ATTACHMENT A Application Package

PLANNING DIVISION



File No. (internal use only):___

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

	APPLICATION TYPE (CHECK ON	E):
CITY OF	Technical Advisory Committee	Historic Preservation Board
	City Commission	I Planning and Development Board
FLORIDA	Date of Application:	
	<i>C</i>	
Tel: (954) 921-3471	Location Address:	Subdivision: South FL INDUSTRIAL
Fax: (954) 921-3347	Lot(s):Block(s):	Subdivision: South FL INDUSTRIAL
	Folio Number(s): <u>514209090082</u>	Land Use Classification: Industrial
This was listed		
This application must be completed in full and		Sq Ft/Number of Units:
submitted with all documents		e?()Yes ()No If yes, attach a copy of violation.
to be placed on a Board or Committee's agenda.	Has this property been presented to the C	ity before? If yes, check al that apply and provide File
		PROJECT 19-DP-55
The applicant is responsible		Advisory Committee I Historic Preservation Board
for obtaining the appropriate	City Commission	nd Development
checklist for each type of application.	Explanation of Request:SOCCE	R FIELD
		<u> </u>
Applicant(s) or their		
authorized legal agent must be	Number of units/rooms:	Sq Ft:
present at all Board or Committee meetings.		_ Estimated Date of Completion:
	Will Project be Phased? () Yes ()No)	
At least one set of the		
submitted plans for each		~ pappale ITD
application must be signed and sealed (i.e. Architect or	Name of Current Property Owner:	51 property LTD U 29H que Hollywood PL 33020
Engineer).		
		Email Address: <u>ACCOUNTSED ton pect</u>
Documents and forms can be	Name of Consultant/Representative/Tenant	(circle one): Leonardo PEEPANAYAASCA
accessed on the City's website at		0A/E BOACH Telephone: <u>786 6672789</u>
http://www.hollywoodfl.org/Do		VOGLIDPIZZA 19 06 MALL. COM
cumentCenter/Home/View/21		an option to purchase the Property? Yes ($$) No (X)
	If Yes, Attach Copy of the Contract.	
28		ce of the Hearing:
RA	<i>F</i>	
	and the second	





File No. (internal use only):___

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <u>www.hollywoodfl.org</u>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date:
PRINT NAME: Ratal Salava	Date: <u>12/03/</u> 19
Signature of Consultant/Representative:	Date:
	Date:
Signature of Tenant:	Date:
PRINT NAME: LEONARDO PRZEPIDRICA	Date: 12/23/19

Current Owner Power of Attorney

Sworn to and subscribed before me

this _____ day of _____

Signature of Current Owner

Print Name

Notary Public

State of Florida

My Commission Expires: _____(Check One) ___ Personally known to me; OR ___ Produced Identification _____

LEGAL DESCRIPTION:

THAT PORTION OF PARCEL "E", SOUTH FLORIDA INDUSTRIAL PARK, PLAT BOOK 63, PAGE 38, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBE AS FOLLOW;

BEGINNING AT THE NORTHWEST CORNER OF PARCEL "E", RUN NORTH 89°41'47" EAST ALONG THE NORTH LINE OF PARCEL "E" 369.69 FEET; THENCE, SOUTH 00°18'13" EAST 300.00 FEET; THENCE SOUTH 89°41'47" WEST 338.13 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25 FEET AND CENTRAL ANGLE OF 87°21'03" AND ARC DISTANCE OF 38.11 FEET TO A POINT OF TANGENCY ON THE WEST LINE OF PARCEL "E"; THENCE, NORTH 02°57'10" WEST ALONG SAID WEST LINE 148.43 FEET TO A POINT OF CURVATURE; THENCE, CONTINUE NORTHERLY ALONG SAID WEST LINE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 460 FEET AND CENTRAL ANGLE OF 03°04'05" AND ARC DISTANCE OF 24.63 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°06'55" EAST ALONG SAID WEST LINE103.25 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 2.530 ACRES.



To the city of Hollywood Florida.,

Thank you for the chance of building our Voglio Soccer fields on your city , at 4151 North 29th Avenue, in the city of Hollywood, Florida 33020.

Our team of qualified and experience designers, general construction and sports operations experts have been assembled to capitalize on the specific knowledge, skills and abilities of each firm and individual. As professionals we are passionate about improving communities that promote health of mine, body and spirit.

