

DEPARTMENT OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at
<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: Jun 11, 2020

Location Address: 1350 Harrison Street

Lot(s): 27,28,29,30 Block(s): 7 Subdivision: Hollywood Lakes

Folio Number(s): 514214011490

Zoning Classification: RS-6 Land Use Classification: Low (5) Residential

Existing Property Use: Residential Sq Ft/Number of Units: 5,839 sqft

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): P.A.C.O. ON 08-14-20

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Historic Preservation Board

Number of units/rooms: N/A Sq Ft: 9,744 sqft total

Value of Improvement: 414,000 Estimated Date of Completion: Dic - 2021

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Chabad of NE Hollywood / Dania Inc

Address of Property Owner: 1295 E Hallandale Beach Blvd, Hallandale Beach 33029

Telephone: (954)394.1884 Fax: _____ Email Address: chabadneh@gmail.com

Name of Consultant/~~Representative~~/Tenant (circle one): Joseph B. Kaller (Architect)

Address: 2417 Hollywood Blvd Telephone: (954) 920.5746

Fax: (954) 926.2841 Email Address: joseph@kallerarchitects.com

Date of Purchase: n/a Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: n/a

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 5/10/18

PRINT NAME: _____

MENACHEM TENENHANS - CHABAD of NE Hollywood Dania Inc

Date: 5/10/18

Signature of Consultant/Representative: _____

Joseph B. Kaller

Date: 5/10/18

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Historic Preservation Review to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Historic Preservation (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 10th day of May 2018

Notary Public

State of Florida

My Commission Expires: _____



(Check One) ☒ Personally known to me; OR ☐ Produced Identification

Signature of Current Owner

MENACHEM TENENHANS

Print Name



Site Address	1350 HARRISON STREET, HOLLYWOOD	ID #	5142 14 01 1490
Property Owner	CHABAD OF NE HOLLYWOOD/DANIA INC	Millage	0513
Mailing Address	1295 E HALLANDALE BEACH BLVD HALLANDALE BEACH FL 33009	Use	01

Abbreviated Legal Description	HOLLYWOOD LAKES SECTION 1-32 B LOT 27 TO 30 BLK 7
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The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

Property Assessment Values					
Click here to see 2015 Exemptions and Taxable Values as reflected on the Nov. 1, 2015 tax bill.					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2016	\$307,370	\$625,070	\$932,440	\$801,810	
2015	\$307,370	\$540,370	\$847,740	\$728,920	\$209.00
2014	\$281,750	\$559,370	\$841,120	\$662,660	\$209.00

2016 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$932,440	\$932,440	\$932,440	\$932,440
Portability	0	0	0	0
Assessed/SOH	\$801,810	\$932,440	\$801,810	\$801,810
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type 30	\$801,810	\$932,440	\$801,810	\$801,810
Taxable	0	0	0	0

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
3/23/2011	DRR-T	\$100	47821 / 608	\$12.00	25,614	SF
3/2/2011	WD-Q	\$700,000	47777 / 1915			
12/20/2010	QCD-T	\$100	47600 / 923			
2/26/2004	QCD	\$100	36970 / 1786			
1/6/1995	QCD	\$100	23043 / 622			
				Adj. Bldg. S.F. (Card, Sketch)		5171
				Units/Beds/Baths		1/5/4

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
R								
1								



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Not For Profit Corporation

CHABAD OF NORTH EAST HOLLYWOOD/DANIA, INC.

Filing Information

Document Number N04000009280
FEI/EIN Number 76-0767520
Date Filed 09/28/2004
State FL
Status ACTIVE

Principal Address

1295 E. HALLANDALE BEACH BLVD.
HALLANDALE, FL 33009

Changed: 04/12/2016

Mailing Address

1295 E. HALLANDALE BEACH BLVD.
HALLANDALE, FL 33009

Changed: 04/12/2016

Registered Agent Name & Address

TENNENHAUS, MENACHEM MRABBI
1295 EAST HALLANDALE BEACH BLVD
HALLANDALE BEACH, FL 33009

Address Changed: 01/15/2008

Officer/Director Detail

Name & Address

Title PD

TENNENHAUS, MENACHEM MRABBI
1295 E HALLANDALE BEACH BLVD
HALLANDALE BEACH, FL 33009

Title D

TENNENHAUS, NECHAMA D
1350 HARRISON STREET
HOLLYWOOD, FL 33019

Title D

TENNENHAUS, RAPHAEL RABBI
813 DIPLOMAT PARKWAY
HALLANDALE BEACH, FL 33009

Annual Reports

Report Year	Filed Date
2017	01/12/2017
2018	03/08/2018
2019	02/08/2019

Document Images

02/08/2019 -- ANNUAL REPORT	View image in PDF format
03/08/2018 -- ANNUAL REPORT	View image in PDF format
01/12/2017 -- ANNUAL REPORT	View image in PDF format
01/25/2016 -- ANNUAL REPORT	View image in PDF format
02/02/2015 -- ANNUAL REPORT	View image in PDF format
01/14/2014 -- ANNUAL REPORT	View image in PDF format
01/02/2013 -- ANNUAL REPORT	View image in PDF format
01/05/2012 -- ANNUAL REPORT	View image in PDF format
01/12/2011 -- ANNUAL REPORT	View image in PDF format
02/16/2010 -- ANNUAL REPORT	View image in PDF format
01/15/2009 -- ANNUAL REPORT	View image in PDF format
01/15/2008 -- ANNUAL REPORT	View image in PDF format
01/18/2007 -- ANNUAL REPORT	View image in PDF format
01/05/2006 -- ANNUAL REPORT	View image in PDF format
02/02/2005 -- ANNUAL REPORT	View image in PDF format
09/28/2004 -- Domestic Non-Profit	View image in PDF format

LEGAL DESCRIPTION

LOTS 27, 28, 29, AND 30, BLOCK 7, "HOLLYWOOD LAKES SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:
CHABAD OF NORTHEAST HOLLYWOOD/DANIA INC.
A FLORIDA NON PROFIT CORPORATION

PROPERTY ADDRESS
1350 HARRISON STREET
HOLLYWOOD, FL 33020

BOUNDARY SURVEY
INVOICE # 35384U3
SURVEY DATE 02/17/11
UPDATED SURVEY DATE 03/17/15
UPDATED SURVEY DATE 07/26/16
UPDATED SURVEY DATE 10/25/16

FLOOD ZONE AE-6.0'
MAP DATE 08/18/14
MAP NUMBER 125113 0569H

ABBREVIATIONS
BC BUILDING CORNER
BW BACK OF WALL
C CALCULATED
M MEASURED
N.T.S. NOT TO SCALE
E/F END OF FENCE
EP EDGE OF PAVEMENT
EW EDGE OF WATER
F/C FENCE CORNER
F/L FENCE LINE
FIP FOUND IRON PIPE
FIR FOUND IRON ROD
OP OPEN PORCH

SURVEYOR'S NOTES
1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
10. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.



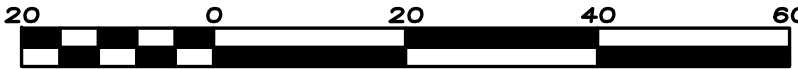
Paul J. Stowell
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 5241
ATLANTIC COAST SURVEYING, INC.
6129 STIRLING RD SUITE 2 DAVIE, FLORIDA 33314
OFFICE: 954.587.2100 FAX: 954.587.5418

ABBREVIATIONS
ORB OFFICIAL RECORDS BOOK
PC POINT OF CURVATURE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PG PAGE
PRC POINT OF REVERSE CURVE
PRM PERMANENT REFERENCE MONUMENT
PT POINT OF TANGENCY
FN FOUND NAIL
FN&D FOUND NAIL & DISC
FP&L FLORIDA POWER AND LIGHT RECORD
RAD RADIAL
SN&D SET NAIL & DISC # 5495
SP SCREENED PORCH
SP&C SET 1/2" PIN & CAP # 5495

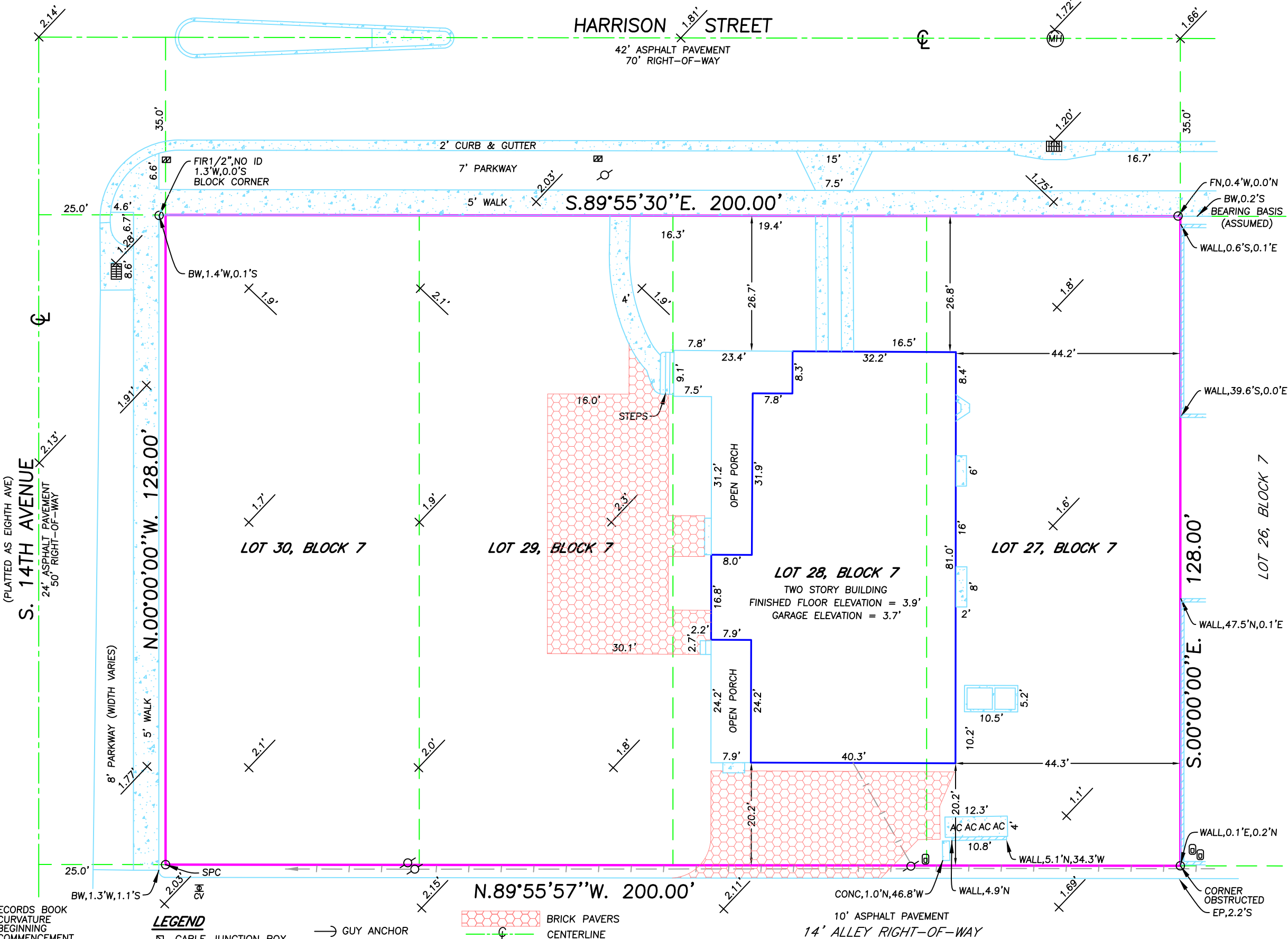
LEGEND
CABLE JUNCTION BOX
CATCH BASIN
CLEAN OUT
CONTROL VALVE
ELECTRIC SERVICE
FIRE HYDRANT
FP&L PAD
GUY ANCHOR
MANHOLE
POOL EQUIPMENT
POWER/LIGHT POLE
SPRINKLER SYSTEM
WATER METER
WATER VALVE
WELL

BRICK PAVERS
CENTERLINE
CONCRETE/CHAT
CONCRETE WALL
ELEVATION
METAL FENCE
OVERHEAD WIRES
WOOD DECK/DOCK
WOOD FENCE

BENCHMARK OF ORIGIN:
BROWARD COUNTY ENGINEERING
DEPARTMENT BENCHMARK #1915
ELEVATION = 1.67' (NAVD 88)



Scale 1" = 20'



U.S. DEPARTMENT OF HOMELAND SECURITY
FEDERAL EMERGENCY MANAGEMENT AGENCY
National Flood Insurance Program

ELEVATION CERTIFICATE

IMPORTANT: FOLLOW THE INSTRUCTIONS ON PAGES 8-15

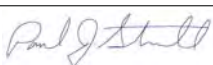
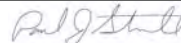
OMB Control Number: 1660-0008
Expiration: 11/30/2018

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name CHABAD OF NORTH EAST HOLLYWOOD/DANIA, INC.				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 HARRISON STREET				Company NAIC Number:	
City HOLLYWOOD		State FL		Zip Code 33020	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 27, 28, 29, 30, BLOCK 7, HOLLYWOOD LAKES SECTION, PB 1, PG 32, BCR					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL					
A5. Latitude/Longitude: Lat. 26°03'08" Long. 80°08'03" Horizontal Datum: <input type="radio"/> NAD 1927 <input checked="" type="radio"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number 1B					
A8. For a building with a crawlspace or enclosure(s):			A9. For a building with an attached garage:		
a) Square footage of crawlspace or enclosure(s) NA sq ft			a) Square footage of attached garage 200 sq ft		
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade NA			b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0		
c) Total net area of flood openings in A8.b NA sq in			c) Total net area of flood openings in A9.b 0 sq in		
d) Engineered flood openings? <input type="radio"/> Yes <input checked="" type="radio"/> No			d) Engineered flood openings? <input type="radio"/> Yes <input checked="" type="radio"/> No		
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number HOLLYWOOD 125113			B2. County Name BROWARD		B3. State FLORIDA
B4. Map/Panel Number 12011C 0569	B5. Suffix H	B6. FIRM Index Date 08-18-14	B7. FIRM Panel Effective/ Revised Date 08-18-14	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 6
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="radio"/> FIS Profile <input checked="" type="radio"/> FIRM <input type="radio"/> Community Determined <input type="radio"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="radio"/> NGVD 1929 <input checked="" type="radio"/> NAVD 1988 <input type="radio"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="radio"/> Yes <input checked="" type="radio"/> No Designation Date: NA <input type="radio"/> CBRS <input type="radio"/> OPA					
SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)					
C1. Building elevations are based on: <input type="radio"/> Construction Drawings* <input type="radio"/> Building Under Construction* <input checked="" type="radio"/> Finished Construction * A new Elevation Certificate will be required when construction of the building is complete.					
C2. Elevations: Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.					
Benchmark Utilized: CITY OF HOLLYWOOD BM Vertical Datum: NAVD 1988					
Indicate elevation datum used for the elevations in items a) through h) below. <input type="radio"/> NGVD 1929 <input checked="" type="radio"/> NAVD 1988 <input type="radio"/> Other/Source: _____					
Datum used for building elevations must be the same as that used for the BFE.					
Check the measurement used.					
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)		3 . 9	<input checked="" type="radio"/> feet <input type="radio"/> meters		
b) Top of the next higher floor		NA . _____	<input type="radio"/> feet <input type="radio"/> meters		
c) Bottom of the lowest horizontal structural member (V Zones only)		NA . _____	<input type="radio"/> feet <input type="radio"/> meters		
d) Attached garage (top of slab)		3 . 7	<input checked="" type="radio"/> feet <input type="radio"/> meters		
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)		2 . 5	<input checked="" type="radio"/> feet <input type="radio"/> meters		
f) Lowest adjacent (finished) grade next to building (LAG)		2 . 0	<input checked="" type="radio"/> feet <input type="radio"/> meters		
g) Highest adjacent (finished) grade next to building (HAG)		2 . 6	<input checked="" type="radio"/> feet <input type="radio"/> meters		
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support		NA . _____	<input type="radio"/> feet <input type="radio"/> meters		

ELEVATION CERTIFICATE, page 2

 OMB Control Number: 1660-0008
 Expiration: 11/30/2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.				FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 HARRISON STREET				Policy Number:	
City HOLLYWOOD		State FL		Zip Code 33020	
				Company NAIC Number:	
SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION					
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. <i>I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.</i>					
<input checked="" type="checkbox"/> Check here if attachments.			Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="radio"/> Yes <input type="radio"/> No		
Certifier's Name PAUL J. STOWELL			License Number 5241		
Title PROFESSIONAL SURVEYOR		Company Name ATLANTIC COAST SURVEYING, INC.			
Address 6129 STIRLING ROAD STE. 2		City DAVIE		State FL	
Zip Code 33314		Telephone 954-587-2100			
Signature 		Date 07/26/16		5241 07/26/16	
Copy all pages of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.					
Comments (including type of equipment and location, per C2(e), if applicable) JOB# 35384. Machinery is A/C in section C2E. Flood determination is based solely on F.I.R.M. provided by F.E.M.A. No research was done in regards to L.O.M.R./L.O.M.A documents. We do not accept responsibility for insurance premiums based on Elevation Certificates.A5 Obtained by hand held gps unit.					
Signature 				Date 07/26/16	
SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)					
For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.					
E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).					
a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ <input type="radio"/> feet <input type="radio"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.					
b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ <input type="radio"/> feet <input type="radio"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the LAG.					
E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ <input type="radio"/> feet <input type="radio"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.					
E3. Attached garage (top of slab) is _____ . _____ <input type="radio"/> feet <input type="radio"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.					
E4. Top of platform of machinery and /or equipment servicing the building is _____ . _____ <input type="radio"/> feet <input type="radio"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.					
E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? <input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Unknown. The local official must certify this information in Section G.					
SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION					
The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.					
Property Owner or Owner's Authorized Representative's Name					
Address		City		State	
				ZIP Code	
Signature		Date		Telephone	
Comments					
<input type="checkbox"/> Check here if attachments.					

ELEVATION CERTIFICATE, page 3

OMB Control Number: 1660-0008
Expiration: 11/30/2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.		FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 HARRISON STREET		Policy Number:	
City HOLLYWOOD	State FL	Zip Code 33020	Company NAIC Number:
SECTION G - COMMUNITY INFORMATION (OPTIONAL)			
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8-G10. In Puerto Rico only, enter meters.			
G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.) G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO. G3. <input type="checkbox"/> The following information (Items G4-G10) is provided for community floodplain management purposes.			
G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued	
G7. This permit has been issued for: <input type="radio"/> New Construction <input type="radio"/> Substantial Improvement			
G8. Elevation of as-built lowest floor (including basement) of the building: _____ . _____ <input type="radio"/> feet <input type="radio"/> meters Datum _____ G9. BFE or (in Zone AO) depth of flooding at the building site: _____ . _____ <input type="radio"/> feet <input type="radio"/> meters Datum _____ G10. Community's design flood elevation: _____ . _____ <input type="radio"/> feet <input type="radio"/> meters Datum _____			
Local Official's Name		Title	
Community Name		Telephone	
Signature		Date	
Comments (including type of equipment and location, per C2(e), if applicable)			
<input type="checkbox"/> Check here if attachments.			

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 HARRISON STREET			Policy Number:	
City HOLLYWOOD	State FL	Zip Code 33020	Company NAIC Number:	

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front view" and Rear view"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 HARRISON STREET			Policy Number:
City HOLLYWOOD	State FL	Zip Code 33020	Company NAIC Number:

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View" and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Permit # _____

05.04.18

Date: _____

LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

1. 128' X 200' = 25,600 SQUARE FEET OF YOUR LOT (length x width)
2. 3,208 sqft SQUARE FEET OF YOUR HOUSE
3. 3,002 (GROUND) SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
4. 3,190 (GROUND) SQUARE FEET OF THE ADDITION, AND OR...
5. 1,250 sqft SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC.
6. 10,650 sqft TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3+ 4+ 5)...
7. 0.4160 % PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)



KallerArchitecture

August 05, 2019

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:
1350 Harrison Street
Hollywood, Florida
Architect's Project #09160

CRITERIA OF APPROPRIATENESS FOR DESIGN 1350 Harrison Street - Chabad of Hollywood.

CRITERION: INTEGRITY OF LOCATION

The property is in the Historic District in a prominent corner of Harrison street and 14th av located at 1350 Harrison St, originally built in 1925 as a Temple Methodist Episcopal Church, between 1930's and 1940's stood empty after National depression and became an attractive "ruin" to locals. It sits on mainly renovated single-family homes along Harrison street. The Site has a frontage of 200'-0" which makes it one of the widest properties in the block.

CRITERION: SETTING

The setting of the existing Single-family Residence is typical to most of the homes in the Hollywood Lakes Section with long front yards and concrete sidewalks for pedestrian access to the homes. The property is located on the South East corner of Harrison street and 14th av.

CRITERION: MATERIALS

All materials to be used in the proposed Addition will be carefully selected not only in quality but also in color and texture as well, this will allow a harmonious contrast of the Addition with the existing building and the surrounding properties making it one of its kind in the historic District.

CRITERION: ASSOCIATION

The Addition to the existing building has been designed to be a contemporary addition to contrast with the existing neoclassical - Colonial style. The new proposed angled concrete columns resemble the original intent of the colonnade integrating them to a narrow window pattern creating a continuation in rhythm to the originals columns making it consistent with the original design built in 1925.

All the windows will be replaced for new impact resistant windows and the house will be painted throughout with colors selected from the City of Hollywood color chart. The new proposed landscape will be an improvement not only to the existing house but to the neighborhood, surrounding properties and Harrison street.

CRITERION: WORKMANSHIP

Workmanship on the proposed Addition will be a guaranty that all State and Local regulations are to be upheld. Proper barricading will be provide during the demolition and construction work. All practices will meet or exceed requirements of the Florida Building Code 2017, 6th edition and the State of Florida Department of Environmental Protection.

Should you have any questions, please feel free to contact this office.

Sincerely.

Giovanni Muñoz

NCARB – NAR – AIA assoc. | Associate



KallerArchitecture

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Nov 22nd, 2019

Re:
1350 Harrison Street
Hollywood, Florida
Architect's Project #09160

PARKING REQUIREMENT VARIANCE REVIEW

Required 43 PARKING SPACES
Provided 40 PARKING SPACES

1350 Harrison Street – Chabad of Hollywood.

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS: In order to maintain the residential look and feel a total green area of 61' x 128' To the west of the property is kept and will be used to accommodate the overflow parking tandem of 28 parking spaces. The remainder parking spaces will be on pavers up against the building at a 90 Degree angle and the 3 existing parking spaces on the alley side.

The parking count calculation is based on the combined Sanctuary with the multi-use room adjacent to it, the area breakdown is As follows: 1) Sanctuary = 1,073 sqft and 2) Multi-use room 1,186 sqft. The entire year the sanctuary will be the main area of service, but only during the high holidays which they cannot drive the removable wall dividing both spaces will open allowing for a larger space In order to accommodate all of the members combining both rooms into one. This triggers the parking requirement to 43 spaces combined commercial and residential, For a total of 2,259 ft.² For the main room.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The variance being requested will not affect the current use of the property and the proposed improvements to the property which will provide the parking within site with overflow parking during the high holidays with valet service, since the request is only 3 parking spaces the street parking provides more than sufficient to comply with the minimum parking requirements without affecting the community.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

ANALYSIS: The vast majority of the parking spaces are provided within the property itself in the event that more attendees are coming due to a high holiday or a special event that allows driving, the surrounding neighborhood provides sufficient Public parking to accommodate the

excess of cars in the eventuality that this happens, The intent of having pavers up against the Structure is to have the green landscape be the prominent Area to keep the residential neighborhood feel throughout the entire property

CRITERION 4: That the need for the requested Variance is not economically based or self-imposed.

ANALYSIS: The requested variance is not economically based or self-imposed. It is a variance request born out of the temporary high holidays opening the removable wall that increase the service area to 2,259 sqft on special holidays only.

Should you have any questions, please feel free to contact this office.

Sincerely,

Giovanni Muñoz
NCARB – NAR – AIA assoc. | Associate



KallerArchitecture

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Nov 22nd, 2019

Re:
1350 Harrison Street
Hollywood, Florida
Architect's Project #09160

PERIMETER WALL HEIGHT VARIANCE REVIEW

Required/Allowed height on Harrison St 4'-0"
Requested/Provided height on Harrison St 6'-0"

1350 Harrison Street – Chabad of Hollywood.

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS: The perimeter wall height variance is triggered by the recent recommendations from Homeland Security in regards to religious institutions to prevent recent terrorist attacks making it a priority to reinforce the security in the perimeter of the property, raising the allowed 4'-0" in the front to 6'-0" height to match the wall height on all 4 sides, in addition to: reinforced windows, security cameras and such, where the extra 2 feet in height being requested will help to maintain the same consistency look on Harrison St as the adjacent neighbor to the east, has a higher wall than permitted by code, the continuity of appearance will be maintained at 6'-0" in-lieu of 4'-0".

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The variance being requested will not affect the current use of the property and the proposed improvements to the property which will provide a better contiguous appearance context to all of the surrounding single family homes specifically to the properties on Harrison St to the east and aligning the wall height to make it compatible to what is already built by the adjacent neighbor.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

ANALYSIS: In order to truly preserve the specialness of the historic homes, it is important that any proposed improvement of existing homes respects the scale, height, and rhythm and the style itself matches the structure style, the proposed perimeter wall is consistent in the same height of 6'-0" throughout. These are the objectives of the City of Hollywood's Comprehensive Plan and the Hollywood's Design Guidelines for historic properties preserving the past while allowing the future to be expressed combining the creative addition with a more classical look perimeter wall that resembles what the Historic Lake District is about.

CRITERION 4: That the need for the requested Variance is not economically based or self-imposed.

ANALYSIS: The requested variance is not economically based or self-imposed. It is a variance request born out of a social and communal security to the members and residents of 1350 Harrison st / Chabad of Hollywood, which, the variance request does not harm the character of the street, in the contrary, it maintains a consistency throughout the property itself and the adjacent neighbor to the east in this prominent corner giving it a continuity appeal trough all sides.

Should you have any questions, please feel free to contact this office.

Sincerely,

Giovanni Muñoz
NCARB – NAR – AIA assoc. | Associate



KallerArchitecture

August 05, 2019

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

Re:
1350 Harrison Street
Hollywood, Florida
Architect's Project #09160

**SIDE AND FRONT SETBACK VARIANCE REVIEW
1350 Harrison Street – Chabad of Hollywood.**

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city.

ANALYSIS:

The setback variance is triggered by a change of use making it more restrictive almost physically impossible to develop the project which is the main reason the setback variance being requested to reduce the side setback to the east from the required 25'-0" to be 7'-6" to the east. (supporting letter from the eastern most affected neighbor attached) and the front setback requirement from 50'-0" to be 25'-2" where the existing house is at today. As identified on sheet A-9 (1,2&3) Street Profiles, the proposed addition will not affect the stability and appearance of the City, on the contrary, the proposed improvements to the property will provide a substantially improved street view.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The variance being requested will not affect the current use of the property and the proposed improvements to the property which will provide a better contiguous setback context

to all of the surrounding single family homes and the existing structure itself as it will be aligned with it making it a cohesive structure from the street.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city

ANALYSIS:

This Historic Lakes District showcases many styles of architecture, each of these represents a certain time in the early 1900's and each brings a special characteristic to the district. In order to truly preserve the specialness of the historic homes, it is important that any proposed improvement of existing homes respect the scale, height, and rhythm of fenestration that the setback which the surrounding historic homes provide. These are the objectives of the City of Hollywood's Comprehensive Plan and the Hollywood's Design Guidelines for historic properties preserving the past while allowing the future to be expressed in a creative way like this addition itself making it an iconic addition to the inventory of the Historic Lake District.

CRITERION 4: That the need for the requested Variance is not economically based or self-imposed.

ANALYSIS:

The requested variance is not economically based or self-imposed. It is a variance request born out of a social and communal responsibility to its neighbors, which the Chabad of Hollywood has decided to officially convert the Rabbi's current home into a place of worship and still maintaining the Rabbi's home in premises keeping the scale of the existing structure and surrounding neighborhood. The variance request does not harm the character of the street, in the contrary, it enhances the curb appeal of such prominent corner and the History that its original structure carries.

Should you have any questions, please feel free to contact this office.

Sincerely,

Giovanni Muñoz

NCARB – NAR – AIA assoc. | Associate



KallerArchitecture

City of Hollywood
2019
2600 Hollywood Boulevard
Hollywood, Florida 33020

August 05,

Re:
1350 Harrison Street
Hollywood, Florida
Architect's Project #09160

SPECIAL EXCEPTION CRITERIA
1350 Harrison Street - Chabad of Hollywood.

CRITERIA 1: The Proposed use must be consistent with the principals of the City's Comprehensive Plan.

ANALYSIS: The site is located at 1350 Harrison Street. It is in the Residential Single-Family District of RS-6 and is currently the home of Rabbi Mendy Tennanhaus and his wife and 7 children whom have had a tremendous positive impact in the community for the last decade. Through the years, the current home has hosted numerous events and social gatherings making it the perfect place for an expansion of the existing home to convert it into a Synagogue inclusive of the existing Single-Family dwelling unit, which will service the surrounding neighborhood of Hollywood and Dania naming it "Chabad of North East Hollywood and Dania".

The proposed use consists of a total addition of 5,839 sqft divided in two uses in two separate floors. Ground level addition 3,194 sqft which consists of a small Sanctuary and a Multipurpose room and restroom facilities. The second-floor addition will be a

residential expansion of 1,993 sqft of the existing home, adding 5 bedrooms and 3 bathrooms with a roof top area for private use of the Rabbi's family.

CRITERIA 2: The Proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.

ANALYSIS: The original intent of the site was a Church built in 1925. After almost a century standing, multiple adjustments from past owner needs and after being abandoned in the mid 1930's it became a single-family dwelling unit today. The proposed use of place of Worship is consistent with the existing and original intent of the structure and the future use patterns of the vicinity such as other places of worship on the same street previously approved. An example is 1542 Harrison street just 900'-0" to the west where a Romanian Baptist Church presently as a house of worship which is compatible with the existing lands use pattern.

CRITERIA 3: That there will be provisions for save traffic movement, both vehicular and pedestrian, both internal to the use and in the area, which will serve the use.

ANALYSIS: All provision for ease of pedestrian and vehicular movement to and from and within the site itself have been made. Designated area for accessible parking, and a one-way vehicular traffic flow have been incorporated into the site plan. The required parking has been provided to comply with parking count requirements containing it within the site, even though, the Synagogue is an Orthodox Judaism sect which does not allow driving or used of motorized vehicles during Sabbath, parking has been accommodated with no variances. With that said, pedestrian access will be the majority of the movement in / out of the building and a large paver walkway was proposed on the northern side of the existing building to celebrate the access from the walkway in to the original building's entrance through the front cover colonnade leading to the Synagogues new entrance giving a meaningful integration to the colonnade.

CRITERIA 4: That there are setbacks, buffering and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.

ANALYSIS: The proposed addition change of use sits on a residential district which calls for a minimum residential setback of: 7'-6" to the east and 25'-2" to the north which are being maintained. However due to the change of use from Residential to Commercial, the setbacks requirements increased from 7'-6" to 25'-0" on the east and from 50'-0" to 25'-0" which triggers a setback variance, justification attached. The required landscape buffers are being maintained throughout the entire property, additionally a perimeter wall complying with the required maximum height will add extra security to the synagogue yet enhancing the surrounding properties by making this wall an architectural feature detailed on sheet SP-3 & SP-4.

CRITERIA 5: The Proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.

ANALYSIS: The proposed use of a Synagogue will not be detrimental to the neighborhood, as this was the original intent as a house of worship back in 1925 and though the years became a single family home in ownership of a Rabbi who's got the vision to rehab and re-shape the existing building bringing back its original condition and add a contemporary addition that will create and identity, a unique landmark due to its history and proposed addition, converting his own home in to a Sanctuary to serve the surrounding neighborhood.

CRITERIA 6: The subject parcel must be adequate in shape and size to accommodate the proposed use.

ANALYSIS: The large size, location and shape of the proposed site perfectly suits the proposed use as this was the original intent of the building. The structure sits on a 200'-0" wide lot and accommodates perfectly the number of parking spaces required for such use and the addition itself, considering the fact the religion prohibits motorized during Sabbath the parking use and the required parking is adequate to accommodate the minimum required by code.

CRITERIA 7: The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the Zoning Classification in which such use is proposed to be located and all other requirements for such particular use set forth elsewhere in the Zoning Code, or otherwise adopted by the City Commission.

ANALYSIS: The proposed use is consistent with the definition of Special Exception. The Rehab of the original structure brings back the identity and intent of such, which is consistent with the principals of City's Comprehensive plan which proposes to benefit the physical environment of human activities.

Sincerely.

Giovanni Muñoz

NCARB – NAR – AIA assoc. | Associate

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

To whom it may concern,

I, Anthony Rolon & my family, live at 1340 Harrison Street, Hollywood Florida, on the property directly east of the Chabad Property on 1350 Harrison Street.

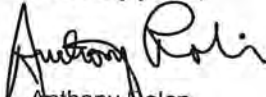
Rabbi Mendy Tennenhaus, Endi & his 7 children have been neighbors since 2011. They are terrific neighbors and we have only had great experiences with them & their Chabad.

The Rabbi showed us the plans to extend the existing building towards our house. We are in full support of their project and are willing to waive the setback requirements up to 7 ft of our property line. The upgrades to the building as proposed will bring back the original entrance and beautify the rest of the property and our Hollywood Lakes neighborhood. We wish them all the best with the project and encourage the City to also give them its support.

If I can provide any additional information, please feel free to reach me directly at 305-498-1505 or at anthony.rolon@gmail.com.

Thank you for your consideration.

