as travelers. The site is designed to minimize backups at the pump and to provide safe and convenient access to and from the pumps, convenient store, and adjacent roadways as well.

Criteria 2. Compatibility. The harmonious relationship between existing architectural language and composition and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood, and with the established and adopted vision for the area

The RaceTrac project, as discussed above, is an outparcel within a vacant lot designated with a General Business land use. The land use pattern established for the area is for commercial development. The proposed RaceTrac is compatible with the existing land use patterns and will serve as encouragement for the surrounding General Business designated land adjacent to the site to be developed.

Criteria 3. Scale/massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures, and with the established and adopted vision of the area. Building geometries shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings.

The proposed project was designed contextually and it's massing, scale, rhythm, and architectural elements, will serve as an encouragement for the remainder of the site to be developed.

The gas service canopy is approximately 160 feet long and 20 feet high (16' clearance). The building height proposed for the convenience store is approximately 25 feet with. Exterior materials include glass, brick and stacked stone work at the base of the building and canopy columns. The canopy and building are centered to the development area for this application.

Criteria 4. Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

An ample 30-foot wide and 18-foot wide perimeter/landscape buffer along Griffin Road and 40th Avenue (respectively) are provided with perimeter berm and enhanced multi-tiered landscape that exceed development requirements set forth in Zoning and Land Development Regulations. Overall, the site provides approximately 26 percent pervious areas with a considerable amount of native trees, shrubs, and ground covers.

As set forth above, the RaceTrac use complies with the standards found in Article 5 of the Zoning and Land Development Regulations.

Sincerely,

THOMAS ENGINEERING GROUP, LLC

A handwritten signature in blue ink, appearing to read 'KB', is written over a faint, light blue circular stamp.

Kevin Betancourt, P.E.
Project Manager

December 30, 2019

Deandrea Moise
City of Hollywood
Planning Department
2600 Hollywood Blvd
Hollywood, FL 33020

**Re: RaceTrac – Griffin & 40th
Final TAC Submittal**

Dear Ms. Moise,

This application has been on hold due to various issues that have come up since the last time your department has reviewed our application. Since the previous TAC meeting, we have met with the Maple Ridge Association, City of Hollywood Engineering (Rick Mitinger and Luis Lopez), FDOT District Six, and Broward County Highway Construction and Engineering Department to resolve issues of traffic presented during these meetings. The development plans within the lease area for the applicant (RaceTrac Petroleum/RAZ Properties) have been generally unchanged since the last TAC review and most of the changes have occurred along SW 40th Avenue and SW 49th Court. Part of the changes included: a privacy wall along SW 49th Court to help screen the commercial development from view on SW 49th court that is primarily used for access to the Maple Ridge community and the expansion of SW 40th Avenue to allow a second lane adjacent to the property to help improve the existing traffic conditions at this intersection. There have been various meetings to discuss the 40th Avenue improvement as there was currently a plan by the MPO to widen 40th to allow for bicycle lanes. With the help of FDOT and City of Hollywood Engineering Department, the applicant will be dedicating a portion of their ROW to help redesign the MPO improvements to allow for a second lane as well as the bicycle lanes originally proposed. We are still in discussions with the Maple Ridge Association as well as FDOT, MPO, and Broward County to coordinate these off-site improvements, but we would like to move forward with TAC so that staff is reintroduced to this project to keep this project moving forward.

Should you have any questions, please do not hesitate to contact me at 954-202-7000. Thank you for your time and kind consideration with regards to this matter.

Sincerely,

THOMAS ENGINEERING, LLC

A handwritten signature in blue ink, appearing to read 'KB', is written over a light blue circular stamp.

Kevin Betancourt, P.E.



Timeline of Key Correspondence for Proposed RaceTrac at Griffin & 40th

Date of Meeting	Purpose
December 4, 2018	In-person meeting between RaceTrac representatives and Maple Ridge representatives
December 18, 2018	Meeting between RaceTrac representatives and Maple Ridge representatives
February 12, 2019	Meeting between RaceTrac representatives, Meyer Minyan (HOA president), and other HOA representatives
September 19, 2019	Meeting at FDOT to discuss 40 th Ave Improvements
October 2, 2019	Meeting at FDOT to discuss 40 th Ave Improvements
October 16, 2019	Meeting at Broward County to discuss 40 th Ave improvements
October 21, 2019	Meeting at FDOT to discuss 40 th Ave improvements
November 19, 2019	Meeting between RaceTrac representatives, Meyer Minyan, and Rami Dahari

Victor Sutapaha
Engineering Project Manager
RaceTrac
200 Galleria Parkway SE
Suite 900
Atlanta, GA 30339

Re: RT1365 – SEC Griffin Road & 40th Avenue – Hollywood, Florida
Traffic Impact Analysis
Property ID: 5042-31-23-0020

JFO Group Inc. has been retained to evaluate a site-specific traffic impact analysis for the proposed RaceTrac Development at the SEC of Griffin Road and SW 40th Avenue. This traffic statement is associated with the Site Plan application for the project. The project is located at 3990 Griffin Road in the City of Hollywood, Florida. Figure 1 shows an aerial view of the project location in relation to the transportation network. Broward County Property ID associated with this project is 5042-31-23-0020.

The proposed project is located within Parcel B of the Maple Ridge Plat. Parcel B is restricted to 75,000 SF of Commercial development. There is a proposal to build a Gas Station consisting of a 5,411 SF Convenience Store and 20 Fueling Positions. Exhibit 1 includes a copy of the Maple Ridge plat while Exhibit 2 includes a copy of a preliminary site plan. Exhibit 3 includes a Trip Generation comparison between the plat restriction and the proposed project.

Typically, project trip generation rates used for new developments are based on the Institute of Transportation Engineers Trip Generation Manual. In the particular case of the proposed project, the closest land use would be ITE Land Use 945: Gasoline/Service Station with Convenience Market. However, this trip generation rate is not representative of the proposed project.

Consequently, in order to provide a more accurate analysis, a trip generation analysis using the latest data available by The Florida Department of transportation (F-DOT) was provided.



Figure 1: Project Location

F-DOT encourages analysts to consider using the multi-variable equations established in the F-DOT System Planning Office Trip Generation Study (2012) instead of the ITE independent variables. The F-DOT 2012 study addressed the need for a different trip generation model other than the one established by ITE. The nature of gas stations has improved to larger stores with more fueling positions and more amenities. F-DOT collected data at 12 convenience stores with gas pumps across the State of Florida. Exhibit 4 includes a copy of excerpts from the F-DOT study.

The multi-variable trip generation equations combine the influence of fueling positions and convenience store square footage. According to the F-DOT 2012 study, these equations represent a higher level of predictability for convenience stores with gas pumps comparing to ITE rates. The F-DOT proposed equations have coefficients of accuracy determination of 0.92 for Daily and 0.88 for PM peak hour. Additionally, the F-DOT 2012 study recommends a 78% pass-by rate to be assumed for similar sites. This calculated pass-by rate matches the ITE pass-by rates for Florida sites.

Table 1 includes F-DOT trip generation rates while Table 2 summarizes the net Daily and PM peak trips generated by the existing and proposed development. According to Table 2, the proposed project will potentially generate an additional 73 trips during the PM peak hour.

Table 1: F-DOT Trip Generation Rates

Land Use	Daily	PM Peak Hour		
		In	Out	Total
Gas Station & Convenience Store	256.7*FP - 144.5*KSF	50%	50%	12.3*FP + 15.5*KSF

Table 2: Trip Generation

Land Use	Intensity	Daily Traffic	PM Peak Hour		
			In	Out	Total
Gas Station	20 FP	4,352	165	165	330
Convenience Store	5,411 SF				
Driveway Volumes		4,352	165	165	330
Pass-By (78%)		3,395	129	128	257
Net Proposed Traffic		957	36	37	73

Based on the F-DOT Driveway Information Guide, a right-turn lane is recommended at each driveway where Roadway Posted Speed Limit is 45 MPH or less and the number of right turns per hour is between 80 and 125 vehicles¹. Figure 2 provides Daily and peak hour driveway volumes for the proposed project.

Table 3 presents a summary of the project traffic impact as a percentage of the adopted Level of Service (LOS). As shown in Table 3, the proposed development will potentially generate less than one percent (1%) of the adjacent roadway peak-hour LOS in all links. For this reason, the proposed development has an insignificant impact to the existing transportation network.

Table 3: Project Impact

ID	Roadway	Segment	Design Code	Peak Hour Capacity	Project Distribution	Project Trips	Project Significance
N/S Roadway							
555	SW 40 Ave	N of Stirling Rd	264	1,197	15%	11	0.92%
E/W Roadway							
284	Griffin Rd	E of SR 7	622	5,390	45%	33	0.61%
284	Griffin Rd	E of SW 40th Ave	622	5,390	40%	29	0.54%

¹ The lower threshold of 80 right turn vehicles per hour would be most used for higher volume (greater than 600 vehicles per hour, per lane in one direction on the major roadway) or two-lane roads where lateral movement is restricted. The 125 right turn vehicles per hour upper threshold would be most appropriate on lower volume roadways, multilane highways, or driveways with a large entry radius (50 feet or greater).

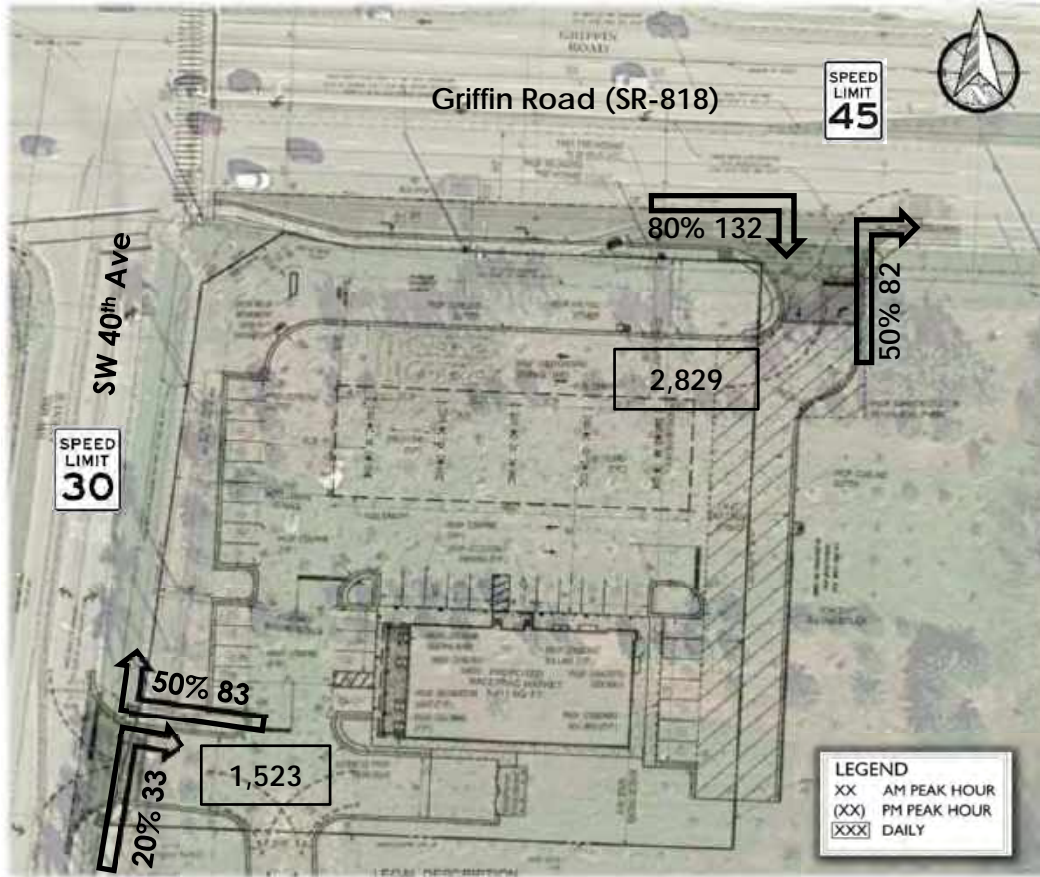
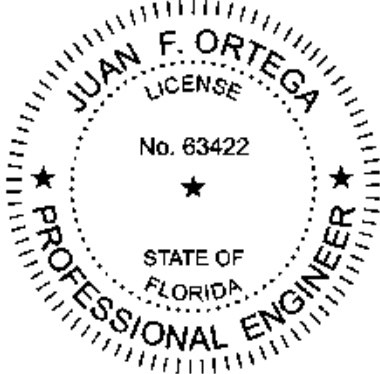


Figure 2: Project Driveway Volumes

Based on the information presented in Figure 2 and the F-DOT Driveway Information Guide, a right turn lane is recommended at the project driveway on Griffin Road. Exhibit 5 includes a copy of the pre-application approval letter for the proposed access on Griffin Road (SR-818). Furthermore, the proposed project will generate less traffic than the traffic generated by the Plat restriction where the proposed project traffic will generate less than one percent (1%) of the adjacent roadway peak-hour LOS in the project vicinity.

Sincerely,

JFO GROUP INC



Enclosures:

- Exhibit 1: Maple Ridge Plat
- Exhibit 2: Preliminary Site Plan
- Exhibit 3: Trip Generation Comparison
- Exhibit 4: F-DOT Trip Generation Excerpt
- Exhibit 5: F-DOT Driveway Pre-Application Letter

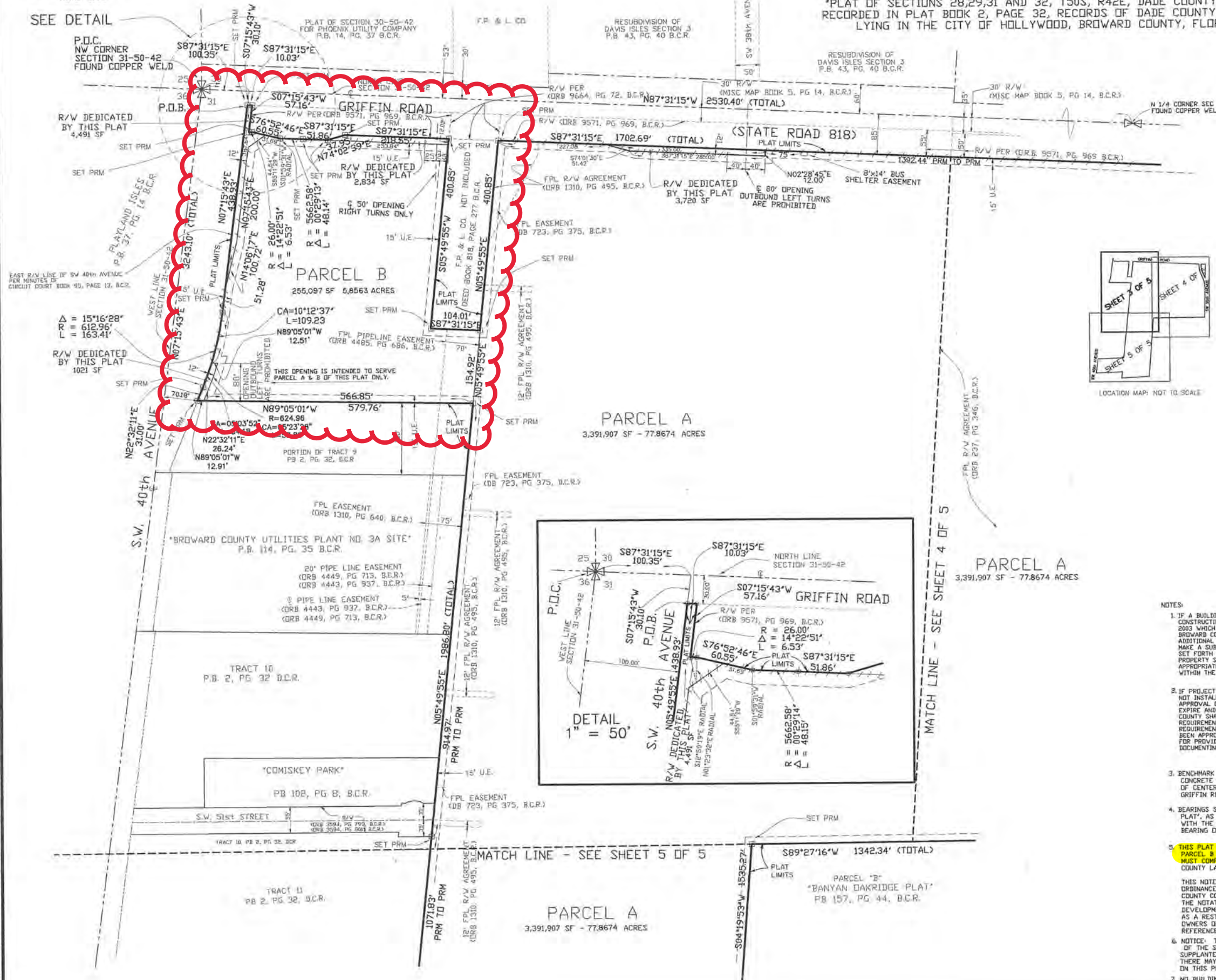
Calvin, Giordano & Associates, Inc.
Engineers Surveyors Planners
2 Oakwood Boulevard Suite 120
Hollywood, Florida 33020
954.921.7781 954.921.8807 fax
Certificate of Authorization No. 6791

March 1998

SEE DETAIL

MAPLE RIDGE

A REPLAT OF
A PORTION OF TRACTS 3, 4, 5, 6, 7, 8, 9, AND 12 AND
ALL OF TRACTS 13 AND 14, BLOCK 2 OF SECTION 31,
TOWNSHIP 50 SOUTH, RANGE 42 EAST,
"PLAT OF SECTIONS 28, 29, 31 AND 32, T50S, R42E, DADE COUNTY, FLORIDA"
RECORDED IN PLAT BOOK 2, PAGE 32, RECORDS OF DADE COUNTY, FLORIDA
LYING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

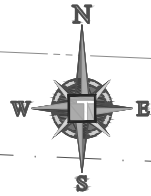
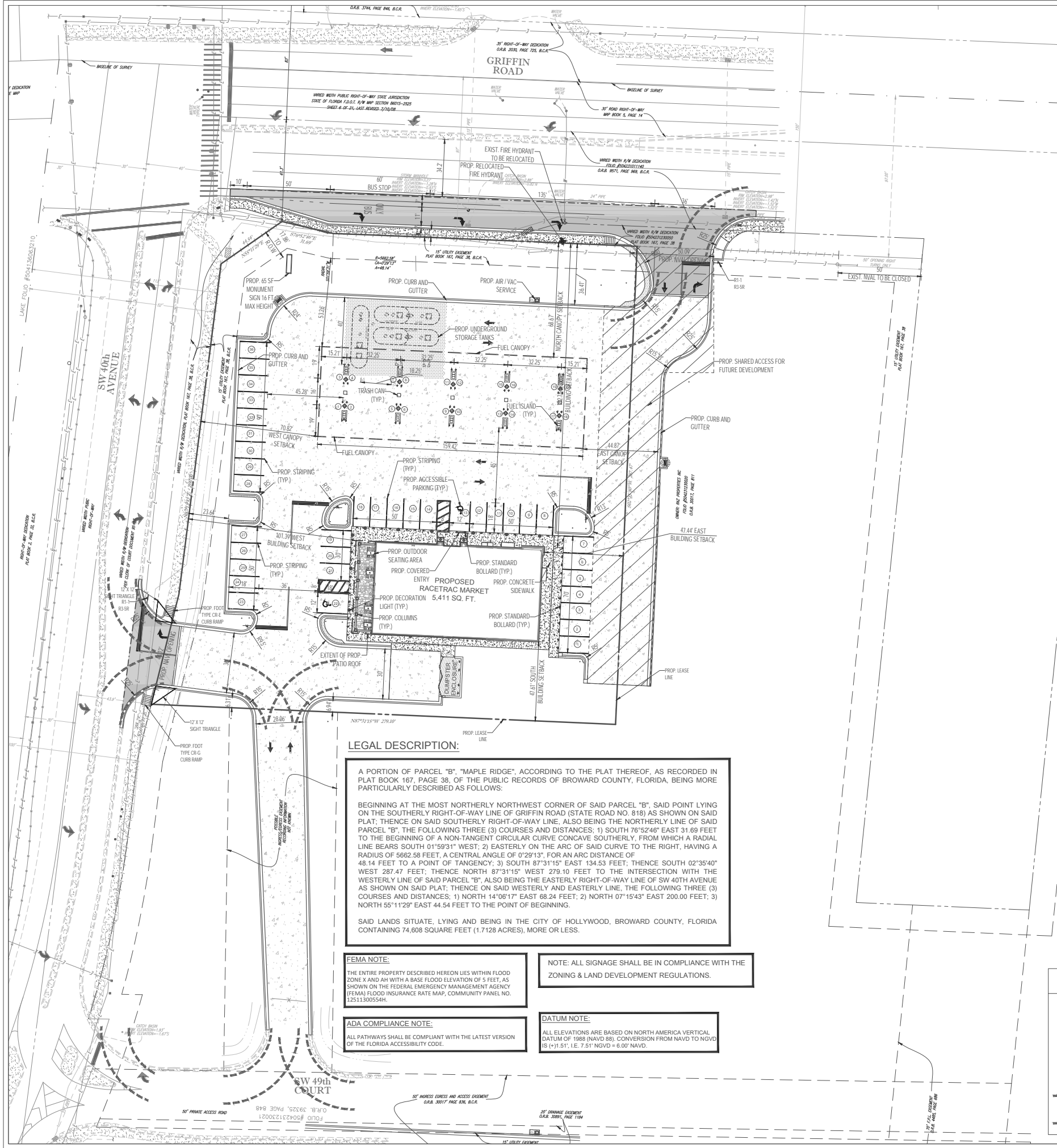


AREA TABULATION	SQUARE FEET	ACRES
PARCEL A	3,391,907	77.8674
PARCEL B	255,097	5.8563
PARCEL C	35,945	0.8252
PARCEL D	690,714	15.8566
TOTAL DEDICATED R/W	19,263	0.4422
TOTAL	4,392,926	100.8477

- LEGEND
- D.R.B. INDICATES OFFICIAL RECORDS BOOK
 - D.E. INDICATES DRAINAGE
 - U.E. INDICATES UTILITY EASEMENT
 - P.B. INDICATES PLAT BOOK
 - PRM INDICATES PERMANENT REFERENCE MONUMENT
 - PCP INDICATES PERMANENT CONTROL POINT
 - C INDICATES CENTER LINE
 - S.F. INDICATES SQUARE FEET
 - B.C.R. INDICATES BROWARD COUNTY RECORDS
 - INDICATES GROUP MAILBOX
 - INDICATES BLDG
 - INDICATES DADE COUNTY RECORDS
 - INDICATES BROWARD COUNTY RECORDS
 - INDICATES RIGHT-OF-WAY
 - INDICATES NON-VEHICULAR ACCESS LINE

- NOTES
- IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY DECEMBER 15TH 2003 WHICH DATE IS FIVE (5) YEARS FROM THE DATE OF APPROVAL OF THIS PLAT BY BROWARD COUNTY, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME, AND/OR
 - IF PROJECT WATER LINES, SEWER LINES, DRAINAGE AND THE ROCK BASE FOR INTERNAL ROADS ARE NOT INSTALLED BY DECEMBER 15TH, 2003, WHICH DATE IS FIVE (5) YEARS OF THE DATE OF APPROVAL OF THIS PLAT BY BROWARD COUNTY, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THIS REQUIREMENT MAY BE SATISFIED FOR A PHASE OF THE PROJECT, PROVIDED A PHASING PLAN HAS BEEN APPROVED BY BROWARD COUNTY. THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
 - BENCHMARK OF ORIGIN: BROWARD COUNTY BENCHMARK NO. 1479, "SQUARE CUT EAST END CONCRETE STOP IN FRONT OF TWO-STORY CBS BUILDING AT 3523 GRIFFIN ROAD 140' (+/-) WEST OF CENTER OF ASPHALT OF SW 35th AVENUE, 87' (+/-) NORTH OF CENTERLINE OF ASPHALT OF GRIFFIN ROAD, 11' WEST OF THE EAST END OF BUILDING. ELEVATION = 6.961
 - BEARINGS SHOWN HEREON ARE RELATIVE TO THE PLAT OF "BANYAN OAKRIDGE PLAT", AS RECORDED IN PLAT BOOK 157, PAGE 44, BROWARD COUNTY RECORDS WITHIN THE EAST LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) HAVING A BEARING OF SOUTH 01°06'22"E.
 - THIS PLAT RESTRICTED TO PARCEL A - 320 SINGLE FAMILY, PARCEL D - 90 SINGLE FAMILY, PARCEL B 75,000 SF - COMMERCIAL, PARCEL C - OPEN SPACE. ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION IV, D. 1. F. DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.
THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS.
THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
 - NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS NOT RECORDED.
ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY.
 - NO BUILDING OR ANY KIND OF CONSTRUCTION SHALL BE PLACED ON EASEMENTS.

P:\PROJECTS\971844 - OAKRIDGE WEST\SURVEY\PLAT\1844S3.DWG 03-11-1998



SITE DATA

THIS PLAN REFERENCES AN ALTA/ACSM LAND TITLE SURVEY BY:
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD, SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777 FAX: (954) 572-1778 LB#3870

OWNER: RAZ PROPERTIES INC.
APPLICANT: RACETRAC C/O THOMAS ENGINEERING GROUP, LLC
SITE ADDRESS: GRIFFIN RD & SW 40TH AVE. HOLLYWOOD, FL 33023
FOLIO: 5042 31 23 0020
CURRENT USE: VACANT
PROPOSED USE: 5,411 SF SERVICE STATION (20 FUEL POSITIONS) W/ ACCESSORY USE CONVENIENCE STORE
LAND USE DESIGNATION: GBUS (GENERAL BUSINESS)
ZONING DESIGNATION: C-3 (MEDIUM INTENSITY COMMERCIAL DISTRICT)

WATER/WASTEWATER SERVICE PROVIDER: CITY OF HOLLYWOOD

TOTAL SITE AREA	228,297 SF (5.24 AC)
GROSS LOT AREA	69,805 SF (1.60 AC)
NET SITE AREA	

	EXISTING	PROVIDED
PERVIOUS LANDSCAPE OPEN SPACE	74,608 SF	19,284 SF
TOTAL	74,608 SF (1.71 AC)	19,284 SF (0.44 AC) (25.8%)
IMPERVIOUS BUILDING AREA (FOOTPRINT)	0 SF	6,177 SF
VEHICULAR USE AREA (VUA)	0 SF	43,697 SF
SIDEWALK AND MISC. CONCRETE AREA	0 SF	5,450 SF
CANOPY AREA (INCLUDED IN VUA)	0 SF	8,609 SF
TOTAL	0 SF (0.00 AC)	55,324 SF (1.27 AC) (74.2%)

BUILDING FLOOR AREA	REQUIRED	PROPOSED
MAX. BLDG. HEIGHT:	60' MAX	5,411 SF
		25'
REQUIRED PARKING SERVICE STATION (1 PER 250 SF) W/ RETAIL	REQUIRED 22 SPACES	PROPOSED 36 SPACES

PROPOSED SETBACKS:	REQUIRED	PROPOSED
BUILDING		
FRONT (NORTH)	15'	182.76' BLDG., 68.67' CANOPY
REAR (SOUTH)	0'	47.61' BLDG., 164.77' CANOPY
SIDE (EAST)	0'	47.44' BLDG., 44.87' CANOPY
SIDE (WEST)	15'	101.39' BLDG., 70.82' CANOPY
PROPOSED LANDSCAPE BUFFERS:	REQUIRED	PROPOSED
FRONT (NORTH)	5'	21.41'
SIDE (WEST)	5'	18.25'

SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH BROWARD COUNTY AND/OR CITY OF HOLLYWOOD REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TOWERS, SLOPE PAVING, COLUMNS, DOOR LOCATIONS, AND UTILITY ENTRANCES.
- ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED PER PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL CURB DIMENSIONS ARE TO THE FACE OF GUTTER OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE FACE OF STRUCTURAL CMU.
- THE BOTTOM OF CANOPY AT ITS LOWEST POINT IS TO BE 16 FEET ABOVE THE FINISH FLOOR ELEVATION OF THE BUILDING.
- ALL STRIPING ON THIS PLAN IS TO BE PAINTED WITHIN 48 HOURS OF COMPLETED PAVING UNLESS OTHERWISE NOTED.

LEGEND

PROPOSED ELEMENTS
EXISTING ELEMENTS
OVERHEAD ELECTRICAL LINE
DISPENSER NUMBER
PARKING SPACE COUNT
FIRE TRUCK TURN RADII

HATCH LEGEND

6" THICK CONCRETE PAVING
4" THICK CONCRETE SIDEWALK
8" REINFORCED CONCRETE FOR DUMPSTER ENCLOSURE, TANK AREA & CURB BACKING
PROP. ASPHALT PAVEMENT

30 15 0 30 60 90 120
GRAPHIC SCALE IN FEET

LEGAL DESCRIPTION:

A PORTION OF PARCEL "B", "MAPLE RIDGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 167, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID PARCEL "B", SAID POINT LYING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GRIFFIN ROAD (STATE ROAD NO. 818) AS SHOWN ON SAID PLAT; THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, ALSO BEING THE NORTHERLY LINE OF SAID PARCEL "B", THE FOLLOWING THREE (3) COURSES AND DISTANCES; 1) SOUTH 76°52'46" EAST 31.69 FEET TO THE BEGINNING OF A NON-TANGENT CIRCULAR CURVE CONCAVE SOUTHERLY, FROM WHICH A RADIAL LINE BEARS SOUTH 01°59'31" WEST; 2) EASTERLY ON THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5662.58 FEET, A CENTRAL ANGLE OF 0°29'13", FOR AN ARC DISTANCE OF 48.14 FEET TO A POINT OF TANGENCY; 3) SOUTH 87°31'15" EAST 134.53 FEET; THENCE SOUTH 02°35'40" WEST 287.47 FEET; THENCE NORTH 87°31'15" WEST 279.10 FEET TO THE INTERSECTION WITH THE WESTERLY LINE OF SAID PARCEL "B", ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF SW 40TH AVENUE AS SHOWN ON SAID PLAT; THENCE ON SAID WESTERLY AND EASTERLY LINE, THE FOLLOWING THREE (3) COURSES AND DISTANCES; 1) NORTH 14°06'17" EAST 68.24 FEET; 2) NORTH 07°15'43" EAST 200.00 FEET; 3) NORTH 55°11'29" EAST 44.54 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 74,608 SQUARE FEET (1.7128 ACRES), MORE OR LESS.

FEMA NOTE:
THE ENTIRE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE X AND AH WITH A BASE FLOOD ELEVATION OF 5 FEET, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 125113300554H.

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATIONS.

ADA COMPLIANCE NOTE:
ALL PATHWAYS SHALL BE COMPLIANT WITH THE LATEST VERSION OF THE FLORIDA ACCESSIBILITY CODE.

DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICA VERTICAL DATUM OF 1988 (NAVD 88). CONVERSION FROM NAVD TO NGVD IS (+)1.51', I.E. 7.51' NGVD = 6.00' NAVD.

DATE	
SCALE	
DRAWN BY	
SITE PLAN	
C-1.1	1
SHEET NO.	VERSION

KEVIN A. BETANCOURT
PROFESSIONAL ENGINEER
September 17, 2018
FLORIDA BUSINESS CERT. OF AUTH. NO. 2728

THOMAS ENGINEERING GROUP, LLC
1000 CORPORATE DRIVE, SUITE 200
FORT LAUDERDALE, FL 33354
TEL: (954) 222-7000
FAX: (954) 222-7000
www.ThomasEngineeringGroup.com

RACE TRAC PETROLEUM, INC.
3990 GRIFFIN ROAD
HOLLYWOOD, FLORIDA 33312

SITE PLAN
RACETRAC MARKET
3990 GRIFFIN ROAD
Hollywood, Florida 33312

Plat Traffic Vs. Proposed Development

Land Use	ITE Code	Daily Trip Gen.	PM Peak Hour		
			In	Out	Total
Shopping Center	820	37.75	48%	52%	3.81
Gas Station & Convenience Store	F-DOT	256.7*FP - 144.5*KSF	50%	50%	12.3*FP + 15.5*KSF
Land Use	Intensity	Daily Traffic	PM Peak Hour		
			In	Out	Total
Approved Plat					
Shopping Center	75,000 SF	2,831	137	149	286
Σ		2,831	137	149	286
Pass-By					
Shopping Center	34.00%	963	47	50	97
Σ		963	47	50	97
Net Approved Traffic (Plat)					
		1,868	90	99	189
Proposed Site Plan					
Gas Station	20 FP	4,352	165	165	330
Convenience Store	5,411 SF				
Σ		4,352	165	165	330
Pass-By					
Gas Station & Convenience Store	78.00%	3,395	129	128	257
Σ		3,395	129	128	257
Net Proposed Traffic (Site Plan)					
		957	36	37	73
Net Traffic		(911)	(54)	(62)	(116)

The Trip Generation Rates from Our Florida 2012 Study

Description	Trip Rate Formula Note: As with most retail the practical directional distribution is 50%/50%
Weekday/Daily Trips	
Weekday Trip Ends using 1,000 sq ft of gross floor area of the convenience store (kft²)	Weekday Trips = 1,141.59 * kft ²
Weekday Trip Ends using Fueling Positions (FP)	Weekday Trips = 233.70 *FP
Weekday Trip Ends using multi Variable Equation	Weekday Trips = 256.7*FP-144.5*kft2
PM Peak Hour Trips	
PM Peak Hour of Adjacent Street Traffic Trip Ends One Hour between 4 and 6 p.m. using 1,000 sq ft of gross floor area of the convenience store (kft²)	PM Peak Trips = 85.66 * kft ²
PM Peak Hour of Adjacent Street Traffic Trip Ends using Fueling Positions (FP)	PM Peak Trips = 17.09*FP
Trip Ends using multi Variable Equation	PM Peak Trips = 12.3*FP+15.5*kft2


In these equations:

FP: fueling positions

kft²: 1,000 square feet gross floor area of the convenience market

Trip Generation

Characteristics of Large Gas Stations/Convenience Stores
and Student Apartments

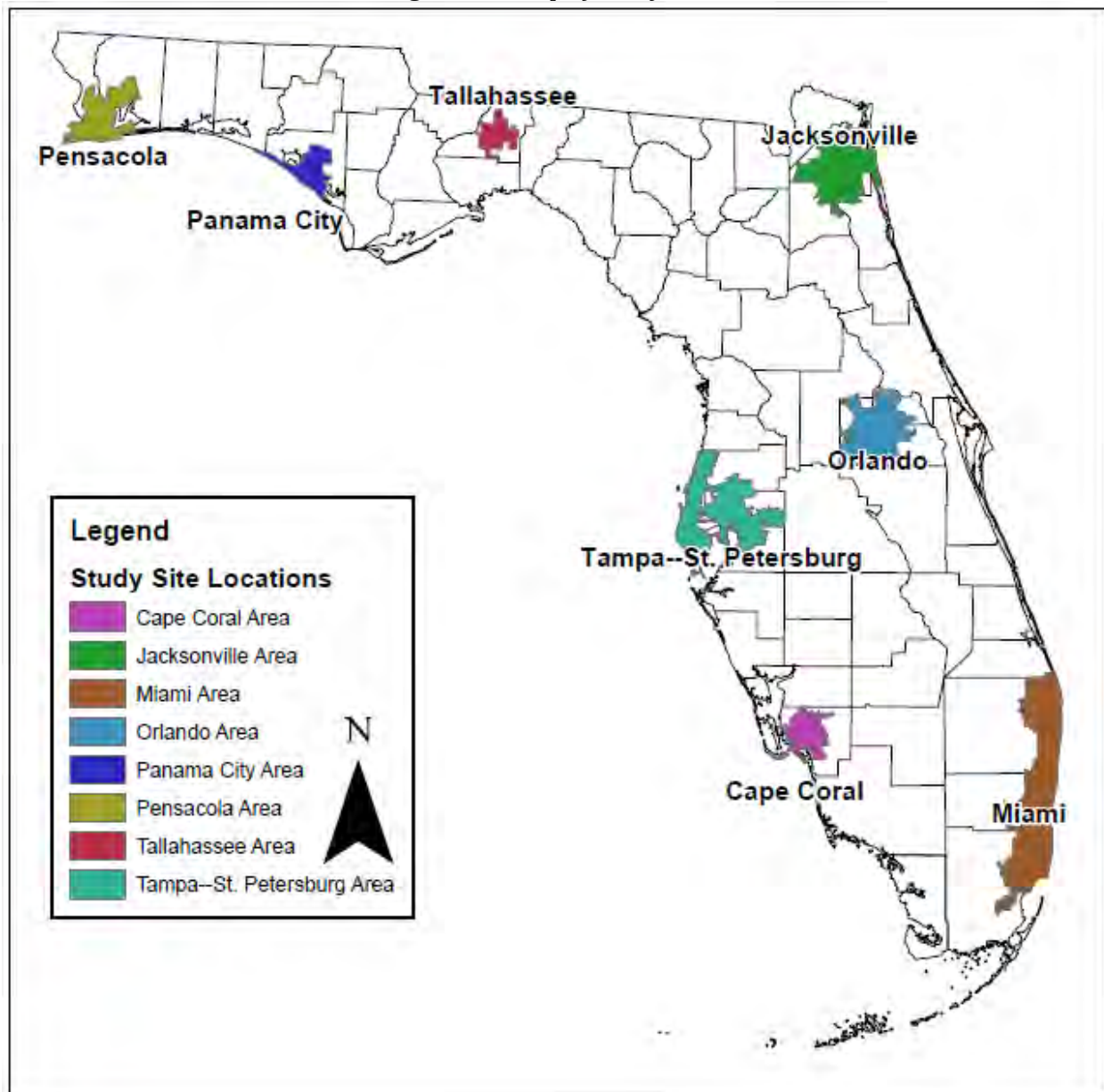








Florida Department of Transportation
Systems Planning Office/Systems Management
605 Suzanne Street #10
Tallahassee, Florida 32399
www.dot.state.fl.us
questions/comments@gov.solutions.state.fl.us

Figure 10: Map of Study Sites



Analysis and Findings

After compiling and quality checking the field data, the research team decided on two primary approaches to analyze the data. First, we determined typical ITE format average trip generation rates and regression equations based on a single variable. ITE uses trips per 1,000 ft² of convenience store for land use 853 Convenience Market with Gas Pumps, and trips per number of fueling positions for land use 945 Service Station with Convenience Market. Together these represented the most appropriate variables for our study sites. Secondly, we developed a series of multi-variable regression equations to investigate further possibilities.

Figure 11 shows average rate findings for Convenience Market with Gas Pumps, as well as values from ITE and our literature review for comparison. Square footage results show daily and PM peak rates higher than previous studies. This suggests that the larger stores and greater associated amenities are pulling in significantly more traffic than traditional stations. Trip generation rates per vehicle fueling position were also higher than most previous studies both daily and during the PM peak.

Figure 11 shows that when using convenience market size as the independent variable, the 2012 FDOT study has consistently higher trip generation rates. When comparing past studies using fueling positions the differences are not as consistent.

Figure 11: Comparison of Convenience Market with Gas Pumps Trip Generation Rates

		Weekday Daily	Percent of 2012 FDOT Study Daily Rate	PM Peak of Adjacent Street	Percent of 2012 FDOT Study PM Peak Rate
1,000 ft ² Convenience	2012 FDOT Statewide Study	1,141.59	100%	85.66	100%
	ITE 853 Convenience Market with gas Pumps	845.6	74%	59.69	70%
	2011 ITE Journal			60.50	71%
	2001 ITE Journal			48.03	56%
	1992 UF Study			56.40	66%
Fueling Positions	2012 FDOT Statewide Study	233.70	100%	17.09	100%
	ITE 945 Convenience Market with gas Pumps	162.78	70%	13.38	78%
	2011 ITE Journal			23.23	136%
	2001 ITE Journal			16.58	97%
	1992 UF Study			9.45	55%

The range of pass-by trip rates was 65-84 percent with an average of 78 percent. This is significantly higher than the average of 66 percent found in the ITE Handbook for the Convenience Market with Gas Pumps land use. However, the average of only Florida sites from 2001 ITE Trip Generation Handbook is 76 percent, and our results were quite similar. The consistency of this data suggests that future developments could reasonably assume about a 77 percent pass-by rate for sites of this type. See Figure 20 for details.

Figure 19: Pass-By Rates for Convenience Market with Gas Pumps

Site Location (FL)	1,000 ft ²	Total Number of Interviews*	Percent Pass-By Trips
Pensacola	4	699	84%
Pensacola	3	709	65%
Panama City Beach	4	448	71%
Tallahassee	5	694	82%
Jacksonville	3	133	83%
Apopka	3	231	77%
Clearwater	3	216	74%
Tampa	3	166	75%
Cape Coral	5	133	83%
Fort Myers	5	182	79%
Fort Lauderdale	3	236	81%
Homestead	3	216	79%
Average	4	339	78%

*Combination of customer surveys and observation

Figure 20: Comparison of Pass-By Rates

ITE LU 853		Number of Sites	Percent Pass-By Trips
	2012 FDOT Statewide Study	12	78%
	2001 ITE Handbook	15	66%
	2001 ITE Handbook (FL only)	6	76%



Florida Department of Transportation

RON DESANTIS
GOVERNOR

3400 West Commercial Boulevard
Fort Lauderdale, FL 33309

KEVIN J. THIBAUT
SECRETARY

September 17, 2019

THIS PRE-APPLICATION LETTER IS EXTENDED UNTIL – September 17, 2020
THIS LETTER IS NOT A PERMIT APPROVAL

Kevin A. Betancourt
Thomas Engineering Group LLC
1000 Corporate Drive, Suite 250,
Fort Lauderdale, FL 33334

Dear Kevin A. Betancourt:

RE: September 17, 2020 - Pre-application Extension for Category E Driveway Date of Pre-application Meeting: August 23, 2018
Broward- Hollywood, Urban; SR 818; Sec. # 86015; MP: 7.2
Access Class - 05; Posted Speed - 45; SIS - Influence Area; Ref. Project:

Request: Right-in/right-out driveway on south side of SR 818/Griffin Road, located approximately 260 feet east of SW 40th Ave.

SITE SPECIFIC INFORMATION

Project Name & Address: RaceTrac – 3990 Griffin Road
Applicant/Property Owner: RAZ Properties Inc
Parcel Size: 1.71 Acres Development Size: 20 FP/Gas Station + 5,411 SF/Convenience Store

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the conditions and comments below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- A minimum driveway length of 30 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided.
- A combined bus bay/ right turn lane shall be provided and must meet FDOT standards.

Comments:

- Broward County Transit should assess the proposed bus bay during the time of permit.
- All driveways not approved in this letter must be fully removed and the area restored.
- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. Note, this letter does not guarantee permit approval. The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://osp.fdot.gov>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact the Access Management Manager - Tel. # 954-777-4363 or e-mail: D4AccessManagement@dot.state.fl.us with any questions regarding the Pre-Approval Letter and Permits Office - Tel. # 954-777-4383 with any questions regarding permits.

