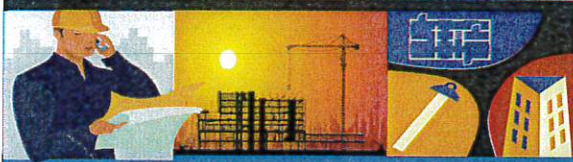


ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: _____

Location Address: 4151 N 29th Ave
Lot(s): _____ Block(s): _____ Subdivision: SOUTH FL INDUSTRIAL

Folio Number(s): 514209040082

Zoning Classification: IM1 Land Use Classification: Industrial

Existing Property Use: VACANT Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Yes, Project 19-DP-55

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: SOCCER FIELD

Number of units/rooms: _____ Sq Ft: _____

Value of Improvement: 280000 Estimated Date of Completion: _____

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: 4151 Property LTD

Address of Property Owner: 4151 N 29th Ave Hollywood FL 33020

Telephone: 954-920-7100 Fax: _____ Email Address: ACCOUNTS@4151FL.COM

Name of Consultant/Representative/Tenant (circle one): Leonardo TRZOPKOWSKI

Address: 1124 NE 7th Aventura Beach Telephone: 386 667 2789

Fax: _____ Email Address: VOGLINPIZZA19@GMAIL.COM

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

PRINT NAME: Rafael Salazar

Date: 12/03/19

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: LEONARDO PRZEPORCYN

Date: 12/23/19

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public

Print Name

State of Florida

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____

LEGAL DESCRIPTION:

THAT PORTION OF PARCEL "E", SOUTH FLORIDA INDUSTRIAL PARK, PLAT BOOK 63, PAGE 38, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBE AS FOLLOW;
BEGINNING AT THE NORTHWEST CORNER OF PARCEL "E", RUN NORTH 89°41'47" EAST ALONG THE NORTH LINE OF PARCEL "E" 369.69 FEET; THENCE, SOUTH 00°18'13" EAST 300.00 FEET; THENCE SOUTH 89°41'47" WEST 338.13 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25 FEET AND CENTRAL ANGLE OF 87°21'03" AND ARC DISTANCE OF 38.11 FEET TO A POINT OF TANGENCY ON THE WEST LINE OF PARCEL "E"; THENCE, NORTH 02°57'10" WEST ALONG SAID WEST LINE 148.43 FEET TO A POINT OF CURVATURE; THENCE, CONTINUE NORTHERLY ALONG SAID WEST LINE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 460 FEET AND CENTRAL ANGLE OF 03°04'05" AND ARC DISTANCE OF 24.63 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°06'55" EAST ALONG SAID WEST LINE 103.25 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 2.530 ACRES.



To the city of Hollywood Florida.,

Thank you for the chance of building our
Voglio Soccer fields on your city ,
at 4151 North 29th Avenue, in the city of Hollywood, Florida 33020.

Our team of qualified and experience designers, general construction and sports operations experts have been assembled to capitalize on the specific knowledge, skills and abilities of each firm and individual. As professionals we are passionate about improving communities that promote health of mine, body and spirit.

We have summarized below our goal objectives and expectations for this project for your best understanding:

The plan is to create 3 (three) soccer fields, with half shade roof, fence and lighting to lure and host young and adult soccer leagues, tournaments and other events. The plan will also include 2 (two)restrooms women's and gentlemen , a kid playground and an office of 600 (six hundred) sf , with an area for drink and snacks ,

The area in will be build by All aspects of the plan will meet all applicable codes from the city of Hollywood (local, state and federal) and regulations.

Between the fields, as you can see on the sketch, there will be a dividing with meshes each soccer field with benches for the players and visitors. The front and left side of the property will be used and design for parking spaces.

The construction of the project will take approximately 8 months to be completed. It will start as soon as all the city permits are obtained. As we already have our team working on their specific duties. Please find their information below, and feel free to contact them with any concerns that you may have.

General Contractor – AJC Builders
Enrique Adrian Krauskopf
Office: (305) 332-0355

Engineering – Ganem Consulting Enginnering
Alioskar Ganem
Cell: (786)487-4401
Office: (786)916-6546

DESIGN SOCCER FIELD

4151 N 29th AV

ARQUITECTURAL AND DESIGN COMPONENTS:

The elements chosen for this project are chosen taking into account the relationship with the existing architectural environment. using traditional materials such as stucco and new materials such as the tile with wood texture, as a contribution of the current architecture.

COMPATIBILITY:

The use of traditional materials, such as new ones, show respect for the existing architecture as well as for the new one. the architecture proposed in the site combines perfectly with the existing neighboring architecture, since it will handle a geometrical similarity and colors that contrast with the neighbors.

SCALE/MASSING:

The architecture reflects a simple volumetric mass, similar to the neighboring structures, but unlike these, the volume is a little lower, since the project does not merit a larger size, the volumetric covers less land than required since the project itself develops in the flat area, the roof with a single inclination and eaves give a modern touch, the doors and windows play a simple role in the building.

LANDSCAPING:

The lot does not have trees, but lends itself to develop an area to plant and give a new environment to the neighborhood.



2851 EVANS STREET (EAST PROPERTY)



4035 N. 29 AVENUE (SOUTH PROPERTY)



SUBJECT PROPERTY



SUBJECT PROPERTY

REVISIONS	DATE
1	09/24/2019
2	10/24/2019
3	11/18/2019

Project No:	AS NOTED
Scale:	06-01-2019
Date:	A.G.
Drawn:	A.G.
Checked:	
CAD File:	

Drawing Title:

CS-1

Sheet No: OF

SOCCER FIELD

PROJECT ADDRESS: 4151 N 29th AVE,
HOLLYWOOD, 33020

SCOPE OF WORK

NEW SOCCER FIELD
NEW (33) PARKING SPACES
NEW GENERAL AREA BUILDING

NAME AREA	AREA
EX. ASPHALT PARKING	23,488 SQFT
NEW ASPHALT PARKING	15,281 SQFT
TOTAL ASPHALT PARKING	38,769 SQFT
EXISTING BUILDING	25,618 SQFT
NEW BUILDING	600 SQFT
TOTAL BUILDING AREA	26,218 SQFT
SOCCER FIELD	29,792 SQFT
REMAINING GREEN AREA	24,513 SQFT
TOTAL LOT AREA	110,203 SQFT

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SP-1 EXISTING SITE PLAN
SP-2 PROPOSED SITE PLAN
SP-3 PROPOSED SITE PLAN water & meter connections
C-1 SITE PLAN PROJECT DATA & NOTES.
C-2 CIVIL DETAILS.
A-1 PROPOSED SOCCER FIELD
A-2 ARCHITECTURE PLAN GENERAL AREA
A-2.1 ARCHITECTURE DETAILS & NOTES.
A-2.2 A.D.A NOTES & DETAILS.
A-3 PROPOSED ELEVATIONS.
A-4 PROPOSED FULL ELEVATIONS.
A-5 3D ELEVATIONS.
A-6 VIEW SOCCER FIELD.
A-7 VIEW SOCCER FIELD.
M-1 MECHANICAL LAYOUT.
M-2 MECHANICAL NOTES & DETAILS.
E-1 ELECTRICAL LAYOUT.
E-2 ELECTRICAL NOTES & DETAILS.
P-1 PLUMBING LAYOUT.
P-2 PLUMBING NOTES & DETAILS.

FLOOD INFORMATION:

Community name and number: Hollywood 125113
Map and panel number: 12011C0566H
Panel date: 08-18-14
Index date: 08-18-14
Flood zone: X(0.2%) & AH
Base flood elevation: 6' NAVD1988

BENCHMARK INFORMATION:

City of Hollywood Benchmark Property pipe at Southeast corner of 29th Avenue and Evans Street
Elevation = 5.95' NAVD1988

Property Information

Folio ID: 5142-04-04-0082
Sub-Division:
Property Address 4151 N 29 AVE HOLLYWOOD, FL
Owner 4151 PROPERTY LTD
Mailing Address 2010 SCOTT ST HOLLYWOOD FL 33020
PA Primary Zone INDUSTRIAL
Primary Land Use Light manufacturing, small equipment manufacturing plants, small machine shops, instrument manufacturing, printing plants

Beds / Baths / Half
Floors
Living Units
Actual Area
Living Area
Adjusted Area
Lot Size
Year Built
Flood Zone
Max Crown Elev.

110,203 SQFT

LEGAL DESCRIPTION:

THAT PORTION OF PARCEL "E", SOUTH FLORIDA INDUSTRIAL PARK, PLAT BOOK 63, PAGE 38, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBE AS FOLLOW:

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THE CLASSIFICATION OF CONSTRUCTION/ALTERATION SHALL BE AS FOLLOWS :

(F.B.C. EXISTING 2017 SECTION 202)

- GENERAL DEFINITIONS

ALTERATION - ANY CONSTRUCTION OR RENOVATION TO AN EXISTING STRUCTURE OTHER THAN A REPAIR OR ADDITION. ALTERATIONS ARE TO BE CLASSIFIED AS LEVEL 1, LEVEL 2, AND LEVEL 3.

(F.B.C. EXISTING 2017 SECTION 503)

- ALTERATION LEVEL 2

(F.B.C. EXISTING 2017 SECTION 404.1)

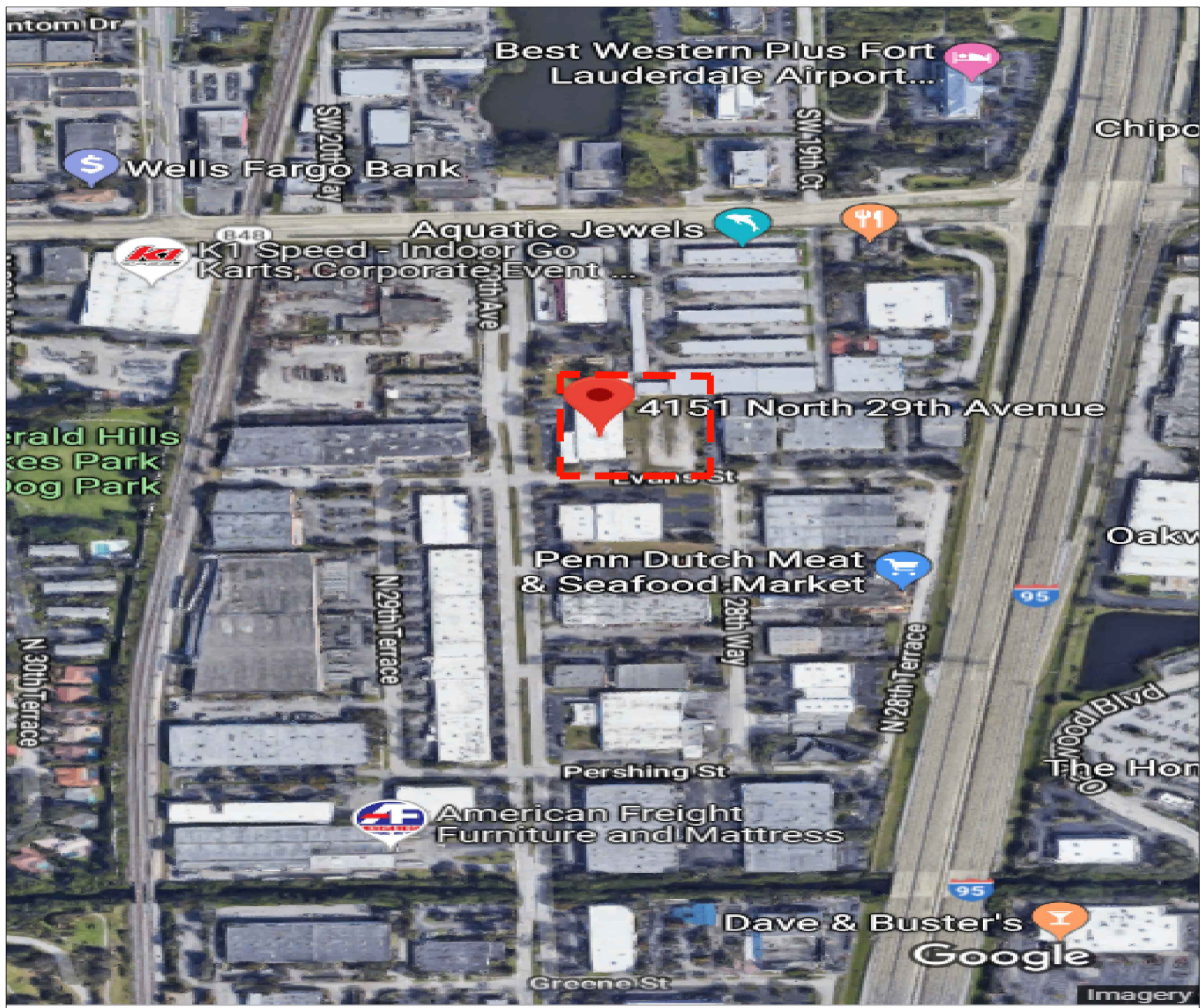
- SCOPE:

505.1 SCOPE. LEVEL 3 ALTERATIONS APPLY WHERE THE WORK AREA EXCEEDS 50 PERCENT OF THE AGGREGATE AREA OF THE BUILDING.

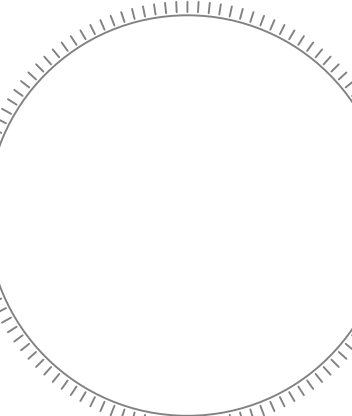
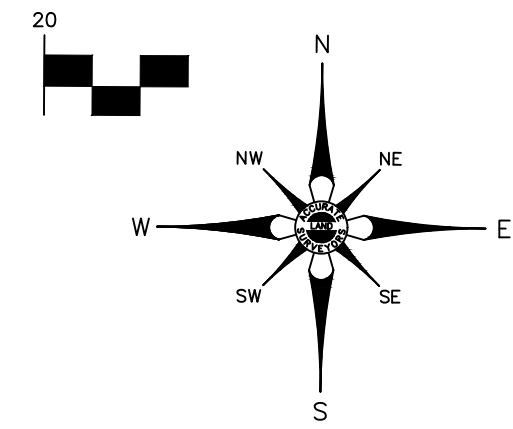
505.2 APPLICATION. LEVEL 3 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 FOR LEVEL 1 AND 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 9.

ZONING LEGEND ZONE I-1

LOT OCCUPATION	REQUIRED	PROVIDED	REMARKS
LOT AREA MIN	15,000 Sq ft	23,988 Sq ft	EXISTING
MAX LOT COVERAGE	4,500 Sq ft (30%)	5,800 Sq ft (24%)	EXISTING
GREEN/OPEN AREA REQ.	---	827 ft (26%)	EXISTING
MIN LOT WIDTH	120 ft	103.4 ft	EXISTING
MIN LOT DEPTH	115 ft	207 ft	EXISTING
BUILDING SETBACKS			
FRONT	15 ft	86.58 ft	EXISTING
INTERIOR SIDE	15 ft	15.1 ft	EXISTING
SIDE STREET	25 ft	N/A	EXISTING
REAR	25 ft	54.6	EXISTING



 LOCATION PLAN
SCALE: NTS

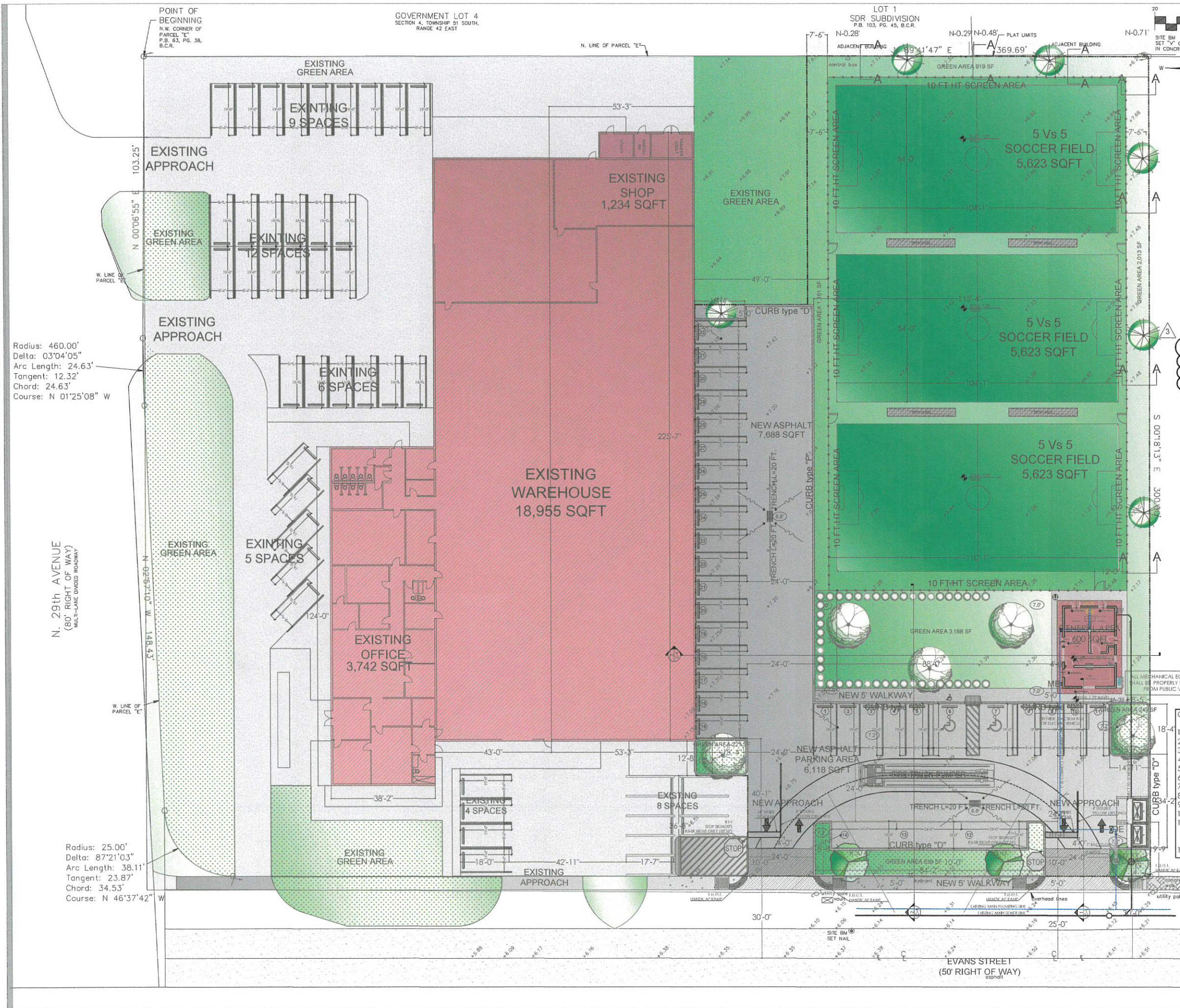


PROJECT NAME:
NEW SOCCER FIELD

PROJECT ADDRESS:
4151 N 29th AVE
OLLYWOOD, FL. 3302

Project No: AS NOTE
Scale: 02-21-201
Date: A.G.
Drawn: A.G.
Checked:
CAD File:

SP-0



EXISTING PARKING ANALYSIS				
USE	AREA (SQ)	1 SPACE (SQ)	PROPOSED	PROVIDED
EXISTING	15,281	152.81	100	100
NEW	15,281	152.81	100	100
TOTAL	30,562	305.62	200	200

SOCCER FIELD PARKING ANALYSIS				
USE	AREA (SQ)	1 SPACE (SQ)	PROPOSED	PROVIDED
EXISTING	15,281	152.81	100	100
NEW	15,281	152.81	100	100
TOTAL	30,562	305.62	200	200

SCOPE OF WORK
NEW SOCCER FIELD
NEW (32) PARKING SPACES
NEW GENERAL AREA BUILDING

NAME AREA	AREA
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NEW BUILDING	600 SQFT
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SOCCER FIELD	20,703 SQFT
REMAINING GREEN AREA	24,513 SQFT
TOTAL LOT AREA	110,203 SQFT

LEGEND	
EXISTING BUILDING	[Pattern]
EXISTING SIDEWALK	[Pattern]
EXISTING GRASS AREA	[Pattern]
NEW CONCRETE WALKWAY	[Pattern]
NEW ASPHALT PAVING	[Pattern]
NEW SIDEWALK	[Pattern]
NEW VEHICULAR RAMP	[Pattern]
EXISTING ELEVATION	+11.62'
NEW ELEVATION	(11.8)
EXISTING TO REMOVE	[Pattern]
NEW ASPHALT PARKING AREA	[Pattern]
BENCHES	[Symbol]
MAIL BOX	MB
DUMPSTER ENCLOSURE	DE

- GREEN BUILDING PRACTICES**
1. Energy Efficient windows.
 2. Energy efficient doors.
 3. Programmable thermostats.
 4. Occupancy/Vacancy sensor.
 5. Electrical vehicle-charging-station infrastructure.
 6. Central air conditioner of 18 seer or higher.
 7. Energy star approved materials.
 8. A energy-efficient outdoor lighting.
 9. Tankless water heater.
 10. Rough-in plumbing for future solar hot water system.
 11. energy performance at least 10% more efficient than standard established by ASHRAE (latest edition). Calculations shall be submitted with permit application.
 12. Recycling dumpster.

NOTES:
1. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING LAND DEVELOPMENT REGULATIONS.2.
2. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.
3. THE MAXIMUM FOOT-CANDLE LEVEL AT THE PROPERTY LINES (MAX 0.5 ALLOWED).



