

NUMBER	TREE	SIZE
#1	MIMOSA	12"
#2	MIMOSA	10"
#3	MIMOSA	10"
#4	OAK	32"
#5	OAK	26"
#6	OAK	26"
#7	DATE PALM	18"
#8	ROYAL PALM	12"
#9	ROYAL PALM	12"
#10	ROYAL PALM	15"
#11	ROYAL PALM	16"
#12	ROYAL PALM	13"
#13	ROYAL PALM	15"
#14	ROYAL PALM	13"
#15	ROYAL PALM	18"
#16	DATE PALM	13"
#17	ROYAL PALM	14"
#18	ROYAL PALM	14"
#19	ROYAL PALM	16"
#20	ROYAL PALM	21"
#21	ROYAL PALM	12"
#22	ROYAL PALM	18"
#23	ROYAL PALM	12"
#24	SABAL PALM	9"
#25	SABAL PALM	10"
#26	SABAL PALM	10"
#27	SABAL PALM	14"
#28	SABAL PALM	11"
#29	SABAL PALM	11"
#30	SABAL PALM	10"
#31	SABAL PALM	10"
#32	ROYAL PALM	8"
#33	ROYAL PALM	13"
#34	ROYAL PALM	15"
#35	ROYAL PALM	8"
#36	WATER OAK	7"
#37	TREE	8"
#38	CHRISTMAS PALM	4"
#39	CHRISTMAS PALM	4"
#40	CHRISTMAS PALM	4"
#41	CHRISTMAS PALM	4"
#42	CHRISTMAS PALM	4"
#43	CHRISTMAS PALM	4"
#44	CHRISTMAS PALM	4"
#45	OAK	18"
#46	OAK	19"
#47	BLACK OLIVE	16"
#48	BLACK OLIVE	6"
#49	OAK	18"
#50	OAK	14"
#51	OAK	12"
#52	OAK	18"
#53	SABAL PALM	11"
#54	SABAL PALM	11"
#55	SABAL PALM	11"
#56	SABAL PALM	11"
#57	OAK	23"
#58	RAINBOW	5"
#59	RAINBOW	5"
#60	RAINBOW	5"
#61	RAINBOW	5"
#62	RAINBOW	5"
#63	RAINBOW	5"
#64	OAK	14"
#65	OAK	12"
#66	TREE	12"
#67	CHRISTMAS PALM	3"
#68	OAK	18"
#69	OAK	17"
#70	ROYAL PALM	11"
#71	ROYAL PALM	10"
#72	SABAL PALM	10"
#73	OAK	6"

LEGAL DESCRIPTION

PARCEL 1: LOTS 14, 15, 16, 17, 18, 23, 24, 26, LESS THE EAST 8 FEET THEREOF, AND 27, 28, 29, 30 AND 31, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE VACATED ALLEY SITUATED BETWEEN LOTS 14 THROUGH 22, AND LOTS 23 THROUGH 31, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 31, BLOCK 9, THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 142.00 FEET TO A POINT LOCATED ALONG THE NORTHERN BOUNDARY LINE OF LOT 28 AND BEING 8 FEET WEST OF THE NORTHWEST CORNER OF LOT 25, THENCE LEAVING THE NORTH LINE OF SAID BLOCK 9 AND RUNNING PARALLEL TO AND 8 FEET TO THE WEST OF SAID WEST LINE OF LOT 25, BLOCK 9 (SAID LINE BEING THE WESTERN BOUNDARY LINE OF THE PROPERTY NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN) RUN IN A SOUTHERLY DIRECTION A DISTANCE OF 121 FEET TO A POINT; THENCE CONTINUING ALONG THE BOUNDARY LINE OF SAID LAND NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN, RUN THE FOLLOWING 2 COURSES AND DISTANCES: WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN EASTERLY A DISTANCE OF 33 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN NORTHERLY A DISTANCE OF 121 FEET TO A POINT, SAID POINT BEING ALONG THE NORTH LINE OF SAID BLOCK 9; THENCE LEAVING THE LANDS NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN AND CONTINUING ALONG THE NORTH LINE OF BLOCK 9 RUN IN AN EASTERLY DIRECTION A DISTANCE OF 60.39 FEET TO A POINT, THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 89°17'08", RUN SOUTHERLY ALONG THE EAST LINE OF SAID BLOCK 9, A DISTANCE OF 134.01 FEET TO THE NORTHEAST CORNER OF LOT 22; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 89°17'08", RUN SOUTHERLY ALONG THE NORTH LINE OF LOT 19 THROUGH 22, BLOCK 9, A DISTANCE OF 108.72 FEET TO THE NORTHWEST CORNER OF LOT 19; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN SOUTHERLY ALONG THE WEST LINE OF SAID LOT 19, A DISTANCE OF 121.00 FEET TO THE WESTERN CORNER OF SAID LOT 19; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOTS 14 THROUGH 18, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 14; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN NORTHERLY ALONG THE WEST LINE OF SAID LOTS 14 AND 31, A DISTANCE OF 255.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

LOT 25 AND THE EAST 8 FEET OF LOT 26, IN BLOCK 9, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 38, BLOCK 9, THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 317.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE ADJACENT COURSE, A DISTANCE OF 33.00 FEET, THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°, RUN SOUTHERLY A DISTANCE OF 121.00 FEET, THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°, RUN WESTERLY A DISTANCE OF 33.00 FEET, THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°, RUN NORTHERLY A DISTANCE OF 121.00 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

LOTS 19, 20, 21, 22, 33, 34, 35, 36, 37 AND 38, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE VACATED ALLEY SITUATED BETWEEN LOTS 14 THROUGH 22, AND LOTS 23 THROUGH 31, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 38, BLOCK 9, THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 317.00 FEET TO A POINT LOCATED ALONG THE NORTHERN BOUNDARY LINE OF LOT 28 AND BEING 8 FEET WEST OF THE NORTHWEST CORNER OF LOT 25, THENCE LEAVING THE NORTH LINE OF SAID BLOCK 9 AND RUNNING PARALLEL TO AND 8 FEET TO THE WEST OF SAID WEST LINE OF LOT 25, BLOCK 9 (SAID LINE BEING THE WESTERN BOUNDARY LINE OF THE PROPERTY NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN) RUN IN A SOUTHERLY DIRECTION A DISTANCE OF 121 FEET TO A POINT; THENCE CONTINUING ALONG THE BOUNDARY LINE OF SAID LAND NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN, RUN THE FOLLOWING 2 COURSES AND DISTANCES: WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN EASTERLY A DISTANCE OF 33 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN NORTHERLY A DISTANCE OF 121 FEET TO A POINT, SAID POINT BEING ALONG THE NORTH LINE OF SAID BLOCK 9; THENCE LEAVING THE LANDS NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN AND CONTINUING ALONG THE NORTH LINE OF BLOCK 9 RUN IN AN EASTERLY DIRECTION A DISTANCE OF 60.39 FEET TO A POINT, THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 89°17'08", RUN SOUTHERLY ALONG THE EAST LINE OF SAID BLOCK 9, A DISTANCE OF 232.02 FEET TO THE SOUTHEAST CORNER OF SAID LOT 22; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 89°17'08", RUN WESTERLY ALONG THE SOUTH LINE OF SAID BLOCK 9, A DISTANCE OF 232.02 FEET TO THE SOUTHWEST CORNER OF SAID LOT 14; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN NORTHERLY ALONG THE WEST LINE OF SAID LOT 14, A DISTANCE OF 134.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 31; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOTS 32 THROUGH 38, A DISTANCE OF 175.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 38; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN NORTHERLY ALONG THE WEST LINE OF SAID LOT 38, A DISTANCE OF 121.00 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

LOTS 1 AND 2, BLOCK 9, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 4:

LOT 3, BLOCK 9, OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 5: (PROPOSED)

THAT PORTION OF ALLEYWAY BOUND ON THE NORTH BY THE NORTH EXTENSION OF LOT 38, BLOCK 9 AND ON THE SOUTH BY THE WEST EXTENSION OF LOT 30, BLOCK 9 LYING BETWEEN LOTS 1, 2 AND 3, BLOCK 9, OF THE TOWN OF HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.

2. LEGAL DESCRIPTION PROVIDED BY CLIENT.

3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.

4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.

5. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE SHOWN.

6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.

7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL, THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

8. DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VOLUMES UNLESS OTHERWISE NOTED.

9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.

10. EXISTING CORNERS FOUND BY LOCATED PROPERTY CORNERS.

11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.

12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

ABBREVIATIONS

BC BUILDING CORNER

BW BACK OF WALL

ME MEASURED

N.T.S. NOT TO SCALE

OPEN PORCH

PCB POINT OF COMMENCEMENT

POC POINT OF COMMENCEMENT

PRC POINT OF REVERSE CURVE

PRM PERMANENT REFERENCE MONUMENT

P/T POINT OF TANGENCY

E/VE EDGE OF PAVEMENT

F/C FENCE CORNER

FO FOUND IRON PIPE

FOI FOUND IRON ROD

FN FOUND NAIL & DISC

FL FOUND FLUORIDE POWER AND LIGHT

SN&D SET NAIL & DISC # 5495

SP&C SET PIN & CAP # 5495

LEGEND

CABLE JUNCTION BOX

CATCH BASIN

CLEAN OUT

CONTROL VALVE

ELECTRIC SERVICE

FIRE HYDRANT

FP&L PAD

GUT ANCHOR

HANDHOLE

POOL EQUIPMENT

POWER/LIGHT POLE

SPRINKLER SYSTEM

WATER METER

WATER VALVE

WELL

BRICK PAVERS

CENTERLINE

CONCRETE/CHAT

CONCRETE WALL

ELEVATION

METAL FENCE

OVERHEAD WIRES

WOOD DECK/DOCK

WOOD FENCE

ATLANTIC COAST

PAUL J. STOWELL

PROFESSIONAL LAND SURVEYOR

FLORIDA CERTIFICATION NO. 5241

ATLANTIC COAST SURVEYING, INC.

6129 STIRLING RD SUITE 2 DOWNS, FLORIDA 33314

OFFICE: 954.587.2100 FAX: 954.587.5418

TITLE SEARCH REPORT

ATTORNEY'S TITLE FUND SERVICES, LLC

FUND FILE NUMBER: 781525-2

COMMITMENT NUMBER: 781525

PREPARED DATE: AUGUST 21, 2019

ISSUING OFFICE FILE NUMBER: 3879.0006

EFFECTIVE DATE OF SEARCH: AUGUST 16, 2019 AT 11:00 PM

RESTRICTIONS/EASEMENTS:

ITEM 1: MATTERS PERTAINING TO PG 2, PG 21 ARE AS SHOWN ON SURVEY

ITEM 2-6: NOT A SURVEY MATTER

ITEM 7: MATTERS PERTAINING TO ORB 50830, PG 1594, AS AMENDED IN ORB 51017, PG 1850 PERTAIN TO PROPERTY, BLANKET IN NATURE.

CERTIFIED TO:

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

DOWNTOWN HOLLYWOOD HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY

PROPERTY ADDRESS

2001 HOLLYWOOD BOULEVARD

HOLLYWOOD, FL 33020

ALTA/NSPS LAND TITLE SURVEY

INVOICE # 4015802

SURVEY DATE 08/22/19

FLOOD ZONE X0.2X

MAP DATE 08/18/14

MAP NUMBER 120213 0569

SURVEYOR'S NOTES:

1. TOTAL GROSS LAND AREA (Gross is to include the land to the middle of the streets adjacent to the property (and one half the alleyway)) = 147,399 SQUARE FEET MORE OR LESS (3.38 ACRES MORE OR LESS)

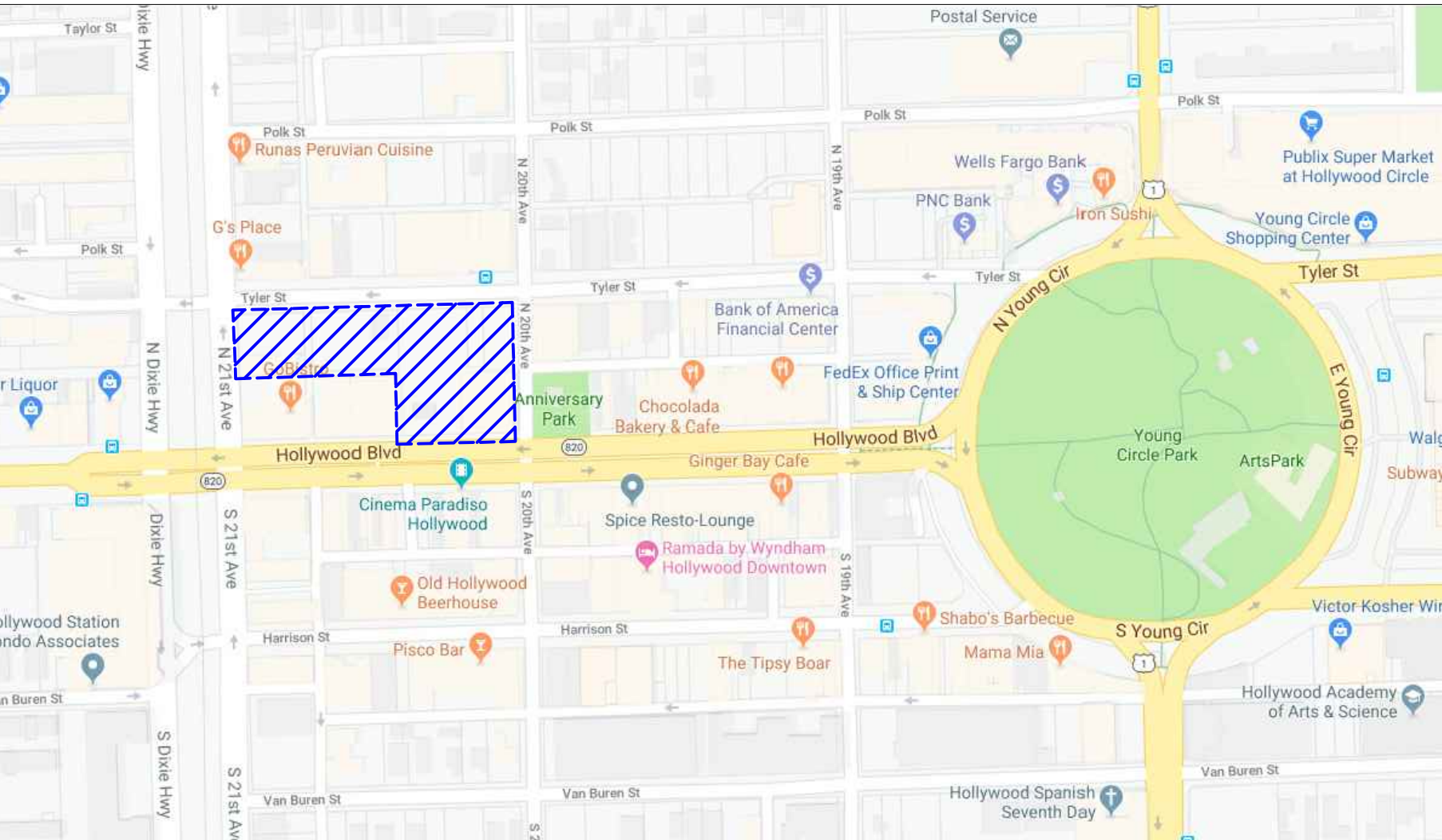
2. TOTAL NET LAND AREA = 99,821.5 SQUARE FEET MORE OR LESS, (2.25 ACRES MORE OR LESS) EXCLUDES PROPOSED PARCEL 5.

3. TOTAL NUMBER OF PARKING SPACES ON PROPERTY = 142

137 REGULAR PARKING SPACES, 5 HANDICAP PARKING SPACES



SOLESTE HOLLYWOOD BLVD.



LOCATION MAP (N.T.S.)



