

**1 NEW SITE PLAN**  
SCALE = 1/8" = 1'-0"



1500 BROADWALK SQFT CALCULATION		
<b>1ST FLOOR (RETAIL)</b>		<b>SQFT</b>
RETAIL SPACE		504.88
BATHROOM		58.77
STAIR		83.42
TRASH AREA		32.76
ELEVATOR		60.52
ELEVATOR LOBBY		43.80
BREEZEWAY		410.07
<b>1ST FLOOR (RETAIL) TOTAL</b>		<b>1194.22</b>
<b>2ND FLOOR (KITCHEN)</b>		<b>SQFT</b>
KITCHEN		437.39
STAIR LANDINGS AND 1 FLIGHT		238.98
BATHROOM		43.91
ELEVATOR LOBBY		62.28
DUMBWAITER		12.37
TERRACE		199.12
BALCONY		31.82
<b>2ND FLOOR (KITCHEN) TOTAL</b>		<b>1025.86</b>
<b>3RD FLOOR (RESTAURANT)</b>		<b>SQFT</b>
RESTAURANT		717.58
STAIR LANDINGS		94.26
STORAGE/MECH		47.40
BATHROOM		57.51
ELEVATOR LOBBY		57.35
CANTILEVER BALCONY		517.73
<b>3RD FLOOR (RESTAURANT) TOTAL</b>		<b>1491.82</b>
<b>4TH FLOOR (RESTAURANT)</b>		<b>SQFT</b>
RESTAURANT		722.74
STAIR LANDINGS		94.26
STORAGE/MECH		47.40
BATHROOM		59.39
ELEVATOR LOBBY		57.36
CANTILEVER BALCONY		465.15
<b>4TH FLOOR (RESTAURANT) TOTAL</b>		<b>1446.30</b>
<b>ROOF LEVEL</b>		<b>SQFT</b>
ROOF DECK INCL. CANT BALCONY		1170.06
STAIR LANDINGS		95.16
STORAGE/MECH		190.38
ELEVATOR LOBBY		58.00
<b>ROOF LEVEL TOTAL</b>		<b>1513.60</b>
<b>PROPOSED BUILDING TOTAL</b>		<b>6671.81</b>

SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION

**2 AREA TABULATIONS**

<b>ZONING</b>	BWK-25-HD-C
<b>FEMA FLOOD ZONE</b>	ZONE-VE-11(AE-9)
<b>REQUIRED BFE</b>	+12'-0" NAVD 88
<b>EXISTING/PROPOSED FINISHED FLOOR CROWN OF ROAD</b>	+88'-8" NAVD 88 88 EXISTING TO REMAIN
<b>NET LAND AREA</b>	+5.77'
<b>HEIGHT</b>	3309.11 (10759 ACRES)
	ALLOWABLE = 40'-0" FROM BFE +1'
	PROPOSED: 39'-4" FROM EXISTING FF.

SETBACKS	REQUIRED SETBACK	EXISTING/ ORIGINAL SETBACKS	PROPOSE D SETBACK
FRONT SETBACK EAST BROADWALK	10'-0" BASE/15'-0" TOWER	12'-6"	12'-6"
REAR SETBACK WEST SURF ROAD	5'-0" BASE/15'-0" TOWER	1'-11"	1'-11"
SIDE SETBACK-NORTH (INTERIOR)	5'-4" BASE/10'-0" TOWER	0'-0"	0'-0"
SIDE SETBACK -SOUTH HAYES ST	5'-0" BASE/20'-0" TOWER	3'-6"	3'-6"
HEIGHT FROM FEMA BASE FLOOD +1 FT	40'-0"	27'-4"	39'-4" FROM EXIST
LOT WIDTH = 41'-6" X 25% = 10'-4"			

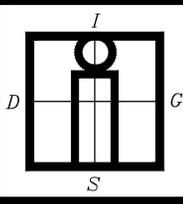
CITY OF HOLLYWOOD PARKING REQUIREMENTS			
SPACE	PARKING CODE REQUIREMENT	CALCULATION PER REQUIRED	TOTAL PARKING REQUIRED
RESTAURANT/RETAIL	0 SPACES/SF	0	0 SPACES

3 VARIANCES REQUESTED. SEE JUSTIFICATION STATEMENT INCLUDED IN SUBMITTAL OF FILE NUMBER 18-CPV-41

**3 TABULAR SUMMARY**

BASED ON A SURVEY PLAN BY ATLANTIC COAST SURVEYORS:  
LOT 4 BLOCK 4 "HOLLYWOOD BEACH FIRST ADDITION" ACCORDING TO THE PLAT THEREOF AS RECORDING IN PLAT BOOK 1  
PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA

**4 LEGAL DESCRIPTION**



**IN-SITE DESIGN GROUP LLC**

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSITEDSIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



STATE OF FLORIDA LICENSE No. AR-97156

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF IN-SITE DESIGN GROUP, LLC AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE COMPANY. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED.

DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
CHIQUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

DISTRIBUTION  
MARCH-19-2018  
PREAP MEETING  
JULY-15-2019

PRELIMINARY TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
FILE NUMBER 18-CPV-41  
SEPT-3-2019  
FINAL TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
FILE NUMBER 18-CPV-41  
JAN-2020

HISTORIC PRESERVATION BOARD SUBMITTAL  
April 7, 2020

REVISIONS

Date Of Issue  
JAN-16-2020

**SITE PLAN SP-1.1**

1/14/2020 4:05:58 PM



**LEGAL DESCRIPTION**

HOLLYWOOD BEACH FIRST ADD 1-31 B LOT 4 BLOCK 4 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.

**GENERAL NOTES:**

1. BASE SURVEY WAS PROVIDED BY
2. ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES VERIFIED AND LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTITING ANY DISTURBED EXISTING MANHOLES TO ORIGINAL FINISH AND TO REPAIR AND RESTORE ALL EXISTING UTILITIES TO ORIGINAL FINISH AND TO MATCH ASPHALT GRADES, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.
7. TO AVOID MISUNDERSTANDING AND TO INSURE COMPLIANCE WITH SPECIFICATIONS, BEFORE PURCHASING MATERIALS OR EQUIPMENT FOR HIS WORK, THE CONTRACTOR SHALL FURNISH AT LEAST FOUR COPIES SHOWING SHOP DRAWINGS OR ILLUSTRATION SHEETS FOR APPROVAL BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRONEOUS OR INCONSISTENT DIMENSIONS, NOTATIONS, OMISSIONS OR OTHER ERRORS, OR FOR THE PROPER FUNCTIONING OF THE COMPLETE INSTALLATION.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
9. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
11. CONTRACTOR SHALL COORDINATE THIS PLAN WITH THE PLUMBING AND LANDSCAPE PLANS.
12. ALL ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN IN THE CITY RIGHT-OF-WAY SHALL BE RESTORED TO FULL LANE WIDTH AS SHOWN ON PLANS.

**SPECIFIC NOTES:**

1. AT ALL TIMES DURING CONSTRUCTION, ALL STORMWATER MUST REMAIN ONSITE. NO DISCHARGE IS ALLOWED INTO THE PUBLIC RIGHT OF WAY.
2. DRAINAGE SYSTEM SHALL BE INSTALLED AS DETAILED.
3. CONTRACTOR IS TO ENSURE ROOF FLOW TO THE DRAINAGE STRUCTURE.
4. ALL DAMAGED PAVEMENT, WALKWAYS AND PAVERS SHALL BE RESTORED OR REPLACE TO MATCH THE EXISTING AS MAY BE REQUIRED.

**SITE CALCULATIONS:**

PROPOSED RENOVATION FOOTPRINT	1,219.73	SQ FT	36.86%
EXISTING TAOD SPOT ONE STORY FOOTPRINT	1,318.86	SQ FT	39.86%
TAOD SPOT EXISTING COVERED TERRACE	447.29	SQ FT	13.52%
DRIVES & WALKWAYS	323.23	SQ FT	9.77%
PERVIOUS AREA	0.00	SQ FT	0.00%
TOTAL LOT AREA	3,309.11	SQ FT	100.00%

**DRAINAGE CALCULATIONS:**

SITE SHALL RETAIN 1" RUNOFF OVER ENTIRE SITE OR 2 1/2" OVER IMPERVIOUS AREAS (WHICHEVER IS GREATER). ROOF AREA ONLY OF NEW RESTAURANT ALL OTHER AREA ARE CONSIDERED AS HISTORIC FLOWS.

1,021.49 SQ.FT. X 0.0833 IN = 85.09 CU. FT. (N/A)  
 1,021.49 SQ.FT. X 0.2083 IN = 212.78 CU. FT.

**EXFILTRATION TRENCH:**

**VOLUME REQUIRED: 212.78 CU.FT./43,360 A.C.F.T. X 12 IN/FT = 0.059 A.C.-IN**

Computation of Trench Volume

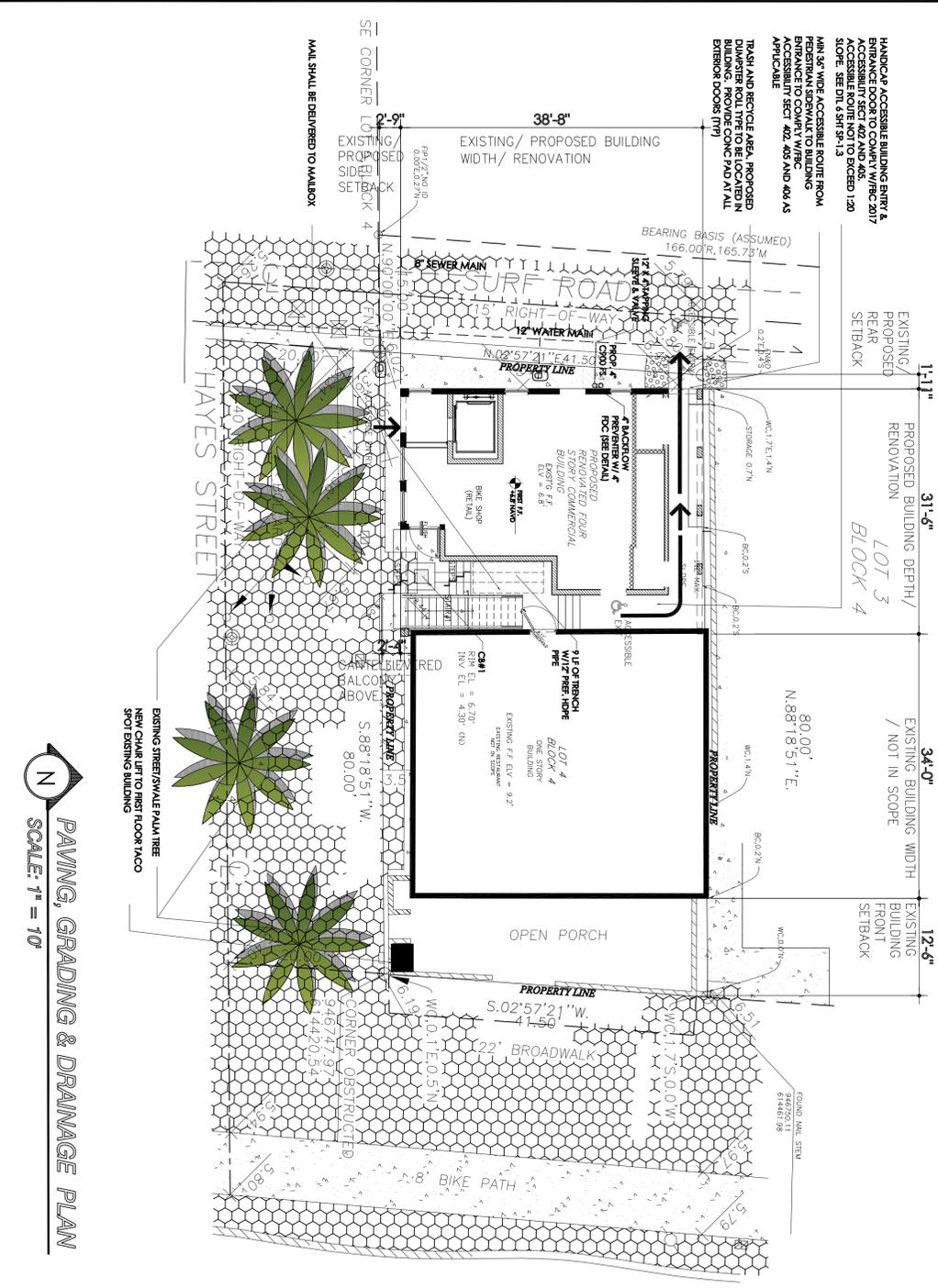
$L = \frac{V}{K(D+2D_1) + (1.39 \times 10^{-4})(WDD)}$