Sincerely yours,



Anthony Rolon

COMBINED BOARD

CHABAD OF HOLLYWOOD

1350 HARRISON STREET
HOLLYWOOD FL 33019

PROJECT DATA

LEGAL DESCRIPTION:
HOLLYWOOD LAKES SECTION I-32 B LOT 21 TO 30 BLK 1

JURISDICTION:
CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

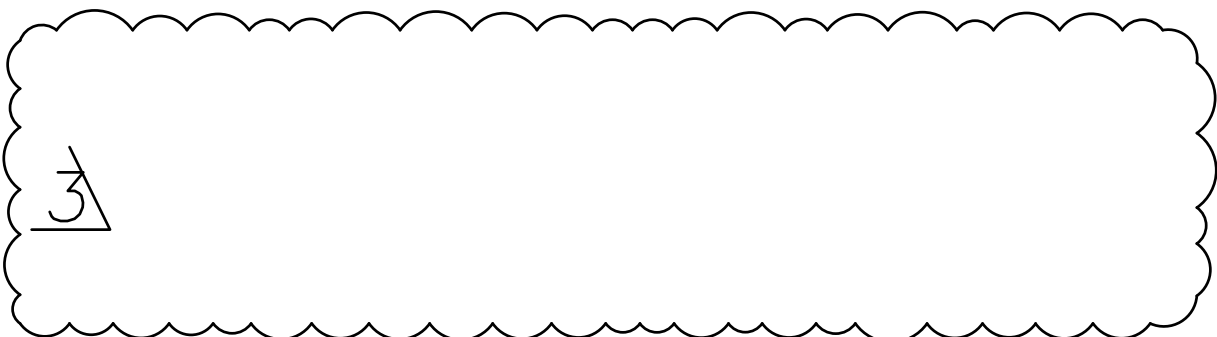
PROPERTY ADDRESS:
1350 HARRISON STREET
HOLLYWOOD, FL 33019

FLOOD ZONE:
AE 6 FT NAVD88

ELEVATION



NOT USED



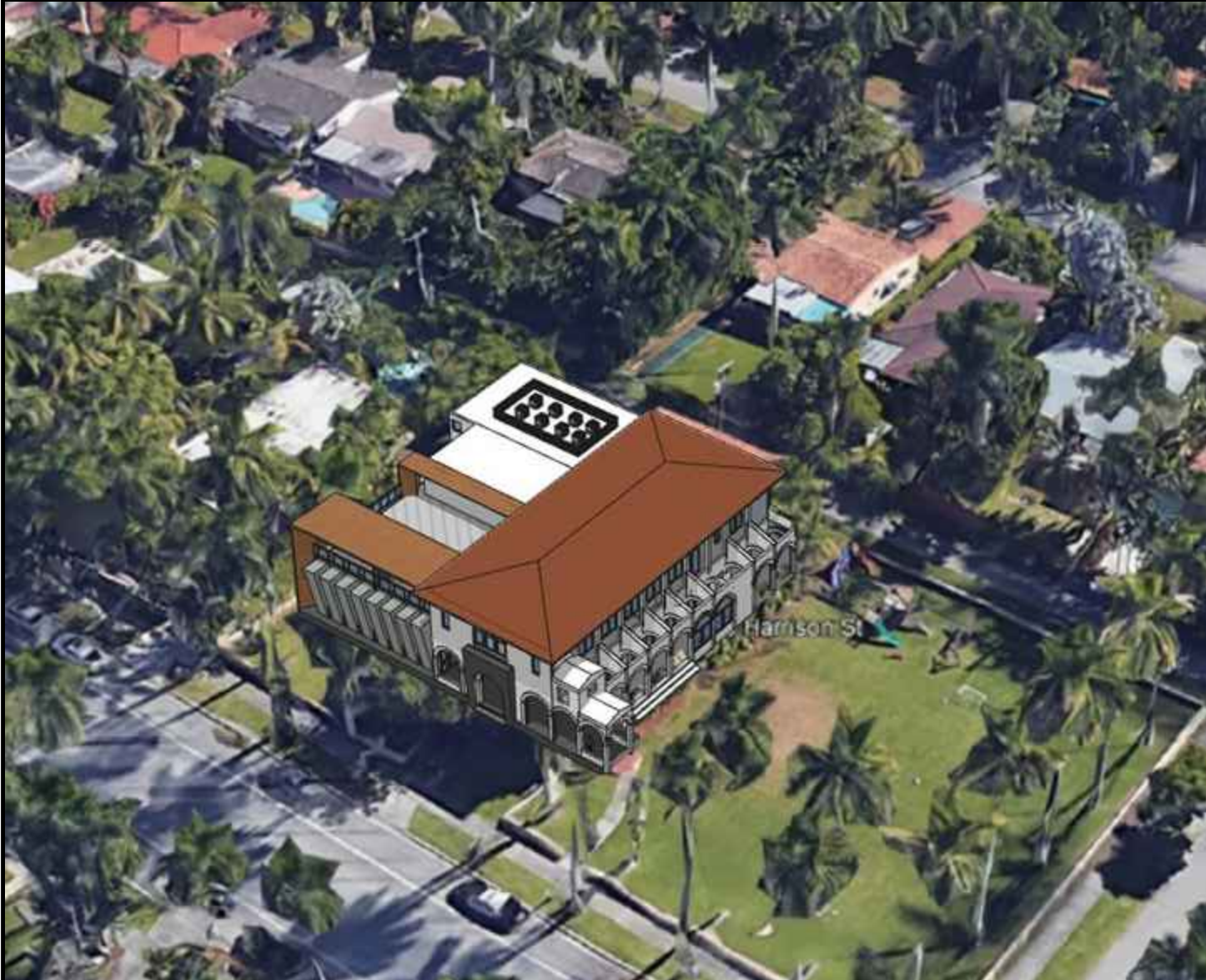
MEETING DATES

PRELIMINARY TAC MEETING DATE : APRIL 4 / 19

FINAL TAC MEETING DATE : SEP 09 / 19

PLANNING AND ZONING MEETING DATE : TBD

3D SITE PLAN



1350 HARRISON STREET
HOLLYWOOD FL
33019



DRAWING INDEX

T-1.0 COVER SHEET

S-VY SURVEY

LE-1 EXISTING LANDSCAPE PLAN
LP-1 LANDSCAPE PLAN

C-1 EROSION AND SEDIMENT CONTROL
C-2 PAVING, GRADING AND DRAINAGE PLAN
C-3 DETAILS

SP-D EXISTING SITE PLAN
SP-1 PROPOSED SITE PLAN
SP-2 SITE DETAILS
SP-3 PERIMETER WALL DETAILS
SP-4 PERIMETER WALL DETAILS

A-1 FIRST FLOOR PLAN
A-2 SECOND FLOOR PLAN
A-3 ROOF PLAN
A-4 PERSPECTIVES
A-5 NORTH ELEVATION (EXISTING & PROPOSED)
A-6 WEST ELEVATION (EXISTING & PROPOSED)
A-7 SOUTH ELEVATION (EXISTING & PROPOSED)
A-8 EAST STREET ELEVATION
A-9 STREET PROFILE
A-10 PHOTOGRAPHS OF ADJACENT NEIGHBORS
A-11 PHOTOGRAPHS OF EXISTING STRUCTURE

PROJECT TEAM

OWNER:
CHABAD OF HOLLYWOOD/DANIA, INC.
ADDRESS: 1350 HARRISON STREET
HOLLYWOOD FL FL 33019

MAILING ADDRESS: 1295 E HALLANDALE
BEACH BLVD,
HALLANDALE BEACH, FL 33009

ARCHITECT:
JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2417 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33019
PHONE: (954) 320-5146
FAX: (954) 326-2841
EMAIL: joseph@kallerarchitects.com

SURVEYOR:
COUSINS SURVEYORS AND ASSOCIATES, INC.
CONTACT: RICHARD COUSINS
ADDRESS: 3921 SW 4TH AVE
DAVIE, FL 33314
PHONE: (954) 689-1166
FAX: (954) 689-1199
EMAIL: office@csasurvey.net

CIVIL:
GATOR ENGINEER ASSOCIATES, INC.
CONTACT: REGINA BOBOJACKSON
ADDRESS: 1390 TEMPLE STREET
COOPER CITY, FL 33330
PHONE: 954.434.5905
FAX: 954.434.5904
EMAIL: gator-ec@bellsouth.net

LANDSCAPE:
TONING AND ASSOCIATES, INC.
CONTACT: WAYNE TONING
ADDRESS: 4855 NW 92 TERRACE
CORAL SPRINGS
FL 33067
PHONE: 561.414.8269
EMAIL: WTONING@TONINGANDASSOCIATES.COM

SITE DATA

FLORIDA BUILDING CODE 2011 6th EDITION
FLORIDA BUILDING CODE RESIDENTIAL 2011 6th EDITION
NFPA 101, LIFE SAFETY CODE, 2011 EDITION
NFPA 1, FIRE CODE, 2011 6th EDITION
CITY OF HOLLYWOOD ZONING CODE

BUILDING INSULATION:

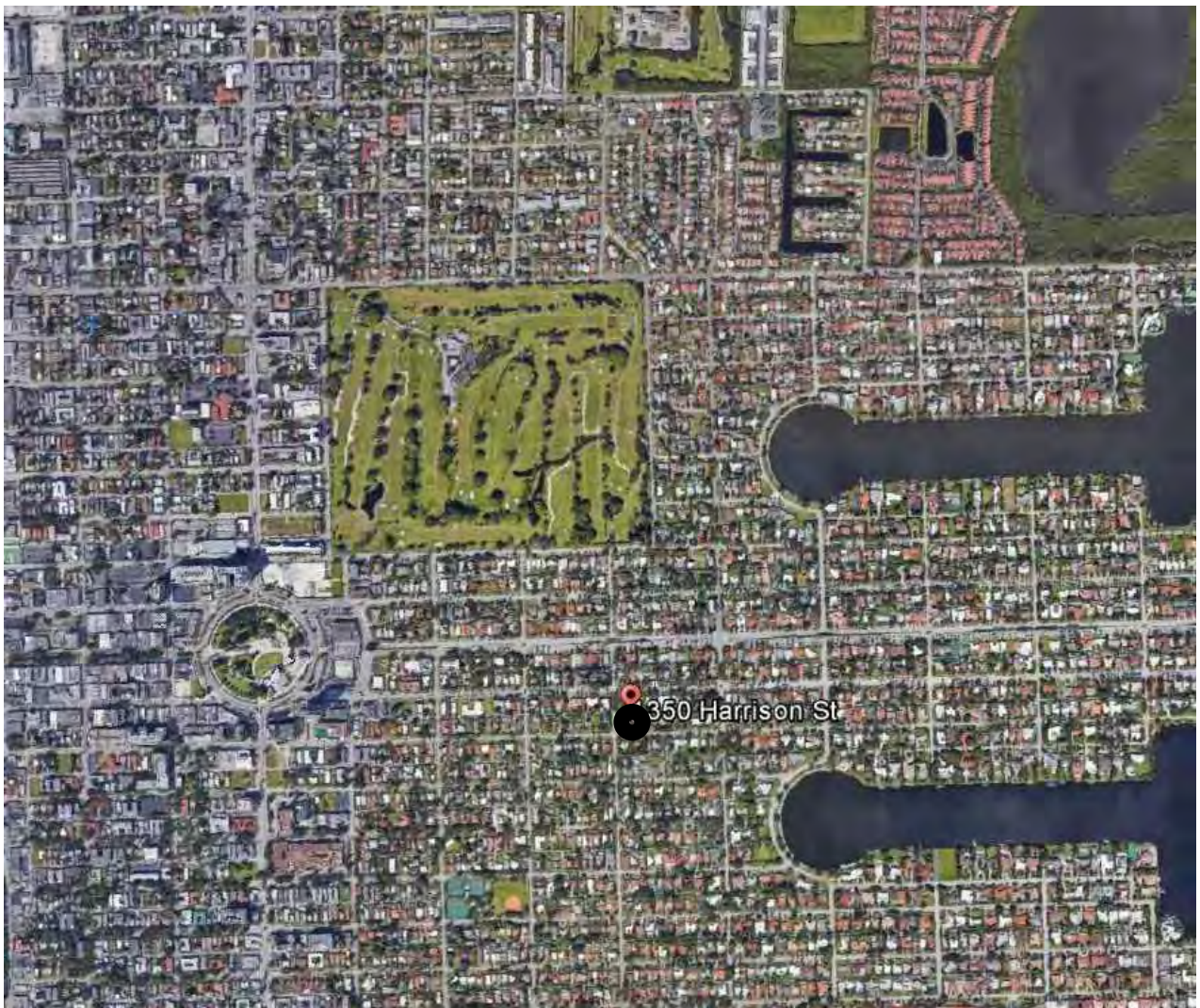
1. EXTERIOR WALL ASSEMBLY # (CONC. BLOCK WALL) R = 5 (MIN)
2. ROOF ASSEMBLY R = 30 (MIN)

SHOP DRAWING SCHEDULE:

THE FOLLOWING IS A SCHEDULE OF THE "ENGINEERED" SHOP DRAWINGS TO BE SUBMITTED BY THE GENERAL CONTRACTOR THE ARCHITECT, AND BUILDING DEPARTMENT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE OTHER SHOP DRAWINGS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER AUTHORITIES HAVING JURISDICTION.

- HANDRAILS AND GUARDRAILS
- DOORS AND DOOR HARDWARE
- ROOFING-SYSTEM
- WINDOWS
- METAL CANOPY
- WALL PANELS
- FLOOR AND ROOF STRUCTURAL SYSTEM
- A/C AND ELECTRICAL COMPONENTS
- UL FIRE SAFING
- STAIRCASE
- TRELLIS STRUCTURES

LOCATION MAP



1350 HARRISON STREET
HOLLYWOOD FL
33019



AERIAL VIEW



1350 HARRISON STREET
HOLLYWOOD FL
33019



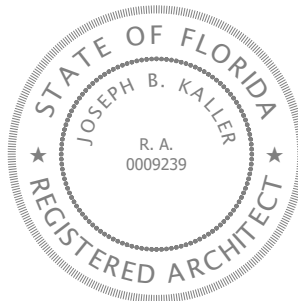
KA

KallerArchitecture

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com

SEAL



JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

SHEET TITLE
COVER SHEET

REVISIONS			
No.	DATE	DESCRIPTION	
1	05.06.19	CITY COMMENTS	
2	08.14.19	T.A.C. COMMENTS	

This drawing, as an instrument of service, is and shall remain the property of the Architect, and shall not be reproduced, published or used in any way without the permission of the Architect.

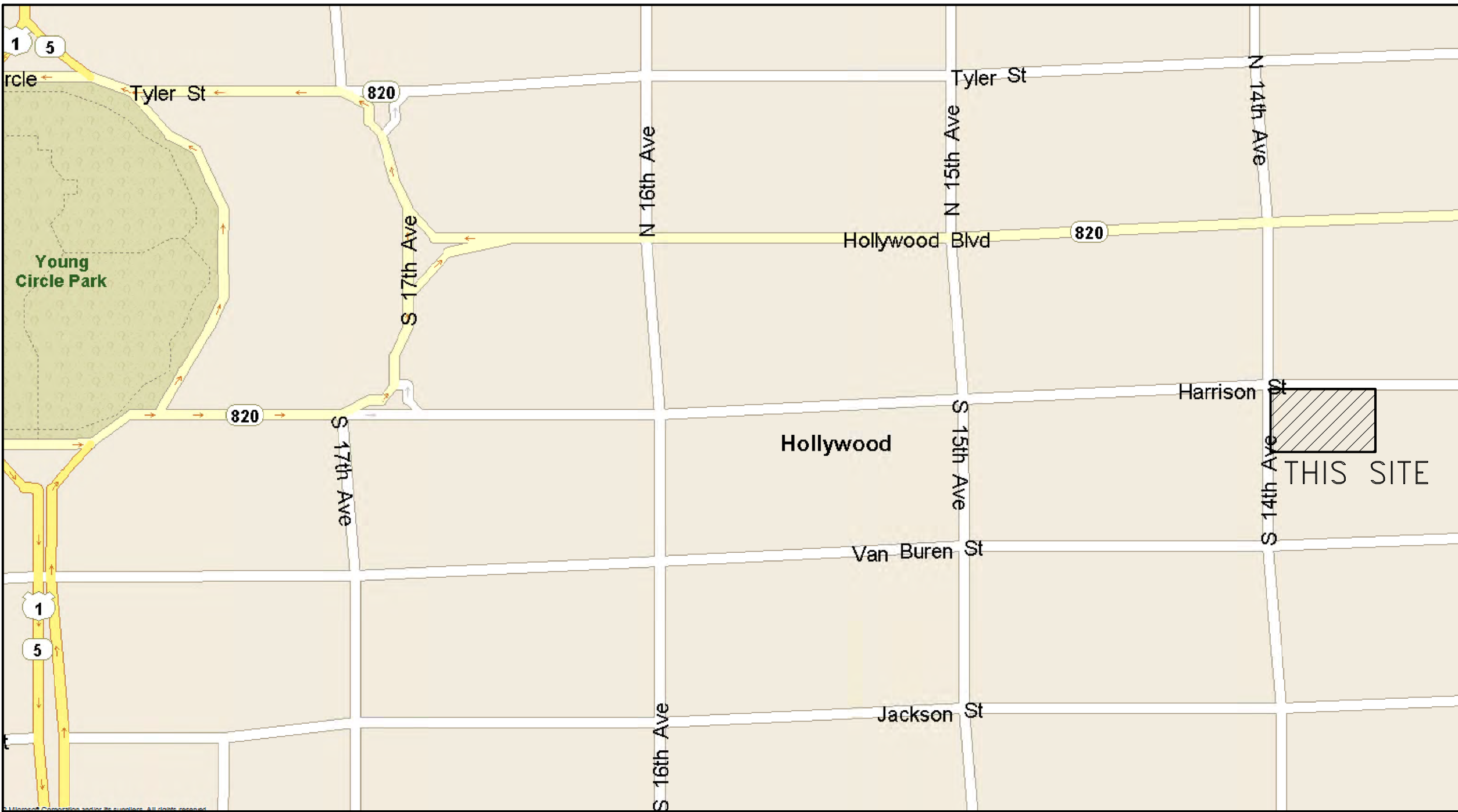
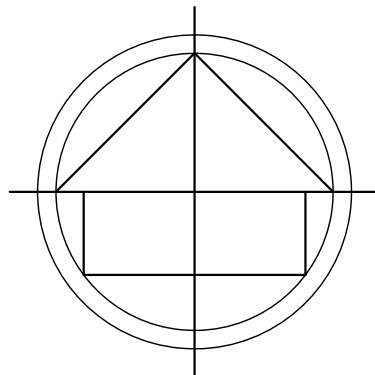
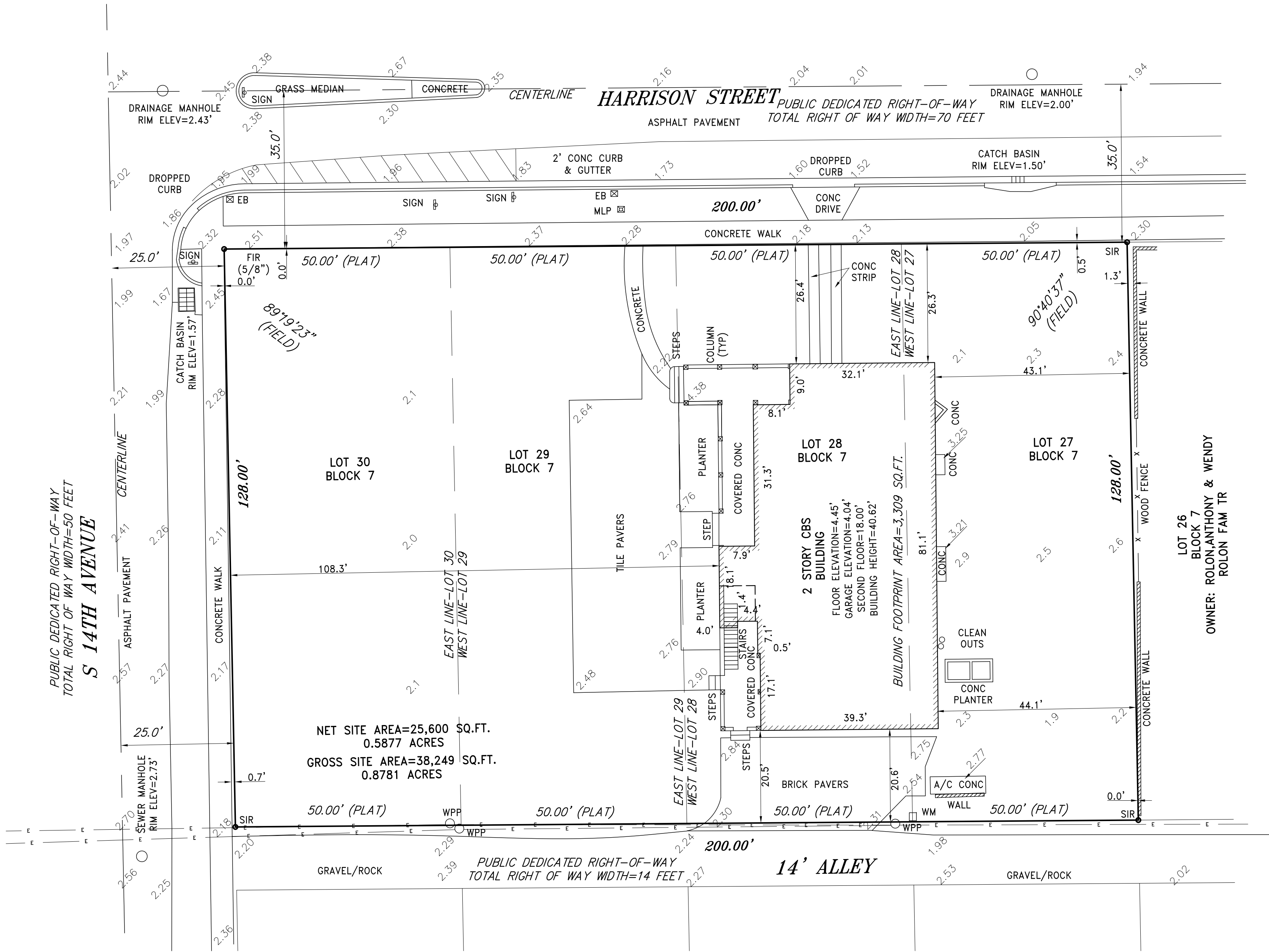
PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

T-1.0



ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NTS)

LAND DESCRIPTION:

LOTS 27, 28, 29 AND 30, BLOCK 7 OF "HOLLYWOOD LAKES SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY ADELSON LAW FIRM COVERING THE PERIOD FROM THE BEGINNING TO MAY 02, 2019.

SPECIAL EXCEPTIONS:

ALL MATTERS CONTAINED ON THE PLAT OF HOLLYWOOD LAKES SECTIONS, AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (AFFECTS/PLOTTED)

RESTRICTIONS RECORDED IN DEED BOOK 85, PAGE 279, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (DOES NOT AFFECT/NOT PLOTTABLE)

RESTRICTIONS IN DEED BOOK 31, PAGE 263, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (DOES NOT AFFECT/NOT PLOTTABLE)

- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BENCHMARK DESCRIPTION : CITY OF HOLLYWOOD BENCHMARK @ ADAMS STREET & 13TH AVENUE. ELEVATION=2.09' (NAVD88)

- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO HARRISON STREET, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 1, PAGE 32, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.
- THERE ARE NO STRIPED PARKING SPACES ON THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

LEGEND:

- | | |
|--------|--|
| CKD | CHECKED BY |
| CONC | CONCRETE |
| DWN | DRAWN BY |
| FB/PG | FIELD BOOK AND PAGE |
| SIR | SET IRON ROD & CAP #6448 |
| SNC | SET NAIL AND CAP #6448 |
| FIR | FOUND IRON ROD |
| FIP | FOUND IRON PIPE |
| FNC | FOUND NAIL AND CAP |
| FND | FOUND NAIL & DISC |
| P.B. | PLAT BOOK |
| B.C.R. | BROWARD COUNTY RECORDS |
| CBS | CONCRETE BLOCK STRUCTURE |
| A/C | AIR CONDITIONER |
| WM | WATER METER |
| WPP | WOOD POWER POLE |
| CO | CLEAN OUT |
| TSB | TRAFFIC SIGNAL BOX |
| TSP | TRAFFIC SIGNAL POLE |
| PM | PARKING METER |
| MLP | METAL LIGHT POLE |
| EB | ELECTRIC BOX |
| 5.40 | ELEVATIONS |
| ALTA | AMERICAN LAND TITLE ASSOCIATION |
| NSPS | NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS |
| -E- | OVERHEAD WIRES |

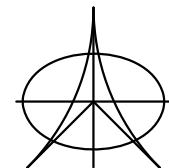
SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON MARCH 13, 2019.

FOR THE FIRM BY: _____

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

CHABAD OF
NE HOLLYWOOD/DANIA INC.

1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

ALTA/NSPS LAND TITLE SURVEY

REVISIONS				DATE	FB/PG	DWN	CKD
ALTA/NSPS LAND TITLE SURVEY				03/13/19	SKETCH	AM	REC
UPDATE PER COMMENTS AND O&E REPORT				05/08/19	-----	AM	REC

PROJECT NUMBER : 8927-19

SCALE : 1" = 16'

SHEET
1
OF
1
SHEET

1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMIT(S) FOR THIS PROJECT.

2. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).

3. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.

4. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.

5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.

6. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.

7. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DO TO UNFORSEEN CONDITIONS OR ACCIDENTS.

8. SILT FENCES SHALL BE USED ALONG THE PROPERTY LINES TO MINIMIZE OFFSITE SILTATION MITGRATION.

9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEASE DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

10. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

11. FILER FABRIC SHALL BE INSTALL UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.

12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL AND AS NEEDED.

13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.

14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.

15. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMAMENT VEGETATIVE COVER IS ESTABLISHED.

16. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.

17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER BARRIER ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFROM TO THE EXISTING GRADE, PREPARED AND SEEDED.

18. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.

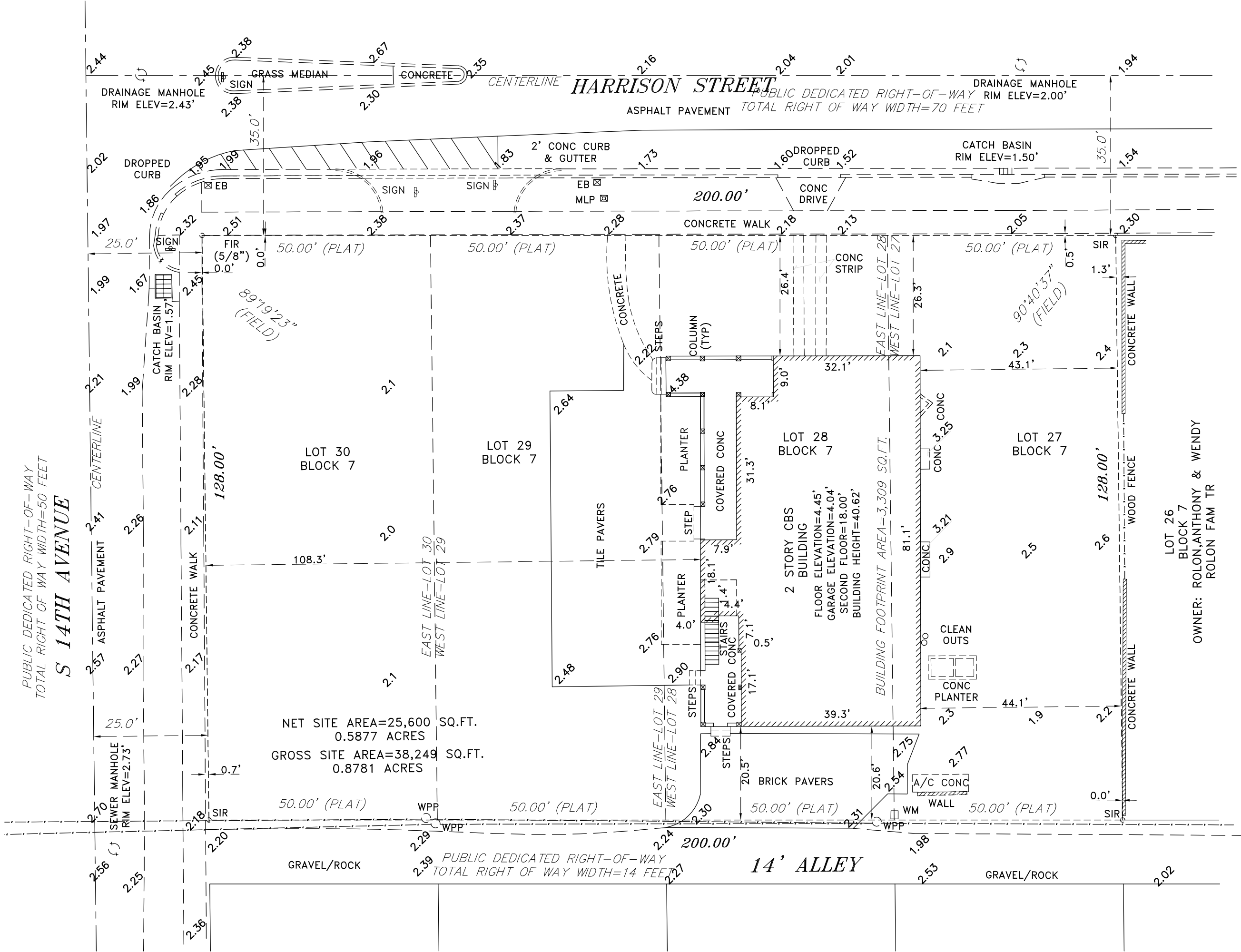
19. ALL DEATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION AND SHALL BE REMOVED WHEN AREAS HAVE BEEN STABILIZED.

DEMOLITION NOTES

1. CLEAR AND GRUB SITE AS MAY BE REQUIRED AND REMOVE ITEMS AS INDICATED ON THE PLANS FOR DEMOLITION.

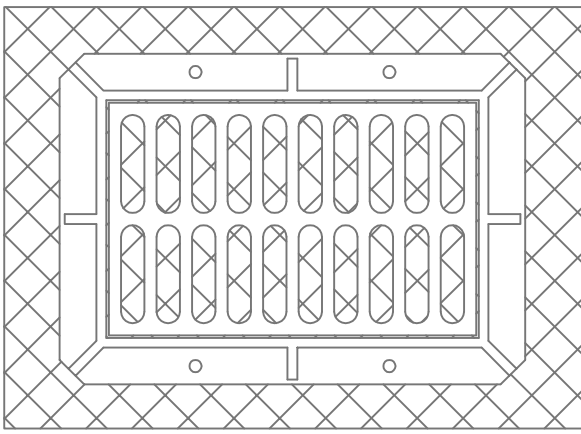
2. ALL REMOVED MATERIAL ARE THE PROPERTY OF THE CONSTRCTOR AND SHALL BE PROPERLY DISPOSED OF AS SOON AS POSSIBLE.

3. CONTRACTOR IS TO MAINTAIN A CLEAN SITE AT ALL TIMES.

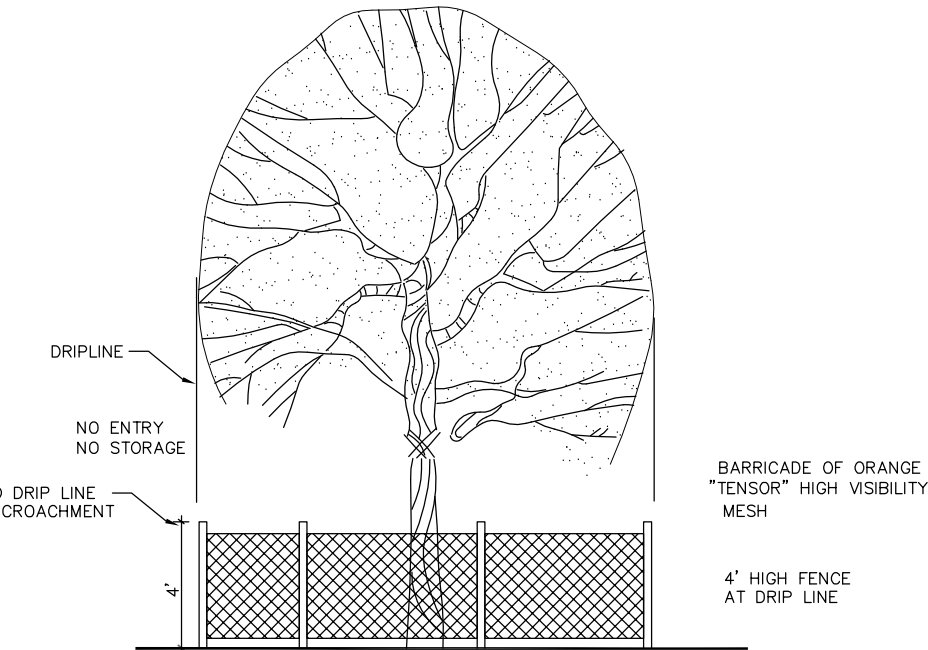


EROSION AND SEDIMENT CONTROL PLAN

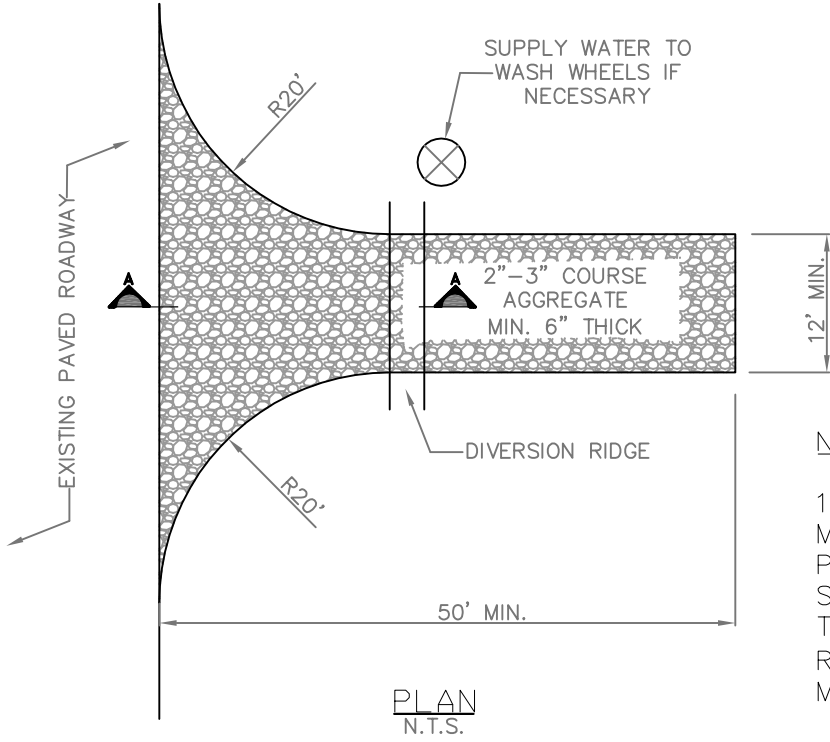
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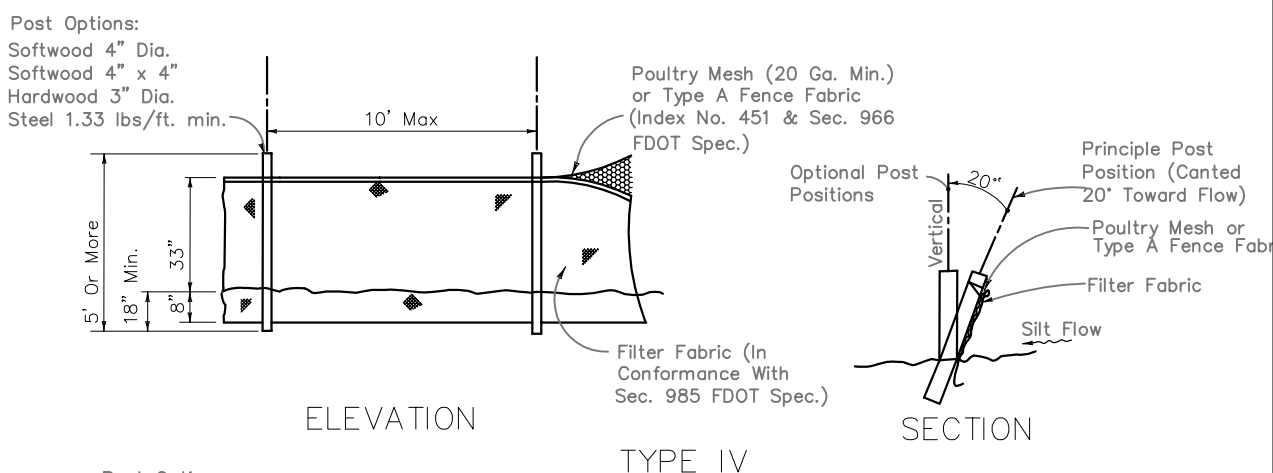
INLET PROTECTION
N.T.S.



