

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: FEB 20 2020

Location Address: 1345 HOLLYWOOD BLVD
Lot(s): 3,4 Block(s): 9 Subdivision: HOLLYWOOD LAKES
Folio Number(s): 5142 14 01 1700

Zoning Classification: _____ Land Use Classification: _____
Existing Property Use: RESIDENTIAL Sq Ft/Number of Units: 2/3193 SQ.Ft.

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): MASTER PERMIT # B-18101146

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: PLASTER REPAIR AND REPLACEMENT TO AS CLOSE TO ORIGINAL AS POSSIBLE

Number of units/rooms: _____ Sq Ft: 3,000 SQ FT
Value of Improvement: 8,000.00 Estimated Date of Completion: JULY 2020
Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: HOLLYWOOD LAKES 1345 LLC.
Address of Property Owner: PO BOX 310686 MIAMI FL 33231
Telephone: 786-262-2003 Fax: _____ Email Address: BRAVO CAMINO@HOTMAIL.COM

Name of Consultant/Representative/Tenant (circle one): _____
Address: _____ Telephone: _____
Fax: _____ Email Address: _____

Date of Purchase: 11/22/17 Is there an option to purchase the Property? Yes () No ☒
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____
Email Address: FEB 24 2020

CITY OF HOLLYWOOD
PLANNING DIVISION

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: Feb/20/20

PRINT NAME: A. Nicolas Bravo - Camino

Date: Feb/20/20

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 20 day of February

Signature of Current Owner

Notary Public
State of Florida

Print Name

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
HOLLYWOOD LAKES 1345, LLC

Filing Information

Document Number L19000076293
FEI/EIN Number NONE
Date Filed 03/19/2019
Effective Date 03/12/2019
State FL
Status ACTIVE

Principal Address

16900 NE 19TH AVE
NORTH MIAMI BEACH, FL 33162

Mailing Address

PO BOX 310686
MIAMI, FL 33231

Registered Agent Name & Address

ESTEVEZ, MATTHEW
9600 NW 25TH STREET 2A
DORAL, FL 33172

Authorized Person(s) Detail

Name & Address

Title MGR

BRAVO, A. NICOLAS
PO BOX 310686
MIAMI, FL 33231

Annual Reports

No Annual Reports Filed

Document Images

03/19/2019 -- Florida Limited Liability

[View image in PDF format](#)

1345 Hollywood Blvd Historic Preservation Board Submittal

Interior and exterior remodeling 1345 Hollywood Boulevard

Address:

1345 Hollywood Boulevard, Hollywood Florida, 33019

Legal description:

Lot 3 and 4, Block 9, HOLLWYWOOD BY THE SEA HOLLYWOOD LAKES SECTION, according to the Plat thereof, recorded in Plat Book 1, pages(s) 32 of the public records of Broward County, Florida.

Scope of work:

Interior demolition and reconfiguration of inside rooms
Remodel and install new bathrooms fixtures
Remodel and install new kitchen cabinets
Partial demolition and repair of outer walls
Re-plaster outside
Install new windows and doors
Install new fencing
Install new pool paver decking

JOB CARD

OWNER GLASSO		JOB ADDRESS 1345 HOLLYWOOD BLVD	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	F.C. \$ 20.00	VALUATION \$ 500.00

DESCRIPTION OF CONSTRUCTION FUMIGATION	☐ SEPTIC TANK ☐ SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	108579	3-13-87	TERMITE & FUMIGATION	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING, NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$.20

JOB CARD

OWNER

Lewis C. Glasso, Inc.

JOB ADDRESS

1345 Hwd. Blvd.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

CCC014822

FEE

\$10.00

VALUATION

\$900.00

DESCRIPTION OF CONSTRUCTION

Re-roof, B.U.

☐ SEPTIC TANK
☐ REMED. TANK

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 650	76316	7-13-82	Jarboe Bfg.	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREED			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County surcharge: \$.32

JOB CARD duplicate

OWNER Glassco	JOB ADDRESS 345 Hollywood Blvd.
-------------------------	---

LEGAL DESCRIPTION	LOT NUMBER 3 and 4	BLK 9	SUBDIVISION OR ADDITION Red. Laken Section
-------------------	------------------------------	-----------------	--

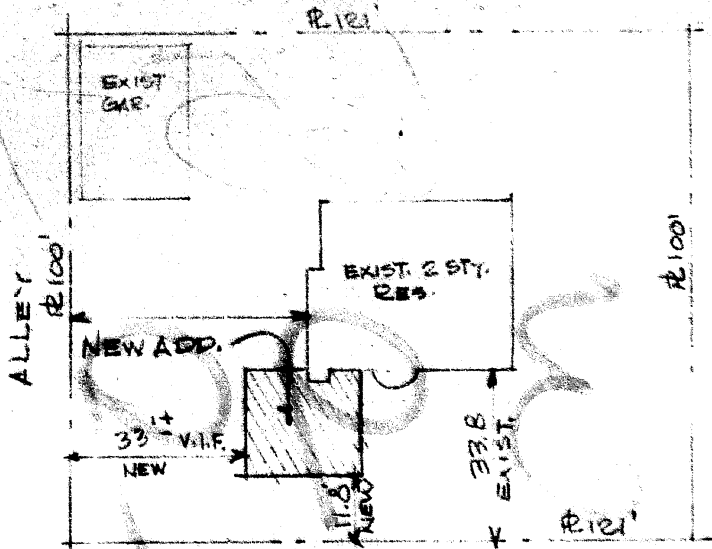
MICROFILM NO. 79-6349	ARCHITECT	FEE \$	VALUATION \$ 7119.00
---------------------------------	-----------	------------------	--------------------------------

DESCRIPTION OF CONSTRUCTION addition (family room)	☐ SEPTIC TANK ☐ SEWER TANK
--	---

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	2143	3-20-72	Deane & Son	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. F.I.R.			POOL			
C-P-DRY WALL				DRIVWAY			
FENCE				PATH, P.C. WALK			

NOTES:

FILM #79 (0399)

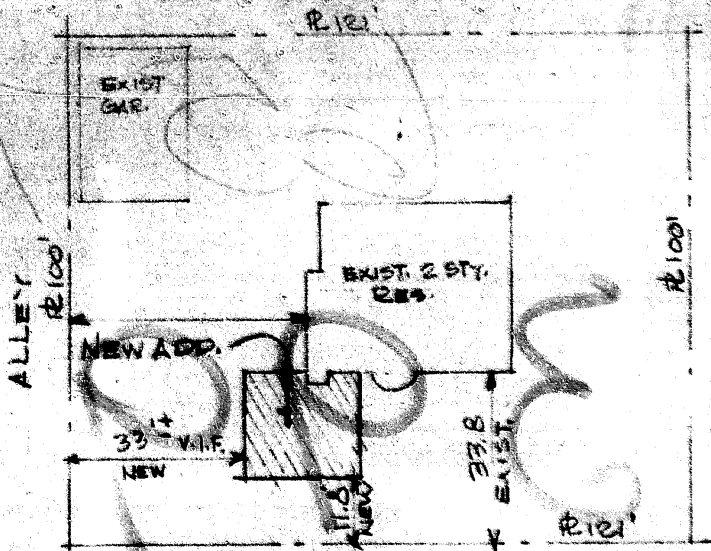


HOLLYWOOD BLVD

legal

lot 3 & 4 of block 2
Hollywood Lakes Sub.

SITE PLAN 1" = 30'



HOLLYWOOD BLVD.

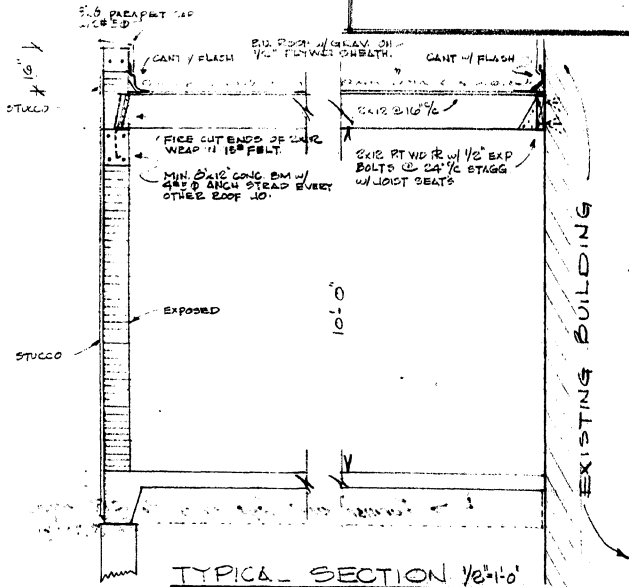
North

Legal

lot 3 & 4 of block 9
Hollywood Lakes Sub.

SITE PLAN 1"=30'

Крупинский



EX. 12
LEADER

Page 7

4x10 D.S.

STUCCO

6'-10"
(TYP.)



STUCCO

10'-0"

WEST ELEVATION 1/4"=1'-0"

CONSTRUCTION NOTES

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

ELBC. CONTR. TO ADD 2 ADD'L LT. CIES VERIFY W/ EXIST. PANEL.

TOP OF FINISH

STUCCO



SOUTH ELEV. 1/8"=1'-0"

ADDITION TO RESIDENCE
for
MR. GLASSO

Manfred M. Ungaro

drawn

date
3-13-72

MANFRED M. UNGARO

ARCHITECT

CORRIG: 130
7218

SHEET 7.2
lot 1

0-33

EXIST. RES.

12'-0" V.L.R.

FAMILY RM.

PROVIDE WATER FOR
PUT. B.C. SINK.

D.S.

14'-0"

2'-0"

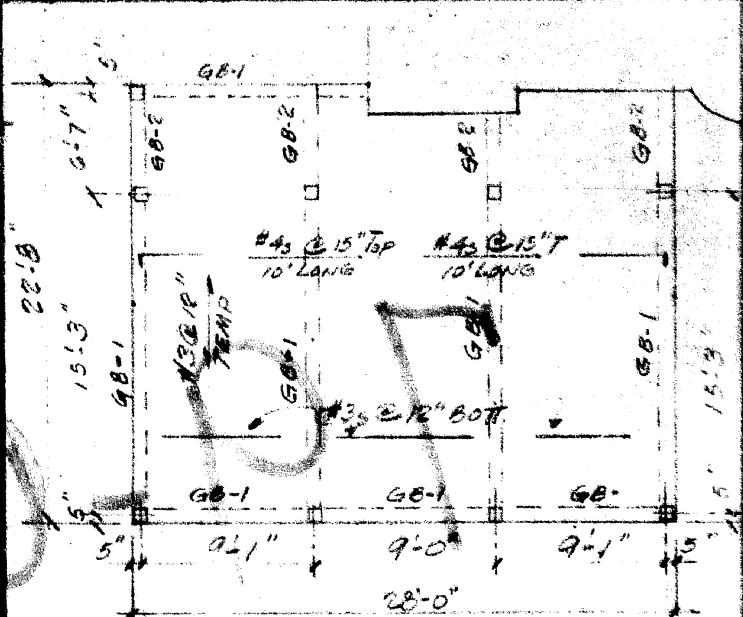
14'-0"

28'-0"

11'-0"

2'-0"

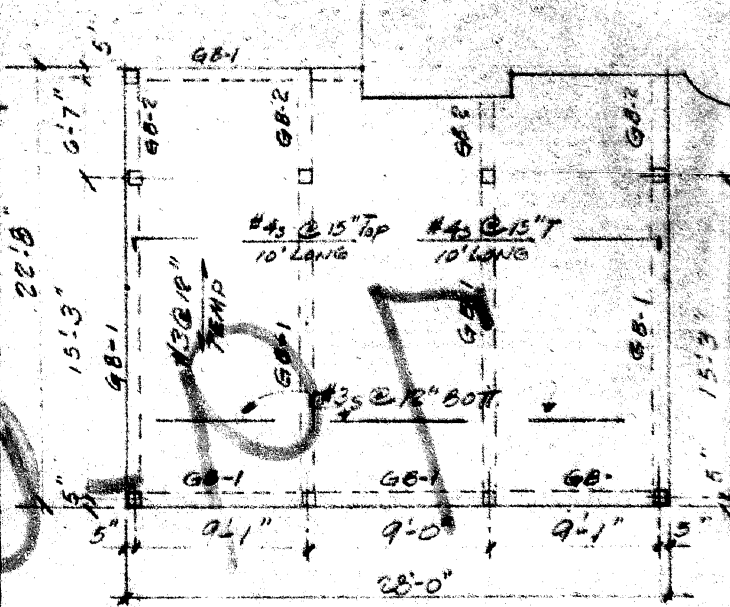
FLOOR PLAN 1/4"=1'-0"



PILING - GB - 1 FL SL. PLAN 1/8" = 1'-0"

- GB-1 0" x 20" DR. w/ 2 #6s TOP & BOT
- GB-2 SAME AS GB-1, ADD 2 #7s 14' LONG OVER TOP STL.; ADD #3 @ 12" THEN- OUT CANT. 8".