We have summarized below our goal objectives and expectations for this project for your best understanding:

The plan is to create 3 (three) soccer fields, with half shade roof, fence and lighting to lure and host young and adult soccer leagues, tournaments and other events. The plan will also include 2 (two)restrooms women's and gentlemen, a kid playground and an office of 600 (six hundred) sf, with an area for drink and snacks, The area in will be build by All aspects of the plan will meet all applicable codes from the city of Hollywood (local, state and federal) and regulations.

Between the fields, as you can see on the sketch, there will be a dividing with meshes each soccer field with benches for the players and visitors. The front and left side of the property will be used and design for parking spaces.

The construction of the project will take approximately 8 months to be completed. It will start as soon as all the city permits are obtained. As we already have our team working on their specific duties. Please find their information below, and feel free to contact them with any concerns that you may have.

General Contractor – AJC Builders Enrique Adrian Krauskopf Office: (305) 332-0355

Engineering – Ganem Consulting Enginnering Alioskar Ganem Cell: (786)487-4401 Office: (786)916-6546

DESIGN SOCCER FIELD

4151 N 29th AV

ARQUITECTURAL AND DESIGN COMPONENTS:

The elements chosen for this project are chosen taking into account the relationship with the existing architectural environment. using traditional materials such as stucco and new materials such as the tile with wood texture, as a contribution of the current architecture.

COMPATIBILITY:

The use of traditional materials, such as new ones, show respect for the existing architecture as well as for the new one. the architecture proposed in the site combines perfectly with the existing neighboring architecture, since it will handle a geometrical similarity and colors that contrast with the neighbors.

SCALE/MASSING:

The architecture reflects a simple volumetric mass, similar to the neighboring structures, but unlike these, the volume is a little lower, since the project does not merit a larger size, the volumetric covers less land than required since the project itself develops in the flat area, the roof with a single inclination and eaves give a modern touch, the doors and windows play a simple role in the building.

LANDSCAPING:

The lot does not have trees, but lends itself to develop an area to plant and give a new environment to the neighborhood.



2851 EVANS STREET (EAST PROPERTY)



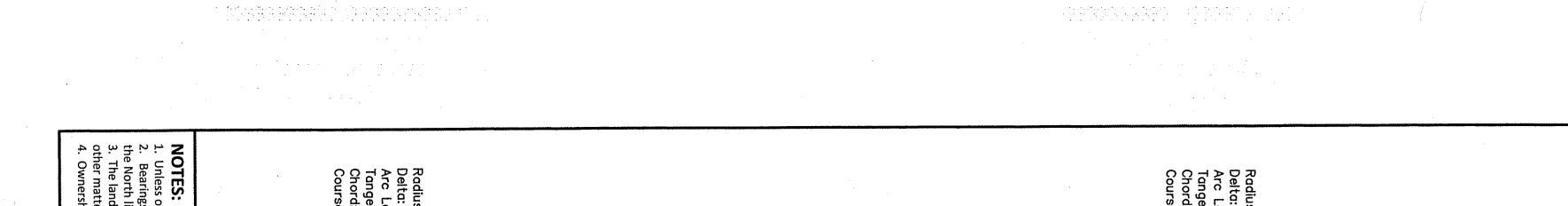
4035 N. 29 AVENUE (SOUTH PROPERTY)