INDEX OF SHEETS

INDEX OF SHEETS		LANDSCAPE ARCHITECTURE	
	ALTA/NSPS LAND TITLE SURVEY	TD1.00	TREE DISPOSITION PLAN
ARCHITECTURE		L1.00	LANDSCAPE PLAN
A1.00	SITE PLAN	L2.00	LEVEL 4 LANDSCAPE PLAN
A1.01	COLOR SITE PLAN		
A1.02	ZONING DATA	IR-1	IRRIGATION PLAN
A1.03	EASEMENT PLAN AND NOTES	IR-2	IRRIGATION LEGEND, NOTES AND DETAILS
A1.04	DETAILS	CIVIL ENGINEERING	
A1.05	LEVEL 2 PLAN	C-01	COVER SHEET
A1.06	LEVEL 3 PLAN	C-02	PRELIMINARY PGD PLAN
A1.07	LEVEL 4 PLAN	C-03	PRELIMINARY UTILITY PLAN
A1.08	LEVEL 5-7 PLAN	C-04	CIRCULATION PLAN
A1.09	LEVEL 8 PLAN	C-05	PMS PLAN
A1.10	ROOF PLAN		
A1.11	UNIT PLANS		
A1.12	UNIT PLANS		
A1.13a	COLOR ELEVATION		
A1.13	ELEVATION		
A1.14a	COLOR ELEVATION		
A1.14	ELEVATION		
A1.15	RENDERING		
A1.16	RENDERING		
A1.17	RENDERING		
A1.18	RENDERING		
A1.19	RENDERING		
A1.20	RENDERING		
A1.21	STREET PROFILE		
A1.22	STREET PROFILE		

PRELIMINARY TECHNICAL ADVISORY COMMITTEE
JANUARY 13, 2020

FINAL TECHNICAL ADVISORY COMMITTEE
FEBRUARY 18, 2020

PLANNING AND HISTORIAL BOARD

DEVELOPER

The Estate Companies

The Estate Companies

6201 SW 70th Street
Suite 200
South Miami, FL 33143

T. 305-663-1002

Contact: Robert Suris
E. rsuris@eigfl.com

DEVELOPER

FIRM Realty

Firm Realty

1930 Harrison Street
Suite 503
Hollywood, FL 3320

T. 954-926-2510

Contact: Steve Berman
E. steve@firmrealty.com

ARCHITECT

modis architects

Modis Architects, LLC

4955 Southwest 75th Avenue
Miami, FL 33155

T. 786-879-8882
F. 786-350-1515
Florida Corp. AA# 26001777

Contact: Ivo Fernandez
E. ivoF@modisarchitects.com

CIVIL ENGINEERING

THOMAS ENGINEERING GROUP

Thomas Engineering Corp.

6300 NW 31st Avenue
Fort Lauderdale, FL 33309

T. 954-202-7000

Contact: Ryan O. Thomas PE
E. ethomas@Thomaseng.com

LANDSCAPE ARCHITECT

Kimberly Moyer RLA

224 E. Commercial Blvd.
Suite 306
Lauderdale By The Sea, FL 33308

T. 3954-592-3695

Contact: Kimberly Moyer
E. k.moyerla@gmail.com

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. AA#26001777

t. 786.879.8882
f. 786.350.1515
e. MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

COVER

project number : #19024

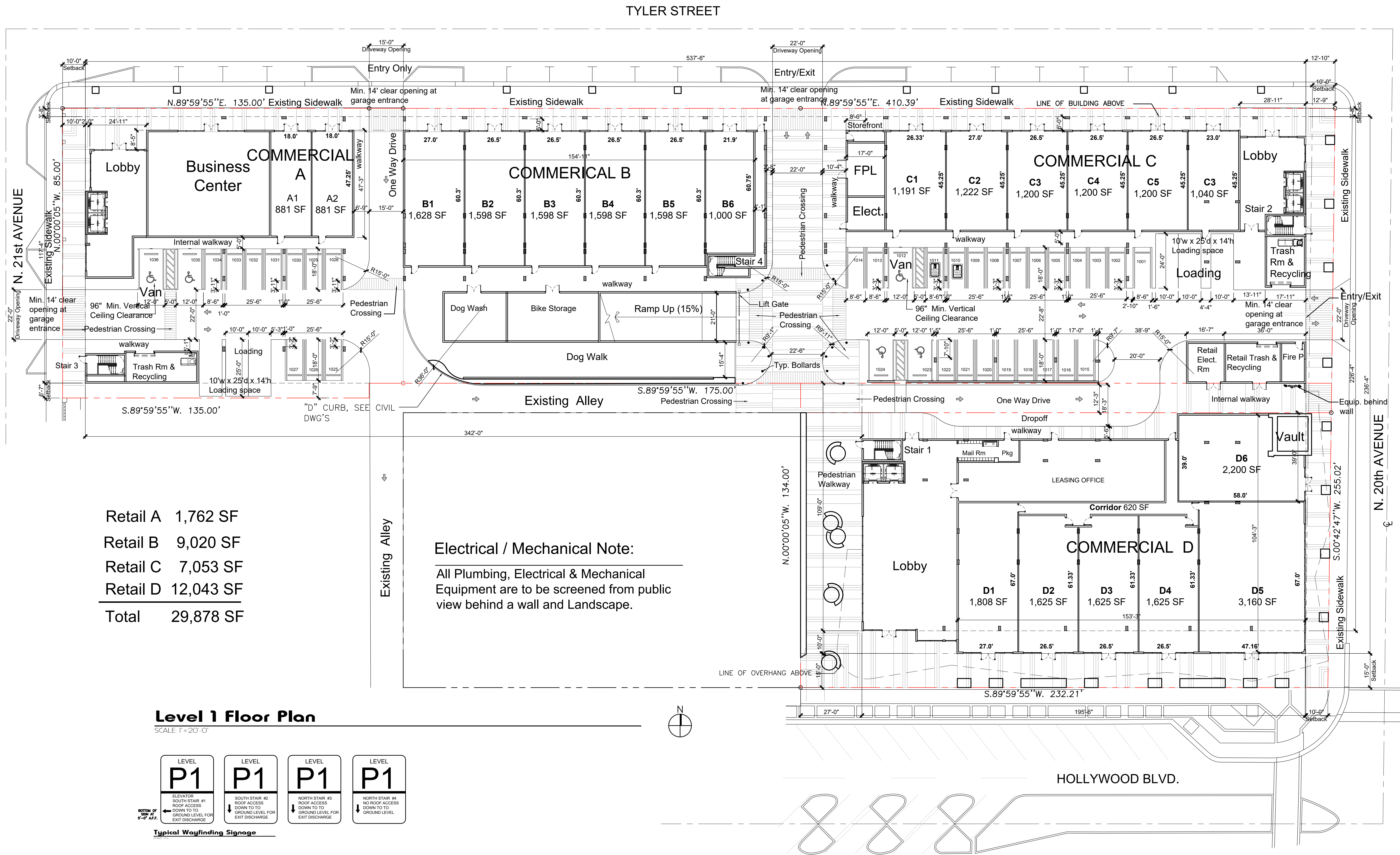
drawing scale : As Shown

drawing date : 03/11/2020

phase : Final TAC

sheet number :

Copyright © 2017 MODIS ARCHITECTS, LLC. All Rights Reserved. MODIS - Drawing 19024 - Hollywood Blvd. - Existing Commercial Building - Final TAC/Resubmittal/03/11/2020 - Level 1 - Shop Plan.dwg



DEDICATION/EASEMENT NOTE:
For all Dedication and Easement Plan, See Thomas Engineering Sheet "Easement & Alley Vacation Plan"

CRA Note:
Streetscape Design and Materials will be coordinated with CRA

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. AA#26001777

t: 786.879.8882
f: 786.350.1515
e: MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

NO.	DESCRIPTION

drawing data :

LEVEL 1 FLOOR PLAN

project number : #19024

drawing scale : As Shown

drawing date : 03/11/2020

phase : Final TAC

sheet number : **A1.00**

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC



Vault and Interior Restaurant

Copyright © 2017, MODIS ARCHITECTS, LLC. All Rights Reserved. | MODIS - Drawing 19024 - Hollywood Residential - Estate Comprehensive Design/AS-Schematic Design & Final TAC Preparation/03-2024 Drawing/19024-A-102-Zoning Data.dwg

Description		Required/ Permitted		Proposed
Property Zoning:				
			ND-3 & RC-2	
Future Land Use				
		Regional Activity Center		
Lot Area				
Gross Lot Area	147,399 sf	3.38 Acres		
Net Lot Area	99,822 sf	2.29 Acres		
Density	147,399 sf			347 Units
FAR				
ND-3	Gross Lot Area 120,233 sf	Max F.A.R. (3)	Permitted 360,699	Proposed
RC-2	27,166 sf	Max F.A.R. (3)	81,498	
Total			442,197	351,715
Impervious & Pervious				
Impervious		55,278 sf		37.50%
Pervious		8,978 sf		6.09%
Building Area		83,143 sf		56.41%
Total Gross Lot Area		147,399 sf		100.00%
Building Height				
	Max Height		140'-0"	74'-0"
	Number of Stories		10 Story	8 Story
Setbacks				
Hollywood Blvd			10'-0"	15'-0"
20th Ave			10'-0"	10'-0"
Tyler Street			10'-0"	3'-8"
N. 21st Avenue			10'-0"	10'-0"
Side Interior			0'-0"	26'-6"
Alley			5'-0"	0'-0"

Parking Requirements					
	Units			Required	Provided
Total Units	347 DU	1.0 SP/DU		347 spaces	347 spaces
Visitor		1 sp / 10 Units		35 spaces	35 spaces
Retail		.0 SP/DU		0 spaces	20 spaces
Extra Spaces assign to 2-3 BD Units				spaces	73 spaces
Total Parking				382 spaces	475 spaces
Max. Parking Space per Unit				2.5 Space per Unit	1.37 Space per Unit
Parking Per Level					
	Standard	HC	Tandem		
Level 1	31	5 (2 Van)	0		36
Level 2	169	2	29		200
Level 3	217	2	20		239
Total Parking Provided	417	9	49		
Total Parking Provided					475 spaces
Required Loading					
Off Street Loading Space Requirements - 10'w x 25'L x 14' Vertical Clearance					
Retail	25,000 - 59,999 sf = (2) 10'w x 25'L x 14' clear height				
Units	Tower: 50-100 Units + 1 for each add'l 100 Units or major Fraction				
Provided:	Retail Space - 29,838 sf = (2)10'w x 25'L x 14' clear height				2 spaces
	Tower - 347 units - (4)10'w x 25'L x 14' clear height)				4 spaces
Total Loading space provided					6 spaces

Total Building Area												
		Non-FAR			Total Non-FAR							
Levels	Garage	FPL, Elect.Rm, Trash	Amenity Deck								Total FAR	Total Gross Area
Level 1	24,392 sf	4,505 sf			28,897 sf		Unit Area	Circulation	Mech/Elect.	Amenities	Retail	Total
Level 2	70,168 sf	0 sf			70,168 sf		2,140 sf	22,268 sf	0 sf	0 sf	29,838 sf	83,143 sf
Level 3	70,168 sf	0 sf			70,168 sf		9,495 sf	4,623 sf	110 sf	0 sf	0 sf	14,228 sf
Level 4	0 sf	0 sf	30,191 sf		30,191 sf		9,495 sf	4,623 sf	110 sf	0 sf	0 sf	14,228 sf
Level 5	0 sf	0 sf			0 sf		35,921 sf	8,690 sf	785 sf	8,809 sf	0 sf	54,205 sf
Level 6	0 sf	0 sf			0 sf		44,404 sf	8,690 sf	1,090 sf	0 sf	0 sf	54,184 sf
Level 7	0 sf	0 sf			0 sf		44,404 sf	8,690 sf	1,090 sf	0 sf	0 sf	54,184 sf
Level 8	0 sf	0 sf	1,929 sf		1,929 sf		44,404 sf	8,690 sf	1,090 sf	0 sf	0 sf	54,184 sf
Total	164,728 sf	4,505 sf			201,353 sf		42,476 sf	8,690 sf	1,090 sf	0 sf	0 sf	52,256 sf
							101,455 sf	74,964 sf	2,095 sf	8,809 sf	29,838 sf	351,715 sf
												553,071 sf

Tower 1 Unit Area Calculation										
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	C2 (3BD)	Total Units per Floor	Total Area Floor Plate Above 55'0"
Leasable Area	399 sf	500 sf	600 sf	828 sf	1,232 sf	873 sf	1,070 sf	1,070 sf		
Balc./Terr.	27 sf	27 sf	30 sf	30 sf	84 sf	128 sf	128 sf	75 sf		
Level 1	0	0	0	0	0	0	0	0	0	
Level 2	1	1	8	2	0	0	0	2	14	
Level 3	1	1	8	2	0	0	0	2	14	
Level 4	10	5	15	3	4	0	1	2	40	33,320 sf
Level 5	10	6	16	3	4	0	1	2	42	33,320 sf
Level 6	10	6	16	3	4	0	1	2	42	33,320 sf
Level 7	10	6	16	3	4	0	1	2	42	33,320 sf
Level 8	10	5	15	2	4	0	1	2	39	31,272 sf
Sub Total	52 Units	30 Units	94 Units	18 Units	20 Units	0 Units	5 Units	14 Units		
							Total Units in Tower 1		233 Units	

Tower 2 Unit Area Calculation									
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	Total Units per Floor	Total Area Floor Plate Above 55'0"
Leasable Area	414 sf	502 sf	621 sf	828 sf	1,210 sf	873 sf	1,070 sf		
Balc./Terr.	27 sf	27 sf	30 sf	30 sf	80 sf	128 sf	128 sf		
Level 1	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	
Level 4	4	0	2	6	0	1	1	14	20,865 sf
Level 5	4	7	3	7	2	1	1	25	20,865 sf
Level 6	4	7	3	7	2	1	1	25	20,865 sf
Level 7	4	7	3	7	2	1	1	25	20,865 sf
Level 8	4	7	3	7	2	1	1	25	20,865 sf
Sub Total	20 Units	28 Units	14 Units	34 Units	8 Units	5 Units	5 Units		
						Total Units For Tower 2		114	

Total Units for Tower 1 & Tower 2	347 DU
-----------------------------------	--------

Variance		
	Required	Proposed
Tyler Street Setback	10'-0"	3'-8"
Alley Setback	5'-0"	0'-0"

modisarchitects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

ZONING DATA

project number :
#19024

drawing scale :
As Shown

drawing date :
04/20/2020

phase :
Final TAC

sheet number :
A1.02

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ANY DISCREPANCIES OR INCONSISTENCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

SEE ENLARGED PLANS FOR FURTHER
DIMS AND NOTES.
ALL MECHANICAL EQUIPMENT SHALL BE
SCREENED FROM PUBLIC VIEW.
ALL SIGNAGE UNDER SEPARATE PERMIT
AND WILL MEET ZONING AND LAND
DEVELOPMENT REGULATIONS.
ALL PERMITTED EQUIPMENT SHALL BE
SCREENED FROM PUBLIC VIEW.
SEE CIVIL DRAWINGS FOR ON-STREET
PARKING AND PAVING INFORMATION.
SEE LANDSCAPE DRAWINGS FOR
SIDEWALK AND PLANTING INFORMATION.
ALL BUILDING WILL COMPLY WITH NFPA
1, 11,10 TO MEET THE MINIMUM
TWO-WAY RADIO COMMUNICATION SIGNAL
SYSTEMS.
FINISHED FLOOR OF GROUND FLOOR
COMMERCIAL AND RETAIL USES SHALL
BE FLUSH WITH SIDEWALK ELEVATION.

1. SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREA. EXTERNAL LIGHTS TO BE SHIELDED TO PREVENT LIGHT POLLUTION TO ADJACENT SITES AND UP INTO THE NIGHT SKY.
2. TURTLE LIGHTING ORDINANCE - N/A
3. THE MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5)

1. PROJECT TO ACHIEVE LEED CERTIFICATION OR GREEN GLOBE CERTIFICATION.
2. ENERGY EFFICIENT LOW E WINDOW
3. DOORS: INSULATED AND FIRE RATED
4. PROGRAMMABLE THERMOSTATS
5. ENERGY STAR APPLIANCES.
6. MERV 8 A/C FILTERS ON ALL A/C UNITS.
7. DUAL FLUSH TOILETS
8. ALL ENERGY EFFICIENT OUTDOOR LIGHTING.
9. ALL HOT WATER PIPE INSULATED.
10. ONE LOW FLOW SHOWERHEAD
11. BICYCLE ROOM STORAGE AND RESTROOM/CHANGING ROOM.
12. DEDICATED RECYCLING ROOM.
13. ELECTRIC VEHICLE CHARGING STATION
14. ROOFING MATERIAL IS ENERGY STAR (COOL ROOF).
15. LOW VOC MATERIALS WILL BE TO THE GREATEST EXTENT POSSIBLE. 901.9 & 901.10 - THE USE OF LOW-VOC PAINTS, COATINGS AND SEALANTS
16. SUSTAINABLE BUILDING MATERIALS WILL BE USED TO THE GREATEST EXTENT POSSIBLE.
RECYCLE MATERIALS FROM DEMOLITION OF EXISTING STRUCTURES TO THE GREATEST EXTENT POSSIBLE. RECYCLE WASTE MATERIALS FROM CONSTRUCTION AS WELL.
605.1, 605.2 & 605.3 - RECYCLING THE C&D WASTE SHOULD BE SPECCED AND REQUIRED BY THE BUILDER. NGBS PRACTICE WE WILL TRACK IT AS REQUIRED BY THE THAT COVERS C&D WASTE MANAGEMENT.
17. SINKS WILL PROVIDE SPACE UNDER SINK FOR RECYCLE BINS.