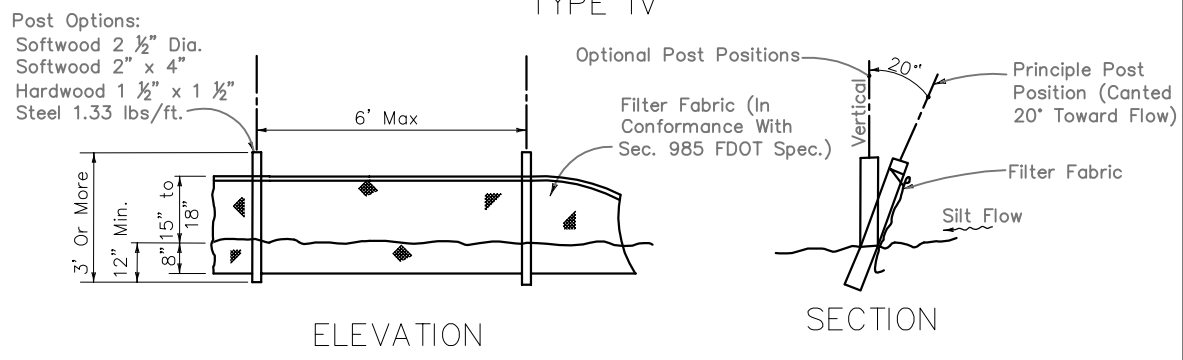
TREE PRESERVATION
BARRICADE FENCING DETAIL
N.T.S.



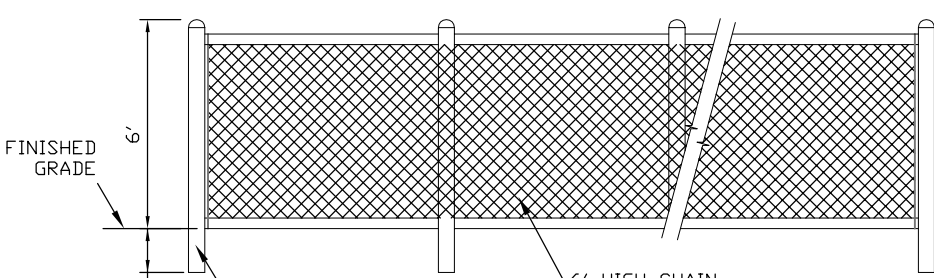
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



TYPE IV
N.T.S.



TYPE III
N.T.S.



CONSTRUCTION FENCE DETAIL
N.T.S.



GATOR ENGINEERING
ASSOCIATES, INC.
1180 TEMPLE STREET
COOPER CITY, FL 33330
TEL: (884) 434-5885 FAX: (884) 434-5804
CERTIFICATE OF AUTHORIZATION NUMBER 30230

SEAL

DATE: 05-20-2019
DESIGNED BY: R.B.J.
DRAWN BY: L.B.
CHECKED BY: R.B.J.
APPROVED BY: R.B.J.

CHABAD OF HOLLYWOOD
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

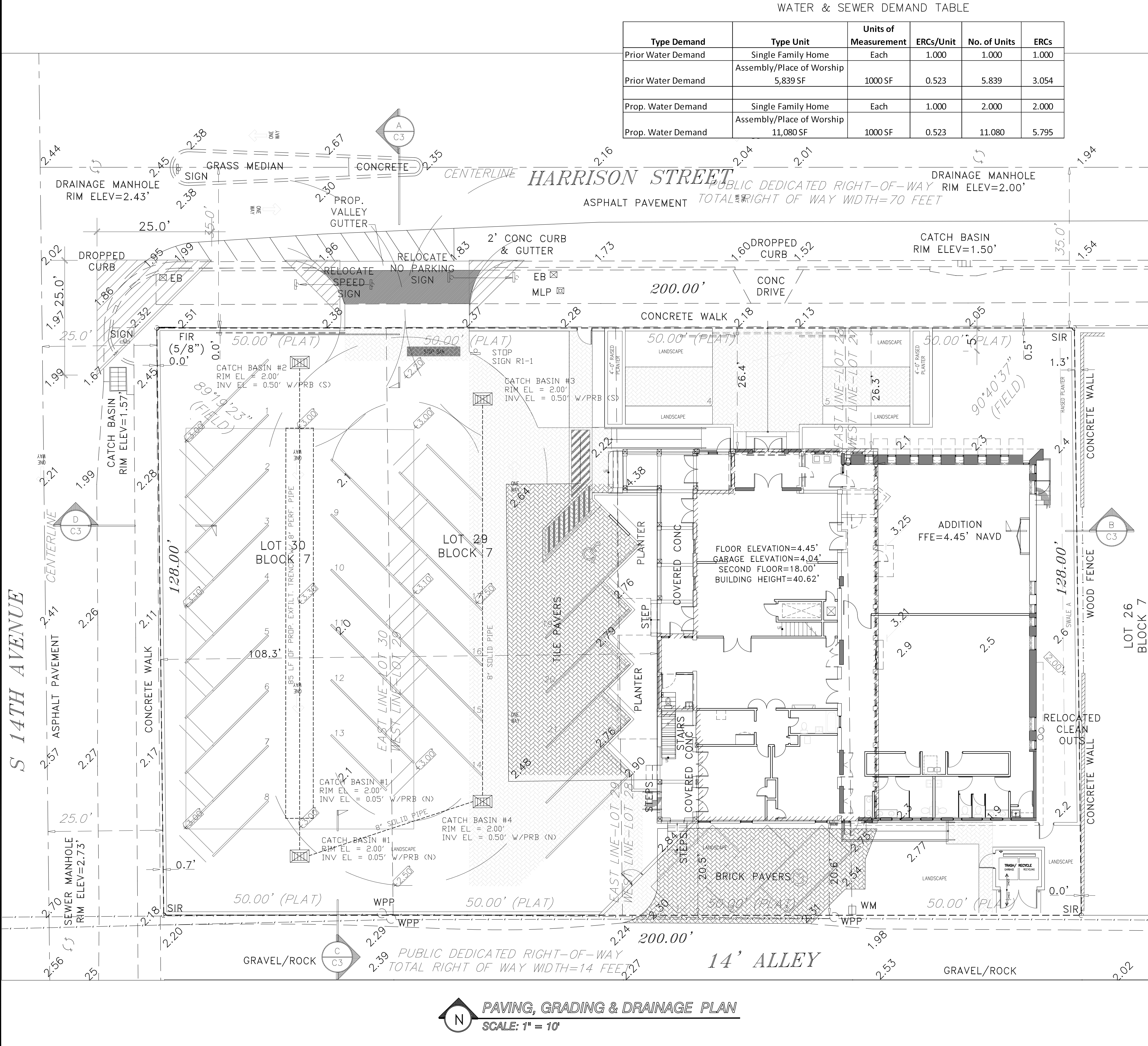
REVISIONS	DESCRIPTION
No.	DATE

GEA PROJECT NO.: 19001
DATE: 05-20-2019
SCALE: AS SHOWN
DESIGNED BY: R.B.J.
DRAWN BY: L.B.
CHECKED BY: R.B.J.
APPROVED BY: R.B.J.

SHEET TITLE

EROSION AND
SEDIMENT CONTROL
& DEMOLITION
PLAN

C1 OF 3



Type Demand	Type Unit	Units of Measurement	ERCs/Unit	No. of Units	ERCs
Prior Water Demand	Single Family Home	Each	1.000	1.000	1.000
Prior Water Demand	Assembly/Place of Worship	5,839 SF	1000 SF	5.839	3.054
Prop. Water Demand	Single Family Home	Each	1.000	2.000	2.000
Prop. Water Demand	Assembly/Place of Worship	11,080 SF	1000 SF	11.080	5.795

- LEGAL DESCRIPTION**
- LOT 27, 28, 29 AND 30 BLOCK 7, "HOLLYWOOD LAKES SECTION", ACCORDING TO THE PLAT THEREOF AS RECORDING IN PLAT BOOK 1 PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.
- GENERAL NOTES:**
1. BASE SURVEY WAS PROVIDED BY COUSINS SURVEYORS & ASSOCIATES, INC.
 2. ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).
 3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES VERIFIED AND LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ANY DISTURBED EXISTING MANHOLES, VALVE BOXES, BLOW-OFF RISERS OR ANY OTHER POINT OF ACCESSIBILITY TO UTILITIES, AND TO MATCH ASPHALT GRADES, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.
 7. TO AVOID MISUNDERSTANDING AND TO INSURE COMPLIANCE WITH SPECIFICATIONS, BEFORE PURCHASING MATERIALS OR EQUIPMENT FOR HIS WORK, THE CONTRACTOR SHALL FURNISH AT LEAST FOUR COPIES OF SHOP DRAWINGS OR ILLUSTRATION SHEETS FOR APPROVAL BY THE ENGINEER. THE APPROVAL OF SHOP OR WORKING DRAWINGS BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRONEOUS OR INCONSISTENT DIMENSIONS, NOTATIONS, OMISSIONS OR OTHER ERRORS, OR FOR THE PROPER FUNCTIONING OF THE COMPLETE INSTALLATION.
 8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
 9. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MAKERS.
 11. CONTRACTOR SHALL COORDINATE THIS PLAN WITH THE PLUMBING AND LANDSCAPE PLANS.
 12. ALL ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN IN THE CITY RIGHT-OF-WAY SHALL BE RESTORED TO FULL LANE WIDTH AS SHOWN ON PLANS.

- SPECIFIC NOTES:**
1. DRAINAGE SYSTEM SHALL BE INSTALLED AS DETAILED.
 2. CONSTRUCTOR IS TO ENSURE ROOF RUNOFF FLOW TO THE DRAINAGE STRUCTURE.
 3. ALL DRAMAGED PAVEMENT, WALKWAY AND PAVERS SHALL BE RESTORED OR REPLACE TO MATCH THE EXISTING AS MAY BE REQUIRED.

	EXISTING	PROPOSE
BUILDING FOOTPRINT & WALKWAYS	3,931.00 SQ FT	7,139 SQ FT
PAVERS & PADS	2,842.32 SQ FT	5,802 SQ FT
PERVIOUS AREA	18,519.68 SQ FT	12,352 SQ FT
TOTAL LOT AREA	25,293.00 SQ FT	25,293 SQ FT

LEGEND

--- PROPERTY LINE

2.30 EXISTING GRADE

3.00 PROPOSED GRADE

WM EXIST. WATER METER

WPP WOOD POWER POLE

Ⓢ SIGN

GATOR ENGINEERING ASSOCIATES, INC.
11380 TEMPLE STREET
COOPER CITY, FL 33330
TEL: (854) 434-6905 FAX: (854) 434-5804
CERTIFICATE OF AUTHORIZATION NUMBER 30230

DATE: REGINA BOBO-JACKSON, P.E.
TEL. P.E. NO.: 35555

CHABAD OF HOLLYWOOD
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

REVISIONS

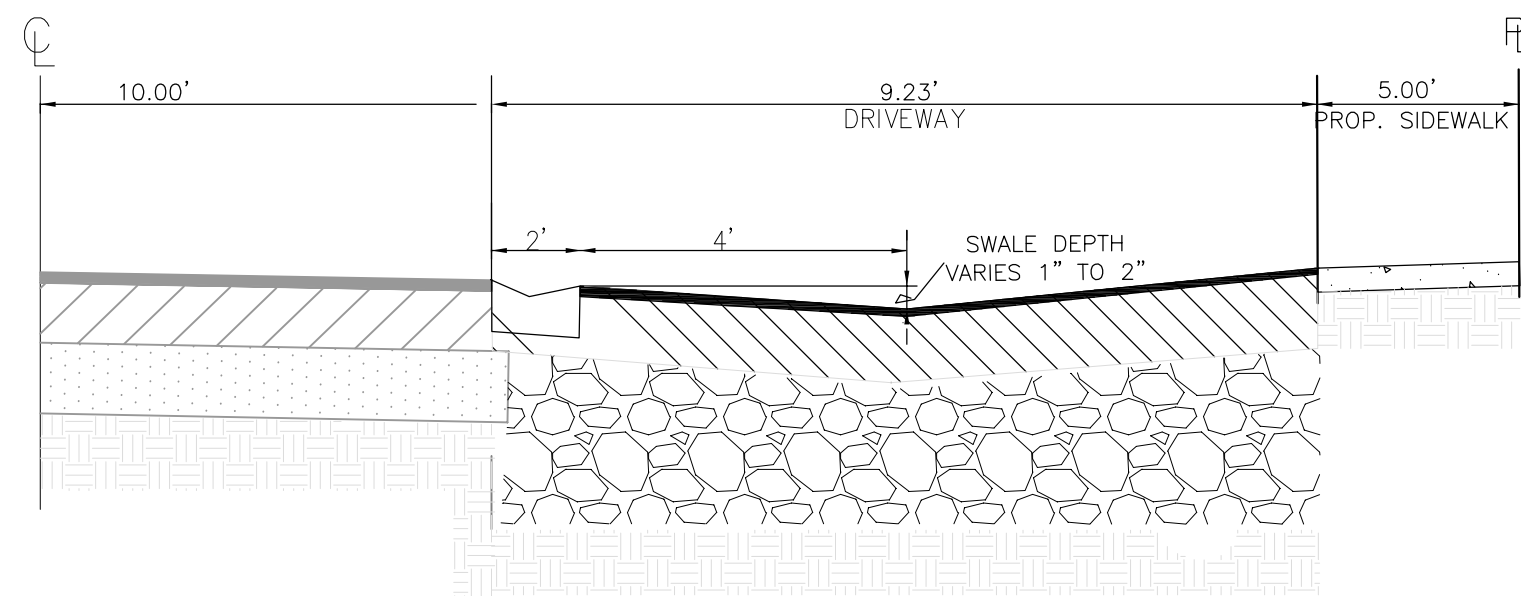
NO.	DATE	DESCRIPTION

GEA PROJECT NO.: 19001
DATE: 05-20-2019
SCALE: AS SHOWN
DESIGNED BY: R.B.J.
DRAWN BY: L.B.
CHECKED BY: R.B.J.
APPROVED BY: R.B.J.

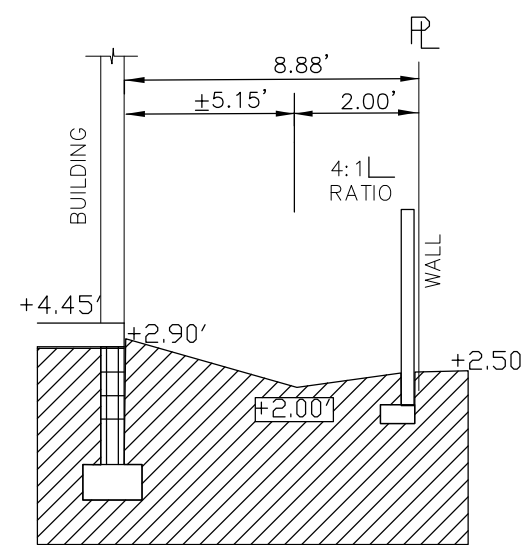
SHEET TITLE

PAVING, GRADING & DRAINAGE PLAN

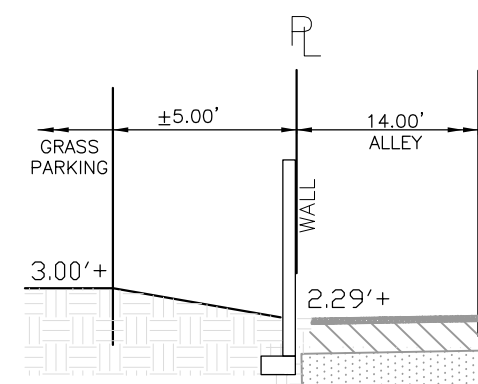
C2 OF 3



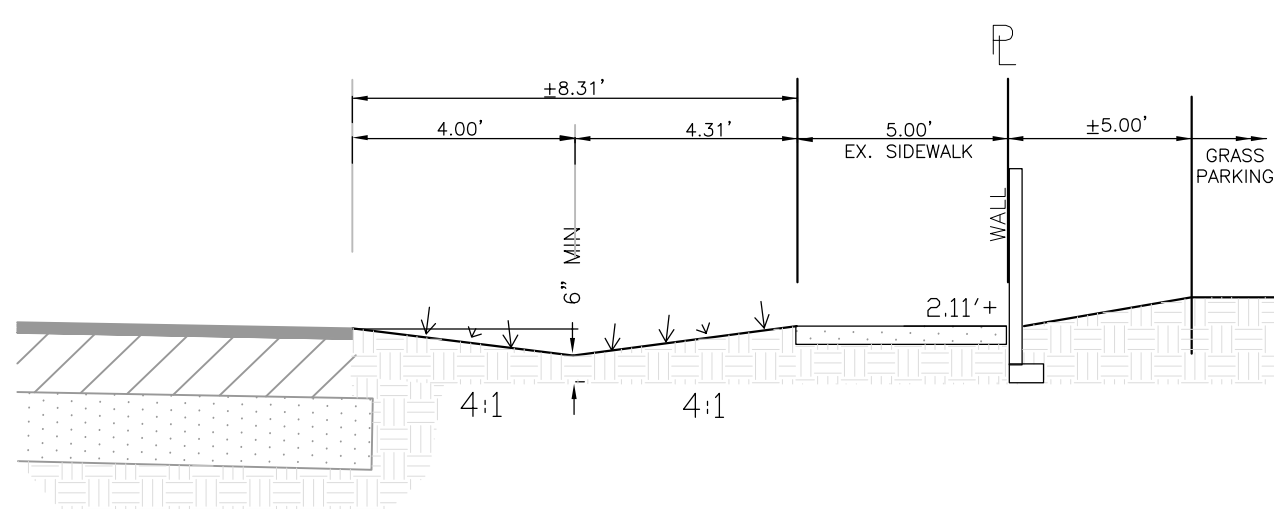
SECTION A-A
NTS



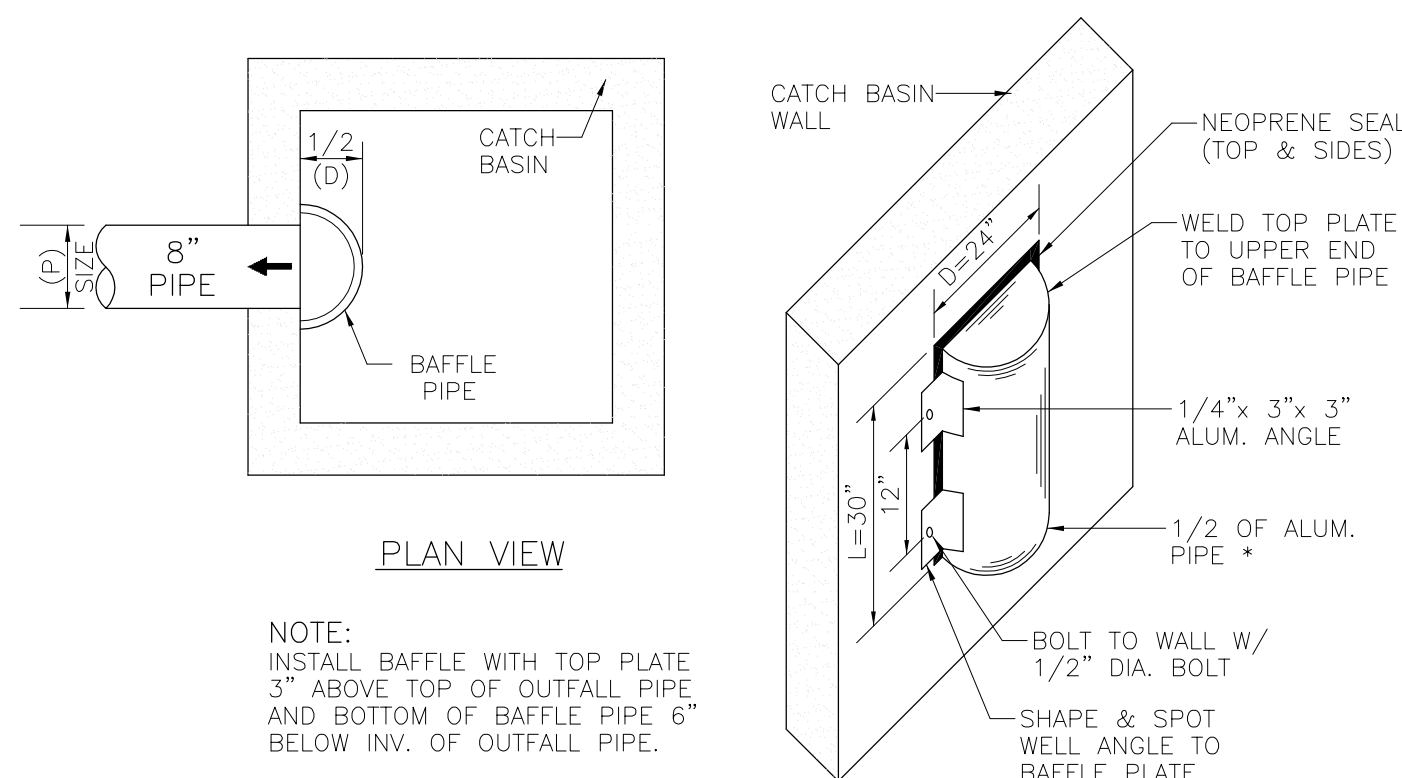
SECTION B-B
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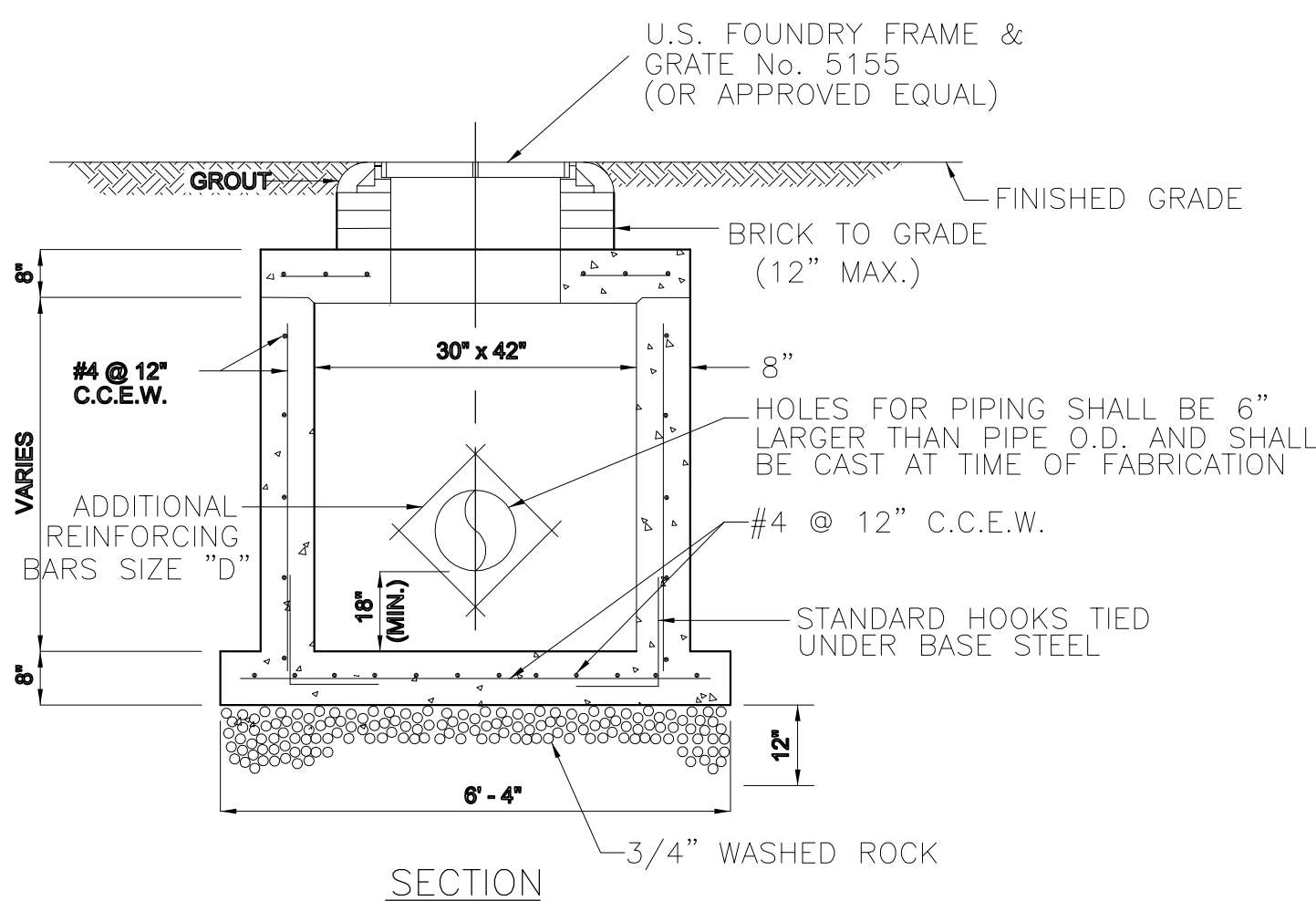
SECTION C-C
NTS



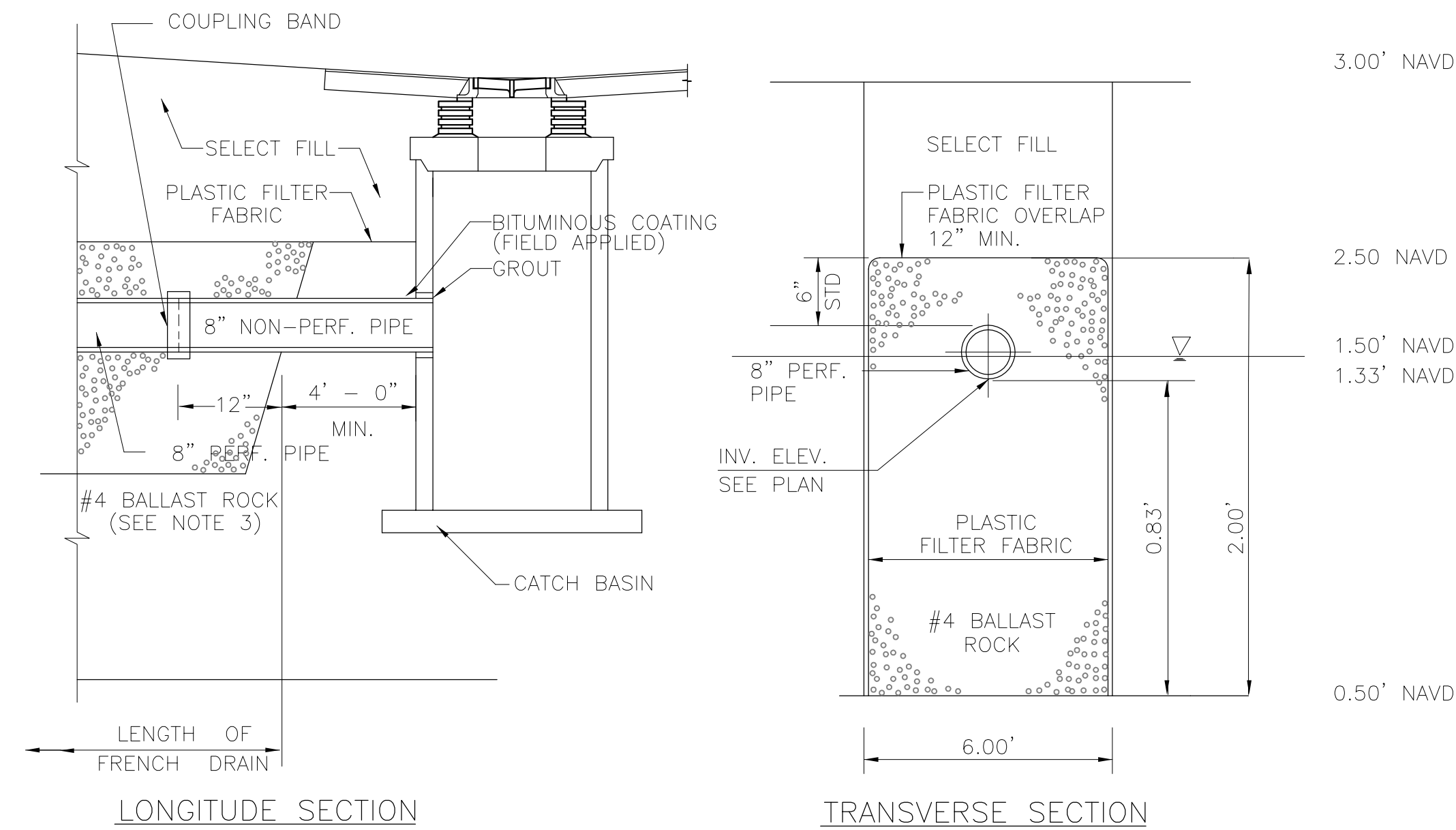
SECTION D-D



POLLUTION RETARDENT BAFFLE (PRB)
N.T.S.

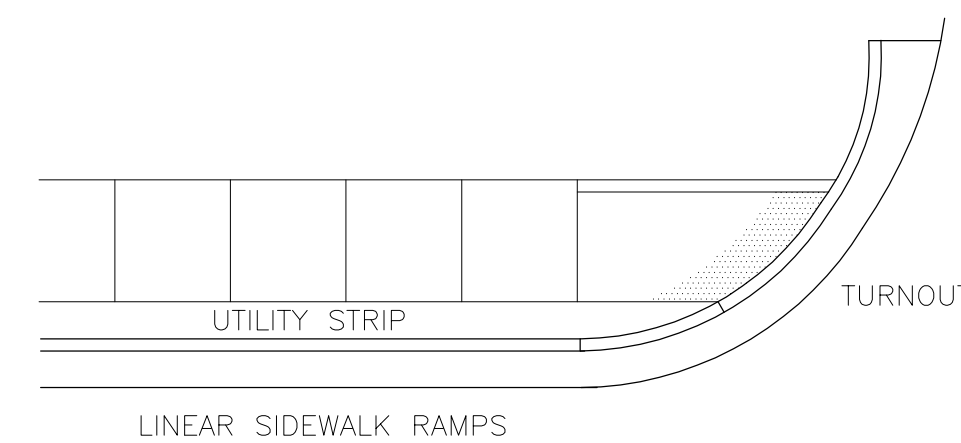


PRECAST DRAINAGE CATCH BASIN
N.T.S.

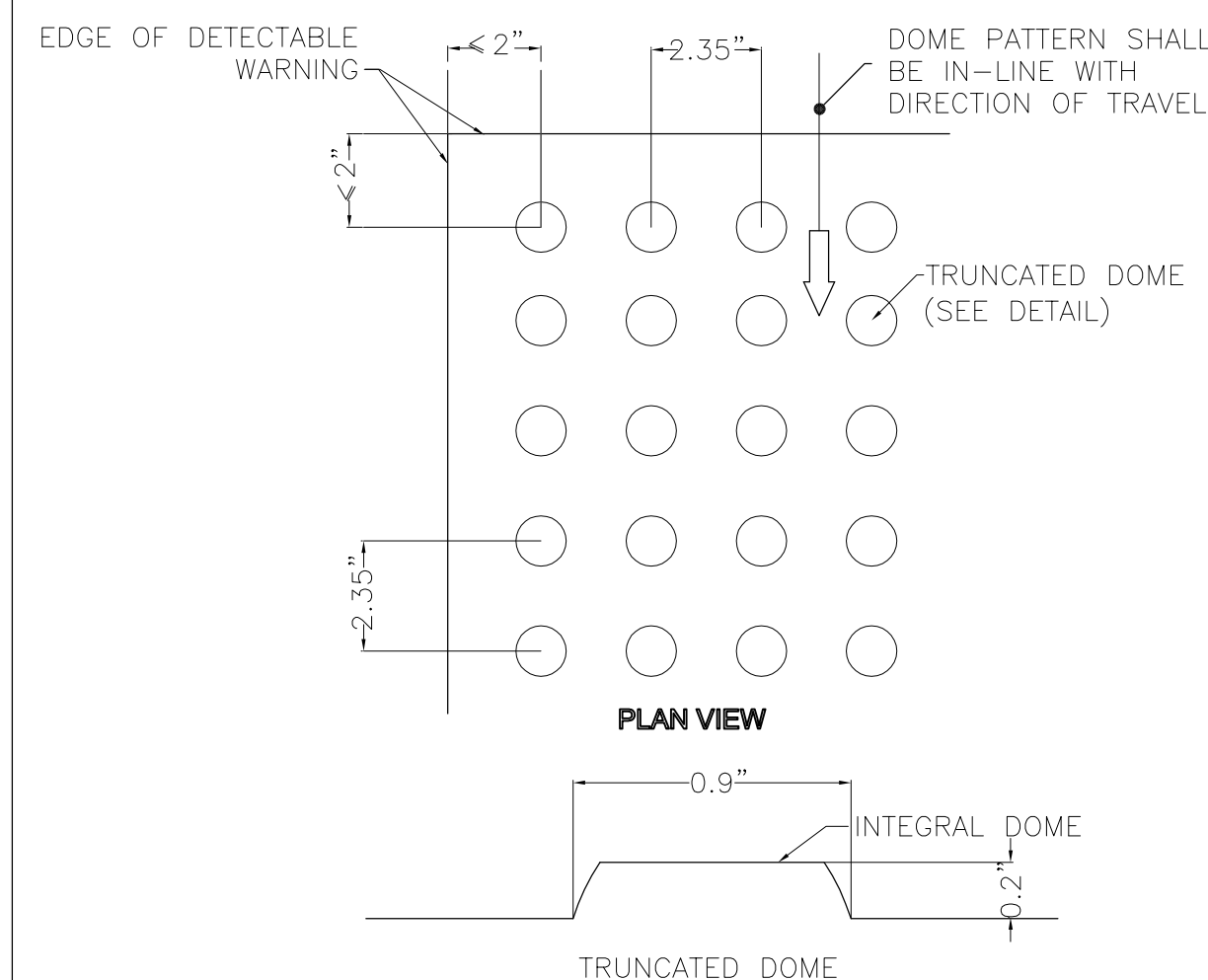


- NOTES:
1. PLASTIC FILTER FABRIC PER F.D.O.T. STD. INDEX # 285 SHALL BE USED AT EACH SIDE AND ON TOP, AND AT EACH END OF FRENCH DRAIN TRENCH.
 2. THE DEPTH OF THE EXFILTRATION TRENCH SHALL BE 2.00 FEET.
 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY VIBRATED OR COMPACTED IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH CAN BE COMPLETED IN ACCORDANCE WITH THE DETAIL.

