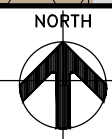


1 NEW SITE PLAN  
SCALE = 1/8" = 1'-0"



1500 BROADWALK SQFT CALCULATION			
1ST FLOOR (RETAIL)			SQFT
RETAIL SPACE			504.88
BATHROOM			58.77
STAIR			83.42
TRASH AREA			32.76
ELEVATOR			60.52
ELEVATOR LOBBY			43.80
BREEZEWAY			410.07
1ST FLOOR (RETAIL) TOTAL			1194.22
2ND FLOOR (KITCHEN)			SQFT
KITCHEN			437.39
STAIR LANDINGS AND 1 FLIGHT			238.98
BATHROOM			43.91
ELEVATOR LOBBY			62.28
DUMBWAITER			12.37
TERRACE			199.12
BALCONY			31.82
2ND FLOOR (KITCHEN) TOTAL			1025.86
3RD FLOOR (RESTAURANT)			SQFT
RESTAURANT			717.58
STAIR LANDINGS			94.26
STORAGE/MECH			47.40
BATHROOM			57.51
ELEVATOR LOBBY			57.35
CANTILEVER BALCONY			517.73
3RD FLOOR (RESTAURANT) TOTAL			1491.82
4TH FLOOR (RESTAURANT)			SQFT
RESTAURANT			722.74
STAIR LANDINGS			94.26
STORAGE/MECH			47.40
BATHROOM			59.39
ELEVATOR LOBBY			57.36
CANTILEVER BALCONY			465.15
4TH FLOOR (RESTAURANT) TOTAL			1446.30
ROOF LEVEL			SQFT
ROOF DECK INCL. CANT BALCONY			1170.06
STAIR LANDINGS			95.16
STORAGE/MECH			190.38
ELEVATOR LOBBY			58.00
ROOF LEVEL TOTAL			1513.60
PROPOSED BUILDING TOTAL			6671.81

2 AREA TABULATIONS

<b>ZONING</b> ZONING DISTRICT FEMA FLOOD ZONE REQUIRED BFE EXISTING/PROPOSED FINISHED FLOOR CROWN OF ROAD NET LAND AREA HEIGHT			
BWK-25-HD-C ZONE -VE-11/AE-9 +12'-0" NAVD 88 48.8' NAVD 88 88 EXISTING TO REMAIN +5.7' 3309.11 (0759 ACRE) ALLOWABLE = 40'-0" FROM BFE +1' PROPOSED: 39'-4" FROM EXISTING F.F.			
SETBACKS	REQUIRED SETBACK	EXISTING/ ORIGINAL SETBACKS	PROPOSED SETBACK
FRONT SETBACK EAST BROADWALK	10'-0" BASE/15'-0" TOWER	12'-6"	12'-6"
REAR SETBACK WEST SURF ROAD	5'-0" BASE/15'-0" TOWER	1'-11"	1'-11"
SIDE SETBACK-NORTH (INTERIOR)	5'-4" BASE/10'-0" TOWER	0'-0"	0'-0"
SIDE SETBACK -SOUTH HAYES ST	5'-0" BASE/20'-0" TOWER	3'-6"	3'-6"
HEIGHT FROM FEMA BASE FLOOD +1 FT LOT WIDTH = 41'-6" X 25% = 10'-4"	40'-0"	27'-4"	39'-4" FROM EXIST

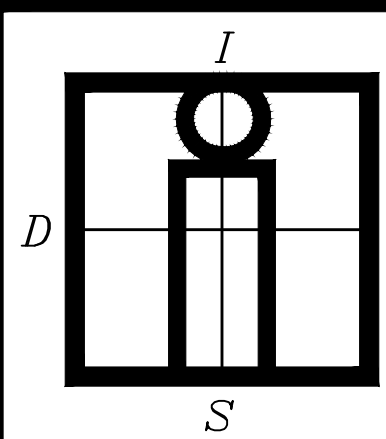
CITY OF HOLLYWOOD PARKING REQUIREMENTS			
SPACE	PARKING CODE REQUIREMENT	CALCULATION PER REQUIRED	TOTAL PARKING REQUIRED
RESTAURANT/RETAIL	0 SPACES/SF	0	0 SPACES

3 VARIANCES REQUESTED. SEE JUSTIFICATION STATEMENT INCLUDED IN SUBMITTAL OF FILE NUMBER 18-CPV-41

3 TABULAR SUMMARY

BASED ON A SURVEY PLAN BY ATLANTIC COAST SURVEYORS:  
LOT 4 BLOCK 4 "HOLLYWOOD BEACH FIRST ADDITION" ACCORDING TO THE PLAT THEREOF AS RECORDING IN PLAT BOOK 1  
PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA

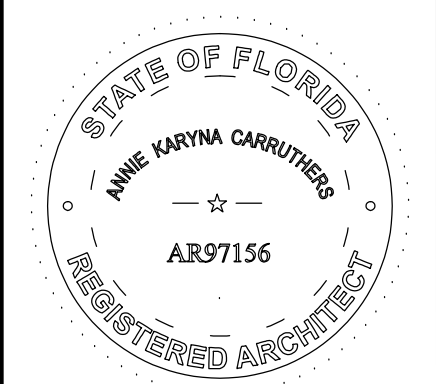
4 LEGAL DESCRIPTION



IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSITEDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



SEAL  
STATE OF FLORIDA LICENSE No AR-97156

THESE DESIGNS AND DRAWINGS ARE THE  
COPYRIGHTED PROPERTY OF IN-SITE DESIGN  
GROUP, LLC, AND MAY NOT BE REPRODUCED  
EXCEPT WITH SPECIFIC WRITTEN CONSENT OF  
THE COMPANY. THE CONTRACTOR MUST CHECK  
AND VERIFY ALL DIMENSIONS OF THE JOB AND  
BE RESPONSIBLE FOR SAME. REPORTING ANY  
DISCREPANCIES TO THE ARCHITECT BEFORE  
COMMENCEMENT OF WORK. DRAWINGS ARE  
NOT TO BE SCALED.

DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
CHIQUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

DISTRIBUTION  
MARCH-19-2018  
PREAP MEETING  
JULY-15-2019  
PRELIMINARY TECHNICAL  
ADVISORY COMMITTEE  
SUBMITTAL  
FILE NUMBER 18-CPV-41  
SEPT-3-2019  
FINAL TECHNICAL  
ADVISORY COMMITTEE  
SUBMITTAL  
FILE NUMBER 18-CPV-41  
JAN-2020  
HISTORIC  
PRESERVATION BOARD  
SUBMITTAL  
April 7, 2020

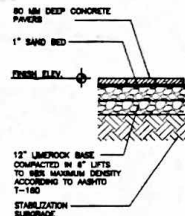
REVISIONS

Date Of Issue  
JAN-16-2020

SITE PLAN  
SP-1.1

1/14/2020 4:05:58 PM

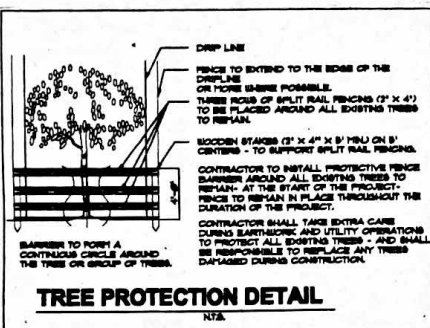




**PAVERS INSTALLATION DETAIL (TYP.)**

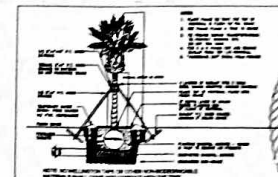
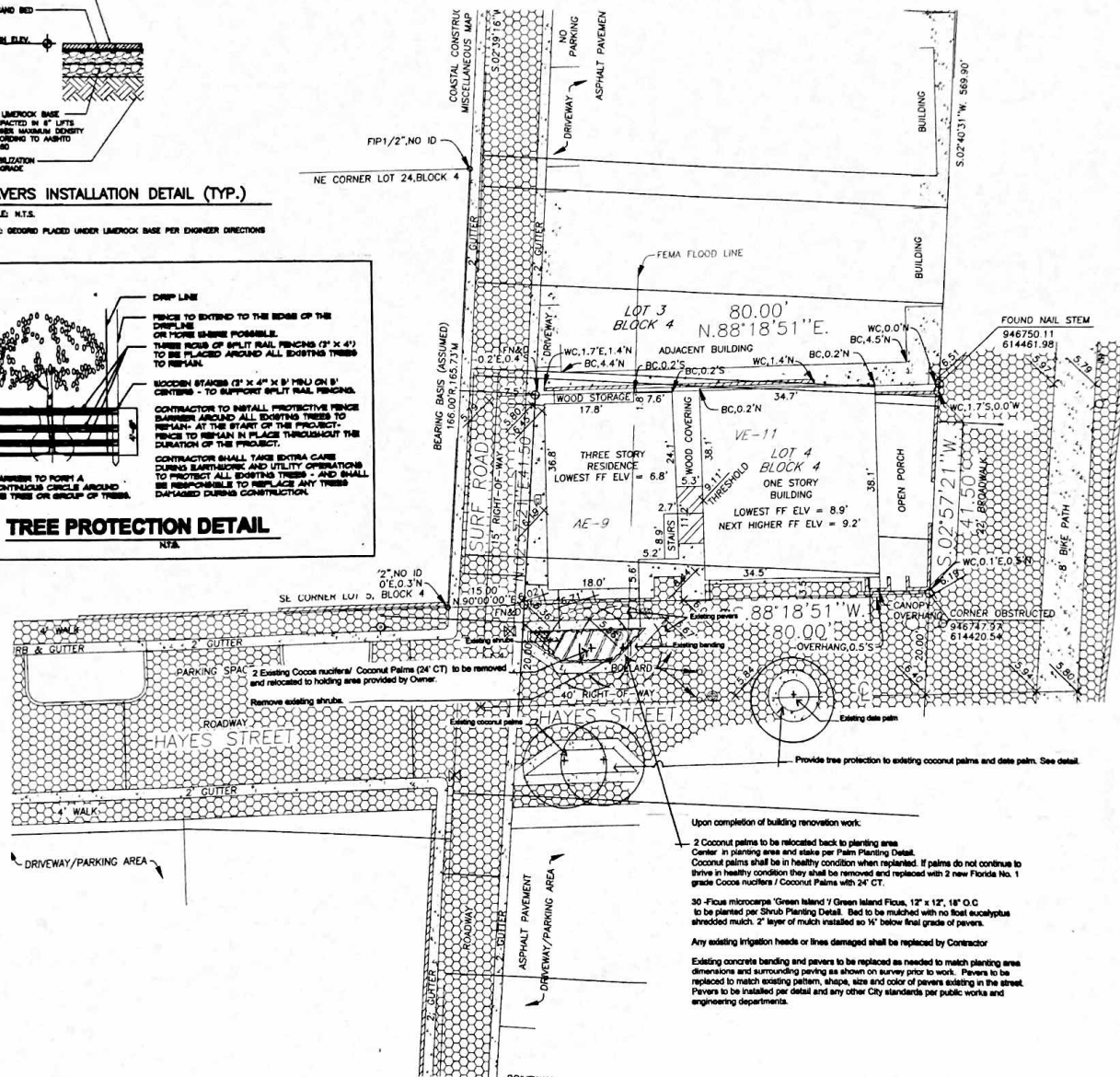
SCALE: N.T.S.

NOTE: GEORG PLACED UNDER UNDERROCK BASE PER ENGINEER DIRECTIONS

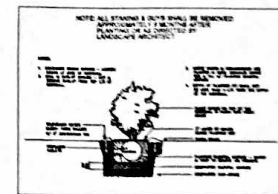


**TREE PROTECTION DETAIL**

N.T.S.



**PALM PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

**Building Renovation Landscape Plan**  
Scale 1"=10'-0"

PREPARED BY  
Kimberly Moyer, RLA  
Landscape Architecture  
(954) 592-3695  
L.E. No. LA0000952



**1500 N BROADWALK  
HOLLYWOOD, FL**

DATE: 3/20/2020  
PROJECT NUMBER: 1500  
DRAWN BY: PM  
CHECKED BY: K.M.  
SCALE: 1/8"=1'-0"  
REVISION: DATE BY

SHEET NUMBER

**L-1**



LEGAL DESCRIPTION

HOLLYWOOD BEACH FIRST ADD 1-31 B LOT 4 BLOCK 4 ACCORDING TO THE PLAT THEREOF AS RECORDING IN PLAT BOOK 1 PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.