1. IN COMPLIANCE WITH CITY ORDINANCES, ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE IS PROVIDED AT BOTH GARAGES OF EAST TOWER AND SOUTH/WEST TOWER.
2. MINIMALLY THE FOLLOWING SHALL BE INSTALLED:
EMPTY 2" RACEWAY FROM BRANCH CIRCUIT PANEL BOARD TO A LOCATION IN THE GARAGE OR PARKING AREA, WITH TWO GANG JUNCTION BOX WITH A BLANK PLATE OR FULLY FUNCTIONAL ELECTRIC VEHICLE CHARGING STATION SHALL BE INSTALLED.
3. SEE SHEET A1.02.

PARCEL 1:

LOTS 14, 15, 16, 17, 18, 23, 24, 26, LESS THE EAST 8 FEET THEREOF, AND
LOTS 27, 28, 29, 30 AND 31, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE VACATED VALLEY
SITUATED BETWEEN LOTS 14 THROUGH 22, AND LOTS 23 THROUGH 31, AND
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 31, BLOCK 9; THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 142.00 FEET TO A POINT LOCATED ALONG THE NORTHERN BOUNDARY LINE OF LOT 26 AND BEING 8 FEET WEST OF THE NORTHWEST CORNER OF LOT 25; THENCE LEAVING THE NORTH LINE OF SAID BLOCK 9, RUN SOUTHERLY ALONG THE WESTERN BOUNDARY LINE OF SAID WEST LINE OF LOT 25, BLOCK 9 (SAID LINE BEING THE WESTERN BOUNDARY LINE OF THE PROPERTY NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN) RUN IN A SOUTHERLY DIRECTION A DISTANCE OF 121 FEET TO A POINT; THENCE, CONTINUING ALONG THE BOUNDARY LINE OF SAID LAND NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN, RUN IN THE FOLLOWING BEARINGS AND DISTANCES: WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN EASTERLY A DISTANCE OF 33 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN NORTHERLY A DISTANCE OF 121 FEET TO A POINT; SAID POINT BEING ALONG THE NORTH LINE OF SAID BLOCK 9; THENCE, LEAVING SAID LANDS, RUN SOUTHERLY ALONG THE WESTERN BOUNDARY LINE OF ZIMMERMAN AND CONTINUING ALONG THE NORTH LINE OF BLOCK 9 RUN IN AN EASTERLY DIRECTION A DISTANCE OF 60.39 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 89°17'08", RUN SOUTHERLY ALONG THE EAST LINE OF SAID BLOCK 9, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER OF LOT 22; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°45'52", RUN WESTERLY ALONG THE NORTH LINE OF LOTS 19 THROUGH 22, BLOCK 9, A DISTANCE OF 108.88 FEET TO THE NORTHWEST CORNER OF SAID LOT 19; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN SOUTHERLY ALONG THE WEST LINE OF SAID LOT 19, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 19; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOTS 14 THROUGH 18, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 14; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN SOUTHERLY ALONG THE WEST LINE OF SAID LOTS 14 AND 31, A DISTANCE OF 255.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

LOT 25 AND THE EAST 8 FEET OF LOT 26, BLOCK 9, OF HOLLYWOOD,
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 21,
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 38, BLOCK 9; THENCE
EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 317.00
FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE
AFOREMENTIONED COURSE, A DISTANCE OF 33.00 FEET; THENCE WITH AN
INCLUDED ANGLE TO THE LEFT OF 90°, RUN SOUTHERLY A DISTANCE OF 121.00
FEET; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°, RUN WESTERLY A
DISTANCE OF 33.00 FEET; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF
90°, RUN NORTHERLY A DISTANCE OF 121.00 FEET TO THE POINT OF BEGINNING.

PARCELI 2:

LOTS 19, 20, 21, 22, 32, 33, 34, 35, 36, 37 AND 38, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE VACATED VALLEY SITUATED BETWEEN LOTS 14 THROUGH 22, AND LOTS 23 THROUGH 31, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 38, BLOCK 9; THENCE EASTERLY ALONG THE NORTH LINE OF SAID BLOCK 9, A DISTANCE OF 317.00 FEET TO A POINT LOCATED ALONG THE NORTHERN BOUNDARY LINE OF LOT 26 AND BEING 8 FEET WEST OF THE NORTHWEST CORNER OF LOT 25; THENCE LEAVING THE NORTH LINE OF SAID BLOCK 9, RUN NORTHERLY ALONG THE WESTERN BOUNDARY LINE OF SAID WEST LINE OF LOT 25, BLOCK 9 (SAID LINE BEING THE WESTERN BOUNDARY LINE OF THE PROPERTY NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN) RUN IN A SOUTHERLY DIRECTION A DISTANCE OF 121 FEET TO A POINT; THENCE, CONTINUING ALONG THE BOUNDARY LINE OF SAID LAND NOW OR FORMERLY OWNED BY RALPH W. ZIMMERMAN, RUN SOUTHERLY ALONG THE WESTERN BOUNDARY LINE OF SAID LOT 31, BEING AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN EASTERLY A DISTANCE OF 33 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN NORTHERLY A DISTANCE OF 121 FEET TO A POINT; SAID POINT BEING ALONG THE NORTH LINE OF SAID BLOCK 9; THENCE, LEAVING SAID LANDS AND BEING AN INCLUDED ANGLE TO THE RIGHT OF 90°00'00", RUN EASTERLY ALONG THE NORTH LINE OF BLOCK 9 RUN IN AN EASTERLY DIRECTION A DISTANCE OF 60.39 FEET TO A POINT; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 89°17'08", RUN SOUTHERLY ALONG THE EAST BOUNDARY LINE OF SAID BLOCK 9, A DISTANCE OF 154.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 22; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°42'52", RUN WESTERLY ALONG THE SOUTH LINE OF SAID BLOCK 9, A DISTANCE OF 232.21 FEET TO THE SOUTHWEST CORNER OF SAID LOT 14; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN NORTHERLY ALONG THE SOUTH LINE OF SAID BLOCK 9, A DISTANCE OF 154.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 31; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOTS 32 THROUGH 38, A DISTANCE OF 175.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 38; THENCE WITH AN INCLUDED ANGLE TO THE LEFT OF 90°00'00", RUN NORTHERLY ALONG THE NORTH LINE OF SAID LOT 38, A DISTANCE OF 121.00 FEET TO THE POINT OF BEGINNING.

PARCELI 3:

LOTS 1 AND 2, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS
RECORDED IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY
FLORIDA.

PARCEL 4:

LOT 3, BLOCK 9, HOLLYWOOD, ACCORDING TO THE PLAT THEREOF AS RECORDED
IN PLAT BOOK 1, PAGE 21, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SCALE: 1"=30'-0"

Existing Alley Easement to be vacated.
A access and Utility Easement will be
granted in its place.

CRA Note:
Streetscape Design and Materials will be coordinated with CRA

modis architects

1955 SW 75th Avenue
Miami, Florida 33155
Orlando Corp.

t. 786.879.8882
f. 786.350.1515
AA#26001777

MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDI
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

EASEMENT EXHIBIT & SITE PLAN NOTES

project number :

#19024

drawing scale :

As Shown

drawing date :

04/20/2020

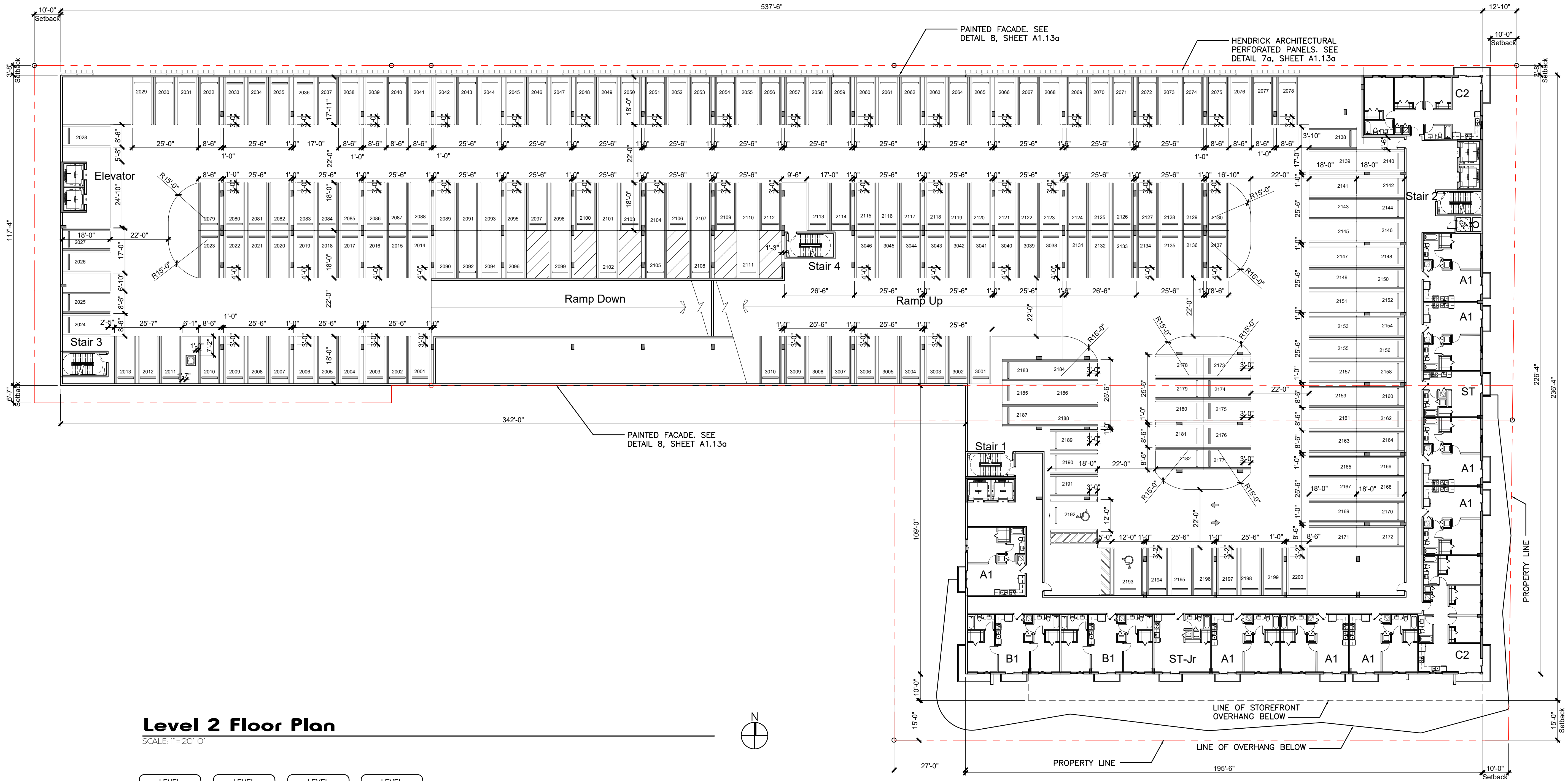
phase :

Final TAC

sheet number :

A1.03

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | 1 MODIS - Drawing 19024 - Hollywood Residential - Estate Comprehensive Design/Build Schematic Design & Final FAC Preparation/03 A0024 Drawing/19024 A-105 Level 2.dwg



Level 2 Floor Plan

SCALE 1"=20'-0"

LEVEL	LEVEL	LEVEL	LEVEL
P2	P2	P2	P2
ELEVATOR SOUTH STAIR #1 ROOF ACCESS DOWN TO TO GROUND LEVEL FOR EXIT DISCHARGE	SOUTH STAIR #2 ROOF ACCESS DOWN TO TO GROUND LEVEL FOR EXIT DISCHARGE	NORTH STAIR #3 ROOF ACCESS DOWN TO TO GROUND LEVEL FOR EXIT DISCHARGE	NORTH STAIR #4 ROOF ACCESS DOWN TO TO GROUND LEVEL

Typical Wayfinding Signage

SCALE: N.T.S.

Tower 1 Unit Area Calculation									
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	C2 (3BD)	Total Units per Floor
Leasable Area	399 sf	500 sf	600 sf	828 sf	1,232 sf	873 sf	1,070 sf	1,070 sf	
Balc./Terr.	27 sf	27 sf	30 sf	30 sf	84 sf	128 sf	128 sf	75 sf	
Level 1	0	0	0	0	0	0	0	0	0
Level 2	1	1	8	2	0	0	0	2	14
Level 3	1	1	8	2	0	0	0	2	14
Level 4	10	5	15	3	4	0	1	2	40
Level 5	10	6	16	3	4	0	1	2	42
Level 6	10	6	16	3	4	0	1	2	42
Level 7	10	6	16	3	4	0	1	2	42
Level 8	10	5	15	2	4	0	1	2	39
Sub Total	62 Units	30 Units	94 Units	18 Units	20 Units	0 Units	5 Units	14 Units	
							Total Units in Tower 1	233 Units	

Tower 2 Unit Area Calculation									
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	Total Units per Floor	Total Area Floor Plate Above 55'0"
Leasable Area	414 sf	502 sf	621 sf	828 sf	1,210 sf	873 sf	1,070 sf		
Balc./Terr.	27 sf	27 sf	30 sf	30 sf	80 sf	128 sf	128 sf		
Level 1	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	
Level 4	4	0	2	6	0	1	1	14	20,865 sf
Level 5	4	7	3	7	2	1	1	25	20,865 sf
Level 6	4	7	3	7	2	1	1	25	20,865 sf
Level 7	4	7	3	7	2	1	1	25	20,865 sf
Level 8	4	7	3	7	2	1	1	25	20,865 sf
Sub Total	20 Units	28 Units	14 Units	34 Units	8 Units	5 Units	5 Units		
						Total Units For Tower 2	114		
						Total Units for Tower 1 & Tower 2	347 DU		

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93239

revisions :

drawing data :

LEVEL 2 FLOOR PLAN

project number :

#19024

drawing scale :

As Shown

drawing date :

04/20/2020

phase :

Final TAC

sheet number :

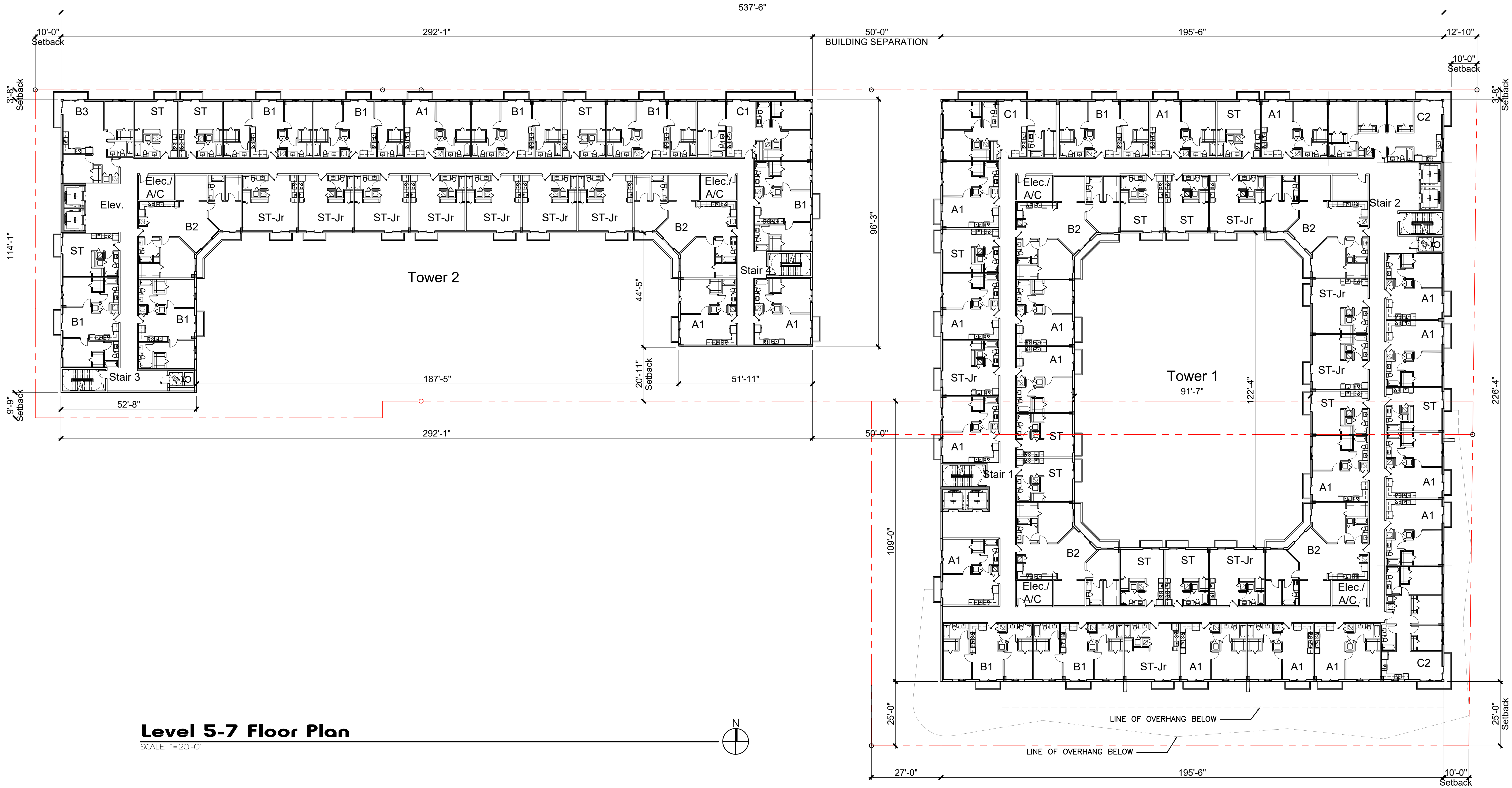
A1.05

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND FORCE NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC



Tower 2 Unit Area Calculation									
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	Total Units per Floor	Total Area Floor Plate Above 55'0"
Leasable Area	414 sf	502 sf	621 sf	828 sf	1,210 sf	873 sf	1,070 sf		
Balc./Terr.	27 sf	27 sf	30 sf	30 sf	80 sf	128 sf	128 sf		
Level 1	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	
Level 4	4	0	2	0	6	0	1	14	20,865 sf
Level 5	4	7	3	7	2	1	1	25	20,865 sf
Level 6	4	7	3	7	2	1	1	25	20,865 sf
Level 7	4	7	3	7	2	1	1	25	20,865 sf
Level 8	4	7	3	7	2	1	1	25	20,865 sf
Sub Total	20 Units	28 Units	14 Units	34 Units	8 Units	5 Units	5 Units		
						Total Units For Tower 2		114	
					Total Units for Tower 1 + Tower 2				347 DU

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Estate Comprehensive Design/AS-Built Schematic Design & Final TAC Preparation/03 A0021 Drawing/19024 A-105 Level 5-7 Zoning



Level 5-7 Floor Plan

SCALE: 1"=20'-0"



Tower 1 Unit Area Calculation									
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	C2 (3BD)	Total Units per Floor
Leasable Area	399 sf	500 sf	600 sf	828 sf	1,232 sf	873 sf	1,070 sf	1,070 sf	
Balc./Terr.	27 sf	27 sf	30 sf	84 sf	128 sf	128 sf	128 sf	75 sf	
Level 1	0	0	0	0	0	0	0	0	0
Level 2	1	1	8	2	0	0	0	2	14
Level 3	1	1	8	2	0	0	0	2	14
Level 4	10	5	15	3	4	0	1	2	40
Level 5	10	6	16	3	4	0	1	2	42
Level 6	10	6	16	3	4	0	1	2	42
Level 7	10	6	16	3	4	0	1	2	42
Level 8	10	5	15	2	4	0	1	2	39
Sub Total	52 Units	30 Units	94 Units	18 Units	20 Units	0 Units	5 Units	14 Units	233 Units
Total Units in Tower 1									233 Units

Tower 2 Unit Area Calculation									
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	Total Units per Floor	Total Area Floor Plate Above 55'0"
Leasable Area	414 sf	502 sf	621 sf	828 sf	1,210 sf	873 sf	1,070 sf		
Balc./Terr.	27 sf	27 sf	30 sf	80 sf	128 sf	128 sf	128 sf		
Level 1	0	0	0	0	0	0	0	0	
Level 2	0	0	0	0	0	0	0	0	
Level 3	0	0	0	0	0	0	0	0	
Level 4	4	0	2	6	0	1	1	14	20,865 sf
Level 5	4	7	3	7	2	1	1	25	20,865 sf
Level 6	4	7	3	7	2	1	1	25	20,865 sf
Level 7	4	7	3	7	2	1	1	25	20,865 sf
Level 8	4	7	3	7	2	1	1	25	20,865 sf
Sub Total	20 Units	28 Units	14 Units	34 Units	8 Units	5 Units	5 Units	114	
Total Units For Tower 2								114	
Total Units for Tower 1 & Tower 2								347 DU	

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.

t. 786.879.8882
f. 786.350.1515
AA#26001777

e. MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

LEVEL 5-7
FLOOR PLAN

project number :

#19024

drawing scale :

As Shown

drawing date :

04/20/2020

phase :

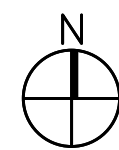
Final TAC

sheet number :

A1.08

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND NOCE NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC

SCALE: 1" = 20'-0"



Tower 1 Unit Area Calculation										Tower 2 Unit Area Calculation										
	Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	C2 (3BD)	Total Units per Floor	Total Area Floor Plate Above 55'0"		Studio	Studio Jr	A1 (1bd)	B1 (2-bd)	B2 (2-bd+Den)	B3 (2-bd)	C1 (3bd)	Total Units per Floor	Total Area Floor Plate Above 55'0"
Leasable Area	399 sf	500 sf	600 sf	828 sf	1,232 sf	873 sf	1,070 sf	1,070 sf			Leasable Area	414 sf	502 sf	621 sf	828 sf	1,210 sf	873 sf	1,070 sf		
Balc./Terr.	27 sf	27 sf	30 sf	30 sf	84 sf	128 sf	128 sf	75 sf			Balc./Terr.	27 sf	27 sf	30 sf	30 sf	80 sf	128 sf	128 sf		
Level 1	0	0	0	0	0	0	0	0	0		Level 1	0	0	0	0	0	0	0	0	
Level 2	1	1	8	2	0	0	0	2	14		Level 2	0	0	0	0	0	0	0	0	
Level 3	1	1	8	2	0	0	0	2	14		Level 3	0	0	0	0	0	0	0	0	
Level 4	10	5	15	3	4	0	1	2	40	33,320 sf	Level 4	4	0	2	6	0	1	1	14	20,865 sf
Level 5	10	6	16	3	4	0	1	2	42	33,320 sf	Level 5	7	2	7	2	1	1	1	25	20,865 sf
Level 6	10	6	16	3	4	0	1	2	42	33,320 sf	Level 6	4	7	3	7	2	1	1	25	20,865 sf
Level 7	10	6	16	3	4	0	1	2	42	33,320 sf	Level 7	4	7	3	7	2	1	1	25	20,865 sf
Level 8	10	5	15	2	4	0	1	2	39	31,272 sf	Level 8	4	7	3	7	2	1	1	25	20,865 sf
Sub Total	52 Units	30 Units	94 Units	18 Units	20 Units	0 Units	5 Units	14 Units			Sub Total	20 Units	28 Units	14 Units	34 Units	8 Units	5 Units	5 Units		
							Total Units in Tower 1		233 Units							Total Units For Tower 2			114	
																Total Units For Tower 1 & Tower 2			347 DU	

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDO
FLORIDA REGISTERED ARCHITECT # AR 93259

drawing data :

LEVEL 8 FLOOR PLAN

#19024

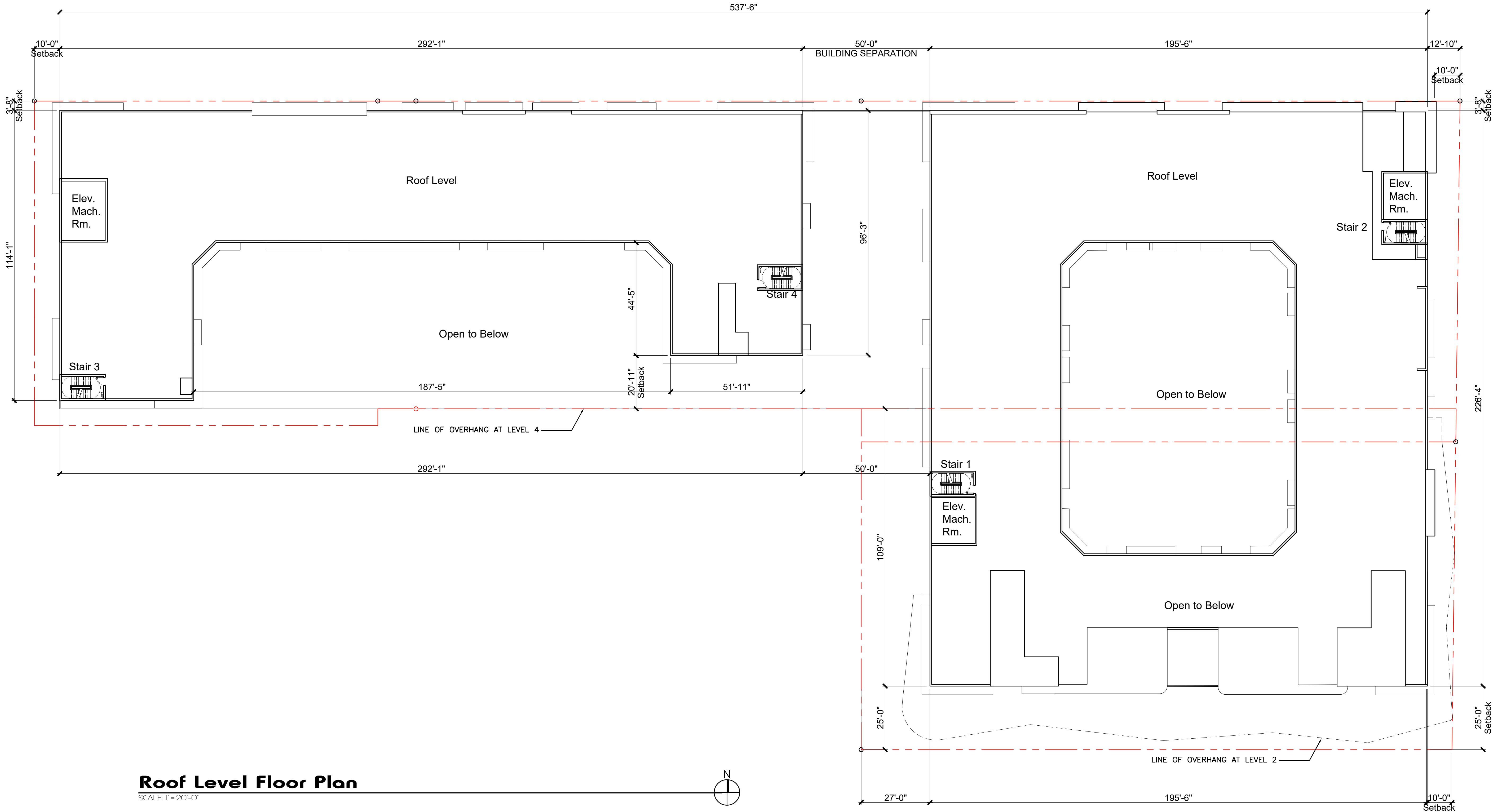
As Shown

04/20/2020

Final TAC

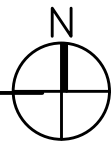
A1.09

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Estate Comprehensive Design/AS-Schematic Design & Final TAC Residential/19024 - Hollywood Residential - Estate Comprehensive Design/AS-Schematic Design & Final TAC Residential/19024 - A.C. to Roof Leveling



Roof Level Floor Plan

SCALE: 1" = 20'-0"



THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ANY DISCREPANCIES OR INCONSISTENCIES ARE FOUND, THE CONTRACTOR SHALL DISCOVER, CORRECT, AND NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

LEVEL 8
FLOOR PLAN

project number :

#19024

drawing scale :

As Shown

drawing date :

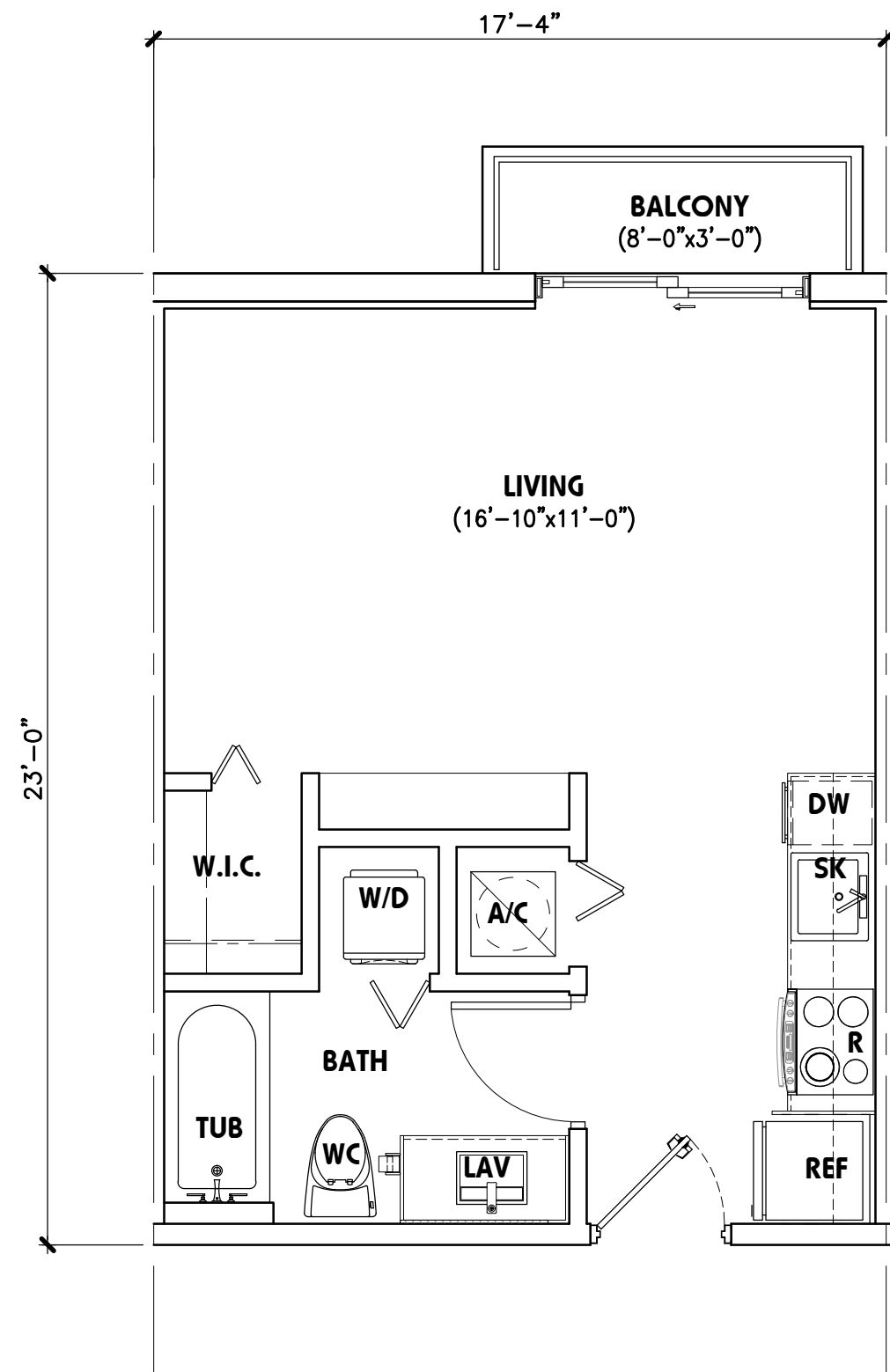
03/11/2020

phase :