L = Length of trench required (feet)  
 V = Volume to be exfiltrated (A-c-ft)  
 W = Trench width (feet)  
 K = Hydraulic Conductivity (cal/ft<sup>2</sup> ft head)  
 D = Depth to water table (feet)  
 D<sub>1</sub> = Non-saturated trench depth (feet)  
 D<sub>2</sub> = Saturated trench depth (feet)

V = 0.059 A-c-in  
 W = 4.00 ft  
 K = 1.00 x 10<sup>-4</sup> (assumed)  
 D = 5.00 ft  
 D<sub>1</sub> = 4.00 ft  
 D<sub>2</sub> = 0.00 ft

$L = 0.059(1.00 \times 10^{-4} (5.00)(4.00) + 2.05(0.00)(4.00) - (4.00)(4.00) + 2.05(0.00)(0.00)) + 1.39 \times 10^{-4}(4.00)(4.00) = 8.91 \text{ LF} = 9.00 \text{ LF USED (216.78 CU.FT.)}$

TOTAL VOLUME REMOVED: = 216.62 CU. FT. > 212.66 CU. FT. (REQUIRED)



**PAVING, GRADING & DRAINAGE PLAN**  
 SCALE: 1" = 10'

**GATOR ENGINEERING ASSOCIATES, INC.**  
 11390 TEMPLE STREET  
 COOPER CITY, FL 33330  
 TEL: (954) 434-5905 FAX: (954) 434-5904  
 CERTIFICATE OF AUTHORIZATION NUMBER 30230

SEAL

DATE: \_\_\_\_\_  
 REGINA BOBO-JACKSON, P.E.  
 FL. P.E. NO.: 38550

1500 N. BROADWALK  
 HOLLYWOOD, FLORIDA 33019  
 FOR: CHIQUITA PROPERTIES, LLC

**REVISIONS**

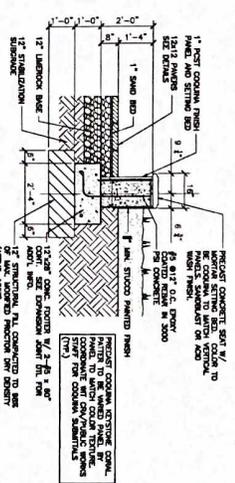
No.	DATE	DESCRIPTION

GEA PROJECT NO.: 18038  
 DATE: 06-13-2018  
 SCALE: AS SHOWN  
 DESIGNED BY: R.B.J.  
 CHECKED BY: R.B.J.  
 APPROVED BY: R.B.J.

SHEET TITLE

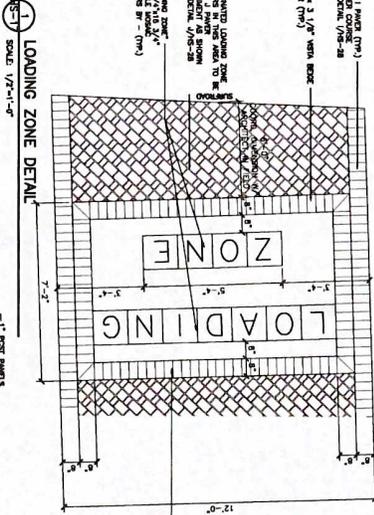
**PAVING, GRADING & DRAINAGE PLAN**  
 C1 OF 5



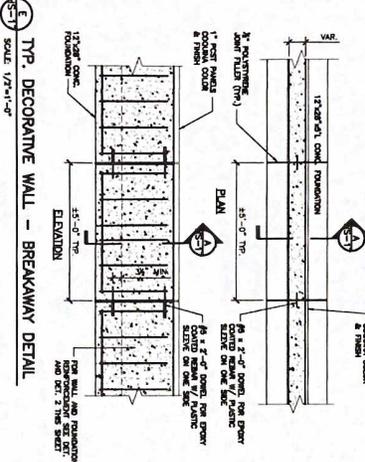


**(A) TYP. SECTION - DECORATIVE WALL**  
SCALE: 1/2"=1'-0"

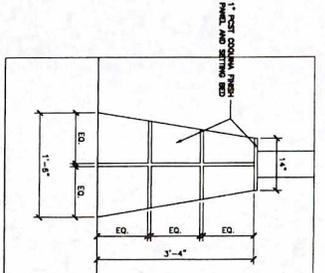
- NOTES**
1. FINISHED SURFACE TO BE LOCAL SAND BEACH MATERIAL, MATCH LOCAL FINISH. ALL FINISHES TO BE MATCHED TO THE FINISH OF THE ADJACENT STRUCTURAL WALL.
  2. ALL CONCRETE FINISHES AND HEIGHTS SHALL TO HAVE SLOPE THE CORNER 1/8" PER FOOT TO THE OUTSIDE.
  3. CONTRACTOR SHALL VERIFY CASE AT ALL TIMES. PROXY CORNER SHALL BE AS SHOWN TO THE CONTRACTOR. CONTRACTOR SHALL VERIFY ANY REVISIONS WITH THE ARCHITECT.



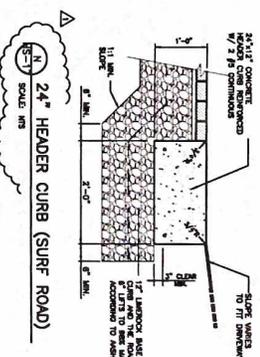
**(B) LOADING ZONE DETAIL**  
SCALE: 1/2"=1'-0"



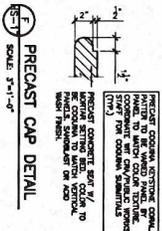
**(C) TYP. SECTION - BREAKAWAY DETAIL**  
SCALE: 1/2"=1'-0"



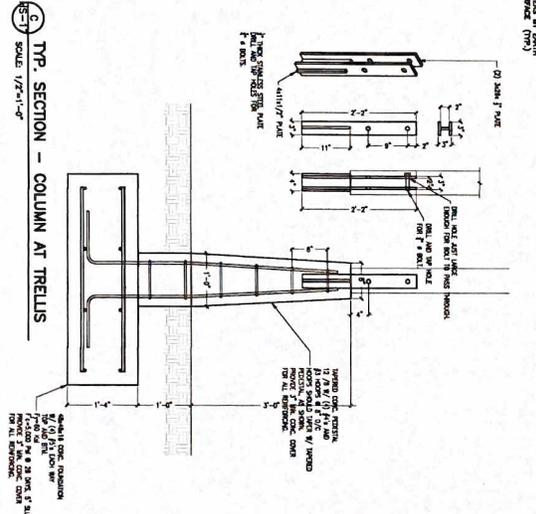
**(D) TRELLIS & DECORATIVE COLUMNS PRECAST DETAIL**  
SCALE: 1/2"=1'-0"



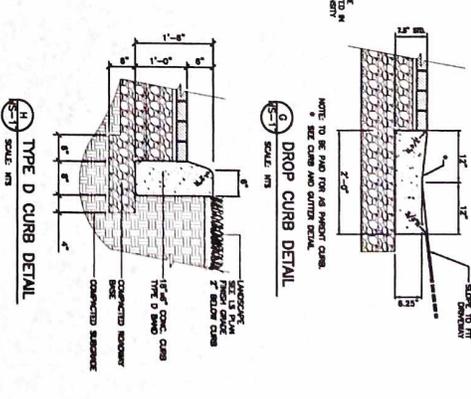
**(E) 24" HEADER CURB (SURF ROAD)**  
SCALE: 1/2"=1'-0"



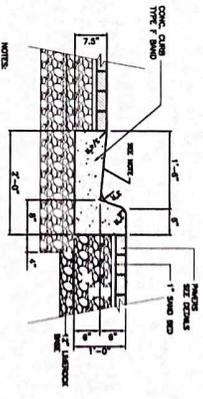
**(F) PRECAST CAP DETAIL**  
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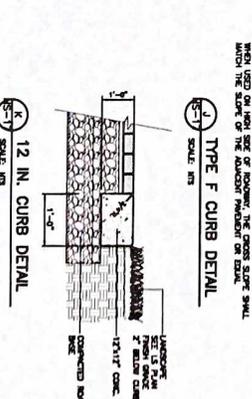
**(G) TYP. SECTION - COLUMN AT TRELLIS**  
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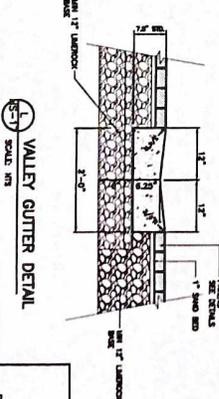
**(H) TYPE D CURB DETAIL**  
SCALE: 1/2"=1'-0"



**(I) TYPE F CURB DETAIL**  
SCALE: 1/2"=1'-0"



**(J) 12 IN. CURB DETAIL**  
SCALE: 1/2"=1'-0"



**(K) VALLEY GUTTER DETAIL**  
SCALE: 1/2"=1'-0"

BCRA 10-008

SHEET  
HS-17  
OF

**EAST-WEST STREETSCAPE FROM OKLAHOMA ST. TO LEE ST. HARDCAPE DETAILS**

SCALE AS SHOWN	DESIGNED
DATE	REVISION
02-12-18	

City of Hollywood, Florida  
Department of Public Utilities  
Engineering and Construction  
Services Division



NO.	DATE	DESCRIPTION
12-03-14		FIELD CONDITIONS (001-2)

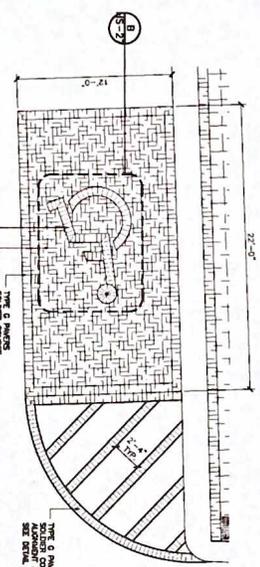
CT 9

NO.	DATE	DESCRIPTION
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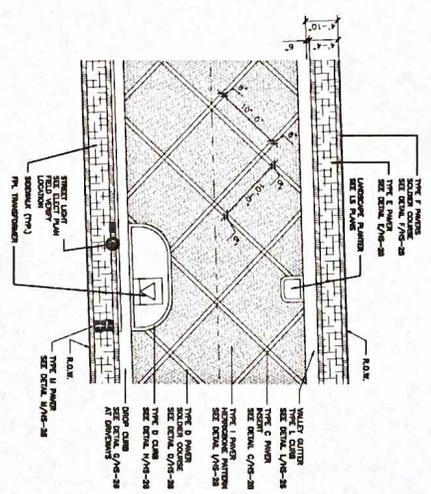
1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC

Regina D. H. 2/10/20

**GATOR ENGINEERING ASSOCIATES, INC.**  
1120 TEMPLE STREET  
COOPER CITY, FL 33030  
TEL: (854) 434-8808 FAX: (854) 434-8804  
CERTIFICATE OF AUTHORIZATION NUMBER 30230



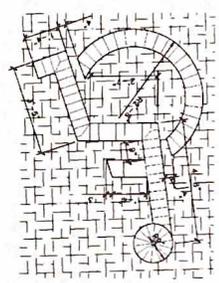
1 HANDICAP PARKING SPACE PAVING ALIGNMENT DETAIL  
SCALE: 1/8"=1'-0"



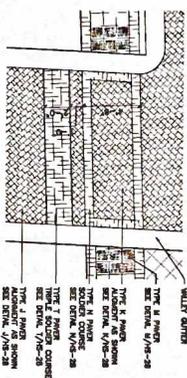
2 STREET PAVING ALIGNMENT DETAIL  
SCALE: 1/8"=1'-0"



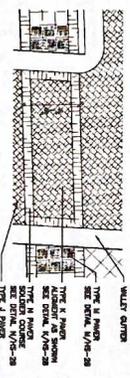
3 COH DECORATIVE MANHOLE COVER EXAMPLE  
SCALE: N/A



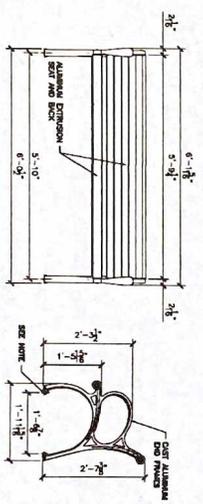
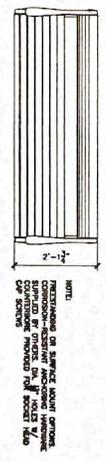
4 DETAIL  
SCALE: 1/8"=1'-0"



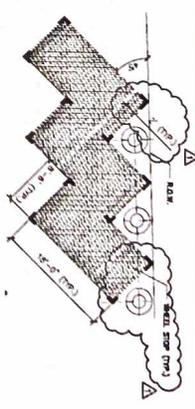
5 CROSS WALK PAVING ALIGNMENT DETAIL  
SCALE: 1/8"=1'-0"



6 CROSS WALK PAVING ALIGNMENT DETAIL  
SCALE: 1/8"=1'-0"



7 PLANWALL BENCH BY LANDSCAPE FORMS  
SCALE: 3/8"=1'-0"



8 STREETSIDE PARKING DETAIL  
SCALE: 1/8"=1'-0"



9 COH DECORATIVE MANHOLE COVER EXAMPLE  
SCALE: N/A



**FIBERWEFT 300**

Project: [Blank]

Scale: [Blank]

Notes: [Blank]

Product Description: [Blank]

Technical Specifications: [Blank]

Installation Instructions: [Blank]

Manufacturer: [Blank]

BCRA 10-008  
SHEET  
HS-18  
OR

**EAST-WEST STREETScape**  
FROM OKLAHOMA ST. TO LEE ST.  
**HARDSCAPE DETAILS**

SCALE: AS SHOWN  
DESIGNED: [Blank]  
DRAWN: [Blank]  
CHECK DATE: 08-13-16

City of Hollywood, Florida  
Department of Public Utilities  
Engineering and Construction  
Services Division



NO.	DATE	DESCRIPTION
10/25/10	CHANGES PER CITY	
11/28/14	FIELD CONDITIONS (REV-1)	

CS \* 9  
DETAILS

NO.	DATE	DESCRIPTION

1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC

SEAL  
Regina [Signature]  
DATE: 4/19/20

**GATOR ENGINEERING ASSOCIATES, INC.**  
11300 TEMPLE STREET  
CORPORATE CITY, FL 33500  
TEL: (864) 434-8800 FAX: (864) 434-8804  
CERTIFICATE OF AUTHORIZATION NUMBER 50220

**TYPE A PAVER (GREENING)**  
SCALE N1/4  
TYPE 1, 1 1/2, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**EAST-WEST STREETSCAPE FROM OKLAHOMA ST. TO LEE ST. HARDSCAPE DETAILS**

SCALE 1" = 20'

DESIGNED: [ ]  
 DRAWN: [ ]  
 ISSUE DATE: 08-18-18

City of Hollywood, Florida  
 Department of Public Utilities  
 Engineering and Construction  
 Services Division

11/28/14 FIELD CONDITIONS (087-1)

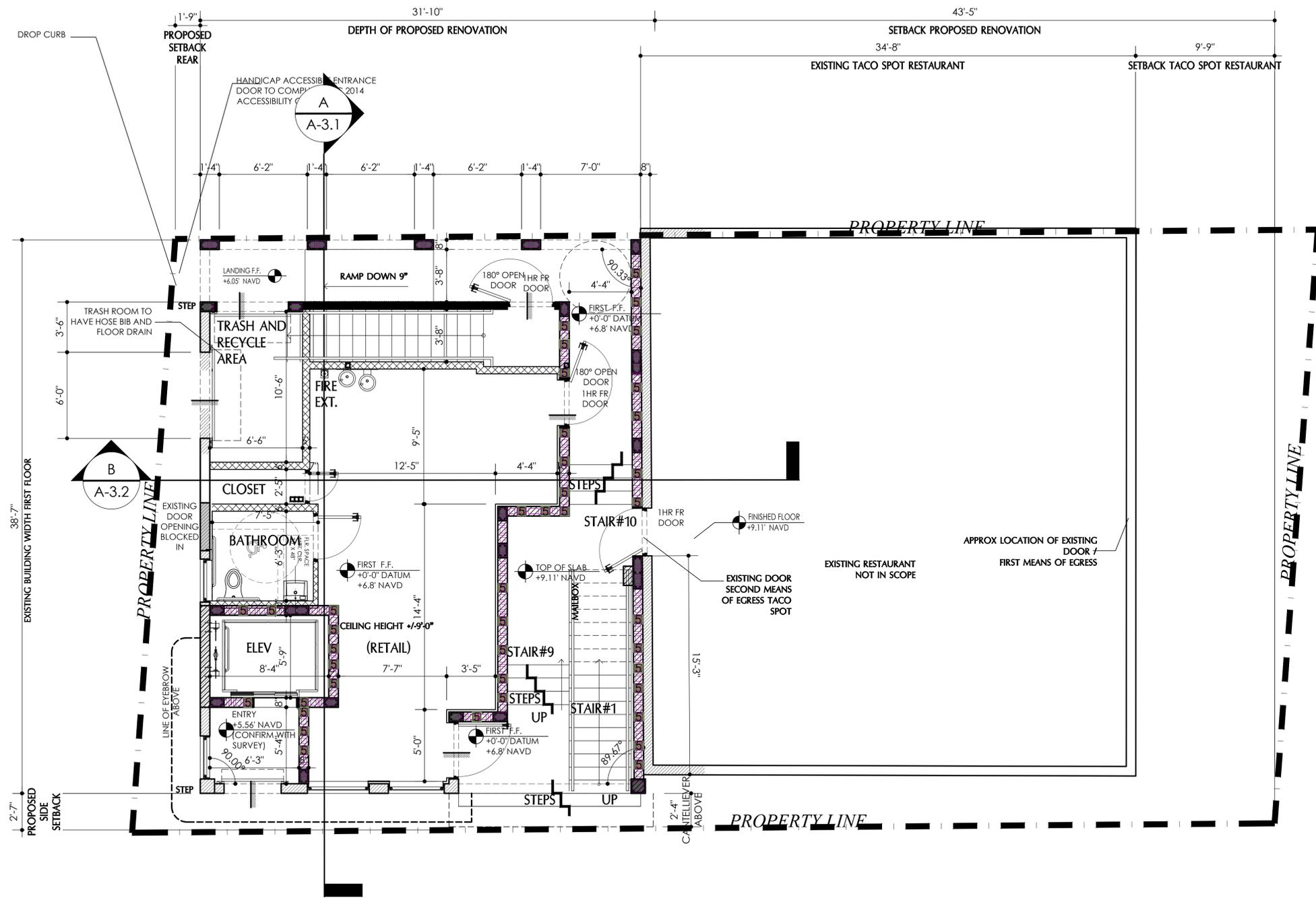
NO.	DATE	REVISION

BCRA 10-008  
 SHEET  
 H-8-18

1500 N. BROADWALK  
 HOLLYWOOD, FLORIDA 33019  
 FOR: CHIQUITA PROPERTIES, LLC

11/9/20

GATOR ENGINEERING ASSOCIATES, INC.  
 11380 TEMPLE STREET  
 COOPER CITY, FL 33030  
 TEL: (888) 634-8808 FAX: (781) 434-8804  
 CERTIFICATE OF AUTHORIZATION NUMBER 32250



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- STORAGE SHELVING AND DISPLAY UNITS SHALL COMPLY W/F.B.C. SECT 11-4.1.3(12) TYP. SEE DTL 4/ A-7.2
- HANDICAP ACCESSIBLE BATHROOM TO COMPLY WITH ADA REQUIREMENTS. SEE DTL SHT A-7.1.
- EQUIPMENT TO BE SELECTED/PROVIDED BY OWNER NOT IN SCOPE
- 42" HIGH GUARDRAIL TO COMPLY W/FBC SEE DETAILS SHT
- BEAM ABOVE, SEE STRUCT. DWGS
- SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
- HANDICAP ACCESSIBLE DOOR. THRESHOLD TO BE MAX 1/2" RISE SEE DTL 9 SHT A-6.1.
- HIGH HANDICAP ACCESSIBLE WATER FOUNTAIN TO COMPLY W/FBC ACCESSIBILITY SEE DTL 9 SHT A-7.1
- TRASH ROOM SHALL BE FOR TRASH AND RECYCLE BIN HANDICAP NOTES: ALL ENTRY SLABS SHALL BE SET FLUSH W/TOP OF PAVING.

MAX PAVING SLOPE FOR WHEELCHAIR AISLE ACCESS TO BUILDING IS 2%  
 1/2" MAX VERTICAL HEIGHT DIFFERENTIAL AT ANY DOOR TYP.  
 GENERAL NOTES:  
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 ALL WORK TO BE DONE IN ACCORDANCE W/THE FLORIDA BUILDING CODE 2017 ED AND 2017 FLORIDA BUILDING CODE RESIDENTIAL (TYP)

GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING AND NO V.O.C. PAINTS.