PROJECT NAME:
NEW SOCCER FIELD

PROJECT ADDRESS:
4151 N 29th AVE
HOLLYWOOD, FL. 33020

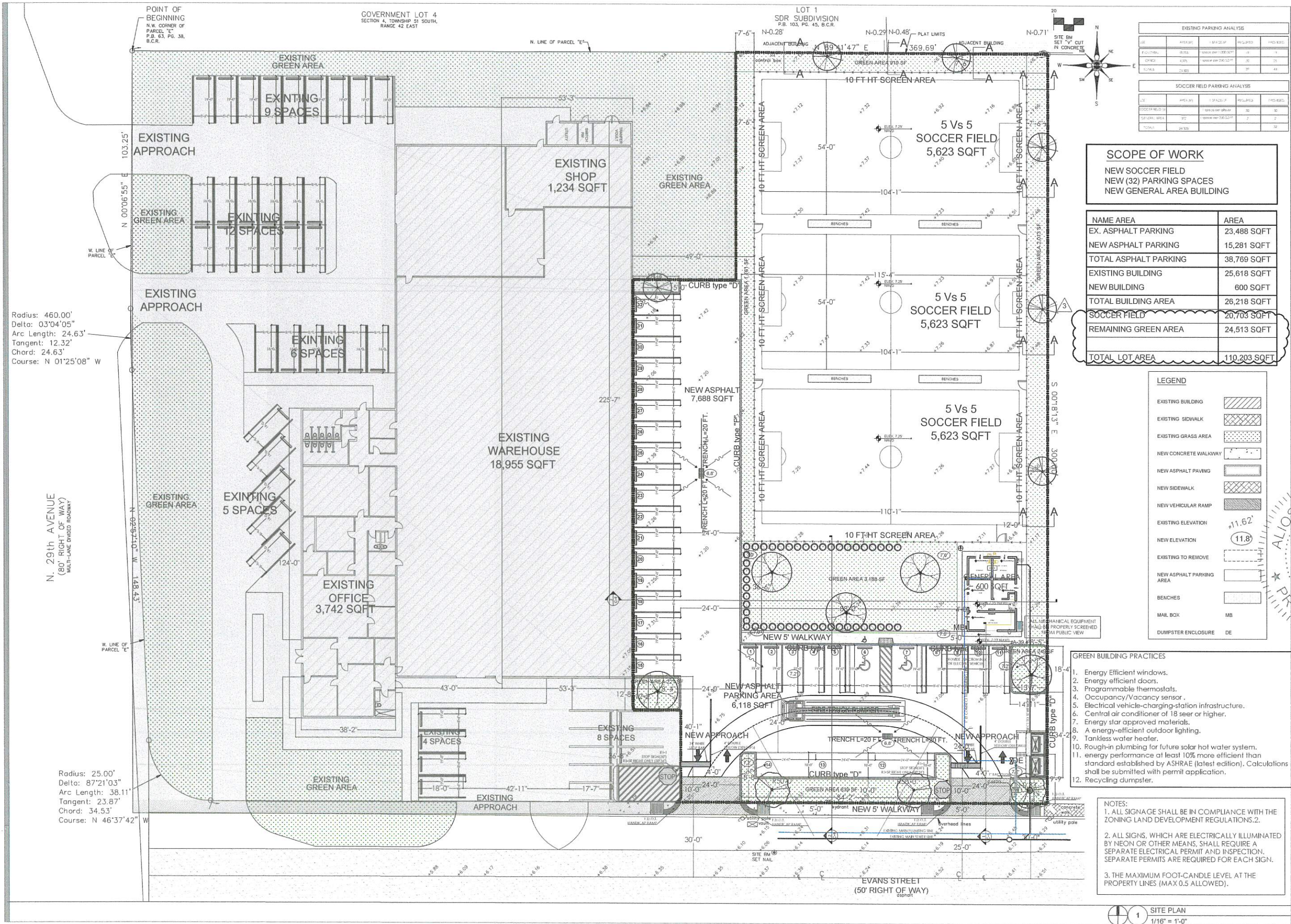
REVISIONS	DATE
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2	10/24/2019
3	11/18/2019

Project No: AS NOTED
Scale: 02-21-2014
Date: A.G.
Drawn: A.G.
Checked:
CAD File:

Drawing Title:

SP-1

SITE PLAN
1/16" = 1'-0"



EXISTING PARKING ANALYSIS				
USE	AREAS	SQ. FT.	PROPOSED	PRODUCED
EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
NEW	NEW	NEW	NEW	NEW
TOTAL	TOTAL	TOTAL	TOTAL	TOTAL

SOCCER FIELD PARKING ANALYSIS				
USE	AREAS	SQ. FT.	PROPOSED	PRODUCED
EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
NEW	NEW	NEW	NEW	NEW
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NEW SOCCER FIELD
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LEGEND

EXISTING BUILDING	
EXISTING SIDEWALK	
EXISTING GRASS AREA	
NEW CONCRETE WALKWAY	
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NEW SIDEWALK	
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BENCHES	
MAIL BOX	MB
DUMPSTER ENCLOSURE	DE

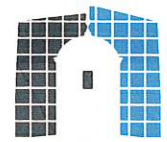
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2. Energy efficient doors.
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4. Occupancy/Vacancy sensor.
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3. THE MAXIMUM FOOT-CANDLE LEVEL AT THE PROPERTY LINES (MAX 0.5 ALLOWED).

1 SITE PLAN
1/16" = 1'-0"

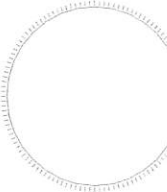


GCE
GANEM CONSULTING ENGINEERING
FL. C.A. #31187 • FL. P.E. #74745
18200 NE. 19th Ave. SUITE 105
NORTH MIAMI BEACH, FL. 33162
TEL: (788) 916-6545
FAX: (305) 848-6318
aloskar@ganemconsultingeng.com

KEY PLAN



CONSULTING ENGINEER



ALIOSKAR GANEM P.E.
FL. LIC. No. 74745

PROJECT NAME:
NEW SOCCER FIELD

PROJECT ADDRESS:
4151 N 29th AVE
HOLLYWOOD, FL. 33020

DATE
11/18/2019

- 1 09/24/2019
- 2 10/24/2019
- 3 11/18/2019

Project No: AS NOTED

Scale: 02-21-2014

Date: A.G.

Drawn: A.G.

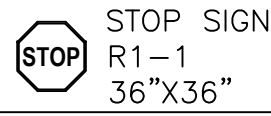
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CAD File:

Drawing Title:

SP-1

Sheet No: 2 OF 2



STOP SIGN
R1-1
36"x36"

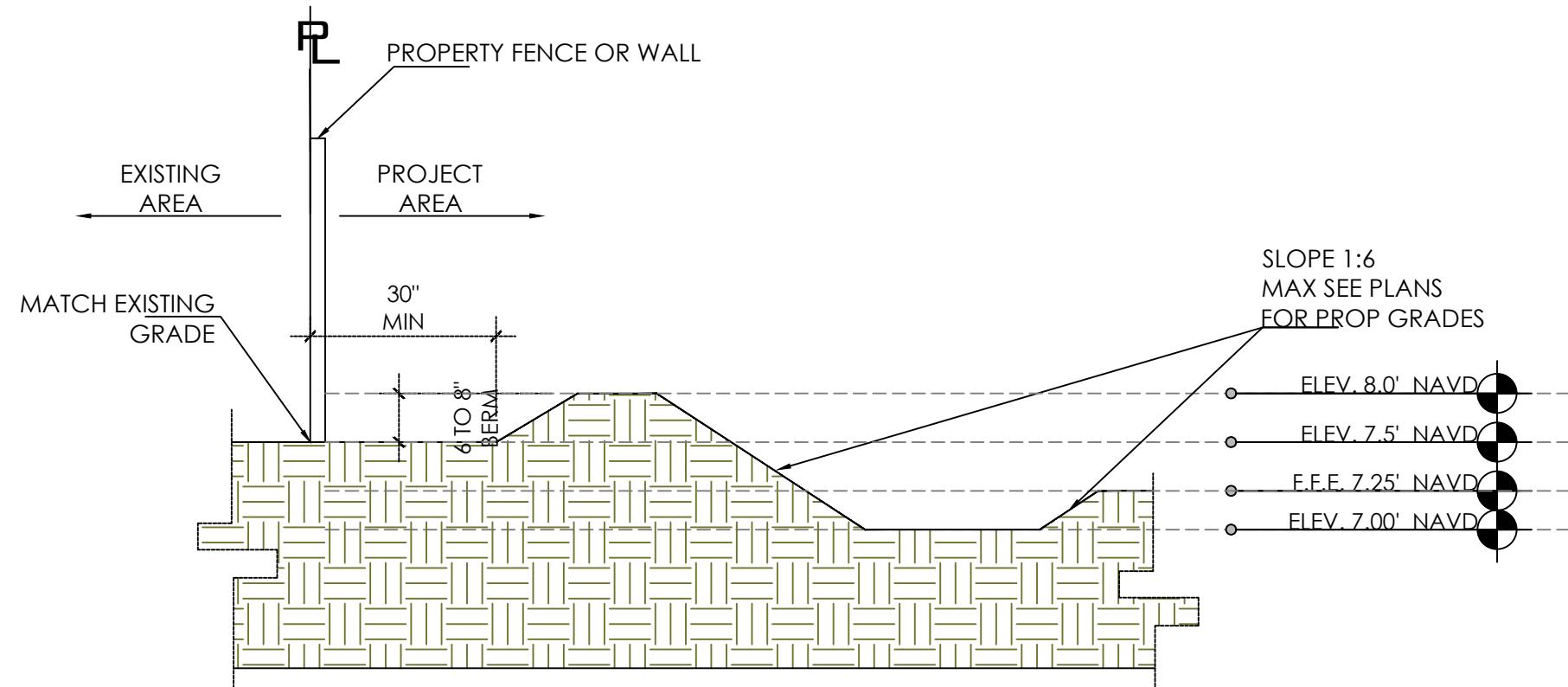
NOTE:
REFER TO FDOT DESIGN STANDARDS
INDEX 17346 SHEET 10 OF 13

ALL FINAL PAVEMENT MARKINGS TO
BE THERMOPLASTIC

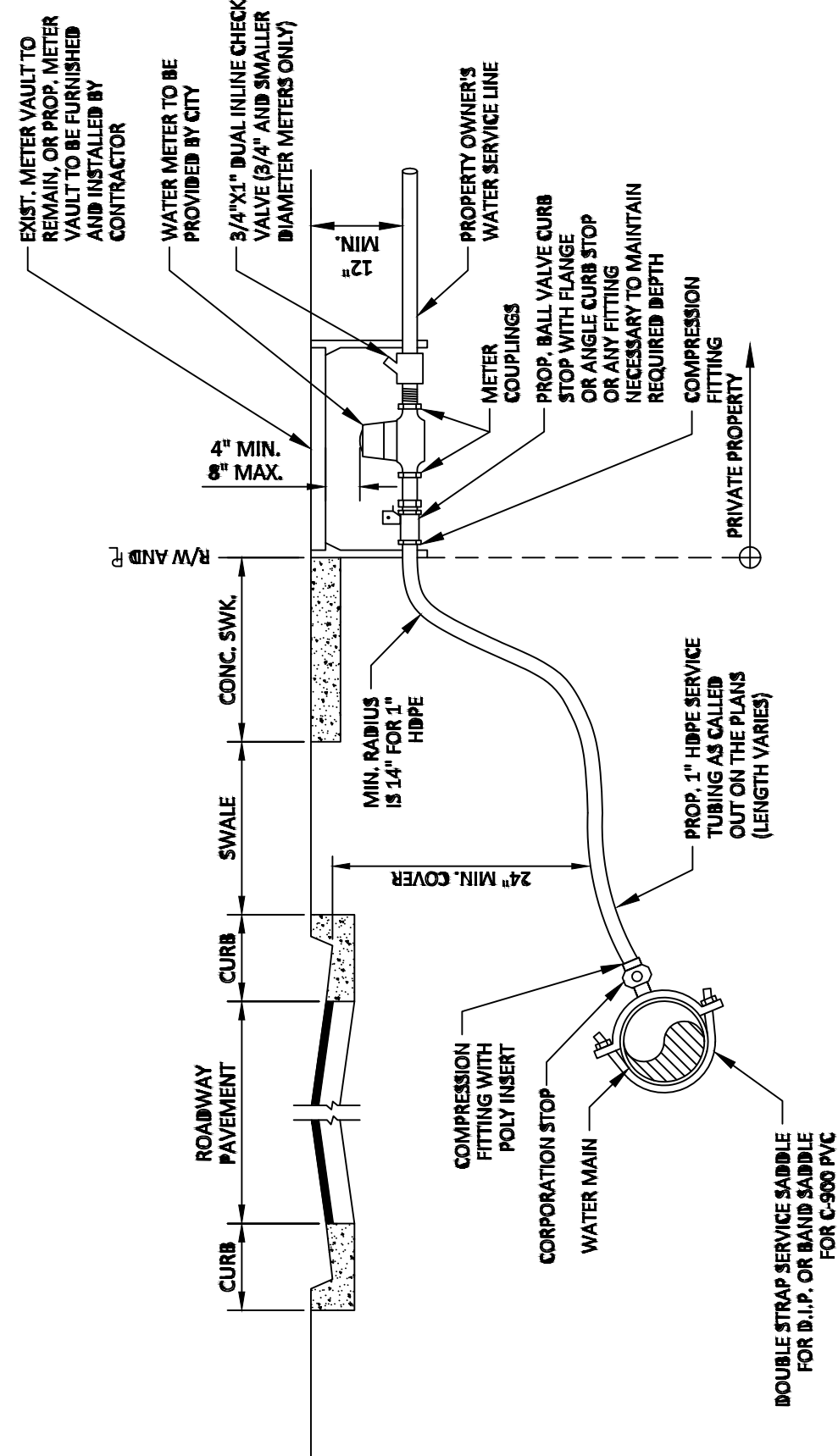
LEGEND

EXISTING BUILDING	
EXISTING SIDEWALK	
EXISTING GRASS AREA	
NEW CONCRETE WALKWAY	
NEW ASPHALT PAVING	
NEW SIDEWALK	
NEW VEHICULAR RAMP	
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NEW ASPHALT PARKING AREA	
BENCHES	
MAIL BOX	MB
DUMPSTER ENCLOSURE	DE

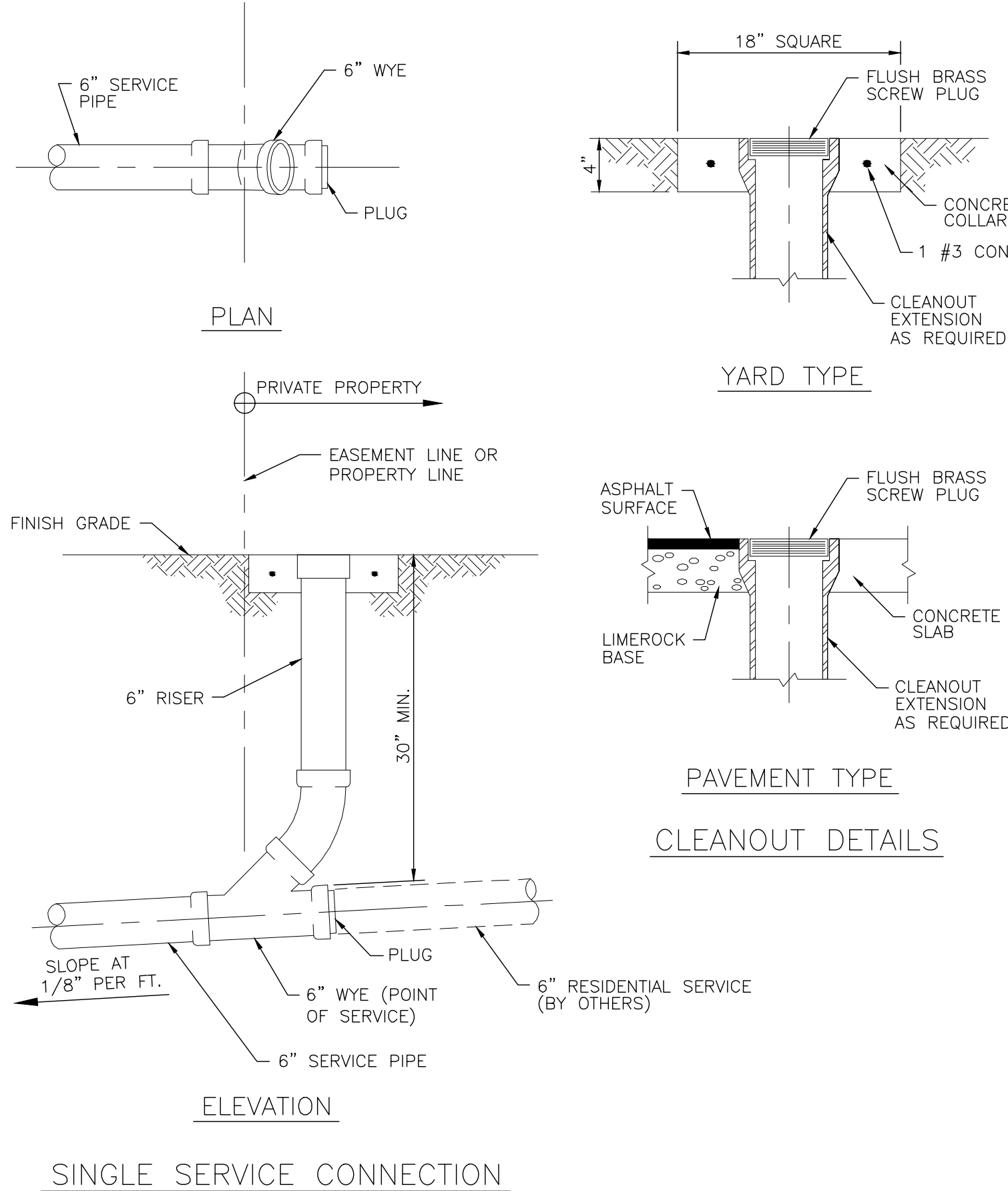
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USE PAINT FOR TEMPORARY STRIPING
AND THERMOPLASTIC FOR FINAL
STRIPING AFTER ASPHALT CURES



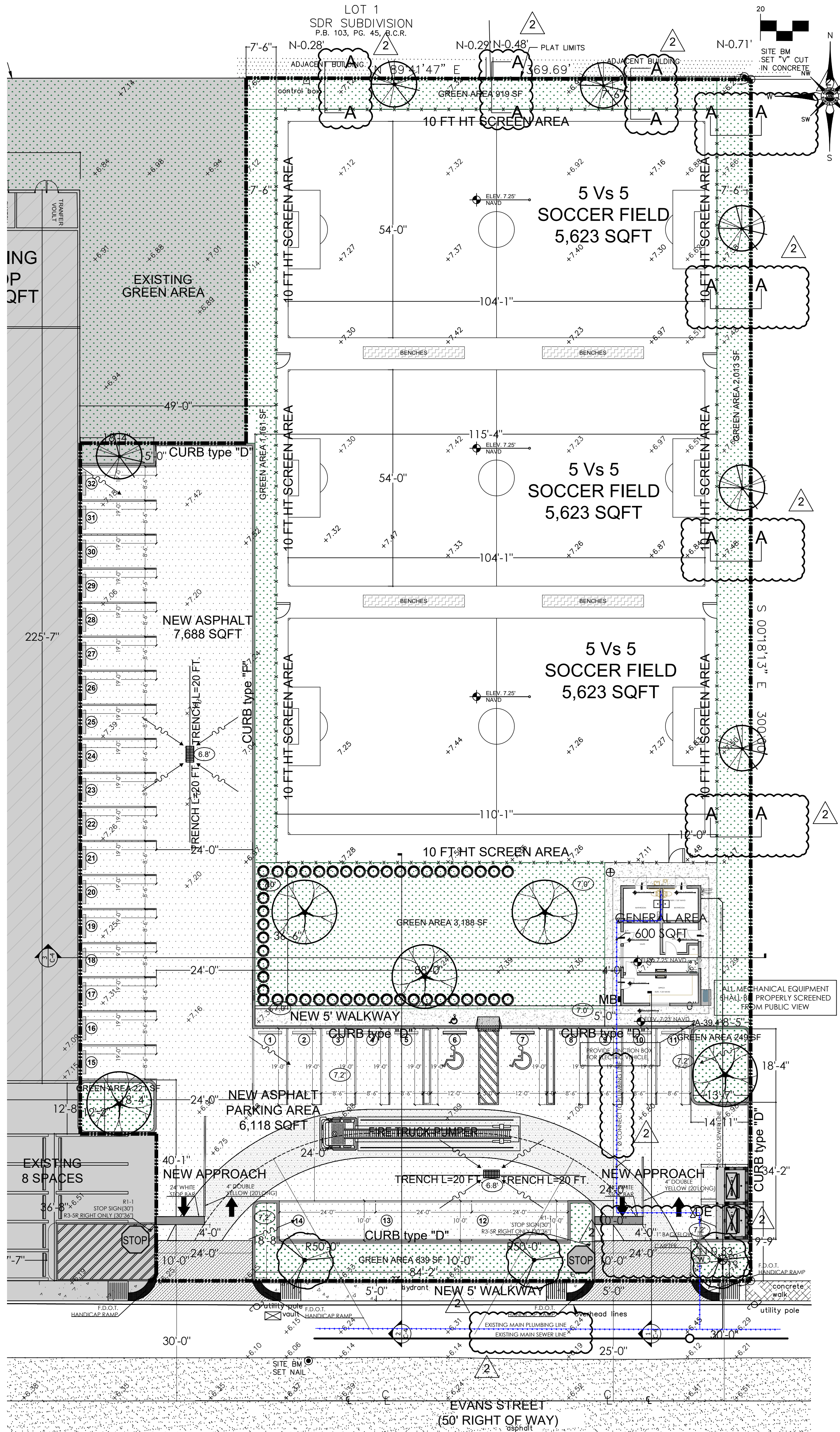
PERIMETER SECTION A-A (ALONG PROPERTY LINE)



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	TYPICAL 1" HOPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS	DRAWING NO. W-08
APPROVED: XXX		



ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO. S-12
APPROVED: XXX		



1 SITE PLAN
1/16" = 1'-0"



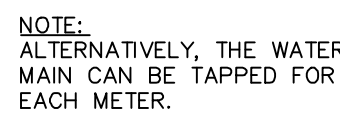
PROJECT ADDRESS:
4151 N 29th AVE
HOLLYWOOD, FL. 33020

