

ATTACHMENT II
Previous Planning and Development
Board Staff Report and Memo

**CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING AND URBAN DESIGN DIVISION**

DATE: September 6, 2018 **FILE:** 18-DPV-19

TO: Planning and Development Board

VIA: Leslie A. Del Monte, Planning Manager

FROM: Deandrea Moise, Planning Administrator

SUBJECT: VVG Real Estate Investments LLC request Variances, Design, and Site Plan for a 36 unit residential development generally located at between N Ocean Drive and N Surf Road and, between New Mexico Street and New Hampshire Street.

REQUEST

Variances, Design, and Site Plan for a 36 unit residential development.

Variance 1: To waive the required active use requirement.

Variance 2: To increase the maximum building height from 50 feet to 76 feet with vertical projections extending to 85 feet.

RECOMMENDATION

Variance 1: Approval

Variance 2: Approval

Design: Approval, with the following conditions that the Applicant continue to work with the City's Landscape Architect to ensure vertical landscape species is appropriate for vertical growth, adequate for screening all levels of the garage and salt tolerant.

Site Plan: Approval, if Variances and Design are approved, and with the following conditions:

- a. Prior to the issuance of a Building Permit, the Applicant shall submit a Deed Restriction in a form acceptable to the City Attorney, acknowledging the specific limitation as to the number of lawful dwelling units and declaring an intent to comply with such limitations, as well as advising any successor in interest of such binding limitations; and prior to the issuance of a Certificate of Completion (C/C) or Certificate of Occupancy (C/O), the City shall record the Deed Restriction in the Public Records of Broward County, Florida.

- b. Work with Engineering to provide rights-of-way dedication of five feet along A1A to comply with Broward County Traffic ways Plan.
- c. Applicant shall update recreational and parking easement and agreement to reflect new conditions.
- d. Work with Engineering to provide existing and proposed streetscape plans for work within City rights-of-way, such as modifications of landscaping islands, parking, tree planting, pavers, pavement markings, signage, etc. in coordination with the proposed driveway openings.

REQUEST

The Applicant is requesting Variances, Design, and Site Plan for a 36 unit residential development. The subject property is located within Central Beach between New Hampshire Street and New Mexico Street, with a Land Use designation of Medium High Residential (MHRES) and a Zoning designation of Beach Resort Commercial Residential District (BRT-25-R).

In what is now vacant land, surface parking, and small outdated residential structures, the Applicant proposes to demolish, and aggregate the approximate acre of land, to construct a residential development along the A1A corridor. The seven-story, 36 unit residential development includes one to three bedroom floor plans, access-controlled parking, and residential amenities to include, a pool and recreation area. The building is oriented towards A1A, promoting a positive relationship between the pedestrian and the built environment through design and architecture.

Architectural elements of the contemporary and clean design, such as the large windows, large balconies, glass railings and vertical landscape elements come together to create a design that is not intrusive, but rather enhances the character of the neighborhood. The series of contrasting volumes, artistic materials and elements, create dynamic and visually appealing façades that help to serve as a catalyst and provides an example for future revitalization efforts. Furthermore, this design also uses landscaping to enhance and frame the property. The landscape plan incorporates an array of native trees, palms, and shrubs while improving the streetscape along all frontages including Surf Road.

As a part of the proposed development, the Applicant requests two variances to reduce the requirement for active use and increase the permitted height. Per the Zoning and Land Development Regulations, each frontage and level of parking is required to be lined with an active use for a minimum of 60 percent of the frontage. The Applicant has taken measures to ensure that the parking garage is adequately screened, and due to agreements made prior to the rezoning and configuration of the lot, the parking levels along the frontages cannot accommodate the required parking and the required active use. Furthermore, as this is a primarily residential area, active uses lined along all frontages may give those navigating the roadway and pedestrians the impression that this may be a commercial use. The Applicant has worked with Staff to propose frontages that although may not meet the active use requirement, give the appearance of a use other than a parking garage beyond the glass while adequately concealing the garage. Additionally the Applicant proposes vertical landscape to help soften the facade and screen the garage.

The final variance is to increase the maximum height. The current zoning does not permit structures to exceed 50 feet in height, whereas the Applicant proposes 76 feet with elements, such as mechanical equipment, projecting to 85 feet. Due to a parking agreement made in 1988 the Applicant is required to provide 40 parking spaces and recreational amenities to a neighboring condominium. Because of this agreement the Applicant cannot compile with the terms of the agreement while maximizing the use of the property without the additional height. Furthermore, this agreement was made prior to the current zoning coming into effect, which allowed for higher heights and would have permitted the Applicant to construct at the proposed height without the need for a variance. At the time of the agreement the proposed terms were not detrimental to future development.

The Applicant has worked with Staff to ensure that all applicable regulations are met and the proposed design is compatible with the surrounding community and land uses.

Owner/Applicant:	VVG Real Estate Investments LLC
Address/Location:	Generally located between N Ocean Drive and N Surf Road and, between New Mexico Street and New Hampshire Street
Net Area of Property:	43,432 sq. ft. (0.9984 acres)
Land Use:	Medium High Residential
Zoning:	Beach Resort Residential District (BRT-25-R)
Existing Use of Land:	Vacant, Residential, Parking and Recreational Area

ADJACENT LAND USE

North:	Medium High Residential
South:	Medium High Residential
East:	Medium High Residential
West:	Medium High Residential

ADJACENT ZONING

North:	Beach Resort Residential District (BRT-25-R)/ Planned Development
South:	Beach Resort Residential District (BRT-25-R)
East:	Broadwalk Historic Residential District (BWK-25-HD-R)
West:	Beach Resort A1A Residential District (BRT-25-A1A-R)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to *promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property.*

The proposed design is consistent with the scale and massing of the adjacent neighborhood; while allowing the Applicant to maximize the use of their property. The proposed development is in line with the City's aim to encourage and promote reinvestment in the Hollywood Beach neighborhood. The project is consistent with the Comprehensive Plan based on the following:

Objective 4: *Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted.*

Policy CW.15: Place a priority on protecting, preserving and enhancing residential neighborhoods.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The project is located in Sub-Area 4, which contains several beach neighborhoods, North Beach, North Central (from Sherman Street south to Carolina Street), Central (from Carolina Street south to Harrison Street), South Central (from Harrison Street south to Jefferson Street), and South Beach. However, three beach neighborhoods have been identified by the City-Wide Master Plan; North Beach (from Dania Beach Boulevard to Sherman Street), Central Beach (from Sherman Street to Harrison Street), and South Beach (from Harrison Street to Hallandale Beach Boulevard). The City-Wide Master Plan places a priority on protecting, preserving and enhancing residential neighborhoods. The proposed development is sensitive to the character of the district through its design which is similar to existing structures in the surrounding neighborhood. The proposed request is consistent with City-Wide Master Plan based upon the following:

Guiding Principle: Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

Policy 6.7: Prepare design plans to enhance the streetscape with emphasis on the pedestrian environment

Policy 2.46: Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.

Policy CW.15: Place a priority on protecting, preserving and enhancing residential neighborhoods.

APPLICABLE CRITERIA

Analysis of Criteria and Findings for Variances as stated in the City of Hollywood's Zoning and Land Development Regulations Article 5.

VARIANCE 1: To waive the required active use requirement.

CRITERION 1: That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.

ANALYSIS: The active use requirement aims to discourage facades that negatively impact the relationship between the pedestrian and built environment. Furthermore, the active use requirement encourages adequate screening of parking levels so that structures do not appear to be multiple levels of parking. The Applicant has taken measures to ensure that the parking area is adequately screened and has worked with Staff to propose frontages that although may not meet the active use requirement, give the appearance of a use other than a parking garage while adequately concealing the garage. Additionally, the Applicant proposes vertical landscape to help soften the facade and screen the garage.

FINDING: Consistent.

CRITERION 2:	That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.
ANALYSIS:	As this is a residential zoning, active uses lined along all frontages may give those navigating the roadway and pedestrians the impression that this may be a commercial use. The alternatives provided by the Applicant are in line with the residential character of the community and land uses.
FINDING:	Consistent.
CRITERION 3:	That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.
ANALYSIS:	The requested Variance allows for the Applicant to maximize the use of their property while being in line with the intent of the active use requirement. Furthermore, the proposed development enhances the community and encourages revitalization efforts for the future.
FINDING:	Consistent.
CRITERION 4:	That the need for requested Variance is not economically based or self-imposed.
ANALYSIS:	Due to site constraints that were in place prior to the acquisition and aggregation of the land, the Applicant cannot meet the active use requirement while providing adequate parking.
FINDING:	Consistent.
CRITERION 5:	That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.
FINDING:	Not applicable.
VARIANCE 2:	To increase the maximum building height from 50 feet to 76 feet with vertical projections extending to 85 feet.
CRITERION 1:	That the requested Variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the City.
ANALYSIS:	The proposed development will enhance the property's appearance and that of the surrounding areas; as well as improve the community. The proposed height is similar to various structures within the vicinity and would maintain a similar appearance to what exists today.
FINDING:	Consistent.

CRITERION 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: Development of the site as a multi-family property will bring the property closer in compatibility to the surrounding community while encouraging revitalization of the area. The proposed height would not be detrimental to the surrounding community as it closely mimics heights of neighboring structures.

FINDING: Consistent.

CRITERION 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

ANALYSIS: The requested variance will allow the Applicant to maximize the use of their land while still being in line with the goals, policies, and objectives adopted by the City. The proposed request stems from an earlier agreement that was put into place prior to the rezoning of the properties.

FINDING: Consistent.

CRITERION 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: Due to site constraints that were in place prior to the acquisition and aggregation of the land, the Applicant exceeds the height maximum while maximizing the use of the property. Furthermore, the agreement requiring the Applicant to provide 40 parking spaces and recreational amenities to a neighboring condominium was made prior to the current zoning coming into effect, which allowed for higher heights and would have permitted the Applicant to construct at the proposed height without the need for a variance. At the time of the agreement the proposed terms were not detrimental to future development.

FINDING: Consistent.

CRITERION 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

Analysis of Criteria and Findings for Design as stated in the City of Hollywood Zoning and Land Development Regulations, Article 5.

CRITERIA 1: *Architectural and Design components.* Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider

aesthetics and functionality, including the relationship of the pedestrian with the built environment.

ANALYSIS: The proposed development offers a design that can be seen as a positive example of revitalization efforts. Architectural elements of the contemporary and clean design, such as the, large windows, large balconies, and glass railings and vertical landscape elements come together to create a design that is not intrusive, enhances the character of the community, and promotes a positive relationship between the pedestrian and the built environment. The series of contrasting volumes, artistic materials and elements, and vertical landscape elements, create dynamic and visually appealing façades that help to serve as a catalyst, providing an example for future development in the area.

FINDING: Consistent.

CRITERIA 2: *Compatibility.* The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding area.

ANALYSIS: The architectural styles and elements of the proposed development do not exhibit architectural features and styles that are insensitive and incompatible to the surrounding neighborhood. The design is not intrusive to the neighborhood and utilizes styles and elements found throughout the surrounding area, but also introduces a fresh look to that helps promote future redevelopment.

FINDING: Consistent.

CRITERIA 3: *Scale/Massing.* Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

ANALYSIS: The Applicant has worked with Staff to design a proposal that compatible with surrounding sites. The proposed scale and height is similar to that of structures adjacent to the subject property. The proposed design includes several architectural features that create dynamic and visually appealing façades and enhances the massing of the structure.

FINDING: Consistent.

CRITERIA 4: *Landscaping.* Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

ANALYSIS: The Applicant has worked with the City Landscape Architect to incorporate a variety of compatible plant types and forms into the design. The proposed landscape helps articulate the property and enhance the design of the proposed building. The landscape plan incorporates an array of native trees, palms, and shrubs while improving the streetscape along the frontage and also includes vertical landscape elements.

FINDING: Consistent.

SITE PLAN

The Technical Advisory Committee (TAC) found the proposed Site Plan compliant with all regulations as set forth in Article 6 of the Hollywood Zoning and Land Development Regulations on July 30, 2018. Therefore, staff recommends approval, if the Variance and Design are granted and with the following conditions:

- a. Prior to the issuance of a Building Permit, the Applicant shall submit a Deed Restriction in a form acceptable to the City Attorney, acknowledging the specific limitation as to the number of lawful dwelling units and declaring an intent to comply with such limitations, as well as advising any successor in interest of such binding limitations; and prior to the issuance of a Certificate of Completion (C/C) or Certificate of Occupancy (C/O), the City shall record the Deed Restriction in the Public Records of Broward County, Florida.
- b. Work with Engineering to provide rights-of-way dedication of five feet along A1A to comply with Broward County Traffic ways Plan.
- c. Applicant shall update recreational and parking easement agreement to reflect new conditions.
- d. Work with Engineering to provide existing and proposed streetscape plans for work within City rights-of-way, such as modifications of landscaping islands, parking, tree planting, pavers, pavement markings, signage, etc. in coordination with the proposed driveway openings.

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Land Use and Zoning Map
ATTACHMENT C: Correspondence

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 6/6/18

Location Address: 3300 N. Surf Rd. + 3319 N. Ocean Dr #1-2 + 322 New Mexico St #1-2 + Hollywood, FL. 33019 ^{vacant sites}
Lot(s): 5-16 Block(s): 9 Subdivision: Hollywood Beach Second addition

Folio Number(s): 514212021190, 1200, 1210, 1220, 1230, 1231

Zoning Classification: BRT-25-R Land Use Classification: Res. Multi-Family

Existing Property Use: Res/Parking/Pool Sq Ft/Number of Units: 4

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACo + Preliminary TAC + Final TAC

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: P&D Approval for a Seven Story, 36 unit Residential Building.

Number of units/rooms: 36 Sq Ft: _____

Value of Improvement: 12 million Estimated Date of Completion: Dec 2020

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: VVG Real Estate Investments LLC

Address of Property Owner: 310 McKinley Street Hollywood

Telephone: 954-931-4321 Fax: _____ Email Address: vadingatau@gmail.com

Name of Consultant/Representative/Tenant (circle one): Joseph B. Kaller

Address: 2417 Hollywood Blvd. Hollywood Telephone: 954-920-5746

Fax: 954-926-2841 Email Address: Joseph@Kallerarchitects.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 7/9/18

PRINT NAME: _____

Alan F. Koller, PMA

Date: 7-9-18

Signature of Consultant/Representative: _____

Date: 7-9-18

PRINT NAME: _____

JOSEPH B. KALLER

Date: 7-9-18

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public
State of Florida

Alan F. Koller, PMA
Print Name

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____

OWNER'S LETTER OF AUTHORIZATION AND LIMITED POWER OF ATTORNEY

May 7th, 2018

City of Hollywood, Florida
And Broward County, Florida,
Broward County, Florida Department of Environmental Resources

RE: VVG Real Estate Investments, LLC

To whom it may concern.

This letter shall certify that Mr. Alan F. Forgea is granted authorization and limited power of attorney to apply for and receive building permits, to request or respond to plan review comments, coordinate matters relating to utilities or code enforcement, and other general purposes to conduct the business of VVG Real Estate Investments, LLC with the City of Hollywood and/or Broward County, Florida.

Thank you for your cooperation in regards to this matter.

V.V.G. REAL ESTATE INVESTMENTS, LLC



Vadim Gataullin

Witness: name

JOSEPH B. KALLER

Sign



date

5-15-18

Witness: name

Brandon Kaller

Sign

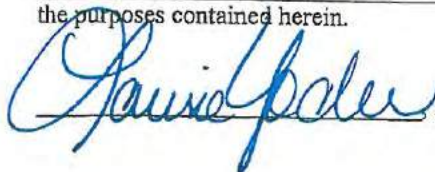


date

5-15-18

STATE OF FLORIDA
COUNTY OF BROWARD

Sworn and subscribed to me, a Notary Public of the State of Florida, on this the 15th day of May 2018
Appeared Mr. Vadim Gautallin, who is ☒ personally known to me, or has presented
_____ as identification thereof, and who has executed this document for
the purposes contained herein.



Notary Public

My commission expires



Beachside RESIDENCES

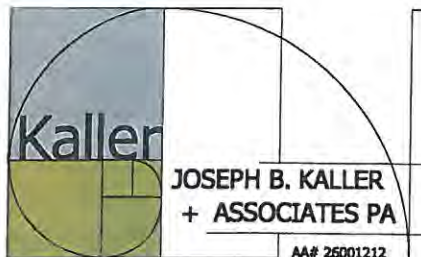
HOLLYWOOD FL

PROJECT INFO:

7 STORY MULTI- FAMILY RESIDENTIAL
BUILDING

LEGAL DESCRIPTION

LOTS 5, 6, 7, 8, 9, 10, 11 AND 12, LESS
THE ROAD RIGHT-OF-WAY, TOGETHER
WITH LOTS 13, 14, 15 AND 16, BLOCK 9,
"HOLLYWOOD BEACH SECOND ADDITION",
ACCORDING TO THE PLAT THEREOF
RECORDED IN PLAT BOOK 4, PAGE 6, OF
THE PUBLIC RECORDS OF BROWARD
COUNTY, FLORIDA.



architecture - interiors - planning

VARIANCE CRITERIA STATEMENT
BUILDING HEIGHT
BEACHSIDE RESIDENCES
3319 NORTH OCEAN DRIVE
TAC #18-DPV-19
April 30, 2018

Beachside Residences Height Variance: Compliance with Criteria for Variance

Pursuant to Section 5.3, F.1 of the Hollywood Zoning and Land Development Code, no variance shall be granted by the Planning and Development Board unless the Board finds that the Applicant has shown that criteria a. through d. have been met or criteria e. Criteria e. is not applicable to this application. The Applicant offers the following as compliance with criteria a.-d.:

Criteria a. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city;

The residential use of this property is consistent with the established development patterns surrounding the subject property. The permitted height for development of the subject property is 50' and the request is to permit a building with a height of 75' which is consistent with the height of existing residential buildings just north of the subject property.

Criteria b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;

The surrounding land uses are residential and include the Villas of Positano which has a height of over 120 feet and Positano Beach which has a height of over 80 feet. In addition, the requested variance allows for a design which creates a view corridor from the Positano Beach Condominium easterly to the ocean, thus preserving a view corridor for existing parts of the community.

Criteria c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city;

The proposed variance is consistent with applicable portions of the City's plans including the Master Plan and the Comprehensive Plan. The Property is in Sub-Area 4 of the City-

Wide Plan and has a future land use designation of Medium High Residential. Per the City's Comprehensive Plan, the adopted goal of the Land Use Element is to "[p]romote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property."

The Beach District of Hollywood's Community Redevelopment Agency (CRA) was created in 1997 in order to redevelop Hollywood Beach as a dynamic place to invest, work, live and play. Policy CW 82 states, "Inventory vacant land and determine the potential for additional residential development, where appropriate." Currently, the property is vacant land. It is suitable for multi-family residential development per the land use classification and zoning designation, and this variance is needed in order to adhere to the Ocean Grande Agreement (as defined below) and allow for residential development.

Per Item 3 of the New Construction guidelines in the City of Hollywood Design Guidelines, new structures should be compatible with any neighborhood or redevelopment plan. Also, Item 3 of the Rehabilitation of Buildings states that new construction should be compatible in scale, setback and orientation with existing buildings but should be contemporary in design. Item 2 of the Building Location and Scale guidelines states, "Building Heights for additions and new construction are recommended to relate to the height of abutting buildings." Just north of the proposed Beachside Residences are the Positano Beach Condominium with a height of 80'+ and the Villas of Positano with a height of 120'+. Approval of this variance will allow new development in a form and pattern that is consistent with the surrounding neighborhood.

Criteria d. That the need for the requested Variance is not economically based or self-imposed.

The need for the requested variance arises from a site design constraint arising from that certain Non-exclusive & Conditional Easement Agreement, recorded at OR Book 15499 page 615, public records of Broward County, Florida (the "Ocean Grande Agreement", attached hereto as Exhibit A). The Ocean Grande Agreement was imposed upon the subject property in 1988, decades before the Applicant took title to this property. This Agreement requires that 40 parking spaces and a swimming pool for Ocean Grande constructed on the subject property by prior ownership be maintained for the benefit of Ocean Grande and further provides that in the event the owner, its successors or assigns, ever develops any uses upon the subject property (including additional residential use), then such new development will provide 40 parking spaces and a swimming pool for Ocean Grande.

To put this request in a historical context, we researched and determined the height permitted pursuant to the zoning in effect in 1988 when the Ocean Grande Agreement was imposed upon the Property. In 1988, the zoning for the Property was either R-6B (Beach Mixed Residential) or R-6C (Beach Resort). Both zoning districts R-6B and R-6C were intended to encourage and accommodate development within the unique

constraints imposed by the patterns of geography, ownership and development on Hollywood Beach, the need to preserve and increase access to the beaches for the general public, and the need to prevent obstruction of sunlight on the beach. Both zoning districts had the same maximum height requirement which is a formula. Based on the formula, building heights were permitted to increase as the distance from the beach/Broadwalk increased. When applied, the formula ensured that building heights would not create shadows on the beach, thus, implementing the City's goal to prevent obstruction of beach sunlight.

As shown in the graphic below, in 1988, the maximum height for buildings on the Property was 120.8 feet. The formula was the distance from the east line of the Broadwalk to the location of maximum height multiplied by 80%. Applied to the Property as reflected on the graphic below, the factors in this formula are as follows:

- (i) the width of the Broadwalk (30 feet), plus
- (ii) the depth of the Broadwalk lot (80 feet), plus
- (iii) the width of Surf Road (15 feet), plus
- (iv) the location of maximum height of the proposed building (i.e. Beachside Residences) measured from the east property line (26 feet) for a total of 151 feet, multiplied by .80, equals

A maximum permitted height in 1988 of 120.8 feet.



The additional vertical building area (height) created by a maximum building height of 120.8 feet (an extra 70 feet of height), as opposed to the current height limitation of 50 feet, would have allowed the subject property to accommodate (yield) development of thirty-six (36) residential units, as well as 40 parking spaces and a swimming pool for

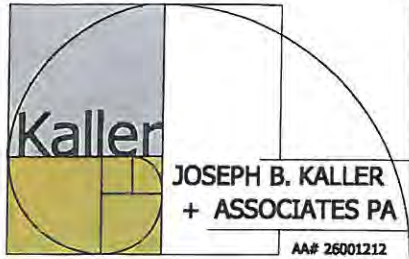
the Ocean Grande. It is further noteworthy that Section 3 of the Ocean Grande Agreement acknowledges that the Ocean Grande parking spaces and pool should not limit the Developer, its successors and assigns, right to develop structures authorized by the applicable zoning requirements.

The design of the proposed Beachside Residences integrates the requisite 40 parking spaces and swimming pool for Ocean Grande into this new construction. Incorporating these improvements for Ocean Grande creates a hardship upon development of the subject property by consuming floor area that would otherwise be available for construction of the permitted 36 units in the Beachside Residences.

The ground floor parking level where the Ocean Grande 40 parking spaces are to be located has 46 parking spaces; the second floor parking level contains 45 parking spaces. The required parking for the 36 Beachside Residences is 36 parking spaces. Therefore, the 40 parking spaces required for Ocean Grande necessitate a separate and additional parking level than required for the permitted 36 units. Each parking level is 10' in height, so this additional parking level necessitates 10 additional feet of height for the proposed building.

In addition, the amenity space for the swimming pool for the exclusive use of the Ocean Grande residents consumes 4300 square feet of area on the second level of the proposed building and this same 4300 square feet of area on floors 3-7 cannot be built over the Ocean Grande swimming pool. Thus, 25,800 square feet of residential area (6 floors x 4300 square feet) is lost as a result of the effects of the Ocean Grande Agreement on the development of the subject property. This loss of 25,800 square feet of potential residential floor area is greater than the size of a residential floor plate in the Beachside Residences which is approximately 21,860 square feet. Thus, an entire potential residential level is consumed by the Ocean Grande swimming pool. Each residential level in Beachside Residences is 11' in height, so this additional residential level necessitates 11 additional feet of height for the proposed building.

Therefore, were the Applicant not required to provide these 40 parking spaces and swimming pool for Ocean Grande, the proposed and permitted 36 units could be accommodated in a structure in 50' of height rather than requiring a height variance to accommodate 2 additional building levels.



architecture - interiors - planning

VARIANCE CRITERIA STATEMENT
FOR ACTIVE LINERS
BEACHSIDE RESIDENCES
3319 NORTH OCEAN DRIVE
TAC #DPV-19
April 30, 2018

- A. *That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City:*

The Project is located on the east side of North Ocean Drive between New Hampshire and New Mexico Streets. North Surf Road defines its east property line. The Site is situated in a cluster of Residentially zoned and developed properties lying just south of North Beach Park. This primarily residential area has very few restaurants, bars or other retail establishments and thus is characterized by less active streets than found in the southerly portion of the Central Beach.

This Variance is to permit the developer the shield the proposed parking garage by alternatives to the otherwise required Active Liners. Active Liners are typically provided by storefronts or other public spaces. Such active storefronts and the promotion of commercial uses at the street level on New Hampshire and New Mexico Streets would actually be inconsistent with the established urban development pattern in this area. Instead of providing Active Liners, the garage is screened with planters and trellises where green screens will provide a visual barrier to the garage, as well as a beautiful living façade. In addition, the Active Liners would have a 5'-0" set back from the cross-street property lines to the north and south, instead, deep lawns and ground level green space are provided on these street frontages which widens the view corridors from A1A to the beach along New Hampshire and New Mexico Streets. These ground level landscape areas enhance the residential quality of the Building and the adjacent buildings.

- B. *That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the Community:*

All surrounding and adjacent properties in the BRT-R-25 Zone have the only Active Liner being the Entry Lobby to the Buildings. Positano is the only Building that has a Developers Office facing A1A adjacent to the lobby adding to the Active Liner. Otherwise, the Parking Garages are mainly what are adjacent to the Street. Multi-Family Buildings that do not have parking garages, but parking lots besides the Buildings, have Units on the First Floor. There are no signs of any public amenity, gym, etc, just a feeling of a residential community.

This Variance would therefore be compatible with the surrounding land uses and overall feel of the Community.

- C. *That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City:*

The Variance requested are consistent with the goals and Comprehensive Plan of the City of Hollywood. The Variance allows for a wider view corridor along both New Mexico and New Hampshire Streets. These view corridors are created by wide landscaped areas that will provide a pleasant experience for all who traverse. The Project is compatible in its uses with the adjacent residential buildings and will not provide the illusion of any publicly accessible spaces with the use of storefronts facing the cross streets.

- D. *That the need for the requested Variance is not economically based or self-imposed.*

The requested Variance is not economically based or self-imposed. The Variance request is based entirely on what this small residential community wants and is being compatible with the surrounding residential land uses. To eliminate the Activity Liner or storefronts along New Mexico and New Hampshire Streets also eliminates any possibility of what starts out as a private gym becoming a T-Shirt Store in the future.

- E. *That the Variance is necessary to comply with State or Federal Law and is the minimum Variance Necessary to comply with the applicable law.*

The Variance being requested does not conflict with any State or Federal Laws. Elimination of the Active Liners and use of more expansive setbacks with lush landscaping is the minimum variance necessary.



SHERMAN ST

N A1A

THOMAS ST

1.

1.

POSITANO BEACH
CONDOMINIUM ASSOC.

2.

OCEAN GRANDE
CONDOMINIUM ASSOC.

3.

CHATEAU GARDENS
CONDOMINIUM ASSOC.

4.

COASTAL LANDINGS
CONDOMINIUM ASSOC.

4.

NEW MEXICO ST

BEACHSIDE RESIDENCES
SITE

2.

N BOARDWALK

NEW HAMPSHIRE ST

N OCEAN DR

3.

LIBERTY ST

N SURF RD

N BROADWALK

N SRA1A

N STHY A1A

SCOTT ST

CERTIFICATE OF CORPORATE RESOLUTION

IT IS HEREBY CERTIFIED by the undersigned officer at a duly called meeting of the Board of Directors of Ocean Grande Condominium Association, a Florida not-for-profit corporation (the "Board") called in accordance with the By-Laws and attended by the requisite number of directors on this 15 day of MARCH, 2018, the following acts and resolutions were adopted and remain unaltered, unrevoked and in full force and effect:

WHEREAS, representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "VVG North Property") and 3001 North Ocean Drive (the "VVG South Property") to various Board members and/or residents of Ocean Grande Condominium;

WHEREAS, the proposed redevelopment plan for the VVG North Property is for construction of a 36 unit condominium with parking for residents and for the neighboring Ocean Grande Condominium (the "Residential Project") which requires a height variance to permit a building with 75' of height; and,

WHEREAS, the proposed redevelopment plan for the VVG South Property is for construction of a 219 room full service hotel with related accessory uses, including but not limited to: restaurants, spa, recreational amenities, parking for hotel guests and employees, meeting and banquet facilities and a mobility hub (the "Hotel Project") which structure will have a height not to exceed 185'.

BE IT RESOLVED, the Board has reviewed the plans for the Residential Project and for the Hotel Project and has no objection to these proposals, including the height of both Projects.

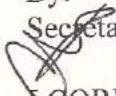
BE IT RESOLVED, that members of the Board or their designees are hereby authorized to attend public meetings regarding the Residential Project and the Hotel Project and publicly support both Projects on behalf of the Ocean Grande Condominium Association.

Dated: 3/15/2018

Ocean Grande Condominium Association, Inc.

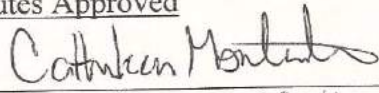
By: Paul Page Date: 3/15/2018
Printed Name: PAUL PAGE
Title: PRESIDENT

ATTEST:

By: 
Secretary

[CORPORATE SEAL]

Minutes Approved

By: 

Print Name: C MONTESALVO

Title: TREASURER

CERTIFICATE OF CORPORATE RESOLUTION

IT IS HEREBY CERTIFIED by the undersigned officer at a duly called meeting of the Board of Directors of Chateau Gardens Condominium Association, Inc. a Florida not-for-profit corporation (the "Board") called in accordance with the By-Laws and attended by the requisite number of directors on this 29 day of MARCH, 2018, the following acts and resolutions were adopted and remain unaltered, unrevoked and in full force and effect:

WHEREAS, representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "VVG North Property") and 3001 North Ocean Drive (the "VVG South Property") to various Board members and/or residents of Chateau Gardens Condominium;

WHEREAS, the proposed redevelopment plan for the VVG North Property is for construction of a 36 unit condominium with parking for residents and for the neighboring Ocean Grande Condominium (the "Residential Project") which requires a height variance to permit a building with 75' of height; and,


WHEREAS, the proposed redevelopment plan for the VVG South Property is for construction of a 219 room full service hotel with related accessory uses, including but not limited to: restaurants, spa, recreational amenities, parking for hotel guests and employees, meeting and banquet facilities and a mobility hub (the "Hotel Project") which structure will have a height not to exceed 185'.

BE IT RESOLVED, the Board has reviewed the plans for the Residential Project and for the Hotel Project and has no objection to these proposals, including the height of both Projects.

BE IT RESOLVED, that members of the Board or their designees are hereby authorized to attend public meetings regarding the Residential Project and the Hotel Project and publicly support both Projects on behalf of the Chateau Gardens Condominium Association.

Dated: 03/29/2018

Chateau Gardens Condominium Association, Inc.

By:  Date: 03/29/2018
Printed Name: P. Diaz
Title: President

ATTEST:

By: 

~~Secretary~~ 

[CORPORATE SEAL]

Minutes Approved

By: 

Print Name: P Diaz

Title: President

CERTIFICATE OF CORPORATE RESOLUTION

IT IS HEREBY CERTIFIED by the undersigned officer at a duly called meeting of the Board of Directors of Coastal Landing Condominium Association, Inc. a Florida not-for-profit corporation (the "Board") called in accordance with the By-Laws and attended by the requisite number of directors on this 28th day of March, 2018, the following acts and resolutions were adopted and remain unaltered, unrevoked and in full force and effect:

WHEREAS, representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "VVG North Property") and 3001 North Ocean Drive (the "VVG South Property") to various Board members and/or residents of Coastal Landing Condominium;

WHEREAS, the proposed redevelopment plan for the VVG North Property is for construction of a 36 unit condominium with parking for residents and for the neighboring Ocean Grande Condominium (the "Residential Project") which requires a height variance to permit a building with 75' of height; and,

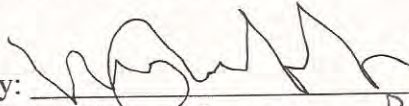
WHEREAS, the proposed redevelopment plan for the VVG South Property is for construction of a 219 room full service hotel with related accessory uses, including but not limited to: restaurants, spa, recreational amenities, parking for hotel guests and employees, meeting and banquet facilities and a mobility hub (the "Hotel Project") which structure will have a height not to exceed 185'.

BE IT RESOLVED, the Board has reviewed the plans for the Residential Project and for the Hotel Project and has no objection to these proposals, including the height of both Projects.

BE IT RESOLVED, that members of the Board or their designees are hereby authorized to attend public meetings regarding the Residential Project and the Hotel Project and publicly support both Projects on behalf of the Coastal Landing Condominium Association.

Dated: March 28, 2018

Coastal Landing Condominium Association, Inc.

By:  Date: March 28, 2018
Printed Name: Maurice Bouffard
Title: President, Condo Assn.

ATTEST: Karen Rochez
By: Karen Rochez
Secretary (pro tem)

[CORPORATE SEAL]

Minutes Approved

By: Joseph Rochez
Print Name: Joseph Rochez
Title: Director

Attn: Alan Forgea
VVG Real Estate Investments, LL310 McKinley Street
Hollywood, Florida 33019
Alan.VVG@gmail.com.
954-931-4321

Positano Beach Condominium Association
3415 North Ocean Drive
Hollywood, Florida 33019

April 10, 2018

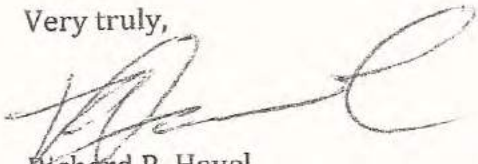
Dear Mr. Forgea,

Please be advised that the Positano Beach Condominium Association, by its Board, has no current objections to your proposed development of 3305 North Ocean Drive as a 36 unit condominium with parking for residents and the neighboring Ocean Grande Condominium as set forth in the architectural drawings of Joseph B. Kaller Associates dated February 20, 2018. We are aware that a height variance to 75' is being sought for the project and support your application.

We also have no current objections to your 219 room Hotel Project (185' height) at 3001 North Ocean Drive, south of Hollywood Towers, along with the proposed mobility hub.

Of course, notwithstanding the foregoing, we would respectfully request written notification of any changes to the submitted plans and specifications.

Very truly,



Richard R. Havel
Vice President, Positano Beach Board

From: Stanley weilgus <weilgus@yahoo.com>
Sent: Monday, March 19, 2018 3:55 PM
To: jlevy@hollywoodfl.org
Subject: New Hampshire/New Mexico/AIA/Surf Road Residential Development

Mayor J. Levy
City of Hollywood, Florida
2600 Hollywood Blvd.
P.O.Box 229045
Hollywood, Florida 33022

March 19, 2018

Dear Mayor Levy,

Please permit me to introduce myself. My name is Stanley Weilgus and I am a resident of Positano Beach Condominium at 3415 N. Ocean Drive in Hollywood. I am the immediate past president of the Board of our condominium association. While I chose not to run for re-election this past Fall, I have been asked by the current Board to interface with all things related to the development of the property located immediately to the south of us, i.e. the property located on the square block between AIA and Surf Road and between New Hampshire and New Mexico Streets.

As you may be aware, the owner of that property had originally considered building a parking garage with a pool club at the top level. Last Spring I met with the owner's representative about their proposal and explained that the North Beach area was not well suited for that proposal. The added traffic to an area that is already choking with traffic would have created more than a nightmare. Further, environmentally, the proposal would have choked off the turtle nesting areas due to the large crowds a garage would bring to those areas, which of course should be protected. Also, it is my understanding that the property is zoned for residential development, so their proposal was not in conformance with zoning.

To the credit of the property owner and his lead person in the development, Alan Forgea, they agreed to reconsider their proposal and consider residential development. I had many conversations with and suggestions for Alan Forgea during the course of last summer and early Fall 2017.

I am quite pleased that my efforts, and I am sure those of others, have resulted in the developer now proposing a 36-unit residential building. I have gone over the Architectural drawings in detail and have found that the architect, Mr Joseph Kaller, has done a splendid job with the proposed building's design.

It is my belief and that of the Board of Positano Beach that the building, as now proposed, will enhance the neighborhood and we are extremely supportive of the current plan for the site. We are cognizant of the fact that the design would require a 25 foot height variance to permit a seventh floor. We think that request is quite reasonable and should be granted. If one thinks about the cost of building this kind of structure (which will only have 36 residential units on the 7 proposed floors), one realizes that the variance requested is reasonable and needed to make a cost effective build.

I write this letter to urge you and all of Hollywood's Commissioners to support the proposal. We are the building right next to the proposed new structure and are therefore most directly affected. As I have tried to express, we are thrilled with this new proposal.

Lastly, it is my understanding that the same developer wishes to build a 185 foot, 219 room hotel on the site just to the South of Hollywood Towers. If this is going to be a "top of the line" hotel, as the owner's representative has stated that it will be, I believe that this will be an enhancement to the Hollywood landscape. Of course it would also bring added revenues to the City which could be used to enhance other City of Hollywood projects. In short, the Hotel appears to be a positive development, deserving of our support, and I wish to voice that herein.

I thank you for reading this communication and if you have questions please feel free to call or email me.

Very truly,

Stanley R. Weilgus
Cell: 954-295-0062
Email: Weilgus@yahoo.com

Chateau Gardens
Condominium Association, Inc.
311 Lee Street
Hollywood, FL. 33019

Pat Diaz, President
Richard Beckman, Vice President
Ernie Perez, Secretary

March 29, 2018

To whom it may concern:

I am the property owner of three condominium's in the City of Hollywood, along with a business in the city. In addition, I am the Condo president of Chateau Gardens Condominium Association, 311 Lee Street, Hollywood, Florida. I had to pleasure to meet with VVG Real Estate Investments, LLC, and review the proposals for redevelopment of the properties located at 3305 North Ocean Drive (the "Hollywood Beach Club Condos"), and the 3001 North Ocean Drive (the "Beachside Hotel Hollywood").

The proposed development plan for the Hollywood Beach Club Condos is construction of a 36-unit condominium building with 75' of height. As a neighbor of this project, I am pleased to see redevelopment of this property and on behalf of Chateau Condo Association we support the proposed residential development and necessary height variance.

My understanding of the proposed development plan for Beachside Hotel Hollywood is the construction of a 219-room full service hotel with related accessory uses, including restaurants, spa, recreational amenities, parking. I understand that the Beachside Hotel Hollywood will have a height not to exceed 185'. I am also in full support of this hotel. Hollywood Beach needs more full-service hotels if it id to continue to thrive as a tourist destination.

Sincerely,

 **CFE AHFI**

P. Diaz, President
Chateau Gardens Condo. Association

Alan Forgea

Subject:

FW: Letter

From: Marty Caparros [mailto:mcaparros@pacificarealestateco.com]

Sent: Friday, January 26, 2018 5:37 PM

To: Alan Forgea <alan.vvg@gmail.com>

Subject: Re: Letter

To the City of Hollywood commission:

I have been a resident of Hollywood Beach for the last seven years.

I currently own two units at Villas of Positano and one unit at Ocean Grand, both which are located on Surf Rd.

These two projects that are being proposed by Alan Forgea and his group directly impact me. Alan has sat with me on different occasions to go over all the neighbors needs on how he could accommodate us in being a good neighbor. His group sincere concern to built a class A product and keep all the neighbors happy has been very refreshing. I am in full support of both applications and wish Alan and his group all the true success in building their communities.

Sincerely,

Marty Caparros Jr.

Villas of Positano
3501 N. Ocean Dr. V8
Hollywood, Fl. 33019


Ocean Grande
3300 N. Surf Rd. #26
Hollywood, Fl. 33019

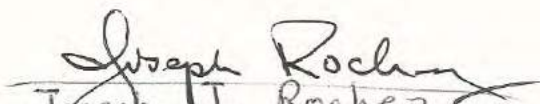
To whom it may concern:

I am the owner of the property located at 3300 N. Ocean Dr. 2-A. Representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "Hollywood Beach Club Condos") and 3001 North Ocean Drive (the "Beachside Hotel Hollywood") to me. The proposed development plan for the Hollywood Beach Club Condos is construction of a 36 unit condominium building with a height of 75'. I understand that this condominium will require a height variance to permit the proposed building with 75' of height. As a neighbor of this project, I am pleased to see redevelopment of this property and support the proposed residential development and necessary height variance.

My understanding of the proposed development plan for Beachside Hotel Hollywood is the construction of a 219 room full service hotel with related accessory uses, including: restaurants, spa, recreational amenities, parking for hotel guests and employees, meeting and banquet facilities and a mobility hub. I understand that the Beachside Hotel Hollywood will have a height not to exceed 185'. I am also in full support of this hotel. Hollywood Beach needs more full service hotels if it is to continue to thrive as a tourist destination.

Sincerely,


Karen F. Rochez
+

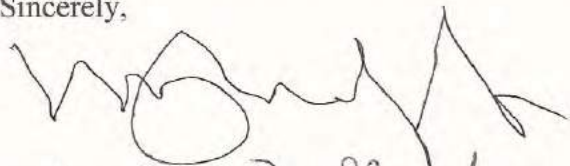

Joseph J. Rochez

To whom it may concern:

I am the owner of the property located at 3D - 2B. Representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "Hollywood Beach Club Condos") and 3001 North Ocean Drive (the "Beachside Hotel Hollywood") to me. The proposed development plan for the Hollywood Beach Club Condos is construction of a 36 unit condominium building with a height of 75'. I understand that this condominium will require a height variance to permit the proposed building with 75' of height. As a neighbor of this project, I am pleased to see redevelopment of this property and support the proposed residential development and necessary height variance.

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Sincerely,



Maurice Bouffard

COASTAL LANDINGS CONDOMINIUM

To whom it may concern:

I am the owner of the property located at 311 Lee St Unit 104.1. Representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "Hollywood Beach Club Condos") and 3001 North Ocean Drive (the "Beachside Hotel Hollywood") to me. The proposed development plan for the Hollywood Beach Club Condos is construction of a 36 unit condominium building with a height of 75'. I understand that this condominium will require a height variance to permit the proposed building with 75' of height. As a neighbor of this project, I am pleased to see redevelopment of this property and support the proposed residential development and necessary height variance.

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Sincerely,



P. DIAZ

To whom it may concern:

I am the owner of the property located at 324 Missouri ST. Representatives of VVG Real Estate Investments, LLC, presented proposals for the redevelopment of the properties located at 3305 North Ocean Drive (the "Hollywood Beach Club Condos") and 3001 North Ocean Drive (the "Beachside Hotel Hollywood") to me. The proposed development plan for the Hollywood Beach Club Condos is construction of a 36 unit condominium building with a height of 75'. I understand that this condominium will require a height variance to permit the proposed building with 75' of height. As a neighbor of this project, I am pleased to see redevelopment of this property and support the proposed residential development and necessary height variance.

My understanding of the proposed development plan for Beachside Hotel Hollywood is the construction of a 219 room full service hotel with related accessory uses, including: restaurants, spa, recreational amenities, parking for hotel guests and employees, meeting and banquet facilities and a mobility hub. I understand that the Beachside Hotel Hollywood will have a height not to exceed 185'. I am also in full support of this hotel. Hollywood Beach needs more full service hotels if it is to continue to thrive as a tourist destination.

Sincerely,

Handwritten signature of Robert A. Soto in black ink.

