

ATTACHMENT A
Application Package

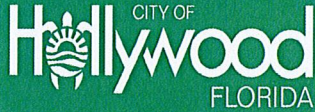
PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 2/18/2020

Location Address: 1500 Broadwalk, Hollywood Florida, 33019

Lot(s): 4 Block(s): 4 Subdivision: Hollywood Beach

Folio Number(s): 4151-1201-0810

Zoning Classification: BWK-25-HD-C Land Use Classification: General Business

Existing Property Use: Mix-Commerical/Res Sq Ft/Number of Units: 3

Is the request the result of a violation notice? (x) Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: Requesting to add 2 stories onto the existing structure and convert residential units to commerical restaurant / bike shop.

Number of units/rooms: 2 Sq Ft: 6671.81

Value of Improvement: \$885,000.00 Estimated Date of Completion: 12/2021

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: Chiquita Properties, LLC

Address of Property Owner: 20315 NE 15th Court Miami, Florida 33179

Telephone: 305-770-1488 Fax: 305-770-1662 Email Address: ohchiquita305@gmail.com

Name of Consultant/Representative/Tenant (circle one): In-site Design Group

Address: 1546 Jackson Street Hollywood, Florida 33020 Telephone: 954-921-5333

Fax: _____ Email Address: annie@insitedesigngroup.com

Date of Purchase: June 2014 Is there an option to purchase the Property? Yes () No (x)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Anna Hua or Lauris Hua

Address: 20315 NE 15th Court Miami, Florida 33179

Email Address: ohchiquita305@gmail.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: _____

PRINT NAME: Anna Hua Date: 2/18/2020

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public
State of Florida

Print Name

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____

CRITERIAN STATEMENTS FOR DESIGN, PARTIAL DEMOLITION AND VARIANCES

BACKGROUND

The property is a 3-story residential building located at 1500 N Broadwalk. The 3492sf building was built c1945 as a concrete block building but over time there have been numerous additions made using wood frame.

The owners of Chiquita Properties purchased the property in 2014. Prior to their purchase the building had been neglected and sat in disrepair for a number of decades. The owners hired a structural engineer to provide a condition assessment and address the dilapidation. The structural engineer concluded that the East and North walls were structurally deficient due to extreme conditions of oceanfront location, incorrect construction methods for load bearing structures of the additional wood framed walls, and extreme deferred maintenance.

The West and South walls were the original concrete block walls. The owners wanted to salvage these original walls and underwent extensive concrete restoration. During the restoration project, the inspecting structural engineer had to pull the COO from the building when he determined the property to be structurally unsound. All the wood framed additions, the plumbing and the electrical within the building were not to code and hazardous. The City of Hollywood was informed of this by the structural engineer. This building now sits vacant on the Broadwalk denying the owners all economically viable use of the building.

The owners hired architectural firm In-Site Design Group to provide a new design for the building. The major challenge was designing a functional usable building under the constraints of an extremely small footprint of 1219 sf, the requirements of bringing everything up to code and incorporating all the required life safety and ADA accessibility features. In designing the building, the owners also took into consideration the goal of the Hollywood Beach Master Plan to redirect scarce resources of the beach from long-term residential dwelling to commercial space.

The proposed development is for a 4-story mix-used commercial building, approximately 40ft in height, with a modern aesthetic. As mentioned the footprint of the building is extremely small. The 1st Floor will house a small retail space of ~500sf. The 2nd Floor will house the kitchen of 448sf for a restaurant. Floors 3 – 4 will have a total of 2423sf for interior seating. Floor to ceiling windows on the East and South sides will allow for patrons to enjoy ocean views. Additional roof top terrace seating will also be available.

Included in the application is a request for partial demolition of all the structurally deficient structures on the North and East sides and on the 3rd floor. These structures were built with untreated wood without compliance to code and have since suffered extensive dry rot over time and decades of neglect. These structures have rendered the building structurally unsound. Without permission for this partial

demolition the building will continue to sit vacant denying owners any economically viable use of the building.

Due to the extremely small footprint of the building, the design necessitates variances to waive setback requirements. These variances will allow the owners to continue with the existing footprint of the building which sits at or near the property line and continue to build up to the maximum allowable 40' height. These variances do not add more interior usable space than what currently exists but mitigates the square footage required to upgrade the entire building to code and adding in the life safety and accessibility features (2 enclosed staircases, an elevator, ADA entrances and restrooms). Without the approval of these variances, the building will not have reasonable square footage to be functional. The new design is consistent with the other properties in the surrounding Beach community.

CRITERIAN STATEMENTS FOR DESIGN

1. INTEGRITY OF LOCATION: The subject property is located at the corner of Hayes Street and Surf Road. The subject property shares a lot with a commercial building that houses a restaurant ("The Taco Spot") and an ice-cream take-out counter ("Hot N Chilli"). Neighboring properties to the north and south are also retail establishments. To the west is the Caribbean Hotel. Less than one block north is the Garfield Garage and Charnow Park. This area is recognized as the commercial core of the Beach thereby making it ideal location for a restaurant/retail building rather than current existing residential building. The new design, with a fresh modern look, will replace the current eyesore and attract patrons to the building, to the area, to the Beach. The lot proportions are consistent with other businesses along the Broadwalk and will not have any detrimental impact on adjacent properties.
2. DESIGN: The design components comprise of smooth exposed concrete, stucco, concrete columns, metal railings, large glass windows contributing to a clean, modern, urban look. Design features such as simulated wood veneers and a base level in concrete finish that would reflect a poured in situ concrete call. Additional there are green elements along the roof edge and eyebrows over the lower windows. The second floor balcony is also an aesthetic feature. The proposed design provides a fresh new look which contributes to the uniqueness of the building and of the Broadwalk.
3. SETTING: The design is consistent with its setting in that the Modern architectural style has become more prevalent in the surrounding beach properties when undergoing renovations. Examples of this are the design of Costa Hollywood, the renovation of Sheldon Hotel, and the new design of Gramazini's, less than a block away. This modern aesthetic is in line with the Hollywood Beach CRA Master Plan to accentuate the Beach's "urban" form.
4. MATERIALS: The materials and textures used are consistent with design guidelines and are appropriate with the style of surround neighborhood. The materials in the design include exposed concrete, stucco, concrete columns, metal railings, large expansive glass windows for ocean views. This is consistent with materials used on other properties in the Beach neighborhood. Green

Technologies will be utilized wherever possible include but not limited to energy star appliances, tankless heaters, upgraded windows, mechanical systems and insulation, low flow water efficient fixtures, energy efficient lighting and low V.O.C paints.

5. WORKMANSHIP: The contractor used is Green Builder Certified and will comply with the Green Building Ordinances. All work shall be performed in a manner consistent with the best practices for the respective trades and quality specified.

CRITERIAN STATEMENT FOR PARTIAL DEMOLITION

1. The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark: Research from the Historic Society indicates that the building is ineligible for inclusion in the National Historic Registry or Local Historic Registry since it has been “extremely altered” over the years. Only the West and South sides are the original walls from the original building c1945. The current owners have already restored the South and West walls through an extensive concrete restoration project and the new design incorporates these original walls and the Eyebrows that wrap around these walls. However, the East and North Walls and 3rd floor wooden structure were additions by the previous owners using wood frame, untreated wood throughout and without compliance to code. Because these alterations were done poorly and haphazardly, the extreme weather conditions of oceanfront location and the prolonged decades of neglected and deferred maintenance resulted in structural deficiencies.
2. The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense. The South and West walls, have already been saved through extensive concrete restoration project. The rest of the building has been declared structurally unsound. The structural engineer reported that the wood frame load bearing walls were not vertical, were “spongy, dirty brown shredded wheat caused by excessive moisture penetration”
3. The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the country. The building does not have any historical significance except that it is located in the Beach Historic District. The concrete walls of the South and West Walls, the only original walls, and the Eyebrows have already undergone extensive restoration. The request for partial demolition is to remove the dilapidated structures that are unsound and detract from the building surrounding neighborhood. As the building is structurally unsound and sits vacant, it is an eyesore to the community.
4. The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district. In its current state, the building detracts from the character of the Historic Beach District because of the mismatch of components. The building has been extremely

altered over the years and has no historic characteristics except for the Eyebrows, which have already been restored and will be incorporated into the new design of the building.

5. Retention of the building, structure, improvement or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture or heritage. The property has been extremely altered over the years with wood frame additions that detract from the original concrete style. The original concrete walls and eyebrows on the South and West walls have been restored and will be retained.
6. There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely effect the historic character of the Historic District. The building current sits vacant because it has been condemned as structurally unsound. In demolishing the North and East Walls and 3rd floor wooden structures, the building can be rebuilt using better stronger concrete material congruent with the South and West walls. The plans will not adversely effect the historic character of the district but rather contribute to this area's unique sense of place. The south and West walls and Eyebrows will be retained and incorporated into the new design. The plans for reuse of the property is in line with the Hollywood Beach Masterplan to direct scarce beach resources from long-term residential to commercial.
7. The Unsafe Structures Board has ordered the demolition of the structure or a feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property. During the restoration of the South and West Walls, the inspecting structural engineer pulled the Certificate of Occupancy on the building condemning it has structurally unsound. A letter was sent to the city by the engineer. Since then the property has been sitting vacant. Unless the owners receive approval to demolish the unsound structures, it would deny the owner of all economically viable uses of the property. Currently as it sits vacant, the owners are not able to rent out any portion of the 3-story building.
8. The information listed in the Historic Properties Database (a listing of historic and nonhistoric properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued. This building is located in the Historic Broadwalk District but the building itself is not historic. Research completed at the Hollywood Historic Society and found minimal records in the Florida Master Site record, B0322 Site N8. No plans can be found for the building. "The original site form dates the building to the 1920s but this is unlikely given its design and materials." The Historic Properties Database does not have information concerning the building. Based on a professional surveyor's evaluation of the extremely altered façade and the replaced windows throughout, they concluded that this building is ineligible for local historic registration of important sites and ineligible for National Registration of Historical Sites

CRITERIAN STATEMENT FOR VARIANCES

Due to the extremely small footprint of the building, the design necessitates variances to waive setback requirements. These variances will allow owners to continue with the existing footprint of the building which sits at or near the property line and continue to build up to the maximum allowable 40' height. Upgrading the entire building to code requires the installation of 2 enclosed staircases, an elevator, and ADA entrances. Without these variances, the building cannot be functional. Keeping the original footprint on or near property line is consistent with the other properties in the surrounding Beach community. In order to provide reasonable space for the restaurant while designing an aesthetically interesting building, the following variances are requested:

VARIANCE 1: North Side: Request to waive the required 5'4" base building setback on the north side to 0. Request a variance on the North Side to allow us to continue to build at existing non-conforming building line up to the height of 39'4" in order to accommodate the space needed to install the 2 enclosed staircases required by building code. The building cannot be functional without the approval of this variance.

VARIANCE 2: North Side: Request to waive the required 10 ft tower setback on the north side to 0. Request a variance on the North Side to allow us to continue to build at the existing non-conforming building line up to a height of 39'4" in order to accommodate the space needed to install the 2 enclosed staircases required by building code. The building cannot be functional without the approval of this variance.