PILE: 10" x 10" PRECAST CONCL.



PILING - GB - FL SL. PLAN. 1/8" = 1'-0"

- GB-1 10" x 20" DR. W/ 2# 6s TOP & BOT
- GB-2 SAME AS GB-1, ADD 2# 7s 14' LONG OVER TOP STL., ADD #3s @ 12" THRU-OUT CANT. 8M.

PILE: 10" x 10" PRECAST CONCL.

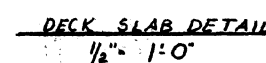
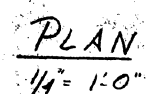
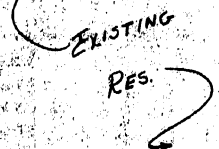
JOB CARD duplicate

OWNER Louis Glasco		JOB ADDRESS 1345 Hollywood Blvd.	
LEGAL DESCRIPTION	LOT NUMBER 3 and 4	BLOCK 9	SUBDIVISION OR ADDITION Hollywood Lakes Section
MICROFILM NO. 79-0258	ARCHITECT	FEE \$	VALUATION \$ 3500.00
DESCRIPTION OF CONSTRUCTION Pool			☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL 1443/	8184	10-13-72	Glasco
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

REV.	NO.	DATE	BY	DESCRIPTION
CUSTOMER: LETT GLASSO				
LOCATION: 1745 HOLLYWOOD BL. D. HOLLYWOOD, FLA.				
DWG BY: ELB			DATE: 9-1-72	
÷ ENGINEERS ÷				
W.R. SHELTON & ASS'CS.				
P.O. BOX 521, HOLLYWOOD, FLA. 334				



- POOL DATA -	
PERIMETER	150 L.R.
AREA	450 S.F.
CAPACITY	14,343.75 GALL.

PUMP: 306 P.M. - 45' T.D.
 TANK: 18 IN. (132,400 G.M.)
 PROVIDING: 1/2" 306 P.M.
 BRONZE 75' T.D.N.
 [PER S.R.C. 5008.5 (9)]

REV.	NO.	DATE	BY	DESCRIPTION
				CUSTOMER: LEAF GLASSO
				LOCATION: 1345 HOLLYWOOD BLVD HOLLYWOOD, FLA.
			DWG BY: ELB	DATE 9-13-72
				÷ ENGINEERS ÷
				WR: SHELTON & ASSOC'S.

JOB CARD

OWNER P. Glasso		JOB ADDRESS 1345 Hollywood Boulevard	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 7 00	VALUATION \$ 950

DESCRIPTION OF CONSTRUCTION ro roof - tar and gravel	☐ SEPTIC TANK ☐ SEWER TAP
---	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 500	57925	11/7/79	Jarboe Rfg	AIR CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCYED			
PLUMBING NO. FIX.				POOL			
L-P-DRY YALL				DR VEMAY			
FENCE				RATIO OF VALL			

NOTES: county surcharge \$.35

**9 permits were found for
1345 HOLLYWOOD BLVD**

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B18-101146	ALTERATIONS- EXTERIOR & INTERIOR	2/14/2018	
Details		B9608244	RE-ROOF (COMBINATION OF TYPES)		11/20/1996
Details		B9601762	RE-ROOF-FLAT		3/19/1996
Details		P9301308	GAS PIPING		10/21/1993
Details		P18-101383	PLUMBING WORK		
Details		M18-100856	A/C CENTRAL (NEW)		
Details		E18-100529	ELECTRICAL WORK		
Details		B18-103638	PAVING		
Details		B18-103637	FENCE-CHAIN LINK &/OR WOOD		

Permit Search Results

> Properties located at/on/near '...1345 Hollywood Blvd...'

**12 permits were found for
1345 HOLLYWOOD BLVD**

View	<u>Process #</u>	<u>Permit #</u>	<u>Description</u>	<u>Appl. Date</u>	<u>Permit Date</u>
Details		E18-100529	ELECTRICAL WORK	2/11/2020	2/11/2020
Details		B19-104086	REROOF - COMBINATION OF TYPES	6/19/2019	7/29/2019
Details		M18-100856	A/C CENTRAL (NEW)	11/8/2018	11/8/2018
Details		B18-103638	PAVING	11/8/2018	11/8/2018
Details		B18-103637	FENCE-CHAIN LINK &/OR WOOD	11/8/2018	11/8/2018
Details		B18-101146	ALTERATIONS- EXTERIOR & INTERIOR	2/14/2018	11/8/2018
Details		B9608244	RE- ROOF(COMBINATION OF TYPES)		11/20/1996
Details		B9601762	RE-ROOF-FLAT		3/19/1996
Details		P9301308	GAS PIPING		10/21/1993
Details		P18-101383	PLUMBING WORK		
Details		B19-104143	LANDSCAPING - TREE PLANTING		
Details		B19-104142	LANDSCAPING - TREE REMOVAL		

**HISTORIC LAKES DISTRICT
MULTIPLE PROPERTY RESOURCE LISTING**

**1345 HOLLYWOOD BOULEVARD
LOCAL HISTORIC SITE**



LEGAL DESCRIPTION

1345 Hollywood Boulevard
Section 14, Township 51, Range 42
Block 9, Lots 3 & 4
Hollywood Lakes Section

City of Hollywood, Florida

Mara Giuliani, Mayor
Richard S. Blattner, Vice Mayor
Cathleen A. Anderson, Commissioner
Kenneth Gottlieb, Commissioner
Eleanor Sobel, Commissioner

Samuel A. Finz, City Manager
Jamie A. Cole, City Attorney

PLANNING AND ZONING ADVISORY BOARD

Patricia Asseff
Robin Berman
Brenda Chalifour
Mitchell Fogel
Mark Glansberg
Howard Glass
Jeffery Gross
Jonathan S. Marcus
Steve Werthman

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James Orr
Christopher Ryan
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Jud Kurlancheek, Director
Cathy Woodbury, Supervising Planner
Wanda R. Washam, GIS Coordinator
Denise Delaine, Board Secretary
Madelyn Novembre, Board Secretary

Archival information provided by:
The Hollywood Historical Society Inc.

Report and Photographs prepared and compiled by
Jane S. Day, Susan P. Krassy and Teresa Van Dyke for
Research Atlantica, Inc. 1995

This project or publication has been financed in part with historic preservation grant assistance provided by the National Park Service U.S. Department of the Interior, administered through the Bureau of Historic Preservation, Division of Historical Resources, Florida Department of State, assisted by the Historic Preservation Advisory Council. However, the contents and opinion do not necessarily reflect the views and opinions of the Department of the Interior or the Florida Department of State, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of Interior or the Florida Department of State. This program receives federal financial assistance for identification and protection of historic properties. Under Title VI of the Civil Acts of 1964 and Section of 504 of the Rehabilitation Act of 1973, the U. S. Department of the Interior prohibits discrimination on the basis of race, color, national origin or handicap in its federally assisted programs. If you believe you have been discriminated against in any program, activity, or facility as described above, or if you desire further information, please write to: Office for Equal Opportunity, U.S. Department of the Interior, Washington, D.C. 20240.

**Recommendation for Historic Site Consideration
Broward County Historical Commission
October 1, 1991**

NAME OF SITE:

ADDRESS OR LOCATION: 1345 Hollywood Blvd., Hollywood

FUNCTION: Residential

BRIEF DESCRIPTION: 2-story Mediterranean Revival residence

CONSTRUCTION DATE: c. 1930

OWNERSHIP (public/private): private

PREVIOUS LISTING: Florida Master Site File

CRITERIA (explanation, where applicable):

Architectural: Described on Florida Master Site File form as a
"good example of a large Mediterranean Revival
residence with picturesque architectural influences."

RECOMMENDATION:

This building deserves a high priority for historic designation and preservation.

1345 Hollywood Boulevard Local Historic Site

Statement of Significance:

The house at 1345 Hollywood Boulevard is a good example of Mediterranean Revival style architecture built in Hollywood, Florida during the Boom years of the 1920s. Nationwide the style was popular in California, Arizona, Texas, and Florida particularly after it was widely publicized in the 1915 Panama-California Exposition in San Diego. In Hollywood, the style was common in the early development of the Historic Lakes District as laid out by Joseph W. Young.

Architecturally, 1345 Hollywood Boulevard has many of the characteristics of the style found in a two story example. The exterior of the house is covered with a rough stucco finish. The roof is multi-leveled. Some areas are flat, other are shed and a front facing gable forms a major design feature. Except for the flat area which is built up tar and gravel, the rest of the roof is covered with clay tile, painted white. Scuppers add interest.

Many windows in the house have been altered since the structure was built during the 1920s. Fixed plate glass, a sliding patio door and jalousie windows are visible from the right of way. The central window on the front of the house has an arched top and is surrounded by cast stone details. A two bay front porch extends from the south facade and is entered from the east. To the east of the house, a small outbuilding, probably first a garage stands at the rear of the lot. This building also has the pediment roof and scuppers that are typical of the style.

Although there have been some alterations to the property since the 1920s, 1345 Hollywood Boulevard retains its architectural integrity and deserves full protection and preservation.

Criteria for Designation:

Under the City of Hollywood Landmarks Preservation Ordinance, 5.1 Historic Preservation and Historic District Regulations, 1345 Hollywood Boulevard meets the following criteria:

(D.3.a.) "Integrity of location, design, setting, materials, workmanship, and association." See cover "Multiple Resource Listing" for history of the Historic Lakes District. 1345 Hollywood Boulevard also meets the criteria because of the architectural integrity of the buildings.

(D.3.b.) 1. "Associations with events that have made a significant contribution to the broad pattern of our history." See "Multiple Resource Listing" for the importance of the development of the Hollywood Lakes District in J.W. Young's original plan.

(D.3.b.) 3. "Embodiment of the distinctive characteristics of a type, period, or method of construction." 1345 Hollywood Boulevard embodies the characteristics of the Mediterranean Revival style of architecture in a two story private dwelling. It is representative of the Boom Years of the 1920s in Hollywood-by-the-Sea.



South east corner of 1345 Hollywood Boulevard.
Note outbuilding to the rear of the property.

RECOMMENDATION

Based upon the information in this report, it is recommended that the City amend the Zoning and Land Development Regulation to create:

1. A Historic Multiple Resource Listing Overlay District for the Lakes Area.
2. A Local Historic Overlay District for Harrison and Tyler Street.
3. Designate the below properties as local Historic Sites:

1055 Hollywood Boulevard	Young House
817 Tyler Street	Fountain Court Apartments
501 N. 14 Avenue	The Women's Club
902 Hollywood Boulevard	
1345 Hollywood Boulevard	
840 Hollywood Boulevard	
4. Areas Subject to Review: All building elevations and public/semi-public interior areas.
5. Review Guidelines: The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation of Historic Building, as amended, be the standards for review of projects in the above districts (see 1-3 above).

English Español Français									
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STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
DS-1000-0000 Rev. 3.75

FLORIDA MASTER SITE FILE
Site Inventory Form FDAHFM 802 =
1009 =

(FORMER) Arthur Spiegel Residence Site No. 830 = Survey Date 2008 820 =
Site Name 1345 Tyler Street Hollywood, Florida 905 =
Address of Site on the N. side of Tyler St. between 13th and 14th Ave.
Instruction for locating Hollywood Lakes Section 1-37 B 10 3, 4, 5 813 =
Location: 808 =
County: Broward 808 =
Owner of Site: Name: F.T. and Elizabeth Gladpe
Address: 1345 Tyler Street
Hollywood, Florida 33020 902 =
Type of Ownership Private 848 = Recording Date 832 =
Recorder: Name & Title: Marilyn Kemper, Director
Address: Historic Broward County Preservation Board
1900 Tyler Street Hollywood, Florida 33020 818 =
Condition of Site: Integrity of Site: Original Use Residence 836 =

Check One Check One or More
☐ Excellent 863 = ☐ Altered 856 = Present Use Residence 850 =
☒ Good 862 = ☐ Unaltered 858 = Dates: Beginning 1926 844 =
☐ Fair 861 = ☒ Original Site 858 = Culture/Phase American 840 =
☐ Deteriorated 863 = ☐ Restored: 1) Date 1956 = Period Twentieth Century 845 =
☐ Moved: 1) Date 1856 =

NR Classification Category: Building 916 =
Threats to Site:
Check One or More
☐ Zoning: 1) 1878 = ☐ Transportation: 1) 1878 =
☐ Development: 1) 1878 = ☐ Flood: 1) 1878 =
☐ Deterioration: 1) 1878 = ☐ Damage: 1) 1878 =
☐ Bombing: 1) 1878 =
X Other (See Remarks Below) Unknown 878 =

Areas of Significance: Historical, Other, Streetscape 910 =

Significance: HISTORICAL:
HOLLYWOOD AND DANIA CITY DIRECTORY AND GUIDE 1933 page 15:
According to this publication, Arthur Spiegel was retired. His summer home was in Shelbyville, Indiana.
c1926: As indicated on "Building Cards, Broward County Property Appraiser's Office."
OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.
STREETSCAPE: One of a series of residences on Tyler St. between 10th and 16th Ave. Establishes a definite character, but the sites are too dispersed to form a district. However, neighborhood conservation is recommended.
911 =