PROJECT NAME: BEACHSIDE RESIDENCES

WATER AND SEWER DEMAND CALCULATIONS

Date: 6/12/2018

RESIDENTIAL USAGE

		<u>Demand/Home</u>	<u>Units</u>	<u>Total</u>	
36	Town Homes	250	GPD	9000.0	
1	Lobby	250	GPD	250.0	
Total Average Daily Flow				9250.0	GPD
Total Average Flow Per Hour = 9250/16 Hrs. =				578.1	GPH
Maximum Flow Per Hour = 578.1 x 4.0 =				<u>2312.5</u>	GPH



GGB ENGINEERING INC.
 2699 Stirling Road, Suite C-202
 Fort Lauderdale, FL 33312

Project: Beachside Residences

To estimate the needed fire flow to fight a fire in an individual, nonsprinklered building, ISO Formula

Factor	Value
Construction Type	F
Effective Area (SF)	17508
Construction Factor	A
Occupancy Factor	C
Exposure Factor	O
Communication Factor	X
	P
	1429
	0.85
	0.00
	0.00
	1215 GPM
	100% 75% 50% 25% 10%
	1215 911 607 304 121

NEEDED FIRE FLOW

Occupancy Factor	Exposure Factors	Communication Factor (Unprotected Combustible Construction)
0.75 Non Combustible (C1)	0.00 None	0.00 None
0.85 Limited combustible (C2)	0.22 0-10 feet to exposure	0.30 10 feet or less
1.00 Combustible (C-3) - Merchandise or materials, including furniture, stock, or equipment, of moderate combustibility	0.17 11-30 feet to exposure	0.20 11-20 feet
1.15 Free-burning (C-4) - Merchandise or materials, including furniture, stock, or equipment, which burn freely, constituting an active fuel.	0.12 31-60 feet	0.10 21-50 feet
1.25 Rapid burning or flash burning (C-5) - Merchandise or materials, including furniture, stock, or		
Construction Type		
1.5 Wood Frame		
1.0 Jointed masonry		
0.8 Noncombustible/Masonry		
0.6 Modified Fire Resistive/Fire Resistive		

Gary G. Bloom, P.E.
 President



PROJECT NAME: BEACHSIDE RESIDENCES
STORM DRAINAGE CALCULATIONS

Date: 6/12/2018

POST-DEVELOPMENT SITE CHARACTERISTICS AND AREAS

BUILDING AREA	28209.0	SF	0.65	Ac.	64.86%
IMPERVIOUS PAVED AREAS	2110.00	SF	0.05	Ac.	4.85%
PERVIOUS SITE AREA	13173.00	SF	0.30	Ac.	30.29%
TOTAL SITE AREA	43492.0	SF	1.00	Ac.	100.00%

Average grade in green areas =	4.50	NAVD
Wet Season Water Table El. =	0.50	NAVD
Soil storage: 8.18 x percent pervious =	2.48	Inches

DESIGN RAINFALL

Roads: 10-Yr-24-Hr.	8.0 Inches
Design: 25-Yr-72-Hr.	13 inches
Finish Floor: 100-Yr-72-Hr.	16.5 inches

STORAGE CRITERIA

Pervious area: linear from 3.0 to 6.0
 Impervious area: linear from 3.0 to 6.0
 Exfil Trench : Vertical from 0.5 to 2.50

WATER QUALITY CALCULATIONS

2.5 x % IMPERVIOUS OR FIRST INCH WHICHEVER IS GREATER

First inch runoff (Total site area x 1/12)	0.08	ac-ft
Site area for water quality (Total site area-Bldg)	0.35	acre
Impervious area for water quality	0.05	acre
Percent Impervious	13.81%	
2.5 Inches x % Impervious	0.35	inches
Volume required for water quality detention	0.03	ac-ft

Since 0.08 ac-ft is greater than 0.03 ac-ft computed for 2.5 x % impervious then 0.08 ac-ft controls

EXFILTRATION TRENCH CALCULATION

$$L = \frac{V}{K(HW + 2HxD_u - D_u \times D_u + 2HD_s) + 1.39 \times 10^{-4} \times W \times du}$$

Volume = 0.96 Ac-inches



GGB Engineering, Inc.
 2699 Stirling Road, Suite C-202
 Fort Lauderdale, Florida 33312
 Ph: (954) 986-9899 • Fax: (954) 986-6655
 e-mail: gary@ggbeng.com

A = Drainage Area	1.00	Ac
W = Trench Width	5.00	ft
K = Hydraulic Conductivity	1.60E-04	cfs/ft ² per ft of head
H = Depth to water table	2.00	ft
Du = Non Saturated trench depth	2.00	ft
Ds = Saturated trench depth	1.50	ft

Trench Required	209.15	LF
Trench Provided	220	LF

Volume Provided in Trench:

L = 220.00

$$V = L \times (K(HW + 2HDu - Du^2 + 2HDs) + (1.39 \times 10^{-4})Wdu)$$

V =	1.01	Ac-in
	0.08	Ac-ft

SITE MAXIMUM STAGE

Design Storm	10-Yr.-24-Hrs.	25-Yr-3-Day	100-Yr-3-Day
Max. Stage	4.04'	4.51'	7.39'



10 YEAR 1 DAY STORM

Project Name: Beachside Residences

Reviewer: ER

Project Number: 18-12-13

Period Begin: Jan 01, 2000;0000 hr End: Jan 02, 2000;0000 hr Duration: 24 hr

Time Step: 0.2 hr, Iterations: 10

Basin 1: Site

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 24 hr

Design Frequency: 10 year

1 Day Rainfall: 8 inches

Area: 1 acres

Ground Storage: 2.48 inches

Time of Concentration: 0.5 hours

Initial Stage: 0.5 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
0.00	0.00
0.50	0.00
1.00	0.00
1.50	0.01
2.00	0.01
2.50	0.02
3.00	0.03
3.50	0.06
4.00	0.12
4.50	0.20
5.00	0.31
5.50	0.46
6.00	0.63
6.50	0.81
7.00	1.00
7.50	1.19
8.00	1.37
8.50	1.56
9.00	1.75
9.50	1.93
10.00	2.12

Offsite Receiving Body: Offsite1

Time (hr)	Stage (ft NGVD)
0.00	0.50
24.00	0.50

Structure: 1

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 3 ft NGVD, Off Elev = 3.5 ft NGVD, Capacity = 125.673 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.00	0.00	0.57	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
7.00	0.86	0.04	0.00	0.00	0.88	0.50
8.00	1.10	0.07	0.00	0.00	0.90	0.50
9.00	1.37	0.11	0.00	0.00	0.87	0.50
10.00	1.70	0.17	0.00	0.00	1.04	0.50
11.00	2.15	0.28	0.00	0.00	1.41	0.50
12.00	5.25	2.97	0.00	0.00	3.53	0.50
13.00	6.14	1.00	0.00	0.00	4.02	0.50
14.00	6.54	0.45	0.00	0.00	3.76	0.50
15.00	6.80	0.26	0.28	0.02	3.28	0.50
16.00	7.04	0.23	0.00	0.03	2.69	0.50
17.00	7.18	0.15	0.00	0.03	2.13	0.50
18.00	7.33	0.14	0.00	0.03	1.51	0.50
19.00	7.47	0.14	0.00	0.03	1.06	0.50
20.00	7.62	0.14	0.00	0.03	0.96	0.50
21.00	7.71	0.10	0.00	0.03	0.85	0.50
22.00	7.81	0.09	0.00	0.03	0.85	0.50
23.00	7.90	0.09	0.00	0.03	0.90	0.50
24.00	8.00	0.09	0.00	0.03	0.90	0.50

Structure: 2

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 3.5 ft NGVD, Off Elev = 4 ft NGVD, Capacity = 251.345 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.00	0.00	0.57	0.50
7.00	0.86	0.04	0.00	0.00	0.88	0.50
8.00	1.10	0.07	0.00	0.00	0.90	0.50
9.00	1.37	0.11	0.00	0.00	0.87	0.50
10.00	1.70	0.17	0.00	0.00	1.04	0.50
11.00	2.15	0.28	0.00	0.00	1.41	0.50
12.00	5.25	2.97	0.56	0.01	3.53	0.50
13.00	6.14	1.00	0.00	0.03	4.02	0.50
14.00	6.54	0.45	0.56	0.07	3.76	0.50
15.00	6.80	0.26	0.00	0.09	3.28	0.50
16.00	7.04	0.23	0.00	0.09	2.69	0.50
17.00	7.18	0.15	0.00	0.09	2.13	0.50
18.00	7.33	0.14	0.00	0.09	1.51	0.50
19.00	7.47	0.14	0.00	0.09	1.06	0.50
20.00	7.62	0.14	0.00	0.09	0.96	0.50
21.00	7.71	0.10	0.00	0.09	0.85	0.50
22.00	7.81	0.09	0.00	0.09	0.85	0.50
23.00	7.90	0.09	0.00	0.09	0.90	0.50
24.00	8.00	0.09	0.00	0.09	0.90	0.50

Structure: 3

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 4 ft NGVD, Off Elev = 4.5 ft NGVD, Capacity = 377.018 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.00	0.00	0.57	0.50
7.00	0.86	0.04	0.00	0.00	0.88	0.50
8.00	1.10	0.07	0.00	0.00	0.90	0.50
9.00	1.37	0.11	0.00	0.00	0.87	0.50
10.00	1.70	0.17	0.00	0.00	1.04	0.50
11.00	2.15	0.28	0.00	0.00	1.41	0.50
12.00	5.25	2.97	0.00	0.00	3.53	0.50
13.00	6.14	1.00	0.84	0.04	4.02	0.50
14.00	6.54	0.45	0.00	0.04	3.76	0.50
15.00	6.80	0.26	0.00	0.04	3.28	0.50
16.00	7.04	0.23	0.00	0.04	2.69	0.50
17.00	7.18	0.15	0.00	0.04	2.13	0.50
18.00	7.33	0.14	0.00	0.04	1.51	0.50
19.00	7.47	0.14	0.00	0.04	1.06	0.50
20.00	7.62	0.14	0.00	0.04	0.96	0.50
21.00	7.71	0.10	0.00	0.04	0.85	0.50
22.00	7.81	0.09	0.00	0.04	0.85	0.50
23.00	7.90	0.09	0.00	0.04	0.90	0.50
24.00	8.00	0.09	0.00	0.04	0.90	0.50

Structure: 4

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 4.5 ft NGVD, Off Elev = 5 ft NGVD, Capacity = 498.202 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.00	0.00	0.57	0.50
7.00	0.86	0.04	0.00	0.00	0.88	0.50
8.00	1.10	0.07	0.00	0.00	0.90	0.50
9.00	1.37	0.11	0.00	0.00	0.87	0.50
10.00	1.70	0.17	0.00	0.00	1.04	0.50
11.00	2.15	0.28	0.00	0.00	1.41	0.50
12.00	5.25	2.97	0.00	0.00	3.53	0.50
13.00	6.14	1.00	0.00	0.00	4.02	0.50
14.00	6.54	0.45	0.00	0.00	3.76	0.50
15.00	6.80	0.26	0.00	0.00	3.28	0.50
16.00	7.04	0.23	0.00	0.00	2.69	0.50
17.00	7.18	0.15	0.00	0.00	2.13	0.50
18.00	7.33	0.14	0.00	0.00	1.51	0.50
19.00	7.47	0.14	0.00	0.00	1.06	0.50
20.00	7.62	0.14	0.00	0.00	0.96	0.50
21.00	7.71	0.10	0.00	0.00	0.85	0.50
22.00	7.81	0.09	0.00	0.00	0.85	0.50
23.00	7.90	0.09	0.00	0.00	0.90	0.50
24.00	8.00	0.09	0.00	0.00	0.90	0.50

Structure: 5

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 5 ft NGVD, Off Elev = 5.5 ft NGVD, Capacity = 623.875 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.00	0.00	0.57	0.50
7.00	0.86	0.04	0.00	0.00	0.88	0.50
8.00	1.10	0.07	0.00	0.00	0.90	0.50
9.00	1.37	0.11	0.00	0.00	0.87	0.50
10.00	1.70	0.17	0.00	0.00	1.04	0.50
11.00	2.15	0.28	0.00	0.00	1.41	0.50
12.00	5.25	2.97	0.00	0.00	3.53	0.50
13.00	6.14	1.00	0.00	0.00	4.02	0.50
14.00	6.54	0.45	0.00	0.00	3.76	0.50
15.00	6.80	0.26	0.00	0.00	3.28	0.50
16.00	7.04	0.23	0.00	0.00	2.69	0.50
17.00	7.18	0.15	0.00	0.00	2.13	0.50
18.00	7.33	0.14	0.00	0.00	1.51	0.50
19.00	7.47	0.14	0.00	0.00	1.06	0.50
20.00	7.62	0.14	0.00	0.00	0.96	0.50
21.00	7.71	0.10	0.00	0.00	0.85	0.50
22.00	7.81	0.09	0.00	0.00	0.85	0.50
23.00	7.90	0.09	0.00	0.00	0.90	0.50
24.00	8.00	0.09	0.00	0.00	0.90	0.50

Structure: 6

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 5.5 ft NGVD, Off Elev = 6 ft NGVD, Capacity = 749.548 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.00	0.00	0.57	0.50
7.00	0.86	0.04	0.00	0.00	0.88	0.50
8.00	1.10	0.07	0.00	0.00	0.90	0.50
9.00	1.37	0.11	0.00	0.00	0.87	0.50
10.00	1.70	0.17	0.00	0.00	1.04	0.50
11.00	2.15	0.28	0.00	0.00	1.41	0.50
12.00	5.25	2.97	0.00	0.00	3.53	0.50
13.00	6.14	1.00	0.00	0.00	4.02	0.50
14.00	6.54	0.45	0.00	0.00	3.76	0.50
15.00	6.80	0.26	0.00	0.00	3.28	0.50
16.00	7.04	0.23	0.00	0.00	2.69	0.50
17.00	7.18	0.15	0.00	0.00	2.13	0.50
18.00	7.33	0.14	0.00	0.00	1.51	0.50
19.00	7.47	0.14	0.00	0.00	1.06	0.50
20.00	7.62	0.14	0.00	0.00	0.96	0.50
21.00	7.71	0.10	0.00	0.00	0.85	0.50
22.00	7.81	0.09	0.00	0.00	0.85	0.50
23.00	7.90	0.09	0.00	0.00	0.90	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
24.00	8.00	0.09	0.00	0.00	0.90	0.50

Structure: 7

From Basin: Site

To Basin: Offsite1

Structure Type: Gravity

Weir: None

Bleeder: Circular, Invert Elev = 0.5 ft NGVD, Diameter = 0.25 ft

Default Coefs: Weir Coef = 0.6, Orifice Coef = 0.6

Pipe: Diameter = 1.5 ft, Manning's n = 0.012, Length = 25 ft

US Invert Elev = 0.5 ft NGVD, DS Invert Elev = 0.5 ft NGVD, no flap gate

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.08	0.00	0.00	0.00	0.00	0.50
2.00	0.16	0.00	0.00	0.00	0.00	0.50
3.00	0.26	0.00	0.00	0.00	0.00	0.50
4.00	0.36	0.00	0.00	0.00	0.00	0.50
5.00	0.50	0.00	0.00	0.00	0.00	0.50
6.00	0.66	0.01	0.01	0.00	0.00	0.50
7.00	0.86	0.04	0.07	0.00	0.57	0.50
8.00	1.10	0.07	0.01	0.00	0.88	0.50
9.00	1.37	0.11	0.01	0.01	0.90	0.50
10.00	1.70	0.17	0.11	0.01	0.87	0.50
11.00	2.15	0.28	0.15	0.03	1.04	0.50
12.00	2.15	0.28	0.21	0.04	1.41	0.50
13.00	5.25	2.97	0.40	0.07	3.53	0.50
14.00	6.14	1.00	0.44	0.10	4.02	0.50
15.00	6.54	0.45	0.42	0.14	3.76	0.50
16.00	6.80	0.26	0.38	0.17	3.28	0.50
17.00	7.04	0.23	0.34	0.20	2.69	0.50
18.00	7.18	0.15	0.29	0.23	2.13	0.50
19.00	7.33	0.14	0.22	0.25	1.51	0.50
20.00	7.47	0.14	0.16	0.26	1.06	0.50
21.00	7.62	0.14	0.14	0.27	0.96	0.50
22.00	7.71	0.10	0.10	0.28	0.85	0.50
23.00	7.81	0.09	0.10	0.29	0.85	0.50
24.00	7.90	0.09	0.06	0.30	0.90	0.50
24.00	8.00	0.09	0.12	0.30	0.90	0.50

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.28	11.80	0.00	0.00
2	0.56	12.00	0.00	0.00
3	0.84	12.60	0.00	0.00
4	0.00	0.00	0.00	0.00
5	0.00	0.00	0.00	0.00
6	0.00	0.00	0.00	0.00
7	0.44	12.80	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
Site	4.04	12.80	0.00	0.20

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
=====	=====	=====	=====	=====	=====	=====
Site	0.47	0.00	0.46	0.00	0.00	0.00

25 YEAR 3 DAY STORM

Project Name: Beachside Residences
Reviewer: ER

Project Number: 18-0120

Period Begin: Jan 01, 2000;0000 hr End: Jan 03, 2000;1600 hr Duration: 64 hr
Time Step: 0.2 hr, Iterations: 10

Basin 1: Site

Method: Santa Barbara Unit Hydrograph
Rainfall Distribution: SFWMD - 3day
Design Frequency: 25 year
3 Day Rainfall: 13 inches
Area: 1 acres
Ground Storage: 2.48 inches
Time of Concentration: 0.5 hours
Initial Stage: 0.5 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
0.00	0.00
0.50	0.00
1.00	0.00
1.50	0.01
2.00	0.01
2.50	0.02
3.00	0.03
3.50	0.06
4.00	0.12
4.50	0.20
5.00	0.31
5.50	0.46
6.00	0.63
6.50	0.81
7.00	1.00
7.50	1.19
8.00	1.37
8.50	1.56
9.00	1.75
9.50	1.93
10.00	2.12

Offsite Receiving Body: Offsite1

Time (hr)	Stage (ft NGVD)
0.00	0.50
64.00	0.50

Structure: 1

From Basin: Site
To Basin: Offsite1

Structure Type: Pump

On Elev = 3 ft NGVD, Off Elev = 3.5 ft NGVD, Capacity = 125.673 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.50	0.50
10.00	0.58	0.00	0.00	0.00	0.53	0.50
11.00	0.64	0.01	0.00	0.00	0.55	0.50
12.00	0.70	0.01	0.00	0.00	0.56	0.50
13.00	0.76	0.01	0.00	0.00	0.58	0.50
14.00	0.81	0.01	0.00	0.00	0.59	0.50
15.00	0.87	0.01	0.00	0.00	0.66	0.50
16.00	0.93	0.02	0.00	0.00	0.92	0.50
17.00	0.99	0.02	0.00	0.00	0.93	0.50
18.00	1.05	0.02	0.00	0.00	0.93	0.50
19.00	1.11	0.02	0.00	0.00	0.93	0.50
20.00	1.16	0.02	0.00	0.00	0.93	0.50
21.00	1.22	0.02	0.00	0.00	0.93	0.50
22.00	1.28	0.02	0.00	0.00	0.93	0.50
23.00	1.34	0.03	0.00	0.00	0.93	0.50
24.00	1.40	0.03	0.00	0.00	0.93	0.50
25.00	1.48	0.04	0.00	0.00	0.93	0.50
26.00	1.57	0.04	0.00	0.00	0.92	0.50
27.00	1.65	0.04	0.00	0.00	0.85	0.50
28.00	1.74	0.05	0.00	0.00	0.90	0.50
29.00	1.82	0.05	0.00	0.00	0.92	0.50
30.00	1.91	0.05	0.00	0.00	0.85	0.50
31.00	1.99	0.05	0.00	0.00	0.83	0.50
32.00	2.08	0.05	0.00	0.00	0.85	0.50
33.00	2.16	0.05	0.00	0.00	0.85	0.50
34.00	2.25	0.06	0.00	0.00	0.85	0.50
35.00	2.33	0.06	0.00	0.00	0.86	0.50
36.00	2.42	0.06	0.00	0.00	0.86	0.50
37.00	2.50	0.06	0.00	0.00	0.87	0.50
38.00	2.59	0.06	0.00	0.00	0.87	0.50
39.00	2.67	0.06	0.00	0.00	0.88	0.50
40.00	2.75	0.06	0.00	0.00	0.88	0.50
41.00	2.84	0.06	0.00	0.00	0.88	0.50
42.00	2.92	0.06	0.00	0.00	0.89	0.50
43.00	3.01	0.06	0.00	0.00	0.89	0.50
44.00	3.09	0.06	0.00	0.00	0.90	0.50
45.00	3.18	0.07	0.00	0.00	0.90	0.50
46.00	3.26	0.07	0.00	0.00	0.90	0.50
47.00	3.35	0.07	0.00	0.00	0.91	0.50
48.00	3.43	0.07	0.00	0.00	0.91	0.50
49.00	3.53	0.08	0.00	0.00	0.91	0.50
50.00	3.63	0.08	0.00	0.00	0.93	0.50
51.00	3.74	0.09	0.00	0.00	0.93	0.50
52.00	3.86	0.10	0.00	0.00	0.91	0.50
53.00	4.03	0.13	0.00	0.00	0.85	0.50
54.00	4.23	0.17	0.00	0.00	0.94	0.50
55.00	4.47	0.20	0.00	0.00	1.05	0.50
56.00	4.74	0.24	0.00	0.00	1.23	0.50
57.00	5.07	0.29	0.00	0.00	1.45	0.50
58.00	5.47	0.36	0.00	0.00	1.66	0.50
59.00	6.01	0.49	0.00	0.00	2.02	0.50
60.00	9.71	4.10	0.00	0.00	2.49	0.50
61.00	10.77	1.32	0.00	0.00	3.96	0.50
62.00	11.26	0.57	0.00	0.00	4.50	0.50
63.00	11.57	0.33	0.00	0.00	4.27	0.50
64.00	11.85	0.29	0.28	0.01	3.83	0.50
					3.29	0.50

Structure: 2

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 3.5 ft NGVD, Off Elev = 4 ft NGVD, Capacity = 251.345 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.00	0.50
10.00	0.58	0.00	0.00	0.00	0.50	0.50
11.00	0.64	0.01	0.00	0.00	0.53	0.50
12.00	0.70	0.01	0.00	0.00	0.55	0.50
13.00	0.76	0.01	0.00	0.00	0.56	0.50
14.00	0.81	0.01	0.00	0.00	0.58	0.50
15.00	0.87	0.01	0.00	0.00	0.59	0.50
16.00	0.93	0.02	0.00	0.00	0.66	0.50
17.00	0.99	0.02	0.00	0.00	0.92	0.50
18.00	1.05	0.02	0.00	0.00	0.93	0.50
19.00	1.11	0.02	0.00	0.00	0.93	0.50
20.00	1.16	0.02	0.00	0.00	0.93	0.50
21.00	1.22	0.02	0.00	0.00	0.93	0.50
22.00	1.28	0.02	0.00	0.00	0.93	0.50
23.00	1.34	0.03	0.00	0.00	0.93	0.50
24.00	1.40	0.03	0.00	0.00	0.93	0.50
25.00	1.48	0.04	0.00	0.00	0.93	0.50
26.00	1.57	0.04	0.00	0.00	0.92	0.50
27.00	1.65	0.04	0.00	0.00	0.85	0.50
28.00	1.74	0.05	0.00	0.00	0.90	0.50
29.00	1.82	0.05	0.00	0.00	0.92	0.50
30.00	1.91	0.05	0.00	0.00	0.85	0.50
31.00	1.99	0.05	0.00	0.00	0.83	0.50
32.00	2.08	0.05	0.00	0.00	0.85	0.50
33.00	2.16	0.05	0.00	0.00	0.85	0.50
34.00	2.25	0.06	0.00	0.00	0.85	0.50
35.00	2.33	0.06	0.00	0.00	0.86	0.50
36.00	2.42	0.06	0.00	0.00	0.86	0.50
37.00	2.50	0.06	0.00	0.00	0.87	0.50
38.00	2.59	0.06	0.00	0.00	0.87	0.50
39.00	2.67	0.06	0.00	0.00	0.88	0.50
40.00	2.75	0.06	0.00	0.00	0.88	0.50
41.00	2.84	0.06	0.00	0.00	0.88	0.50
42.00	2.92	0.06	0.00	0.00	0.89	0.50
43.00	3.01	0.06	0.00	0.00	0.89	0.50
44.00	3.09	0.06	0.00	0.00	0.90	0.50
45.00	3.18	0.07	0.00	0.00	0.90	0.50
46.00	3.26	0.07	0.00	0.00	0.90	0.50
47.00	3.35	0.07	0.00	0.00	0.91	0.50
48.00	3.43	0.07	0.00	0.00	0.91	0.50
49.00	3.53	0.08	0.00	0.00	0.91	0.50
50.00	3.63	0.08	0.00	0.00	0.93	0.50
51.00	3.74	0.09	0.00	0.00	0.93	0.50
52.00	3.86	0.10	0.00	0.00	0.91	0.50
53.00	4.03	0.13	0.00	0.00	0.85	0.50
54.00	4.23	0.17	0.00	0.00	0.94	0.50
55.00	4.47	0.20	0.00	0.00	1.05	0.50
56.00	4.74	0.24	0.00	0.00	1.23	0.50
57.00	5.07	0.29	0.00	0.00	1.45	0.50
58.00	5.47	0.36	0.00	0.00	1.66	0.50
59.00	6.01	0.49	0.00	0.00	2.02	0.50
60.00	9.71	4.10	0.56	0.02	2.49	0.50
61.00	10.77	1.32	0.00	0.02	3.96	0.50
62.00	11.26	0.57	0.00	0.02	4.50	0.50
63.00	11.57	0.33	0.56	0.04	4.27	0.50
64.00	11.85	0.29	0.00	0.06	3.83	0.50
					3.29	0.50

Structure: 3

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 4 ft NGVD, Off Elev = 4.5 ft NGVD, Capacity = 377.018 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.50	0.50
10.00	0.58	0.00	0.00	0.00	0.53	0.50
11.00	0.64	0.01	0.00	0.00	0.55	0.50
12.00	0.70	0.01	0.00	0.00	0.56	0.50
13.00	0.76	0.01	0.00	0.00	0.58	0.50
14.00	0.81	0.01	0.00	0.00	0.59	0.50
15.00	0.87	0.01	0.00	0.00	0.66	0.50
16.00	0.93	0.02	0.00	0.00	0.92	0.50
17.00	0.99	0.02	0.00	0.00	0.93	0.50
18.00	1.05	0.02	0.00	0.00	0.93	0.50
19.00	1.11	0.02	0.00	0.00	0.93	0.50
20.00	1.16	0.02	0.00	0.00	0.93	0.50
21.00	1.22	0.02	0.00	0.00	0.93	0.50
22.00	1.28	0.02	0.00	0.00	0.93	0.50
23.00	1.34	0.03	0.00	0.00	0.93	0.50
24.00	1.40	0.03	0.00	0.00	0.93	0.50
25.00	1.48	0.04	0.00	0.00	0.92	0.50
26.00	1.57	0.04	0.00	0.00	0.85	0.50
27.00	1.65	0.04	0.00	0.00	0.90	0.50
28.00	1.74	0.05	0.00	0.00	0.92	0.50
29.00	1.82	0.05	0.00	0.00	0.85	0.50
30.00	1.91	0.05	0.00	0.00	0.83	0.50
31.00	1.99	0.05	0.00	0.00	0.85	0.50
32.00	2.08	0.05	0.00	0.00	0.85	0.50
33.00	2.16	0.05	0.00	0.00	0.85	0.50
34.00	2.25	0.06	0.00	0.00	0.86	0.50
35.00	2.33	0.06	0.00	0.00	0.86	0.50
36.00	2.42	0.06	0.00	0.00	0.87	0.50
37.00	2.50	0.06	0.00	0.00	0.87	0.50
38.00	2.59	0.06	0.00	0.00	0.88	0.50
39.00	2.67	0.06	0.00	0.00	0.88	0.50
40.00	2.75	0.06	0.00	0.00	0.88	0.50
41.00	2.84	0.06	0.00	0.00	0.89	0.50
42.00	2.92	0.06	0.00	0.00	0.89	0.50
43.00	3.01	0.06	0.00	0.00	0.90	0.50
44.00	3.09	0.06	0.00	0.00	0.90	0.50
45.00	3.18	0.07	0.00	0.00	0.90	0.50
46.00	3.26	0.07	0.00	0.00	0.91	0.50
47.00	3.35	0.07	0.00	0.00	0.91	0.50
48.00	3.43	0.07	0.00	0.00	0.91	0.50
49.00	3.53	0.08	0.00	0.00	0.93	0.50
50.00	3.63	0.08	0.00	0.00	0.93	0.50
51.00	3.74	0.09	0.00	0.00	0.91	0.50
52.00	3.86	0.10	0.00	0.00	0.85	0.50
53.00	4.03	0.13	0.00	0.00	0.94	0.50
54.00	4.23	0.17	0.00	0.00	1.05	0.50
55.00	4.47	0.20	0.00	0.00	1.23	0.50
56.00	4.74	0.24	0.00	0.00	1.45	0.50
57.00	5.07	0.29	0.00	0.00	1.66	0.50
58.00	5.47	0.36	0.00	0.00	2.02	0.50
59.00	6.01	0.49	0.00	0.00	2.49	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
60.00	9.71	4.10	0.00	0.00	3.96	0.50
61.00	10.77	1.32	0.00	0.04	4.50	0.50
62.00	11.26	0.57	0.84	0.11	4.27	0.50
63.00	11.57	0.33	0.00	0.15	3.83	0.50
64.00	11.85	0.29	0.00	0.15	3.29	0.50

Structure: 4

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 4.5 ft NGVD, Off Elev = 5 ft NGVD, Capacity = 498.202 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.00	0.50
10.00	0.58	0.00	0.00	0.00	0.50	0.50
11.00	0.64	0.01	0.00	0.00	0.53	0.50
12.00	0.70	0.01	0.00	0.00	0.55	0.50
13.00	0.76	0.01	0.00	0.00	0.56	0.50
14.00	0.81	0.01	0.00	0.00	0.58	0.50
15.00	0.87	0.01	0.00	0.00	0.59	0.50
16.00	0.93	0.02	0.00	0.00	0.66	0.50
17.00	0.99	0.02	0.00	0.00	0.92	0.50
18.00	1.05	0.02	0.00	0.00	0.93	0.50
19.00	1.11	0.02	0.00	0.00	0.93	0.50
20.00	1.16	0.02	0.00	0.00	0.93	0.50
21.00	1.22	0.02	0.00	0.00	0.93	0.50
22.00	1.28	0.02	0.00	0.00	0.93	0.50
23.00	1.34	0.03	0.00	0.00	0.93	0.50
24.00	1.40	0.03	0.00	0.00	0.93	0.50
25.00	1.48	0.04	0.00	0.00	0.93	0.50
26.00	1.57	0.04	0.00	0.00	0.92	0.50
27.00	1.65	0.04	0.00	0.00	0.85	0.50
28.00	1.74	0.05	0.00	0.00	0.90	0.50
29.00	1.82	0.05	0.00	0.00	0.92	0.50
30.00	1.91	0.05	0.00	0.00	0.85	0.50
31.00	1.99	0.05	0.00	0.00	0.83	0.50
32.00	2.08	0.05	0.00	0.00	0.85	0.50
33.00	2.16	0.05	0.00	0.00	0.85	0.50
34.00	2.25	0.06	0.00	0.00	0.85	0.50
35.00	2.33	0.06	0.00	0.00	0.86	0.50
36.00	2.42	0.06	0.00	0.00	0.86	0.50
37.00	2.50	0.06	0.00	0.00	0.87	0.50
38.00	2.59	0.06	0.00	0.00	0.87	0.50
39.00	2.67	0.06	0.00	0.00	0.88	0.50
40.00	2.75	0.06	0.00	0.00	0.88	0.50
41.00	2.84	0.06	0.00	0.00	0.88	0.50
42.00	2.92	0.06	0.00	0.00	0.89	0.50
43.00	3.01	0.06	0.00	0.00	0.89	0.50
44.00	3.09	0.06	0.00	0.00	0.90	0.50
45.00	3.18	0.07	0.00	0.00	0.90	0.50
46.00	3.26	0.07	0.00	0.00	0.90	0.50
47.00	3.35	0.07	0.00	0.00	0.91	0.50
48.00	3.43	0.07	0.00	0.00	0.91	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
49.00	3.53	0.08	0.00	0.00	0.93	0.50
50.00	3.63	0.08	0.00	0.00	0.93	0.50
51.00	3.74	0.09	0.00	0.00	0.91	0.50
52.00	3.86	0.10	0.00	0.00	0.85	0.50
53.00	4.03	0.13	0.00	0.00	0.94	0.50
54.00	4.23	0.17	0.00	0.00	1.05	0.50
55.00	4.47	0.20	0.00	0.00	1.23	0.50
56.00	4.74	0.24	0.00	0.00	1.45	0.50
57.00	5.07	0.29	0.00	0.00	1.66	0.50
58.00	5.47	0.36	0.00	0.00	2.02	0.50
59.00	6.01	0.49	0.00	0.00	2.49	0.50
60.00	9.71	4.10	0.00	0.00	3.96	0.50
61.00	10.77	1.32	1.11	0.04	4.50	0.50
62.00	11.26	0.57	0.00	0.04	4.27	0.50
63.00	11.57	0.33	0.00	0.04	3.83	0.50
64.00	11.85	0.29	0.00	0.04	3.29	0.50

Structure: 5

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 5 ft NGVD, Off Elev = 5.5 ft NGVD, Capacity = 623.875 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.00	0.50
10.00	0.58	0.00	0.00	0.00	0.50	0.50
11.00	0.64	0.01	0.00	0.00	0.53	0.50
12.00	0.70	0.01	0.00	0.00	0.55	0.50
13.00	0.76	0.01	0.00	0.00	0.56	0.50
14.00	0.81	0.01	0.00	0.00	0.58	0.50
15.00	0.87	0.01	0.00	0.00	0.59	0.50
16.00	0.93	0.02	0.00	0.00	0.66	0.50
17.00	0.99	0.02	0.00	0.00	0.92	0.50
18.00	1.05	0.02	0.00	0.00	0.93	0.50
19.00	1.11	0.02	0.00	0.00	0.93	0.50
20.00	1.16	0.02	0.00	0.00	0.93	0.50
21.00	1.22	0.02	0.00	0.00	0.93	0.50
22.00	1.28	0.02	0.00	0.00	0.93	0.50
23.00	1.34	0.03	0.00	0.00	0.93	0.50
24.00	1.40	0.03	0.00	0.00	0.93	0.50
25.00	1.48	0.04	0.00	0.00	0.93	0.50
26.00	1.57	0.04	0.00	0.00	0.92	0.50
27.00	1.65	0.04	0.00	0.00	0.85	0.50
28.00	1.74	0.05	0.00	0.00	0.90	0.50
29.00	1.82	0.05	0.00	0.00	0.92	0.50
30.00	1.91	0.05	0.00	0.00	0.85	0.50
31.00	1.99	0.05	0.00	0.00	0.83	0.50
32.00	2.08	0.05	0.00	0.00	0.85	0.50
33.00	2.16	0.05	0.00	0.00	0.85	0.50
34.00	2.25	0.06	0.00	0.00	0.85	0.50
35.00	2.33	0.06	0.00	0.00	0.86	0.50
36.00	2.42	0.06	0.00	0.00	0.86	0.50
37.00	2.50	0.06	0.00	0.00	0.87	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
38.00	2.59	0.06	0.00	0.00	0.88	0.50
39.00	2.67	0.06	0.00	0.00	0.88	0.50
40.00	2.75	0.06	0.00	0.00	0.88	0.50
41.00	2.84	0.06	0.00	0.00	0.89	0.50
42.00	2.92	0.06	0.00	0.00	0.89	0.50
43.00	3.01	0.06	0.00	0.00	0.90	0.50
44.00	3.09	0.06	0.00	0.00	0.90	0.50
45.00	3.18	0.07	0.00	0.00	0.90	0.50
46.00	3.26	0.07	0.00	0.00	0.91	0.50
47.00	3.35	0.07	0.00	0.00	0.91	0.50
48.00	3.43	0.07	0.00	0.00	0.91	0.50
49.00	3.53	0.08	0.00	0.00	0.91	0.50
50.00	3.63	0.08	0.00	0.00	0.93	0.50
51.00	3.74	0.09	0.00	0.00	0.93	0.50
52.00	3.86	0.10	0.00	0.00	0.91	0.50
53.00	4.03	0.13	0.00	0.00	0.85	0.50
54.00	4.23	0.17	0.00	0.00	0.94	0.50
55.00	4.47	0.20	0.00	0.00	1.05	0.50
56.00	4.74	0.24	0.00	0.00	1.23	0.50
57.00	5.07	0.29	0.00	0.00	1.45	0.50
58.00	5.47	0.36	0.00	0.00	1.66	0.50
59.00	6.01	0.49	0.00	0.00	2.02	0.50
60.00	9.71	4.10	0.00	0.00	2.49	0.50
61.00	10.77	1.32	0.00	0.00	3.96	0.50
62.00	11.26	0.57	0.00	0.00	4.50	0.50
63.00	11.57	0.33	0.00	0.00	4.27	0.50
64.00	11.85	0.29	0.00	0.00	3.83	0.50
					3.29	0.50

Structure: 6

From Basin: Site

To Basin: Offsite1

Structure Type: Pump

On Elev = 5.5 ft NGVD, Off Elev = 6 ft NGVD, Capacity = 749.548 gpm

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.00	0.50
10.00	0.58	0.00	0.00	0.00	0.50	0.50
11.00	0.64	0.01	0.00	0.00	0.53	0.50
12.00	0.70	0.01	0.00	0.00	0.55	0.50
13.00	0.76	0.01	0.00	0.00	0.56	0.50
14.00	0.81	0.01	0.00	0.00	0.58	0.50
15.00	0.87	0.01	0.00	0.00	0.59	0.50
16.00	0.93	0.02	0.00	0.00	0.66	0.50
17.00	0.99	0.02	0.00	0.00	0.92	0.50
18.00	1.05	0.02	0.00	0.00	0.93	0.50
19.00	1.11	0.02	0.00	0.00	0.93	0.50
20.00	1.16	0.02	0.00	0.00	0.93	0.50
21.00	1.22	0.02	0.00	0.00	0.93	0.50
22.00	1.28	0.02	0.00	0.00	0.93	0.50
23.00	1.34	0.03	0.00	0.00	0.93	0.50
24.00	1.40	0.03	0.00	0.00	0.93	0.50
25.00	1.48	0.04	0.00	0.00	0.93	0.50
26.00	1.57	0.04	0.00	0.00	0.92	0.50
					0.85	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
27.00	1.65	0.04	0.00	0.00	0.90	0.50
28.00	1.74	0.05	0.00	0.00	0.92	0.50
29.00	1.82	0.05	0.00	0.00	0.85	0.50
30.00	1.91	0.05	0.00	0.00	0.83	0.50
31.00	1.99	0.05	0.00	0.00	0.85	0.50
32.00	2.08	0.05	0.00	0.00	0.85	0.50
33.00	2.16	0.05	0.00	0.00	0.85	0.50
34.00	2.25	0.06	0.00	0.00	0.86	0.50
35.00	2.33	0.06	0.00	0.00	0.86	0.50
36.00	2.42	0.06	0.00	0.00	0.87	0.50
37.00	2.50	0.06	0.00	0.00	0.87	0.50
38.00	2.59	0.06	0.00	0.00	0.88	0.50
39.00	2.67	0.06	0.00	0.00	0.88	0.50
40.00	2.75	0.06	0.00	0.00	0.88	0.50
41.00	2.84	0.06	0.00	0.00	0.89	0.50
42.00	2.92	0.06	0.00	0.00	0.89	0.50
43.00	3.01	0.06	0.00	0.00	0.90	0.50
44.00	3.09	0.06	0.00	0.00	0.90	0.50
45.00	3.18	0.07	0.00	0.00	0.90	0.50
46.00	3.26	0.07	0.00	0.00	0.91	0.50
47.00	3.35	0.07	0.00	0.00	0.91	0.50
48.00	3.43	0.07	0.00	0.00	0.91	0.50
49.00	3.53	0.08	0.00	0.00	0.93	0.50
50.00	3.63	0.08	0.00	0.00	0.93	0.50
51.00	3.74	0.09	0.00	0.00	0.91	0.50
52.00	3.86	0.10	0.00	0.00	0.85	0.50
53.00	4.03	0.13	0.00	0.00	0.94	0.50
54.00	4.23	0.17	0.00	0.00	1.05	0.50
55.00	4.47	0.20	0.00	0.00	1.23	0.50
56.00	4.74	0.24	0.00	0.00	1.45	0.50
57.00	5.07	0.29	0.00	0.00	1.66	0.50
58.00	5.47	0.36	0.00	0.00	2.02	0.50
59.00	6.01	0.49	0.00	0.00	2.49	0.50
60.00	9.71	4.10	0.00	0.00	3.96	0.50
61.00	10.77	1.32	0.00	0.00	4.50	0.50
62.00	11.26	0.57	0.00	0.00	4.27	0.50
63.00	11.57	0.33	0.00	0.00	3.83	0.50
64.00	11.85	0.29	0.00	0.00	3.29	0.50

Structure: 7

From Basin: Site

To Basin: Offsite1

Structure Type: Gravity

Weir: None

Bleeder: Circular, Invert Elev = 0.5 ft NGVD, Diameter = 0.25 ft

Default Coefs: Weir Coef = 0.6, Orifice Coef = 0.6

Pipe: Diameter = 1.5 ft, Manning's n = 0.012, Length = 25 ft

US Invert Elev = 0.5 ft NGVD, DS Invert Elev = 0.5 ft NGVD, no flap gate

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
0.00	0.00	0.00	0.00	0.00	0.50	0.50
1.00	0.06	0.00	0.00	0.00	0.00	0.50
2.00	0.12	0.00	0.00	0.00	0.00	0.50
3.00	0.17	0.00	0.00	0.00	0.00	0.50
4.00	0.23	0.00	0.00	0.00	0.00	0.50
5.00	0.29	0.00	0.00	0.00	0.00	0.50
6.00	0.35	0.00	0.00	0.00	0.00	0.50
7.00	0.41	0.00	0.00	0.00	0.00	0.50
8.00	0.47	0.00	0.00	0.00	0.00	0.50
9.00	0.52	0.00	0.00	0.00	0.00	0.50
10.00	0.58	0.00	0.00	0.00	0.50	0.50
11.00	0.64	0.01	0.00	0.00	0.53	0.50
					0.55	0.50

Time (hr)	Cumulative Rainfall (in)	Instant Runoff (cfs)	Current Discharge (cfs)	Cumulative Discharge (acre-ft)	Head Water Stage (ft NGVD)	Tail Water Stage (ft NGVD)
12.00	0.70	0.01	0.01	0.00	0.56	0.50
13.00	0.76	0.01	0.01	0.00	0.58	0.50
14.00	0.81	0.01	0.01	0.00	0.59	0.50
15.00	0.87	0.01	0.01	0.00	0.66	0.50
16.00	0.93	0.02	0.02	0.00	0.92	0.50
17.00	0.99	0.02	0.02	0.01	0.93	0.50
18.00	1.05	0.02	0.02	0.01	0.93	0.50
19.00	1.11	0.02	0.02	0.01	0.93	0.50
20.00	1.16	0.02	0.02	0.01	0.93	0.50
21.00	1.22	0.02	0.02	0.01	0.93	0.50
22.00	1.28	0.02	0.02	0.01	0.93	0.50
23.00	1.34	0.03	0.03	0.01	0.93	0.50
24.00	1.40	0.03	0.03	0.02	0.93	0.50
25.00	1.48	0.04	0.04	0.02	0.93	0.50
26.00	1.57	0.04	0.00	0.02	0.92	0.50
27.00	1.65	0.04	0.06	0.03	0.85	0.50
28.00	1.74	0.05	0.01	0.03	0.90	0.50
29.00	1.82	0.05	0.11	0.04	0.92	0.50
30.00	1.91	0.05	0.00	0.04	0.85	0.50
31.00	1.99	0.05	0.10	0.04	0.83	0.50
32.00	2.08	0.05	0.00	0.04	0.85	0.50
33.00	2.16	0.05	0.11	0.05	0.85	0.50
34.00	2.25	0.06	0.00	0.05	0.85	0.50
35.00	2.33	0.06	0.11	0.06	0.86	0.50
36.00	2.42	0.06	0.00	0.06	0.86	0.50
37.00	2.50	0.06	0.11	0.07	0.87	0.50
38.00	2.59	0.06	0.00	0.07	0.87	0.50
39.00	2.67	0.06	0.12	0.08	0.88	0.50
40.00	2.75	0.06	0.00	0.08	0.88	0.50
41.00	2.84	0.06	0.12	0.09	0.88	0.50
42.00	2.92	0.06	0.01	0.09	0.89	0.50
43.00	3.01	0.06	0.12	0.10	0.89	0.50
44.00	3.09	0.06	0.01	0.10	0.90	0.50
45.00	3.18	0.07	0.12	0.11	0.90	0.50
46.00	3.26	0.07	0.01	0.11	0.90	0.50
47.00	3.35	0.07	0.12	0.12	0.91	0.50
48.00	3.43	0.07	0.01	0.12	0.91	0.50
49.00	3.53	0.08	0.13	0.13	0.91	0.50
50.00	3.63	0.08	0.02	0.14	0.93	0.50
51.00	3.74	0.09	0.12	0.14	0.93	0.50
52.00	3.86	0.10	0.10	0.15	0.91	0.50
53.00	4.03	0.13	0.13	0.16	0.85	0.50
54.00	4.23	0.17	0.15	0.17	0.94	0.50
55.00	4.47	0.20	0.18	0.18	1.05	0.50
56.00	4.74	0.24	0.21	0.19	1.23	0.50
57.00	5.07	0.29	0.24	0.21	1.45	0.50
58.00	5.47	0.36	0.28	0.23	1.66	0.50
59.00	6.01	0.49	0.32	0.25	2.02	0.50
60.00	9.71	4.10	0.43	0.28	2.49	0.50
61.00	10.77	1.32	0.47	0.31	3.96	0.50
62.00	11.26	0.57	0.45	0.35	4.50	0.50
63.00	11.57	0.33	0.42	0.38	4.27	0.50
64.00	11.85	0.29	0.39	0.42	3.83	0.50
				0.45	3.29	0.50

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
1	0.28	59.60	0.00	0.00
2	0.56	59.80	0.00	0.00
3	0.84	60.20	0.00	0.00
4	1.11	60.80	0.00	0.00
5	0.00	0.00	0.00	0.00
6	0.00	0.00	0.00	0.00
7	0.47	60.80	0.00	0.00

BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
Site	4.51	60.80	0.00	0.20

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
Site	0.76	0.00	0.71	0.00	0.05	0.00

**100 YEAR 3 DAY STORM
ZERO DISCHARGE**

Project Name: Beachside Residences

Reviewer: ER

Project Number: 1--0102

Period Begin: Jan 01, 2000;0000 hr End: Jan 04, 2000;0000 hr Duration: 72 hr

Time Step: 0.2 hr, Iterations: 10

Basin 1: Site

Method: Santa Barbara Unit Hydrograph

Rainfall Distribution: SFWMD - 3day

Design Frequency: 100 year

3 Day Rainfall: 16.5 inches

Area: 1 acres

Ground Storage: 2.48 inches

Time of Concentration: 0.5 hours

Initial Stage: 0.5 ft NGVD

Stage (ft NGVD)	Storage (acre-ft)
0.00	0.00
0.50	0.00
1.00	0.00
1.50	0.01
2.00	0.01
2.50	0.02
3.00	0.03
3.50	0.06
4.00	0.12
4.50	0.20
5.00	0.31
5.50	0.46
6.00	0.63
6.50	0.81
7.00	1.00
7.50	1.19
8.00	1.37
8.50	1.56
9.00	1.75
9.50	1.93
10.00	2.12

STRUCTURE MAXIMUM AND MINIMUM DISCHARGES

Struc	Max (cfs)	Time (hr)	Min (cfs)	Time (hr)
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BASIN MAXIMUM AND MINIMUM STAGES

Basin	Max (ft)	Time (hr)	Min (ft)	Time (hr)
Site	7.39	72.00	0.00	0.20

BASIN WATER BUDGETS (all units in acre-ft)

Basin	Total Runoff	Structure Inflow	Structure Outflow	Initial Storage	Final Storage	Residual
Site	1.15	0.00	0.00	0.00	1.15	0.00

Hydrant Flow Test Procedure



Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1 & F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

F1 & F2 Designation shall represent first and second flowed hydrants respectively
P Designation shall represent test hydrant for static and residual distribution system pressures.

3319 N Ocean Dr

Date: May 3, 2018	Time: 9:46am	Static Pressure - 	60		
Residual/Static Hydrant		Address/Location		Residual Pressures	
P - Hydrant	3220 N Surf Across Street	F-1 Only	F-2 Only		
		58 PSI	56 PSI		
		F-1& F-2		56 PSI	
Flow Hydrants		Address/Location		Flow Rate	
F-1 Hydrant (Individual)	3215 N Ocean Dr Across Street	GPM			
		1200			
F-2 Hydrant (Individual)	323 New Mexico St East of Address	GPM			
		1130			
F-1 Hydrant (Both Flowing)	3215 N Ocean Dr	GPM			
		1130			
F-2 Hydrant (Both Flowing)	323 New Mexico St	GPM			
		1130			

FIRE FLOW CALCULATIONS FOR A FIRE SPRINKLED MID-RISE

BUILDING LOCATED AT 3319 OCEAN DRIVE, HOLLYWOOD

BEACHSIDE RESIDENCES

These calculations are for a seven story non-combustible Type 1 construction building that will be fire sprinkled.

Fire Flow Area = 34,219 SF

Based on Type 1 (332) construction, Per NFPA 18.4 Fire Flow Requirements, the fire flow area is based on the three largest successive floors, which in this case are 11,935 SF, 11,617 SF and 10,667 SF or a total of 34,219 SF

Per Table 18.4.5.1.2, the fire flow requirement is 2,000 GPM for 2 Hour Duration

NFPA 18.40 states that the required fire flow can be reduced by 75%, if the building is protected with an automatic fire sprinkler system.

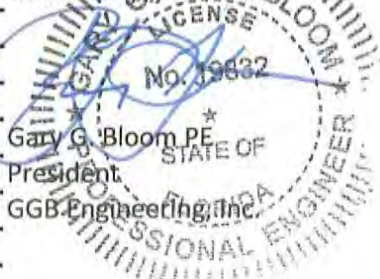
$2,000 \text{ gpm} \times 75\% = 1,500 \text{ gpm}$ (fire flow credit available)

$2,000 \text{ gpm} - 1,500 \text{ (credit)} = 500 \text{ gpm}$ fire flow requirement

The minimum fire flow per NFPA 18.4.5.1.2.1 is however 1,000 GPM

Therefore minimum fire flow requirement for the Beachside Residence project is 1,000 GPM

Sincerely yours,


Gary G. Bloom PE
President
GGB Engineering, Inc.

The School Board of Broward County, Florida
PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION

SITE PLAN

SBBC-2438-2018

County Number: Municipality Number: TBD
Beachside Residences of Hollywood

May 18, 2018

Growth Management
Facility Planning and Real Estate Department
600 SE 3rd Avenue, 8th Floor
Fort Lauderdale, Florida 33301
Tel: (754) 321-2177 Fax: (754) 321-2179
www.browardschools.com

**PRELIMINARY SCHOOL CAPACITY AVAILABILITY DETERMINATION
SITE PLAN**

PROJECT INFORMATION	NUMBER & TYPE OF PROPOSED UNITS	OTHER PROPOSED USES	STUDENT IMPACT
Date: May 18, 2018	Single-Family:		Elementary: 1
Name: Beachside Residences of Hollywood	Townhouse:		
SBBC Project Number: SBBC-2438-2018	Garden Apartments:		Middle: 0
County Project Number:	Mid-Rise: 36		
Municipality Project Number: TBD	High-Rise:		High: 1
Owner/Developer: VVG Real Estate Investments LLC	Mobile Home:		
Jurisdiction: Hollywood	Total: 36		Total: 2

SHORT RANGE - 5-YEAR IMPACT

Currently Assigned Schools	Gross Capacity	LOS Capacity	Benchmark Enrollment	Over/Under LOS	Classroom Equivalent Needed to Meet LOS	% of Gross Capacity	Cumulative Reserved Seats
Dania	623	623	501	-122	-6	80.4%	2
Olsen	1,125	1,125	656	-469	-21	58.3%	0
South Broward	2,289	2,289	2,326	37	2	101.6%	0
Hollywood Hills	2,667	2,667	1,990	-677	-27	74.6%	12

Currently Assigned Schools	Adjusted Benchmark	Over/Under LOS-Adj. Benchmark Enrollment	% Gross Cap. Adj. Benchmark	Projected Enrollment				
				18/19	19/20	20/21	21/22	22/23
Dania	503	-120	80.7%	515	516	517	518	519
Olsen	656	-469	58.3%	657	644	632	619	607
Hollywood Hills	2,002	-665	75.1%	1,959	1,953	1,947	1,941	1,935
South Broward	2,326	37	101.6%	2,291	2,274	2,245	2,259	2,298

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <http://www.broward.k12.fl.us/dsa/EnrollmentProj.shtml>. The annual benchmark enrollment is taken on the Monday following Labor Day and is used to apply individual charter school enrollment impacts against school facility review processes.

CHARTER SCHOOL INFORMATION

Charter Schools within 2-mile radius	2017-18 Contract Permanent Capacity	2017-18 Benchmark Enrollment	Over/(Under)	Projected Enrollment		
				16/17	17/18	18/19
No Charter Schools						

PLANNED AND FUNDED CAPACITY ADDITIONS IN THE ADOPTED DISTRICT EDUCATIONAL FACILITIES PLAN

School(s)	Description of Improvements
Dania	There are no capacity additions scheduled in the Adopted District Educational Facilities plan that will modify the reflected FISH capacity of the school.
Olsen	There are no capacity additions scheduled in the Adopted District Educational Facilities plan that will modify the reflected FISH capacity of the school.
Hollywood Hills	There are no capacity additions scheduled in the Adopted District Educational Facilities plan that will modify the reflected FISH capacity of the school.
South Broward	There are no capacity additions scheduled in the Adopted District Educational Facilities plan that will modify the reflected FISH capacity of the school.

Students generated are based on the student generation rates contained in the currently adopted Broward County Land Development Code. Information contained herein is current as of the date of review. A traditional cohort survival methodology is used to project school-by-school District traditional school enrollment out over the next five years, and a proportional share of charter school enrollment is used to project future charter school enrollment by school level Districtwide. For more information: <http://www.broward.k12.fl.us/dsa/EnrollmentProj.shtml>. The benchmark enrollment count taken on the first Monday following Labor Day is used to apply individual charter school enrollment impacts against school facility review processes.

Comments

According to the application, there are no existing units on the site. The application proposes 36 (6 one bedroom and 30 two or more bedroom) mid-rise units, which is anticipated to generate 2 (1 elementary and 1 high school) students.

The school Concurrency Service Areas (CSA) serving the project site in the 2017/18 school year include Dania Elementary, Olsen Middle, and South Broward High Schools. Based on the Public School Concurrency Planning Document (PSCPD), the elementary and middle schools are currently operating below the adopted Level of Service (LOS) of 100% gross capacity while South Broward High School exceeds the LOS. It should be noted that based on the current student generation rates in the Broward County Land Development Code, the project is not anticipated to generate students at the middle school level. The LOS is 100% gross capacity only until the end of the 2018/19 school year and commencing the 2019/20 school year, the LOS transitions to 110% permanent Florida Inventory of School Houses (FISH) capacity. Incorporating the cumulative students anticipated from this project and approved and vested developments anticipated to be built within the next three years (2017/18-2019/20), the elementary and middle schools are projected to operate below the adopted LOS through 2019/20, but South Broward High School is expected to exceed the LOS until the LOS transitions to 110% permanent capacity in the 2019/20 school year.

The Capacity Allocation Team (CAT) convened on May 16, 2018 and determined that the needed high school student station could be allocated to Hollywood Hills High School, which is immediately adjacent to South Broward High School and projected to operate within the adopted LOS through the 2019/20 school year. It should be noted that FISH capacity for the impacted schools reflect compliance with the class size constitutional amendment.

Additionally in the 2017/18 school year, there are no charter schools located within a two-mile radius of the site. Students returning, attending or anticipated to attend charter schools are factored into the five-year student enrollment projections for District schools. Enrollment projections are adjusted for all elementary, middle and high schools impacted by a charter school until the charter school reaches full enrollment status.

To ensure maximum utilization of the impacted CSAs, the Board may utilize other options such as school boundary changes to accommodate students generated from developments in the County.

Capital Improvements scheduled in the currently Adopted District Educational Facilities Plan (DEFP), Fiscal Years 2017/18 to 2021/22 regarding pertinent impacted schools are depicted above.

Therefore, this application is determined to satisfy public school concurrency on the basis that adequate school capacity is anticipated to be available to support the residential development as currently proposed by the applicant. This preliminary determination shall be valid until the end of the current 2017/18 school year or 180 days, whichever is greater, for a maximum of 36 (6 one bedroom and 30 two or more bedroom) mid-rise units and conditioned upon final approval by the applicable governmental body. As such, this preliminary determination will expire on November 13, 2018. This preliminary school concurrency determination shall be deemed to be void unless prior to the referenced expiration of the Preliminary School Capacity Availability Determination (SCAD), notification of final approval to the District has been provided and/or an extension of this Preliminary SCAD has been requested in writing and granted by the School District. Upon the District's receipt of sufficient evidence of final approval which shall specify at the minimum the number, type and bedroom mix for the approved residential units, the District will issue and provide a final SCAD letter for the approved units, which shall ratify and commence the vesting period for the approved residential project.

Please be advised that if a change is proposed to the development, which increases the number of students generated by the project, the additional students will not be considered vested for public school concurrency.