1. **That the requested Variances 1 and 2 on the North Side maintain the basic intent and purpose of the subject regulations, particularly how it affects the stability and appearance of the city.** The new design is both compatible with its surroundings and at the same time elevates the area with its modern design. The request to waive the base and tower setbacks on North sides allow the building to maximize use of vertical space while maintain its original footprint. The tower setback variances will enable owners to incorporate all the required life safety and ADA accessibility features necessary while still enabling the building to have functional use. The variance allows the building to be functional. Rather than being an eyesore to the community, the new design will be an asset.
2. **That the requested Variances 1 and 2 on the North Side are otherwise compatible with surrounding land uses and would not be detrimental to the community.** The current building is a 3-story building that sits on or at the property line. Request for variances to allow us to continue to build at existing non-conforming building line up to the height of 39'4" would not be detrimental to the community. This is consistent with surrounding properties in the area that provide little to no setback. Because the footprint of the building is small the design is for maximizing the space vertically. The 2nd floor houses the small kitchen while the 3rd and 4th floors are interior seating areas for the restaurant. The roof top will also be allotted space for open air seating. A beautiful building is preferred over the current eyesore. The project would be beneficial to the community.

3. **That the requested Variances 1 and 2 are consistent with and in furtherance of the goals, objectives and policies of the adopted comprehensive plan, as amended from time to time, the applicable neighborhood plan and all other similar plans adopted by the city.**

The Hollywood Beach Redevelopment Plan encourages commercial uses and desires to redirect scarce beach resources from long-term residential dwelling units to commercial uses like a restaurant that promotes more pedestrian activity. Prior to being condemned as structurally unsound, the building was used as long-term residential units. The requested variances will allow for a design that is in line with these goals and objectives of the Hollywood Beach Redevelopment Plan. Furthermore, the Beach CRA encourages “pedestrian-friendly, mixed-use development” for redevelopment along the beach. The central beach districts within the City-Wide Master Plan “...recognize the urban character of [this area] and are specifically tailored to these needs as opposed to setback requirements that are based on mainland requirements”. The requested variances are consistent with these guidelines by creating a new restaurant which improves the Broadwalk, provides fresh architecture in place of dilapidation and vacant building, and creates new economic development opportunities.

4. **That the need for requested Variances 1 and 2 on the Norht Side are not economically based or self-imposed.**

The variance is not economically based or self-imposed but is necessary in order to have a functional building. Because of the extremely small footprint, the building must be designed to maximize space vertically. The developer is requesting to build at the existing non-confirming building line up to maximum allowable space. These variances are necessary to upgrade the building to code, to incorporate all the life safety and ADA accessibility features for the protection and accessibility of the general public while at the same time allowing for reasonable amount of space to have a functional building. This is the minimal variance reasonably necessary to accommodate the redevelopment of this building to be functional.

VARIANCE 3: South Side - Request a variance to allow for “faux” balconies on the second, third, and fourth floors to be projected 2 feet 4 inches over the base building. The balconies are designed to be cantilevered over the building along Hayes Street to provide for more interesting architectural feature. Because of the narrowness of the balconies they are not functional as much as they serve to increase the aesthetics of the building. However, the balconies on the 3rd and 4th floors would allow the building to use sliding glass doors in order to invite the fresh ocean breeze into the building making it more comfortable and enjoyable for the restaurant patrons.

1. **That the requested Variance 3 maintains the basic intent and purpose of the subject regulations, particularly how it affects the stability and appearance of the city.** The variance is to allow a 2’4” projection of the balconies over the base building. The balconies are still within the property line. This variance allows for an interesting architectural feature, a nice decorative element, adds dimension to the building. Furthermore, with the “faux” balconies on the 3rd & 4th floors, the building can utilize sliding glass doors on the east side to invite the ocean breeze into the restaurant. The balconies will effectively attract patrons to the upper floor restaurant

and the Beach thereby making it more economically viable space, a positive effect on the stability and appearance of the property, the surroundings, the Beach, and the City of Hollywood.

2. **That the requested Variance 3 is otherwise compatible with surrounding land uses and would not be detrimental to the community.** The new design is both compatible with its surroundings and at the same time elevates the area with its modern design. Most of the buildings on the Beach tend to fill up to the property line. The balconies will not go over the property line. They only project 2'4" from the building not yet to the property line. This design is in line with surrounding properties and will elevate this building aesthetically.

3. **That the requested Variance 3 is consistent with and in furtherance of the goals, objectives and policies of the adopted comprehensive plan, as amended from time to time, the applicable neighborhood plan and all other similar plans adopted by the city.**

The Hollywood Beach Redevelopment Plan encourages commercial uses and desires to redirect scarce beach resources from long-term residential dwelling units to commercial uses like a restaurant that promotes more pedestrian activity. The requested variance is consistent with these guidelines by creating a new restaurant space which improves the Boardwalk, provides fresh architecture in place of dilapidation and vacant building, and creates new economic development opportunities. In order for the restaurant to be economically viable, especially because it is an upper floor restaurant, there needs to be a way to attract patrons in. The balcony feature is not only aesthetically pleasing and functionally attracts people to the restaurant, building, the Beach, the City, it also allows for fresh ocean breeze to come into the building make it more inviting for the patrons.

4. **That the need for requested Variance 3 is not economically based or self-imposed.**

The variance is not economically based or self-imposed but is necessary in order to have an economically viable restaurant. This small extension of the balconies over Hayes Street not only provides an interesting architectural feature, it provides the upper floor restaurant an opportunity to attract pedestrians up from the ground floor and it allows for sliding glass doors to invite fresh ocean breeze into the restaurant allowing patrons to still experience the ocean front dining experience. The balconies serve both as functional use of marketing the restaurant and making the dining experience more enjoyable which is important for the viability of the restaurant and stability of the building, the beach and the City as a whole. As mentioned the small 2'4" extension is within the property line and is consistent with all the 0' lot properties that surround.

July 30, 2018

RE: 1500 N. Broadwalk, Hollywood Fl.
50% Valuation Response

Attn: Ms. Anna Hua,

I have received the documentation that I requested from you pertaining to the above referenced building. I have reviewed the city file that we have for the property. I can see the previous Building Official Mr. Sauer had conditionally approved the scope of work as not exceeding the 50% of total value of the building. He just needed the executed contract between you and your contractor. To make me more comfortable I asked you to also provide me a certified appraisal along with a copy of the construction contract. Since the cost of construction is considerably less than the 50% value of the existing building I agree with Mr. Sauer's evaluation this building does not even come close to the 50% rule.

Construction contract = \$549,535 certified appraisal = \$3,540,000 (including land)
Land cost according to property appraisers office multiplied by 20% = \$397,476
 $\$549,535 + \$397,476 = \$947,011$ so the total improvement is only 26.8 % of property value.

Please call me if you have any questions or concerns my office Ph# is (954) 921-3482.

Sincerely,

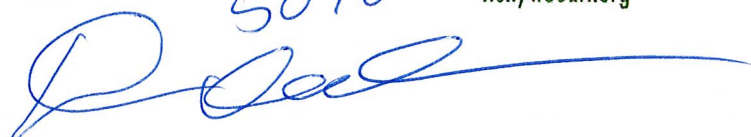


Dean Decker
Interim Chief Building Official



new const. cost
is 885,000.00
Land 397,476.00
Total 1,282,476.00
this means 26.2%

so less than
50%



Permit Search Results

[Search](#) > Properties located at/on/near '...1500 broadwalk...'

50 permits were found for
1500 N BROADWALK

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		E19-101595	DEMOLITION-ELECTRICAL	9/12/2019	9/12/2019
Details		B19-103836	DEMOLITION(OTHER THAN COMPLETE BUILDING)	6/11/2019	9/4/2019
Details		P19-100075	BACKFLOW PREVENTER	1/16/2019	4/18/2019
Details		B17-107700	DEMOLITION(OTHER THAN COMPLETE BUILDING)	11/1/2018	11/1/2018
Details		B18-101061	ANTENNAE-SATELLITE DISH-STRUCTURAL	5/23/2018	
Details		E17-102841	TEMP POWER (FOR CONSTRUCTION)	10/24/2017	9/12/2019
Details		B17-104254	REPAIRS-STRUCTURAL	7/12/2017	8/24/2017
Details		P16-101458	WATER METER	8/9/2016	9/9/2016
Details		B16-103979	REPAIRS-STRUCTURAL	7/12/2016	7/12/2016
Details		B15-106083	REROOF - FLAT	12/2/2015	12/16/2015
Details		E15-101364	ELECTRICAL WORK	8/6/2015	8/11/2015
Details		B14-101614	SIGN - AWNING	4/7/2014	5/13/2014
Details		B12-104362	FENCE-CHAIN LINK &/OR WOOD	10/18/2012	11/7/2012
Details		B11-101514	AWNINGS - ALUM OR CANVAS	4/19/2011	5/12/2011
Details		B09-104208	WINDOW &/OR DOOR REPLACEMENT	10/28/2009	3/25/2011
Details		E08-102168	SERVICE CHANGE	11/14/2008	11/19/2008
Details		E08-102167	SERVICE CHANGE	11/14/2008	11/19/2008
Details		M08-101124	CHEMICAL FIRE EXTINGUISHING SYSTEM	10/7/2008	10/7/2008
Details		M08-101123	A/C CENTRAL (NEW)	10/7/2008	
Details		B08-102887	REROOF - COMBINATION OF TYPES	6/19/2008	7/1/2008
Details		M08-100308	VENTILATING SYSTEM	5/28/2008	5/28/2008
Details		M08-100424	HOOD SYSTEM	5/1/2008	5/1/2008
Details		E07-101360	ELECTRICAL WORK	4/30/2008	4/30/2008
Details		P07-100848	PLUMBING WORK	4/21/2008	4/21/2008
Details		B07-103547	ALTERATIONS-INTERIOR	11/8/2007	3/27/2008
Details	32097	B0701648	RE-ROOF FLAT	8/18/2006	3/19/2007
Details	20547	B0609228	REPAIRS-STRUCTURAL	8/18/2006	8/21/2006

Details	59730	P0301513	PLUMBING WORK	11/7/2003	11/26/2003
Details	59729	E0302876	ELECTRICAL WORK	11/7/2003	11/26/2003
Details	59728	M0301821	MECHANICAL WORK	11/7/2003	11/26/2003
Details	58790	B0306602	DEMOLITION(OTHER THAN COMPLETE BUILDING)	11/7/2003	11/26/2003
Details	4011	B9503781	AWNINGS - ALUM OR CANVAS	5/24/1995	7/20/1995
Details		E0000102	ELECTRICAL WORK		1/12/2000
Details		M9701761	A/C - CENTRAL - REPLACEMENT		10/7/1997
Details		E9704045	ELECTRICAL WORK		10/7/1997
Details		E9500503	TEMP SERVICE(FOR TESTING-30 DAY MAX)		2/28/1995
Details		B9500758	AWNINGS - ALUM OR CANVAS		2/15/1995
Details		P9500094	PLUMBING WORK		1/24/1995
Details		M9500076	WALK IN REFRIGERATOR/COOLER		1/24/1995
Details		M9500075	MECHANICAL WORK		1/24/1995
Details		E9500192	ELECTRICAL WORK		1/24/1995
Details		B9500393	ALTERATIONS-INTERIOR		1/24/1995
Details		E9401673	ELECTRICAL WORK		5/20/1994
Details		M9201536	CHEMICAL FIRE EXTINGUISHING SYSTEM		12/11/1992
Details		M9201535	HOOD SYSTEM		12/11/1992
Details		E9203471	ELECTRICAL WORK		12/11/1992
Details		P9201269	GAS PIPING		12/10/1992
Details		B9207908	AWNINGS - ALUM OR CANVAS		12/2/1992
Details		B9205559	STORM SHUTTERS		8/14/1992
Details		B8902540	RE-ROOF-COMPOSITION SHINGLE		5/4/1989