Sincerely,

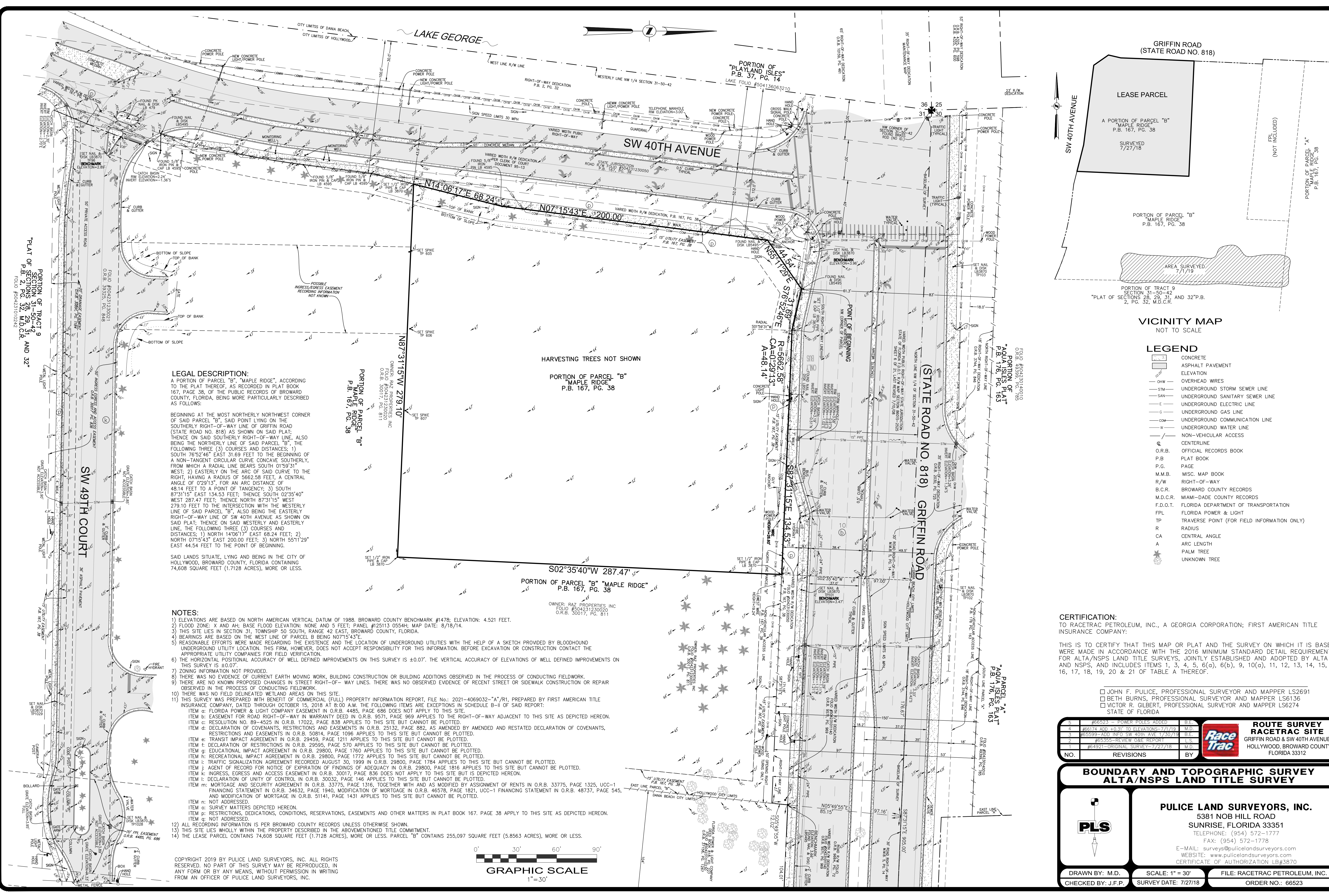
Dalila Fernandez, P.E.
District Access Management Manager

cc: Roger Lemieux

File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2018-08-23\1. 86015 MP 7.200 SR 818_RaceTrac Gas Station\86015 MP 7.200 SR 818_RaceTrac Gas Station_Ext.docx

www.dot.state.fl.us

COVER SHEET		RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SE SUITE 900 ATLANTA, GA 30339 (770) 431-7600				<p>THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.</p>		 <p>6800 NW 31ST AVE FORT LAUDERDALE, FL 33309 Phone: (954) 226-7070 Fax: (954) 226-7070 www.ThomasEngineeringGroup.com</p>				<p>PRELIMINARY TAC MEETING FINAL TAC MEETING LICENSE FINAL TAC MEETING</p>		<p>10/08/2018 11/19/2018 07/13/2020</p>		<p>DATE</p>	
SHEET NO.		VERSION		<p>C0.0</p>		<p>1</p>		<p>COVER SHEET</p>		<p>NO.</p>		<p>FLORIDA BUSINESS CERT. BY AUTH. NO. 27592</p>		<p>DATE</p>			



LEGAL DESCRIPTION:
A PORTION OF PARCEL "B", "MAPLE RIDGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 167, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

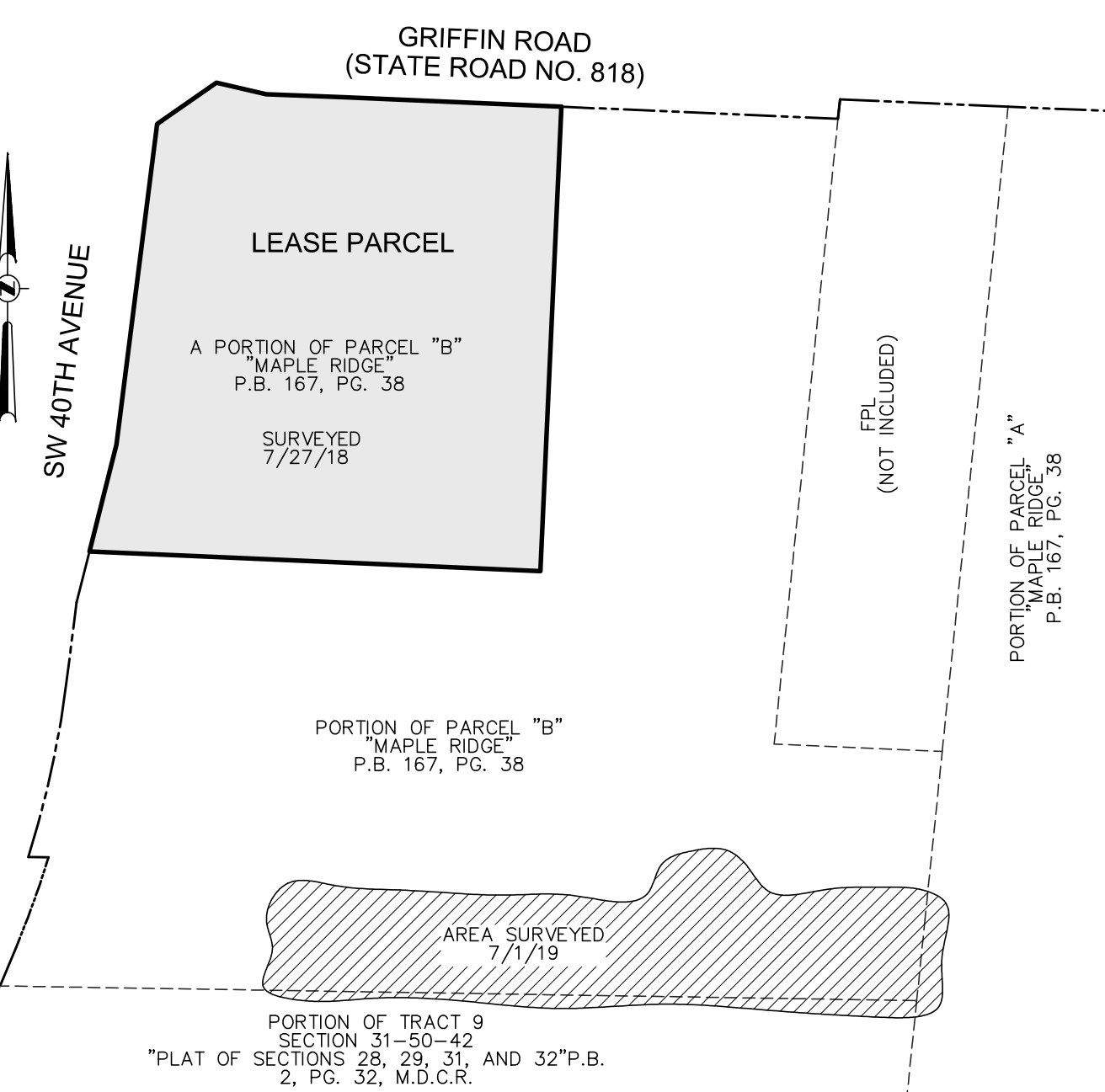
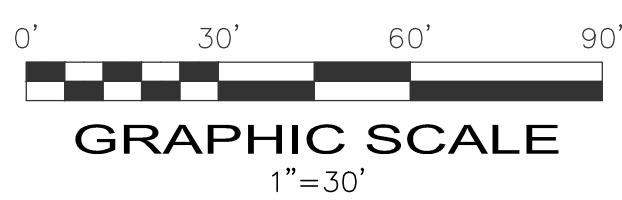
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SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 74,608 SQUARE FEET (1.7128 ACRES), MORE OR LESS.

NOTES:

- 1) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #1478; ELEVATION: 4.521 FEET.
- 2) FLOOD ZONE: X; FLOOD ELEVATION: NONE AND 5 FEET; PANEL #25113 0554H; MAP DATE: 8/18/14.
- 3) THIS SITE LIES IN SECTION 31, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- 4) BEARINGS ARE BASED ON THE WEST LINE OF PARCEL B BEING N07°15'43"E.
- 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES WITH THE HELP OF A SKETCH PROVIDED BY BLOODHOUND UNDERGROUND UTILITY LOCATION. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 6) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 7) ZONING INFORMATION NOT PROVIDED.
- 8) THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
- 9) THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
- 10) THERE WAS NO FIELD DELINEATED WETLAND AREAS ON THIS SITE.
- 11) THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMERCIAL (FULL) PROPERTY INFORMATION REPORT, FILE NO.: 2021-4069032-"A"/R1, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED THROUGH OCTOBER 15, 2018 AT 8:00 A.M. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B-II OF SAID REPORT:
ITEM c: FLORIDA POWER & LIGHT COMPANY EASEMENT IN O.R.B. 4485, PAGE 686 DOES NOT APPLY TO THIS SITE.
ITEM d: EASEMENT FOR ROAD RIGHT-OF-WAY IN WARRANTY DEED IN O.R.B. 9571, PAGE 969 APPLIES TO THE RIGHT-OF-WAY ADJACENT TO THIS SITE AS DEPICTED HEREON.
ITEM e: RESOLUTION NO. 89-4525 IN O.R.B. 17022, PAGE 839 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM f: DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS IN O.R.B. 25132, PAGE 882, AS AMENDED BY AMENDED AND RESTATED DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS IN O.R.B. 50814, PAGE 1096 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM g: TRANSIT IMPACT AGREEMENT IN O.R.B. 28458, PAGE 1211 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM h: DECLARATION OF RESTRICTIONS IN O.R.B. 29595, PAGE 570 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM i: EDUCATIONAL IMPACT AGREEMENT IN O.R.B. 29800, PAGE 1760 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM j: RECREATIONAL IMPACT AGREEMENT IN O.R.B. 29800, PAGE 1772 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM k: TRAFFIC SIGNALIZATION AGREEMENT RECORDED AUGUST 30, 1999 IN O.R.B. 29800, PAGE 1784 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM l: AGENT OF RECORD FOR NOTICE OF EXPIRATION OF FINDINGS OF ADEQUACY IN O.R.B. 29800, PAGE 1816 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM m: INGRESS, EGRESS AND ACCESS EASEMENT IN O.R.B. 30017, PAGE 836 DOES NOT APPLY TO THIS SITE BUT IS DEPICTED HEREON.
ITEM n: DECLARATION OF UNITY OF CONTROL IN O.R.B. 30032, PAGE 146 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM o: MORTGAGE AND SECURITY AGREEMENT IN O.R.B. 33775, PAGE 1316, TOGETHER WITH AND AS MODIFIED BY ASSIGNMENT OF RENTS IN O.R.B. 33775, PAGE 1325, UCC-1 FINANCING STATEMENT IN O.R.B. 34632, PAGE 1840, MODIFICATION OF MORTGAGE IN O.R.B. 46578, PAGE 1821, UCC-1 FINANCING STATEMENT IN O.R.B. 48737, PAGE 545, AND MODIFICATION OF MORTGAGE IN O.R.B. 51141, PAGE 1431 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM p: NOT ADDRESSED.
ITEM q: SURVEY MATTERS DEPICTED HEREON.
ITEM r: RESTRICTIONS, DECLARATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 167, PAGE 38 APPLY TO THIS SITE AS DEPICTED HEREON.
ITEM s: NOT ADDRESSED.
- 12) ALL RECORDING INFORMATION IS PER BROWARD COUNTY RECORDS UNLESS OTHERWISE SHOWN.
- 13) THIS SITE LIES WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE ABOVEMENTIONED TITLE COMMITMENT.
- 14) THE LEASE PARCEL CONTAINS 74,608 SQUARE FEET (1.7128 ACRES), MORE OR LESS. PARCEL "B" CONTAINS 255,097 SQUARE FEET (5.8563 ACRES), MORE OR LESS.

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VICINITY MAP
NOT TO SCALE

- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - ELEVATION
 - CHW OVERHEAD WIRES
 - STM UNDERGROUND STORM SEWER LINE
 - SAN UNDERGROUND SANITARY SEWER LINE
 - E UNDERGROUND ELECTRIC LINE
 - G UNDERGROUND GAS LINE
 - COM UNDERGROUND COMMUNICATION LINE
 - W UNDERGROUND WATER LINE
 - NON-VEHICULAR ACCESS
 - C CENTERLINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - P.G. PAGE
 - M.M.B. MISC. MAP BOOK
 - R/W RIGHT-OF-WAY
 - B.C.R. BROWARD COUNTY RECORDS
 - M.D.C.R. MIAMI-DADE COUNTY RECORDS
 - F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
 - FLA POWER & LIGHT FLORIDA POWER & LIGHT
 - TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - R RADIUS
 - CA CENTRAL ANGLE
 - A ARC LENGTH
 - * PALM TREE
 - UNKNOWN TREE

CERTIFICATION:
TO RACETRAC PETROLEUM, INC., A GEORGIA CORPORATION; FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 5, 6(a), 6(b), 9, 10(a), 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 & 21 OF TABLE A THEREOF.

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 - ☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
 - ☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- STATE OF FLORIDA

NO.	REVISIONS	BY
1	#6523 - POWER POLES ADDED	B.E.
2	#65174 ADD +0.31' TO ELEVATIONS - 7/1/19	M.D.
3	#65599-ADD INFO SW 40TH AVE 1/30/19	B.E.
4	#65355-REVIEW Q&E REPORT	L.S.
5	#64921-ORIGINAL SURVEY 7/27/18	M.D.

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY

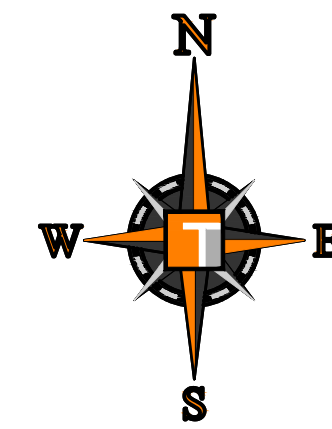
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB43870

ROUTE SURVEY
RACETRAC SITE
GRIFFIN ROAD & SW 40TH AVENUE
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33312

DRAWN BY: M.D.
CHECKED BY: J.F.P.

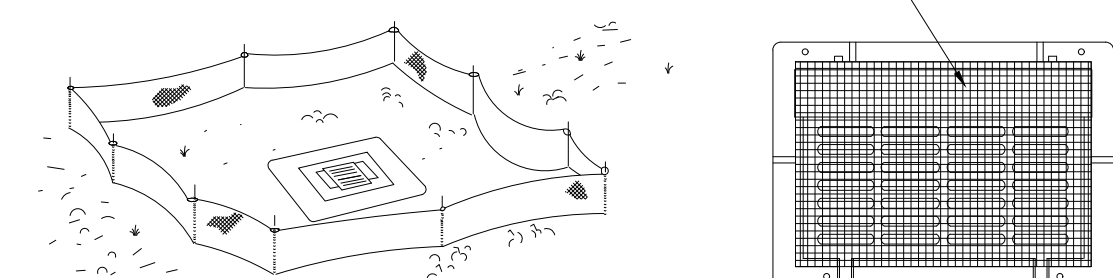
SCALE: 1" = 30'
SURVEY DATE: 7/27/18

FILE: RACETRAC PETROLEUM, INC.
ORDER NO.: 66523

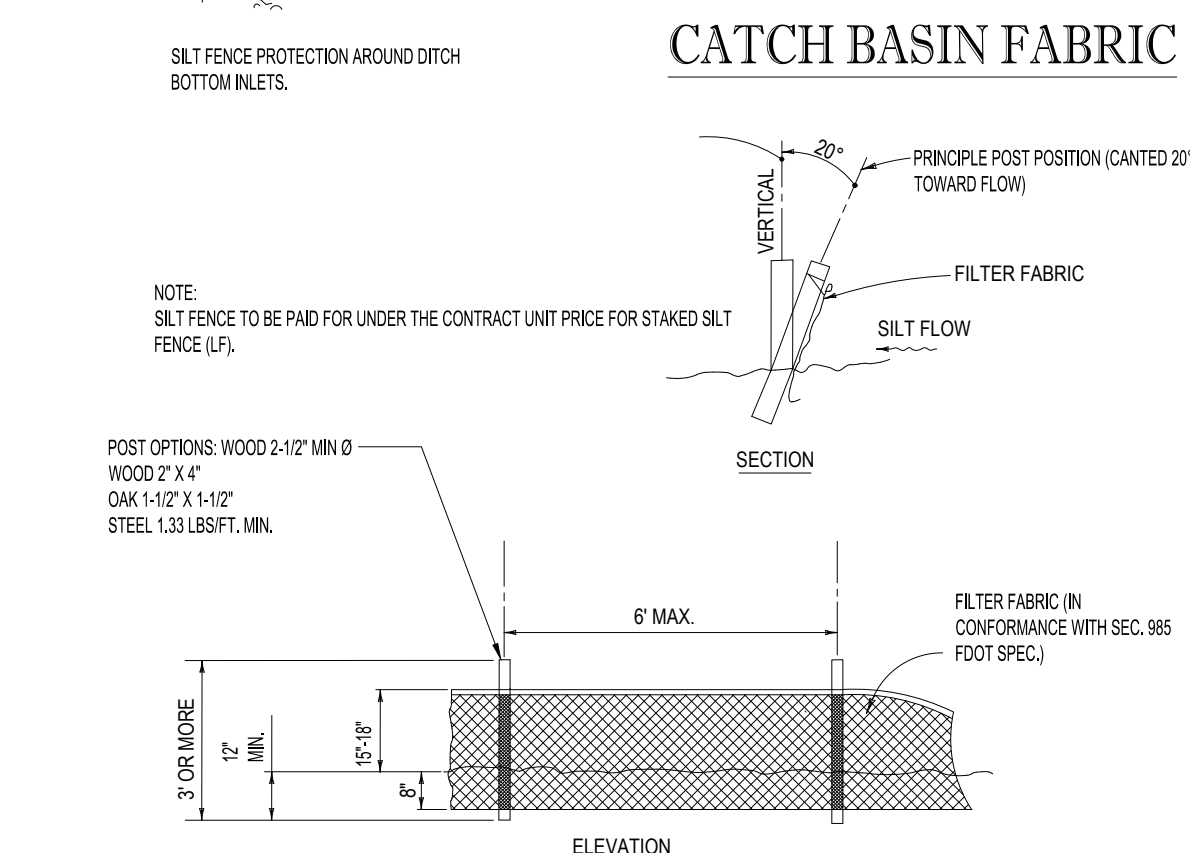


1. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
2. ALL EROSION DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
3. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
4. EROSION CONTROL AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
5. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING, MULCH, OR SOIL COVER AND/OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT. AS SOON AS FINAL GRADES ARE ESTABLISHED IN AN AREA OF THE AREA OF THE CONTRACT, THE CONTRACTOR SHALL COVER WITH EROSION CONTROL PERMANENT SOIL. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOIL AT THE PROPER TIME OF YEAR.
6. FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE.
7. EROSION CONTROL RUNOFF SHALL BE COLLECTED AND DIVERTED TO EXISTING DRAINAGE SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
7. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS EXPOSED TO EROSION WITHOUT PERMANENT SOIL.
8. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
9. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
10. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
11. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
12. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NPDES STORMWATER REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
13. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION CONTROL AND SEDIMENT CONTROL DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS IS COMPLETE.
14. PRIOR TO CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. EROSION AND SEDIMENT CONTROL MEASURES WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN UNTIL ALL SUCH MEASURES ARE IN PLACE.
15. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

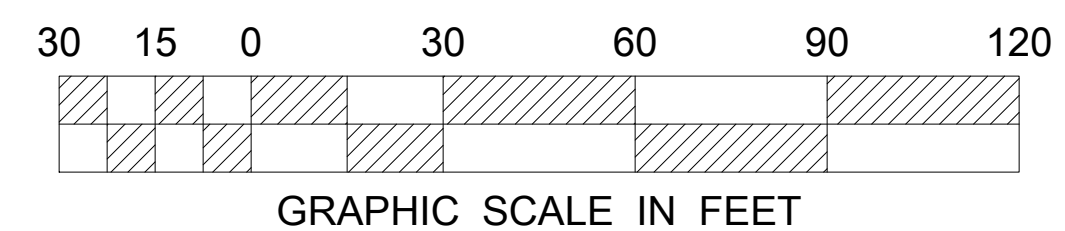
- 1.) SILT FENCE TO BE CONSTRUCTED WHEREVER OFFSITE AREAS ARE LOWER THAN ADJACENT ONSITE ELEVATIONS.
- 2.) CATCH BASIN FABRIC TO BE PLACED ON AREA INLETS SUBJECT TO SEDIMENTATION FROM THIS PROJECT.
- 3.) ALL EROSION CONTROL DEVICES SUCH AS RUBBLE STRIPS, SILT FENCE AND OTHER BMPs SHALL BE INSTALLED PRIOR TO CONSTRUCTION.





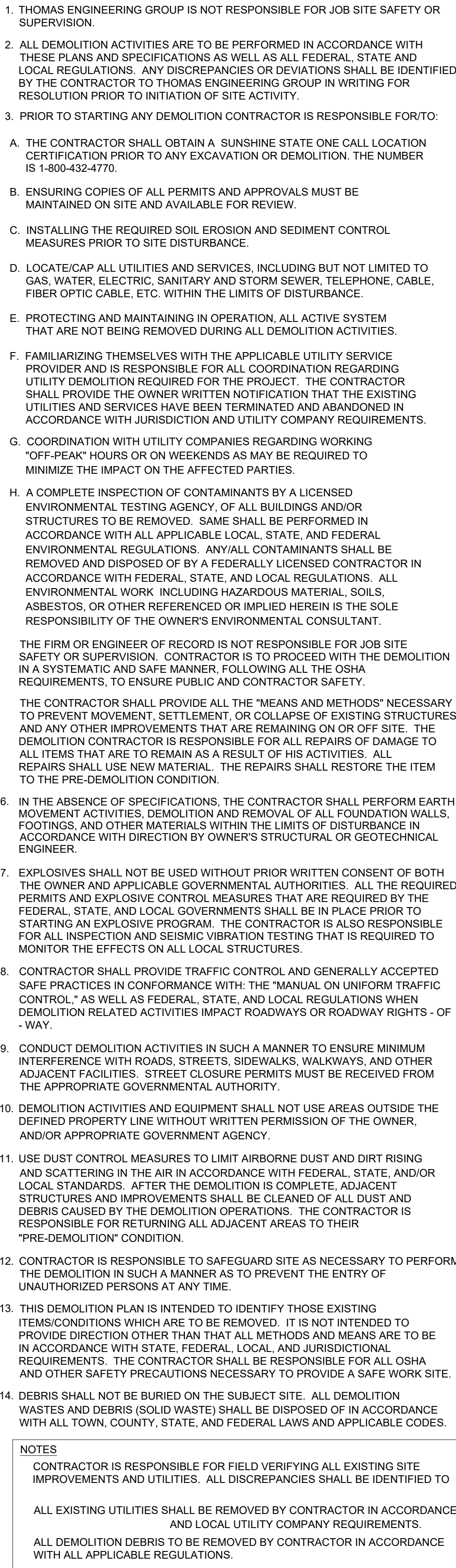
TRUCK RUBBLE STRIP AREA



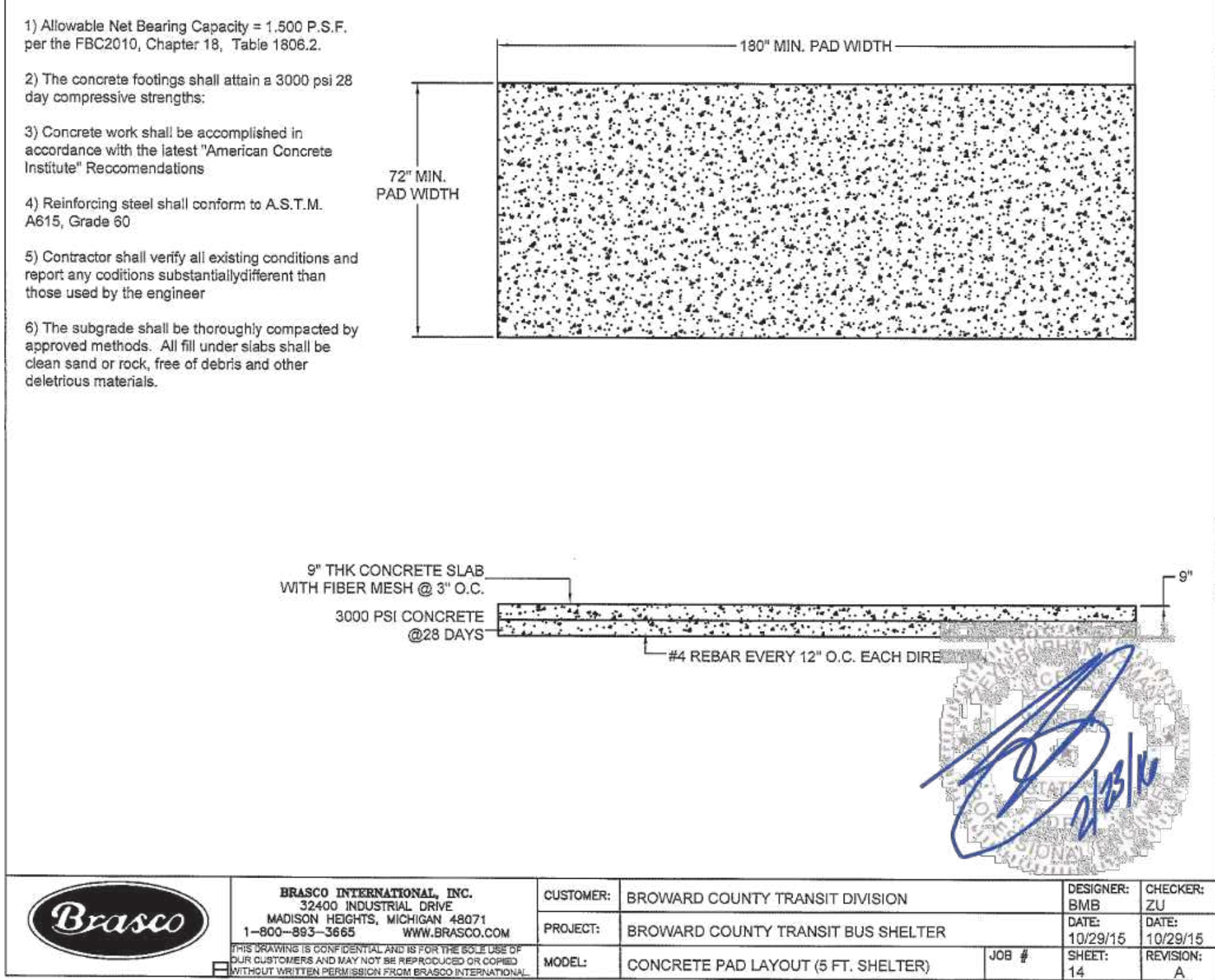
SILT FENCE DETAIL
(F.D.O.T. INDEX 102, SHEET 03 OF 03)



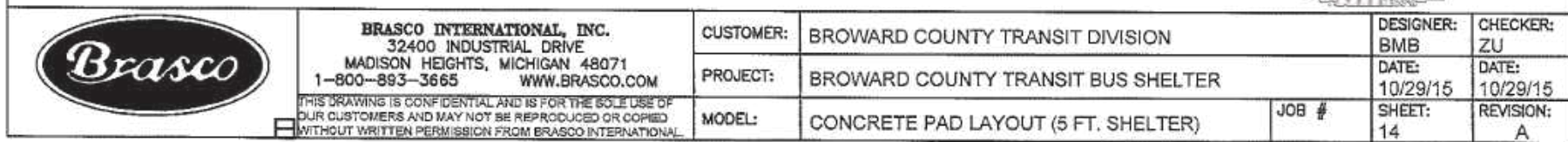
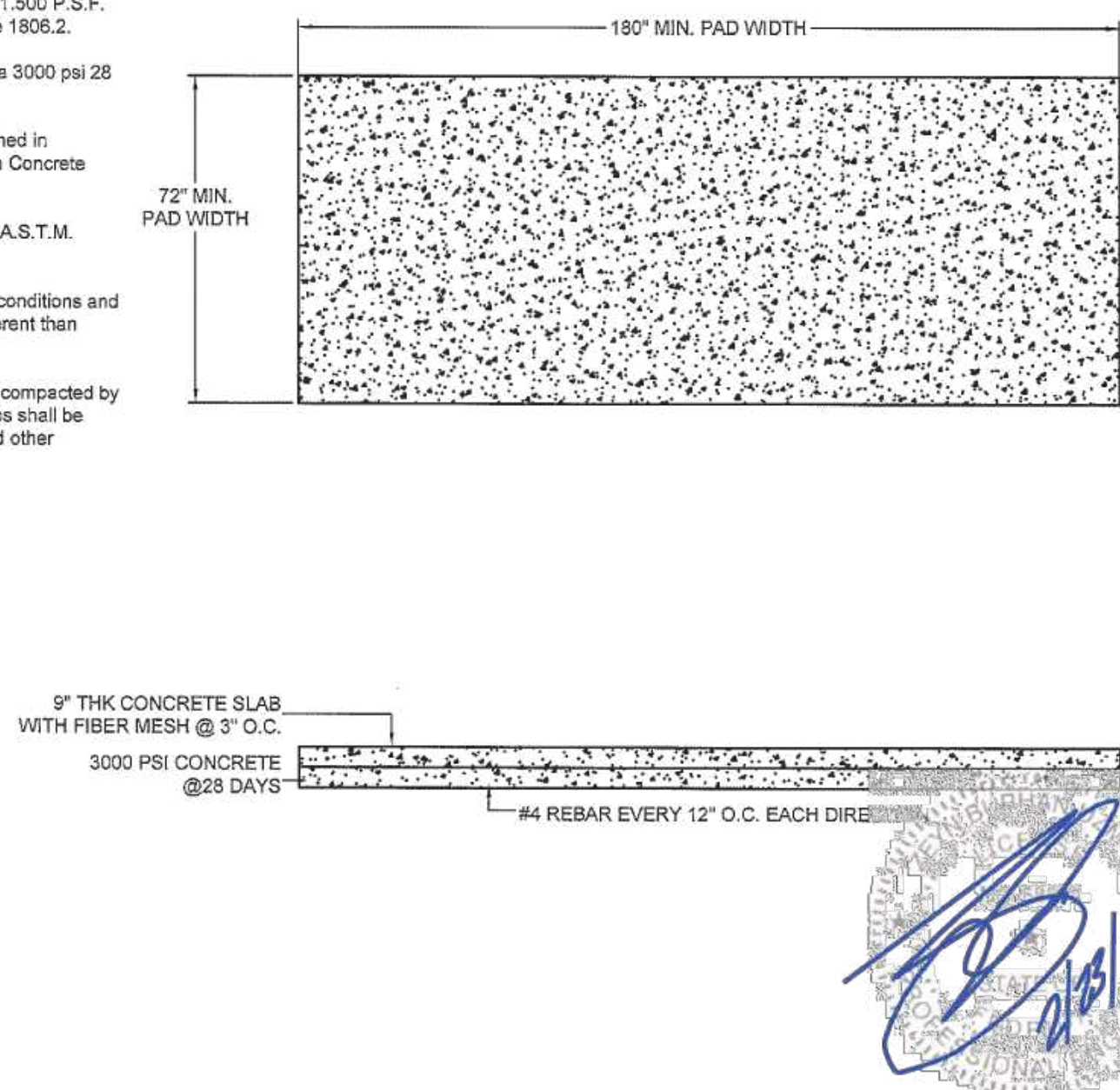
		<p>THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: NO PART OF THESE PLANS OR ANY OF THE CONTENTS HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPY- ING, RECORDING, OR BY ANY INFORMATION SYSTEM, WITHOUT PERMISSION IN WRITING FROM RACETRAC PETROLEUM, INC. IS PROHIBITED.</p>		<p>THOMAS ENGINEERING GROUP, INC. 1000 N. 15th Ave. Fort Lauderdale, FL 33309 PH: (954) 262-7000 www.ThomasEngineeringGroup.com</p>				<p>PRELIMINARY TAC MEETING LICENSE FINAL TAC MEETING</p>		<p>10/08/2018 11/19/2018 01/13/2020</p>		<p>DATE</p>	
<p>EROSION CONTROL PLAN</p>		<p>RACETRAC MARKET</p>		<p>3990 GRIFFIN ROAD Hollywood, Florida 33312</p>		<p>09/17/2018</p>		<p>1" = 30'</p>		<p>AG</p>		<p>DRAWING NAME:</p>	
<p>ES-1</p>		<p>1</p>		<p>SHEET NO.</p>		<p>VERSION</p>		<p>NO.</p>		<p>FLORIDA BOARD OF PROFESSIONAL ENGINEERS</p>		<p>NO. 27252</p>	




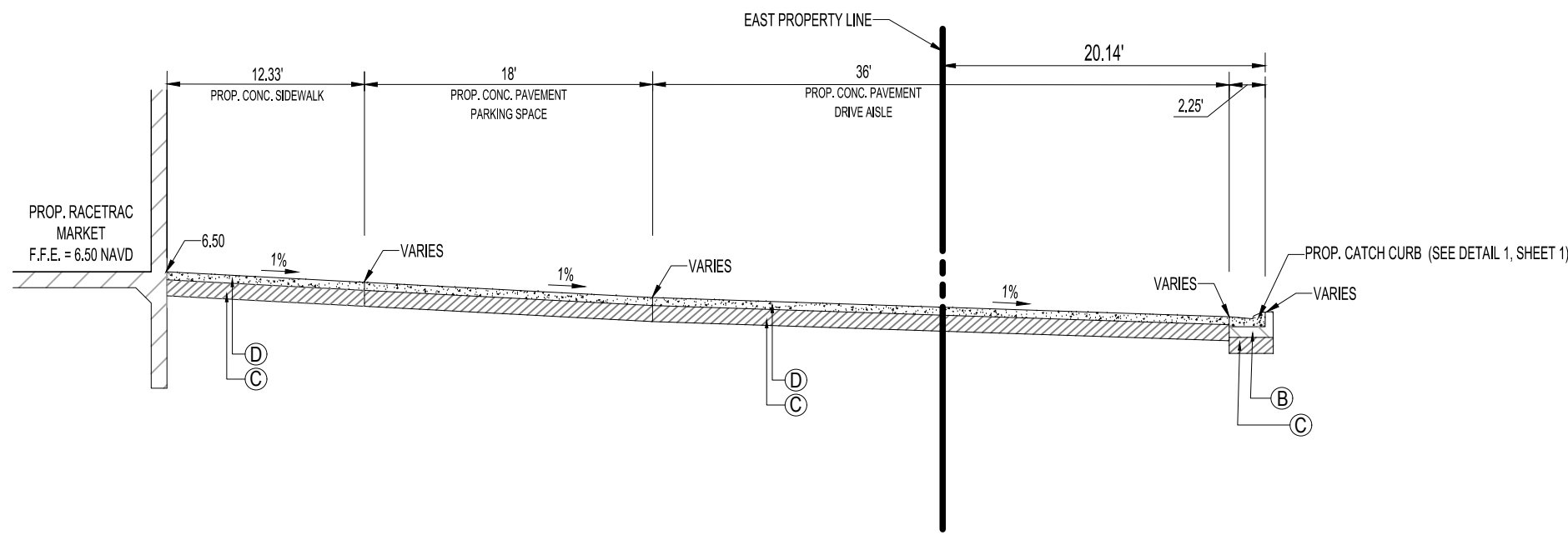
SHEET NO.	D-1	DRAWING NAME:	DEMOLITION PLAN	 <p>RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SE SUITE 900 ATLANTA, GA 30339 (770) 431-7600</p>	<p>THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY USE OF SAME EXCEPT AS EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.</p>	 <p>6300 NW 31ST AVE FORT LAUDERDALE, FL 33309 PH: (954) 252-7000 www.ThomasEngineeringGroup.com</p>	 <p>STATE OF FLORIDA April 20, 2020 No. 883981</p>	PRELIMINARY TAC MEETING FINAL TAC MEETING FINAL TAC MEETING	10/08/2018 11/19/2018 01/13/2020	DATE
	VERSION		1					NO.		



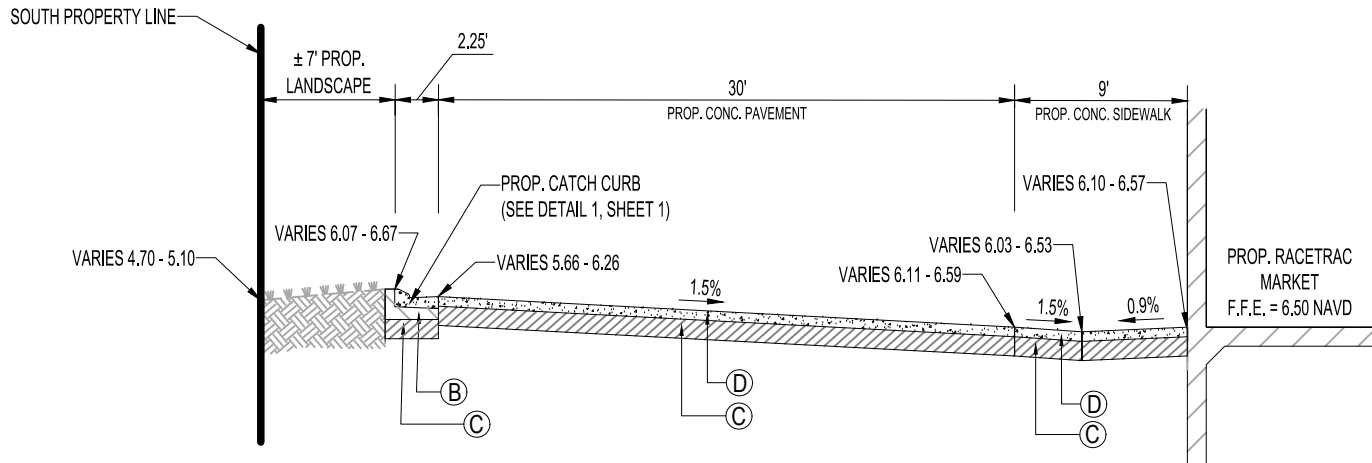
- 1) Allowable Net Bearing Capacity = 1,500 P.S.F. per the FBC2b10, Chapter 18, Table 1806.2.
- 2) The concrete footings shall attain a 3000 psi 28 day compressive strength;
- 3) Concrete work shall be accomplished in accordance with the latest "American Concrete Institute" Recommendations
- 4) Reinforcing steel shall conform to A.S.T.M. A615, Grade 60
- 5) Contractor shall verify all existing conditions and report any conditions substantially different than those used by the engineer
- 6) The subgrade shall be thoroughly compacted by approved methods. All fill under slabs shall be clean sand or rock, free of debris and other deleterious materials.



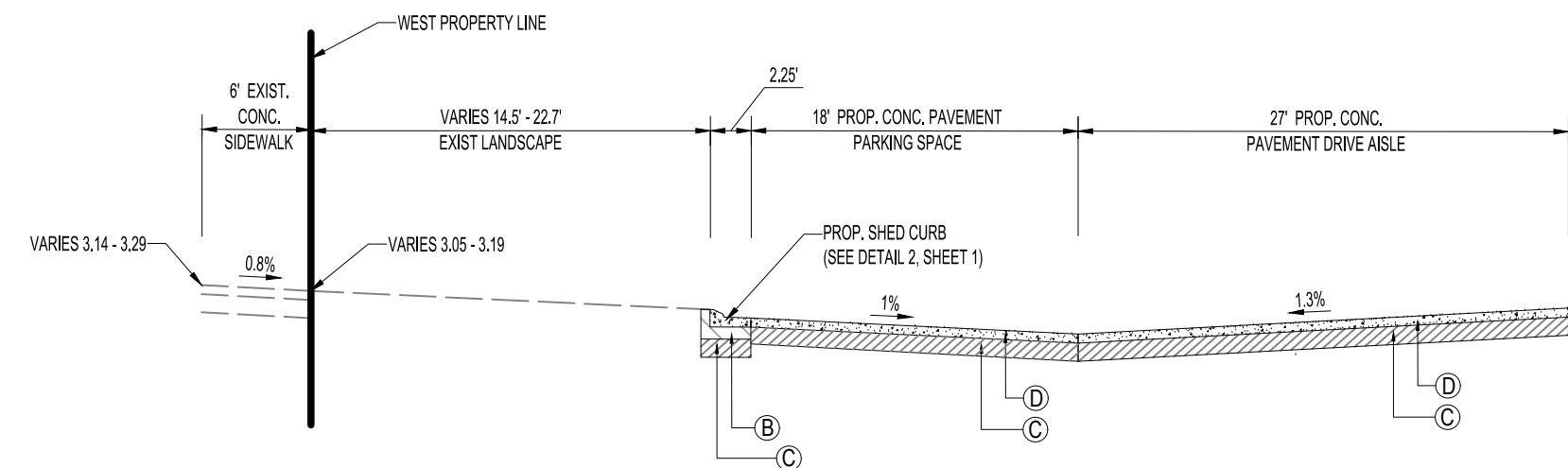
SHEET NO.	C1.4		DRAWING NAME:	DATE			<p>THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: NO REPRODUCTION WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.</p>	<p>6300 NW 31ST AVE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 FAX: (954) 202-7070 www.thomshomsgroup.com</p>	<p>STATE OF FLORIDA PROFESSIONAL ENGINEER April 20, 2020 No. 83361</p>	<p>PRELIMINARY TAC MEETING FINAL TAC MEETING FINAL TAC MEETING</p>	<p>10/03/2016 11/19/2018 01/13/2020</p>	DATE
	VERSION	09/17/2018		<p>3990 GRIFFIN ROAD Hollywood, Florida 33312</p>								



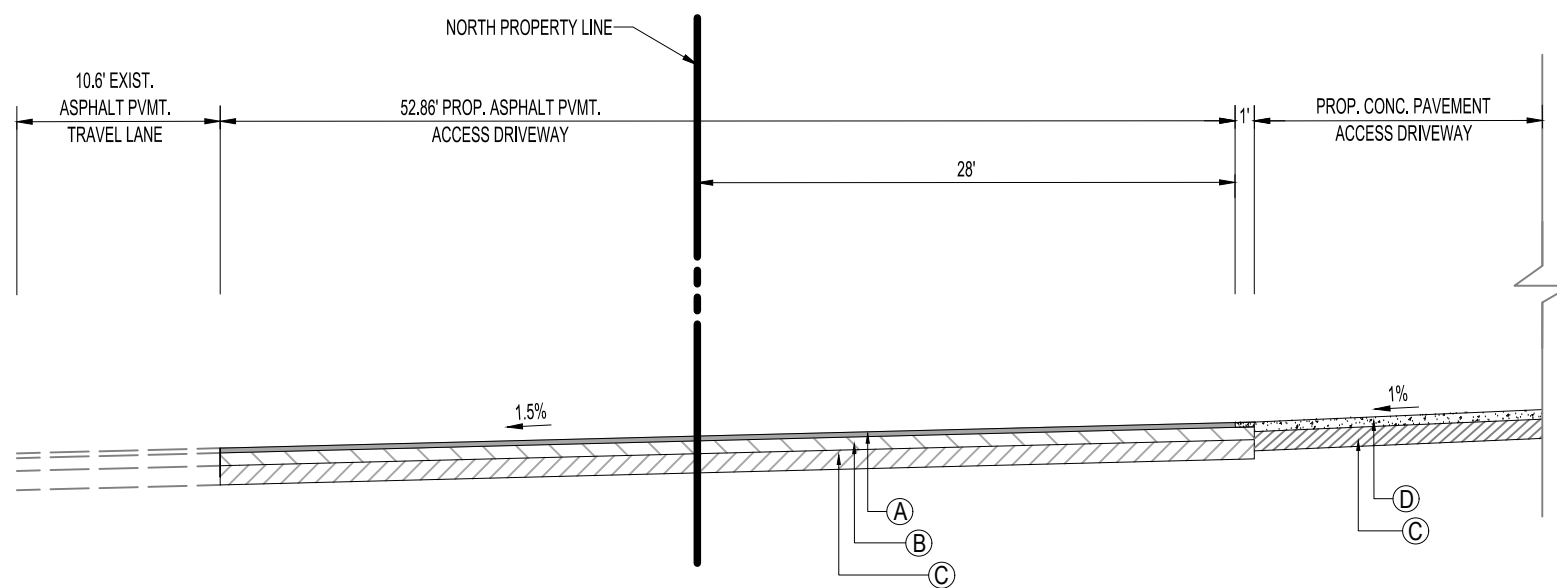
SECTION A-A
SCALE: 1" = 10'



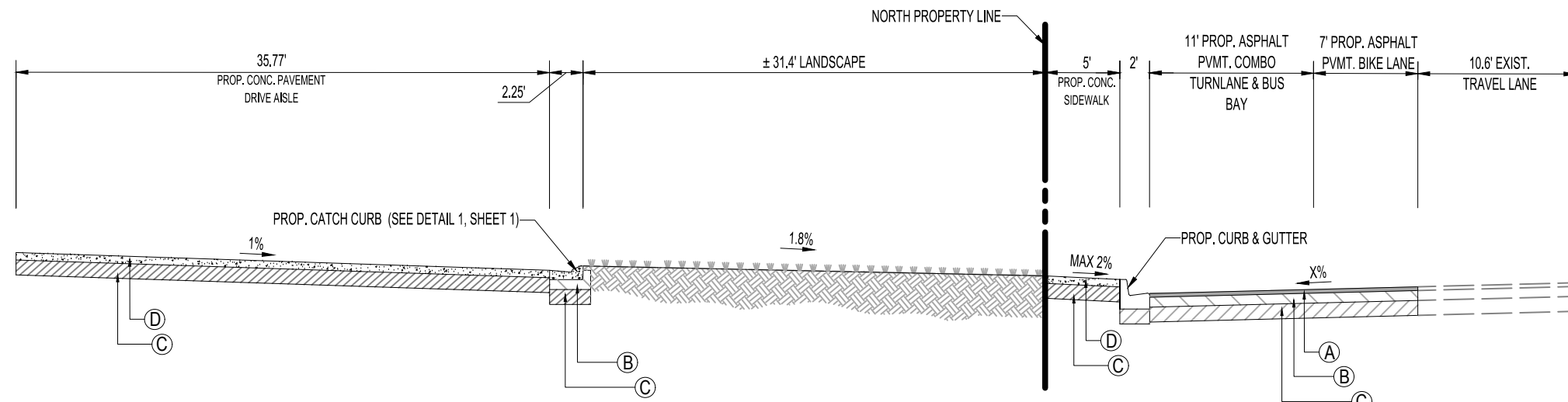
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SCALE: 1" = 10'