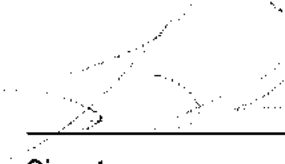
SBBC-2438-2018 Meets Public School Concurrency Requirements

☒ Yes ☐ No

Reviewed By:

2/18/12

Date



Signature

Lisa Wight

Name

Planner

Title



SOUTH - EAST CORNER OF SITE



SOUTH - WEST CORNER OF SITE



NORTH - EAST CORNER OF SITE



3300 N. OCEAN DR.



3300 N. OCEAN DR.



3300 N. SURF



3300 N. SURF



3215 N. OCEAN DR.



3405 N. OCEAN DR.



3405 N. OCEAN DR.



3405 N. OCEAN DR.



323 NEW MEXICO ST.



POSITANO

3415 N. OCEAN DR.



3400 N. SURF RD.



OCEAN GRANDE

3300 N. SURF RD.



OCEAN GRANDE

3300 N. SURF RD



3220 N. SURF RD



314 NEW HAMPSHIRE ST



3215 N. OCEAN DR.

Beachside RESIDENCES

HOLLYWOOD FL

main building color

benjamin moore OC-55
paper white

accent color

benjamin moore 1614
delray grey

metal trellis

bronze



metal fence

bronze

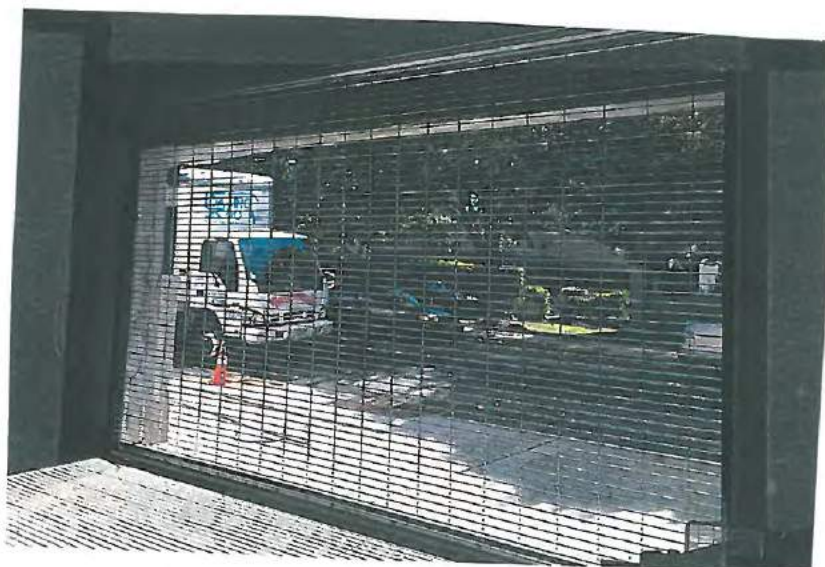
Beachside RESIDENCES

HOLLYWOOD FL



green screen
bronze

storefront



roll up gate

Beachside RESIDENCES

HOLLYWOOD FL



vertical cable trellis

glass edge spa



railing







3305 N. OCEAN DR.

N OCEAN DRIVE

NEW MEXICO STREET

NEW HAMPSHIRE STREET

ONE WAY N SURF ROAD



Beachside RESIDENCES

3319 N. OCEAN DRIVE

HOLLYWOOD

FLORIDA



P.A.C.O. - FEBRUARY 5, 2018
PRELIM TAC - APRIL 16, 2018
FINAL TAC - MAY 14, 2018

PROJECT TEAM

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2411 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020
PHONE: (954) 926-5146
FAX: (954) 926-2841
EMAIL: joseph@kallerarchitects.com

OWNER

VVG REAL ESTATE INVESTMENTS LLC
CONTACT: Mr. Vadim Gataulin
ADDRESS: 310 McKinley Street
HOLLYWOOD, FL 33019
CELL: (954) 920-5146
EMAIL: vadimgataulin@gmail.com

SURVEYOR

COUSINS SURVEYORS AND ASSOCIATES, INC.
CONTACT: RICHARD COUSINS
ADDRESS: 3921 SW 4TH AVENUE, SUITE 1011
DAVIE, FL 33314
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EMAIL: RECsurvey@aol.com

LANDSCAPE ARCHITECT

MIRRORS OF PARADISE INC
CONTACT: Gabriela Fojt
PHONE: (954) 418-3064
EMAIL: gabriela@theforparadise.com

CIVIL ENGINEER

GGB ENGINEERING, INC.
CONTACT: GARY BLOOM
ADDRESS: 3105 STIRLING ROAD, SUITE 201
FORT LAUDERDALE, FLORIDA 33312
PHONE: (954) 926-9899
FAX: (954) 926-6655
EMAIL: gary@ggbeng.com

PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 6TH EDITION 2017
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

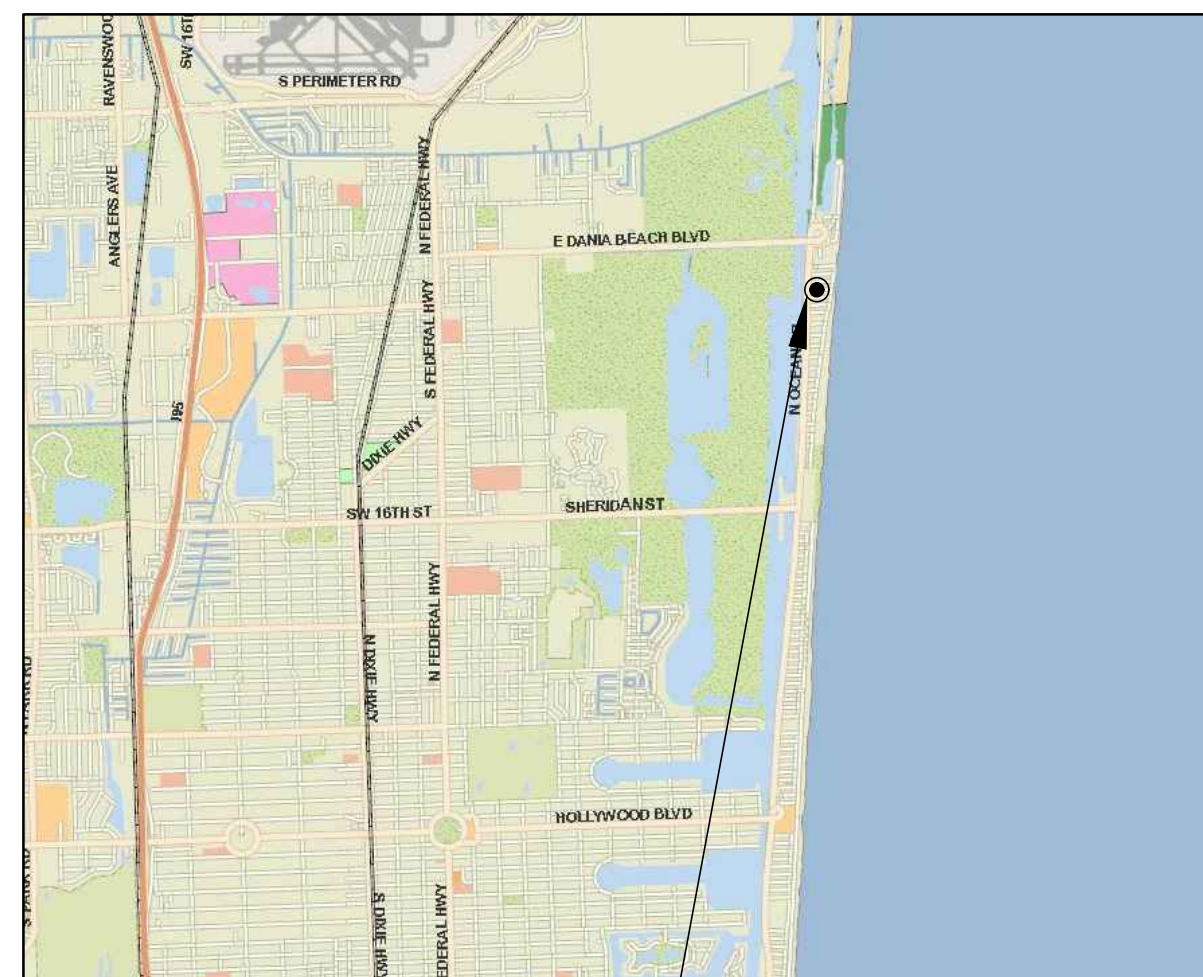
JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

DRAWING INDEX

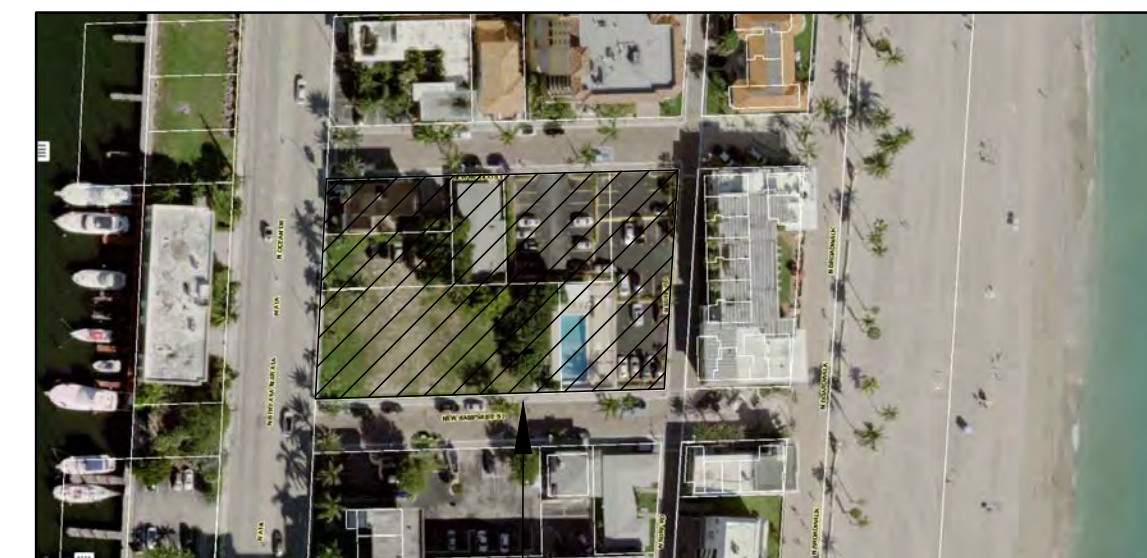
△ T-1	COVER SHEET	A-1	FIRST FLOOR PLAN
SURVEY		A-2	SECOND FLOOR PLAN - TH LEVEL 1
SP-0	SITE AND BUILDING DATA	A-3	THIRD FLOOR PLAN - TH LEVEL 2
SP-1	SITE PLAN AND NOTES	A-4	FOURTH FLOOR PLAN
SP-2	SITE DETAILS	A-5	FIFTH FLOOR PLAN
		A-6	SIXTH FLOOR PLAN
		A-7	SEVENTH FLOOR PLAN
C-1	CIVIL TITLE PAGE	A-8	ROOF PLAN
C-2	PAVING, GRADING AND DRAINAGE PLAN	A-9	BUILDING ELEVATION
C-3	WATER AND SEWER PLAN	A-10	BUILDING ELEVATION
C-4	CONSTRUCTION DETAILS	A-11	BUILDING ELEVATION
C-5	CONSTRUCTION DETAILS	A-12	BUILDING ELEVATION
C-5A	CONSTRUCTION DETAILS	A-13	CONTEXTUAL STREET ELEVATIONS
C-5B	CONSTRUCTION DETAILS	A-14	UNIT BLOW UP PLANS
C-6	STORM WATER AND POLLUTION PREVENTION PLAN	A-15	UNIT BLOW UP PLANS
C-7	STORM WATER AND POLLUTION PREVENTION PLAN	A-16	UNIT BLOW UP PLANS
C-8	STORM WATER AND POLLUTION PREVENTION PLAN		
DT-1	TREE REMOVAL PLAN		
LP-1	FIRST FLOOR LANDSCAPE PLAN		
LP-2	2ND AND THIRD FLOOR LANDSCAPE PLAN		

LOCATION MAP

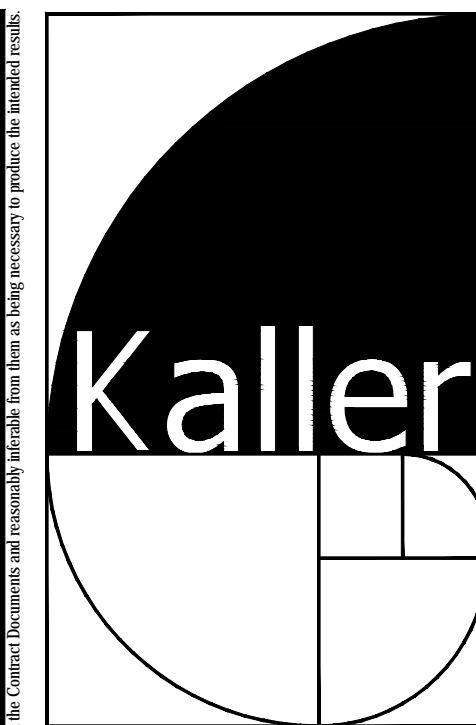


SITE

AERIAL



SITE



JOSEPH B. KALLER
+
ASSOCIATES PA
AA# 28001212
2417 Hollywood Blvd. Hollywood, Florida 33020
(954) 920 5746 phone (954) 926 2841 fax
kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
+ 3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD FL 33019

SHEET TITLE

TITLE PAGE

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

T-1

1 OF 1

NET LOT AREA = 43,492 SQ.FT. / 0.9984 ACRES
GROSS LOT AREA = 62,769 SQ.FT. / 1.4410 ACRES

LOCATION MAP (NTS)



- NOTES :
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY NERDINSKY LAW GROUP, P.A. EFFECTIVE DATE OF SEARCH MARCH 26, 2018 SAERCH FROM DATE: APRIL 28, 1924
 - ITEM 1. RESTRICTIONS, CONDITIONS, RESERVATIONS, EASEMENTS, AND OTHER MATTERS CONTAINED ON THE PLAT OF HOLLYWOOD BEACH SECOND ADDITION, AS RECORDED IN PLAT BOOK 4, PAGE 6, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
 - ITEM 2. NON-EXCLUSIVE AND CONDITIONAL RECREATIONAL AND PARKING FACILITIES EASEMENT AGREEMENT IN FAVOR OF OCEAN GRANDE BEACH CLUB CONDOMINIUM ASSOCIATION, INC., FILED JUNE 7, 1988, AS RECORDED IN O.R. BOOK 15499, PAGE 615, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
 - ITEM 3. EASEMENT IN FAVOR OF BROWARD COUNTY, CONTAINED IN INSTRUMENT RECORDED IN O.R. BOOK 32599, PAGE 1510, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (DOES NOT AFFECTS)
 - ITEM 4. PERPETUAL PALM TREE EASEMENT RECORDED IN O.R. BOOK 28369, PAGE 457, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 - BENCHMARK REFERENCE : BROWARD COUNTY BENCHMARK # 3941 ELEVATION= 8.53' (NAVD88)
 - ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
 - THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
 - THE PROPERTY HAS DIRECT ACCESS TO N OCEAN DRIVE, NEW MEXICO STREET, N SURF ROAD AND NEW HAMPSHIRE STREET. A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 34, PAGE 14, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.
 - THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
 - THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
 - THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
 - THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THE FIELD WORK WAS COMPLETED ON MARCH 20, 2018.

FOR THE FIRM BY:

Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.



LEGEND:

- | | |
|--------|--|
| CKD | CHECKED BY |
| CONC | CONCRETE |
| DWN | DRAWN BY |
| FB/PG | FIELD BOOK AND PAGE |
| SIR | SET IRON ROD & CAP #6448 |
| SNC | SET NAIL AND CAP #6448 |
| FIR | FOUND IRON ROD |
| FIP | FOUND IRON PIPE |
| FNC | FOUND NAIL AND CAP |
| FND | FOUND NAIL & DISC |
| P.B. | PLAT BOOK |
| B.C.R. | BROWARD COUNTY RECORDS |
| CBS | CONCRETE BLOCK STRUCTURE |
| A/C | AIR CONDITIONER |
| WM | WATER METER |
| WV | WATER VALVE |
| CO | CLEAN OUT |
| TSB | TRAFFIC SIGNAL BOX |
| CLP | CONCRETE LIGHT POLE |
| PM | PARKING METER |
| FH | FIRE HYDRANT |
| EB | ELECTRIC BOX |
| 5.40 | ELEVATIONS |
| ALTA | AMERICAN LAND TITLE ASSOCIATION |
| NSPS | NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS |

LAND DESCRIPTION:

LOTS 5, 6, 7, 8, 9, 10, 11 AND 12, LESS THE ROAD RIGHT-OF-WAY, TOGETHER WITH LOTS 13, 14, 15 AND 16, BLOCK 9, "HOLLYWOOD BEACH SECOND ADDITION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE INFORMATION

COMMUNITY NUMBER 125113
PANEL NUMBER 0586 H
ZONE AE
BASE FLOOD ELEV 6, 7 & 9
EFFECTIVE DATE 08/18/14

REVISIONS

BOUNDARY AND IMPROVEMENTS SURVEY	DATE	FB/PG	DWN	CKD
UPDATE TO ALTA/NSPS LAND TITLE SURVEY	10/24/17	DATA/COLL	AM	REC
REVISED PER COMMENTS	03/20/18	----	AM	REC
REVISED PER COMMENTS	04/20/18	----	AM	REC
REVISED PER COMMENTS	06/07/18	----	AC	REC

PROJECT NUMBER : 8522-17

SCALE : 1" = 16'

SHEET
1
OF
1
SHEET

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

VVG REAL ESTATES
INVESTMENTS, LLC

3319 N OCEAN DRIVE, HOLLYWOOD FL 33019
322 NEW MEXICO STREET, HOLLYWOOD FL 33019
3300 N SURF ROAD, HOLLYWOOD FL 33019

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

LOTS 5, 6, 7, 8, 9, 10, 11 AND 12, LESS THE ROAD RIGHT-OF-WAY, TOGETHER WITH LOTS 13, 14, 15 AND 16, BLOCK 9, "HOLLYWOOD BEACH SECOND ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES

3319 NORTH OCEAN DRIVE
HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING:	BEACH RESORT RESIDENCIAL DISTRICT – BRT–25–R		
LAND USE DESIGNATION:	MED–HIGH RESIDENTIAL		
NET LOT AREA:	43,492.0 SQUARE FEET		
GROSS LOT AREA:	62,769.0 SQUARE FEET (1.44 AC)		
DENSITY:	ALLOWED	PROVIDED	
	25 UNIT PER GROSS AC	36 UNITS	
	1.44 X 25 = 36 UNITS		
PARKING:	REQUIRED	PROVIDED	
UNITS	1 PER UNIT MIN. = 36 SPACES		
	1.5 PER UNIT MAX. = 54 SPACES	54 SPACES (INCL. 3 HC SPACES)	
OCEAN GRANDE BEACH CLUB	40 SPACES (BASED ON AGREEMENT)	40 SPACES (INCL. 2 HC SPACES)	
TOTAL		94 SPACES (INCL. 2 HC SPACES)	

LOADING:	REQUIRED	PROVIDED
UNITS	1 PER 50 –100 UNITS =0 SPACES	0 SPACES

SETBACKS:	REQUIRED	PROVIDED
	BASE	TOWER
(a) A1A (WEST)	10'–0"	20'–0"
(b) CROSS STREET (NORTH)	20'–0"	25'–0"
(c) CROSS STREET (SOUTH)	20'–0"	25'–0"
(d) SURF ROAD (EAST)	10'–0"	15'–0"

BUILDING SUMMARY

BUILDING HEIGHT:	ALLOWED	PROVIDED
	50'–0"	75'–0"
UNIT TYPES:	TOWNHOUSE –4 BED/ 4 1/2 BATH (3)	
	TOWNHOUSE –3 BED/ 2 1/2 BATH (7)	
	FLAT –3 BED/ 3 1/2 BATH (5)	
	FLAT –2 BED/ 2 1/2 BATH (15)	
	FLAT –1 BED/ 2 BATH (4)	
	FLAT –1 BED/ 1 1/2 BATH (2)	

BUILDING AREAS:(AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS)

	enclosed space	balconies/ decks	total
FIRST FLOOR	3533	–	
SECOND FLOOR	1450	3961	
THIRD FLOOR	12245	12038	
FOURTH FLOOR	12456	1436	
FIFTH FLOOR	11199	5017	
SIXTH FLOOR	11188	4532	
SEVENTH FLOOR	11122	4744	
TOTAL	63,193 S.F.	31,728 S.F.	94,921 S.F.

VARIANCES:	REQUIRED	PROVIDED
BUILDING HEIGHT	50'–0"	75'–0"
ACTIVE USE LINER		
A1A	60% (138'–6")	18% (42'–0")
NEW HAMPSHIRE	60% (143'–6")	17% (39'–6")
NEW MEXICO	60% (124'–6")	0% (0'–0")

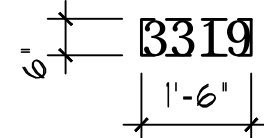
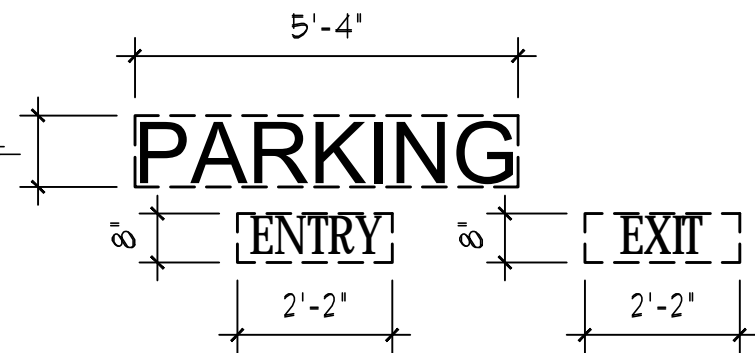
	SPACE	AREA		GROSS AREA		AREA
		AC	NON AC	AC	NON AC	NOT INCL
1ST FL	RESIDENTIAL LOBBY	1854		1854		
	UTILITY ROOMS		328			
	TRASH ROOM		227			
	STAIRWELLS		890		1679	
	ELEVATORS		234			
	GARAGE		24676			24676
2ND FL	LOBBY	208		208		
	STAIRWELLS		312			
	ELEVATORS		234			
	UTILITY ROOMS		674		5203	
	BALCONIES		3961			
	TRASH CHUTE		22			
3RD FL	GARAGE		21387			21387
	UNITS	11617		11617		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	RESTROOM		107			
4TH FL	BALCONIES		7386		12668	
	BALCONIES/DECKS		6681			
	UNITS	11935		11935		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
5TH FL	BALCONIES		1436		1957	
	UNITS	9573		10678		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	GYM	1105				
6TH FL	BALCONIES		2347		5386	
	BALCONIES/DECKS		2518			
	UNITS	10667		10667		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
7TH FL	BALCONIES		1744		4756	
	BALCONIES/DECKS		2491			
	UNITS	10601		10601		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
7TH FL	BALCONIES		1968		4933	
	BALCONIES/DECKS		2444			
				57560	36582	46063
TOTAL GROSS AREA				94142 SF		

LOCATION	UNIT #	UNIT TYPE	AREA		NET AREA	
			BED/ BATH	AC	TERRACE/ BALCONY	AC
3RD & 4TH FLOORS	TH–1	3/ 2½		2543	682	
	TH–2	3/ 2½		2061	399	
	TH–3	3/ 2½		2203	399	
	TH–4	3/ 2½		2202	399	
	TH–5	4/ 4½		2759	1487	
	TH–6	4/ 4½		2759	1097	
	TH–7	3/ 2½		1996	399	
	TH–8	3/ 2½		2068	399	
	TH–9	3/ 2½		2202	399	
	TH–10	4/ 4½		2759	1726	
5TH FLOOR	501	1/ 2		1033	203	
	502	2/ 2½		1102	178	
	503	2/ 2½		1067	220	
	504	2/ 2½		1154	464	
	505	2/ 2½		1154	463	
	506	1/2		965	228	
	507	1/ 1½		883	178	
	508	2/ 2½		983	177	
6TH FLOOR	509	2/ 2½		1232	388	
	601	2/ 2½		1094	325	
	602	1/ 2		1033	174	
	603	2/ 2½		1102	153	
	604	2/ 2½		1067	156	
	605	2/ 2½		1154	207	
	606	2/ 2½		1154	209	
	607	1/ 2		965	158	
	608	1/ 1½		883	152	
	609	2/ 2½		983	152	
7TH FLOOR	610	2/ 2½		1232	355	
	701	3/ 3½		1527	423	
	702	2/ 2½		1110	152	
	703	2/ 2½		1092	156	
	704	3/ 3½		1684	363	
	705	3/ 3½		1676	357	
	706	3/ 3½		1785	308	
	707	3/ 3½		1727	541	
TOTAL NET AREA					54393	13303

1 SITE AND BUILDING DATA

SCALE: NTS

△



NAME SIZE = 5.5 SF.
FONT STYLE - CENTURY GOTHIC

NAME SIZE =1 SF.
FONT STYLE - CENTURY GOTHIC

NAME SIZE = 1.5 SF.
FONT STYLE - CENTURY GOTHIC



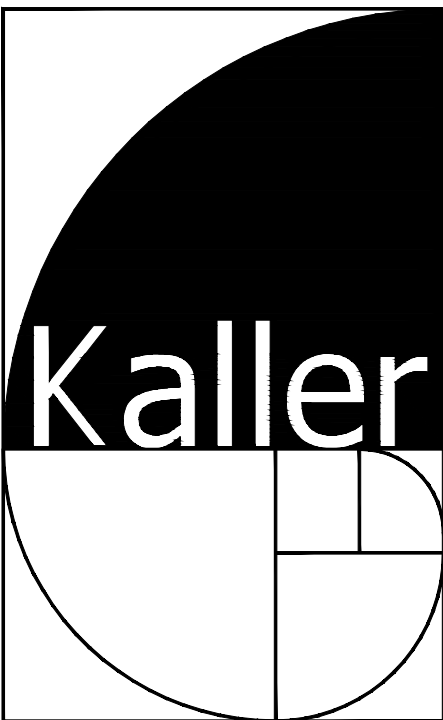
SIGNAGE DETAILS

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPER 108 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.



JOSEPH B. KALLER
+
ASSOCIATES PA

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3417 Hollywood Blvd. Hollywood, Florida 33020
(954) 920 5746 phone - (954) 926 2841 fax
kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

PROJECT TITLE

SHEET TITLE
SITE AND BUILDING DATA

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

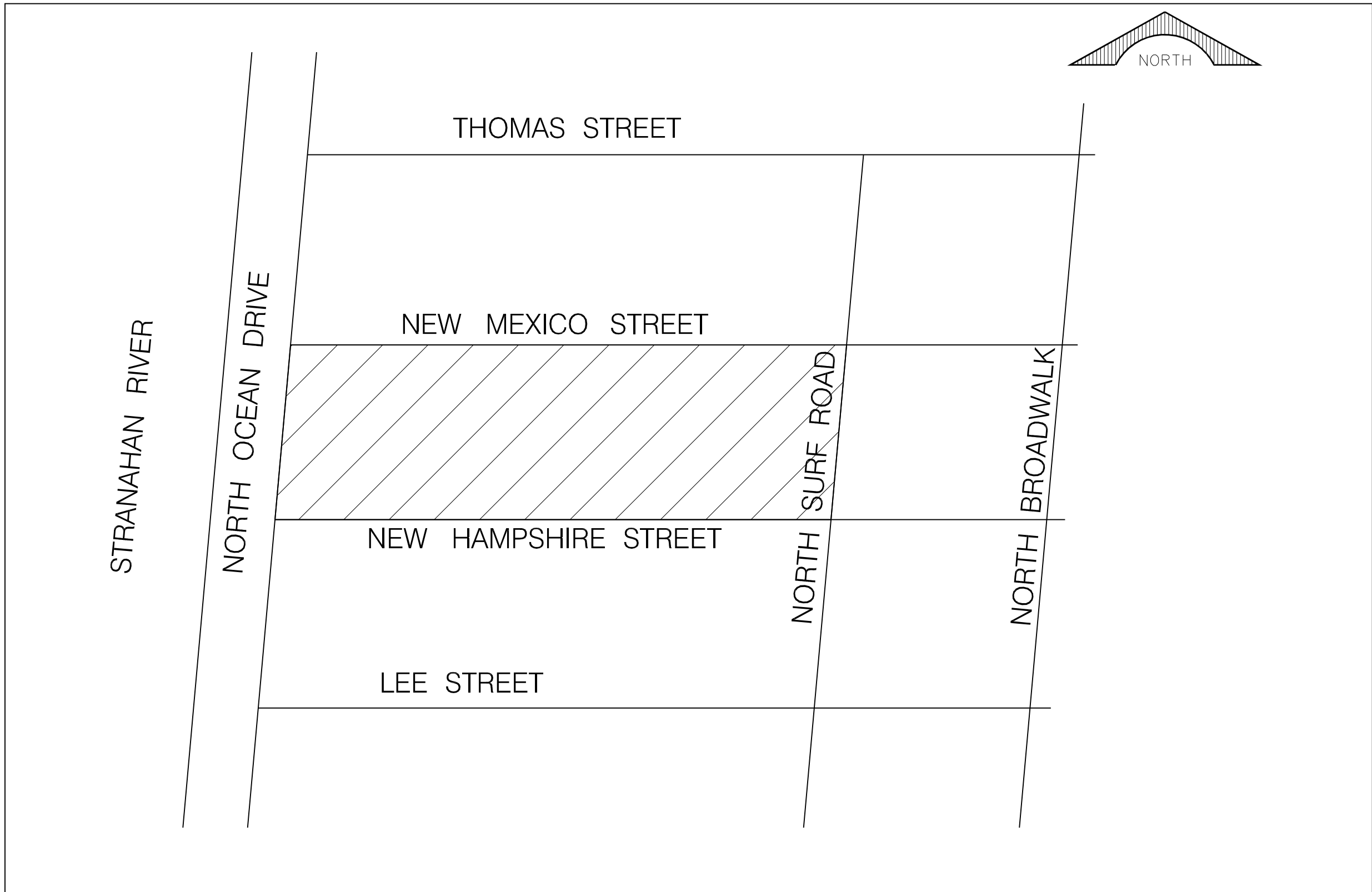
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1 OF 13

BEACHSIDE RESIDENCES

3319 N. OCEAN DRIVE
HOLLYWOOD, FLORIDA 33019

CIVIL ENGINEERING PLANS

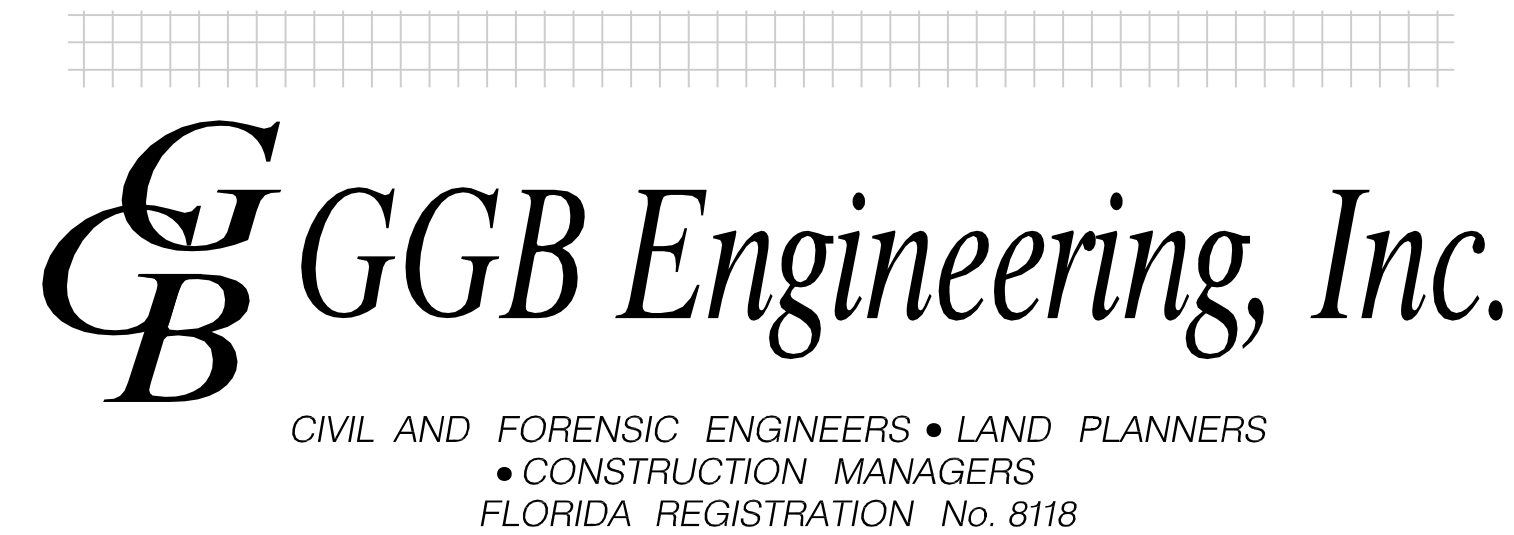


LOCATION MAP
N.T.S.

SHEET NO.	TITLE
1	COVER SHEET
2	PAVING, GRADING & DRAINAGE PLAN
3	WATER & SEWER PLAN
4 – 5B	CONSTRUCTION DETAILS
6 – 8	STORMWATER POLLUTION PREVENTION PLAN

APPROVALS		
AGENCY	APPROVAL DATE	PERMIT NUMBER

DRAWINGS MAY BE OUT OF SCALE DUE TO XEROX REPRODUCTION ERROR.

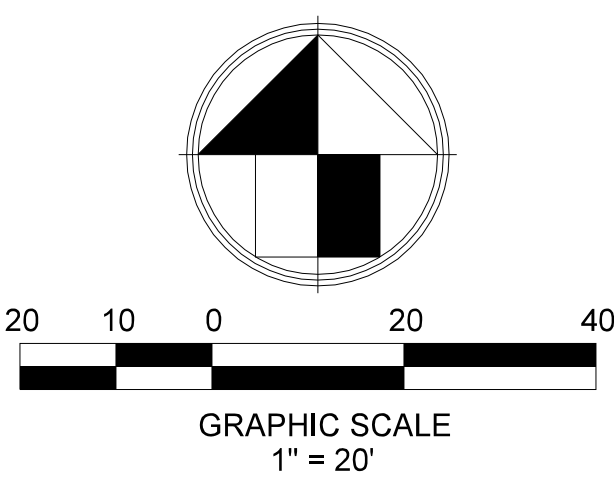
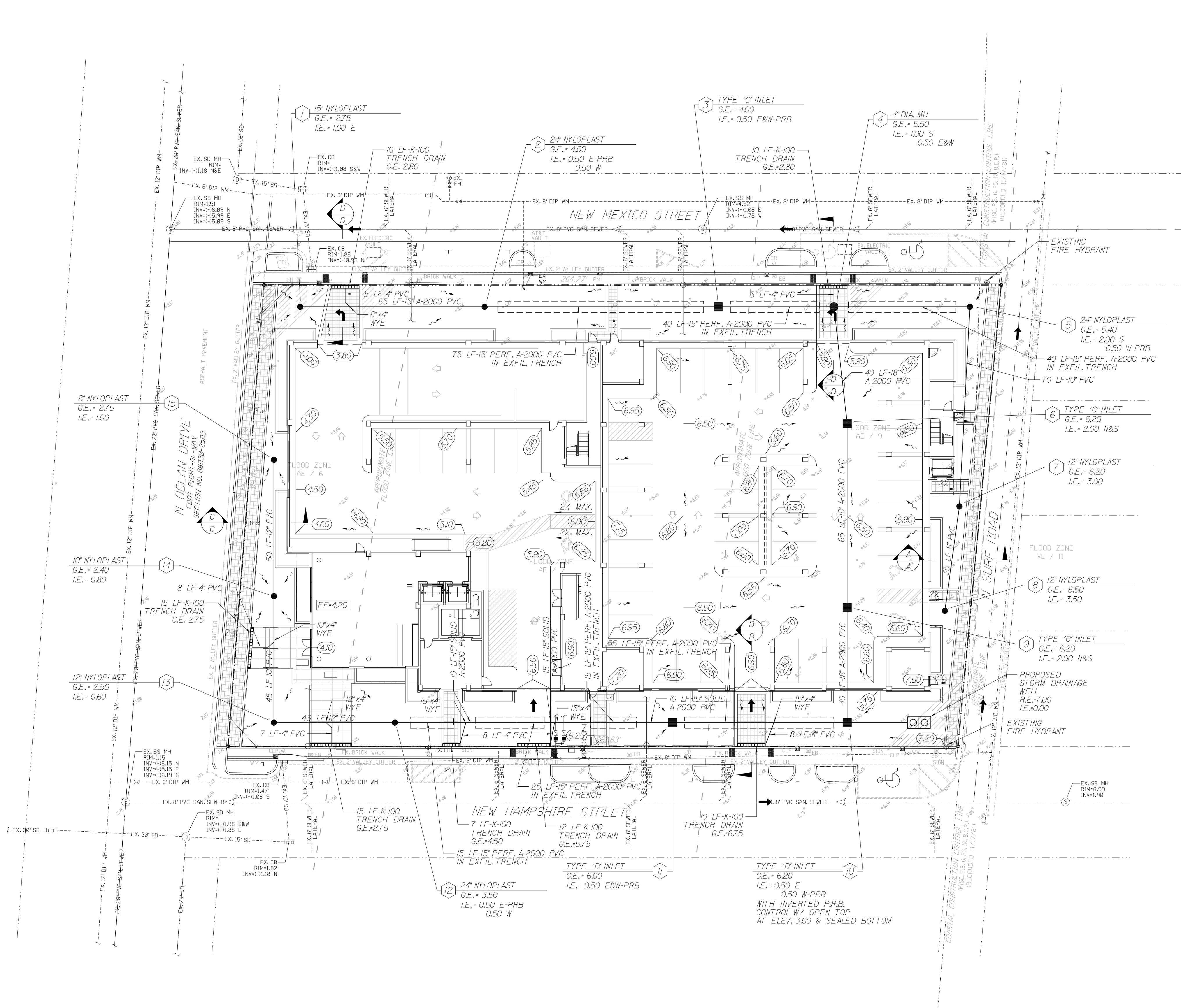


GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118

2699 Stirling Road, Suite C-202 Phone: (954) 986-9899
Fort Lauderdale, Florida 33312 Fax: (954) 986-6655

PROJECT No. 18-0410
DESIGN DATE: May 2018

GARY G. BLOOM, P.E.
FLA. LIC. No. 19832
NOT VALID UNLESS SIGNED
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PAVING & DRAINAGE LEGEND	
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
----	RIDGE LINE
~	DIRECTION OF OVERLAND FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F. @ 10.00	FINISHED FLOOR ELEVATION
.....	EXISTING OR FUTURE UTILITIES
CATCH BASIN	STRUCTURE DESIGNATION
100 LF / 15"	LENGTH, SIZE OF STORM DRAIN
7.50	EXISTING GRADE
(8.50)	PROPOSED GRADE
	D.I.P. PIPE

REVISIONS:

1.	
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8.	

CLIENT:

Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746
kaller@bellsouth.net

PROJECT:

BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD
FLORIDA

TASK:

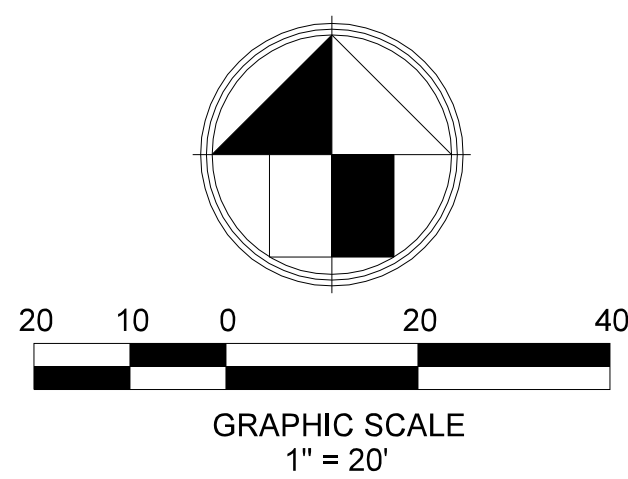
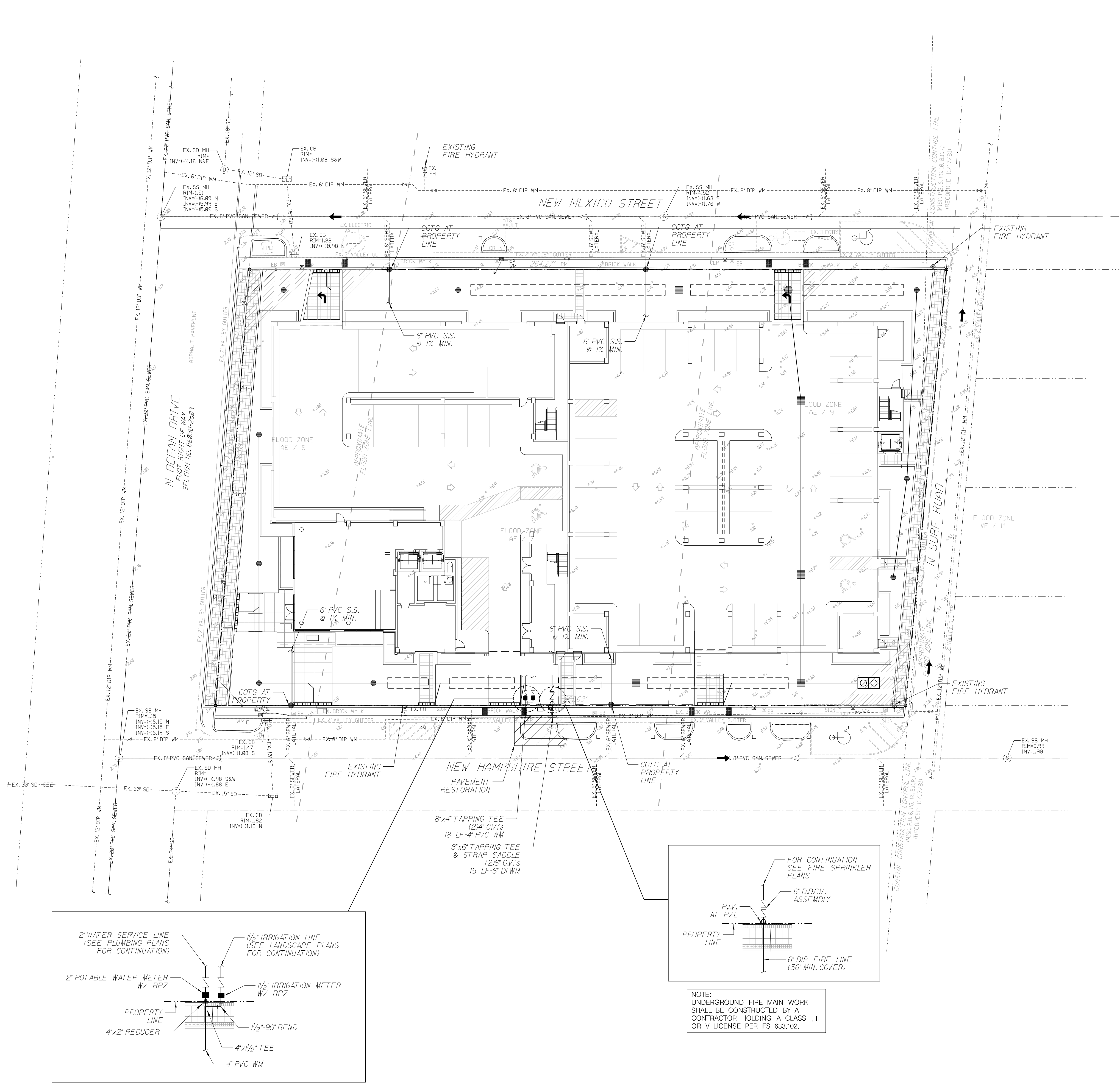
PAVING, GRADING AND
DRAINAGE PLAN

GGB Engineering, Inc.

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Phone: (954) 986-9899
Fax: (954) 986-8655
email: gary@ggbeng.com

DATE:	SCALE:
April 2018	1"=20'
DESIGNED BY:	DRAWN BY:
G.C.B.	F.M.
PROJECT NO.	
18-0410	
SHEET	
2	

GARY G. BLOOM, P.E.
FLA. LIC. NO. 19832
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SEWER LEGEND	
R.E.	RIM ELEVATION
I.E.	INVERT ELEVATION
MANHOLE R.E. I.E.	MANHOLE DESIGNATION
25' L.F./8" S.S. @ 0.42%	LENGTH & SLOPE OF PIPE
	DOUBLE SEWER LATERAL
	SINGLE SEWER LATERAL
	EXISTING OR FUTURE UTILITIES
C.O.T.G.	CLEAN OUT TO GRADE
	D.I.P. PIPE

WATER LEGEND	
	DOUBLE WATER METER SERVICE
	SINGLE WATER METER SERVICE
25' L.F./8" S.W.M.	LENGTH, SIZE & TYPE OF WATER MAIN
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED GATE VALVE
	BACTERIOLOGICAL SAMPLING POINT
	EXISTING OR FUTURE UTILITIES
	D.I.P. PIPE

REVISIONS:

1.	
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CLIENT:

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Hollywood, Florida 33020-6605
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PROJECT:

BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD
FLORIDA

TASK:

WATER AND SEWER PLAN

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
CONSTRUCTION MANAGERS
• FLORIDA REGISTRATION NO. 1818
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DATE:

April 2018

DESIGNED BY:

G.C.B.

PROJECT NO.

18-0410

SHEET

3

SCALE:

1"=20'

DRAWN BY:

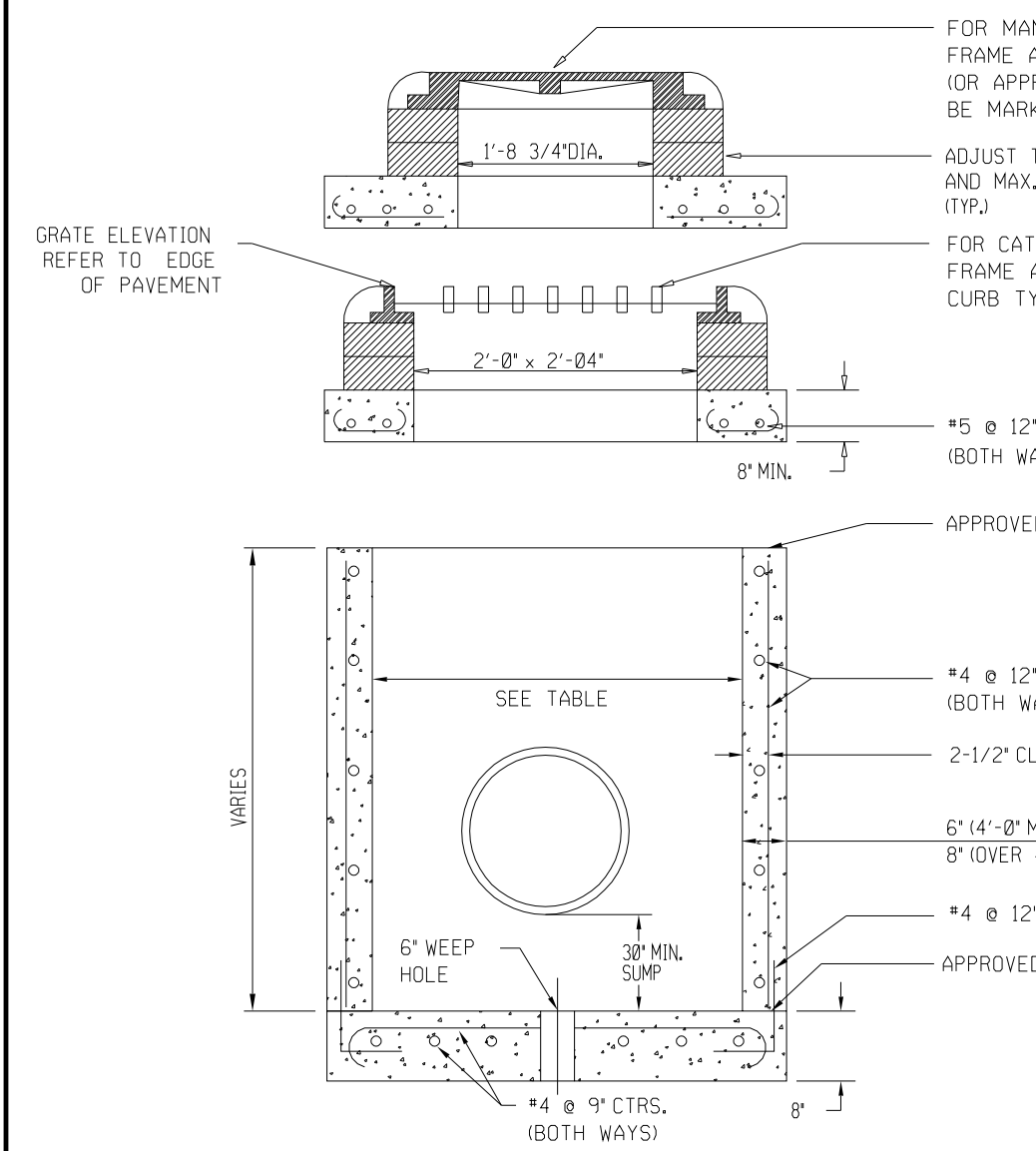
F.M.

GARY G. BLOOM, P.E.
FLA. LIC. NO. 19832
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER

- GENERAL NOTES
1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
 2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD EXPOSE THE SURFACE WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770. FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.
- UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES
- | | |
|--------|---------------------|
| RED | ELECTRIC |
| YELLOW | GAS-OIL |
| ORANGE | COMMUNICATION, CATV |
| BLUE | WATER |
| GREEN | SEWER |
| PINK | SURVEY MARKINGS |
| WHITE | PROPOSED EXCAVATION |
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:
FLORIDA POWER AND LIGHT COMPANY
BELL SOUTH
COMCAST CATV
CITY OF HOLLYWOOD
 4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
 5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
 7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FPL, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
 8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.
 9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
 10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.
 11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
 12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

PAVEMENT MARKING AND SIGNING NOTES

1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIMUM THICKNESS 90 MILS (ALKYD ONLY).
2. ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PANT.
4. THESE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
5. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.
6. REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.
7. THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.



DRAINAGE STRUCTURES

N.T.S.