GENERAL NOTES:

1. BASE SURVEY WAS PROVIDED BY
2. ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES VERIFIED AND LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTING ANY DISTURBED EXISTING MANHOLES, VENTS, ETC. TO MATCH EXISTING GRADES. ALL REPAIRS SHALL BE TO MATCH EXISTING GRADES. ALL REPAIRS SHALL MATCH ASPHALT GRADES, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.
7. TO AVOID MISUNDERSTANDING AND TO INSURE COMPLIANCE WITH SPECIFICATIONS, BEFORE PURCHASING MATERIALS OR EQUIPMENT FOR HIS WORK, THE CONTRACTOR SHALL FURNISH AT LEAST FOUR COPIES OF SHOP DRAWINGS OR ILLUSTRATION SHEETS FOR APPROVAL BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRONEOUS OR INCONSISTENT DIMENSIONS, NOTATIONS, OMISSIONS OR OTHER ERRORS, OR FOR THE PROPER FUNCTIONING OF THE COMPLETE INSTALLATION.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
9. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
11. CONTRACTOR SHALL COORDINATE THIS PLAN WITH THE PLUMBING AND LANDSCAPE PLANS.
12. ALL ROAD CUTS FOR UTILITIES OR CURB CUTS WITHIN IN THE CITY RIGHT-OF-WAY SHALL BE RESTORED TO FULL LANE WIDTH AS SHOWN ON PLANS.

SPECIFIC NOTES:

1. AT ALL TIMES DURING CONSTRUCTION, ALL STORMWATER MUST REMAIN ONSITE. NO DISCHARGE IS ALLOWED INTO THE PUBLIC RIGHT-OF-WAY
2. DRAINAGE SYSTEM SHALL BE INSTALLED AS DETAILED.
3. CONTRACTOR IS TO ENSURE ROOF FLOW TO THE DRAINAGE STRUCTURE.
4. ALL DAMAGED PAVEMENT, WALKWAYS AND PAVERS SHALL BE RESTORED OR REPLACE TO MATCH THE EXISTING AS MAY BE REQUIRED.

SITE CALCULATIONS:

PROPOSED RENOVATION FOOTPRINT	1,219.73	SQ. FT	36.86%
EXISTING TACO SPOT ONE STORY FOOTPRINT	1,318.86	SQ. FT	39.86%
TACO SPOT EXISTING COVERED TERRACE	447.29	SQ. FT	13.52%
DRIVES & WALKWAYS	323.23	SQ. FT	9.77%
PERVIOUS AREA	0.00	SQ. FT	0.00%
TOTAL LOT AREA	3,309.11	SQ. FT	100.00%

DRAINAGE CALCULATIONS:

SITE SHALL RETAIN 1" RUNOFF OVER ENTIRE SITE OR 2 1/2" OVER IMPERVIOUS AREAS (WHICHEVER IS GREATER). ROOF AREA ONLY OF NEW RESTAURANT ALL OTHER AREA ARE CONSIDERED AS HISTORIC FLOWS.

1,021.49 SQ.FT. X 0.0833 IN = 85.09 CU. FT. (N/A)  
1,021.49 SQ.FT. X 0.2083 IN = 212.78 CU. FT.

EXFILTRATION TRENCH:

VOLUME REQUIRED: 212.78 CU.FT./43,560 AC/FT X 12 IN/FT = 0.059 AC-IN

Computation of Trench Volume

$L = V / (K \cdot D \cdot W + 2 \cdot D \cdot L + 2 \cdot D \cdot W) + (1.39 \times 10^{-4} \cdot W \cdot D)$

L = Length of trench required (feet)

V = Volume to be infiltrated (Ac-In)

W = Trench width (feet)

K = Hydraulic Conductivity (cm/2. ft. head)

D1 = Depth to water table (feet)

D2 = Non-saturated trench depth (feet)

D3 = Saturated trench depth (feet)

V = 0.059 Ac-in

W = 4.00 ft

K = 100 x 10<sup>-4</sup> (assumed)

D1 = 5.00 ft

D2 = 4.00 ft

D3 = 0.00 ft

$L = 0.059 / (1.00 \times 10^{-4} (5.00/4.00) + 2.5.00/4.00) (4.00/4.00) + 2.5.00(0.00)$   
 $+ 1.39 \times 10^{-4} (4.00)(4.00) =$

$L = 8.91 LF; 9.00 LF USED (216.78 CU.FT.)$

TOTAL VOLUME PROVIDED: = 216.62 CU. FT. > 212.68 CU. FT. (REQUIRED)


G&E PROJECT NO.: 18038  
DATE: 06-12-2018  
SCALE: AS SHOWN  
DESIGNED BY: R.B.L.  
CHECKED BY: R.B.L.  
APPROVED BY: R.B.L.  
SHEET TITLE

PAVING,  
GRADING &  
DRAINAGE PLAN  
C1 OF 5

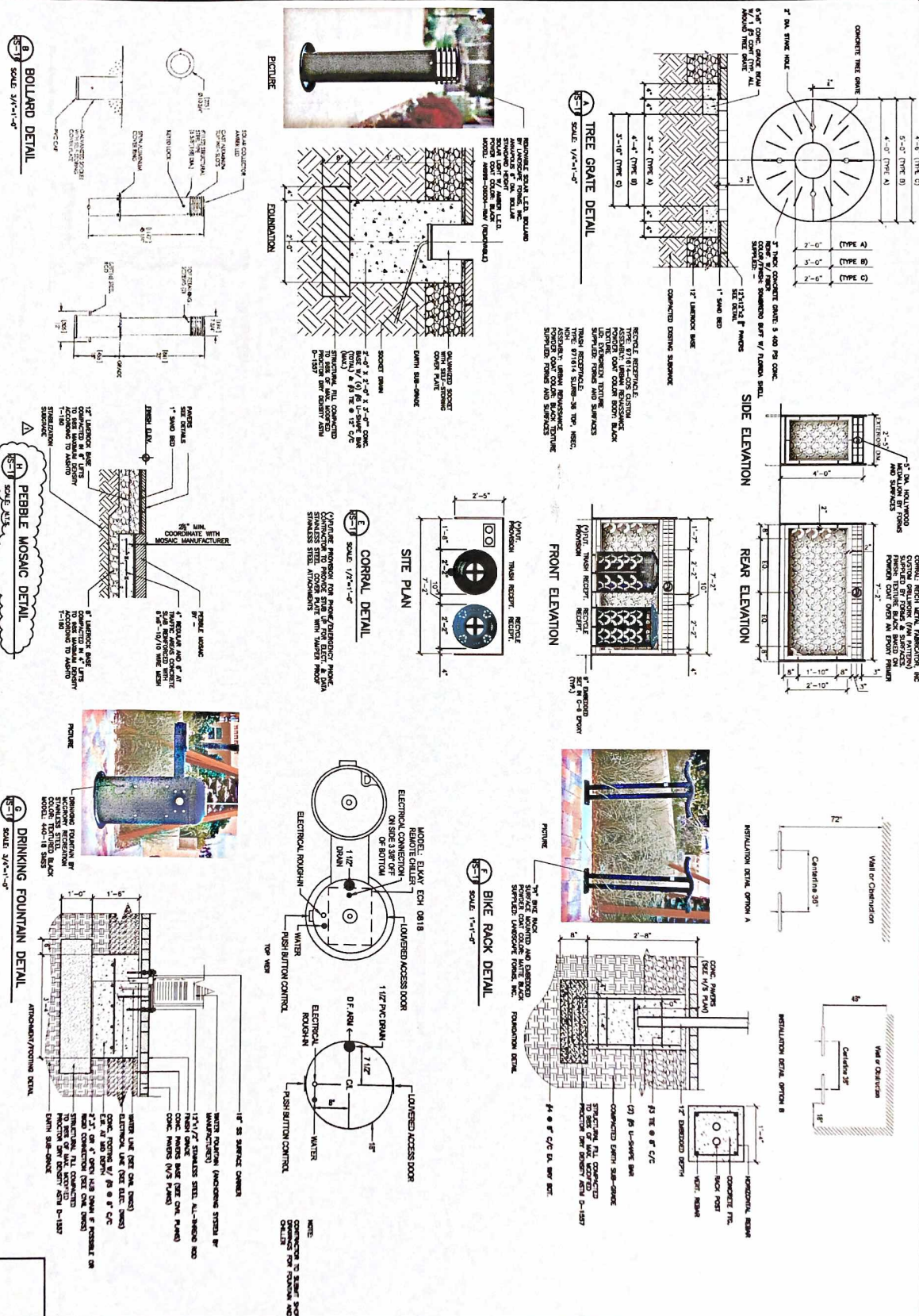
REVISIONS		
No.	DATE	DESCRIPTION

1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC

SEAL  
  
DATE:  
REGINA BOBO-JACKSON, P.E.  
FL. P.E. NO.: 38550

  
GATOR ENGINEERING  
ASSOCIATES, INC.  
11390 TEMPLE STREET  
COOPER CITY, FL 33330  
TEL: (954) 434-5905 FAX: (954) 434-5904  
CERTIFICATE OF AUTHORIZATION NUMBER 30230





1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC



1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC

1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC



1. TYP. SECTION - BREAKAWAY DETAIL

SCALE: 1/2"=1'-0"

2. TYP. SECTION - COLUMN AT TRELLIS

SCALE: 1/2"=1'-0"