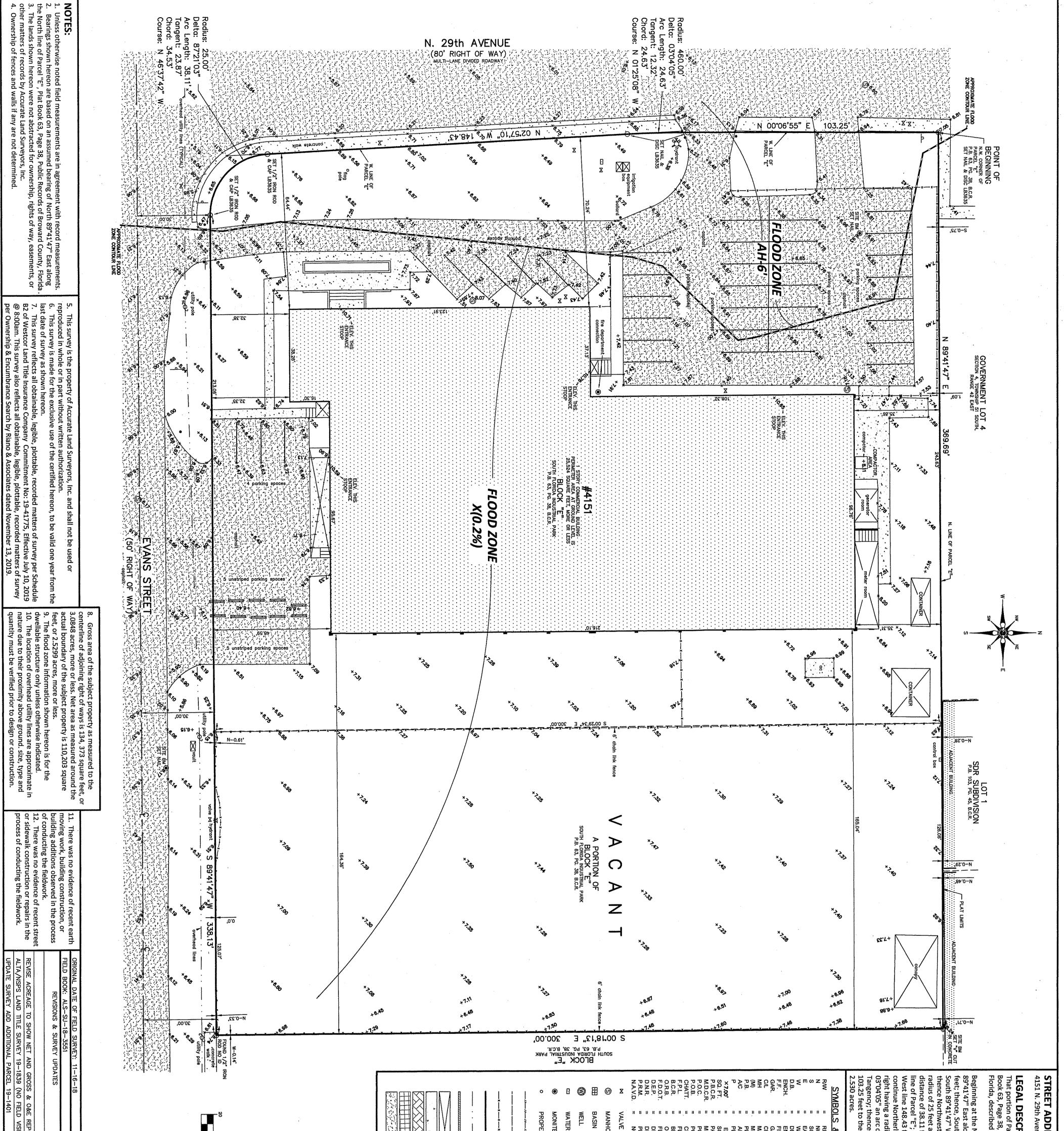
SUBJECT PROPERTY



SUBJECT PROPERTY







DRESS: enue, Hollywood, Florida, 33020	ACCURATE LAND SURVEYORS, INC.	,
RIPTION: arcel "E", South Florida Industrial Park, Plat , Public Records of Broward County, d as follows;	ALTA/NPS LAND TITLE & TOPOGRAPHIC SURVEY	
r of Parcel "E le of Parcel "E 1 300.00 feet; t 300.00 feet; t to a point of ve to the righ ve to the righ le of 87°21'0; f Tangency of	A L A B A M A PENSACOLA G E O R G I A O TALLAHASSEE OUACKSONVILLE	
; thence, North 02°57'10" West along said feet to a point of curvature; thence, ly along said West line on a curve to the lius of 460 feet and a central angle of distance of 24.63 feet to a Point of e North 00°06'55" East along said West line e Point of Beginning. Said lands containing	O I I NY J I Y	
& LEGEND OF ABBREVIATIONS: NGHT OF WAY	N OKEECHIERE	
EAST TREST DEED BOOK ENCROACH ENCROACH TINISHED FLOOR	O D I X	
GARAGE DENTERLINE MANHOLE MEASURED VIAT BOOK AIR CONDITIONER	KEY WEST	
ELEVATIONS BASED ON N.A.V.D. SQUARE FEET SALM BEACH COUNTY RECORDS MIAMI-DADE COUNTY RECORDS	COMENNIE BO EXCEPTIONS.	
OINT OF BEGINNING POINT OF BEGINNING CHATTAHOOCHEE LORIDA POWER & LIGHT SROWARD COUNTY RECORDS OFFICIAL RECORDS BOOK LORIDA DEPARTMENT OF TRANSPORTATION DEPARTMENT OF ENVIRONMENTAL PROTECTION	iens, encumbrances, adverse claims or other matters, if any, created, first the public records or attaching subsequent to the effective date but prior to d Insured acquires for value of record the estate or interest or mortgage the this Commitment. (This item is not a matter of survey.)	
PERMANENT REFERENCE MONUMENT NORTH AMERICAN VERTICAL DATUM	survey.) sroachment, encumbrance, violation, variation, or adverse circums	· · · · · · · · · · · · · · · · · · ·
	Title that would be disclosed by an accurate and complete survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments on the Land of existing improvements located on the adjoined land. (After upon review of survey to be determined by title examiner.)	
r meter 🔅 light Fering well • Bollard	nts or)	