## 2 FLOOR PLAN KEY NOTES

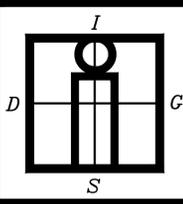
- ### WALL LEGEND
- NEW EXTERIOR BLOCK WALL SEE WALL TYPES SHT A-5.2 STRUCT DWGS AND NEW FLOOR PLANS. PATCH AND REPAIR WALL AS REQUIRED
  - EXISTING CBS WALLS TO REMAIN
  - NEW INTERIOR PARTITIONS SEE WALL TYPES SHT A-5.2.
  - EXISTING OPENING TO REMAIN AND REPLACE WITH NEW WINDOW/DOOR

## 3 WALL LEGEND

1500 BROADWALK SQFT CALCULATION		
<b>1ST FLOOR (RETAIL)</b>		<b>SQFT</b>
RETAIL SPACE		504.88
BATHROOM		58.77
STAIR		83.42
TRASH AREA		32.76
ELEVATOR		60.52
ELEVATOR LOBBY		43.80
BREEZEWAY		410.07
<b>1ST FLOOR (RETAIL) TOTAL</b>		<b>1194.22</b>
<b>2ND FLOOR (KITCHEN)</b>		<b>SQFT</b>
KITCHEN		437.39
STAIR LANDINGS AND 1 FLIGHT		238.98
BATHROOM		43.91
ELEVATOR LOBBY		62.28
DUMBWAITER		12.37
TERRACE		199.12
BALCONY		31.82
<b>2ND FLOOR (KITCHEN) TOTAL</b>		<b>1025.86</b>
<b>3RD FLOOR (RESTAURANT)</b>		<b>SQFT</b>
RESTAURANT		717.58
STAIR LANDINGS		94.26
STORAGE/MECH		47.40
BATHROOM		57.51
ELEVATOR LOBBY		57.35
CANTILEVER BALCONY		517.73
<b>3RD FLOOR (RESTAURANT) TOTAL</b>		<b>1491.82</b>
<b>4TH FLOOR (RESTAURANT)</b>		<b>SQFT</b>
RESTAURANT		722.74
STAIR LANDINGS		94.26
STORAGE/MECH		47.40
BATHROOM		59.39
ELEVATOR LOBBY		57.36
CANTILEVER BALCONY		465.15
<b>4TH FLOOR (RESTAURANT) TOTAL</b>		<b>1446.30</b>
<b>ROOF LEVEL</b>		<b>SQFT</b>
ROOF DECK INCL. CANT BALCONY		1170.06
STAIR LANDINGS		95.16
STORAGE/MECH		190.38
ELEVATOR LOBBY		58.00
<b>ROOF LEVEL TOTAL</b>		<b>1513.60</b>
<b>PROPOSED BUILDING TOTAL</b>		<b>6671.81</b>

## 4 AREA CALCULATIONS

SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION



## IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
 HOLLYWOOD, FL 33020  
 INSDSIGNGROUP.COM  
 AA26001758  
 954 921 5333

ANNIE K. CARRUTHERS  
 ARCHITECT



STATE OF FLORIDA LICENSE No. AR-97156

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DEVELOPMENT NAME:  
 1500 N. BROADWALK

OWNER:  
 CHIQUITA PROPERTIES LLC  
 ADDRESS:  
 1500 N. BROADWALK  
 HOLLYWOOD, FL 33019

DISTRIBUTION  
 MARCH-19-2018  
 PREAP MEETING  
 JULY-15-2019  
 PRELIMINARY TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
 FILE NUMBER 18-CPV-41  
 SEPT-3-2019  
 FINAL TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
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 MARCH-10-2020  
 HISTORIC PRESERVATION BOARD  
 April -7-2020

REVISIONS

Date Of Issue  
 JAN-18-2020

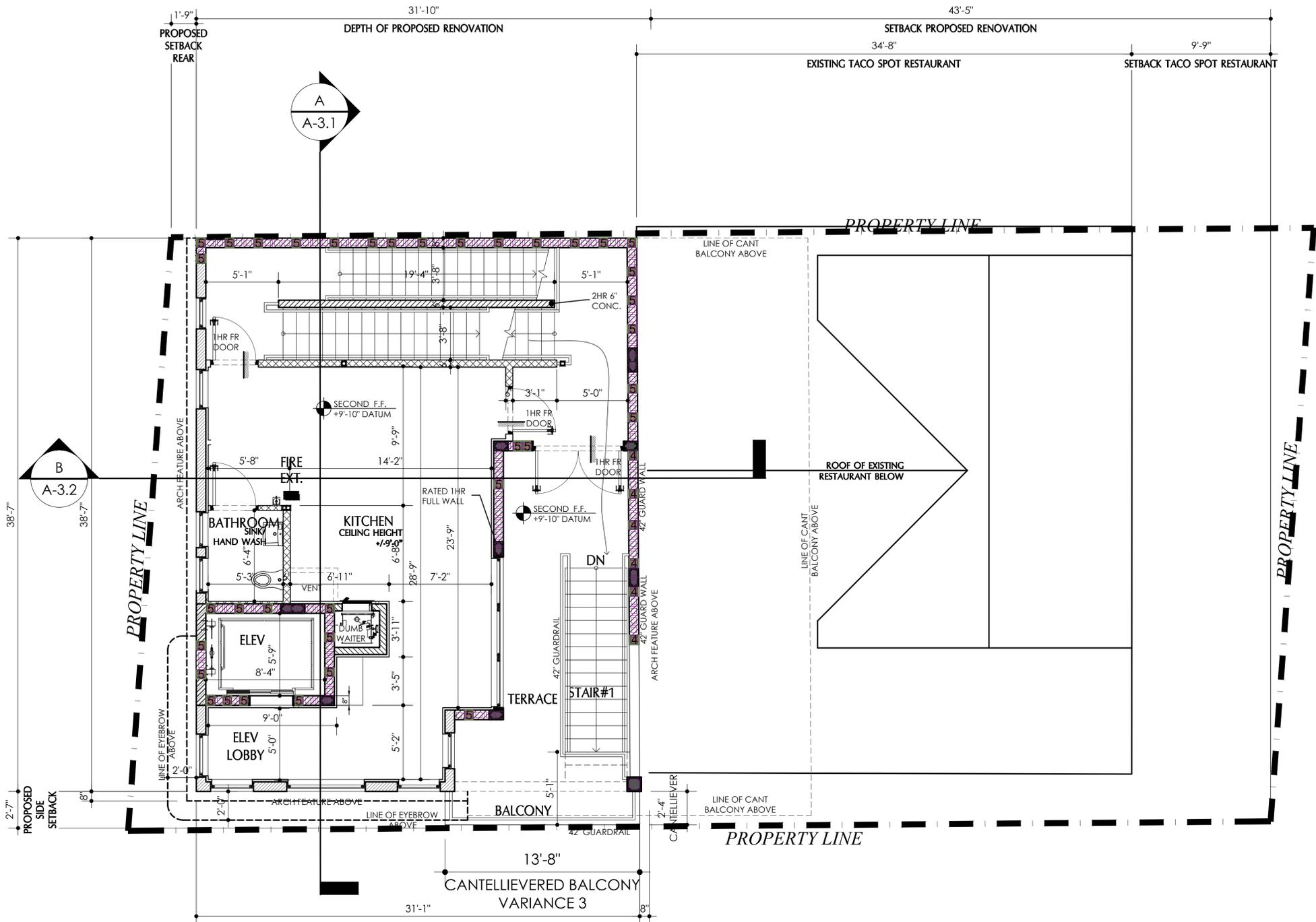
## FLOOR PLAN

# A-1.1

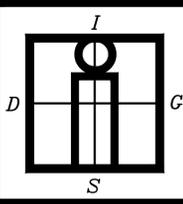
## 1 FIRST/GROUND FLOOR PLAN

SCALE = 1/4" = 1'-0"





- VANILLA SHELL CABINETS AND OTHER BUILD OUT ITEMS UNDER SEPARATE PERMIT/AGREEMENT
  - STORAGE SHELVING AND DISPLAY UNITS SHALL COMPLY W/F.B.C. SECT 11-4.1.3(12) TYP. SEE DTL 4/ A-7.2
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  - BEAM ABOVE. SEE STRUCT. DWGS
  - SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
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- MAX PAVING SLOPE FOR WHEELCHAIR AISLE ACCESS TO BUILDING IS 2%
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**IN-SITE DESIGN GROUP LLC**

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSTDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



SEAL  
STATE OF FLORIDA LICENSE No. AR-97156

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1500 N. BROADWALK

OWNER:  
CHIQUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
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HISTORIC PRESERVATION BOARD  
April-7-2020

REVISIONS

Date Of Issue  
JAN-18-2020

**FLOOR PLAN**

**A-1.2**

**2 FLOOR PLAN KEY NOTES**

**WALL LEGEND**

- NEW EXTERIOR BLOCK WALL SEE WALL TYPES SHT A-5.2 STRUCT DWGS AND NEW FLOOR PLANS, PATCH AND REPAIR WALL AS REQUIRED
- EXISTING CBS WALLS TO REMAIN
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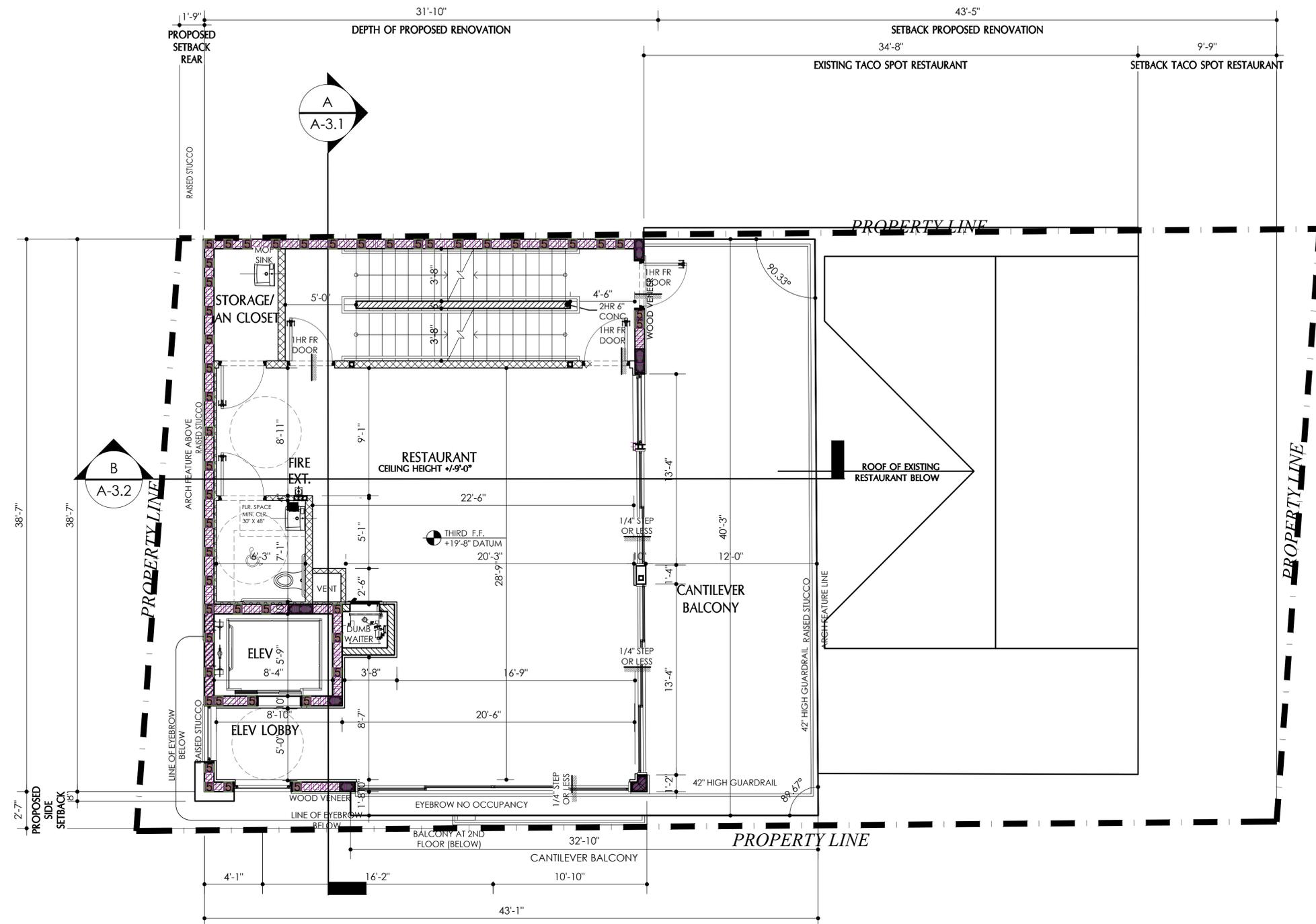
**3 WALL LEGEND**