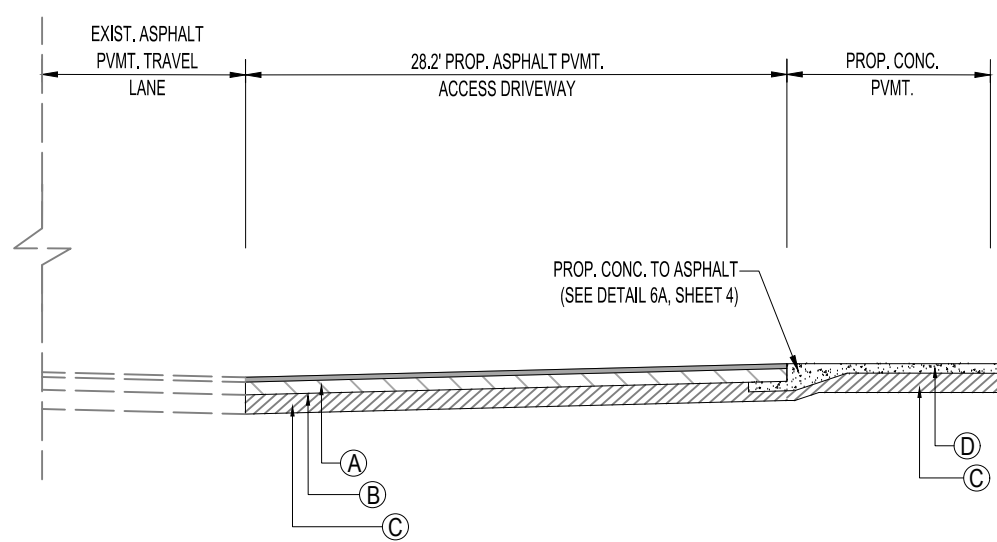
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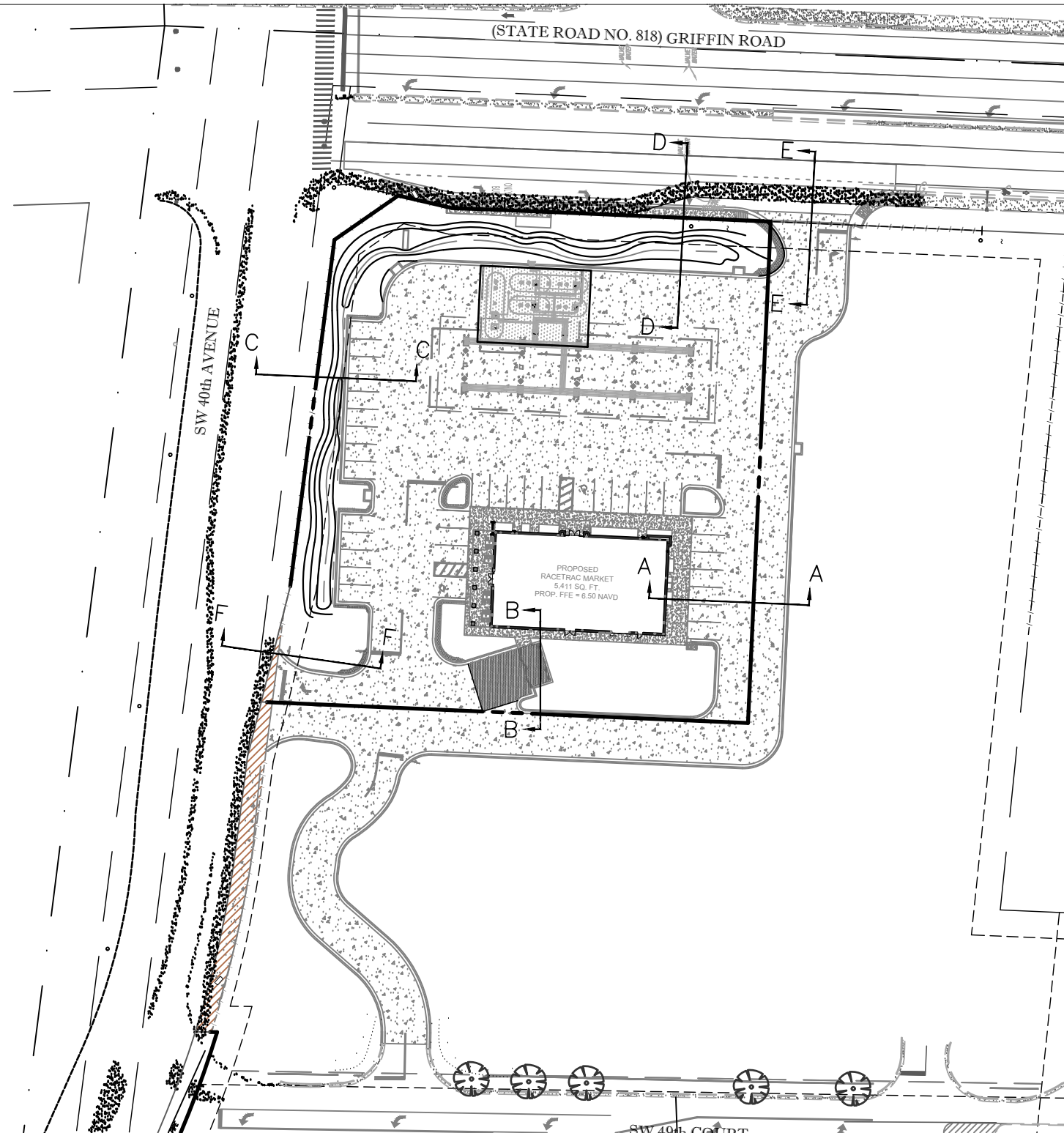
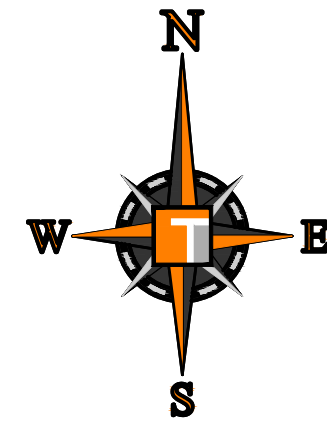
SECTION E-E
SCALE: 1" = 10'



SECTION D-D
SCALE: 1" = 10'



SECTION F-F
SCALE: 1" = 10'

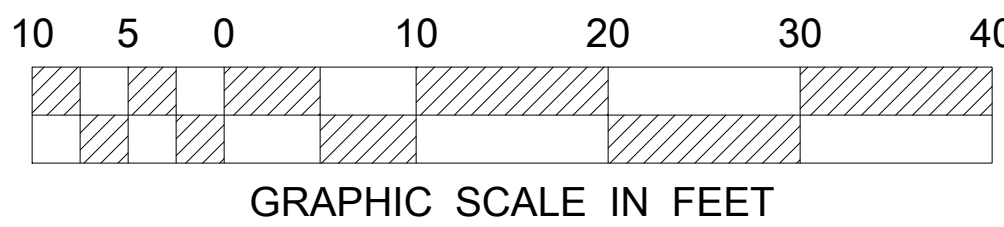


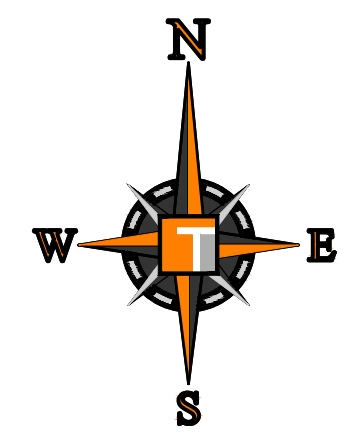
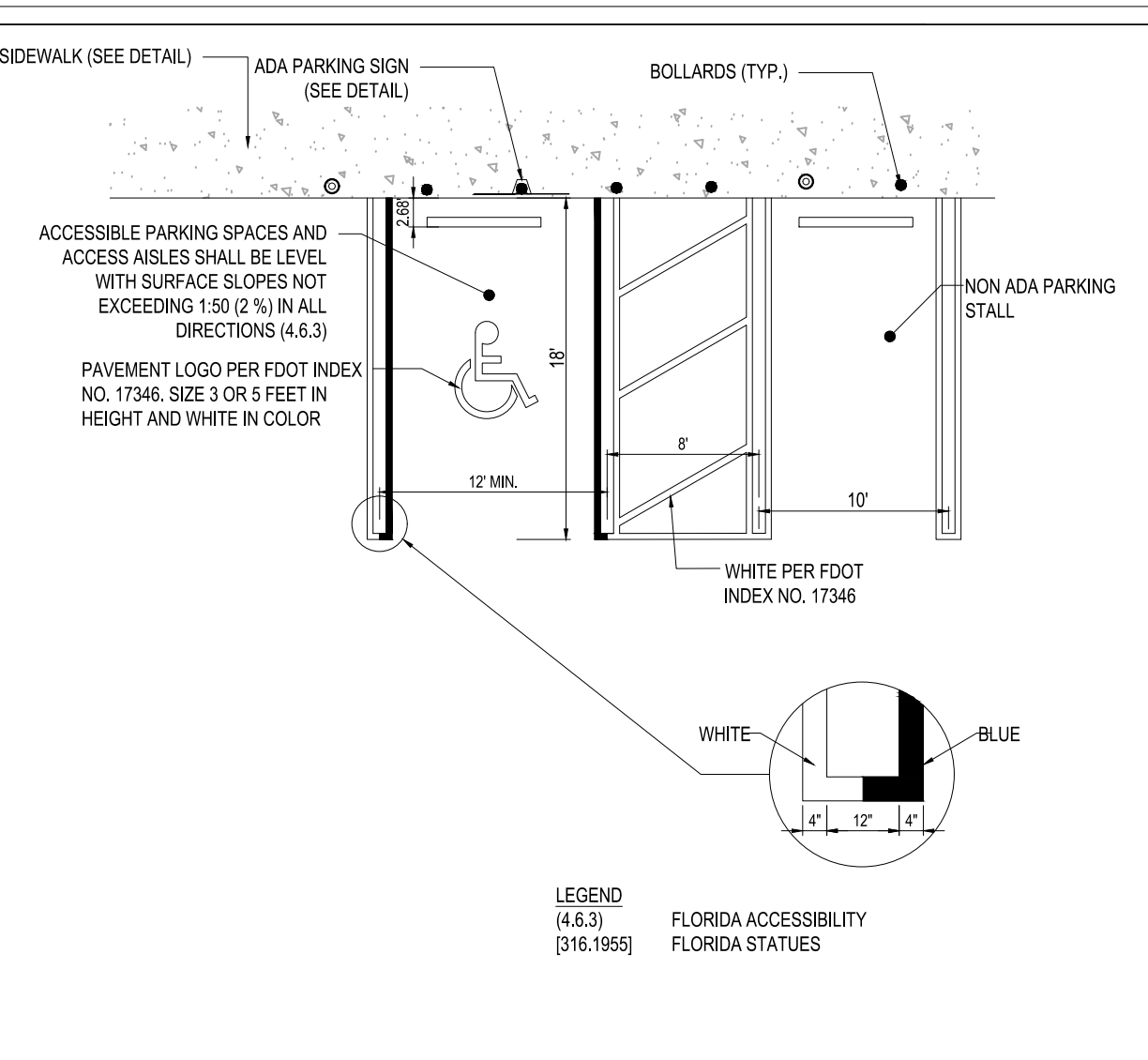
PAVEMENT LEGEND

- (A) WEARING SURFACE: (ASPHALT AREAS ONLY)
1.5 INCHES OF SP-4.5 FINE MIX ASPHALTIC CONCRETE (2 LIFTS), BITUMINOUS ASPHALT COARSE MAY BE INSTALLED IN SEPARATE 0.75" FIRST LIFT TO ALLOW MOBILIZATION OF EQUIPMENT. THE SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL ALL OTHER WORK ON THE SITE HAS BEEN COMPLETED. UPON COMPLETION OF SECOND LIFT OF ASPHALT, ANY SCRATCHES, GOUGES, OR LOSS OF AGGREGATE WILL NOT BE ACCEPTED. CONTRACTOR TO REMEDY ALL HOLES, BLEMISHES, ETC. PRIOR TO THE UNIFORM INSTALLATION OF SECOND LIFT. AFTER SECOND LIFT OF ASPHALT IS INSTALLED, TRAFFIC ROLLING IS REQUIRED.
- (B) LIME ROCK BASE: (ASPHALT/VEHICULAR PAVERS AREAS)
LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 8" THICKNESS AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LBR 100). OTHER SUBSTITUTES SHALL BE PER FOOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER AS ABOVE (MIN LBR 100) WITH ENGINEER'S APPROVAL.
- (C) SUB-BASE: 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- (D) CONCRETE PAVEMENT:
6" THICK 4000 P.S.I. CONCRETE FOR VEHICULAR USE AREAS (VUA) AND 4" THICK FOR NON VUA SIDEWALK.
- (E) COMPACTED SUBGRADE: (WALKWAYS AND CONCRETE PAVEMENT)
12" COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180.
- (F) BRICK PAVERS
- (G) SAND: 1.5" OF CLEAN SCREENED SAND OR CONCRETE SAND.

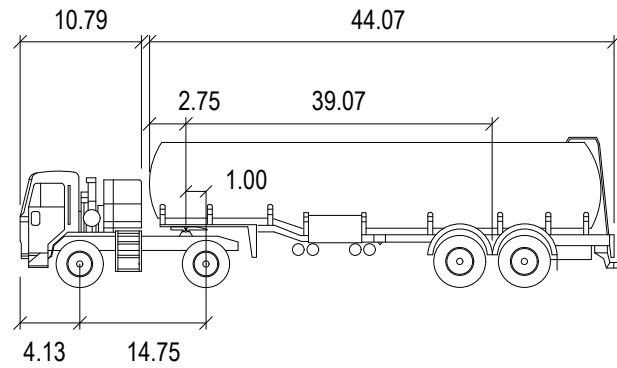
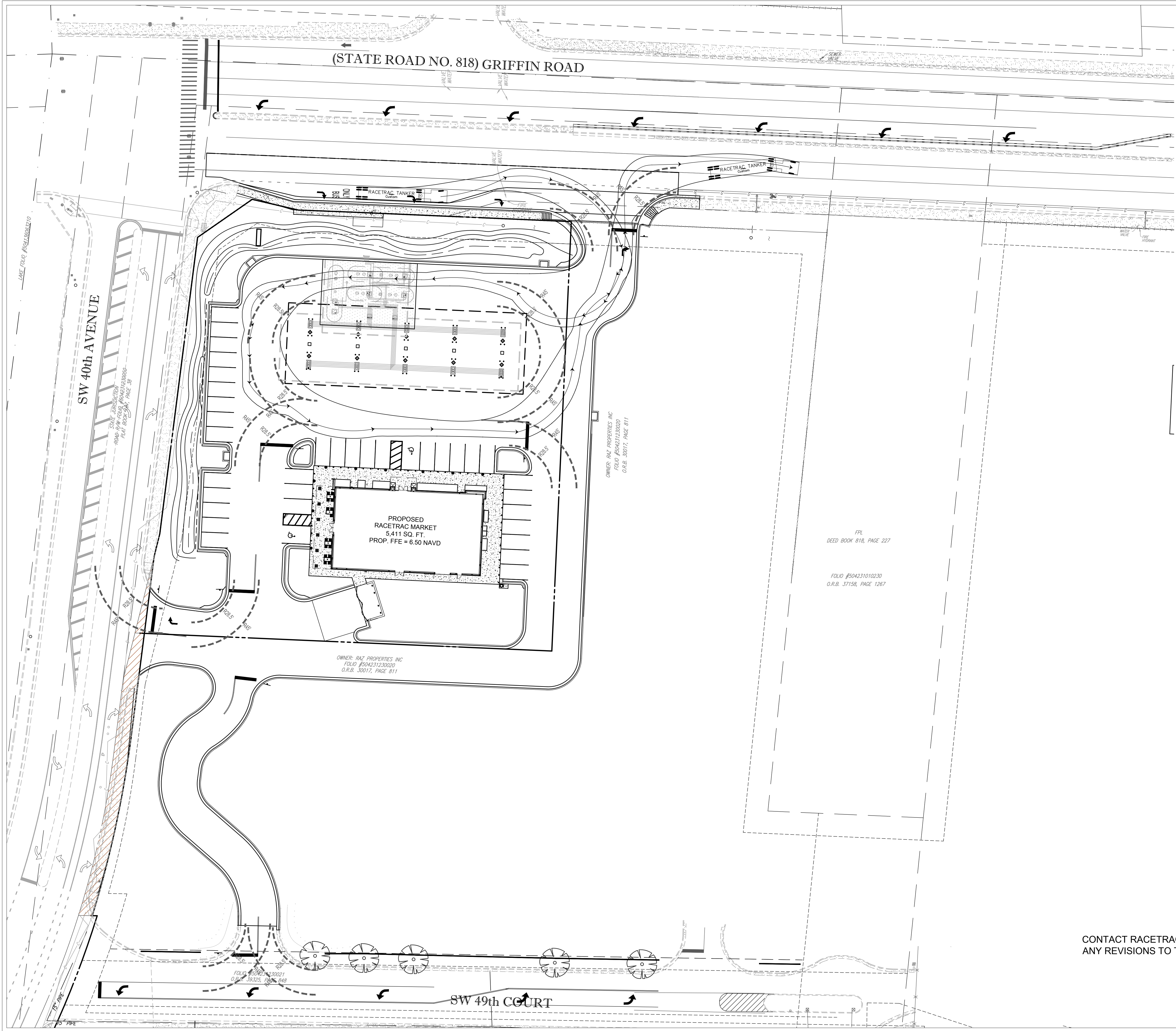
10/8/2018	PRELIMINARY TAC MEETING	NO.	DATE
11/19/2018	FINAL TAC MEETING		
07/13/2020	FINAL TAC MEETING		
THOMAS ENGINEERS, INC. LICENSE NO. 83381 APRIL 20, 2020 STATE OF FLORIDA PROFESSIONAL ENGINEER			
THOMAS ENGINEERS, INC. 6500 NW 31ST AVE. FORT LAUDERDALE, FL 33309 PH: (954) 202-2000 FAX: (954) 202-2001 www.ThomasEngineersGroup.com			
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Racetrac		RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY, SE SUITE 900 ATLANTA, GA 30339 (770) 431-7800	
SECTIONS	MARKET	3990 GRIFFIN ROAD Hollywood, Florida 33312	
DATE	09/17/2018		
SCALE	1" = 10'		
DRAWN-BY	AG		
DRAWING NAME:			
C1.2	1		
SHEET NO.	VERSION		

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.





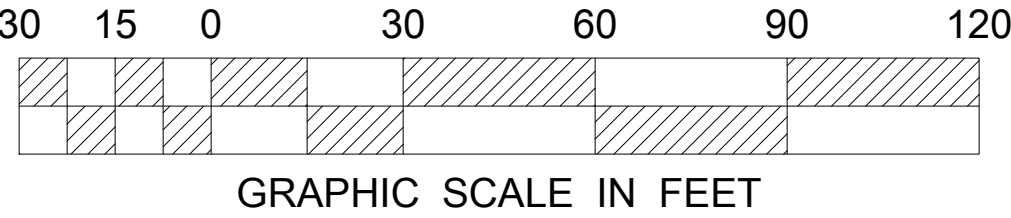
	PAVEMENT MARKING & SIGNAGE PLAN RACETRAC MARKET		RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SE SUITE 900 ATLANTA, GA 30339 (770) 431-7600		THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.		6300 NW 31ST AVE FORT LAUDERDALE, FL 33309 PH: (954) 292-7000 www.ThomasEngineeringGroup.com		No. 63361 April 20, 2020	PRELIMINARY TAC MEETING FINAL TAC MEETING FINAL TAC MEETING	10/06/2018 11/19/2018 01/13/2020	DATE
	DATE SCALE DRAWN-BY DRAWING NAME:	09/17/2018 1" = 30' AG C1.3	3950 GRIFFIN ROAD Hollywood, Florida 33312 1	SHEET NO. VERSION								



RACETRAC TANKER			
	feet		
Tractor Width	: 8.50	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 40.0
Tractor Track	: 8.50	Articulating Angle	: 70.0
Trailer Track	: 8.50		



CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.



10/8/2018 11/19/2018 07/13/2020		PRELIMINARY TAC MEETING FINAL TAC MEETING FINAL TAC MEETING		NO.		DATE	
CIRCULATION PLAN		RACETRAC MARKET		3990 GRIFFIN ROAD Hollywood, Florida 33312		1	
DATE		09/17/2018		SCALE		1" = 30'	
DRAWN-BY		AG		DRAWING NAME:		C1.4	
SHEET NO.		1		VERSION			

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. WITHOUT THE WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

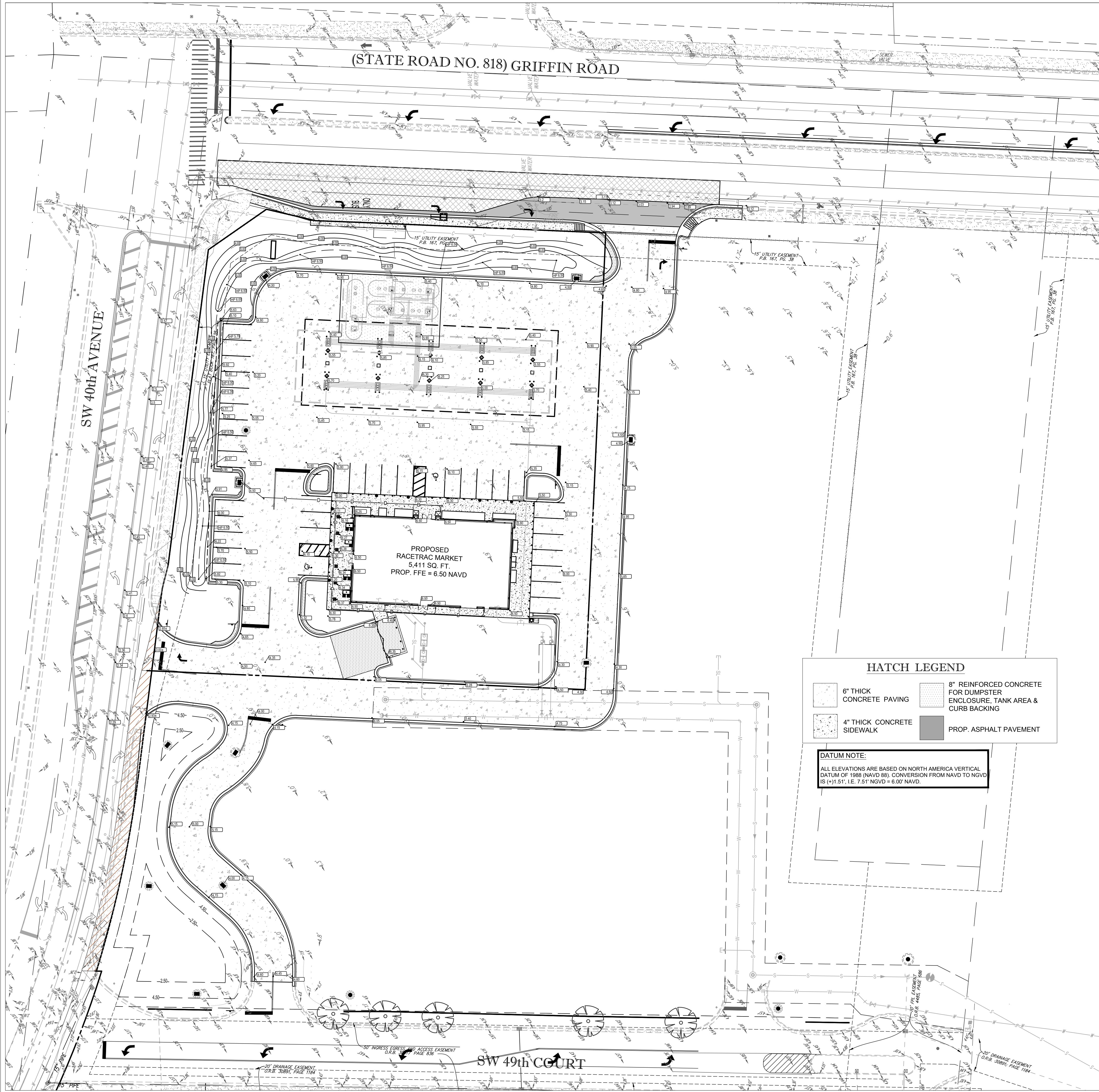
Racetrac

RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7000

THOMAS ENGINEERING

6500 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PH: (954) 202-2000
www.ThomasEngineeringGroup.com

FLORIDA LICENSE No. 83381
April 20, 2020
STATE OF FLORIDA
PROFESSIONAL ENGINEER
FLORIDA BUSINESS REGISTRATION No. 27928



CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

GRADING PLAN NOTES:

1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY SURVEYING, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS.
4. RACETRAC PETROLEUM DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND / OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. ALL CUT OR FILL SLOPES SHALL BE X:1 OR FLATTER UNLESS OTHERWISE NOTED.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINES IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTIONS ACTIVITIES.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
13. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY / COUNTY SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
14. ALL RETAINING WALLS TO BE PROTECTED DURING BACKFILL BY CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO, PROVIDING AND INSTALLING PROPER BRACING DURING BACKFILL BEING PLACES ADJACENT TO RETAINING WALLS.
15. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY RACETRAC.
16. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
17. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
18. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
19. ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
20. EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.

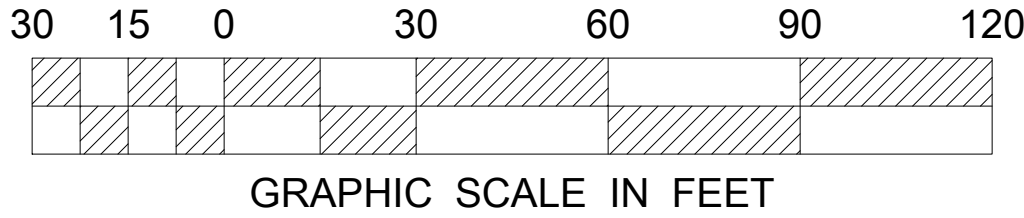
HATCH LEGEND

- 6" THICK CONCRETE PAVING
- 8" REINFORCED CONCRETE FOR DUMPSTER ENCLOSURE, TANK AREA & CURB BACKING
- 4" THICK CONCRETE SIDEWALK
- PROP. ASPHALT PAVEMENT

DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICA VERTICAL DATUM OF 1988 (NAVD 88). CONVERSION FROM NAVD TO NGVD IS (+)1.51', I.E. 7.51' NGVD = 6.00' NAVD.

GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	OVERHEAD WIRE	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	WATER METER	
	CLEAN OUT	
	SLOPE GRADE	
	SPOT GRADE	
	EXPANSION JOINT	



10/8/2018
11/19/2018
07/13/2020

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING

NO.

THOMAS ENGINEERS
INC.
STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 63381
April 20, 2020
6300 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PH: (954) 922-7000
www.ThomasEngineersGroup.com

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RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY, SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7800

GRADING PLAN
RACETRAC MARKET

3990 GRIFFIN ROAD
Hollywood, Florida 33312

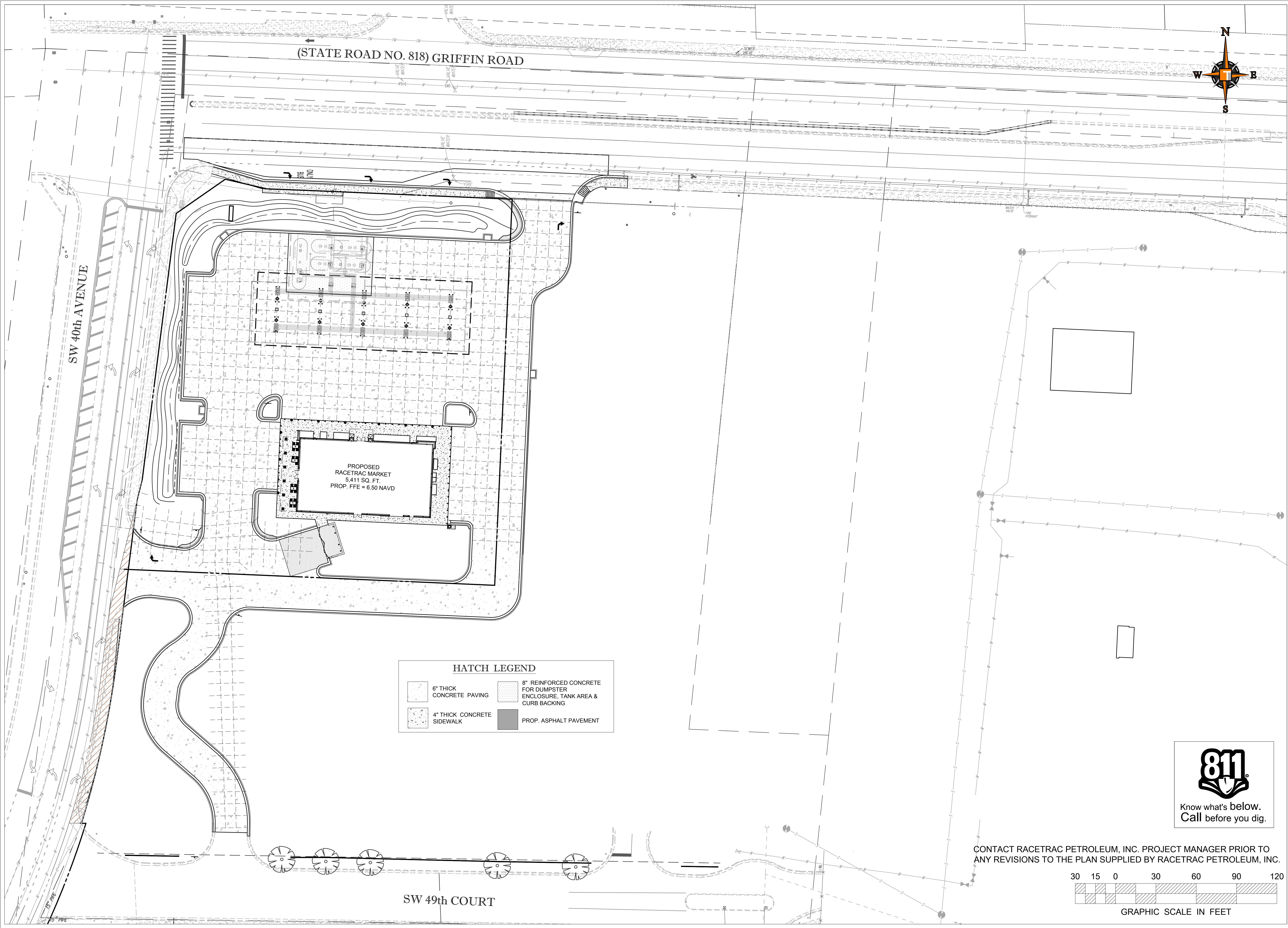
DATE
SCALE
DRAWN-BY
DRAWING NAME:

09/17/2018
1" = 30'
AG
C2.1

SHEET NO.
VERSION

1
1

DATE



(STATE ROAD NO. 818) GRIFFIN ROAD

SW 40th AVENUE

PROPOSED
RACETRAC MARKET
5,411 SQ. FT.
PROP. FFE = 6.50 NAVD

HATCH LEGEND

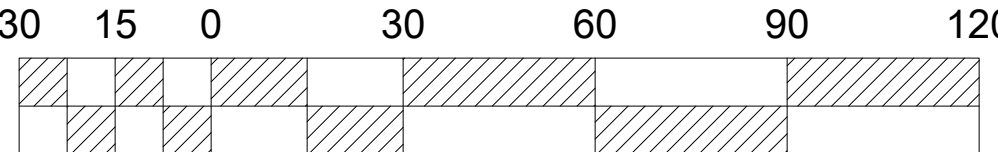
- 6" THICK CONCRETE PAVING
- 4" THICK CONCRETE SIDEWALK
- 8" REINFORCED CONCRETE FOR DUMPSTER ENCLOSURE, TANK AREA & CURB BACKING
- PROP. ASPHALT PAVEMENT

SW 49th COURT



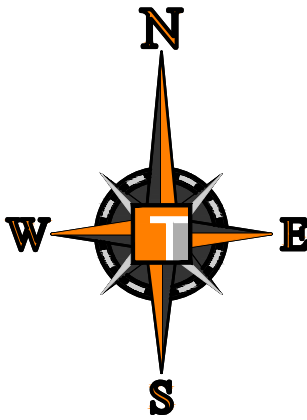
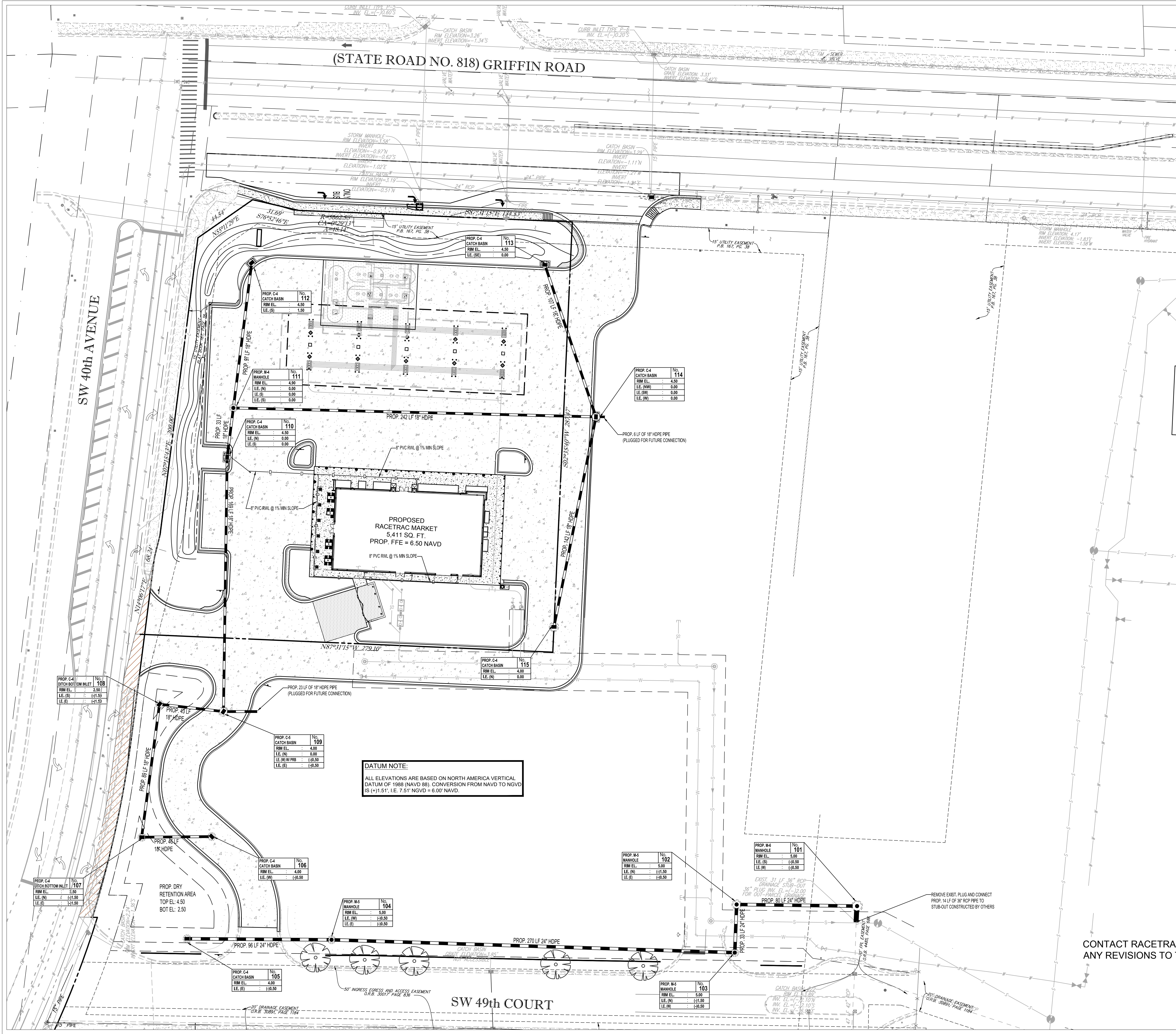
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GRAPHIC SCALE IN FEET

10/8/2018	PRELIMINARY TAC MEETING	NO.	DATE
11/19/2018	FINAL TAC MEETING		
07/13/2020	FINAL TAC MEETING		
<div><div><div>THOMAS</div><div>ENGINEERS</div></div><div>6000 NW 31ST AVE FORT LAUDERDALE, FL 33309 PH: (954) 202-7000 www.ThomasEngineeringGroup.com</div></div>			
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<div><div><div><div>811</div><div>Know what's below. Call before you dig.</div></div><div>CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.</div></div></div>			
<div><div><div><div>30</div><div>15</div><div>0</div><div>30</div><div>60</div><div>90</div><div>120</div></div><div>GRAPHIC SCALE IN FEET</div></div></div>			
<div><div><div><div>JOINTING PLAN</div><div>RACETRAC MARKET</div></div><div>3990 GRIFFIN ROAD Hollywood, Florida 33312</div></div></div>			
DATE	09/17/2018		
SCALE	1" = 30'		
DRAWN-BY	AG		
DRAWING NAME:			
C4.1	1		
SHEET NO.	VERSION		



CONSTRUCTION NOTES:

- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
- CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
- CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
- CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
- ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
- THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIGHER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) PRIOR TO CONSTRUCTION.
- PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS. DURATION OF CONSTRUCTION IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 600.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
- THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
- PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
- 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
- ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
- ALL GRADE SHOTS ARE TO BE EDGE OF PAVEMENT (EOP) UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS REFERENCE NGVD 1929

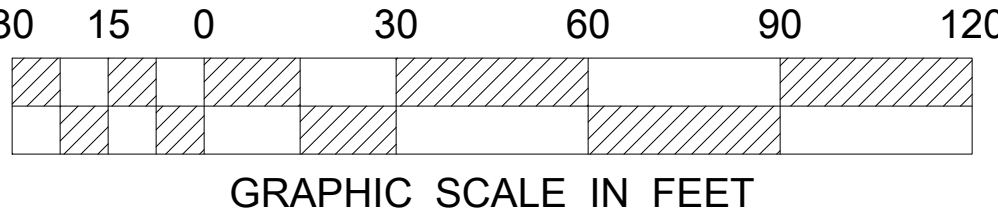
PAVING, GRADING & DRAINAGE LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	OVERHEAD WIRE	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	WATER METER	
	CLEAN OUT	

DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICA VERTICAL DATUM OF 1988 (NAVD 88). CONVERSION FROM NAVD TO NGVD IS (+)1.51', I.E. 7.51' NGVD = 6.00' NAVD.



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10/8/2018
11/19/2018
07/13/2020

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING

NO. 27038

THOMAS ENGINEERS, INC.

6000 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
www.ThomasEngineeringGroup.com

STATE OF FLORIDA
APRIL 20, 2020
No. 63381
PROFESSIONAL ENGINEER

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RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY, SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7800

DRAINAGE PLAN
RACETRAC MARKET

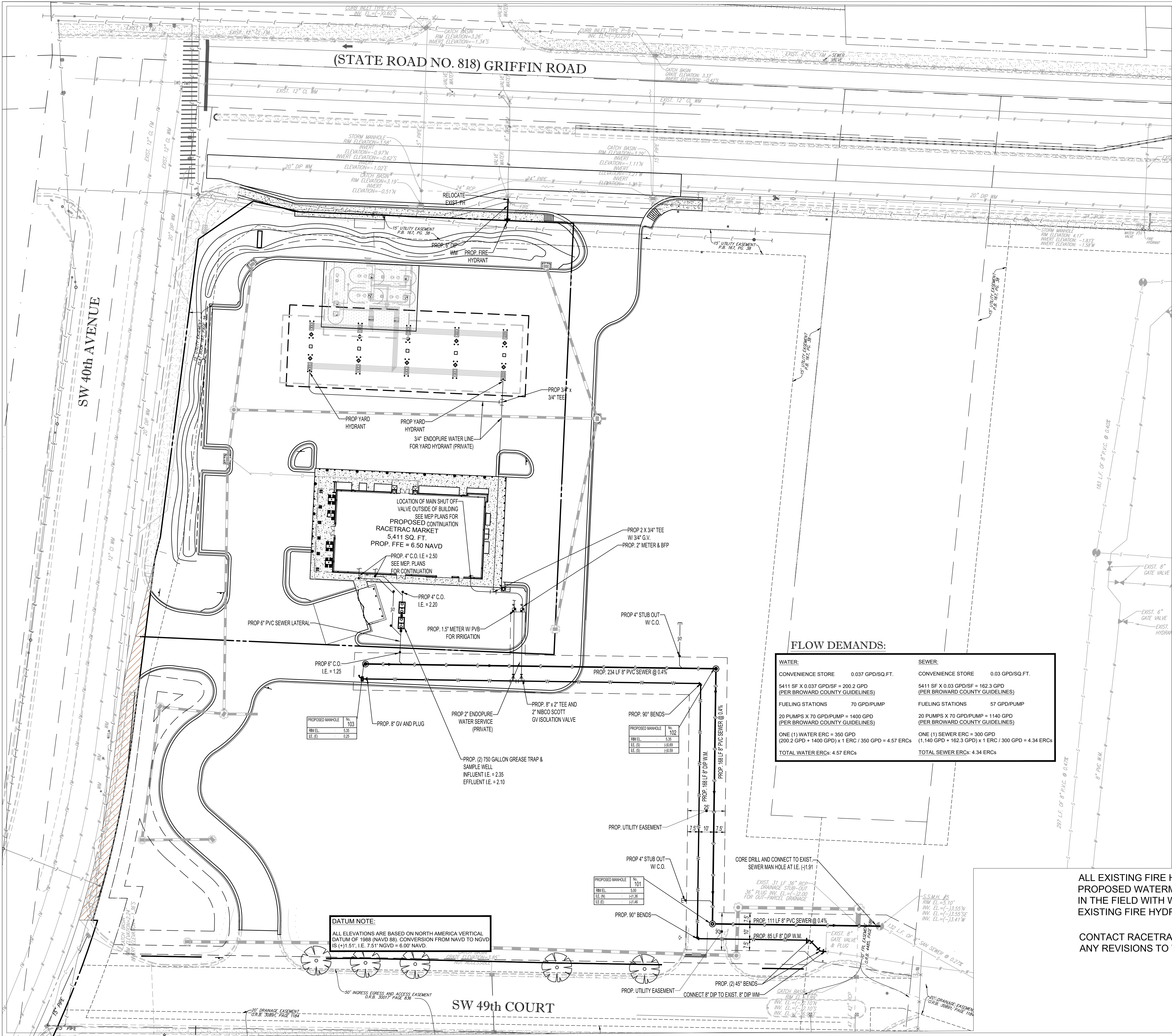
3990 GRIFFIN ROAD
Hollywood, Florida 33312


DATE
SCALE
DRAWN-BY
DRAWING NAME:

09/17/2018
1" = 30'
AG
C5.1


DATE
VERSION

09/17/2018
1





Know what's below.
Call before you dig.



- UTILITY NOTES:
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
 - THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
 - CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER AND TELEPHONE SERVICE TO BUILDING.
 - SEE DETAIL SHEETS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
 - CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
 - CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH AND PREVENT ANY CONFLICT OF UTILITIES.
 - CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
 - CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
 - THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
 - SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES AND BUILDING CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL EXPENSES THAT RESULT FROM DELAYED OR FAILED TEST DURING ANY PHASE OF THE CONSTRUCTION PROCESS. THIS INCLUDES FEES INCURRED THROUGH RESCHEDULING OF ANY RACETRAC VENDORS OR EQUIPMENT TO ACCOMMODATE.
 - EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL REFER TO PLANS BY OTHERS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND TIE-INS/CONNECTIONS TO THEIR FACILITIES.
 - SEE COVER SHEET FOR LIST OF UTILITY COMPANIES AND CONTACT PERSONS.
 - THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, AND ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
 - CONTRACTOR SHALL PROVIDE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND ADJACENT TO DRIVE AREAS.
 - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.

FLOW DEMANDS:

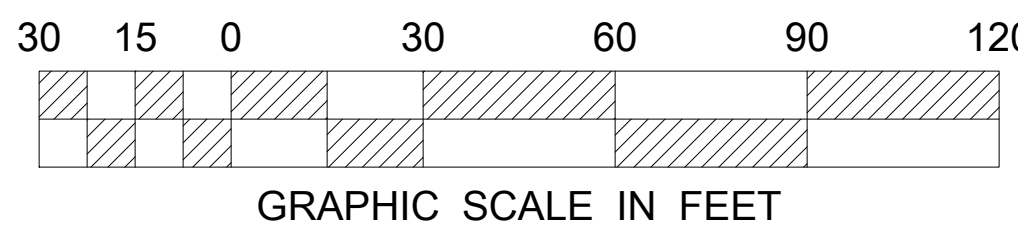
WATER:		SEWER:	
CONVENIENCE STORE	0.037 GPD/SQ.FT.	CONVENIENCE STORE	0.03 GPD/SQ.FT.
5411 SF X 0.037 GPD/SF = 200.2 GPD (PER BROWARD COUNTY GUIDELINES)		5411 SF X 0.03 GPD/SF = 162.3 GPD (PER BROWARD COUNTY GUIDELINES)	
FUELING STATIONS	70 GPD/PUMP	FUELING STATIONS	57 GPD/PUMP
20 PUMPS X 70 GPD/PUMP = 1400 GPD (PER BROWARD COUNTY GUIDELINES)		20 PUMPS X 70 GPD/PUMP = 1400 GPD (PER BROWARD COUNTY GUIDELINES)	
ONE (1) WATER ERC = 350 GPD (200.2 GPD + 1400 GPD) x 1 ERC / 350 GPD = 4.57 ERCs		ONE (1) SEWER ERC = 300 GPD (1,140 GPD + 162.3 GPD) x 1 ERC / 300 GPD = 4.34 ERCs	
TOTAL WATER ERCs: 4.57 ERCs		TOTAL SEWER ERCs: 4.34 ERCs	

UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
T	UNDERGROUND TELEPHONE LINE	T
---	STORM SEWER	---
S	SANITARY SEWER MAIN	S
OH	OVERHEAD WIRE	OH
HY	HYDRANT	+
SM	SANITARY MANHOLE	SM
DM	STORM MANHOLE	DM
CB	CATCH BASIN	CB
WM	WATER METER	WM
BFP	BACKFLOW PREVENTER	BFP
CO	CLEAN OUT	CO

ALL EXISTING FIRE HYDRANTS SHALL BE RECONNECTED TO THE PROPOSED WATERMAIN. FIELD OPERATIONS SECTION WILL COORDINATE IN THE FIELD WITH WATER DISTRIBUTION DIVISION TO DETERMINE IF AN EXISTING FIRE HYDRANT SHALL BE REPLACED AS NEEDED OR REQUIRED.

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.



10/8/2018
11/19/2018
07/13/2020

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING

DATE

UTILITY PLAN
RACETRAC MARKET


RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7000

DATE
SCALE
DRAWN-BY
DRAWING NAME:

09/17/2018
1" = 30'
AG
C6.1
1
SHEET NO. VERSION

WATER METER SERVICE NOTES:

- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
- P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANS/AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm) FOR WATER SERVICE".
- SERVICE PIPE SHALL BE THE SAME SIZE AS THE WATER METER EXCEPT THAT NO SERVICE PIPE SHALL BE SMALLER THAN 1" DIAMETER.
- SERVICE PIPE CROSSING UNDER THE ENTIRE WIDTH OF A ROADWAY PAVEMENT MUST BE 2" MINIMUM UNLESS OTHERWISE DIRECTED BY THE CITY.
- THE 3" CASING UNDER THE ROAD IS TO BE USED ONLY WHEN THE WATER MAIN RUNS WITHIN THE SWALE ON THE OPPOSITE SIDE OF THE ROAD FROM THE WATER SERVICE. ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVED STREETS.
- APPROVED TYPE COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
- FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- THE WATER METERS WILL BE PROVIDED BY THE CITY OF HOLLYWOOD AND INSTALLED BY THE CONTRACTOR.
- FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
- FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
 - CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
 - FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
- THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK.
- AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
- FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.




ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
WATER METER SERVICE NOTES FOR
5/8" THROUGH 2" METERS

REVISED: 06/08/2004
DRAWING NO.
W-07

WATER NOTES:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING ALLOWED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. (FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH ANS/AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SHUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
- THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE. OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCRIBED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE NIBCO-SCOTT 1-133 LF WITH NO SUBSTITUTIONS ALLOWED. LARGE GATE VALVES OVER 3" THRU 18" IN DIAMETER, MUST BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. MANUFACTURERS: MUELLER, AMERICAN DARLING, A/K, OR CITY APPROVED EQUAL. VALVES FOR SPECIAL APPLICATION WILL REQUIRE CITY UTILITY APPROVAL.




ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
WATER SYSTEM NOTES

REVISED: 06/08/2004
DRAWING NO.
W-01

WATER NOTES CONTINUED:

- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR 50% OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY. VALVE BOXES SHALL BE TYLER BRAND, NO SUBSTITUTES.
- FIRE HYDRANTS: PRESENTLY CITY OF HOLLYWOOD UTILITIES SPECIFICATIONS ALLOW ONLY MANUFACTURERS: MUELLER MODEL SUPER CENTURION 200 5/2" SIZE REFERENCE CATALOG NO. A-423 AND AMERICAN DARLING MODEL B-84-B 5/2" SIZE. ANY DEVIATION FROM REQUIRED SPECIFICATIONS WILL REQUIRE CITY OF HOLLYWOOD UTILITIES APPROVAL.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C901 LATEST REVISION AND CLASS DR 38. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANS/AWWA C153/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANS/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANS/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEAT AND SHALL MEET ANS/AWWA C-509-01 SPECIFICATIONS, LATEST REVISION. VALVES MUST BE MUELLER (O.A.E.). VALVE BOXES SHALL BE TYLER UNION. CONTRUGATE VALVES 3" AND SMALLER SHALL BE NIBCO 1-133 LF. NO SUBSTITUTIONS.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2', AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- TAPPING SLEEVES SHALL BE MUELLER H-615 (O.A.E.), TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANS/AWWA C509-01. ALL TAPPING VALVES SHALL HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL-SIZE CUTTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.




ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
WATER NOTES

REVISED: 06/08/2004
DRAWING NO.
W-01.1

WATER NOTES CONTINUED:

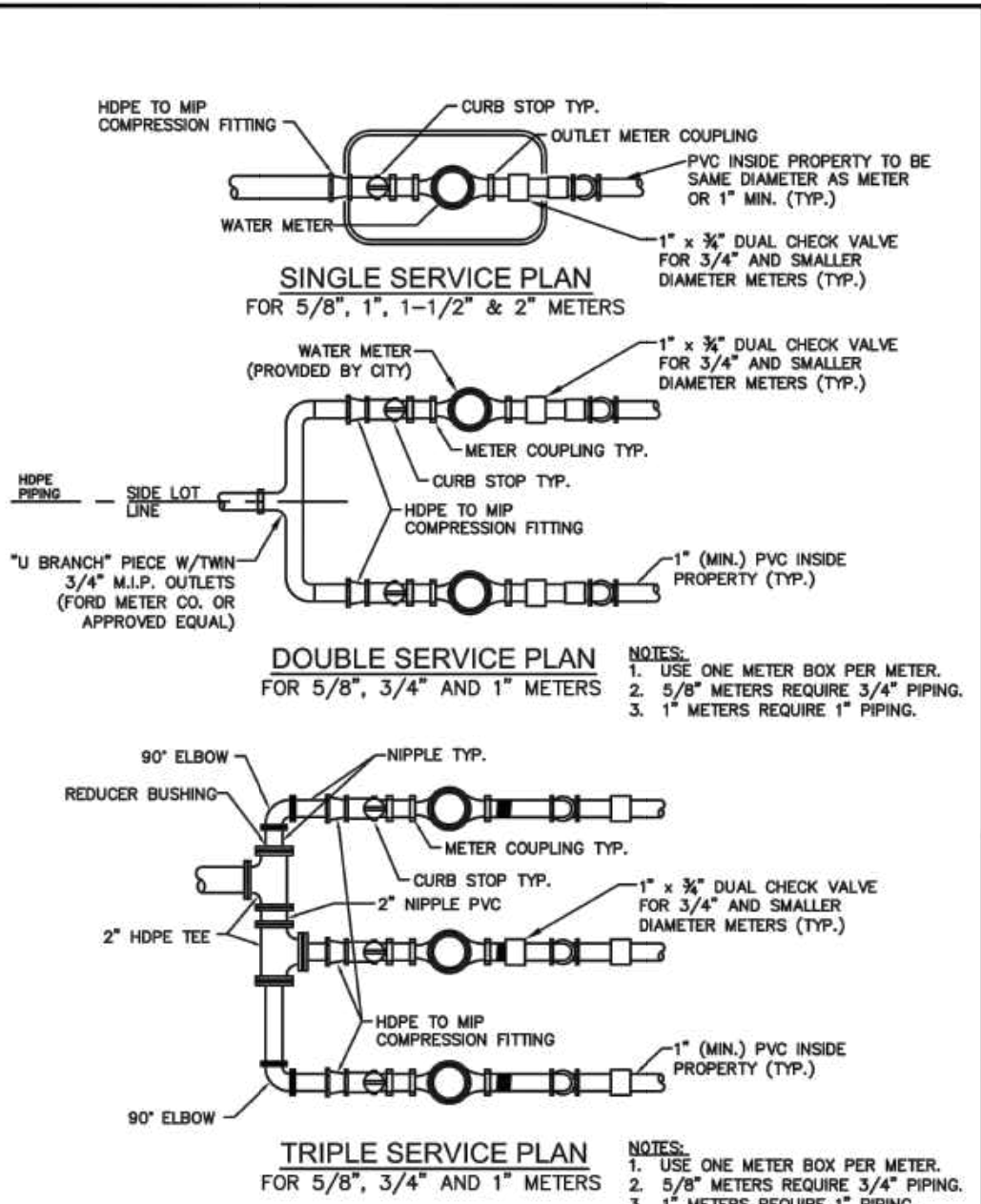
- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.




ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
WATER NOTES

REVISED: 06/08/2004
DRAWING NO.
W-02

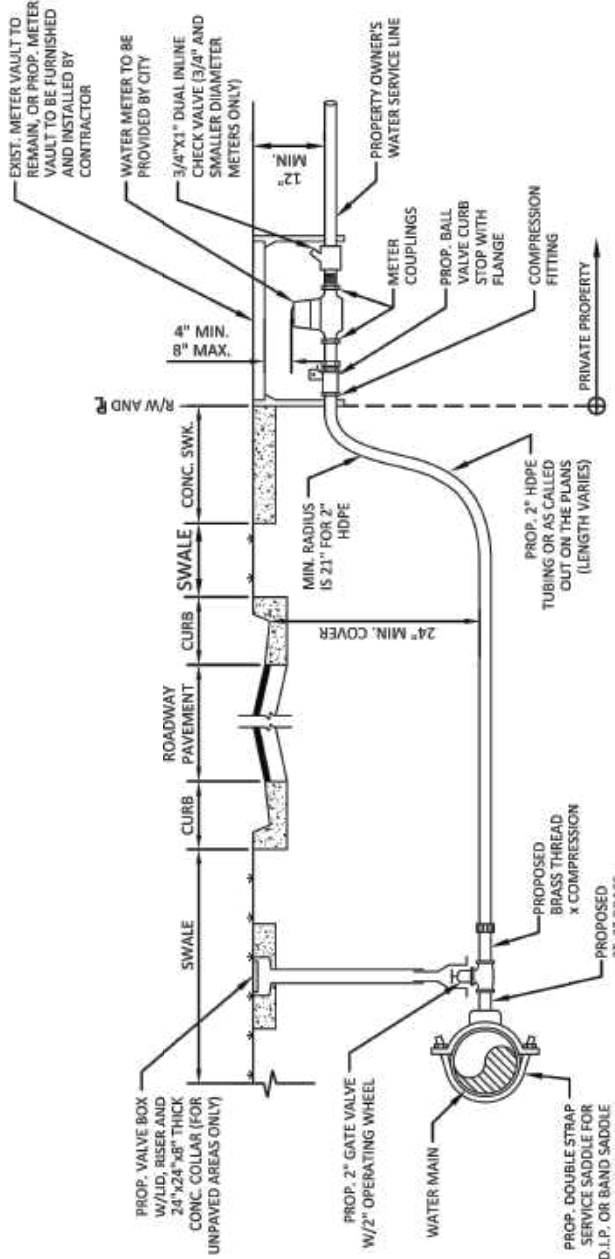





ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
TYPICAL 5/8", 1", 1-1/2" AND
2" METER INSTALLATION

REVISED: 06/08/2004
DRAWING NO.
W-06

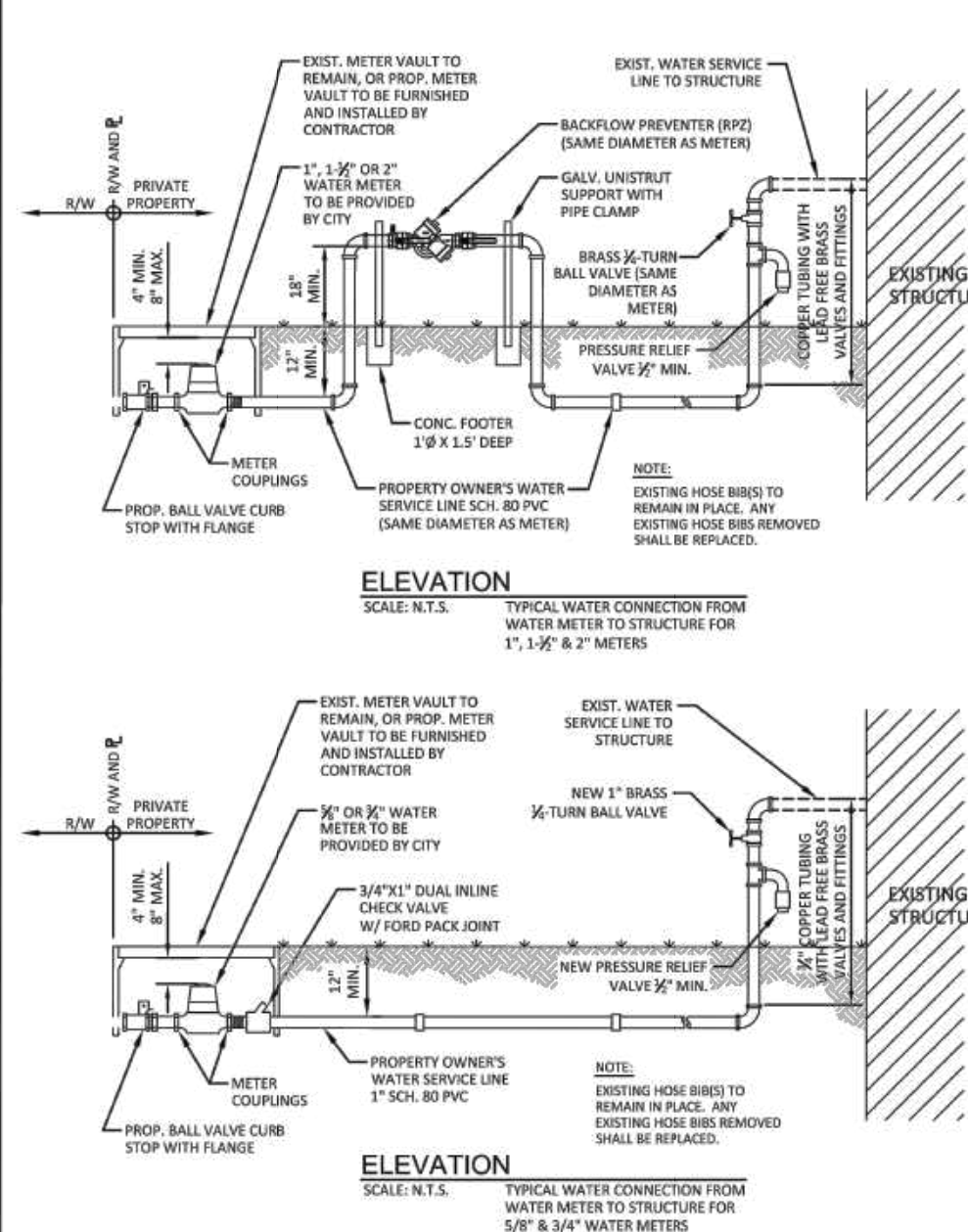





ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
TYPICAL 2-INCH HDPE WATER SERVICE FOR
LONG SINGLE/DUAL 5/8", 3/4" AND 1" METERS,
AND ANY SINGLE 1-1/2" OR 2" METERS

REVISED: 06/08/2004
DRAWING NO.
W-09

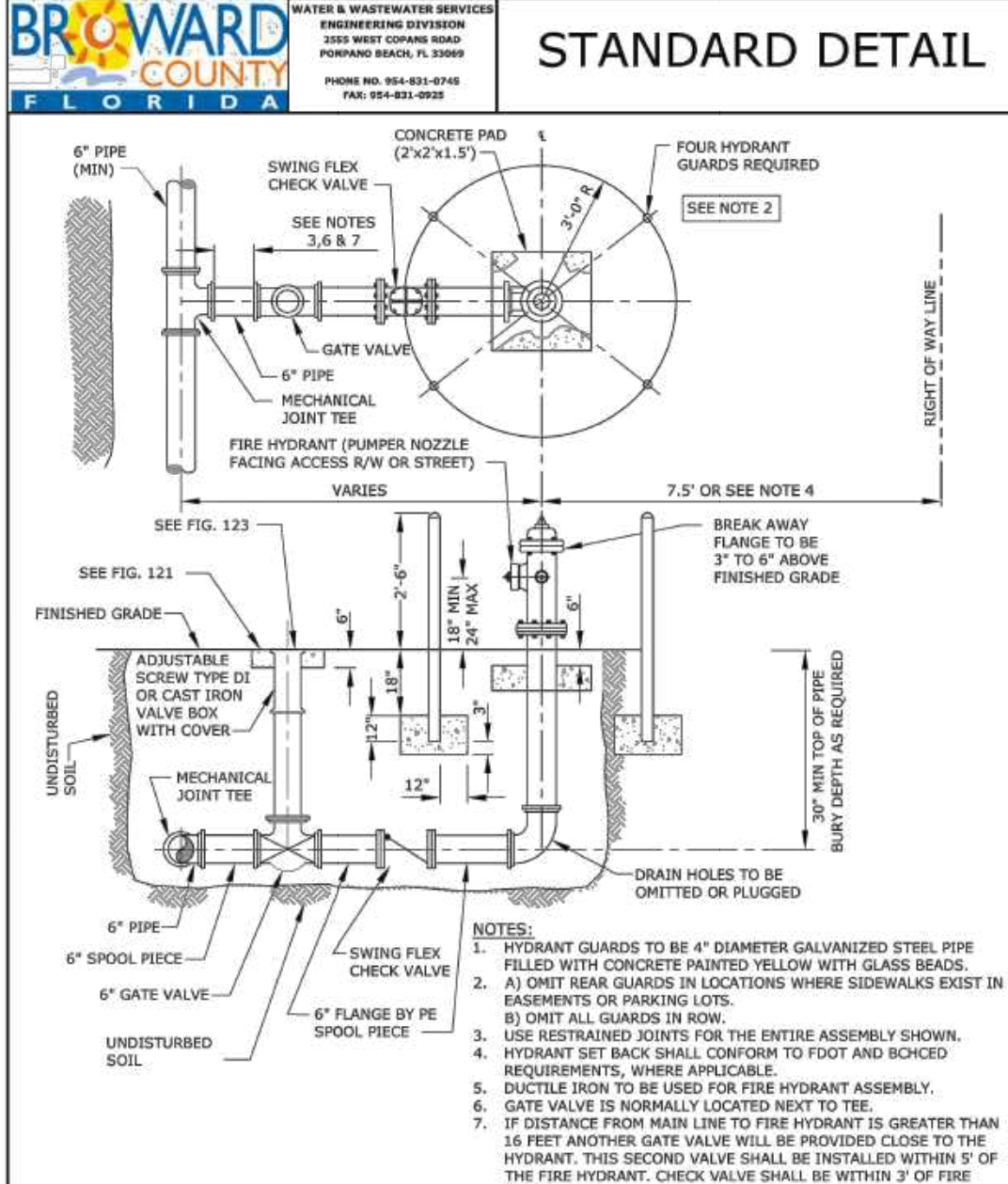




ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
TYPICAL WATER SERVICE FROM
METER TO STRUCTURE FOR 5/8"
THROUGH 2" METERS

REVISED: 11/08/2004
DRAWING NO.
W-10

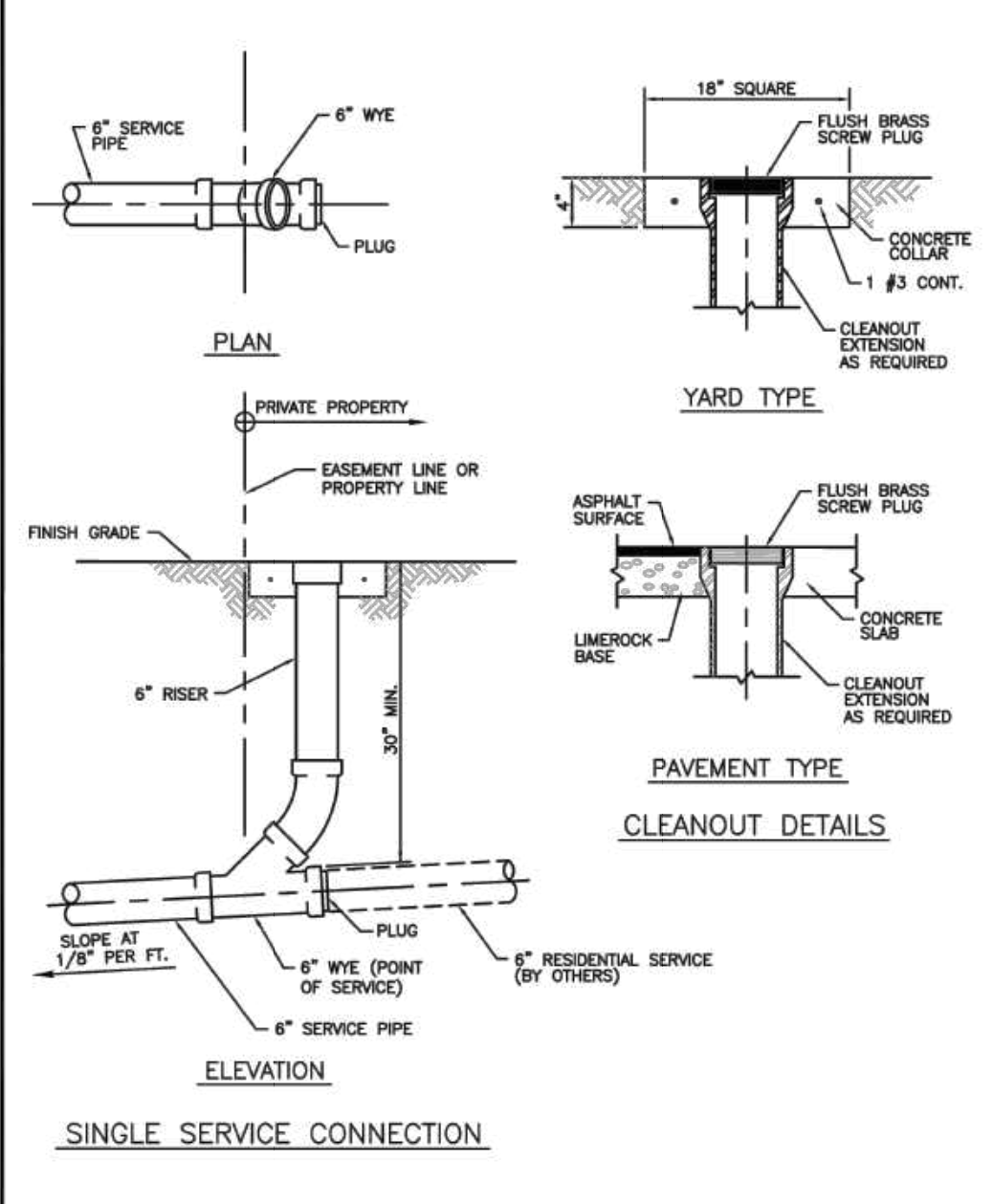


DWG NO. 8

REVISED

FIRE HYDRANT
INSTALLATION

FIGURE
231

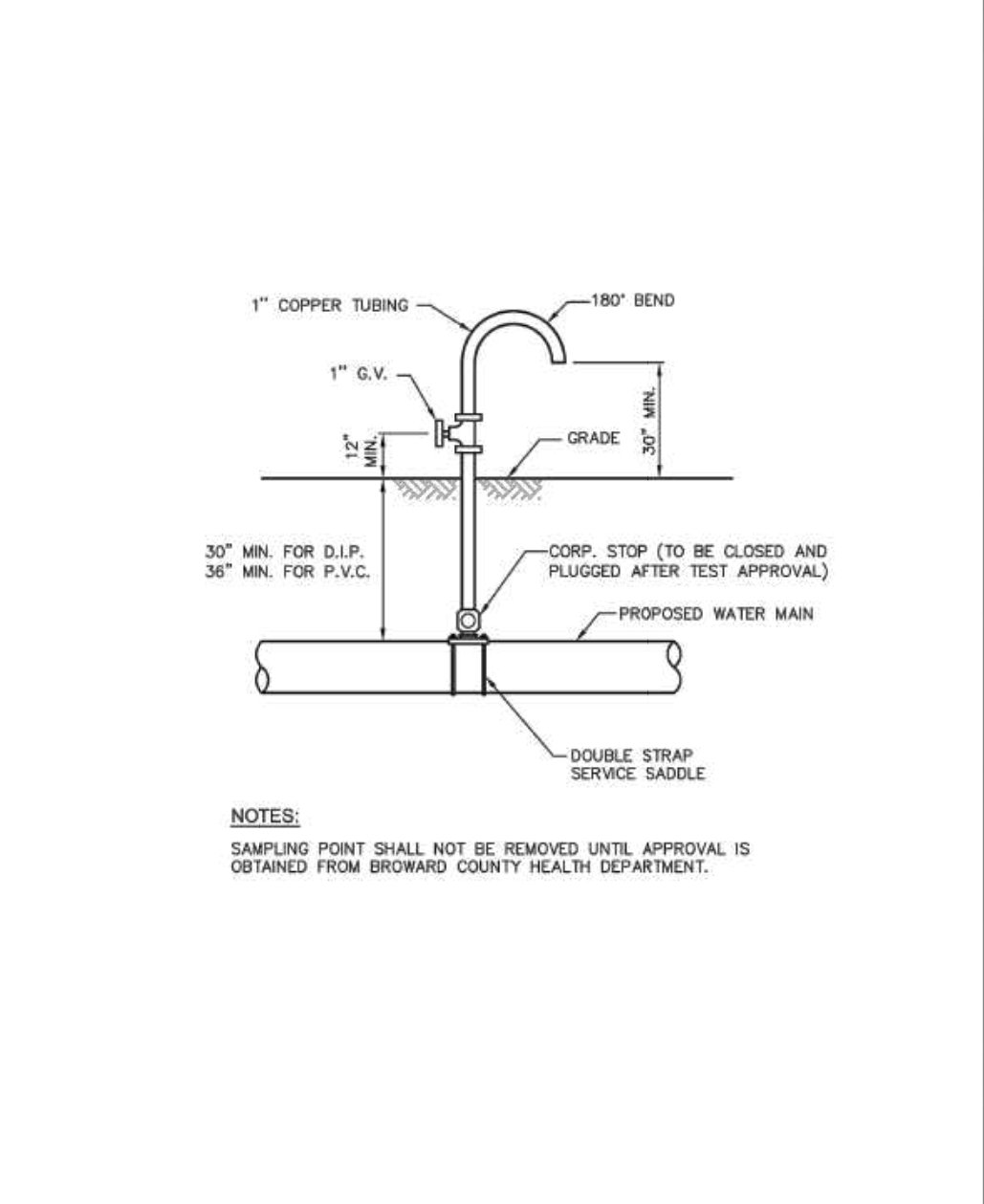





ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
SEWER SERVICE CONNECTION AND
CLEANOUT AT PROPERTY LINE

REVISED: 06/08/2004
DRAWING NO.
S-12





ISSUED: 03/01/99A
DRAWN: EAM
APPROVED: XXX

DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL
SAMPLING POINT DETAIL

REVISED: 06/08/2004
DRAWING NO.
W-16

10/08/2018
11/19/2018
07/19/2020

PRELIMINARY TAC MEETING
FINAL TAC MEETING
FINAL TAC MEETING

NO.

DATE

THOMAS
ENGINEERS & ARCHITECTS
P.A.

6000 NW 31ST AVE
SUITE 3309
FORT LAUDERDALE, FL 33309
PH: (954) 202-7000
WWW.THOMASENGINEERSGROUP.COM

FLORIDA BUSINESS REGISTRATION NO. 27538

UTILITY DETAILS
RACETRAC MARKET

DATE
SCALE
DRAWN-BY
DRAWING NAME:

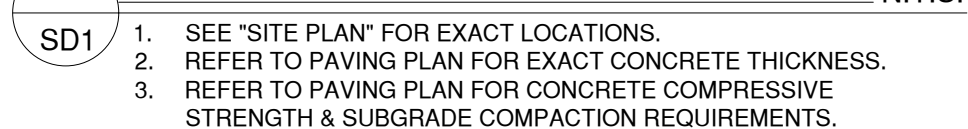
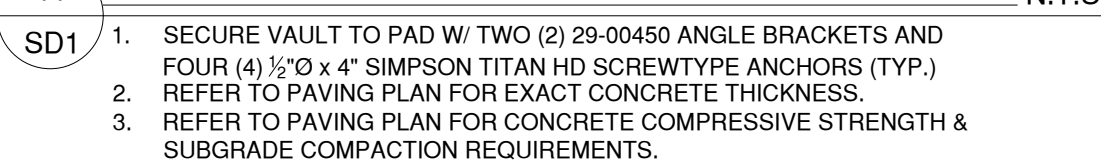
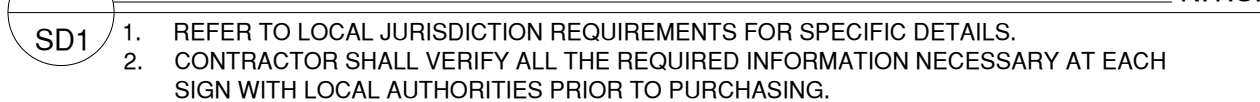
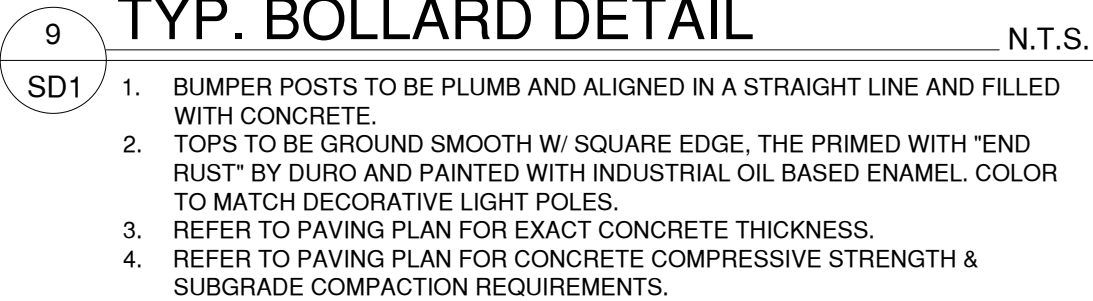
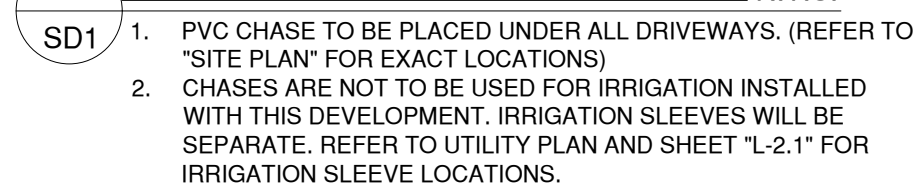
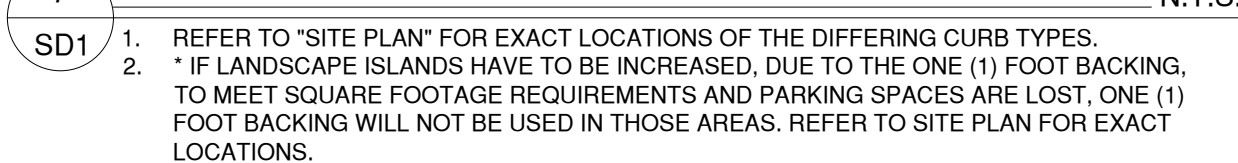
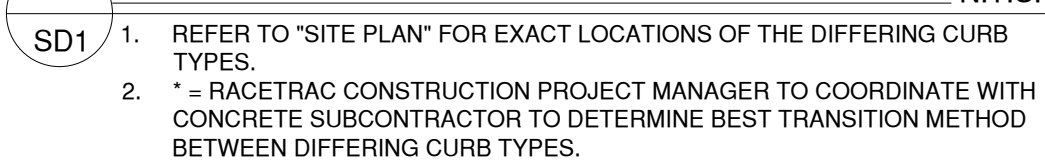
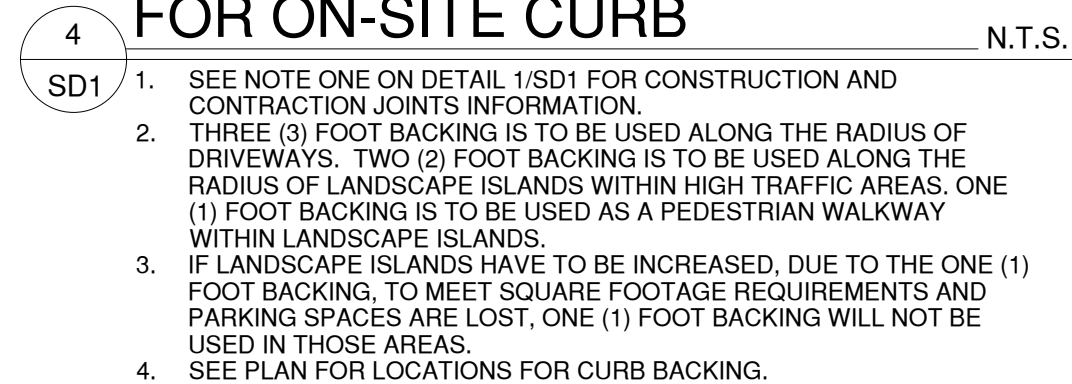
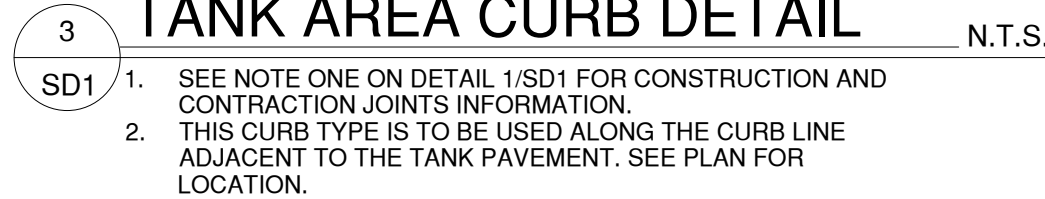
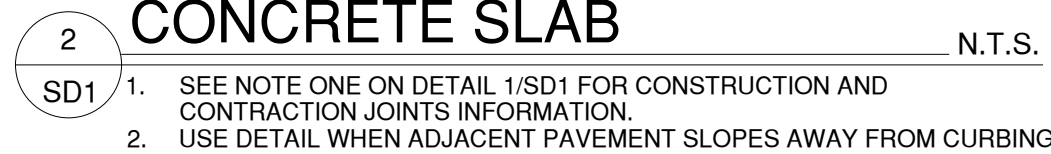
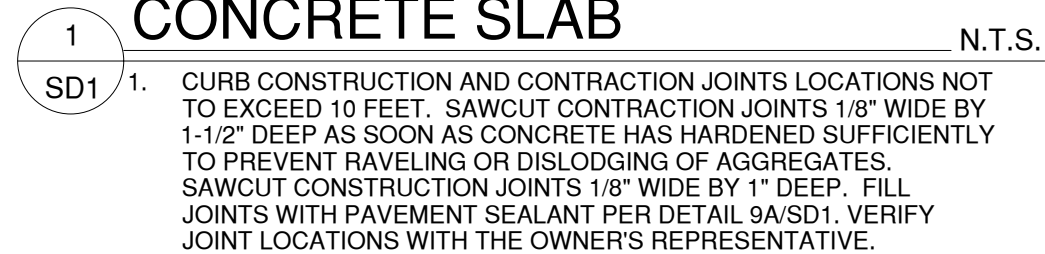
09/17/2018
AG
C6.2
SHEET NO.

3990 GRIFFIN ROAD
Hollywood, Florida 33312

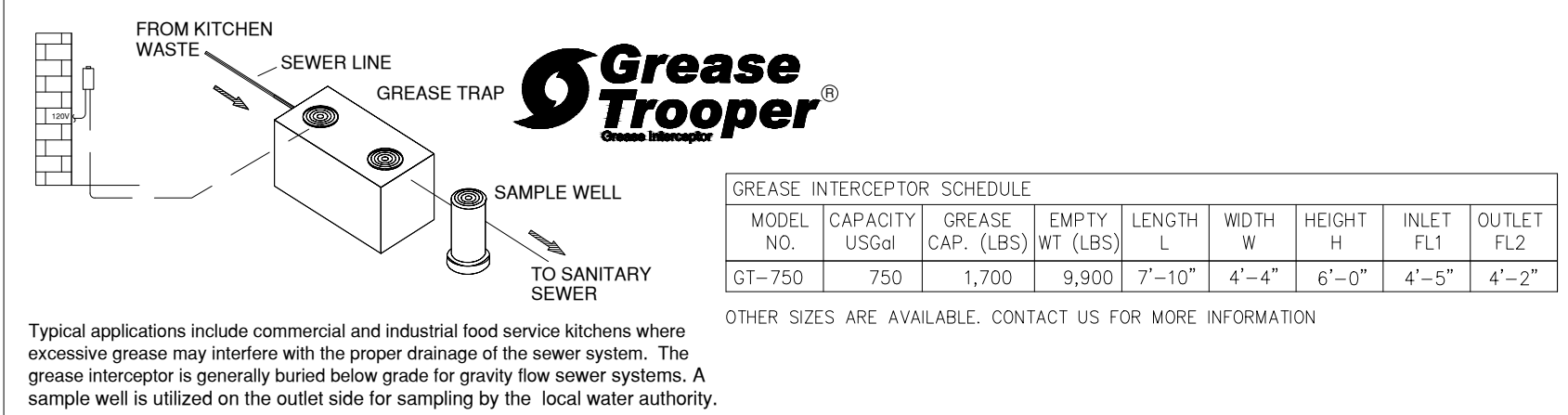
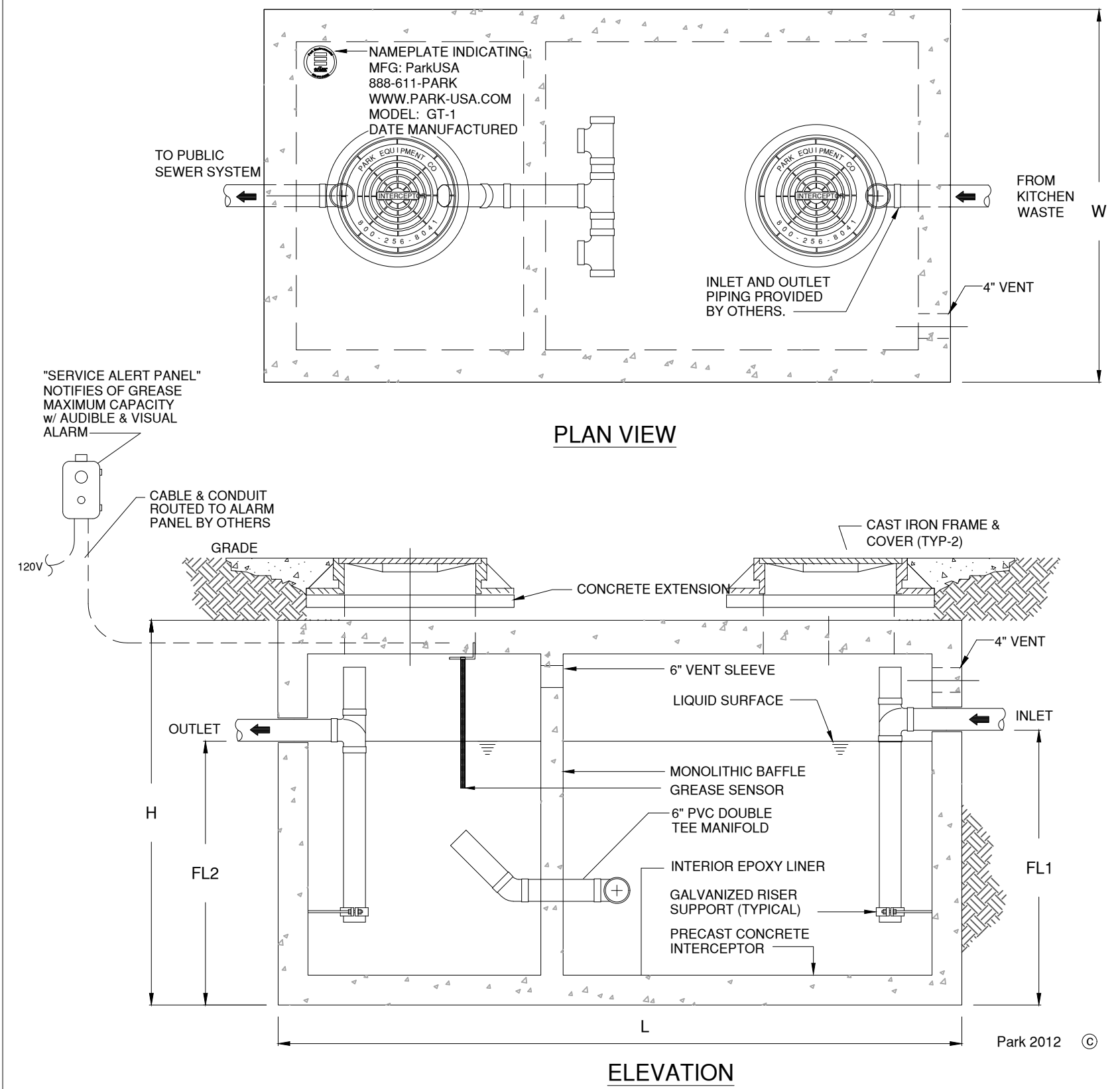
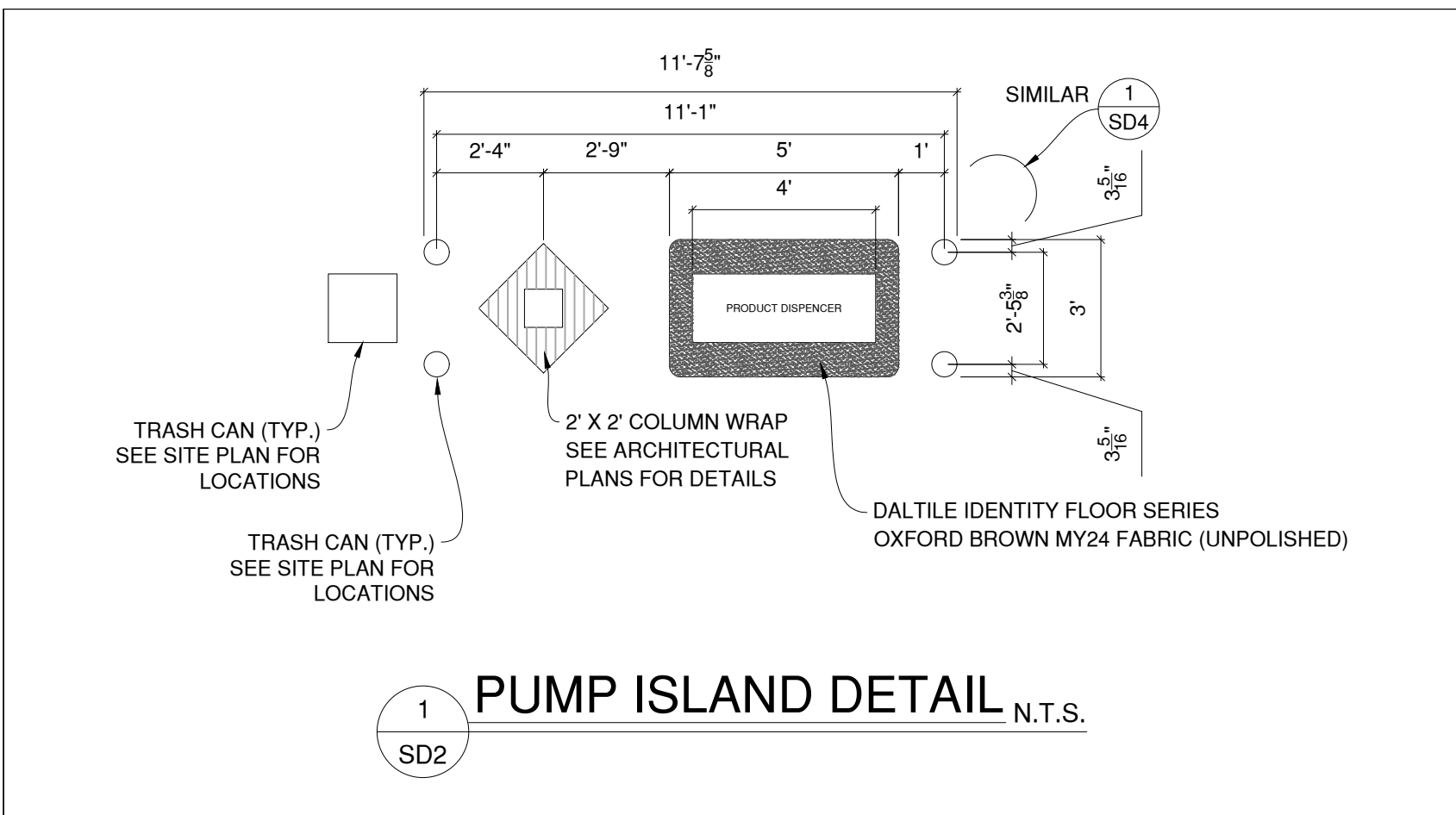
1
VERSION

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Racetrac
PETROLEUM, INC.
200 GALLERIA PARKWAY, SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7000



SHEET NO.		VERSION		DRAWING NAME:		DRAWN-BY:		SCALE:		DATE:		RACETRAC STANDARD DETAILS		RACETRAC MARKET		RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SE SUITE 900 ATLANTA, GA 30339 (770) 431-7600		THESE PLANS ARE SUBJECT TO FEDERAL LAW, AND MAY BE ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.		THOMAS J. GRIFFLIN ENGINEER STATE OF FLORIDA No. 83361 April 20, 2020 6000 NW 31ST AVE FORT LAUDERDALE, FL 33309 RACETRAC PETROLEUM, INC. P.O. BOX 1000 FX, (864) 292-7070 www.ThomasEngineeringGroup.com		PROFESSIONAL ENGINEER STATE OF FLORIDA No. 83361 April 20, 2020 FLORES BUSINESS GROUP, L.P. (No. 27562)		PRELIMINARY TAC MEETING FINAL TAC MEETING NO.		10/05/2018 17/15/2018 07/13/2020 DATE	
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Specifications

CONCRETE: Class II concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor, first stage of wall and baffle with sectional riser to required depth. (Monolithic baffle required, slide-in type is not acceptable)

REINFORCEMENT: Grade 60 reinforced with steel rebar conforming to ASTM A615 on required centers or equal.

C.I. CASTINGS: Manhole frames, covers or grates are manufactured of gray cast iron conforming to ASTM A48-76 Class 30. Manhole shall be nominal 24 inch diameter and be traffic duty.

Engineering Data

The grease interceptor is structurally & hydraulically engineered to conform to regional plumbing codes recommended in most cities. Consult with local authorities for specific application requirements.

Shop drawings shall include complete structural & buoyancy calculations certified by a licensed professional engineer.