3. TYP. SECTION - DECOARTIVE WALL

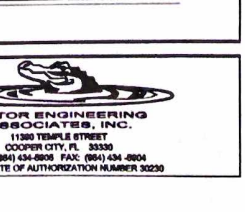
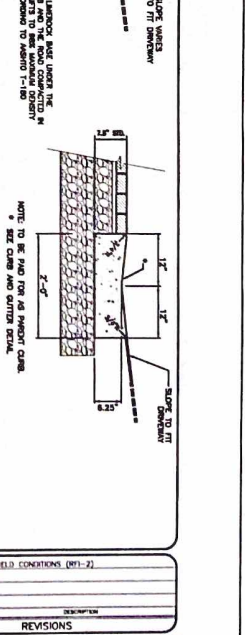
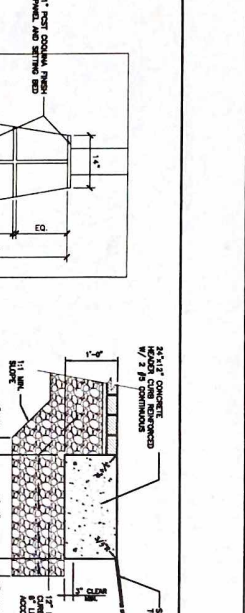
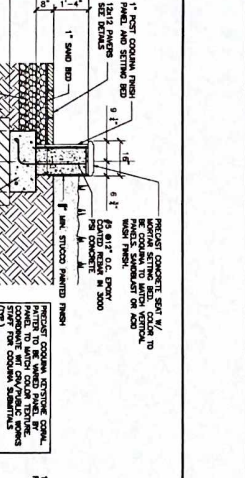
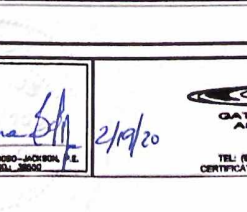
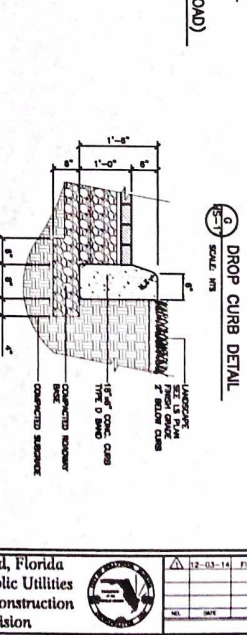
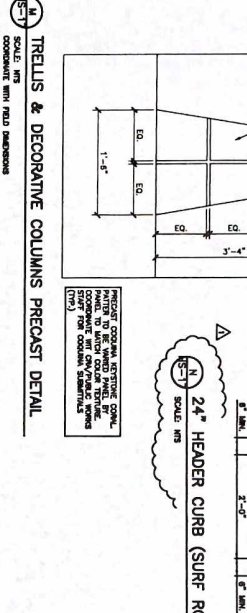
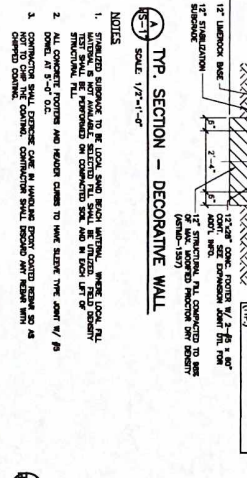
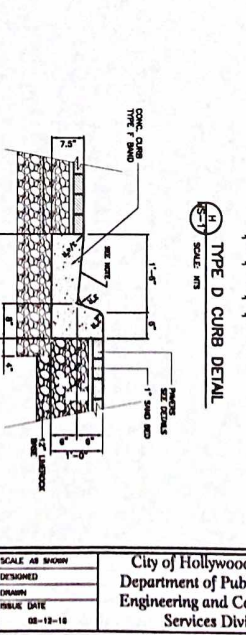
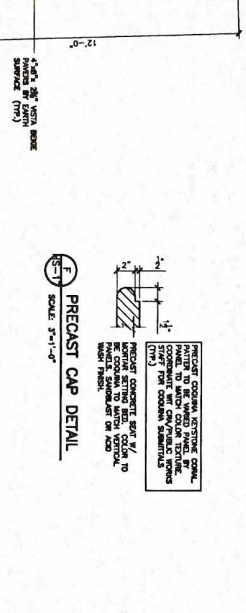
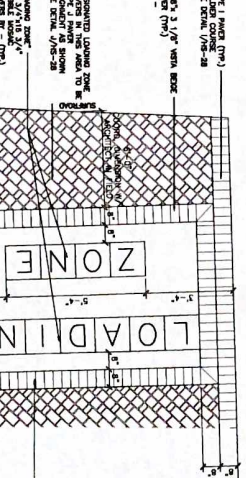
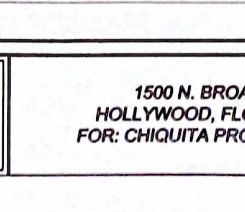
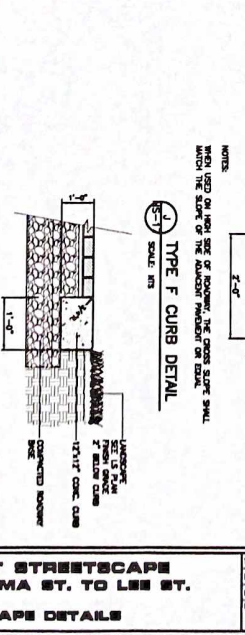
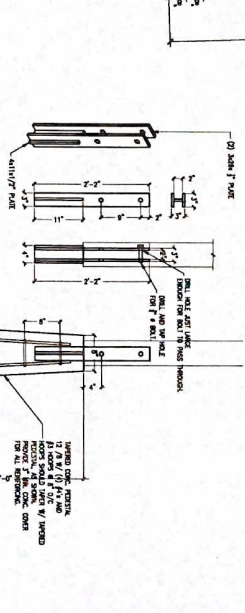
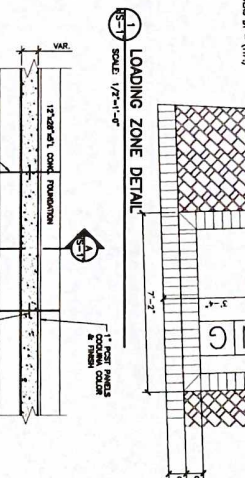
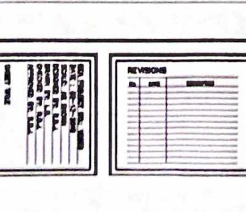
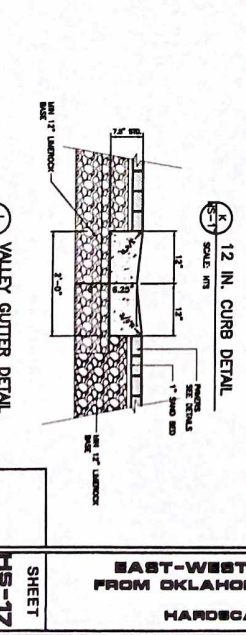
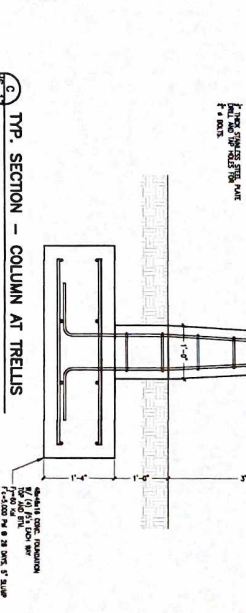
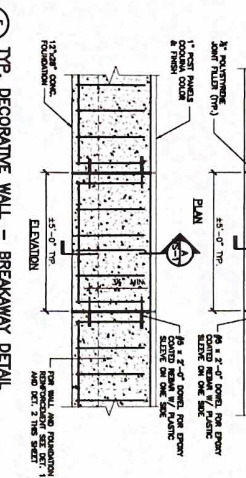
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4. TYP. SECTION - DECOARTIVE WALL

SCALE: 1/2"=1'-0"

5. TYP. SECTION - DECOARTIVE WALL

SCALE: 1/2"=1'-0"



BCRA 10-008

SHEET HS-17

DETAILS

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1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC

City of Hollywood, Florida  
Department of Public Utilities  
Engineering and Construction  
Services Division

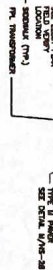
2/10/20

GATOR ENGINEERING  
ASSOCIATES, INC.  
11500 TEMPLE STREET  
COOPER CITY, FL 33030  
TEL: (850) 434-8808 FAX: (850) 434-8804  
CERTIFICATE OF AUTHORIZATION NUMBER 30230





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SCALE: 1/8"=1'-0"



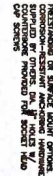
DETAIL  
SCALE: 1/2"=1'-0"



3  
5-1 CROSS WALK PAVING ALIGNMENT DETAIL  
SCALE: 1/4"=1'-0"



5  
15-1 CROSS WALK PAVING ALIGNMENT DETAIL  
SCALE: 1/4"=1'-0"


$$\frac{216}{1000}$$


SCALE: 3/4"=1'-0"



⑥  
SIREIEND  
SCALE: 1/8"=1'-0"



**NOTE:**

USED FOR COASTAL, AIR, AND ELECTRICAL  
PEWEE COLOR COVER WITH COOL LOOK  
PROVIDE SHOP DURING FOR CIVIL/PLUMB WORKS START APPROX.  
ALL UTILITIES IN-ROADS IN ROAD UNDER PUBLIC PLACING SPACES (MAYBE  
ACTIVITY).

## FIBERMESH 200

PRODUCT CAN SHIELD

**RESEARCH AND DEVELOPMENT**

As a result of extensive research and development, Fibermesh 200 has been developed to provide a high performance, low cost, and easy to install product. It is designed to provide a high level of protection against fire and heat, and is suitable for use in a wide range of applications.

**FEATURES**

- High performance, low cost, and easy to install product
- Designed to provide a high level of protection against fire and heat
- Suitable for use in a wide range of applications

**APPLICATIONS**


- Fire protection
- Heat protection
- Protection against fire and heat

**INSTALLATION**

The product should be installed in accordance with the instructions provided. It is important to ensure that the product is installed correctly to ensure maximum protection.

**MAINTENANCE**

The product should be maintained in accordance with the instructions provided. It is important to ensure that the product is kept in good condition to ensure maximum protection.



## PREPEX

PRODUCT CAN SHIELD

**RESEARCH AND DEVELOPMENT**

As a result of extensive research and development, Prepex has been developed to provide a high performance, low cost, and easy to install product. It is designed to provide a high level of protection against fire and heat, and is suitable for use in a wide range of applications.

**FEATURES**

- High performance, low cost, and easy to install product
- Designed to provide a high level of protection against fire and heat
- Suitable for use in a wide range of applications

**APPLICATIONS**


- Fire protection
- Heat protection
- Protection against fire and heat

**INSTALLATION**

The product should be installed in accordance with the instructions provided. It is important to ensure that the product is installed correctly to ensure maximum protection.

**MAINTENANCE**

The product should be maintained in accordance with the instructions provided. It is important to ensure that the product is kept in good condition to ensure maximum protection.




**EAST-WEST STREETSCAPE  
FROM OKLAHOMA ST. TO LEE ST.  
HARDSCAPE DETAILS**

SCALE AS SHOWN
DESIGNED
DRAWN
ISSUE DATE
08-19-10

City of Hollywood, Florida  
Department of Public Utilities  
Engineering and Construction  
Services Division



	10/20/10	CHANGES PER CITY
	11/28/14	FIELD CONDITIONS (RPT-1)
NO.	DATE	DESCRIPTION
REVISIONS		

SLA	OF
BCRA 10-008	

**SHEET**  
**HIS-18**

**DETAILS**

**C8 - 9**

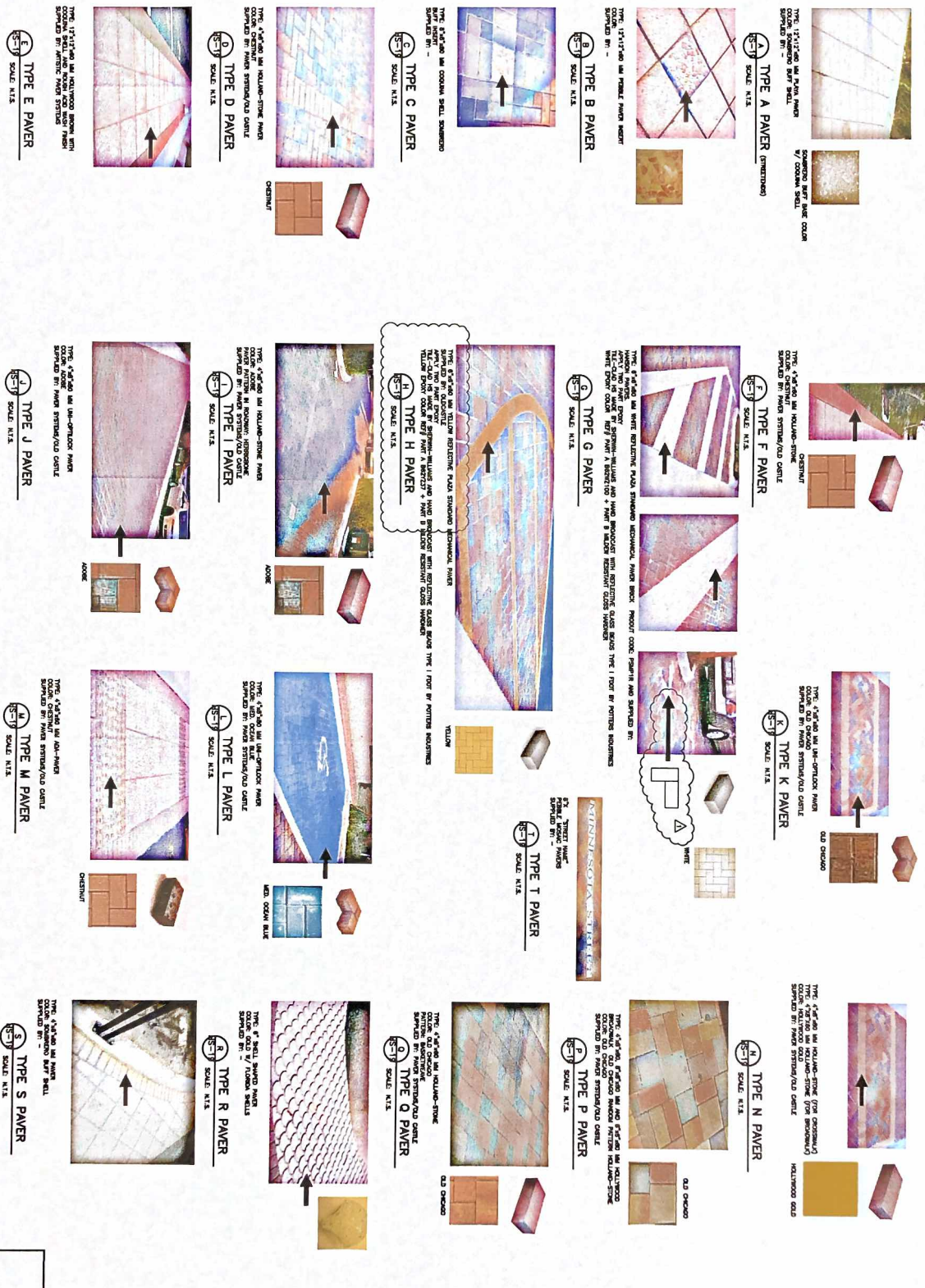
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 PAGE NO \_\_\_\_\_  
 PAGE NO \_\_\_\_\_

**1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC**

SEAL  
Regina Bly  
DAVE  
REGINA BOBO-JACKSON P.E.  
FL. P.E. NO. 38000







BCRA 10-008

SHEET  
H-18-18

**EAST-WEST STREETSCAPE  
FROM OKLAHOMA ST. TO LEE ST.  
HARDSCAPE DETAILS**

SCALE 1" = 20'  
DESIGNED  
DATE 08-18-18

City of Hollywood, Florida  
Department of Public Utilities  
Engineering and Construction  
Services Division



NO.	DATE	REVISION
1	11/28/14	FIELD CONDITIONS (RPT-1)