1500 BROADWALK SQFT CALCULATION		
<b>1ST FLOOR (RETAIL)</b>		
RETAIL SPACE		504.88
BATHROOM		58.77
STAIR		83.42
TRASH AREA		32.76
ELEVATOR		60.52
ELEVATOR LOBBY		43.80
BREEZEWAY		410.07
<b>1ST FLOOR (RETAIL) TOTAL</b>		<b>1194.22</b>
<b>2ND FLOOR (KITCHEN)</b>		
KITCHEN		437.39
STAIR LANDINGS AND 1 FLIGHT		238.98
BATHROOM		43.91
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ELEVATOR LOBBY		58.00
<b>ROOF LEVEL TOTAL</b>		<b>1513.60</b>
<b>PROPOSED BUILDING TOTAL</b>		<b>6671.81</b>

**4 AREA CALCULATIONS**

**1 SECOND FLOOR PLAN**  
SCALE = 1/4" = 1'-0"





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- SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
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## 2 FLOOR PLAN KEY NOTES

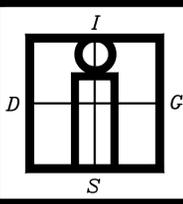
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## 3 WALL LEGEND

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STAIR		83.42
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<b>1ST FLOOR (RETAIL) TOTAL</b>		<b>1194.22</b>
<b>2ND FLOOR (KITCHEN)</b>		
KITCHEN		437.39
STAIR LANDINGS AND 1 FLIGHT		238.98
BATHROOM		43.91
ELEVATOR LOBBY		62.28
DUMBWAITER		12.37
TERRACE		199.12
BALCONY		31.82
<b>2ND FLOOR (KITCHEN) TOTAL</b>		<b>1025.86</b>
<b>3RD FLOOR (RESTAURANT)</b>		
RESTAURANT		717.58
STAIR LANDINGS		94.26
STORAGE/MECH		47.40
BATHROOM		57.51
ELEVATOR LOBBY		57.35
CANTILEVER BALCONY		517.73
<b>3RD FLOOR (RESTAURANT) TOTAL</b>		<b>1491.82</b>
<b>4TH FLOOR (RESTAURANT)</b>		
RESTAURANT		722.74
STAIR LANDINGS		94.26
STORAGE/MECH		47.40
BATHROOM		59.39
ELEVATOR LOBBY		57.36
CANTILEVER BALCONY		465.15
<b>4TH FLOOR (RESTAURANT) TOTAL</b>		<b>1446.30</b>
<b>ROOF LEVEL</b>		
ROOF DECK INCL. CANT BALCONY		1170.06
STAIR LANDINGS		95.16
STORAGE/MECH		190.38
ELEVATOR LOBBY		58.00
<b>ROOF LEVEL TOTAL</b>		<b>1513.60</b>
<b>PROPOSED BUILDING TOTAL</b>		<b>6671.81</b>

## 4 AREA CALCULATIONS

SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION



## IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
 HOLLYWOOD, FL 33020  
 INSITEDESIGNGROUP.COM  
 AA26001758  
 954 921 5333

ANNIE K. CARRUTHERS  
 ARCHITECT



STATE OF FLORIDA LICENSE No. AR-97156

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DEVELOPMENT NAME:  
 1500 N. BROADWALK

OWNER:  
 CHIQUITA PROPERTIES LLC  
 ADDRESS:  
 1500 N. BROADWALK  
 HOLLYWOOD, FL 33019

DISTRIBUTION  
 MARCH-19-2018  
 PREAP MEETING  
 JULY-15-2019  
 PRELIMINARY TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
 FILE NUMBER 18-CPV-41  
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 FINAL TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
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 MARCH-10-2020  
 HISTORIC PRESERVATION BOARD  
 April-7-2020

REVISIONS

Date Of Issue  
 JAN-18-2020

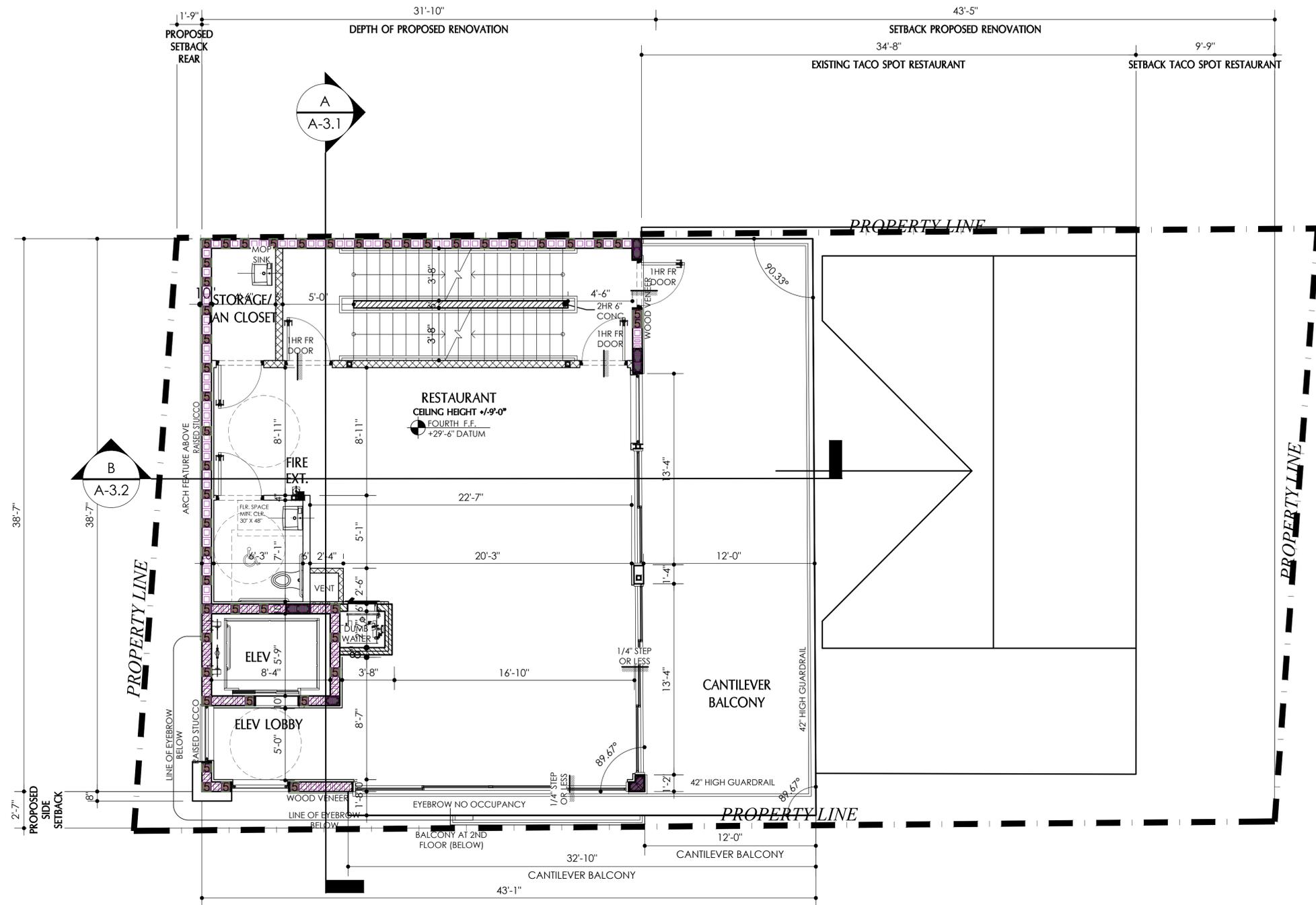
## FLOOR PLAN

# A-1.3

## 1 THIRD FLOOR PLAN

SCALE = 1/4" = 1'-0"





1. VANILLA SHELL, CABINERY AND OTHER BUILD OUT ITEMS UNDER SEPARATE PERMIT/AGREEMENT
  2. STORAGE SHELVING AND DISPLAY UNITS SHALL COMPLY W/F.B.C. SECT 11-4.1.3(12) TYP. SEE DTL 4/ A-7.2
  3. HANDICAP ACCESSIBLE BATHROOM TO COMPLY WITH ADA REQUIREMENTS. SEE DTL SHT A-7.1.
  4. EQUIPMENT TO BE SELECTED/PROVIDED BY OWNER NOT IN SCOPE
  5. 42" HIGH GUARDRAIL TO COMPLY W/FBC SEE DETAILS SHT
  6. BEAM ABOVE, SEE STRUCT. DWGS
  7. SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
  8. HANDICAP ACCESSIBLE DOOR. THRESHOLD TO BE MAX 1/2" RISE SEE DTL 9 SHT A-6.1.
  9. HI-LOW HANDICAP ACCESSIBLE WATER FOUNTAIN TO COMPLY W/FBC ACCESSIBILITY SEE DTL 9 SHT A-7.1
  10. TRASH ROOM SHALL BE FOR TRASH AND RECYCLE BIN
- HANDICAP NOTES:  
ALL ENTRY SLABS SHALL BE SET FLUSH W/TOP OF PAVING.  
MAX PAVING SLOPE FOR WHEELCHAIR AISLE ACCESS TO BUILDING IS 2%

1/2" MAX VERTICAL HEIGHT DIFFERENTIAL AT ANY DOOR TYP.  
GENERAL NOTES:  
ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION PLUS ONE FOOT (+10'-0" NAVD) SHALL BE CONSTRUCTED WITH FLOOD DAMAGE RESISTANT MATERIAL AS PER FEMA TECH BULLETIN 2/2008.  
FLOOD PLAIN MANAGEMENT SECTION REQUIRES: ALL CONSTRUCTION AND FINISH MATERIAL BELOW BASE FLOOD ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-05 CH. 5.0). - ALL UTILITIES AND EQUIPMENTS AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE BFE. +10'-0" NAVD 88  
ALL WORK TO BE DONE IN ACCORDANCE W/THE FLORIDA BUILDING CODE 2017 ED AND 2017 FLORIDA BUILDING CODE RESIDENTIAL (TYP)

GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING AND NO V.O.C. PAINTS.