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2600 Hollywood Boulevard, Hollywood, Florida 33020-4807
P. O. Box 229045, Hollywood, Florida 33022-9045
Ph. 954-921-3474

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STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, Records
and Historical Management
DEVELOP DATA

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
1009 ==

Site No. 800 ==
Survey Date 8008 800 ==

Site Name 1345 Hollywood Boulevard Hollywood, Florida 905 ==

Address of Site: 1345 Hollywood Boulevard Hollywood, Florida 905 ==

Instruction for locating: On the N. side of Hollywood Blvd. between 13th and 14th Ave. 813 ==

Location: Hollywood Lakes Section 1-32 B 9 3,4 868 ==

County: Broward 808 ==

Owner of Site: Name: Patricia L. Glasco 33020 902 ==

Address: 1345 Hollywood Boulevard Hollywood, Florida 33020 902 ==

Type of Ownership Private 848 == Recording Date 832 ==

Recorder: Name & Title: Marilyn Kemper, Director 818 ==

Address: Historic Broward County Preservation Board 1900 Tyler Street Hollywood, Florida 33020 838 ==

Condition of Site: Integrity of Site: Original Use Residence 850 ==

Check One: ☒ Excellent 863 == ☐ Good 863 == ☐ Fair 863 == ☐ Determined 863 ==

Check One or More: ☒ Altered 858 == ☐ Unaltered 858 == ☒ Original Site 858 == ☐ Relocated (Date: Y 1998) 858 == ☐ Moved (Date: Y 1998) 858 ==

Present Use Residence 850 ==

Dates: Beginning 71930 844 ==

Culture/Phase American 840 ==

Period Twentieth Century 845 ==

NR Classification Category: Building 916 ==

Threats to Site: Check One or More: ☒ Zoning Y 1878 == ☐ Development Y 1878 == ☐ Demolition Y 1878 == ☐ Borrowing Y 1878 == ☐ Transportation Y 1878 == ☐ Fire Y 1878 == ☐ Dredge Y 1878 ==

Other (See Remarks Below): Unknown 876 ==

Areas of Significance: Historical, Streetscape, Architectural 910 ==

Significance: HISTORICAL: HUMBERT'S 1945 CITY DIRECTORY OF HOLLYWOOD, FLORIDA. According to this publication, A. Clyde Crissel, President of Speath Glass Company, was homeowner of this property.

STREETSCAPE: One of a series of residences on Hollywood Blvd. between 8th and 16th Ave. Establishes a definite character, but the sites are too dispersed to form a district. However, neighborhood conservation is recommended.

See additional Statement of Significance attached.

911 ==

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 2600 Hollywood Boulevard, Hollywood, Florida 33020-4807
 P. O. Box 229045, Hollywood, Florida 33022-9045
 Ph. 954-921-3474

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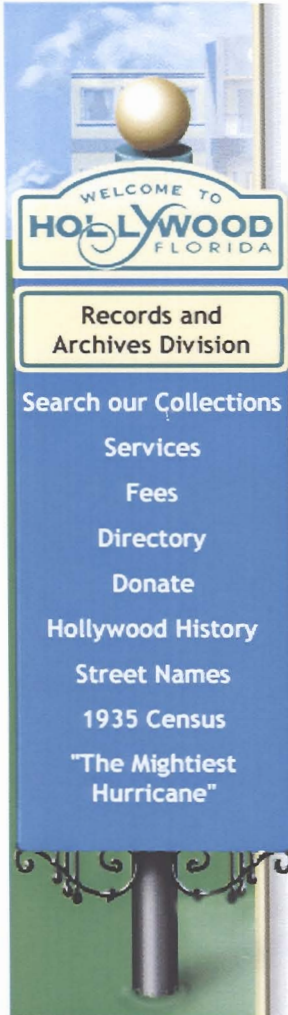
ARCHITECT: Unknown 872 = =
 BUILDER: Unknown 874 = =
 STYLE AND/OR PERIOD: Mediterranean Revival 964 = =
 PLAN TYPE: Irregular: unknown 966 = =
 EXTERIOR FABRIC(S): Stucco: unknown 854 = =
 STRUCTURAL SYSTEM(S): Wood frame: unknown 856 = =
 PORCHES: S/1-story entrance porch, 2 bays, accessed from the S.
 FOUNDATION: Piling: unknown 942 = =
 ROOF TYPE: Flat, built-up with parapet 942 = =
 SECONDARY ROOF STRUCTURE(S): Gable, shed 942 = =
 CHIMNEY LOCATION: NA 942 = =
 WINDOW TYPE: Jalousie, metal, grouped, with awnings 942 = =
 CHIMNEY: NA 882 = =
 ROOF SURFACING: Built-up, tile 882 = =
 ORNAMENT EXTERIOR: Concrete, metal 882 = =
 NO. OF CHIMNEYS: Unknown 952 = = NO. OF STORIES: 2 950 = =
 NO. OF DORMERS: None 954 = =
 Map Reference (incl. scale & date): USGS Ft. Lauderdale South, Fla. 7.5 Min. 1962 (1969) 809 = =
 Latitude and Longitude: 800 = =
 Site Size (Approx. Acreage of Property): LT 1 833 = =
 LOCATION SKETCH OR MAP: N
 Township: 51 S Range: 42 E Section: 14 812 = =
 UTM Coordinates:
 17 585540 2877060 890 = =
 Photographic Records Numbers: R7/E33 860 = =

Contact Print

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1345 HOLLYWOOD BLVD.

Statement of Significance (use continuation sheet if necessary)

ARCHITECTURAL: Good example of a large Mediterranean Revival residence with picturesque architectural influences including irregular massing Spanish Clay tile roof, exterior loggia, rough stucco wall finish, and precast concrete ornamentation and areas.

911

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 P. O. Box 229045, Hollywood, Florida 33022-9045
 Ph. 954-921-3474

1345 Hollywood Blvd Historic Preservation Board Submittal

Interior and exterior remodeling 1345 Hollywood Boulevard

Design Criteria Historic Property:

Existing Structure of 3193 Sq. Ft. is being remodeled to match it's inception as much as possible, there are no additions to the outside structure.

Repair and replacement of outside plater

Meets section 4.3.1. "Design Criteria"

- a. Use of contemporary designs compatible with the character and mod of the building or neighborhood.
- b. Compatible in materials, texture and color.
- c. Protection of architectural details and features that contribute to the character of the building.

Existing windows to be replaced with hurricane impact (NOA) windows and entry doors.

Meets Sec. 5.1.3 "accessory Building" recommended items

- a. Replacement of NOA windows and doors designs compatible with the character of the building
- b. Changes in size are inconspicuously installed in compatibility with the character of the building



1355 Hollywood Boulevard (West side)



1343 Hollywood Boulevard (East side)



1350 Hollywood Boulevard (South side)

HOLLYWOOD RESIDENCE: REMODELING

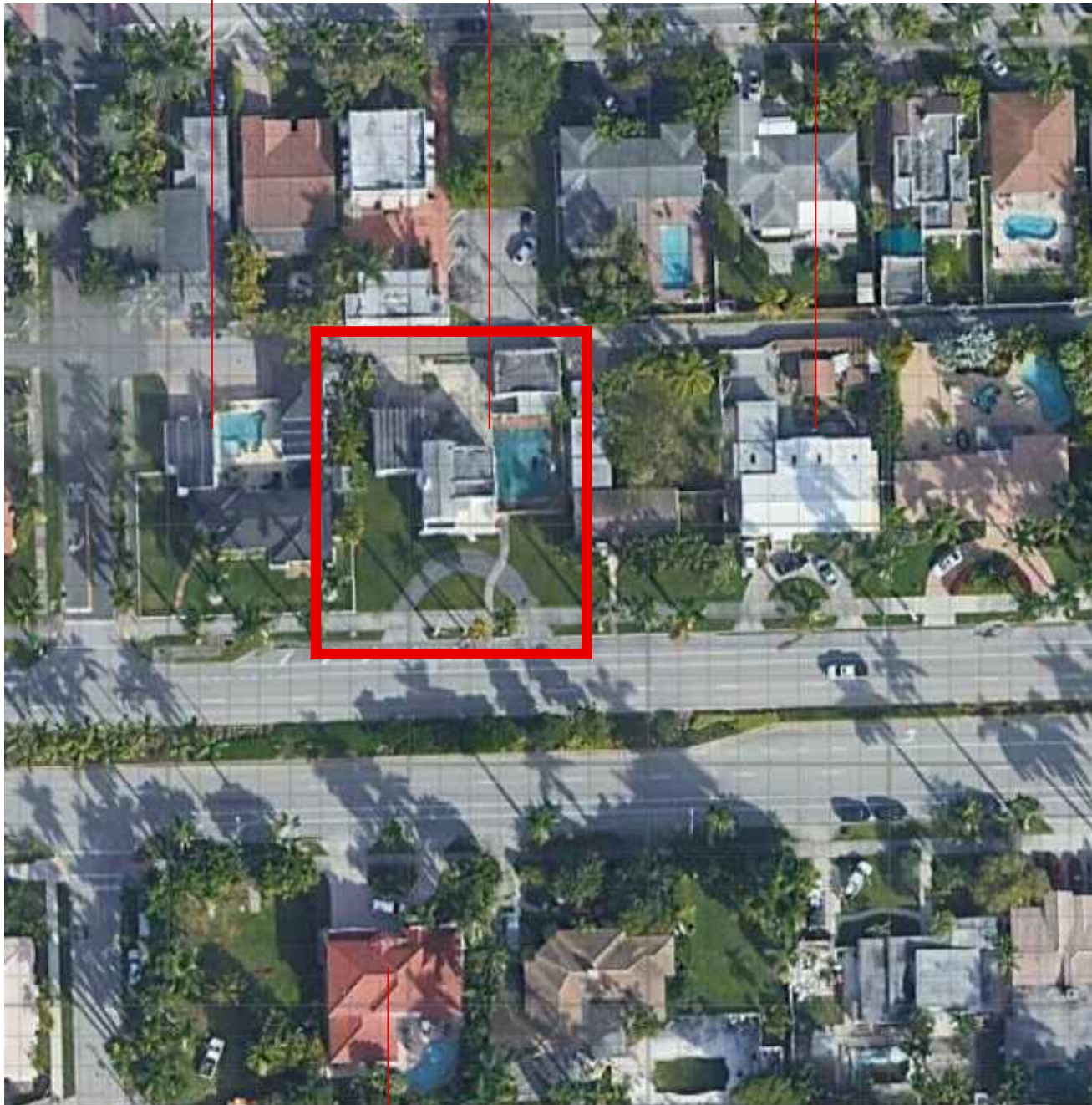
1345 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019 / FOLIO: #5142-14-01-1700



DRAWING INDEX

- 000 COVER SHEET
 - D-1 DEMOLITION PLAN MAIN HOUSE
 - D-2 DEMOLITION PLAN GUEST HOUSE
 - A-1 PROPOSED FLOOR PLAN - FIRST FLOOR
 - A-2 PROPOSED FLOOR PLAN - SECOND FLOOR
 - A-3 PROPOSED FLOOR PLAN - GUEST HOUSE
 - A-4 EXTERIOR ELEVATIONS - MAIN HOUSE
 - A-5 EXTERIOR ELEVATIONS - GUEST HOUSE
 - A-6 STREET PROFILE AND ELEVATIONS
 - A-7 EXISTING SITE PLAN
 - A-8 PROPOSED SITE PLAN
-
- DB-200 EXTERIOR RENDERINGS
 - DB-201 EXTERIOR RENDERINGS
 - DB-202 EXTERIOR RENDERINGS - FINISHES