- PAVING, GRADING AND DRAINAGE NOTES
1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD AND PARKING LOT AREA SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 1' LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
 3. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
 4. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
 6. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEARED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
 7. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
 8. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
 9. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1 FOOT OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN.
 10. ALL SUBGRADE SHALL HAVE AN LBR OF 40, UNLESS OTHERWISE NOTED, AND SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
 11. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM AND MAGNESIUM, UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRISM.
 12. ASPHALT SHALL BE OF THE TYPE DESIGNATED ON THE DRAWINGS.
 13. PLASTIC FILTER FABRIC SHALL BE MIRAF, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
 14. CONCRETE SIDEWALK SHALL BE 4 INCHES THICK ON COMPACTED SUBGRADE, WITH 1/2 INCH EXPANSION JOINTS PLACED AT A MAXIMUM OF 75 FEET. CRACK CONTROL JOINTS SHALL BE 5 FEET ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6 INCHES THICK WITH 6\"/>
 15. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
RCP - REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, CLASS III, WALL THICKNESS "B", LATEST EDITION.
CMP - CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196 CMP (SMOOTH LINED) - CORRUGATED METAL, ALUMINUM PIPE (SMOOTH LINES), ASTM DESIGNATION M-196
SCP - SLOTTED CONCRETE PIPE, FDOT SECTIONS 941 AND 942.
PVC - POLYVINYLCHLORIDE PIPE
PCMP - PERFORATED CMP, FDOT SECTION 945
DIP - DUCTILE IRON PIPE
HDPE - SMOOTH LINED HIGH DENSITY POLYETHYLENE, AASHTO M 294 TYPE S
 16. ASPHALTIC CONCRETE TYPE S-II SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 331-1 THROUGH 331-6 OF F.D.O.T. STANDARD SPECIFICATIONS. ASPHALTIC CONCRETE TYPE S-1 SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF F.D.O.T. STANDARD SPECIFICATIONS.
 17. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
 18. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 19. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM SPECIFICATION A-615 AND A-305, LATEST REVISION.
 20. ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
 21. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
 22. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2" CEMENT MORTAR.
 23. JOINTS IN CORRUGATED ALUMINUM PIPE SHALL EMPLOY CORRUGATED METAL BANDS OF SIMILAR METAL AND CORRUGATIONS WITH NEOPRENE, RAM-NEK, OR BITUMASTIC GASKETS INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 24. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 OF THE FLORIDA DOT STANDARD SPECIFICATIONS, LATEST REVISION.
 26. ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART 1, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
 27. JOINTS IN HDPE PIPE SHALL BE ADS PRO LINK ST, HANCOX SURE-LOK OR APPROVED EQUAL.

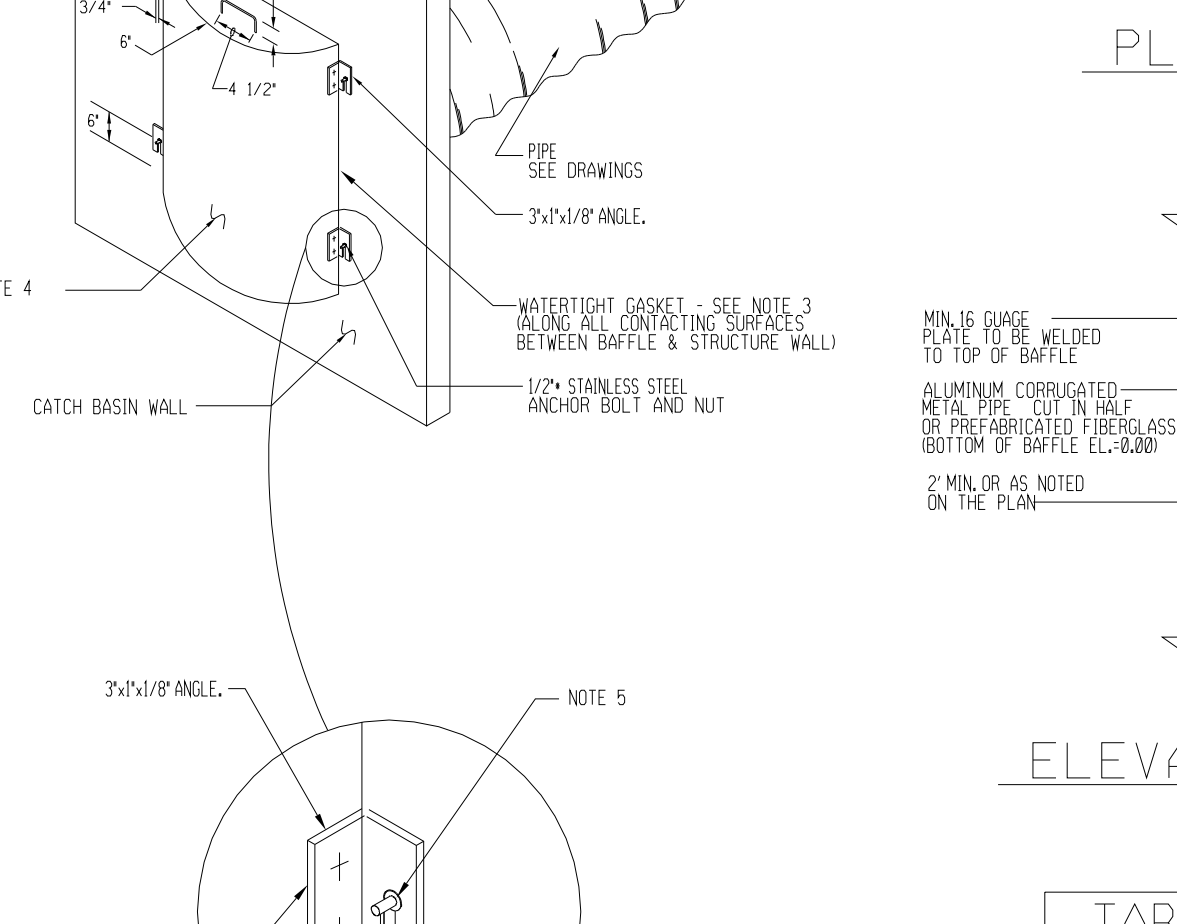
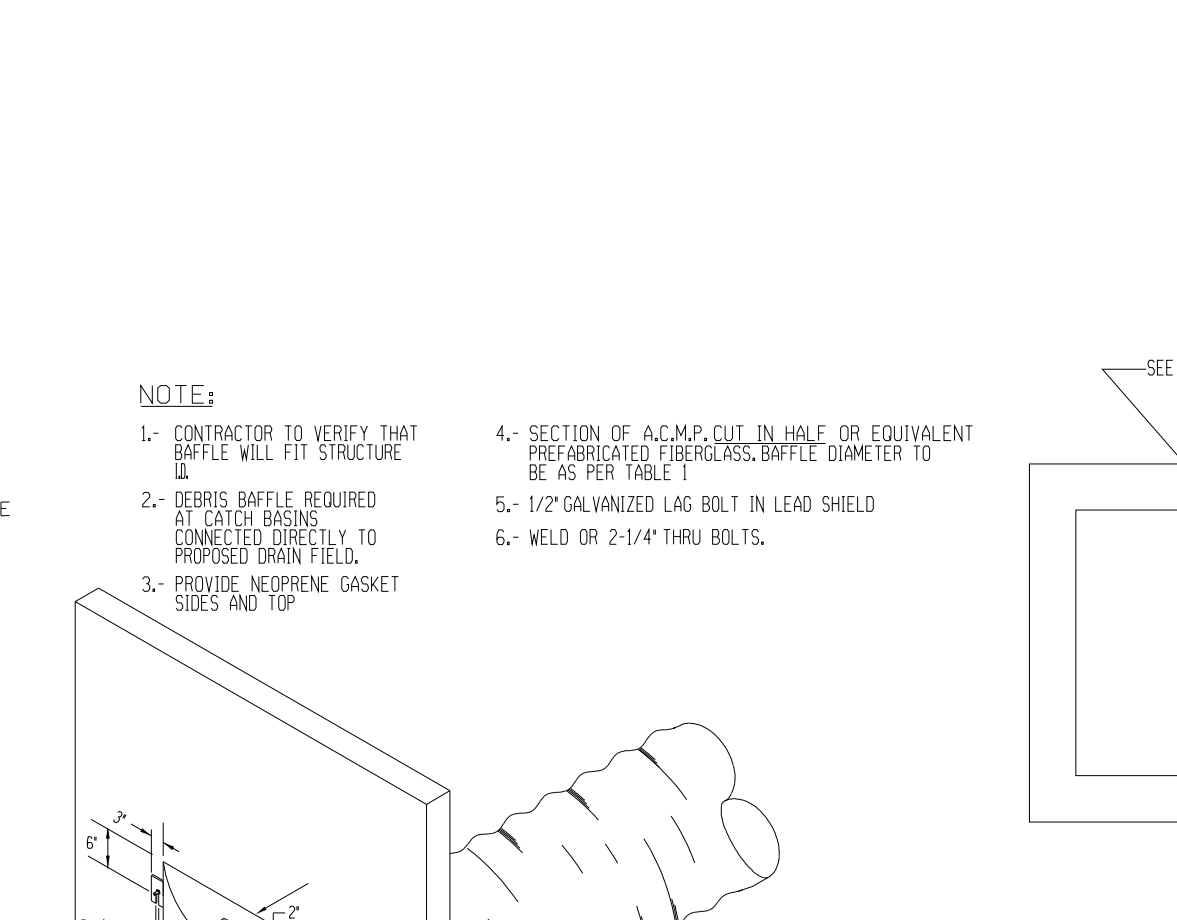
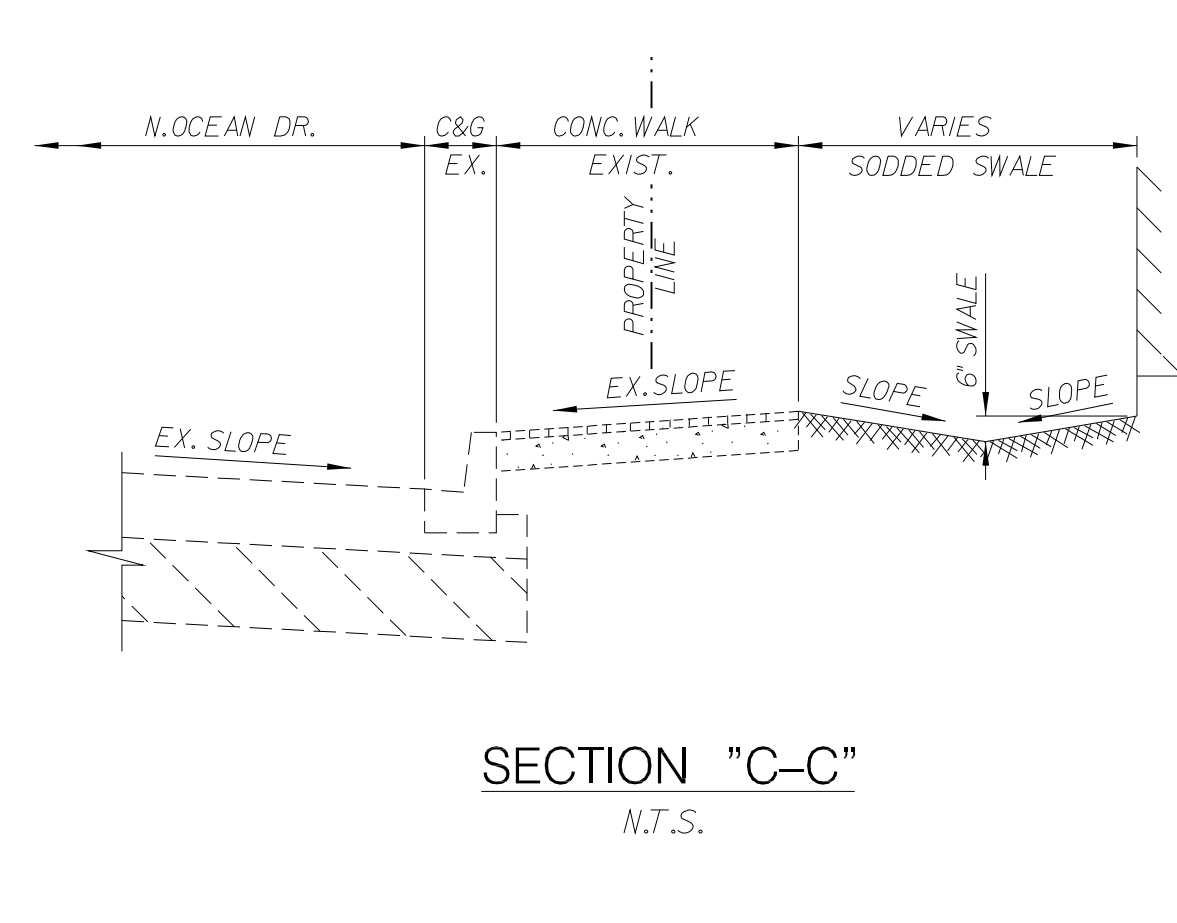
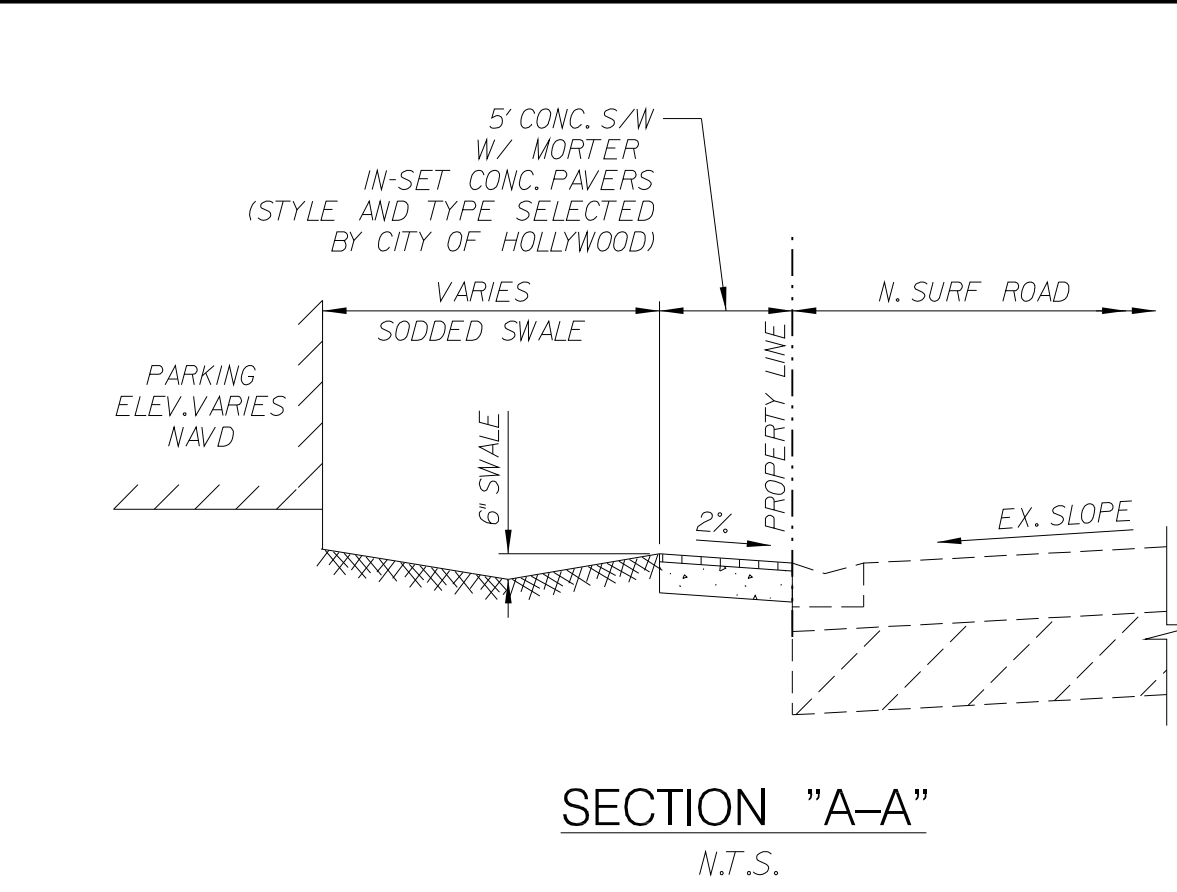
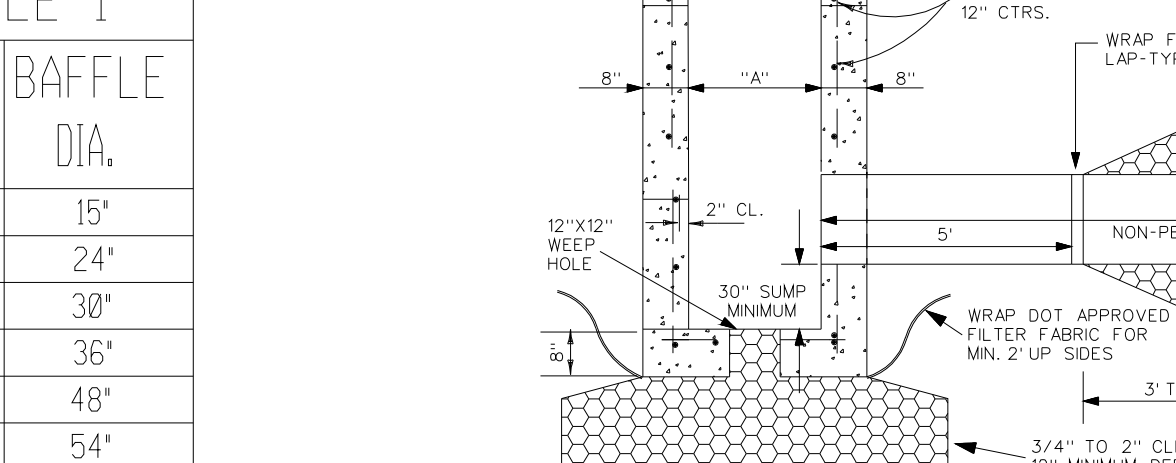
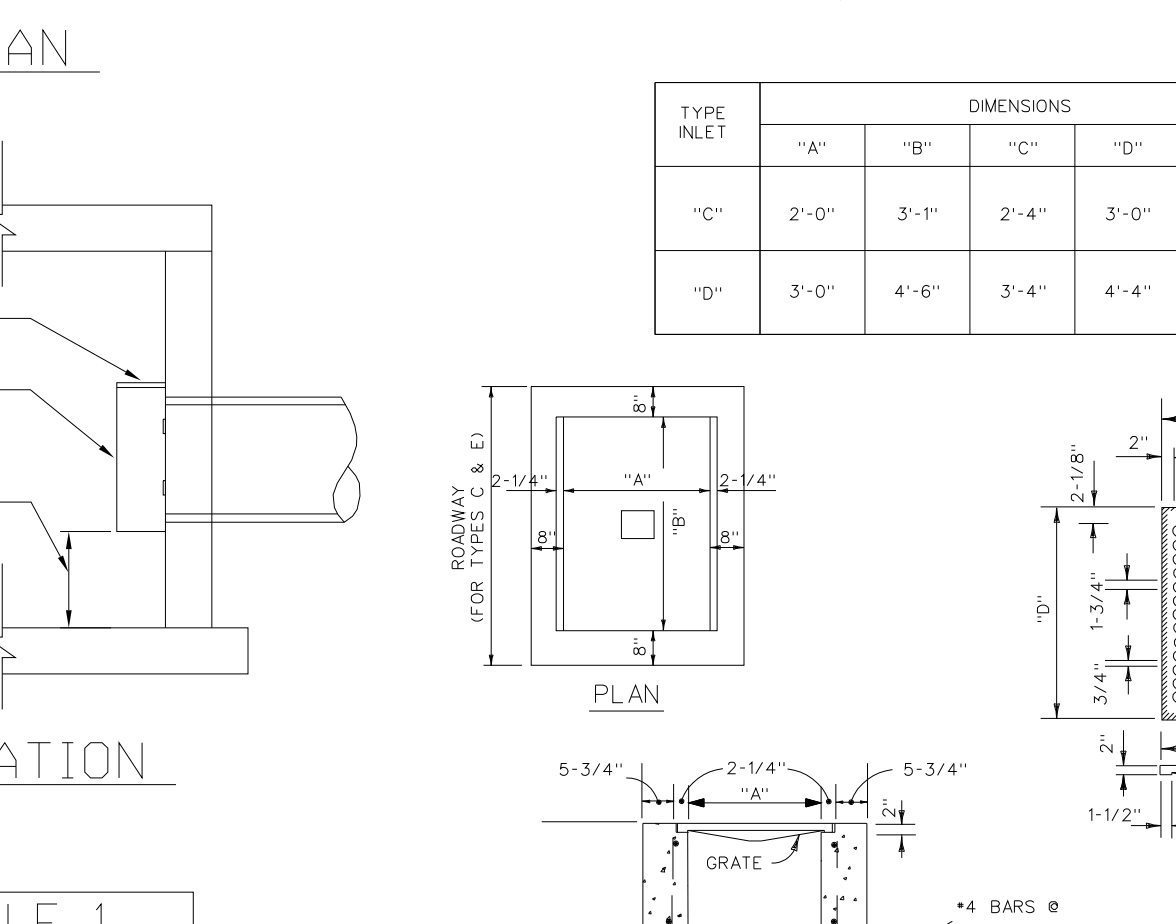
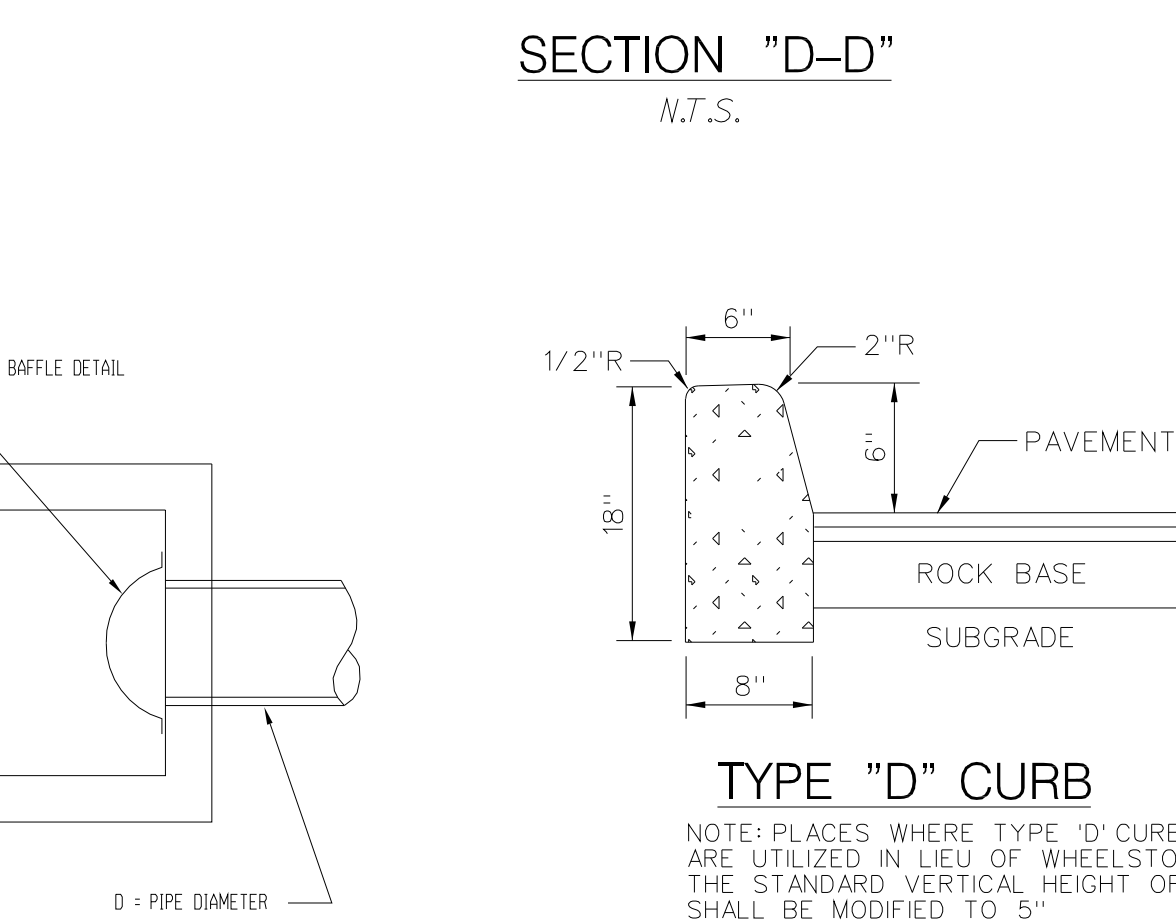
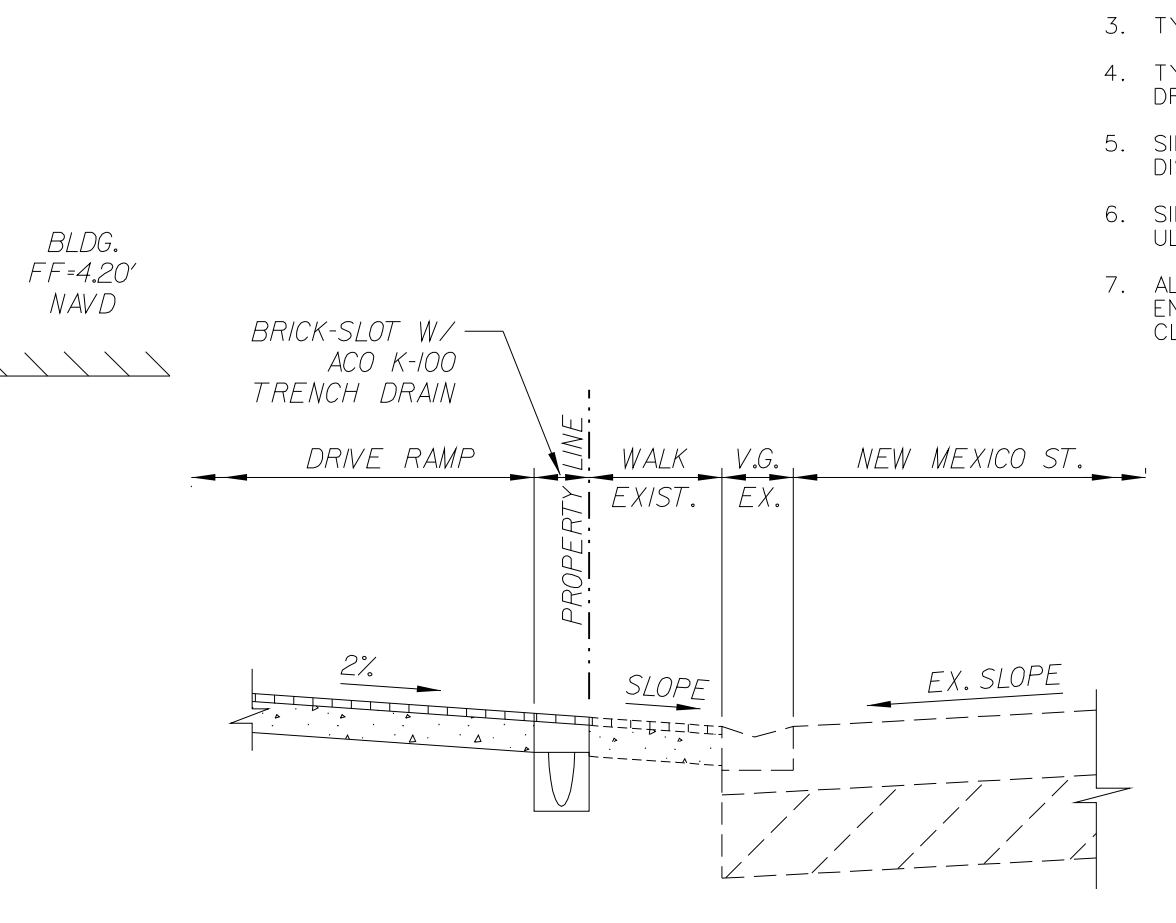
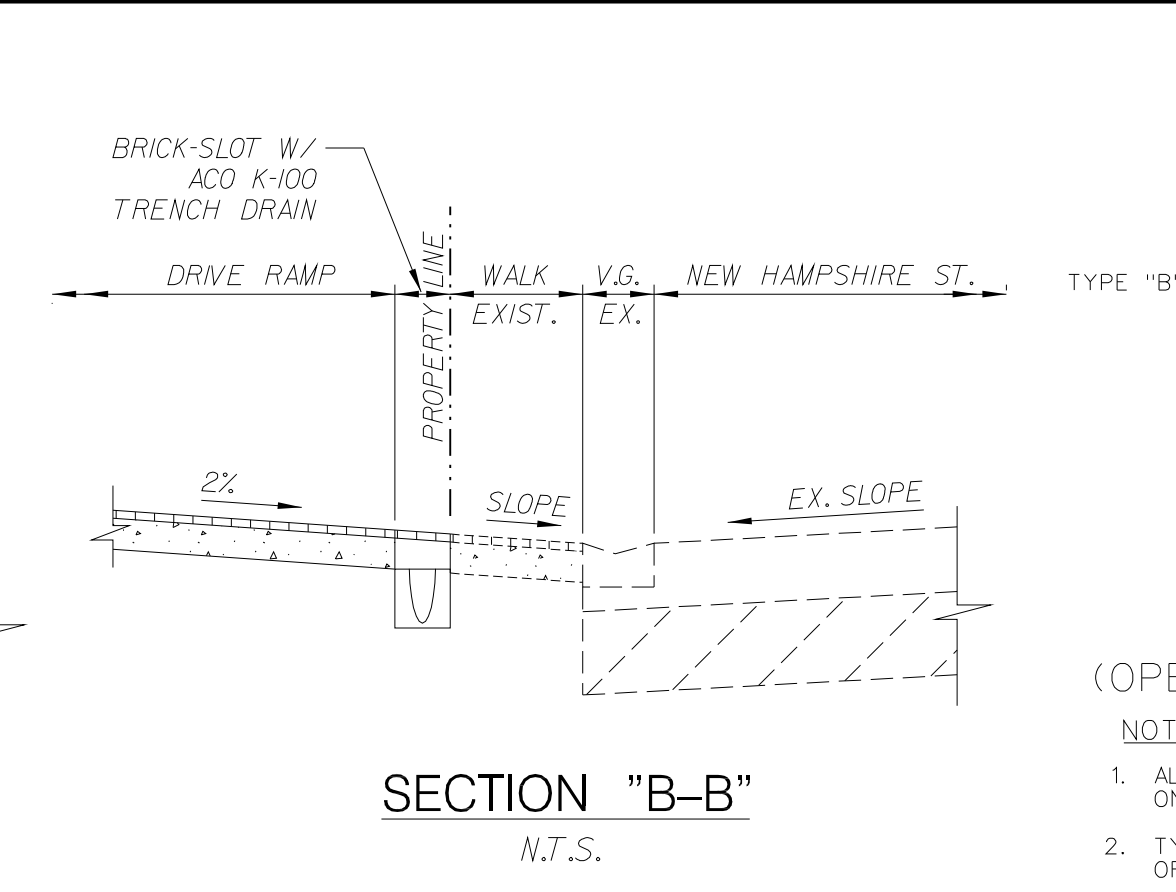
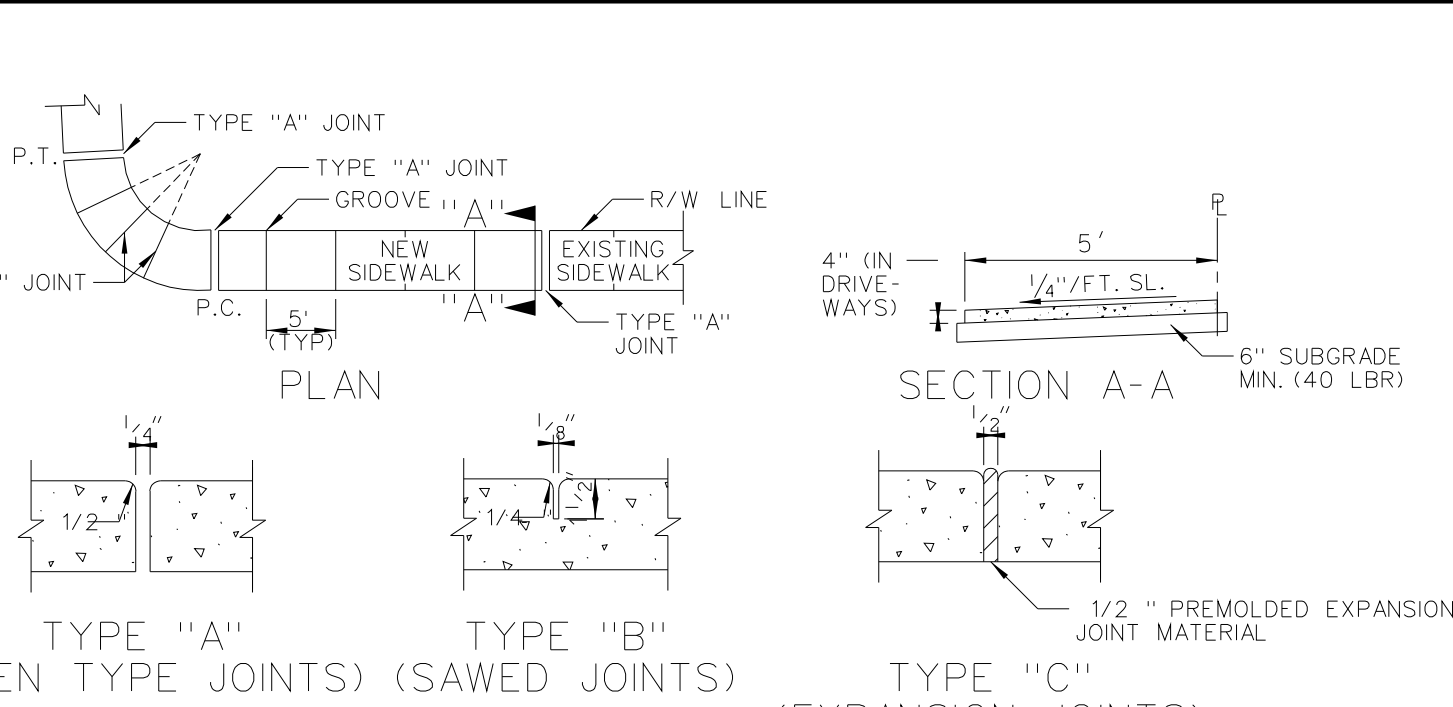


TABLE 1	
D	BAFFLE DIA.
10'	15'
15'	24'
18'	30'
24'	36'
30'	48'
36'	54'

POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL

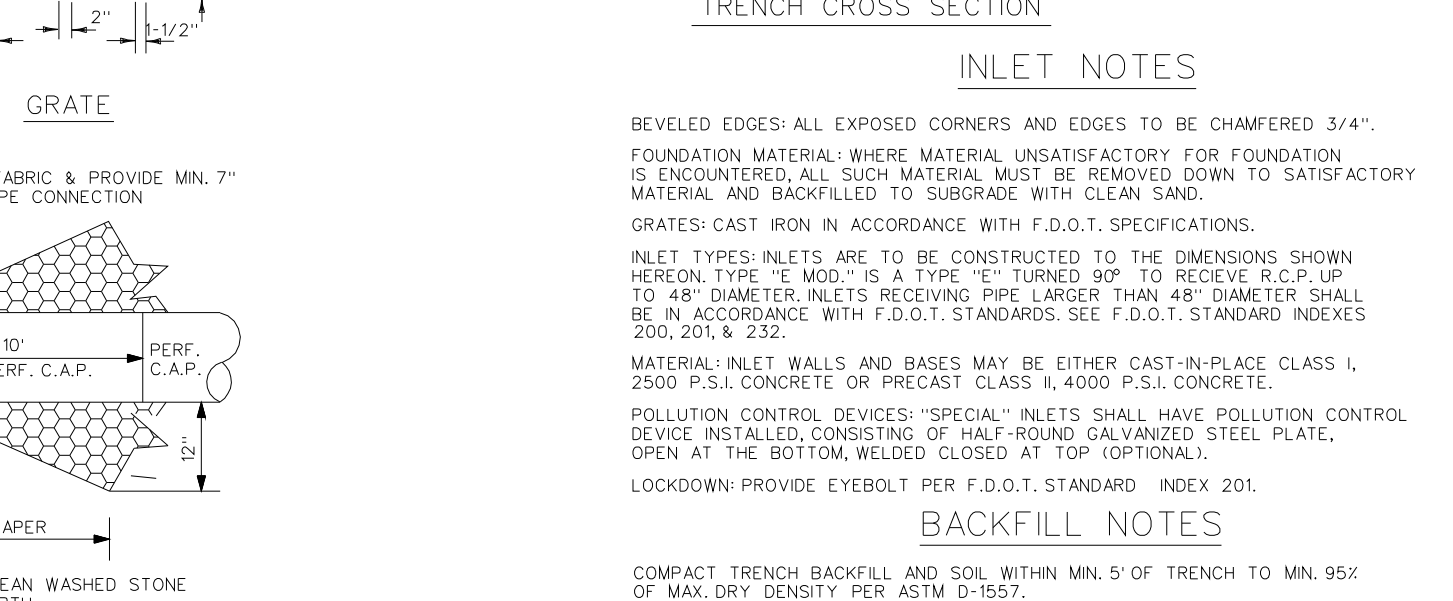
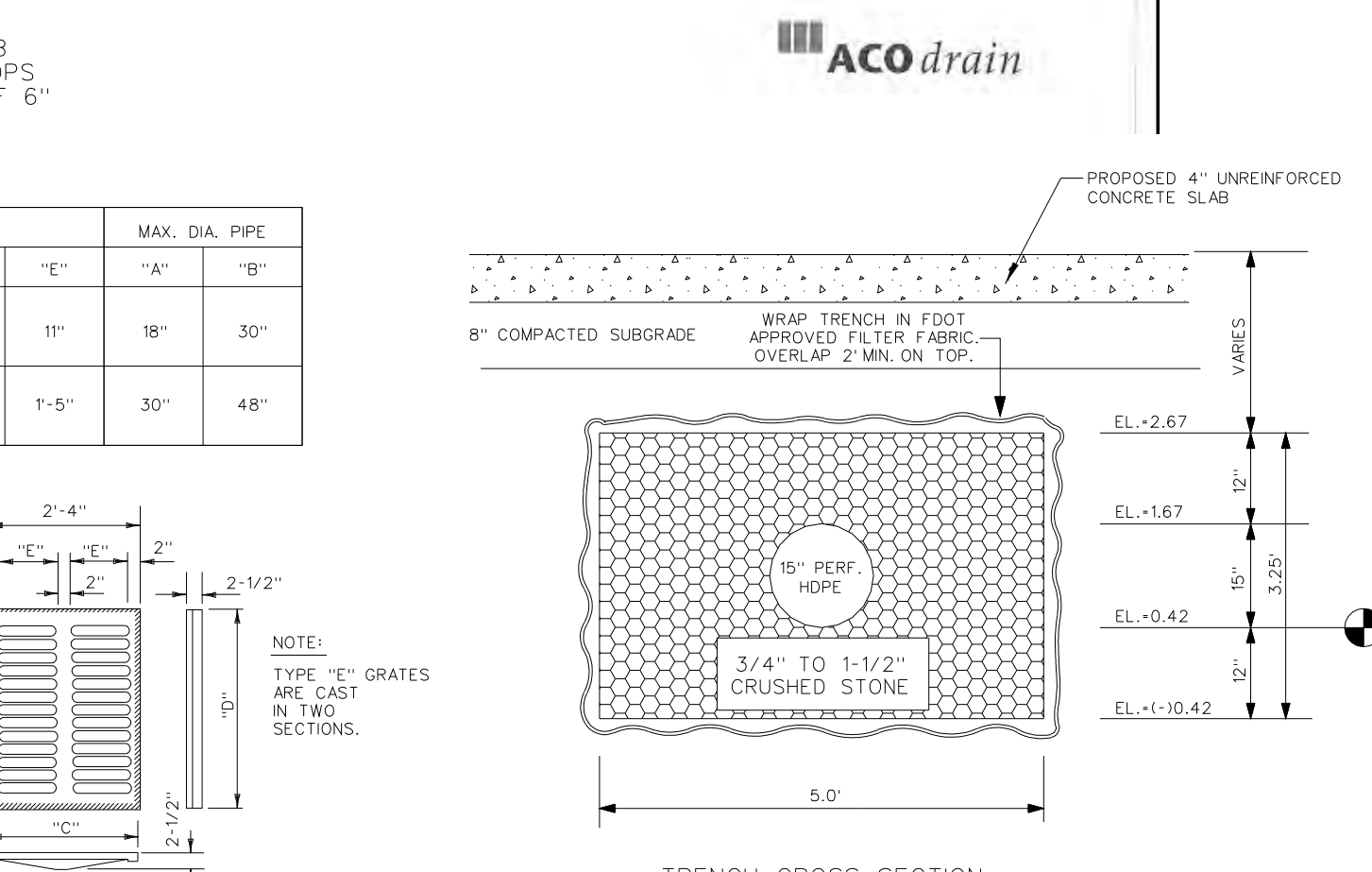
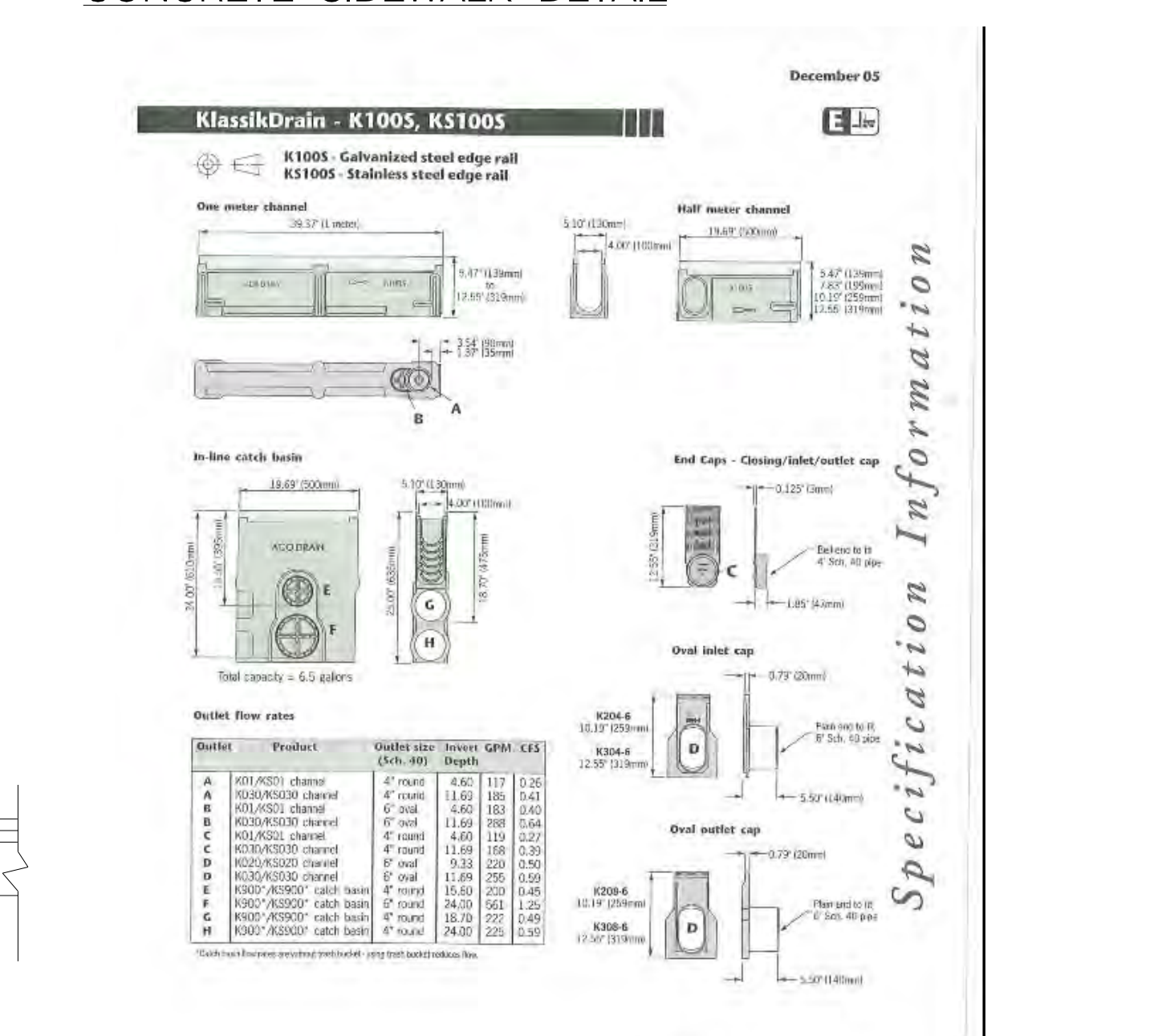


EXFILTRATION TRENCH



- NOTES
1. ALL CONCRETE SHALL BE 3000 PSI, 4\"/>
 2. TYPE "A" JOINT TO BE USED AT P.C. AND P.T. OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK
 3. TYPE "B" JOINT TO BE USED AT 5'-0" CENTER TO CENTER ON SIDEWALKS.
 4. TYPE "C" JOINT TO BE USED WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
 5. SIDEWALK SLOPES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.).
 6. SIDEWALK SHALL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ULTIMATE SECTION.
 7. ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.

CONCRETE SIDEWALK DETAIL



EXFILTRATION TRENCH

REVISIONS:

1	2	3	4	5	6	7	8
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CLIENT: Kaller Architects

PROJECT: BEACHSIDE RESIDENCES 3319 N. OCEAN DRIVE

FLORIDA

HOLLYWOOD

CONSTRUCTION DETAILS

DATE: April 2018

DESIGNED BY: C.G.B.

SCALE: N.T.S.

DRAWN BY: F.M.