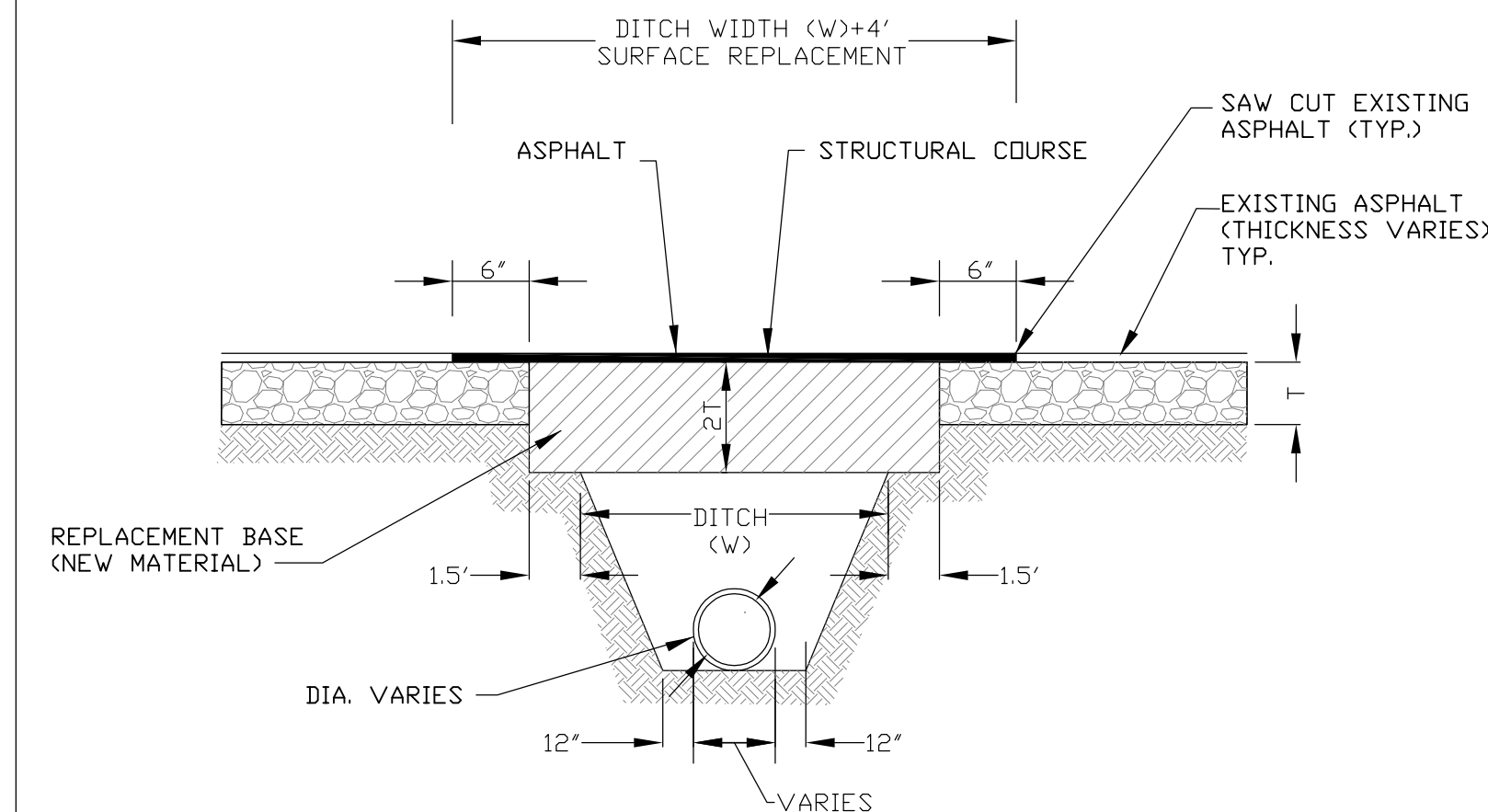
TYPICAL DETAIL - EXFILTRATION TRENCH
N.T.S.



ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTENDS THE FULL WIDTH OF THE RAMP AND THE DIRECTION OF TRAVEL 36 INCHES FROM THE BACK OF CURB, PER BROWARD COUNTY BUILDING CODE.

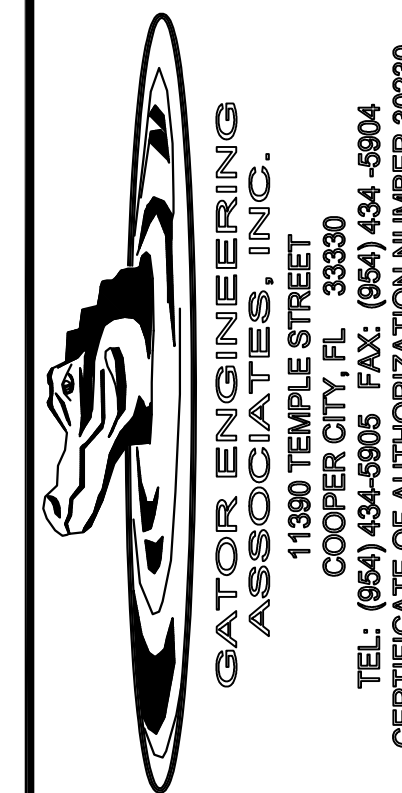


CURB RAMP DETECTABLE WARNING
N.T.S.



1. BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL.
2. BASE MATERIAL SHALL BE PLACED IN 6\"
3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAW CUT.
4. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MATERIAL.
5. BASE MATERIAL SHALL HAVE A MINIMUM CARBONATE OF 70% (60% FOR LOCAL STREETS).
6. SUB GRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LBR OF 40.
7. IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2\"
8. FOR STATE ROADS REFER TO FDOT SPECIFICATIONS AND REQUIREMENTS.

RESTORATION OF ROADWAY CUT
N.T.S.



GATOR ENGINEERING
ASSOCIATES, INC.
11390 TEMPLE STREET
COOPER CITY, FL 33330
TEL: (854) 434-6905 FAX: (854) 434-5804
CERTIFICATE OF AUTHORIZATION NUMBER 30230

SEAL
DATE: BOBO-JACKSON, P.E.
REGINA
FL P.E. NO.: 38550

CHABAD OF HOLLYWOOD
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

REVISIONS	DATE	DESCRIPTION
No.		

SEA PROJECT NO.: 19001
DATE: 05-20-2019
SCALE: AS SHOWN
DESIGNED BY: R.B.J.
DRAWN BY: L.B.
CHECKED BY: R.B.J.
APPROVED BY: R.B.J.

SHEET TITLE

DETAILS

DEMOLITION NOTES - REQUIREMENTS INCLUDED:

A.

1. COORDINATE WORK OF TRADES AND SCHEDULE ELEMENTS OF ALTERATIONS AND RENOVATION WORK BY PROCEDURES AND METHODS TO EXPEDITE COMPLETION OF THE WORK.

2. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED, INCLUDE SUCH ITEM AS:

a. REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.

b. REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT, AND WIRING.

c. REMOVAL OF UNSUITABLE OR EXTRANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED EQUIPMENT AND DEBRIS INCLUDING ROTTED WOOD, RUSTED METALS AND DETERIORATED CONCRETE.

B.

1. CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.

2. PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.

3. PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.

4. DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.

5. PROTECTION OF EXISTING BUILDING:

A. EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.

B. COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.

C. AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.

6. ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS.

7. EXPLOSIVE AND BURNING:

A. USE OF EXPLOSIVES WILL NOT BE PERMITTED.

B. USE OF FIRE FOR DEMOLITION OR DISPOSAL OF MATERIAL OR ANY OTHER SITUATION INTENTIONAL OR ACCIDENTAL WILL NOT BE PERMITTED.

8. EXISTING UTILITIES

A. CONTACT ALL UTILITIES INCLUDING ELECTRIC, WATER, GAS AND TELEPHONE, PRIOR TO BEGINNING WORK AND REQUEST THAT ALL SERVICE BE SHUT OFF AND CAPPED AT PRIMARY SERVICE LINES.

B. REMOVE ALL EXISTING UTILITIES ACCORDING TO SEQUENCE OF OPERATIONS APPROVED AT START OF PROJECT.

C. REMOVE ALL EXISTING UTILITIES UNCOVERED BY DEMOLITION AND TERMINATE IN A MANNER AND AT A TIME SATISFACTORY TO UTILITY COMPANIES INVOLVED, WHERE UTILITY COMPANY DESIRES TO EFFECT THE REMOVAL OF THEIR MATERIALS THEY SHALL BE PERMITTED TO DO SO.

D. REMOVE AND DELIVER METERS AND RELATED EQUIPMENT TO THE APPROPRIATE UTILITY COMPANIES WITHOUT ADDITIONAL COST TO THE OWNER WHEN UTILITY LINES ARE ENCOUNTERED THAT ARE NOT ON THE DRAWINGS OR VISIBLE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH INSTRUCTIONS OF THE ARCHITECT/ENGINEER.

E. INSTALL AND LEAVE A WELL MARKED STAKE AT CAPPED END OF EVERY UTILITY CAPPED ON THE SITE.

9. DISPOSING OF MATERIAL:

--A. TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.

--B. DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.

--C. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSAL OF OFF SITE IN A LEGAL DISPOSAL AREA.

10. PREPARATION:

A. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.

B. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.

C. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.

11. PERFORMANCE:

A. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS.

B. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.

C. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.

D. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.

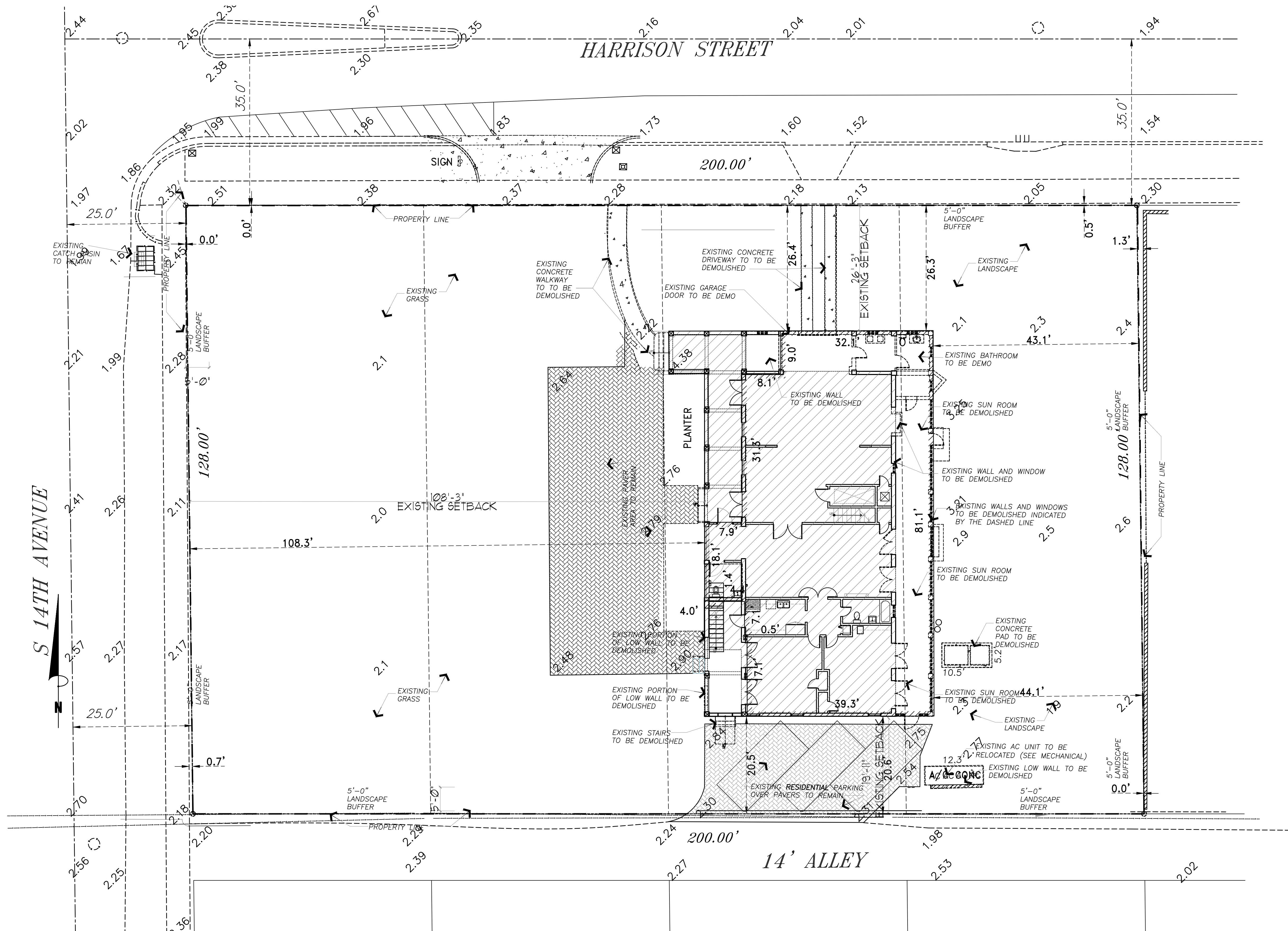
E. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

1. FOR CONTINUOUS SURFACES, REFINISH TO NEAREST INTERSECTION.

2. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

12. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STRUCTURAL ENGINEER OF RECORD SHOULD A CONFLICT OCCUR BETWEEN THE EXISTING CONDITIONS AND THOSE CONDITIONS DEPICTED ON THESE PLANS.

13. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING & STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING & ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS.



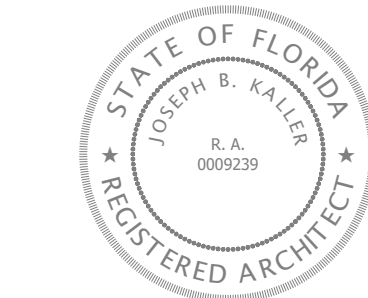
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SEAL



JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

SHEET TITLE
SITE PLAN DEMO

REVISIONS
No. DATE DESCRIPTION

1		
2		
3		
4		
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9		
10		

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PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

SP-D

RESIDENTIAL GREEN BUILDING PRACTICES:

HOLLYWOOD CODE OF ORDINANCE CHAPTER 151.01 & 151.05

1. ALL ENERGY STAR APPLIANCES, ALL PERMANENT APPLIANCES IN THE RESIDENCE THAT CAN BE ENERGY STAR RATED MUST BE SO RATED TO CLAIM THIS ITEM. (THIS INCLUDES REFRIGERATOR, STOVE, WASHING MACHINE, DRYER, ETC. ITEMS NOT COVERED ARE COUNTERTOP APPLIANCES SUCH AS TOASTERS, MIXERS, ETC.) ENERGY STAR APPLIANCES MUST BE VERIFIED BY BUILDING INSPECTOR IN SITE AT FINAL INSPECTION.

2. NO SHOWER WITH MORE THAN ONE SHOWER HEAD, AND ALL LOW FLOW SHOWER HEADS, LOW FLOW HEADS ARE RATED AT A MAX FLOW OF 2.5 GALLONS PER MINUTE AT 80 PSI WATER PRESSURE.
3. PROVIDE AN ULTRA-HIGH SUN-REFLECTANT ENERGY STAR APPROVED ROOFING MATERIALS
4. ENERGY EFFICIENT (LOW E) WINDOWS - ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL)
5. PROGRAMMABLE THERMOSTATS
6. PERVIOUS PAVEMENT / PAVERS

7. DUAL FLUSH TOILETS, THESE TOILETS WHEN FLUSHED USE LESS THAN 1gal TO FLUSH LIQUID & 1/6gal OR LESS FOR SOLIDS (USGBC). PLANS SHALL INDICATE DUAL FLUSH TOILET. SYSTEM MUST BE VERIFIED BY PLUMBING INSPECTOR AT FINAL INSPECTION.
8. ALL HOT WATER PIPES SHALL BE INSULATED. ALL HOT WATER PIPES SHALL HAVE A MIN 1/2" INSULATION, INCLUDING BURIED PIPES. (CPVC IS NOT A SUITABLE REPLACEMENT FOR INSULATION) ALL HOT WATER PIPES INSULATED SHALL BE SHOWN ON PLANS AND VERIFIED BY PLUMBING INSPECTOR ON SITE AT FINAL INSPECTION
9. CENTRAL AIR CONDITIONER OF 18 SEER OR HIGHER
10. ENERGY EFFICIENT OUTDOOR LIGHTING (LED-TYPE FIXTURE)
11. 20% OF PLANTS, TREES & GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS

LEGAL DESCRIPTION:

HOLLYWOOD LAKES SECTION 1-32 B LOT 21 TO 30 BLK 1

JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

PROPERTY ADDRESS:

1350 HARRISON STREET
HOLLYWOOD, FL 33019

FLOOD ZONE

AE 6 FT NAVD88

SITE INFORMATION

- | | |
|-------------------------|--|
| 1. ZONING | RS-6 |
| 2. EXISTING OCCUPANCY | RESIDENTIAL |
| 3. PROPOSED OCCUPANCY | RESIDENTIAL & ASSEMBLY |
| 4. LAND USE DESIGNATION | RESIDENTIAL - SINGLE FAMILY |
| 5. TYPE OF CONSTRUCTION | TYPE V (000) |
| 6. BUILDING HEIGHT | ALLOWED 2 STORIES 30'-0" - PROVIDED 2 STORIES 21'-5" |
| 7. NUMBER OF STORIES | 2 STORIES ALLOWED - 2 STORIES PROVIDED |
| 8. PARKING | |

RESIDENTIAL

BASED ON 1 PER 60 SQ

1073 SQFT (SANCTUARY) + 1186 SQFT

5 SPACES REQUIRED - 5 SPACES PROVIDED

(MULTIUSE ROOM) = 2259 SQFT

38 SPACES REQUIRED - 35 SPACES PROVIDED

TOTAL : 43 SPACES REQUIRED - 40 SPACES PROVIDED
(INCLUDING 1 HANDICAP)
PARKING VARIANCE REQUIRED

- | | |
|--------------------------|---------------------------------|
| 8. LOADING ZONE: | NOT APPLICABLE |
| 9. NET LOT AREA | 25,293 SQ. FT. ----- 0.58 ACRES |
| 10. GROSS LOT AREA | 38,041 SQ. FT. ----- 0.87 ACRES |
| 11. PERVIOUS/IMPERVIOUS: | |

IMPERVIOUS LOT AREA:
BUILDING FOOT PRINT+WALKWAYS : 6,966 SQFT.
PAVERS : 6,551 SQFT.
CONCRETE CURVES + PERM. WALL : 451 SQFT.
TOTAL : 13,968 SQFT. ----- 55.21%

PERVIOUS LOT AREA:
TOTAL : 11,313 SQFT. ----- 44.73 %
25,293 SQ. FT. ----- 100%

12. BUILDING INFORMATION

EXISTING AREA
EXISTING BUILDING FOOTPRINT --- 3,931 SQFT

EXISTING FIRST FLOOR ----- 3,208 SQFT (RESIDENTIAL)
EXISTING SECOND FLOOR ----- 2,631 SQFT (RESIDENTIAL)
EXISTING TOTAL ----- 5,839 SQFT

ADDITION AREA
FIRST FLOOR ----- 3,194 SQFT (ASSEMBLY)
SECOND FLOOR ----- 1,993 SQFT (RESIDENTIAL)
PROPOSED TOTAL ADDITION ----- 5,187 SQFT

EXISTING AND ADDITION TOTAL : - 11,026 SQFT

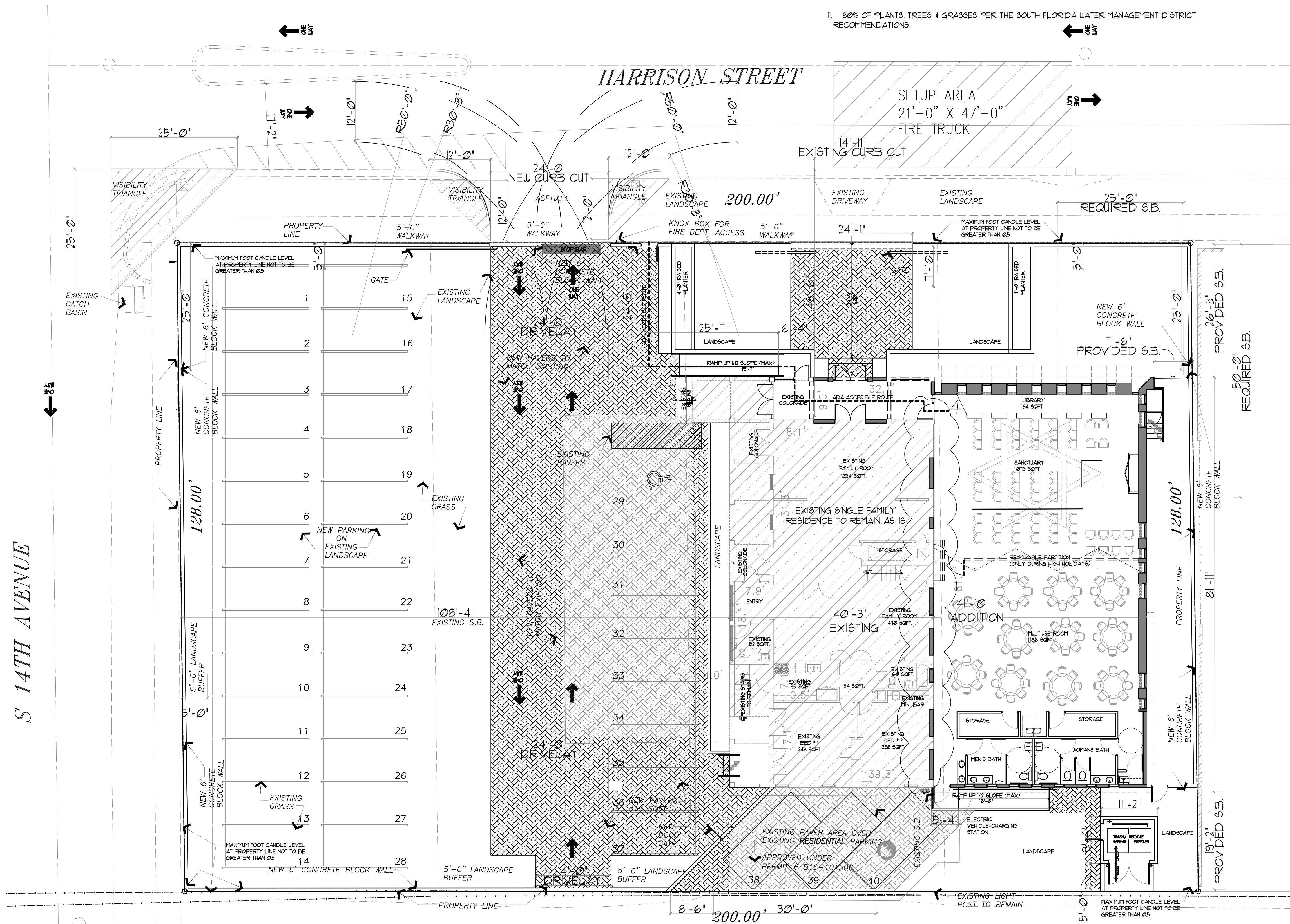
OCCUPANT LOAD

- | | |
|------------------------------------|----------------------------|
| 1) RESIDENTIAL : 1 PER 200 SQFT -- | 1,886 SQFT = 40 OCCUPANTS |
| ASSEMBLY | |
| 1) SANCTUARY = X / 1 -- | 1,073 SQFT = 153 OCCUPANTS |
| 2) MULTIUSE ROOM = X / 15 -- | 1,186 SQFT = 79 OCCUPANTS |
| 3) LIBRARY (STACK AREA) = X / 100 | 184 SQFT = 2 OCCUPANTS |
| TOTAL OCCUPANT ASSEMBLY = | 234 OCCUPANTS |

13. SETBACKS
THE SUM OF THE YARD SETBACKS SHALL BE AT LEAST 25% OF THE LOT WIDTH, BUT NOT TO EXCEED 50' WITH NO SIDE YARD LESS THAN 15 FT

** 15% OF THE LOT DEPTH, 15 FT MIN

	REQUIRED	PROVIDED
FRONT	25'-0"	25'-3"
SIDE / INTERIOR	1'-6"	1'-1"
SIDE / STREET	15'-0"	33'-2"
	19'-2"	20'-1"



VARIANCE BOX

	REQUIRED PERMITTED	PROVIDED
1. SPECIAL EXCEPTION SETBACK		
FRONT :	50'-0"	25'-2"
INTERIOR SIDE:	25'-0"	1'-1"
2. PARKING VARIANCE	43	40
3. HEIGHT OF PERIMETER WALL	4'	6'
4. PARKING ON GRASS	NOT PERMITTED	PROPOSED

1. SPECIAL EXCEPTION USE

	REQUIRED PERMITTED	PROVIDED
1. SPECIAL EXCEPTION USE	RESIDENTIAL	PLACE OF WORSHIP + RESIDENTIAL

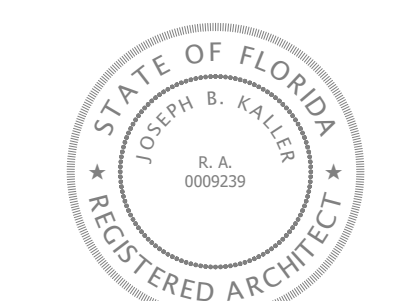


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SHEET TITLE
SITE PLAN

REVISIONS

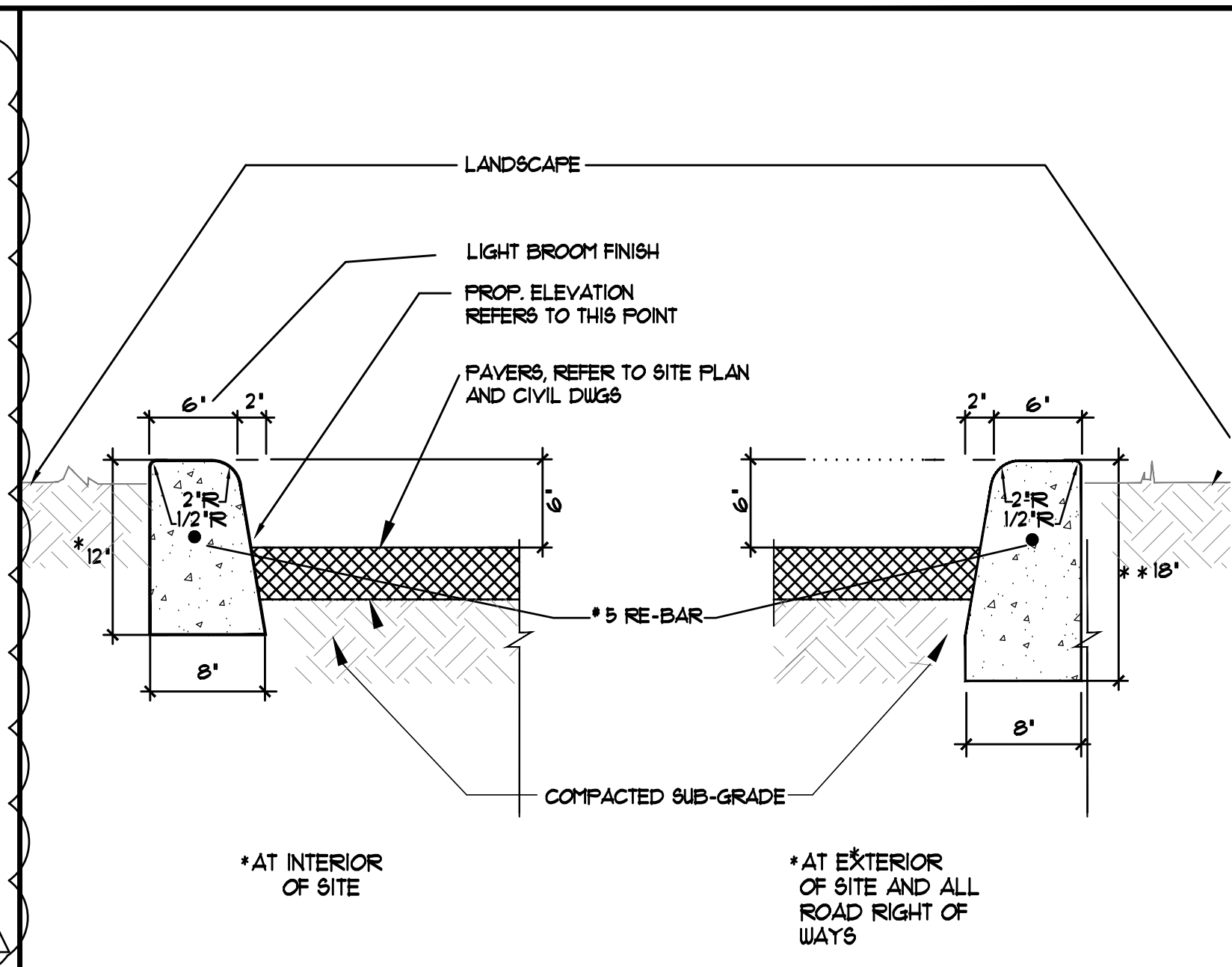
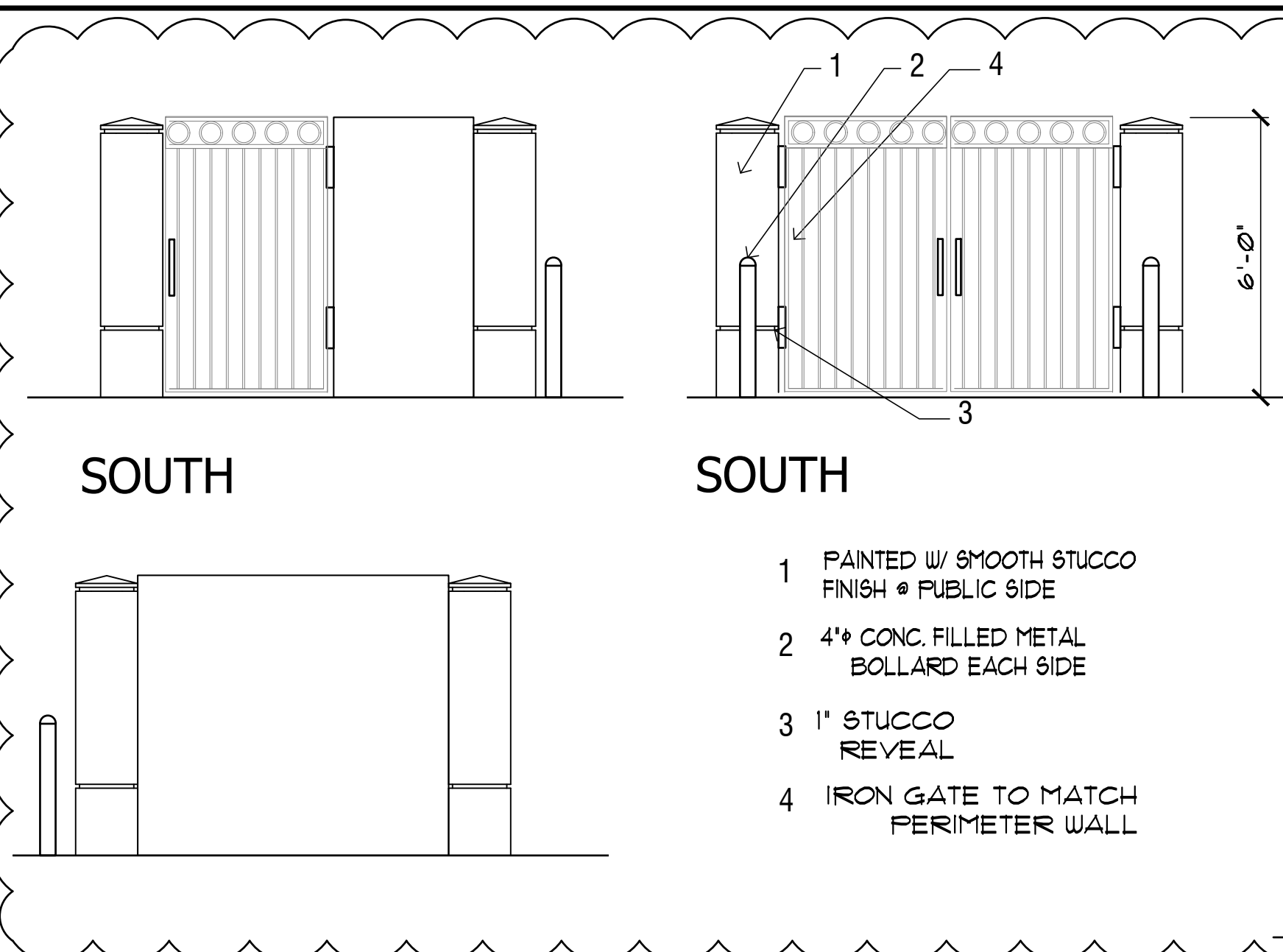
No.	DATE	DESCRIPTION
1	05.08.19	CITY COMMENTS
2	08.08.19	CITY COMMENTS
3	09.10.19	CITY COMMENTS
4	01.13.20	CITY COMMENTS

PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

SP-1





2 DUMPSTER ENCLOSURE ELEVATIONS

(NTS)

Diagram illustrating the dimensions for a wheelchair symbol (Figure 10.10.1). The symbol is shown with a 6' radius and a 23° angle. Dimensions are provided for the symbol's width, height, and the required clearances around it.