AIR CONDITIONER	 5. Taxes or special assessments which are not shown as existing liens by the public records. (This item is not a matter of survey.) 6. Taxes and assessments for the year 2019 and subsequent years, which are not yet due and 	
	7. Any lien provided by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land. (This item is not a matter of survey.)	
6' CONCRETE WALL COVERED AREA CONCRETE BRICK PAVERS	8. Restrictions, dedications, reservations, setbacks and easements, if any, as indicated and/or shown on that certain Plat recorded in Plat Book 63, at Page(s) 38, of the Public Records of Broward County, Florida. (There are no restrictions, dedications, reservations or setbacks listed on the aforementioned plat. This plat dedicated all thoroughfares and easements shown on said plat to the perpetual use of the public for proper purposes. All other matters of survey are shown hereon.)	
ASPHALT	9. Easement(s) in favor of Florida Power and Light recorded in Official Records Book 10795, Page 580, of the Public Records of Broward County, Florida. (This item does not affect the subject property.)	
	10. Existing unrecorded leases and all right thereunder of the lessees and of any person claiming by, through or under lessees. (This item is not a matter of survey.)	
	FLOOD INFORMATION: Community name and number: Hollywood 125113 Map and panel number: 12011C0566H Panel date: 08-18-14	
	Index date: 08-18-14 Flood zone: X(0.2%) & AH Base flood elevation: 6' NAVD1988	
	BENCHMARK INFORMATION: City of Hollywood Benchmark Property pipe at Southeast corner of 29th Avenue and Evans Street Elevation = 5.95'NAVD1988	
	OBSERVED ENCROACHMENTS: Driveways in road right of way along the Sotuh and West boundary.	
GRAPHIC SCALE		
	CERTIFY TO: Gina Sanchez	
	CERTIFICATION: This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes Items 1, 2, 3, 4, 7a, 7b1, 8, 9, 11(observed evidence) 16 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further	
DRAWN BY: MLW CHECKED BY: MLW DATE OF SURVEY & REVISIONS	Ontained rate	
PORT 12-12-19 MLW SIT) 08-16-19 MLW 06-26-19 MLW	ROBERT L. THOMPSON (PRESIDENT) A Horida Lisensed PROFESSIONAL SURVEYOR AND MAPPER No.3869 – STATE OF FLORIDA Surveyor Surveyor SHEET 1 OF 1 SCALE 1"=20' SKETCH NUMBER SU-18-3551	
		-