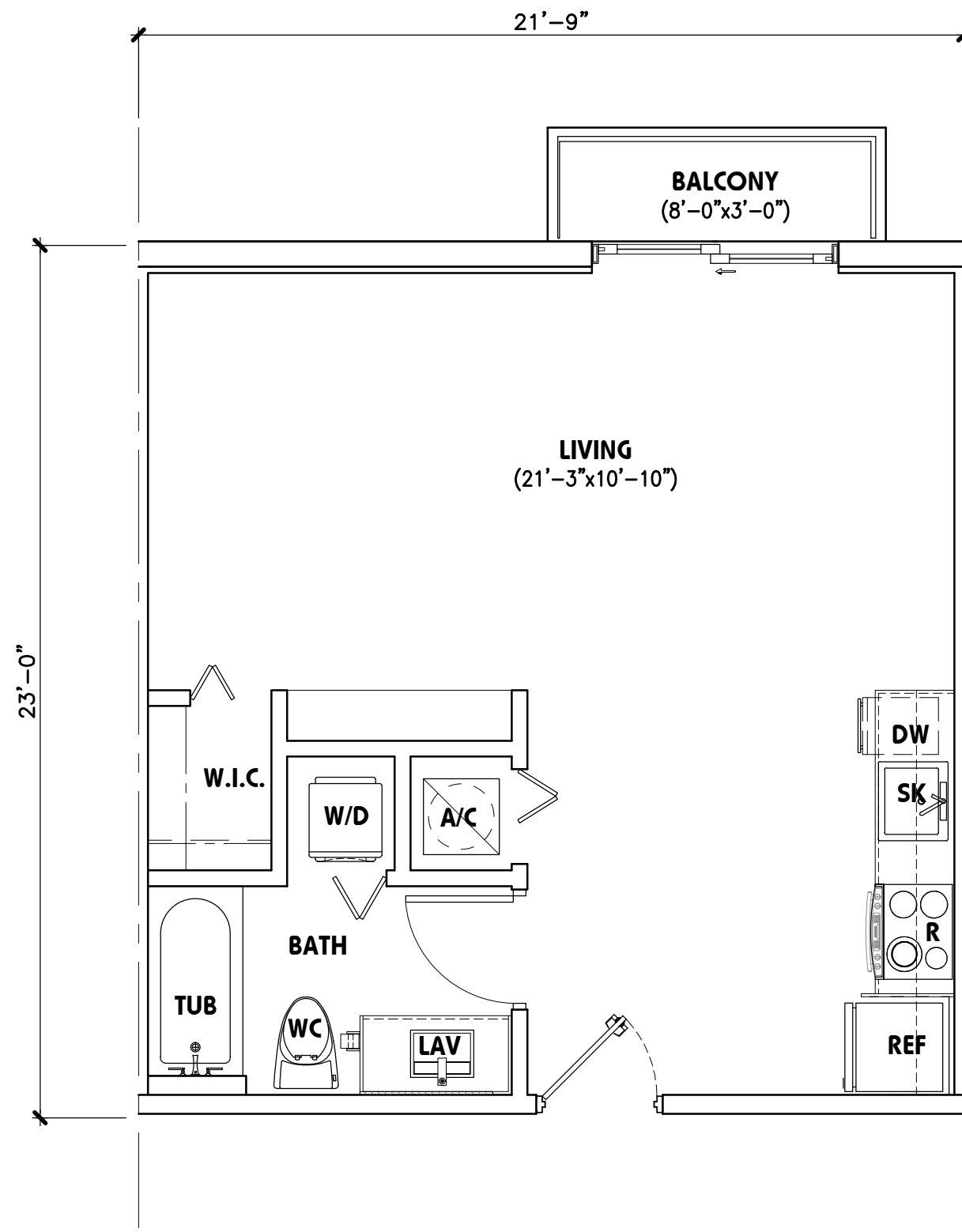
Final TAC

sheet number :

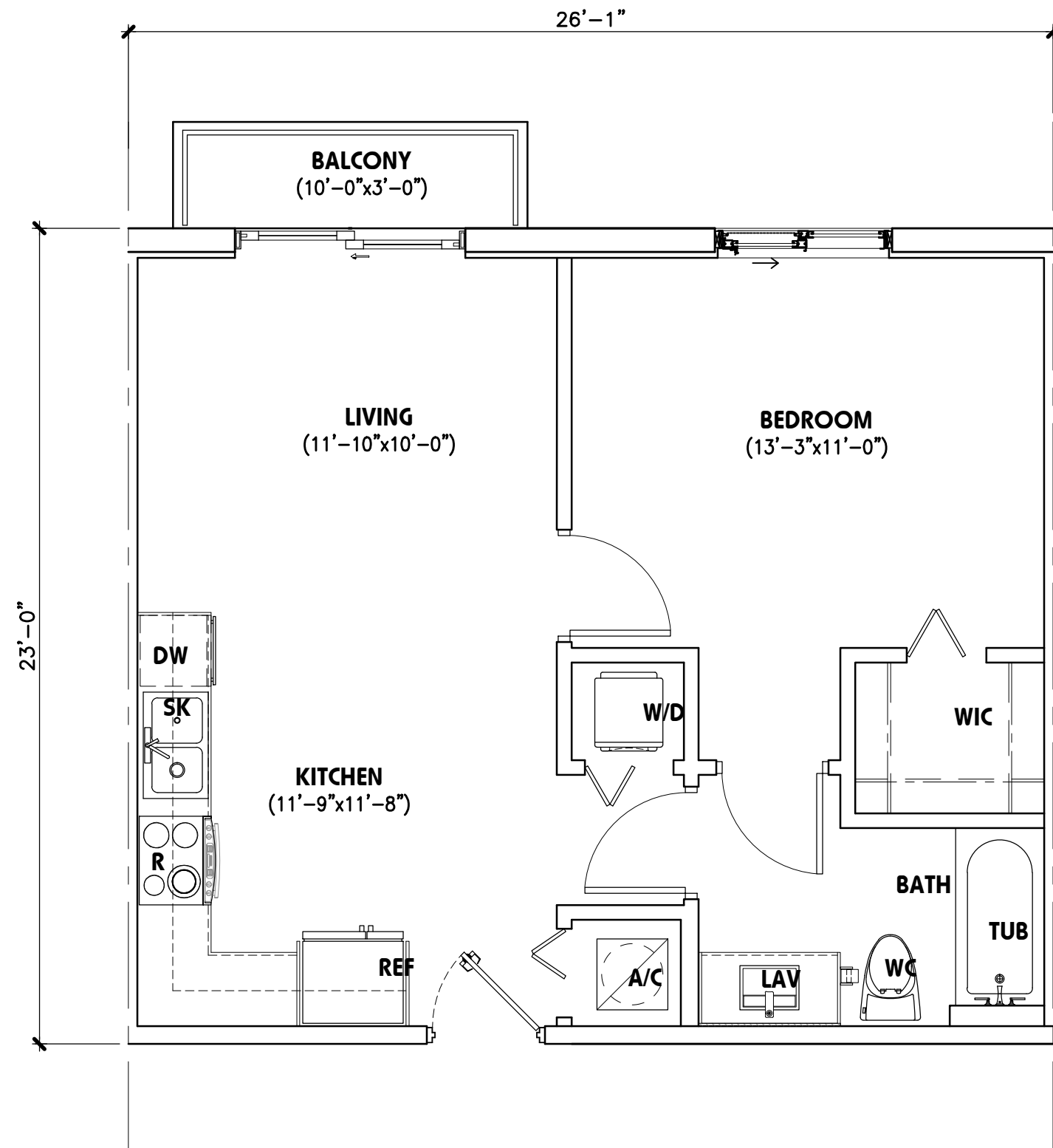
A1.10



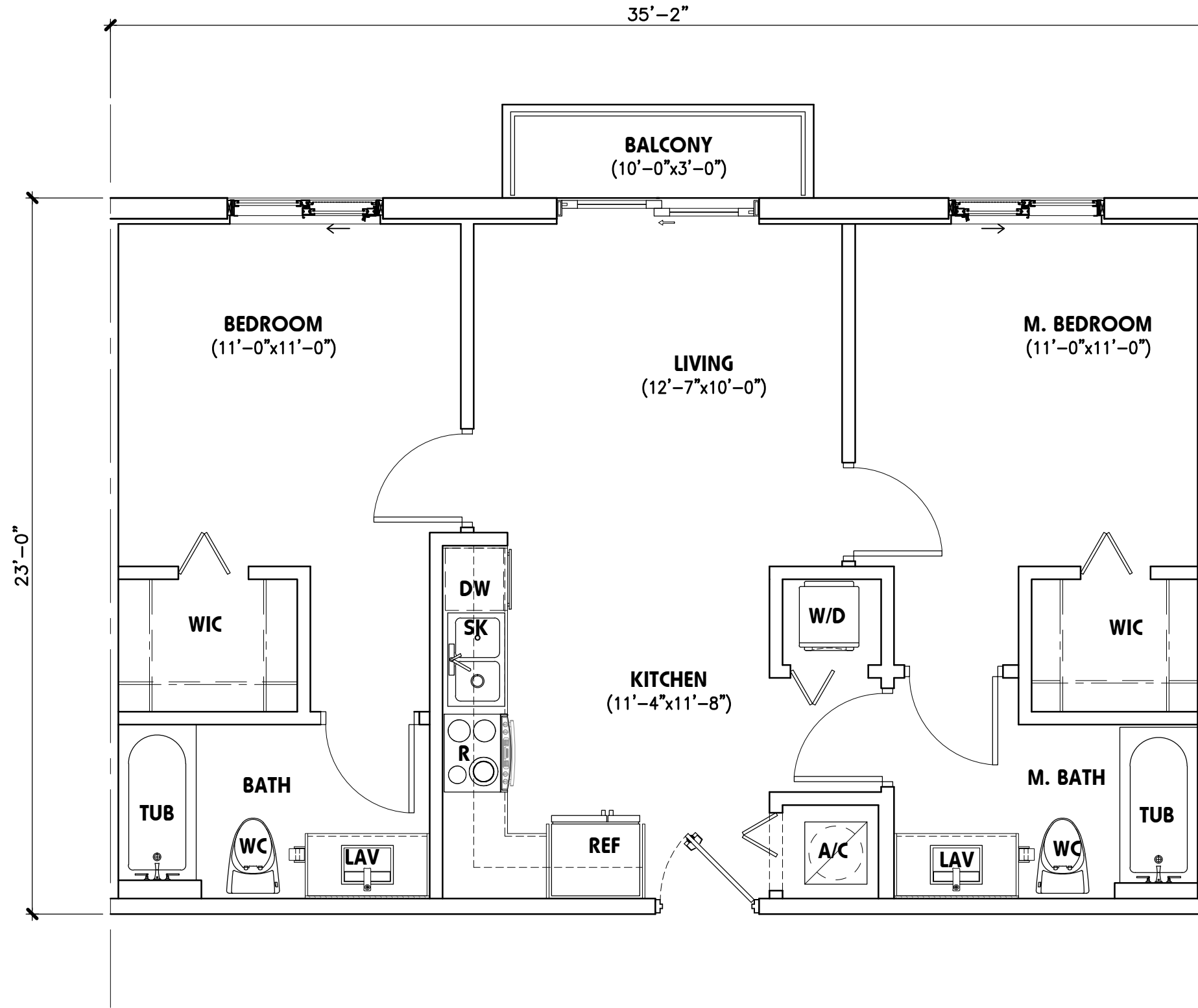
Studio 399 SF
SCALE: 1/4" = 1'-0"



Studio-Jr 500 SF
SCALE: 1/4" = 1'-0"



A1 600 SF
SCALE: 1/4" = 1'-0"



B1 828 SF
SCALE: 1/4" = 1'-0"

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

modis architects
4955 SW 75th Avenue t. 786.879.8882
Miami, Florida 33155 f. 786.350.1515
Florida Corp. e. MODIS@MODISarchitects.com
AA#26001777

project info :
Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

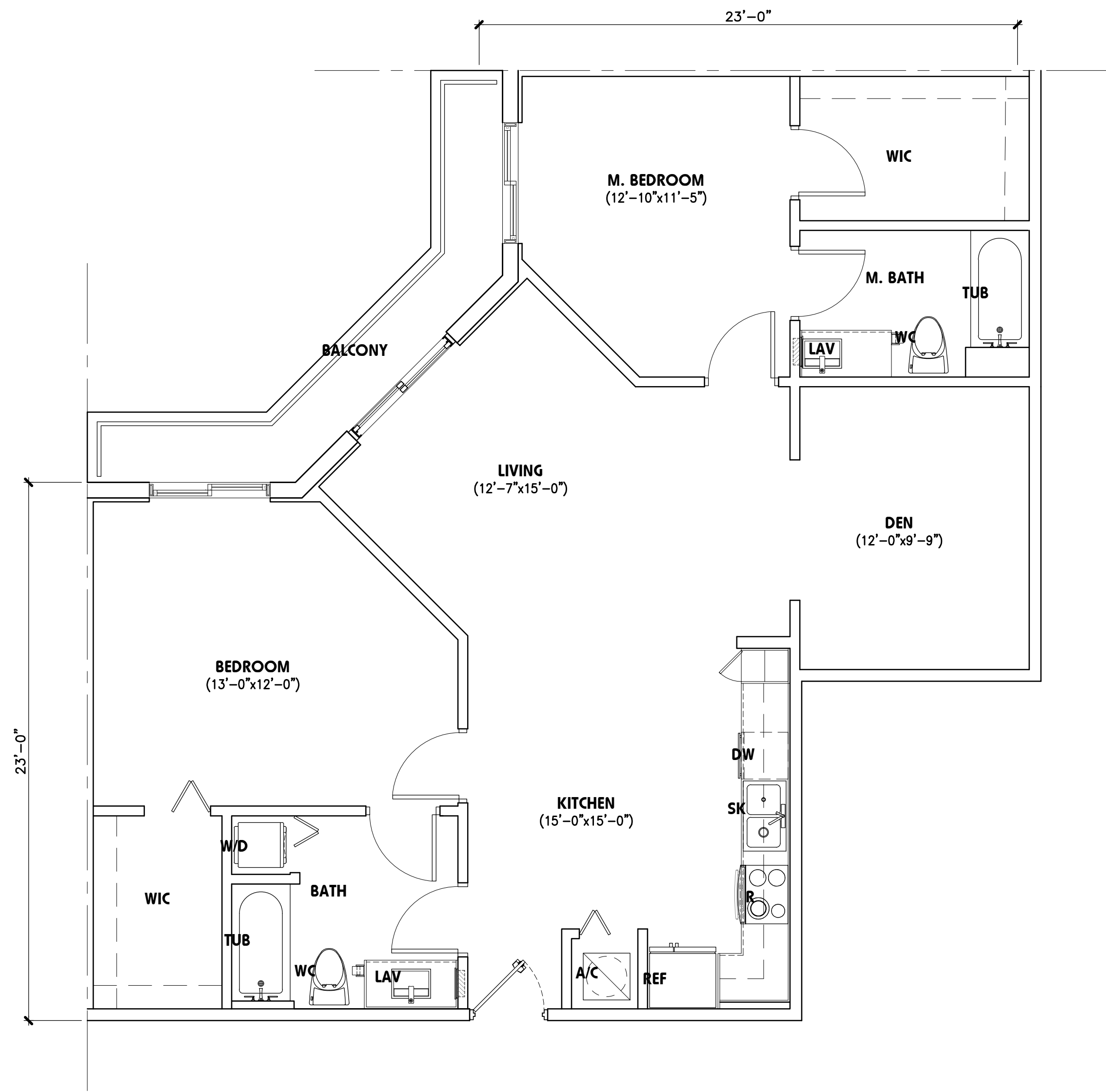
seal :
ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :
UNITS

project number :	#19024
drawing scale :	As Shown
drawing date :	03/11/2020
phase :	Final TAC
sheet number :	A1.11