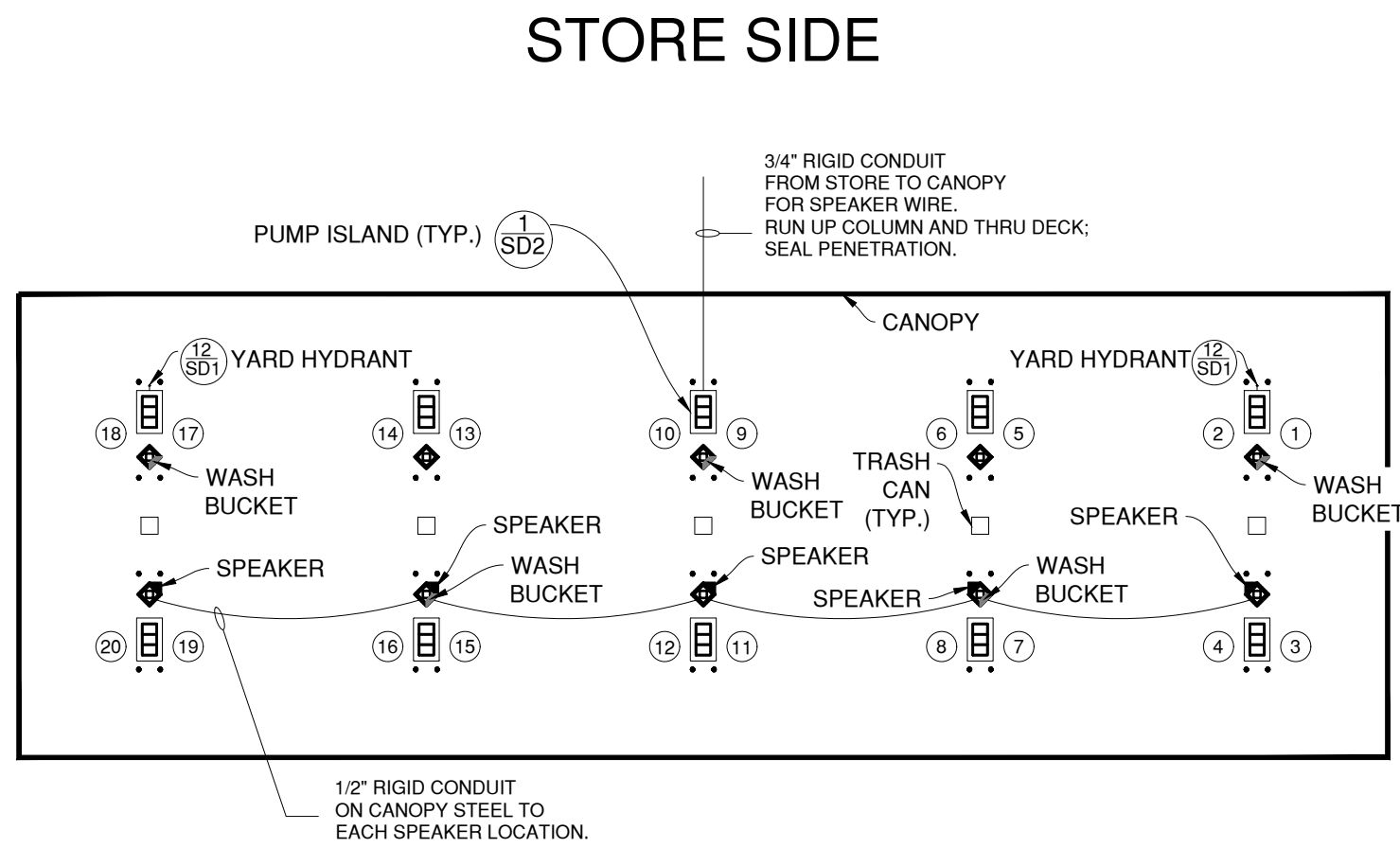
Consult with Park Equipment Company for exact excavation dimensions & shipping information.

GREASE INTERCEPTOR SERIES GT 750 GALLON CAPACITY			
SCALE	NONE	DWG. NO.	REV.
DATE	2012	GT-1	A

GREASE TRAP (750 GALLON CAPACITY) & SAMPLE WELL DETAILS "OR APPROVED EQUAL" N.T.S.

4
SD2

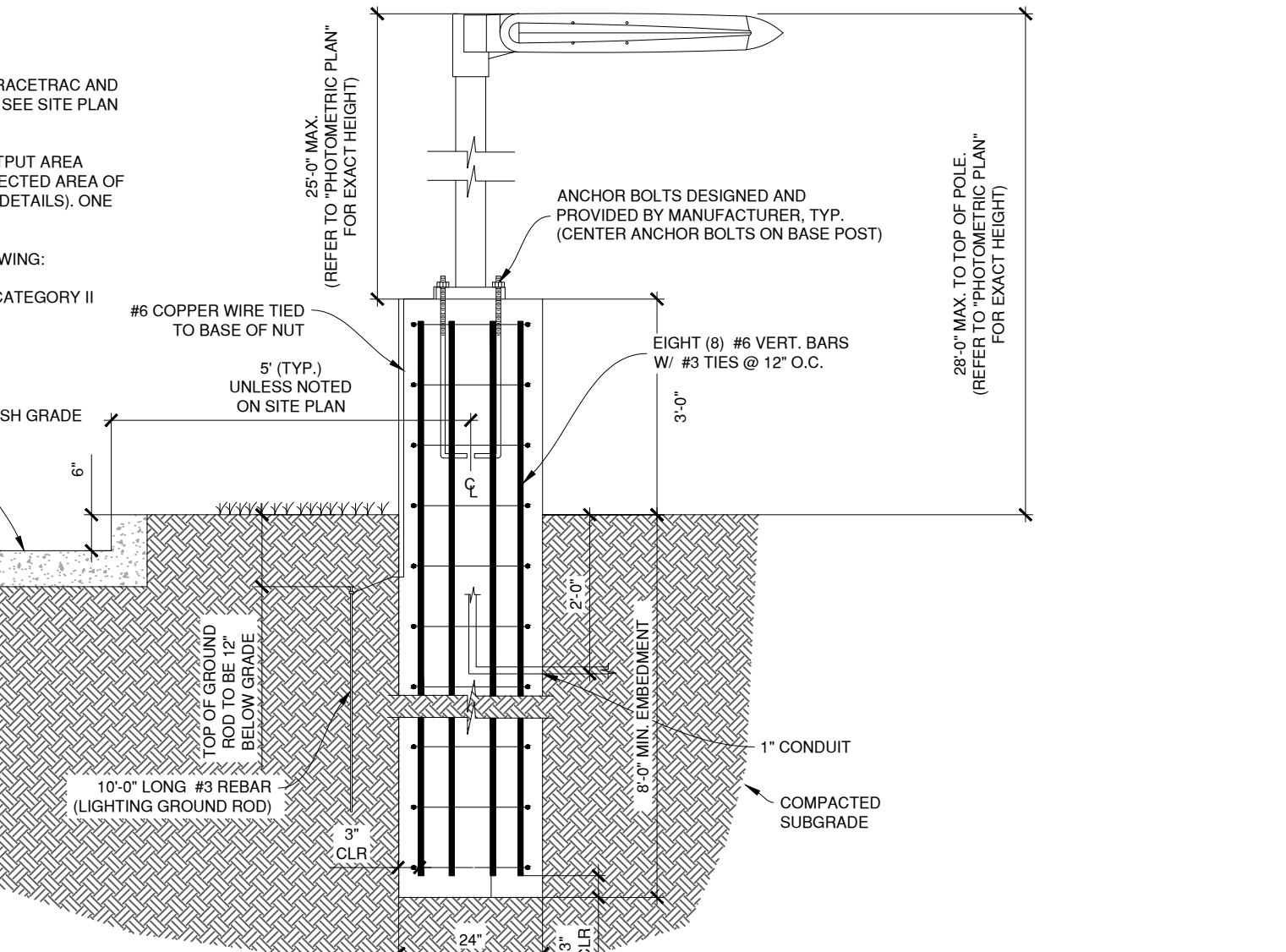
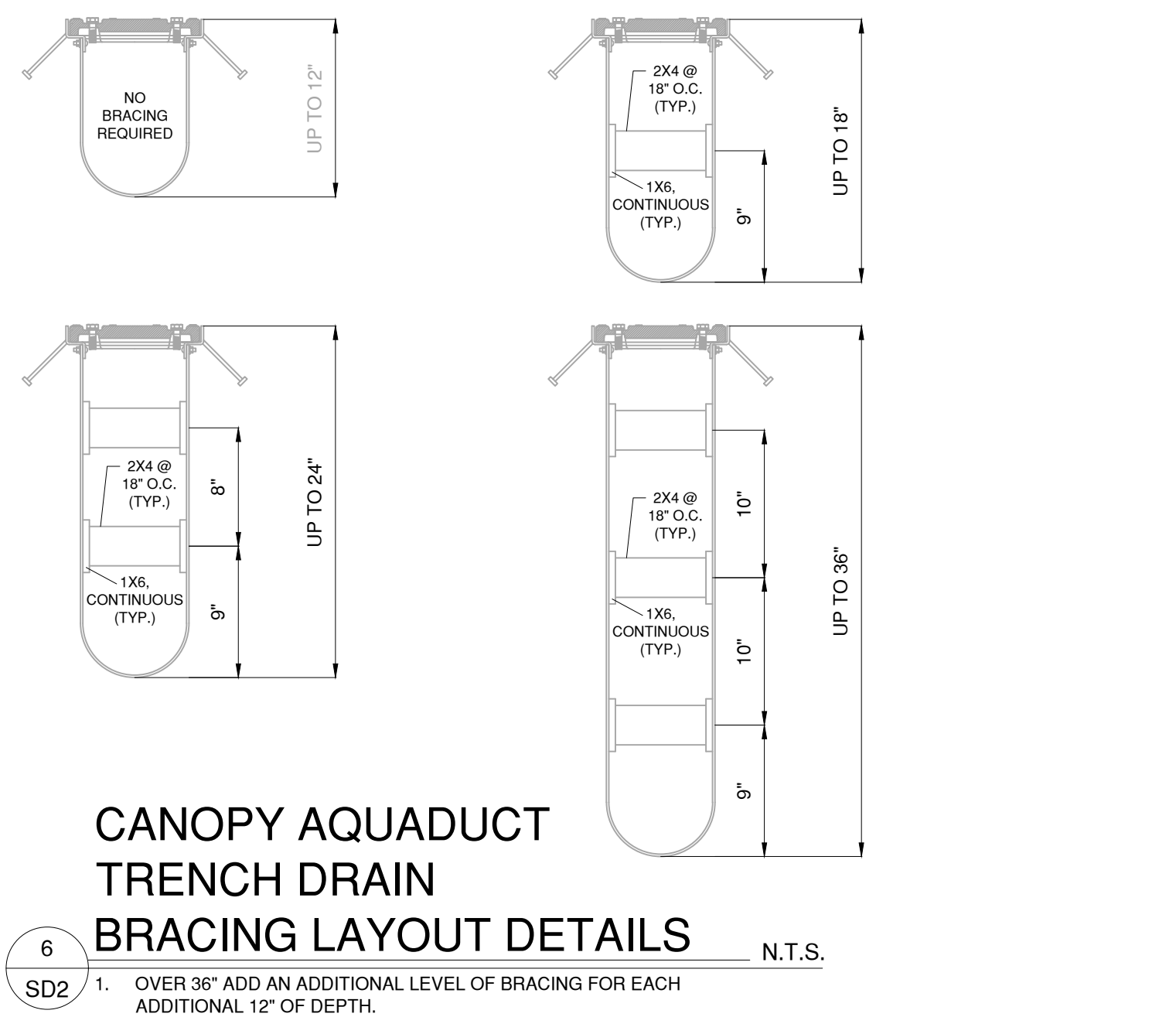
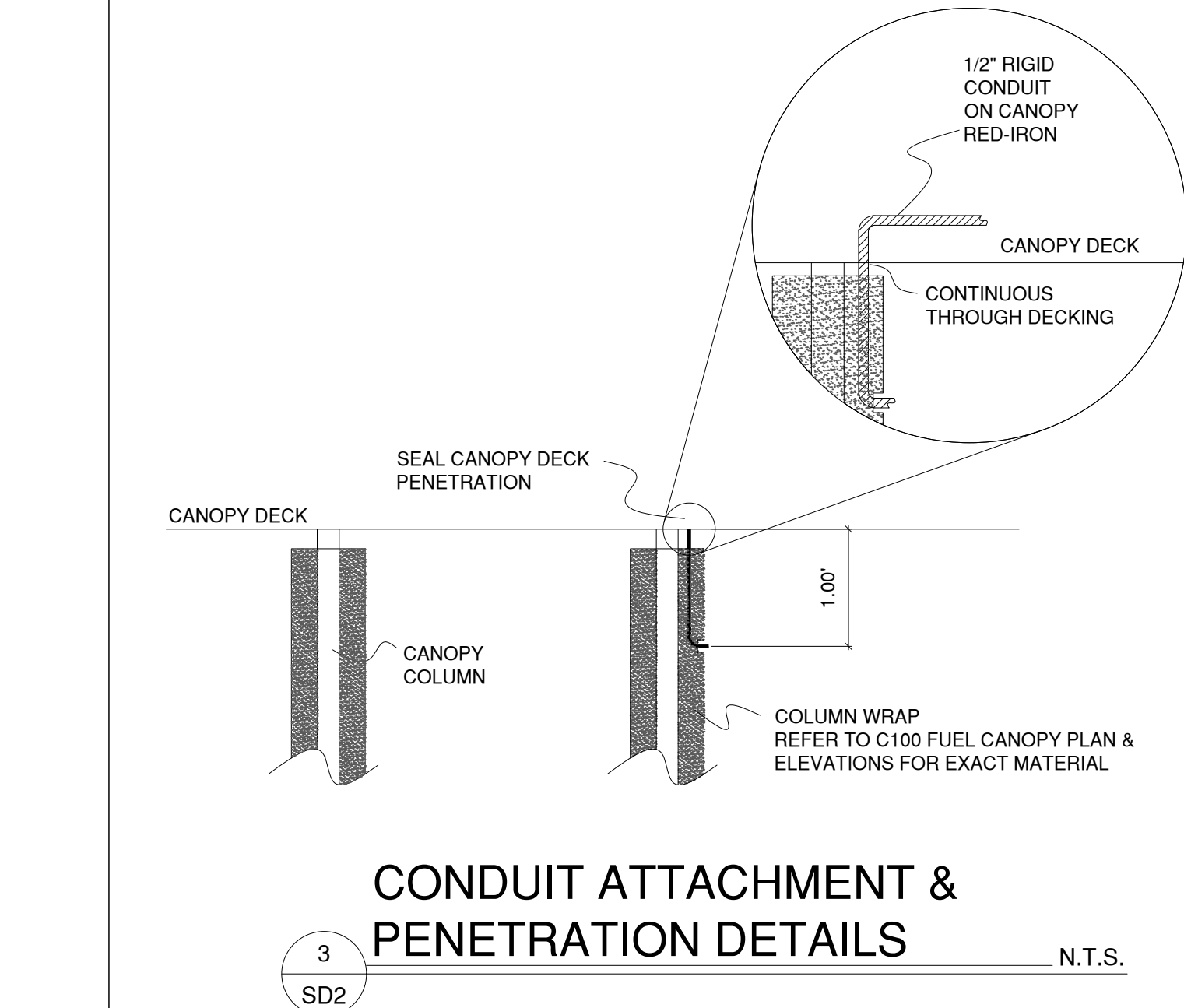
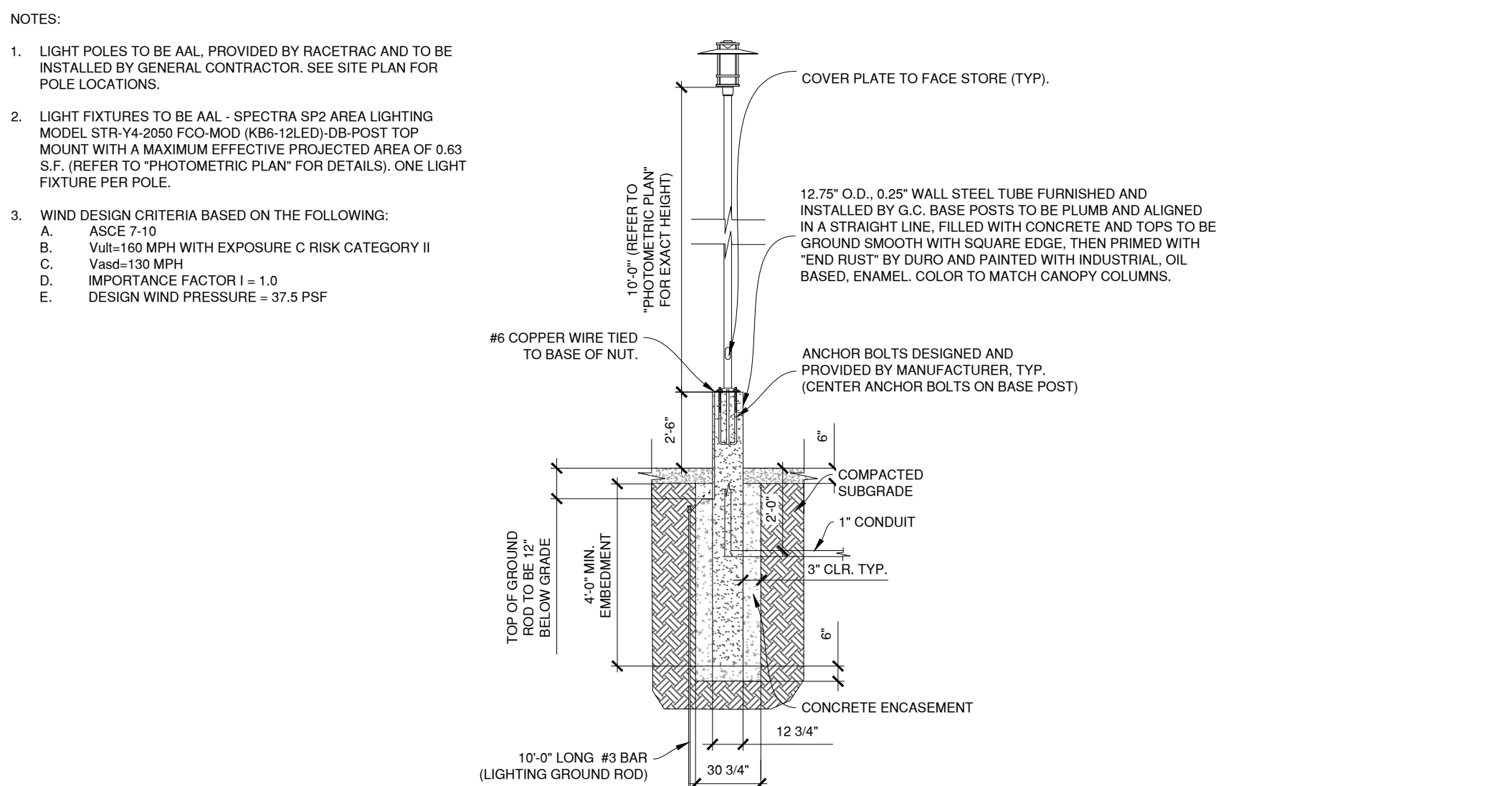
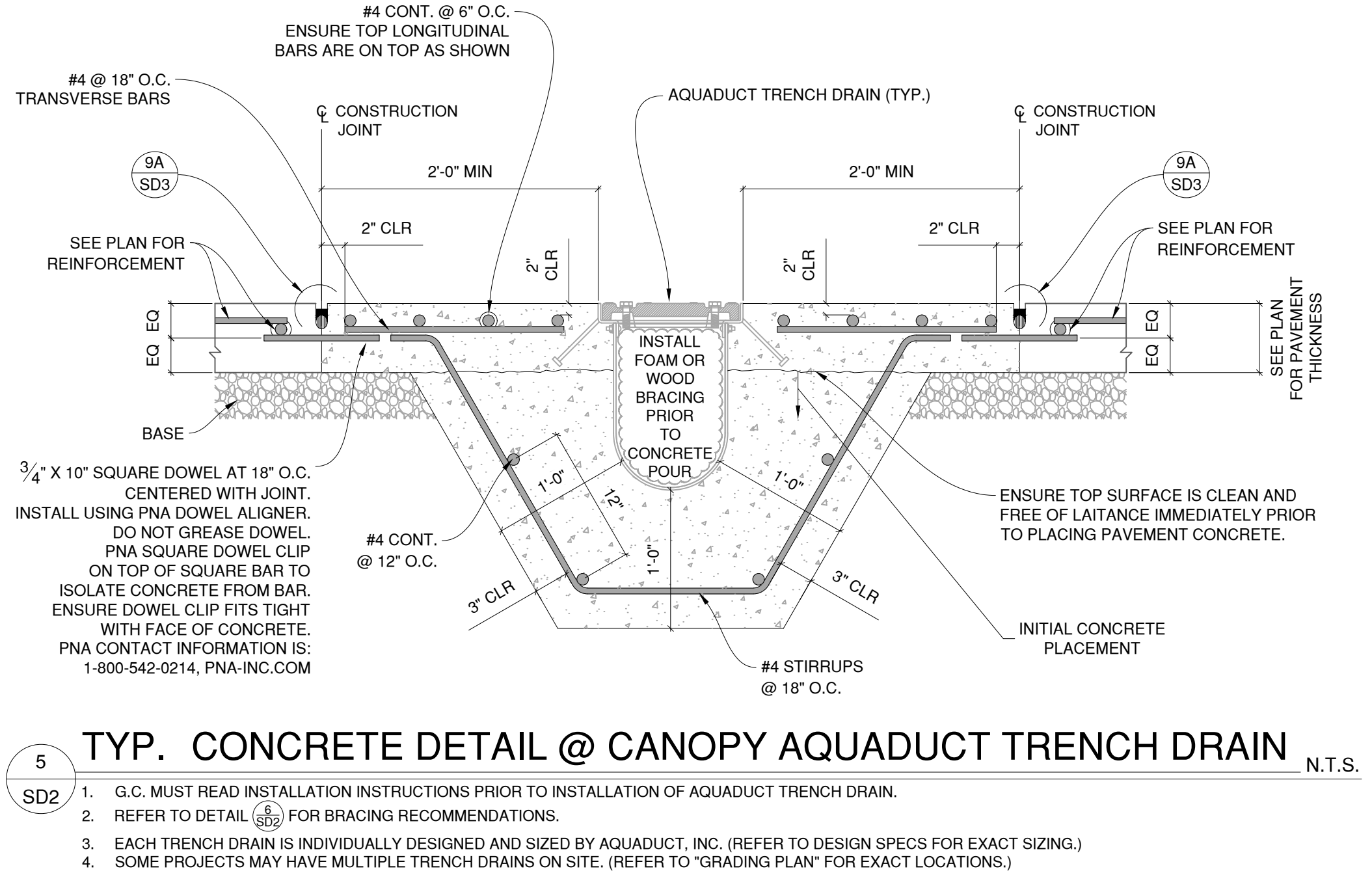
1. ENGINEER OF RECORD APPROVAL REQUIRED FOR "APPROVED EQUAL"



2
SD2

CANOPY ACCESSORY LAYOUT DETAIL N.T.S.

1. DOUBLE ROW OF FIVE (5) SINGLE COLUMN MPD'S.
2. REFER TO CANOPY PLANS FOR CANOPY DIMENSIONS AND COLUMN LOCATIONS.



10/08/2018	PRELIMINARY TAC MEETING	NO.	DATE
11/19/2018	FINAL TAC MEETING		
01/13/2020	FINAL TAC MEETING		

THOMAS E. WILLIAMS
MECHANICAL ENGINEER
No. 63381
STATE OF FLORIDA
April 20, 2020

THOMAS ENGINEERING GROUP
8500 NW 31ST AVE
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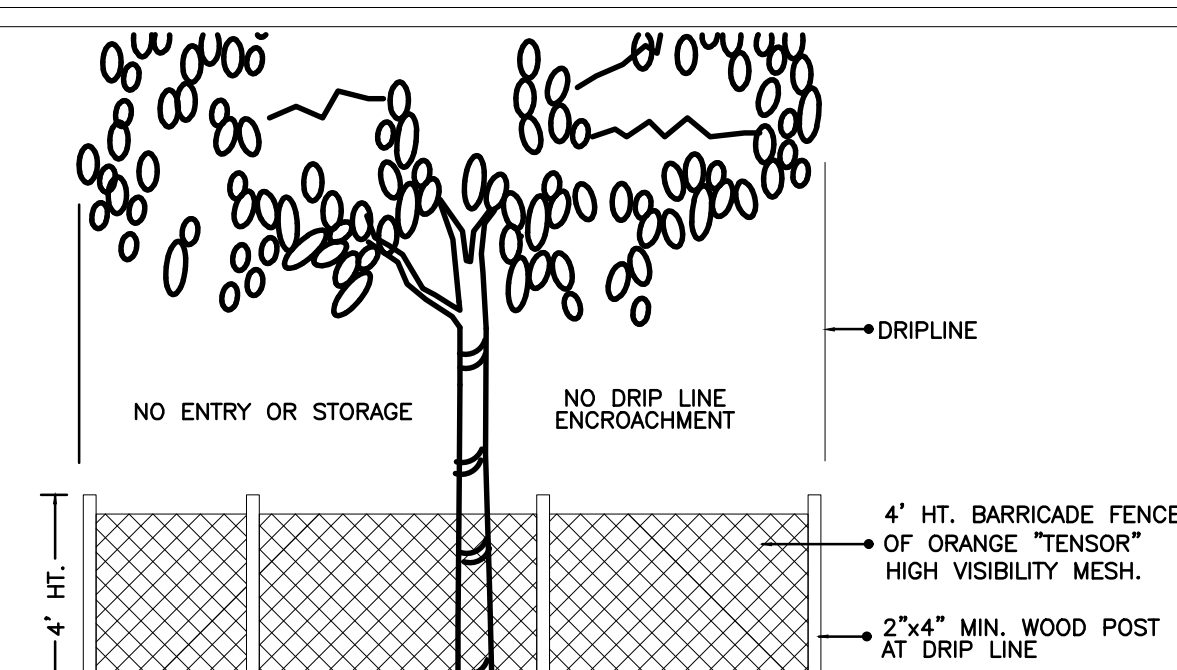
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Racetrac
RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE
SUITE 900 ATLANTA, GA 30339
(770) 431-7000

RACETRAC STANDARD DETAILS
RACETRAC MARKET

DATE 09/17/2018
SCALE
DRAWN-BY AG
DRAWING NAME:
SD2
SHEET NO. 1
VERSION

ALL TREES TO REMAIN MUST BE PROTECTED BY TREE PROTECTION BARRICADES MEETING THE MINIMUM STANDARDS. PROTECTIVE BARRICADES SHALL REMAIN IN PLACE UNTIL LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.



TREE PRESERVATION BARRICADE FENCING DETAIL

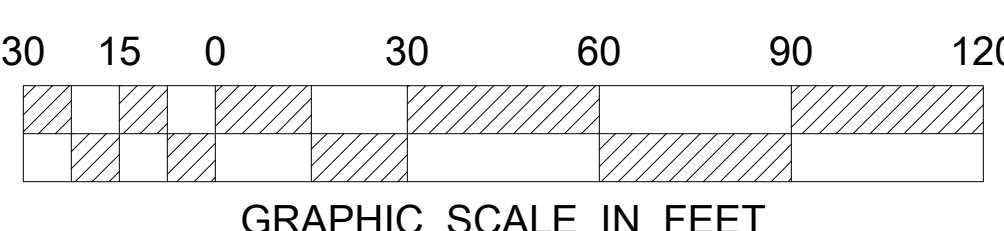
EXISTING TREE DISPOSITION CHART										
RACETRAC - HOLLYWOOD, FL										
TREE NO	BOTANICAL NAME	COMMON NAME	HT	SPR	DBH	CONDITION	DISPOSITION	CANOPY AREA (sq ft)		
1	Roystonea regia	Royal Palm	30' w	20'	18"	70%	remove	314		
2	Roystonea regia	Royal Palm	26'	18"	20"	70%	REMAIN	153.86		
3	Roystonea regia	Royal Palm	28'	20"	18"	70%	REMAIN	153.86		
4	Roystonea regia	Royal Palm	18'	18"	20"	70%	REMAIN	153.86		
5	Roystonea regia	Royal Palm	42'	22"	18"	70%	REMAIN	153.86		
6	Livistonia decora	Ribbon Palm	9'	14"	16"	70%	remove	153.86		
7	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
8	Livistonia decora	Ribbon Palm	10'	15"	16"	70%	remove	176.625		
9	Livistonia decora	Ribbon Palm	11'	15"	16"	70%	remove	200.96		
10	Livistonia decora	Ribbon Palm	14'	16"	16"	70%	remove	200.96		
11	Livistonia decora	Ribbon Palm	11'	15"	16"	70%	remove	176.625		
12	Livistonia decora	Ribbon Palm	14'	16"	16"	70%	remove	200.96		
13	Livistonia decora	Ribbon Palm	16'	16"	16"	70%	remove	176.625		
14	Livistonia decora	Ribbon Palm	13'	16"	16"	70%	remove	200.96		
15	Livistonia decora	Ribbon Palm	14'	16"	16"	70%	remove	200.96		
16	Livistonia decora	Ribbon Palm	14'	16"	16"	70%	remove	200.96		
17	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
18	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
19	Livistonia decora	Ribbon Palm	11'	15"	16"	70%	remove	153.86		
20	Livistonia decora	Ribbon Palm	11'	15"	16"	70%	remove	153.86		
21	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
22	Livistonia decora	Ribbon Palm	11'	15"	16"	70%	remove	153.86		
23	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
24	Livistonia decora	Ribbon Palm	11'	14"	16"	50%	remove	153.86		
25	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
26	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
27	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
28	Livistonia decora	Ribbon Palm	9'	14"	16"	40%	remove	153.86		
29	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
30	Livistonia decora	Ribbon Palm	9'	14"	16"	70%	remove	153.86		
31	Livistonia decora	Ribbon Palm	9'	14"	16"	70%	remove	153.86		
32	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
33	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
34	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
35	Livistonia decora	Ribbon Palm	10'	15"	16"	70%	remove	176.625		
36	Livistonia decora	Ribbon Palm	9'	14"	16"	70%	remove	153.86		
37	Livistonia decora	Ribbon Palm	11.5'	15"	16"	70%	remove	176.625		
38	Livistonia decora	Ribbon Palm	11.5'	15"	16"	70%	remove	176.625		
39	Livistonia decora	Ribbon Palm	4'	14"	16"	70%	remove	153.86		
40	Livistonia decora	Ribbon Palm	4'	14"	16"	70%	remove	153.86		
41	Livistonia decora	Ribbon Palm	4'	14"	16"	70%	remove	153.86		
42	Roystonea regia	Royal Palm	28'	20"	18"	70%	remove	314		
43	Roystonea regia	Royal Palm	32'	20"	18"	70%	remove	314		
44	Roystonea regia	Royal Palm	32'	20"	18"	70%	remove	314		
45	Roystonea regia	Royal Palm	33'	20"	18"	70%	remove	314		
46	Roystonea regia	Royal Palm	26'	20"	18"	70%	remove	314		
47	Roystonea regia	Royal Palm	23'	20"	18"	65%	remove	314		
48	Roystonea regia	Royal Palm	24'	20"	18"	70%	REMAIN	314		
49	Roystonea regia	Royal Palm	28'	20"	18"	60%	REMAIN	314		
50	Bursera simaruba	Guano Limbo	8'	14"	9"	70%	remove	254.34		
51	Roystonea regia	Royal Palm	32'	17"	16"	70%	REMAIN	153.86		
52	Roystonea regia	Royal Palm	32'	20"	18"	60%	REMAIN	153.86		
53	Roystonea regia	Royal Palm	32'	18"	18"	70%	REMAIN	153.86		
54	Roystonea regia	Royal Palm	34'	22"	18"	70%	REMAIN	153.86		
55	Roystonea regia	Royal Palm	34'	22"	18"	70%	REMAIN	153.86		
56	Bursera simaruba	Guano Limbo	14'	23"	9"	70%	remove	415.265		
57	Washingtonia robusta	Washingtonia Palm	28'	15"	20"	70%	remove	NA - CAT 1 INVASIVE		
58	Livistonia decora	Ribbon Palm	2.5'	14"	16"	70%	remove	153.86		
59	Livistonia decora	Ribbon Palm	2.5'	14"	16"	70%	remove	153.86		
60	Livistonia decora	Ribbon Palm	2.5'	14"	16"	70%	remove	153.86		
61	Livistonia decora	Ribbon Palm	2.5'	14"	16"	70%	remove	153.86		
62	Livistonia decora	Ribbon Palm	2.5'	14"	16"	70%	remove	153.86		
63	Livistonia decora	Ribbon Palm	2'	14"	16"	70%	remove	153.86		
64	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
65	Livistonia decora	Ribbon Palm	1.5'	14"	16"	70%	remove	153.86		
66	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
67	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
68	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
69	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
70	dead									
71	Livistonia decora	Ribbon Palm	3'	12"	16"	70%	remove	113.024		
72	Livistonia decora	Ribbon Palm	7'	15"	16"	70%	remove	153.86		
73	Livistonia decora	Ribbon Palm	10'	15"	16"	70%	remove	176.625		
74	Livistonia decora	Ribbon Palm	10'	15"	16"	70%	remove	176.625		
75	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
76	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
77	Livistonia decora	Ribbon Palm	9'	15"	16"	70%	remove	176.625		
78	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
79	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
80	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
81	Livistonia decora	Ribbon Palm	6'	14"	16"	70%	remove	153.86		
82	Livistonia decora	Ribbon Palm	6'	14"	16"	70%	remove	153.86		
83	Livistonia decora	Ribbon Palm	6'	14"	16"	70%	remove	153.86		
84	Livistonia decora	Ribbon Palm	9'	14"	16"	70%	remove	153.86		
85	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
86	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
87	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
88	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
89	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
90	Livistonia decora	Ribbon Palm	5.5'	16"	16"	70%	remove	153.86		
91	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
92	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
93	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
94	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
95	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
96	Livistonia decora	Ribbon Palm	12'	15"	16"	70%	remove	176.625		
97	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
98	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
99	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
100	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
101	Livistonia decora	Ribbon Palm	14'	15"	16"	70%	remove	176.625		
102	Phoenix caroliniana	Canary Island Date Palm	3.5'	12"	16"	70%	remove	153.86		
103	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
104	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
105	Livistonia decora	Ribbon Palm	10'	15"	16"	70%	remove	176.625		
106	Livistonia decora	Ribbon Palm	6'	14"	16"	70%	remove	153.86		
107	Livistonia decora	Ribbon Palm	7'	14"	16"	70%	remove	153.86		
108	Livistonia decora	Ribbon Palm	6'	14"	16"	70%	remove	153.86		
109	Livistonia decora	Ribbon Palm	6'	14"	16"	70%	remove	153.86		
110	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
111	Livistonia decora	Ribbon Palm	4.5'	14"	16"	70%	remove	153.86		
112	Livistonia decora	Ribbon Palm	4.5'	14"	16"	70%	remove	153.86		
113	Phoenix caroliniana	Canary Island Date Palm	3.5'	12"	16"	70%	remove	176.625		
114	Livistonia decora	Ribbon Palm	1.5'	14"	16"	70%	remove	153.86		
115	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
116	Livistonia decora	Ribbon Palm	8.5'	14"	16"	70%	remove	153.86		
117	Livistonia decora	Ribbon Palm	8.5'	14"	16"	70%	remove	153.86		
118	Livistonia decora	Ribbon Palm	8'	14"	16"	70%	remove	153.86		
119	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
120	Livistonia decora	Ribbon Palm	9'	15"	16"	70%	remove	176.625		
121	Livistonia decora	Ribbon Palm	9'	15"	16"	70%	remove	176.625		
122	Livistonia decora	Ribbon Palm	8'	15"	16"	70%	remove	176.625		
123	Livistonia decora	Ribbon Palm	8'	15"	16"	70%	remove	176.625		
124	Livistonia decora	Ribbon Palm	8.5'	14"	16"	70%	remove	153.86		
125	Livistonia decora	Ribbon Palm	8.5'	14"	16"	70%	remove	176.625		
126	Livistonia decora	Ribbon Palm	9'	15"	16"	70%	remove	176.625		
127	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
128	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
129	Livistonia decora	Ribbon Palm	4'	16"	16"	70%	remove	153.86		
130	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
131	Livistonia decora	Ribbon Palm	1.5'	14"	16"	70%	remove	153.86		
132	Livistonia decora	Ribbon Palm	4'	16"	16"	70%	remove	153.86		
133	Livistonia decora	Ribbon Palm	1.5'	14"	16"	70%	remove	153.86		
134	Livistonia decora	Ribbon Palm	1.5'	14"	16"	70%	remove	153.86		
135	Livistonia decora	Ribbon Palm	1.5'	14"	16"	70%	remove	153.86		
136	Livistonia decora	Ribbon Palm	1'	14"	16"	70%	remove	153.86		
137	Livistonia decora	Ribbon Palm	2'	14"	16"	70%	remove	153.86		
138	Livistonia decora	Ribbon Palm	6.5'	14"	16"	70%	remove	153.86		
139	Livistonia decora	Ribbon Palm	1'	14"	16"	70%	remove	153.86		
140	Livistonia decora	Ribbon Palm	3'	14"	16"	70%	remove	153.86		
141	Livistonia decora	Ribbon Palm	4.5'	14"	16"	70%	remove	153.86		
142	Livistonia decora	Ribbon Palm	4.5'	14"	16"	70%	remove	153.86		
143	Amorpha gabra	Pond Apple	15'	16"	33"	70%	REMAIN (Offaly)	153.86		
144	Salix caroliniana	Swamp Willow	16-22'	10"	5"	60%	REMAIN (Offaly)	153.86		
145	Salix caroliniana	Swamp Willow	16-22'	10"	8"	60%	REMAIN	153.86		
146	Salix caroliniana	Swamp Willow	16-22'	10"	46"	60%	REMAIN	153.86		
147	Salix caroliniana	Swamp Willow	16-22'	10"	7"	60%	REMAIN	153.86		
148	Salix caroliniana	Swamp Willow	16-22'	10"	12"	60%	REMAIN	153.86		
149	Salix caroliniana	Swamp Willow	16-22'	10"	12"	60%	REMAIN	153.86		
150	Salix caroliniana	Swamp Willow	16-22'	10"	12"	60%	REMAIN	153.86		
151	Salix caroliniana	Swamp Willow	16-22'	10"	12"	60%	REMAIN	153.86		
152	Salix caroliniana	Swamp Willow	28'	25"	22"	60%	REMAIN	153.86		
153	Salix caroliniana	Swamp Willow	28'	24"	9"	50%	REMAIN	153.86		
154	Croce caroliniana	Shortleaf Fig	16-22'	10"	5"	60%	REMAIN	153.86		
155	Salix caroliniana	Swamp Willow	16-22'	10"	5"	60%	REMAIN	153.86		

CODE OF ORDINANCES	2867.61/300 sf = REQ. CAT 1 REPLACEMENT TREES:	10
	RIBBON PALMS 28" CT REMOVED, TO BE MITIGATED @1:1	41

NOTE: ONLY PALMS WITH 28" OF CLEARTRUNK AS MEASURED FROM THE TOP OF THE ROOTBALL TO LOWEST POINT OF LIVE FROND DIVERGENCE FROM TRUNK

ALL TREES SCHEDULED TO BE REMOVED
OR THAT HAVE BEEN PREVIOUSLY
REMOVED & HAVE REMAINING STUMPS,
SHALL BE CUT DOWN, STUMP GROUND &
SHALL HAVE ALL ROOTS REMOVED

UNLESS OTHERWISE NOTED, ALL SHRUBS,
GROUND COVER, ACCENT PLANTS, SOD, &
PALMS NOT DEPICTED ON THE SUBJECT
PROPERTY SHALL BE REMOVED



DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE CITY

ALL INVASIVE EXOTIC PLANT MATERIALS
SHALL BE REMOVED & ERADICATED FROM
THE ENTIRE SITE, INCLUDING EASTERN
PERIMETER BUFFER AREAS

ALL PERVIOUS AREA TO REMAIN THAT'S DISTURBED BY CONSTRUCTION & NOT NOTED ON THE LANDSCAPE PLAN TO HAVE SHRUBS/GROUNDCOVERS SHALL BE SODDED WITH ST. AUGUSTINE 'FLORITAM' SOLID SOD (ON-SITE) OR TO MATCH EXISTING BY THE CONTRACTOR

NOTE: ALL LANDSCAPE AREAS SHALL BE IRRIGATED & SHALL HAVE 100% COVERAGE WITH A MIN. 50% OVERLAP

NOTE: ALL ABOVE GROUND MECHANICAL EQUIPMENT SUCH AS, BUT NOT LIMITED TO, EXTERIOR UTILITY BOXES, METERS, & TRANSFORMERS NOT CURRENTLY KNOWN OR DEPICTED SHALL BE VISUALLY SCREENED A MIN. OF 6" ABOVE THE TOP OF THE EQUIPMENT. BACKFLOW PREVENTERS SHALL BE PAINTED TO MATCH THE PRINCIPAL STRUCTURE

PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
BA	4	Yerwood	Bulnesia arborea	B & B	2.5" DBH	12' HI	5'-6"	No	High	5' CT	
GB	8	Satinal	Chrysophyllum oliviforme	B & B	2" DBH	12' HI	5'-6"	Yes	High	5' CT	
GB	10	Green Buttonwood	Conocarpus erectus	B & B	2" DBH	12' HI	6"	Yes	High	5' CT	
QV	17	Southern Live Oak	Quercus virginiana	B & B	2.5" DBH	12'-14' HI.	6"	Yes	High	6' CT	
RE	8	Florida Royal Palm	Roystonea elata	B & B		12' gw	18'	Yes	High	@1:1; Matched	
MITIGATION TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
BS-M	2	Gumbo Limbo	Bursera simaruba	B & B	2" DBH	12' HI	5'-6"	Yes	High	6' CT; CAT. 1	
SP-M	41	Cabbage Palmetto	Sabal palmetto	B & B		14' - 16' & 18' as HTS (If clear trunk Min. by Code)	10'	Yes	High	@3:1; Booted to Base; Slicked trunks Not Acceptable	
TD-M	8	Bald Cypress	Taxodium distichum	B & B	2" DBH	12' HI	6'-7'	Yes	High	5' CT; CAT. 1	
TREES & PALMS @ SW 49TH COURT	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
LL	2	Japanese Privet	Ligustrum japonicum	B & B		multi-trunk, 3" Min.	5-6' Ht.	6'	No	High	3' CT; Not Counted; Matched
PALMS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
PT	7	Alexander Palm	Pythosperma elegans	B & B		16' HI	7-8' spr.	No	Medium	@3:1; single trnk	
SP	5	Cabbage Palmetto	Sabal palmetto	B & B		18-22' oia (If clear trunk Min. by Code)	10'	Yes	High	@3:1; Booted to Base; Slicked trunks Not Acceptable	
VM	3	Montgomery Palm	Veitchia montgomeryana	B & B			8-10'	No	Medium	10' gw; @3:1	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
ALC	42	Golden Trumpet	Allamanda cathartica 'Hendersonii'	7 gal	As Shown	36"	30"	No	Medium		
CAP	2	Jamaica Caper	Capparis cynophallophora	25 gal	As Shown	6"	4'-5'	Yes	High	30' CT	
CE	174	Butterwood	Conocarpus erectus	3 gal	24"	24"	24"	Yes	High	full to base	
CHH	148	Red Tip Cocoplum	Chrysobalanus icaco 'Red Tip'	NA	24"	24"	24"	Yes	High	Full to base	
IAH	4	East Palatka Holly	Ilex attenuata	7 gal	30"	48"	30"	Yes	High	Full to base	
MCS	52	Pink Muhly	Muhlenbergia capillaris	n/a	24"	16"	18"	Yes	High	Full to base	
MYC	325	Compact Simpson's Stopper	Myrciethes fragrans 'compacta'	NA	24"	24"	24"	Yes	High	full to base	
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
CON	257	Silver Button Wood	Conocarpus erectus sericeus	n/a	18"	15-18"	15-18"	Yes	High	Full	
HAC	48	Dwarf Scarlet Bush	Hamelia patens 'Compacta'	n/a	30"	18-20"	18-20"	Yes	High	Full to base	
IXT	46	Dwarf Red Ixora	Ixora coccinea 'Pettie Red'	3 gal	16"	16"	14"	No	Medium		
MUH	121	Pink Muhly Grass	Muhlenbergia capillaris	3 gal	18"	14-16"	14-16"	Yes	High	Full to base	
PSY	139	Wild Coffee	Psychotria nervosa	n/a	30"	20"	18-24"	Yes	High	Full to base	
SCT	160	Schefflera	Schefflera arboricola 'Trinette'	3 gal	24"	18"	18"	No	High	Full to base	
ZMA	86	Coorlie Palm	Zamia floridana	3 gal	30"	10-12"	16"	Yes	High		
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
ARA	188	Perennial Peanut	Arachis glabrata	n/a	14"	6"	12-14"	No	High		
FIM	274	Green Island Ficus	Ficus microcarpa 'Green Island'	1 gal	16"	14-16"	14-16"	No	Medium		
ILX	395	Dwarf Schilling's Holly	Ilex vomitoria 'Schilling's Dwarf'	n/a	18"	8-10"	8-10"	Yes	High		
IVA	117	Blue Flag Iris	Iris hexagona	n/a	20"	10-12"	10-12"	Yes	Medium		
LOR	361	Ruby Loropetalum	Loropetalum chinense 'Ruby'	n/a	18"	10-12"	10-12"	No	High	Full clumps	
SVP	296	Shoreline Seagrapelane	Sesuvium portulacastrum	Liner	24"	2"		Yes	Medium		
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS	
BAH	18,933 sf	Bahia Grass	Paspalum notatum 'Argentine'	n/a				No	High	SOD	
BAH2	92,877 sf	Bahia Grass	Paspalum notatum 'Argentine'	n/a				No	High	SEED	

ALL TREES SHALL BE FLORIDA NUMBER 1. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE SCHEDULE ABOVE. FAILURE TO MEET SPECIFICATIONS, INCLUDING SPECIES LISTED, SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY - NO EXCEPTIONS. OPTIONS FOR ALTERNATE SPECIES BASED ON LACK OF STATEWIDE AVAILABILITY SHALL BE FURNISHED TO LANDSCAPE ARCHITECT OF RECORD A MINIMUM OF 30 DAYS BEFORE COMMENCEMENT OF CONSTRUCTION. LACK OF AVAILABILITY WILL BE VERIFIED USING THE LATEST INDUSTRY ACCEPTED PUBLICATION LISTINGS

CITY OF HOLLYWOOD FLORIDA			
CODE COMPLIANCE CHART B-3			
CITY OF HOLLYWOOD LANDSCAPE MANUAL			
NET SITE AREA: 74,608.97 SF (1.71 ACRES)			
SECTION 2.3: COMMERCIAL DISTRICTS (C-1 THROUGH C-5)			
Perimeter Landscape Buffer			
1 Swale Street Tree/50 If of Street Frontage:			
1 Shrub/2 If.			
North @ Griffin Rd.: 254.85 lf			
West @ SW 40th Ave.: 288.24 lf			
South @: 279.1 lf			
1 Tree/20 If of 5' Perimeter Buffer:			
East: 287.47 lf			
1 Tree/20 If Where Abutting or Across an Alley/Residential:			
Interior Landscaping for Vehicular Use Areas (44,450 SF)			
For Lots Greater than 50' wide: 25% of Total sf of Paved VUA shall be used for Landscaping:			
1 Tree/Required Parking Island:			
Each Island shall contain 150 sf Min. of Pervious Area			
SECTION 2.6: PARKING LOT LANDSCAPE			
A Perimeter Wall or Hedge of at Least 3.5 ft in height is required.			
Open Space:			
1 Tree/1000 sf of Pervious Area in Addition to Parking Areas:			
(16,313 sf/1000)			
Mitigation:			
2867.61 SF OR			
2867.61/300 sf = (10) REQ. CAT 1 REPLACEMENT TREES			
[41] Existing Ribbon Palms 8" ct to be Removed & Replaced @1:1			
Minimum Tree Sizes:			
Trees: 12" ht/2" dbh Min. for Commercial			
Palms: 8" clear trunk Min. (50% Max. of code requirements) @ 3:1; Specimen Palms @1:1			
Native:			
60% Trees			
50% Shrubs			
Drought Tolerant:			
80% for all Materials per Ordinance 0-2011-06 Mandatory Green Building Practices			
*INCLUDES (7) EXISTING SPECIMEN PALMS @1:1, (1) EXISTING TREE, (46) PROPOSED TREES & SPECIMEN PALMS, (5) TREES FROM (15) PROP. PALMS @3:1			
CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS			
CHAPTER 196: TREES			
Replacement Trees Shall be on a Canopy Square Footage Basis			
2867.61 SF of Canopy to be removed = (10) Category I Replacement Trees @300 SF each			
(10) CATEGORY I MITIGATION TREES PROVIDED; SEE LANDSCAPE PLAN			
Palms 8" CT to be Replaced at 1:1 or 1:3 (If replaced with Shrub Tree) depending on species selection			
[41] MITIGATION PALMS PROVIDED; SEE LANDSCAPE PLAN			
The Amount of Replacement Contribution Will be Determined by the Director of the Office of Planning using current tree Replacement Values. Plus Installation and Maintenance			
REQUIRED		PROVIDED	
6 TREES		6 TREES	
128 SHRUBS		Exceeds	
6 TREES		4 EX. PALMS @1:1	
135 SHRUBS		Exceeds	
6 TREES		3 EX. PALMS	
140 SHRUBS		Exceeds	
15 TREES		1 EX. & 14 TREES	
N/A		N/A	
11,114.5 SF		16,670.73 SF	
7 TREES		7 TREES	
TOTAL		Complex	
19 TREES		19 TREES	
2867.61 SF OR		3000 SF FROM	
(10) CAT. 1 TREES		(10) CAT. 1 TREES;	
41 Palms		41 Palms	
59 TREES		59 TREES*	
native/required		native/provided	
36/59 TREES		51/59 TREES	
132/203 SHRUBS		2164/2235 SHRUBS	
TREES		100.0%	
SHRUBS		96.38%	

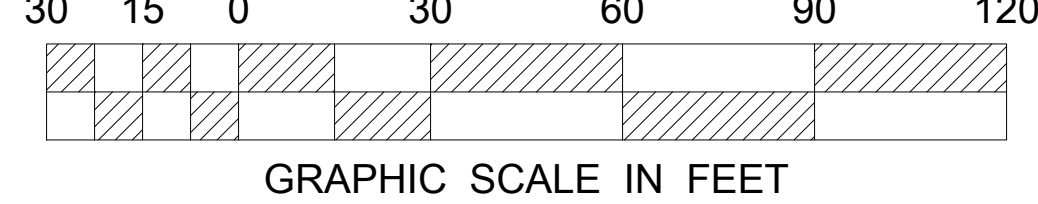
PROVIDE SMOOTH CONTINUOUS EDGES AS SHOWN BETWEEN ALL ADJACENT SHRUB AREAS &/OR SOD AREAS BY SHOVEL CUTTING EDGES OF MULCH BEDS TO A DEPTH OF 2-3"

NOTE: HEDGING ALONG PARKING AREAS MUST BE MAINTAINED AT 4'-0" HEIGHTS

ALL SOD SHALL BE ST. AUGUSTINE 'FLORITAM' SOLID SOD UNLESS OTHERWISE NOTED

NOTE: THERE SHALL BE NO PLANT MATERIAL SUBSTITUTIONS WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF HOLLYWOOD'S LANDSCAPE REVIEWER.