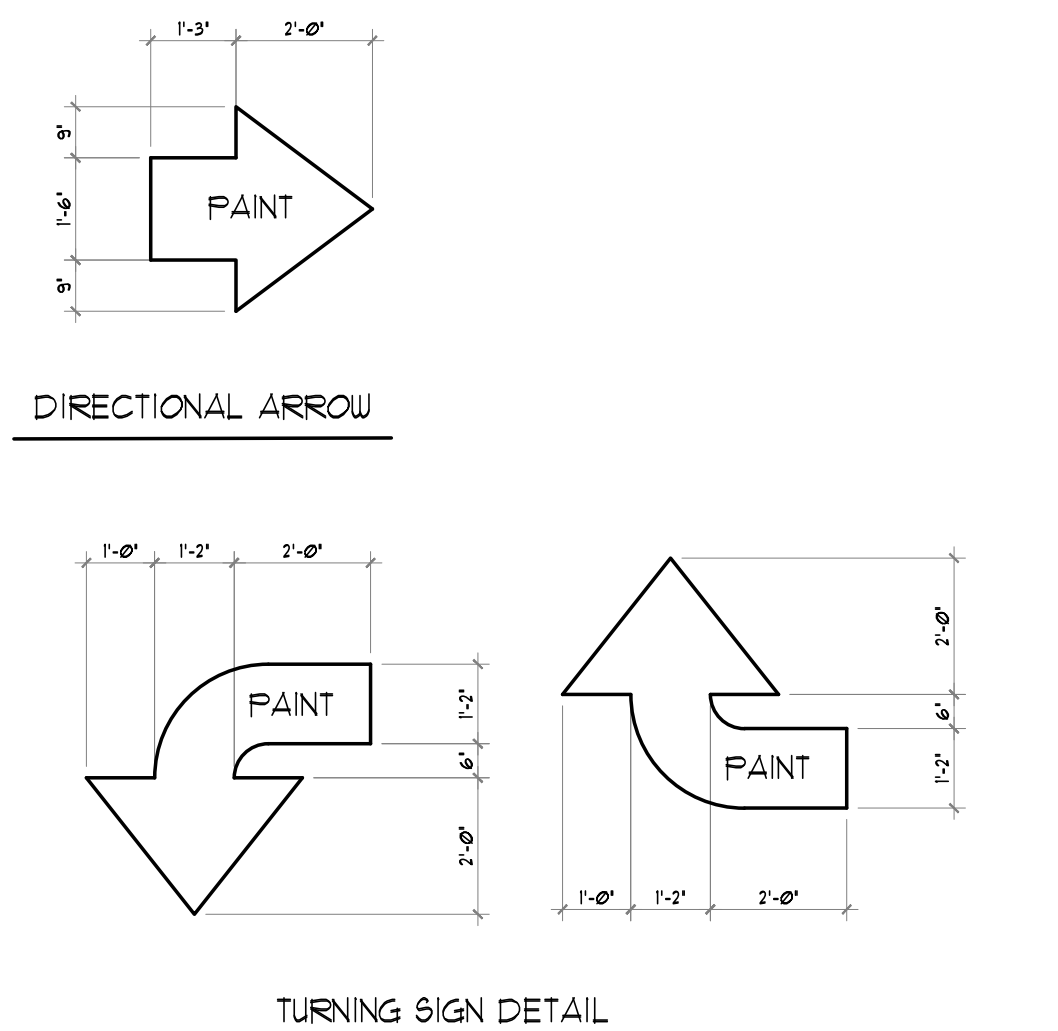
Dimensions shown:

- 6' RADIUS (top of the wheel)
- 2'-0" (height of the wheel)
- 1'-0" (width of the seat)
- 5'-6" (height of the seat)
- 4" (height of the footrest)
- 23° (angle of the footrest)
- 1'-0" (width of the footrest)
- 2'-0" (height of the footrest)
- 3" (height of the base)
- 1'-6" (width of the base)
- 8" (height of the base)

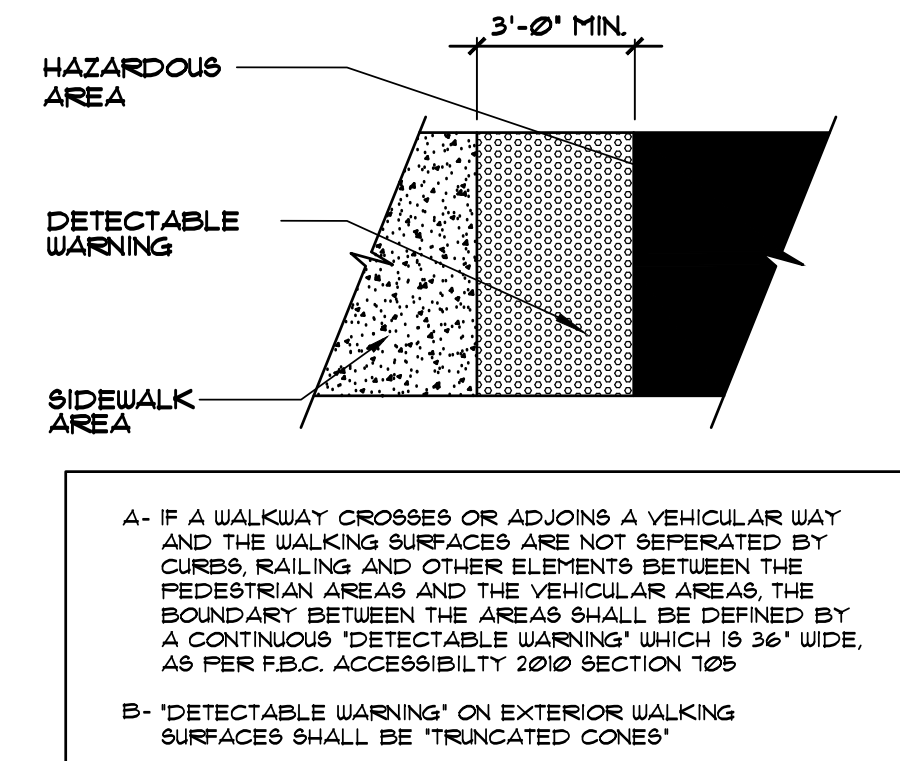
Annotations:

- CONFIRM ALL DIMENSIONS WITH LOCAL GOVERNMENTAL AGENCY. COLOR TO BE WHITE
- CENTER OF PARKING SPACE

(NTS)



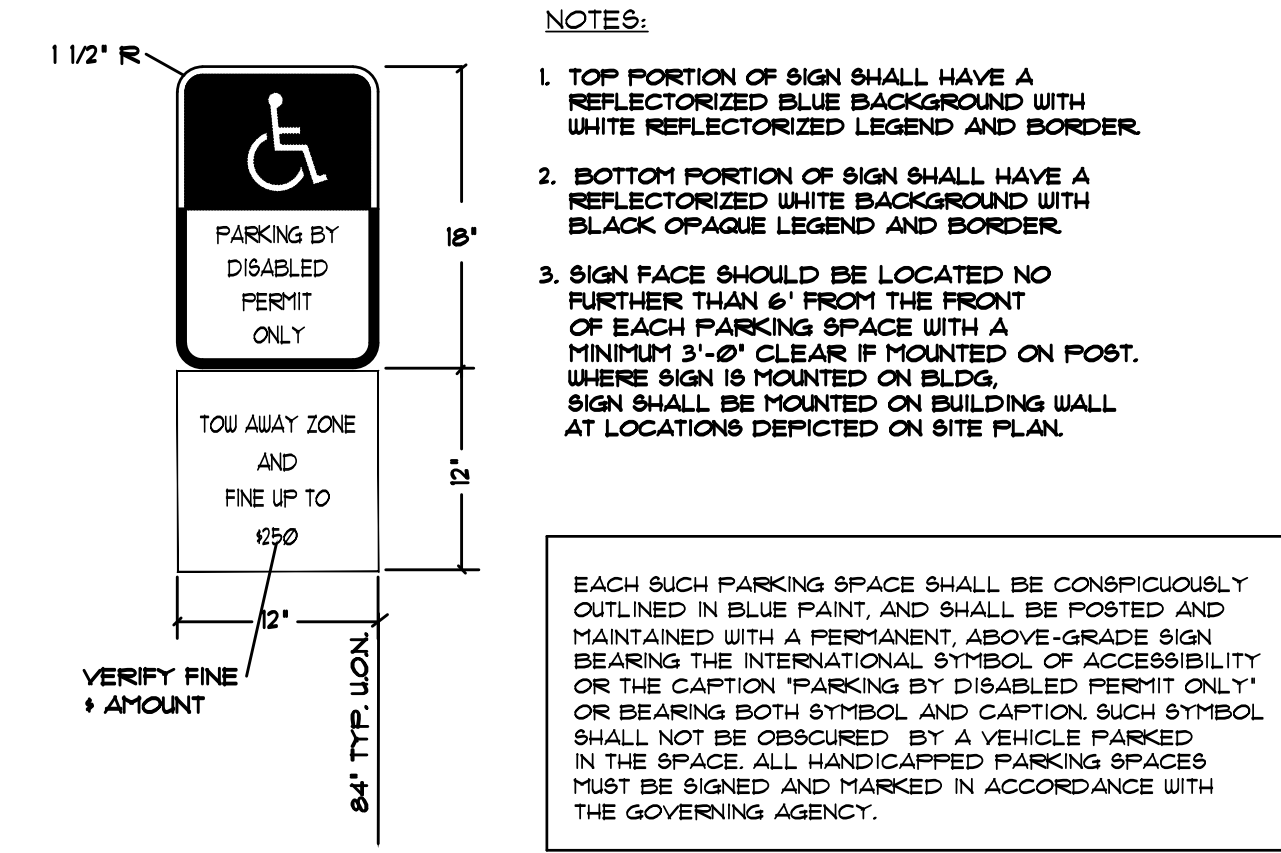
NOTE: SEE CIVIL ENGINEER'S DRAWINGS FOR ADDITIONAL 'DIRECTIONAL' DRIVEWAY PAVING DETAILS.



PAINTED H.C. SPACE SYMBOL

(NTS)

(NTS)

[illegible]

8 HANDICAPPED SIGNAGE DETAIL

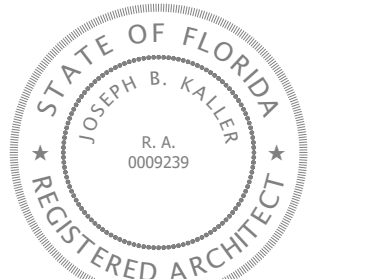
(NTS)



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PROJECT TITLE

SITE PLAN DETAILS

SHEET TITLE

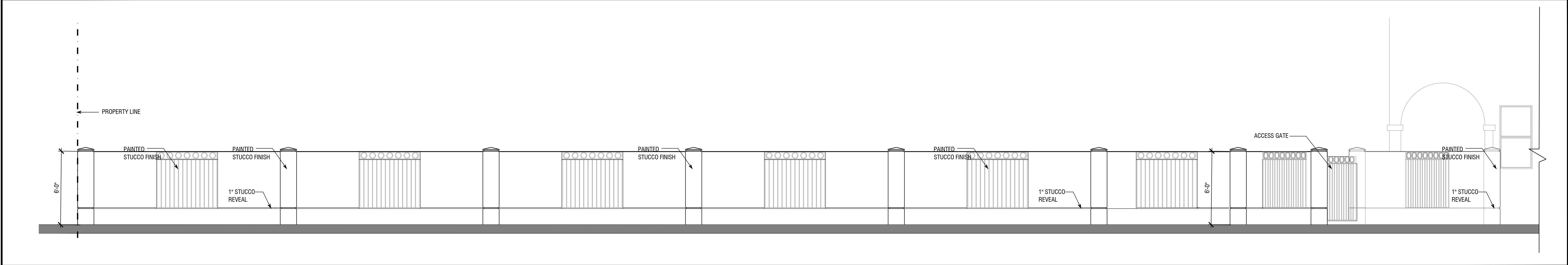
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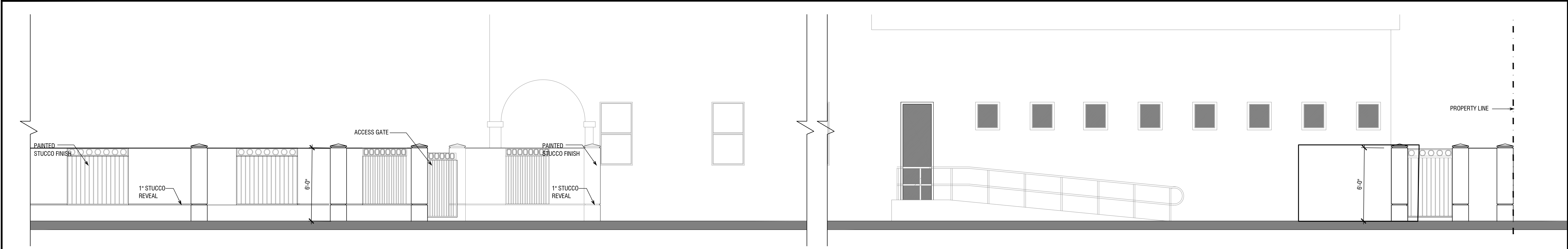
PROJECT No.: 09160
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DRAWN BY: GMV
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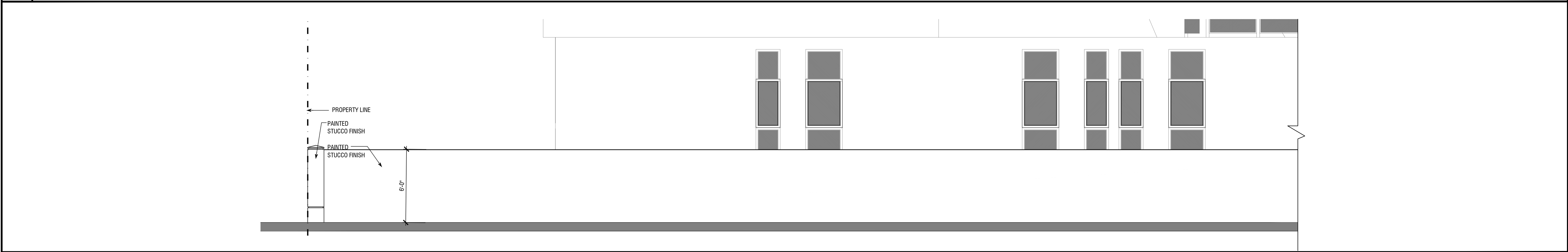
SP-2



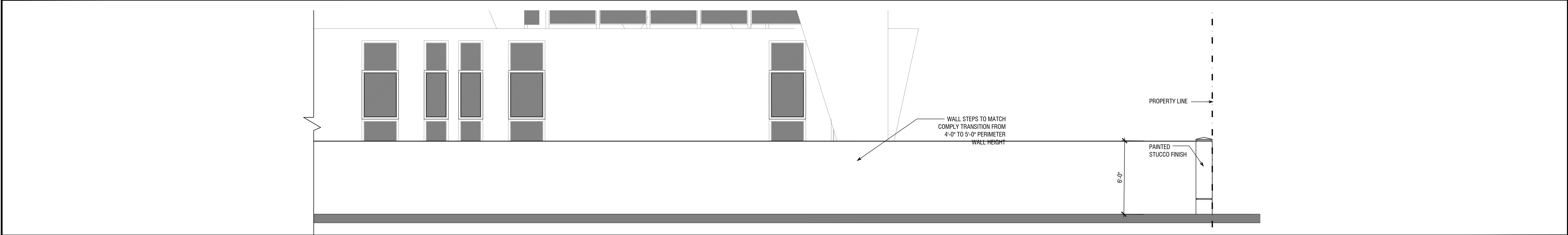
1 SOUTH PERIMETER WALL ELEVATION
3/16" = 1'-0"



1.1 SOUTH PERIMETER WALL ELEVATION
3/16" = 1'-0"



2 PROPOSED EAST PERIMETER WALL ELEVATION
3/16" = 1'-0"



2.1 PROPOSED EAST PERIMETER WALL ELEVATION
3/16" = 1'-0"

KA

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SEAL

STATE OF FLORIDA

JOSEPH B. KALLER

R.A.

0009239

REGISTERED ARCHITECT

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

SHEET TITLE

PERIMETER WALL DETAILS

REVISIONS		
No.	DATE	DESCRIPTION

PROJ No.: 09160
DATE: 02-25-19
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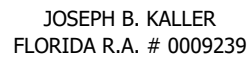
SHEET

SP-3



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**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE

PERIMETER WALL DETAILS

[illegible]

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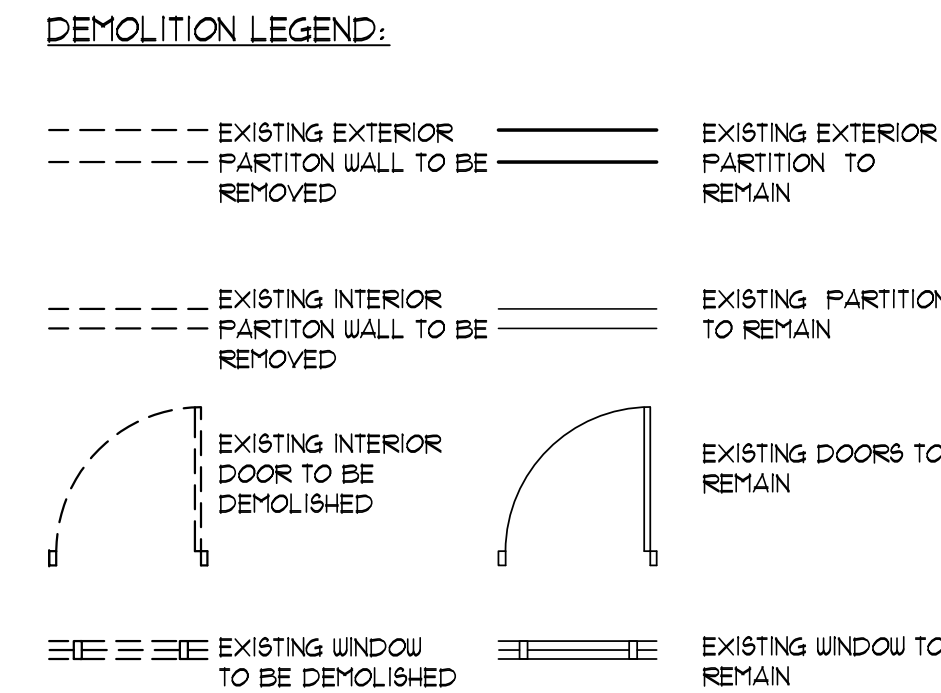
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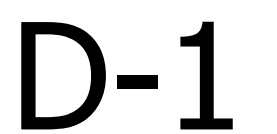
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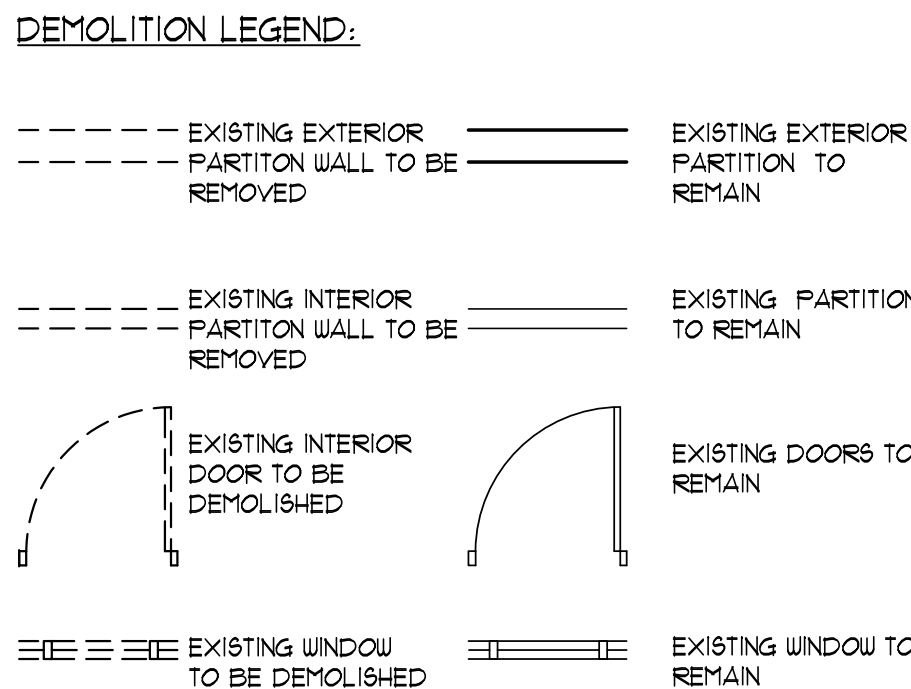


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13. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING & STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING & ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS.





- A.
1. COORDINATE WORK OF TRADES AND SCHEDULE ELEMENTS OF ALTERATIONS AND RENOVATION WORK BY PROCEDURES AND METHODS TO EXPEDITE COMPLETION OF THE WORK.
2. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEM AS:
 - a. REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.
 - b. REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT, AND WIRING.
 - c. REMOVAL OF UNSUITABLE OR EXTRANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED EQUIPMENT AND DEBRIS INCLUDING ROTTED WOOD, RUSTED METALS AND DETERIORATED CONCRETE.

- a. PROTECTION OF EXISTING BUILDING
- a. EXISTING BUILDING SHALL BE PROTECTED FROM ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
- b. COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.
- c. AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.
- d. DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPIRAGE ON UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE WORK AREA.
6. ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS.
7. EXPLOSIVE AND BURNING:
- a. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- b. USE OF FIRE FOR DEMOLITION OR DISPOSAL OF MATERIAL OR ANY OTHER SITUATION INTENTIONAL OR ACCIDENTAL WILL NOT BE PERMITTED.

- a. EXISTING UTILITIES
- a. CONTACT ALL UTILITIES INCLUDING ELECTRIC, WATER, GAS AND TELEPHONE, PRIOR TO BEGINNING WORK AND REQUEST THAT ALL SERVICE BE SHUT OFF AND CAPPED AT PRIMARY SERVICE LINES.
- b. REMOVE ALL EXISTING UTILITIES ACCORDING TO SEQUENCE OF OPERATIONS APPROVED AT START OF PROJECT.
- c. REMOVE ALL EXISTING UTILITIES UNCOVERED BY DEMOLITION AND TERMINATE IN A MANNER AND AT A TIME SATISFACTORY TO UTILITY COMPANIES INVOLVED, WHERE UTILITY COMPANY DESIRES TO EFFECT THE REMOVAL OF THEIR MATERIALS THEY SHALL BE PERMITTED TO DO SO.
- d. REMOVE AND DELIVER METERS AND RELATED EQUIPMENT TO THE APPROPRIATE UTILITY COMPANIES WITHOUT ADDITIONAL COST TO THE OWNER WHEN UTILITY LINES ARE ENCOUNTERED THAT ARE NOT ON THE DRAWINGS OR VISIBLE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH INSTRUCTIONS OF THE ARCHITECT/ENGINEER.
- e. INSTALL AND LEAVE A WELL MARKED STAKE AT CAPPED END OF EVERY UTILITY CAPPED ON THE SITE.
9. DISPOSING OF MATERIAL:
- a. TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT DEMOLISHED AND REMOVED FROM THE SITE IS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR.

AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE
CONDITIONS, LOSS, OR DAMAGE
TO SUCH PROPERTY AFTER NOTICE TO PROCEED.

c. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.

10. PREPARATION:


- a. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.
- b. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
- c. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.

11. PERFORMANCE:
 - a. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE ALL OTHER WORK.
 - b. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.
 - c. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGHOUT.
 - d. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
 - e. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
 - f. FOR CONTINUOUS SURFACES, REFINISH TO NEAREST INTERSECTION.
 - g. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

12. CONTRACTOR SHALL VERIFY ALL EXIST'G CONDITIONS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STRUCTURAL ENGINEER OF RECORD SHOULD A CONFLICT OCCUR BETWEEN THE EXISTING CONDITIONS AND THOSE CONDITIONS DEPICTED ON THESE PLANS.

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SEAL

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FLORIDA R.A. # 0009239

TITLE

PROJECT TITLE

DEMO
SECOND FLOOR

SHEET TITLE

[illegible]

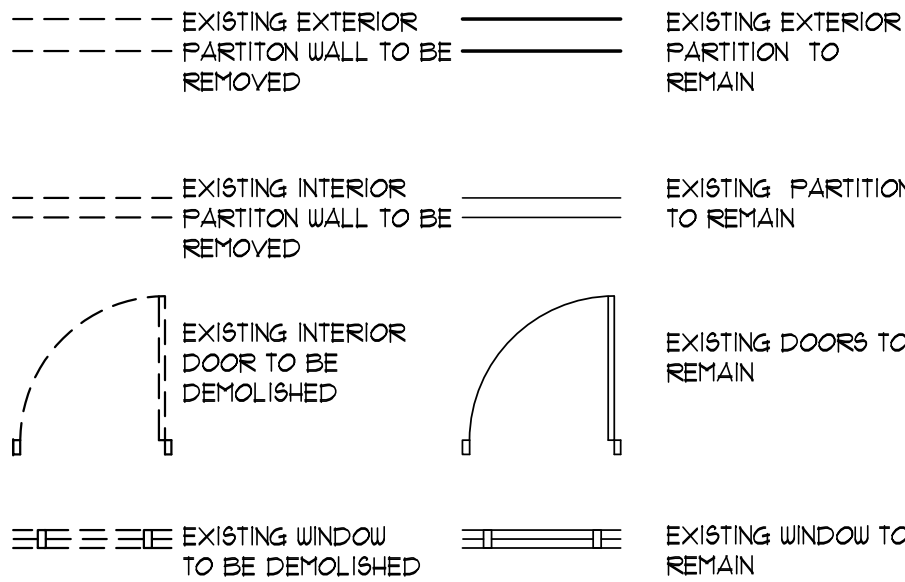
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PROJECT No.: 09160
DATE: 02-25-19
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SHEET

D-2





1. CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.

2. PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE AND DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL BE REVIEWED AND APPROVED BY THE CITY OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.

3. PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.

4. DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE THREAT OF SPREADING OF DUST OR WATER. WILL NOT BE PERMITTED WHEN IT WILL RESULT IN OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.

- a. EXISTING UTILITIES
 - a. CONTACT ALL UTILITY UTILITIES INCLUDING ELECTRIC, WATER, GAS AND TELEPHONE, PRIOR TO BEGINNING WORK AND REQUEST THAT ALL SERVICE BE SHUT OFF AND CAPPED AT PRIMARY SERVICE LINES.
 - b. REMOVE ALL EXISTING UTILITIES ACCORDING TO SEQUENCE OF OPERATIONS APPROVED AT START OF PROJECT.
 - c. REMOVE ALL EXISTING UTILITIES UNCOVERED BY DEMOLITION AND TERMINATE IN A MANNER AND AT A TIME SATISFACTORY TO UTILITY COMPANIES INVOLVED. WHERE UTILITY COMPANY DESIRES TO DEFER THE REMOVAL OF THEIR MATERIALS THEY SHALL BE PERMITTED TO DO SO.
 - d. REMOVE AND DELIVER METERS AND RELATED EQUIPMENT TO THE APPROPRIATE UTILITY COMPANIES WITHOUT ADDITIONAL COST TO THE OWNER WHEN UTILITY LINES ARE ENCOUNTERED THAT ARE NOT ON THE DRAWINGS OR VISIBLE THEY SHALL BE REMOVED IN ACCORDANCE WITH INSTRUCTIONS OF THE ARCHITECT/ENGINEER.
 - e. INSTALL AND LEAVE A WELL MARKED STAKE AT CAPPED END OF EVERY UTILITY CAPPED ON THE SITE.
- b. DISPOSING OF MATERIAL:
 - a. TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR

AT START OF PROJECT, THE OWNER WILL BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.

6. DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING OR LOT AND ON ADJACENT STREETS.

7. REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.

10. PREPARATION:

- a. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.
- b. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
- c. PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK.

II. PERFORMANCE:

a. EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS.

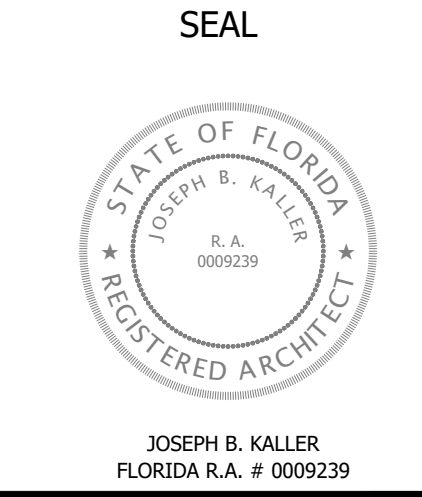
b. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.

- c. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.
- d. FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
- e. REFRESH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
- f. FOR CONTINUOUS SURFACES, REFRESH TO NEAREST INTERSECTION.
- g. FOR AN ASSEMBLY, REFRESH ENTIRE UNIT.

12. CONTRACTOR SHALL VERIFY ALL EXIST'G CONDITIONS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STRUCTURAL ENGINEER OF RECORD SHOULD A CONFLICT OCCUR BETWEEN THE EXISTING CONDITIONS AND THOSE CONDITIONS DEPICTED ON THESE PLANS.

13 THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING & STABLE

13. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING & STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING & ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS.



TITLE

HABAD OF HOLLYWOOD
EXTERIOR ALTERATION

1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

PROJECT TITLE F

DEMOLITION
ROOF PLAN

SHEET TITLE F

[illegible]

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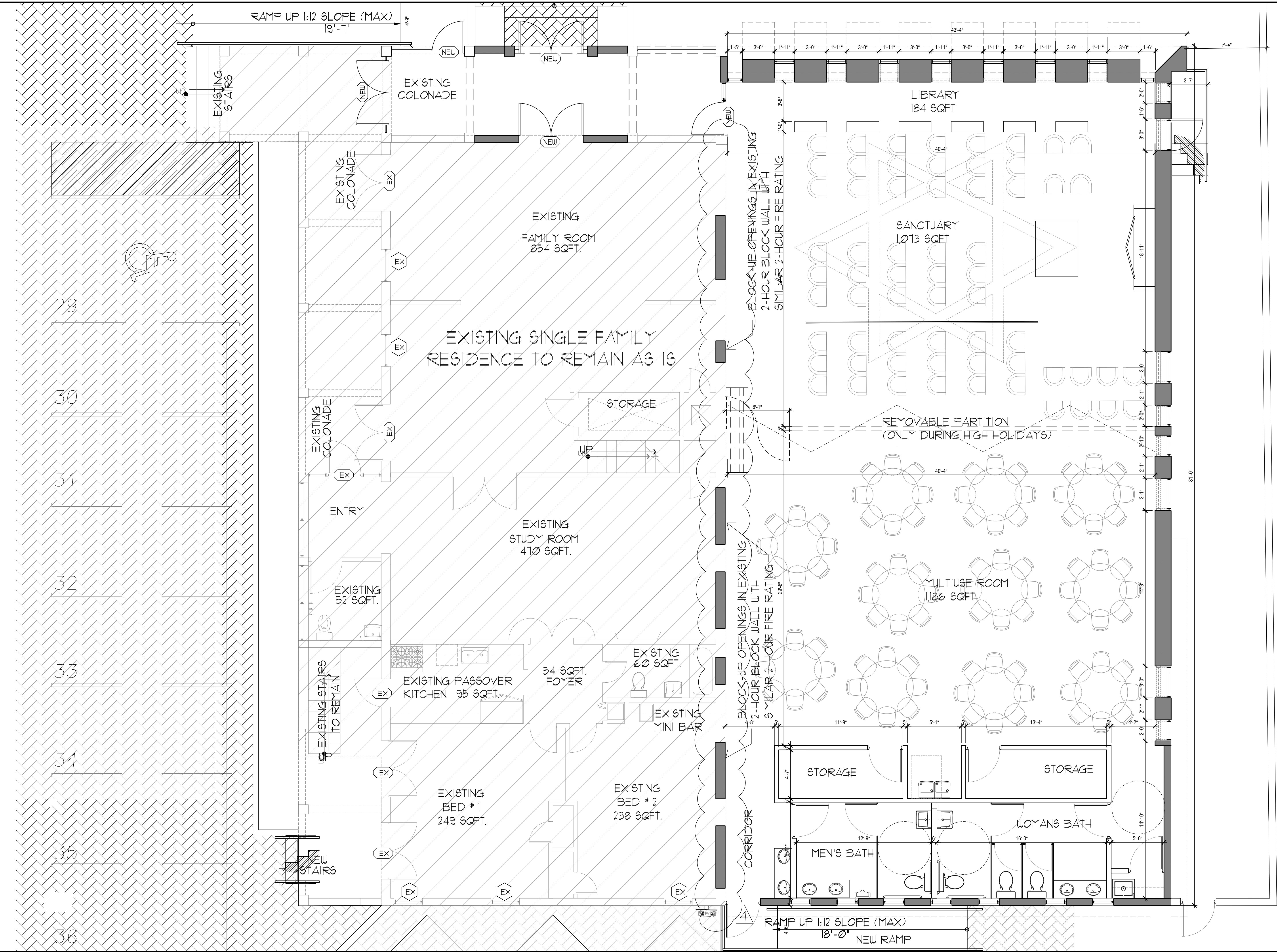
PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

D-3



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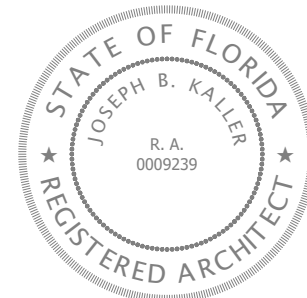


1 PROPOSED GROUND FLOOR PLAN
1/4"=1'-0"



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joseph@kallerarchitects.com
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SEAL



JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

SHEET TITLE
PROPOSED
GROUND FLOOR

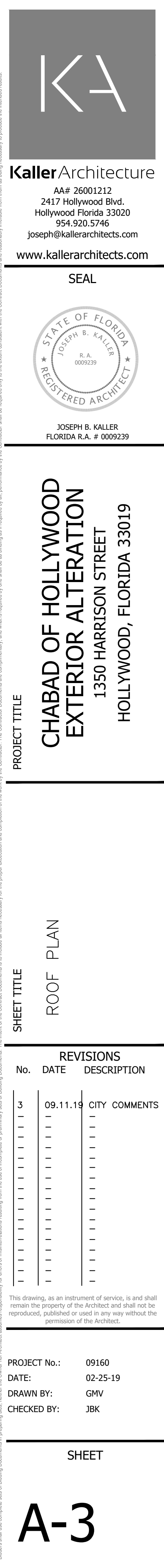
REVISIONS		
No.	DATE	DESCRIPTION
1	05.15.19	CITY COMMENTS
2	01.13.20	CITY COMMENTS

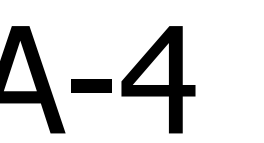
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DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-1