C9 of 9

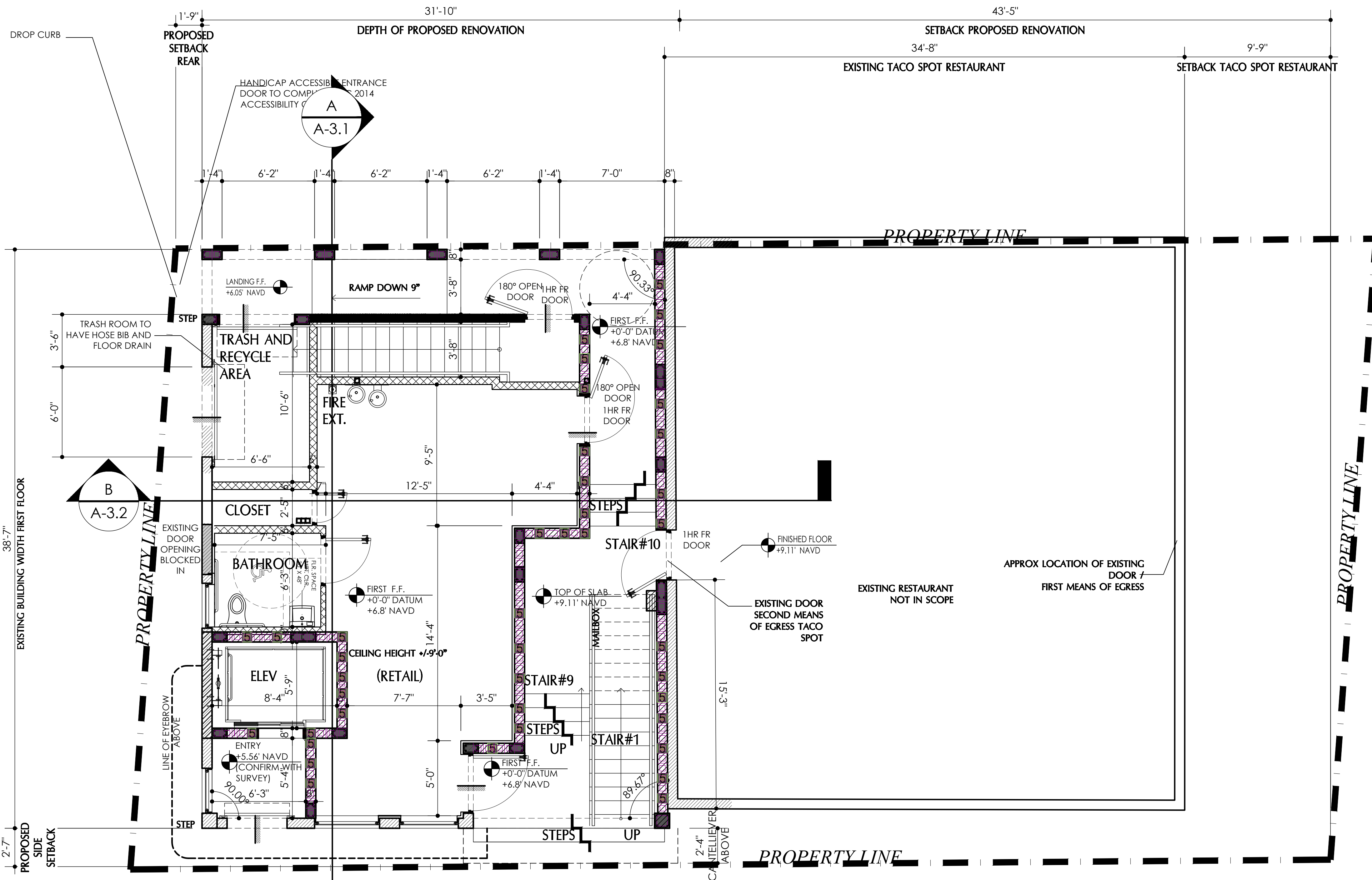
DETAILS

NO.	DATE	REVISION

1500 N. BROADWALK  
HOLLYWOOD, FLORIDA 33019  
FOR: CHIQUITA PROPERTIES, LLC

1/19/20  
GATOR ENGINEERING ASSOCIATES, INC.  
11380 TEMPLE STREET  
COOPER CITY, FL 33030  
TEL: (904) 434-4800 FAX: (904) 434-4804  
CERTIFICATE OF AUTHORIZATION NUMBER 30250





1. VANILLA SHELL. CABINETY AND OTHER BUILD OUT ITEMS UNDER SEPARATE PERMIT/AGREEMENT
  2. STORAGE SHELVING AND DISPLAY UNITS SHALL COMPLY W/F.B.C. SECT 11-4.1.3(12) TYP. SEE DTL 4/ A-7.2
  3. HANDICAP ACCESSIBLE BATHROOM TO COMPLY WITH ADA REQUIREMENTS. SEE DTL SHT A-7.1.
  4. EQUIPMENT TO BE SELECTED/PROVIDED BY OWNER NOT IN SCOPE
  5. 42" HIGH GUARDRAIL TO COMPLY W/FBC SEE DETAILS SHT
  6. BEAM ABOVE. SEE STRUCT. DWGS
  7. SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
  8. HANDICAP ACCESSIBLE DOOR. THRESHOLD TO BE MAX 1/2" RISE SEE DTL 9 SHT A-6.1.
  9. HI-LOW HANDICAP ACCESSIBLE WATER FOUNTAIN TO COMPLY W/FBC ACCESSIBILITY SEE DTL 9 SHT A-7.1
  10. TRASH ROOM SHALL BE FOR TRASH AND RECYCLE BIN
- HANDICAP NOTES:  
ALL ENTRY SLABS SHALL BE SET FLUSH W/TOP OF PAVING.
- MAX PAVING SLOPE FOR WHEELCHAIR AISLE ACCESS TO BUILDING IS 2%

1/2" MAX VERTICAL HEIGHT DIFFERENTIAL AT ANY DOOR TYP.  
GENERAL NOTES:  
ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION PLUS ONE FOOT (+10'-0" NAVD) SHALL BE CONSTRUCTED WITH FLOOD DAMAGE RESISTANT MATERIAL AS PER FEMA TECH BULLETIN 2/2008.  
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## 2 FLOOR PLAN KEY NOTES

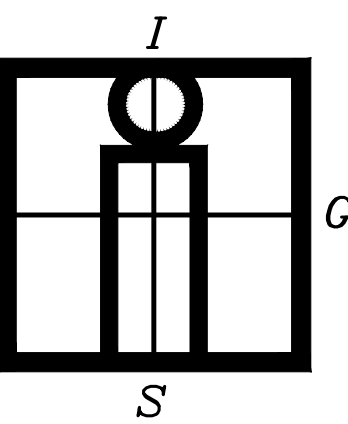
### WALL LEGEND

- NEW EXTERIOR BLOCK WALL SEE WALL TYPES SHT A-5.2 STRUCT DWGS AND NEW FLOOR PLANS. PATCH AND REPAIR WALL AS REQUIRED
- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITIONS SEE WALL TYPES SHT A-5.2.
- EXISTING OPENING TO REMAIN AND REPLACE WITH NEW WINDOW/DOOR

## 3 WALL LEGEND

1500 BROADWALK SQFT CALCULATION			
1ST FLOOR (RETAIL)			SQFT
RETAIL SPACE			504.88
BATHROOM			58.77
STAIR			83.42
TRASH AREA			32.76
ELEVATOR			60.52
ELEVATOR LOBBY			43.80
BREEZEWAY			410.07
1ST FLOOR (RETAIL) TOTAL			1194.22
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ROOF DECK INCL. CANT BALCONY			1170.06
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ROOF LEVEL TOTAL			1513.60
PROPOSED BUILDING TOTAL			6671.81
SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION			

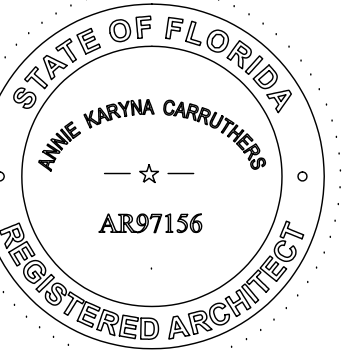
## 4 AREA CALCULATIONS



## IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSDSIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



SEAL  
STATE OF FLORIDA LICENSE No AR-87156

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OWNER:  
CHIKUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

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PREAP MEETING  
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FILE NUMBER 18-CPV-41  
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HISTORIC PRESERVATION BOARD  
April -7-2020

REVISIONS

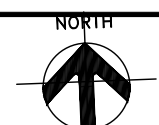
Date Of Issue  
JAN-18-2020

## FLOOR PLAN

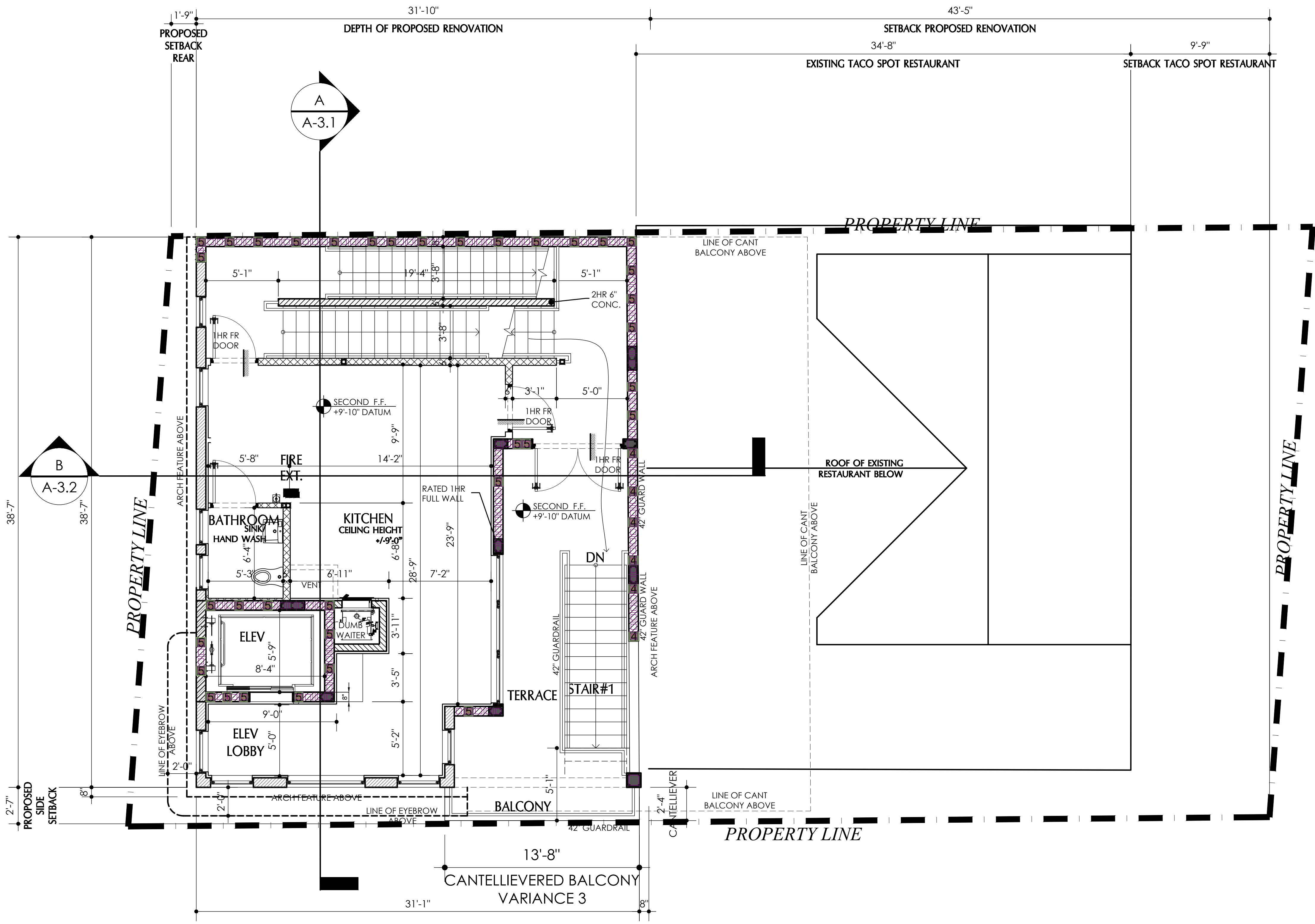
# A-1.1

## 1 FIRST/GROUND FLOOR PLAN

SCALE = 1/4" = 1'-0"







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2

FLOOR PLAN KEY NOTES

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4

AREA CALCULATIONS

I

D

G

S

IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
IN-SITEDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT