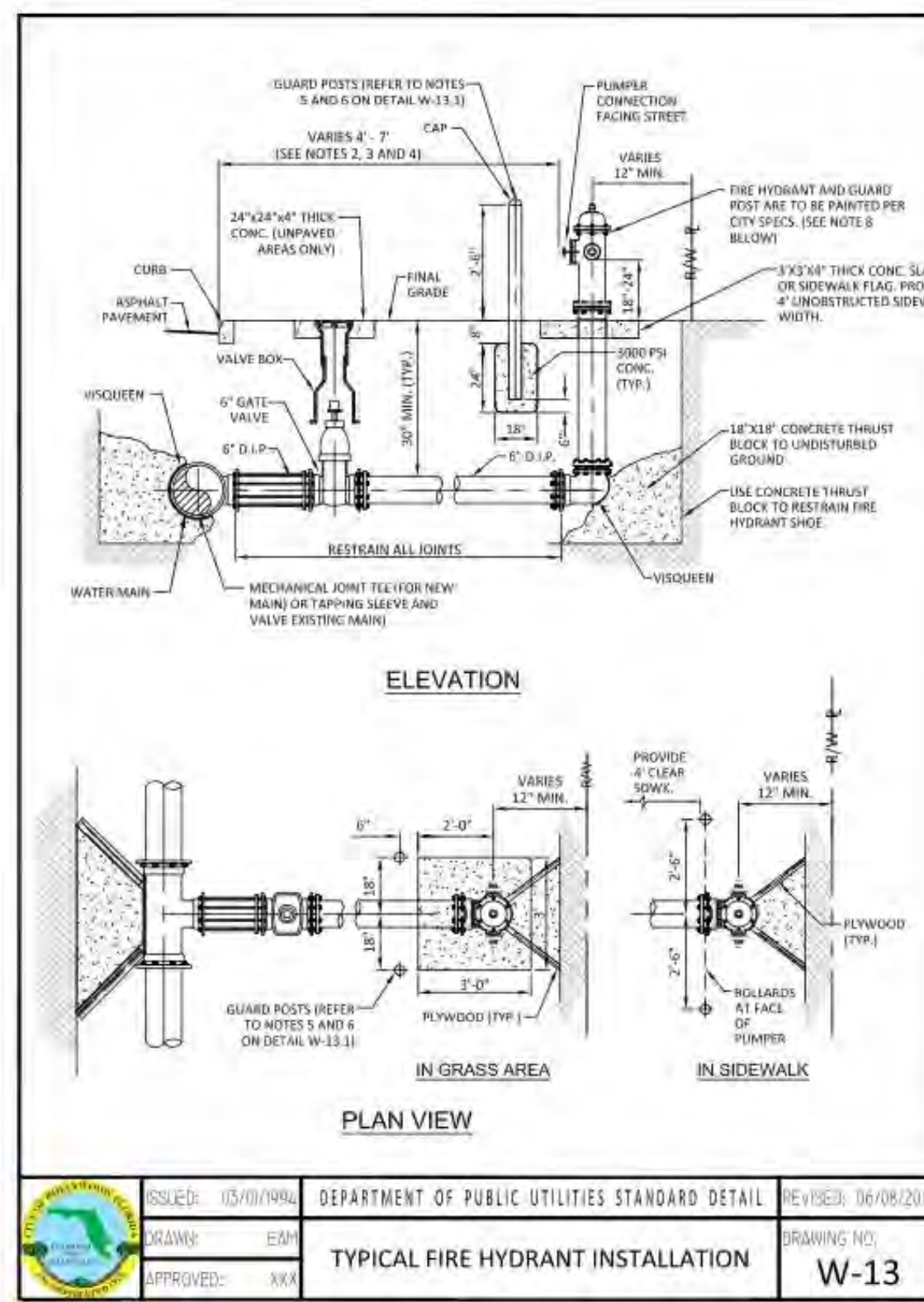
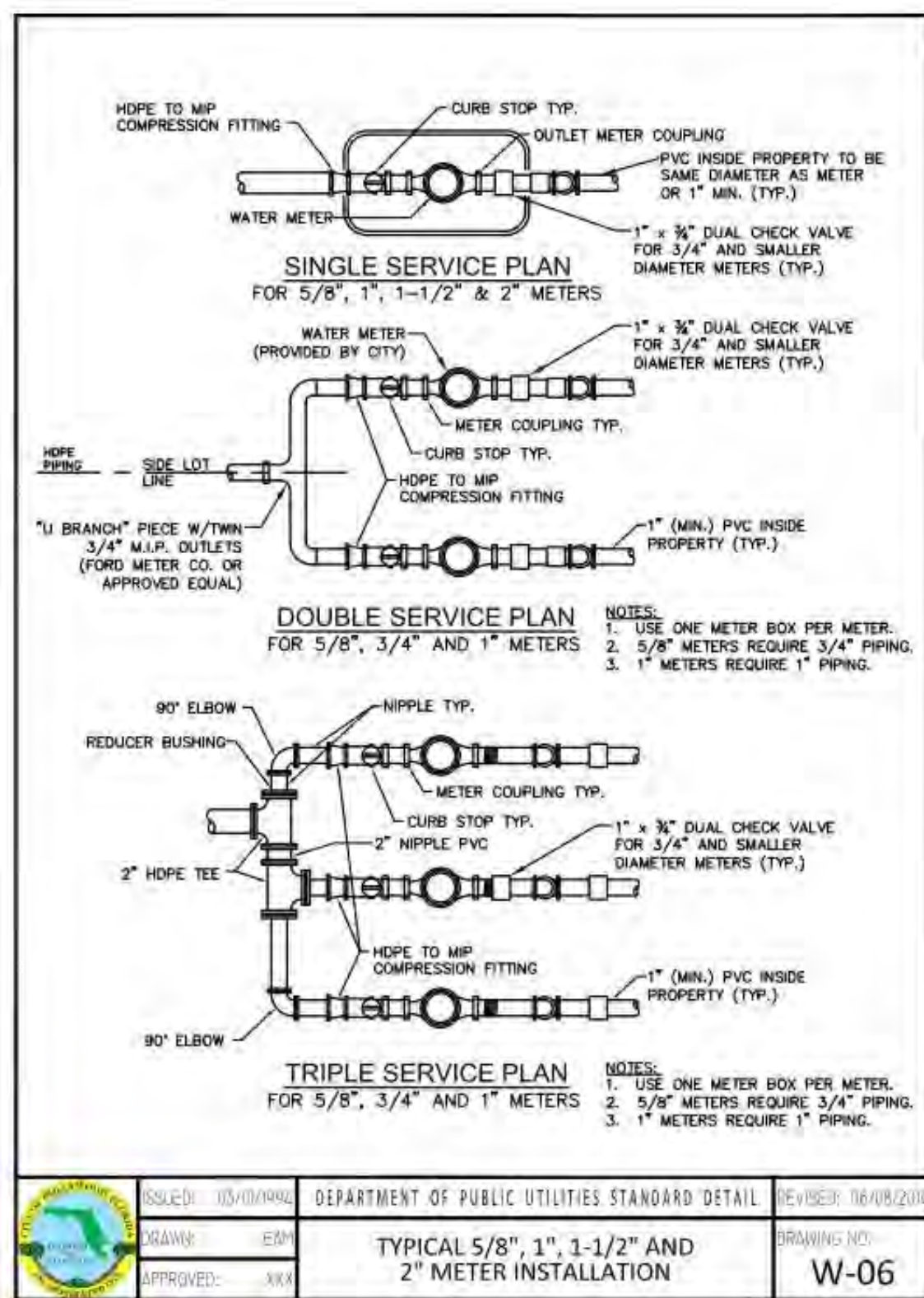
PROJECT NO. 18-0410

SHEET 4

GARY G. BLOOM, P.E.
FLA. LIC. NO. 19832
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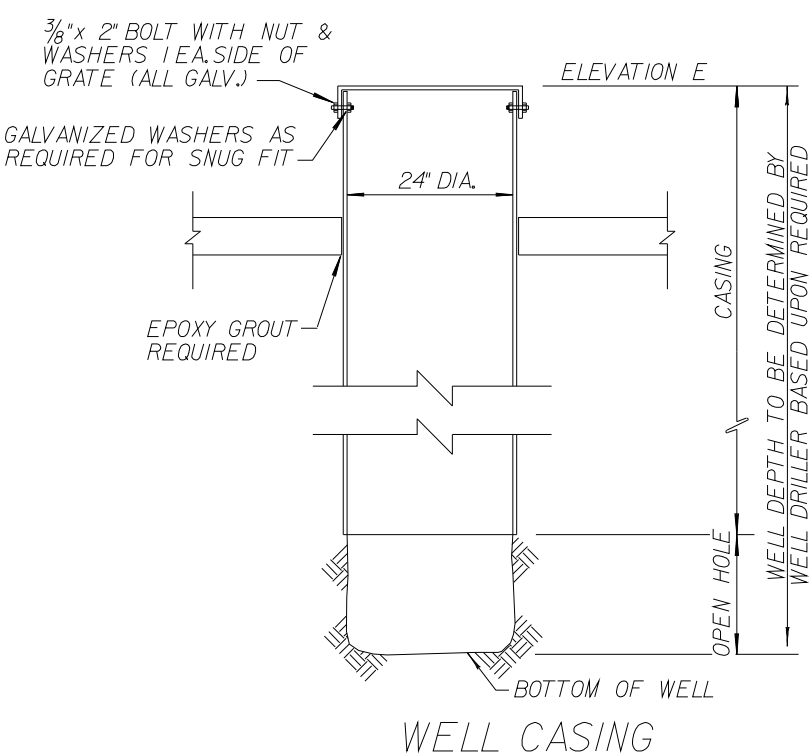
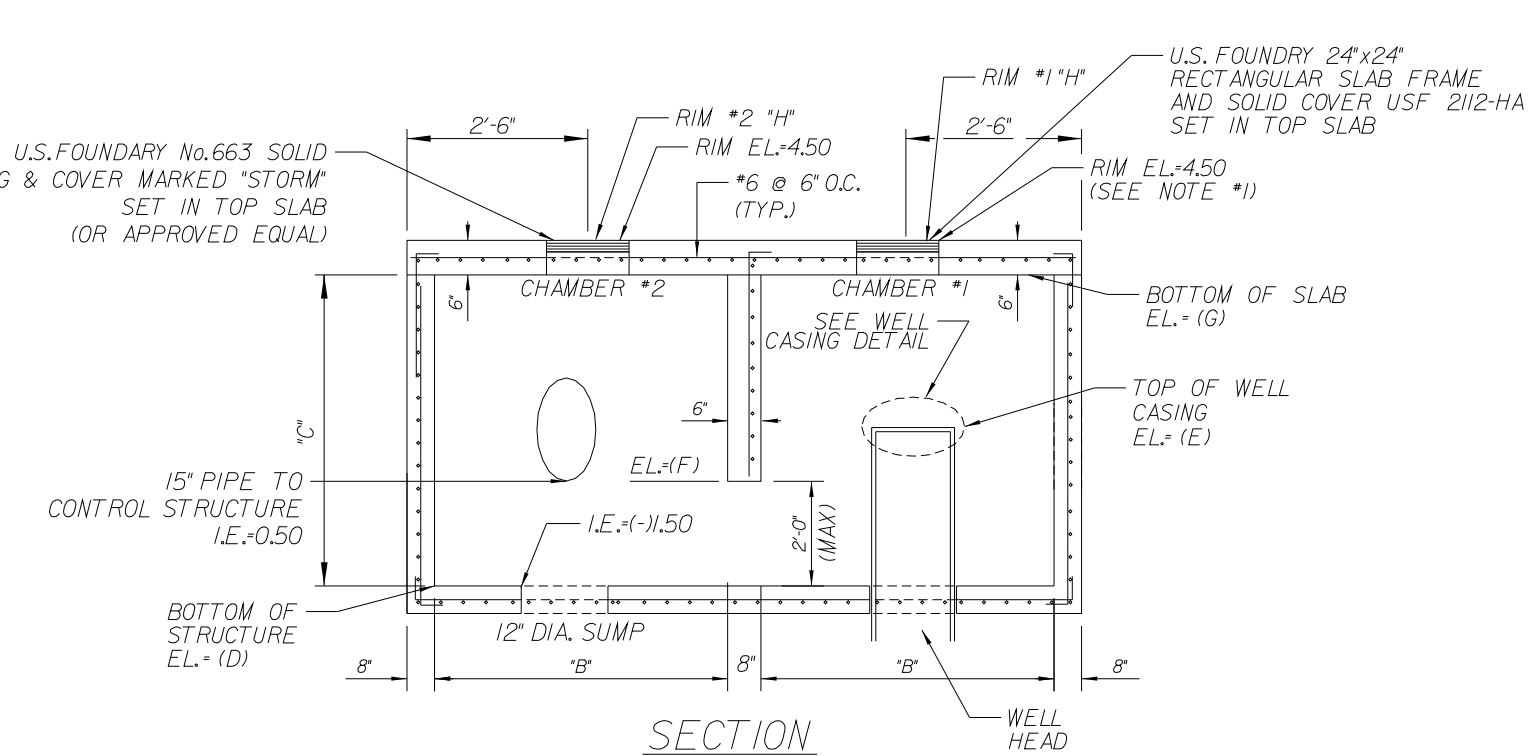
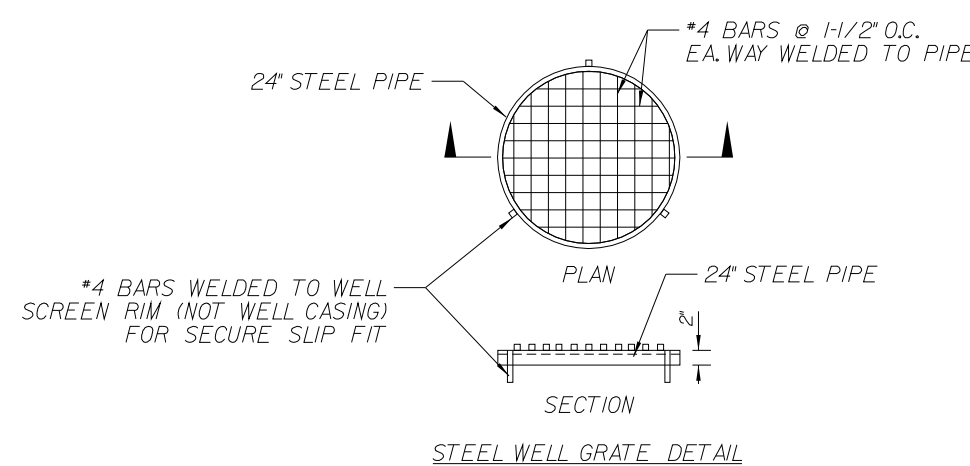
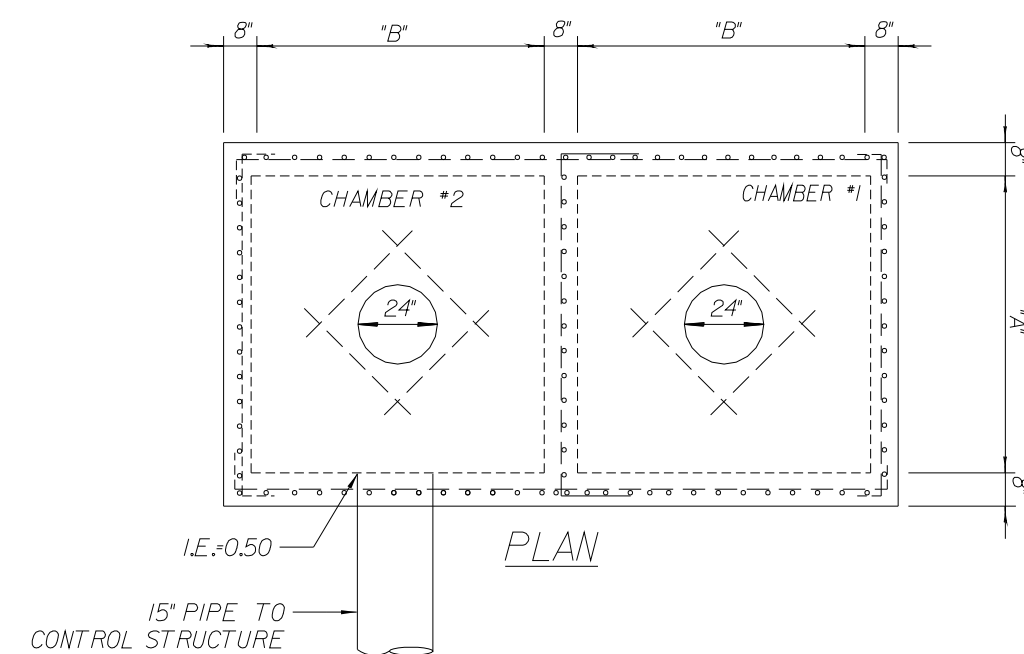
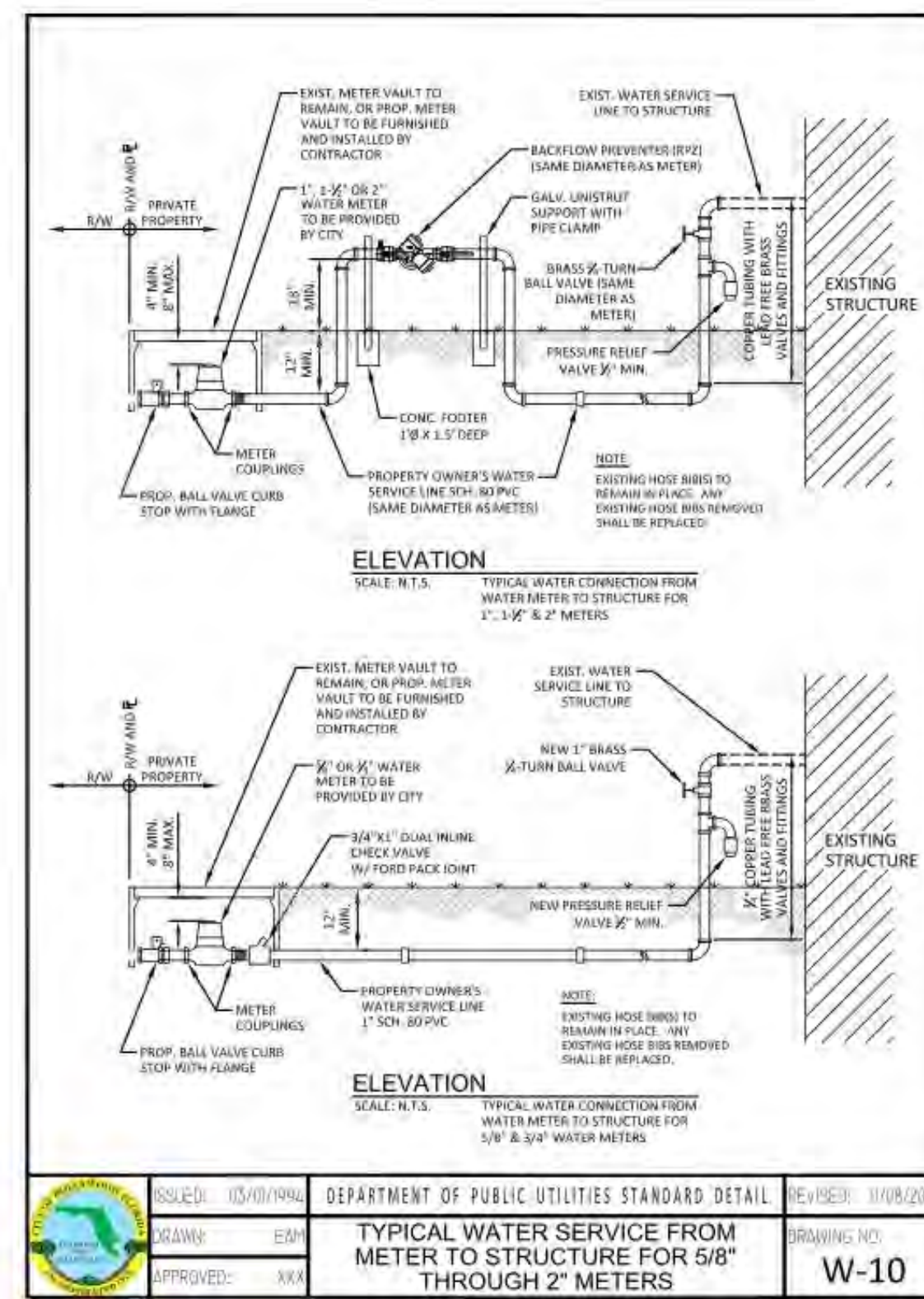
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312

Phone: (954) 986-9899
Fax: (954) 986-8655
email: gary@ggbeng.com



NOTES

1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.
4. WITHIN FDOT R/W, WHERE SPACE IS RESTRICTED THE FIRE HYDRANT MAY BE LOCATED 2' FROM THE FACE OF THE CURB AS LONG AS THERE IS A MINIMUM 4' UNOBSTRUCTED SIDEWALK BEHIND THE HYDRANT, AND THE HYDRANT BASE IS 4" OR LESS FROM GRADE IN ACCORDANCE WITH F.D.O.T. INDEX 700.
5. GUARD POSTS SHALL NOT BE ALLOWED WITHIN FDOT R/W.
6. OTHER THAN FDOT R/W, GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6" LEFT/RIGHT OF $\frac{1}{2}$ OF THE FIRE HYDRANT/EXTIRIA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
7. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT COLORS.
8. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.



WELL STRUCTURE SCHEDULE										
STRUCTURE NUMBER	DIMENSION (FT)			ELEVATION N/A/D					CASING DIAMETER (IN)	WEIR CREST EL. (NGVD)
	A	B	C(*)	D	E	F	G	H		
S-1	3.5'	3.5'	5.50	(+)-1.50	2.00	0.50	4.00	4.50	24	N/A

NOTES:

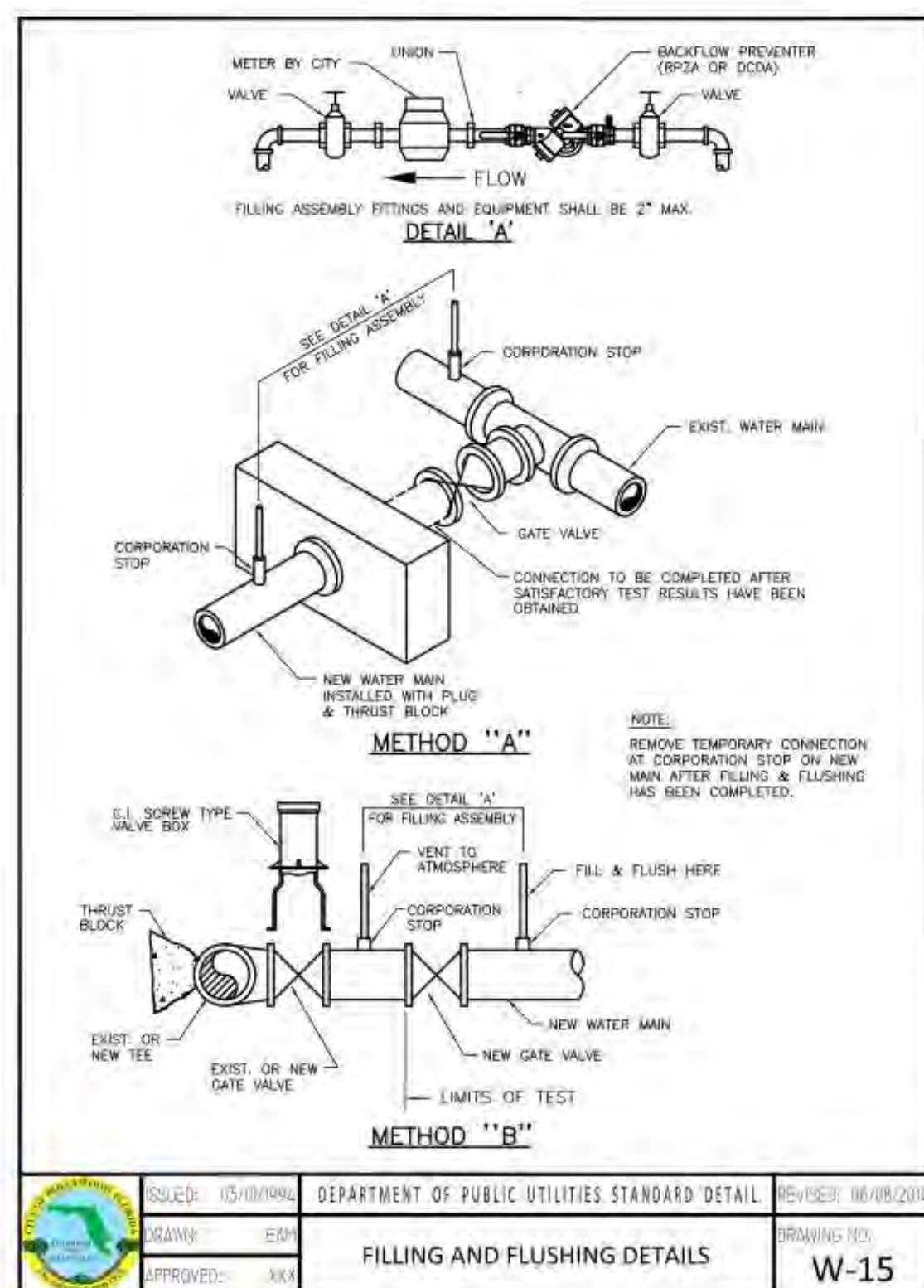
* WALL HEIGHTS NOTED ARE ONLY APPROXIMATE. FINAL HEIGHT WILL BE BASED ON PLAN DESIGN AND REFLECTED ON PRECAST SHOP DRAWINGS.

MINIMUM STRUCTURE BOTTOM ELEVATION TO BE AS REQUIRED
TO PROVIDE A MINIMUM 2'-0" SUMP BELOW LOWEST INLET OR OUTLET ELEVATION
AS

WELL STRUCTURE NOTES:

1. SEE PLAN FOR RIM OR GRATE ELEVATIONS.
2. TOP SLAB OPENINGS TO HAVE ADDITIONAL No.8 BARS AROUND OPENINGS, UNLESS OTHERWISE SPECIFIED BY FABRICATOR.
3. PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS DESIGNED ON PLAN. CHAMBERS TO HAVE U.S.F. 663 RING AND AA COVER. MINIMUM STRUCTURE TO PROVIDE A MIN.
4. TOP SLAB OPENINGS SIZES WITHIN EACH CHAMBER SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING & COVER
5. STEEL REINFORCEMENT AND SLAB AND WALL THICKNESS SHALL BE RESPONSIBILITY OF STRUCTURE FABRICATOR PER PLAN DESIGN AND LOAD CONDITIONS. SILENT CONTRACTOR TO PROVIDE STRUCTURE FABRICATOR WITH LOADING CONDITIONS ASSOCIATED WITH CONSTRUCTION EQUIPMENT (TOWER CRANE, BACKHOE, FRONT END LOADER, ETC.) TO WHICH THESE STRUCTURES MAY BE SUBJECT TO DURING THE DURATION OF CONSTRUCTION.

WELL STRUCTURE DETAIL



TESTING AND DISINFECTION NOTES:

4. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
5. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND AN ACCORDANCE WITH THE CITY OF HOLLYWOOD AND BROWARD COUNTY HEALTH DEPARTMENT REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 1599S, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR/INCH DETERMINED BY THE FORMULA:
$$L = \frac{5 \times D \times \sqrt{P}}{148,000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.
6. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTH NOT TO EXCEED 2,000 FEET PER TEST.
7. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 1599S, "PIPELINE TESTING AND DISINFECTION".
8. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
10. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

$$L = \frac{S \times D \times \sqrt{P}}{148,000}$$

IN GALLONS PER HOUR.
G TESTED.
OF THE PIPE BEING TESTED.
URE IN POUNDS PER SQUARE INCH.

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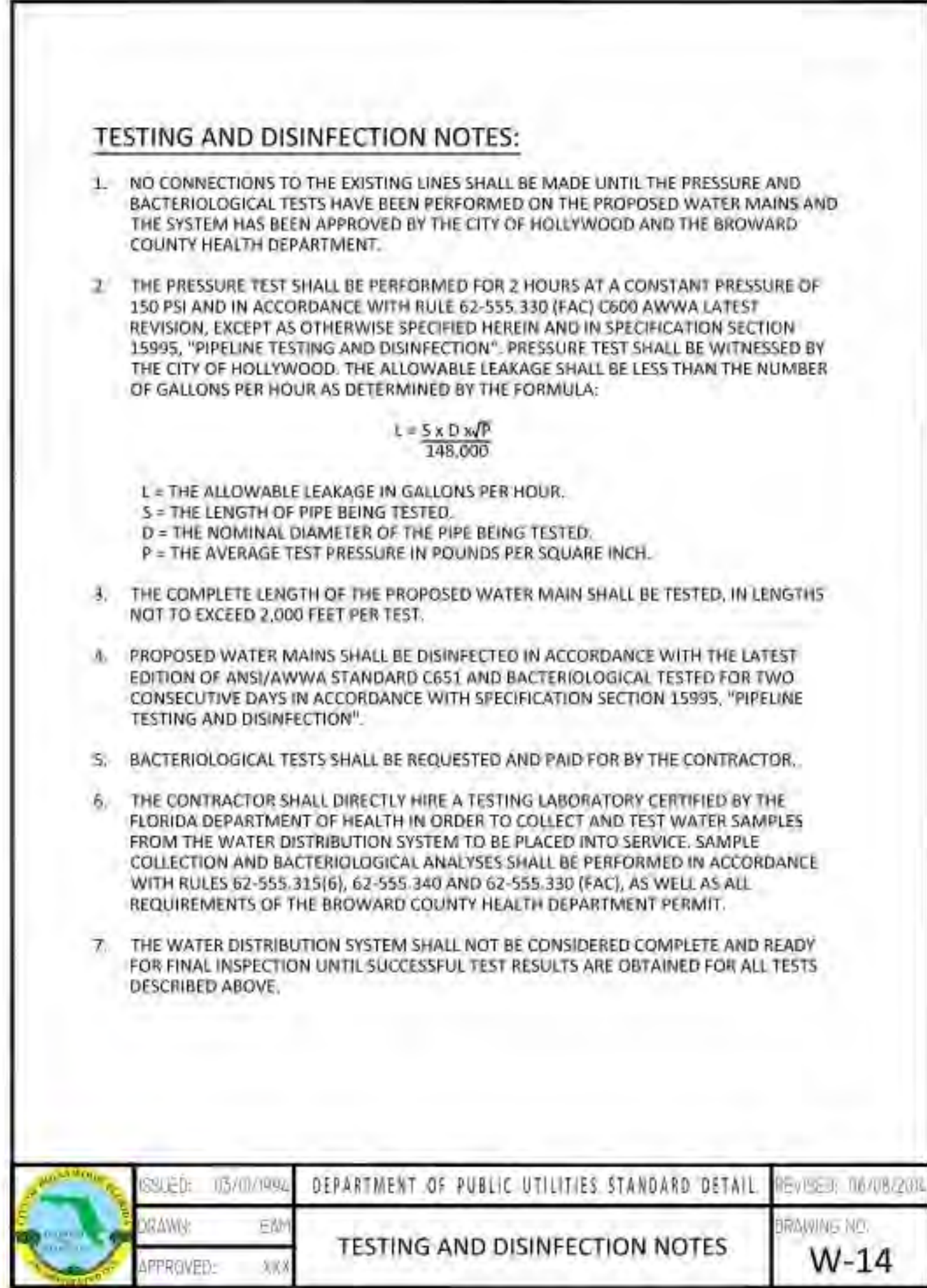
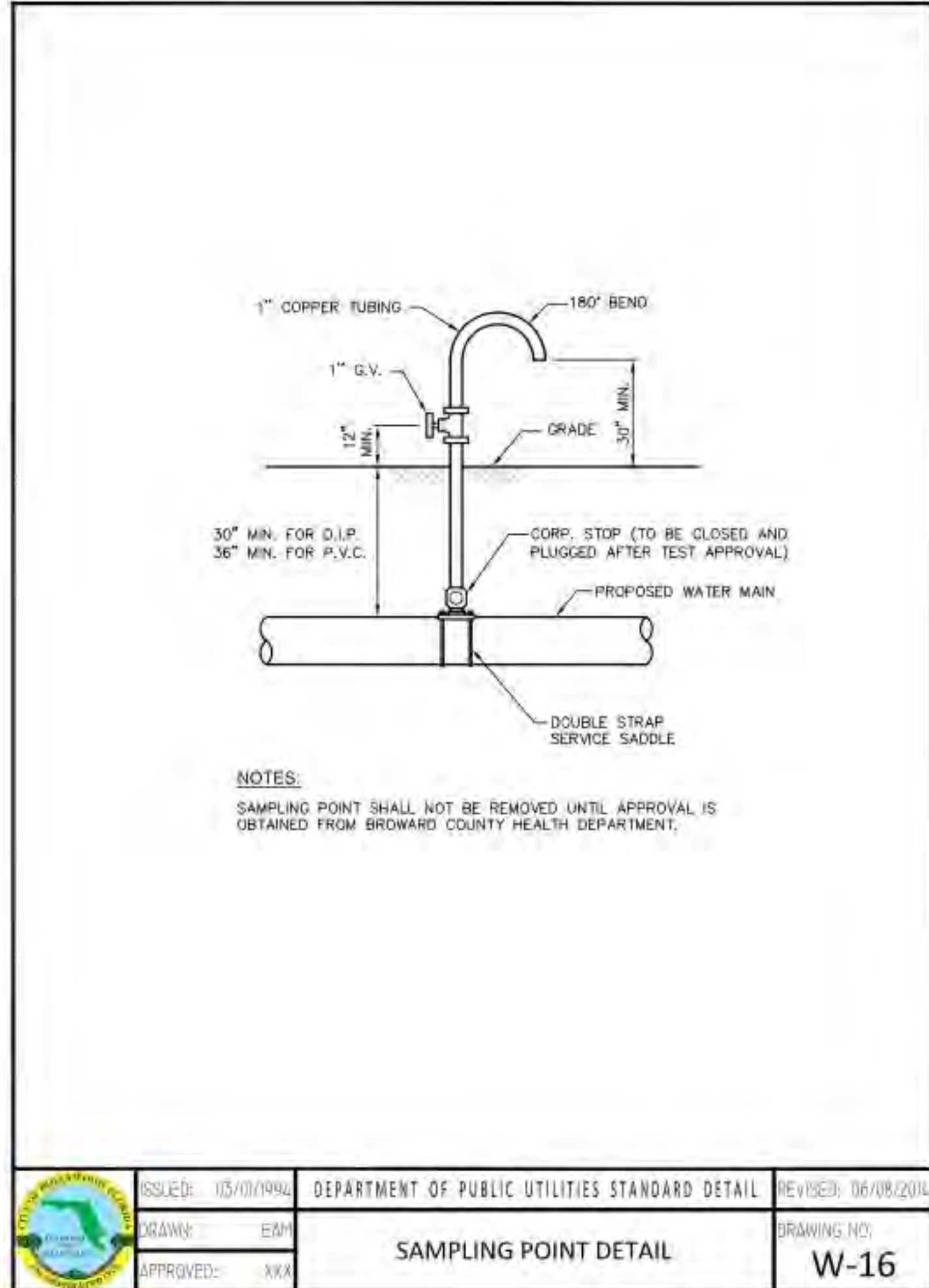
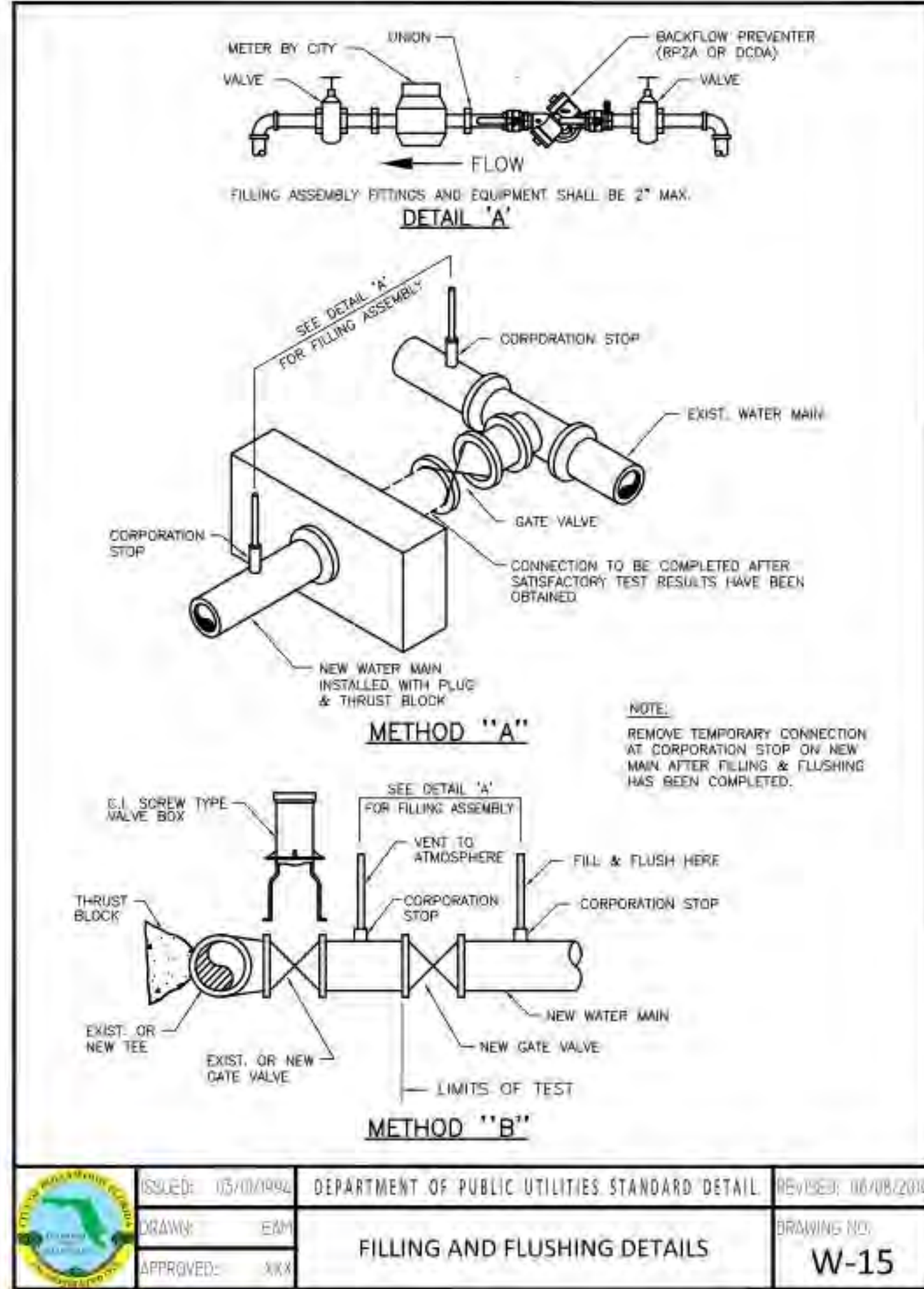
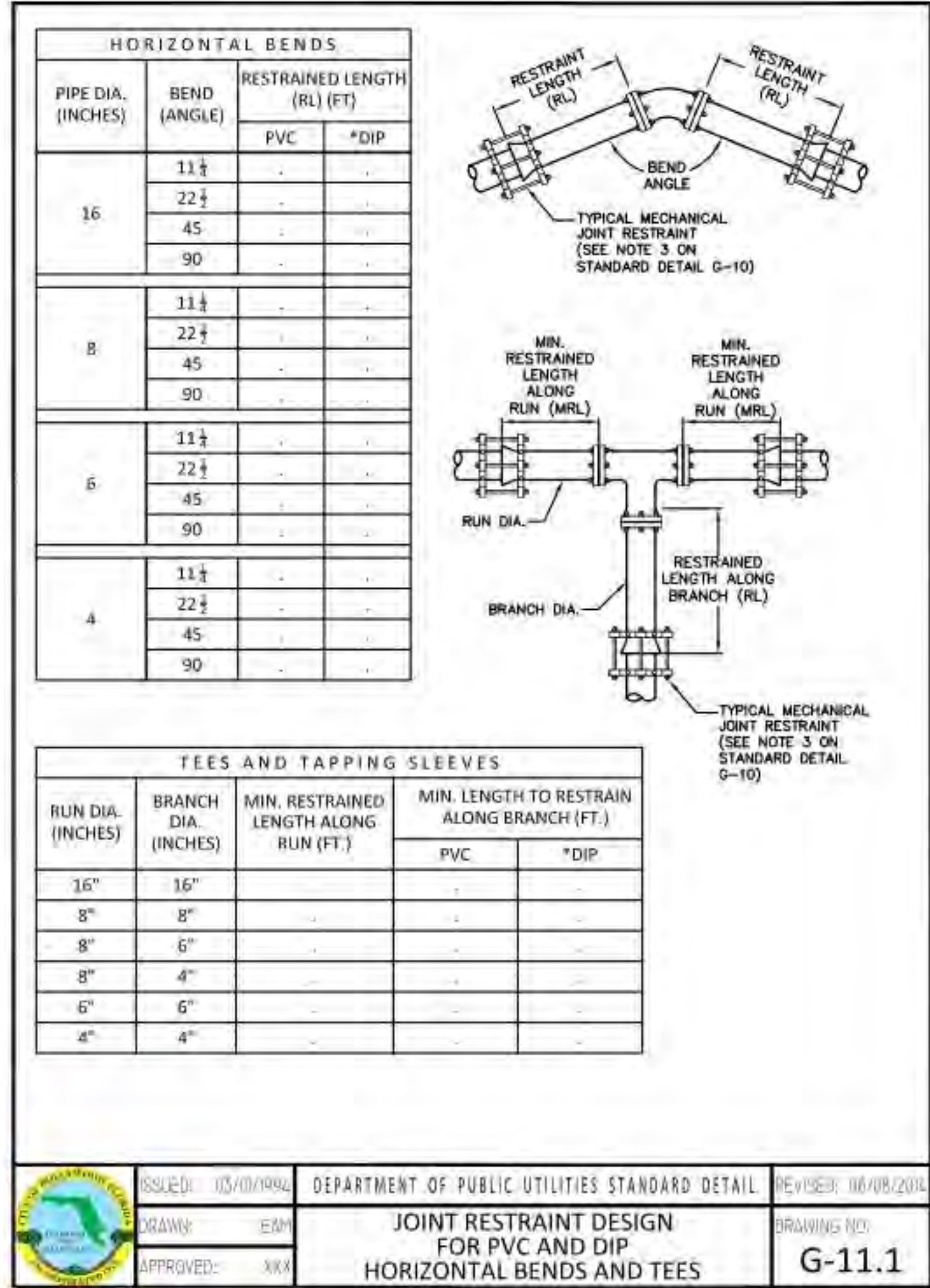
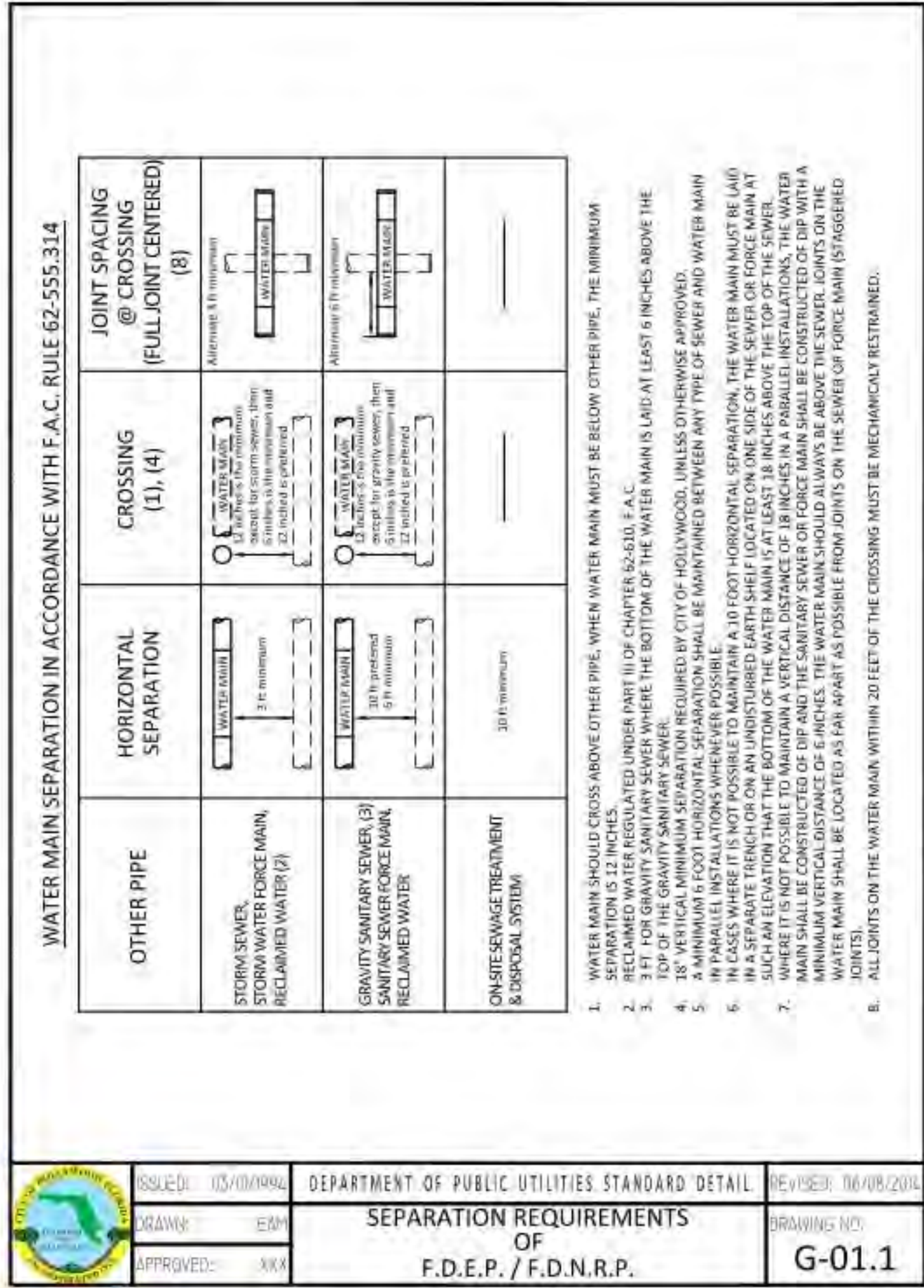
DATE: April 2018	SCALE: N T S
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DESIGNED BY:	DRAWN BY:
G G B	E M

PROJECT NO.
18-0410

SHEET
5

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER



REVISIONS:

NO.	DESCRIPTION
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CLIENT: Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746
kaller@bellsouth.net

PROJECT: BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

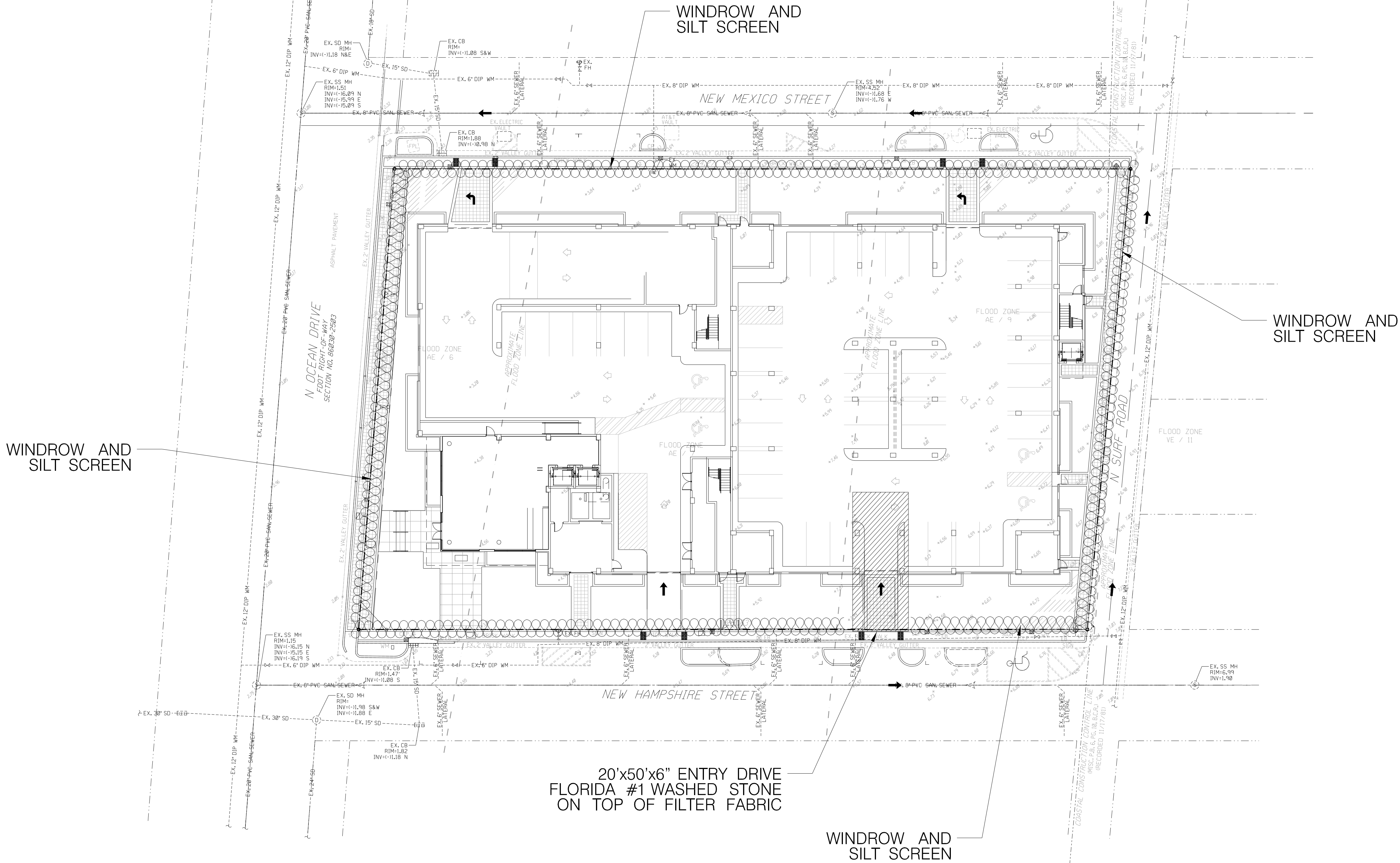
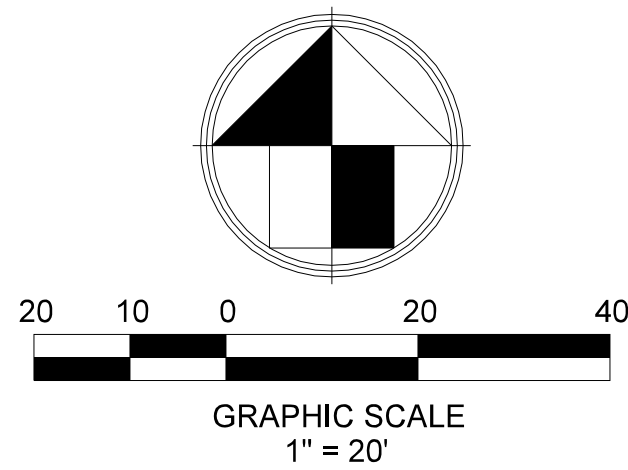
TASK: CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
• FLORIDA REGISTRATION NO. 1818
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-8655
email: gary@ggbeng.com

DATE: April 2018
DESIGNED BY: G.C.B.
PROJECT NO. 18-0410
SHEET 5B


SCALE: N.T.S.
DRAWN BY: F.M.

GARY G. BLOOM, P.E.
FLA. LIC. NO. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



LEGEND

 DENOTES WINDROW AND SILT SCREEN
ALONG PROPERTY LINE DURING
CONSTRUCTION OF GRADING AND DRAINAGE

REVISIONS:	
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
CLIENT: Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746 kaller@bellsouth.net	
PROJECT: BEACHSIDE RESIDENCES 3319 N. OCEAN DRIVE HOLLYWOOD FLORIDA	TASK: STORMWATER POLLUTION PREVENTION PLAN
 GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS FLORIDA REGISTRATION NO. 1818 2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655 email: gary@ggbeng.com	
DATE: April 2018	SCALE: 1"=20'
DESIGNED BY: C.G.B.	DRAWN BY: F.M.
PROJECT NO. 18-0410	
SHEET 6	
GARY G. BLOOM, P.E. FLA. LIC. NO. 19832 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER	



1. Turbidity barriers are to be used in permanent bodies of water regardless of water depth.
2. Number and spacing of anchors dependent on current velocities.
3. Deployment of barrier around pile locations may vary to accommodate construction operations.
4. Navigation may require segmenting barrier during construction operations.
5. For additional information see Section 104 of the Standard Specifications.

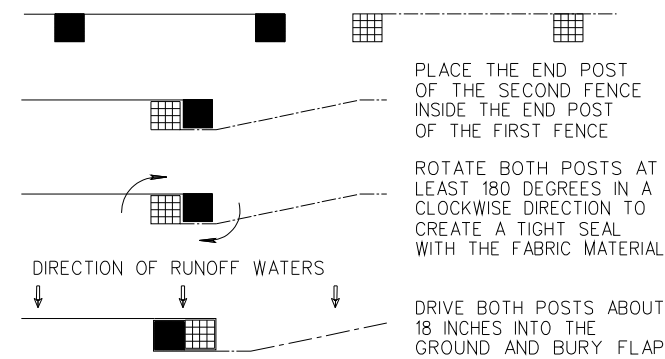
TURBIDITY BARRIER APPLICATIONS

TURBIDITY BARRIER DETAILS PER FDOT INDEX NO. 103



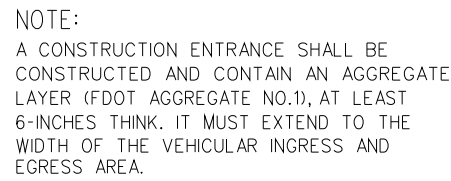
2. THE HEIGHT OF A SLT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
3. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL UP TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
4. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3.05 M) APART AT THE BARRIER LOCATION AT LEAST 12 INCHES (30 CM) ABOVE THE GROUND. A MINIMUM OF 12 INCHES (30 CM) WHEN EXTENDING INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
6. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FABRIC SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE. THE FABRIC SHALL BE SECURED TO THE UPSLOPE SIDE OF THE POSTS BY WRAPPING THE WIRE EXTENDING INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, THE FABRIC SHALL BE WIRE TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH; THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
8. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
9. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
10. ALL PROJECTS 1.4C OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2



ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2



STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C



SWALE REPLACEMENT DETAIL D10.1

STORM WATER POLLUTION PREVENTION PLAN APPROXIM AND MAINTENANCE REPORT FORM SCENARIO: <u> </u>			
DEPTH OF SCENARIO 1 RISK	DEPTH OF SCENARIO 2 RISK	AN EVALUATION OF INTERFERING OF THE SCENARIO 2	CRITERION OF DATA FROM SCENARIO 1 RISK

INTERFERENCE REQUIRED FOR SCENARIO 2 RISK

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

OTHER COMMENTS


STANDARD OBSERVATION VERIFICATION

IS THE RISK SCENARIO 1 TRANSFERRED TO SCENARIO 2 RISK?	IS THE RISK CLEAR OR IS IT TRANSFERRED TO SCENARIO 2 RISK?	IS THE RISK TRANSFERRED TO SCENARIO 2 LEAVE THE SITE 2	IS THE RISK TRANSFERRED TO SCENARIO 2 LEAVE THE SITE 2 IF APPLICABLE

[illegible]

NOTE TO CONTRACTOR:

THIS IS THE CONTRACTORS CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES). STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 1 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

 <p>GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS FLORIDA REGISTRATION No. 6118</p>		<p>2639 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312</p> <p>Phone: (954) 986-9899 Fax: (954) 986-6655 email: garv@ggberg.com</p>		<p>PROJECT:</p> <p>BEACHSIDE RESIDENCES 3319 N. OCEAN DRIVE HOLLYWOOD FLORIDA</p>		<p>CLIENT:</p> <p>Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746 kaller@bellsouth.net</p>		<p>REVISIONS:</p> <p>1. 2. 3. 4. 5. 6. 7. 8.</p>	
<p>DATE: April 2018</p>		<p>SCALE: N.T.S.</p>		<p>DESIGNED BY: G.C.B.</p>		<p>DRAWN BY: F.M.</p>		<p>PROJECT NO. 18-0410</p>	
<p>SHEET 7</p>		<p>GARY C. BLOOM, P.E. FLA LIC. NO. 198632 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER</p>							

STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES:

SEQUENCE OF MAJOR ACTIVITIES:

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.