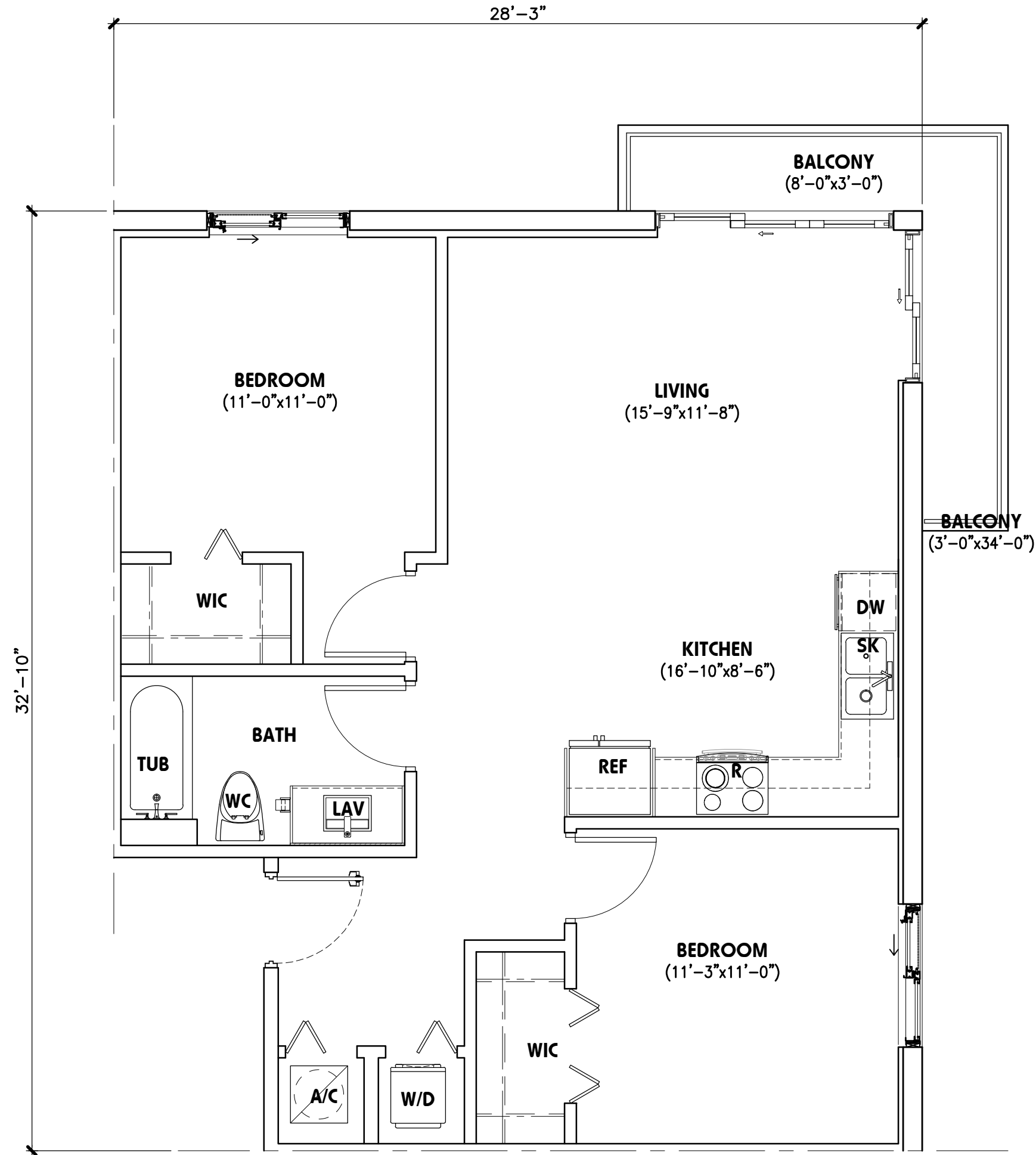
Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing19024 - Hollywood Residential - Estate Comprehensive Design/Build Schematic Design & Final P&C Presentation/03/11/2020 A-1.12 Unit.dwg



B2

SCALE: 1/4"=1'-0"

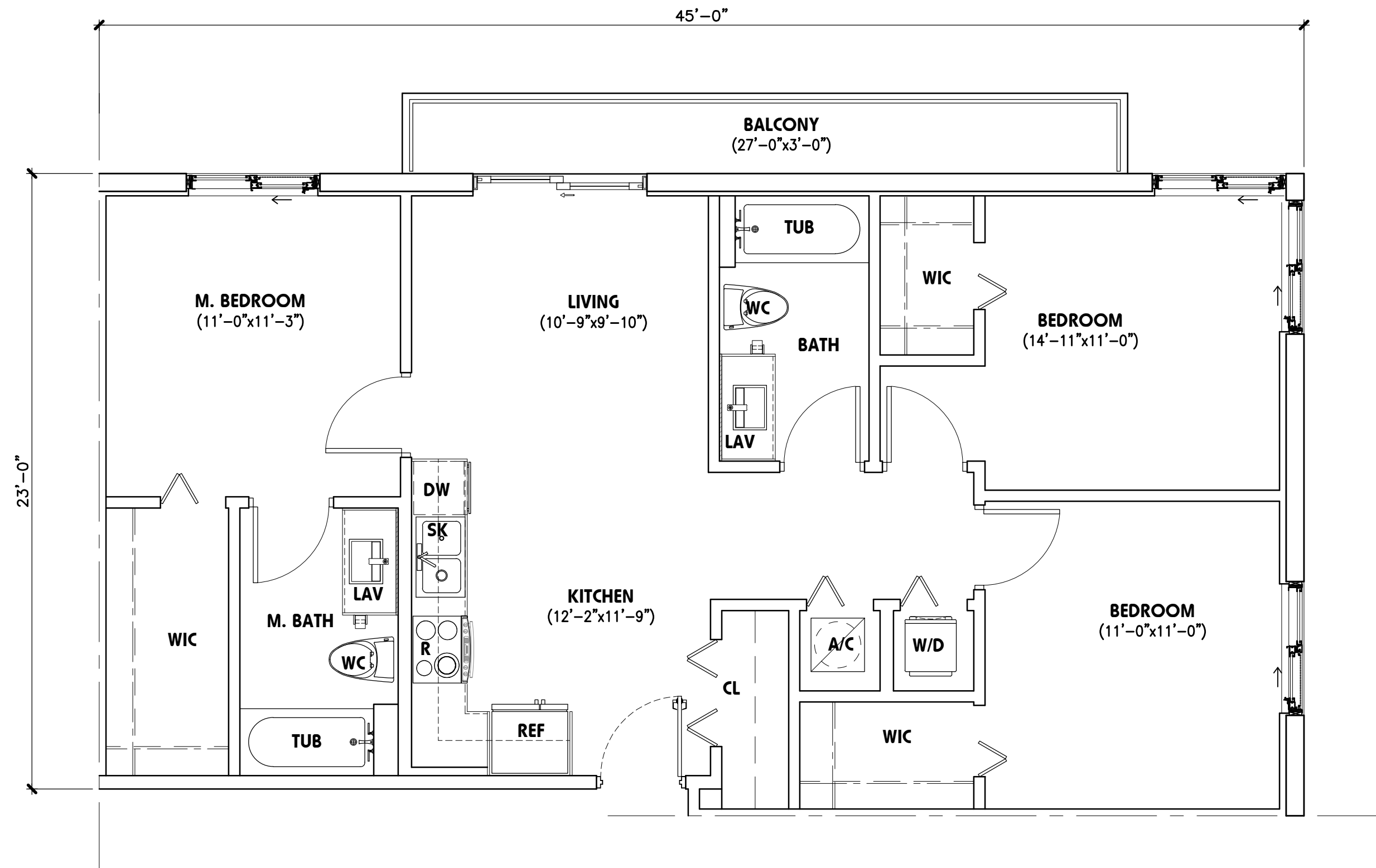
1,210 SF



B3

SCALE: 1/4"=1'-0"

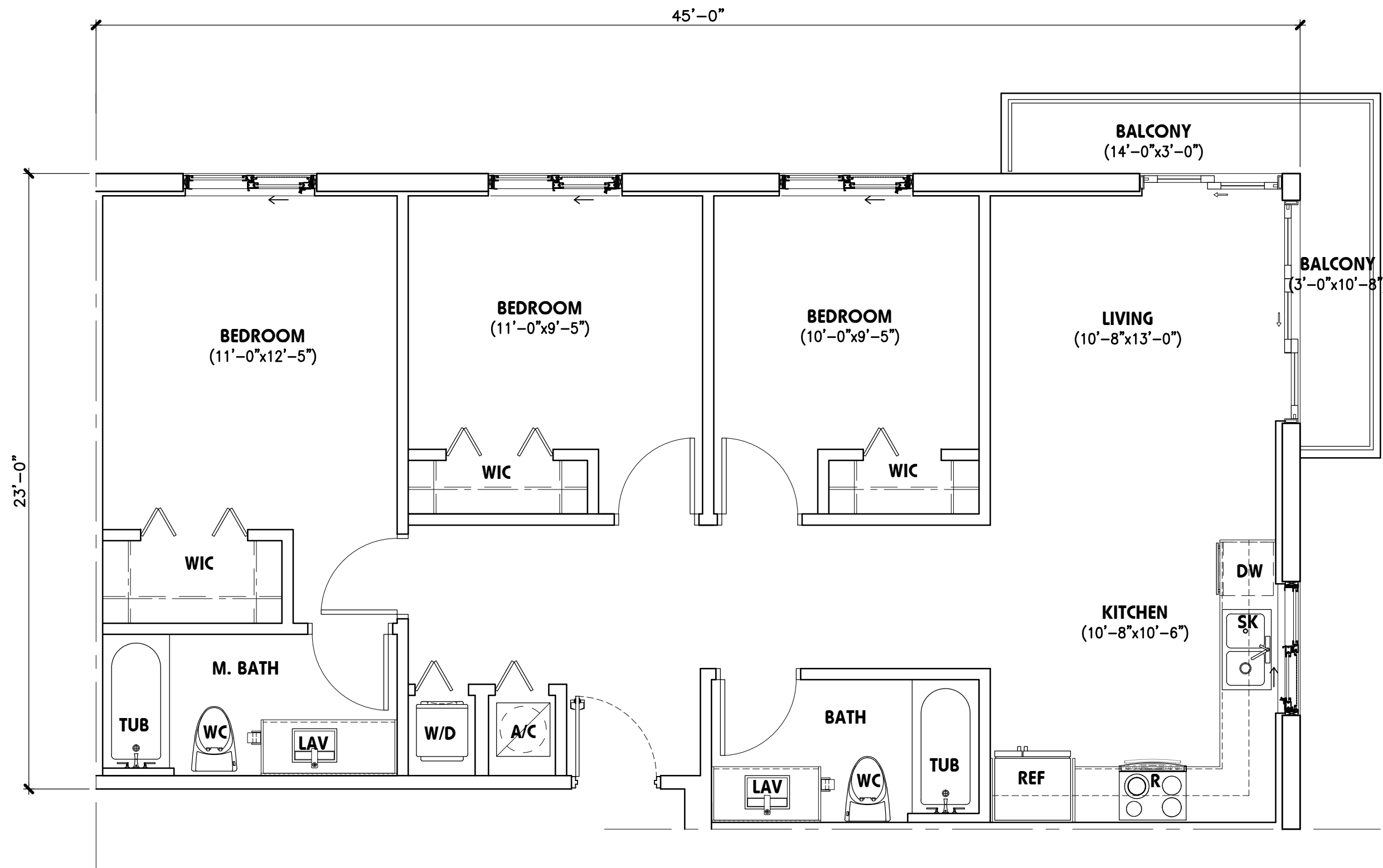
873 SF



C1

SCALE: 1/4"=1'-0"

1,070 SF

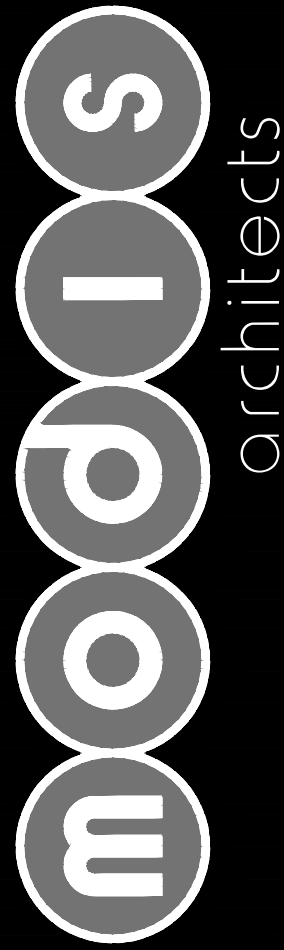


C2

SCALE: 1/4"=1'-0"

1,070 SF

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND AT ONCE NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN. MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.



4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
t. 786.879.8882
f. 786.350.1515
e. MODIS@MODISarchitects.com
AA#26001777

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

UNITS

project number :

#19024

drawing scale :

As Shown

drawing date :

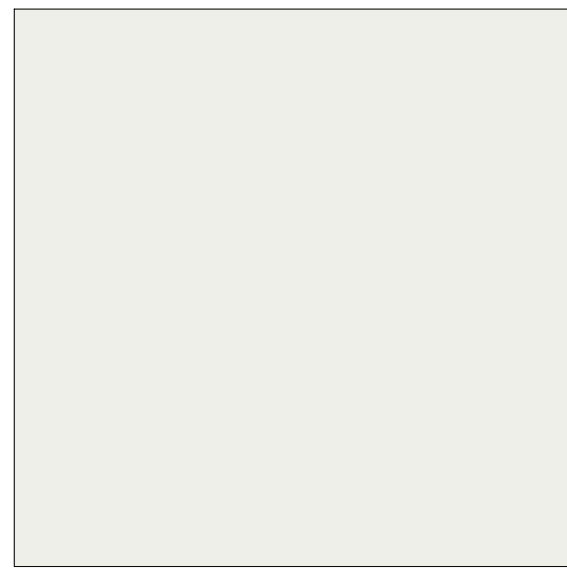
03/11/2020

phase :

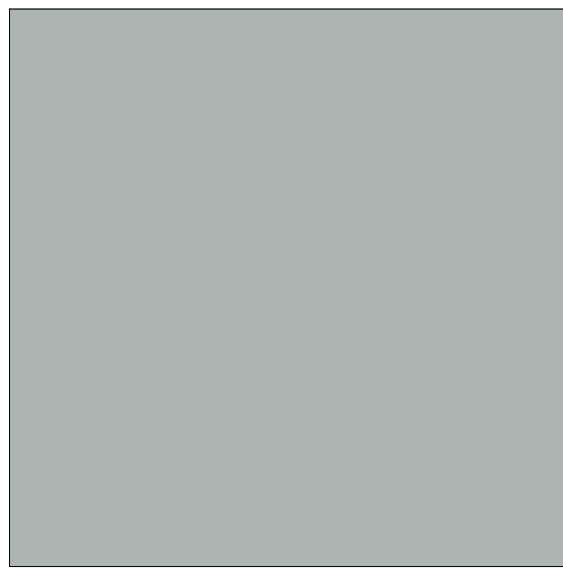
Final TAC

sheet number :