1355 HOLLYWOOD BLVD PROJECT SITE
1345 HOLLYWOOD BLVD 1343 HOLLYWOOD BLVD



1350 HOLLYWOOD BLVD

HISTORIC PRESERVATION BOARD SUBMITTAL

OWNER
HOLLYWOOD LAKES 1345, LLC

ARCHITECTURE:
Reinaldo A. Gomez
AR# 0013736

16047 SW 68 ST.
Miami, Florida 33193

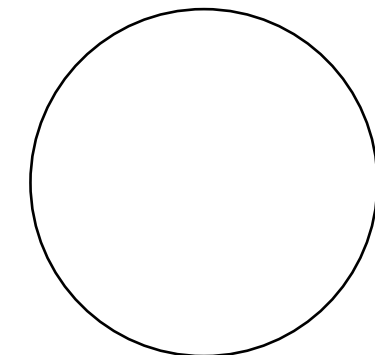
Phone: 786-261-9551

RAG

Reinaldo A. Gomez
Architect
AR# 0013736

16047 SW 68 ST.
Miami, Florida 33193

Phone: 786-261-9551

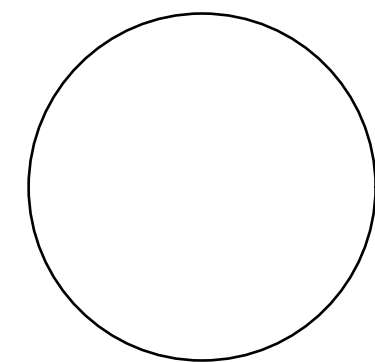


REVISIONS

02.29.2020	ADJUSTMENTS BASED ON MEETING WITH HISTORIC BOARD
03.07.2020	ADJUSTMENTS BASED ON MEETING WITH HISTORIC BOARD

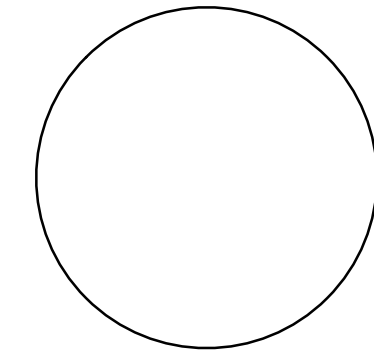
HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019

RENOVATION



COVER

DATE:	PREPARED BY:	REVIEWED BY:
03-07-20	RG	RG
SHEET:	OF:	
000	10	

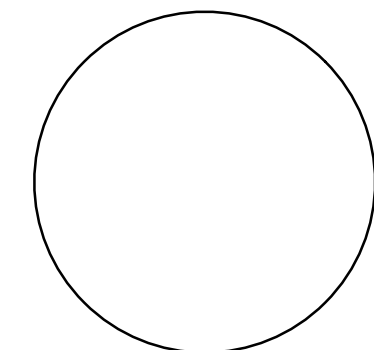


REVISIONS

- 02.29.2020 ADJUSTMENTS BASED ON MEETING WITH HISTORIC BOARD
- 02.29.2020 ADJUSTMENTS BASED ON MEETING WITH HISTORIC BOARD
- 03.13.2020 ADJUSTMENTS BASED ON HISTORIC BOARD NEW COMMENTS

HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019

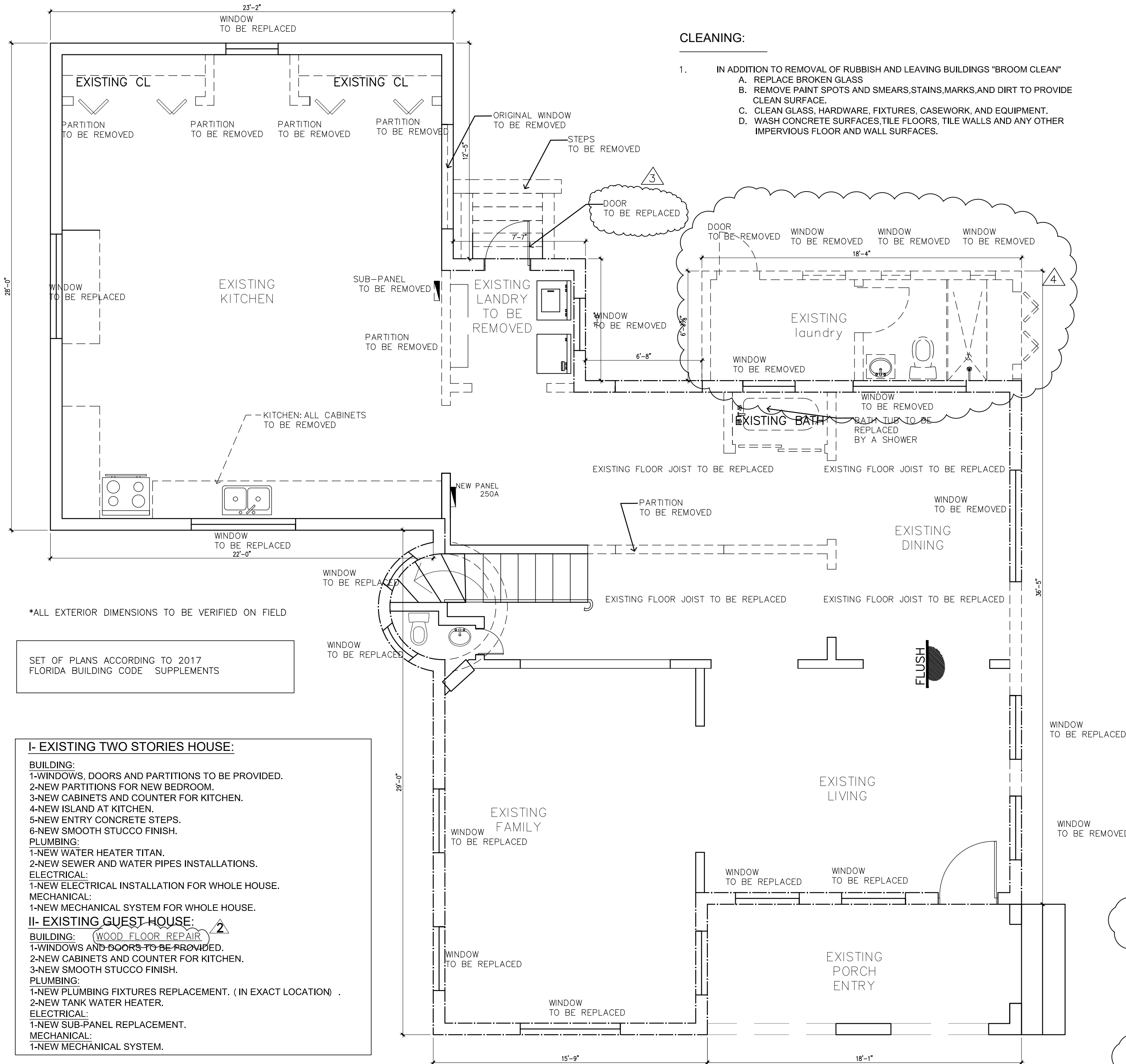
RENOVATION



EXISTING &
DEMOLITION PLAN
MAIN HOUSE

DATE: 03-15-20 PREPARED BY: RG REVIEWED BY: RG

SHEET: D-1 OF: 10



FLOOR PLAN FIRST FLOOR (DEMOLITION)

SCALE: 1/4"=1'-0"

EXISTING CONDITIONS:

EXISTING WORK NOT SPECIFIED FOR REMOVAL THAT IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY REMOVAL WORK SHALL BE REPAIRED, PATCHED, OR REPLACED.

PROVIDE BARRIERS AND WARNING DEVICES TO PROTECT THE PUBLIC AND USERS OF ADJACENT FACILITIES.

INSPECT EXISTING CONDITIONS OF THE WORK, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR TO MOVEMENT DURING CUTTING AND PATCHING. AFTER UNCOVERING WORK, INSPECT CONDITIONS AFFECTING INSTALLATION OF PRODUCTS OR PERFORMANCE OF WORK.

REPORT UNSATISFACTORY OR QUESTIONABLE CONDITIONS TO A/E IMMEDIATELY. DO NOT PROCEED WITH THE WORK UNTIL A/E HAS EVALUATED AND PROVIDED FURTHER INSTRUCTIONS.

PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ENSURE STRUCTURAL INTEGRITY OF THE WORK.

THE CONTRACTOR SHALL PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF THE WORK FROM DAMAGE. PROVIDE PROTECTION FROM ELEMENTS FOR PORTIONS OF THE WORK EXPOSED BY CUTTING AND PATCHING WORK. EXECUTE CUTTING AND DEMOLITION BY METHODS PREVENTING DAMAGE TO OTHER WORK AND PROVIDING PROPER SURFACES TO RECEIVE INSTALLATION OF NEW WORK.

REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTIONS, TOLERANCES, AND FINISHES.

EXISTING WORK MAY BE CUT, ALTERED, REMOVED, OR TEMPORARILY REMOVED AND REPLACED AS NECESSARY FOR THE PERFORMANCE OF WORK REQUIRED. EXCEPTION: UNLESS OTHERWISE INDICATED ON DRAWINGS, DO NOT CUT OR ALTER STRUCTURAL MEMBERS WITHOUT AUTHORIZATION BY THE A/E.

THE CONTRACTOR SHALL COVER OR FILL ALL HOLES AND OTHER HAZARDOUS OPENINGS CREATED BY REMOVAL WORK.

RESTORE DAMAGED OR DEFACED AREAS OR ITEMS, REMAINING IN PLACE, OF WORK PERFORMED UNDER THIS CONTRACT TO COMPARABLE CONDITIONS EXISTING BEFORE THE WORK.

DEMOLITION:

- ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN.
- DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS COVERING THESE OPERATIONS. FEES SHALL BE PAID BY THE CONTRACTOR.
- DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT DEMOLITION SITE FROM BEING AN "ATTRACTIVE NUISANCE".
- PERFORM REMOVAL WORK INDICATED ON DRAWINGS IN AN ORDERLY MANNER ACCORDING TO ACCEPTED CONSTRUCTION. PROTECT WORK SPECIFIED TO REMAIN. PROTECT ADJACENT AREAS FROM DAMAGE OR UNDUCE DIRT AND DUST. WET DOWN DEBRIS OR RUBBISH, IF NECESSARY, TO MINIMIZE FLYING DUST.

ENVIRONMENTAL PROTECTION:

- CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE ALLOWED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- TRAFFIC MAINTENANCE: CONDUCT REMOVAL OPERATIONS TO MAINTAIN TRAFFIC ALONG EXISTING STREETS AND WALKS. KEEP PAVED STREETS AND WALKWAYS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MATERIALS INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. USE METHODS APPROVED BY A/E BEFORE BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST IS NOT ALLOWED.



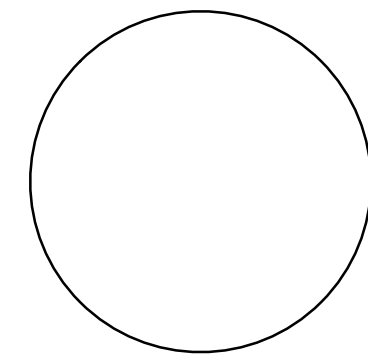
FLOOR PLAN SECOND FLOOR (DEMOLITION)

SCALE: 1/4"=1'-0"

*ALL EXTERIOR DIMENSIONS TO BE VERIFIED ON FIELD

NOTES:

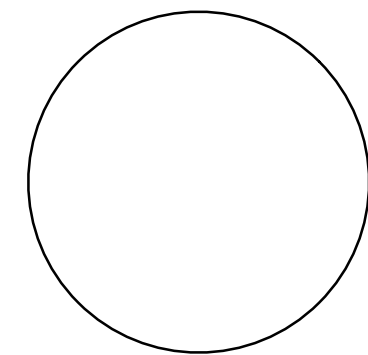
- ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE, 2014 EDITION AND ALL LOCAL ORDINANCES GOVERNING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SAFETY RELATED O.S.H.A. REQUIREMENTS DURING CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED BY A LICENSED AND INSURED STATE CERTIFIED GENERAL CONTRACTOR OR BY THE OWNER IF APPROVED BY THE LOCAL BUILDING DEPARTMENT OFFICIAL.
- ALL WINDOWS USED SHALL HAVE DADE COUNTY PRODUCT APPROVAL.
- SECONDARY MEANS OF ESCAPE SHALL CONFORM TO N.F.P.A. 22-2.1.2.C. WINDOWS USED AS SECOND MEANS OF ESCAPE MUST PROVIDE A CLEAR OPENING (WHEN FULLY OPENED) OF NOT LESS THAN TWENTY INCHES (20") IN WIDTH, TWENTY FOUR INCHES (24") IN HEIGHT AND 5.7 SQUARE FEET IN AREA; AND THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN FORTY FOUR INCHES (44") OFF THE FLOOR.
- WOOD TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ARCHITECT'S APPROVAL PRIOR TO TRUSS FABRICATION. WOOD TRUSSES SHALL BE DESIGNED BY A FLORIDA REGISTERED P.E.