STATE OF FLORIDA

ANNIE KARYNA CARRUTHERS

ARS97156

REGISTERED ARCHITECT

SEAL

STATE OF FLORIDA LICENSE No AR-87156

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REVISIONS

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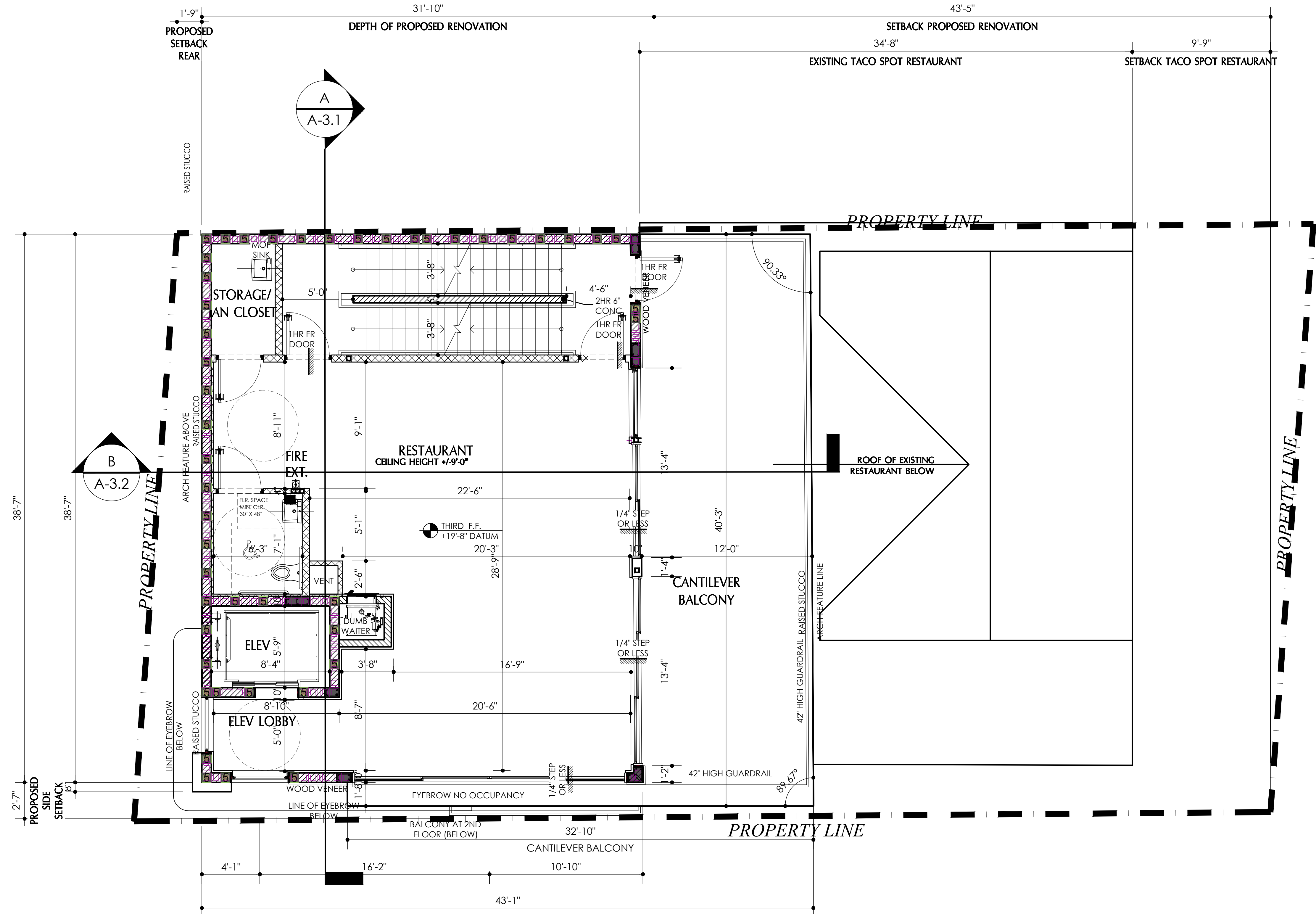
FLOOR PLAN  
A-1.2

2/18/2020 7:54:45 AM

1

SECOND FLOOR PLAN  
SCALE = 1/4" = 1'-0"





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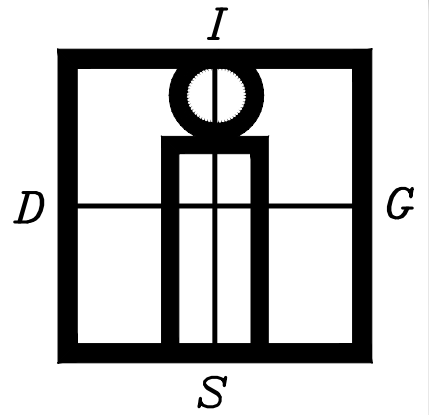
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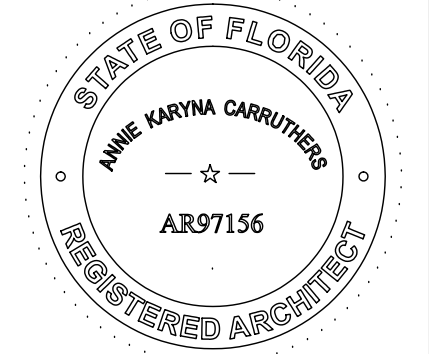
4 AREA CALCULATIONS



IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSTEDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
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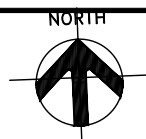
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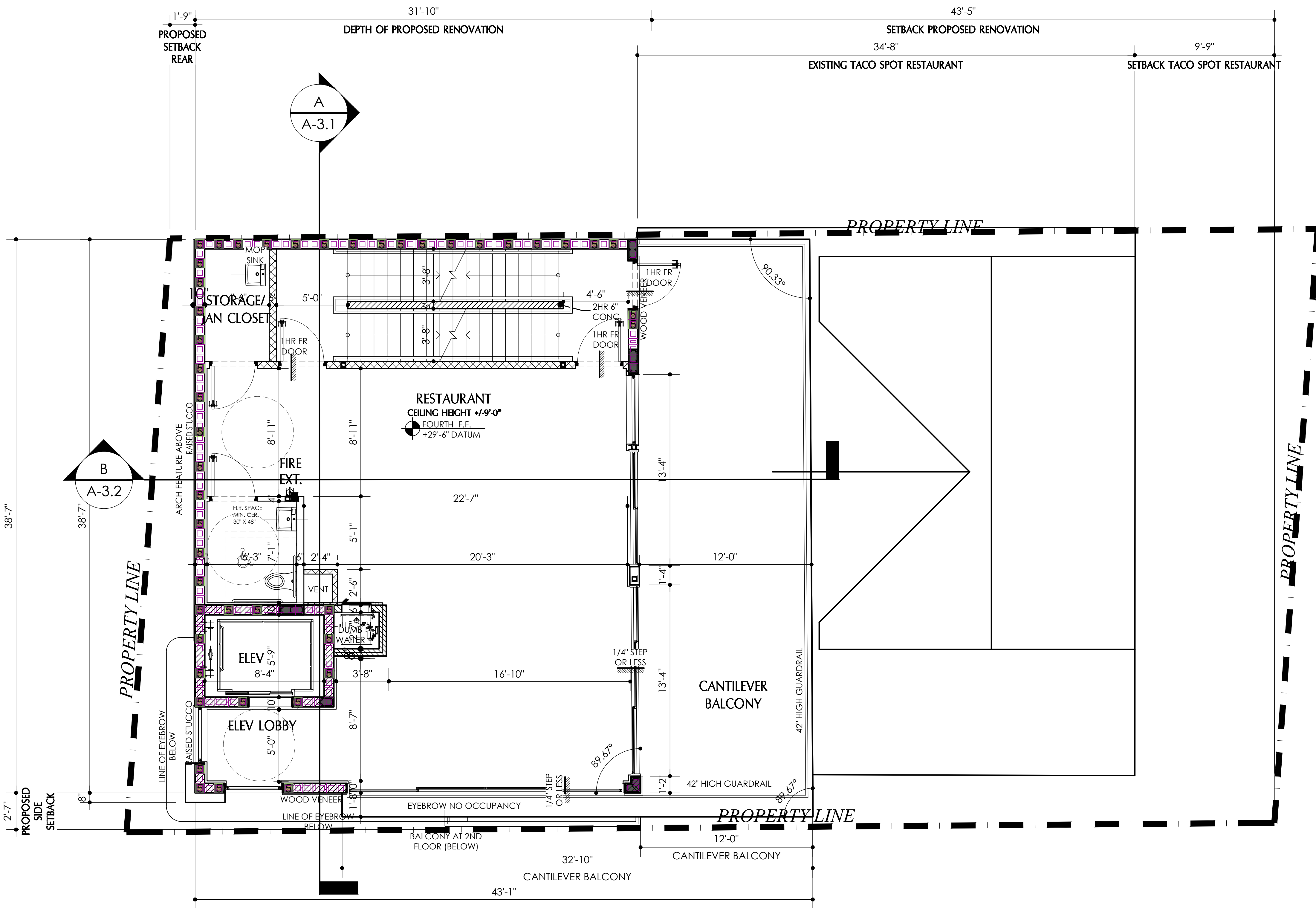
FLOOR PLAN

A-1.3

1 THIRD FLOOR PLAN  
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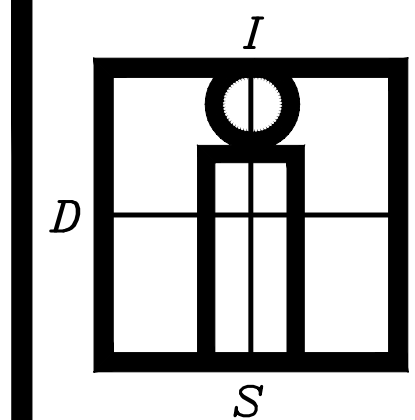
## 2 FLOOR PLAN KEY NOTES

### WALL LEGEND

- NEW EXTERIOR BLOCK WALL SEE WALL TYPES SHT A-5.2 STRUCT DWGS AND NEW FLOOR PLANS. PATCH AND REPAIR WALL AS REQUIRED
- EXISTING CBS WALLS TO REMAIN
- NEW INTERIOR PARTITIONS SEE WALL TYPES SHT A-5.2.
- EXISTING OPENING TO REMAIN AND REPLACE WITH NEW WINDOW/DOOR

## 3 WALL LEGEND

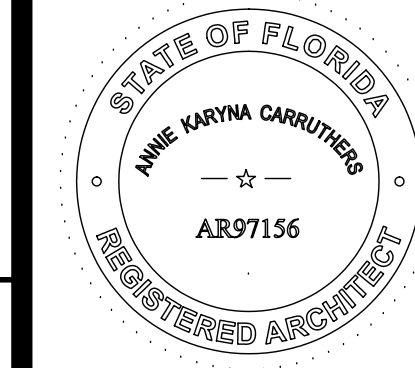
1500 BROADWALK SQFT CALCULATION			
1ST FLOOR (RETAIL)			SQFT
RETAIL SPACE			504.88
BATHROOM			58.77
STAIR			83.42
TRASH AREA			32.76
ELEVATOR			60.52
ELEVATOR LOBBY			43.80
BREEZEWAY			410.07
1ST FLOOR (RETAIL) TOTAL			1194.22
2ND FLOOR (KITCHEN)			SQFT
KITCHEN			437.39
STAIR LANDINGS AND 1 FLIGHT			238.98
BATHROOM			43.91
ELEVATOR LOBBY			62.28
DUMBWAITER			12.37
TERRACE			199.12
BALCONY			31.82
2ND FLOOR (KITCHEN) TOTAL			1025.86
3RD FLOOR (RESTAURANT)			SQFT
RESTAURANT			717.58
STAIR LANDINGS			94.26
STORAGE/MECH			47.40
BATHROOM			57.51
ELEVATOR LOBBY			57.35
CANTILEVER BALCONY			517.73
3RD FLOOR (RESTAURANT) TOTAL			1491.82
4TH FLOOR (RESTAURANT)			SQFT
RESTAURANT			722.74
STAIR LANDINGS			94.26
STORAGE/MECH			47.40
BATHROOM			59.39
ELEVATOR LOBBY			57.36
CANTILEVER BALCONY			465.15
4TH FLOOR (RESTAURANT) TOTAL			1446.30
ROOF LEVEL			SQFT
ROOF DECK INCL. CANT BALCONY			1170.06
STAIR LANDINGS			95.16
STORAGE/MECH			190.38
ELEVATOR LOBBY			58.00
ROOF LEVEL TOTAL			1513.60
PROPOSED BUILDING TOTAL			6671.81
SEE LIFE SAFETY PLAN FOR OCCUPANCY CALCULATION			



## IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET  
HOLLYWOOD, FL 33020  
INSTEDESIGNGROUP.COM  
AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT



SEAL  
STATE OF FLORIDA LICENSE No AR-87156

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DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
CHIKITA PROPERTIES LLC  
ADDRESS:  
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HOLLYWOOD, FL 33019

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REVISIONS

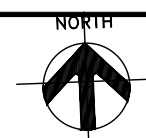
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## FLOOR PLAN