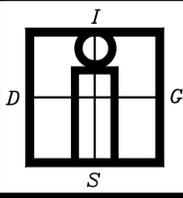
## 2 FLOOR PLAN KEY NOTES

- ### WALL LEGEND
- NEW EXTERIOR BLOCK WALL SEE WALL TYPES SHT A-5.2 STRUCT DWGS AND NEW FLOOR PLANS, PATCH AND REPAIR WALL AS REQUIRED
  - EXISTING CBS WALLS TO REMAIN
  - NEW INTERIOR PARTITIONS SEE WALL TYPES SHT A-5.2.
  - EXISTING OPENING TO REMAIN AND REPLACE WITH NEW WINDOW/DOOR

## 3 WALL LEGEND

1500 BROADWALK SQFT CALCULATION		
<b>1ST FLOOR (RETAIL)</b>		
RETAIL SPACE		504.88
BATHROOM		58.77
STAIR		83.42
TRASH AREA		32.76
ELEVATOR		60.52
ELEVATOR LOBBY		43.80
BREEZEWAY		410.07
<b>1ST FLOOR (RETAIL) TOTAL</b>		<b>1194.22</b>
<b>2ND FLOOR (KITCHEN)</b>		
KITCHEN		437.39
STAIR LANDINGS AND 1 FLIGHT		238.98
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STORAGE/MECH		47.40
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<b>ROOF LEVEL</b>		
ROOF DECK INCL. CANT BALCONY		1170.06
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<b>ROOF LEVEL TOTAL</b>		<b>1513.60</b>
<b>PROPOSED BUILDING TOTAL</b>		<b>6671.81</b>

SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION



## IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSTDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



STATE OF FLORIDA LICENSE No. AR-87156

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DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
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ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

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HISTORIC PRESERVATION BOARD  
April-7-2020

REVISIONS

Date Of Issue  
JAN-18-2020

## FLOOR PLAN

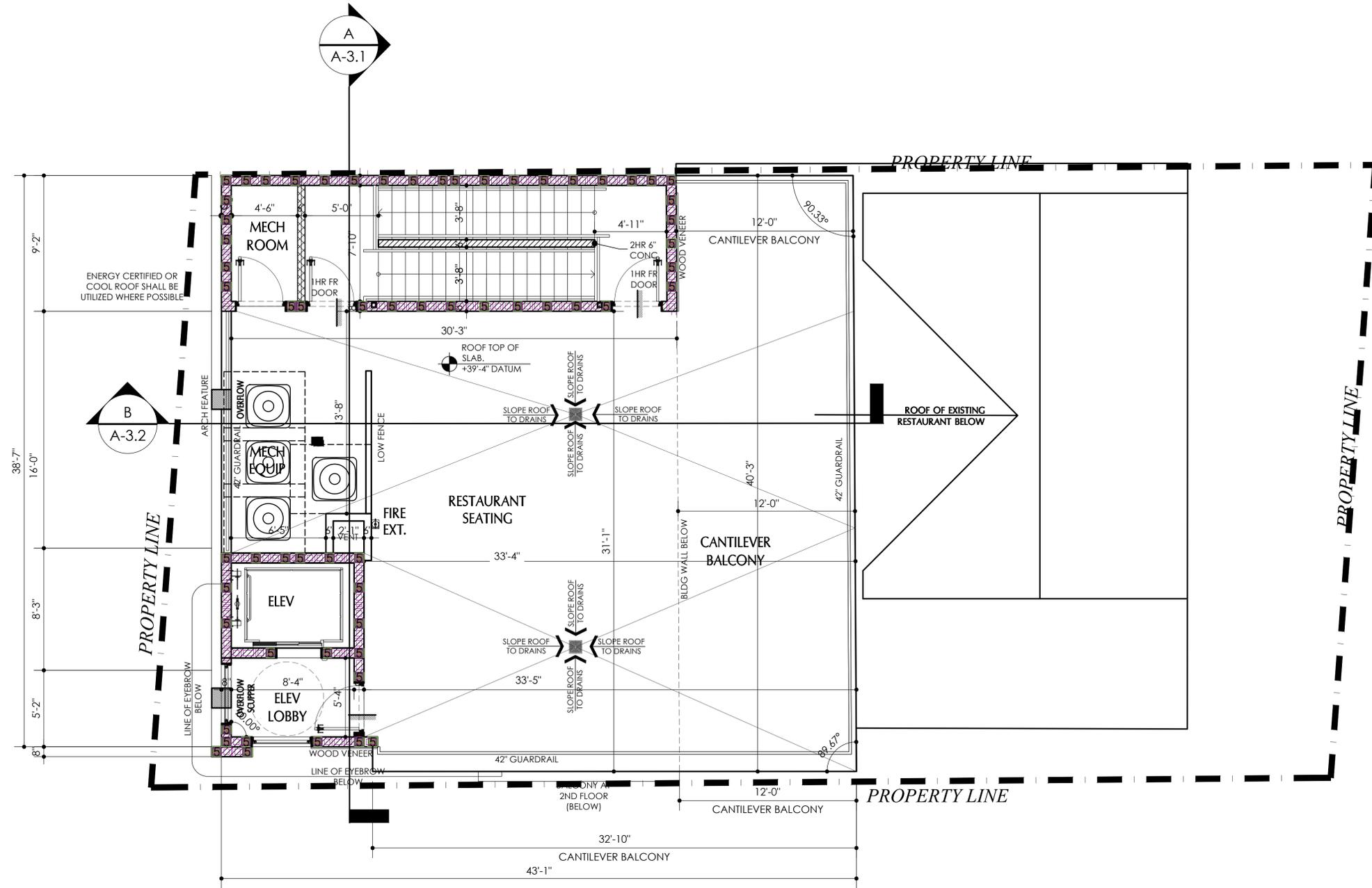
# A-1.4

## 1 FOURTH FLOOR PLAN/MEZZANINE

SCALE = 1/4" = 1'-0"

## 4 AREA CALCULATIONS

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  - 42" HIGH GUARDRAIL TO COMPLY W/FBC SEE DETAILS SHT
  - BEAM ABOVE, SEE STRUCT. DWGS
  - SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
  - HANDICAP ACCESSIBLE DOOR. THRESHOLD TO BE MAX 1/2" RISE SEE DTL 9 SHT A-6.1.
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## 2 FLOOR PLAN KEY NOTES

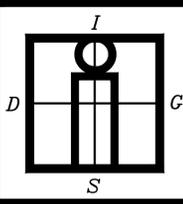
### WALL LEGEND

- NEW EXTERIOR BLOCK WALL SEE WALL TYPES SHT A-5.2 STRUCT DWGS AND NEW FLOOR PLANS. PATCH AND REPAIR WALL AS REQUIRED
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## 3 WALL LEGEND

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STORAGE/MECH	47.40
BATHROOM	57.51
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<b>3RD FLOOR (RESTAURANT) TOTAL</b>	<b>1491.82</b>
<b>4TH FLOOR (RESTAURANT)</b>	<b>SQFT</b>
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<b>4TH FLOOR (RESTAURANT) TOTAL</b>	<b>1446.30</b>
<b>ROOF LEVEL</b>	<b>SQFT</b>
ROOF DECK INCL. CANT BALCONY	1170.06
STAIR LANDINGS	95.16
STORAGE/MECH	190.38
ELEVATOR LOBBY	58.00
<b>ROOF LEVEL TOTAL</b>	<b>1513.60</b>
<b>PROPOSED BUILDING TOTAL</b>	<b>6671.81</b>

SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION



## IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSTDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



STATE OF FLORIDA LICENSE No. AR-97156

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DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
CHIQUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

DISTRIBUTION  
MARCH-19-2018  
PREAP MEETING  
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FILE NUMBER 18-CPV-41  
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MARCH-10-2020  
HISTORIC PRESERVATION BOARD  
April-7-2020

REVISIONS

Date Of Issue  
JAN-18-2020

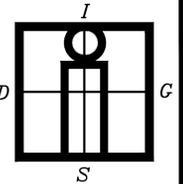
## FLOOR PLAN

# A-1.5

## 1 ROOF FLOOR PLAN

SCALE = 1/4" = 1'-0"

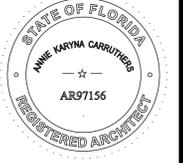
## 4 AREA CALCULATIONS



**IN-SITE DESIGN GROUP LLC**

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSITEDESIGNGROUP.COM  
AA26001758  
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DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
CHIKUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

DISTRIBUTION  
MARCH-19-2018  
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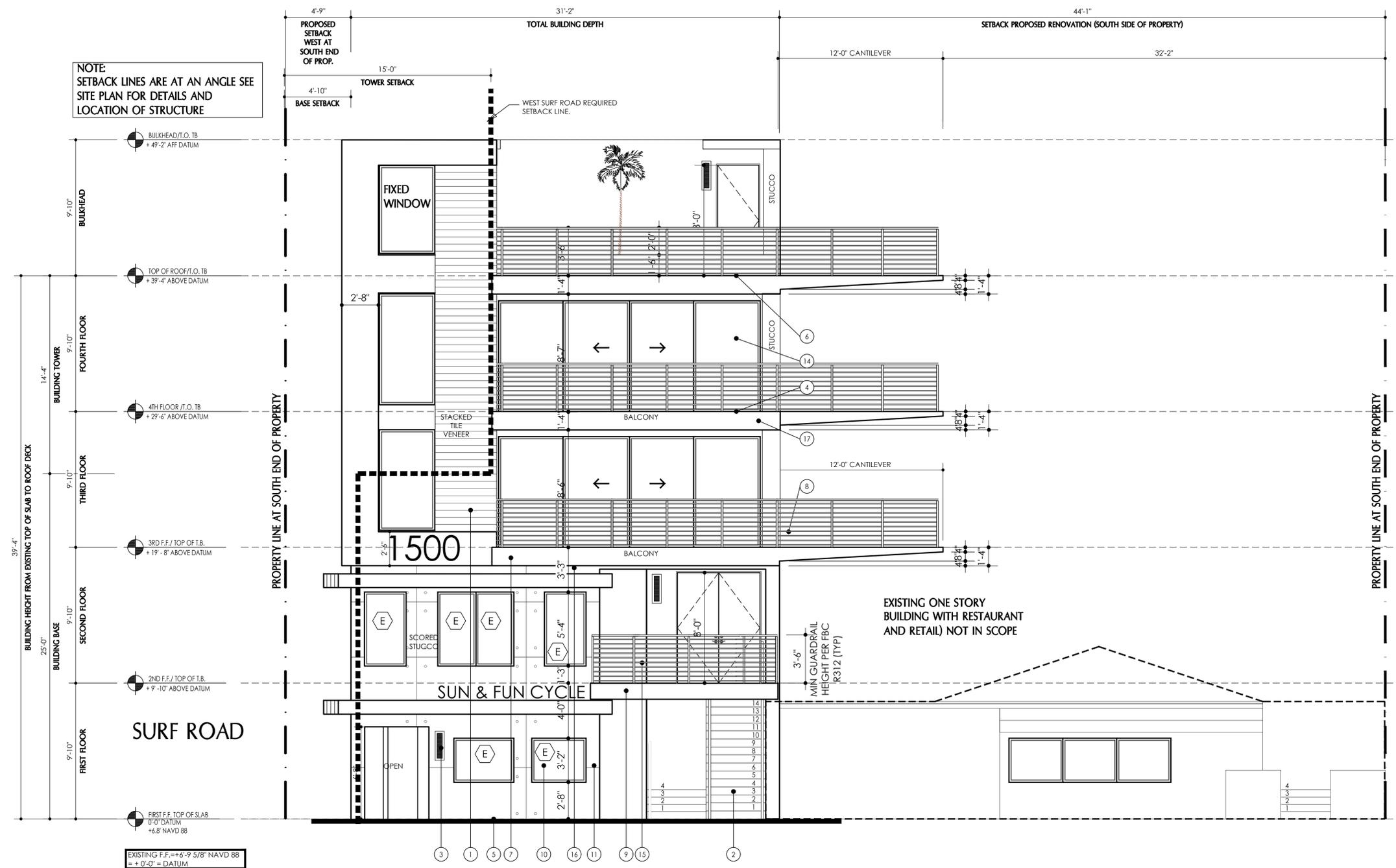
**ELEVATIONS**  
**A-2.1**