NO PLANT MATERIAL SHALL BE PLANTED OVER ROOT BALLS OF ANY NEW TREES AND PALMS.



10/28/2020
11/19/2020

DATE

PRELIMINARY TAC MEETING
FINAL TAC MEETING

NO.

THOMAS
LANDSCAPE ARCHITECTS, P.A.

6500 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PH: (954) 922-0000
www.thomaslandscapedesign.com

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LANDSCAPE PLAN
RACETRAC MARKET

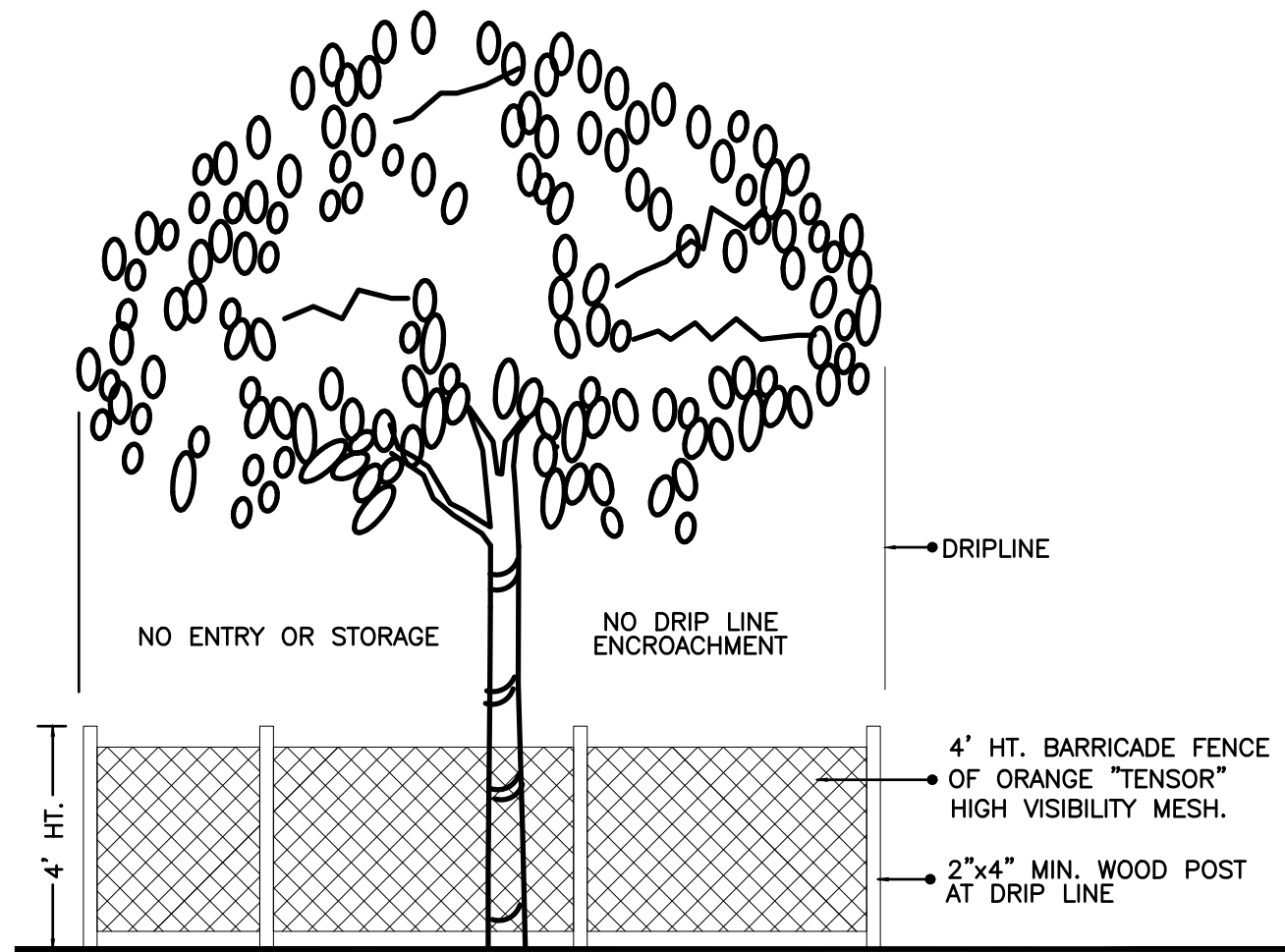
3990 GRIFFIN ROAD
Hollywood, Florida 33312

DATE
SCALE
DRAWN-BY
DRAWING NAME:
LANDSCAPE PLAN

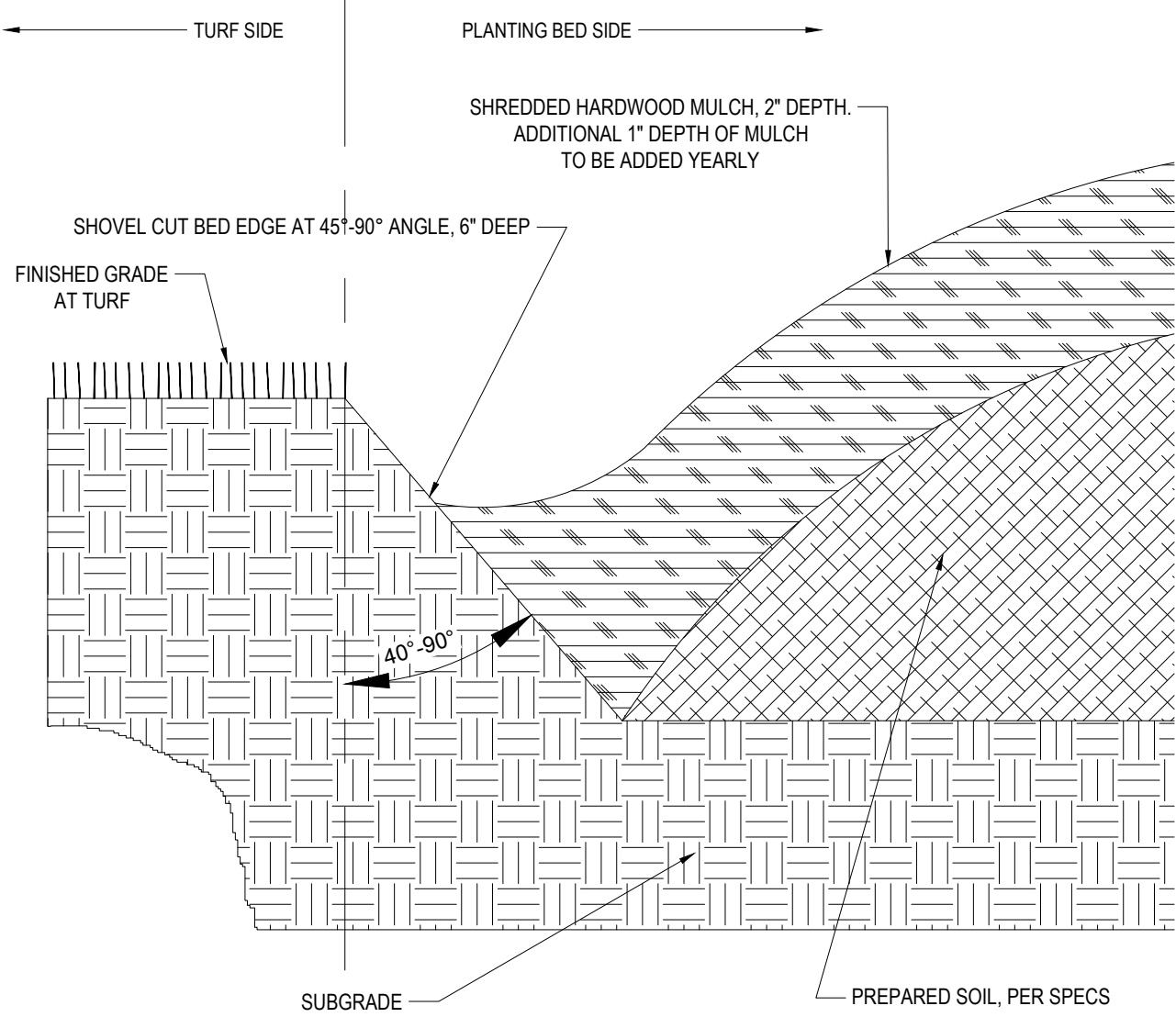
5/28/2020
1" = 30'
RJK
L-1.0
1

SHEET NO. VERSION

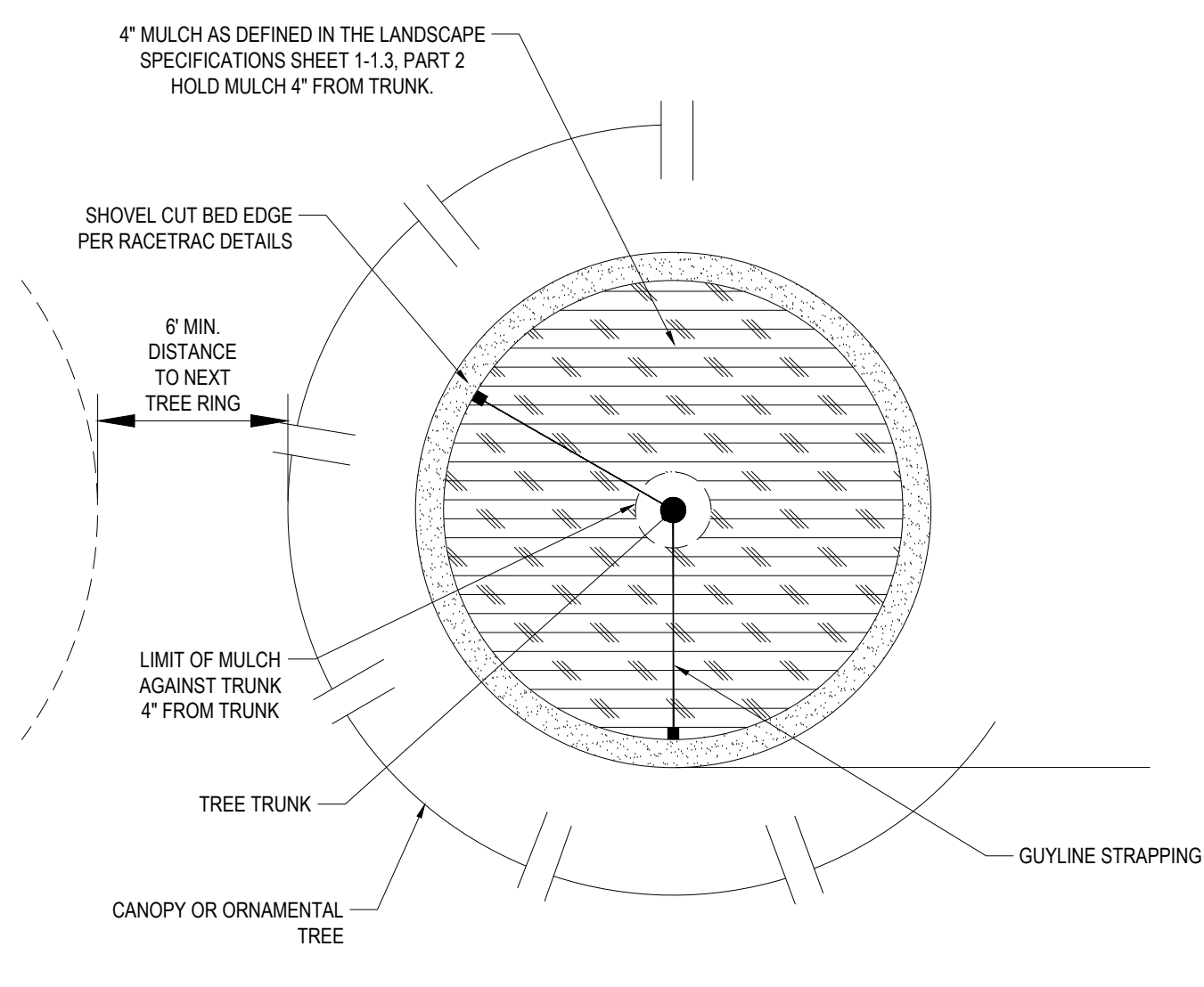
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN J. KING EBRHIMIAN, LA6667324 ON 2020-05-28



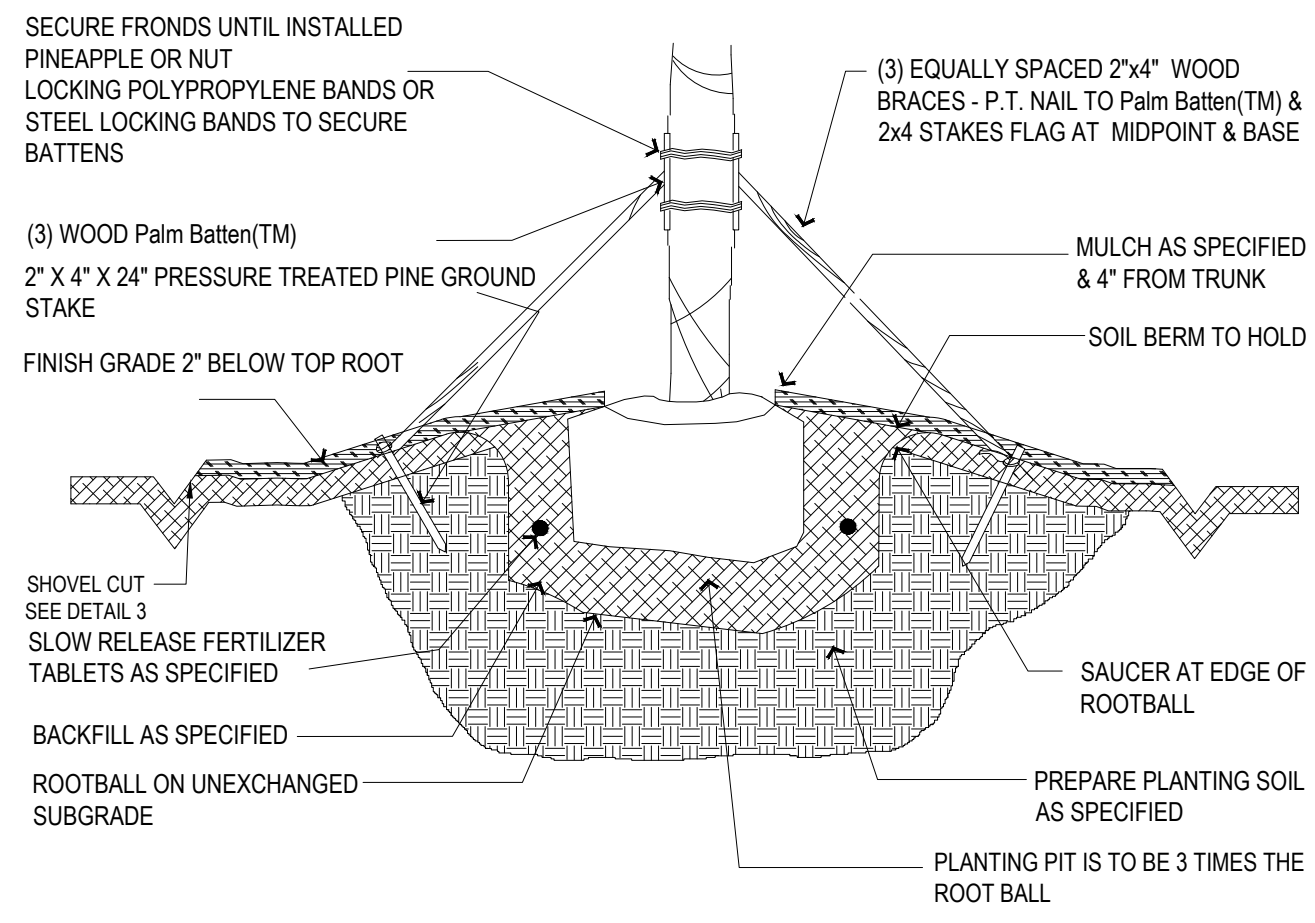
1 TREE PRESERVATION BARRICADE FENCING DETAIL
NTS



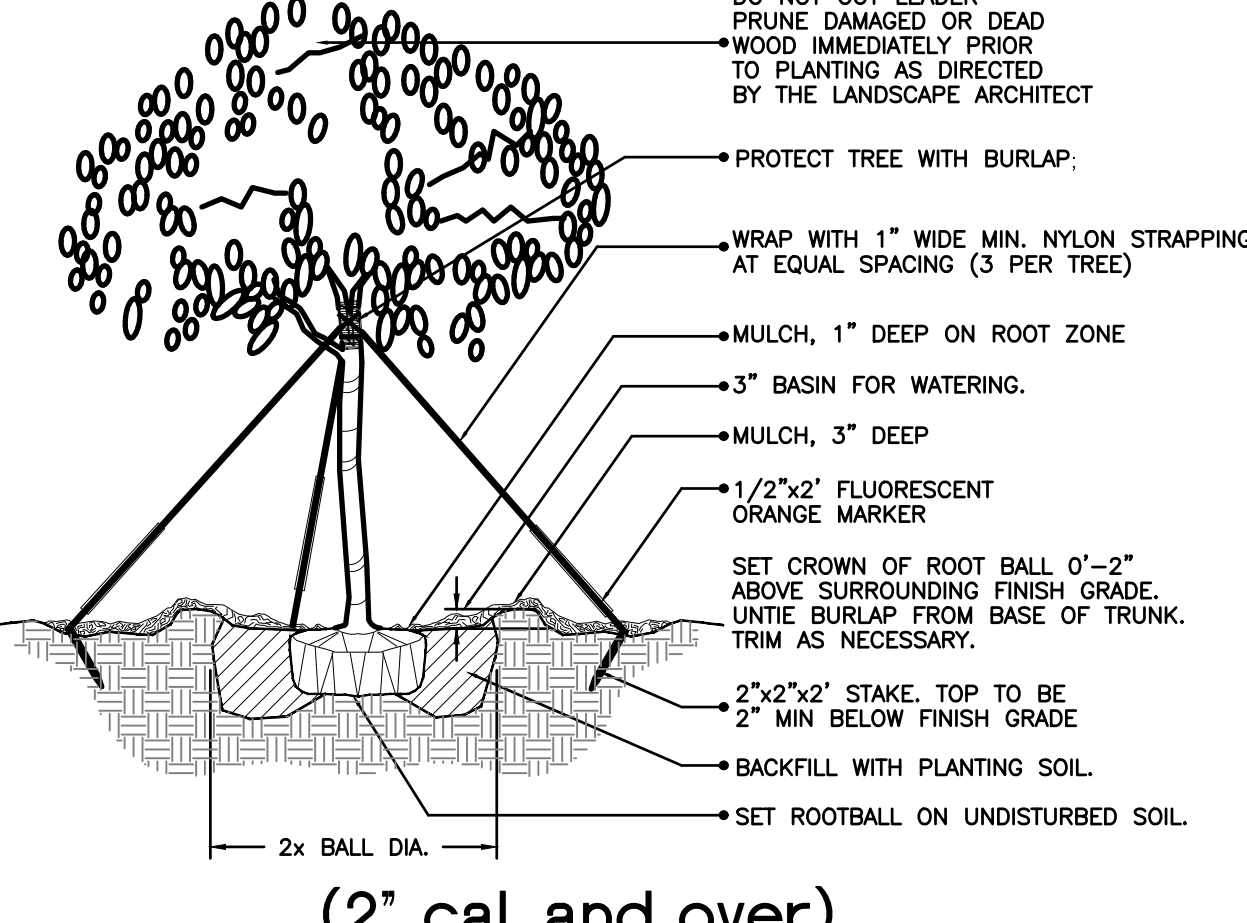
2 SHOVEL CUT BED EDGE
NTS



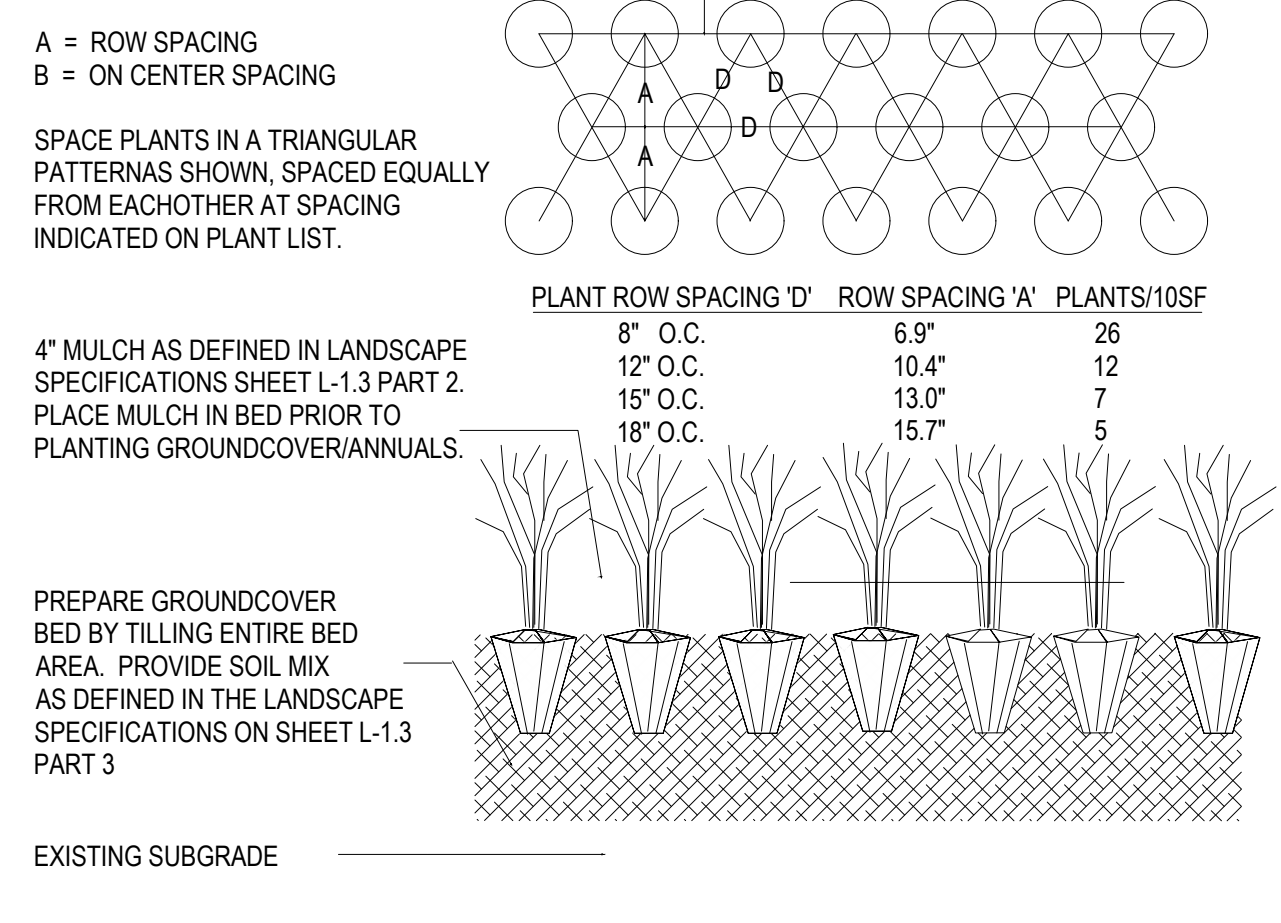
3 MULCHING RING AT TREES
NTS



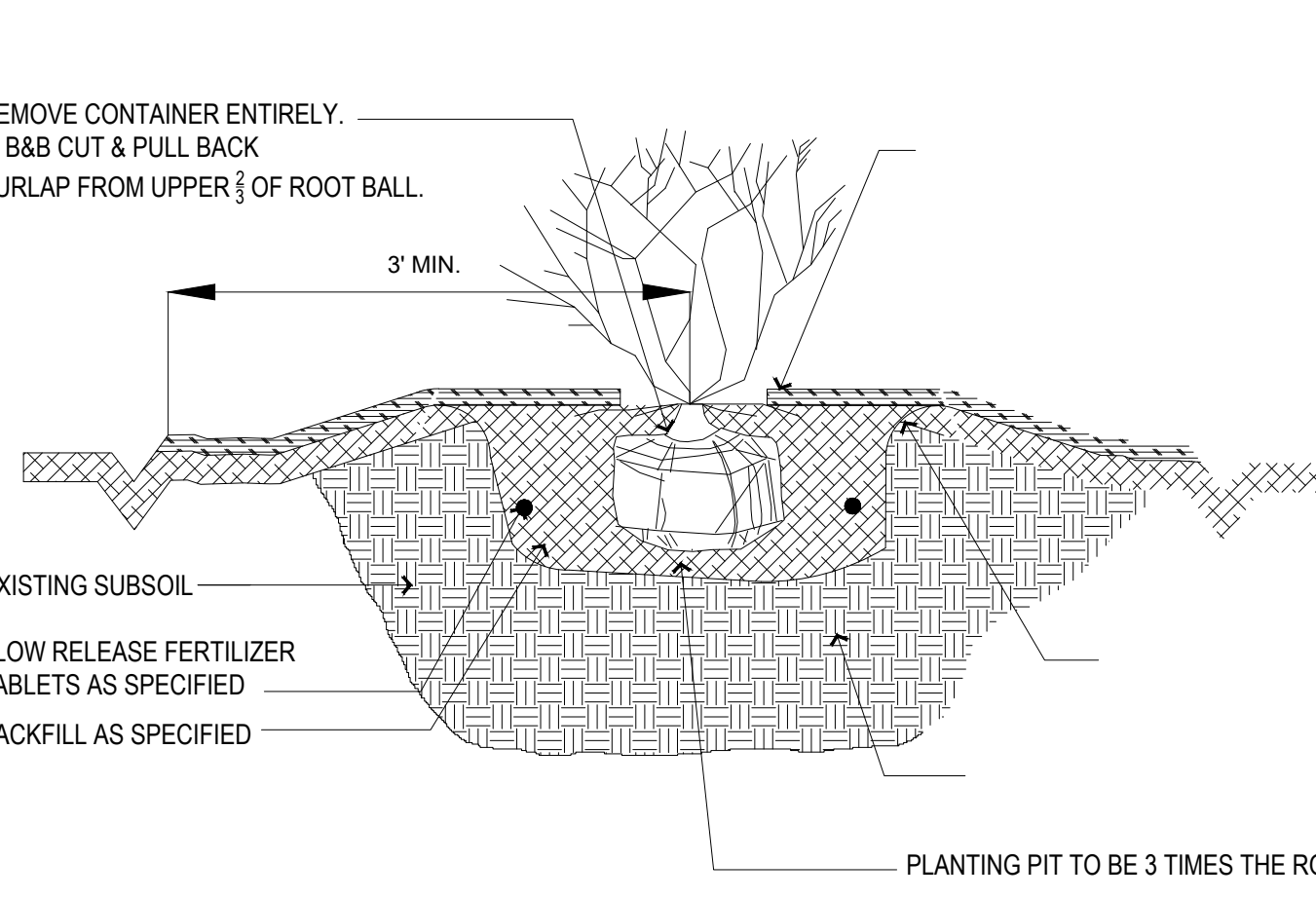
4 STAKED PALM TREE
NTS



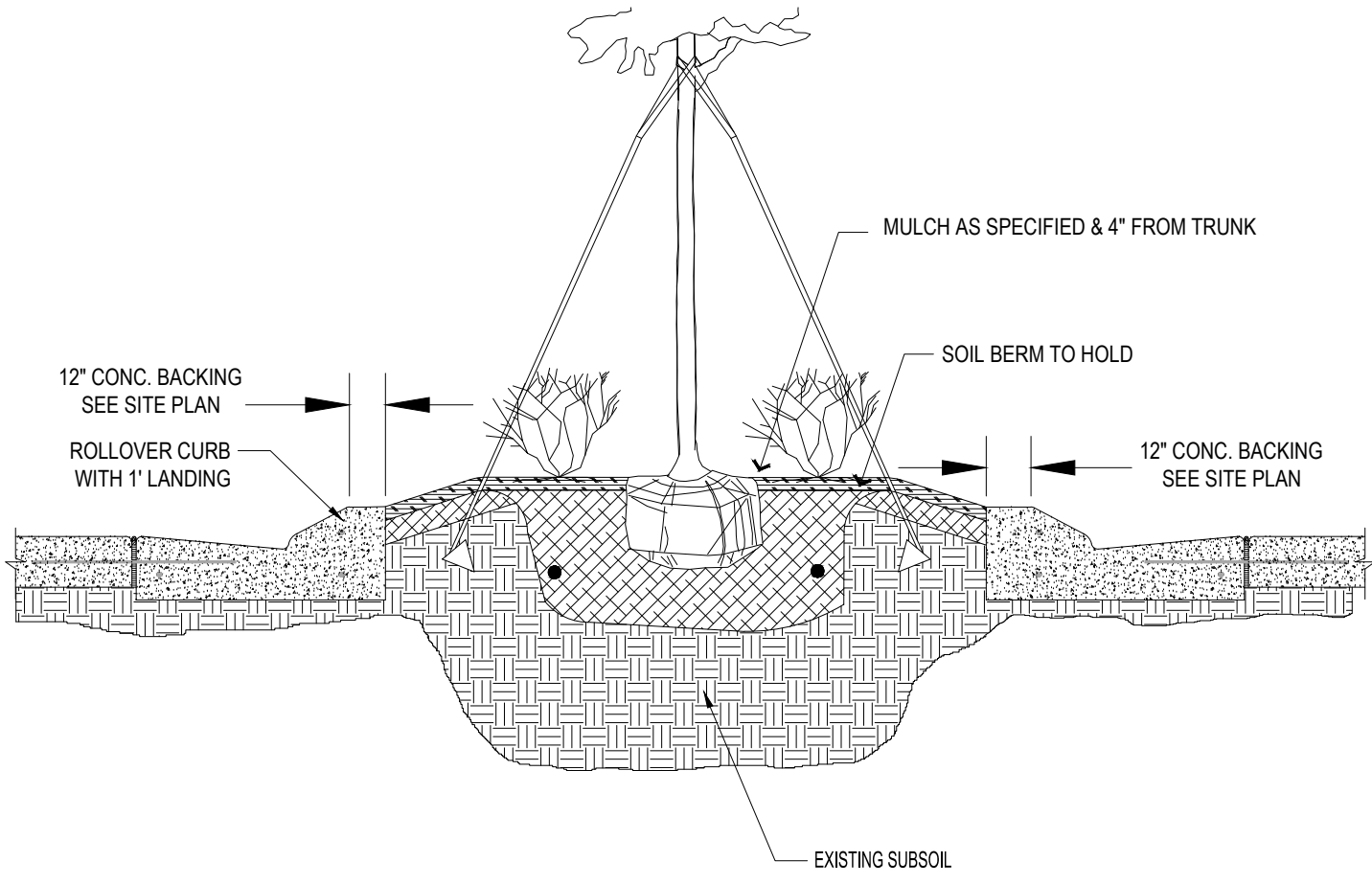
5 (2" cal. and over) LARGE TREE PLANTING DETAIL
NTS



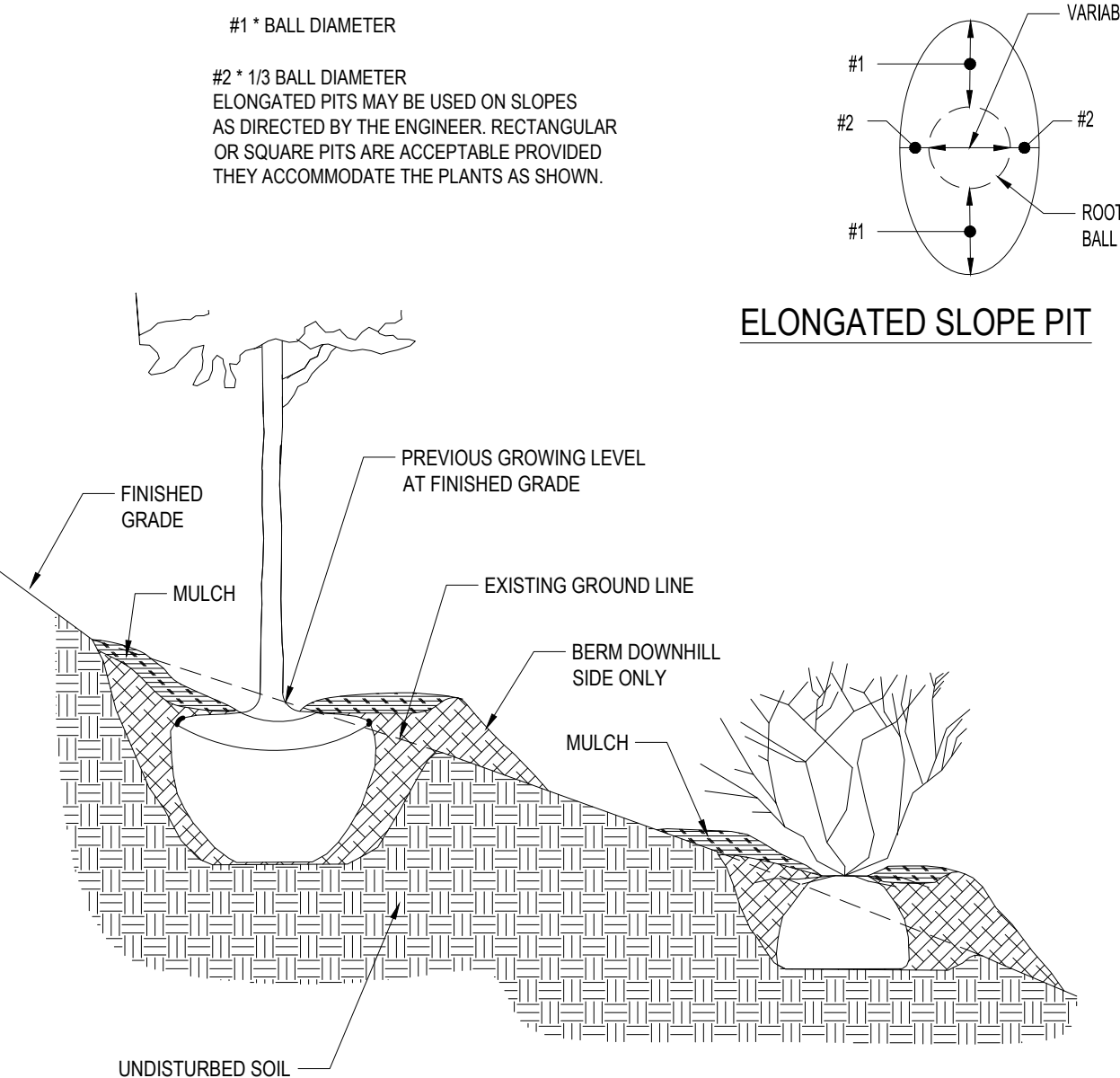
6 GROUNDCOVER PLANTING
NTS



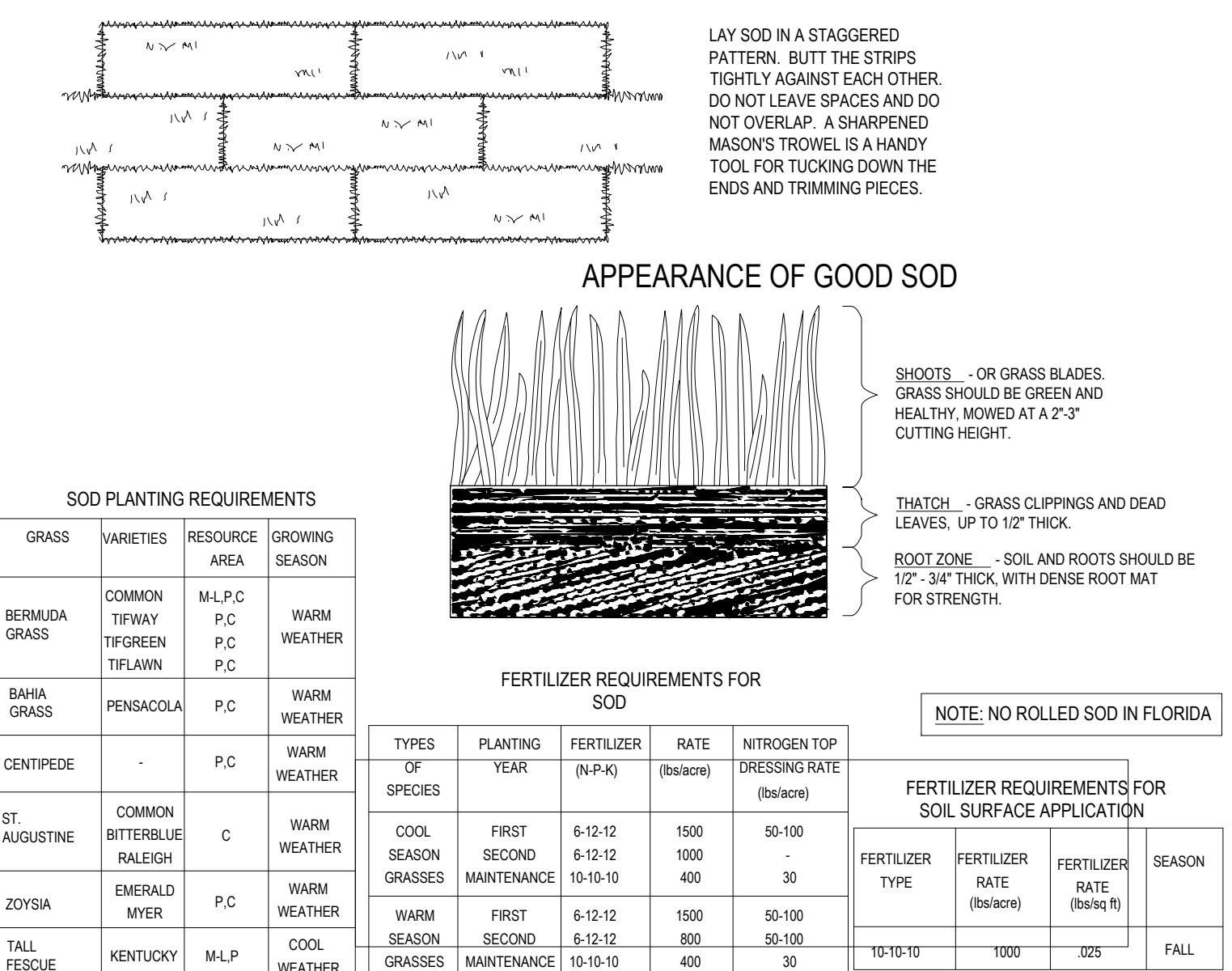
7 SHRUB (GENERAL)
NTS



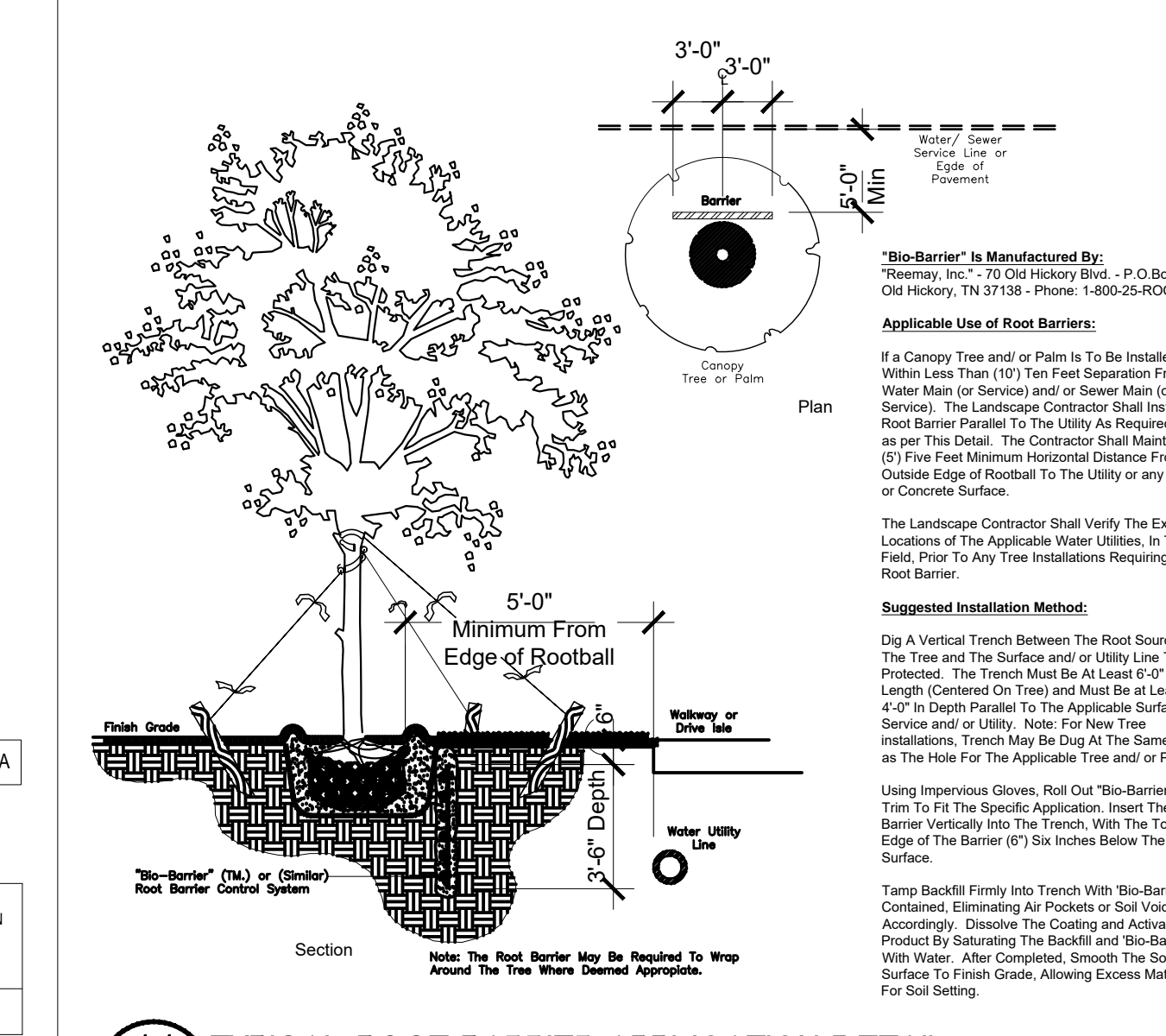
8 LANDSCAPE ISLAND BED (TYP)
NTS



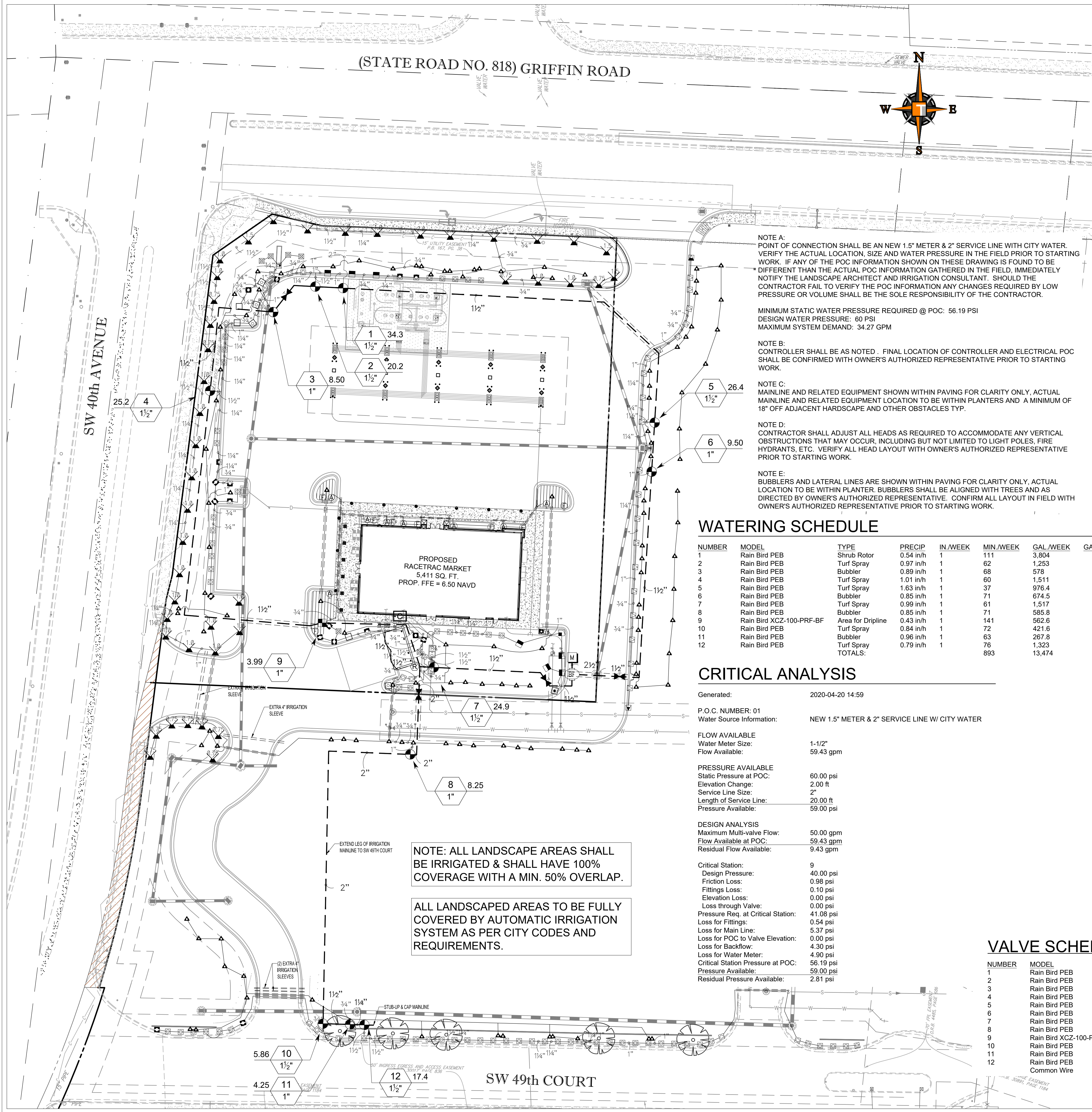
9 PLANT PLACEMENT ON SLOPE
NTS



10 SOD
NTS



11 TYPICAL ROOT BARRIER APPLICATION DETAIL
NTS



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1806-PRS 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	24	30
	Rain Bird 1806-PRS 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	73	30
	Rain Bird 1806-PRS 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	8	30
	Rain Bird 1806-PRS 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	3	30
	Rain Bird 1806-PRS 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	8	30
	Rain Bird 1806-PRS ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	21	30
	Rain Bird 1400 Flood Fixed flow rate (0.25 GPM), full circle bubbler, 1/2" FIPT.	122	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
	Rain Bird 3500-S Shrub Rotor, adjustable and full circle	12	25	0.54	15'
	Rain Bird 3500-S Shrub Rotor, adjustable and full circle	21	25	0.77	20'
	Rain Bird 3500-S Shrub Rotor, adjustable and full circle	7	25	1.06	23'
	Rain Bird 3500-S Shrub Rotor, adjustable and full circle	3	25	1.40	27'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZ-100-PRF-BF Drip Control Kit, 1" (25mm) DV valve, 1" (25mm) pressure regulating back flush filter.	1
	Rain Bird MDCFCAP Dripline Flush Valve cap in compression fitting coupler.	8
	Rain Bird AR Valve Kit 1" Air Relief Valve kit with 6" drip valve box.	8
	Area to Receive Dripline Rain Bird XFD-06-18 XFD On-Surface Pressure Compensating Landscape Dripline. 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	681.0 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB Electric Remote Control Valve	11
	Matco-Norca 759 Brass Shut Off Ball Valve, 1/2" to 4". Two Piece Body, Blow-Out Proof Stem, Chrome Plated Solid Brass Ball, Threaded, with PTFE Seats. Same size as mainline pipe.	4
	Watts 007 1-1/2" max. flow rate is 7.5 ft/s.	1
	Rain Bird ESP12LXMEF-LXMM 12 Station Commercial Controller. Powder-coated Metal Cabinet. Flow Sensing	1
	Rain Bird RSD-BEx Rain Sensor, with bracket, extension wire	1
	Water Meter 1-1/2" NEW 1.5" METER & 2" SERVICE LINE W/ CITY WATER	1
	Irrigation Lateral Line: Polyethylene Pipe SDR-7 Polyethylene SDR-7 up to 1-1/4.	4,637 l.f.
	Irrigation Lateral Line: PVC Class 160 SDR 26 PVC Class 160 SDR 26 for 1-1/2" and larger.	327.6 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21	1,319 l.f.
	Pipe Sleeve: PVC Schedule 80 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	830.8 l.f.