REVISIONS

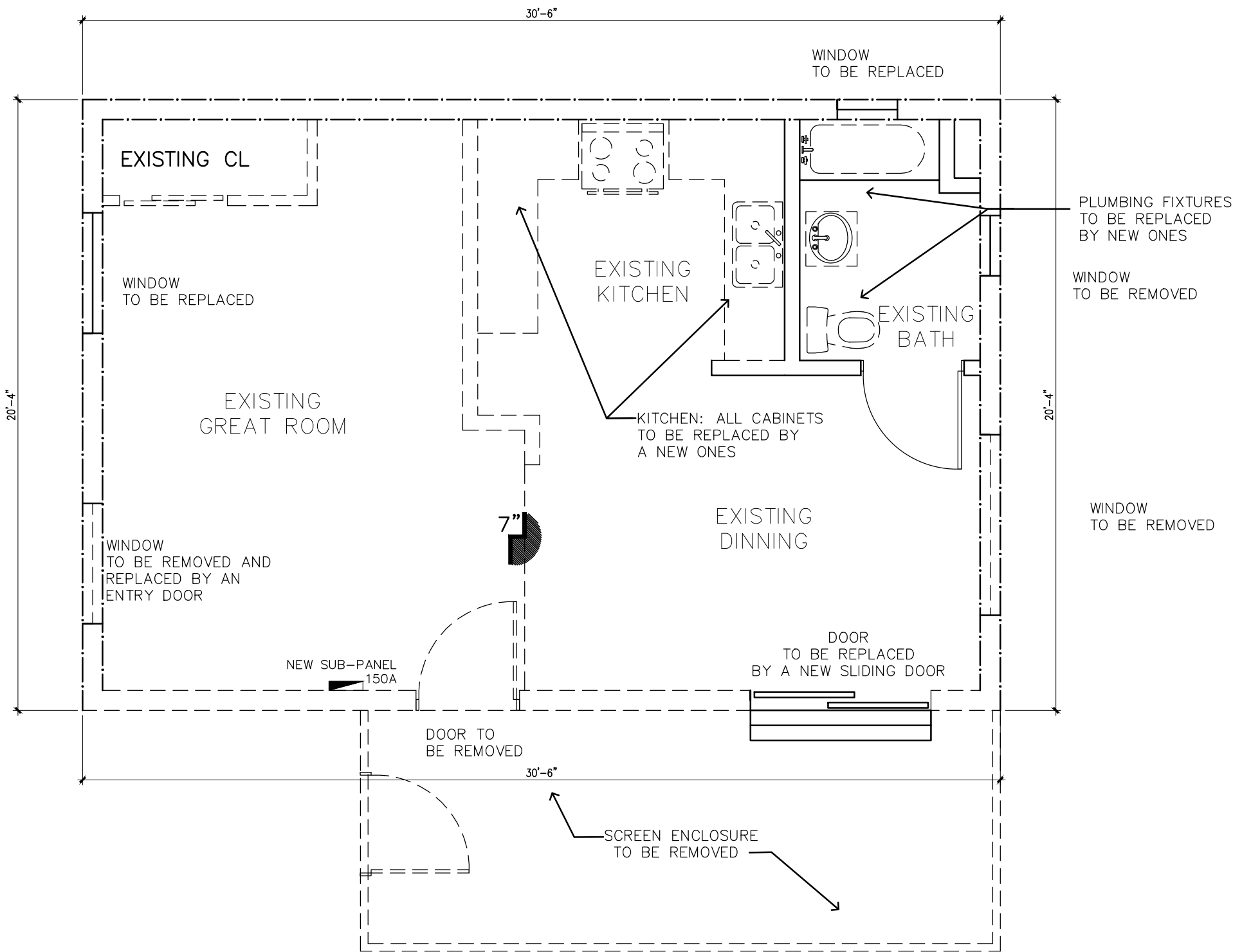
△	03.13.2020 ADJUSTMENTS BASED ON HISTORIC BOARD NEW COMMENTS

HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019
RENOVATION



EXISTING &
DEMOLITION PLAN
GUEST HOUSE

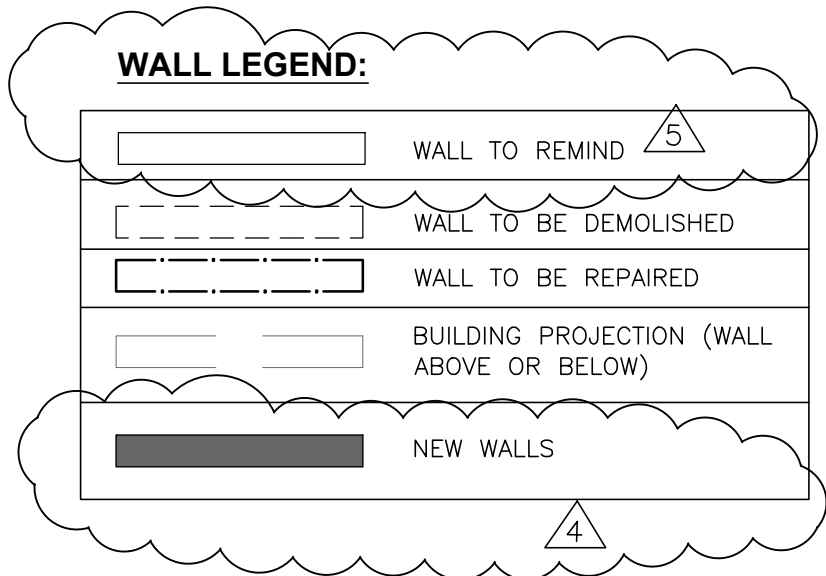
DATE: 03-15-20	PREPARED BY: RG	REVIEWED BY: RG
SHEET: D-2	OF: 10	



FLOOR PLAN GUEST HOUSE (DEMOLITION)

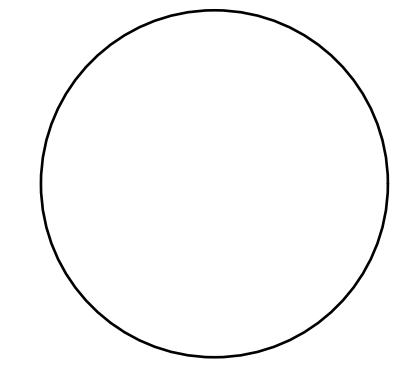
SCALE: 1/4"=1'-0"

*ALL EXTERIOR DIMENSIONS TO BE VERIFIED ON FIELD



- I- EXISTING TWO STORIES HOUSE:
- BUILDING:
1-WINDOWS, DOORS AND PARTITIONS TO BE PROVIDED.
2-NEW PARTITIONS FOR NEW BEDROOM.
3-NEW CABINETS AND COUNTER FOR KITCHEN.
4-NEW ISLAND AT KITCHEN.
5-NEW ENTRY CONCRETE STEPS.
6-NEW SMOOTH STUCCO FINISH.
PLUMBING:
1-NEW WATER HEATER TITAN.
2-NEW SEWER AND WATER PIPES INSTALLATIONS.
ELECTRICAL:
1-NEW ELECTRICAL INSTALLATION FOR WHOLE HOUSE.
MECHANICAL:
1-NEW MECHANICAL SYSTEM FOR WHOLE HOUSE.
- II- EXISTING GUEST HOUSE:
- BUILDING: (WOOD FLOOR REPAIR)
1-WINDOWS AND DOORS TO BE PROVIDED.
2-NEW CABINETS AND COUNTER FOR KITCHEN.
3-NEW SMOOTH STUCCO FINISH.
PLUMBING:
1-NEW PLUMBING FIXTURES REPLACEMENT. (IN EXACT LOCATION)
2-NEW TANK WATER HEATER.
ELECTRICAL:
1-NEW SUB-PANEL REPLACEMENT.
MECHANICAL:
1-NEW MECHANICAL SYSTEM.

SET OF PLANS ACCORDING TO 2017 FLORIDA
BUILDING CODE SUPPLEMENTS

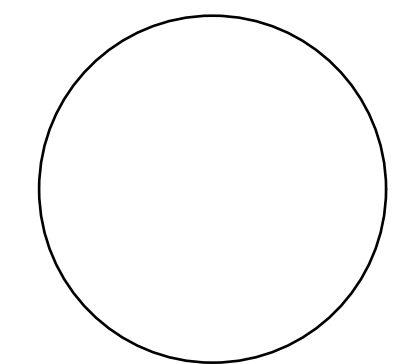


REVISIONS

- 03.07.2020 ADJUSTMENTS BASED ON MEETING WITH HISTORIC BOARD
- 03.13.2020 ADJUSTMENTS BASED ON HISTORIC BOARD COMMENTS

HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019

RENOVATION



PROPOSED
FIRST FLOOR

DATE: 03-14-20 PREPARED BY: RG REVIEWED BY: RG

SHEET: A-1 OF: 10

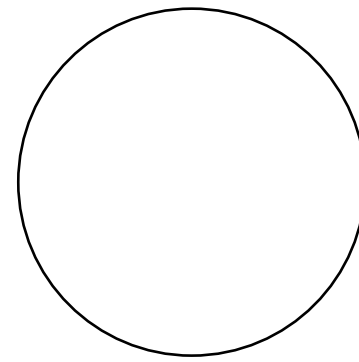


WALL LEGEND:

	WALL TO REMIND
	WALL TO BE DEMOLISHED
	WALL TO BE REPAIRED
	BUILDING PROJECTION (WALL ABOVE OR BELOW)
	NEW WALLS

2

1

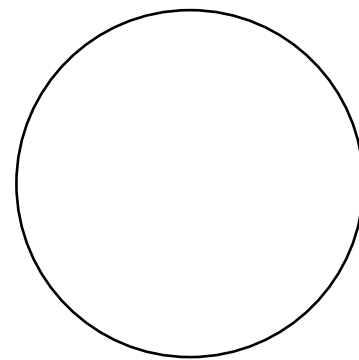


REVISIONS

03.07.2020 ADJUSTMENTS BASED ON MEETING WITH HISTORIC BOARD

03.13.2020 ADJUSTMENTS BASED ON HISTORIC BOARD COMMENTS

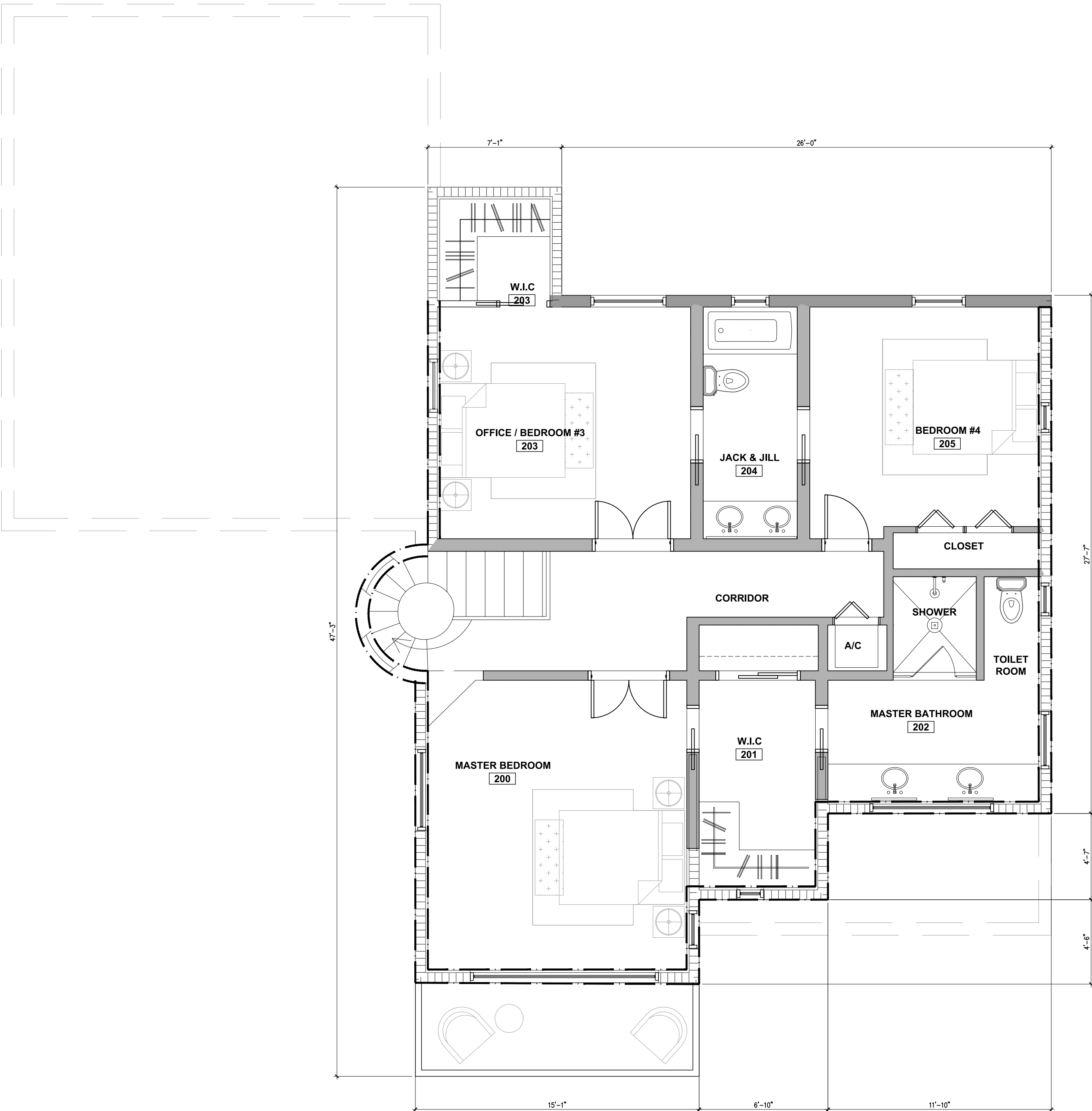
HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019
RENOVATION