Contact us

City of Hollywood
2600 Hollywood Boulevard
Hollywood, FL 33020-4807
Phone: 954-967-HELP
(4357)

Email Us

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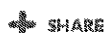
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**41 permits were found for
1500 N BROADWALK**

Building Department



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Details		E08-102167	SERVICE CHANGE	11/14/2008	11/19/2008
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Details		M08-101123	A/C CENTRAL (NEW)	10/7/2008	
Details		B08-102887	REROOF - COMBINATION OF TYPES	6/19/2008	7/1/2008
Details		M08-100308	VENTILATING SYSTEM	5/28/2008	5/28/2008
Details		M08-100424	HOOD SYSTEM	5/1/2008	5/1/2008
Details		E07-101360	ELECTRICAL WORK	4/30/2008	4/30/2008
Details		P07-100848	PLUMBING WORK	4/21/2008	4/21/2008
Details		B07-103547	ALTERATIONS- INTERIOR	11/8/2007	3/27/2008
Details	32097	B0701648	RE-ROOF FLAT	8/18/2006	3/19/2007
Details	20547	B0609228	REPAIRS-STRUCTURAL	8/18/2006	8/21/2006
Details	59730	P0301513	PLUMBING WORK	11/7/2003	11/26/2003
Details	59729	E0302876	ELECTRICAL WORK	11/7/2003	11/26/2003
Details	59728	M0301821	MECHANICAL WORK	11/7/2003	11/26/2003
Details	58790	B0306602	DEMOLITION(OTHER THAN COMPLETE BUILDING)	11/7/2003	11/26/2003
Details	4011	B9503781	AWNINGS - ALUM OR CANVAS	5/24/1995	7/20/1995
Details		E0000102	ELECTRICAL WORK		1/12/2000
Details		M9701761	A/C - CENTRAL - REPLACEMENT		10/7/1997
Details		E9704045	ELECTRICAL WORK		10/7/1997
Details		E9500503	TEMP SERVICE(FOR TESTING-30 DAY MAX)		2/28/1995

Details	B9500758	AWNINGS - ALUM OR CANVAS	2/15/1995
Details	P9500094	PLUMBING WORK	1/24/1995
Details	M9500076	WALK IN REFRIGERATOR/COOLER	1/24/1995
Details	M9500075	MECHANICAL WORK	1/24/1995
Details	E9500192	ELECTRICAL WORK	1/24/1995
Details	B9500393	ALTERATIONS- INTERIOR	1/24/1995
Details	E9401673	ELECTRICAL WORK	5/20/1994
Details	E9300974	ALARM - COMMERCIAL - CENTRAL - AUDIBLE	3/25/1993
Details	M9201536	CHEMICAL FIRE EXTINGUISHING SYSTEM	12/11/1992
Details	M9201535	HOOD SYSTEM	12/11/1992
Details	E9203471	ELECTRICAL WORK	12/11/1992
Details	P9201269	GAS PIPING	12/10/1992
Details	B9207908	AWNINGS - ALUM OR CANVAS	12/2/1992
Details	B9205559	STORM SHUTTERS	8/14/1992
Details	B8902540	RE-ROOF-COMPOSITION SHINGLE	5/4/1989

City of Hollywood, 2600 Hollywood Boulevard, Hollywood, FL 33020-4807
P. O. Box 229045, Hollywood, FL 33022-9045

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[Mobile Devices](#)

Proj. Mgr.	
DZZ	
Job Capt.	
DZZ	
Drawn by	
DZZ	
Revd by	STATE OF FLORIDA
RIS	AR 0016160

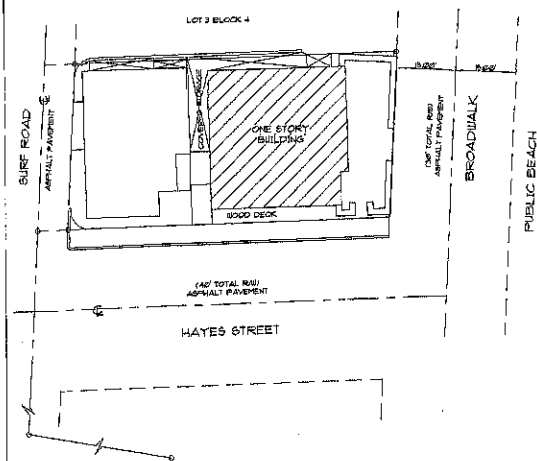
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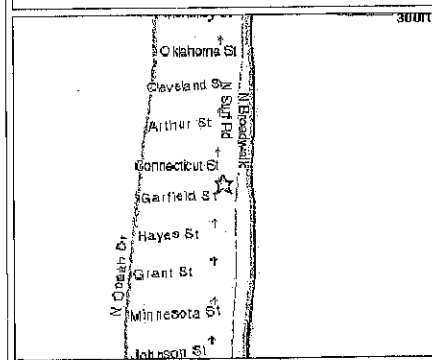
DRAWING INDEX

SITE LOCATION

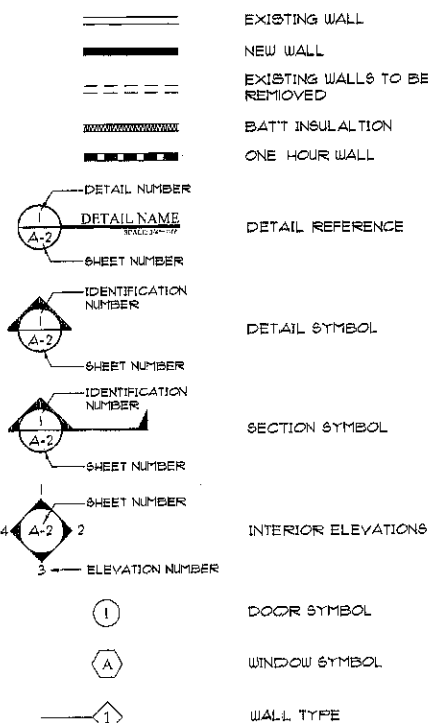


SCOPE OF WORK

LOCATION MAP



SYMBOL LEGEND



ABBREVIATIONS

[illegible]

GENERAL NOTES

THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY UTILITIES INCLUDING, ELECTRICAL, WATER, AND TELEPHONE REQUIRED FOR THE COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE UPON COMPLETION OF THE WORK A SET OF "AS-BUILT" NEATLY MARKED UP PLANS, THE ELECTRICAL CONTRACTORS "AS-BUILT" DRAWINGS SHALL BE INCLUDED. THESE DRAWINGS SHALL BE TRANSMITTED TO THE OWNER.

Revisions:

95 East BBQ LLC
Proprietor: Ivan Rubelji
1500 Boardwalk
Hollywood, Florida

BARR architectural
studio
The Design-Build Company

1621 Hollywood Blvd. Suite #100 Hollywood Florida 33021
 P. 954 418 BARR f. 954 212 2962

p. 334 418 BARK I. 334 212 2362
architecture construction management planning interiors

Sheet Title
TITLE SHEET

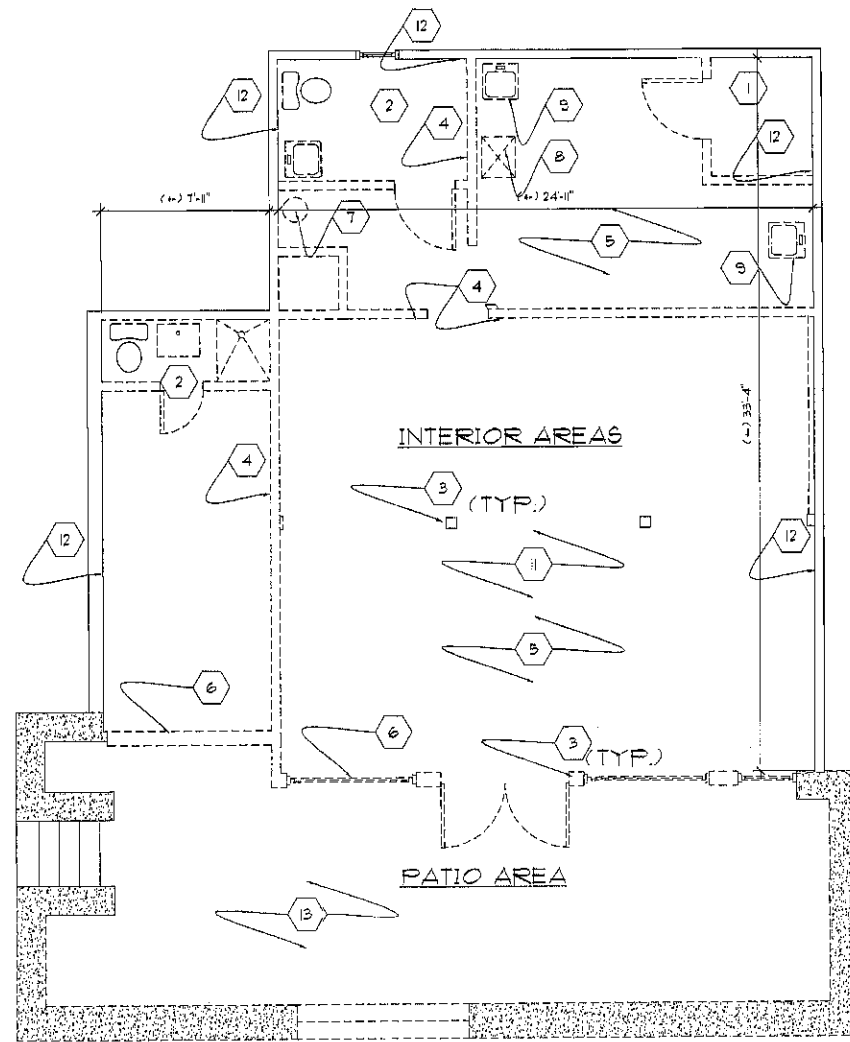
Scale:

Date: 7/15/03

Project No.
03-0715

Sheet No.

T-1



EXISTING ASPHALT BOARDWALK

EXISTING/DEMO FLOOR PLAN

SCALE: 1/4"=1'-0"

- ① DEMO EXISTING WALK-IN FREEZER
- ② DEMO EXISTING RESTROOM
- ③ EXISTING COLUMN TO REMIAN, DEMO COLUMN WRAP AND FINISHES
- ④ DEMO EXISTING PARTITIONS
- ⑤ DEMO FLOOR FINISH AND PLYWOOD DECK. STRUCTURAL SYSTEM TO REMIAN AS-IS
- ⑥ DEMO EXISTING STOREFRONT/EXTERIOR WALL/WINDOWS
- ⑦ DEMO WATER HEATER
- ⑧ DEMO A/C AIR HANDLER
- ⑨ DEMO ALL PLUMBING FIXTURES
- ⑩ DEMO FLOOR FINISHES
- ⑪ DEMO CEILING FINISHES TO UNDERSIDE OF EXISTING TRUSS SYSTEM
- ⑫ DEMO PERIMETER FINISHES AND DRYWALL
- ⑬ EXISTING CONCRETE PATIO TO REMAIN AS-IS

DEMO NOTES

THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO THE OWNER ALONG WITH THE DEMOLITION BID.

THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE OWNER AND MEET THE RULES AND REGULATIONS SET FORTH BY THE OWNER.

THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH THE OWNER PRIOR TO PLACEMENT.

THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION DURING THE DEMOLITION PROCESS.

ANY INTERRUPTION TO BUILDING UTILITIES SHALL BE CLEARED WITH THE OWNER 72 HOURS PRIOR TO THE PROPOSED INTERRUPTION.

IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO THE REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY THE OWNER IMMEDIATELY.

THE CONTRACTOR SHALL PROVIDE SHORING OF ANY STRUCTURAL ELEMENTS EFFECTED BY DEMOLITION.

THE CONTRACTOR SHALL CONTACT THE ARCHITECT AND OWNER PRIOR TO DEMOLISHING ITEMS NOT SPECIFIED ON THE PLANS.

THE CONTRACTOR SHALL PATCH AND REPAIR ALL HOLES IN THE SLAB AS REQUIRED TO BE EVEN ELEVATION THROUGHOUT, SMOOTH, CONTINUOUS LEVEL & READY TO ACCEPT NEW FINISHES. THIS INCLUDES "FLOATING" AN UNACCEPTABLE EXISTING SLAB AS REQUIRED, OR FILLING A SLAB AT HOLES OR IMPERFECTIONS LEFT BECAUSE OF THE DEMOLITION OF WALLS.

THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR HAULED AWAY FROM THE SITE, OWNER RESERVES THE RIGHT OF FIRST REFUSAL.

THE CONTRACTOR SHALL REMOVE ALL PLUMBING LINES AND CAP OFF PER CODE

THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL AND CAP OFF AS PER NEC.

THE CONTRACTOR SHALL REMOVE ALL GAS LINES AND CAP OFF PER CODE

THE CONTRACTOR SHALL REMOVE ALL LIGHT FIXTURES PER NEC

THE CONTRACTOR SHALL REMOVE ALL PLUMBING FIXTURES

THE CONTRACTOR SHALL CAREFULLY DEMO THE SPACE TILL WALLS/FLOOR SLAB ARE BARE CMU/CONCRETE AND ALL PLUMBING AND ELECTRICAL HAS BEEN CAPPED OFF PER CODE.

ALL STRUCTURAL MEMBERS AND SYSTEMS SHALL REMAIN AS-IS

=====

EXISTING WALLS TO BE REMOVED

CONTRACTOR SHALL LOCATE ALL STRUCTURAL MEMBERS PRIOR TO COMMENCING DEMOLITION

Proj. Mgr.
DZZ
Job. Capt.
DZZ
Drawn by
DZZ
Rev'd by
RB

STATE OF FLORIDA
AR 0016180

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BARR ARCHITECTURAL STUDIO

Revisions:

95 East BBQ LLC
Proprietor: Ivan Rubelj
1500 Boardwalk
Hollywood, Florida

BARR Architectural Studio
The Design-Build Company
4621 Hollywood Blvd. Suite #100 Hollywood Florida 33021
p. 954-418 BARR f. 954-212-2962
architecture construction management planning interiors

Sheet Title
EXISTING/DEMO FLOOR PLAN
Scale:
Date:
7/15/03
Project No.
03-0715
Sheet No.
D-1

JOB CARD			
OWNER Shimon Peret		JOB ADDRESS 1500 N. Boardwalk	
LEGAL DESCRIPTION LOT NUMBER		BLOCK	SUBDIVISION OR ADDITION 514212010810
MICROFILM NO. 91-0442	ARCHITECT	FEE None	VALUATION \$ 42.00
DESCRIPTION OF CONSTRUCTION Hurricane shutters. 662			<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	114146	12-4-87	Wrono Const.
ROOF			
ELECTRIC-BASIC			
ELECTRIC-SUPP.			
PLUMBING NO. FIX.			
C-P-DRY WALL			
FENCE			
NOTES: County surcharge - \$.70			

SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

NAME OF OWNER COZINS APARTMENTS
 ADDRESS 1500 N. BROADWALK
 LEGAL DESCRIPTION COST 400.00
 DESCRIPTION OF CONST.
 ARCHITECT:

NOT SANDBLASTING				
PERMIT TYPE	NO.	DATE	TO WHOM	EXT. or OUT.
BLDG.	75116	10-16-67	BOBS SANDBLASTING	
ROOF				
ELECTRICAL				
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY	69292	11-28-66	Beall, Const. Co.	66-1362
FENCE				
not sandblasting	71929	5-5-67	Bob Miller	

JOB CARD

OWNER Cousins JOB ADDRESS 1500 North Broadwalk

LEGAL DESCRIPTION LOT NUMBER BLOCK SUBDIVISION OF ADDITION

DESCRIPTION NO. ARCHITECT FEE \$ 14.00 VALIDATION \$ 1830

DESCRIPTION OF CONSTRUCTION re roof - tar and gravel ☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 1400	59024	12/5/79	Amex Roofing	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				RATIO or HOLD			

NOTES: county surcharge \$.63

JOB CARD

OWNER ALBERT COUSINS **JOB ADDRESS** 1500 N. Broadway

LOT NUMBER **ALLEN** **REVISIONS OF ADDRESS**

DESCRIPTION **ARCHITECT** **PER** \$ 6.00 **VALIDATION** \$

REVISIONS OF CONSTRUCTION **Serv. Charge** ☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
SEWER				SEPTIC/SEWER			
				AIR CONDITION			
ELECTRIC-BASIC	5750	10/27/79	ROSS	MECHANICAL			
ELECTRIC-TAPP.				SCREEN			
PLUMBING				POOL			
1-P-DRY WALL				DRY VENT			
PAINT				PATIO AT WALK			

DATE: 11-06-79

JOB CARD

OWNER Miami Ice **JOB ADDRESS** 1500 N. Broadway

LOT NUMBER **ALLEN** **REVISIONS OF ADDRESS** 11/01-081

DESCRIPTION **ARCHITECT** **PER** \$ 30.00 **VALIDATION** \$ 300.

REVISIONS OF CONSTRUCTION **Window canvas awning** ☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
SEWER	100251	1/8/86	Tri-City Canvas	SEPTIC/SEWER			
SEWER				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-TAPP.				SCREEN			
PLUMBING				POOL			
1-P-DRY WALL				DRY VENT			
PAINT				PATIO AT WALK			

NOTES: County surcharge .20

0000
C/A
TYS
OWNER:
CONSTR
FOURTH
FILL
GRADE
SOIL
SLAB-
FLOOR/
TIE B
FRAM
LATH
TIE C
SCREEN
WATER
POOL
CONC
C/A
TYS

1500 S. Broadwalk

176

1212-01-081-0543-08 BPP

2nd. Bch. 1st Add'n.

PER \$ 60.00

VALIDATION \$ 3000.

Interior Renovation

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
RENOVATION	99927	12/16/85	C.B.M. CONST.	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC	23952	12-18-85	Ever Ready	MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	22363	12-27-85	Dennis Plmb	POOL			
PAINT-INT. WALL				DRIVEWAY			
PAINT-EXT.				PATIO or WALK			

County Surcharge: .60

NAME OF OWNER Mr. Cozins

ADDRESS 1500 N. Broadwalk

LEGAL DESCRIPTION

DESCRIPTION OF CONST.

ARCHITECT: Sandblast Bldg.

FILE 1060

EVAL 150.00

PERMIT TYPE	NO.	DATE	TO WHOM	FIXT. or RMT.
ROOF	8584	6-30-71	Bob Wells	
ELECTRICAL				
PLUMBING				
GAS				
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

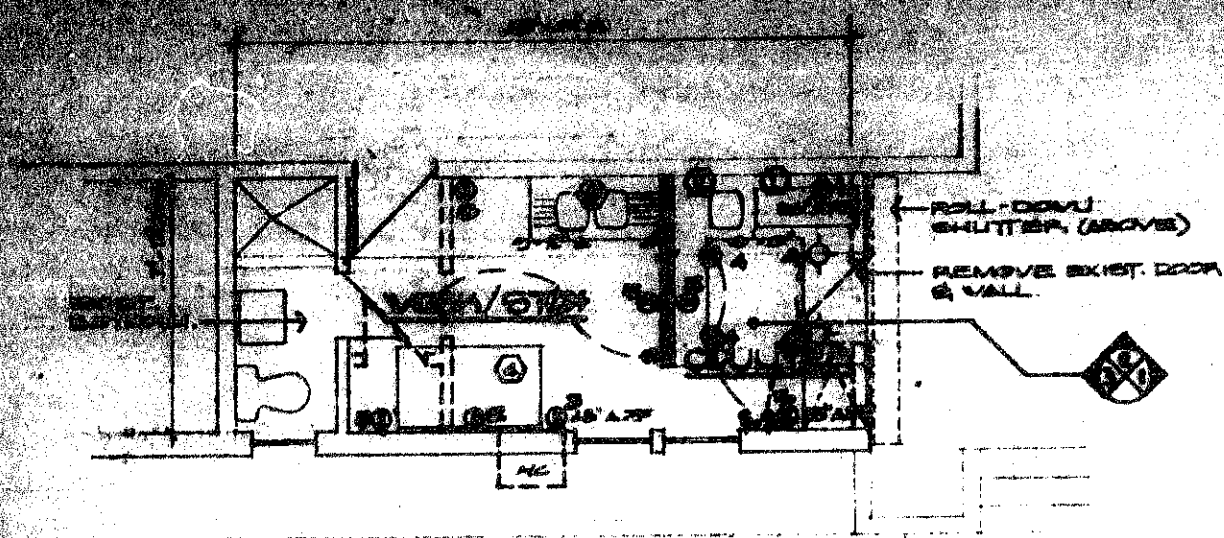
NAME OF OWNER COZINS APARTMENTS

ADDRESS 1500 N. BROADWALK

LEGAL DESCRIPTION

DESCRIPTION OF CONST. COST 400.00

ARCHITECT:

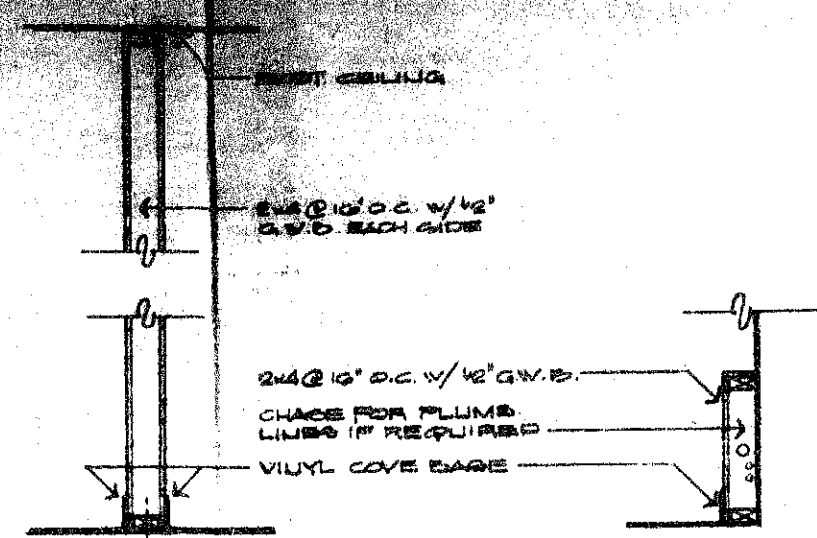


partial floor plan

SCALE: 1/4" = 1'-0"