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1-1/2"	Shrub Rotor	34.27	421.3	4.30	3.56	32.86	49.05	0.54 in/h
2	Rain Bird PEB	1-1/2"	Turf Spray	20.20	404.1	1.72	3.89	35.61	51.66	0.97 in/h
3	Rain Bird PEB	1"	Bubbler	8.50	370.0	2.64	1.77	34.41	50.19	0.89 in/h
4	Rain Bird PEB	1-1/2"	Turf Spray	25.18	284.3	1.87	3.74	35.62	52.06	1.01 in/h
5	Rain Bird PEB	1-1/2"	Turf Spray	26.39	391.5	2.56	3.71	36.28	51.65	1.63 in/h
6	Rain Bird PEB	1"	Bubbler	9.50	361.0	2.18	1.79	33.97	48.77	0.85 in/h
7	Rain Bird PEB	1-1/2"	Turf Spray	24.86	94.5	2.64	3.75	36.40	49.36	0.99 in/h
8	Rain Bird PEB	1"	Bubbler	8.25	144.3	1.79	1.77	33.55	46.96	0.85 in/h
9	Rain Bird XCZ-100-PRF-BF	1"	Area for Dripline	3.99	58.6	1.08	41.07	56.19	0.43 in/h	0.84 in/h
10	Rain Bird PEB	1-1/2"	Turf Spray	5.86	363.8	1.66	3.56	49.69	0.84 in/h	0.84 in/h
11	Rain Bird PEB	1"	Bubbler	4.25	380.6	0.24	1.63	32.18	46.60	0.43 in/h
12	Rain Bird PEB Common Wire	1-1/2"	Turf Spray	17.40	389.4	3.53	3.90	37.43	52.03	0.79 in/h

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PEB	Shrub Rotor	0.54 in/h	1	111	3,804	
2	Rain Bird PEB	Turf Spray	0.97 in/h	1	62	1,253	
3	Rain Bird PEB	Bubbler	0.89 in/h	1	68	578	
4	Rain Bird PEB	Turf Spray	1.01 in/h	1	60	1,511	
5	Rain Bird PEB	Turf Spray	1.63 in/h	1	37	976.4	
6	Rain Bird PEB	Bubbler	0.85 in/h	1	71	674.5	
7	Rain Bird PEB	Turf Spray	0.99 in/h	1	61	1,517	
8	Rain Bird PEB	Bubbler	0.85 in/h	1	71	585.8	
9	Rain Bird XCZ-100-PRF-BF	Area for Dripline	0.43 in/h	1	141	552.6	
10	Rain Bird PEB	Turf Spray	0.84 in/h	1	72	421.6	
11	Rain Bird PEB	Bubbler	0.96 in/h	1	63	267.8	
12	Rain Bird PEB	Turf Spray	0.79 in/h	1	76	1,323	
TOTALS:					893	13,474	

CRITICAL ANALYSIS

Generated:	2020-04-20 14:59
P.O.C. NUMBER: 01	
Water Source Information:	NEW 1.5" METER & 2" SERVICE LINE W/ CITY WATER
FLOW AVAILABLE	
Water Meter Size:	1-1/2"
Flow Available:	59.43 gpm
PRESSURE AVAILABLE	
Static Pressure at POC:	60.00 psi
Elevation Change:	2.00 ft
Service Line Size:	2"
Length of Service Line:	20.00 ft
Pressure Available:	59.00 psi
DESIGN ANALYSIS	
Maximum Multi-valve Flow:	50.00 gpm
Flow Available at POC:	59.43 gpm
Residual Flow Available:	9.43 gpm
Critical Station:	9
Design Pressure:	40.00 psi
Friction Loss:	0.98 psi
Fittings Loss:	0.10 psi
Elevation Loss:	0.00 psi
Loss through Valve:	0.00 psi
Pressure Req. at Critical Station:	41.08 psi
Loss for Fittings:	0.54 psi
Loss for Main Line:	5.37 psi
Loss for POC to Valve Elevation:	0.00 psi
Loss for Backflow:	4.30 psi
Loss for Water Meter:	4.90 psi
Critical Station Pressure at POC:	56.19 psi
Pressure Available:	59.00 psi
Residual Pressure Available:	2.81 psi

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1-1/2"	Shrub Rotor	34.27	421.3	4.30	3.56	32.86	49.05	0.54 in/h
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10	Rain Bird PEB	1-1/2"	Turf Spray	5.86	363.8	1.66	3.56	49.69	0.84 in/h	0.84 in/h
11	Rain Bird PEB	1"	Bubbler	4.25	380.6	0.24	1.63	32.18	46.60	0.43 in/h
12	Rain Bird PEB	1-1/2"	Turf Spray	17.40	389.4	3.53	3.90	37.43	52.03	0.79 in/h

GRAPHIC SCALE IN FEET

10/8/2018
11/9/2018

PRELIMINARY TAC MEETING
FINAL TAC MEETING

NO.

DATE

THOMAS ENGINEERS, P.A.

600 NW 33rd Ave
Fort Lauderdale, FL 33309
PH: (954) 922-7000
www.ThomasEngineersGroup.com

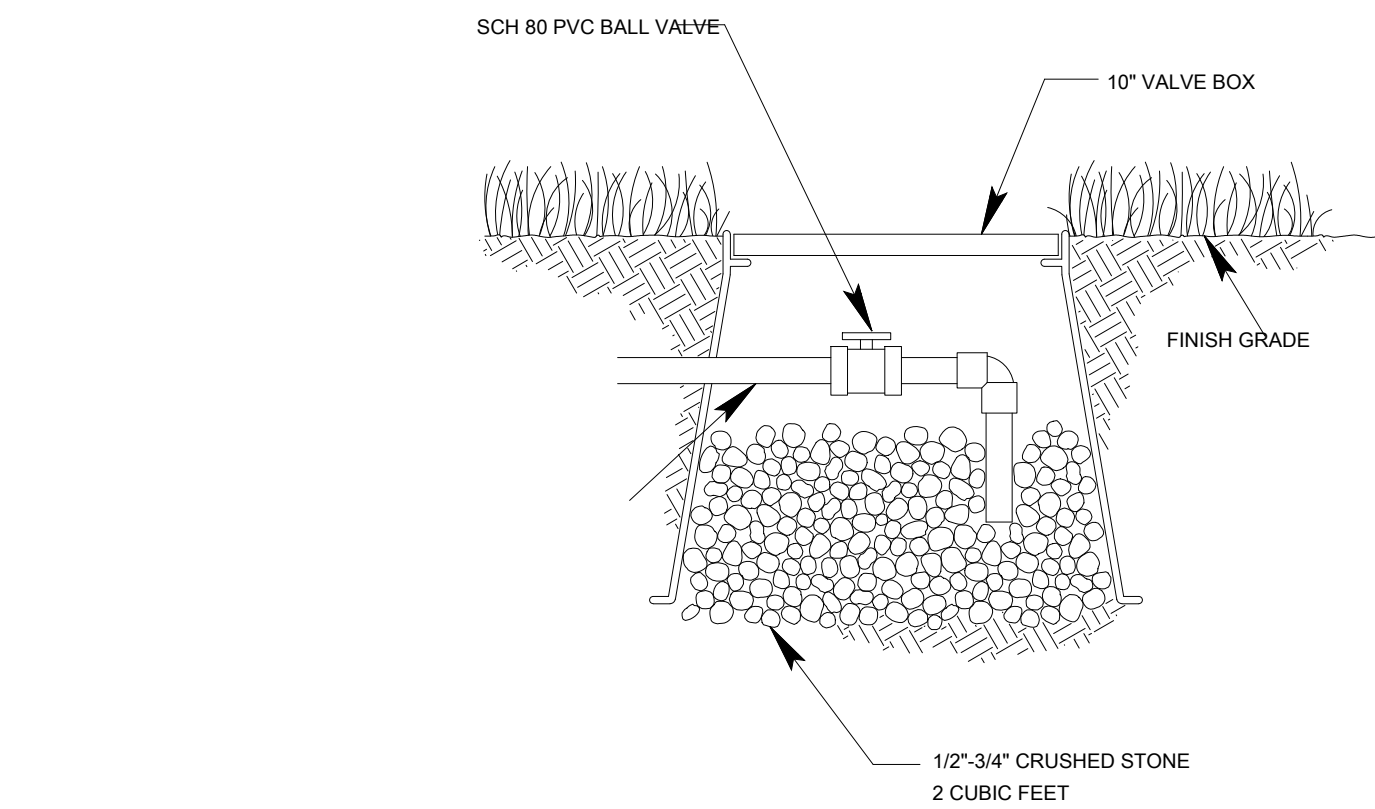
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HOLLYWOOD, BROWARD COUNTY
FLORIDA 33312

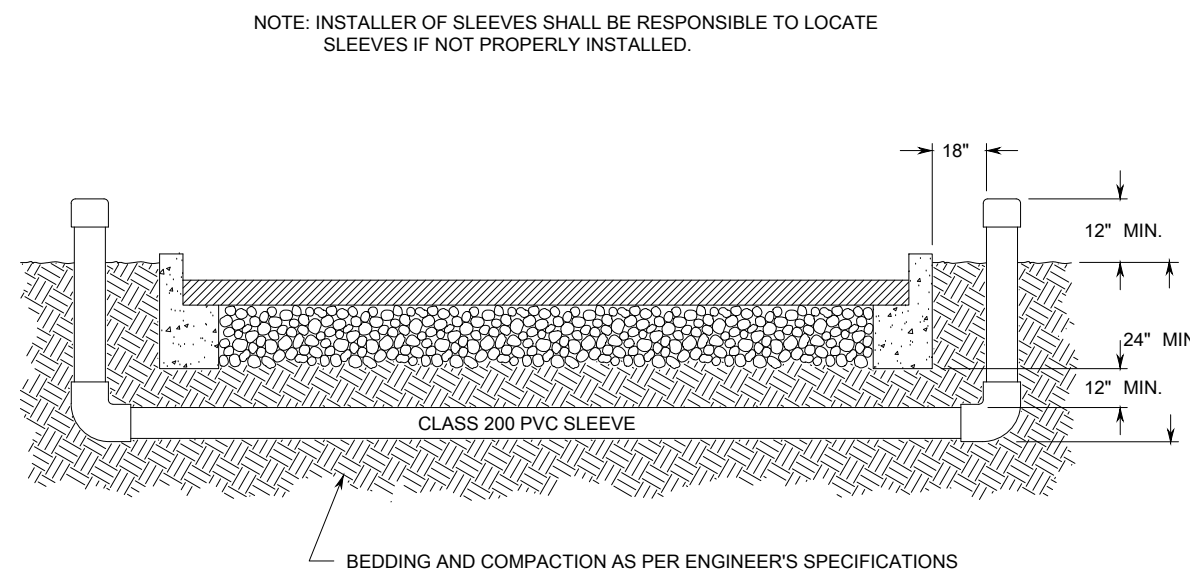
IRRIGATION PLAN
RACETRAC MARKET

3990 GRIFFIN ROAD
Hollywood, Florida 33312

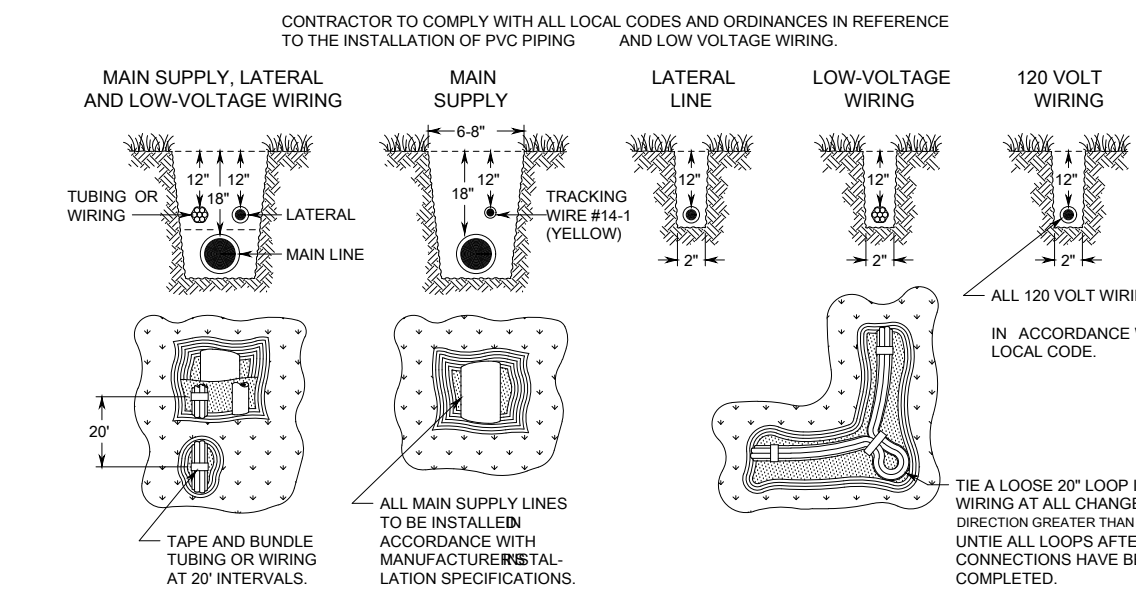
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SCALE 1" = 30'
DRAWN-BY RJK
DRAWING NAME: IRRIGATION PLAN
SHEET NO. VERSION



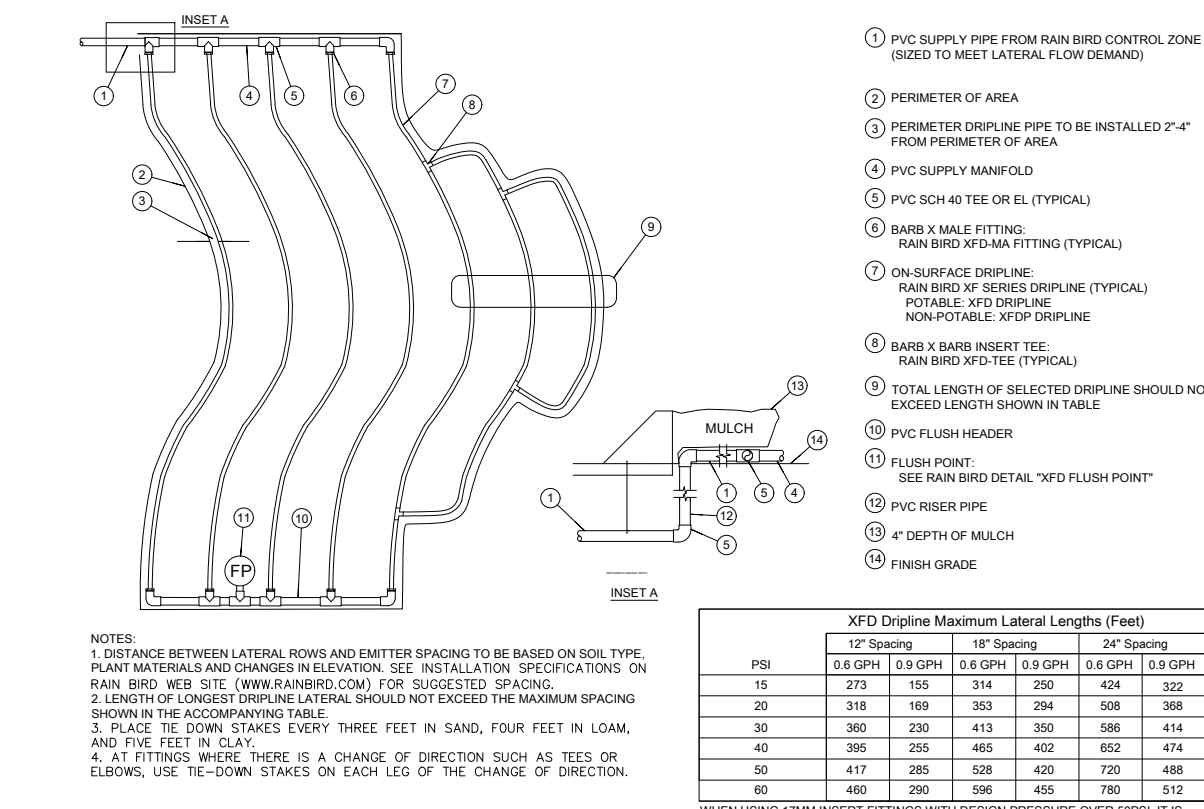
1 MANUAL DRAIN VALVE
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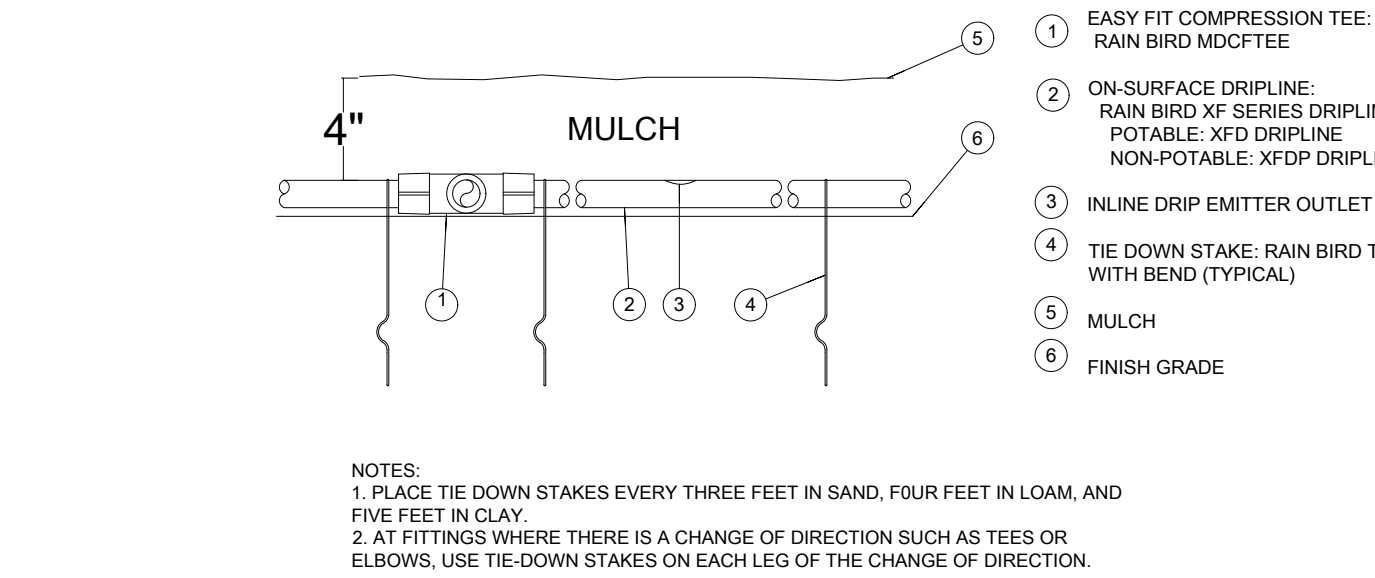
2 SLEEVING
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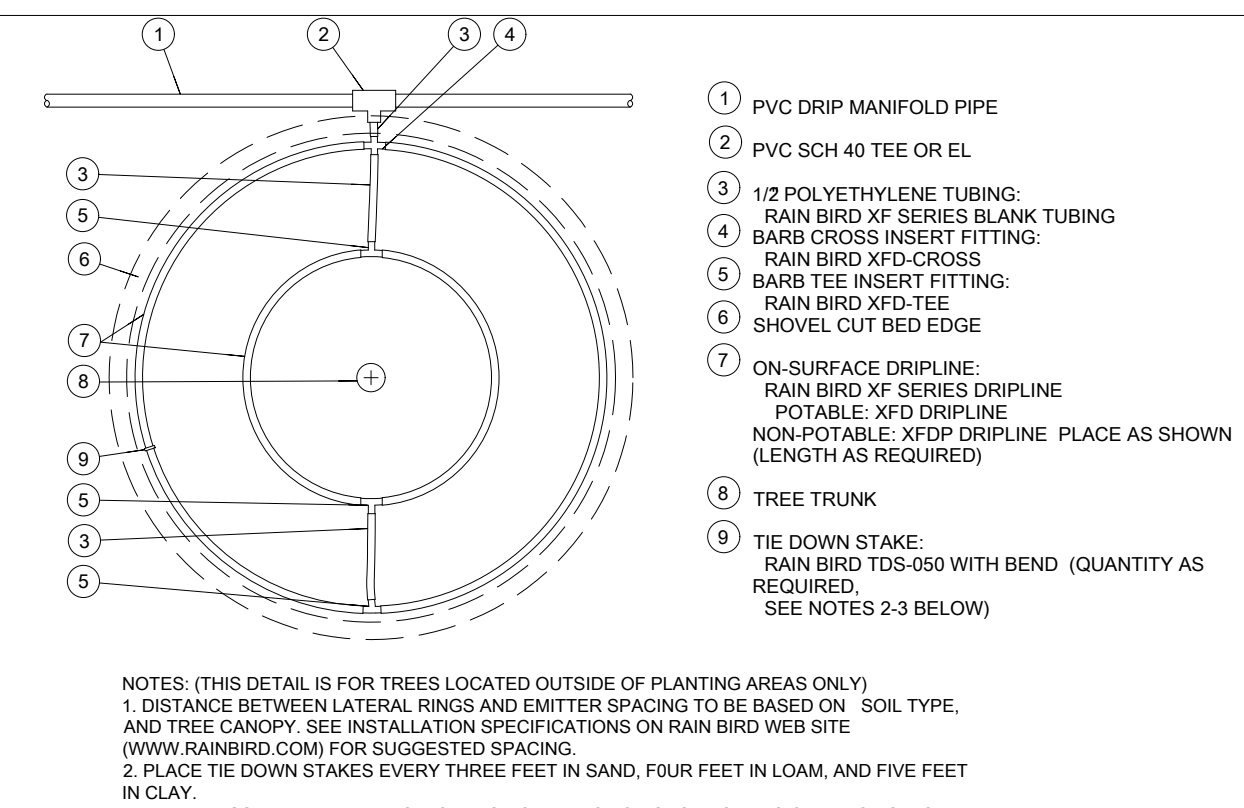
3 TRENCHING
NTS



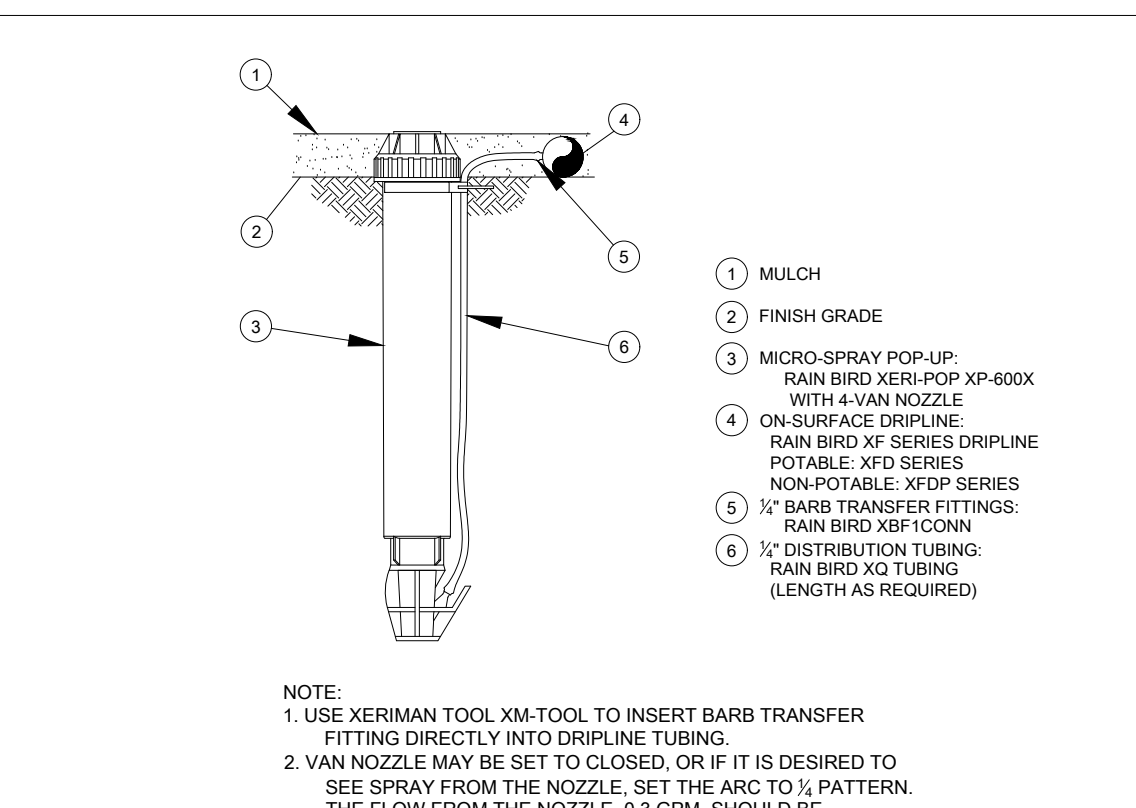
4 MANUAL DRAIN VALVE
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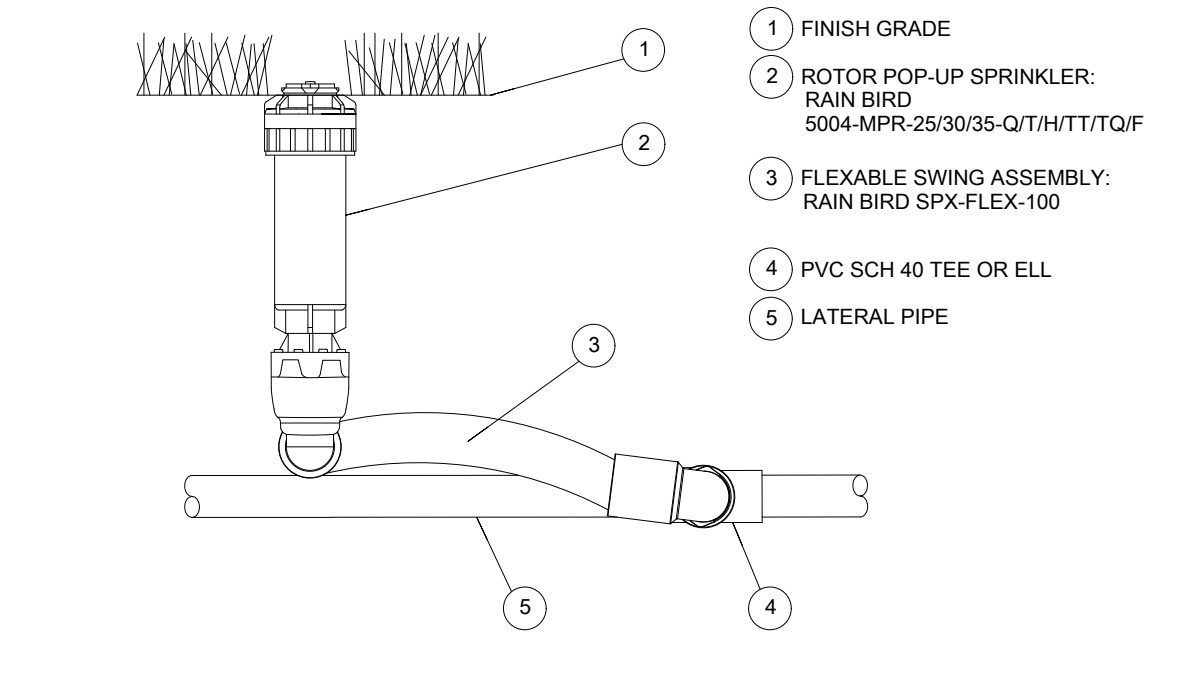
5 LANDSCAPE DRIPLINE ON GRADE
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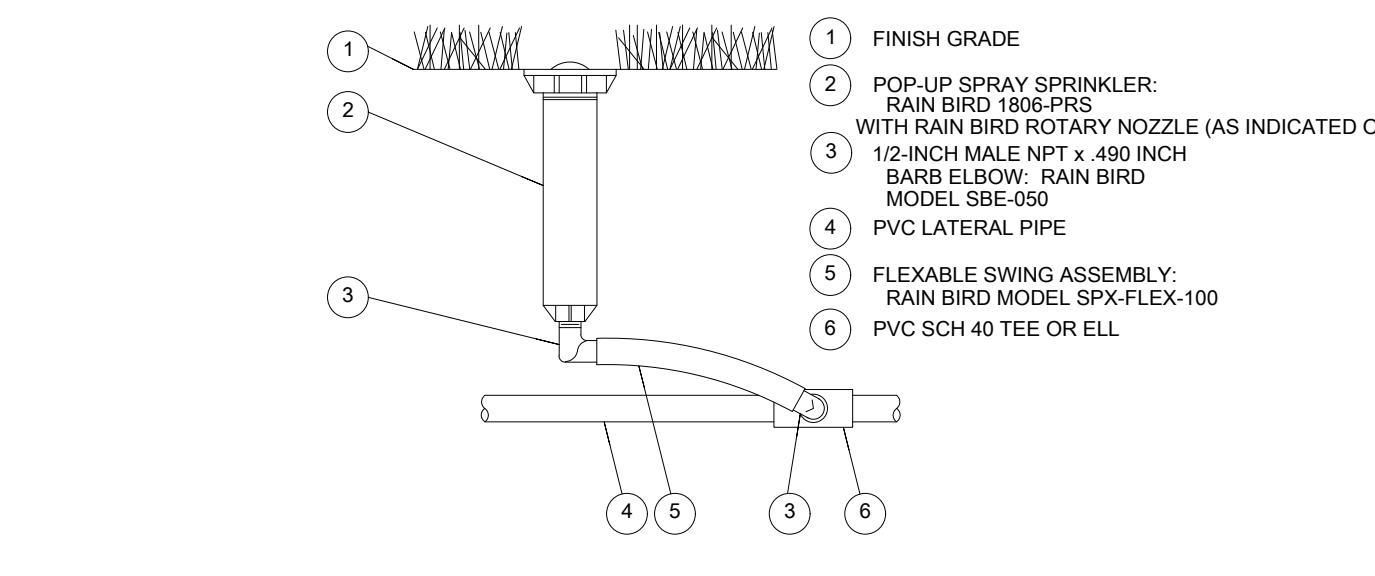
6 DRIP LAYOUT AROUND TREES IN TURF AREA
NTS



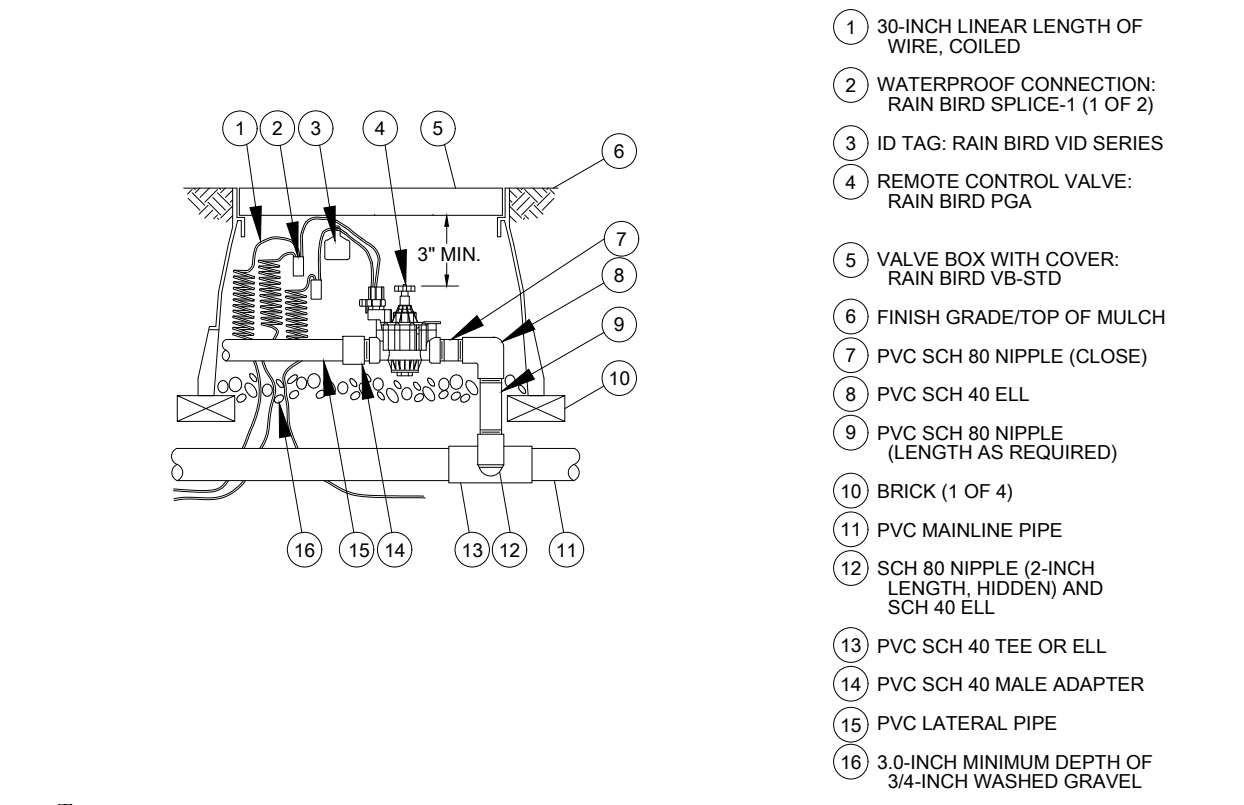
7 DRIPLINE OPERATION INDICATOR
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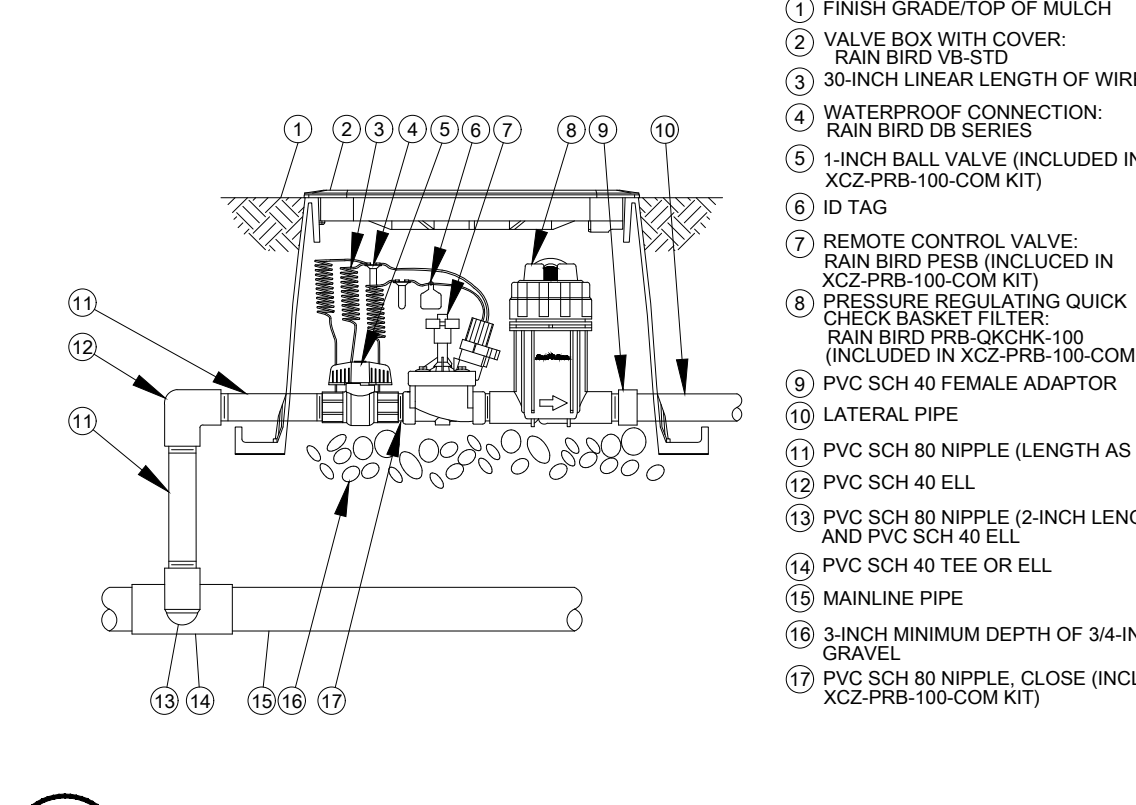
8 ROTOR POP-UP SPRINKLER: 5004-MPR NOZZLE
NTS



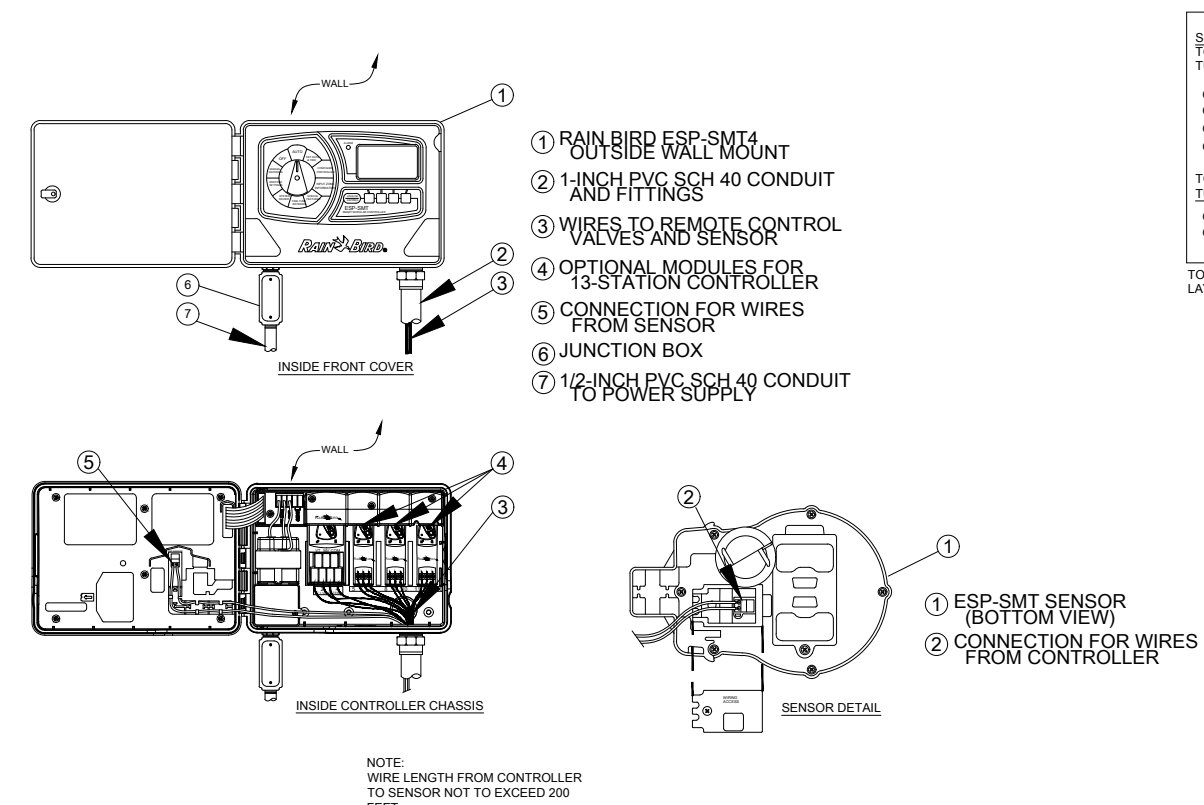
9 ROTORY NOZZLE: 1806 POP-UP SPRAY SPRINKLER
NTS



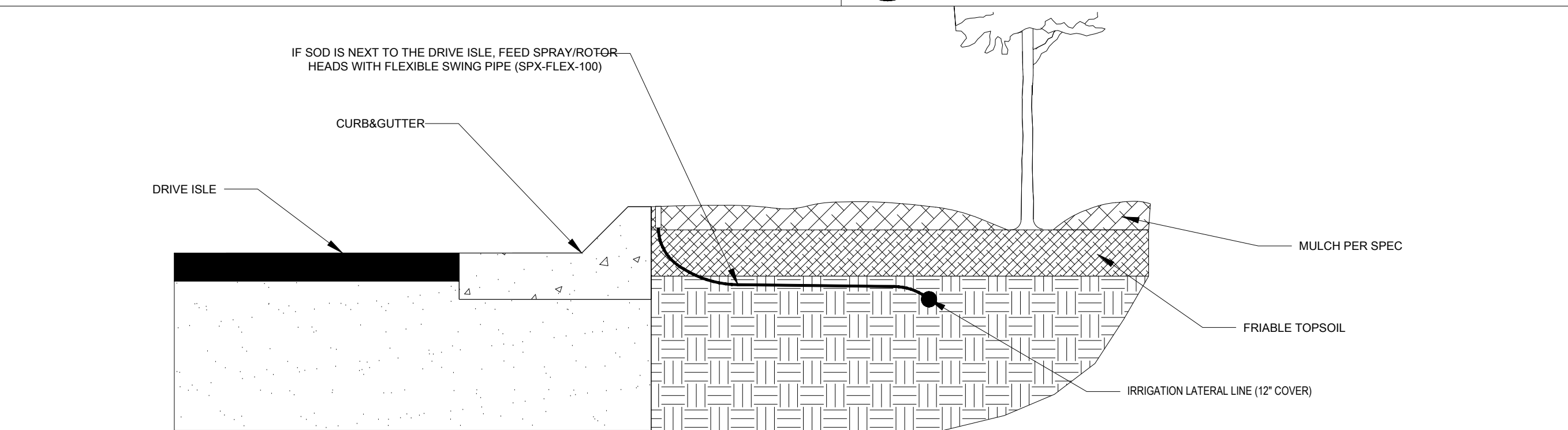
10 TURF VALVE PGA-PRS-D
NTS



11 DRIP VALVE: XCZ-PRB-100-B-COM
NTS



12 SMART CONTROLLER: ESP-SMT
NTS



13 MAIN LINE/LATERAL LINE LOCATION
ADJACENT TO DRIVE ISLE
NTS

- ### IRRIGATION NOTES
- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
 - THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
 - THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
 - INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
 - ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
 - ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
 - ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
 - ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
 - THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. THOMAS ENGINEERING GROUP RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO RECERTIFY EXISTING PUMP AND PVB IF APPLICABLE.