PROPOSED
SECOND FLOOR

DATE: 03-14-20 PREPARED BY: RG REVIEWED BY: RG

SHEET: A-2 OF: 10

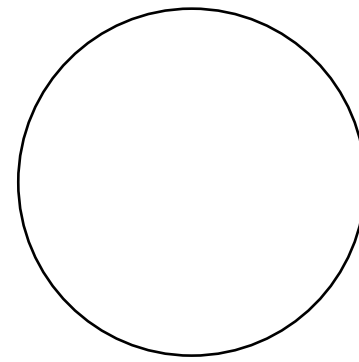


WALL LEGEND:

	WALL TO REMIND
	WALL TO BE DEMOLISHED
	WALL TO BE REPAIRED
	BUILDING PROJECTION (WALL ABOVE OR BELOW)
	NEW WALLS

2

1

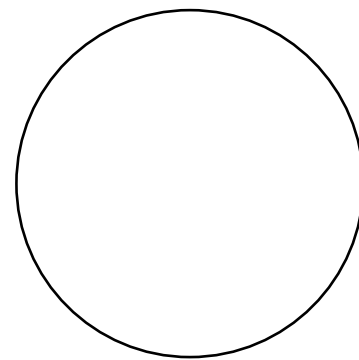


REVISIONS

03.07.2020 ADJUSTMENTS BASED ON
MEETING WITH HISTORIC BOARD

03.13.2020 ADJUSTMENTS BASED ON
HISTORIC BOARD COMMENTS

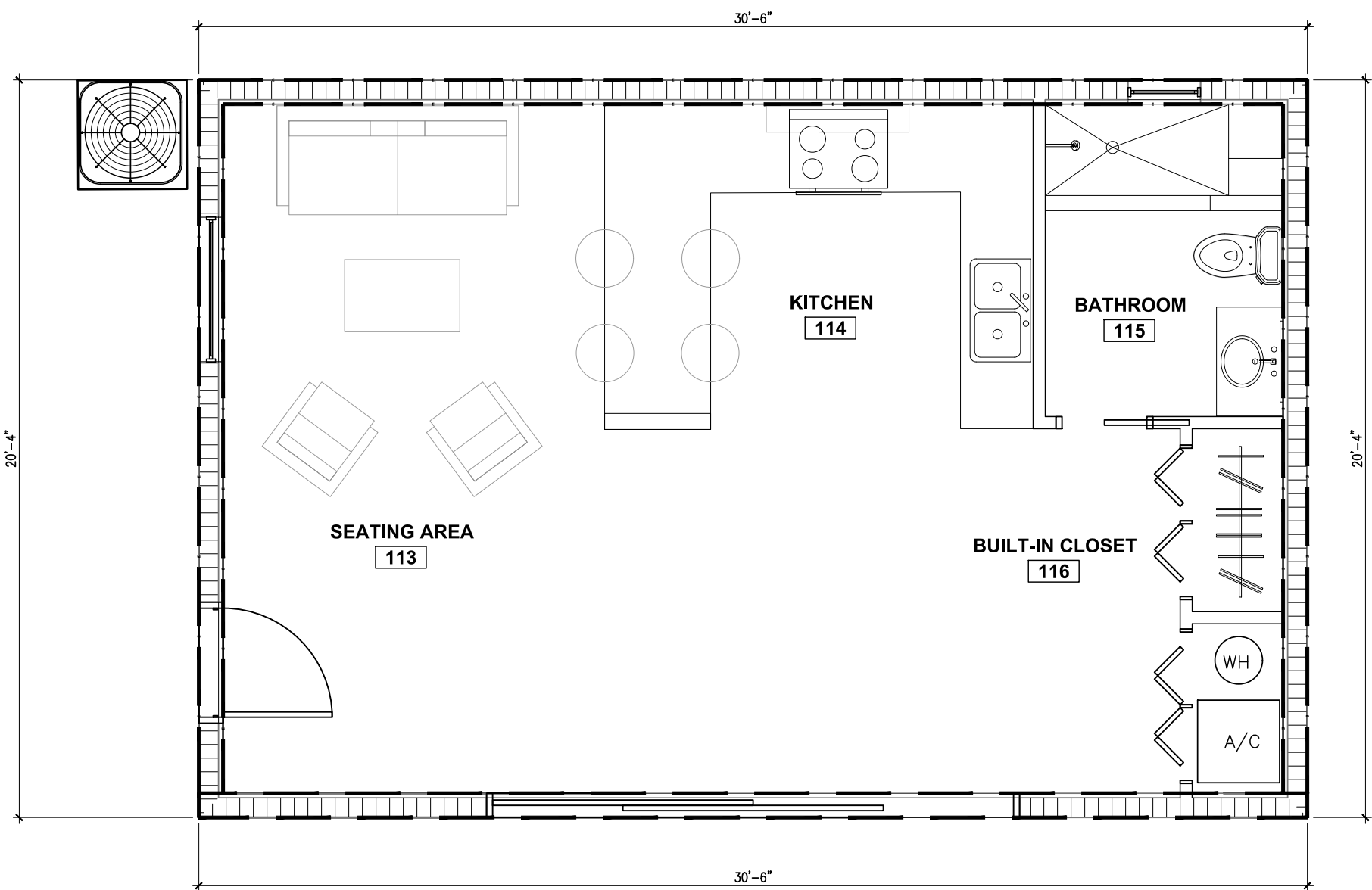
HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019
RENOVATION



PROPOSED
GUEST HOUSE

DATE: 03-14-20
PREPARED BY: RG
REVIEWED BY: RG

SHEET: A-3
OF: 10



FP PROPOSED FLOOR PLAN - GUEST HOUSE
SCALE: 1/4" = 1'-0"

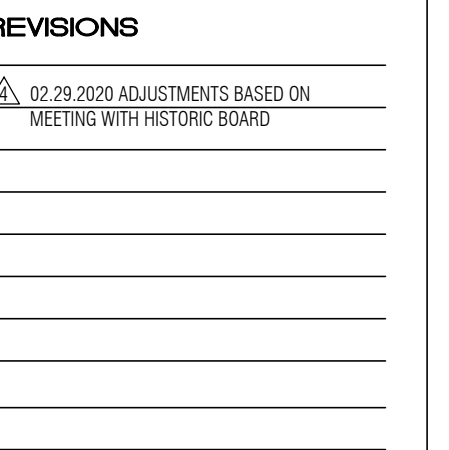
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WALL LEGEND:

	WALL TO REMIND
	WALL TO BE DEMOLISHED
	WALL TO BE REPAIRED
	BUILDING PROJECTION (WALL ABOVE OR BELOW)
	NEW WALLS

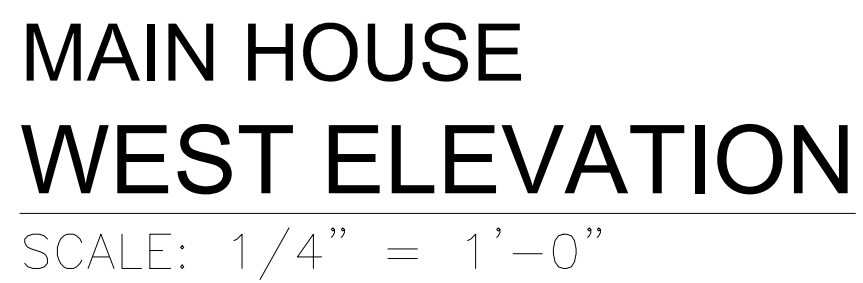
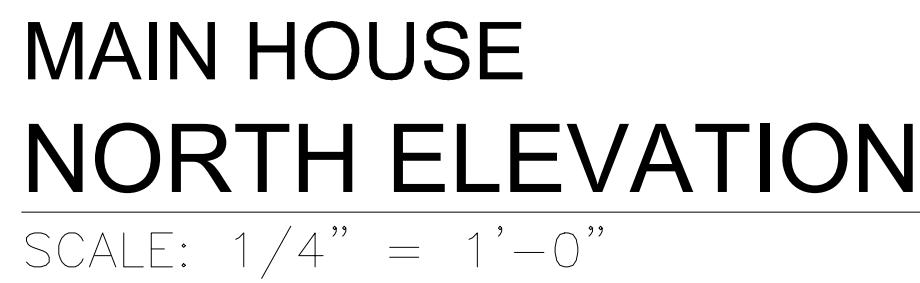
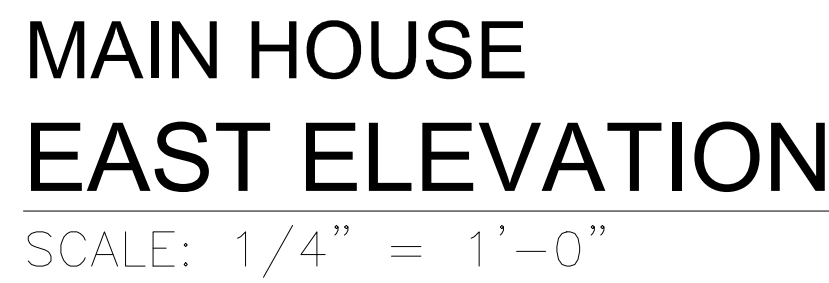
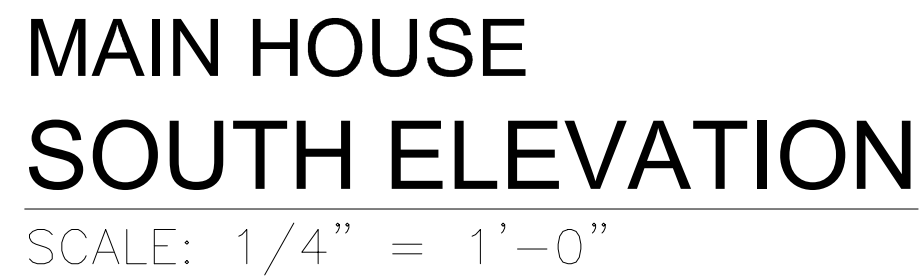
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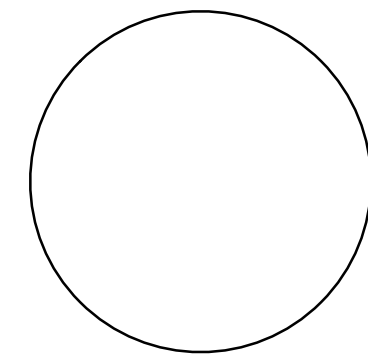
6047 SW 68 ST.
Miami, Florida 33193
Phone: 786-261-9551



EXTERIOR ELEVATIONS MAIN HOUSE

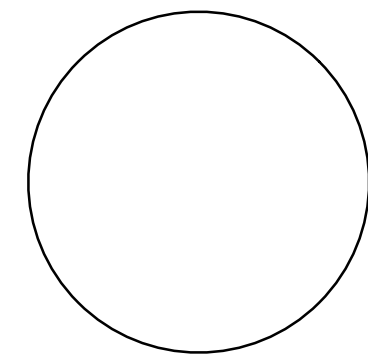
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REVISIONS

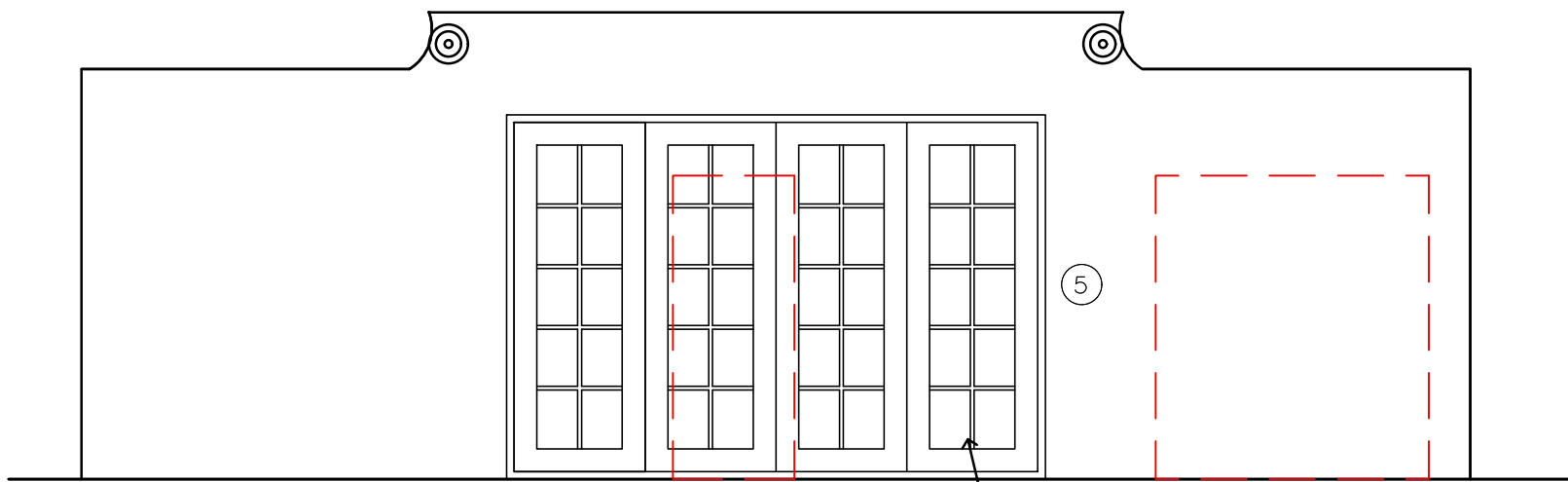
HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019
RENOVATION