EQUIPMENT SCHEDULE

- ① ICE DISPENSER
- ② HAND SINK
- ③ SINK COMP. W/ 1/2" DRAINBOARD
- ④ ICE MAKING MACHINE

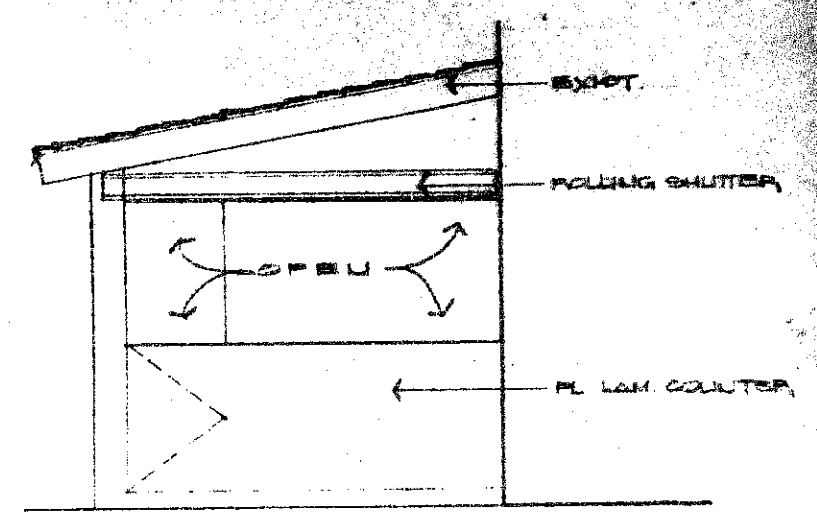


sections

3/4" = 1'-0"

LEGEND

- WALL TO BE REMOVED
- NEW PARTITION
- ① DUPLEX RECEPTACLE
- ② SWITCH (D= DIMMER)
- ③ WALL WASH FIXTURE
- ⬢ SURF MTD OR RECESSED FIXTURE



front elevation

3/8" = 1'-0"

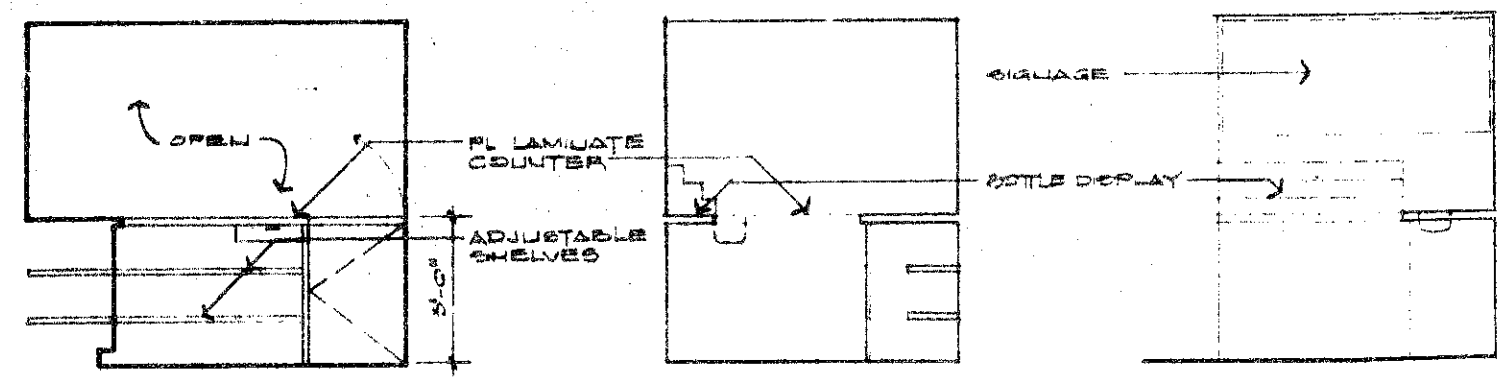
general notes

ELECTR.

- 1. ALL WORK PERFORMED ACCORDING TO SEPC & ALL APPLICABLE REGULATIONS
- 2. ALL WIRING TO BE COPPER, CONNECT TO EXIST. SERVICE.

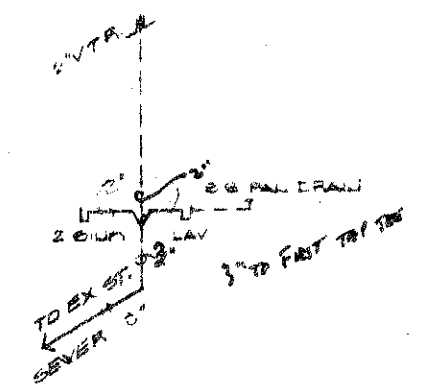
PLUMB.

- 1. AS NOTED ABOVE
- 2. VERIFY LOCATION OF SEWER LINE AT GRAVE SPACE



ELEV. 1 ELEV. 2 ELEV. 3

SCALE: 5/8" = 1'-0"



PLUMBING RISER DIAG.

N.T.S.

RECEIVED

DEC 16 1985
City of Hollywood, Fla.
Elect. 11-1

"SEPARATE PLUMBING PERMIT AND INSPECTION REQUIRED"

Robert J. Davis
12.15.85

BERRY & CALVIN
 LAND SURVEYORS 823-6598
 CIVIL ENGINEERS 821-7781
 2150 WEST 122ND AVENUE - HOLLYWOOD, FLORIDA 33020
 PHONE (305) 371-2780 FAX (305) 371-1332

SURVEY FOR: COZEVUS
DESCRIPTION:

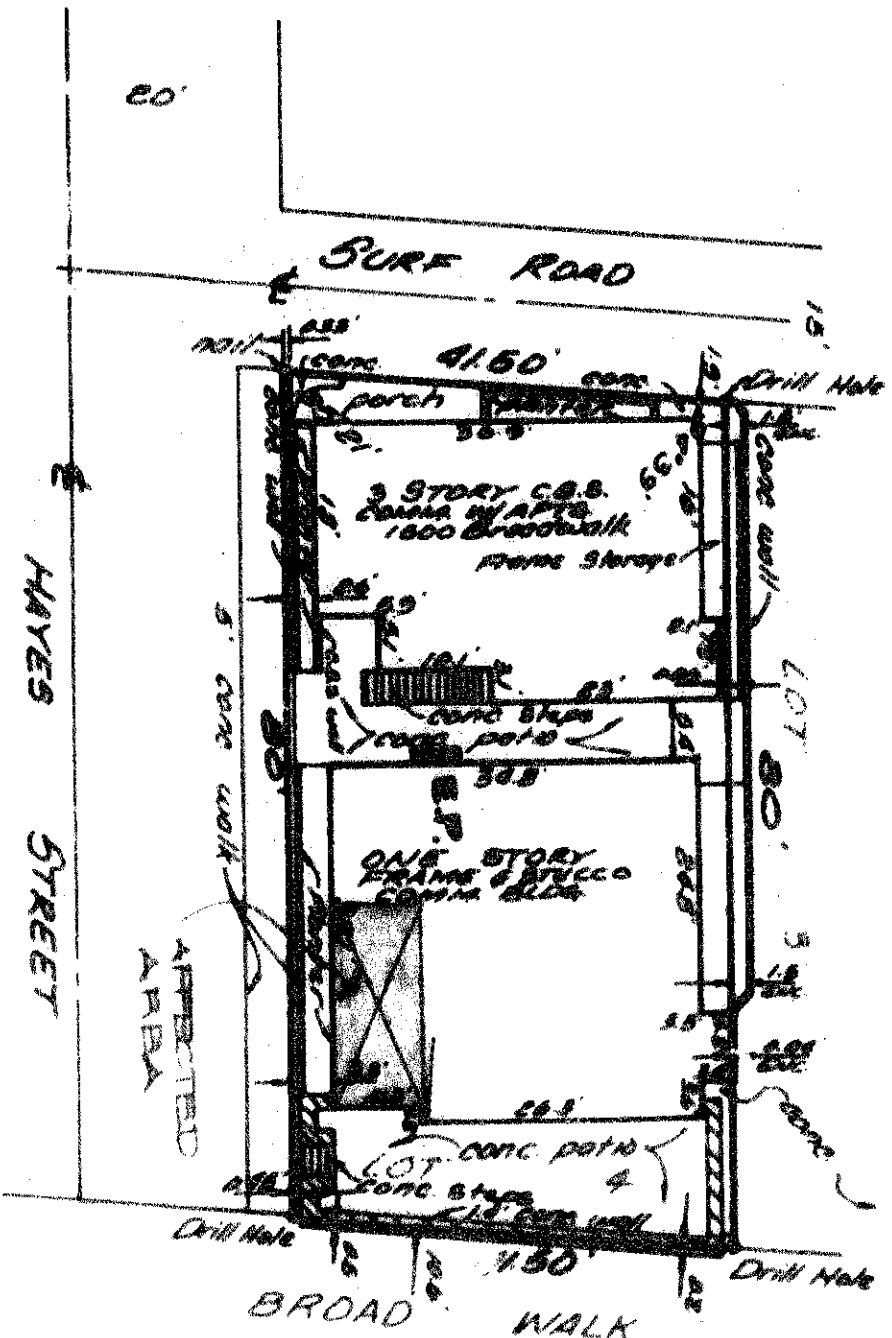
Lot 4, Block 4, "HOLLYWOOD BEACH FIRST ADDITION",
 as recorded in Plat Book 1, page 31, of the public
 records of Broward County, Florida.



SCALE
 1"=20'

RECEIVED
 DEC 16 1985

City of Hollywood, Fla.
 Electrical Dept.



TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I, MAURICE E. BERRY II, hereby certify that I have made a recent survey of the above described property as indicated, and that there are no above ground encroachments except as shown. I further certify that the survey represented herein meets the minimum standards of the Florida Board of Land Surveyors pursuant to section 472.027, Florida Statutes to the best of my knowledge and belief.

Dated at Hollywood, Broward County, Florida, this 12th day of Dec AD 1985.

NOTE:

Elevations shown are based on National Geodetic Vertical Datum.
 Survey was not obstructed for Easements and/or Right-of-Way of record.

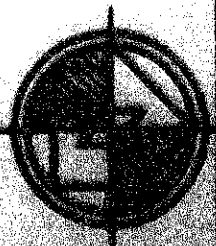
Maurice E. Berry II
 MAURICE E. BERRY II
 Registered Land Surveyor No. 1122
 State of Florida

DRAWN BY *SHG* CHECKED BY *SHG* 3

BERRY & CALVIN
LAND SURVEYORS
CIVIL ENGINEERS
923-6566
921-7781
2100-22ND AVE. S.W. • FORT WOOD, FLORIDA 32033
TEL: (904) 771-2100 • FAX: (904) 771-2101 • 1-800-441-1234

SURVEY FOR: COZENS

DESCRIPTION: Lot 4, Block 4, "HOLLYWOOD BEACH FIRST ADDITION", as recorded in Plat Book 1, page 31, of the public records of Broward County, Florida.