2. DEMO AND CLEAR SITE

3. INSTALL UNDERGROUND UTILITIES.

4. COMPLETE FINAL GRADING OPERATIONS.

5. CONTINUE WITH EBS CONTROL MEASURES.

6. START BUILDING FOUNDATION.

7. CONTINUE WITH EBS CONTROL MEASURES.

8. COMPLETE BUILDING CONSTRUCTION.

9. CONTINUE WITH EBS CONTROL MEASURES.

10. COMPLETE CURB AND SIDEWALK CONSTRUCTION

11. REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM.

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY PORTIONS OF THE SITE. AS CONSTRUCTION PROCEEDS, THE CONTRACTOR MUST BE DILIGENT TO UNINSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BARS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.

ENDANGERED SPECIES AND CRITICAL HABITAT

1. ARE THERE ENDANGERED SPECIES ON SITE? NO.

2. ARE THERE CRITICAL HABITAT ON SITE? NO.

IF YES TO EITHER QUESTION, PLEASE EXPLAIN.

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING, DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES (IF APPLICABLE):

1. HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:

A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.

B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.

D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.

REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION.

2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:

A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.

B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.

TIMING OF CONTROLS/MEASURES

IT IS THE CONTRACTOR IS RESPONSIBLE FOR THE TIMING OF CONTROLS AND MEASURES AS REQUIRED TO MEET REQUIREMENTS.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED.

• ERP APPLICATION _____

• BRO COUNTY DDEP _____

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

GENERAL

3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.

4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.

5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE MINIMIZED.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. DUST CONTROL: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL TREATMENT WITHIN 30 DAYS SHALL BE STABILIZED.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6% THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.

11. TEMPORARY REGRESSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL AS A MINIMUM BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4% SHALL BE SEEDED AND MULCHED OR SODOED.

STRUCTURAL PRACTICES (IF APPLICABLE):

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.

2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:

A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS.

C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAWS A RELATIVELY FLAT AREA (< 5%) AND WHERE SHEET OR OVERLAND FLOWS (> 0.05 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

4. SEDIMENT BASIN: (NOT APPLICABLE)

OTHER CONTROLS

WASTE DISPOSAL (IF APPLICABLE):

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LOADED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

☒ Concrete

☒ Asphalt

☒ Tar

☒ Detergents

☐ -----

☒ Fertilizers

☒ Petroleum Based Products

☒ Cleaning Solvents

☒ Paints

☐ -----

☒ Wood

☒ Masonry Blocks

☒ Roofing Materials

☒ Metal Studs

☐ -----

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

• AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

• ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

• PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL ORIGINAL MANUFACTURER'S LABEL.

• SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

• WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

• MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

• THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

• PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

• ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED. THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

• IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (1/2-KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 5 ACRES OF THE SITE WILL BE DENIED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

• SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.

• THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.

• DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.

• TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

• A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED.

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS.

THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.

• THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

• PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

• WATER FROM WATER LINE FLUSHING

• PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

• UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

RESPONSIBLE FOR DUTIES

GENERAL CONTRACTOR

SUB-CONTRACTOR

SUB-CONTRACTOR

SUB-CONTRACTOR

SUB-CONTRACTOR

BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SIBS

SIGNATURE

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 5 ACRES OF THE SITE WILL BE DENIED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

REVISIONS:

1.

2.

3.

4.

5.

6.

7.

8.

CLIENT:

Kaller Architects

2417 Hollywood Boulevard

Hollywood, Florida 33020-6605

(954) 920-5746

kaller@bellsouth.net

PROJECT:

BEACHSIDE RESIDENCES

3319 N. OCEAN DRIVE

FLORIDA

HOLLYWOOD

TASK:

STORMWATER POLLUTION PREVENTION PLAN

DATE:

April 2018

DESIGNED BY:

G.C.B.

SCALE:

N.T.S.

DRAWN BY:

F.M.

PROJECT NO.

18-0410

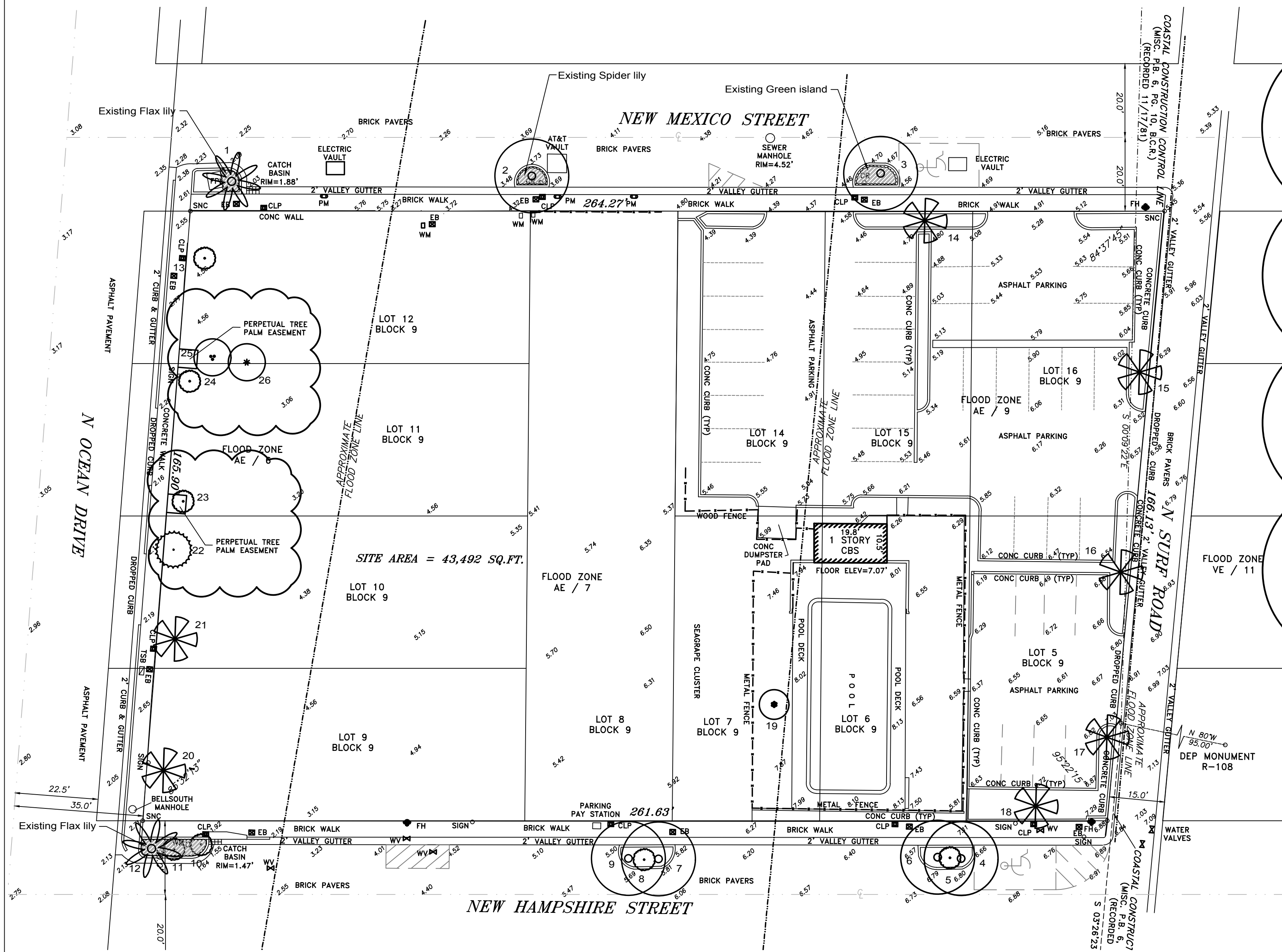
SHEET

8

GARY G. BLOOM, P.E.

FLA. LIC. NO. 19832

NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



EXISTING TREES INVENTORY

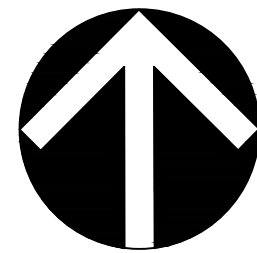
Common/Botanical name	Size	Condition	Action
1 Medjool Date Palm/Phoenix dactylifera	14"C 14' CT	80% good	Remain
2 Coconut Palm/Cocos nucifera	12" C 20' CT	75% good	Remain
3 Coconut Palm/Cocos nucifera	14" 20' CT	65% good	Remain
4 Coconut Palm/Cocos nucifera	12" 20' CT	65% good	Relocate
5 Thatch Palm/Thrinax radiata	6" C 6' CT	75% good	Relocate
6 Coconut Palm/Cocos nucifera	12"C 18" CT	70% good	Relocate
7 Coconut Palm/Cocos nucifera	12"C 14" CT	65% good	Remain
8 Thatch Palm/Thrinax radiata	6" C 6' CT	80% good	Remain
9 Coconut Palm/Cocos nucifera	12"C 16" CT	65% good	Remain
10 Thatch Palm/Thrinax radiata	6" C 6' CT	80% good	Remain
11 Thatch Palm/Thrinax radiata	6" C 6' CT	80% good	Remain
12 Medjool Date Palm/Phoenix dactylifera	18"C 14' CT	65% good	Remain
13 Thatch Palm/Thrinax radiata	4"C 35' CT	75% good	Remove/Mitigate
14 Foxtail Palm/ Vodyetia bifurcata *	4"C 7' OAH	dead	Remove/Mitigate
15 Foxtail Palm/ Vodyetia bifurcata *	4"C 8' OAH	10% poor	Remove/Mitigate
16 Foxtail Palm/ Vodyetia bifurcata *	4"C 10' OAH	5% dead	Remove/Mitigate
17 Foxtail Palm/ Vodyetia bifurcata *	5"C 12' OAH	20% poor	Remove/Mitigate
18 Foxtail Palm/ Vodyetia bifurcata *	4"C 7' OAH	5% dead	Remove/Mitigate
19 Adinidia Palm/Adonidia merrilli	8"C 7' CT double	60% fair	Remove/Mitigate
20 Foxtail Palm/ Vodyetia bifurcata	8"C 16' CT	50% fair	Remove/Mitigate
21 Foxtail Palm/ Vodyetia bifurcata	8"C 16' CT	50% fair	Remove/Mitigate
22 Sabal Palm/Sabal palmetto	12"C 12' CT	80% good	Remove/Mitigate
23 Thatch Palm/Thrinax radiata	8"C 8/22' CT double	70% good	Relocate
24 Thatch Palm/Thrinax radiata	8"C 12/24' CT double	80% good	Relocate
25 Ligustrum/Ligustrum japonicum	8" 12'x8' multistem	50% fair	Remove/Mitigate
26 Frangipani/Plumeria spp	5"C 16'x8'	70% good	Remove/Mitigate

IF YOU DIG FLORIDA...
CALL US FIRST!
1-800-432-4770
SUNSHINE STATE ONECALLING
OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.



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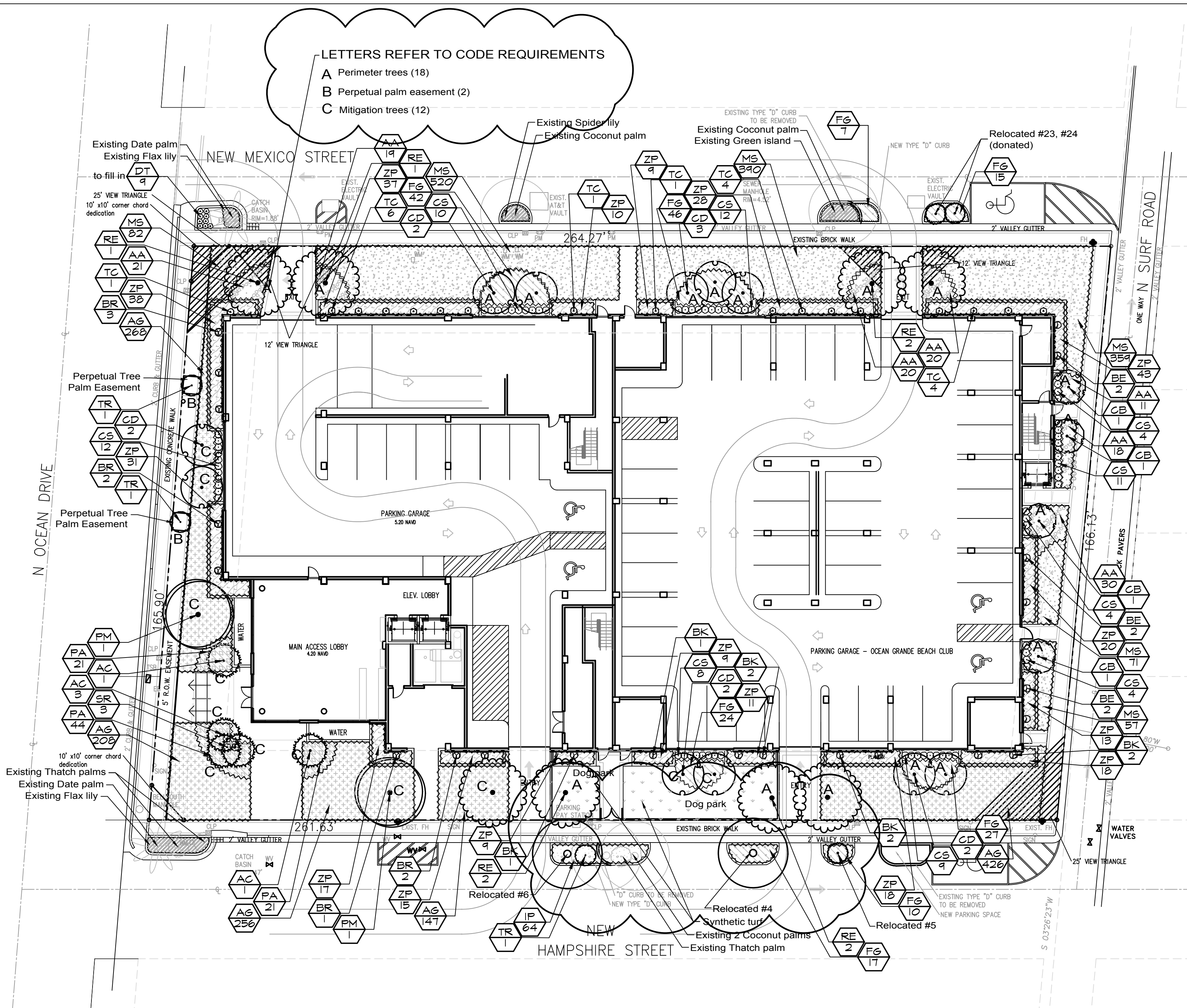


SCALE 1" = 20'-0"
DESIGNED BY GF GW
DRAWN BY GF GW
CHECKED BY GF GW
CAD DWG.
DATE 04.26.18
REVISIONS
Per City comments 05.14.18
Per City comments 06.25.19

BEACHSIDE RESIDENCES CONDOMINIUM

3319 N. OCEAN BLVD
HOLLYWOOD, FL 33019

TREE REMOVAL PLAN

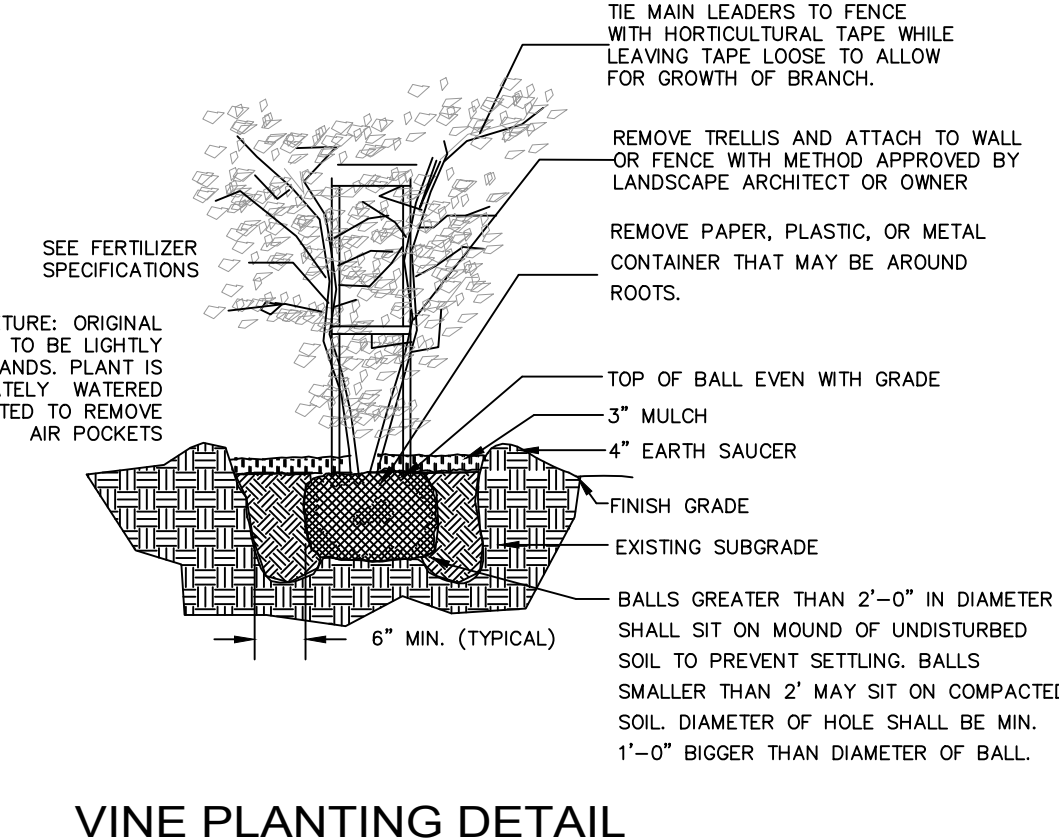
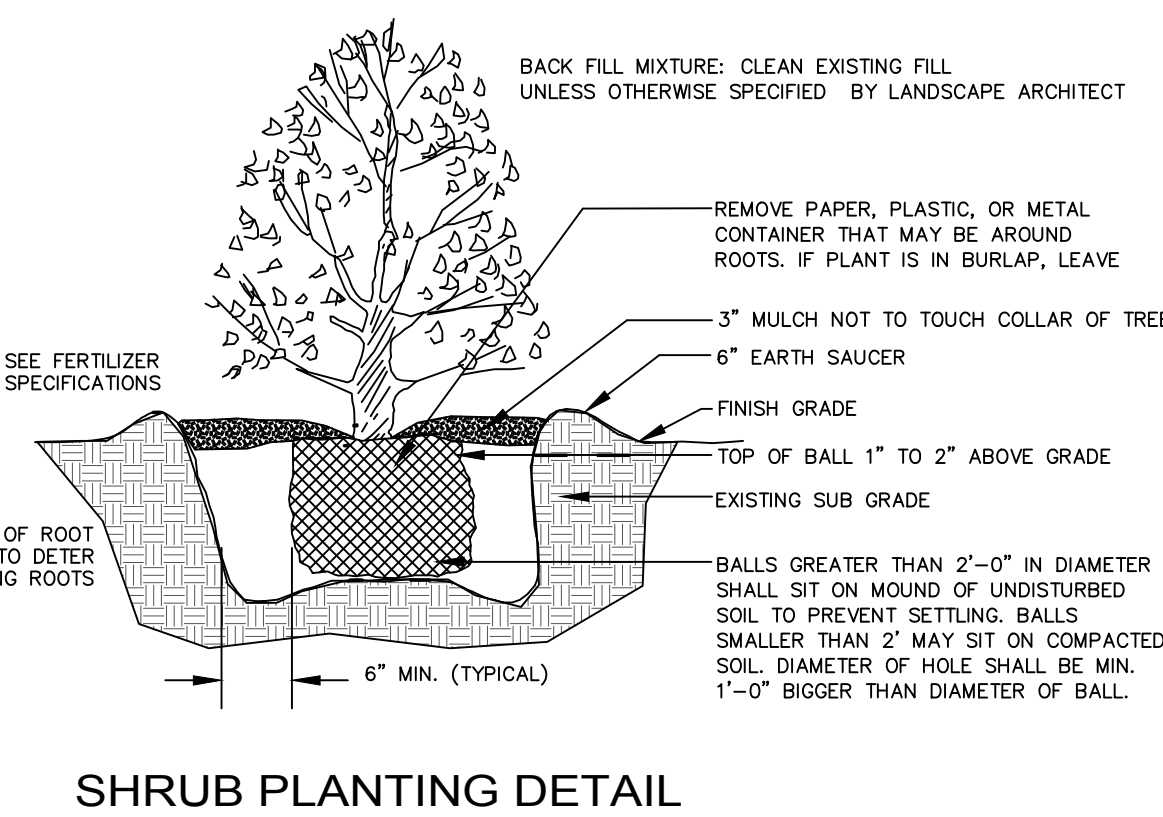
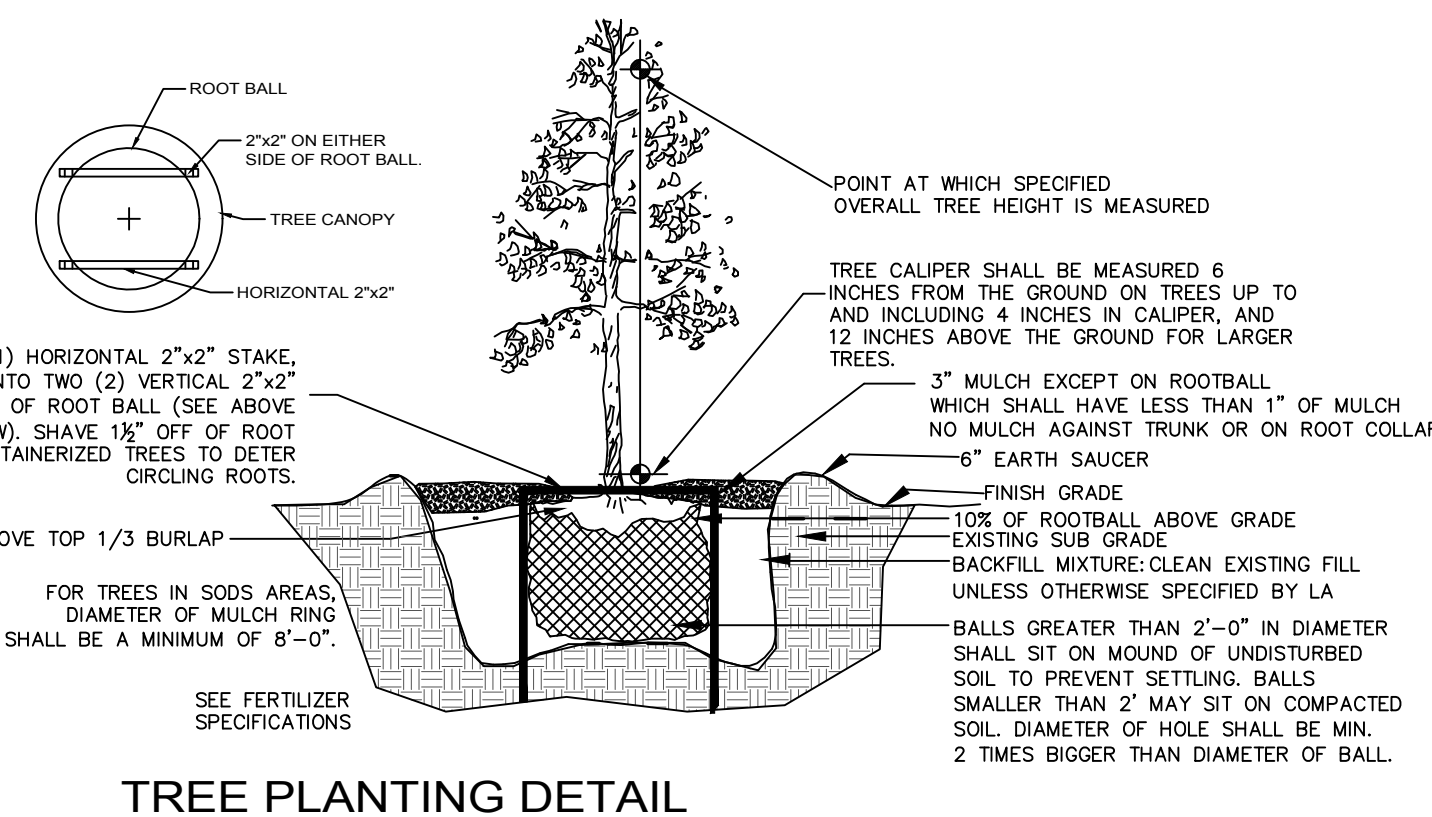
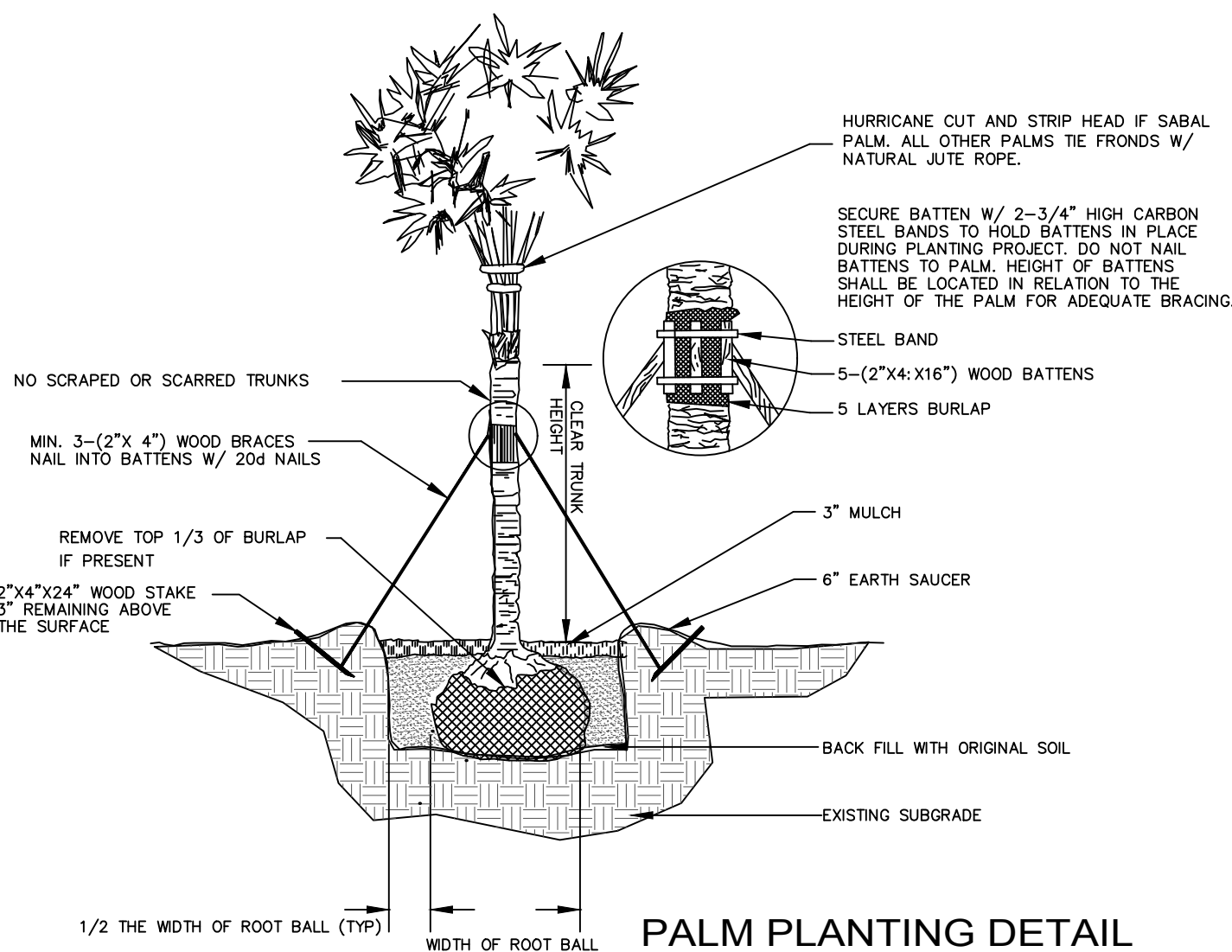
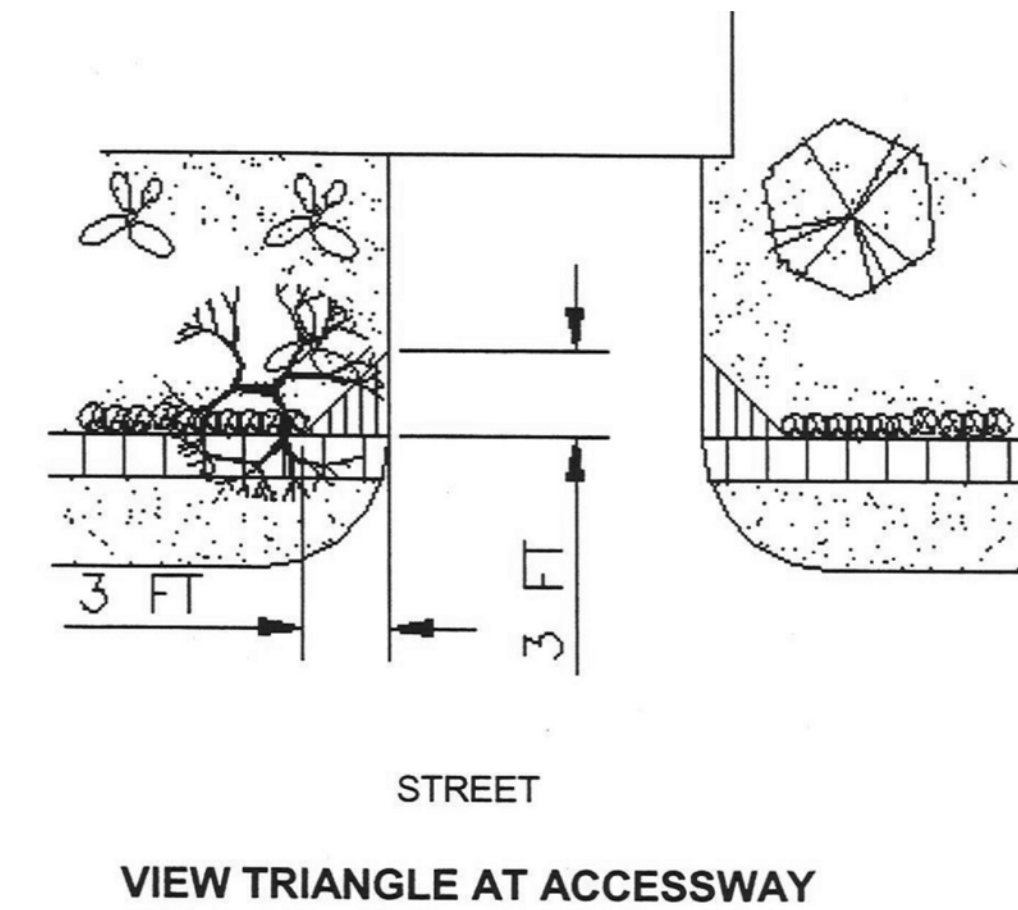
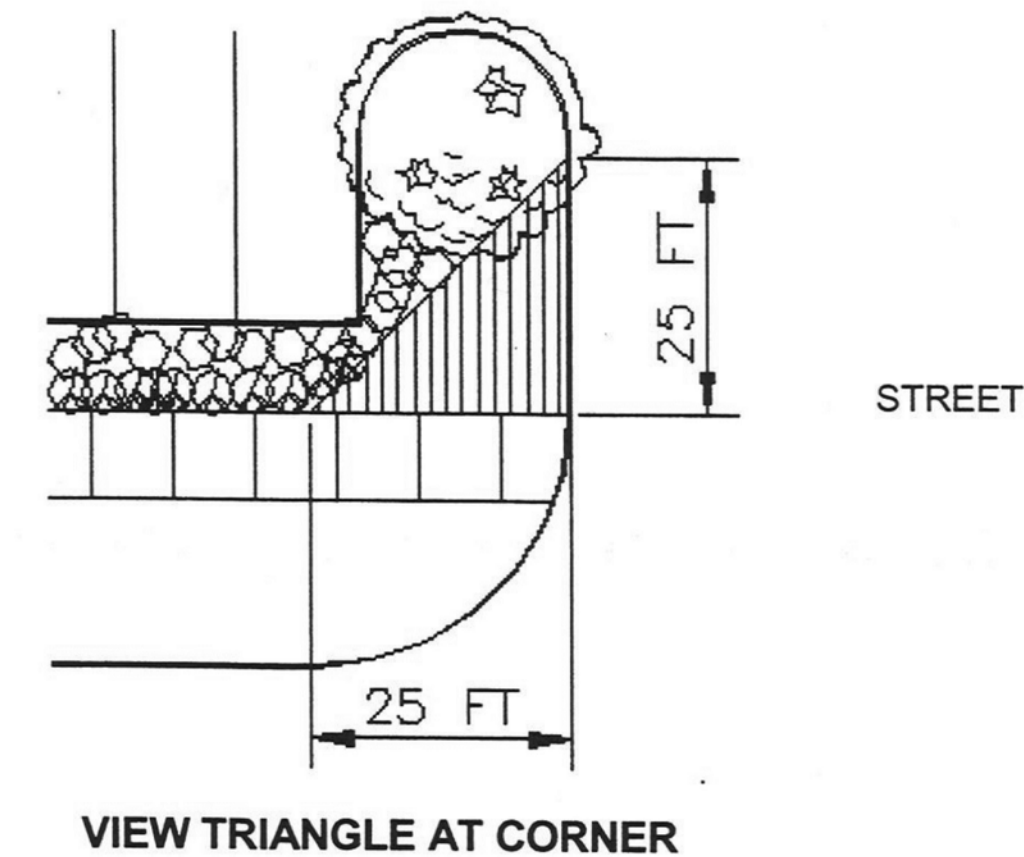


LETTERS REFER TO CODE REQUIREMENTS
A Perimeter trees (18)
B Perpetual palm easement (2)
C Mitigation trees (12)

PLANT SCHEDULE GROUND LEVEL

TREES	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
AC	Adonidia merrillii single / Christmas Palm, matched	12' CT single	AS SHOWN	5
CD	Coccoloba diversifolia / Pigeon Plum	12' OA 2" DBH	AS SHOWN	11
CB	Cordia alliodora / White Selder	12' OA 2" DBH	AS SHOWN	4
PM	Phoenix dactylifera 'Medjool' / Date Palm	16' CT with nut	AS SHOWN	2
RE	Roystonea elata / Florida Royal Palm	8' GW Matched	AS SHOWN	8
TR	Thrinax radiata / Florida Thatch Palm	8' CT	AS SHOWN	3
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
BK	Bougainvillea x 'Barbara Karst' / Bougainvillea Karst	25 gal	AS SHOWN	8
BE	Bougainvillea x 'Palm Beach' purple / Palm Beach Bougainvillea	25 gal	AS SHOWN	6
BR	Bougainvillea x 'Raspberry Ice' / Raspberry Ice Bougainvillea Trellis	25 gal	AS SHOWN	8
CS	Clusia guttifera / Small Leaf Clusia	7 gal 3' OA	36" O.C.	74
DT	Dianella tasmanica / Flax Lily	3 gal	Fill in ex	9
SR	Streptocarpus reginae / Orange Bird Of Paradise	15 gal	AS SHOWN	3
TC	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine	25 gal	AS SHOWN	17
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
AA	Agapanthus africanus / Lily of the Nile	3 gal 18" OA	24" O.C.	139
AG	Arachis glabrata / Perennial Peanut	4"	18" O.C.	1,305
FG	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	24" O.C.	188
IP	Ipomoea pes-caprae / Railroad vine	1 gal	18" O.C.	64
MS	Mimosa strigillosa / Sensitive Plant	1 gal	18" O.C.	1,479
PA	Plumbago auriculata / Blue Plumbago	3 gal 15" OA	24" O.C.	86
ZP	Zamia pumila / Coontie	3 gal 15" OA	24" O.C.	326

Mulch all beds as indicated on detail.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.

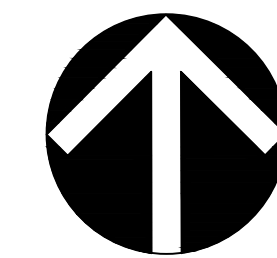


BEACHSIDE RESIDENCES CONDOMINIUM

3319 N. OCEAN BLVD
HOLLYWOOD, FL 33019

LANDSCAPE PLAN - 1ST FLOOR, PLANT LIST

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DRAWN BY	GF GW
CHECKED BY	GF GW
CAD DWG.	
DATE	04.26.18
REVISIONS	
Per City comments	05.14.18
Per City comments	06.25.18

A 2nd FLOOR
Scale 1"=20'

PLANT SCHEDULE SECOND FLOOR

TREES	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
CF	Coccothrinax argentata / Florida Silver Palm	6' OA	AS SHOWN	2
TR	Thrinax radiata / Florida Thatch Palm	8' CT	AS SHOWN	1
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
CN	Clusia rosea 'Nana' / Dwarf Pitch Apple	3 gal 15"OA	24" O.C.	48
FG	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	24" O.C.	5
MS	Mimosa strigillosa / Sensitive Plant	1 gal	18" O.C.	18

B 3rd FLOOR
Scale 1"=20'

PLANT SCHEDULE THIRD FLOOR

TREES	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
CF	Coccothrinax argentata / Florida Silver Palm	6' OA	AS SHOWN	2
DP	Dictyosperma album / Princess Palm	6' CT	AS SHOWN	1
MF	Myrcianthes fragrans / Sompson's stopper	12' OA, min 3 trunks1.5" each	AS SHOWN	4
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
TG	Thunbergia grandiflora / Sky Flower	25 gal pole grown	AS SHOWN	14
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
CN	Clusia rosea 'Nana' / Dwarf Pitch Apple	3 gal 15"OA	24" O.C.	75
FG	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	24" O.C.	39
MS	Mimosa strigillosa / Sensitive Plant	1 gal	18" O.C.	30

City of Hollywood Landscape Requirements BRT-25

Condition	Requirement	Provided
PERIMETER LANDSCAPE -One Tree per 50' of street frontage (858/50=18) (7 Royal Palm, 4 Geiger, 7 Pigeon Plum)	18	18
MITIGATION TREES AND PALMS (1 Royal Palm ,2 Date Palm, 4 Pigeon Plum, 5 Adonidia palms)	12	12
VEHICULAR USE AREA -Terminal Islands at ends of all parking areas	N/A	N/A
OPEN SPACE (Min 40% open landscape area) -Site area 43,492SF x 40% -One Tree per 1000SF open space (17,397/1000) -Required tree species/variety -Minimum 60% of required trees as Native -Maximum 50% of required trees may be palms	17,397sf 18 3 11 9 (max)	9950sf 30 5 17 9
DESIGN REVIEW -Complies with Design Review Guidelines for Landscaping	YES	YES
VIEW TRIANGLE -Clear site triangles at all drives and intersections	YES	YES
IRRIGATION -Provide 100%+ coverage by auto sprinkler system (In accordance with City of Hollywood and SFWMD)	YES	YES

OTHER -Apply Xeriscap principles to proposed landscape design -Utilize plant species compatible with highly saline areas -Trees to be 12'oah, 2" DBH at time of planting -Palms to have minimum 8'CT at time of planting -50% of all required shrubs to be Florida Native -A city of Hollywood tree removal/relocation permit will be required for any tree removal or relocation as part of this project. Application is available online from public works section of city website, or in RM308 in City Hall.	YES YES YES YES YES YES	YES YES YES YES YES YES
--	--	--

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malaysian Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. No overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
- TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- APPLY 3" MELALEUCA/EUCALYTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT RDW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

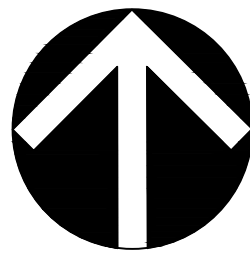
HOLLYWOOD LANDSCAPE NOTES

- PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.



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SUNSHINE STATE NEOCALLING
OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.



Gabriela Fojt
LA 6667277

The Mirror of Paradise Inc.
3924 N. Ocean Blvd.
Fort Lauderdale
FL 33308
Tel (954) 478 3064
www.florida-landscape.com

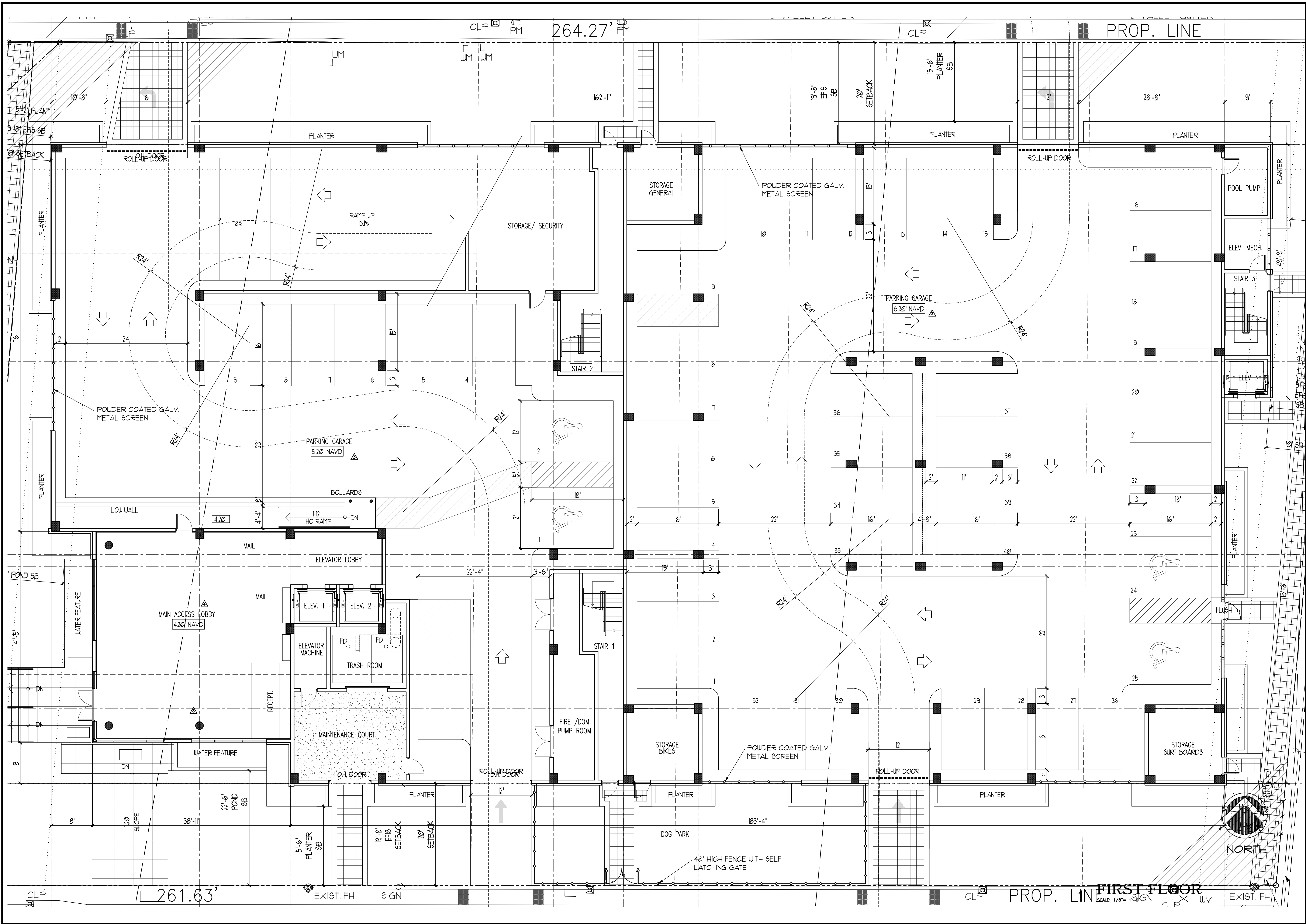
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DESIGNED BY	GF GW
DRAWN BY	GF GW
CHECKED BY	GF GW
CAD DWG.	
DATE	04.26.18
REVISIONS	
Per City comments	05.14.18
Per City comments	06.25.18

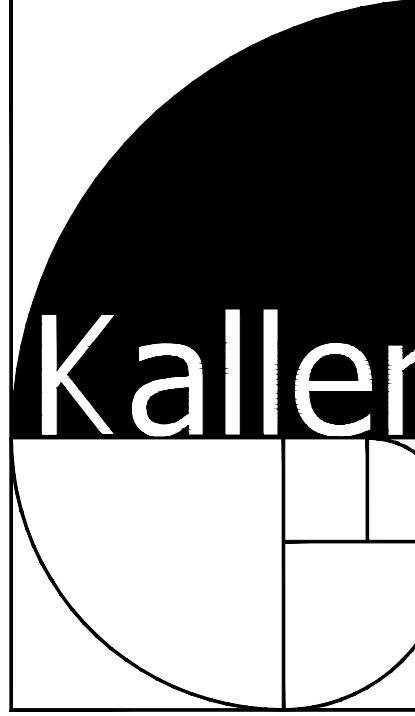
BEACHSIDE RESIDENCES CONDOMINIUM

3319 N. OCEAN BLVD
HOLLYWOOD, FL 33019

LANDSCAPE PLAN - 2ND AND 3RD FLOOR
CODE REQUIREMENTS, NOTES

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SEAL

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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

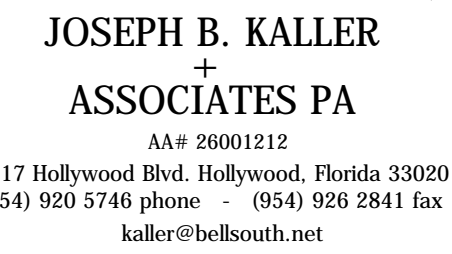
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FIRST FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	6-18-18	BUILD. DEPT.