# A-1.4

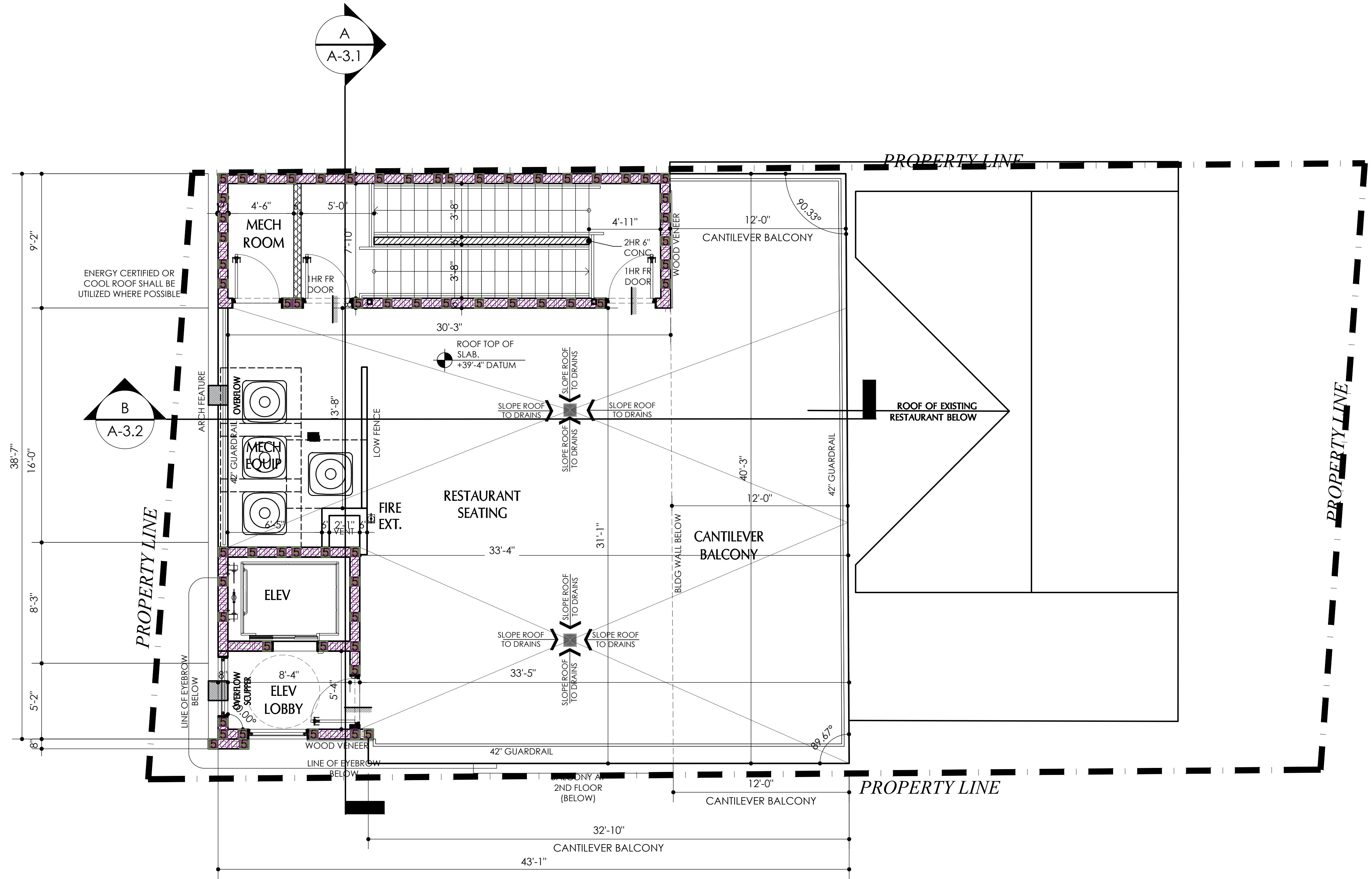
## 1 FOURTH FLOOR PLAN/MEZZANINE

SCALE = 1/4" = 1'-0"



## 4 AREA CALCULATIONS





- 1. VANILLA SHELL. CABINETY AND OTHER BUILD OUT ITEMS UNDER SEPARATE PERMIT/AGREEMENT
  - 2. STORAGE SHELVING AND DISPLAY UNITS SHALL COMPLY W/F.B.C. SECT 11-4.1.3(12) TYP. SEE DTL 4/ A-7.2
  - 3. HANDICAP ACCESSIBLE BATHROOM TO COMPLY WITH ADA REQUIREMENTS. SEE DTL SHT A-7.1.
  - 4. EQUIPMENT TO BE SELECTED/PROVIDED BY OWNER NOT IN SCOPE
  - 5. 42" HIGH GUARDRAIL TO COMPLY W/FBC SEE DETAILS SHT
  - 6. BEAM ABOVE. SEE STRUCT. DWGS
  - 7. SEE LIFE SAFETY PLAN FOR ADDITIONAL NOTES AND FIRE RATINGS
  - 8. HANDICAP ACCESSIBLE DOOR. THRESHOLD TO BE MAX 1/2" RISE SEE DTL 9 SHT A-6.1.
  - 9. HI-LOW HANDICAP ACCESSIBLE WATER FOUNTAIN TO COMPLY W/FBC ACCESSIBILITY SEE DTL 9 SHT A-7.1
  - 10. TRASH ROOM SHALL BE FOR TRASH AND RECYCLE BIN
- HANDICAP NOTES:  
ALL ENTRY SLABS SHALL BE SET FLUSH W/TOP OF PAVING.
- MAX PAVING SLOPE FOR WHEELCHAIR AISLE ACCESS TO BUILDING IS 2%

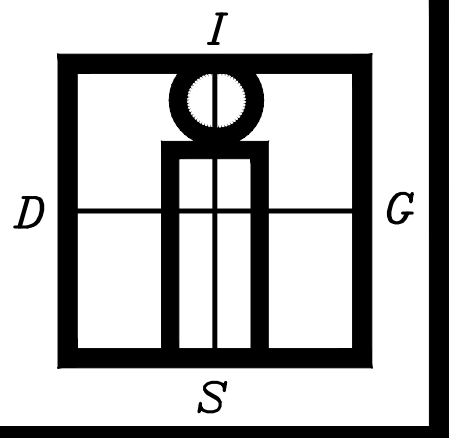
1/2" MAX VERTICAL HEIGHT DIFFERENTIAL AT ANY DOOR TYP.  
GENERAL NOTES:  
ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION PLUS ONE FOOT (+10'-0" NAVD) SHALL BE CONSTRUCTED WITH FLOOD DAMAGE RESISTANT MATERIAL AS PER FEMA TECH BULLETIN 2/2008.  
FLOOD PLAIN MANAGEMENT SECTION REQUIRES: ALL CONSTRUCTION AND FINISH MATERIAL BELOW BASE FLOOD ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-05 CH. 5.0). - ALL UTILITIES AND EQUIPMENTS AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE BFE. +10'-0" NAVD 88  
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- ### 2 FLOOR PLAN KEY NOTES
- #### WALL LEGEND
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  - EXISTING CBS WALLS TO REMAIN
  - NEW INTERIOR PARTITIONS SEE WALL TYPES SHT A-5.2.
  - EXISTING OPENING TO REMAIN AND REPLACE WITH NEW WINDOW/DOOR

### 3 WALL LEGEND

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954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT

STATE OF FLORIDA  
ANNIE KARYNA CARRUTHERS  
REGISTERED ARCHITECT  
AR97156  
SEAL  
STATE OF FLORIDA LICENSE No AR-87156

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April-7-2020

REVISIONS

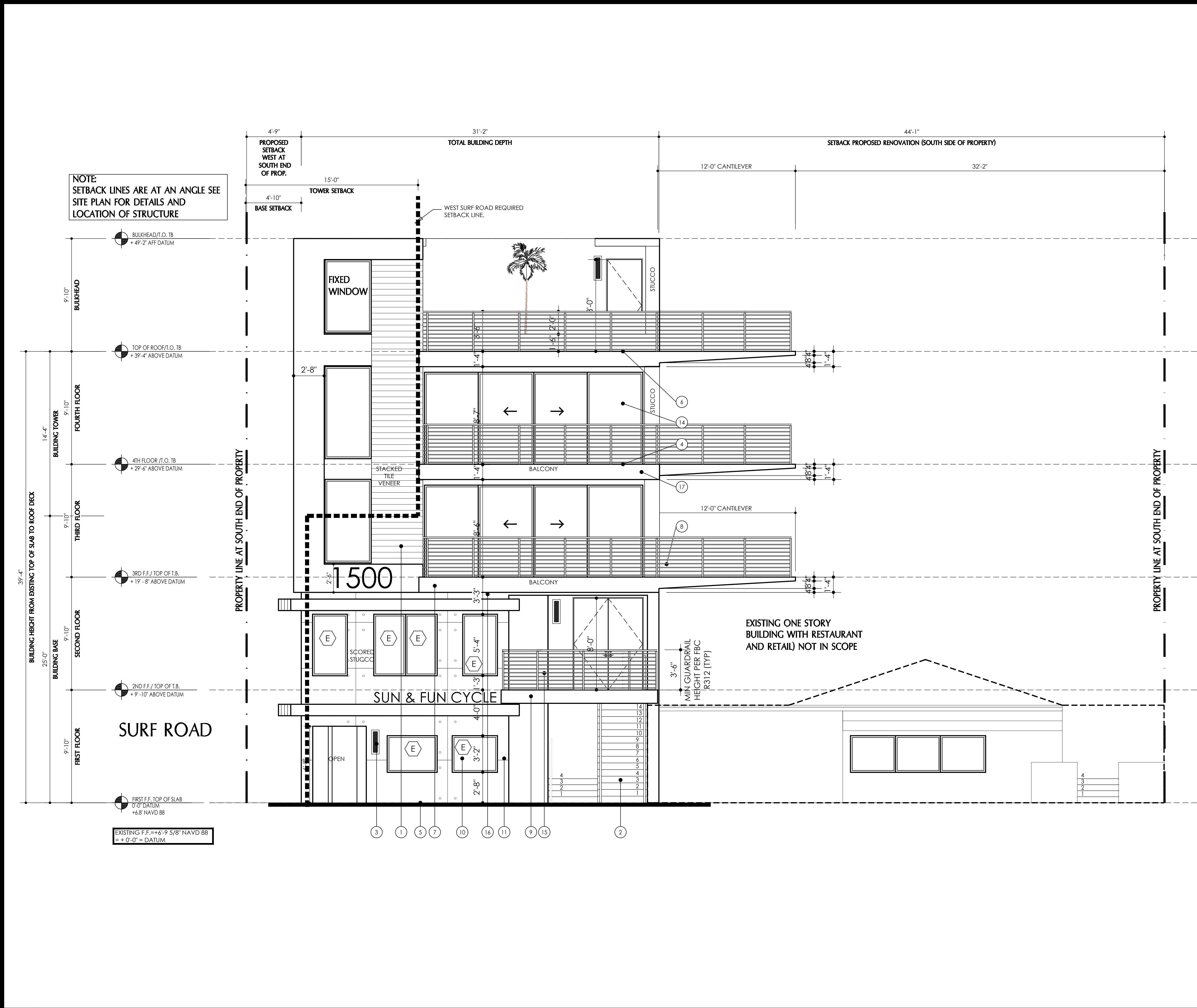
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JAN-18-2020

FLOOR PLAN  
**A-1.5**

**1 ROOF FLOOR PLAN**  
SCALE = 1/4" = 1'-0"

**4 AREA CALCULATIONS**





2

ELEVATION KEY NOTES

3

EXTERIOR COLORS/VENEERS

KEY NOTES:

1. COLUMN OR WALL W/PORCELAIN TILE TO SIMULATE WOOD. VENEER TO RUN HORIZONTALLY AS NOTED. VENEER WILL BE PLACED WHERE NOTED ON ELEVATIONS.
2. NEW STEPS PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC
3. NEW EXTERIOR GRADE LIGHT FIXTURE ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. LED BULBS AND LOW VOLTAGE ONLY. SEE ELECT DWGS FOR DTLS ELEVATION NOT TO EXCEED 8'-0" IN HEIGHT.
4. LINE OF T.B. SEE STRUCT DWGS
5. LINE OF CONCRETE SLAB
6. MIAMI DADE COUNTY APPROVED FLAT ROOF - SEE DETAILS ON SHT A-9.1.
7. SMOOTH STUCCO ON CONC BLOCK. STUCCO SHALL BE  $\frac{5}{8}$ " AND SHALL BE INSTALLED AS PER ASTM C326 EXCLUDING TABLE 4.  $\frac{1}{2}$ " HORIZONTAL SCORE IN STUCCO AT 8" O.C.
8. ARCHITECTURAL FEATURE NOT TO EXCEED LINE OF PROPERTY LINE.
9. CANTILEVER BALCONY
10. NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS WITH BRONZE FRAME AND CLEAR GLASS WITH LOW E AS PER SCHEDULE ON SHEET A-7.1. AS NOTED TYP. ENERGY EFFICIENT (LOW E) WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
11. WALL TO BE SCORED AND SNAP TIES TO BE ADDED TO SIMULATE CAST IN PLACE CONCRETE PANELS.
12. NOT USED - DECORATIVE PLANTER. SEE SITE PLAN DRAWINGS FOR EXACT LOCATION AND DETAILS
13. CONTRACTOR TO PROVIDE OVERFLOW SCUPPERS AND ROOF DRAINS AS NOTED ON ROOF PLAN
14. ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS. WINDOW SIZES TO BE ADJUSTED TO ALIGN VERTICALLY WITH SLIDERS.
15. 42" HIGH ALUMINUM GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECTS REVIEW PRIOR TO FABRICATION). PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC. SEE DETAILS SHEET A-4.2
16. SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/F.B.C. ON FRONT WALL. NUMBERS SHALL BE VISIBLE FROM THE STREET
17. BREAK METAL TO MATCH WINDOW FRAME.
18. STUCCO WATER TABLE WITH A 4" HIGH x 2" DEEP STUCCO BAND AT TOP OF WATER TABLE
19. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A 42" HIGH GREEN FENCE MADE WITH BOX WOOD.
20. NOT USED - STEEL SUPPORT COLUMN. (SEE STRUCTURAL FOR DETAILS)