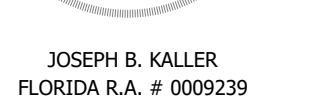






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REAL



**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

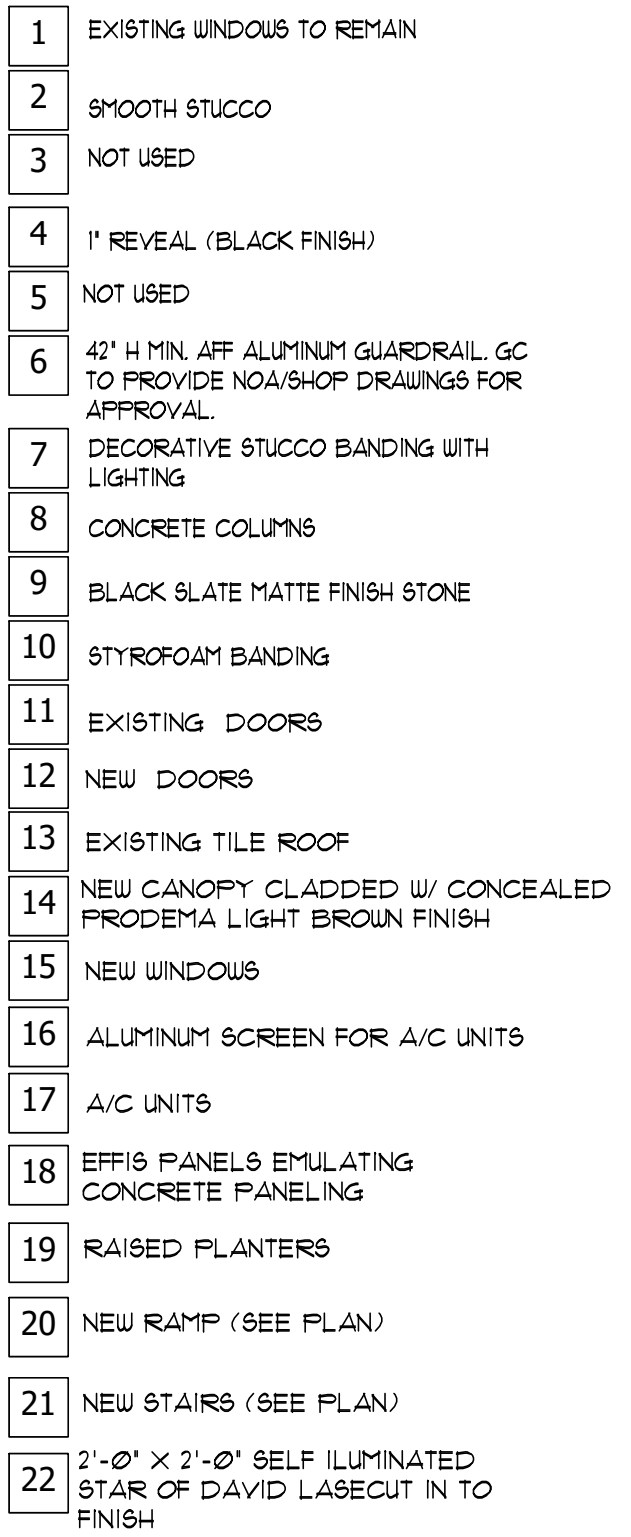
PROJECT TITLE

PROPOSED AND EXISTING
NORTH ELEVATION

PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-5



1	PROPOSED NORTH ELEVATION 1/4" = 1'-0"
---	--





**HABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

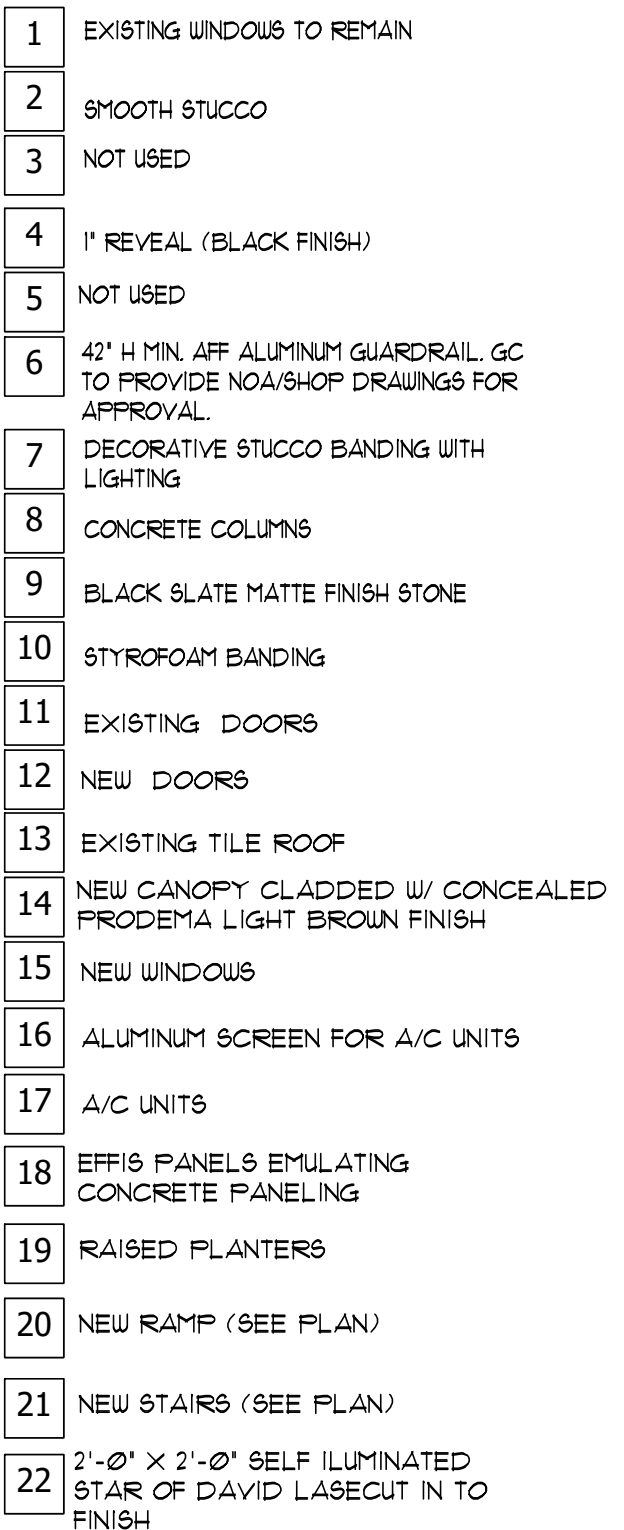
PROJECT FILE

PROPOSED AND EXISTING
WEST ELEVATION

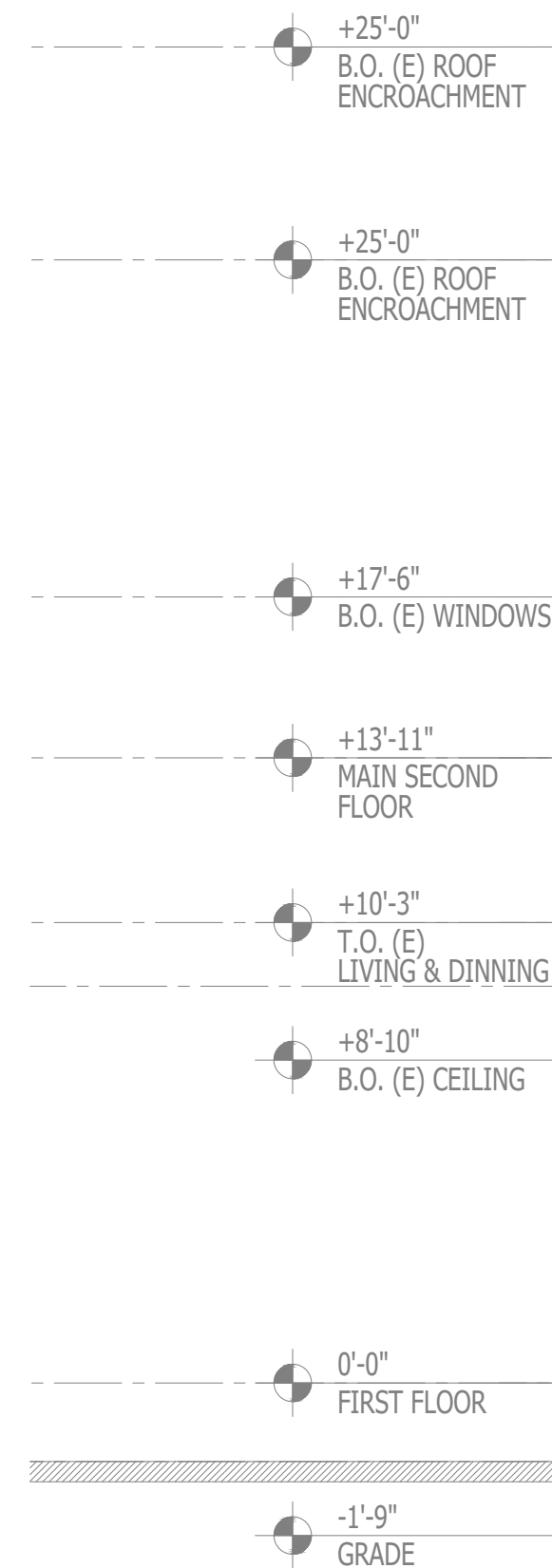
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PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

A-6



1	PROPOSED WEST ELEVATION 1/4" = 1'-0"
---	---



1	EXISTING WEST ELEVATION 3/16"=1'-0"
---	--

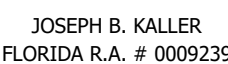
SHEET TITLE

PROJECT TITLE



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SEAL



PROJECT TITLE

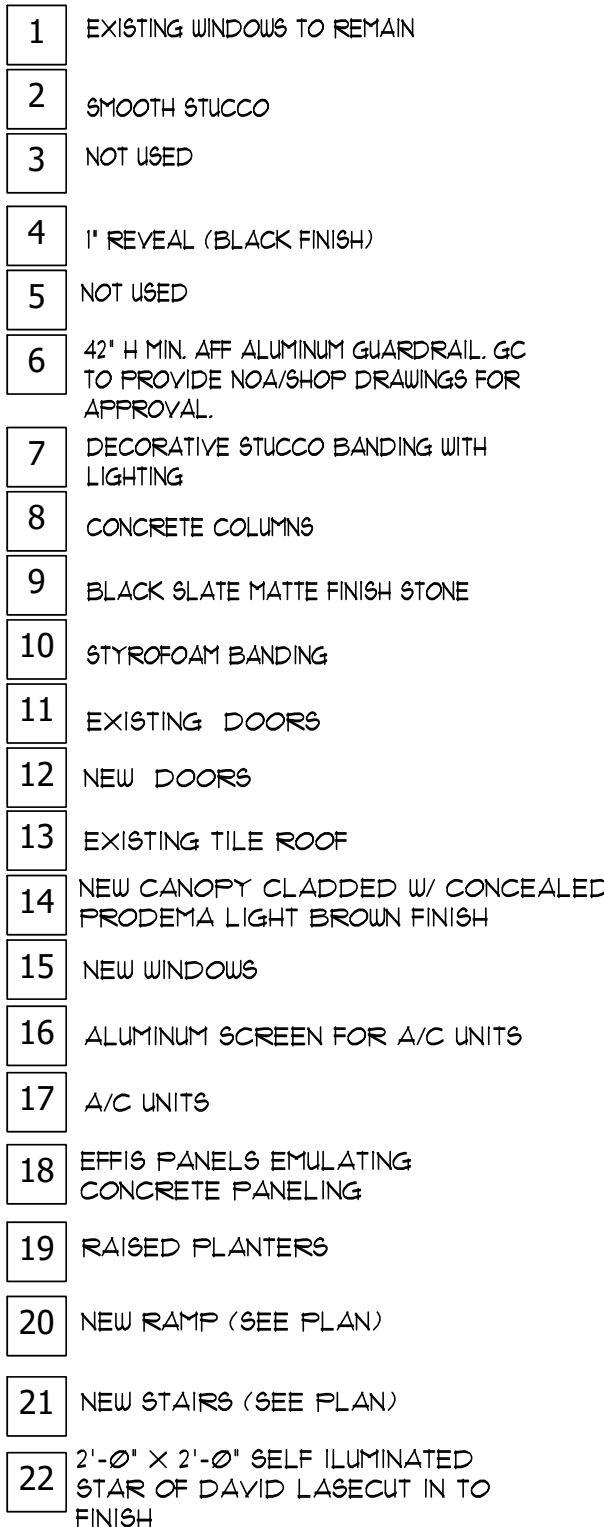
SHEET TITLE

[illegible]

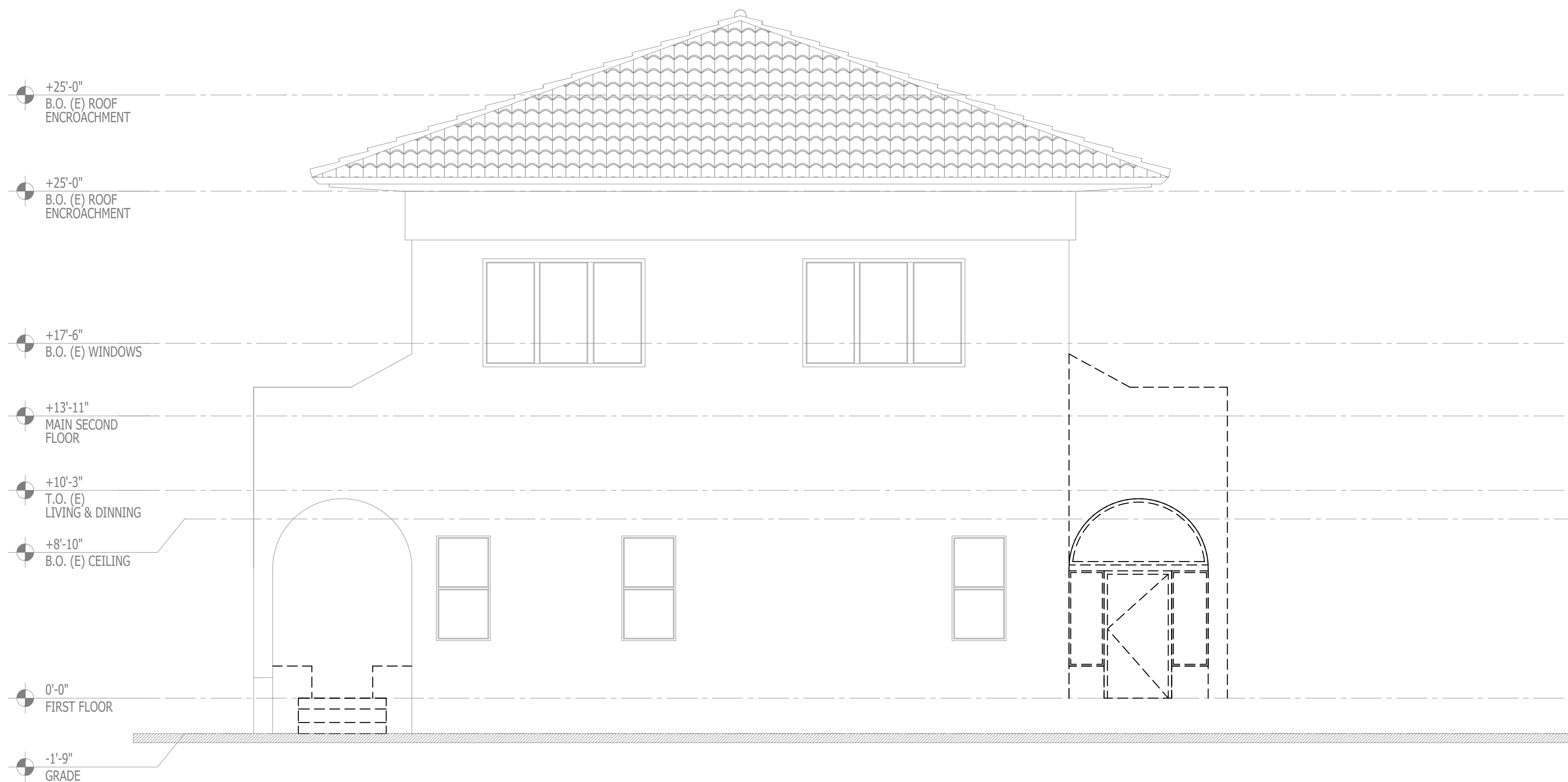
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DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET

A-7



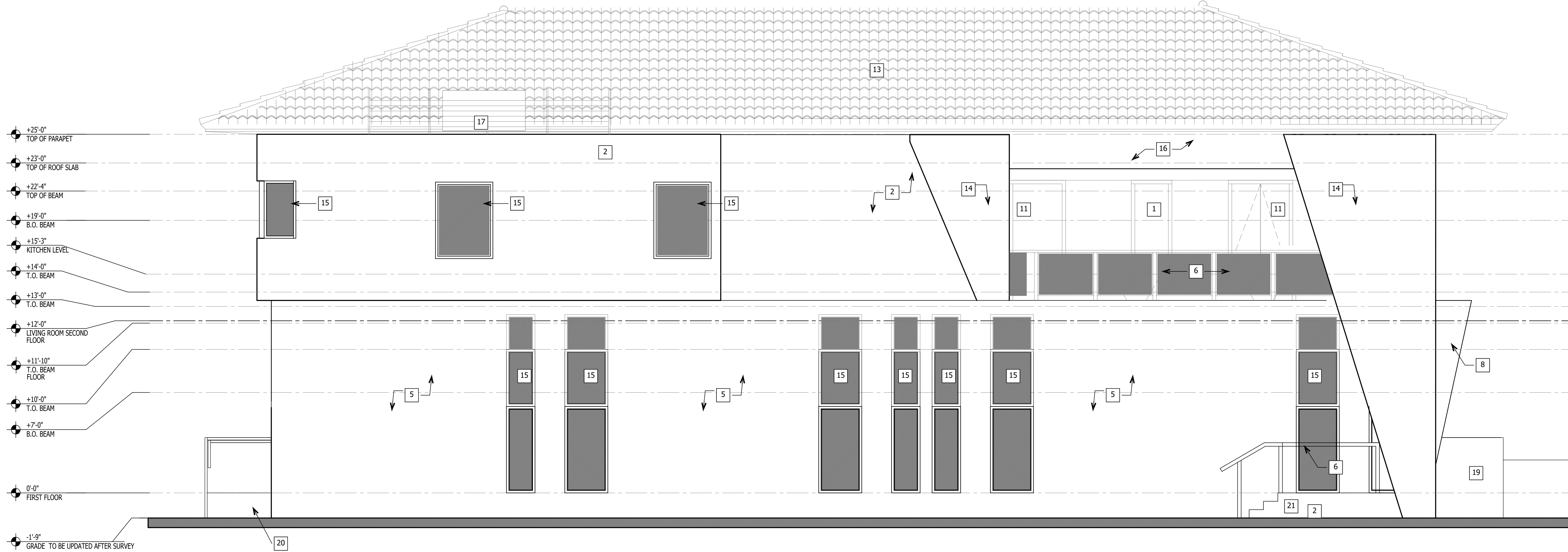
1	PROPOSED SOUTH ELEVATION 1/4" = 1'-0"
---	--



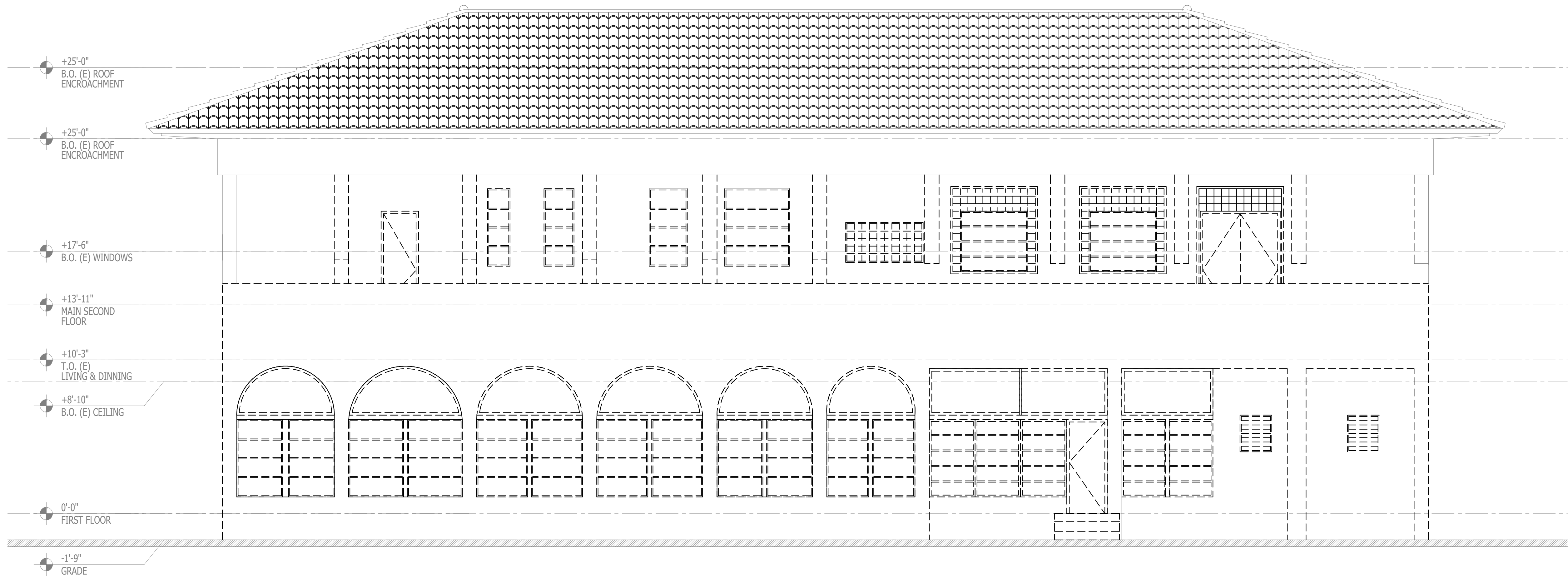
1	EXISTING SOUTH ELEVATION 3/16"=1'-0"
---	---

[illegible]

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1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

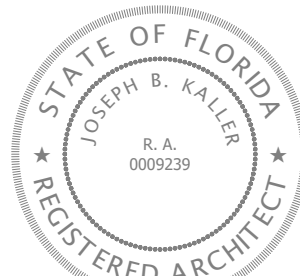


1 EXISTING EAST ELEVATION
3/16"=1'-0"



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JOSEPH B. KALLER
FLORIDA R.A. # 0009239

**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

PROJECT TITLE

SHEET TITLE

PROPOSED AND EXISTING
EAST ELEVATION

REVISIONS

No.	DATE	DESCRIPTION
1		
2		
3		
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5		
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7		
8		
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11		
12		
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21		
22		

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DATE: 02-25-19
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SHEET

A-8



1 STREET PROFILE (HARRISON STREET)
1/16"=1'-0"



2 STREET PROFILE (14TH AV)




3 | STREET PROFILE (ALLEY)
1/16"=1'-0"



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JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION

1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

SHEET TITLE

STREETS PROFILE
HARRISON STREET
14TH AV AND ALLEY

[illegible]

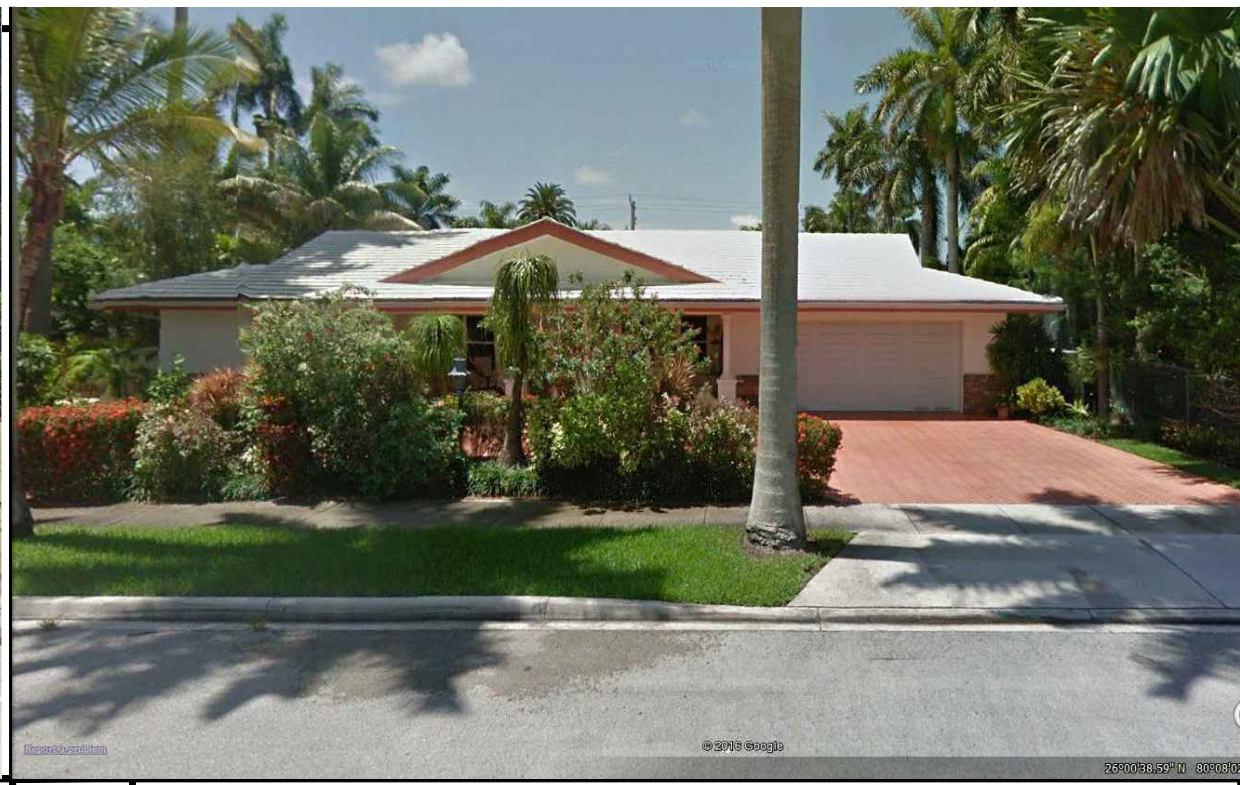
PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
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SHEET

A9



1 1329 HARRISON STREET
NTS



2 1330 HARRISON STREET
NTS



3 1335 HARRISON STREET
NTS



4 1337 HARRISON STREET
NTS



5 1340 HARRISON STREET
NTS



6 1341 HARRISON STREET
NTS



7 1345 HARRISON STREET
NTS



8 1351 HARRISON STREET
NTS



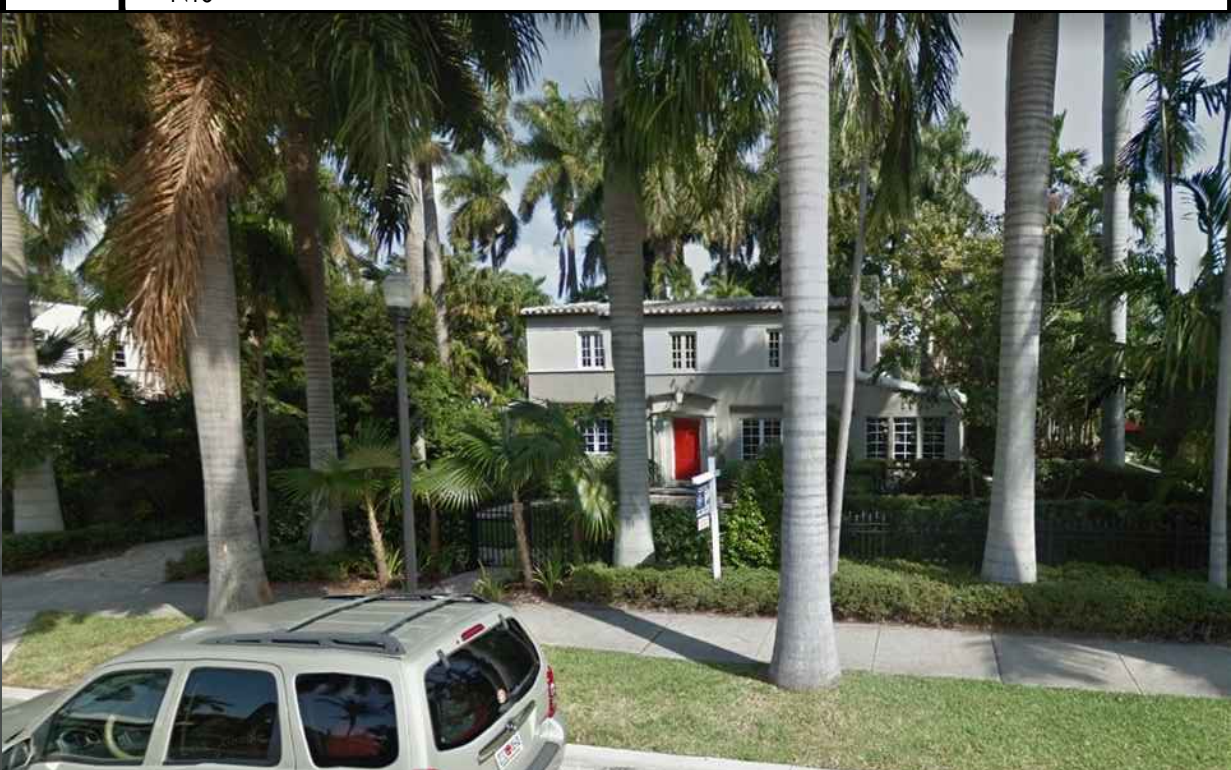
9 1355 HARRISON STREET
NTS



10 1400 HARRISON STREET
NTS



11 1407 HARRISON STREET
NTS



12 1411 HARRISON STREET
NTS



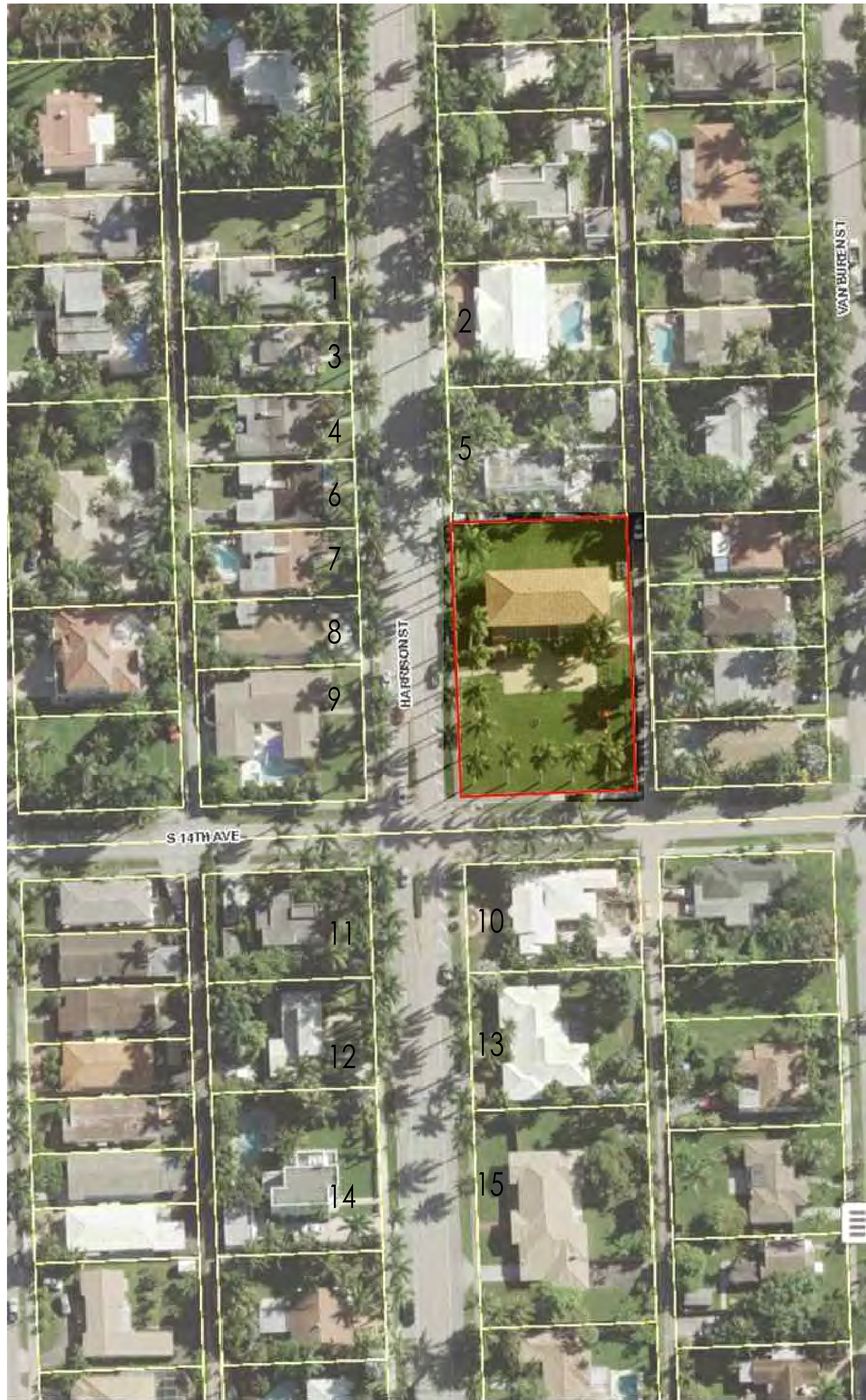
13 1414 HARRISON STREET
NTS



14 1421 HARRISON STREET
NTS



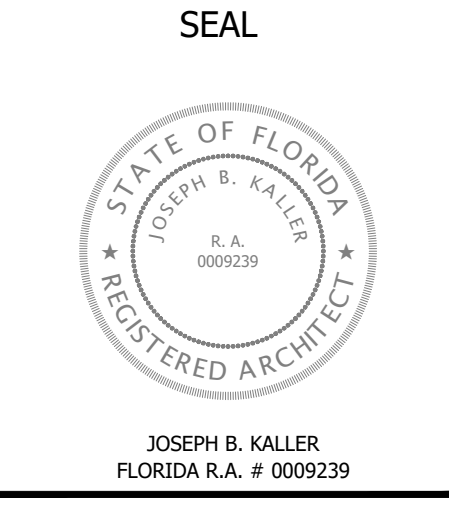
15 1424 HARRISON STREET
NTS



16 ADJACENT PROPERTIES
NTS



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**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

PROJECT TITLE
ADJACENT PROPERTIES

REVISIONS		
No.	DATE	DESCRIPTION
1		
2		
3		
4		
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12		
13		
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15		