10/8/2018
11/19/2018

PRELIMINARY TAC MEETING
FINAL TAC MEETING

DATE

THOMAS ENGINEERING GROUP, INC.

6000 NW 33RD AVE
FORT LAUDERDALE, FL 33309
PH: (954) 922-7000
www.ThomasEngineeringGroup.com

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GRIFFIN ROAD & SW 40TH AVENUE
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33312

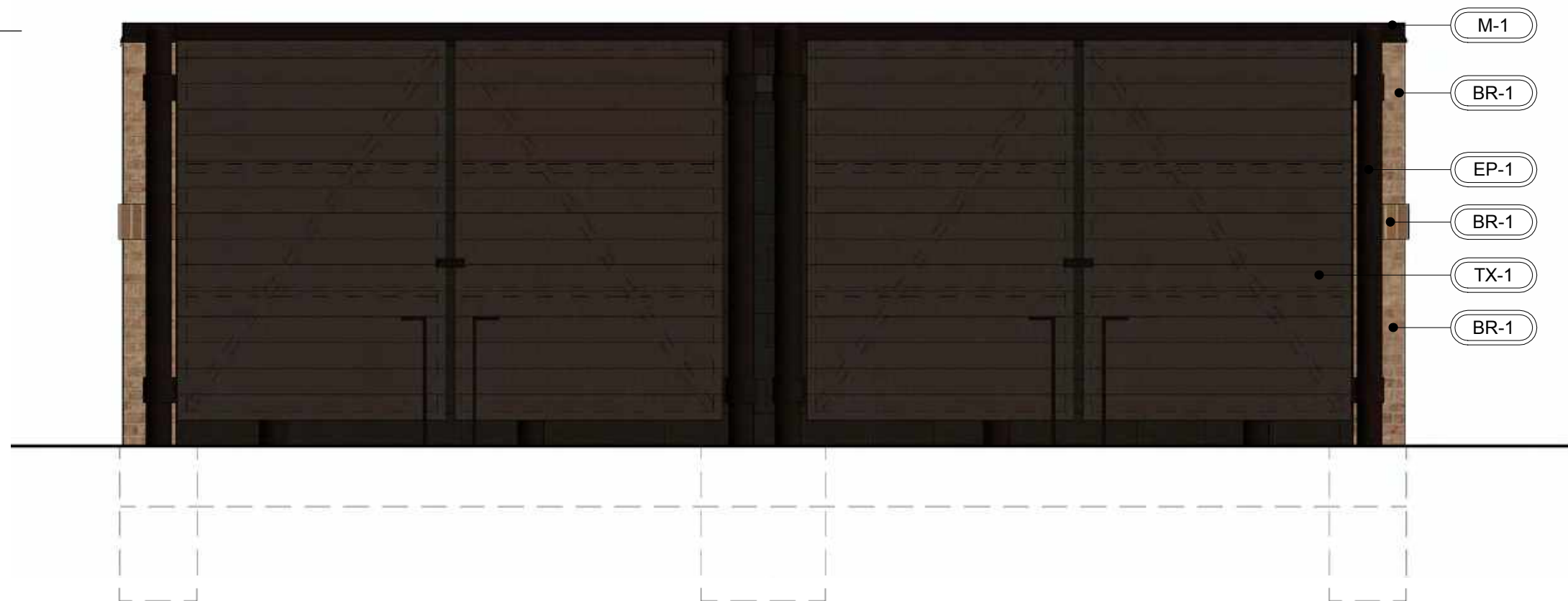
IRRIGATION STANDARD DETAILS
RACETRAC MARKET

3990 GRIFFIN ROAD
Hollywood, Florida 33312

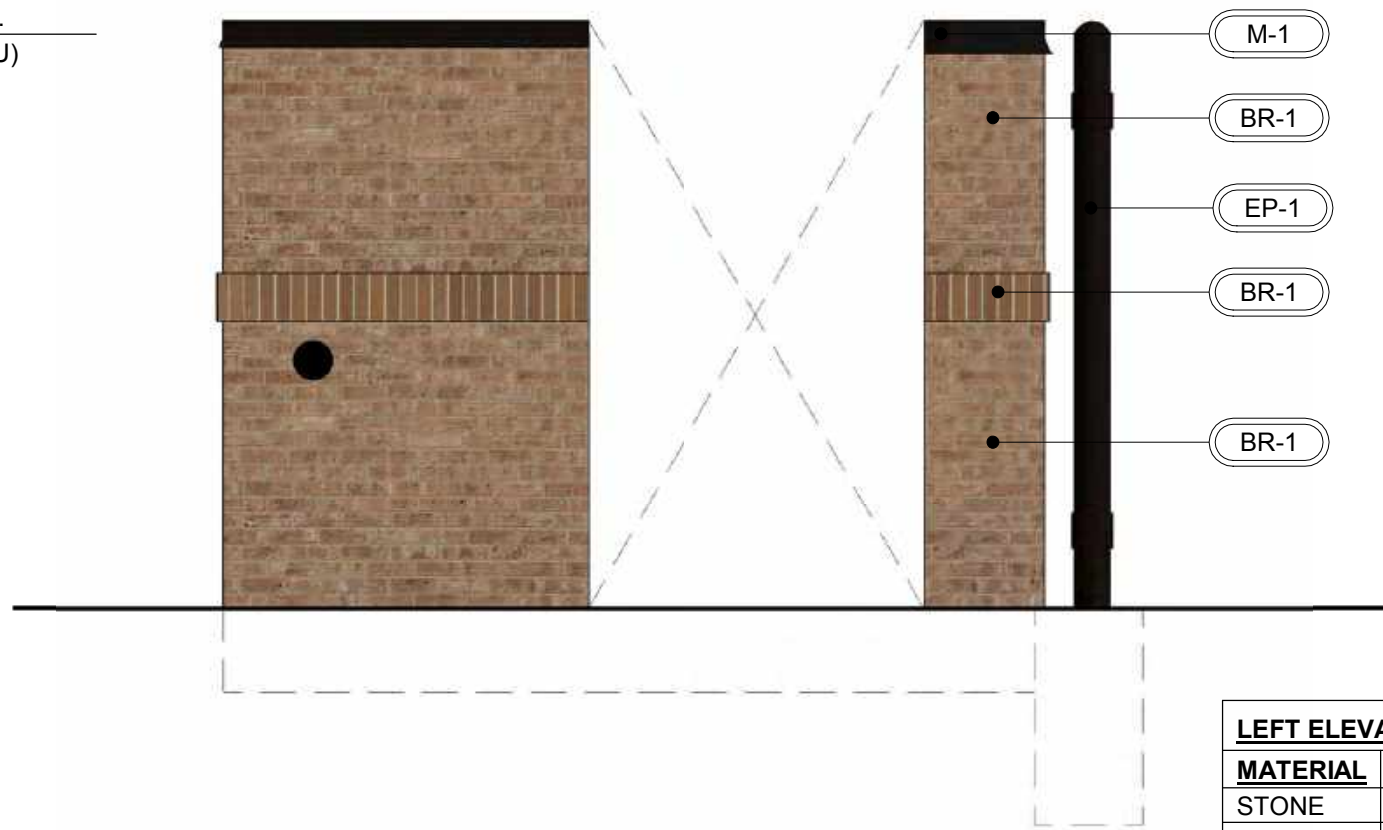
DATE
SCALE
DRAWN-BY
DRAWING NAME:
IRRIGATION PLAN
SHEET NO.

4/17/2020
RJK
1
VERSION

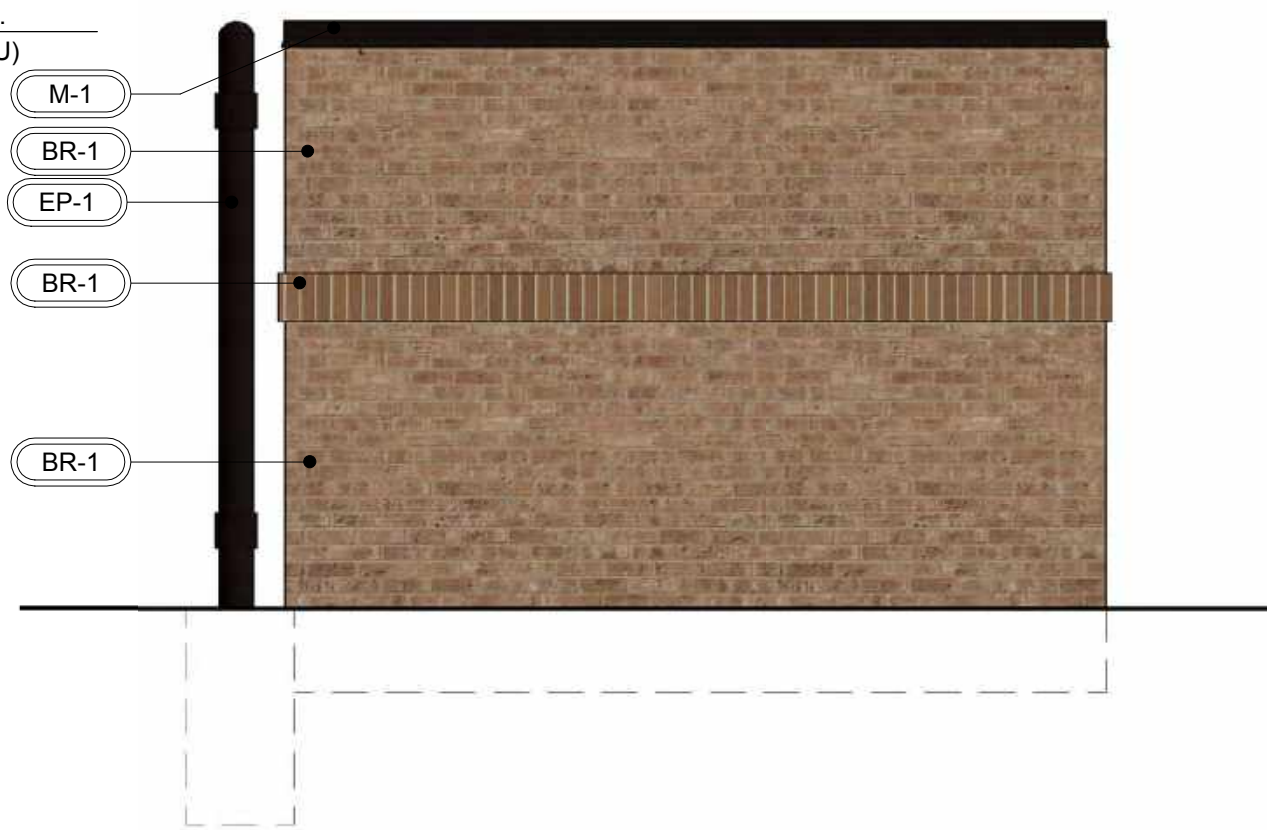
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RYAN J. KING EBRAHIMIAN, LA6667324 ON 2020-04-17



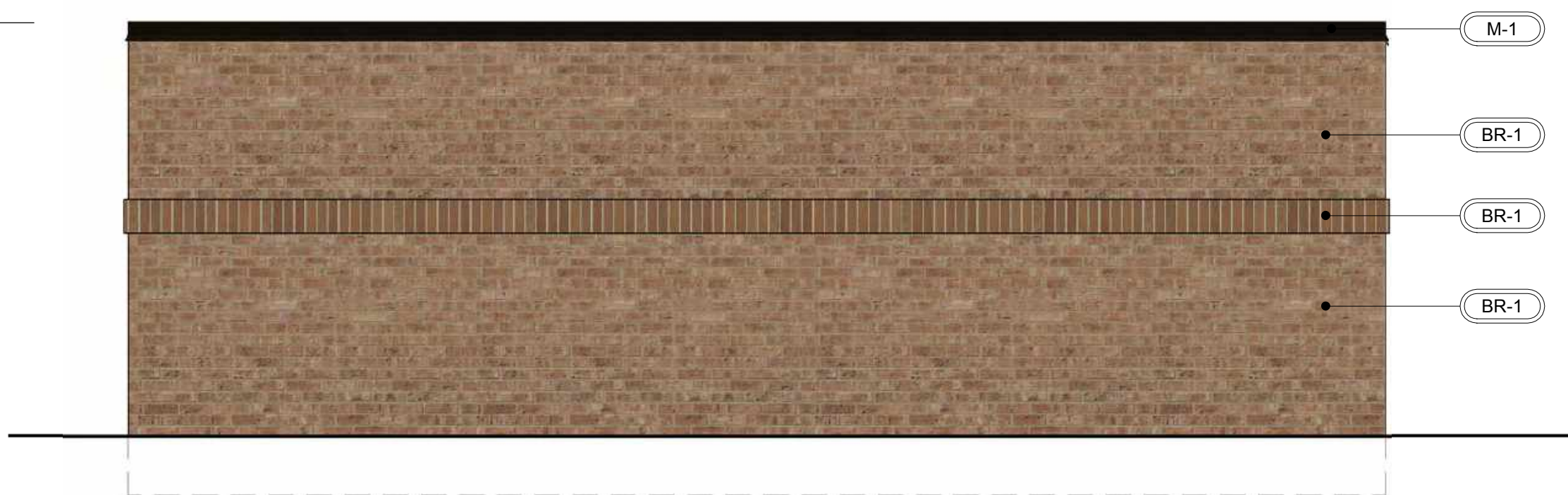
FRONT ELEVATION		224 TOTAL SF
MATERIAL	SQ. FOOT	% OF ELEVATION
STONE	0	0%
BRICK	8	4%
METAL	25	11%
WOOD	173	77%
CMU/PAINT	19	8%

$$\frac{3}{8}'' = 1'-0''$$


LEFT ELEVATION		97 TOTAL SF
<u>MATERIAL</u>	<u>SQ. FOOT</u>	<u>% OF ELEVATION</u>
STONE	0	0%
BRICK	89	92%
METAL	8	8%
WOOD	0	0%
CMU/PAINT	0	0%

$$3/8'' = 1'-0''$$


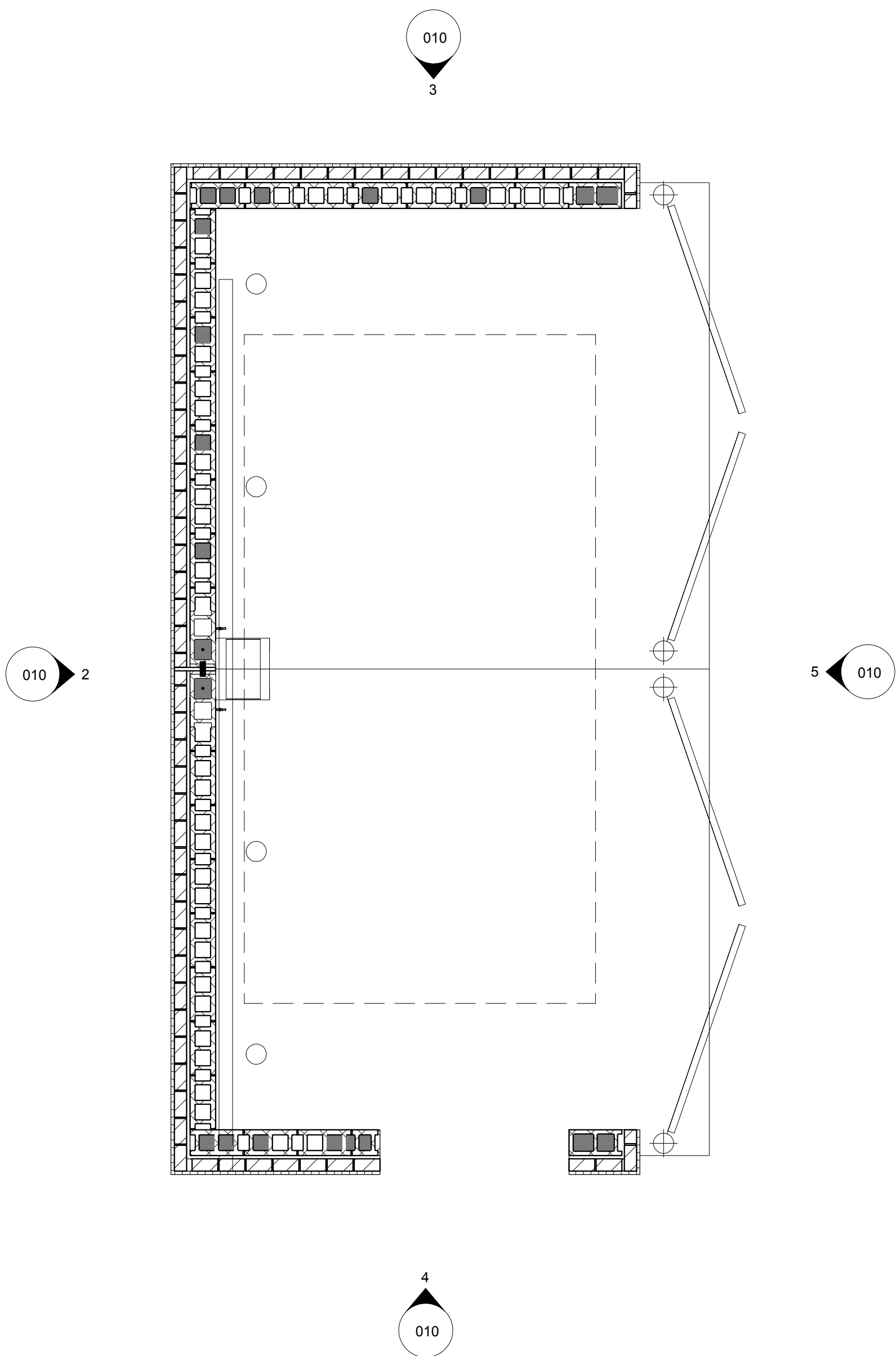
<u>RIGHT ELEVATION</u>		<u>59 TOTAL SF</u>
<u>MATERIAL</u>	<u>SQ. FOOT</u>	<u>% OF ELEVATION</u>
STONE	0	0%
BRICK	52	88%
METAL	7	12%
WOOD	0	0%
CMU/PAINT	0	0%

$$1^{\text{st}} = 1^{\text{st}} - 0^{\text{th}}$$


REAR ELEVATION		224 TOTAL SF
<u>MATERIAL</u>	<u>SQ. FOOT</u>	<u>% OF ELEVATION</u>
STONE	0	0%
BRICK	212	95%
METAL	12	5%
WOOD	0	0%
CMU/PAINT	0	0%

3/8" = 1' 0"

ID	MANUF.	MATERIAL	COMMENTS
BRICK			
BR-1	BORAL	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
METAL			
M-1		PREFINISHED 4" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7020 "BLACK FOX"	
TREX			
TX-1	SELECT COMPOSITE	1/2" THICKNESS	WOODLAND BROWN



1" = 1' 0"

DESIGN PROFESSIONALS



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RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SOUTHEAST
SUITE 900
ATLANTA, GEORGIA 30339
(770) 431-7600

PROJECT NAME**GRIFFIN &
40TH**

FLORIDA
3990 GRIFFIN ROAD
HOLLYWOOD, FL

RACETRAC STORE NUMBE

#1365

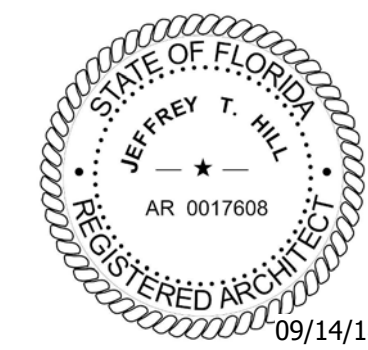
PROTOTYPE SERIES 5.5K 2.0

2018 RH EX

PLAN MODIFICATION NOTIC

SPB NO. - DATE

STANDARD PLAN BULLETINS (SPB) MODIFY THE
PROTOTYPE SERIES SET NOTED ABOVE. THE
LISTED SPB REPRESENTS THE LATEST
MODIFICATION INCORPORATED TO THIS
PROTOTYPE SERIES SET AT ORIGINAL RELEASE
THE ISSUE/ REVISION RECORD COLUMN ABOVE
LISTS ANY REVISIONS OR SPB INCORPORATED
THIS SET AFTER THE ORIGINAL RELEASE.
CONTACT RACETRAC ENGINEERING AND
CONSTRUCTION FOR ANY SUBSEQUENT
BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

PROJECT NUMBER
18.719

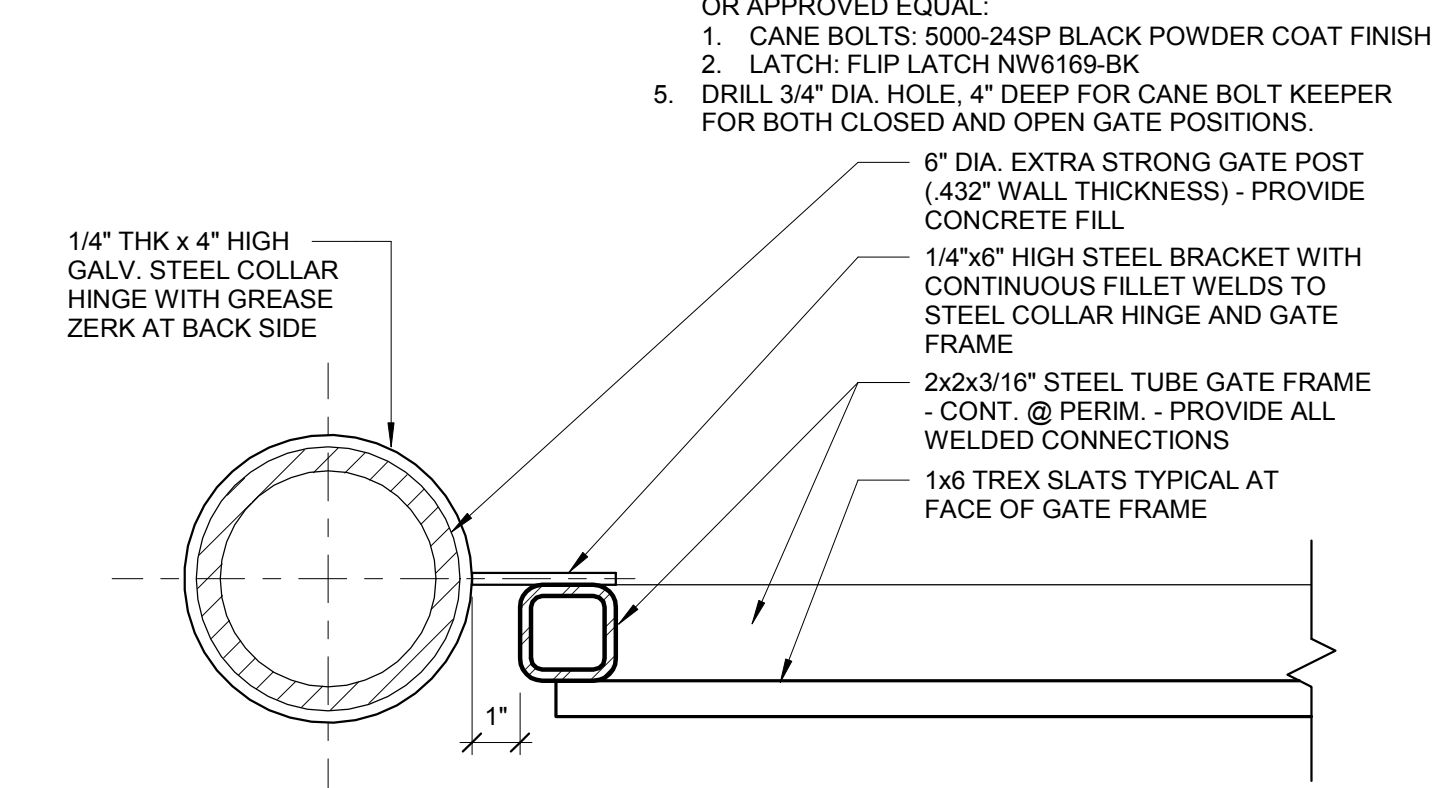
SHEET TITLE

DUMPSTER ENCLOSURE ELEVATIONS

SHEET NUMBER

A010

PRELIMINARY DRAWING

[illegible]

METAL COPING

8' - 0" A.F.F.
T.O.M (CMU)

CMU BOND BEAM
GROUTED SOLID WITH
CONTINUOUS #5 AT
TOP OF WALL

CMU CORNER UNITS
PAINTED EP-1

INTERIOR CMU FINISH OF
DUMPSTER TO BE
PAINTED (EP-1) TO MATCH
BOLLARD AT DUMPSTER

BRICK AND SOLDIER COURSE
TO WRAP CORNER. REFER
TO FLOOR PLAN ON SHEET
A010

6" CONCRETE SLAB
WITH 6X6 W2.9X2.9
WWF - TYP.

#5 BARS AT 10" O.C.

TOP OF GRADE - SEE
CIVIL DRAWINGS

0' - 0" A.F.F.
T.O. SLAB

(4) #5 CONT.

3" CLEAR

1'-4" F.O. CMU

2'-0"

10"

TO F.O. SLAB

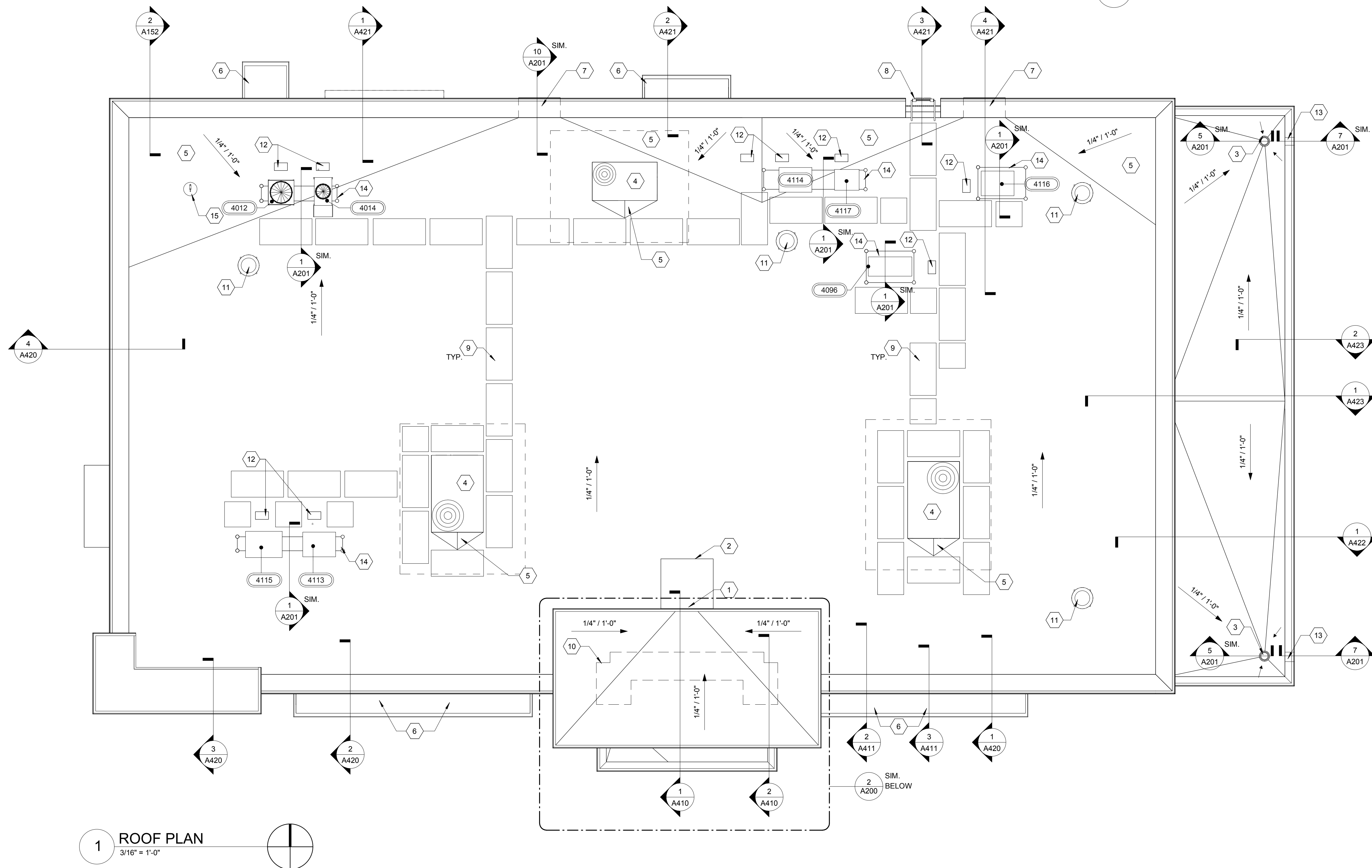
3'-4"

PRELIMINARY DRAWING

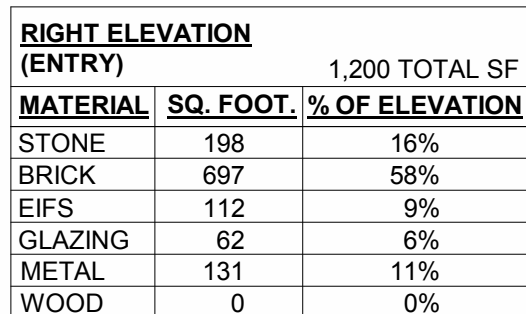




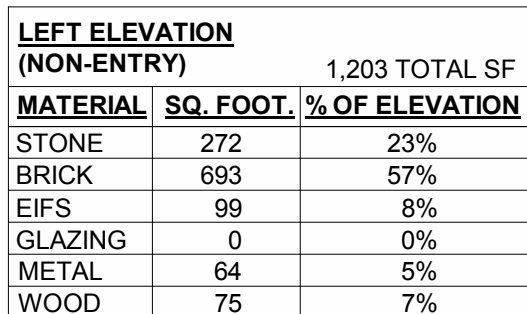
2 LOWER CANOPY PLAN
3/16" = 1'-0"



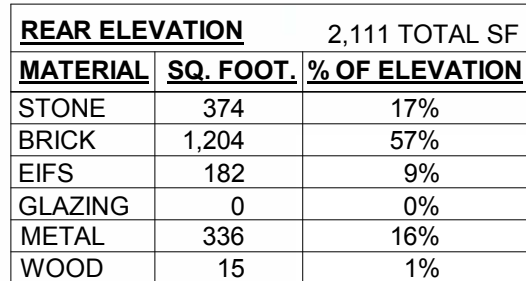
PRELIMINARY DRAWING



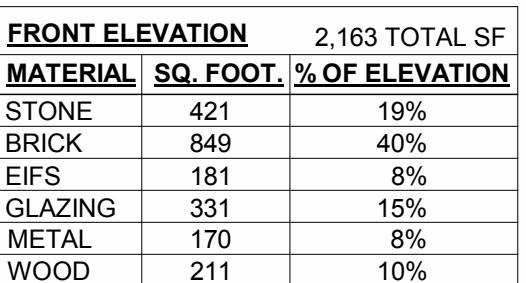
4 RIGHT ELEVATION



3 LEFT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



1 FRONT ELEVATION
3/16" = 1'-0"

<u>ELEVATION</u>	<u>SIGNAGE</u>	<u>DIMENSIONS</u>	<u>AREA</u>
FRONT	RT PARALLELOGRAM	13'-5/8" X 3'-0"	40 SF
	BANNER	7'-8" X 5'-6"	42 SF

EXTERIOR MATERIAL SCHEDULE			
AWNING			
AW-1	-	ALUMINUM AWNING	SELECTED BY RACETRAC
BRICK			
BR-1	BORAL	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
CAST STONE			
CS-1	CONTINENTAL CAST STONE OR APPROVED OTHER	MATCH BORAL TUSCAN LINTEL CHAMPAGNE	COLOR 1102 NATURAL STONE; MORTAR COLOR "LIGHT BUFF"; SEAL WITH (SL-5) SEALANT.
CEMENT BOARD			
HP-1	JAMES HARDIE	ARTISAN V-GROOVE SIDING	PAINT SHERWIN WILLIAMS SEALS-KIN #7675. BLIND FASTEN AND STAGGER PLANKS PER MANUFACTURER'S RECOMMENDATION
EIFS			
EF-1	STO	STO THERM CI	"FINE FINISH" APPLICATION; COLOR TO MATCH SW #6141 "SOFTER TAN"
GLAZING			
GL-5		1-5/16" IMPACT RATED INSULATED LAMINATED GLAZING	CLIMATE ZONES 1 OR 2. IGU AT STOREFRONT 0.28 U-FACTOR. SHGC PF>0.25<0.27 (1/4" CLEAR TEMPERED 70XL LOW-E #2 +1/2" AIR +1/4" CLEAR + 0.90 SG + 1/4" CLEAR) OR APPROVED ALTERNATE.
GL-7		1-5/16" IMPACT RATED ACID ETCHED INSULATED GLAZING	CLIMATE ZONES 1 OR 2. IGU AT STOREFRONT 0.28 U-FACTOR. SHGC PF>0.25<0.27 (1/4" CLEAR TEMPERED 70XL LOW-E #2 +1/2" AIR +1/4" CLEAR SATIN ETCHED #3 + 0.90 SG + 1/4" CLEAR) OR APPROVED ALTERNATE
METAL			
M-1		PREFINISHED 4" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-2		COLOR DARK BRONZE.	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-3	VISTAWALL (OR APPROVED ALTERNATE)	FG-3000 STOREFRONT SYSTEM (OR APPROVED ALTERNATE)	PREFINISHED DARK BRONZE ANODIZED ALUMINUM AA-M12C2A44
M-5	ALCOA	REYNOLBOND PE	COLORWELD 500 "CLASSIC BRONZE"
M-7	VERSATEX	WPA TONGUE AND GROOVE	PAINT SOFTER TAN
M-9		PREFINISHED 2" 2-PIECE COMPRESSION METAL COVER	METAL TO MATCH STOREFRONT COLOR DARK BRONZE
M-10	ALCOA	REYNOLBOND PE	DURAGLOSS 3000 "PROGRAM RED"
PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7020 "BLACK FOX"	
ROOFING			
DURO	DUROLAST	50 MIL MEMBRANE ROOFING SYSTEM	WHITE; MECHANICALLY FASTENED
STACKED STONE			
SS-1	BORAL	ASPEN COUNTRY LEDGESTONE	WET STACK APPLICATION. MORTAR COLOR "LIGHT BUFF"
STONE BAND			
SB-1	BORAL	TUSCAN LINTEL CHAMPAGNE	MORTAR COLOR "LIGHT BUFF"
TREX			
TX-1	SELECT COMPOSITE	1/2" THICKNESS	WOODLAND BROWN
WINDOW FILM			
WF-1		WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM	SEE A600 FOR WINDOW FILM LOCATIONS
WF-2		WINDOW FILM; OPAQUE	SEE A600 FOR WINDOW FILM LOCATIONS

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DESIGN PROFESSIONALS



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& ASSOCIATES

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(770) 431-7600

PROJECT NAME

**GRIFFIN &
40TH**

FLORIDA
3990 GRIFFIN ROAD
HOLLYWOOD, FL 33312

RACETRAC STORE NUMBER

#1365

PROTOTYPE SERIES 5.5K 2.0
2020 RH MO 0113

PLAN MODIFICATION NOTICE

SPB NO. 0113 DATE 02/18/20

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL**PROJECT NUMBER**

PROJECT NUMBER
18.719.00

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A300

PRELIMINARY SUBMITTAL

DESIGN PROFESSIONALS

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ENGINEERING

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ISSUE/REVISION RECORD

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RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SOUTHEAST
SUITE 900
ATLANTA, GEORGIA 30339
(770) 431-7600

PROJECT NAME**GRIFFIN &
40TH**

FLORIDA

**3990 GRIFFIN ROAD
HOLLYWOOD, FL 33312**

RACETRAC STORE NUMBER**RACETRAC STORE NUMBER**

#1365

PROTOTYPE SERIES 5.5K 2.0

2019 RH EX 0105

PLAN MODIFICATION NOTICE

SPB NO. 0105 DATE 02/19/19

STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/ REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED INTO THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL

05/10/1

PROJECT NUMBER
18.719

SHEET TITLE

ROOM FINISH AND MATERIAL SCHEDULES

SHEET NUMBER

A500

PRELIMINARY DRAWING

FINISH SCHEDULE					
ID	MANUFACTURER	MATERIAL	FINISH		COMMENTS
BASE					
B-2	DALTILE	5"X6" QUARRY TEXTURES - ASHEN GRAY - OT03 Q-3565			GROUT G-1
B-10	DALTILE	6"X12" VOLUME 1 - ACCENT BROWN BASE - VL78 P-36C9T			GROUT G-1
B-11	DALTILE	6"X12" VOLUME 1 - ACCENT BROWN BASE CORNER - VL78 P-36C9T			GROUT G-1
CARPET C-1	--	ANTIFATIGUE MAT	-		FURNISHED BY RACETRAC; FLAME SPREAD AND SMOKE DEVELOPMENT TO MEET 'CLASS A'
CEILING					
CL-1	ARMSTRONG	24"x48" #2712 DUNE SECOND LOOK	WHITE		15/16" WHITE GRID; ASTM E84 FLAME SPREAD INDEX 25 OR LESS, SMOKE DEVELOPED INDEX 50 OR LESS.
CL-2	ARMSTRONG	24"x48" #793 GEORGIAN - HIGH WASHABILITY	WHITE		15/16" WHITE GRID; ASTM E84 FLAME SPREAD INDEX 25 OR LESS, SMOKE DEVELOPED INDEX 50 OR LESS.
CL-3	--	GYPSUM BOARD WITH PAINTED FINISH	-		GYPSUM BOARD SELECTED MUST MEET FLAME SPREAD AND SMOKE DEVELOPMENT 'CLASS A'
PAINT					
IP-4	SHERWIN WILLIAMS	7007 CEILING BRIGHT WHITE, BRILLIANCE HIGH PERFORMANCE	FLAT		GYPSUM BOARD SELECTED FOR INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPMENT 'CLASS A'
IP-6	SHERWIN WILLIAMS	7014 EIDER WHITE	HIGH-GLOSS		GYPSUM BOARD SELECTED FOR INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPMENT 'CLASS A'
IP-7	SHERWIN WILLIAMS	7014 EIDER WHITE	SEMI-GLOSS		
IP-10	SHERWIN WILLIAMS	7015 REPOSE GREY	SEMI-GLOSS		
IP-14	SHERWIN WILLIAMS	PMS 485			GYPSUM BOARD SELECTED FOR INTERIOR FINISHES MUST MEET FLAME SPREAD AND SMOKE DEVELOPMENT 'CLASS A'
TILE					
FT-2	DALTILE	6"X6" QUARRY TEXTURES - ASHEN GRAY - OT03			INSTALLED AT 90 DEGREES WITH 3/8" SPACING; GROUT G-1
FT-10	DALTILE	12"X24" VOLUME 1 - ACCENT BROWN - VL78			INSTALL PLANKS IN STRAIGHT STAGGERED PATTERN WITH OVERLAP NOT TO EXCEED 33%; GROUT G-1
WT-5	DALTILE	3"X6" RITTENHOUSE SQUARE - WHITE - 0100			INSTALL TILE IN RUNNING BOND PATTERN; GROUT G-1
WT-7	DALTILE	12"X24" MULTITUDE - ORIGAMI WHITE WAVE - MU16			STRAIGHT LAY TILE PATTERN, 1/8" GROUT LINE; GROUT G-4
WT-9	DALTILE	12"X24" VOLUME 1 - REVERB ASH - VL74			RUNNING BOND PATTERN; GROUT G-2; 3/16" GROUT LINE
WALL CLADDING					
FRP-1	MARLITE	P100 WHITE	WHITE		
WALL COVERING					
WC-1	--	BRAND WALL COVERING - RED	VINYL		MANUFACTURER, PRODUCT LINE, PROVIDED BY RACETRAC; FLAME SPREAD AND SMOKE DEVELOPMENT TO MEET 'CLASS A'
WC-8	--	COOLER WALL COVERINGS - BUBBLES			MANUFACTURER, PRODUCT LINE, PROVIDED BY RACETRAC; FLAME SPREAD AND SMOKE DEVELOPMENT TO MEET 'CLASS A'
WC-9	--	BEERWINE GRAPHIC WALL COVERING			MANUFACTURER, PRODUCT LINE, PROVIDED BY RACETRAC; FLAME SPREAD AND SMOKE DEVELOPMENT TO MEET 'CLASS A'
WC-10	--	COFFEE WALL GRAPHIC WALL COVERING			MANUFACTURER, PRODUCT LINE, PROVIDED BY RACETRAC; FLAME SPREAD AND SMOKE DEVELOPMENT TO MEET 'CLASS A'
WC-11	--	FOOD AREA SOFFIT - NEVAMAR (BAILEY) LAMINATE			MANUFACTURER, PRODUCT LINE, PROVIDED BY RACETRAC; FLAME SPREAD AND SMOKE DEVELOPMENT TO MEET 'CLASS A'
WINDOW FILM					
WF-1		WINDOW FILM; 3M PRESTIGE 70 SOLAR FILM			
WF-2		WINDOW FILM; OPAQUE			SEE A600 FOR WINDOW FILM LOCATIONS
FLASHING/WEEPS					
FL-1	-	STAINLESS STEEL THROUGH WALL FLASHING	COLOR TO MATCH BR-1		INSTALL AT ALL THROUGH WALL FLASHING LOCATIONS AND UNLESS NOTED OTHERWISE
FL-2	-	ANODIZED ALUMINUM SILL FLASHING AND TRIM	ANODIZED BRONZE TO MATCH STOREFRONT		INSTALL AT ALL WINDOW SILL S AND LOCATIONS ADJACENT TO ACM PANELS
WP-1	HOHMANN AND BARNARD, INC.	QV- QUADRO VENT	CLEAR		1/4" WIDTH, SEE SHEET C100. USE FOR EXTERIOR BRICK MORTAR
EXTERIOR SHEATHING					
ES-1	GEORGIA-PACIFIC GYPSUM.	5/8" DENSGLASS EXTERIOR SHEATHING			SCREW SIZE TO MATCH MANUFACTURER SPECIFICATIONS: # 6 x 1/4" BUNGLE HEAD SCREW
ES-2		5/8" EXT. GRADE CDX PLYWOOD SHEATHING: #10 TEKs SCREW @ 6" O.C.			
DENSGLASS SCHEDULE ATTACHMENT CHART	WIND SPEED (MPH)	SCREWS (IN/O.C.)	NOTES: PROJECTS MUST ADHERE TO THE FOLLOWING REQUIREMENTS:		
	115-169	8	1. 5/8" THICK DENSGLASS MINIMUM.		
	170-215	6	2. 18 GAUGE STUD (MIN).		
			3. 16" O.C. STUD SPACING.		
			4. SCREWS DETERMINED BY MANUFACTURER.		
			5. SEE BUILDING WIND DESIGN FOR WIND SPEED.		
			6. WIND SPEED DETERMINED		
MASONRY TIES					
MT-1	HOHMANN & BARNARD, INC.	HB-213 ADJUSTABLE VENEER ANCHOR			BRICK TO STUD
MT-2	HOHMANN & BARNARD, INC.	#170-2X LOX-ALL ADJUSTABLE TRUSS EYE-WIRE LADDER REINFORCEMENT			BRICK TO CMU
MT-3	HECKMAN	POS-I-TIE VENEER ANCHOR			CULTURED STONE VENEER ANCHOR ORIENTED VERTICALLY.
BUILDING INSULATION - BASIS OF DESIGN					
INS-1	JOHNS MANSVILLE	ROOF INSULATION - RIGID INSULATION R-30 FLAME SPREAD 25 OR LESS. SMOKE DEVELOPED OF 0-450			
INS-2	JOHNS MANSVILLE	EXTERIOR WALL INSULATION - BATT INS. R-19 FLAME SPREAD 25 OR LESS			
WEATHER BARRIER					
WB-1	STO	STO GUARD GOLD COAT VAPOR PERMEABLE FLUID-APPLIED WATER BARRIER MEMBRANE WITH PVC STARTER STRIP/WEEP AND METAL FLASHING AS RECOMMENDED BY MANUFACTURER			
GROUT					
G-1	LATICRETE	PERMACOLOR HIGH PERFORMANCE GROUT - #22 MIDNIGHT BLACK			FLOORS AND WALLS
G-2	LATICRETE	PERMACOLOR HIGH PERFORMANCE GROUT - #85 ALMOND			BATHROOMS WALLS
G-4	LATICRETE	PERMACOLOR HIGH PERFORMANCE GROUT - #44 BRIGHT WHITE			YOGURT WALLS
SEALANT					
SL-1	DOW CORNING	#790 SILICONE SEALANT "LIMESTONE"			
SL-2	TREMCO	SPECTREM #3 LOW-MODULUS SILICONE SEALANT "PRECAST WHITE"			USE AT EXPANSION JOINTS
SL-3	DOW CORNING	NEUTRAL CURE "CLEAR"			USE AT ALL EIFS PENETRATIONS
SL-5	PROSOCO SURE KLEAN	WEATHER SEAL SILOXANE PD WATER REPELLENT			USE AT CAST STONE
SL-6	DOW	DOWSIL GENERAL PURPOSE SILICONE SEALANT "CLEAR"			USE AT MOP SINK