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AA26001758  
954 921 5333

ANNIE K. CARRUTHERS  
ARCHITECT

STATE OF FLORIDA  
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AR97156

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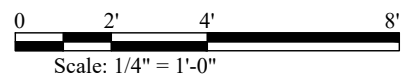
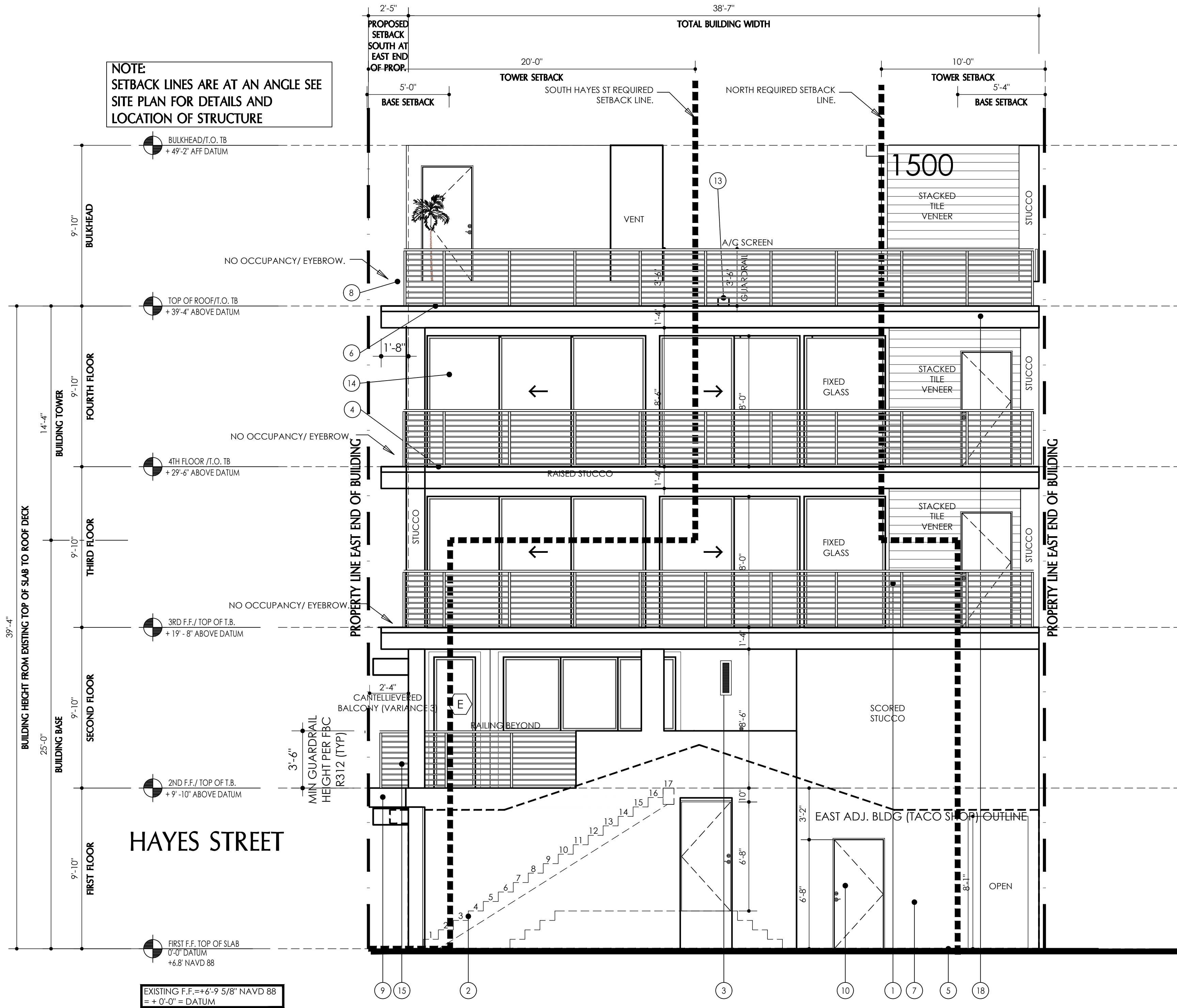
REVISIONS

LOCATION/ TYPE	EXTERIOR WALLS BASE	ARCH FEATURE/ UPPER FL	EYEBROW	WINDOWS & DOORS	TILE VENEER	LIGHTING
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN	EXTERIOR SCONCES
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CAESAR LIFE	BRONZE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS	NOCE NATURALE V2	ZANIBONI LIGHTING W2 KASHU07
LABEL	SW7642	SW7036	PPUS-1	CLEAR GLASS COLOR	TROPICAL TILE & MARBLE	AMX A 4 C WS E 0000W 7 WATT AMER LED LAMP

Date Of Issue  
JAN-18-2020

ELEVATIONS  
A-2.1



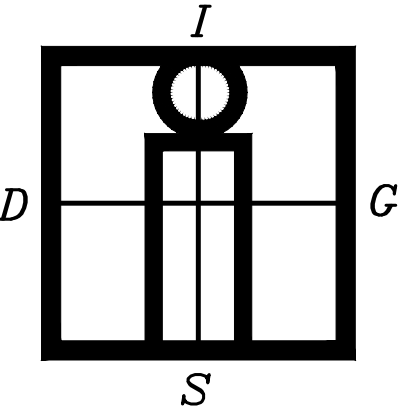


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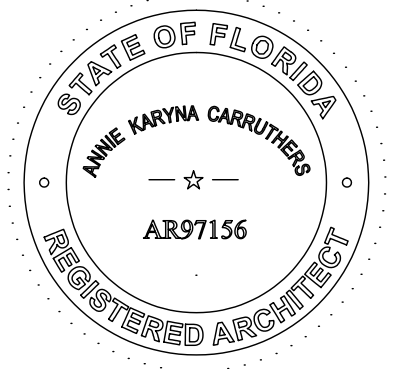
LOCATION/ TYPE	EXTERIOR COLORS AND VENEERS				
	EXTERIOR WALLS BASE	ARCH FEATURE/ UPPER FL.	EYEBROW	WINDOWS & DOORS	TILE VENEER
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CÆSAR JULIE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS CLEAR GLASS COLOR	NOCE NATURALE V2
LABEL	SW7642	SW7036	PPUS-1		ZANIBONI LIGHTING W2 KA3WL07 AIA 4 C WS E 0000W 7 WATT AMER LED LAMP



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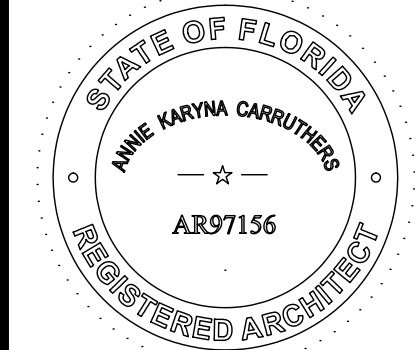
ELEVATIONS  
A-2.3





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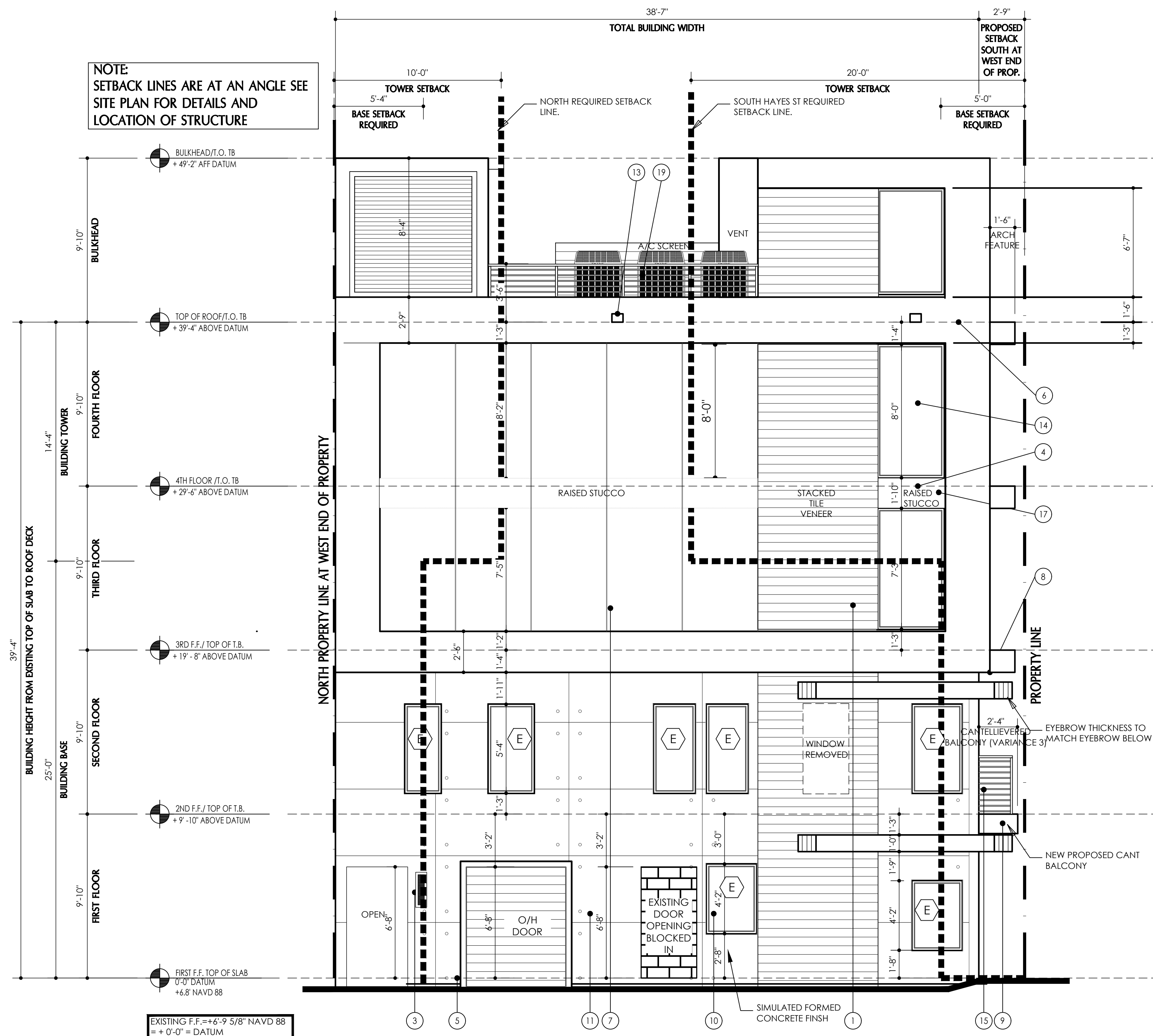
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# ELEVATIONS