	Property Inform	ation			
	Folio ID: Sub-Division: Property Address Owner Mailing Address PA Primary Zone Primary Land Use	4151 PROPER 2010 SCOTT S INDUSTRIAL Light manufact	E HOLLYWOOD, FI TY LTD ST HOLLYWOOD F uring, small equipm		
	Beds / Baths / Half Floors Living Units Actual Area Living Area Adjusted Area Lot Size Year Built Flood Zone Max Crown Elev.	110,203 SQFT X(0.2%) & AH 6.42 ft NAVD	\sum^{3}		
	LĚGĂL ĎEŠCŘIPŤ	<u>IŎN:</u>	• • • • •		· · · }
$\left\{ \right\}$	THAT PORTION OF PA 63, PAGE 38, PUBLIC I AS FOLLOW;				
· · · · · · · · · · · · · · · · · · ·	BEGINNING AT THE NG 89°41'47" EAST ALONG SOUTH 00°18'13" EAST TO A POINT OF CURV THE RIGHT HAVING A AND ARC DISTANCE LINE OF PARCEL "E"; T 148.43 FEET TO A POIN ALONG SAID WEST LIN 460 FEET AND CENTRA FEET TO A POINT OF T WEST LINE103.25 FEET CONTAINING 2.530 A	G THE NORTH LINE 300.00 FEET; THEN ATURE; THENCE N RADIUS OF 25 FE OF 38.11 FEET TO HENCE, NORTH 02 NT OF CURVATUR NE ON A CURVE T AL ANGLE OF 03 ANGENCY; THENO TO THE POINT OF	E OF PARCEL "E" 36 NCE SOUTH 89°41 IORTHWESTERLY A ET AND CENTRAL A A POINT OF TANG 2°57'10" WEST ALC E; THENCE, CONTI TO THE RIGHT HAV 04'05" AND ARC D CE NORTH 00°06'5	69.69 FEET; THENCE 47" WEST 338.13 FE LONG A CURVE TO ANGLE OF 87°21'00 ENCY ON THE WES ING SAID WEST LIN NUE NORTHERLY ING A RADIUS OF DISTANCE OF 24.63 5" EAST ALONG SA	ET
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<u>}</u>	ZONING LEGEN	D ZONE I-1	$\overline{\langle}$		
J		, min		PROVIDED	REMARKS
	LOT AREA MIN		15,000 Sq ft	23 088 Sa ft	
	MAX LOT COVERA		4,500 Sq ft (30%)	23,988 Sq ft 5,800 Sq ft (24%)	EXISTING EXISTING
	GREEN/OPEN ARE			827 ft (26%)	EXISTING
	MIN LOT WIDTH MIN LOT DEPTH		120 ft 115 ft	103.4 ft 207 ft	EXISTING EXISTING
				K	
	BUILDING SETBA	CKS	•		
			15 ft	86 58 ft	EVICTING
	FRONT INTERIOR SIDE		15 ft 15 ft	86.58 ft 15.1 ft	EXISTING EXISTING

SOCCER FIELD

PROJECT ADDRESS: 4151 N 29th AVE, HOLLYWOOD, 33020

	SCOPE OF WORK	
	NEW SOCCER FIELD NEW (33) PARKING SPACES NEW GENERAL AREA BUILDI	NG
	NAME AREA	AREA
	EX. ASPHALT PARKING	23,488 SQFT
	NEW ASPHALT PARKING	15,281 SQFT
	TOTAL ASPHALT PARKING	38,769 SQFT
	EXISTING BUILDING	25,618 SQFT
	NEW BUILDING	600 SQFT
\wedge	TOTAL BUILDING AREA	26,218 SQFT
	SOCCERFIELD	-20,703-SQET
5	REMAINING GREEN AREA	24,513 SQFT
>		
2	TOTAL LOT AREA	110,203 SQFT
\sim		

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- SP-1 EXISTING SITE PLAN SP-2 PROPOSED SITE PLAN
- SP-3 PROPOSED SITE PLAN water & meter connections
- C-1 SITE PLAN.PROJECT DATA & NOTES. C-2 CIVIL DETAILS.
- A-1 PROPOSED SOCCER FIELD
- A-2 ARCHITECTURE PLAN GENERAL AREA A-2.1 ARCHITECTURE DETAILS & NOTES.
- A-2.2 A.D.A NOTES & DETAILS. A-3 PROPOSED ELEVATIONS.
- A-4 PROPOSED FULL ELEVATIONS.
- A-5 3D ELEVATIONS . A-6 VIEW SOCCER FIELD.
- A-7 VIEW SOCCER FIELD.
- M-1 MECHANICAL LAYOUT. M-2 MECHANICAL NOTES & DETAILS.
- E-1 ELECTRICAL LAYOUT.E-2 ELECTRICAL NOTES & DETAILS.
- P-1 PLUMBING LAYOUT.
- P-2 PLUMBING NOTES & DETAILS.