EXTERIOR ELEVATIONS
GUEST HOUSE

DATE: 03-07-20	PREPARED BY: RG	REVIEWED BY: RG
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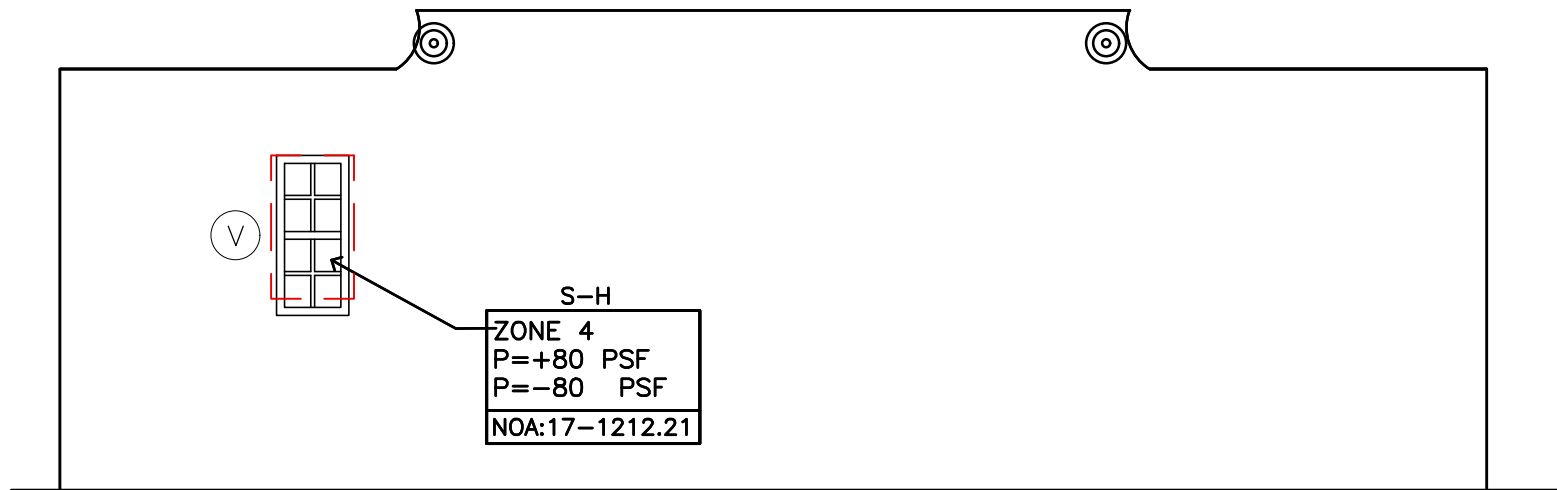
SHEET: A-5	OF: 10
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NEW SLIDING DOOR
TYP DOOR
+86PSI -86 PSI
NOA 17-1212.09

GUEST HOUSE
SOUTH ELEVATION

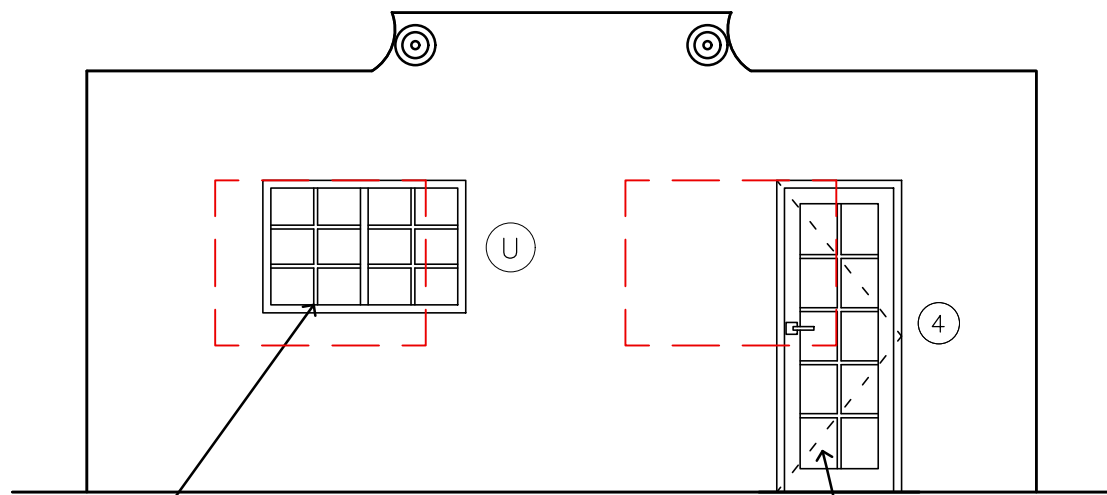
SCALE: 1/4" = 1'-0"



S-H
ZONE 4
P=+80 PSF
P=-80 PSF
NOA:17-1212.21

GUEST HOUSE
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

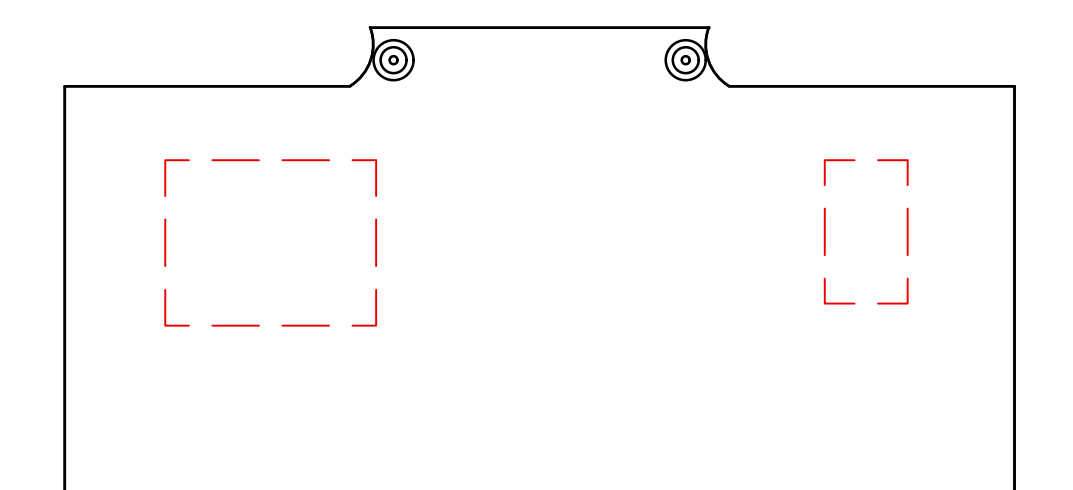


S-H
ZONE 4
P=+80 PSF
P=-80 PSF
NOA:17-1212.21

NEW DOOR
TYP DOOR
+86PSI -86 PSI
NOA 17-1212.09

GUEST HOUSE
WEST ELEVATION

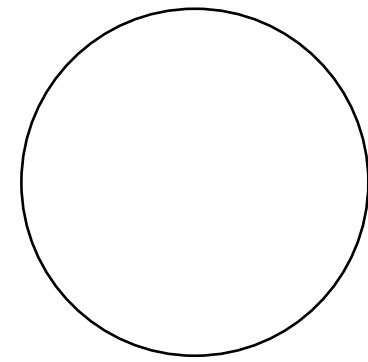
SCALE: 1/4" = 1'-0"



GUEST HOUSE
EAST ELEVATION

SCALE: 1/4" = 1'-0"

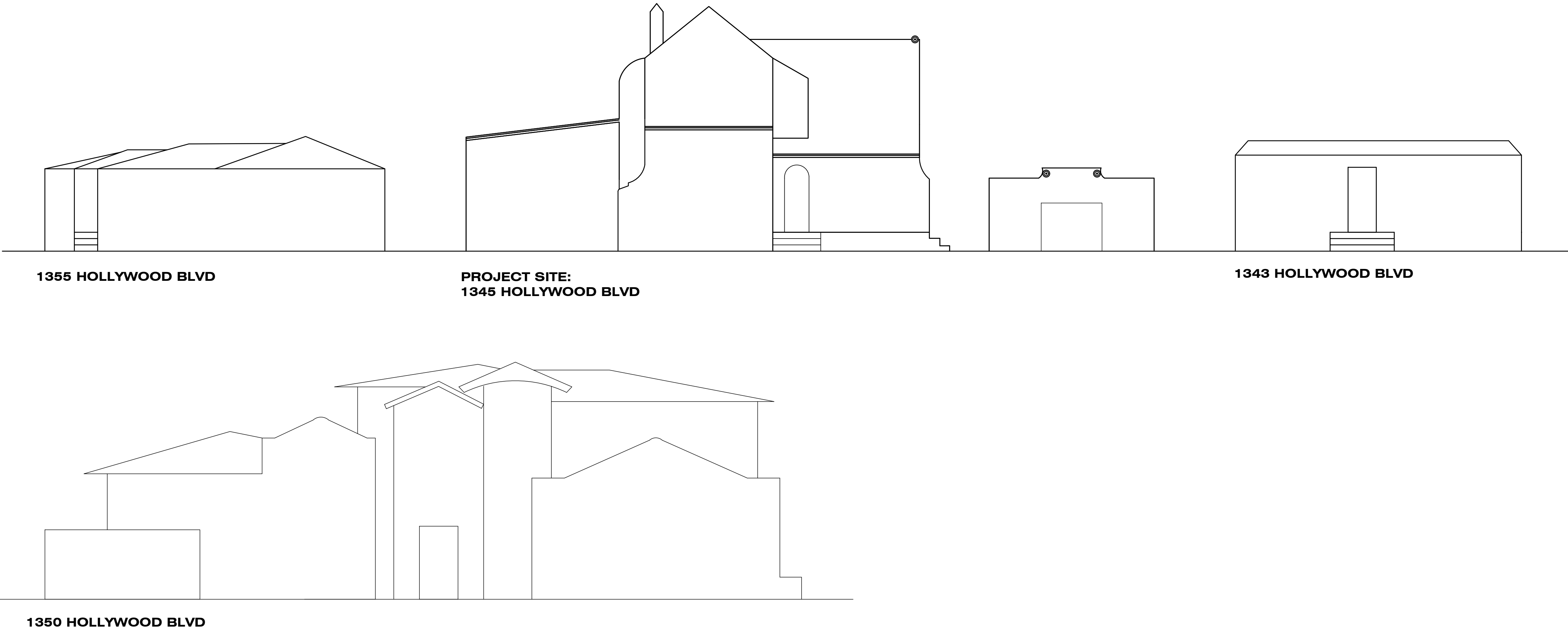
WINDOW SCHEDULE						
MARK	CODE	WIDTH	HEIGHT	QTY.	REMARKS	
(A)	S-H	74"	49 1/2"	1	NEW NOA.17-1212.21	IMPACT
(B)	S-H	78"	58 1/2"	2	NEW NOA.17-1212.21	IMPACT
(C)	S-H	41 1/2"	61 1/2"	3	NEW NOA.17-1212.21	IMPACT
(D)	S-H	16 1/2"	34 1/2"	1	NEW NOA.17-1212.21	IMPACT
(E)	S-H	78"	52 1/2"	1	NEW NOA.17-1212.21	IMPACT
(F)	S-H	72"	52 1/2"	1	NEW NOA.17-1212.21	IMPACT
(G)	S-H	16 1/2"	52"	1	NEW NOA.17-1212.21	IMPACT
(H)	S-H	34"	52"	1	NEW NOA.17-1212.21	IMPACT
(I)	S-H	18 1/2"	41"	2	NEW NOA.17-1212.21	IMPACT
(J)	S-H	34 1/2"	52"	2	NEW NOA.17-1212.21	IMPACT
(K)	S-H	18"	27"	1	NEW NOA.17-1212.21	IMPACT
(L)	S-H	34"	30"	1	NEW NOA.17-1212.21	IMPACT
(M)	S-H	60"	15"	1	NEW NOA.17-1212.21	IMPACT
(N)	S-H	24"	36"	1	NEW NOA.17-1212.21	IMPACT
(O)	S-H	74"	49 1/2"	1	NEW NOA.17-1212.21	IMPACT
(P)	S-H	17"	35"	1	NEW NOA.17-1212.21	IMPACT
(Q)	S-H	24"	40 1/2"	1	NEW NOA.17-1212.21	IMPACT
(R)	S-H	35"	60 1/2"	2	NEW NOA.17-1212.21	IMPACT
(S)	S-H	34"	26 1/2"	1	NEW NOA.17-1212.21	IMPACT
(T)	S-H	16 1/2"	52"	1	NEW NOA.17-1212.21	IMPACT