## A-2.2



1. COLUMN OR WALL W/PORCELAIN TILE TO SIMULATE VENEER. VENEER TO RUN HORIZONTALLY AS NOTED. VENEER WILL BE PLACED WHERE NOTED ON ELEVATIONS.
2. NEW STUCCO OVER EXISTING CONCRETE TO COMPLY W/FBC.
3. NEW EXTERIOR GRADE: LIGHT TEXTURED ENERGY-EFFICIENT OUTDOOR LIGHTING, LED BULBS AND LOW VOLTAGE ONLY. SEE ELECT DWGS FOR DTL'S ELVATION NOT TO EXCEED 8'-0" IN HEIGHT.
4. LINE OF T.B. SEE STRUCT DWGS
5. LINE OF CONCRETE SLAB
6. MIAMI DADE COUNTY APPROVED FLAT ROOF - SEE DETAILS ON SHT A-9.1.
7. SMOOTH STUCCO ON CONC BLOC. STUCCO SHALL BE  $\frac{1}{2}"$  AND SHALL BE INSTALLED AS PER ASTM C326 SUBSEQUENT TABLE 4.  $\frac{1}{2}"$  HORIZONTAL SCORE IN STUCCO AT 8' O.C.
8. ARCHITECTURAL FEATURE NOT TO EXCEED LINE OF PROPERTY LINE.
9. CANTILEVER BALCONY
10. NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS WITH CAST IRON FRAME AND LEAD GLASS WITH LOW E AS PER SCHEDULE ON SHEET A-7.1. AS NOTED TYPE ENERGY EFFICIENT (LOW E) WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL PENETRATION RATING COUNCIL).
11. WALL TO BE SCORED AND SNAP TIES TO BE ADDED TO SIMULATE CAST IN PLACE CONCRETE DETAILS
12. NOT USED - DECORATIVE PLANTER. SEE SITE PLAN DRAWINGS FOR EXACT LOCATION AND DETAILS
13. CONTRACTOR TO PROVIDE OVERFLOW SCUPPERS AND ROOF DRAINS AS NOTED ON ROOF PLAN
14. ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOWS. DIVIDE WINDOW SIZES TO BE ADJUSTED TO ALIGN VERTICALLY WITH SLIDERS
15.  $42"$  HIGH ALUMINUM GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECTS REVIEW PRIOR TO FABRICATION). PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC. SEE DETAILS SHEET A-4.2.
16. WINDOW DIVISION SHALL BE PROVIDED IN ACCORDANCE W/F.B.C. ON FRONT WALL. NUMBERS SHALL BE VISIBLE FROM THE STREET
17. BREAK MATERIAL TO MATCH WINDOW FRAME.
18. STUCCO WATER TABLE WITH A 4" HIGH X 2" DEEP STUCCO BAND AT TOP OF WATER TABLE
19. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A 4" HIGH GREEN PAINT METAL WITH BOXWOOD
20. NOT USED - STEEL SUPPORT COLUMN. (SEE STRUCTURAL FOR DETAILS)

NOTE:  
ALL WORK TO BE DONE IN ACCORDANCE W/THE 2017 FLORIDA  
BUILDING CODE (TYP)

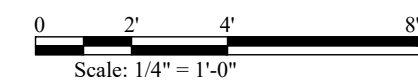
GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT, NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, AND LOW V.O.C. PAINTS.

## 2 ELEVATION KEY NOTES

	EXTERIOR COLORS AND VENEERS					
LOCATION/ TYPE	EXTERIOR WALLS BASE	ARCH FEATURE/ UPPER FL	EYEBROW	WINDOWS & DOORS	TILE VENEER	LIGHTING
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN	EXTERIOR SCANCES
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CAESAR LIFE	BRONZE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS	NOCCE NATURALE V2	ZANBONI LIGHTING WS KAS3017
LABEL	SW7642	SW7036	PPUS-1	CLEAR GLASS COLOR	TROPICAL TILE & MARBLE	AM A 4 C WS E 0000W 7 WATT AMER LED LAMP

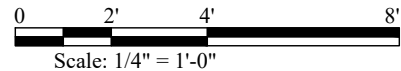
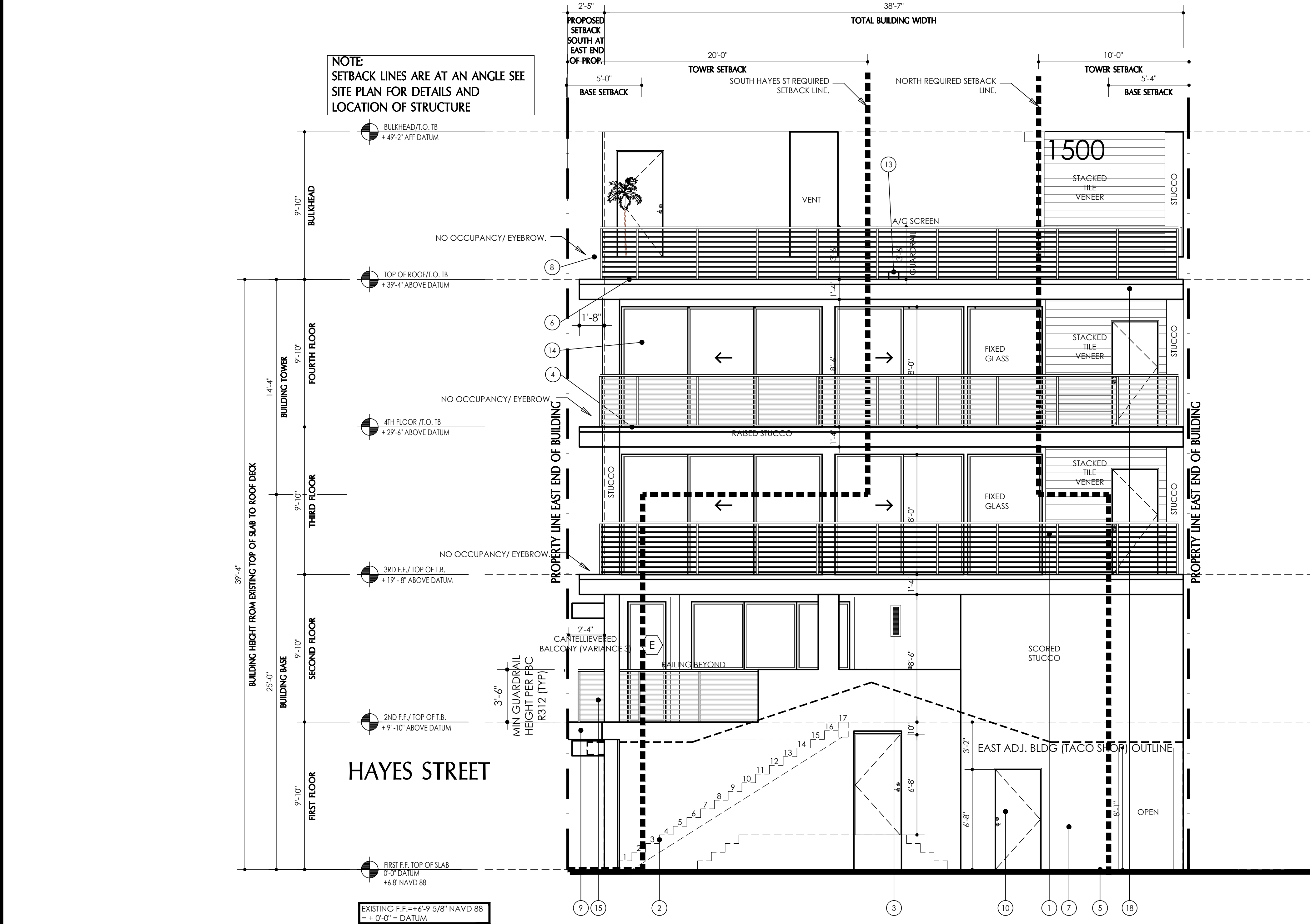
3	EXTERIOR COLORS/VENEERS
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**1** | ELEVATION - WEST (SURF ROAD)  
SCALE = 1/4" = 1'-0"



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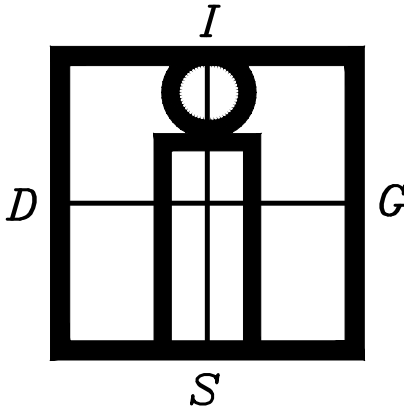


- KEY NOTES:
1. COLUMN OR WALL W/PORCELAIN TILE TO SIMULATE WOOD VENEER TO RUN HORIZONTALLY AS NOTED. VENEER WILL BE PLACED WHERE NOTED ON ELEVATIONS.
  2. NEW STEPS PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/FBC
  3. NEW EXTERIOR GRADE LIGHT FIXTURE ALL ENERGY-EFFICIENT OUTDOOR LIGHTING. LED BULBS AND LOW VOLTAGE ONLY. SEE ELEC DWGS FOR DTL ELEVATION NOT TO EXCEED 8'-0" IN HEIGHT.
  4. LINE OF T.B. SEE STRUCT DWGS
  5. LINE OF CONCRETE SLAB
  6. MIAMI DADE COUNTY APPROVED FLAT ROOF - SEE DETAILS ON SHT A-9.1.
  7. SMOOTH STUCCO ON CONC BLOCK. STUCCO SHALL BE  $\frac{5}{8}$ " AND SHALL BE INSTALLED AS PER ASTM C326 EXCLUDING TABLE 4.  $\frac{1}{2}$ " HORIZONTAL SCORE IN STUCCO AT 8" O.C.
  8. ARCHITECTURAL FEATURE NOT TO EXCEED LINE OF PROPERTY LINE.
  9. CANTILEVER BALCONY
  10. NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS WITH BRONZE FRAME AND CLEAR GLASS WITH LOW E AS PER SCHEDULE ON SHEET A-7.1. AS NOTED TYP. ENERGY EFFICIENT (LOW E) WINDOWS. ALL WINDOWS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA AS APPROVED BY THE NFRC (NATIONAL FENESTRATION RATING COUNCIL).
  11. WALL TO BE SCORED AND SNAP TIES TO BE ADDED TO SIMULATE CAST IN PLACE CONCRETE PANELS.
  12. NOT USED - DECORATIVE PLANTER. SEE SITE PLAN DRAWINGS FOR EXACT LOCATION AND DETAILS
  13. CONTRACTOR TO PROVIDE OVERFLOW SCUPPERS AND ROOF DRAINS AS NOTED ON ROOF PLAN
  14. ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS. WINDOW SIZES TO BE ADJUSTED TO ALIGN VERTICALLY WITH SLIDERS.
  15. 42" HIGH ALUMN GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECTS REVIEW PRIOR TO FABRICATION). PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/FBC. SEE DETAILS SHEET A-4.2
  16. SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/F.B.C. ON FRONT WALL. NUMBERS SHALL BE VISIBLE FROM THE STREET
  17. BREAK METAL TO MATCH WINDOW FRAME.
  18. STUCCO WATER TABLE WITH A 4" HIGH x 2" DEEP STUCCO BAND AT TOP OF WATER TABLE
  19. MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH A 42" HIGH GREEN FENCE MADE WITH BOX WOOD
  20. NOT USED - STEEL SUPPORT COLUMN. (SEE STRUCTURAL FOR DETAILS)

NOTE:  
ALL WORK TO BE DONE IN ACCORDANCE W/THE 2017 FLORIDA BUILDING CODE (TYP)

GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, AND LOW V.O.C. PAINTS.

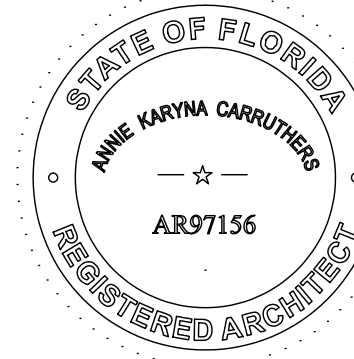
LOCATION/ TYPE	EXTERIOR COLORS AND VENEERS				
	EXTERIOR WALLS BASE	ARCH FEATURE/ UPPER FL.	EYEBROW	WINDOWS & DOORS	TILE VENEER
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CÆSAR JULIE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS CLEAR GLASS COLOR	NOCE NATURALE V2
LABEL	SW7642	SW7036	PPUS-1		ZANIBONI LIGHTING W2 KA3WLO7 AIA 4 C WS E 0000W 7 WATT AMER LED LAMP



IN-SITE  
DESIGN  
GROUP LLC

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HOLLYWOOD, FL 33020  
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ANNIE K. CARRUTHERS  
ARCHITECT



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STATE OF FLORIDA LICENSE No AR-97156

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DISCREPANCIES TO THE ARCHITECT BEFORE  
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DEVELOPMENT NAME:  
1500 N. BROADWALK

OWNER:  
CHIKUITA PROPERTIES LLC  
ADDRESS:  
1500 N. BROADWALK  
HOLLYWOOD, FL 33019

DISTRIBUTION  
MARCH-19-2018  
PREP MEETING  
JULY-15-2019  
PRELIMINARY TECHNICAL  
ADVISORY COMMITTEE  
SUBMITTAL  
FILE NUMBER 18-CPV-41  
SEPT-3-2019  
FINAL TECHNICAL  
ADVISORY COMMITTEE  
SUBMITTAL  
FILE NUMBER 18-CPV-41  
MARCH-10-2020  
HISTORIC  
PRESERVATION BOARD  
April-7-2020

REVISIONS

Date Of Issue  
JAN-18-2020

ELEVATIONS  
A-2.3





1500

hot & chili Coffee & Ice Cream Ho

TAKE  
Coffee  
with you

MENU