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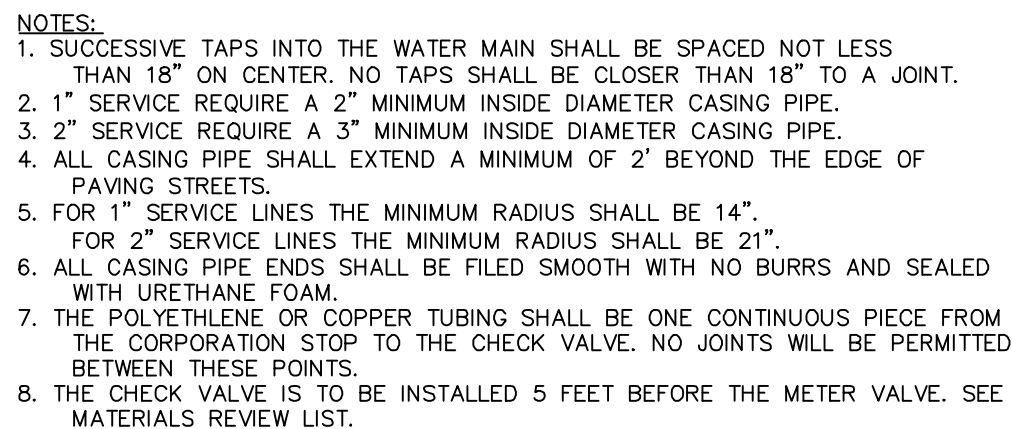
Project No: AS NOTED
 Date: 02-21-2014
 State: A.G.
 Drawn: A.G.
 Checked:
 D File:

Drawing Title:

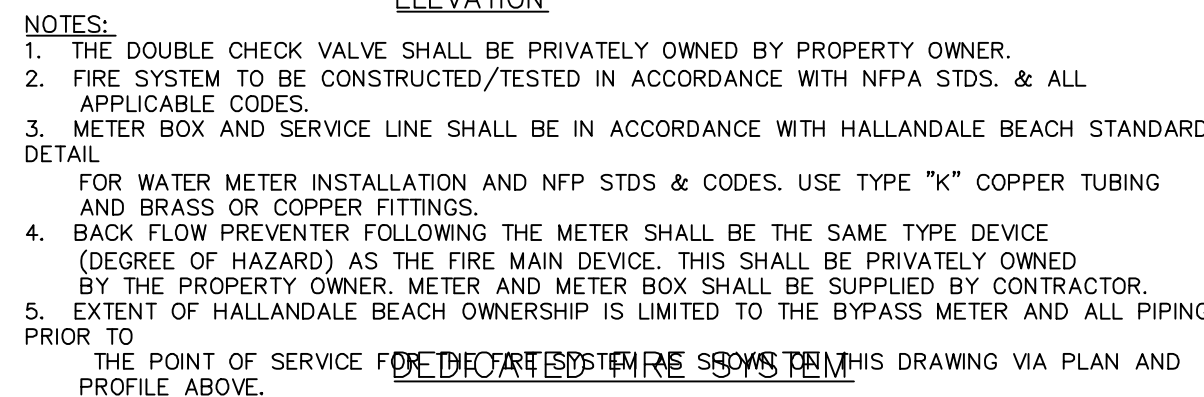
C-4



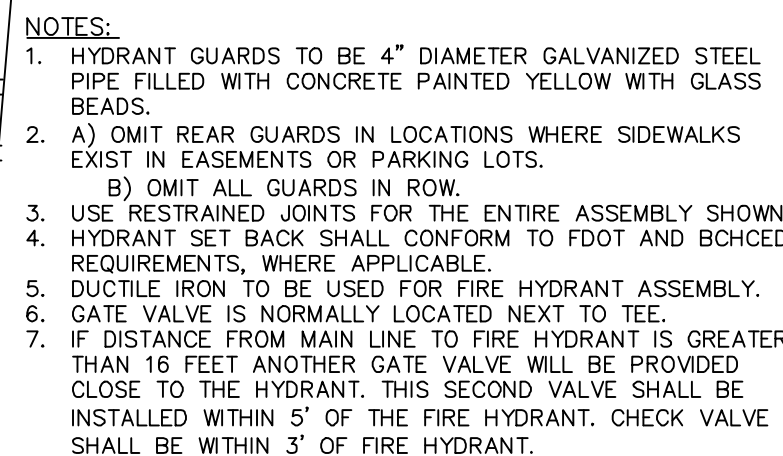
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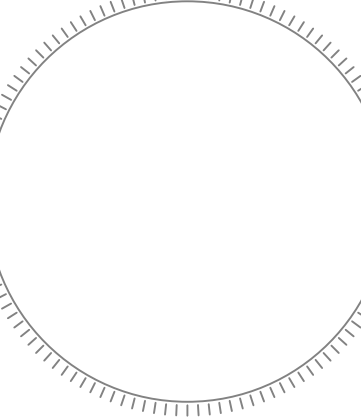
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CONSULTING ENGINEER



ALIOSKAR GANEM P.E.
FL. LIC. No. 74745

PROJECT NAME:
NEW SOCCER FIELD

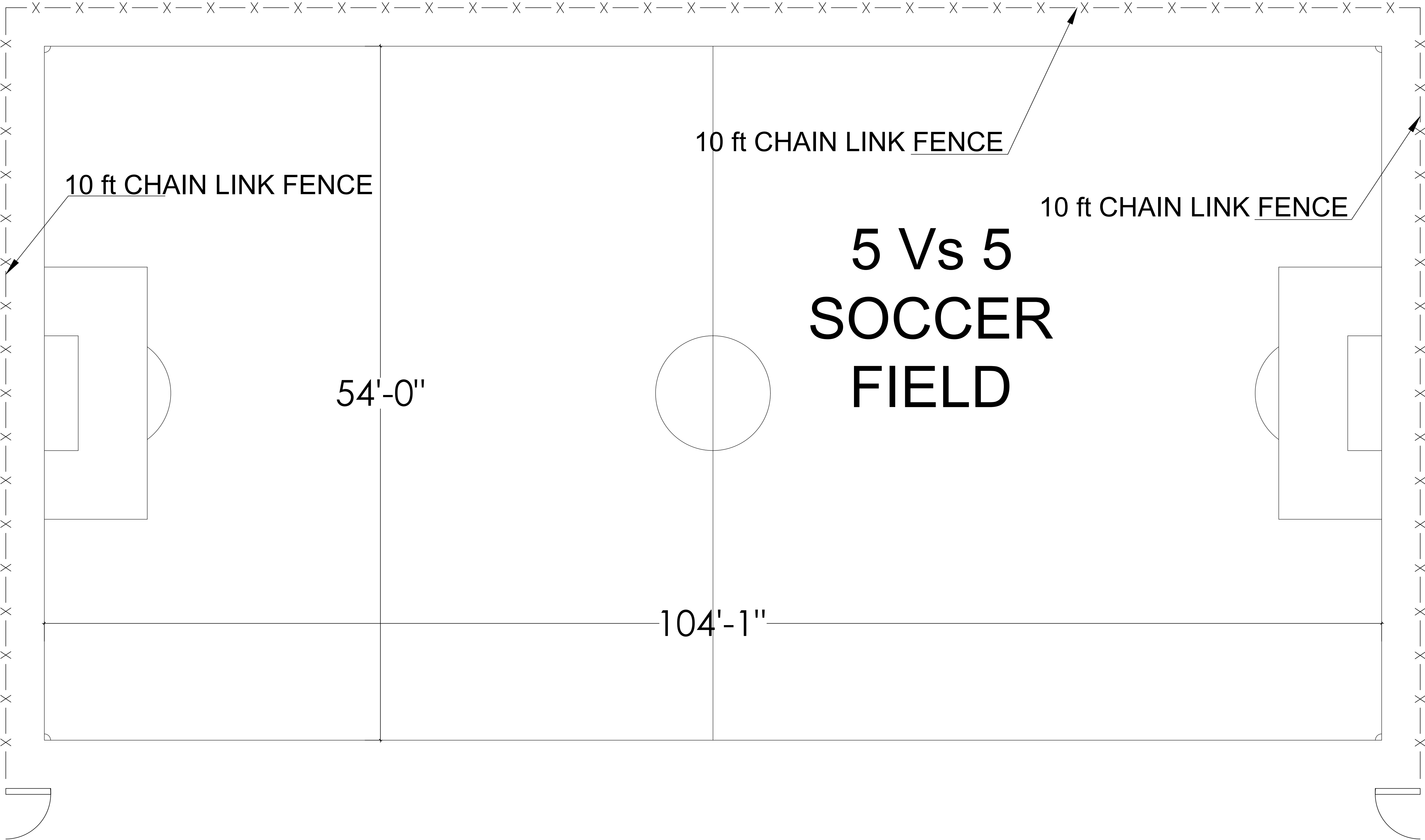
PROJECT ADDRESS:
4151 N 29th AVE
HOLLYWOOD, FL. 33020

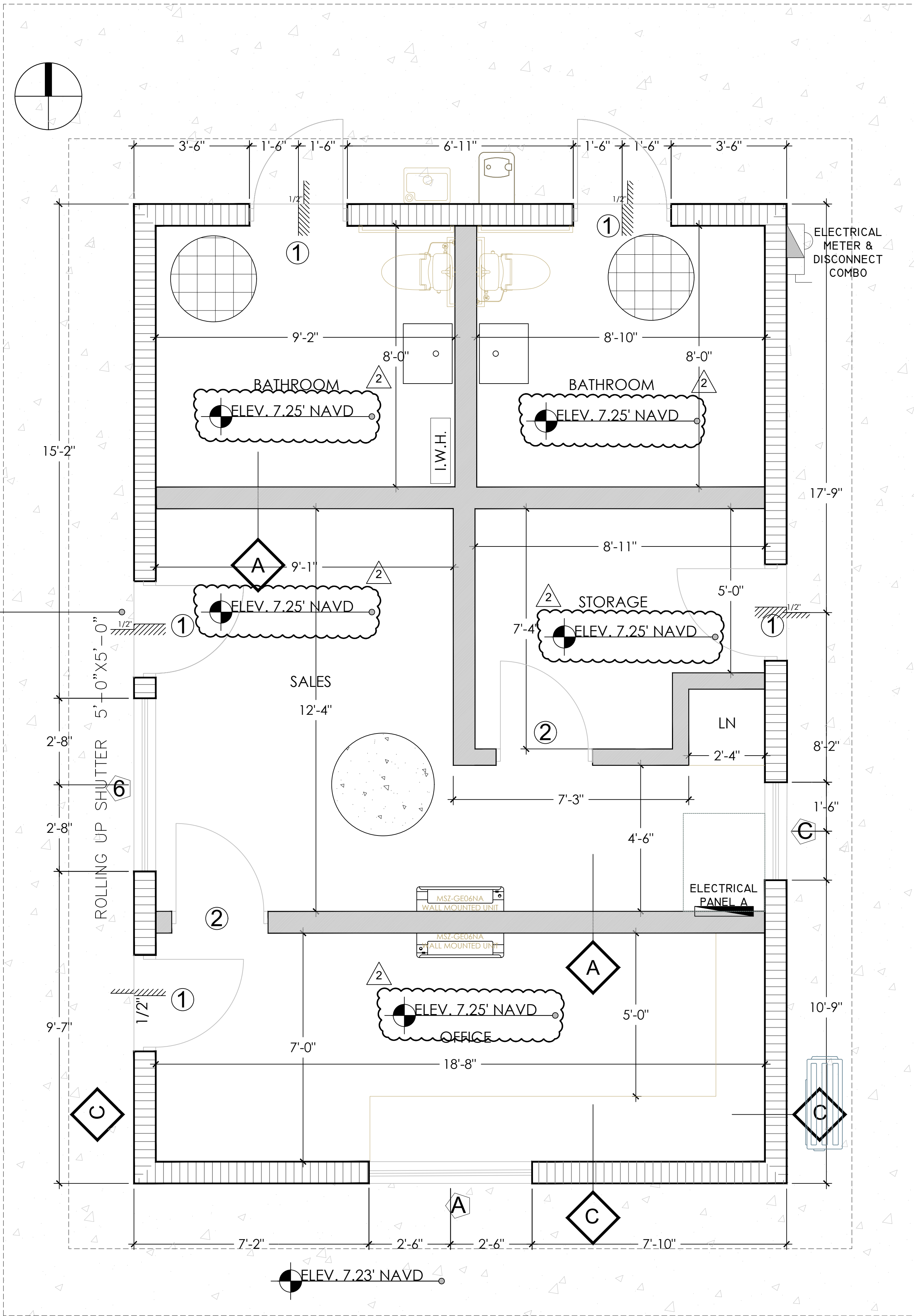
REVISIONS	DATE

Project No: AS NOTED
Scale: 02-21-2014
Date: A.G.
Drawn: A.G.
Checked:
CAD File:

Drawing Title:

A-1

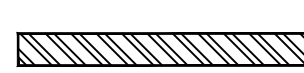




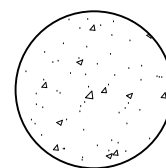
LEGEND



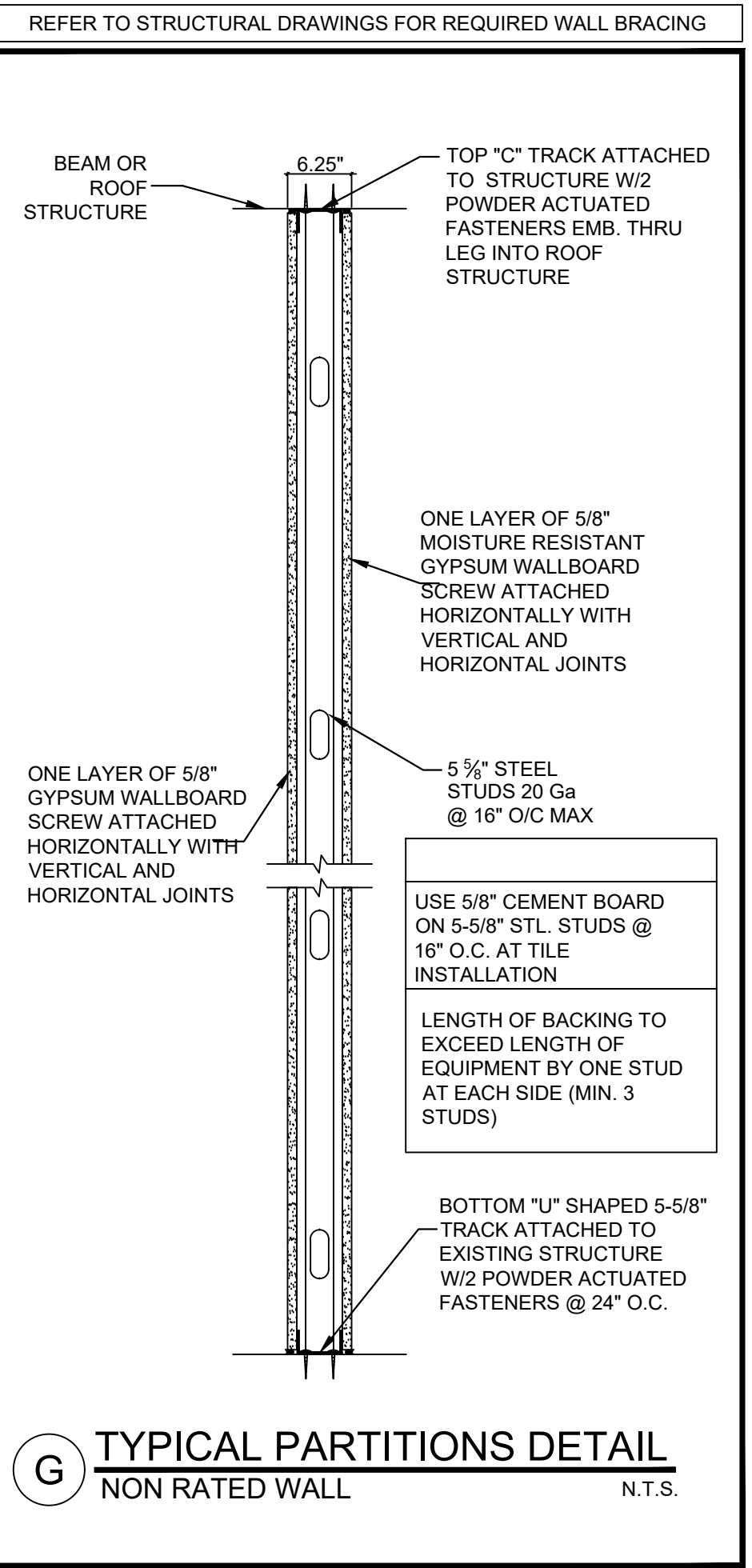
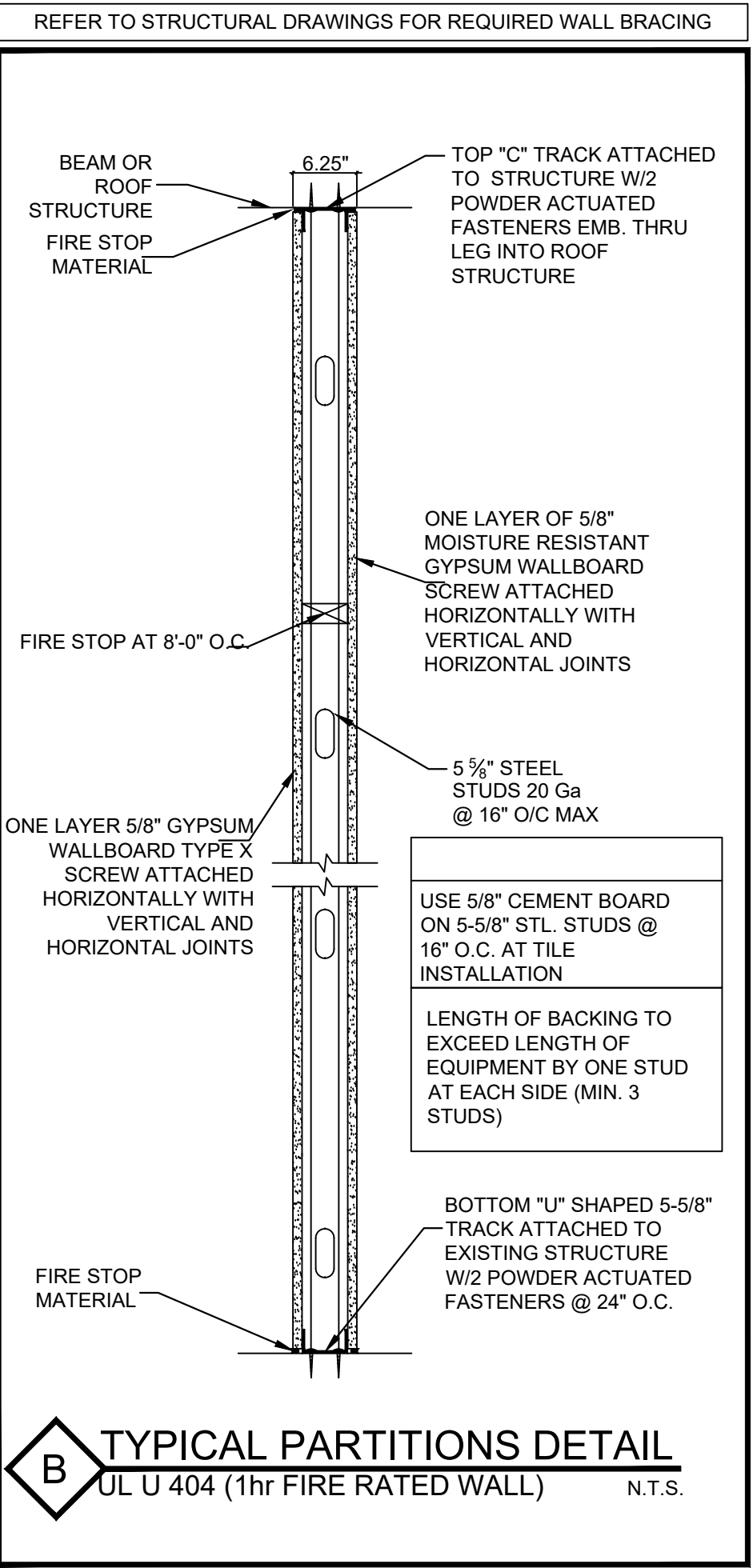
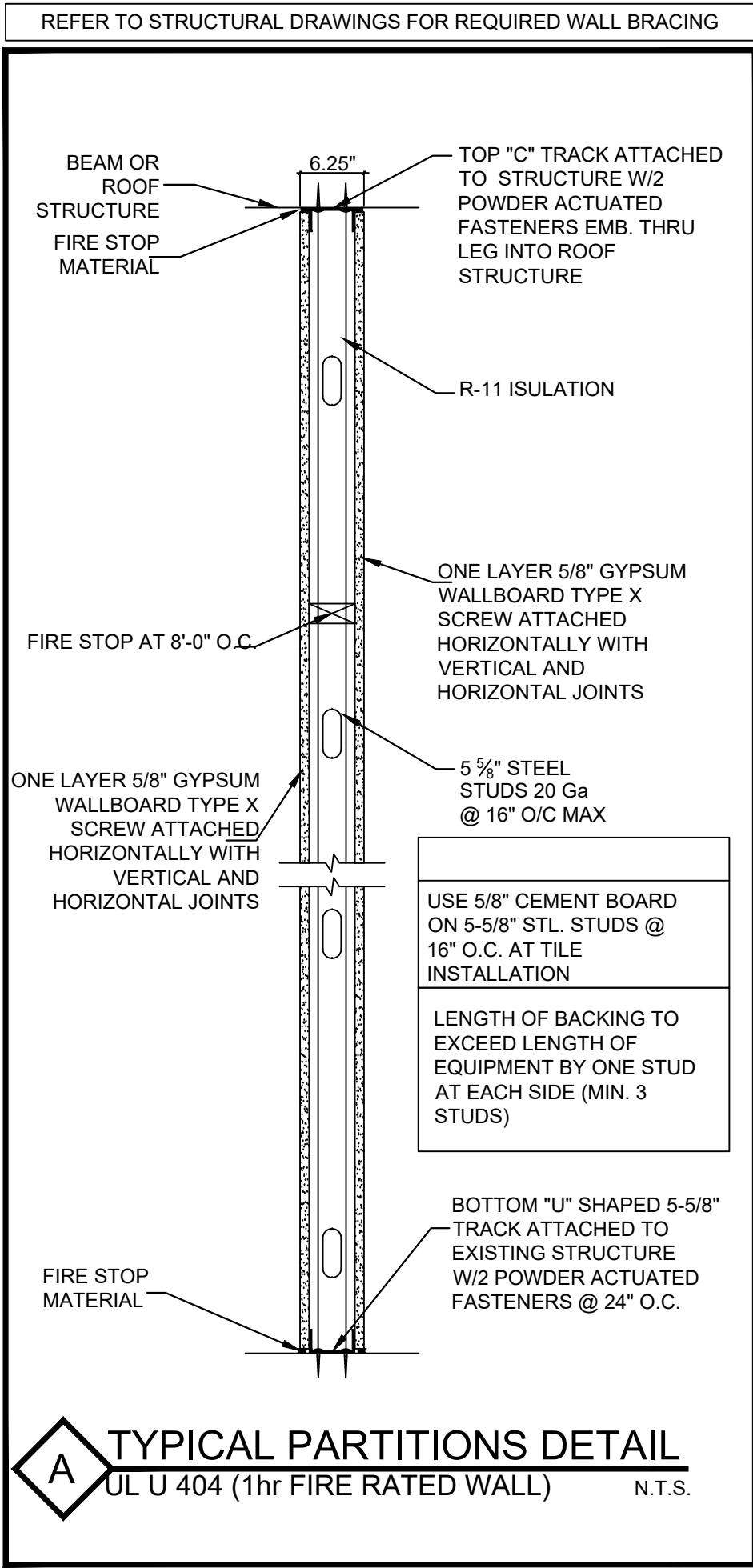
MASONRY WALL