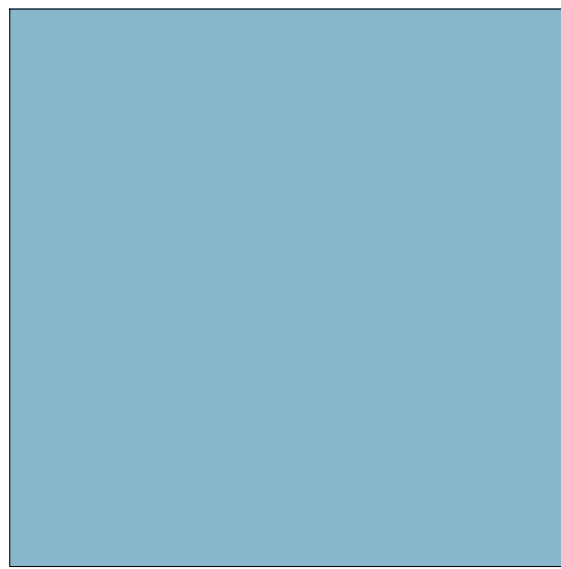
A1.12



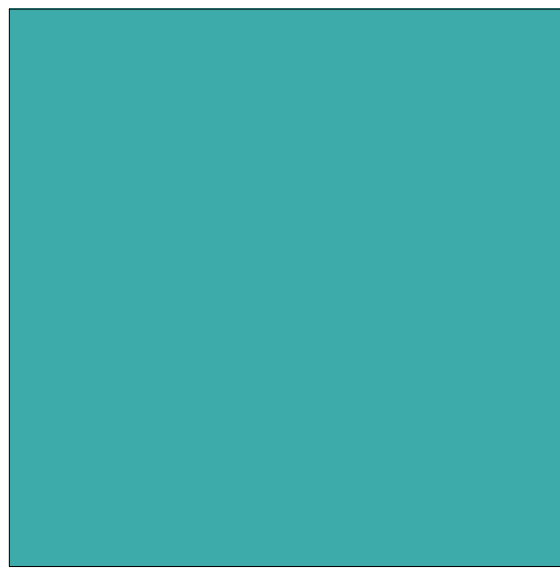
1 WHITE CHRISTMAS 872
BENJAMIN MOORE



2 MARINA GRAY 1599
BENJAMIN MOORE



3 BLUE JEAN 2062-50
BENJAMIN MOORE



4 PALM COAST TEAL 733
BENJAMIN MOORE



5 MESH RAILING



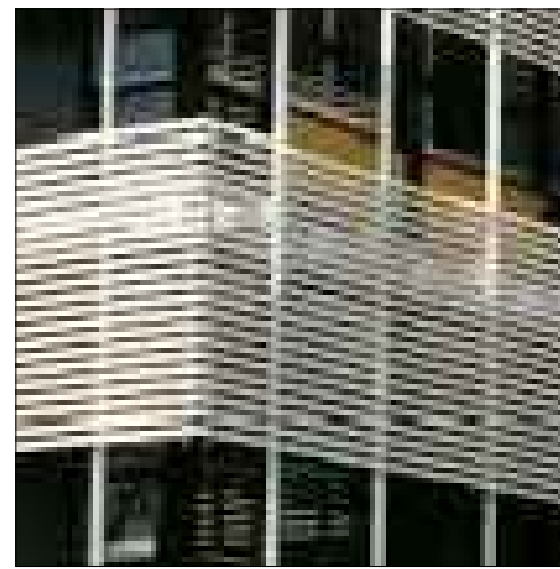
6 IMPACT GLASS
DOOR & WINDOW



7 PERFORATED PANELS
HENDRICK ARCHITECTURAL



8 PAINTED FACADE GARAGE



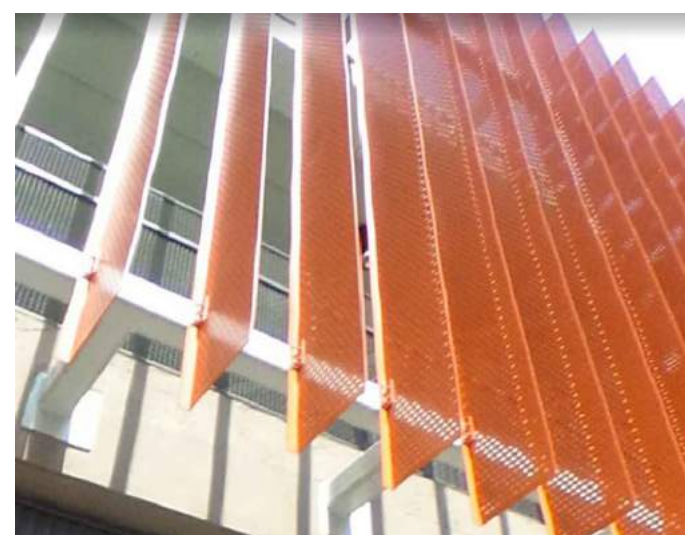
9 HORIZONTAL LOUVERS



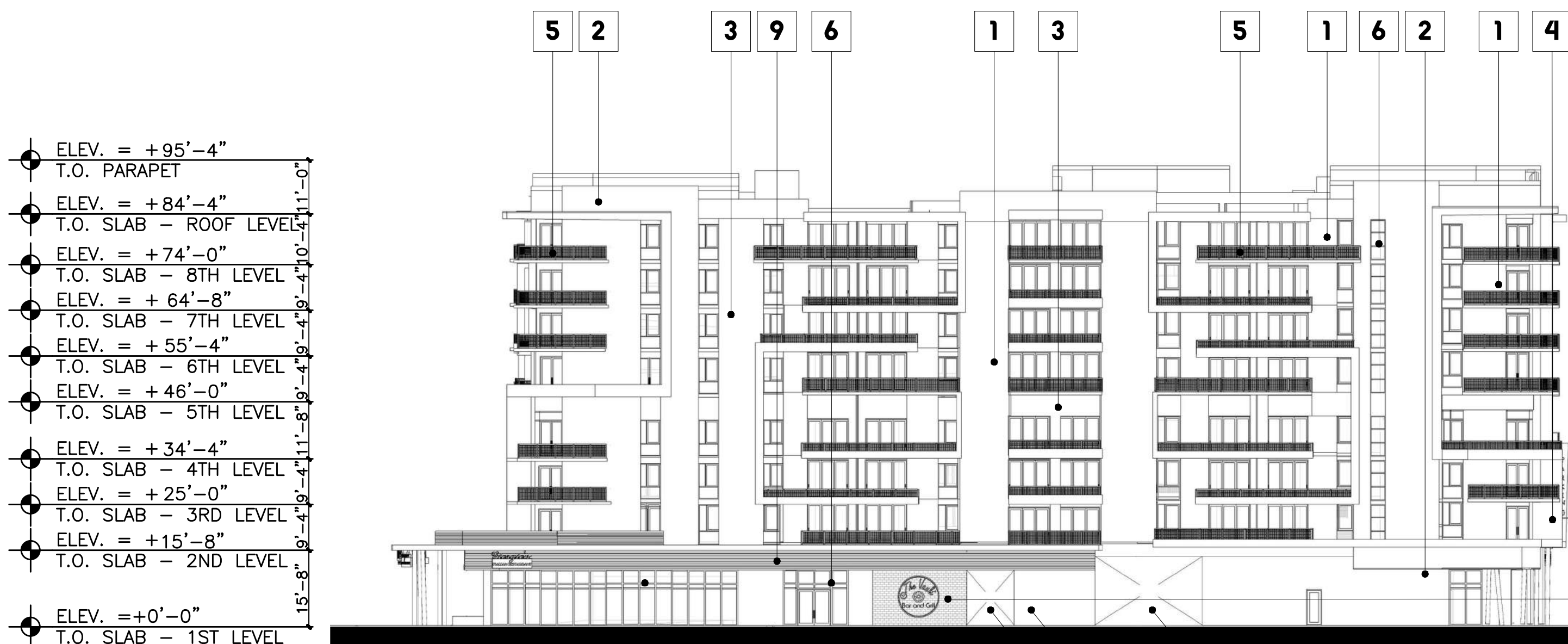
01 Proposed North Elevation

SCALE: 1/32" = 1'-0"

7 PERFORATED PANELS
HENDRICK ARCHITECTURAL



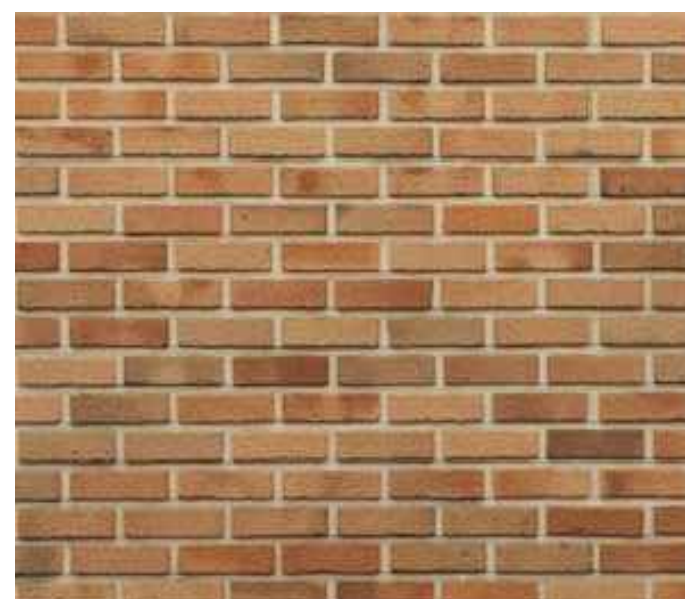
- Aluminum panel thickness of .125" or .190"
- Standard panel widths of 36", 42" or 48"
- Standard panel lengths of 72", 96" or 120"
- 12 standard round perforated patterns with open areas ranging from 23% to 77%
- Designed to withstand sustained winds up to 165 mph (Category 5)
- Multiple finish options offered to ensure the highest quality finish for your project
- Finish warranty options are available up to 20 years
- Concealed fastener panel system design
- All hardware supplied is solid stainless steel



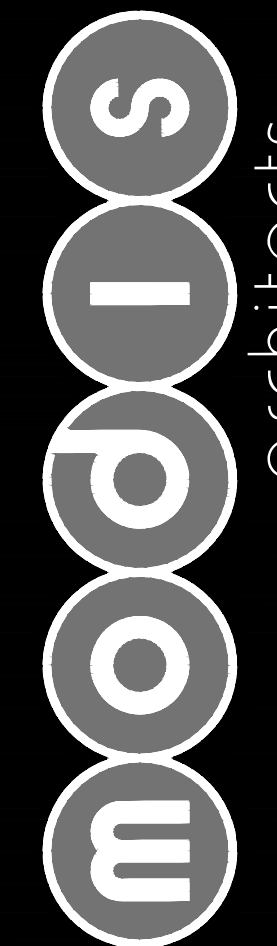
02 Proposed East Elevation

SCALE: 1/32" = 1'-0"

10 EXTERIOR BRICK



EXTERIOR IMAGE OF VAULT



4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com
t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

**NORTH
AND EAST
ELEVATIONS**

project number :

#19024

drawing scale :

As Shown

drawing date :

04/20/2020

phase :

Final TAC

sheet number :

A1.13a

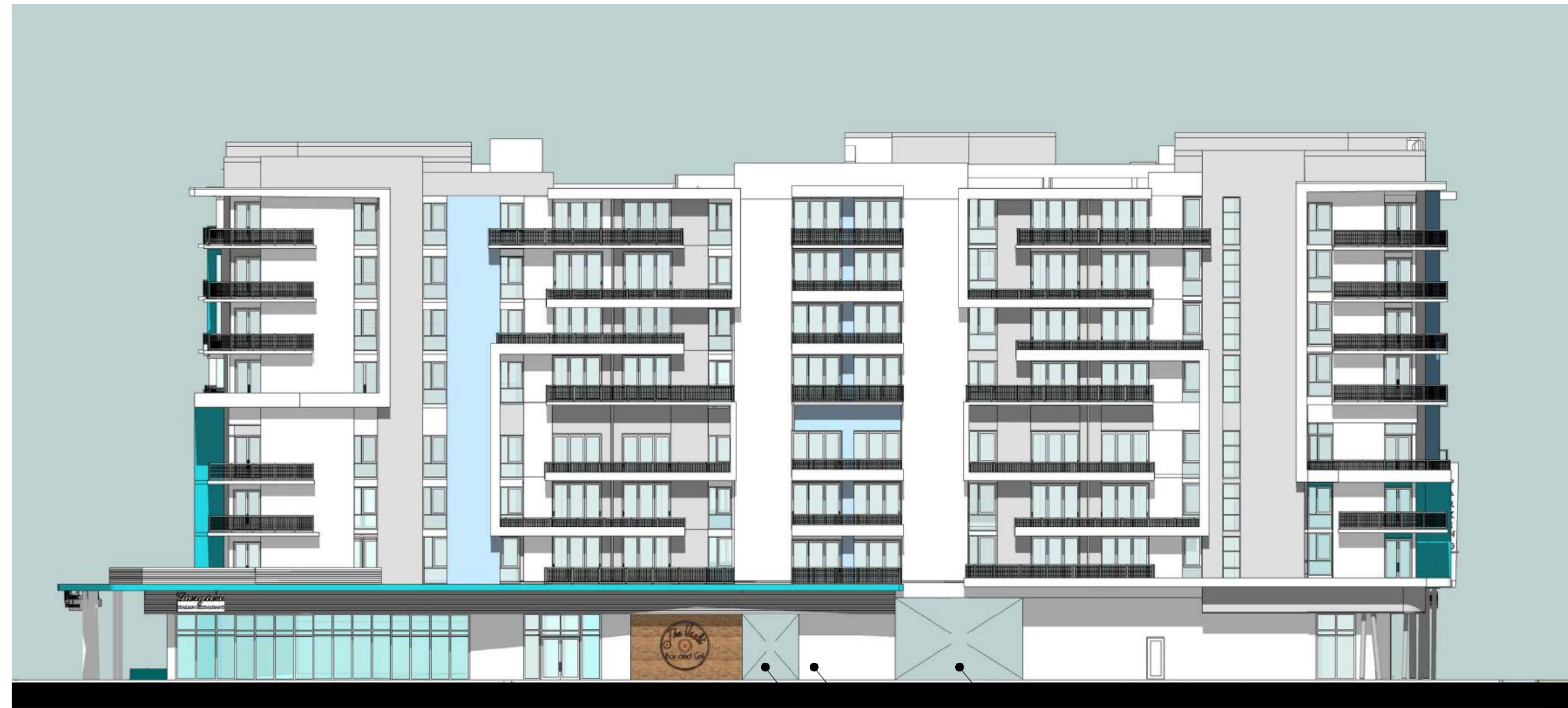
- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +46'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



01 Proposed North Elevation

SCALE: 1/32" = 1'-0"

- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +46'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



02 Proposed East Elevation

SCALE: 1/32" = 1'-0"

GARAGE ENTRY/EXIT
MECHANICAL/ELECTRICAL
BEHIND WALL
PEDESTRIAN WALKWAY

modis architects
4955 SW 75th Avenue t. 786.879.8882
Miami, Florida 33155 f. 786.350.1515
Florida Corp. AA#26001777
e. MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93239

revisions :

drawing data :

**NORTH
AND EAST
ELEVATIONS**

project number :

#19024

drawing scale :

As Shown

drawing date :

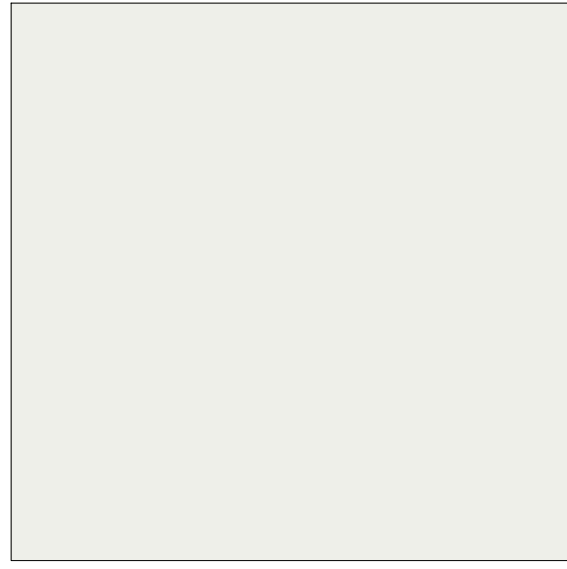
04/20/2020

phase :

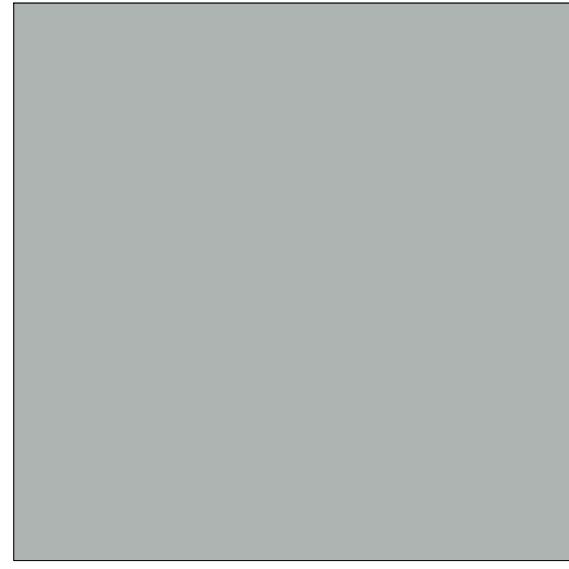
Final TAC

sheet number :