PROJECT No.: 09160
DATE: 02-25-19
DRAWN BY: GMV
CHECKED BY: JBK

SHEET
A-10



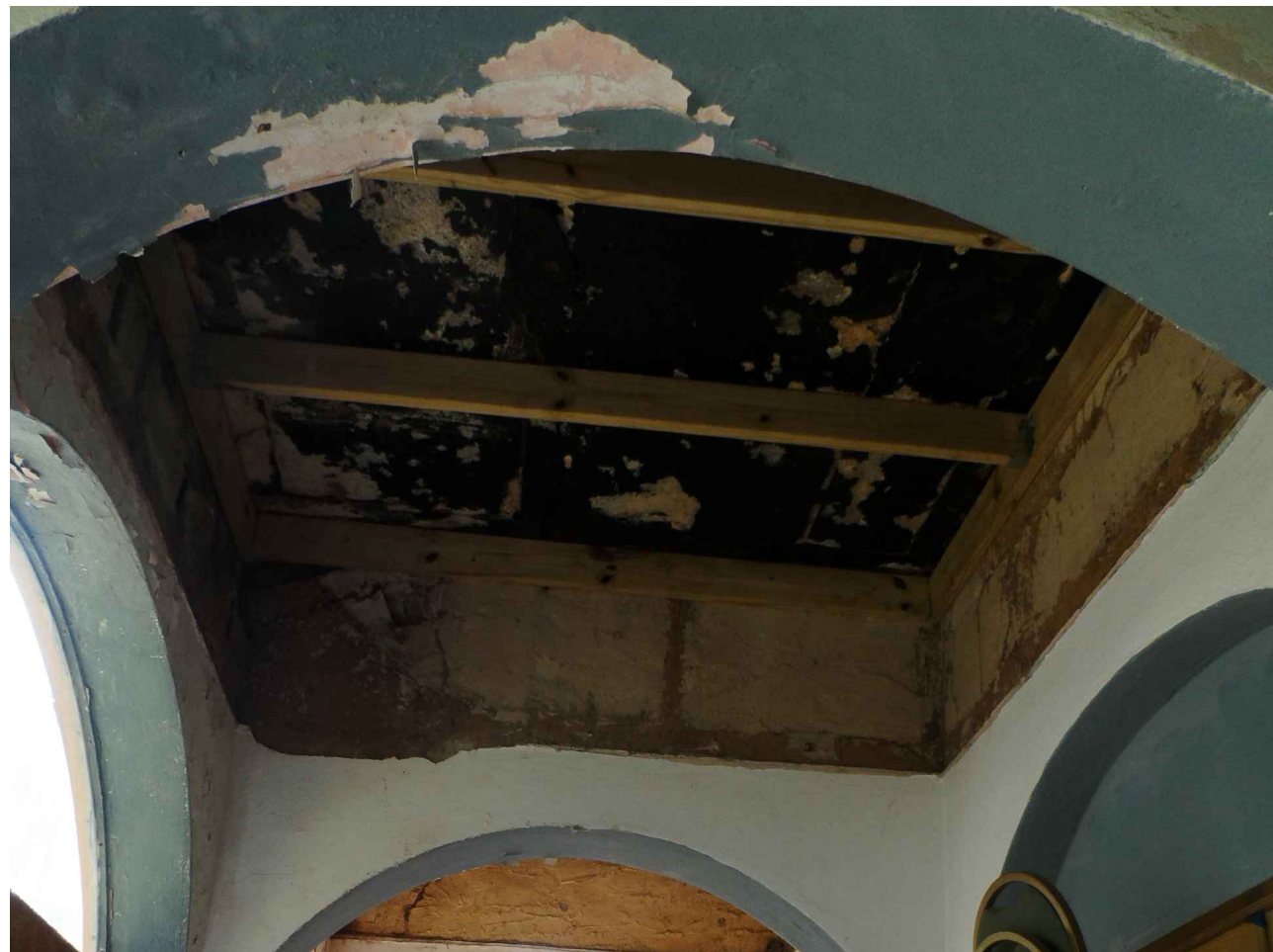
1

NTS



3

NTS



4

NTS



2

NTS



5

NTS



16

SUBJECT PROPERTY

NTS



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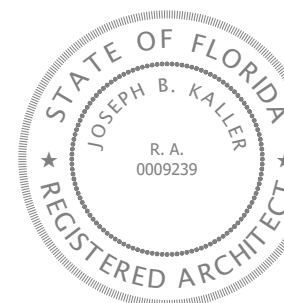
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SEAL



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**CHABAD OF HOLLYWOOD
EXTERIOR ALTERATION**
1350 HARRISON STREET
HOLLYWOOD, FLORIDA 33019

PROJECT TITLE F

SHEET TITLE

1350 HARRISON ST
PICTURES

[illegible]

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PROJECT No.: 09160

DATE: 02-25-19

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SHEET

A-11





1 1329 HARRISON STREET
NTS

2 1330 HARRISON STREET
NTS

3 1335 HARRISON STREET
NTS



4 1337 HARRISON STREET
NTS

5 1340 HARRISON STREET
NTS

6 1341 HARRISON STREET
NTS



7 1345 HARRISON STREET
NTS

8 1351 HARRISON STREET
NTS

9 1355 HARRISON STREET
NTS



10 1400 HARRISON STREET
NTS

11 1407 HARRISON STREET
NTS

12 1411 HARRISON STREET
NTS



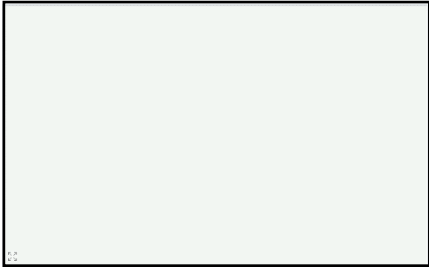
13 1414 HARRISON STREET
NTS

14 1421 HARRISON STREET
NTS

15 1424 HARRISON STREET
NTS

1350 HARRISON STREET

PROPOSED PAINT CHIPS AND MATERIALS



Benjamin Moore

Snow White 2122-70



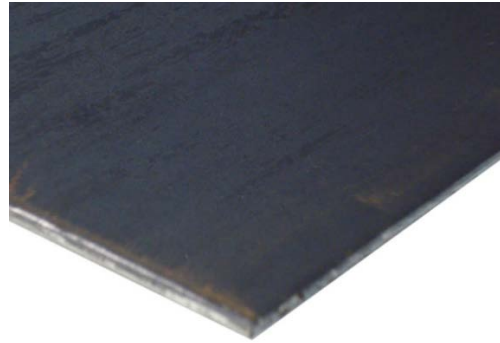
Benjamin Moore

Universal Black 2118-10

Jerusalem Stone



Hot roll Steel



Concrete columns



Application/Permit Data

[Register for E-Mail Notifications](#)

New Search	Application/Permit Data	Plan Review Status	Inspection Results/Scheduling
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[Back to the Previous Page](#)

Process #: 57148	Permit #: P9200668	Master Permit: P9200668
Status: Transferred		
Show Master Permit List All Subpermits		

Site Information	
Address: 1350 HARRISON ST	Folio#: 514214011490
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$600.00
Lot: 27 Block: 7	Sq Ft: 0

Permit Information	
Application Type: REPAIRS-PLUMBING	Application Date: 06/25/92
Job Name: KANAKRY,LYNDA &	Permit Date: 06/26/92
Film Number:	CO/CC Date:
	Permit Fee: \$30.35

Applicant / Contact Information
Name: SMITH PLUMBING INC
Address: 824 S DIXIE HIGHWAY HALLANDALE, FL

Property Owner Information
Name: KANAKRY,MARY
Address: 1350 HARRISON ST HOLLYWOOD FL 33020

Application/Permit Data

[Register for E-Mail Notifications](#)

New Search	Application/Permit Data	Plan Review Status	Inspection Results/Scheduling
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[Back to the Previous Page](#)

Process #: 89050	Permit #: M0500543	Master Permit: M0500543
Status: Closed		
Show Master Permit List All Subpermits		

Site Information	
Address: 1350 HARRISON ST	Folio#: 514214011490
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$18,500.00
Lot: 27	Block: 7
Sq Ft: 0	

Permit Information	
Application Type: A/C - CENTRAL - NEW	Application Date: 03/29/05
Job Name: SAM KANARKY	Permit Date: 04/15/05
Film Number: 0702066	CO/CC Date:
Permit Fee: \$466.65	

Applicant / Contact Information
Name: COLDFRONT A/C & REF INC
Address: 700 NE 42 STREET OAKLAND PARK, FL

Property Owner Information
Name: KANAKRY,MARY
Address: 1350 HARRISON ST HOLLYWOOD FL 33019

Application/Permit Data

[Register for E-Mail Notifications](#)

New Search **Application/Permit Data** **Plan Review Status** **Inspection Results/Scheduling**

[Back to the Previous Page](#)

Process #: 90635	Permit #: E0500860	Master Permit: M0500543
Status: Closed		
Show Master Permit List All Subpermits		

Site Information	
Address: 1350 HARRISON ST	Folio#: 514214011490
Sub-division: HOLLYWOOD LAKES SECTION	Value: \$2,000.00
Lot: 27 Block: 7	Sq Ft: 0

Permit Information	
Application Type: ELECTRICAL WORK	Application Date: 03/29/05
Job Name: SAM KANARKY	Permit Date: 04/20/05
Film Number: 0702066	CO/CC Date:
	Permit Fee: \$65.70

Applicant / Contact Information
Name: J & J TELECOM & ELECTRIC
Address: 12591 NW 10 CT SUNRISE, FL

Property Owner Information
Name: KANAKRY,MARY
Address: 1350 HARRISON ST HOLLYWOOD FL 33019

Application/Permit Data

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New Search	Application/Permit Data	Plan Review Status	Inspection Results/Scheduling
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[Back to the Previous Page](#)

Process #:	Permit #: B11-102957	Master Permit: B11-102957
Status: CLOSED		
Show Master Permit List All Subpermits		

Site Information	
Address: 1350 HARRISON ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 27 TO 30 BLK 7 Lot: Block:	Folio#: 514214011490 Value: \$22,800.00 Sq Ft: 0

Permit Information	
Application Type: REROOF - METAL, TILE, WOOD, SHINGLE OR SHAKE Job Name: Film Number:	Application Date: 7/29/2011 Permit Date: 11/17/2011 CO/CC Date: N/A Permit Fee: \$654.63

Applicant / Contact Information
Name: ESR FLORIDA CONSTRUCTION INC Address: 7800 S W 94 ST MIAMI, FL

Property Owner Information
Name: CHABAD OF NE HOLLYWOOD/DANIA INC Address: 1295 E HALLANDALE BEACH BLVD HALLANDALE BEACH, FL 33009

Application/Permit Data

[Register for E-Mail Notifications](#)

New Search	Application/Permit Data	Plan Review Status	Inspection Results/Scheduling
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[Back to the Previous Page](#)

Process #:	Permit #: E12-102376	Master Permit: E12-102376
Status: CLOSED		
Show Master Permit List All Subpermits		

Site Information	
Address: 1350 HARRISON ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 27 TO 30 BLK 7 Lot: Block:	Folio#: 514214011490 Value: \$1,200.00 Sq Ft: 0

Permit Information	
Application Type: ELECTRICAL WORK Job Name: Film Number:	Application Date: 10/19/2012 Permit Date: 11/1/2012 CO/CC Date: N/A Permit Fee: \$126.00

Applicant / Contact Information
Name: METRO ELECTRIC SERVICE Address: 21407 NE 38 AVE AVENTURA, FL

Property Owner Information
Name: CHABAD OF NE HOLLYWOOD/DANIA INC Address: 1295 E HALLANDALE BEACH BLVD HALLANDALE BEACH, FL 33009

Application/Permit Data

[Register for E-Mail Notifications](#)

New Search	Application/Permit Data	Plan Review Status	Inspection Results/Scheduling
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[Back to the Previous Page](#)

Process #:	Permit #: B16-101506	Master Permit: B16-101506
Status: EXPIRED		
Show Master Permit List All Subpermits		

Site Information	
Address: 1350 HARRISON ST Sub-division: HOLLYWOOD LAKES SECTION 1-32 B , LOT 27 TO 30 BLK 7 Lot: Block:	Folio#: 514214011490 Value: \$7,800.00 Sq Ft: 0

Permit Information	
Application Type: PAVING Job Name: CHABAD OF NE HOLLYWOOD/DANIA INC Film Number:	Application Date: 3/17/2016 Permit Date: 6/27/2016 CO/CC Date: N/A Permit Fee: \$439.23

Applicant / Contact Information
Name: K CONSTRUCTION AND DEVELOPMENT Address: 8950 DICKENS AVE SURFSIDE, FL

Property Owner Information
Name: CHABAD OF NE HOLLYWOOD/DANIA INC Address: 1295 E HALLANDALE BEACH BLVD HALLANDALE BEACH, FL 33009

EVALUATION REPORT



Date of Inspection:
May 1, 2018

By
Jorge L Canellas
Cert Gen RZ3065

Jorge Luis Canellas

*Appraisal Zone Corp.
18062 NW 87th Court
Miami, Florida 33018*

Certified General # RZ 3065

*Phone: 305-512-1420
Email: lcanelas@apprzone.com
Website: www.apprzone.com*



Jorge Luis Canellas

*Appraisal Zone Corp.
18062 NW 87th Court
Miami, Florida 33018*

Certified General # RZ 3065

*Phone: 305-512-1420
Email: lcanelas@apprzone.com
Website: www.apprzone.com*



CERTIFICATION

May 1, 2018

In accordance with your request, we have produced a valuation cost report of the above referenced property. The sole objective and purpose of this report is to establish a cost to the building with the Marshall and Swift cost estimator. This report is intended for sole use by the current owner in obtaining building permits.

This report is based on a physical analysis of the site and improvements. I certify I have no present or contemplated interest in the property evaluated. If any part of my report requires amplification or clarification, please do not hesitate to advise me. The cost estimates and conclusions reported are as of the effective date stated in the body of the report and contingent upon the certification and limiting conditions attached. The reported analyses, opinions, and conclusions are limited only by the accompanying assumptions and limiting conditions and are my personal, unbiased professional analyses, opinions, and conclusions. Our compensation is not contingent upon the reporting a predetermined value, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event.

Based upon our analysis, it was concluded that the Estimated Replacement Cost for the subject property as of May 1, 2018 to be as follows.

DWELLING:

ESTIMATED REPLACEMENT COST FOR BUILDING IS \$1,422,000 DOLLARS

ESTIMATED DEPRECIATION FOR THE BUILDING IS:

(-12% \$) \$170,640 DOLLARS

TOTAL ESTIMATED REPLACEMENT COST WITH DEPRECIATION IS:

\$1,251,360 (DOLLARS)

Respectfully submitted,

Jorge L. Canellas Cert Gen RZ 3065
Marshall & Swift Certified

SUMMARY OF SALIENT FACTS

Addresses:	1350 Harrison St, Hollywood, FL 33009
Folio:	51-42-14-01-1490
Legal Description:	HOLLYWOOD LAKES SECTION 1-32 B LOT 27 TO 30 BLK 7
Valuation Date:	May 1, 2018
Report Type:	Evaluation Report
Property Rights:	Fee Simple
Client:	CHABAD OF NE HOLLYWOOD/DANIA INC
Story:	Two
Description:	Single Family
Exterior:	CBS, Frame
Zoning:	RS 6
Year Built:	1927
Roof:	Tile
Cost Sources:	Swift Cost Estimator
Intended user:	City/Owner
ISO Construction:	Joisted Masonry ISO 2 & Frame ISO 1
Livable area:	5320 SF as per on site measurements

SUMMARY OF SALIENT FACTS CONTINUED

Project Improvements: As per clients order the appraiser is to estimate this evaluation report cost with depreciation for a one, two story single family dwelling located in Hollywood, FL. The roof with tile covering and wood decking. The subject with over 5,000 SF of gross building area including the porches and exterior areas. The subject with aluminum trimmed windows. The subject with four bedrooms and four and half bathrooms. The subjects flooring with stone, terrazzo and wood. The subject with HVAC consisting of cooled air conditioning. See page 18 for additional construction information.

The dimensions of the structures were derived from the tax records as well on site measurements. The various building parameters were entered into the cost estimator online service system, resulting in a current cost estimate for replacing the structures and amenities with modern construction materials and similar finishes.

Condition: The subject property is in good condition.

Conditions: This report is subject to the *General Assumptions & Limiting Conditions, and Certificate* herein.

ASSUMPTION AND LIMITING CONDITIONS

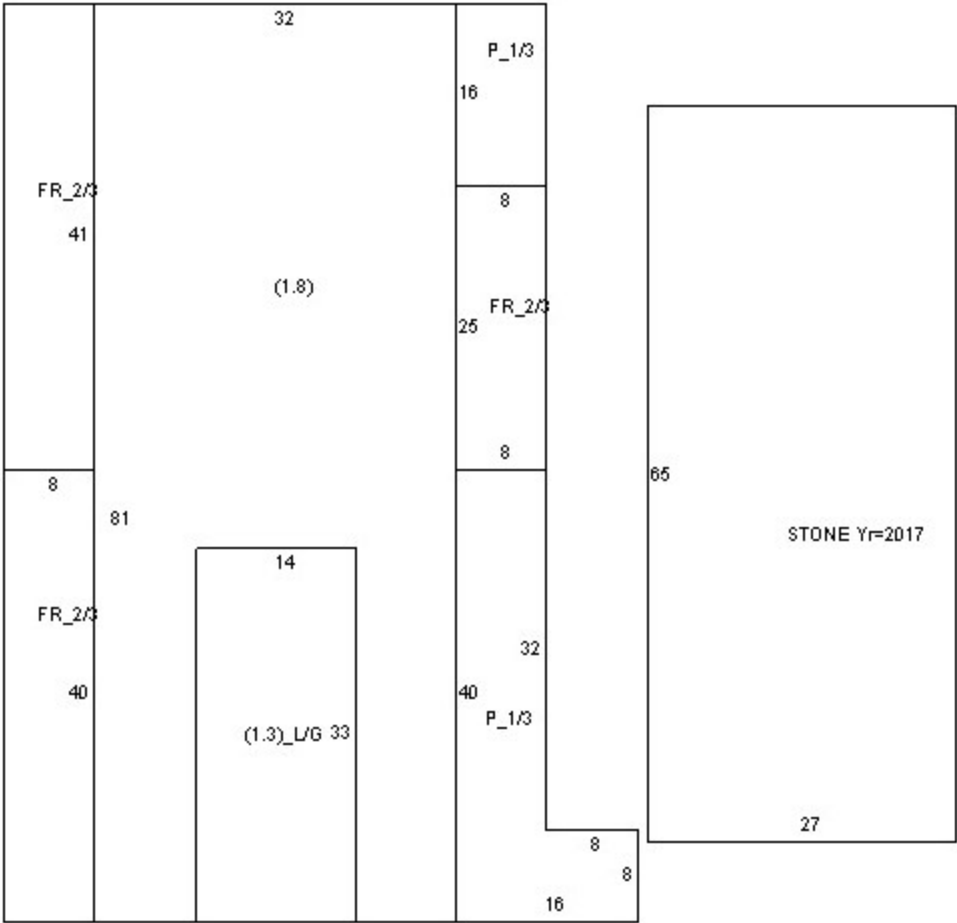
The value conclusions and the certification within this report are made expressly subject to the following assumptions and limiting conditions in this report, which are incorporated herein by reference.

1. No responsibility is accepted for matters legal in nature; titles is presumed to be good and assumed to be held in fee simple. All existing liens and encumbrances, if any, have been disregarded (unless otherwise stipulated within the report) and the property is appraised as though free and clear, under competent ownership and management.
2. The legal description and site drawings furnished (if provided) are assumed to be correct.
3. The maps and sketches are included to assist the reader (if provided). Unless a survey of the property has been provided, no responsibility, whatsoever, in connection with such matters will be recognized
4. It is assumed that the project herein set forth is an allowable use under the zoning, and is further considered its highest and bet use.
5. The land and soil of the area under the report appears firm and solid. The analyst was not supplied with an engineering survey and under this condition this report does not warrant this condition.
6. Existing buildings involved in this report have been inspected and damage, if any, by termites, dry rot, wet rot, or other infestations have been reported if discovered as a matter of information but no guarantee of the amount or degree of damage is intended.
7. In this report of existing improvements, the physical condition of the improvements was based on visual inspections. No liability is assumed for the soundness of structural members since no engineering tests were made.
8. All furnishings and equipment, except those specifically indicated and typically considered as part or real estate, have been disregarded. Only the real estate has been considered.
9. Information furnished by others including comparable sales data is believed to be reliable, but the appraiser assumes no responsibility for its accuracy.
10. The fees received for preparation of this report were not contingent upon the final value estimate.
11. The appraiser is not required to give testimony or attendance in court by reason of this report with reference to the property in question, unless arrangements have been made previously thereto.
12. Possession of the reports or copies thereof, does not carry with it the right to publications nor may be used for any purpose by any but the applicant, without the written consent of the appraiser and then with the proper qualifications.
13. The valuations may not be used in conjunction with any other report. The conclusions are based upon the program of utilization described herein and have not been separated into parts.
14. Neither all nor any part of the contents of this report shall be conveyed to the public through advertising, public relations, news, sales, or other media, without the written consent and approval of the author, particularly as to the valuation conclusions, the identity of the appraiser or firms with which they are connected or any reference to the Appraisal Institute Inc., and /or the M.A.I. or S.R.A. designations.

ASSUMPTIONS AND LIMITING CONDITIONS (Continued)

15. Unless otherwise stated in this report, the existence of hazardous substances, including without limitation asbestos, polychlorinated biphenyls, petroleum leakage, agricultural chemicals, urea formaldehyde foam insulation, toxic waste, other contents of environmental conditions, which may or may not be present on the property has not been considered, they were not called to the attention of the Appraiser, not did the appraiser become aware of such during the Appraiser's inspection. The Appraiser has no knowledge of the existence of such materials on or in the property unless otherwise stated. The appraiser, however, is not qualified to test such substances or conditions. The value estimated is predicated on the assumption that there is no such condition on or in the property or in such proximity thereto that it would cause a loss in value. No responsibility is assumed for any such conditions, or for any expertise or engineering knowledge required to discover them. An expert in this field should be retained by the property owner if deemed appropriate.
16. No environmental impact study has been ordered or made. The property is assumed to be in compliance with all applicable regulations unless otherwise noted in the report.
17. The appraiser has not valued the cost of pilings or quantity/ type of pilings, and therefore they have not been calculated into the replacement cost. It is recommended that an engineer look at the property to determine, if pilings do in fact exist in the foundation, the type, and quantity. At that point a cost could be rendered, if needed.
18. The report contains a sketch, which is provided to show the approximate dimensions of the subject's improvements. All measurements of the improvements have been rounded and the appraiser has tried to determine actual measurements as accurately as possible. This is not a survey and is not to be interpreted as a survey of the subject property. The sketch is included only to assist the reader in visualizing the subject and understanding the appraiser's determination of its approximate size.
19. This cost report figure represents the average estimated cost to rebuild this building after a total loss and includes such things as labor and materials to meet current building codes and general contractor profit and overhead for your location. The actual reconstruction costs for this building may differ from this figure due to changes in economic conditions, power to negotiate, building contractor availability, and specific building contractor attributes. The estimate does not include costs for such items as excavation, land value or detached structures. This information is to be used for insurance purposes only and is provided on the condition and understanding that it represents only an estimate and that the provider is not responsible for good faith errors

Building Parameter

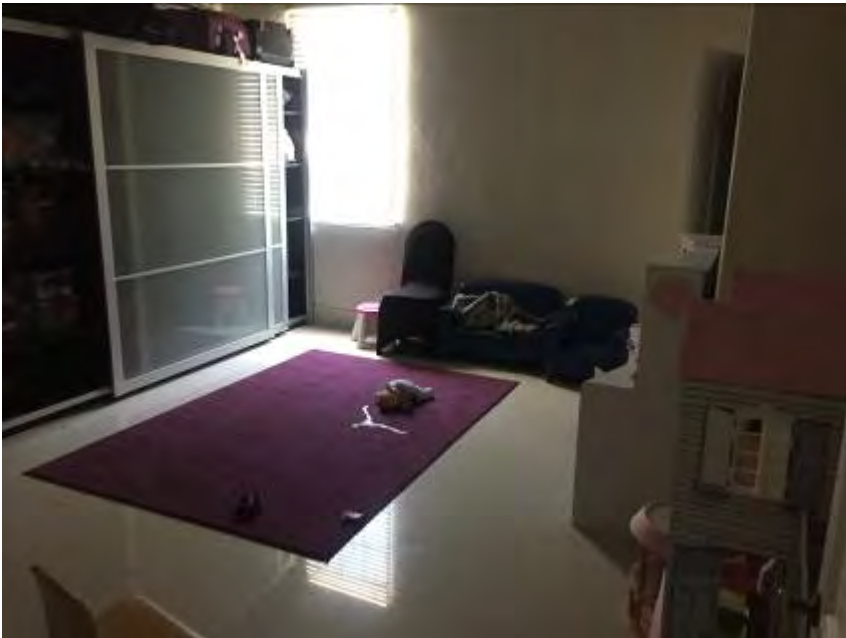


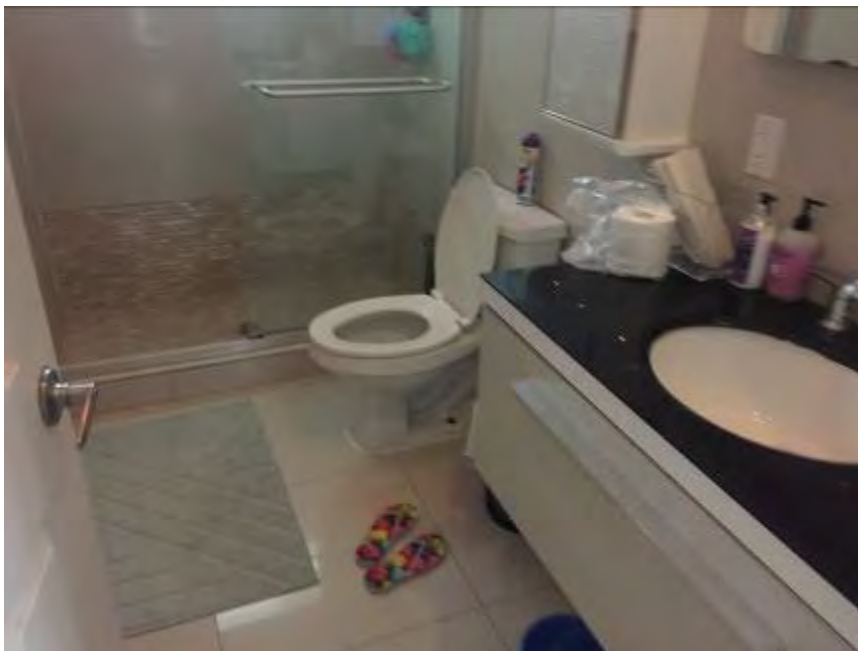
SUBJECT PHOTOS

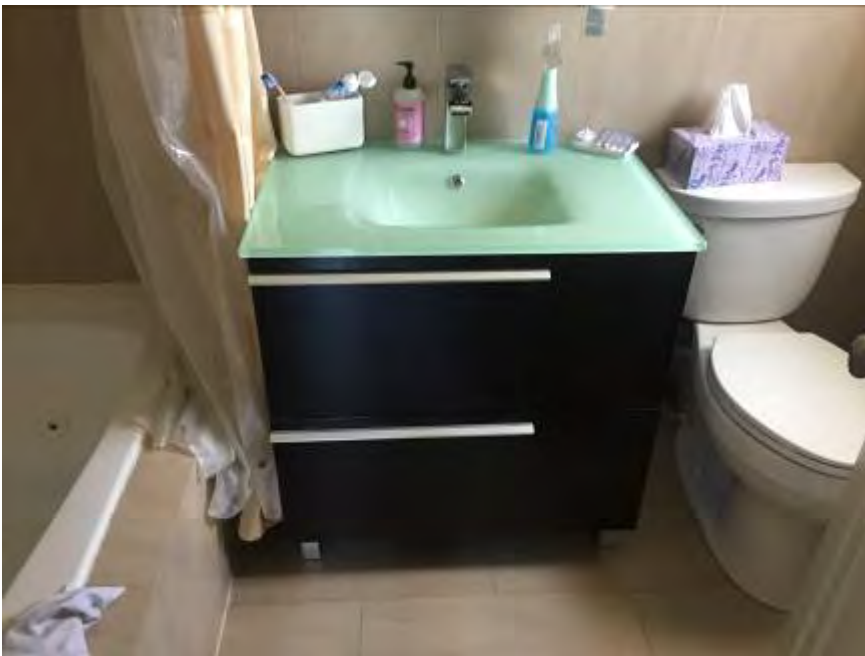




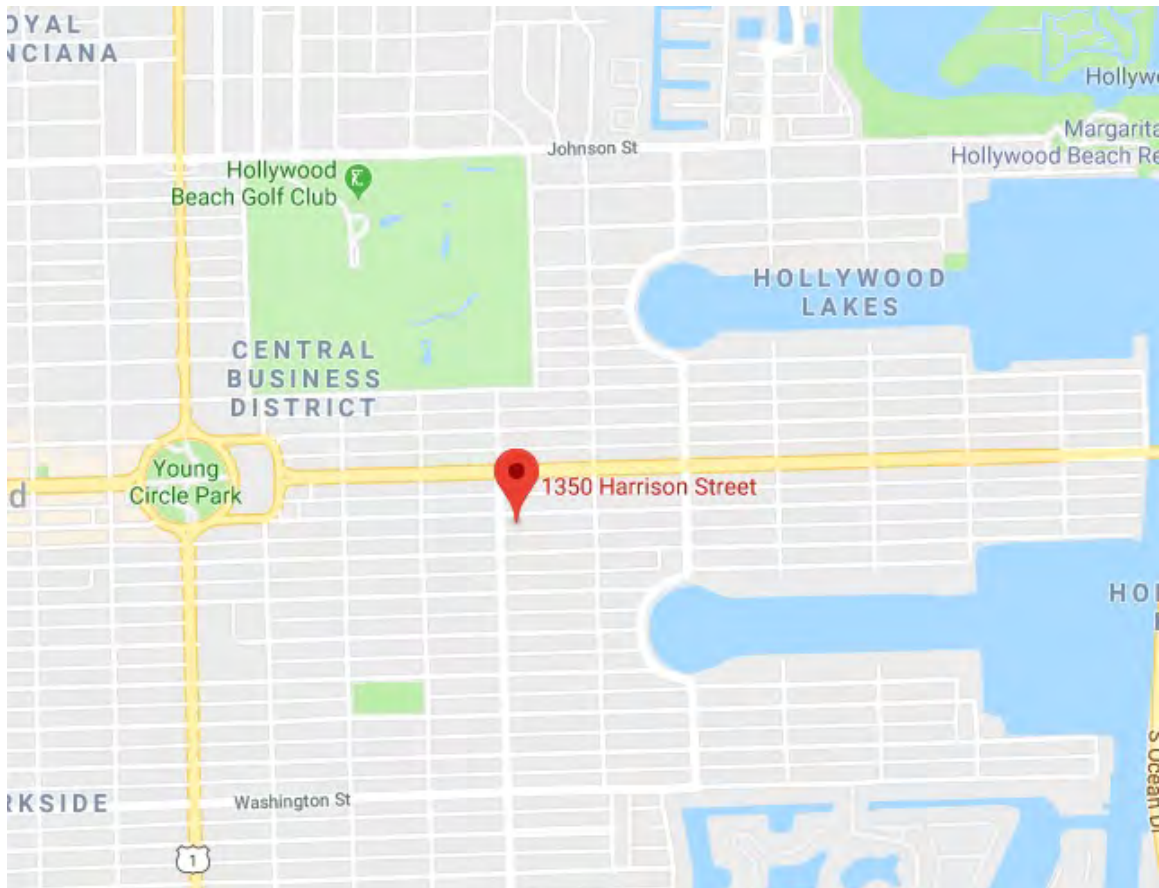








LOCATION MAP



SUBJECT NEIGHBORHOOD

The neighborhood is located in City of Hollywood, Broward County, Florida and is surrounded by residential & commercial neighborhoods.

MAP



Purpose and Function of the Evaluation

The purpose of the evaluation is to estimate the cost of the subject property with depreciation, specifically excluding the cost of the land.

The function of the evaluation is to provide the client with information relative to the cost of the property with depreciation.

Definition of the cost report

For purposes of this evaluation shall have the following meaning:

Evaluation Cost Report - The estimated cost to construct and or purchase and put into place at current prices as of the effective evaluation date, structures and equipment with utility equivalent to the structures and equipment being evaluated, using modern and current systems, materials, standards, design and layout.

Evaluation Methodology

The Methodology used in this report consists of the following:

The method of formulating the cost associated with the subject was to describe each building or component of the subject property and to apply applicable unit prices from recognized cost estimating sources common to the industry. These costs include all soft cost as well hard cost associated with the construction of the subject improvements. A summary of all costs is provided with a sum total of all costs deemed part of the cost of the improvements.

Scope of the Evaluation

The format for the reporting the analysis and conclusions of the consultant is that of a Summary Evaluation Report. It presents in an organized manner and summary format, those analysis and conclusions of the consultant.

The scope of the evaluation encompasses the necessary research and analysis as required to prepare a report in accordance with its intended use for the city.

Joisted Masonry (ISO Class 2)

1. Classification:

Joisted Masonry construction is ISO Class 2. ISO Class 2 encompasses IBC Type IIIA and IBC Type IIIB. Regardless of whether the IBC classification is A (protected) or B (unprotected) the ISO Class is 2. IBC Type IV is Heavy Timber construction and is considered ISO Class 2. The reason is that the heavy timbers perform well and do not fail early in a fire.

Building elements:

Joisted Masonry buildings are buildings with exterior walls of masonry or fire-resistive construction rated for not less than one hour and with combustible floors and roofs. There are several types of masonry used in the exterior bearing walls of joisted masonry buildings:

- brick
 - concrete — either reinforced or non reinforced
 - hollow concrete masonry units
 - tile
 - stone
 - note that exterior bearing walls may also be any noncombustible materials with fire-resistance ratings of not less than one hour
-

Variations:

There's one variation on joisted masonry construction that doesn't change the construction class — heavy timber or mill construction. Heavy timber construction uses wood members much larger than those found in frame (Construction Class 1) or other joisted masonry construction. If the building uses steel columns or beams for walls, the beams must be protected so they have a fire-resistance rating of not less than one hour. Heavy Timber Construction (IBC Type IV); ISO classifies the building as heavy timber construction if it meets these requirements:

- walls of masonry construction
 - floors of 3 inch wood plank or 4 inch laminated plank, both surfaced with 1 inch flooring
 - roof of 2 inch wood plank, 3 inch laminated plank, or 1-1/8 inch tongue-and-groove plywood deck
 - wood column supports not less than 8 inch x 8 inch, wood beams or girders not less than 6 inch x 6 inch, or protected metal
-

Advantages:

- harder to ignite
- consumed more slowly by fire
- more structural stability
- greater salvage value
- lack of concealed spaces (Heavy Timber)

Disadvantages:

- floors and roofs of combustible materials subject to damage by fire
- presence of concealed spaces

ISO CLASS 6 CONSTRUCTION DEFINITION

Fire Resistive construction is ISO Class 6. ISO Class 6 encompasses IBC Type IA.

1. Learn the elements of Fire Resistive Construction. The exterior bearing walls and load-bearing portions of exterior walls must be of noncombustible materials or of masonry, but exterior nonbearing walls and wall panels may be slow burning, combustible, or with no fire-resistance rating.
 - Walls:
 - solid masonry, including reinforced concrete not less than four inches thick
 - hollow masonry not less than 12 inches thick
 - hollow masonry less than 12 inches thick, but not less than eight inches thick with a listed fire-resistance rating of not less than two hours
 - assemblies with not less than a two-hour fire-resistance rating
 - Floors and roofs:
 - reinforced concrete not less than four inches thick
 - assemblies with not less than a two-hour fire-resistance rating
 - Structural metal supports:
 - Horizontal and vertical load-bearing protected metal supports — including pre stressed and post tensioned concrete units — with not less than a two-hour fire-resistance rating

Pre- and Post tensioned Concrete

Both pre- and post tensioned concrete units have steel cables installed in the concrete to provide tensile strength. With pre stressed concrete units, builders pull the cables tight before pouring the concrete and release them as the concrete cures. With post tensioned concrete units, builders pull one end of the cable tight after pouring the concrete.