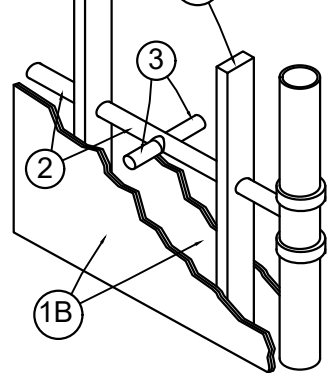
PARTITION WALL



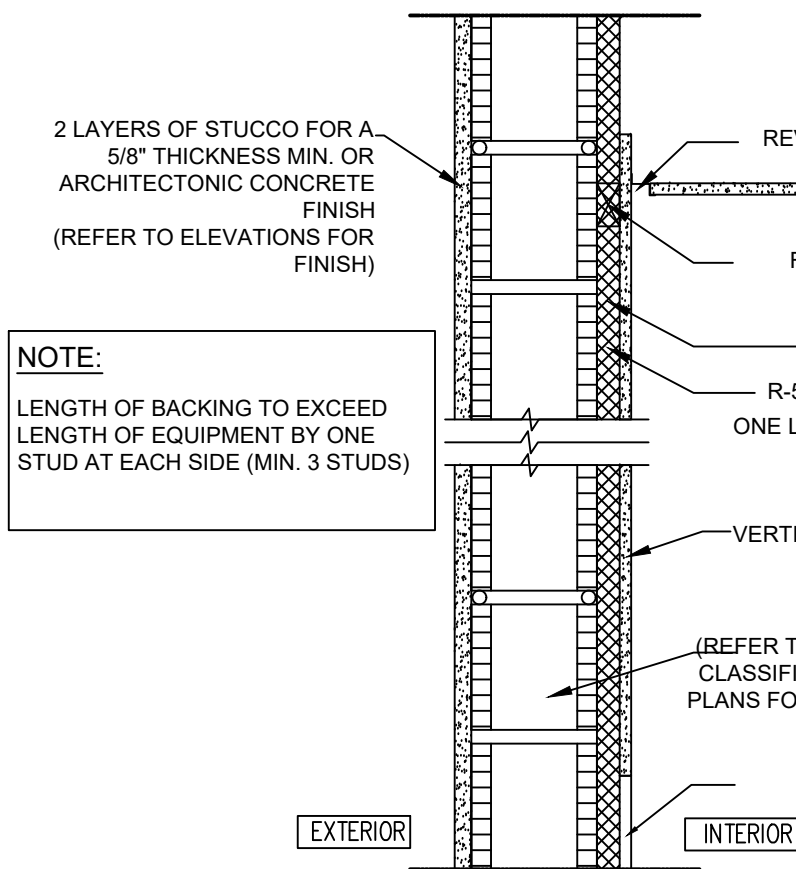
POLISHED CONCRETE



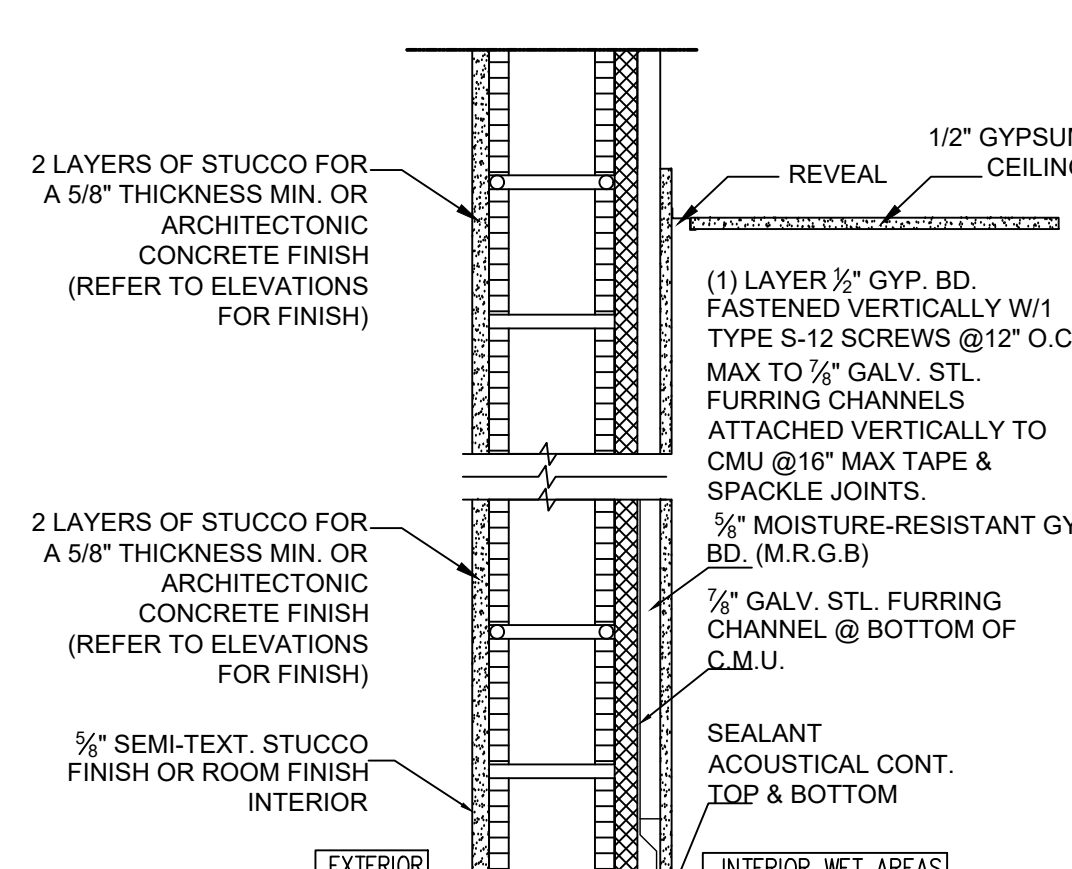
U.L. SYSTEM No WL2035
F-Rating - 2 Hr
T Rating - 1-1/2 (Trough) 2Hr (One side)



- Chase Wall -- The fire-rated gypsum wallboard/stud chase wall shall be constructed of the materials and in the manner specified in the individual U300 or U44J0 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
 - Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min. 3-5/8 in. wide and spaced max 24 in. OC.
 - Wallboard, Gypsum* - Two layers of nom 5/8 in. thick gypsum wallboard, as specified in the individual Wall and Partition Design. Hole-sawed opening in gypsum wallboard layers to accommodate stub-out device (Item 3) to be 2 in. diam.
- Nonmetallic Pipe - Non 1-1/2 in. diam Schedule 40 polyvinyl chloride (PVC) drain, waste or vent (DWV) pipe with associated tee and elbow fittings. Socket of tee or elbow to align with 2 in. diam opening hole-sawed through gypsum wallboard layers at each stub-out location. Pipe to be rigidly supported within stud cavity of chase wall.
- Firestop Device* - Stub-Out - Cast iron lined PVC sleeve provided with trap adapter or coupling at one end for sink drain connection. Stub-out device cemented into socket of tee or elbow of PVC DWV piping wif stud cavity of chase wall. When installed on both sides of chase wall (4-way tee). T Rating is 1-1/2 hr. When installed on only one side of chase wall. T Rating is 2 hr. PROSET SYSTEMS INC -- Part No. CP15812, CP15814 or CP15924



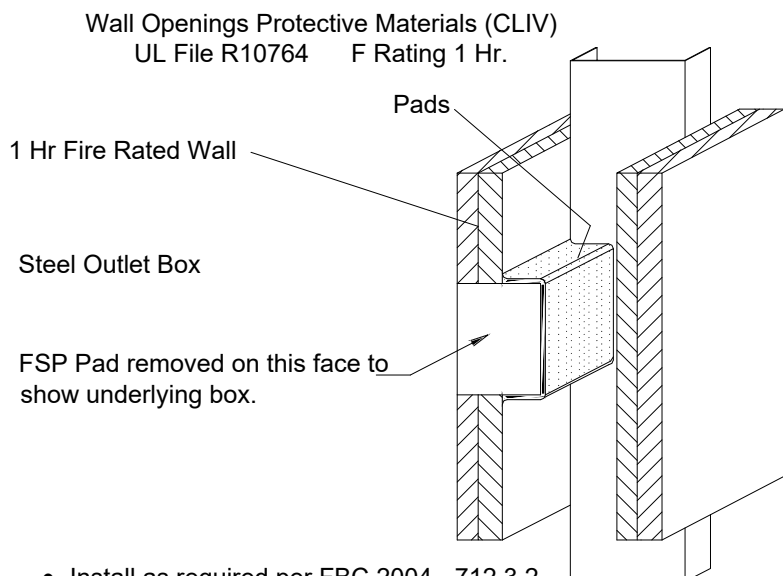
C EXTERIOR CONC.WALL
UL #U905 (2hr FIRE RATED WALL) SCALE:N.T.S.



F INTERIOR CONC. WALL
UL #U905 (2hr FIRE RATED WALL) SCALE:N.T.S.

BACKING FOR WALL-HUNG FIXTURES NOTES

WHERE WALL-HUNG FIXTURES ARE PROVIDED, 2"x4" BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE WALL BE PROVIDED TO WITHSTAND 200 LBS FORCE APPLIED IN ALL DIRECTIONS (OR SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S REQUIREMENT)

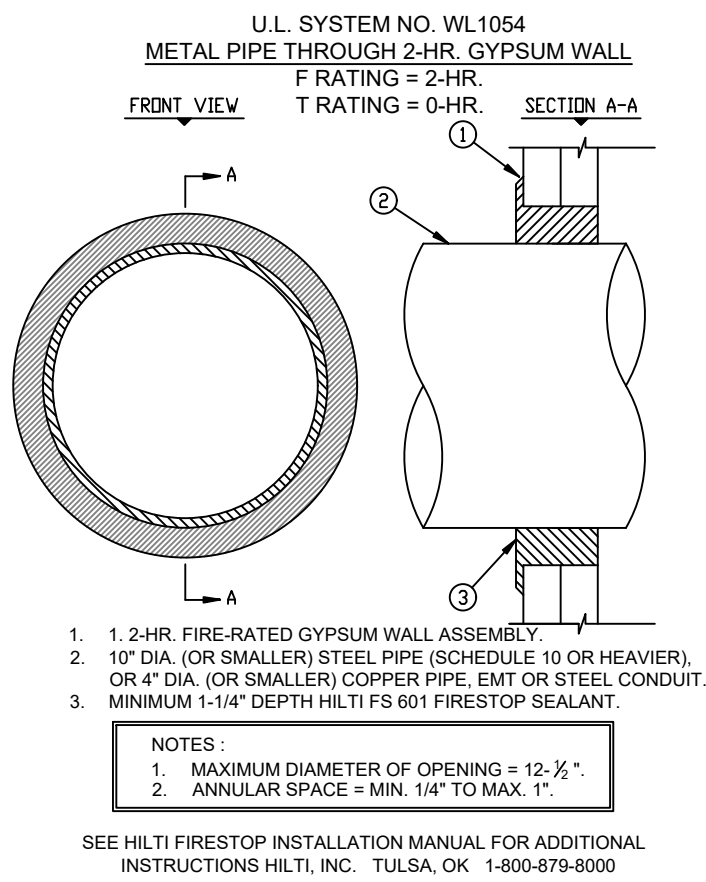


• Install as required per FBC 2004 - 712.3.2

• WALL ASSEMBLY - Constructed in the manner specified in the U400 series designs.

• STEEL OUTLET BOX - Max. 4" X 4" steel outlet box installed in accordance with NFPA 70 regulations. The box can be installed within the same stud cavity, provided they are not installed back-to-back.

• NELSON FSP PUTTY PADS - Min. 1/4" thickness Putty pad. Putty pads are to be installed to completely cover the exterior surfaces of the outlet box (except for the side of the outlet box against the stud) and completely seal against the stud within the stud cavity.



1. 24HR. FIRE-RATED GYPSUM WALL ASSEMBLY.
2. 10" DIA. (OR SMALLER) STEEL PIPE (SCHEDULE 10 OR HEAVIER), OR 4" DIA. (OR SMALLER) COPPER PIPE, EMT OR STEEL CONDUIT.
3. MINIMUM 1-1/4" DEPTH HILTI FS 501 FIRESTOP SEALANT.

NOTES:
1. MAXIMUM DIAMETER OF OPENING = 12-1/2".
2. ANNULAR SPACE = MIN. 1/4" TO MAX. 1".

SEE HILTI FIRESTOP INSTALLATION MANUAL FOR ADDITIONAL INSTRUCTIONS HILTI, INC. TULSA, OK 1-800-879-8000

FIRESTOPS NOTES

REQUIRED FIRESTOPS AND DRAFTSTOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRESTOPS OR DRAFT STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER. F.B.C. 2320.1.6

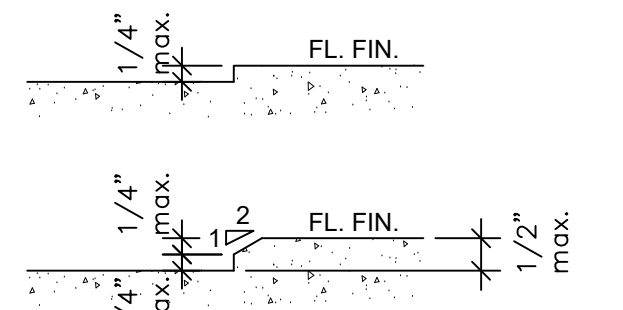
OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RESISTANT-RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRE-STOPPED USING APPROVED METHODS OR MAINTAIN THE FIRE RESISTANCE RATING. NEC 300.21

A 1H FIRE RATED PARTITIONS

0 018" (NO. 25 CARBON SHEET STEEL GAGE) CHANNEL-SHAPED STUDS 24" ON CENTER WITH ONE FULL-LENGTH LAYER OF 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY ATTACHED WITH 1" LONG NO. 6 DRYWALL SCREWS TO EACH STUD. SCREWS ARE 8" ON CENTER AROUND THE PERIMETER AND 12" ON CENTER ON THE INTERMEDIATE STUD. THE WALLBOARD MAY BE APPLIED HORIZONTALLY WHEN ATTACHED TO 3-5/8" STUDS AND THE HORIZONTAL JOINTS ARE STAGGERED WITH THOSE ON THE OPPOSITE SIDE. SCREWS FOR THE HORIZONTAL APPLICATION SHALL BE 8" ON CENTER AT VERTICAL EDGES AND 12" ON CENTER AT INTERMEDIATE STUDS.

B 2H FIRE RATED CONCRETE WALL

8" CMU WALL W/5/8" STUCCO AT EXTERIOR AND 5/8" GYPSUM WALL BOARD OVER 1x2 PT WOOD FURRING AND R-5 INSULATION BTW. (SEE STRUCTURAL DETAILS)



DETAIL APPLIES TO ALL LEVEL CHANGES, DOOR OPENINGS AND THRESHOLDS.

CHANGE IN ELEVATION

SCALE: 1-1/2"=1'-0"

INTERIOR FINISH NOTES:

- INTERIOR FINISH SHALL BE IN ACCORDANCE WITH LSC CHAPTER 10 AND FLORIDA BUILDING CODE CHAPTER 8
- CLASSIFICATIONS IN ACCORDANCE WITH ASTM E 84: (LSC 10.2.3.4 & FBC 803.1)
- CLASS A: FLAME SPREAD RATING OF 0-25, SMOKE DEVELOPMENT RATING OF 0-450, NO CONTINUED PROPAGATION OF FIRE IN ANY ELEMENT THEREOF WHEN SO TESTED.
- CLASS B: FLAME SPREAD RATING OF 26-75, SMOKE DEVELOPMENT RATING OF 0-450.
- CLASS C: FLAME SPREAD RATING OF 76-200, SMOKE DEVELOPMENT RATING OF 0-450.
- INTERIOR WALL AND CEILING FINISH MATERIALS IN VERTICAL EXITS AND EXIT PASSAGEWAYS (LSC 10.2 & FBC 803.5)
- RESIDENTIAL: CLASS 'C'
- INTERIOR WALL AND CEILING FINISH MATERIALS IN EXIT ACCESS CORRIDORS AND OTHER EXITWAYS
- RESIDENTIAL: CLASS 'C'
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASS A, B OR C IN ALL ROOMS AND ENCLOSED SPACES
- GYPSUM WALLBOARD TO BE FREE OF CORROSIVE OR TOXIC CHEMICALS INCLUDING SULFUR AND SULFUR DIOXIDE
- PAINTS TO BE LOW OR NO V.O.C. BY BENJAMIN MOORE OR SHERWIN WILLIAMS. SUBSTITUTES MUST BE ACCEPTED BY ARCHITECT
- PAINTS TO BE EGGSHELL THROUGHOUT EXCEPT PAINTS TO BE SATIN IN BATHROOMS AND HIGH GLOSS ON ALL WOOD TRIM.
- BATHROOMS TO RECEIVE MILDEW RESISTANT PAINT.
- INSTALL 5/8" CEMENT BOARD BEHIND TILE IN ALL WET AREAS
- CEILING HEIGHTS ARE MEASURED FROM EXISTING FLOOR SLAB.
- WALL COVERINGS BY INTERIOR DESIGNER TO BE MIN. CLASS 'C'.

SECTION 2320 HIGH-VELOCITY HURRICANE ZONES - FIRESTOPS

- FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES, BOTH VERTICAL AND HORIZONTAL.
- FIRESTOPS SHALL FORM EFFECTIVE FIRE BARRIERS BETWEEN STORIES AND BETWEEN A STORY AND ROOF SPACE.
- FIRESTOPPING SHALL BE TIGHTLY AND SECURELY FITTED INTO PLACE AND WHERE OF WOOD, SHALL BE NOT LESS THAN A NOMINAL 2 INCHES (51 MM) IN THICKNESS.
- SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE SOLIDLY FILLED WITH MORTAR OR LOOSE INCOMBUSTIBLE MATERIALS SUPPORTED ON INCOMBUSTIBLE SUPPORTS.
- FIRESTOPPING SHALL CONSIST OF 2 INCH (51MM) NOMINAL LUMBER, OR TWO THICKNESS OF 1 INCH (25 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR 1 THICKNESS OF 23/32-INCH (18 MM) PLYWOOD, WITH JOINTS BACKED BY 23/32-INCH (18 MM) PLYWOOD, OR OTHER APPROVED MATERIALS.
- DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 3/8-INCH (9.5 MM) PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.
- REQUIRED FIRESTOPS AND DRAFTSTOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRESTOPS OR DRAFT STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER.
- VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 2326.3.2
- FIRESTOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS SPECIFIED IN SECTIONS 2320.2.1 THROUGH 2320.2.6
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS TO LIMIT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE TO 8 FEET (2438 MM).
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR FEATURES.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT LEAST ONCE IN THE MIDDLE OF EACH RUN, AT THE TOP AND BOTTOM, AND BETWEEN STUDS ALONG AND IN LINE WITH ADJACENT RUN OF STAIRS OF THE RUN.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH APPROVED NONCOMBUSTIBLE MATERIALS, EXCEPT IN THE CASE OF APPROVED METAL CHIMNEY INSTALLATION.
- IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORT.
- AROUND THE TOP, BOTTOM AND SIDES OF DOOR POCKETS.
- DRAFTSTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS SPECIFIED IN SECTIONS 2320.3.1 AND 2320.3.