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DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-1
1 OF 13



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BEACHSIDE RESIDENCES
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PROJECT TITLE

SHEET TITLE

SECOND FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

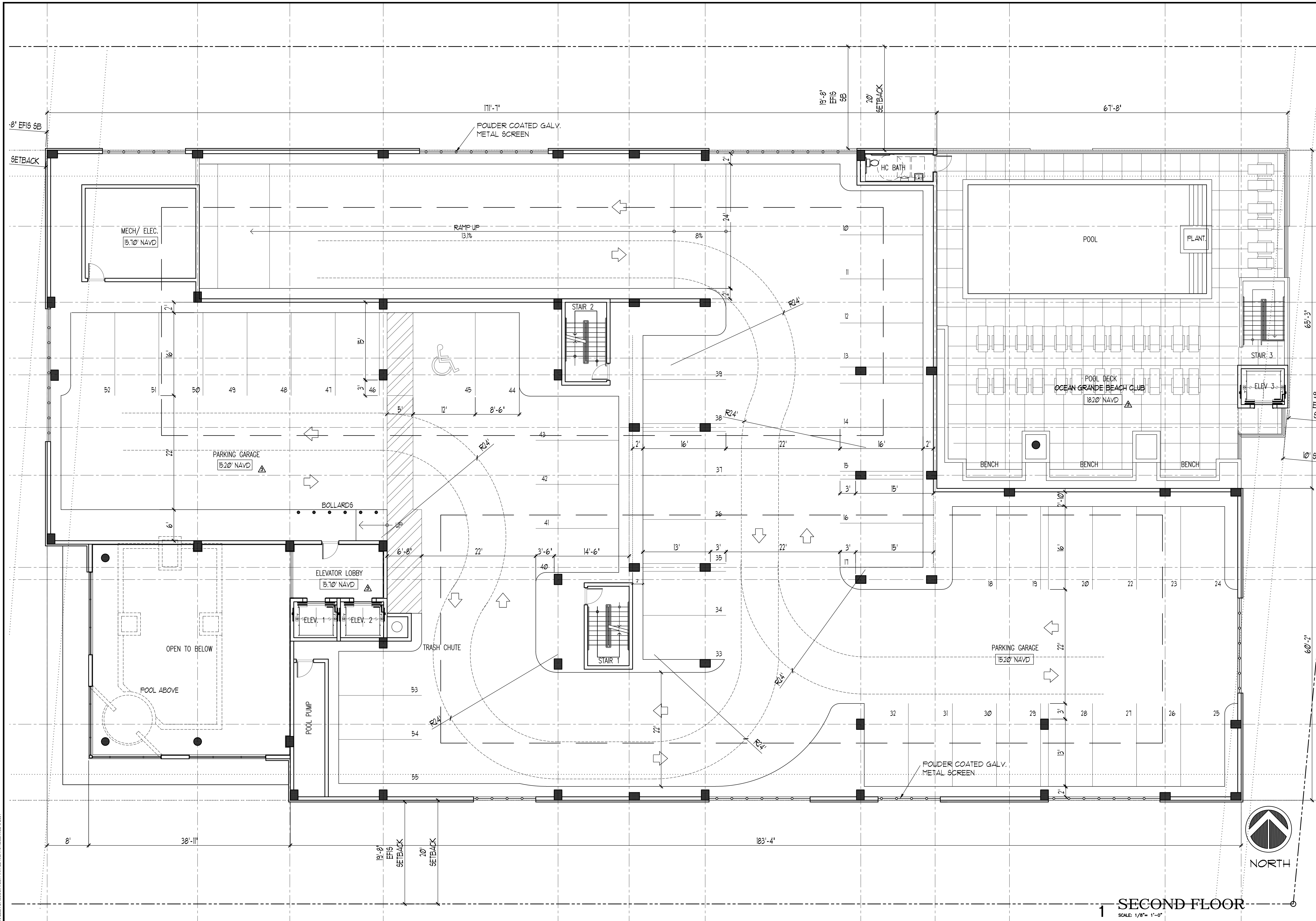
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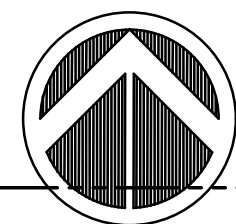
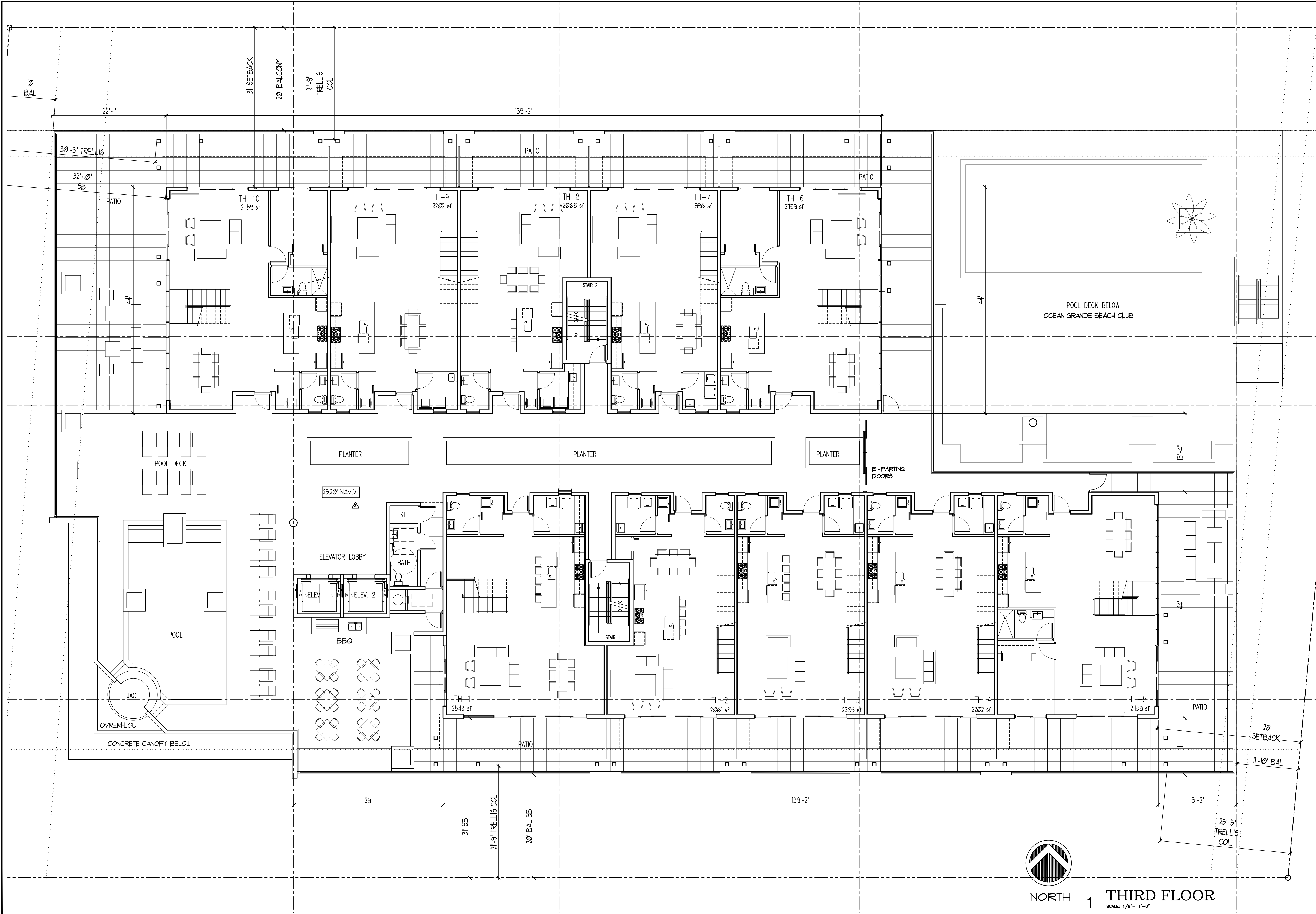
PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-2

OF 13

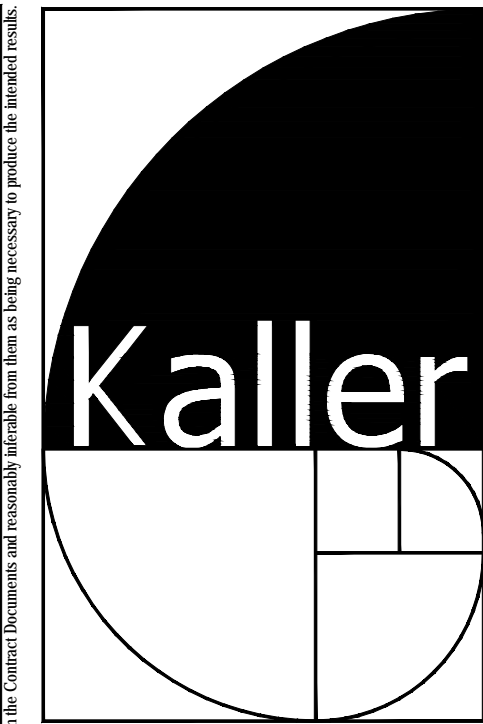




NORTH

1

THIRD FLOOR
SCALE: 1/8" = 1'-0"



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PROJECT TITLE
THIRD FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

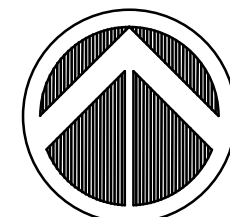
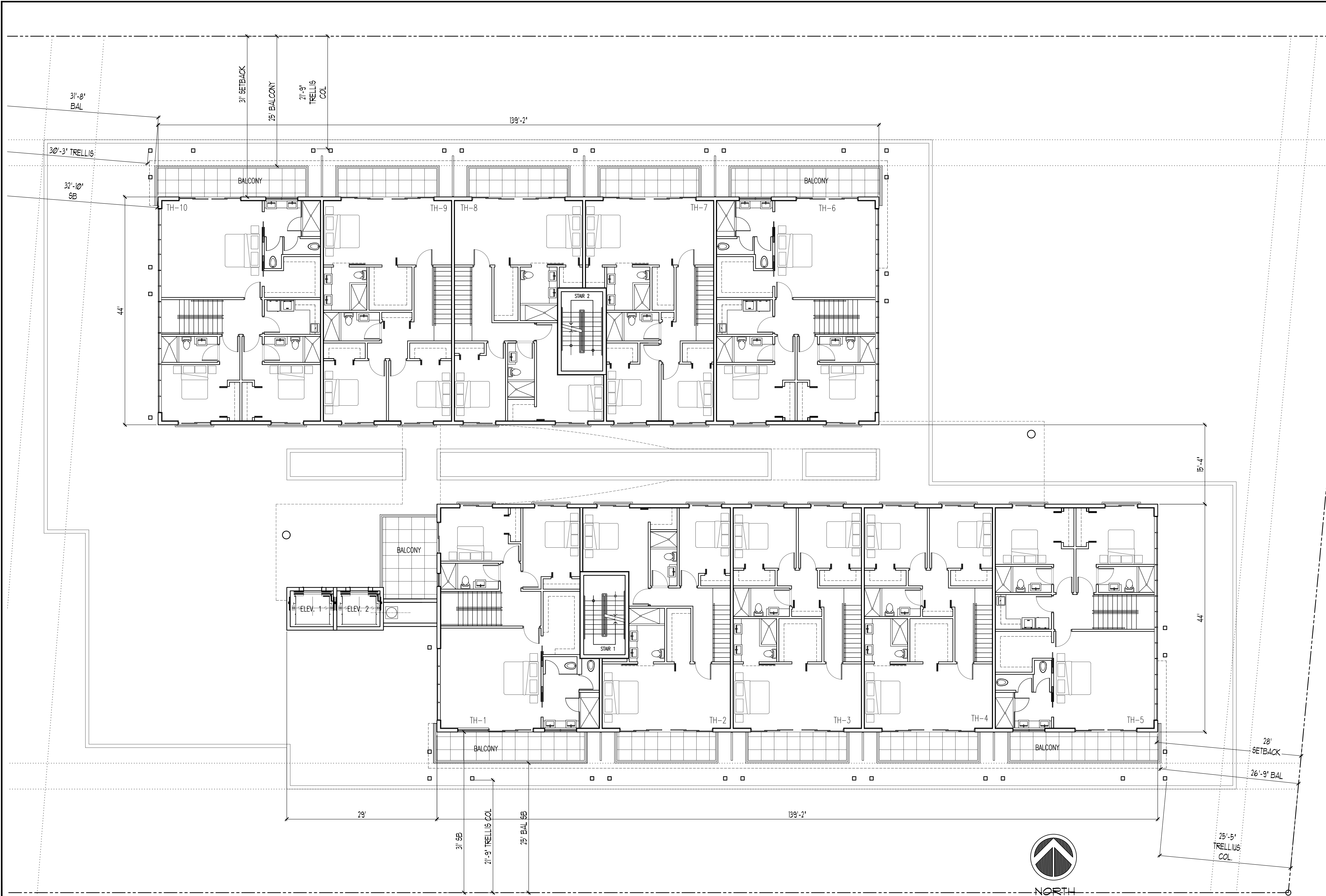
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DATE: 2-20-18
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SHEET

A-3

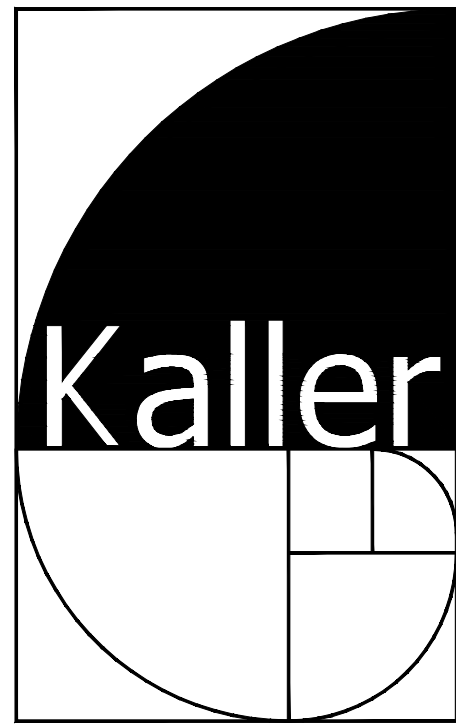
1 OF 13



NORTH

1 FOURTH FLOOR

SCALE: 1/8" = 1'-0"



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PROJECT TITLE

SHEET TITLE
FOURTH FLOOR PLAN

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No.	DATE	DESCRIPTION
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2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

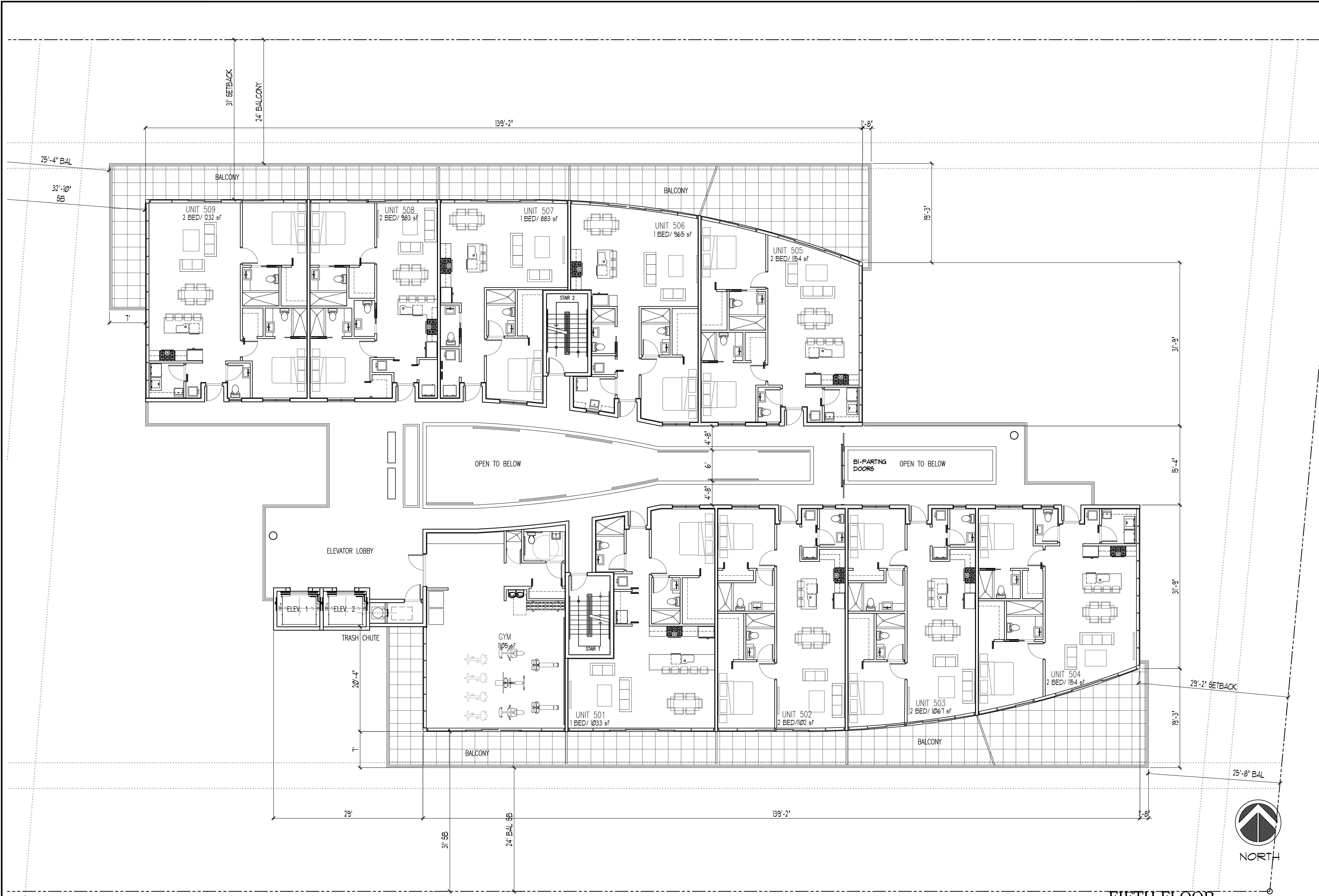
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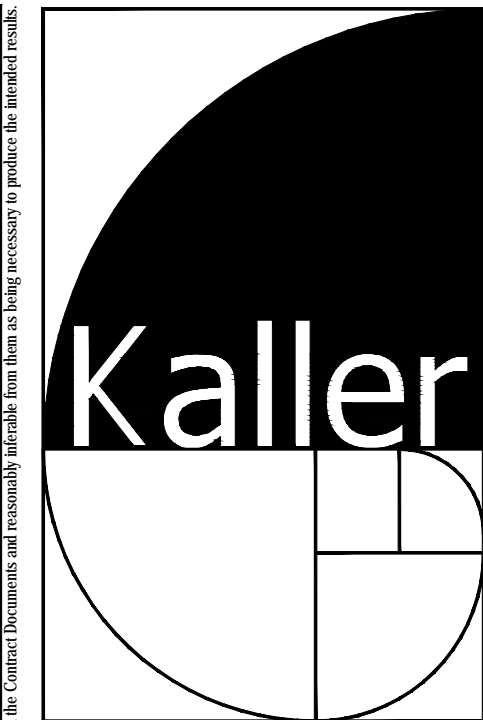
SHEET

A-4

1 OF 13



1 FIFTH FLOOR
SCALE: 1/8" = 1'-0"



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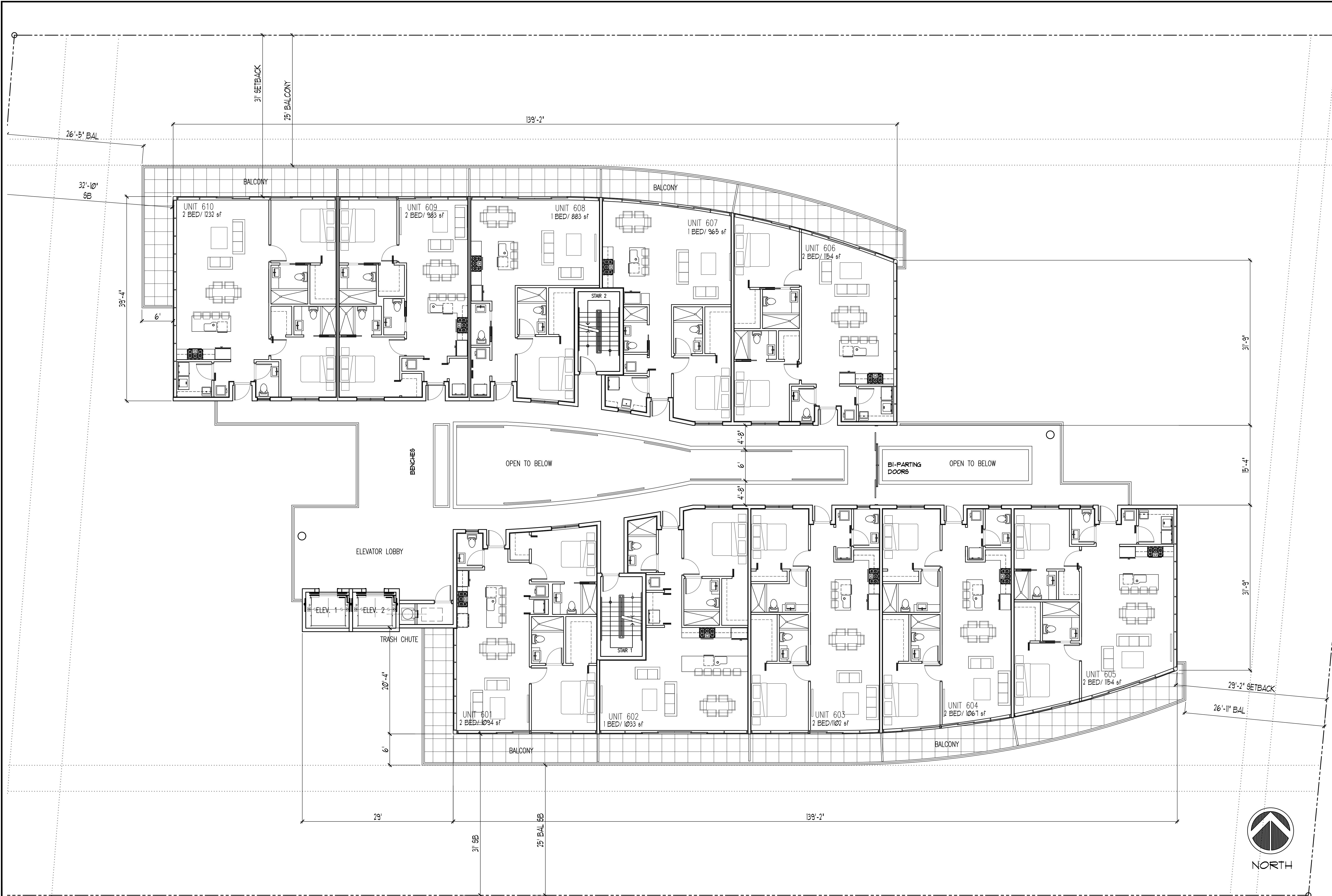
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FIFTH FLOOR PLAN

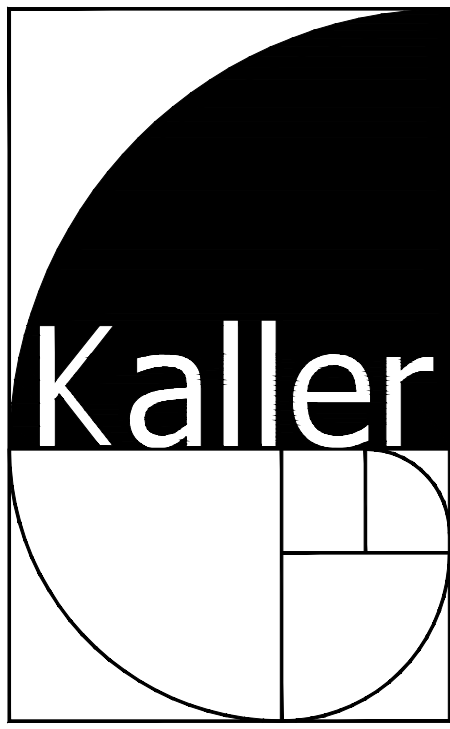
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2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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SHEET
A-5
1 OF 13





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PROJECT TITLE

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SHEET TITLE

SIXTH FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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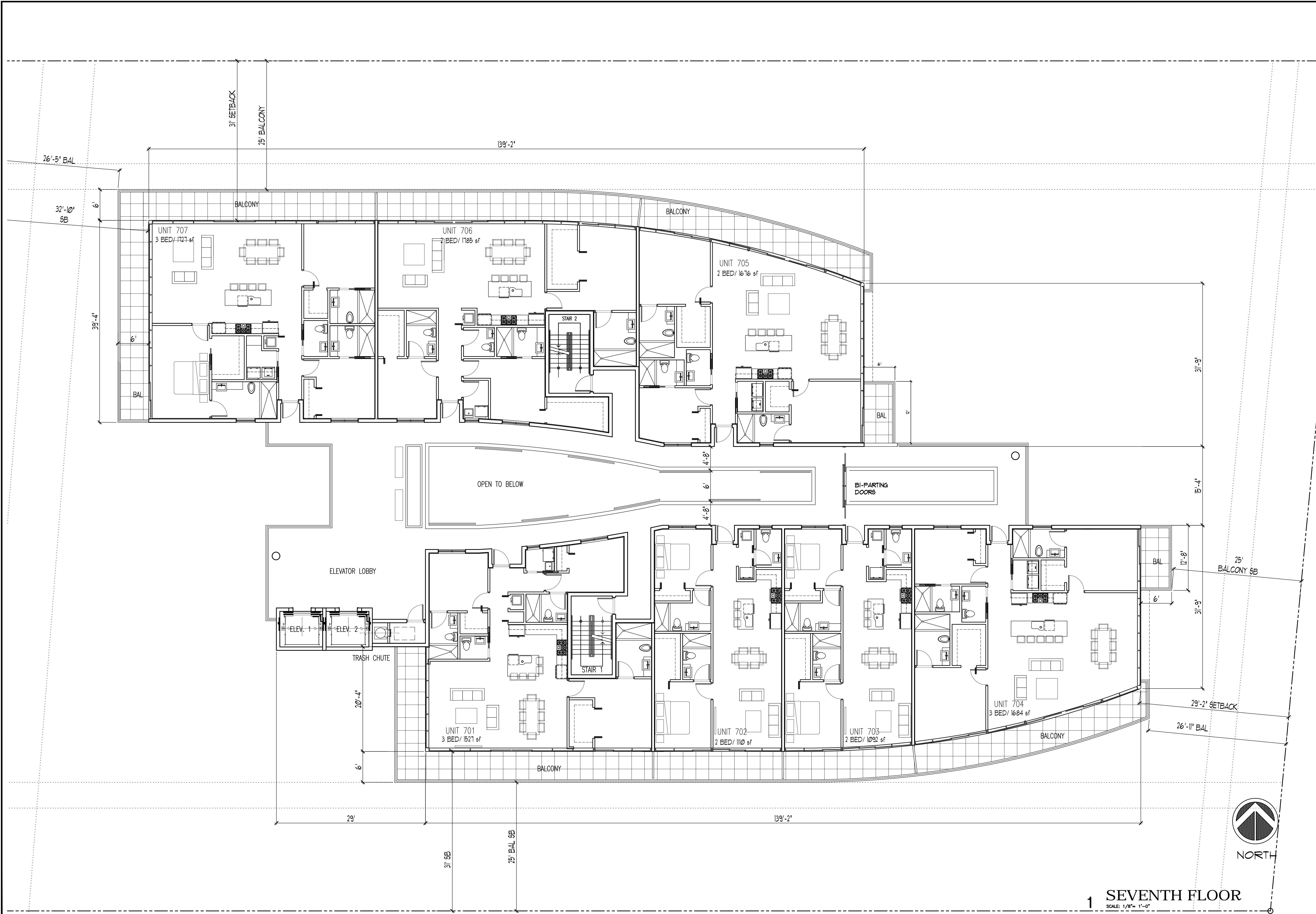
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DATE:	2-20-18
DRAWN BY:	TMS
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SHEET

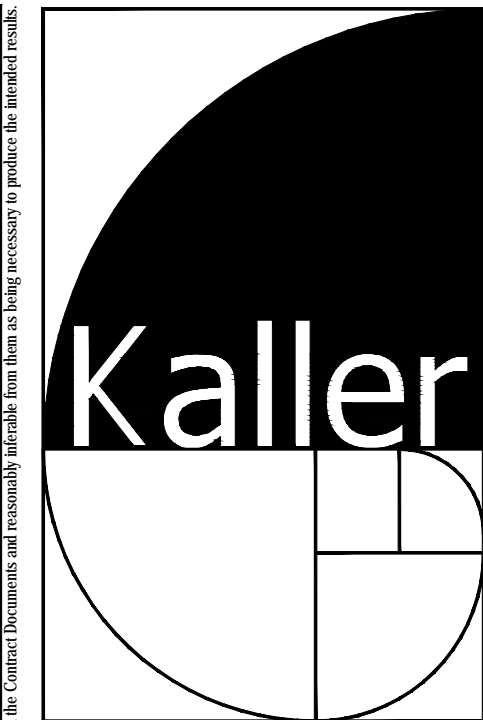
A-6

1 OF 13

1 SIXTH FLOOR
SCALE: 1/8" = 1'-0"



1 SEVENTH FLOOR
SCALE: 1/8" = 1'-0"



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PROJECT TITLE
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3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
SEVENTH FLOOR PLAN

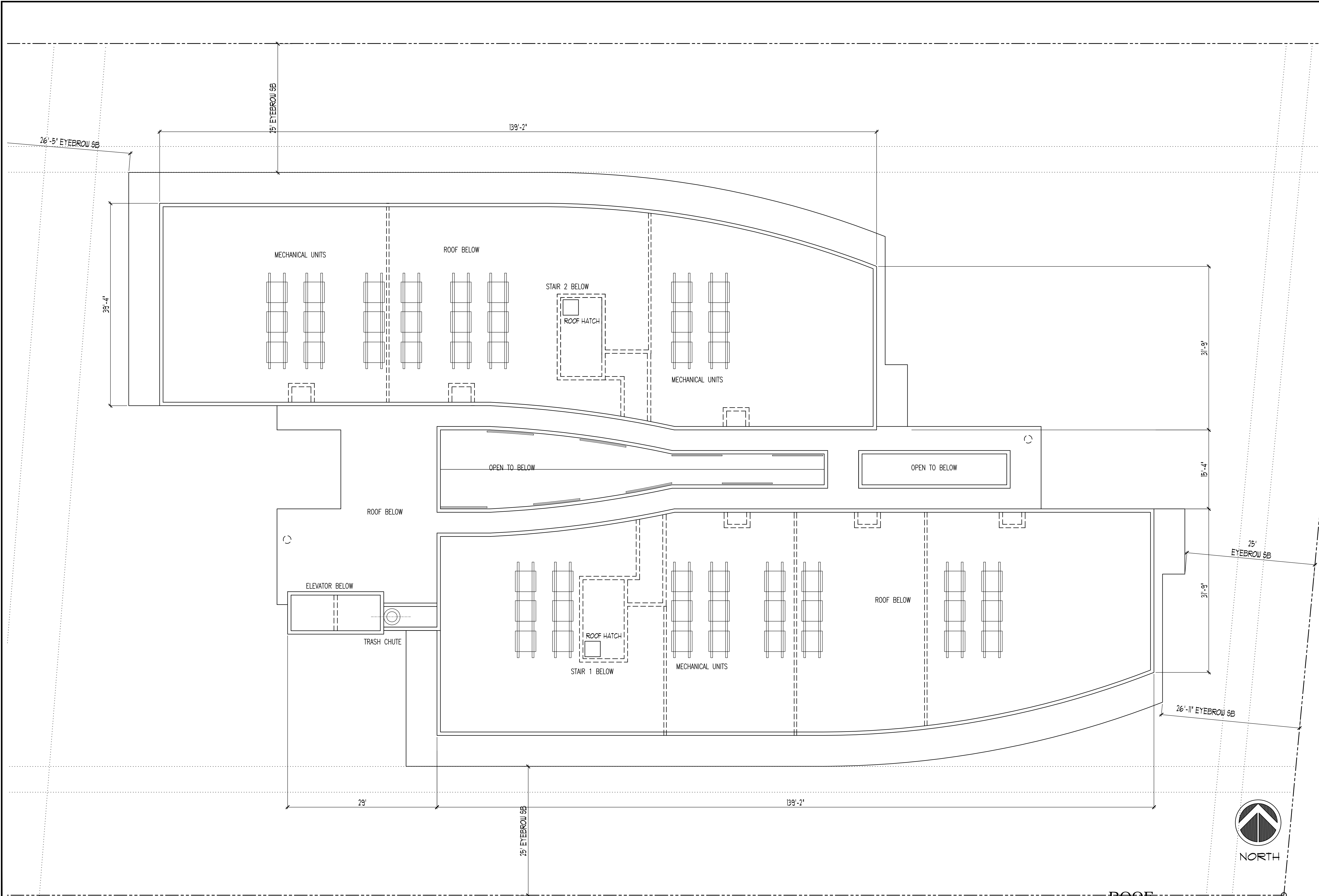
REVISIONS		
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2	4-17-18	PRELIM TAC
3	5-14-17	FINAL TAC

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DATE: 2-20-18
DRAWN BY: TMS
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SHEET

A-7



1 ROOF
SCALE: 1/8"= 1'-0"



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PROJECT TITLE
BEACHSIDE RESIDENCES
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HOLLYWOOD, FL 33019

SHEET TITLE
ROOF

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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SHEET

A-8

1 OF 13



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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
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HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
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2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	7-26-18	PLANNING

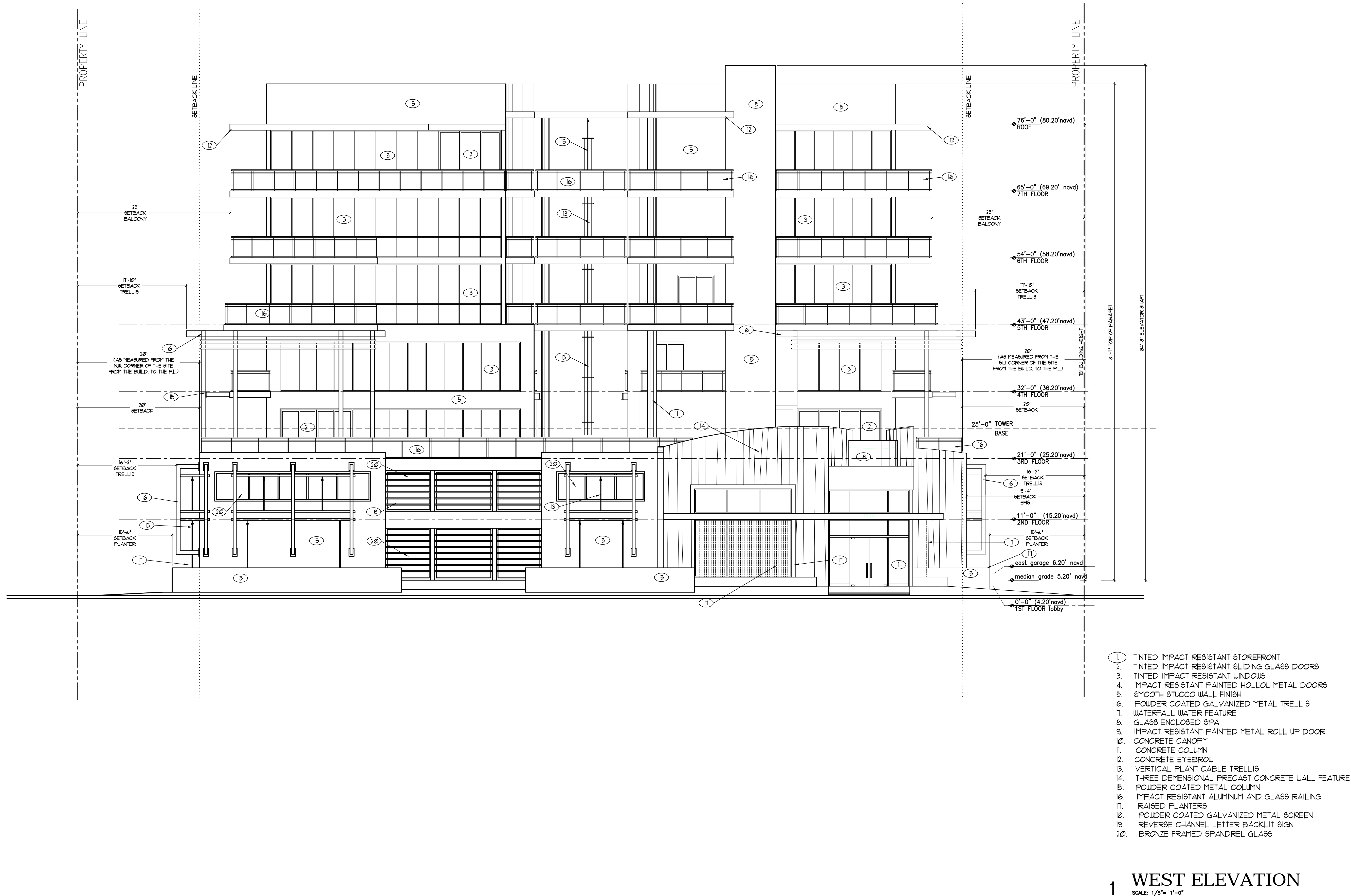
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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-9

1 OF 13



1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
12. CONCRETE EYEBROW
13. VERTICAL PLANT CABLE TRELLIS
14. THREE DIMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN
20. BRONZE FRAMED SPANDREL GLASS

1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



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HOLLYWOOD, FL 33019

PROJECT TITLE

ELEVATIONS

SHEET TITLE

REVISIONS		
No.	DATE	DESCRIPTION
1	4-6-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	7-26-18	PLANNING

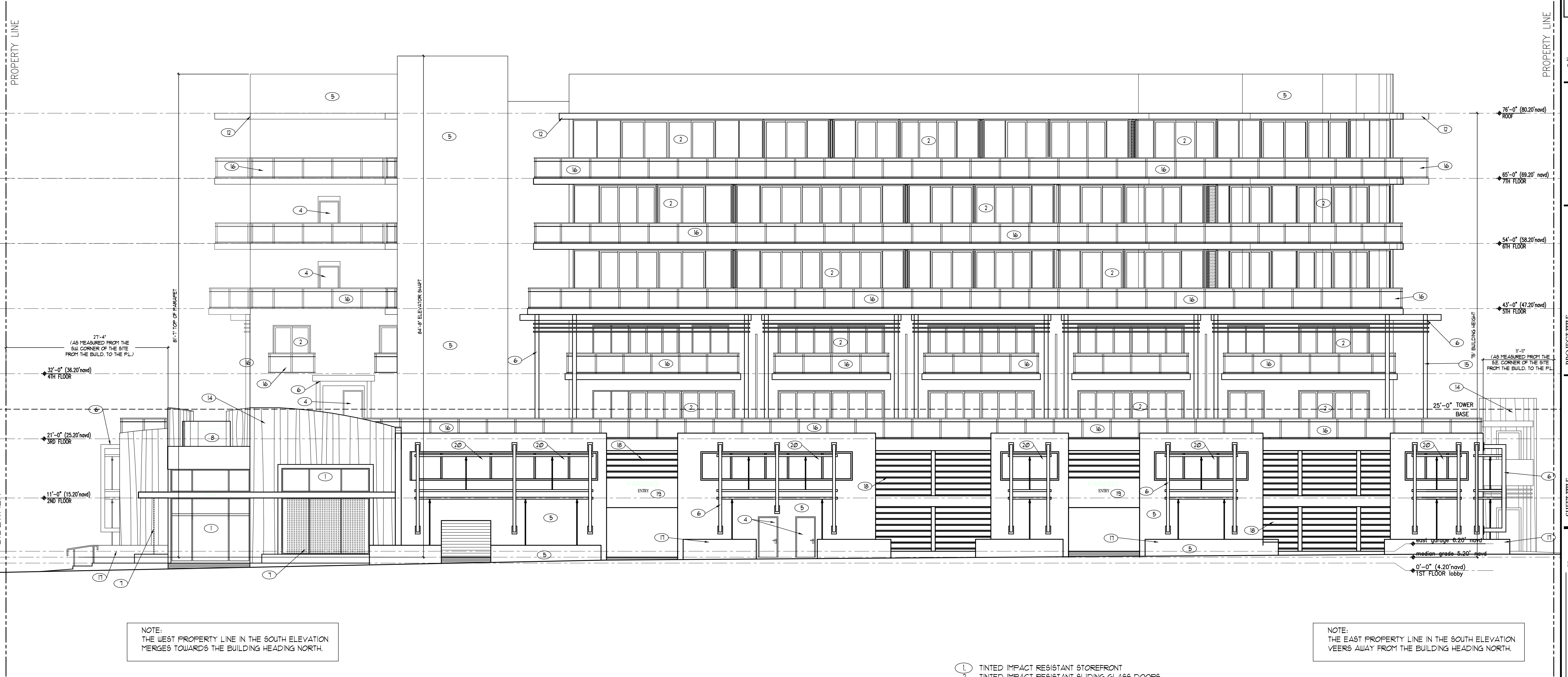
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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-10

1 OF 13



1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
12. CONCRETE EYEBROW
13. VERTICAL PLANT CABLE TRELLIS
14. THREE DIMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN
20. BRONZE FRAMED SPANDREL GLASS

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



JOSEPH B. KALLER
+
ASSOCIATES PA

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(954) 920 5746 phone (954) 926 2841 fax
kaller@bellsouth.net

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS		
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3	5-14-18	FINAL TAC
4	7-26-18	PLANNING

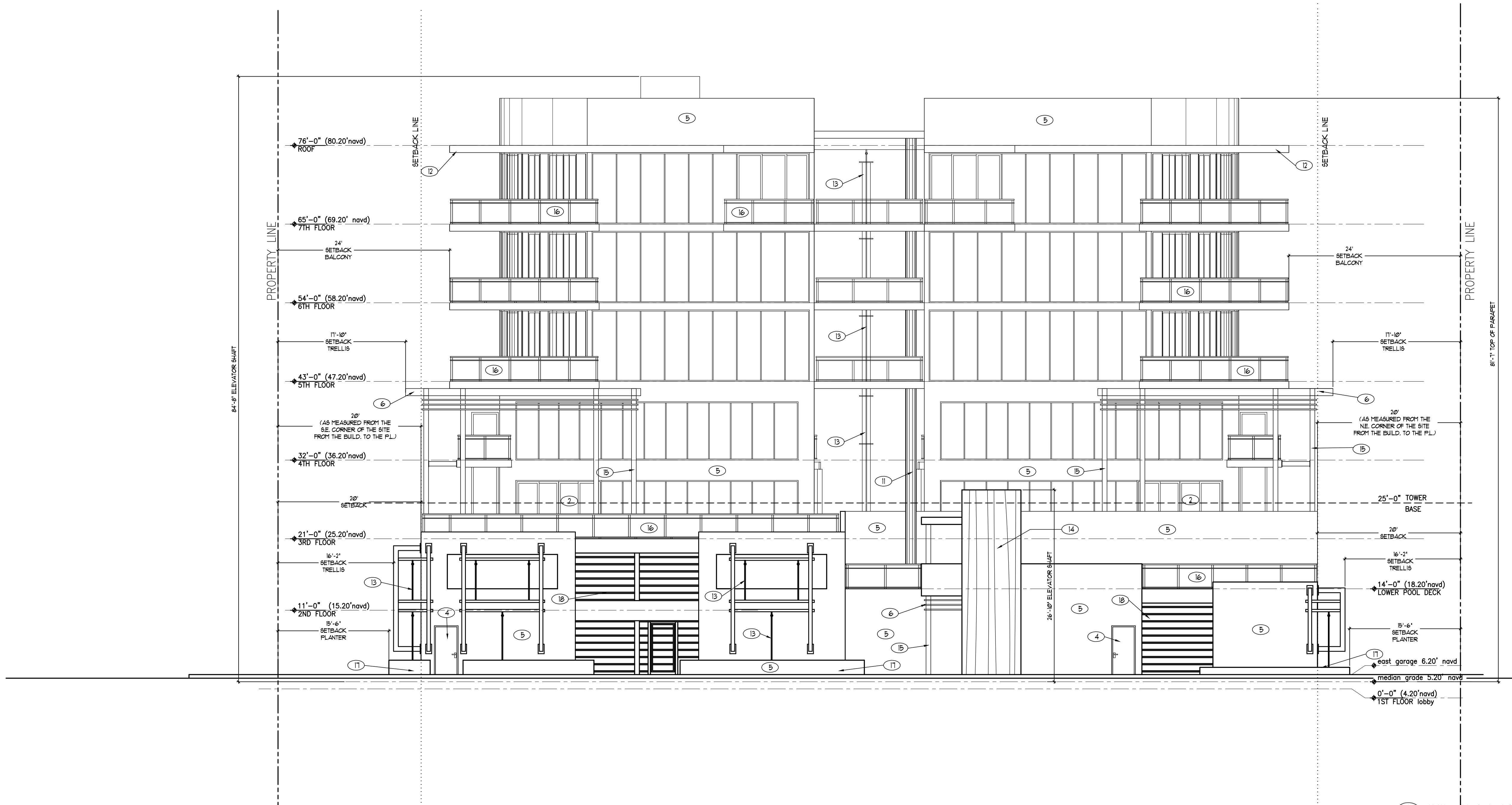
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DATE: 2-20-18
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CHECKED BY: JBK

SHEET

A-11

1 OF 13



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19. REVERSE CHANNEL LETTER BACKLIT SIGN
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1 EAST ELEVATION
SCALE: 1/8"= 1'-0"



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SHEET TITLE
ELEVATIONS

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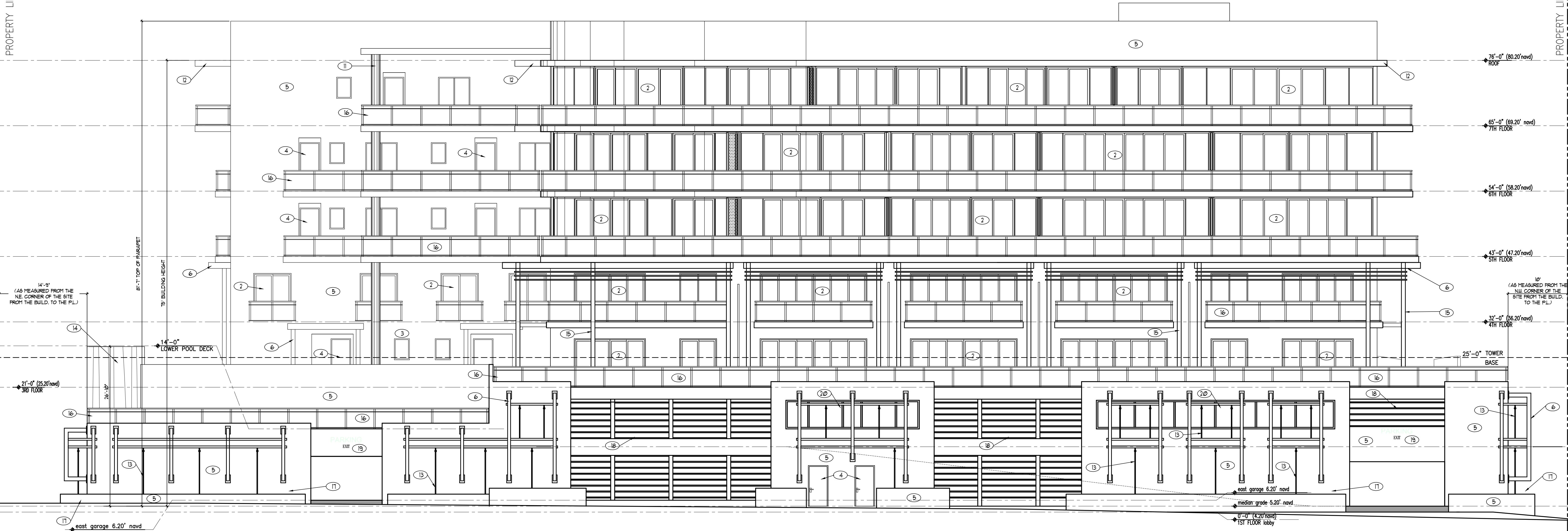
SHEET

A-12

1 OF 13

PROPERTY LINE

PROPERTY LINE



NOTE:
THE EAST PROPERTY LINE IN THE NORTH ELEVATION
MERGES TOWARDS THE BUILDING HEADING SOUTH.

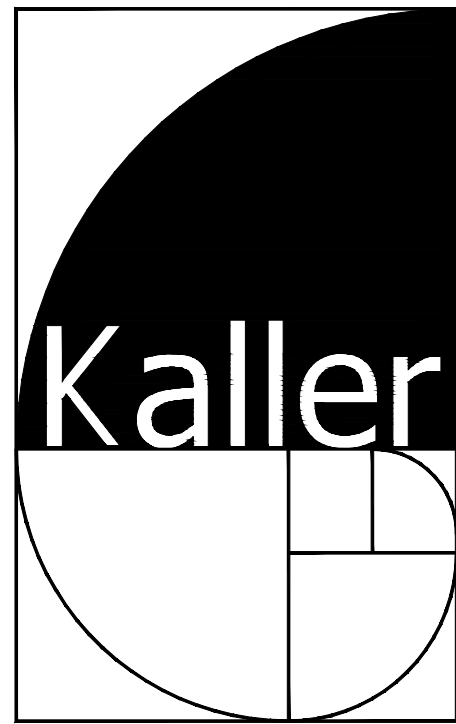
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NOTE:
THE WEST PROPERTY LINE IN THE NORTH ELEVATION
VEERS AWAY FROM THE BUILDING HEADING SOUTH.