REVISIONS

HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019
RENOVATION

STREET PROFILE ELEVATIONS
HOLLYWOOD BLVD VIEW SCALE: 1/8" = 1'-0"



PHOTOS - HOLLYWOOD BLVD (FRONT VIEW)



1355 HOLLYWOOD BLVD



PROJECT SITE:
1345 HOLLYWOOD BLVD

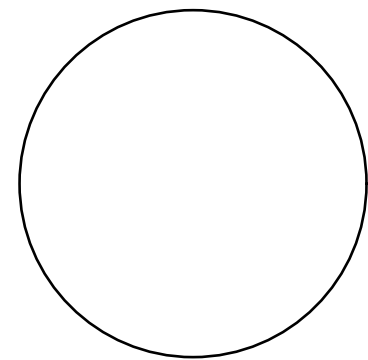


1343 HOLLYWOOD BLVD

PHOTOS - HOLLYWOOD BLVD (REAR VIEW)

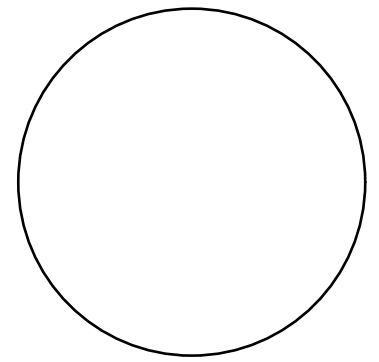


1350 HOLLYWOOD BLVD



STREET PROFILE
ELEVATIONS

DATE: 03-07-20	PREPARED BY: RG	REVIEWED BY: RG
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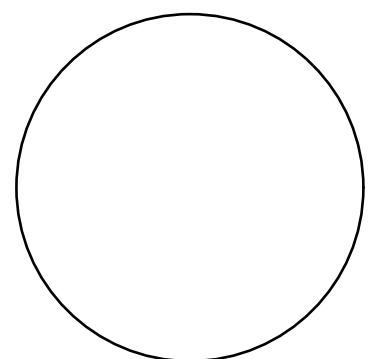


REVISIONS

- 02.29.2020 ADJUSTMENTS BASED ON
MEETING WITH HISTORIC BOARD
- 03.07.2020 ADJUSTMENTS BASED ON
MEETING WITH HISTORIC BOARD

HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019

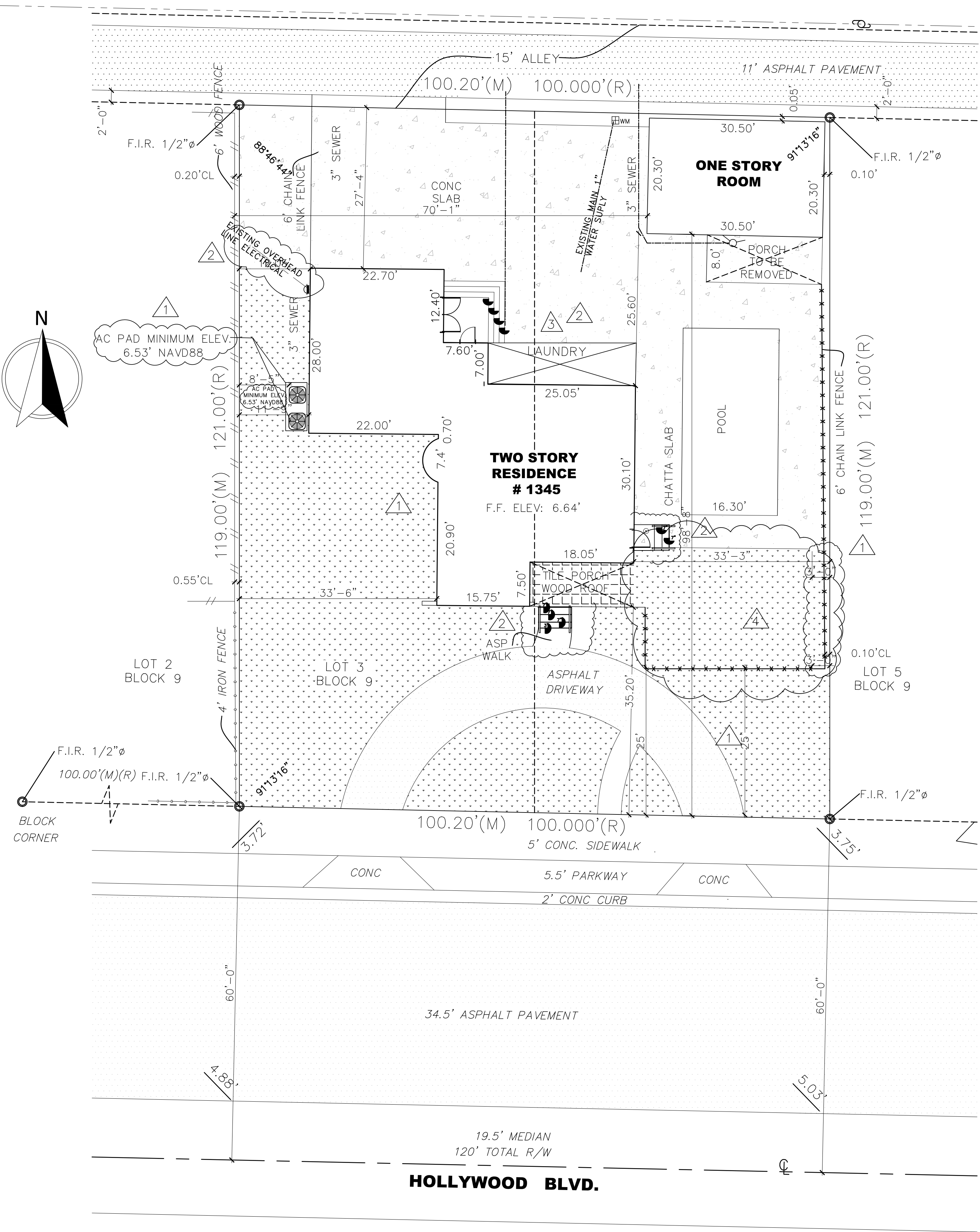
RENOVATION



EXISTING
SITE PLAN

DATE:	PREPARED BY:	REVIEWED BY:
03-07-20	RG	RG

SHEET: **A-7** OF: **10**



REVISIONS

02.29.2020 ADJUSTMENTS BASED ON
MEETING WITH HISTORIC BOARD

03.07.2020 ADJUSTMENTS BASED ON
MEETING WITH HISTORIC BOARD

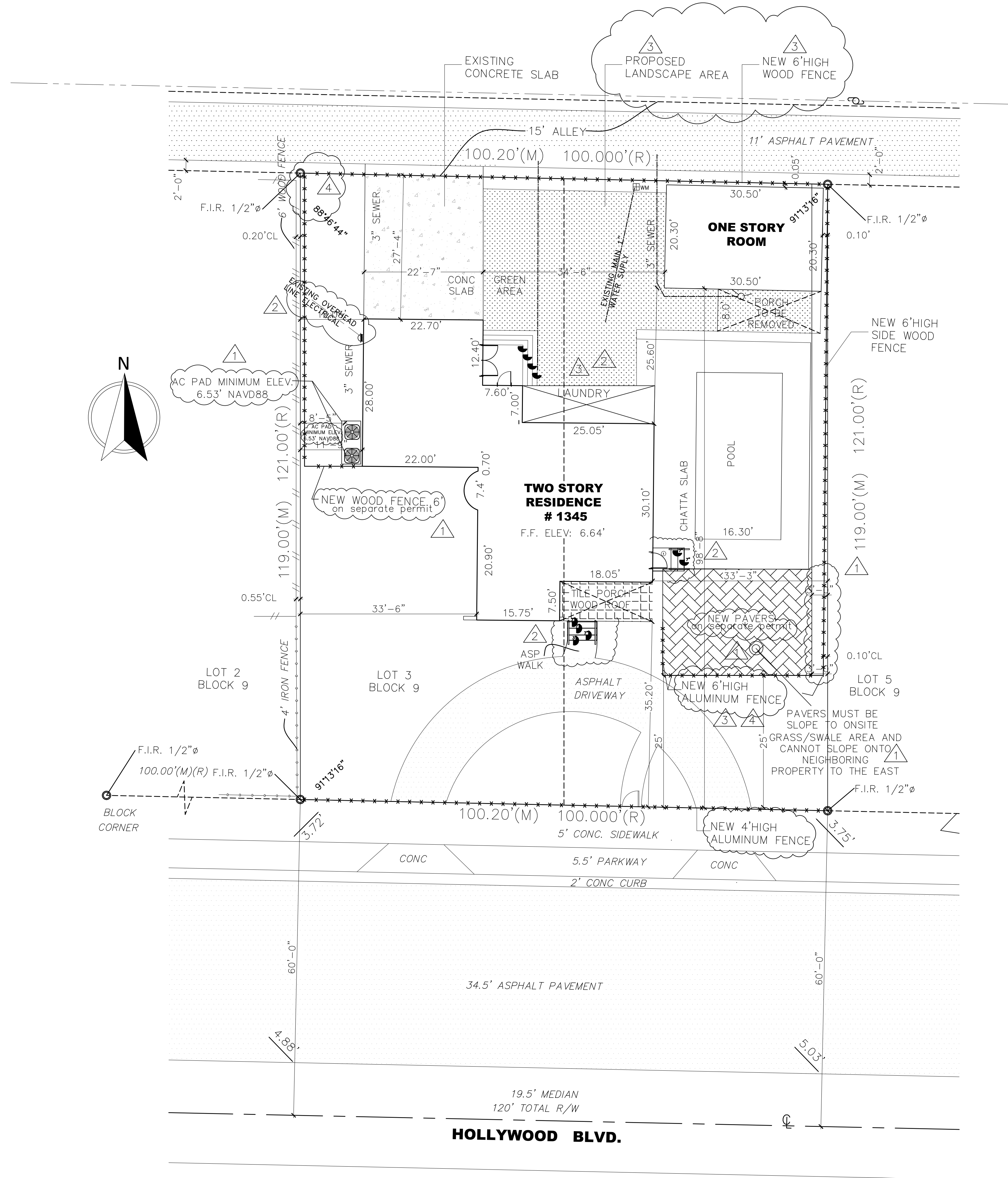
HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD,
HOLLYWOOD FL, 33019

RENOVATION

PROPOSED
SITE PLAN

DATE: 03-07-20 PREPARED BY: RG REVIEWED BY: RG

SHEET: A-8 OF: 10

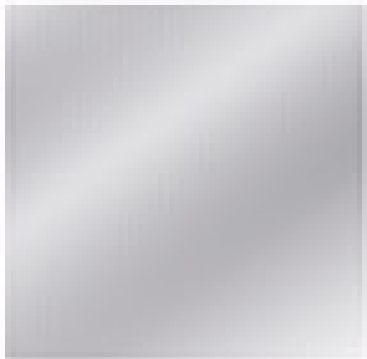




FRONT VIEW
RENDERING



EXTERIOR PAINT COLOR



4TH ALUMINUM FENCE
GREY COLOR



4TH & 6TH WOOD FENCE
BROWN COLOR



ROOF TILE GREY



HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD. HOLLYWOOD FL, 33134
INTERIOR RENOVATION

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	1345 HOLLYWOOD BLVD. HOLLYWOOD FL, 33134	1	SQ. FT.	100.00	100.00
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100					

EXTERIOR RENDERING
FINISHES

DB.202



Abstract

1. **Introduction**
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HOLLYWOOD RESIDENCE
1345 HOLLYWOOD BLVD., HOLLYWOOD FL, 33020
INTERIOR RENOVATION

Name: _____
Date: _____
Page: _____

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Journal of Internal Medicine 258: 101–109

DB.200A

RENDERINGS SHOWING WHITE PLASTER ON ALL THE WALLS



EAST SIDE ELEVATION



REAR ELEVATION



REAR ELEVATION



REAR ELEVATION



Project Name: Hollywood Residence
Address: 1041 Hollywood Blvd., Hollywood, FL 33020
Owner: [Redacted]
Architect: [Redacted]
Date: [Redacted]

HOLLYWOOD RESIDENCE
1041 HOLLYWOOD BLVD., HOLLYWOOD, FL 33020
INTERIOR RENOVATION

Room	Area (sq. ft.)	Notes
Living Room	1,200	Open floor plan, large windows
Kitchen	800	Modern appliances, island
Bathroom	600	Walk-in closet, double vanity
Bedroom	1,000	Master suite, walk-in closet
Garage	400	Two-car garage
Patio	200	Outdoor living area
Pool	1,500	Swimming pool, landscaping
Front Yard	1,000	Landscaping, driveway
Rear Yard	1,000	Landscaping, fence
Total	7,700	

EXTERIOR RENDERINGS

DB.201