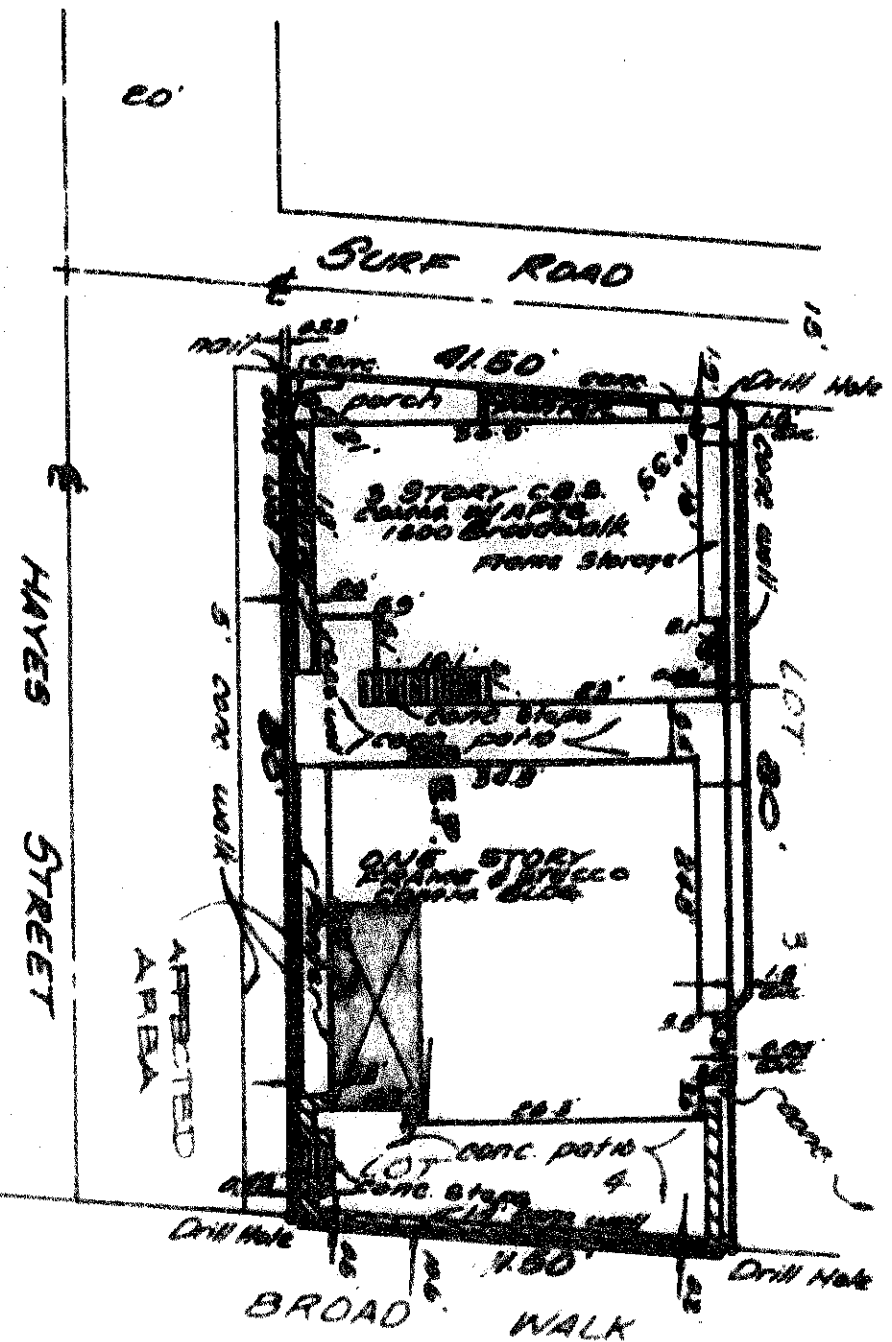


2000

RECEIVED

1905
10
10

City of Hollywood, Fla.
Electrical Dept.



TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I, MAURICE E. BERRY, hereby certify that I have made a recent survey of the above described property as indicated, and that there are no above ground encroachments except as shown. I further certify that the survey represented herein meets the minimum standards of the Florida Board of Land Surveyors pursuant to section 472.027, Florida Statute to the best of my knowledge and belief.

resides to the east of my residence and was
Dated at Hollywood, Broward County, Florida, this 12th day of Dec
A.D. 1965

2014

Elevations shown are based on National Geodetic Vertical Datum.

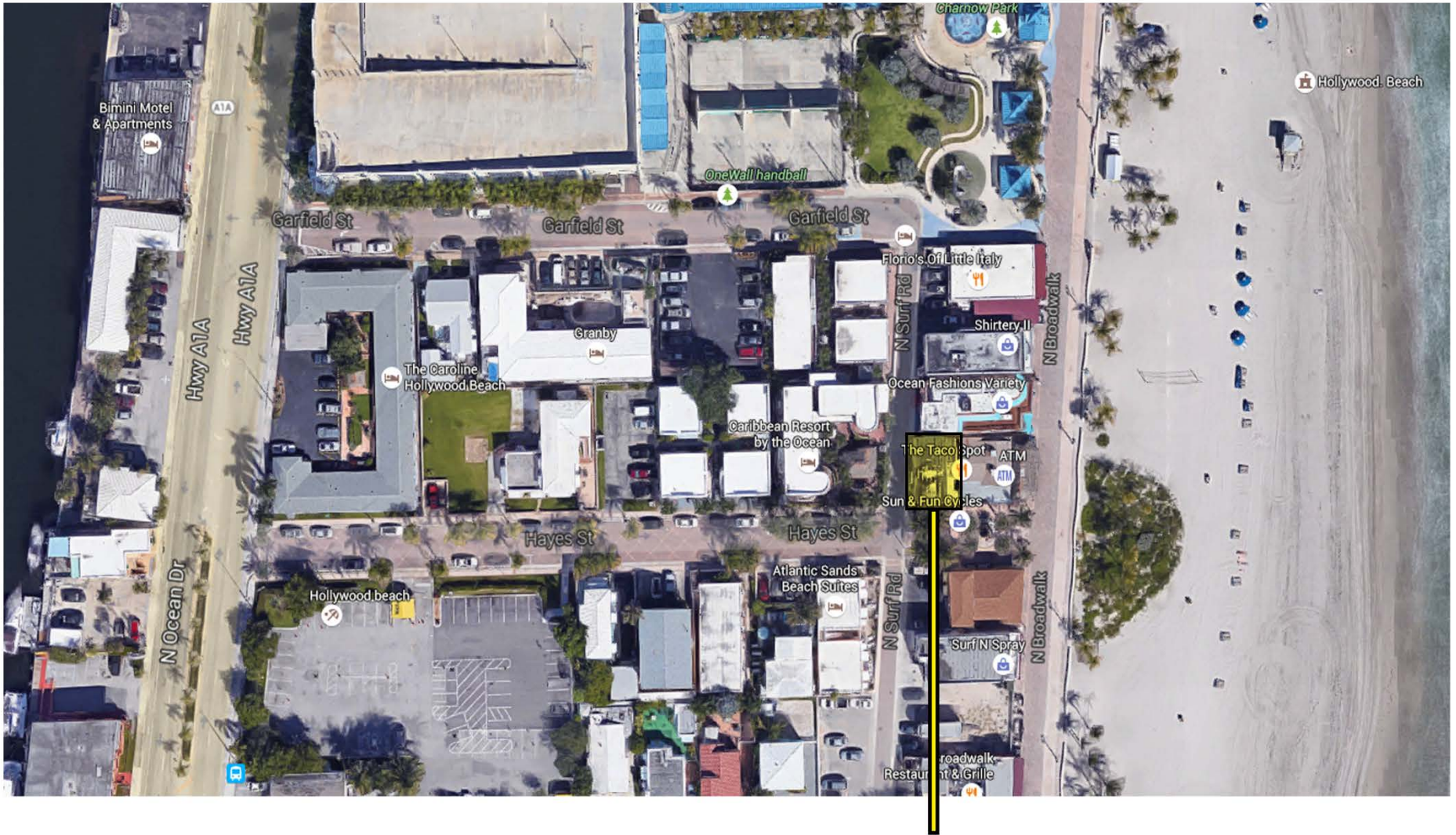
Maurice E. Berry
Maurice E. Berry
Registered Land Surveyor No. 1122
State of Florida

ORDERED BY SHS 3



17 Subject Property





**1500 N BROADWALK
HOLLYWOOD, FL 33019**



Adjacent Properties



NEIGHBORHOOD CONTEXT STUDY - EXISTING



1500 NORTH BROADWALK

PHOTO MONTAGE NOT TO SCALE

NEIGHBORHOOD CONTEXT STUDY - EXISTING



1500 NORTH BROADWALK

PHOTO MONTAGE NOT TO SCALE



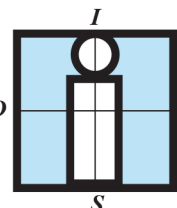
ARCH DETAIL COLOR: SW-7036 ACCESSIBLE BEIGE

CESAR STONE: NOCE - PORCELAIN TILE STACKED

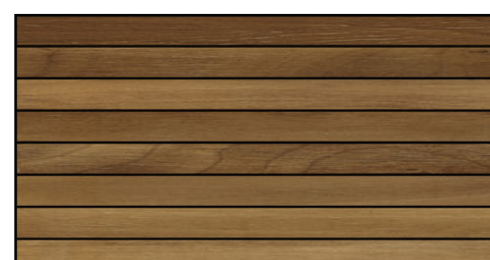
WINDOW FRAME COLOR: BRONZE

EYEBROW COLOR: PPU5-1 BEHR EXPRESSO BEANS

STUCCO COLOR: SW-7642 PAVERSTONE WITH 1/2" SCORELINE TO SIMULATE CONCRETE POURED IN SITU



IN-SITE DESIGN GROUP LLC
 Architecture + Design + Engineering
 1546 Jackson Street, Hollywood, FL 33020
 AA26001758
 954-921-5333
www.insitedesigngroup.com



WOOD SIMULATED
PORCELAIN TILE



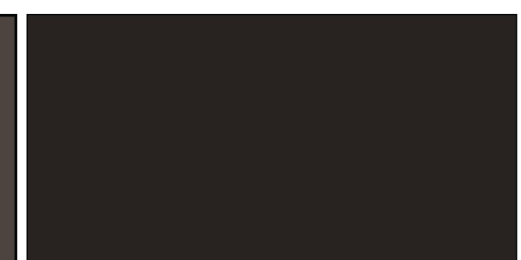
STUCCO COLOR:
SW-7642 PAVERSTONE



ARCH DETAIL COLOR:
SW-7036 ACCESSIBLE BEIGE



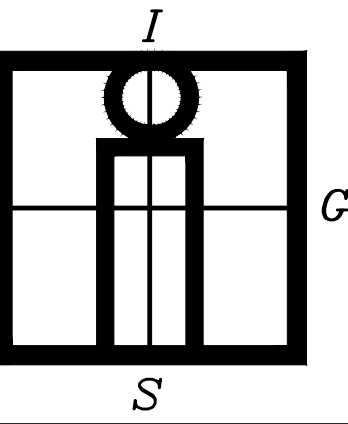
EYEBROW COLOR:
PPU5-1 EXPRESSO BEANS



WINDOW FRAME COLOR:
BRONZE ES WINDOWS

LOCATION/ TYPE	EXTERIOR COLORS AND VENEERS					
	EXTERIOR WALLS BASE	ARCH FEATURE/ UPPER FL	EYEBROW	WINDOWS & DOORS	TILE VENEER	LIGHTING
MATERIAL	STUCCO	STUCCO	STUCCO	ALUMINUM	PORCELAIN	EXTERIOR SCONCES
COLOR	PAVESTONE	ACCESSIBLE BEIGE	EXPRESSO BEANS	BRONZE	CAESAR LIFE	BRONZE
MANUF	SHERWIN WILLIAMS	SHERWIN WILLIAMS	BEHR	ES WINDOWS	NOCE NATURALE V2	ZANIBONI LIGHTING W2 KA3WL07
LABEL	SW7642	SW7036	PPU5-1	CLEAR GLASS COLOR	TROPICAL TILE & MARBLE	AM A 4 C WS E 0000W 7 WATT AMER LED LAMP

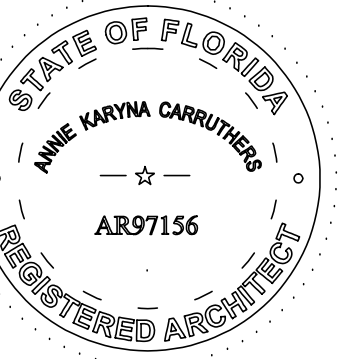
1500 North Broadwalk



IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET
HOLLYWOOD, FL 33020
INSITEDESIGNGROUP.COM
AA26001758
954 921 5333

ANNIE K. CARRUTHERS
ARCHITECT



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AND VERIFY ALL DIMENSIONS OF THE JOB AND
BE RESPONSIBLE FOR SAME. REPORTING ANY
DISCREPANCIES TO THE ARCHITECT BEFORE
COMMENCEMENT OF WORK. DRAWINGS ARE
NOT TO BE SCALED.