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 CONTEXTUAL STREET ELEVATION
SCALE: 1"= 20'-0"



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SEAL

JOSEPH B. KALLER
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PROJECT TITLE
BEACHSIDE RESIDENCES
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3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
CONTEXTUAL STREET
ELEVATION

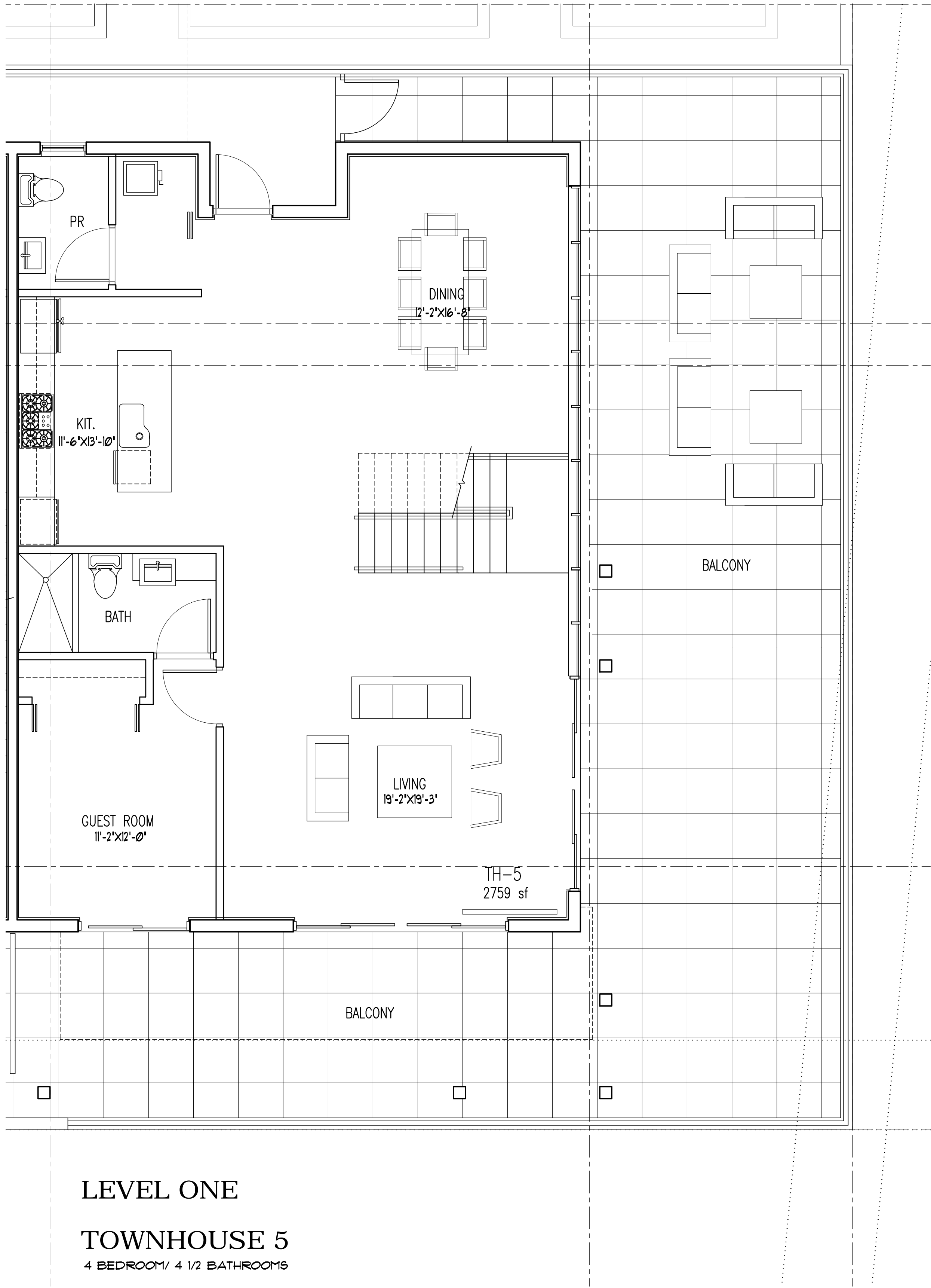
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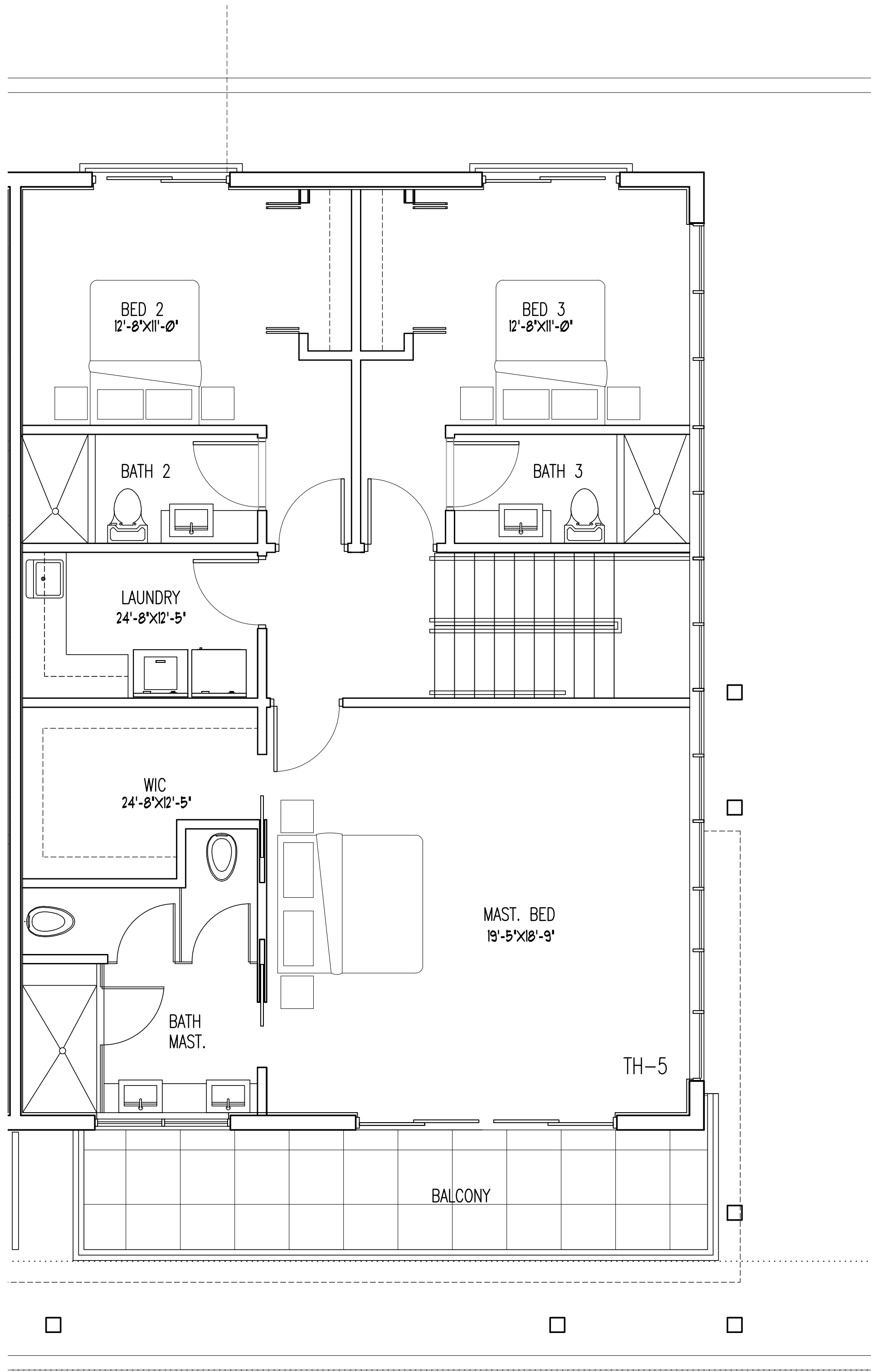
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SHEET

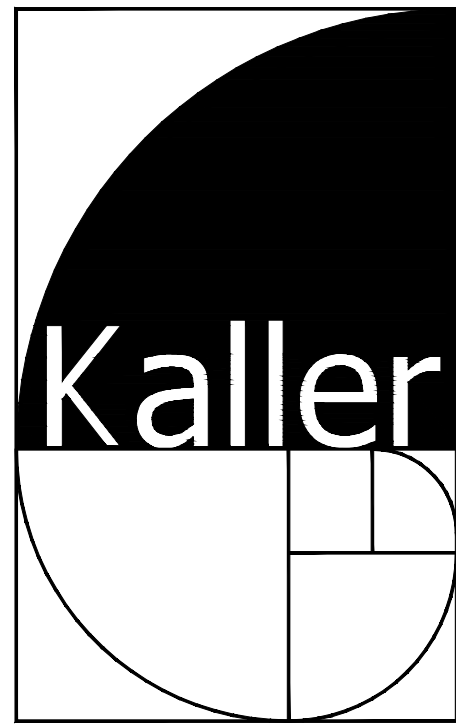
A-13



LEVEL ONE
TOWNHOUSE 5
4 BEDROOM/ 4 1/2 BATHROOMS



LEVEL TWO



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SEAL

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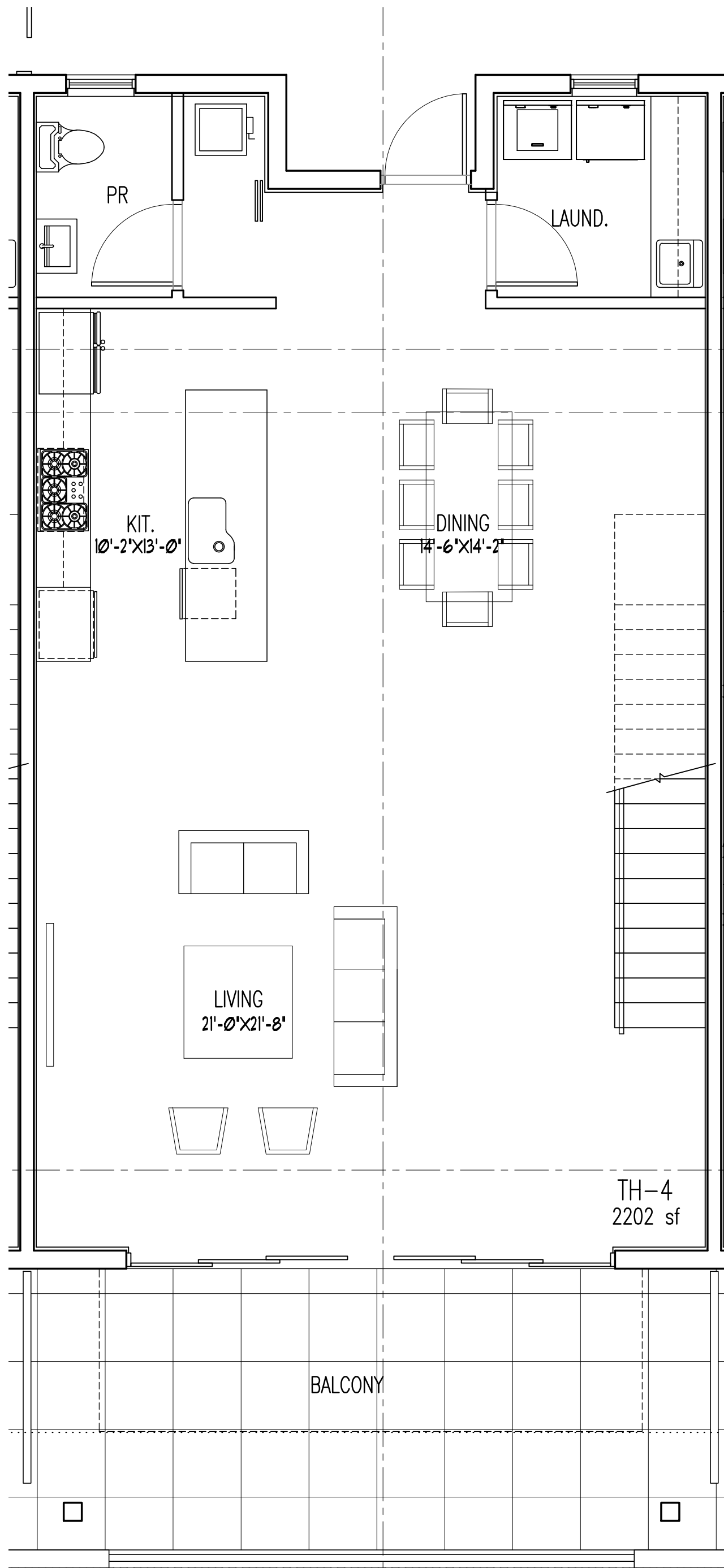
SHEET TITLE
UNIT BLOW UP PLANS

REVISIONS		
No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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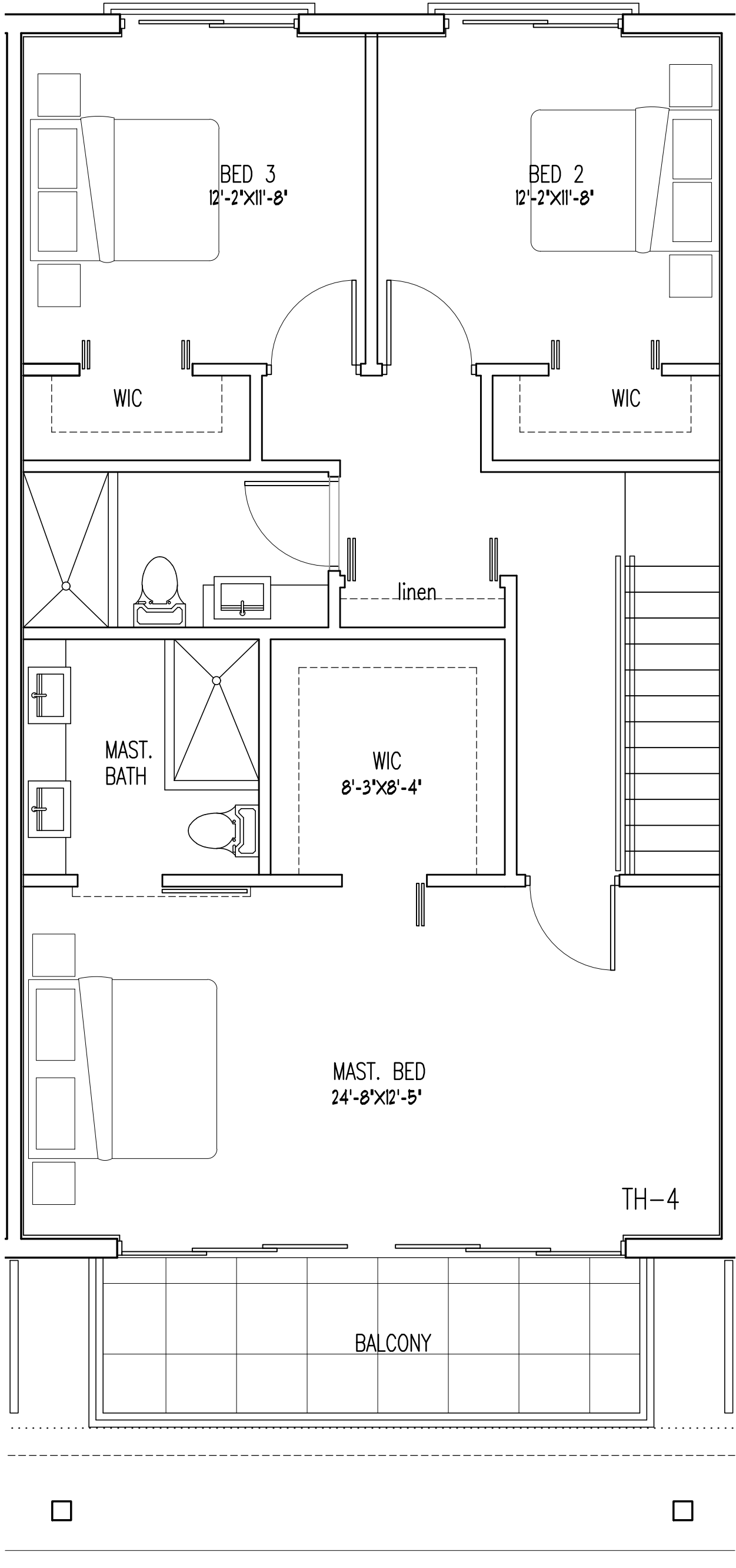
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SHEET

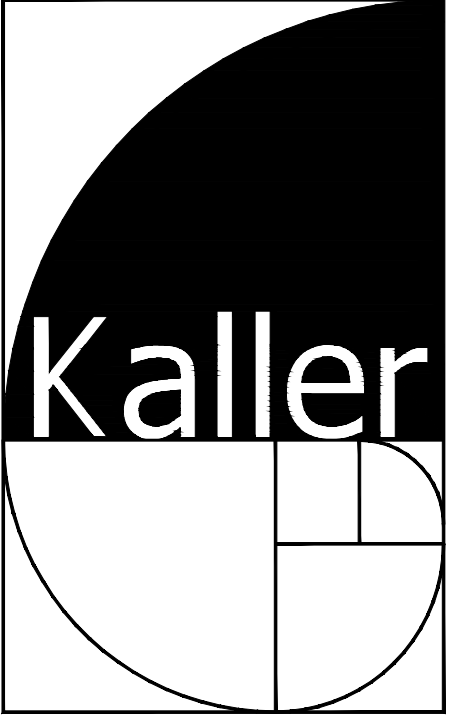


LEVEL ONE

TOWNHOUSE 4
3 BEDROOM/ 2 1/2 BATHROOMS



LEVEL TWO



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SEAL

JOSEPH B. KALLER
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SHEET TITLE
UNIT BLOW UP PLANS

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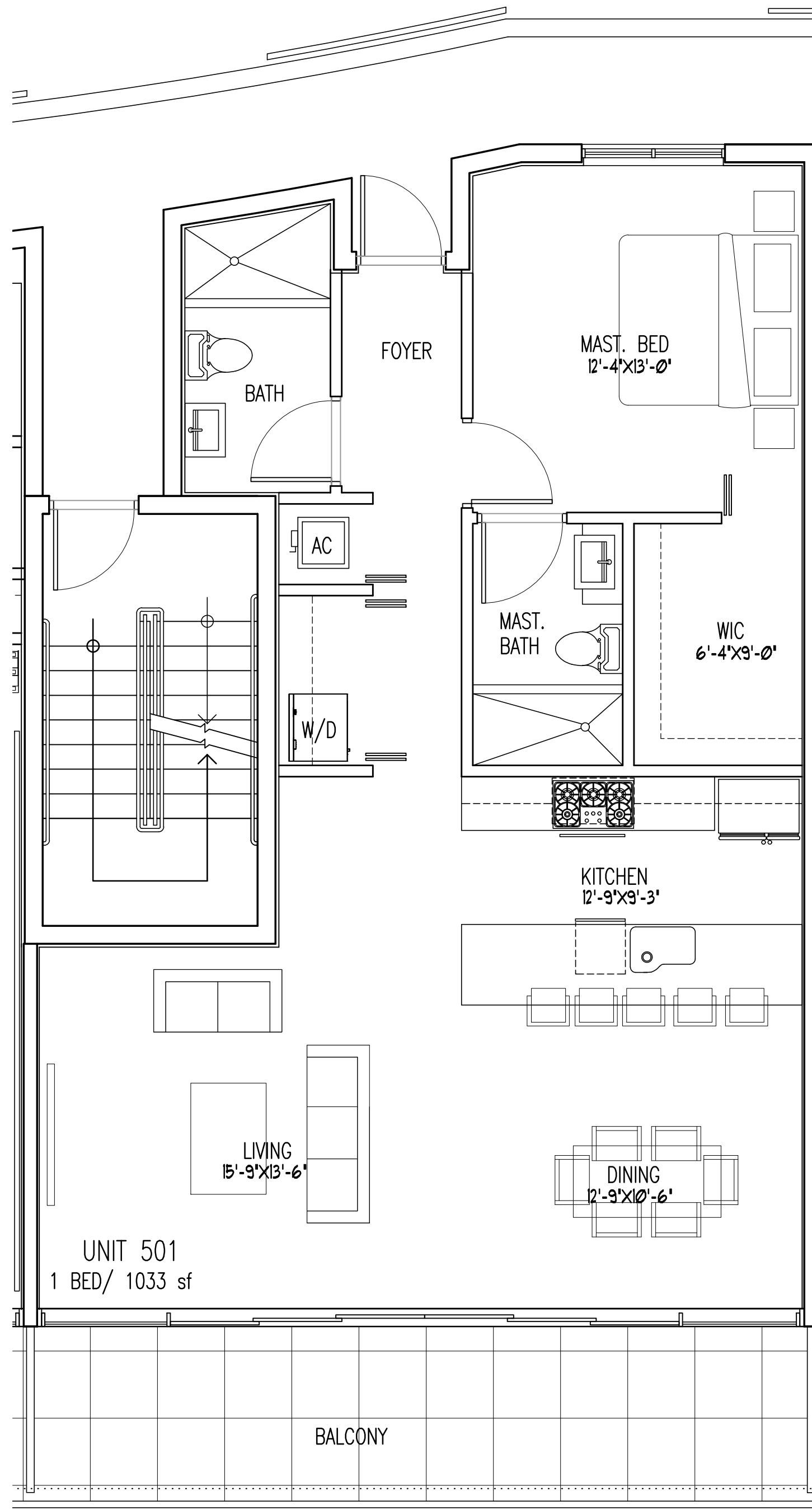
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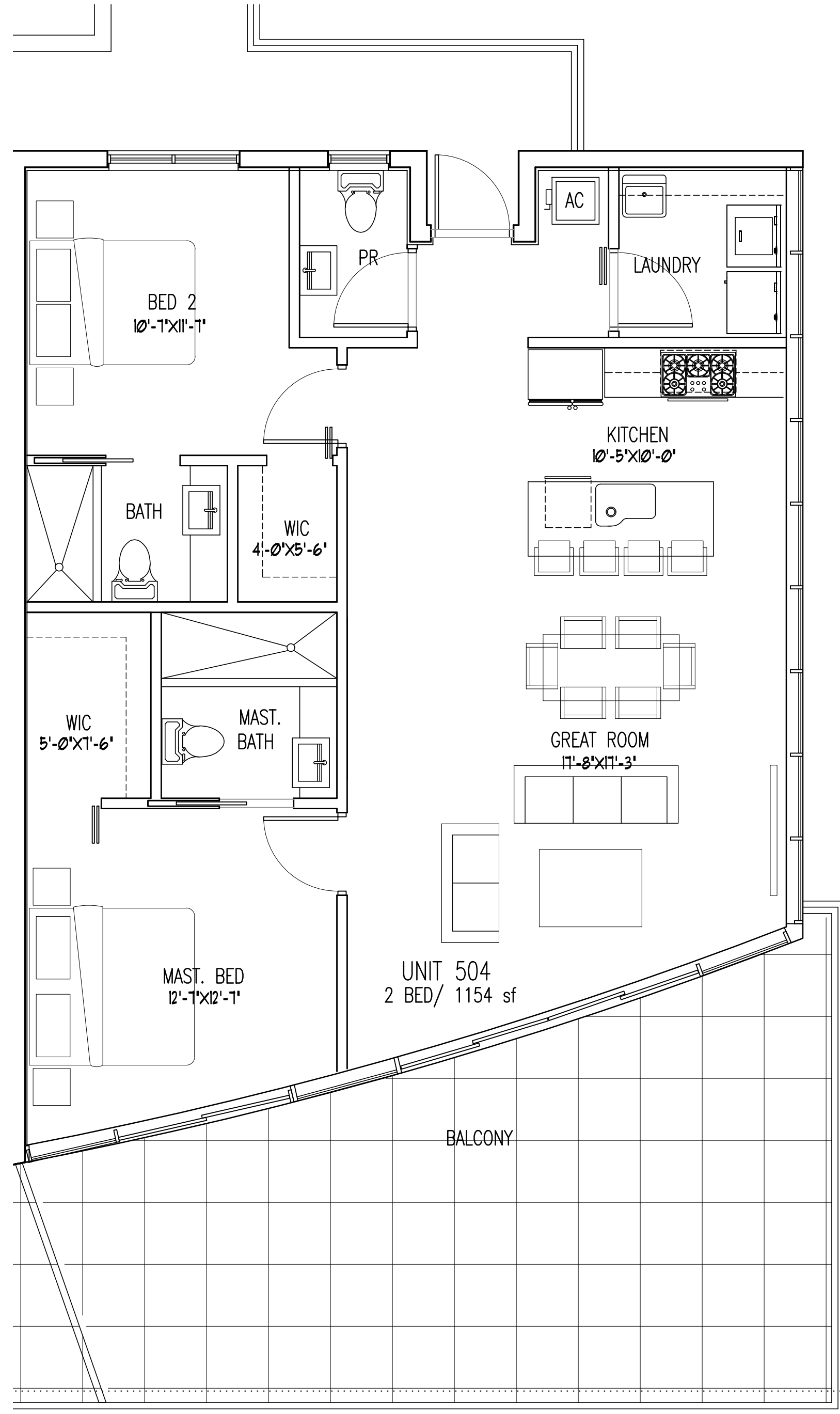
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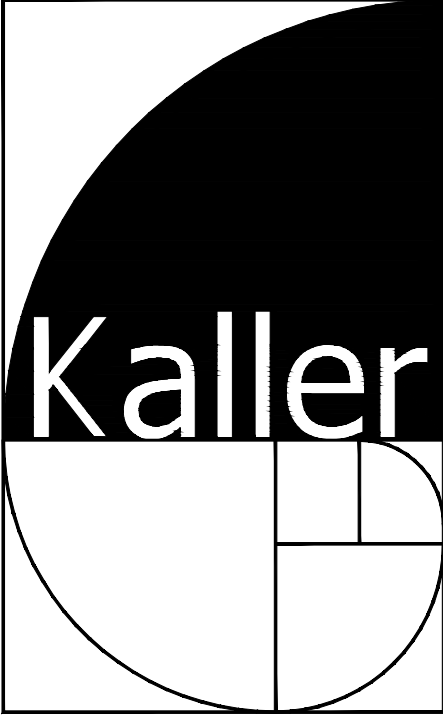
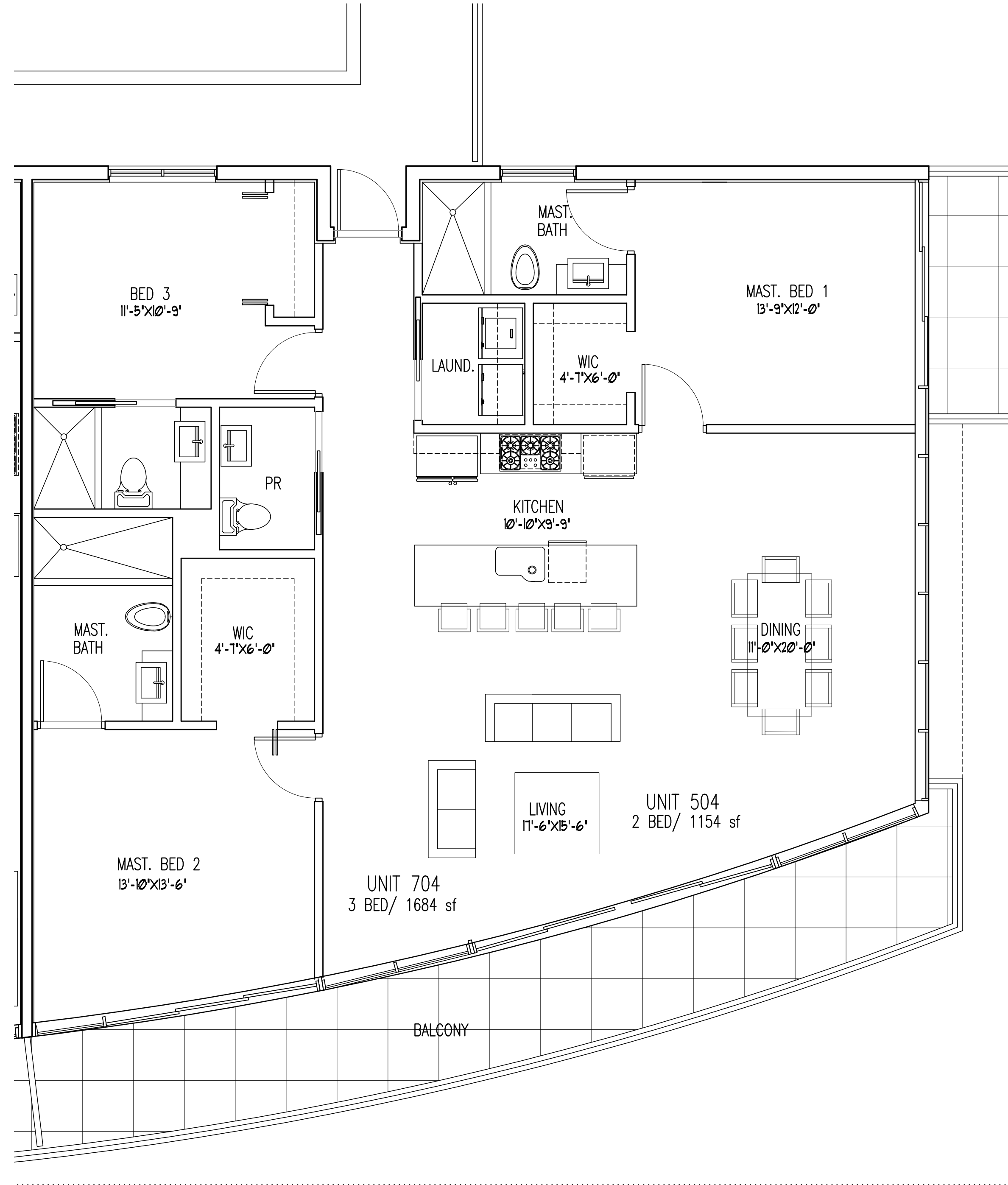
UNIT 501
1 BEDROOM/ 2 BATHROOMS



UNIT 504
2 BEDROOM/ 2 1/2 BATHROOMS



UNIT 704
3 BEDROOM/ 3 1/2 BATHROOMS



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SEAL

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PROJECT TITLE

UNIT BLOW UP PLANS

SHEET TITLE

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DRAWN BY: TMS
CHECKED BY: JBK

SHEET

ATTACHMENT C

Correspondence

Fax to 954 921-3347

Fwd: Hollywood Planning Dept, Hollywood, FL

MM Mark MANCINI <mark@dynamicdesign1.com>

Today, 3:48 PM

Snjezana Bursac ✕

✕ \$ Reply all | v

Inbox

Re: Hearing 5-14-18
Rm. 215
File 18-DPV-19

Mark Mancini | v

Delete Junk | v ...

Mark Mancini

Begin forwarded message:

From: Don Hirschfeld <DHirschfeld@hirschfeldcos.com>

Date: May 13, 2018 at 3:44:48 PM EDT

To: "Mark Mancini (Mark@dynamicdesign1.com)" <Mark@dynamicdesign1.com>

Subject: Hollywood Planning Dept, Hollywood, FL

Planning and zoning board Room 315
Hollywood, FL 33020

Re: File 18-DPV-19, 3319 N. Ocean Dr.
Hollywood, FL
Application of VVG Real Estate Investments, LLC

To Whom It May concern,

I would like to express my objection to the proposed zoning variance on the above referenced property.

I currently reside at the Villas of Positano apartment 8A and have been a resident there since 2007. Prior to moving to Positano we resided for 25 years at the Hallmark apartments, unit 1823. During the 25 years we endured construction of the Diplomat resort and the disruption to S. Ocean Drive. We witnessed the development of hi rise buildings such as Diplomat Towers, Ocean Palms, Trump Hollywood, Beach Club Triple Towers and the accompanying increase in traffic. To escape these disruptions we moved to Positano. We were attracted by the old Hollywood flavor of primarily low rise properties and uncrowded beaches.

We objected to the increase in height of the Positano Beach building as an unnecessary increase in density. This project is similar in nature which, if approved will cram on a site smaller than Positano Beach double the number of units. These units will impact our ability to exit Thomas Street which is currently a terrible risk when exiting into the flow of traffic. The lack of any traffic control between Johnson St. and Sheridan Street makes exiting dangerous and has been the cause of numerous accidents at that intersection.

The proposed building has minimal setback from Ocean Drive further obstructing visibility and will increase the danger of pedestrians on Surf Road where a 7 story Wall will produce a wind tunnel and block visibility of New Hampshire St.

The way of life we have enjoyed is constantly under attack by proposed variances which were established to control density in this area.

MAY 14 '18 4:53P

FILED IN 18-035

Please turn down this requested variances.

Thank you,

Helene and Ronald Hirschfeld
954-922-1942

MAY 14 '18 9:32

MAY 14 '18 9:32

ACTIVITY REPORT

TIME : 05/14/2018 00:00
 NAME :
 FAX :
 TEL :
 SER.# : BROF5J295897

NO.	DATE	TIME	FAX NO./NAME	DURATION	PAGE(S)	RESULT	COMMENT
	05/13	16:08		36	02	OK	RX ECM

BUSY: BUSY/NO RESPONSE
 NG : POOR LINE CONDITION / OUT OF MEMORY
 CV : COVERPAGE
 PDL : POLLING
 RET : RETRIEVAL

MAY 14 '18 am 9:32

MAY 14 '18 am 9:32

HAND
DELIVERED

May 9, 2018

Planning Division, Room: 315

City of Hollywood

2600 Hollywood Boulevard

Hollywood, Florida 33020

RE: Pet. # 18-DPV-19

Hearing 5/14/18, 1:30

Gentlemen:

Please be advised that I am a resident at the neighboring Villas of Positano, and I had been a five-year Member of the Board of Director's. My apartment is located on the top floor of the Southwest corner of Positano, and I am one of the few residents who will be directly impacted by the construction of the proposed project. My unit is also one of the four the highest valued in Positano, and I am also one of the largest taxpayer's, @ \$53,000. annually.

Please enter this letter of "objection" into the minutes of the planning and zoning meeting. I am in favor of a residential project to be constructed on the subject property. However, to be perfectly clear, I am "Not in favor of granting any Variance" whatsoever. Especially as it would relate to a request for an increase in "height". The current zoning is sufficient, and any additional increase would severely obstruct my views, and impact the resale value of my property, currently valued by the Broward County Property Assessor at approximately \$2,500,000.00. A Variance should only be granted in the case of extreme hardship, provided it would not interfere with the interests of any specific neighboring resident. In this case, there is no hardship whatsoever. The request is merely to increase the

MAY 9 2018 3:18

profitability of the foreign citizen developing this project. This is my primary domicile, and I am a 50-year resident of Dade and Broward Counties, and a real estate property taxpayer of 2 properties in Broward County and 1 in Dade County.

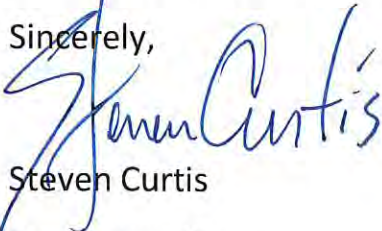
In conclusion, I specifically request that the petition, in its entirety be "denied".

The developer is perfectly capable of developing the property within the current allowable zoning.

I request that a copy of the Minutes of this meeting, and all future discussions, petitions, meeting, hearings, proceedings, be sent to me directly, and that no such variances be approved without my prior knowledge and consent.

Thank you for your kind consideration.

Sincerely,



Steven Curtis

Penthouse One

3501 N. Ocean Drive

Hollywood, Florida 33019

Cc: Mathew Leto, Esq.

Hall, Lamb, Hall, Leto, P.A.

MAY 15 12:00

MAY 9 18:00

Deandrea Moise

From: Bob Glickman <bob@anhrealty.com>
Sent: Monday, June 11, 2018 1:35 PM
To: Leslie A. Del Monte
Cc: Deandrea Moise
Subject: TAC file 18-DPV-19, Against the Height Variance
Attachments: TAC file 18-DPV-19, Deny 7 Story Height Variance Request.pdf

Leslie,

I want to be put officially on the record that I am against the height variance for this proposed development.

Additionally, I submitted the enclosed letter at the meeting and Hollywood Tower's attorney, Mr. Ronald Gossett, has sent a letter and also advised at the meeting, that Hollywood Towers is against the height variance.

When I made a records request for any correspondence for or against the project, these 2 letters were not included in the records I received.

Additionally, the attorney for the developer stated that she had and I believed submitted, letters approving this project from the neighborhood. Those letters as well were not included in the requested documents I received this morning.

I am not sure where the foul up is in this matter but I hope all of the documents are found and submitted prior to this matter moving forward.

Thanks you for your assistance.

Bob
Bob Glickman

Robert Glickman
3111 N. Ocean Drive
Hollywood, FL 33019

May 14, 2018

TAC
City of Hollywood

Ms. Leslie Del Monte
Ms. Deandrea Moise

Re: TAC file 18-DPV-19, **Deny** 7 Story Height Variance Request

Dear TAC Members,

I am requesting that you DENY the height variance request in this application referenced above for the residential project located at 3319 N. Ocean Drive, as it does not comply with neighborhood standards or the Beach Master Plan, in that residential buildings may not be more than five (5) stories in height, in this residential zoned neighborhood, BRT-25-R, which runs from Carolina Street to Thomas Street.

The City of Hollywood already has regulations in place in this neighborhood as to what can be built and the height of those buildings.

As existing property owners, which many may have purchased their properties after the enactment of the height restrictions, we have property rights as well. When we purchased in this residential neighborhood, we knew what the current codes were and purchased our properties and relied on the city codes. This developer should not be treated any differently than the rest of us.

It would be extremely unfair, without any change to the city codes, to allow someone come into this neighborhood now and go against the current codes and violate the property rights of all of the other individuals in this neighborhood.

Furthermore, the subject property was just purchased in April 2016 and when purchased, they knew what was allowed to be built and the height of the buildings in this area. We believe it is disingenuous for them to come before you now and request a height variance when the Beach Master Plan and the neighborhood does not support this height variance.

In the previous TAC meeting documents dated April 16, 2018, the TAC comments In the TAC notes from Zoning, B 2, it says:

"Height variances are **not** typically supported by Staff in this area. Provide justification for height variance for Staff review with next submittal."

TAC notes for this meeting are silent on this issue for supporting a height variance.

Question: What is the TAC justification for supporting a height variance at this time and what is their hardship in making this request, per the Beach Master Plan, page 18?

General Criteria: Scale/Massing

The immediate surrounding buildings to the subject property are the following:

323 New Mexico –	2 story
3405 N Ocean Drive –	2 story
3220 N Surf Road –	1 story
3411 N Surf Road –	2 story
314 New Hampshire –	2 story
3400 N Surf Road –	3 story
3400 N Ocean Drive –	3 story
3201 N Surf Road -	4 story
311 Liberty Street -	2 story

There are 2 Positano buildings at the 7 story level at the north end of this residential district, and which this property was purchased prior to 2004 by the developer Hollywood Ocean Group LLC and before the 5 story height limit from the Beach Master Plan was established.

Another building, Hollywood Towers, at 3111 N. Ocean Drive, was built in the mid 1960's and prior to the Beach Master Plan or any height restrictions. It is over 5 stories and located in the middle of this residential neighborhood.

Another building, the Marriott is over 5 stories in the southern end of this residential neighborhood but not part of the neighborhood and which was built in the early 1970's, prior to the Beach Master Plan and the current zoning and height restrictions, at 5 stories.

Question: The residents are also concerned with the proximity of this project to the major intersection of Sheridan Street and A1A and we inquire if a traffic study has been done to ensure the safety of the residents both in vehicles and those that need to cross the street from the properties on the west side of A1A, directly across from the subject property?

According to the beach code enforcement officer, John Weitzner, there are open code violations on this property.

Question: How can this submittal move forward and proceed while there are open, unresolved code violations on this property?

Again, I request that you deny this height variance in this residential neighborhood as it is not supported by staff in their April 16, 2018 TAC notes, by the Beach Master Plan or by the neighbors in this neighborhood.

Respectfully Submitted by,

Bob
Bob Glickman
BobGlickman@att.net

HAND
DELIVERED

May 9, 2018

Planning Division, Room: 315

City of Hollywood

2600 Hollywood Boulevard

Hollywood, Florida 33020

RE: Pet. # 18-DPV-19

Hearing 5/14/18, 1:30

Gentlemen:

Please be advised that I am a resident at the neighboring Villas of Positano, and I had been a five-year Member of the Board of Director's. My apartment is located on the top floor of the Southwest corner of Positano, and I am one of the few residents who will be directly impacted by the construction of the proposed project. My unit is also one of the four the highest valued in Positano, and I am also one of the largest taxpayer's, @ \$53,000. annually.

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MAY 9 2018 3:18

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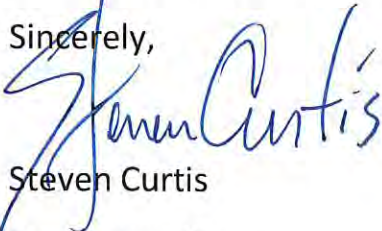
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Thank you for your kind consideration.

Sincerely,



Steven Curtis

Penthouse One

3501 N. Ocean Drive

Hollywood, Florida 33019

Cc: Mathew Leto, Esq.

Hall, Lamb, Hall, Leto, P.A.

MAY 15 12:00

MAY 9 18:00



Robert L. Gossett
Ronald P. Gossett

Gossett & Gossett, P.A.
Attorneys at Law

BobGossett@gossettlaw.com
RonGossett@gossettlaw.com
www.gossettlaw.com

May 8, 2018

Mayor Josh Levy
P. O. Box 229045
Hollywood, FL 33022-9045
jlevy@hollywoodfl.org

Com. Traci L. Callari
P. O. Box 229045
Hollywood, FL 33022-9045
tcallari@hollywoodfl.org

Com. Kevin D. Biederman
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kbiederman@hollywoodfl.org

Com. Richard Blattner
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Hollywood, FL 33022-9045
rblattner@hollywoodfl.org

Vice-Mayor Debra Case
P. O. Box 229045
Hollywood, FL 33022-9045
dcase@hollywoodfl.org

Com. Linda Sherwood
P. O. Box 229045
Hollywood, FL 33022-9045
lsherwood@hollywoodfl.org

Com. Peter D. Hernandez
P. O. Box 229045
Hollywood, FL 33022-9045
phernandez@hollywoodfl.org

Re: Opposition to any variance on height restrictions for development of property at
3319 N. Ocean Drive
File No.: 18-DPV-19
Applicant: VVG Real Estate Investments, LLC

Ladies and Gentlemen:

The undersigned (a native of Hollywood) represents Hollywood Towers Condominium Association, Inc., in connection with certain matters, including the opposition by the owners at Hollywood Towers to any variance on height restrictions for the development of property at 3319 N. Ocean Drive.

RECEIVED

JUN 13 2018

**CITY OF HOLLYWOOD
PLANNING DIVISION**

HAND DELIVERED

City Commissioners
City of Hollywood
May 8, 2018
Page 2

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City Commissioners
City of Hollywood
May 8, 2018
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[None of the enumerated uses applies.]

§ 73.013, FLA. STAT. (2015)

My clients are so committed to the defeat of any proposal to build a non-conforming building on this parcel, that they are prepared to pull the trigger on an inverse condemnation action against the City in the event variances are issued.

Come, Let Us Reason Together

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*City Commissioners
City of Hollywood
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Spinner by & through Spinner v. Wainer, 430 So. 2d 595, 596 (Fla. Dist. Ct. App. 1983).

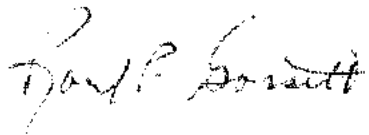
So much effort has gone into the creation and implementation of the Comprehensive Plan that it would be an anathema not to require compliance by a developer—including the developer of this property. You would be doing a disservice to the Planning Council by failing to constrain the development of this property to the confines of the Comprehensive Plan.

I am providing a copy of this letter to the developer, and his architect, as a matter of courtesy—so that they will know of the adamancy with which the owners of Hollywood Towers oppose the planned development. Thank you for your service to our City.

Should you need any additional information, please contact me.

Sincerely,

Gossett & Gossett, P.A.



Ronald P. Gossett

CC: Vadim Gataullin
VVG Real Estate Investment, LLC
Alan Forgea
Board of Directors, Hollywood Towers Condominium Association, Inc.

RPG/ms

D:\OneDrive - Gossett & Gossett, P.A.\Shared\HT and VVG Hotel App\Letters\2018 05 08 Letter to Commissioners.wpd

Fax to 954 921-3347

Fwd: Hollywood Planning Dept, Hollywood, FL

MM

Mark MANCINI <mark@dynamicdesign1.com>

Today, 3:48 PM

Snjezana Bursac ✕

✕ \$ Reply all | v

Inbox

Re: Hearing 5-14-18
Rm. 215
File 18-DPV-19

Mark Mancini | v

Delete Junk | v ...

Mark Mancini

Begin forwarded message:

From: Don Hirschfeld <DHirschfeld@hirschfelddcos.com>

Date: May 13, 2018 at 3:44:48 PM EDT

To: "Mark Mancini (Mark@dynamicdesign1.com)" <Mark@dynamicdesign1.com>

Subject: Hollywood Planning Dept, Hollywood, FL

Planning and zoning board Room 315
Hollywood, FL 33020

Re: File 18-DPV-19, 3319 N. Ocean Dr.
Hollywood, FL
Application of VVG Real Estate Investments, LLC

To Whom It May concern,

I would like to express my objection to the proposed zoning variance on the above referenced property.

I currently reside at the Villas of Positano apartment 8A and have been a resident there since 2007. Prior to moving to Positano we resided for 25 years at the Hallmark apartments, unit 1823. During the 25 years we endured construction of the Diplomat resort and the disruption to S. Ocean Drive. We witnessed the development of hi rise buildings such as Diplomat Towers, Ocean Palms, Trump Hollywood, Beach Club Triple Towers and the accompanying increase in traffic. To escape these disruptions we moved to Positano. We were attracted by the old Hollywood flavor of primarily low rise properties and uncrowded beaches.

We objected to the increase in height of the Positano Beach building as an unnecessary increase in density. This project is similar in nature which, if approved will cram on a site smaller than Positano Beach double the number of units. These units will impact our ability to exit Thomas Street which is currently a terrible risk when exiting into the flow of traffic. The lack of any traffic control between Johnson St. and Sheridan Street makes exiting dangerous and has been the cause of numerous accidents at that intersection.

The proposed building has minimal setback from Ocean Drive further obstructing visibility and will increase the danger of pedestrians on Surf Road where a 7 story Wall will produce a wind tunnel and block visibility of New Hampshire St.

The way of life we have enjoyed is constantly under attack by proposed variances which were established to control density in this area.

MAY 14 '18 4:53P

FILED IN 18-035

Please turn down this requested variances.

Thank you,

Helene and Ronald Hirschfeld
954-922-1942

MAY 14 '18 9:32

MAY 14 '18 9:32

ACTIVITY REPORT

TIME : 05/14/2018 00:00
 NAME :
 FAX :
 TEL :
 SER.# : BROF5J295897

NO.	DATE	TIME	FAX NO./NAME	DURATION	PAGE(S)	RESULT	COMMENT
	05/13	16:08		36	02	OK	RX ECM

BUSY: BUSY/NO RESPONSE
 NG : POOR LINE CONDITION / OUT OF MEMORY
 CV : COVERPAGE
 PDL : POLLING
 RET : RETRIEVAL

MAY 14 '18 am 9:32

MAY 14 '18 am 9:32

Deandrea Moise

From: Leslie A. Del Monte
Sent: Wednesday, July 18, 2018 8:26 PM
To: Deandrea Moise
Subject: FW: TAC file 18-DPV-19 at 3319 N. Ocean Drive
Attachments: 2018 05 08 Letter to Commissioners.pdf

-----Original Message-----

From: Joe Marshall [mailto:jmarshall@anhrealty.com]
Sent: Wednesday, June 13, 2018 1:07 AM
To: Leslie A. Del Monte
Subject: TAC file 18-DPV-19 at 3319 N. Ocean Drive

Hello Ms. Delmonte,

It has come to my attention that you may not have the letter sent on behalf of our association responding to the proposed development at:
3319 N. Ocean Drive.

This letter was sent to city officials and the developer on May 8, 2018. I believe this should be included in the public records related to the project. Please let me know if this will be included or not.

Thanks

Joe Marshall
Hollywood Towers Condo Association, President

Direct: 954-559-4162 | Fax: 888-552-7273
Email: jmarshall@anhrealty.com

CONFIDENTIALITY NOTE: The information contained in this transmission is privileged and confidential information intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are asked not to read it. You are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. Please immediately reply to the sender that you have received this message in error and delete the original message. If you have received this message in error, please accept my apologies. Thank you.

-----Original Message-----

From: Ronald Gossett <rongossett@gossettlaw.com>
Sent: Tuesday, May 8, 2018 11:06 AM
To: Josh Levy <JLEVY@hollywoodfl.org>; tcallari@hollywoodfl.org; kbiederman@hollywoodfl.org; rblattner@hollywoodfl.org; dcase@hollywoodfl.org; lsherwood@hollywoodfl.org; phernandez@hollywoodfl.org
Subject: TAC file 18-DPV-19



Robert L. Gossett
Ronald P. Gossett

Gossett & Gossett, P.A.

Attorneys at Law

BobGossett@gossettlaw.com
RonGossett@gossettlaw.com
www.gossettlaw.com

May 8, 2018

Mayor Josh Levy
P. O. Box 229045
Hollywood, FL 33022-9045
jlevy@hollywoodfl.org

Com. Kevin D. Biederman
P. O. Box 229045
Hollywood, FL 33022-9045
kbiederman@hollywoodfl.org

Vice-Mayor Debra Case
P. O. Box 229045
Hollywood, FL 33022-9045
dcase@hollywoodfl.org

Com. Peter D. Hernandez
P. O. Box 229045
Hollywood, FL 33022-9045
phernandez@hollywoodfl.org

Com. Traci L. Callari
P. O. Box 229045
Hollywood, FL 33022-9045
tcallari@hollywoodfl.org

Com. Richard Blattner
P. O. Box 229045
Hollywood, FL 33022-9045
rblattner@hollywoodfl.org

Com. Linda Sherwood
P. O. Box 229045
Hollywood, FL 33022-9045
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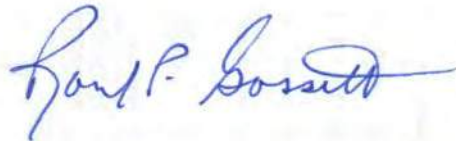
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Should you need any additional information, please contact me.

Sincerely,

Gossett & Gossett, P.A.

A handwritten signature in blue ink, reading "Ronald P. Gossett". The signature is fluid and cursive, with the first name "Ronald" and last name "Gossett" clearly legible.

Ronald P. Gossett

CC: Vadim Gataullin
VVG Real Estate Investment, LLC
Alan Forgea
Board of Directors, Hollywood Towers Condominium Association, Inc.

RPG/ms

D:\OneDrive - Gossett & Gossett, P.A.\Shared\HT and VVG Hotel App\Letters\2018 05 08 Letter to Commissioners.wpd

Deandrea Moise

From: Leslie A. Del Monte
Sent: Wednesday, July 18, 2018 8:26 PM
To: Deandrea Moise
Subject: FW: TAC File 18-DPV-19 – Against Height Variance

From: Manuel Pissanos [mailto:mpissanos@gmail.com]
Sent: Tuesday, June 12, 2018 12:53 PM
To: Leslie A. Del Monte
Cc: Josh Levy; Linda Sherwood; Debra Case; Richard Blattner; Peter Hernandez; Kevin Biederman; Traci Callari
Subject: TAC File 18-DPV-19 – Against Height Variance

Dear Leslie,

On June 4, 2018, at 7 pm, at Hollywood Towers Condominium located at 3111 N. Ocean Drive a presentation was made by the development team of VVG Real Estate, Joseph Kaller, Alan Forgea and attorney Debbie Orshefsky, regarding their project called "Beachside Residences" located at 3319 N. Ocean Drive.

During the meeting Mrs. Orsheskey was asked about the Scott Street hotel project. Originally it was for a 7 story hotel and then morphed into a 19 story hotel some time ago. Mrs. Orshefskey now stated that this project is off the table. She further stated that as a land use and zoning attorney, that it didn't meet any of the criteria for a height variance and that as long as she was the developers attorney she would not recommend for this hotel to be built over 5 stories as it did not meet the 6 required criteria for a variance under the comprehensive land use plan or beach neighborhood plan.

My personal opinion is that the city must continue to be extremely cautious of any variances to avoid what is happening in Sunny Isles. The traffic and quality of life has deteriorated substantially (my mom lives there) and this is not aligned with the spirit of our Hollywood long term master plan. Additionally If the design of the proposed residence building were changed to eliminate the atrium and adjust the offsets a bit along along with less parking density (still within the requirement), it may very well be that more units could be designed into 5 stories while maintaining the same total amount of units. Has this been looked at? On the positive side, I was happy to see that the public parking / commercial proposal was taken off the table for this proposal. If we can just get it down to 5 stories it would be great for all beach residents!

Kind Regards,
Manuel Pissanos
Hollywood Towers
3111 N Ocean Dr #405

Ladies and Gentlemen,

Please see the attached letter concerning proposed development of 3319 N. Ocean Drive. The matter is scheduled before the TAC on May 14, at 1:30 p.m.

Ron Gossett

Ronald P. Gossett
rongossett@gossettlaw.com<mailto:rongossett@gossettlaw.com>

[Description: Description: Business Card]

954.983.2828

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Deandrea Moise

From: Leslie A. Del Monte
Sent: Wednesday, July 18, 2018 7:55 PM
To: Deandrea Moise
Subject: FW:

Importance: High

From: Michele Sherriton [mailto:miclinshe@hotmail.com]
Sent: Wednesday, July 18, 2018 7:36 PM
To: Leslie A. Del Monte
Cc: Josh Levy; Traci Callari; Debra Case; Linda Sherwood; Peter Hernandez; Richard Blattner; Kevin Biederman
Subject:
Importance: High

**RE: TAC FILE 18-DPV -- AGAINST HEIGHT VARIANCE
for 3319 N Ocean Drive**

This letter originally sent June 18, 2018 at 7:00pm. Not sure if you received it since never acknowledged.

I'm writing to urge you not to grant the requested height variance for this project because it does not fulfill the variance criteria. This is not about harmoniously joining the neighborhood, but about maximizing profit. There is no validation for either comprehensive land use or beach neighborhood plan.

Former Mayor Peter Bob vowed he would curtail further large development at this end of the beach which is almost entirely residential and capped at five stories. As it is now, there is very little curb side parking for either guests or beach-goers. Their building, while serving itself, will not contribute to the neighborhood.

Knowing about the height restriction, VVG still bought the land with an agreement to provide 40 parking spaces and a separate pool for the condo-hotel on the beach who were the sellers. This is a direct challenge to the City of Hollywood, and shows disdain for the neighborhood. All neighboring residences are against the variance being granted. (Obviously not those who get paid and upgraded facilities).

The structure is out of sync with the surroundings which are renovated Hollywood Beach style buildings. At 5 stories it would be part of the landscape. Larger, it will be an aberration that looks like it belongs somewhere else.

The charm and simplicity of this neighborhood reflects the beauty of Hollywood Beach and should not be for sale. Also, VVG owns the land parcel between Scott and Missouri Sts., where he runs a private parking facility, just about the only place to park for the beach at \$5.00/hour. Cui bono?

Thank you for your attention to this matter. Please help us maintain the integrity of our neighborhood!

Respectfully,

Michele Sherriton
Hollywood Towers
3111 N Ocean Drive

**CITY OF HOLLYWOOD, FLORIDA
MEMORANDUM
DEPARTMENT OF DEVELOPMENT SERVICES
DIVISION OF PLANNING AND URBAN DESIGN**

DATE: October 11, 2018 **MEMO NO.:** P-18-15

TO: Planning and Development Board

FROM: Leslie A. Del Monte, Planning Manager

SUBJECT: Continued item from the September 6, 2018 meeting (18-DPV-19, Beachside Residences)

EXPLANATION:

This item was continued time and date certain to the October 11, 2018, Planning and Development Board meeting.