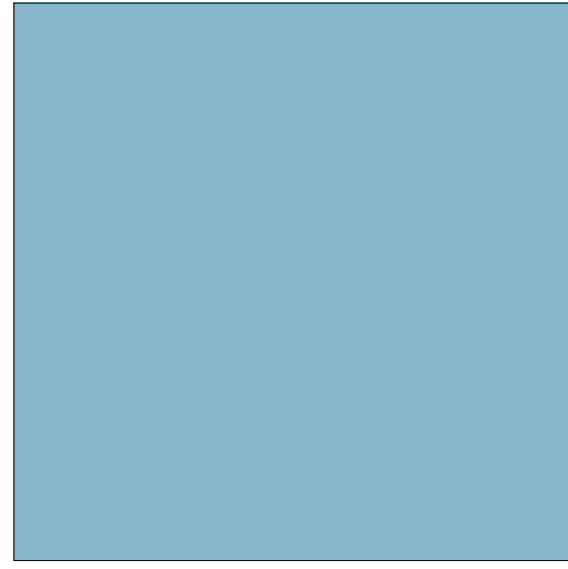
A1.13



1 WHITE CHRISTMAS 872
BENJAMIN MOORE



2 MARINA GRAY 1599
BENJAMIN MOORE



3 BLUE JEAN 2062-50
BENJAMIN MOORE



4 PALM COAST TEAL 733
BENJAMIN MOORE



5 MESH RAILING



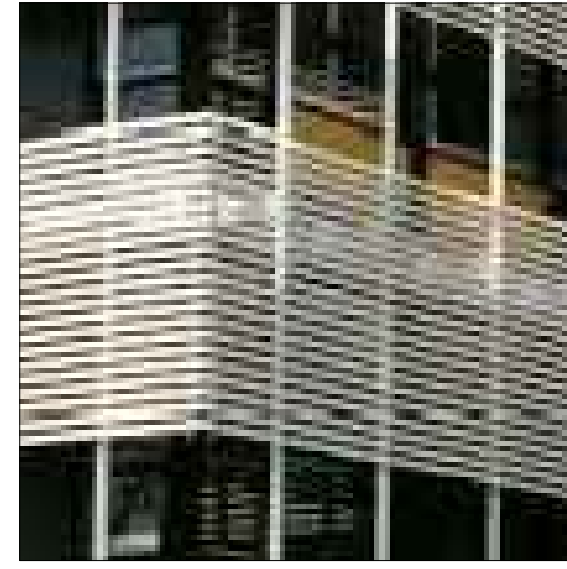
6 IMPACT GLASS
DOOR & WINDOW



7 PERFORATED PANELS
HENDRICK ARCHITECTURAL

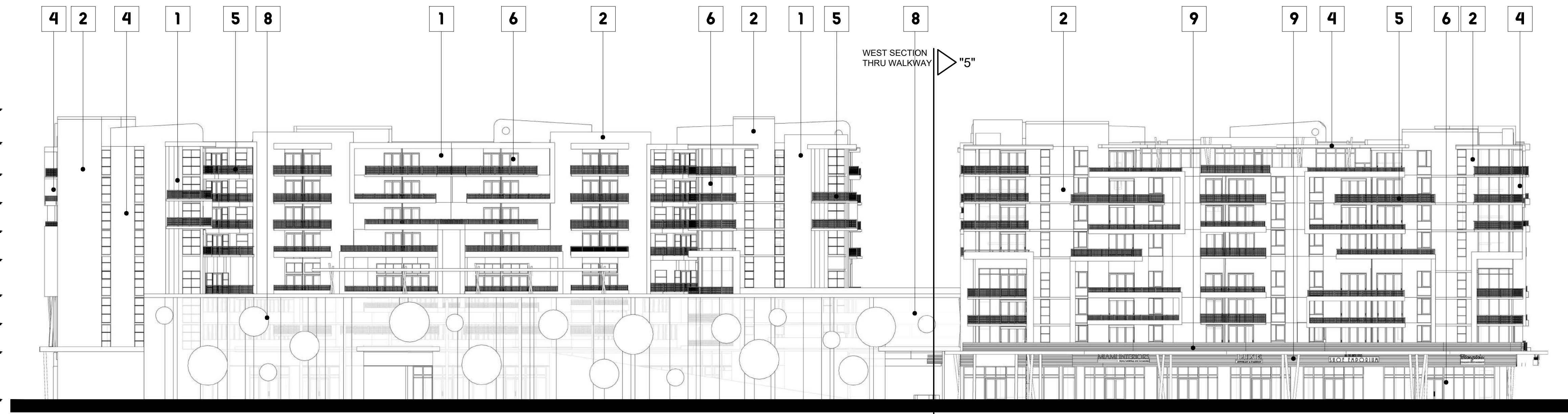


8 PAINTED FACADE GARAGE



9 HORIZONTAL LOUVERS

ELEV. = +95'-4"
T.O. PARAPET
ELEV. = +84'-4"
T.O. SLAB - ROOF LEVEL
ELEV. = +74'-0"
T.O. SLAB - 8TH LEVEL
ELEV. = +64'-8"
T.O. SLAB - 7TH LEVEL
ELEV. = +55'-4"
T.O. SLAB - 6TH LEVEL
ELEV. = +46'-0"
T.O. SLAB - 5TH LEVEL
ELEV. = +34'-4"
T.O. SLAB - 4TH LEVEL
ELEV. = +25'-0"
T.O. SLAB - 3RD LEVEL
ELEV. = +15'-8"
T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"
T.O. SLAB - 1ST LEVEL



03 Proposed South Elevation

SCALE: 1/32"=1'-0"

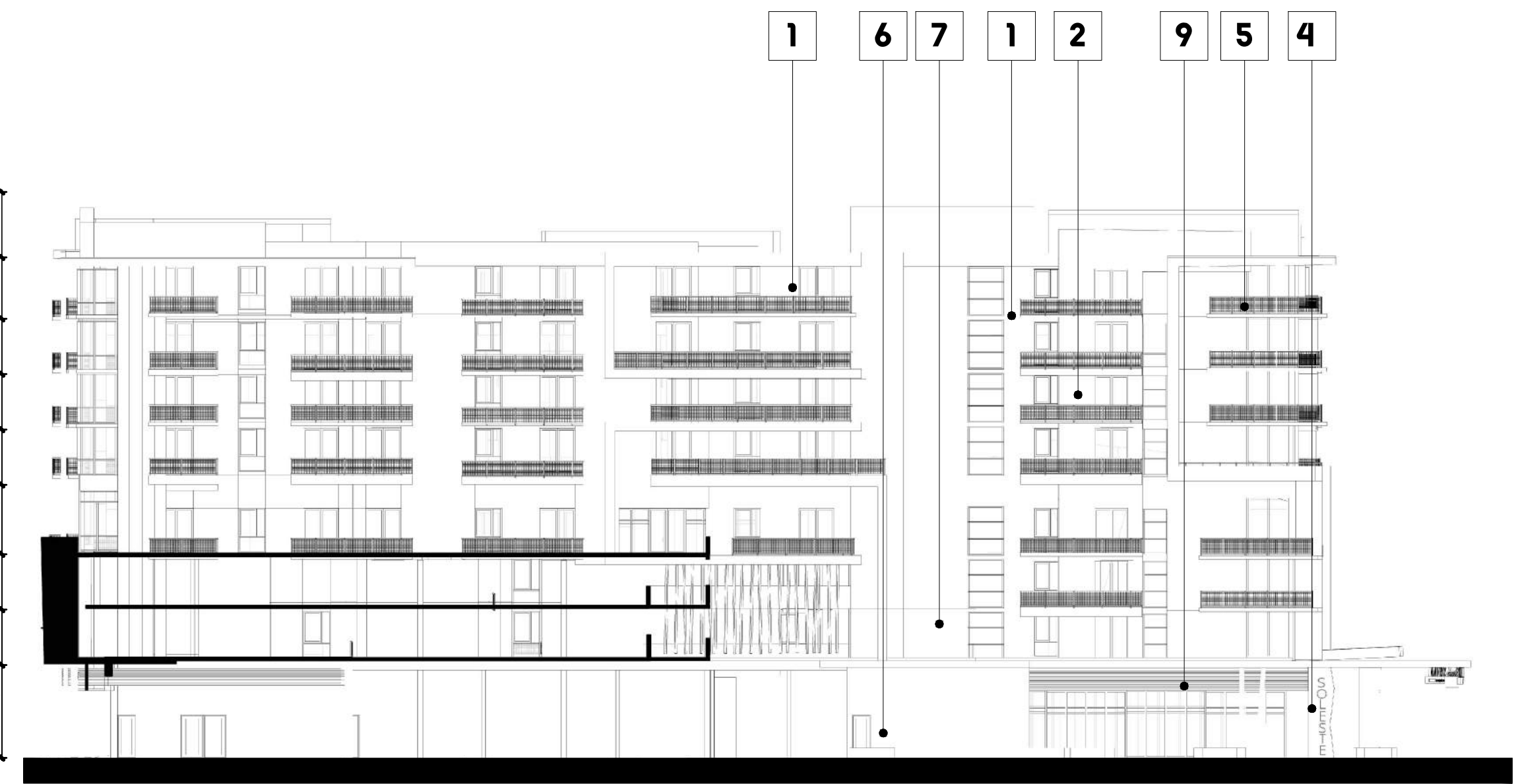
ELEV. = +95'-4"
T.O. PARAPET
ELEV. = +84'-4"
T.O. SLAB - ROOF LEVEL
ELEV. = +74'-0"
T.O. SLAB - 8TH LEVEL
ELEV. = +64'-8"
T.O. SLAB - 7TH LEVEL
ELEV. = +55'-4"
T.O. SLAB - 6TH LEVEL
ELEV. = +46'-0"
T.O. SLAB - 5TH LEVEL
ELEV. = +34'-4"
T.O. SLAB - 4TH LEVEL
ELEV. = +25'-0"
T.O. SLAB - 3RD LEVEL
ELEV. = +15'-8"
T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"
T.O. SLAB - 1ST LEVEL



04 Proposed West Elevation

SCALE: 1/32"=1'-0"

ELEV. = +95'-4"
T.O. PARAPET
ELEV. = +84'-4"
T.O. SLAB - ROOF LEVEL
ELEV. = +74'-0"
T.O. SLAB - 8TH LEVEL
ELEV. = +64'-8"
T.O. SLAB - 7TH LEVEL
ELEV. = +55'-4"
T.O. SLAB - 6TH LEVEL
ELEV. = +46'-0"
T.O. SLAB - 5TH LEVEL
ELEV. = +34'-4"
T.O. SLAB - 4TH LEVEL
ELEV. = +25'-0"
T.O. SLAB - 3RD LEVEL
ELEV. = +15'-8"
T.O. SLAB - 2ND LEVEL
ELEV. = +0'-0"
T.O. SLAB - 1ST LEVEL



05 West Section-Elevation thru walkway

SCALE: 1/32"=1'-0"

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

**NORTH
AND EAST
ELEVATIONS**

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.14a

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Exterior Elevation - Final TAC Preparation | 19024-14 Elevations.dwg

- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +46'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



WEST SECTION
THRU WALKWAY

"5"

WEST SECTION
THRU WALKWAY

"5"

03 Proposed South Elevation

SCALE: 1/32" = 1'-0"

- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +46'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



- ELEV. = +95'-4"
- T.O. PARAPET
- ELEV. = +84'-4"
- T.O. SLAB - ROOF LEVEL
- ELEV. = +74'-0"
- T.O. SLAB - 8TH LEVEL
- ELEV. = +64'-8"
- T.O. SLAB - 7TH LEVEL
- ELEV. = +55'-4"
- T.O. SLAB - 6TH LEVEL
- ELEV. = +46'-0"
- T.O. SLAB - 5TH LEVEL
- ELEV. = +34'-4"
- T.O. SLAB - 4TH LEVEL
- ELEV. = +25'-0"
- T.O. SLAB - 3RD LEVEL
- ELEV. = +15'-8"
- T.O. SLAB - 2ND LEVEL
- ELEV. = +0'-0"
- T.O. SLAB - 1ST LEVEL



05 West Section-Elevation thru walkway

SCALE: 1/32" = 1'-0"

04 Proposed West Elevation

SCALE: 1/32" = 1'-0"

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ONCE NOTIFIED BY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN, MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

modis architects
4955 SW 75th Avenue t. 786.879.8882
Miami, Florida 33155 f. 786.350.1515
Florida Corp. AA#26001777 e. MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93239

revisions :

drawing data :

**NORTH
AND EAST
ELEVATIONS**

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.14



01 View from Hollywood Blvd. Walkway
SCALE: 1/32" = 1'-0"

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

Soleste

Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

3D MODEL

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.15

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Exterior Comprehensive Design/Schematic Design & Final TAC Presentation/AA#26001777 - 1/32" = 1'-0" Model View

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND MAKE ANY NECESSARY ADJUSTMENTS TO THE PROJECT AS SHOWN. MODIS ARCHITECTS, LLC ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS HEREIN. MODIS ARCHITECTS, LLC



02 Proposed 3D Model

SCALE: 1/32" = 1'-0"

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Exterior Commercial Design/Schematic Design & Final TAC Preparation/03/11/2020 A-16-3d Model.dwg

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.

t. 786.879.8882
f. 786.350.1515
AA#26001777

e. MODIS@MODISarchitects.com

project info :

Soleste

Hollywood Blvd.

2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

3D MODEL

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.16

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

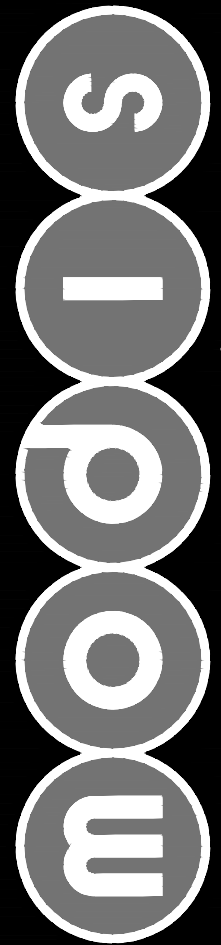


03 View from Hollywood Blvd. & N. 20th Avenue

SCALE: 1/32" = 1'-0"

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Exterior Conceptual Design/Schematic Design & Final TAC Presentation/3D Model/3D Rendering/2024-A-17-20 Model.dwg

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ANY DISCREPANCIES ARE FOUND, THEY SHALL BE DISCOVERED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. MODIS ARCHITECTS, LLC ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC



4955 SW 75th Avenue t. 786.879.8882
Miami, Florida 33155 f. 786.350.1515
Florida Corp. AA#26001777
e. MODIS@MODISarchitects.com

project info :

Soleste
Hollywood Blvd.
2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

3D MODEL

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.17

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Drawing 19024 - Hollywood Residential - Estate Comprehensive Design/Schematic Design & Final TAC Presentation/03/11/2020 - A-1 to 34 Model.dwg



04 View from Tyler Street
SCALE: 1/32" = 1'-0"

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ONCE NOTIFIED BY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN, MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882

f. 786.350.1515

AA#26001777

project info :

Soleste

Hollywood Blvd.

2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

3D MODEL

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.18

SCALE: 1/32" = 1'-0"

A1.19



05

Proposed 3D Model

SCALE: 1/32" = 1'-0"

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing 19024 - Hollywood Residential - Estate Compound Design/Schematic Design & Final TAC Presentation/AA#21 Drawing 19024-A-100-3d Model.dwg

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND IF ONCE NOTIFIED BY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES HEREIN, THE CONTRACTOR SHALL DISCOVER, CORRECT, AND RE-DESIGN THE PROJECT. MODIS ARCHITECTS, LLC

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882

f. 786.350.1515

AA#26001777

project info :

Soleste

Hollywood Blvd.

2001 Hollywood Blvd.

Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

3D MODEL

project number :

#19024

drawing scale :

As Shown

drawing date :

03/11/2020

phase :

Final TAC

sheet number :

A1.20

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | M-MODIS - Drawing19024 - Hollywood Residential - Exterior Comprehensive Design/AS-Schematic Design & Final TAC Presentation/03-AS-21 Street Profile.dwg



01 **South Elevation**

STREET PROFILE



02 **North Elevation**

STREET PROFILE

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ONCE NOTIFIED BY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES, THEY MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.

t. 786.879.8882
f. 786.350.1515
e. MODIS@MODISarchitects.com

project info :

Soleste

Hollywood Blvd.

2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

STREET PROFILE
ELEVATIONS

project number :
#19024

drawing scale :
As Shown

drawing date :
03/11/2020

phase :
Final TAC

sheet number :
A1.21

Copyright © 2017 | MODIS ARCHITECTS, LLC | All Rights Reserved | MODIS - Drawing19024 - Drawing19024 - Hollywood Residential - Exterior Comprehensive Design/AS-Built Schematic Design & Final TAC Preparation/AS-Built Drawing/19024-A-1.22 Street Profile.dwg



03 **West Elevation**
STREET PROFILE



04 **East Elevation**
STREET PROFILE

THIS DRAWING IS THE PROPERTY OF MODIS ARCHITECTS, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF MODIS ARCHITECTS, LLC. THIS DRAWING IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND, IF ONCE NOTIFIED BY THE ARCHITECT AS TO ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES, HE/SHE MAY DISCOVER. COPYRIGHT © 2018 MODIS ARCHITECTS, LLC.

modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.

t. 786.879.8882
f. 786.350.1515
AA#26001777

e. MODIS@MODISarchitects.com

project info :

Soleste

Hollywood Blvd.

2001 Hollywood Blvd.
Hollywood, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

STREET PROFILE
ELEVATIONS

project number :	#19024
drawing scale :	As Shown
drawing date :	03/11/2020
phase :	Final TAC
sheet number :	A1.22