DEVELOPMENT NAME:
1500 N. BROADWALK

OWNER:
CHIKUITA PROPERTIES, LLC
ADDRESS:
1500 N. BROADWALK
HOLLYWOOD, FL 33019

DISTRIBUTION
MARCH-19-2018
PREAP MEETING
JULY-15-2019
PRELIMINARY TECHNICAL
ADVISORY COMMITTEE
SUBMITTAL
FILE NUMBER 18-CPV-41
SEPT-3-2019
FINAL TECHNICAL
ADVISORY COMMITTEE
SUBMITTAL
FILE NUMBER 18-CPV-41
MARCH-10-2020
HISTORIC
PRESERVATION BOARD
April 7, 2020

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1 INDEX

2 PROJECT TEAM

ARCHITECT
IN - SITE DESIGN GROUP, LLC.
1546 JACKSON STREET, HOLLYWOOD, FLORIDA 33020 (954) 921-5333 AA26001758 ANNIE CARRUTHERS ARCHITECT AR-97156
EMAIL ANNIE@INSITEDESIGNGROUP.COM

STRUCTURAL ENGINEER
PROJECT CLASSIC STRUCTURAL ENGINEERING
7318 TEXAS TRAIL, BOCA RATON FLORIDA 33487 TEL: 954-667-7803 FARID ABUGATTAS, P.E. 72471
EMAIL: PLANS@PROJECT CLASSIC.COM

MECHANICAL ELECTRICAL & PLUMBING ENGINEER
E + E CONSULTING ENGINEERING, INC
140 SOUTH DIXIE HWY TH-106, HOLLYWOOD FLORIDA 33020 954-566-9708 GUISEPPE NENDIANI PE #59435
ANDRESHOLLMANN@EE-CE.NET



3 LOCATION PLAN
SCALE : N.T.S.

REVISIONS

Date Of Issue
JAN-18-2020

COVER SHEET
A-0.1

PROJECT DATA

PROJECT: RENOVATION TO AN EXISTING COMMERCIAL STRUCTURE

SITE DATA

STATEMENT OF OWNERSHIP	CHIQUITA PROPERTIES LLC
ADDRESS	1500 N. BROADWALK HOLLYWOOD FLORIDA 33019
CONSTRUCTION CLASS (AS PER TABLE 601 F.B.C.)	TYPE IIA
PROJECT DESCRIPTION	GROUND FLOOR MERCANTILE AND THREE STORY RESTAURANT
TAX ID NUMBER	5142 12 01 0810
WATER/WASTEWATER SERVICE PROVIDER	CITY WATER AND CITY SEPTIC SYSTEM
SCOPE	THE RENOVATION OF AN EXISTING COMMERCIAL STRUCTURE ADDING TWO FLOORS AND ACCESSIBLE ROOF TOP TERRACE FOR A FUTURE RESTAURANT. BUILD OUT OF ALL FLOORS TO BE A VANILLA SHELL ONLY.
NET LAND AREA	3309.11 SF (.0759 ACRE)

USE AND OCCUPANCY

USE/OCCUPANCY TYPE	1ST FLOOR: MERCANTILE /RETAIL 2 THROUGH 4TH FLOOR: FUTURE RESTAURANT -(A OCCUPANCY)- AS PER SECTION 303 FBC PROPOSED BUILD OUT VANILLA SHELL - DEMOLITION UNDER SEPARATE PERMIT
ORIGINAL YEAR BUILT	1949/ 1948
EXISTING ADJ BLDG S.F.	3,492 SF PER TAX ROLL
LOT SIZE	41'-6" X 80'-0" (IRREGULAR)= 3,309.11 SF .0759 OF AN ACRE

ZONING

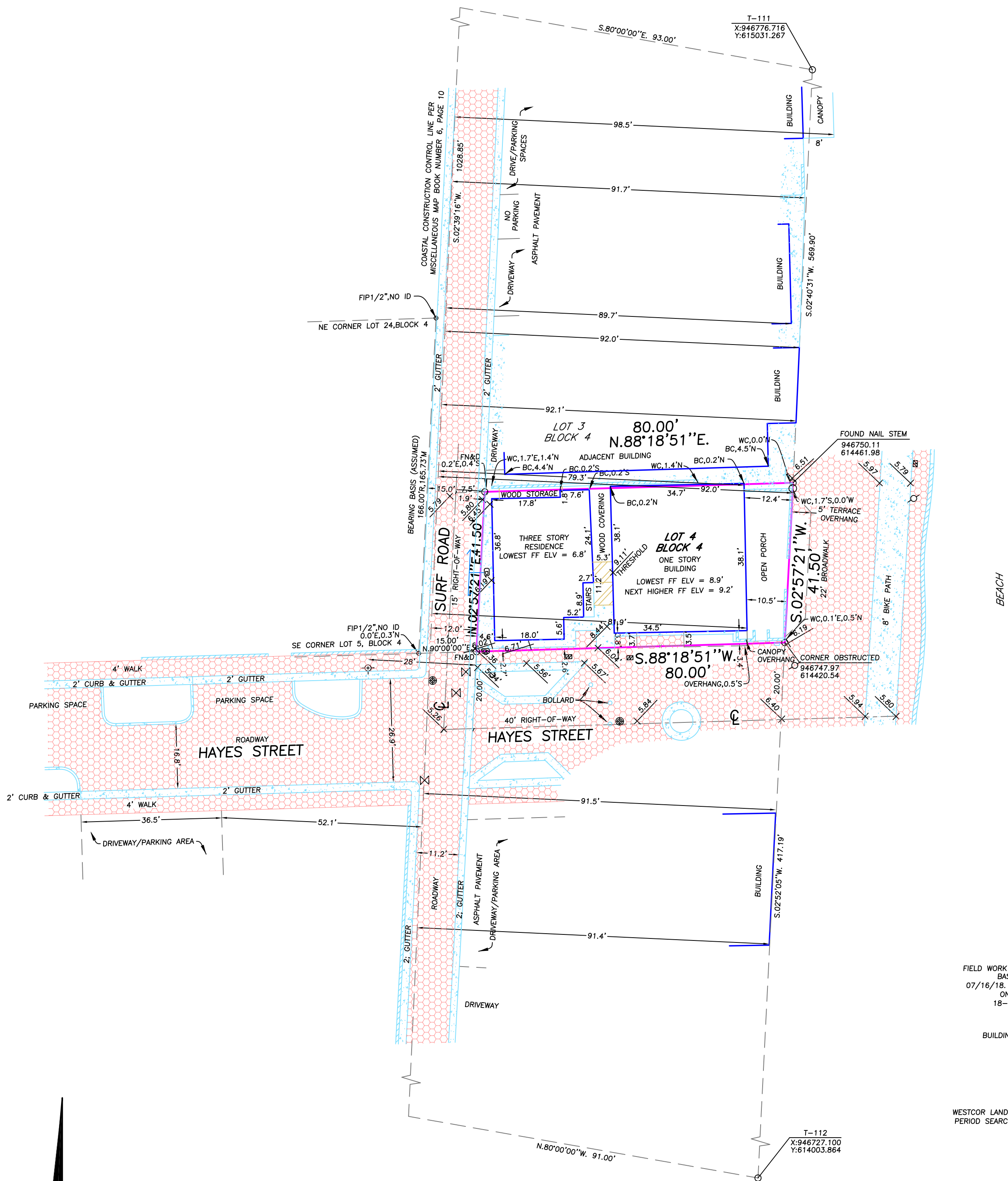
ZONING DISTRICT	BWK-25-HD-C
FEMA FLOOD ZONE	ZONE -VE-11/AE-9
REQUIRED BFE	+12'-0" NAVD 88
EXISTING/PROPOSED FINISHED FLOOR CROWN OF ROAD	6.8' NAVD 88 88 EXISTING TO REMAIN +5.79'
DIMENSION OF BUILDING LENGTH (PROPOSED STRUCTURE)	38'-7" WIDTH X 31'-10" DEPTH
DISTANCE BETWEEN BUILDINGS	SEE SURVEY
PROPOSED SIGNAGE	1500 SIGNAGE ON SOUTH AND EAST FACADE SUN AND FUN CYCLES SIGNAGE ON SOUTH FACADE EYEBROW. OWNER TO PROVIDE DETAILS

F.I.R.M. DATE: AUG-18-2014	FLOOD ZONE: VE-11/AE-9	BASE ELEVATION: 11
COMMUNITY 125113	PANEL NUMBER 0588	SUFFIX: H

LEGAL DESCRIPTION

HOLLYWOOD BEACH FIRST ADD 1-31 B LOT 4 BLOCK 4 ACCORDING TO THE PLAT THEREOF AS RECORDING IN PLAT BOOK 1 PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA

12/20/2019 5:28:34 PM



SURVEYOR'S NOTE:
FIELD WORK COMPLETED ON 07/31/18
BASED ON O&E REPORT DATED
07/16/18. O&E REPORT WAS UPDATED
ON 08/08/2018 (SEARCH NO.
18-39334) WITH NO ADDITIONAL
FINDINGS TO BE PLOTTED.

BUILDING DIMENSIONS TO FACIA OF
BUILDING WHERE EXISTING.