ROOM FINISH SCHEDULE

ROOM NAME	WALLS			FLOOR			BASE		CEILING				CLG HT
	5/8" GWB TYPE "X"	PLYWOOD	1/2" CEMENT WB. & TILE	TILE	POLISH. CONC.	VCT	WD.	TILE	5/8" GWB TYPE "X"	ACCUST. TILE	EXPOSED	ACCUST. TILE 1HR RATED	
OFFICES	●				●				●				9'-0"
SALES	●				●		●		●				9'-0"
STORAGE	●				●		●				●		9'-0"
BATHROOM	●				●		●			●			9'-0"
NOTES: FINISHES AND COLORS TO BE DETERMINED BY OWNER - SEE NOTES INTERIOR FINISH NOTES													

DOOR AND FRAME SCHEDULE

DOOR AND FRAME SCHEDULE								
DOOR						FRAME		NOTES
MARK ○	SIZE			MATL	TYPE			
1	WD	HGT	THK			STL	EXTERIOR	1.5H
2	3'-0"	6'-8"	1 3/4"	WOOD	INTERIOR SWING DOOR	NR	WOOD	PANEL
E	EXISTING							
NR: NO FIRE RATING REQUIRED								

FLOOR FINISH SCHEDULE

LEGEND	LABEL	LOCATION	DESCRIPTION	NOTES
	FF-01	AS SHOWN	POLISHED CONCRETE	SEE FLOOR PLAN FINISH FOR LOCATIONS OF USE. INSTALL IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS. UNIT IS ON GROUND FLOOR.
	FF-02	AS SHOWN	CERAMIC TILE	SEE FLOOR PLAN FINISH FOR LOCATIONS OF USE. INSTALL IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS. UNIT IS ON GROUND FLOOR.

FIRE RATING-1 HOUR

WINDOW SCHEDULE						
W			FIRE RATED	FRAME	FIRE RATED WINDOW MARKING	
				MATL	FIRE PROTEC. FIRE RESIST.	
	TYPE		0.75H	ALUM	OH45	W-60
			0.75H	ALUM	-	-
			0.75H	ALUM	-	-

KEY PLAN

CONSULTING ENGINEER

ALIOSKAR GANEM P.E.
FL. LIC. No. 74745

PROJECT NAME:

NEW SOCCER FIELD

PROJECT ADDRESS:

4151 N 29th AVE
HOLLYWOOD, FL. 33020

REVISIONS DATE

Project No: AS NOTED

Scale: 02-21-2014

Date: A.G.

Drawn: A.G.

Checked:

CAD File:

Drawing Title:

A-3

1. COMPARTMENT DOORS SHALL BE SELF CLOSING AND HAVE TO BE PROVIDED WITH:

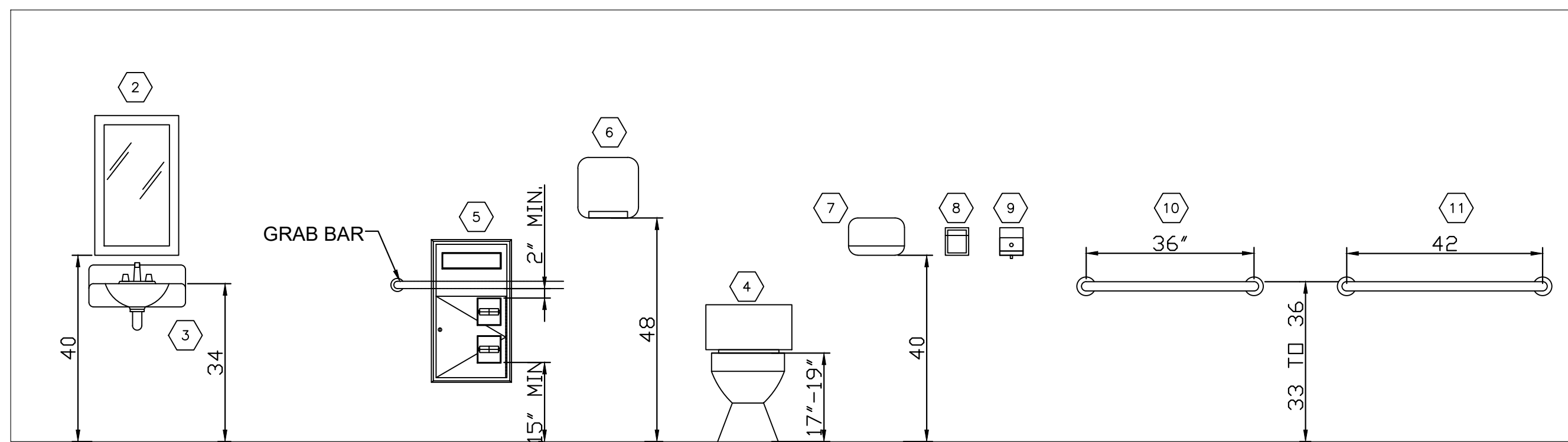
- PRIVACY HARDWARE OPERABLE WITH CLOSED FIST. 34" MIN. AND 48" MAX. HIGH A.F.F.
- PULL HARDWARE. 34" MIN. AND 48" MAX. HIGH A.F.F.
- HOOK COAT AT INTERIOR FACE OF STALL'S DOORS. 48" HIGH A.F.F.

- ### 609.3 SPACING.

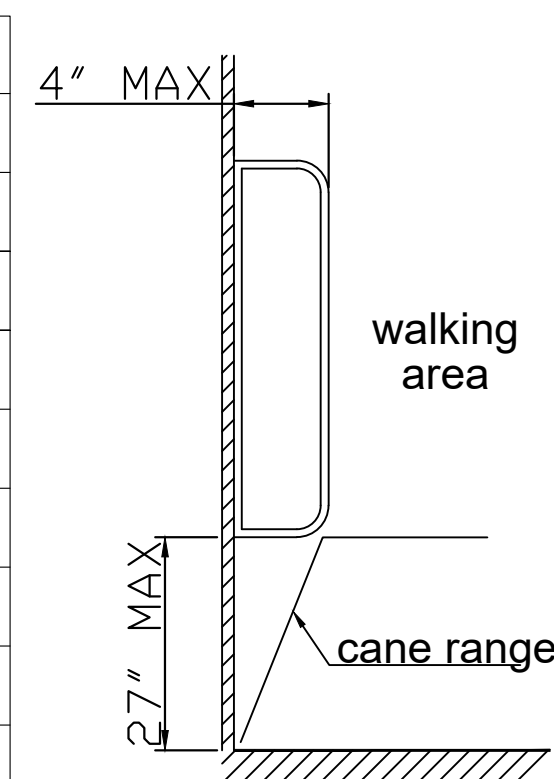
THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2 INCHES (38 MM) THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1 1/2 INCHES (38 MM) MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12 INCHES (305 MM) MINIMUM.

WALL-HUNG FIXTURES:

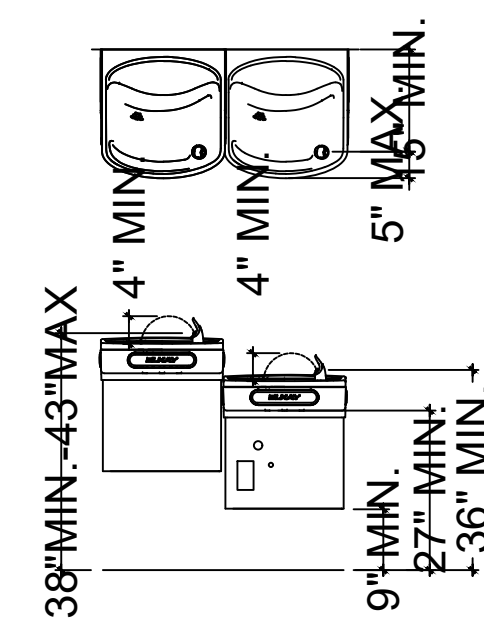
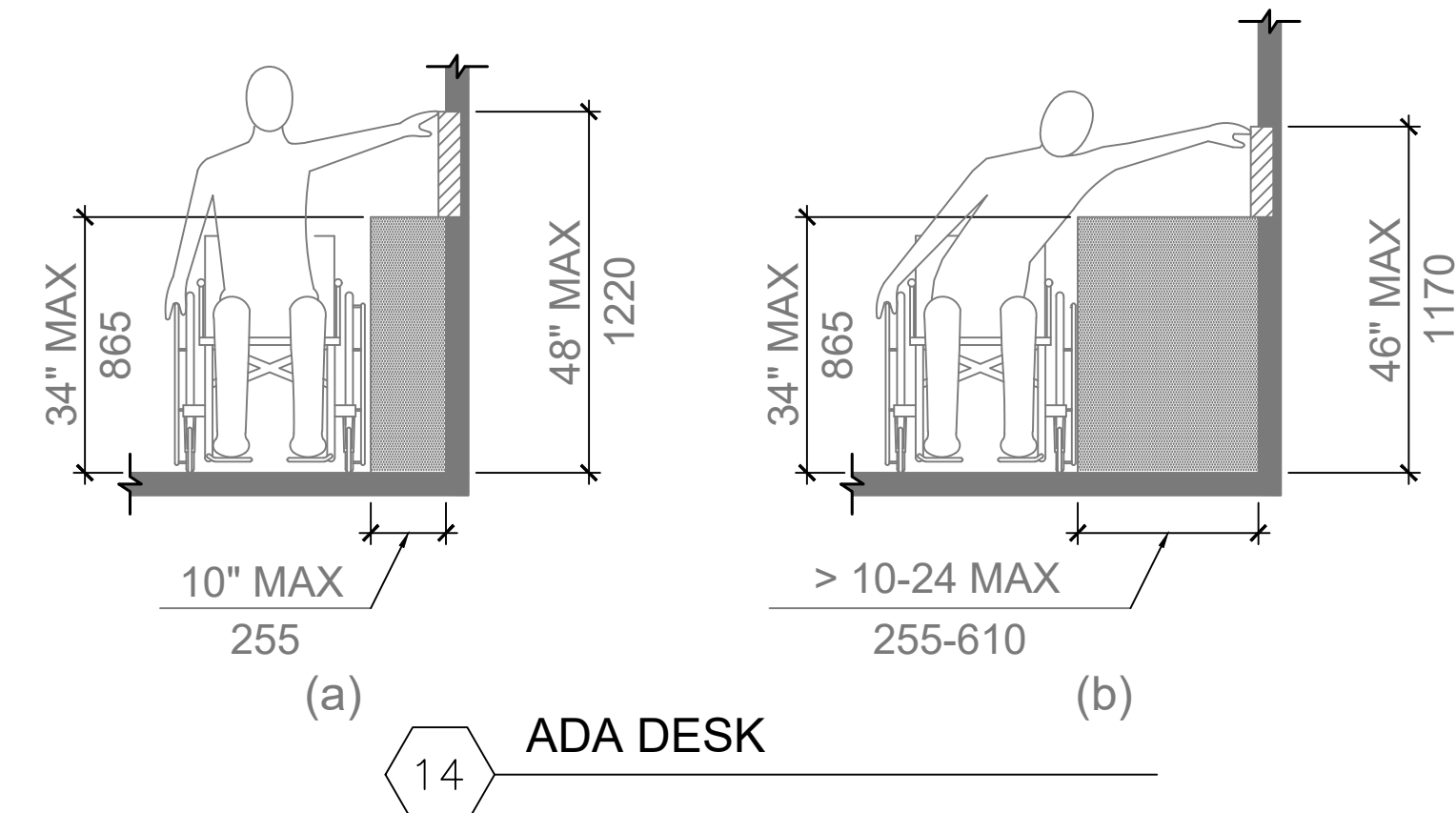
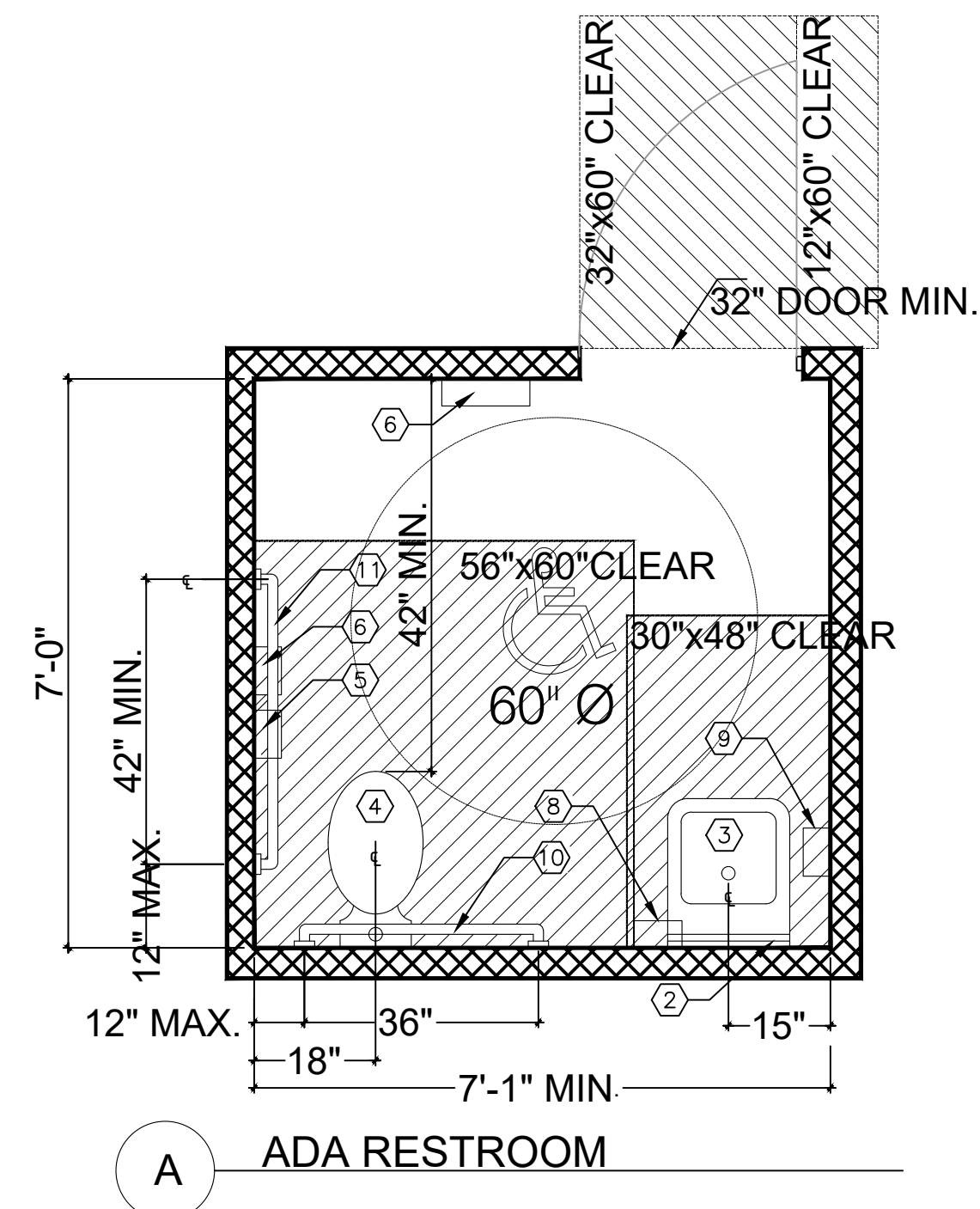
PROVIDED, 2(2"x4") WOOD OR 20 GA METAL BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE WALL BE PROVIDED TO WITHSTAND 250 LBS FORCE APPLIED IN ALL DIRECTIONS (OR SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S REQUIREMENT)



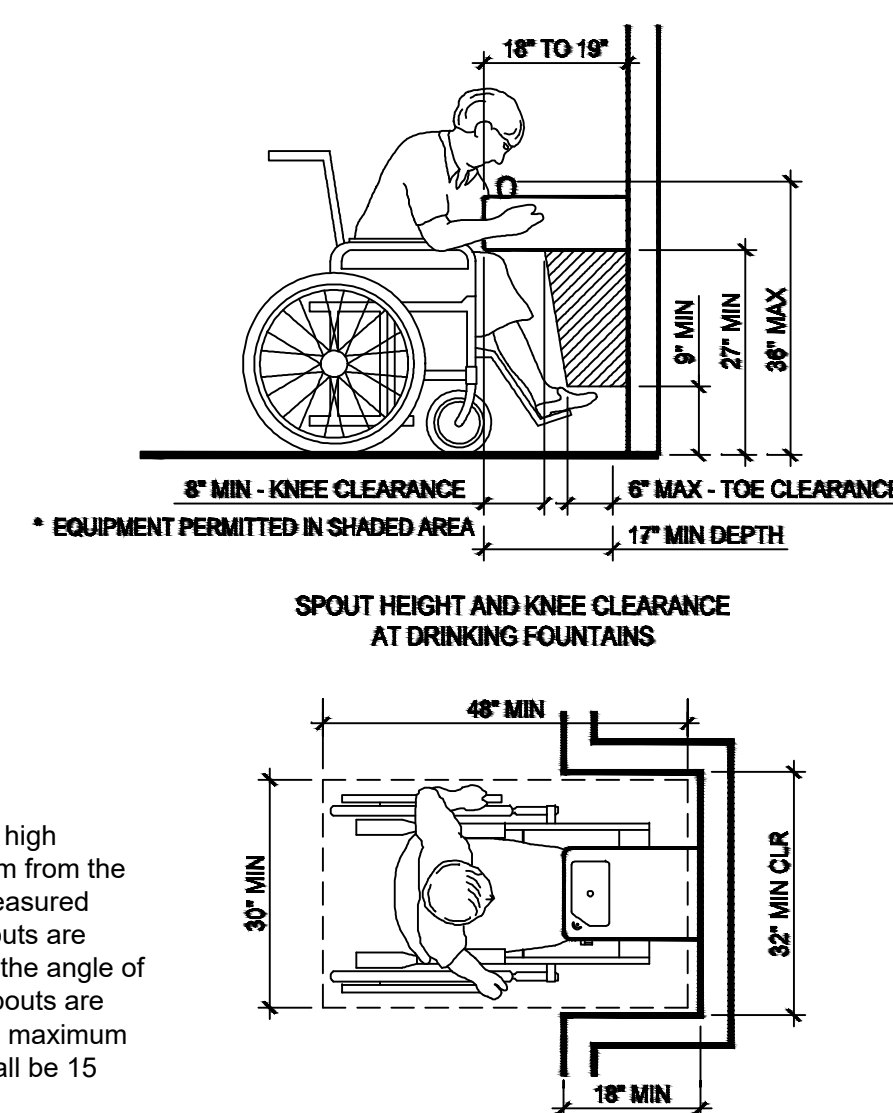
LEGEND	
1	TOILET PARTITION
2	1'-6 x 2'-6" MIRROR
3	ADA LAVATORY
4	ADA TOILET DUAL FLUSH
5	RECESSED TOILET-SEAT-COVER AND TOILET TISSUE DISPENSER
6	HAND DRYER 4" PROTRUDING MAXIMUM)
7	DRYER
8	SANITARY TOWEL DISPENSER
9	SOAP DISPENSER
10	36" GRAB BAR
11	42" GRAB BAR
12	URINAL
13	16 WIDE X 36 HIGH DIVIDER PANEL



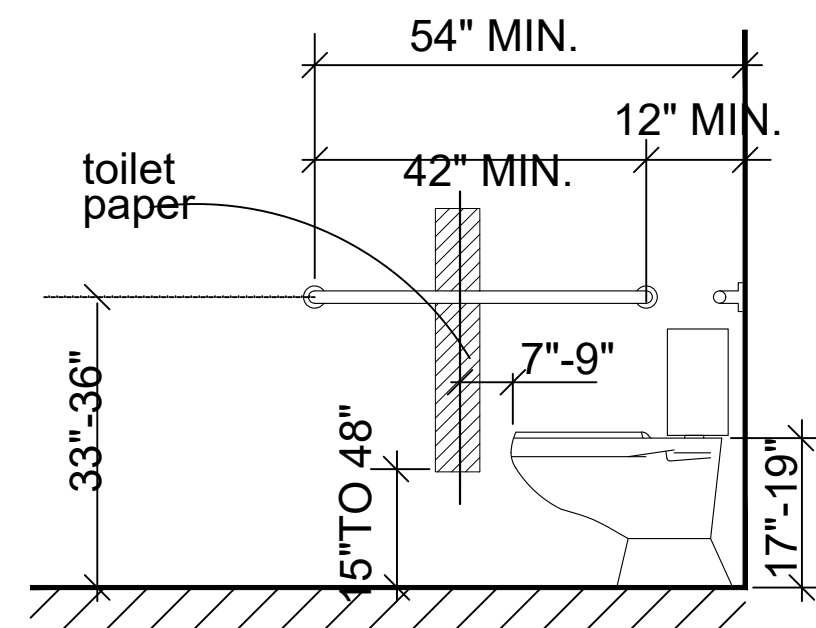
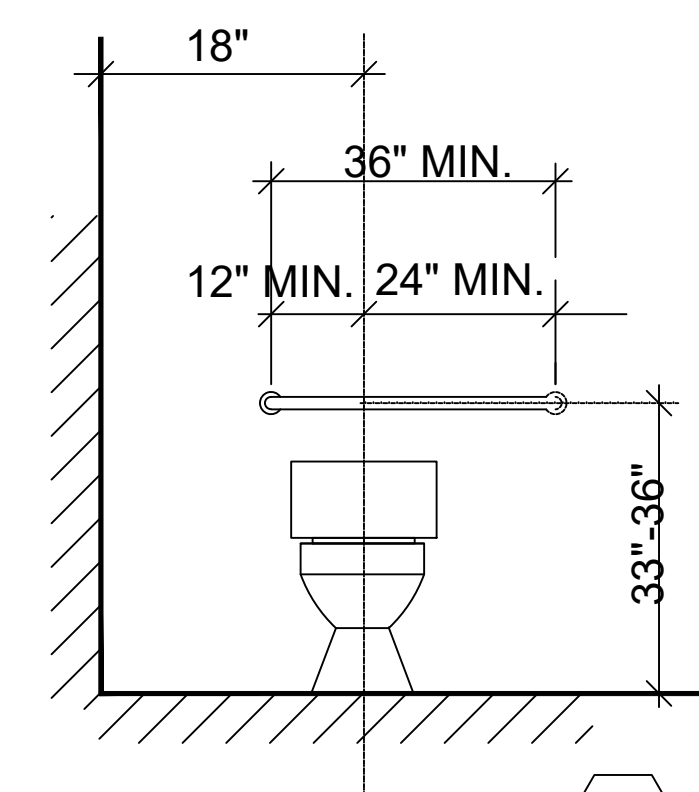
B PROTRUDING OBJECTS
WALKING PERPENDICULAR
TO A WALL



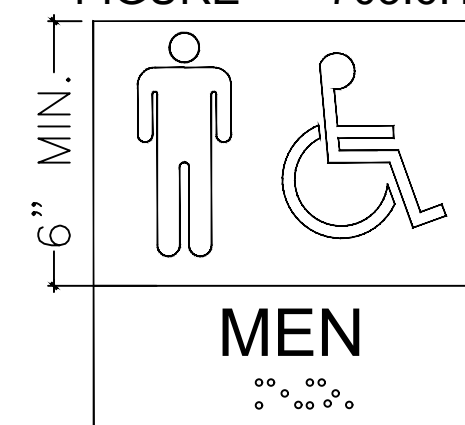
The spout shall provide a flow of water 4 inches (100 mm) high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum.