1. Note the fire resistive advantages:
 - uses noncombustible materials
 - allows greater height and area than other construction classes
 - uses load-bearing members or assemblies that resist damage from fire
2. Note that fire-resistive construction has these disadvantages:
 - expensive to construct and repair
 - provides a false sense of security

ISO 3 - Non Combustible (NC)

Class NC-I, Typically RMS Class Class 4A, 4B, or 4C

Minimal combustible materials in the building construction
Typical steel frame walls with masonry in-fill, brick veneer, metal sheathing, EIFS. Steel framing is load bearing portion of the building frame. AMBS (all metal building system) pre-engineered construction is common. Light steel frame ISO 3 smaller geometry with no interior building support columns. Heavier ISO 3 larger geometries with internal support columns and heavier roof framing. If multi-story, floors are commonly concrete on steel frame on steel deck.

Roof deck and roof cover systems:

**Steel deck*

- BUR (built up roof with gravel or modified bitumen)
- Single-ply membrane
- Lesser extent foam/spray applied roof which is typically applied over an existing roof cover – this is not considered a roof cover replacement.
- Usually flat/low sloped

**Metal*

- Lap seam metal panel (exposed fasteners)
- Standing seam metal panel (concealed fasteners)
- May or may not be coated/sealed
- May be gable, hip, flat or combination of geometries

Roof anchorage:

**Light steel frame ISO 3 may still incorporate clips, single wraps, or double wraps*

Because of heavier construction with no wood framing in roof, roof to wall anchorage is typically an engineered bolted and/or **structural roof connection. Toe nailing, Clips, single wraps, double wraps do not apply.*

COST APPROACH

COST APPROACH TO VALUE (not required by Fannie Mae)							
Provide adequate information for lender/client to replicate the below cost figures and calculations.							
Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value)						HIGH LAND TO VALUE RATIOS ARE TYPICAL TO THE	
SUBJECT'S MARKET SEGMENT DUE TO LIMITED AVAILABILITY OF BUILDABLE LOTS.							
ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input checked="" type="checkbox"/> REPLACEMENT COST NEW				OPINION OF SITE VALUE			
				Sq.Ft. @ \$			
Source of cost data Marshall & Swift - Local Area Contractors				Dwelling	5,320	Sq.Ft. @ \$	255 = \$ 1,356,600
Quality rating from cost service Average Effective date of cost data 04/2018						Sq.Ft. @ \$	
Comments on Cost Approach (Gross living area calculations, depreciation, etc.)				Ext Covered Areas = \$ 65,400			
COST ESTIMATES DERIVED FROM MARSHALL & SWIFT COST SERVICE.				Garage/Carport		Sq.Ft. @ \$	
ESTIMATED REMAINING ECONOMIC LIFE IS 50 YEARS.				Total Estimate of Cost-New = \$ 1,422,000			
				Less		Physical	Functional
				Depreciation			External = \$ 0
				Depreciated Cost of Improvements = \$			
				"As-is" Value of Site Improvements			
Estimated Remaining Economic Life (HUD and VA only) Years				INDICATED VALUE BY COST APPROACH..... = \$ 1,422,000			

DWELLING:

ESTIMATED REPLACEMENT COST FOR BUILDING IS \$1,422,000 DOLLARS

ESTIMATED DEPRECIATION FOR THE BUILDING IS:

(-12% \$) \$170,640 DOLLARS

TOTAL ESTIMATED REPLACEMENT COST WITH DEPRECIATION IS:

\$1,251,360 (DOLLARS)

QUALIFICATIONS OF JORGE LUIS CANELLAS

LICENSES

State Certified General Real Estate Appraiser No. RZ 3065
Real Estate Broker, State of Florida

APPRAISAL & REAL ESTATE EXPERIENCE

- May 2005 to Present: Appraisal Zone Corp. - Owner
- May 2005 to Present: Canellas Realty Group - Owner
- January 2001 to May 2005: MAC Appraisal Corp, Miami, Florida – Owner
- February 1999-2001: Residential Appraisers, Miami, Florida – Review Appraiser

Types of Appraisal Assignments

- Commercial
- Single Family Residence
- Condominium
- Multi-Family(1-4 Units)
- Vacant Land
- FHA Financed Properties
- REO Properties

SPECIALIZED EDUCATION

- Real Estate Sales Person : 1996
- Sales Performance Systems : 1996
- Real Estate Mortgage : 2001
- Real Estate Sales Person Continued Education : 1998
- Real Estate Sales Person Continued Education : 2000
- Real Estate Sales Person Continued Education : 2002
- Course 520 Highest and Best Use and Market Analysis :2000
- Uniform Standards of Professional Appraisal Practice : 2001:2004:2007:2010
- Investment Analysis for Appraisers:2004
- Valuation Analysis for Home Mortgage Insurance :2004
- Residential Appraiser (AB-2) 2001
- Residential Appraiser (AB2-B)2001
- Home Inspector : 2003 :2010
- Appraisal Board III: 2007
- Marshall & Swift trained Appraiser:2006
- Techniques of Income Property 2006

MEMBERSHIP IN PROFESSIONAL ORGANIZATIONS

- The foundation of Real Estate Appraisers
- The Realtor Association of Miami
- Residential Associate of the Appraisal Institute
- E & O Insurance up to \$1,000,000.00

APPRAISER'S LICENSE

RICK SCOTT, GOVERNOR

KEN LAWSON, SECRETARY



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
FLORIDA REAL ESTATE APPRAISAL BD

LICENSE NUMBER	
RZ3065	

The CERTIFIED GENERAL APPRAISER
Named below IS CERTIFIED
Under the provisions of Chapter 475 FS.
Expiration date: NOV 30, 2018

CANELLAS, JORGE LUIS
18062 NW 87TH COURT
MIAMI FL 33016

ISSUED: 09/06/2016 DISPLAY AS REQUIRED BY LAW SEQ # L1609060002278



RSJ Builders of South Florida, Inc

17925 NE 9th Place

North Miami Beach, FL 33162

Estimate

Date	Estimate #
11/14/2017	381

Name / Address
Rabbi Tennenhouse 1350 Harrison Street Hollywood FL 33019

Project

Description	Qty	Rate	Total
Demo work		10,000.00	10,000.00
Shell work - to include concrete blocks, tie-beams, foundation and slab		120,000.00	120,000.00
New roof - new tile roofing		35,000.00	35,000.00
Trusses - to include wood truss and truss package		15,000.00	15,000.00
Stairs - metal staircase		15,000.00	15,000.00
Stucco - textures finish		15,000.00	15,000.00
Interior Doors and hardware		10,000.00	10,000.00
Glass Windows and Doors		20,000.00	20,000.00
Plumbing - new complete plumbing work, to include standard grade fixtures		20,000.00	20,000.00
Electrical - new complete electrical work, fixtures to be supplied by the Owner		30,000.00	30,000.00
Mechanical - new AC system as per the plans		30,000.00	30,000.00
Framing/Drywall - metal framing, drywall to be level 4 finish		40,000.00	40,000.00
Flooring - tile, style to be chosen by Owner		25,000.00	25,000.00
Insulation		5,000.00	5,000.00
Gutters		5,000.00	5,000.00
Painting - 2 coats painting interior and exterior. Color to be chosen by the Owner		14,000.00	14,000.00
Wood baseboards - style to be chosen by Owner		5,000.00	5,000.00
Signature/Date: _____			

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Delay by owner, architect or contractor causing demobilization will result in liquidated damages. RSJ Builders of South Florida, Inc is not liable to delays caused by the nature of weather, permitting, revisions/plan reviews, and inspections. Price does not include Permits and/or related fees, surveys, testing and change orders.

Total

\$414,000.00



906 W. Hallandale Bch Blvd
Hallandale Beach, FL 33009
(954) 457-9212

INVOICE NO.

DATE November 25, 2017

Phone:

EMAIL: rabbi@shulofthelakes.com

TO SHUL OF THE LAKES
1350 HARRISON ST
HOLLYWOOD, FL 33019

[illegible]

Hydrant Flow Test Procedure





Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1 & F2** simultaneously and record GPM separately from **F1** and **F2** and

Legend:

F1 & F2 Designation shall represent first and second flowed hydrants respectively
P Designation shall represent test hydrant for static and residual distribution system pressures.

1350 Harrison St.

Date:04/18/2019	Time: 8:46 AM	Static Pressure - 	63
Residual/Static Hydrant	Address/Location	Residual Pressures	
P - Hydrant FH001310	1400 Harrison St.	F-1 Only 	F-2 Only 
		63	63
		F-1& F-2 Both 	63
Flow Hydrants	Address/Location	Flow Rate	
F-1 Hydrant (Individual) FH001567	1501Van Buren ST.	GPM	
		1130	
F-2 Hydrant (Individual) FH000332	1254 Harrison St.	GPM	
		800	
F-1 Hydrant (Both Flowing)		GPM	
		1130	
F-2 Hydrant (Both Flowing)		GPM	
		800	

SIMMONS & WHITE
2581 Metrocentre Boulevard West Suite 3
West Palm Beach, Florida 33407
O 561.478.7848 | F 561.478.3738 www.simmonsandwhite.com
Certificate of Authorization Number 3452



TRAFFIC GENERATION & PARKING STATEMENT

CHABAD OF HOLLYWOOD
HOLLYWOOD, FLORIDA

Prepared for:

Chabad of NE Hollywood/Dania, Inc.
1295 E. Hallandale Beach
Hallandale, Florida 33009

Job No. 19-073

Date: June 11, 2019



Bryan G. Kelley, P.E.
FL Reg. No. 74006

1.0 SITE DATA

The subject parcel is located at in the southeast corner of Harrison Street and S. 14th Avenue in the City of Hollywood, Florida. The proposed plan of development consists of a 11,080 S.F. synagogue inclusive of the existing single-family dwelling unit. Site access is proposed via a full access driveway connection to Harrison Street. Note that 3 parking spaces also exist in the alley on the south side of the property. For additional information on site layout, please refer to the Site Plan prepared by Kaller Architecture.

2.0 TRAFFIC GENERATION

The traffic generation for the proposed site has been calculated in accordance with the rates provided in the ITE Trip Generation Manual, 10th Edition as shown on Table 1, Table 2, and Table 3 attached with this report. Table 1 shows the daily traffic generation associated with the existing use. Tables 2 and 3 show the A.M. and P.M. peak hour traffic generation, respectively. The traffic generation associated with the proposed development may be summarized as follows:

Proposed Development

Weekday Daily Traffic Generation	=	86 tpd
A.M. Peak Hour Traffic Generation	=	5 pht (2 In/3 Out)
P.M. Peak Hour Traffic Generation	=	6 pht (3 In/3 Out)

It should be noted that ITE Land Use #560 (Church) was used instead of ITE Land Use #561 (Synagogue) since the Synagogue land use only had one sample study which greatly limits reliability. Further, the trip generation shown above is for weekday utilization which is mostly administrative. The proposed Synagogue will be an Orthodox Judaism sect which prohibits driving and motorized vehicle use on the Sabbath. As with most Orthodox Judaism Synagogues, the congregation will consist of local residents who will walk to the Synagogue on the Sabbath. Therefore, little to no traffic will be generated by the proposed site during peak utilization of the facility.

3.0 PARKING ANALYSIS

As previously stated, the proposed Synagogue will be of the Orthodox Judaism sect which does not allow driving or use of motorized vehicles during the Sabbath. Therefore, the congregation will walk to the Synagogue during peak utilization. The ITE Parking Generation, 4th Edition was reviewed for parking demand rates. However, all studies and rates published in the ITE Parking Generation, 4th Edition for church or synagogues are based on vehicle transportation to the worship service which is not consistent with the proposed development. Therefore, the ITE Parking Generation, 4th Edition was not utilized as part of the study.

It should be noted that the majority of synagogue parking will be provided on grass. However, the parking provided is based on the City code standards which does not account for the specific operations of this site; notably, the non-use of vehicles on the Sabbath. Therefore, provided paved parking will be sufficient for the daily administrative purposes and the majority of uses on the site. The grass parking will only be required on occasion.

4.0 CONCLUSION

The attached tables document the daily, A.M. peak hour and P.M. peak hour traffic generation for the proposed development. The proposed development will generate 86 daily trips, 56 A.M. peak hour trips, and 6 P.M. peak hour trips. Based on the findings of this report, the proposed development will generate an insignificant amount of traffic on the surrounding roadway network and therefore no additional analysis is required.



Figure 1 – Site Location Map
Chabad of Hollywood
Project # 19-073

PROPOSED DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split In Out	Gross Trips	Internalization % Total	External Trips	Pass-by % Trips	Net Trips
Single Family Detached	210	1 Dwelling Units	9.44		9		9	0% 0	9
Church/Synagogue	560	11,080 S.F.	6.95		77		77	0% 0	77
		Grand Totals:			86	0.0% 0	86	0% 0	86

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split In Out	Gross Trips In Out Total	Internalization % In Out Total	External Trips In Out Total	Pass-by % Trips	Net Trips In Out Total
Single Family Detached	210	1 Dwelling Units	0.74	0.25 0.75	0 1 1	0.0% 0 0 0	0 1 1	0% 0	0 1 1
Church/Synagogue	560	11,080 S.F.	0.33	0.6 0.4	2 2 4	0.0% 0 0 0	2 2 4	0% 0	2 2 4
		Grand Totals:			2 3 5	0.0% 0 0 0	2 3 5	0% 0	2 3 5

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split In Out	Gross Trips In Out Total	Internalization % In Out Total	External Trips In Out Total	Pass-by % Trips	Net Trips In Out Total
Single Family Detached	210	1 Dwelling Units	$\ln(T) = 0.96 \ln(X) + 0.20$	0.63 0.37	1 0 1	0.0% 0 0 0	1 0 1	0% 0	1 0 1
Church/Synagogue	560	11,080 S.F.	0.49	0.45 0.55	2 3 5	0.0% 0 0 0	2 3 5	0% 0	2 3 5
		Grand Totals:			3 3 6	0.0% 0 0 0	3 3 6	0% 0	3 3 6

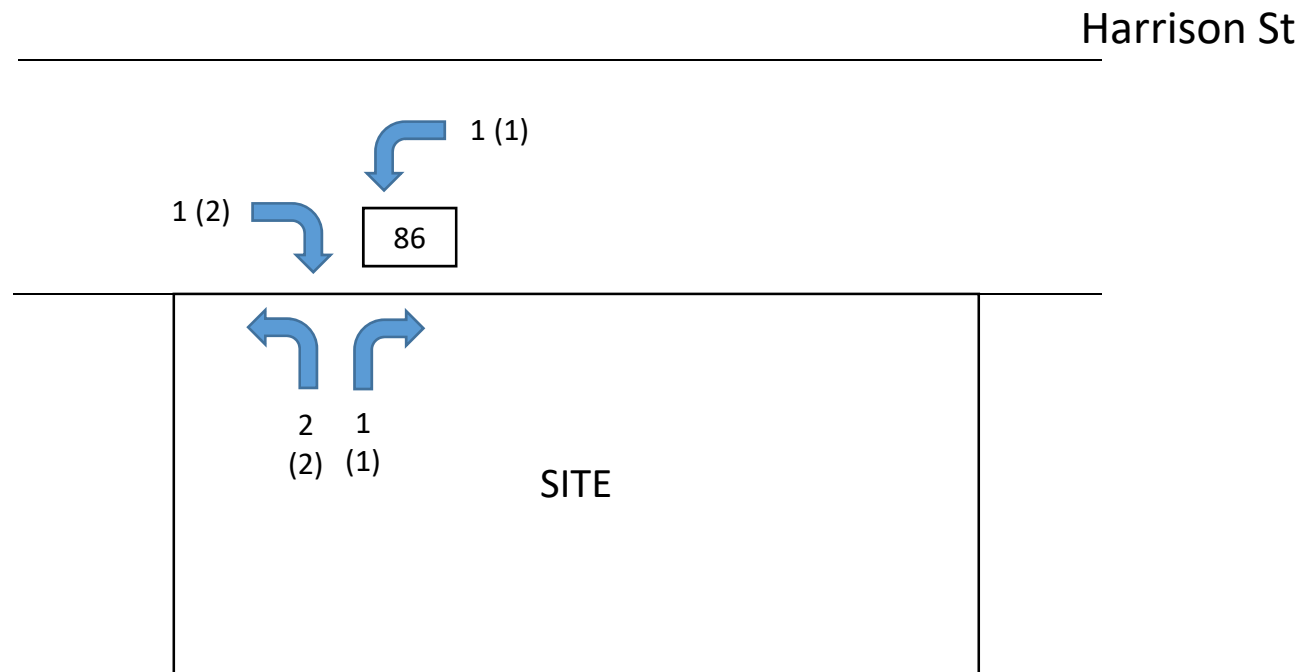
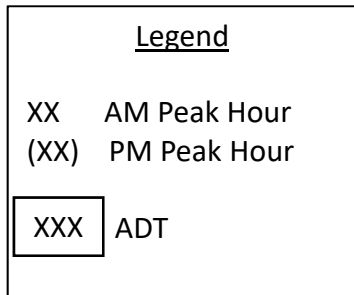


Figure 2 – Driveway Trips
Chabad of Hollywood
Project # 19-073

Single-Family Detached Housing (210)

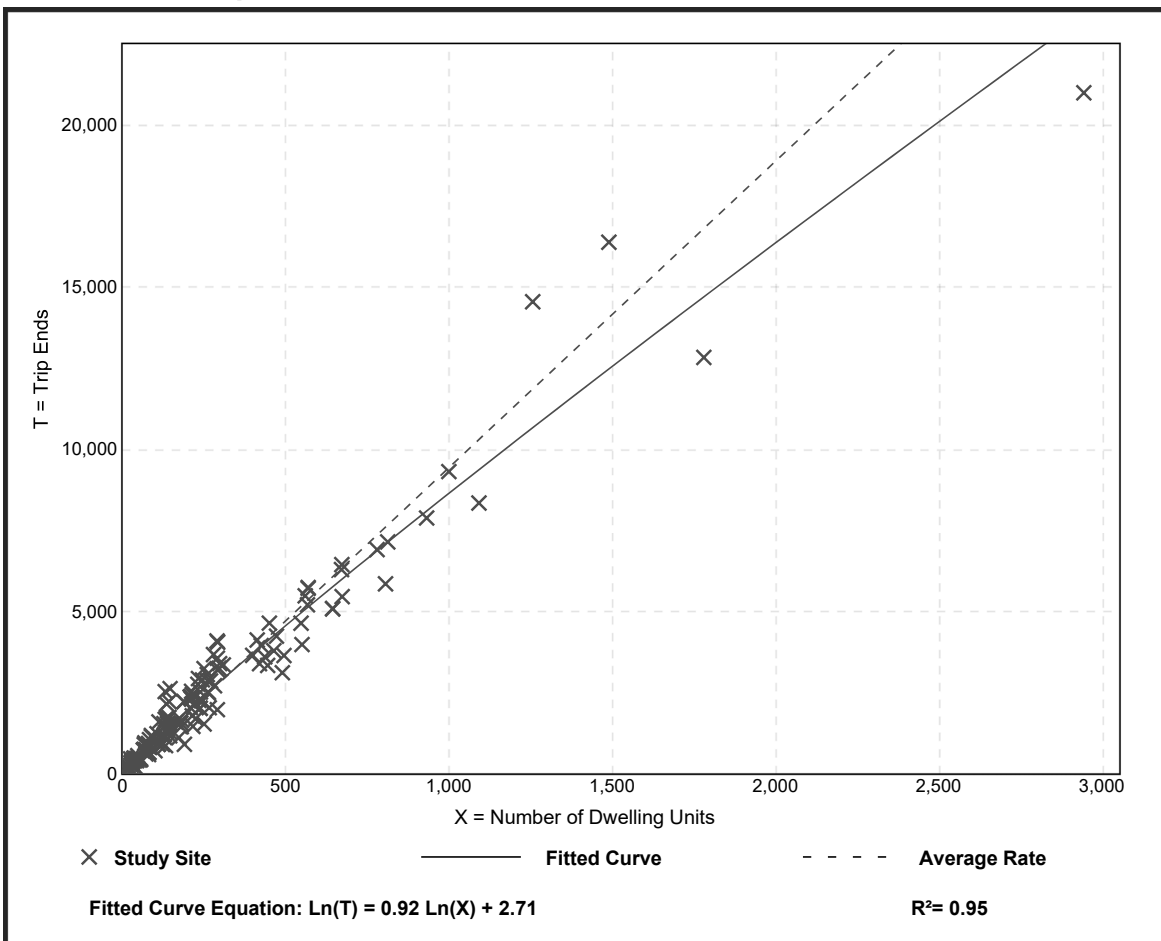
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 159
Avg. Num. of Dwelling Units: 264
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.44	4.81 - 19.39	2.10

Data Plot and Equation



Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 173

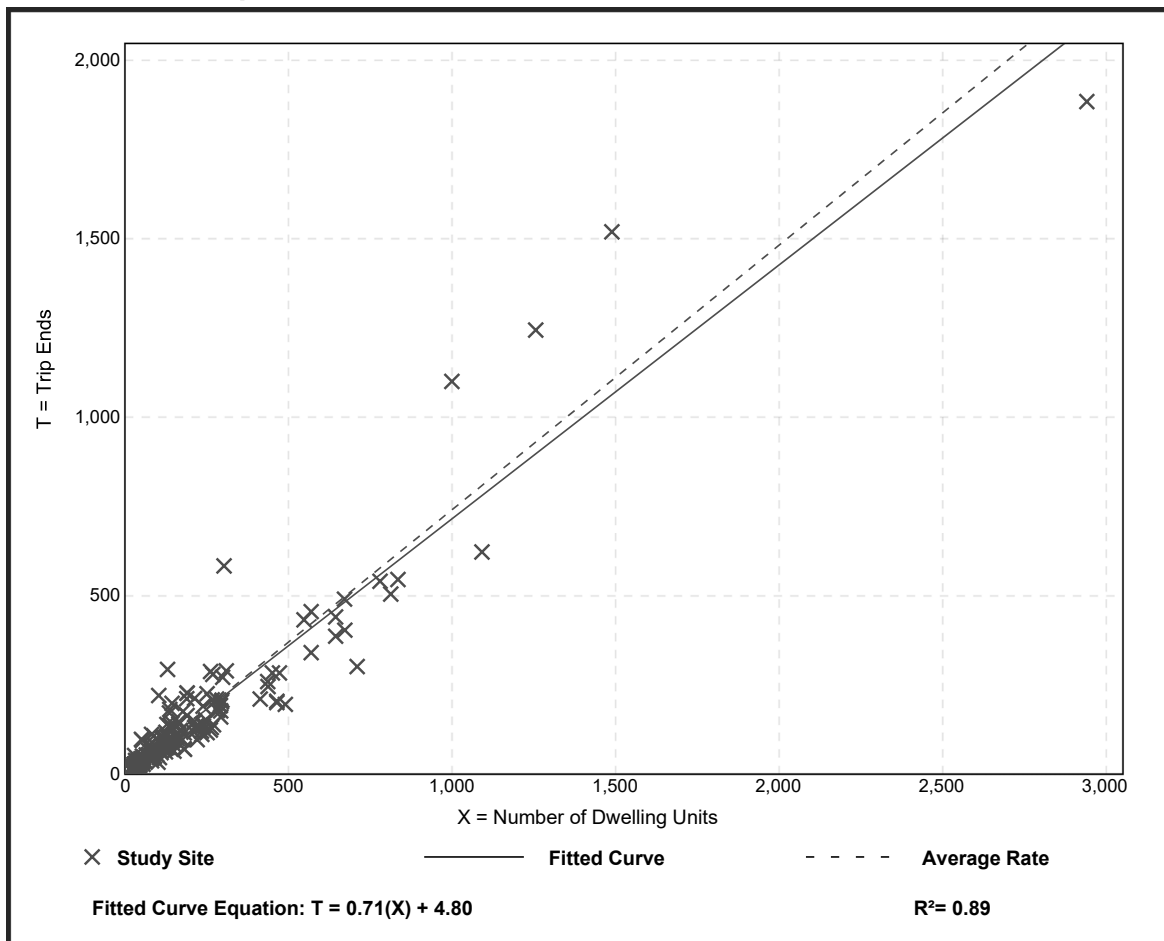
Avg. Num. of Dwelling Units: 219

Directional Distribution: 25% entering, 75% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.74	0.33 - 2.27	0.27

Data Plot and Equation



Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 190

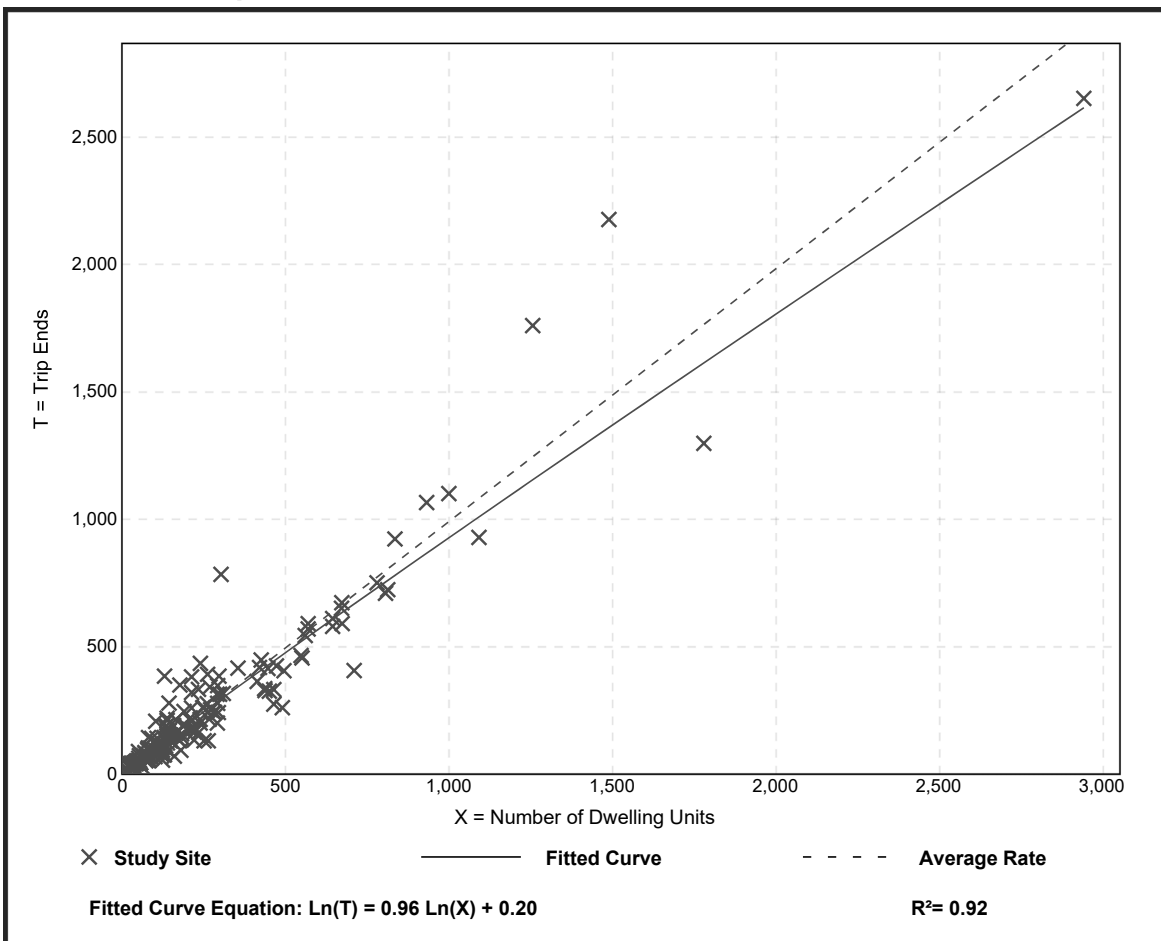
Avg. Num. of Dwelling Units: 242

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.99	0.44 - 2.98	0.31

Data Plot and Equation



Church (560)

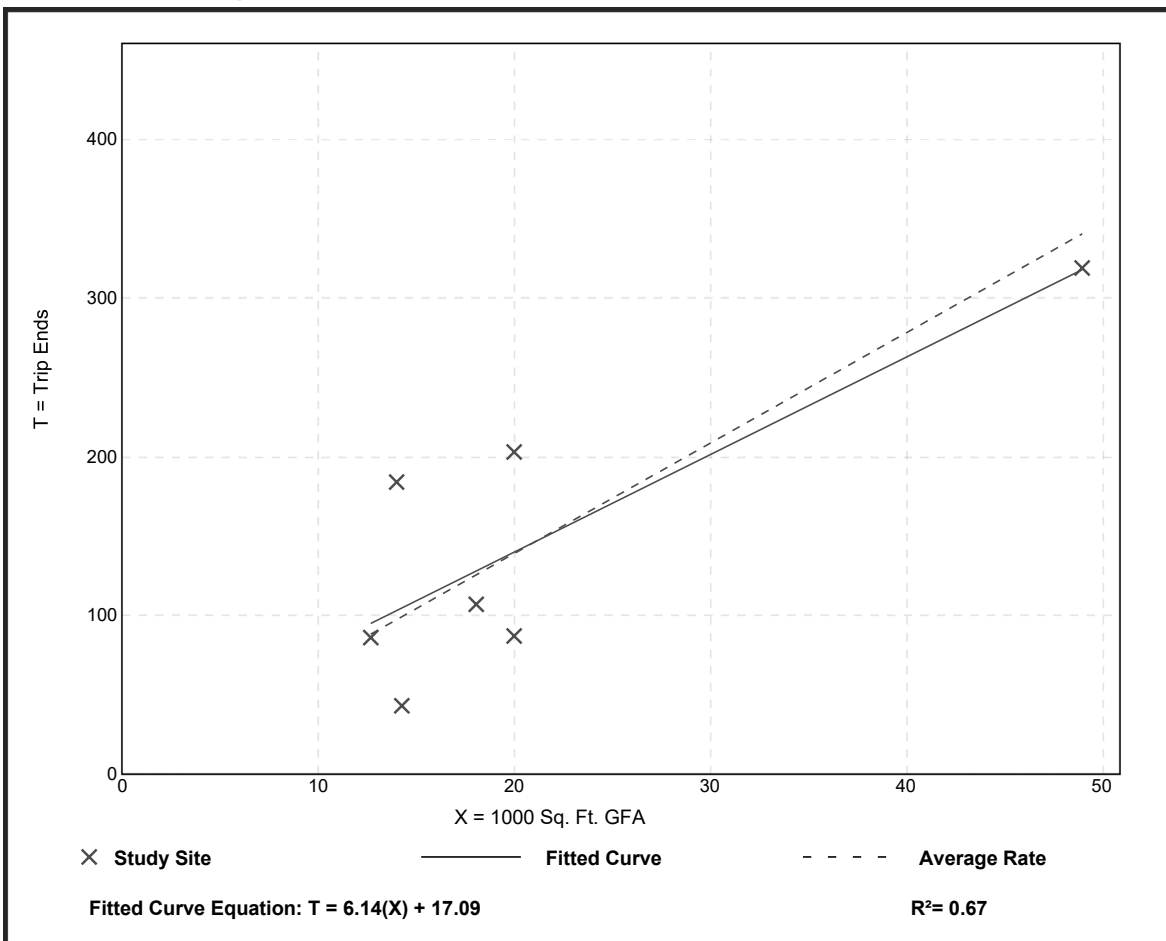
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 7
Avg. 1000 Sq. Ft. GFA: 21
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
6.95	3.01 - 13.14	2.98

Data Plot and Equation



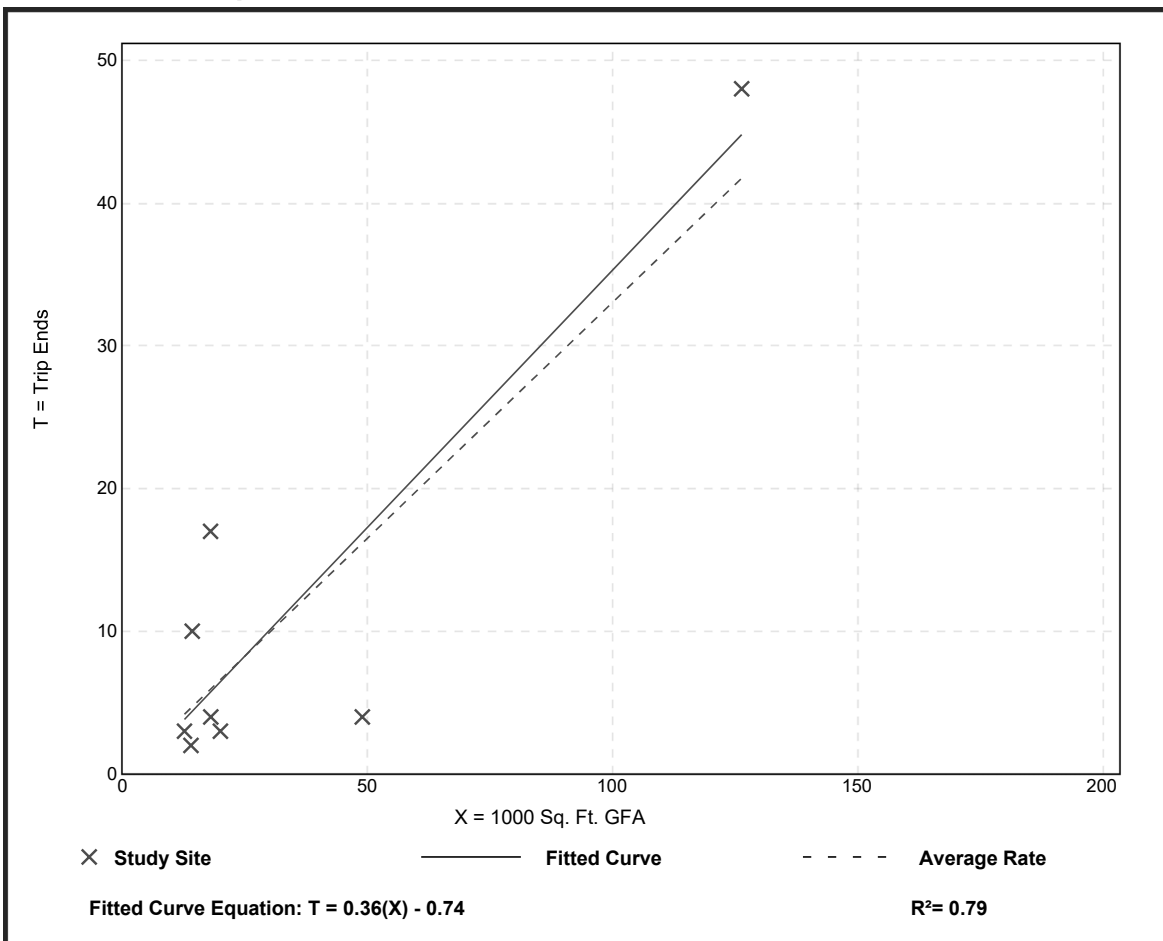
Church (560)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 8
 Avg. 1000 Sq. Ft. GFA: 34
 Directional Distribution: 60% entering, 40% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.33	0.08 - 0.94	0.24

Data Plot and Equation



Church (560)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 13
 Avg. 1000 Sq. Ft. GFA: 32
 Directional Distribution: 45% entering, 55% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.49	0.14 - 2.10	0.40

Data Plot and Equation