ABBREVIATIONS
FF = FINISH FLOOR
ELV = ELEVATION

O&E REPORT
WESTCOR LAND TITLE INSURANCE COMPANY
PERIOD SEARCHED: FROM 12/08/1934 TO
07/13/2018 @ 8:00 A.M.
PLANT ORDER# 18-39334
DATED: JULY 16, 2018
ITEM 1-8: NOT PLOTTABLE

LEGAL DESCRIPTION
LOT 4, BLOCK 4, "HOLLYWOOD BEACH FIRST
ADDITION", ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 1, PAGE 31, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CERTIFIED TO:
ANNA HUA

PROPERTY ADDRESS:
1500 N BROADWALK STREET
HOLLYWOOD, FL 33019

ALTA/NSPS LAND TITLE SURVEY
INVOICE # 32704CL3
UPDATED SURVEY DATE 09/27/17
UPDATED SURVEY DATE 06/11/18
UPDATED SURVEY DATE 07/31/18

FLOOD ZONE VE-11 / AE-9
MAP DATE 08/18/14
MAP NUMBER 125113 0588H

SURVEYOR'S NOTES
1. EROSION CONTROL LINE IS DEPICTED ON
SKETCH.
2. FOR CONTOURS OF 0.00', MEAN HIGH WATER
AND SEASONAL HIGH WATER SEE PROFILES
SHOWN ON ATTACHED PAGE.
3. THIS SKETCH ACCURATELY REFLECTS A FIELD
SURVEY WHICH COMPLIES WITH SECTION
62B-33.0081, FLORIDA ADMINISTRATIVE CODE.
4. THE ELEVATION OF THE SEASONAL HIGH WATER
LINE IS 2.97' NAVD 88(TIDE INTERPOLATION POINT
IDEN 112)
5. THE ELEVATION OF THE MEAN HIGH WATER
LINE IS 0.03' NAVD 88
(TIDE INTERPOLATION POINT IDEN 112)
6. THE COORDINATES SHOWN HEREON ARE STATE
PLANE COORDINATES. (NAD 83)
7. ELEVATIONS RUN FROM HOLLYWOOD
BENCHMARK
(BOARDWALK & MINNESOTA)
ELEVATION = 7.28' (NGVD 1929) AND CONVERTED
TO NAVD 88 USING "CORPSCON CONVERSION
PROGRAM".
8. GROSS LAND AREA = 3309 SQUARE FEET
MORE OR LESS. (0.076 ACRES MOR OR LESS)

SURVEYOR'S NOTES
1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR
EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF
RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS,
WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF
1988 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO
THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN
EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE LOCATION OF
THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL
AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE
UNLESS OTHERWISE NOTED.
10. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS
OR RIGHTS-OF-WAY, OTHER THEN THOSE SHOWN HEREON.

ABBREVIATIONS
BC BUILDING CORNER
BW BACK OF WALK
C CALCULATED
M MEASURED
N.T.S. NOT TO SCALE
OP OPEN PORCH
ORB OFFICIAL RECORDS BOOK
PC POINT OF CURVATURE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PG PAGE
PRC POINT OF REVERSE CURVE
PRM PERMANENT REFERENCE MONUMENT
PT POINT OF TANGENCY
E/F END OF FENCE
EP EDGE OF PAVEMENT
EW EDGE OF WATER
F/C FENCE CORNER
F/L FENCE LINE
FN FOUND NAIL
FN&D FOUND NAIL & DISC
FP&L FLORIDA POWER AND LIGHT
R RECORD
RAD RADIAL
SN&D SET NAIL & DISC # 5495
SP SCREENED PORCH
SP&C SET 1/2" PIN & CAP # 5495

LEGEND
CABLE JUNCTION BOX
CATCH BASIN
CLEAN OUT
CONTROL VALVE
ELECTRIC SERVICE
FIRE HYDRANT
FP&L PAD
GUY ANCHOR
MANHOLE
POOL EQUIPMENT
POWER/LIGHT POLE
SPRINKLER SYSTEM
WATER METER
WATER VALVE
WELL

BRICK PAVERS
CENTERLINE
CONCRETE/CHAT
CONCRETE WALL
ELEVATION
METAL FENCE
OVERHEAD WIRES
WOOD DECK/DOCK
WOOD FENCE

SURVEYOR'S CERTIFICATE
To: Chiquita Properties, LLC:
This is to certify that this map or plat and the
survey on which it is based were made in
accordance with the 2016 Minimum Standard
Detail Requirements for ALTA/NSPS Land Title
Surveys, jointly established and adopted by ALTA
and NSPS, and includes Items 1, 2, 3, 4, 7A, 8,
9, 11, 16, 17, 20 of Table A thereof. The field
work was completed on JULY 31, 2018.
Date of Plat or Map: AUGUST 01, 2018.

Paul J. Stowell
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 5241
ATLANTIC COAST SURVEYING, INC.
6129 STIRLING RD SUITE 2 DAVIE, FLORIDA 33314
OFFICE: 954.587.2100 FAX: 954.587.5418



ALTA/NSPS LAND TITLE SURVEY

HANDICAP ACCESSIBLE BUILDING ENTRY & ENTRANCE DOOR TO COMPLY W/FBC 2017 ACCESSIBILITY SECT 402 AND 405. ACCESSIBLE ROUTE NOT TO EXCEED 1:20 SLOPE. SEE DTL 6 SHT SP-1.3

MIN 36" WIDE ACCESSIBLE ROUTE FROM PEDESTRIAN SIDEWALK TO BUILDING ENTRANCE TO COMPLY W/FBC ACCESSIBILITY SECT 402, 405 AND 406 AS APPLICABLE. CONC CURB TO BE REMOVED

TRASH AND RECYCLE AREA. PROPOSED TRASH BINS TO BE LOCATED IN BUILDING. PROVIDE CONC PAD AT ALL EXTERIOR DOORS (TYP)

LOCATION OF TRASH PICK UP ON SURF.

LOCATION OF BACKFLOW PREVENTOR. SEE CIVIL DRAWINGS FOR DTLS.

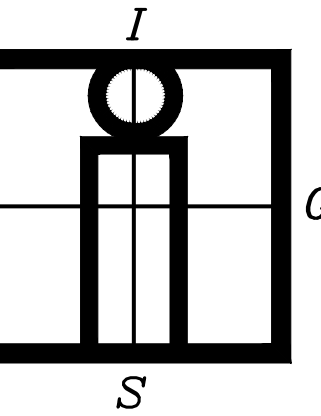
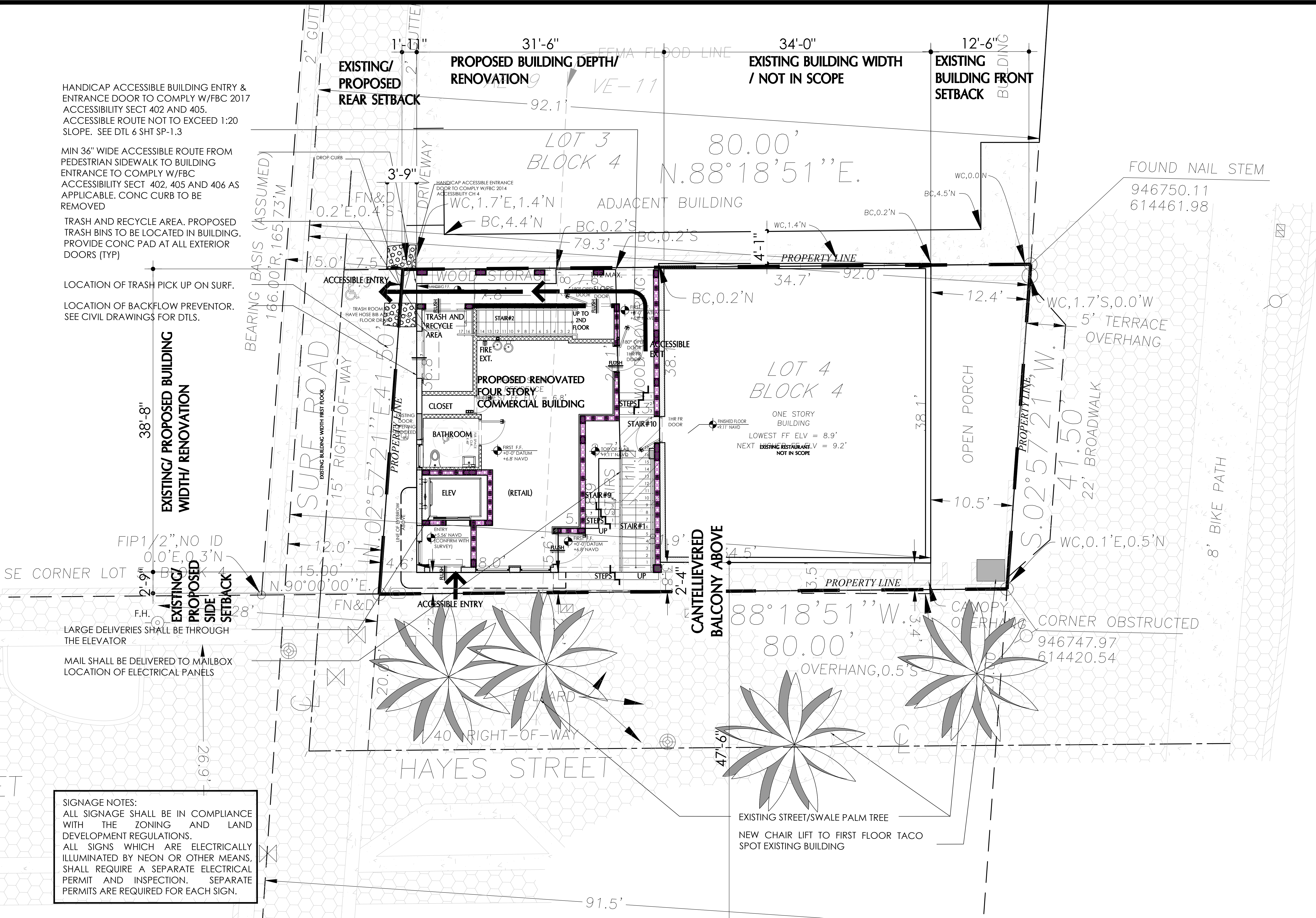
EXISTING/ PROPOSED BUILDING WIDTH/ RENOVATION

EXISTING/ PROPOSED SIDE SETBACK

LARGE DELIVERIES SHALL BE THROUGH THE ELEVATOR

MAIL SHALL BE DELIVERED TO MAILBOX LOCATION OF ELECTRICAL PANELS

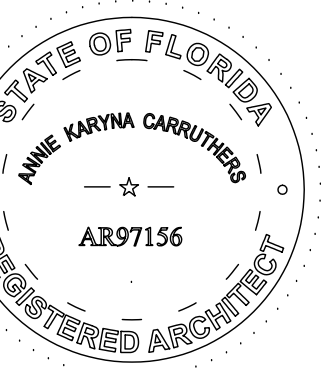
SIGNAGE NOTES:
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.
ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.



IN-SITE DESIGN GROUP LLC

1546 JACKSON STREET
HOLLYWOOD, FL 33020
IN-SITEDESIGNGROUP.COM
AA26001758
954 921 5333

ANNIE K. CARRUTHERS
ARCHITECT



SEAL
STATE OF FLORIDA LICENSE No AR-97156

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF IN-SITE DESIGN GROUP, LLC, AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IN-SITE DESIGN GROUP, LLC.

DEVELOPMENT NAME:
1500 N. BROADWALK

OWNER:
CHIKUITA PROPERTIES, LLC
ADDRESS:
1500 N. BROADWALK
HOLLYWOOD, FL 33019

DISTRIBUTION
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PREAP MEETING
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FILE NUMBER 18-CPV-41
MARCH-10-2020
HISTORIC PRESERVATION BOARD
April -7-2020

REVISIONS

Date Of Issue
JAN-18-2020

SITE PLAN
SP-1.2