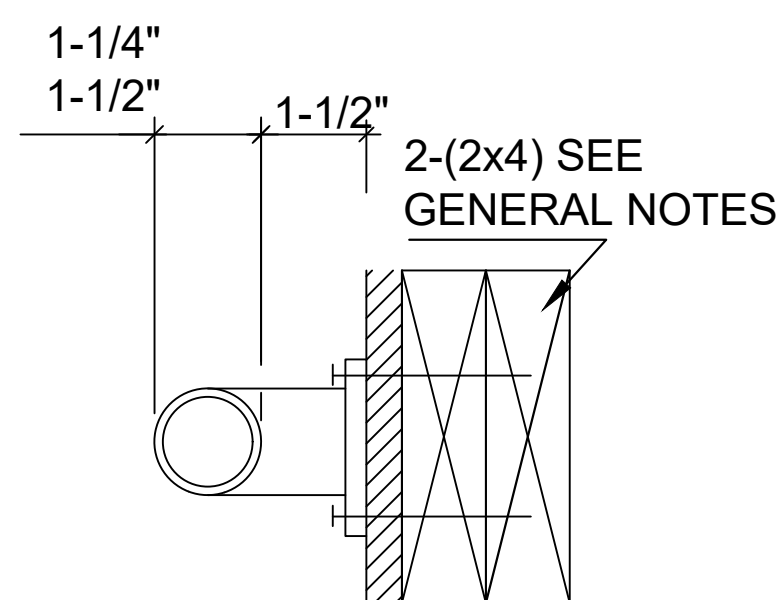
C ADA DRINKING FOUNTAIN DET.
SCALE: N.T.S.

 **ADA WATER CLOSET**

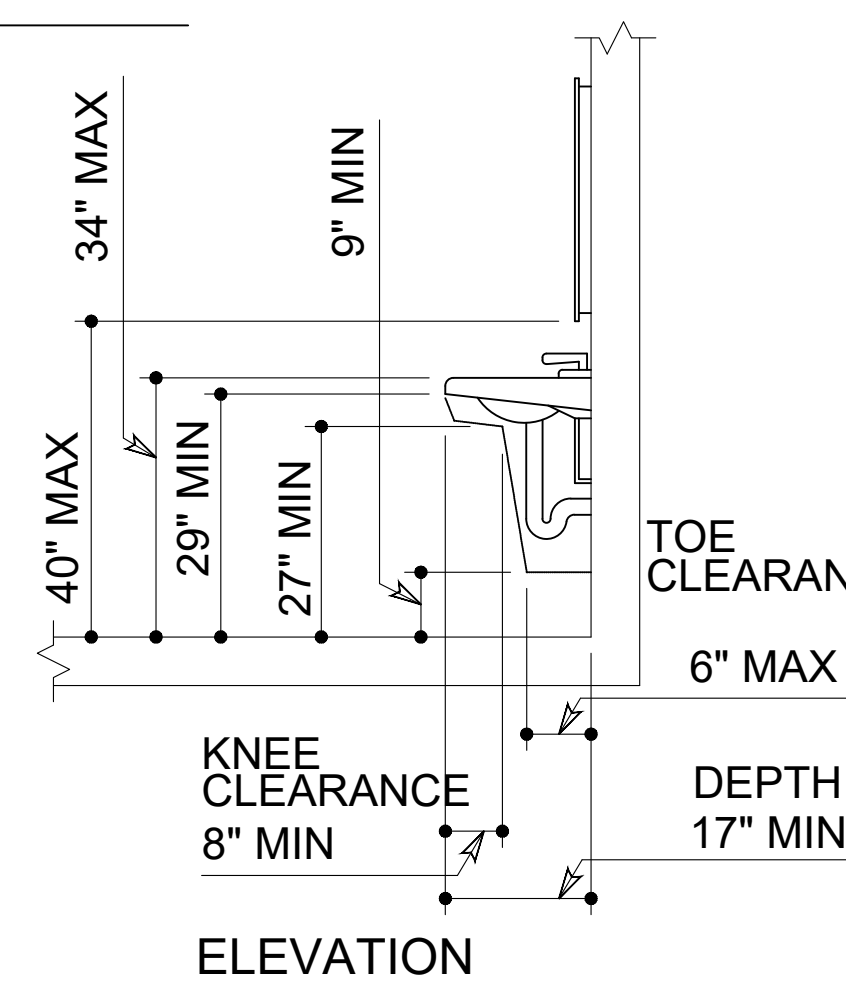
ACCESSIBILITY
CHAPTER 7
FIGURE 703.4.1
TABLE 703.5.5
FIGURE 703.6.1



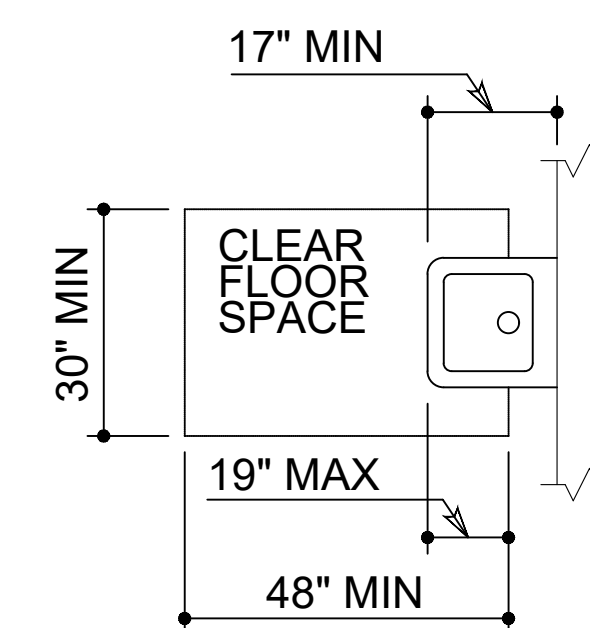
ADA DOOR SIGN



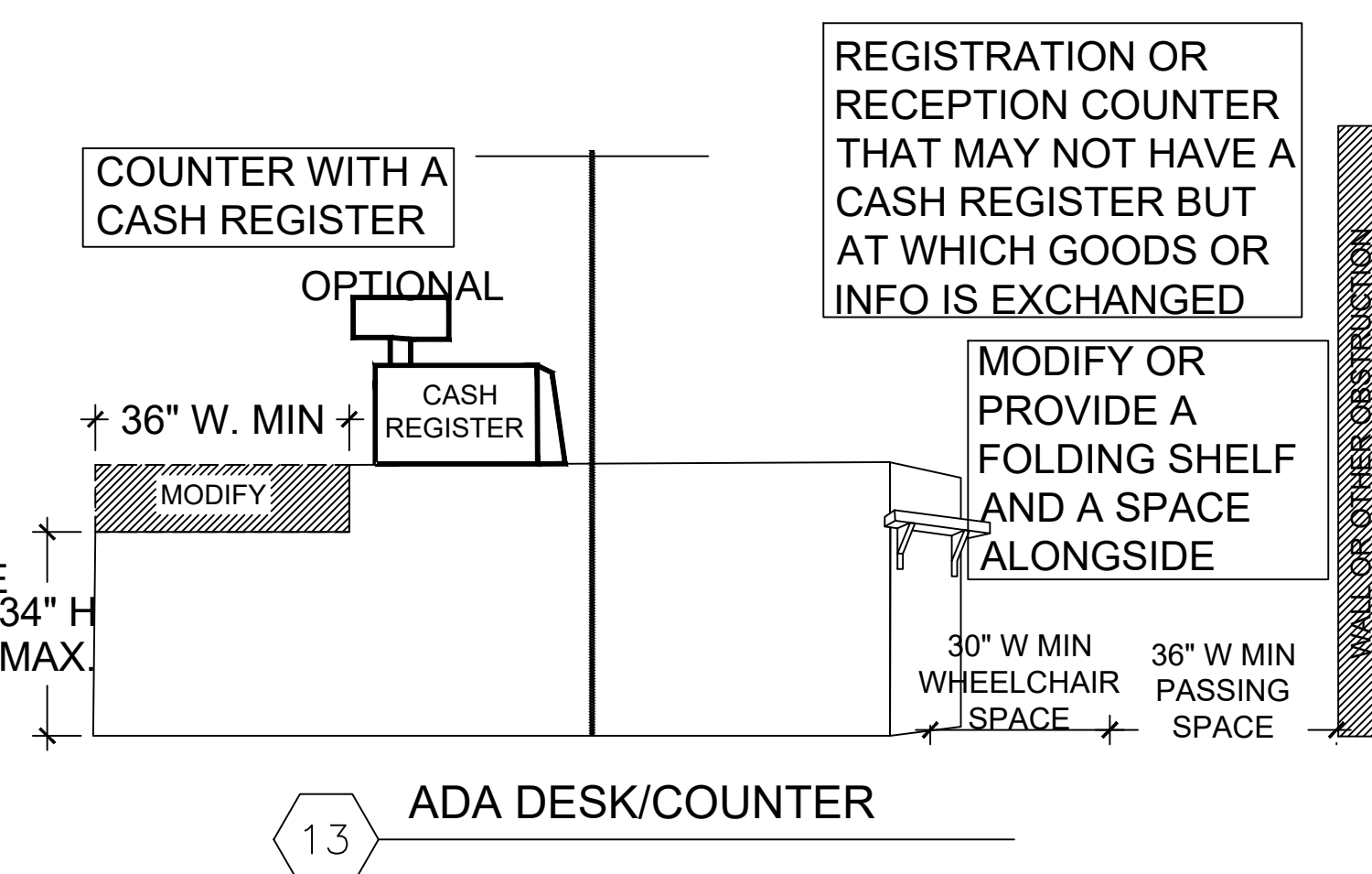
10 11 GRAB BAR DETAIL



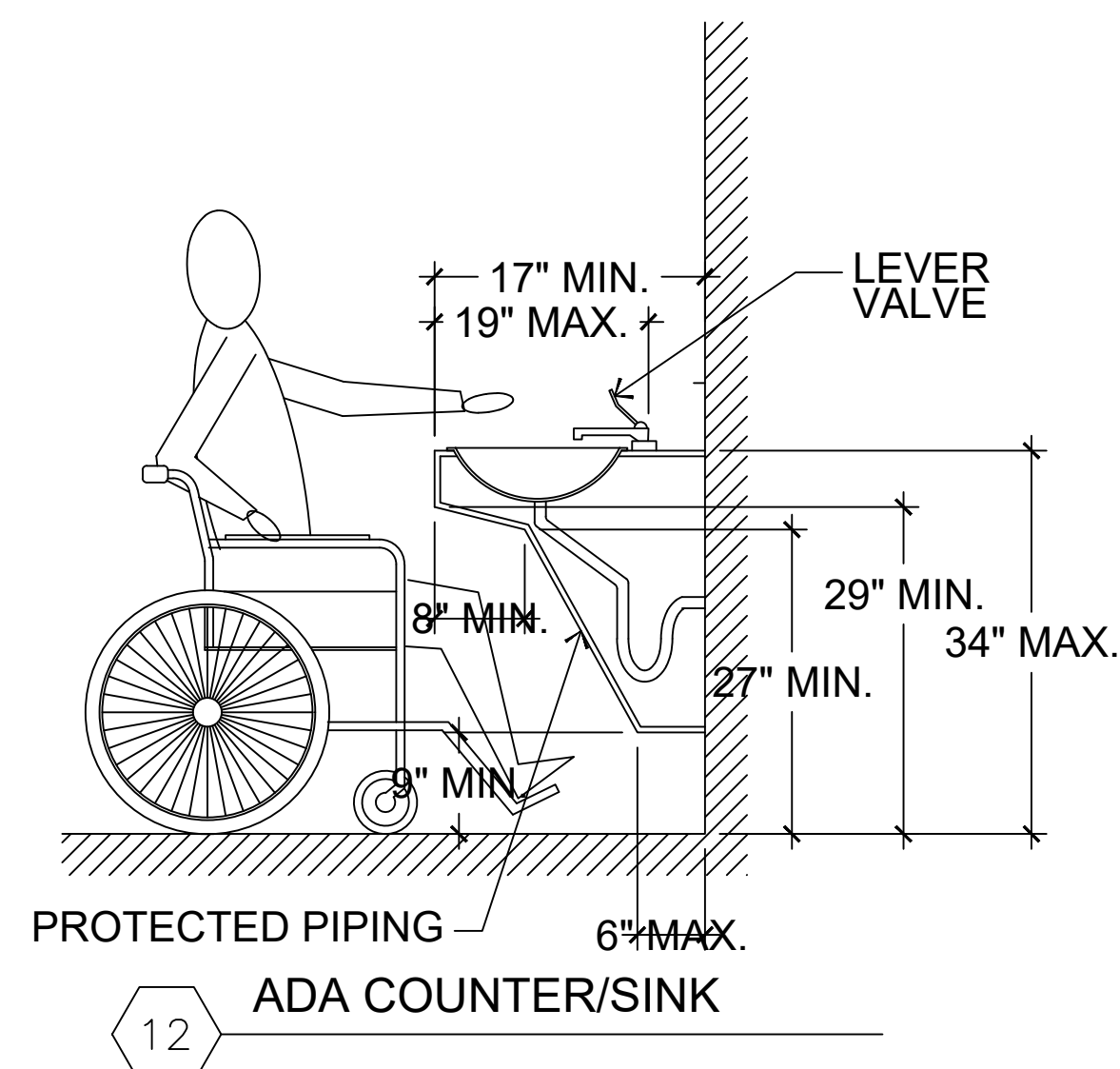
PLAN



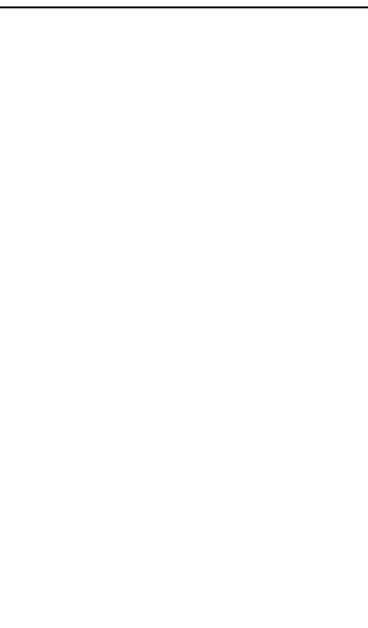
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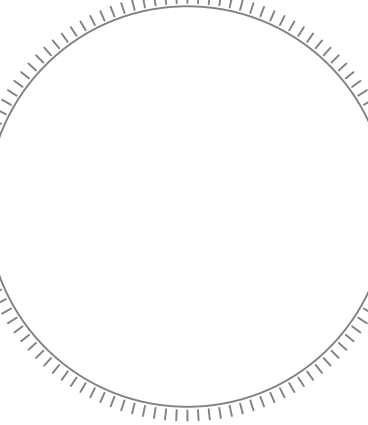
13 ADA DESK/COUNTER



ADA COUNTER/SINK



CONSULTING ENGINEER



ALIOSKAR GANEM P.E.
L. LIC. No. 74745

PROJECT NAME:
NEW SOCCER FIELD

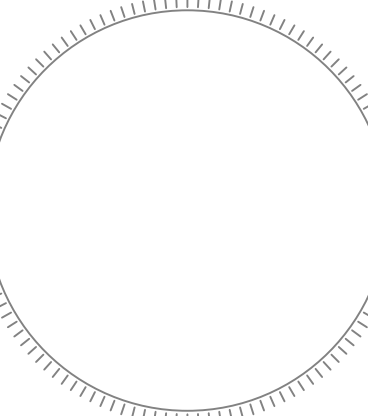
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4151 N 29th AVE
OLLYWOOD, FL. 33020

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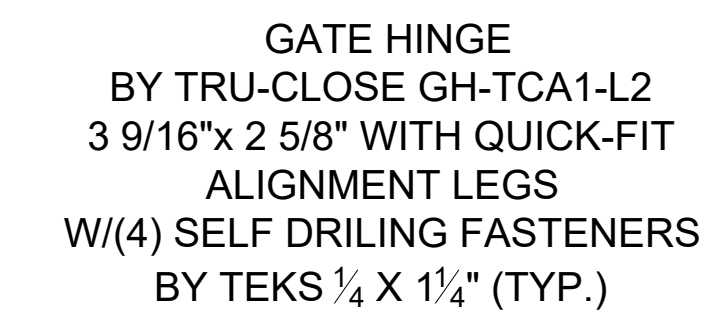


PROJECT NAME:
NEW SOCCER FIELD

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Drawing Title:

Sheet No: 5 OF 8



DETAIL 1/SD-1
SCALE = N.T.S.



PROJECT NAME:
NEW SOCCER FIELD

PROJECT ADDRESS:
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HOLLYWOOD, FL. 33020

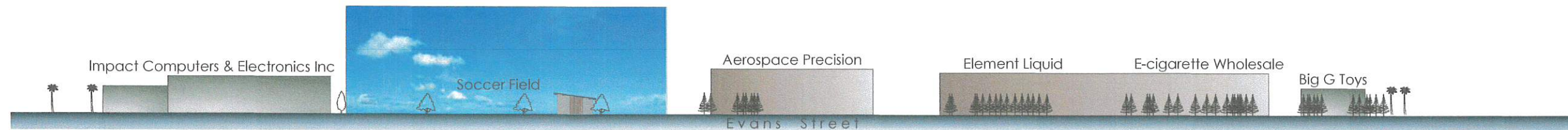
REVISIONS DATE

Project No: AS NOTED
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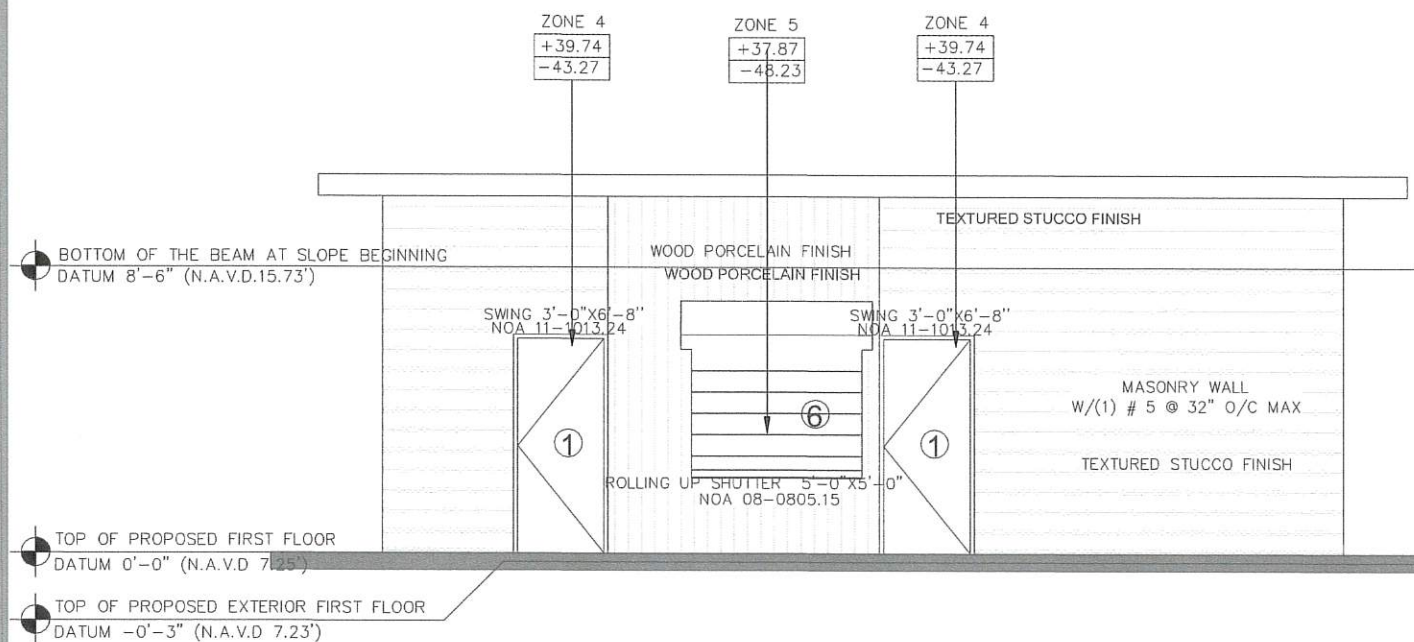
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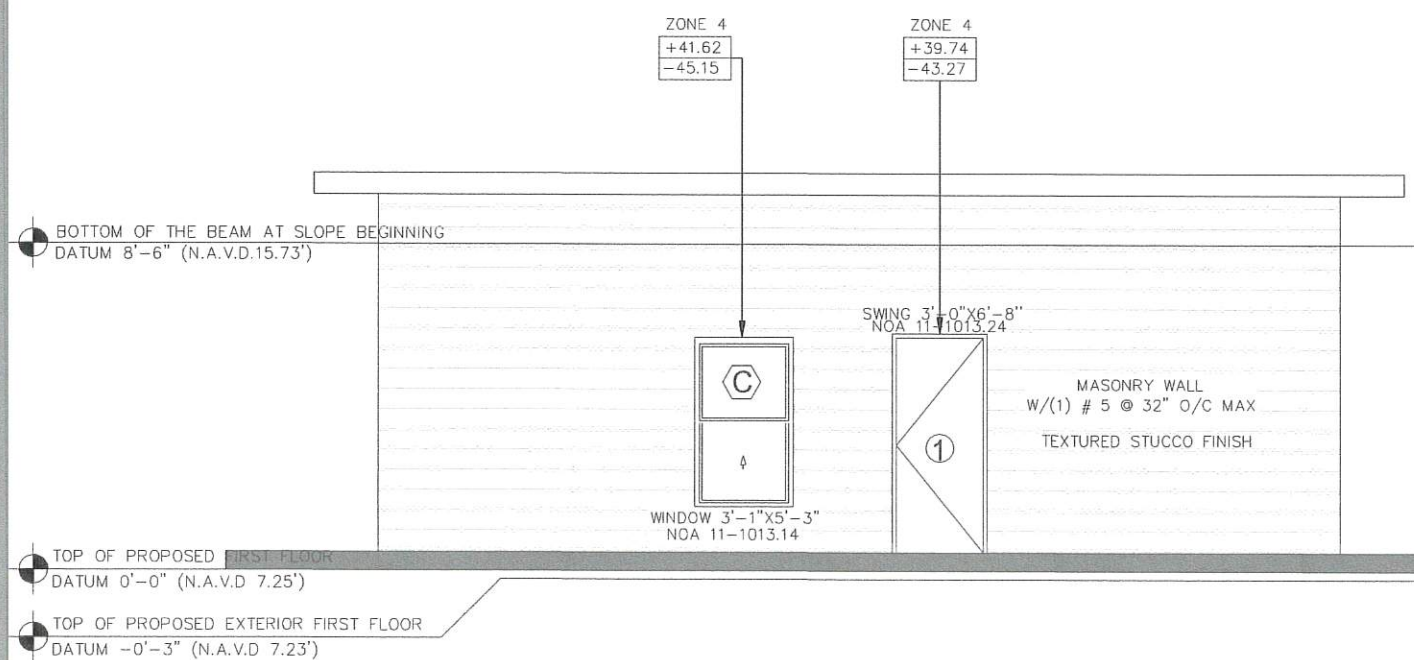
Sheet No: 6 OF 8