- KEY NOTES:**
- COLUMN OR WALL W/PORCELAIN TILE TO SIMULATE WOOD. VENEER TO RUN HORIZONTALLY AS NOTED. VENEER WILL BE PLACED WHERE NOTED ON ELEVATIONS.
  - NEW STEPS PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC
  - NEW EXTERIOR GRADE LIGHT FIXTURE ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. LED BULBS AND LOW VOLTAGE ONLY. SEE ELEC DWGS FOR DTLS ELEVATION NOT TO EXCEED 8'-0" IN HEIGHT.
  - LINE OF T.B. SEE STRUCT DWGS
  - LINE OF CONCRETE SLAB
  - MIAMI DADE COUNTY APPROVED FLAT ROOF - SEE DETAILS ON SHT A-9.1.
  - SMOOTH STUCCO ON CONC BLOCK. STUCCO SHALL BE 5/8" AND SHALL BE INSTALLED AS PER ASTM C326 EXCLUDING TABLE 4. 3/4" HORIZONTAL SCORE IN STUCCO AT 8" O.C.
  - ARCHITECTURAL FEATURE NOT TO EXCEED LINE OF PROPERTY LINE.
  - CANTILEVER BALCONY
  - NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS WITH BRONZE FRAME AND CLEAR GLASS WITH LOW E AS PER SCHEDULE ON SHEET A-7.1. AS NOTED TYP ENERGY EFFICIENT (LOW E) WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
  - WALL TO BE SCORED AND SNAP TIES TO BE ADDED TO SIMULATE CAST IN PLACE CONCRETE PANELS.
  - NOT USED - DECORATIVE PLANTER. SEE SITE PLAN DRAWINGS FOR EXACT LOCATION AND DETAILS
  - CONTRACTOR TO PROVIDE OVERFLOW SCUPPERS AND ROOF DRAINS AS NOTED ON ROOF PLAN
  - ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS. WINDOW SIZES TO BE ADJUSTED TO ALIGN VERTICALLY WITH SLIDERS.
  - 42" HIGH ALUMN GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECTS REVIEW PRIOR TO FABRICATION). PICKETS TO REFLECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC. SEE DETAILS SHEET A-4.2
  - SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/F.B.C. ON FRONT WALL. NUMBERS SHALL BE VISIBLE FROM THE STREET
  - BREAK METAL TO MATCH WINDOW FRAME.
  - STUCCO WATER TABLE WITH A 4" HIGH X 2" DEEP STUCCO BAND AT TOP OF WATER TABLE
  - MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A 42" HIGH GREEN FENCE MADE WITH BOX WOOD.
  - NOT USED - STEEL SUPPORT COLUMN. (SEE STRUCTURAL FOR DETAILS)
- NOTE:**  
ALL WORK TO BE DONE IN ACCORDANCE W/ THE 2017 FLORIDA BUILDING CODE (TYP)
- GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, AND LOW V.O.C. PAINTS.

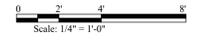
**2 ELEVATION KEY NOTES**

LOCATION/TYPE	EXTERIOR COLORS AND VENEERS					
	EXTERIOR WALLS BASE	ARCH FEATURE/ UPPER FL	EYEBROW	WINDOWS & DOORS	TILE VENEER	LIGHTING
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN	EXTERIOR SCONCES
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CAESAR LIFE	BRONZE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS	NOCE NATURALE V2	ZANIBONI LIGHTING W2 KASW107
LABEL	SW7642	SW7036	PPUS-1	CLEAR GLASS COLOR	TROPICAL TILE & MARBLE	AXI A 4 C WS E 0000W 7 WATT AMER LED LAMP

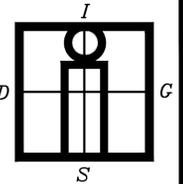
**3 EXTERIOR COLORS/VENEERS**



**1 ELEVATION - SOUTH (HAYES STREET)**  
SCALE = 1/4" = 1'-0"



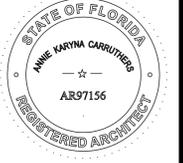
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**IN-SITE DESIGN GROUP LLC**

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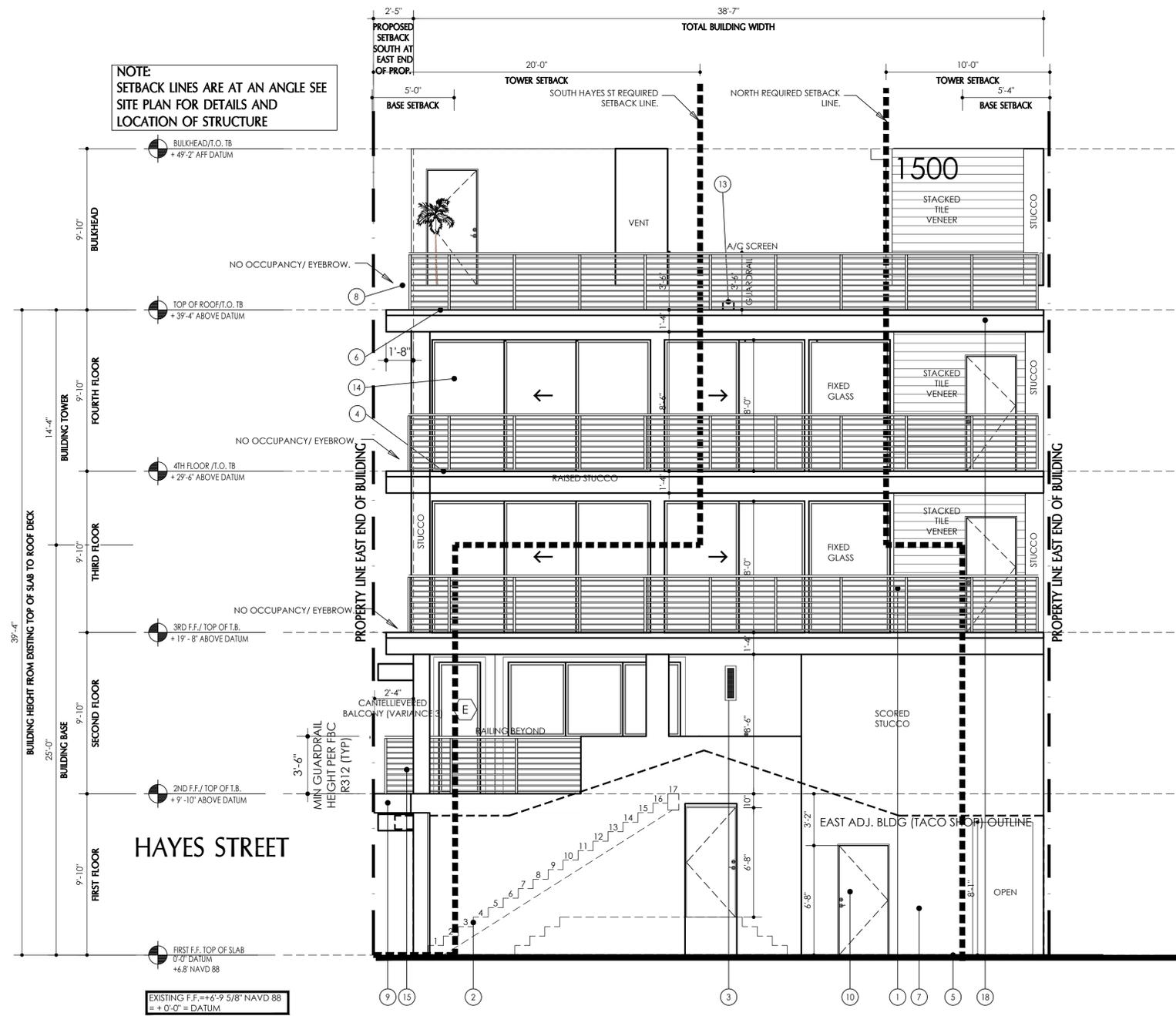
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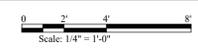
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ELEVATIONS  
**A-2.3**



**1** ELEVATION - EAST (BROADWALK)  
SCALE = 1/4" = 1'-0"



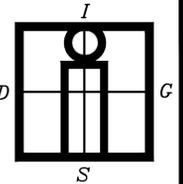
**3** EXTERIOR COLORS/VENEERS

LOCATION/ TYPE	EXTERIOR COLORS AND VENEERS					
	EXTERIOR WALLS/BASE	ARCH FEATURE/UPPER FL.	EYEBROW	WINDOWS & DOORS	TILE VENEER	LIGHTING
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN	EXTERIOR SCONCES
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CAESAR LITE	BRONZE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS	NOCE NATURALE V2	ZANIBONI LIGHTING W2 KA3W107
LABEL	SW7642	SW7036	PPUS-1	CLEAR GLASS COLOR	TROPICAL TILE & MARBLE	3X1 X 4 C WS E 0000W 7 WATT AMER LED LAMP

**2** ELEVATION KEY NOTES

- KEY NOTES:
- COLUMN OR WALL W/PORCELAIN TILE TO SIMULATE WOOD. VENEER TO RUN HORIZONTALLY AS NOTED. VENEER WILL BE PLACED WHERE NOTED ON ELEVATIONS.
  - NEW STEPS PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC
  - NEW EXTERIOR GRADE LIGHT FIXTURE/ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. LED BULBS AND LOW VOLTAGE ONLY. SEE ELEC DWGS FOR DTL ELEVATION NOT TO EXCEED 8'-0" IN HEIGHT.
  - LINE OF T.B. SEE STRUCT DWGS
  - LINE OF CONCRETE SLAB
  - MIAMI DADE COUNTY APPROVED FLAT ROOF - SEE DETAILS ON SHT A-9.1.
  - SMOOTH STUCCO ON CONC BLOCK. STUCCO SHALL BE 5/8" AND SHALL BE INSTALLED AS PER ASTM C326 EXCLUDING TABLE 4. 3/4" HORIZONTAL SCORE IN STUCCO AT 8" O.C.
  - ARCHITECTURAL FEATURE NOT TO EXCEED LINE OF PROPERTY LINE.
  - CANTILEVER BALCONY
  - NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS WITH BRONZE FRAME AND CLEAR GLASS WITH LOW E AS PER SCHEDULE ON SHEET A-7.1. AS NOTED TYP. ENERGY EFFICIENT (LOW E) WINDOWS, ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
  - WALL TO BE SCORED AND SNAP TIES TO BE ADDED TO SIMULATE CAST IN PLACE CONCRETE PANELS.
  - NOT USED - DECORATIVE PLANTER. SEE SITE PLAN DRAWINGS FOR EXACT LOCATION AND DETAILS
  - CONTRACTOR TO PROVIDE OVERFLOW SCUPPERS AND ROOF DRAINS AS NOTED ON ROOF PLAN
  - ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS. WINDOW SIZES TO BE ADJUSTED TO ALIGN VERTICALLY WITH SLIDERS.
  - 42" HIGH ALUMN GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECTS REVIEW PRIOR TO FABRICATION). PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC. SEE DETAILS SHEET A-4.2
  - SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/F.B.C. ON FRONT WALL. NUMBERS SHALL BE VISIBLE FROM THE STREET
  - BREAK METAL TO MATCH WINDOW FRAME.
  - STUCCO WATER TABLE WITH A 4" HIGH x 2" DEEP STUCCO BAND AT TOP OF WATER TABLE
  - MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A 42" HIGH GREEN FENCE MADE WITH BOX WOOD.
  - NOT USED - STEEL SUPPORT COLUMN. (SEE STRUCTURAL FOR DETAILS)
- NOTE:  
ALL WORK TO BE DONE IN ACCORDANCE W/THE 2017 FLORIDA BUILDING CODE (TYP)
- GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, AND LOW V.O.C. PAINTS.