2 STREET PROFILE
1/32" = 1'-0"

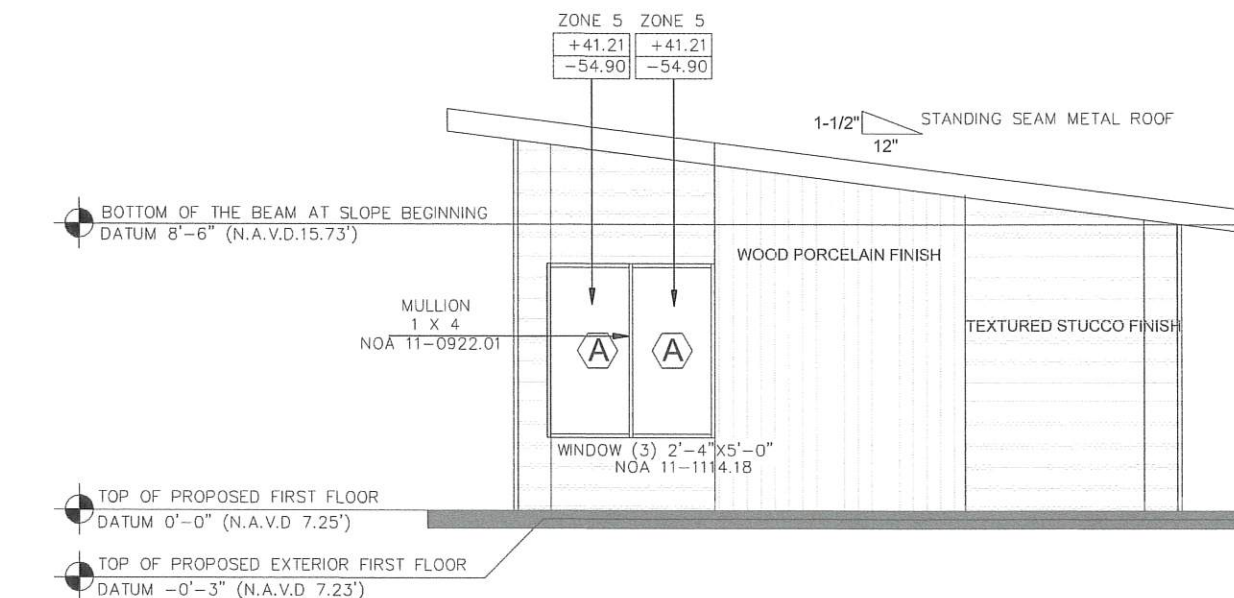


01 PROPOSED WEST ELEVATION
3/8" = 1'-0"

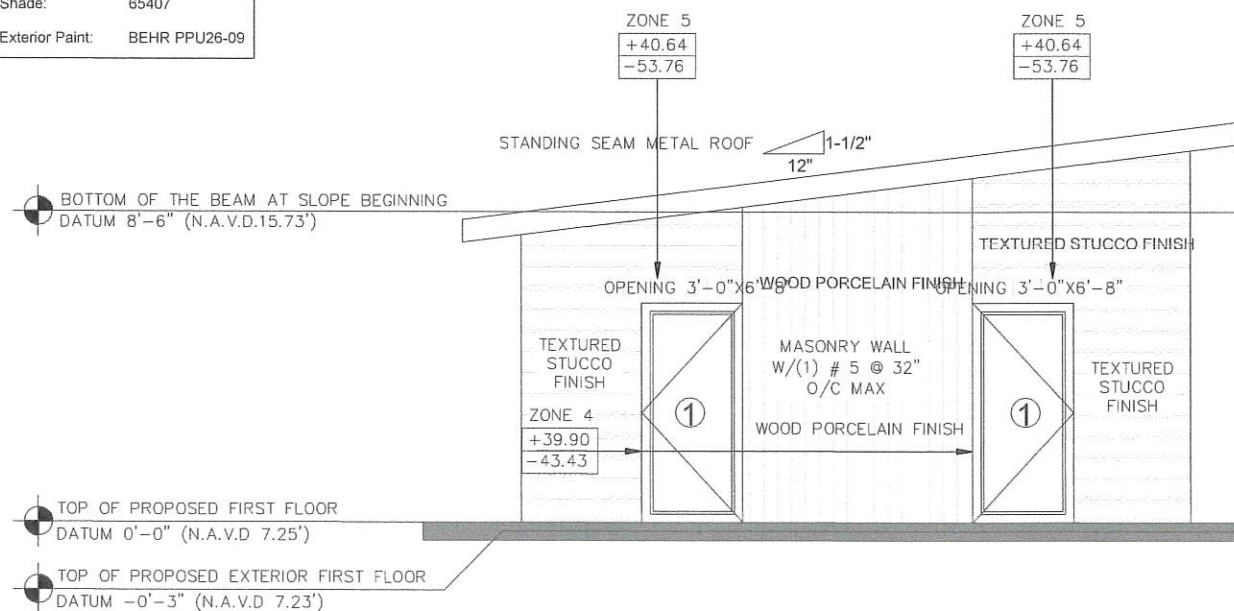


03 PROPOSED EAST ELEVATION
3/8" = 1'-0"

LEGEND:
Porcelain Wall tile:
Color: LP39 coffee wood
Shape: 624HD1PR
Shade: 65407
Exterior Paint: BEHR PPU26-09



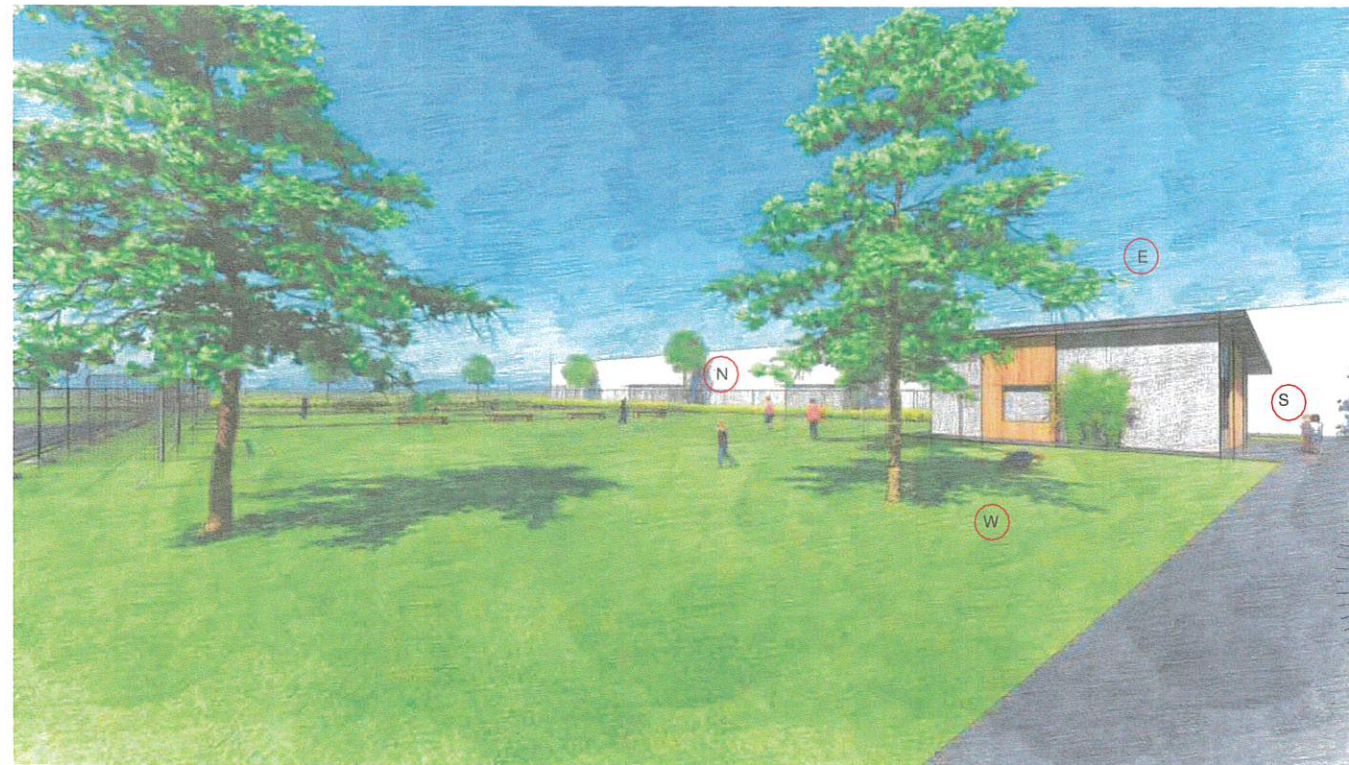
02 PROPOSED SOUTH ELEVATION
3/8" = 1'-0"



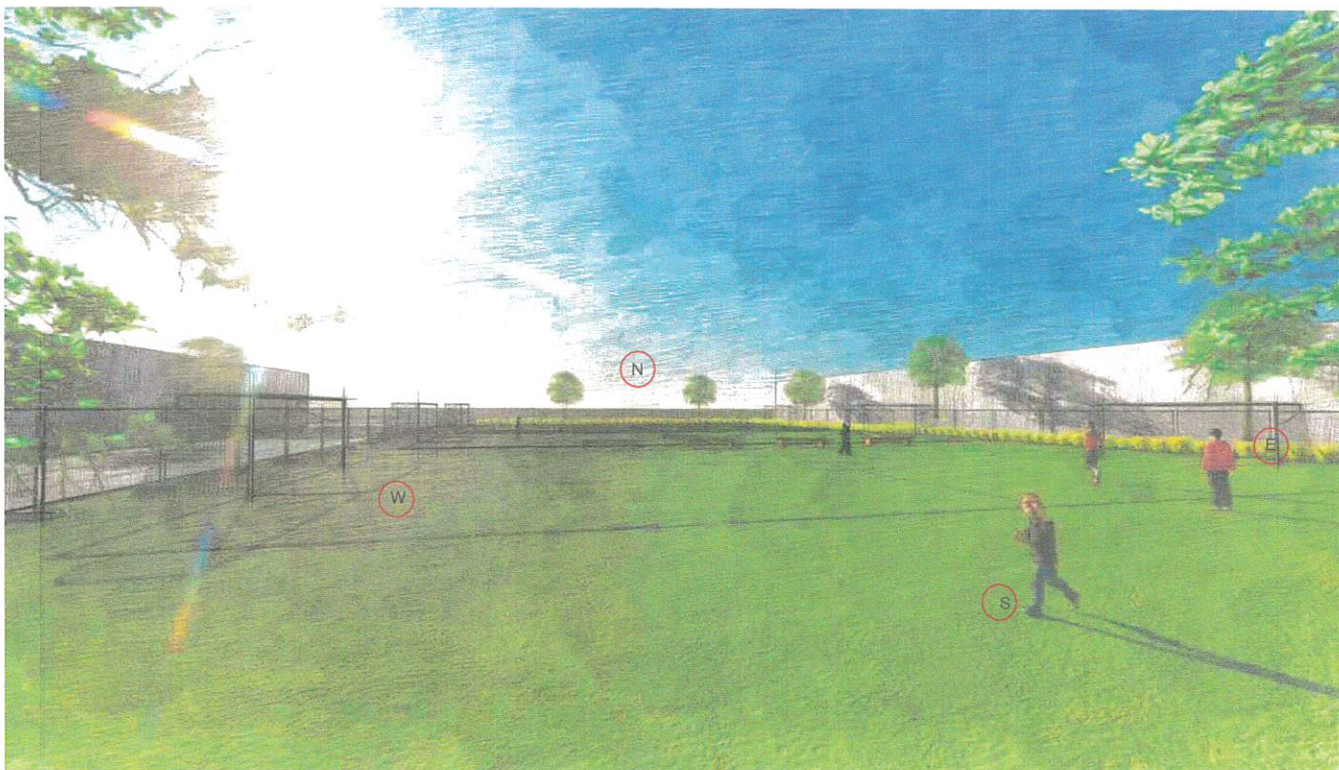
04 PROPOSED NORTH ELEVATION
3/8" = 1'-0"



1 PROPOSED SOCCER FIELD VIEW



2 PROPOSED SOCCER FIELD VIEW



3 PROPOSED SOCCER FIELD VIEW



4 PROPOSED SOCCER FIELD VIEW



PROJECT NAME:
NEW SOCCER FIELD

PROJECT ADDRESS:
4151 N 29th AVE
HOLLYWOOD, FL 33020

REVISIONS	DATE

Project No: AS NOTED
Scale: 02-21-2014
Date: A.G.
Drawn: A.G.
Checked:
CAD File:

Drawing Title:

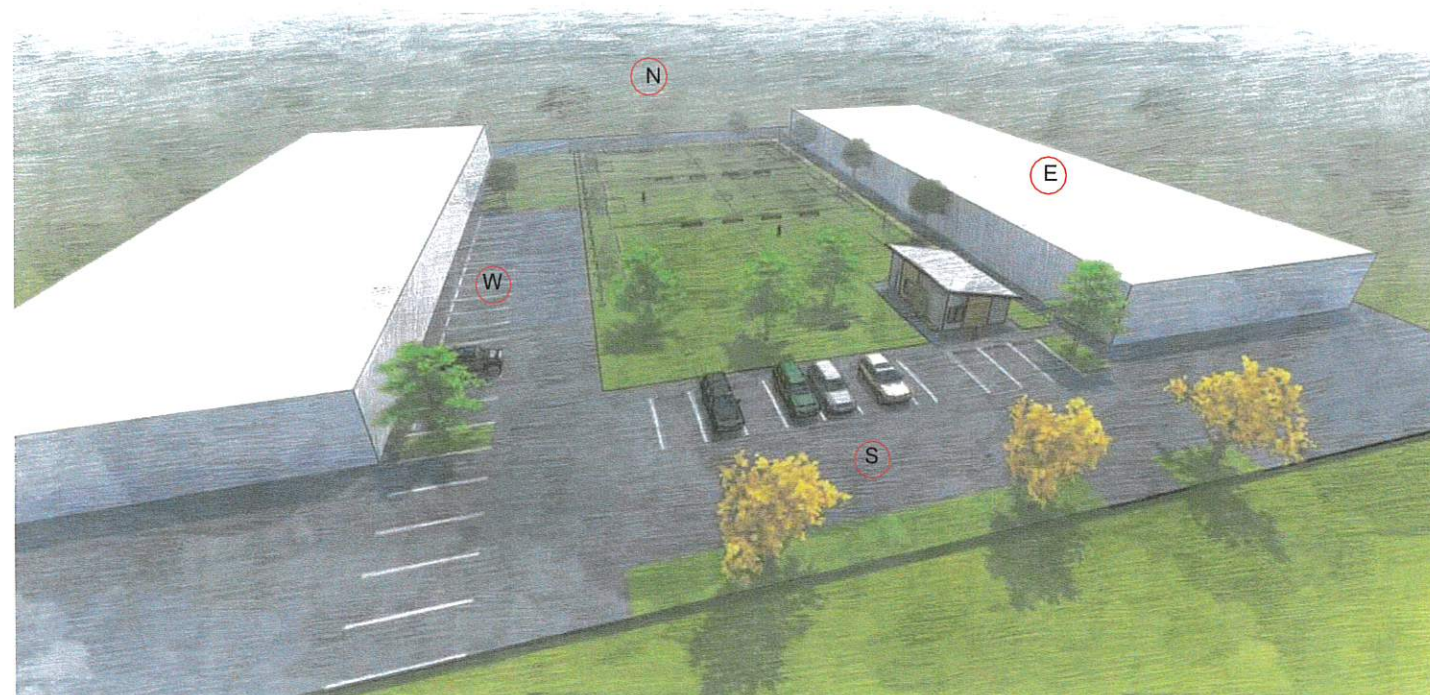
A-7



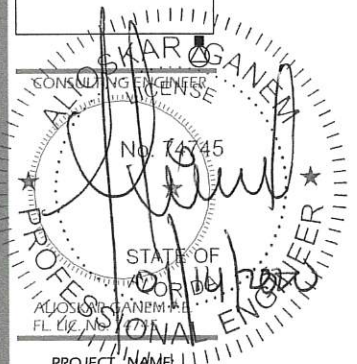
1 PROPOSED SOCCER FIELD VIEW



3 PROPOSED SOCCER FIELD VIEW



2 PROPOSED SOCCER FIELD VIEW



PROJECT NAME: NEW SOCCER FIELD

PROJECT ADDRESS:
4151 N 29th AVE
HOLLYWOOD, FL 33020

REVISIONS	DATE

Project No: AS NOTED
Scale: 02-21-2014
Date: A.G.
Drawn: A.G.
Checked:
CAD File:

Drawing Title:

A-8

Landscape Notes:

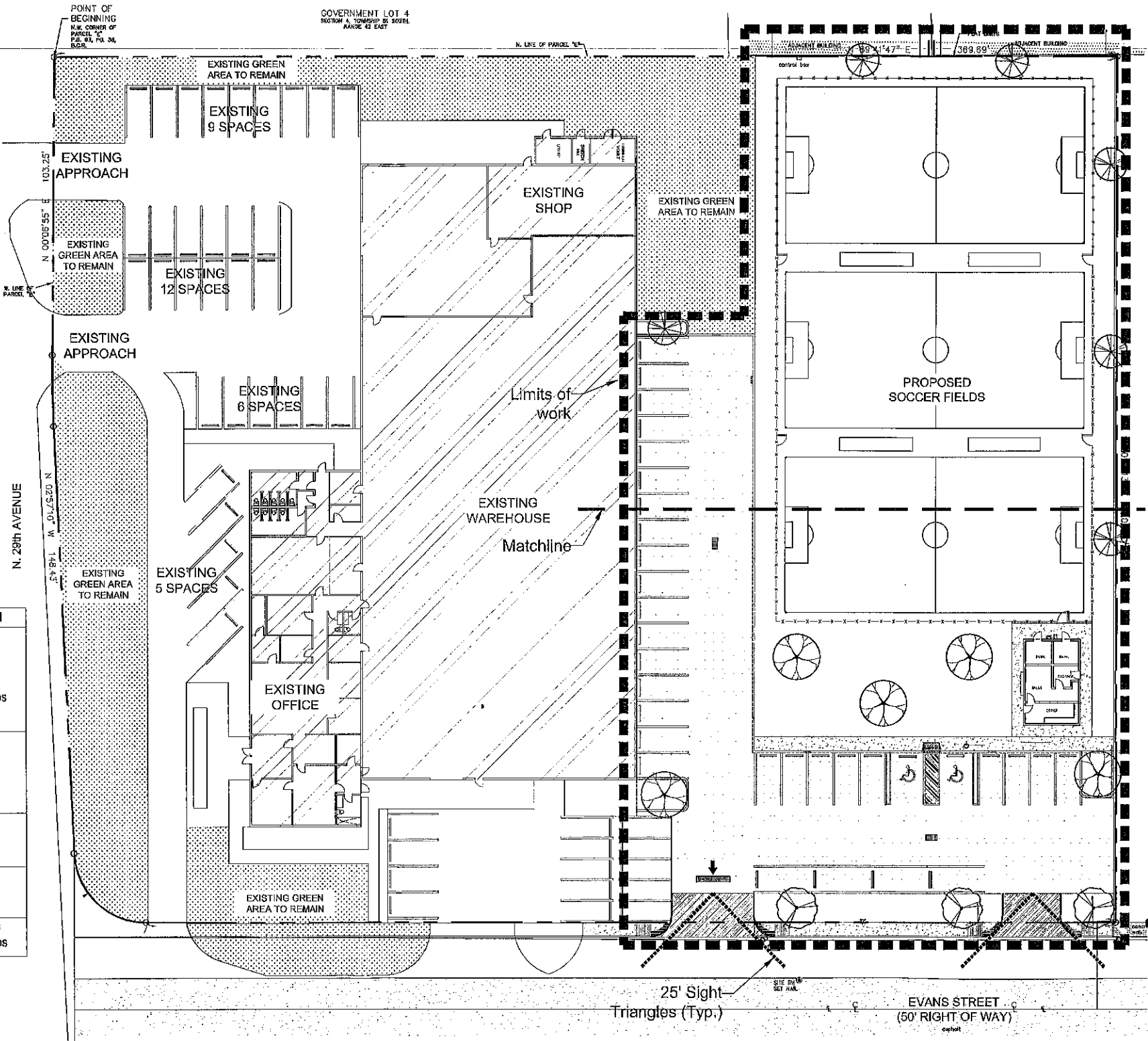
- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Landscape Data:

IM-1 Low Intensity Industrial and Manufacturing District	Required	Provided
Perimeter Landscape One 12" street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	3 Trees (104'/50')	3 Trees
Perimeter Hedge: One shrub for every 24 inches in landscape buffer abutting property line. 461' / 2' = 230.5.	230.5 Shrubs (461'/2)	231 Shrubs
Open Space A minimum of 1 tree per 1,000 s.f. of pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs. 7560 s.f. / 1,000 s.f. = 7.56.	8 Trees (7560 SF/ 1,000 SF)	8 Trees
Interior Vehicular Use Area Minimum 15% of VUA shall be landscaped. Each island shall contain at least one tree. VUA: 2,071 s.f. x .15 = 311 s.f. Islands: 3	3 Trees 311 s.f.	3 Trees 311 s.f.
Minimum Tree Sizes Shade trees: 2" DBH/ 12' height. Palm trees: 8' of GW or CT.		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	8 Trees 116 Shrubs	14 Trees 231 Shrubs



PLANT SCHEDULE NEW SOCCER FIELD

STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	TC-S	Tabebuia carolin	Silver Trumpet	FG, 12' HT, 2" DBH MIN, STD, SP	3	
CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	CD-C	Coccoloba diversifolia	Pigeon Plum	FG, 12' HT, 2" DBH MIN, STD, SP	6	
	QV-C	Quercus virginiana	Southern Live Oak	CG, 12' HT x 6" SPR, 2" DBH MIN, SP	5	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	CHR	Chrysobalanus icaco "Redlip"	Red Lip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	232	



Project Team

Landscape Designer:
BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Fort St. Lucie, FL 34983
(772) 654-1357

Civil Engineer:
Garen Consulting Engineering
18280 NE 19th Ave, Suite 105
North Miami Beach, FL 33152

New Soccer Field
4151 N 29th Ave., Hollywood, FL 33024

Cover Sheet

Revisions

Date	Init.	Description
06.21.19	BW	Initial Submittal

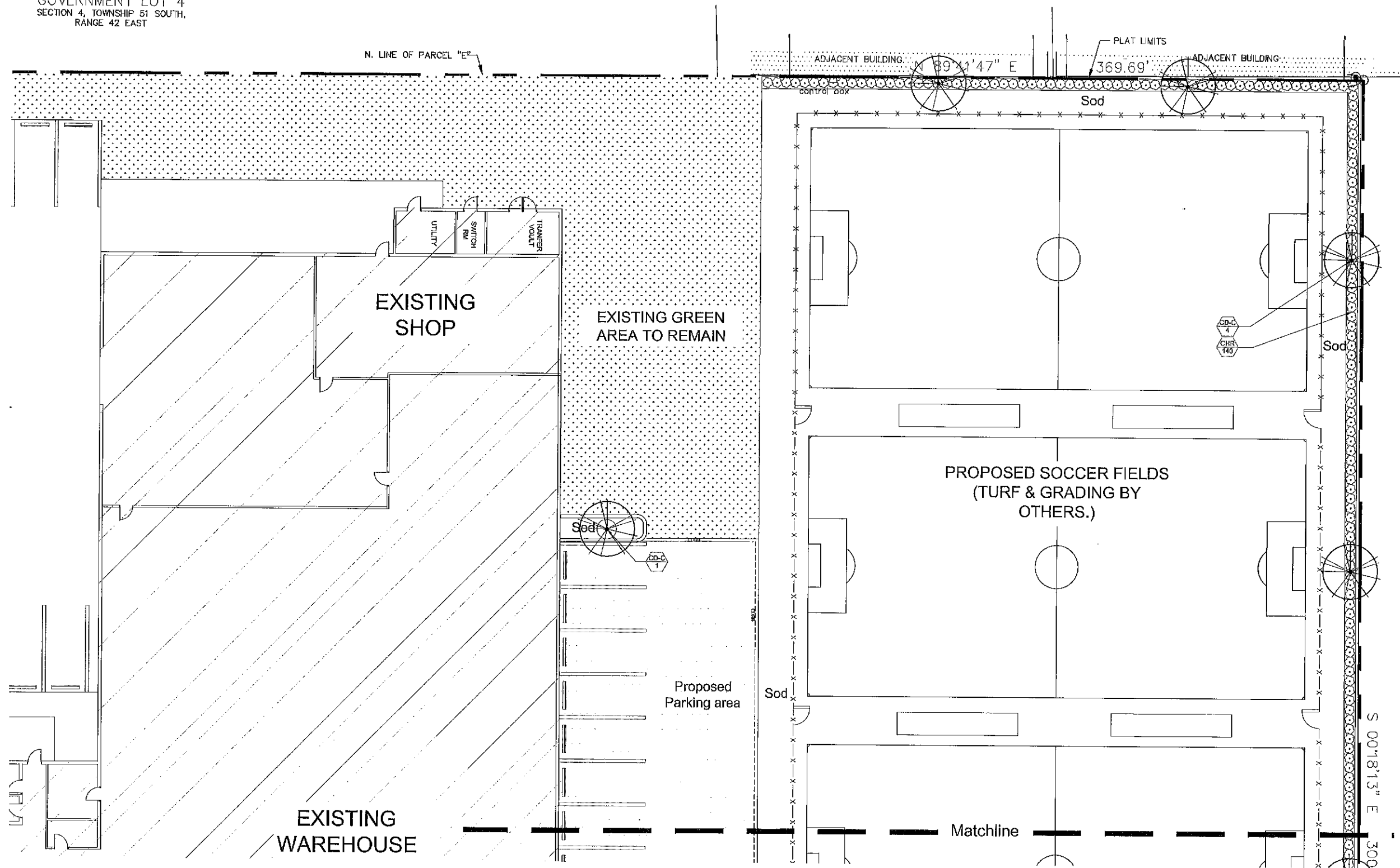
PAUL GOULAS, RLA
FLORIDA REG. # LA6666807

Drawn By: BW
Checked By: PG
Municipal Project:
Scale:

SCALE: 1" = 20'-0"
0 10' 20' 40'

1 of 4

GOVERNMENT LOT 4
SECTION 4, TOWNSHIP 51 SOUTH,
RANGE 42 EAST



Project Team

Landscape Designer:
BRANDON M. WHITE, ASLA
1746 SE Joy Haven Street
Fort St. Louis, FL 34865
(772) 834-1557

Civil Engineer:
Genom Consulting Engineering
19200 NE 19th Ave, Suite 105
North Miami Beach, FL 33162

New Soccer Field

4151 N 29th Ave., Hollywood, FL 33024

Landscape Plan

Revisions		
Date	Init.	Description
08.21.19	BW	Initial Submittal

PAUL GOULAS, RLA
FLORIDA REG. # LA6668807

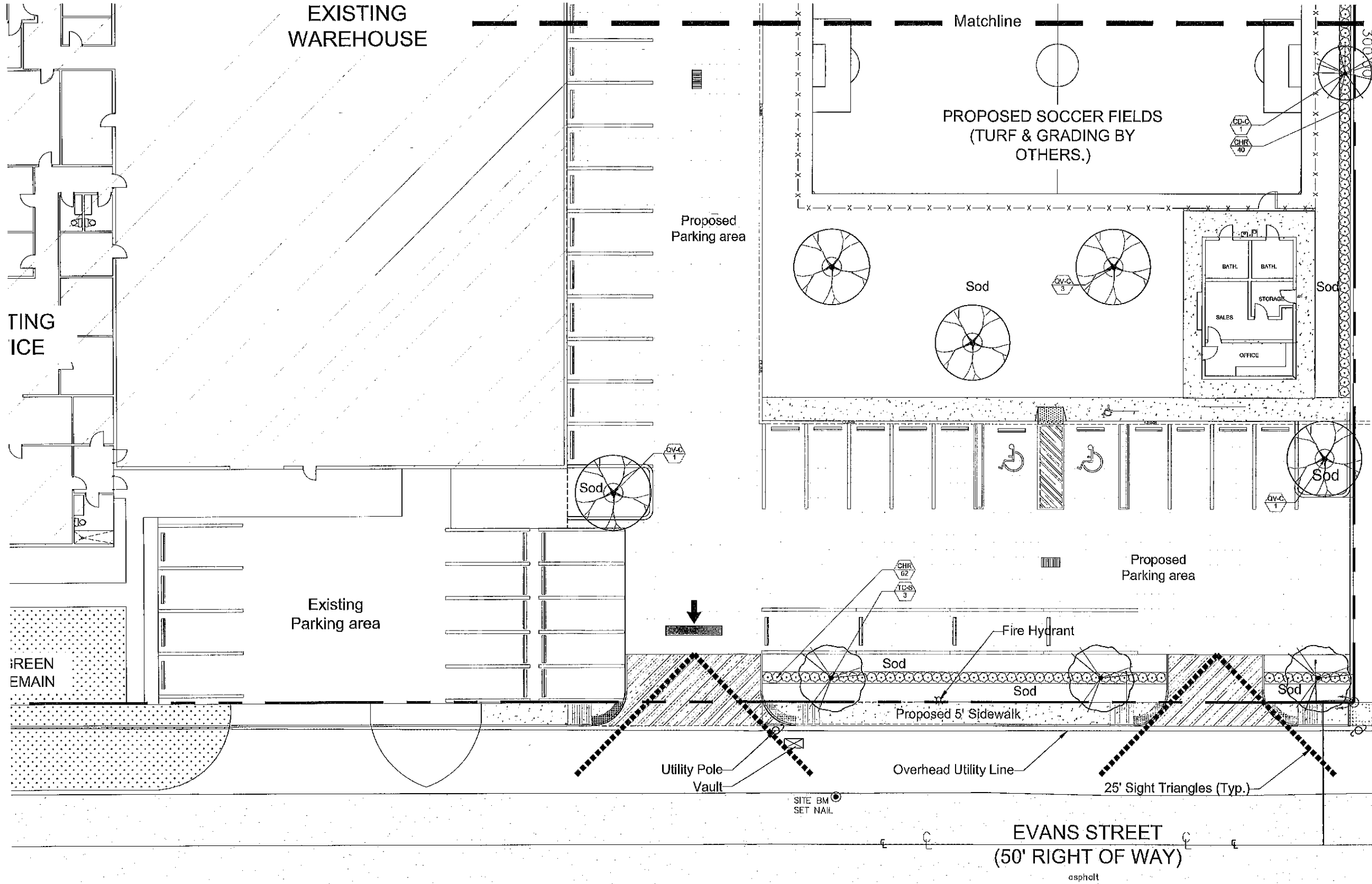
Drawn By: BW
Checked By: PG
Municipal Project:
Scale:

NORTH

SCALE: 1" = 10'-0"

0 5' 10' 20'

2 of 4



Project Team

Landscape Designer:
BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357

Civil Engineer:
Gorham Consulting Engineering
18200 NE 19th Ave., Suite 105
North Miami Beach, FL 33162

New Soccer Field

4151 N 29th Ave., Hollywood, FL 33024

Landscape Plan

Revisions		
Date	Init.	Description
06.21.19	BW	Initial Submittal

[Signature]

PAUL GOULAS, RLA
FLORIDA REG. # LA666807

Drawn By: BW
Checked By: PG
Municipal Project:
Scale:

NORTH

SCALE: 1" = 10'-0"

0 5' 10' 20'

3 of 4

LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

1.01 SCOPE:

- A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

1.02 AGENCY STANDARDS:

- A. Grades and standards of plant materials to be used shall be to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION:

- A. The Landscape Contractor shall personally examine the site and fully acquaint himself with all of the existing conditions in order that no mis-understanding may afterwards ensue as to the character or extent of the work to be performed, and additionally, in order to ascertain, beforehand, with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

1.04 ERRORS AND OMISSIONS:

- A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantity of specific plant materials to be used and is based on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

- B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.

- C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

1.05 EXECUTION OF THE WORK:

- A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation promptly and in a timely manner.

- B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

1.06 PROTECTION OF PUBLIC AND PROPERTY:

- A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

1.07 CHANGES AND EXTRAS:

- A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted price has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

1.08 GUARANTEES:

- A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except soil, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Soil shall be guaranteed to 100 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guarantee of plant material shall be considered to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricanes force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B. At the end of the specified guarantee period, any plant required under this contract to be dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the full replacement and when subsequent replacement (s) occur equally with the Owner, should the replacement plant fail to survive.

1.09 CARE AND MAINTENANCE:

- A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
- B. The Owner agrees to execute the instructions for such care and maintenance.

1.10 SAFETY:

- A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety and Health Act (OSHA).

1.11 CONTRACTOR QUALIFICATION:

- A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
 2. A listing of not less than (5) completed projects of similar scope and nature.
 3. Permanent name and address of place of business.
 4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12 INSURANCE AND BONDING:

- A. The contractor (s) shall submit proof of insurance for the job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in listing requirements or specifically required in the Contract Documents on the date of execution of the Contract.

1.13 PERMITS AND CERTIFICATES:

- A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

2.01 PLANT MATERIALS:

- A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

- B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.

- C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and ready to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.

- D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current edition and Grades and Standards for Nursery Plants, most current edition.
- E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

- F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

2.02 INSPECTION:

- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of field and root systems, species, habits and future habits, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

2.03 PROTECTION OF PLANT MATERIALS:

- A. Balled and burlapped plants (3 & 4) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

- B. Plants with broken, damaged or mutilated rootballs will be rejected.
- C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent sunburn, drying or damage to plants.

- D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

2.04 STORAGE:

- A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
- B. No plant material shall be stored longer than seventy-two (72) hours unless approved by the Landscape Architect and/or owner.
- C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
- D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

2.05 PROTECTION DURING PLANTING:

- A. Trees moved by crane or crane shall be thoroughly protected from chain marks, girdling or bark damage by means of burlap, wood batten or other approved materials. Batters shall NOT be attached to the tree with nails.

2.06 PLANTING SOIL:

- A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plastic or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

2.07 FERTILIZER:

- A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes clotted or otherwise damaged shall be rejected.

- B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-6 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be evenly spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

1 gallon container	1 tablet
3 gallon container	2 tablets
5 gallon container	3 tablets
7 gallon	5 tablets

- Large tube, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of ball diameter (measured 3 feet from ground) or for each foot of height or spread of balled shrub material. The Landscape Architect reserves the right to inspect and review the application of fertilizer.

2.08 MULCH:

- A. Mulch material shall be clean, dry, free of weeds, seeds and pests, maintained at the time of application to prevent wind displacement. Cypress Sawdust mulch is prohibited.
- B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" mulch on tree & palm rootballs. Keep away from tree & palm trunks or as required by local jurisdiction.

PART 3: EXECUTION

3.01 DIGGING:

- A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such conditions or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

3.02 GRADING:

- A. Grading for drainage, surface, etc. to within 4 inches of the finished grade to be provided by others.
- B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring soil and planting areas to their proper elevations in relation to walls, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of soil to insure that drainage and other conditions will NOT be modified.

3.03 PLANTING:

- A. Planting shall take place during favorable weather conditions.
- B. The Contractor shall call for utility locations and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

- D. Excavation of holes shall extend to the required subgrade as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.

- F. Planting pits shall be excavated to the following dimensions and filled with a mixture of (10) planting soil (10) existing native soil:
- 1 Gallon material (1 gal): 12" x 12" x 12" min.
 - 3 Gallon material (3 gal): 20" x 20" x 18" min.
 - Large material (7 gal): 30" x 30" x 24" min.
- Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

- G. No planting or laying of soil shall be initiated until the area has been cleared of existing soil or other plant material, rough grass, weeds, clumps, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and eaves and approved by Landscape Architect or owner's rep.

- H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I. All plants shall be set to ultimate finished grade. No filling will be permitted around bums or stems. All roots, vines, fibers, etc., shall be removed from sides and top of the ball and removed from hole before filling in.

- J. All bagging ribbon shall be removed from trees and shrubs before planting.

- K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.

- L. All palms shall be backfilled with sand, thoroughly washed during planting operations and with a shallow narrow depression left at the soil line for future watering. Sucker shoots shall be top-dressed two (2) inches deep with topsoil raised and left in a neat, clean manner.

3.04 PRUNING:

- A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
- B. Make all cuts with sharp instruments (bush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
- C. Trees shall not be potted or topped.
- D. Remove all trimmings from site.

3.05 GUYING:

- A. All trees over six (6) feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge galvanized galvanized iron, in tripod fashion. See Detail.
- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protect on day on at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.
- D. Shakes & Braces all trees larger than 12" dbh. See detail.
- E. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each line.

- F. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.

3.06 WATER:

- A. Each plant or tree shall be thoroughly watered in after planting. Wiring of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.

- B. See General Notes of Landscape Plan for water source.

3.07 SDO:

- A. The Landscape Contractor shall seed all areas indicated on the drawings.

- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminate all bumps, depressions, ridges, stones, and other obstructions.

- C. The seed shall be of firm, tough texture, having a compacted growth of grass with good development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or diseases. The seed is broadcast in the soil and shall be good clean earth, free from stones and debris.

- D. Before being cut and laid, the seed shall have been moved at least three times with a lawn mower, with the final mowing not more than seven days before the seed is cut. The seed shall be carefully cut into uniform dimensions.

- E. 6-8-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying out.

- F. Roll seed at all laid with closely abutting, staggered joints with a tapered or rolled, even surface.

- G. The finished level of all seed areas after settlement shall be one (1") inch below the top of existing curbs, water, paving and wood borders to allow for building turf.

- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly worked in.

3.08 SEEDING:

- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply 1/4" layer of a rate of 500 lbs. per acre.

- B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with 50% topsoil (balled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.

- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

3.09 CLEANING UP:

- A. The Contractor shall at all times keep the premises free from accumulation of waste materials or rubbish caused by his employees or work. He shall remove all paved areas "bumps" clean" when completed with his work.

3.10 MAINTENANCE:

- A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, covering plants to protect from frost or upright positions, spraying, replacement of planting material and/or any other necessary operations.

- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, including re-planting or damage on the part of others, lighting, or hurricane force winds, and final acceptance.

- D. In the event that weeds or other undesirable vegetation becomes prevalent, it shall be the Contractor's responsibility to remove them.

- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

3.11 COMPLETION, INSPECTION AND ACCEPTANCE:

- A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trees, cables, and/or other waste created by the Landscape Contractor.

- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- C. All plant material shall be a live and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

- B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

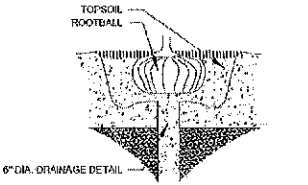
- C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)

- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

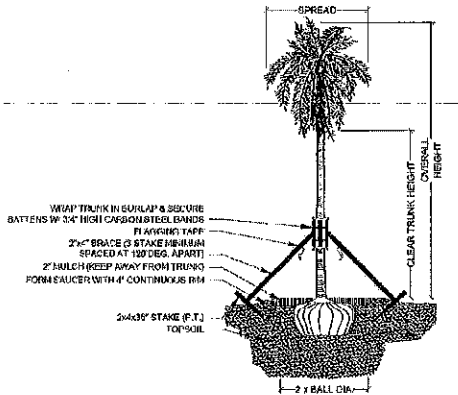
- E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



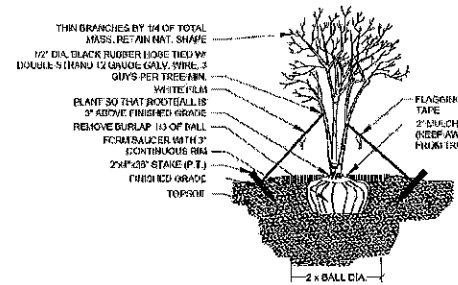
BRACING DETAIL
NOT TO SCALE



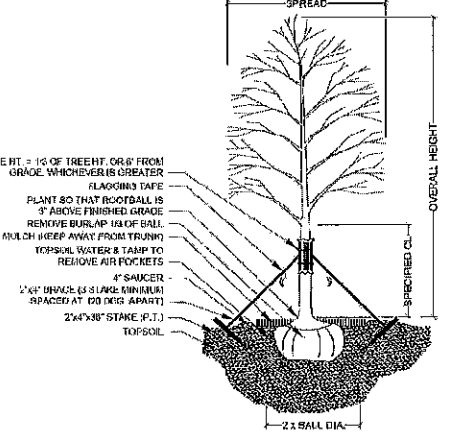
DRAINAGE TESTING DETAIL
NOT TO SCALE



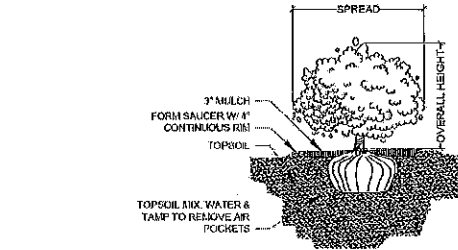
PALM PLANTING - ANGLE STAKE
NOT TO SCALE



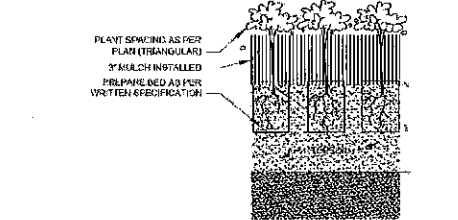
MULTI-TRUNK PLANTING & GUYING
NOT TO SCALE



TREE PLANTING & STAKING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

Project Team

Landscape Designer:

BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 934-1157

Civil Engineer:

Gorham Consulting Engineering
16200 NE 15th Ave., Suite 105
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New Soccer Field
4151 N 29th Ave., Hollywood, FL 33024

Landscape Details & Specifications

Revisions		
Date	Init.	Description
08.21.19	BW	Initial Submittal

PAUL GOULAS, P.E.
FLORIDA REG. # LA0608507

Drawn By: BW
Checked By: PG
Municipal Project:
Scale:

NORTH

SCALE: 1" = 0'

0 0' 0' 0'

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