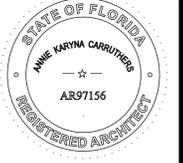
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**IN-SITE DESIGN GROUP LLC**

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSITEDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



STATE OF FLORIDA LICENSE No. AR-97156

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DEVELOPMENT NAME:  
1500 N. BROADWALK

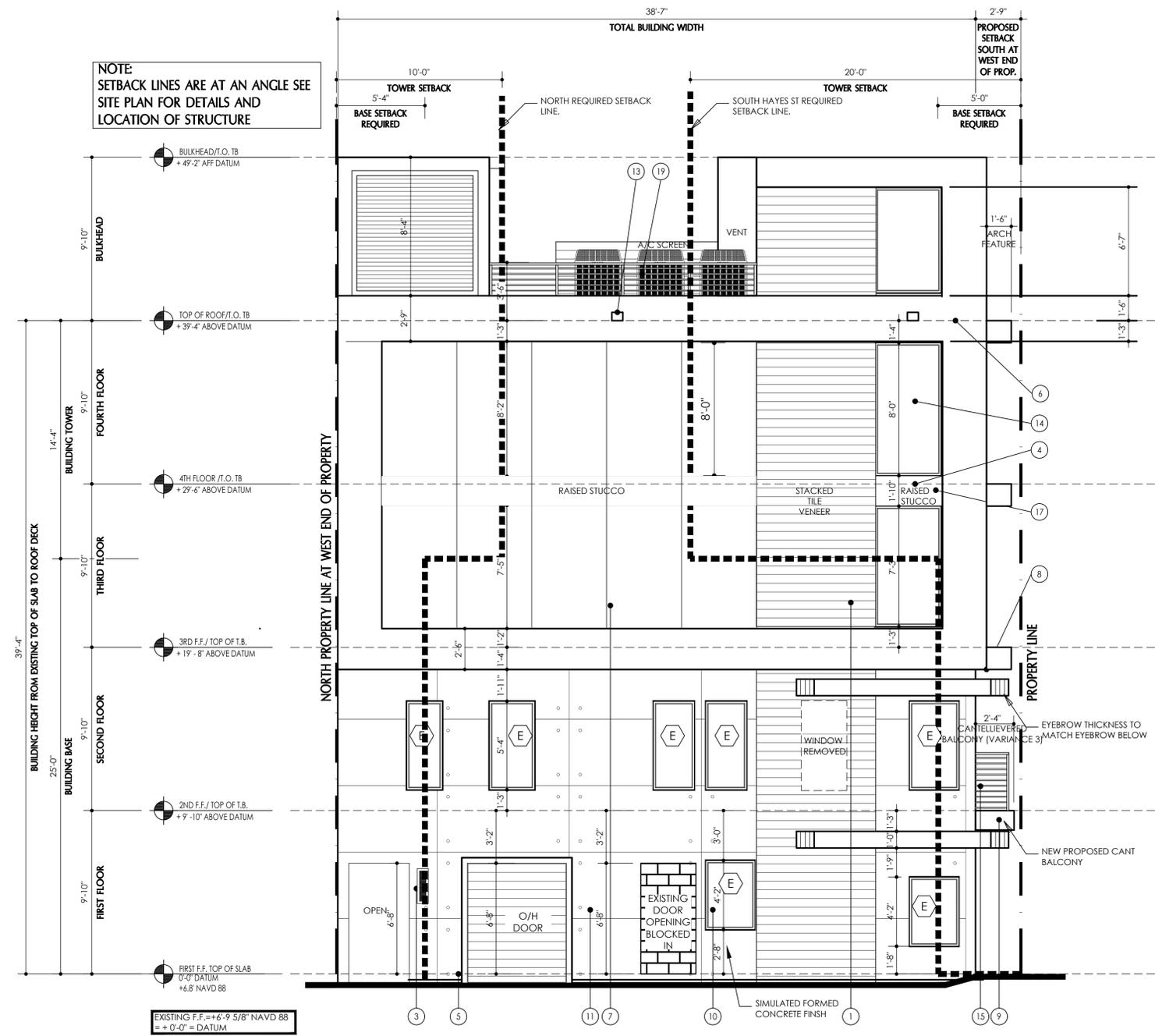
OWNER:  
CHIUQUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

DISTRIBUTION  
MARCH-19-2018  
PREP MEETING  
JULY-15-2019  
PRELIMINARY TECHNICAL ADVISORY COMMITTEE SUBMITTAL  
FILE NUMBER 18-CPV-41  
SEPT-3-2019  
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MARCH-10-2020  
HISTORIC PRESERVATION BOARD  
April-7-2020

REVISIONS

Date of Issue  
JAN-18-2020

**ELEVATIONS  
A-2.2**



NOTE:  
SETBACK LINES ARE AT AN ANGLE SEE SITE PLAN FOR DETAILS AND LOCATION OF STRUCTURE

- KEY NOTES:
1. COLUMN OR WALL W/PORCELAIN TILE TO SIMULATE WOOD. VENEER TO RUN HORIZONTALLY AS NOTED. VENEER WILL BE PLACED WHERE NOTED ON ELEVATIONS.
  2. NEW STEPS PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC
  3. NEW EXTERIOR GRADE LIGHT FIXTURE ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. LED BULBS AND LOW VOLTAGE ONLY. SEE ELEC DWGS FOR DTL ELEVATION NOT TO EXCEED 8'-0" IN HEIGHT.
  4. LINE OF T.B. SEE STRUCT DWGS
  5. LINE OF CONCRETE SLAB
  6. MIAMI DADE COUNTY APPROVED FLAT ROOF - SEE DETAILS ON SHT A-9.1.
  7. SMOOTH STUCCO ON CONC BLOCK. STUCCO SHALL BE 5/8" AND SHALL BE INSTALLED AS PER ASTM C326 EXCLUDING TABLE 4. 3/4" HORIZONTAL SCORE IN STUCCO AT 8" O.C.
  8. ARCHITECTURAL FEATURE NOT TO EXCEED LINE OF PROPERTY LINE.
  9. CANTILEVER BALCONY
  10. NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS WITH BRONZE FRAME AND CLEAR GLASS WITH LOW E AS PER SCHEDULE ON SHEET A-7.1. AS NOTED TYP. ENERGY EFFICIENT (LOW E) WINDOWS, ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
  11. WALL TO BE SCORED AND SNAP TIES TO BE ADDED TO SIMULATE CAST IN PLACE CONCRETE PANELS.
  12. NOT USED - DECORATIVE PLANTER. SEE SITE PLAN DRAWINGS FOR EXACT LOCATION AND DETAILS
  13. CONTRACTOR TO PROVIDE OVERFLOW SCUPPERS AND ROOF DRAINS AS NOTED ON ROOF PLAN
  14. ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS. WINDOW SIZES TO BE ADJUSTED TO ALIGN VERTICALLY WITH SLIDERS.
  15. 42" HIGH ALUMN GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECTS REVIEW PRIOR TO FABRICATION). PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC. SEE DETAILS SHEET A-4.2
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  17. BREAK METAL TO MATCH WINDOW FRAME.
  18. STUCCO WATER TABLE WITH A 4" HIGH x 2" DEEP STUCCO BAND AT TOP OF WATER TABLE
  19. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A 42" HIGH GREEN FENCE MADE WITH BOX WOOD.
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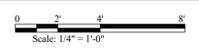
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**2 ELEVATION KEY NOTES**

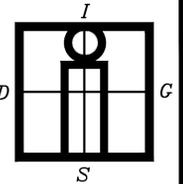
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LABEL	SW7642	SW7036	PPUS-1	CLEAR GLASS COLOR	TROPICAL TILE & MARBLE	0000W 7 WATT AMER LED LAMP

**1 ELEVATION - WEST (SURF ROAD)  
SCALE = 1/4" = 1'-0"**



**3 EXTERIOR COLORS/VENEERS**

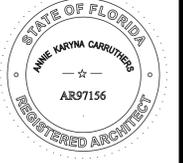
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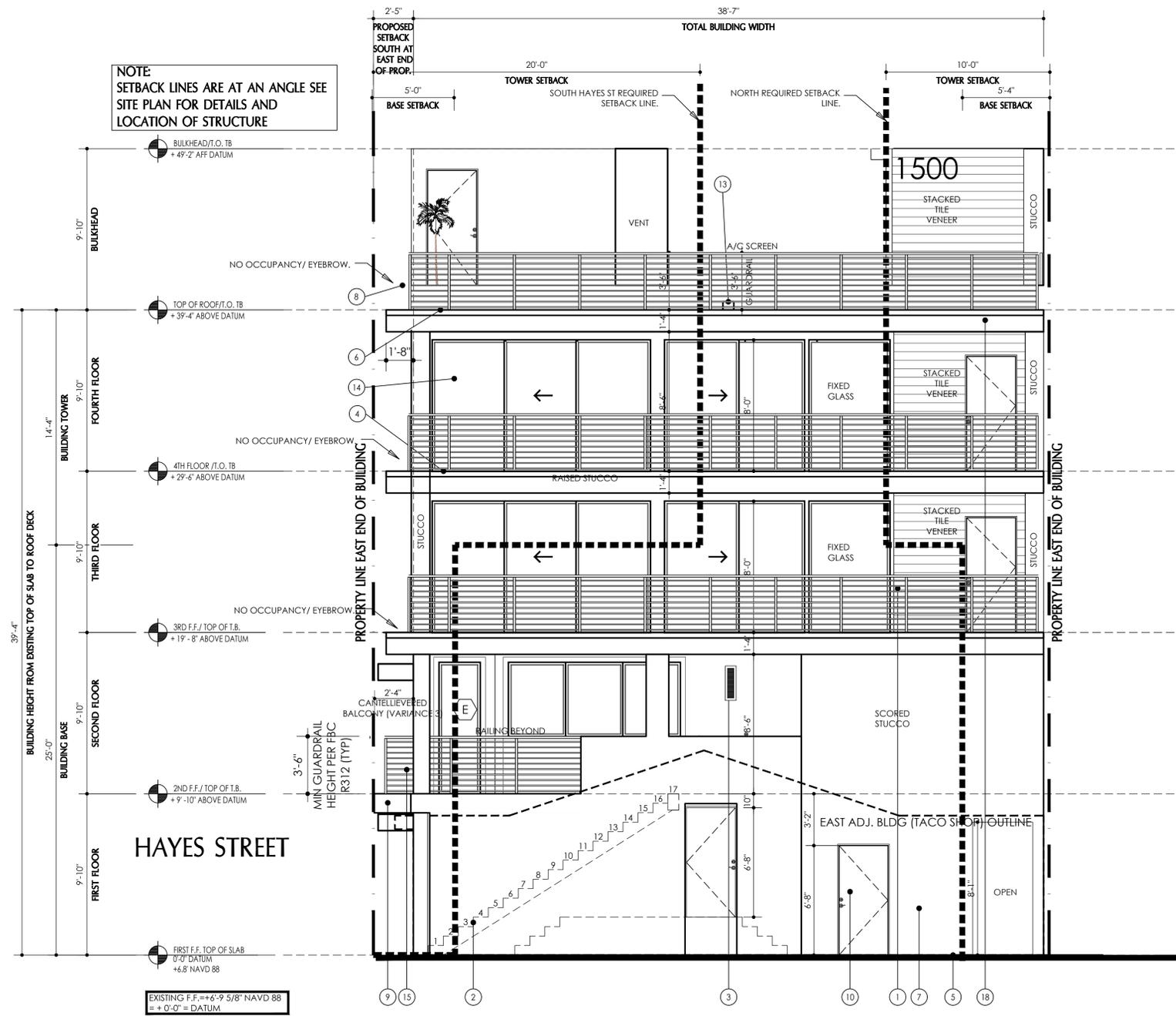
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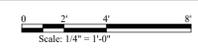
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**2 ELEVATION KEY NOTES**

LOCATION/ TYPE	EXTERIOR COLORS AND VENEERS					
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**3 EXTERIOR COLORS/VENEERS**

**1 ELEVATION - EAST (BROADWALK)**  
SCALE = 1/4" = 1'-0"



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1500

hot chili Coffee & Ice Cream Ho

TAKE  
Coffee  
with you

MENU



1500

vizpeople

Coffee to Go