FLOOD INFORMATION:

Community name and number: Hollywood 125113 Map and panel number: 12011C0566H Panel date: 08-18-14 Index date: 08-18-14 Flood zone: X(0.2%) & AH Base flood elevation: 6' NAVD1988

BENCHMARK INFORMATION:

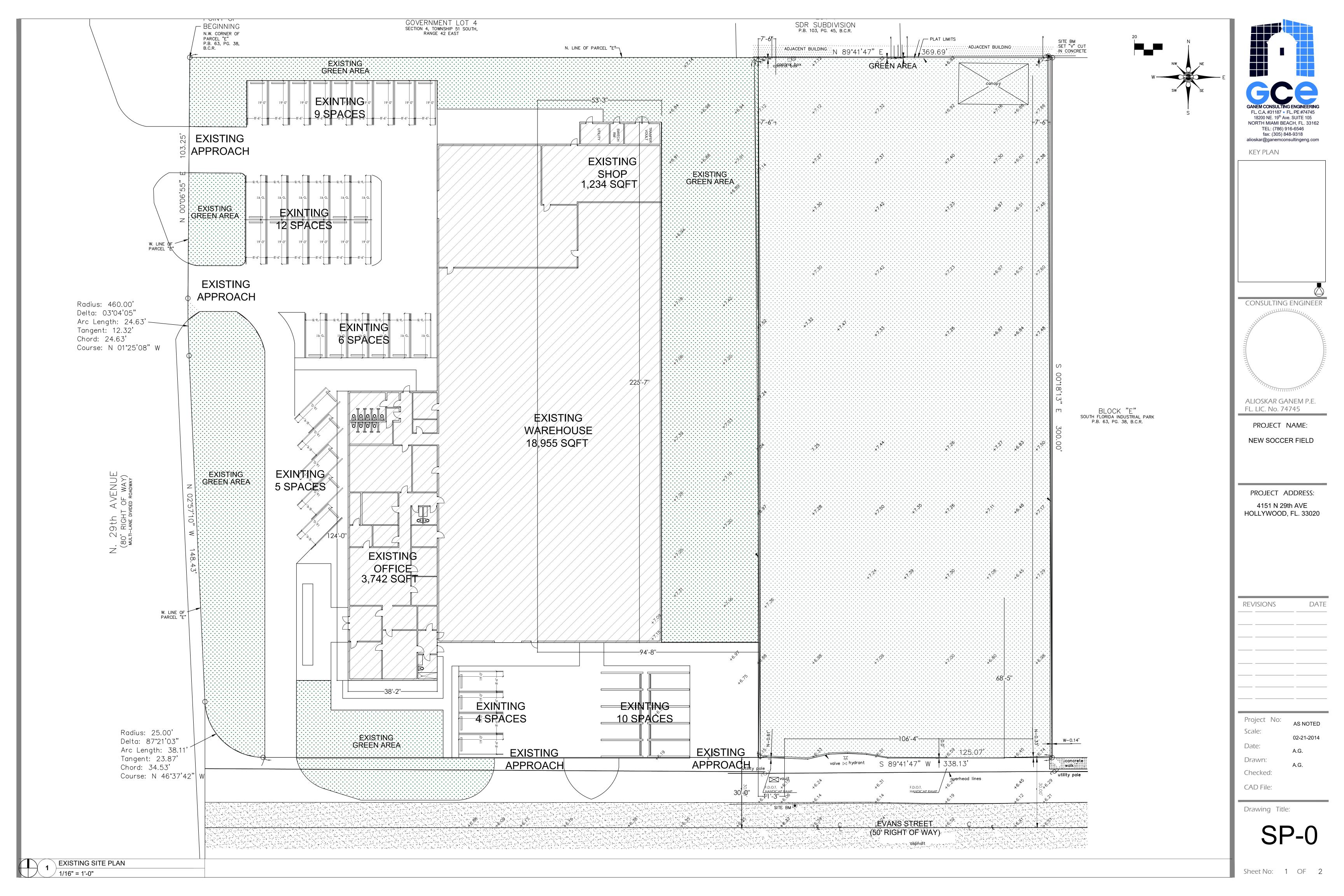
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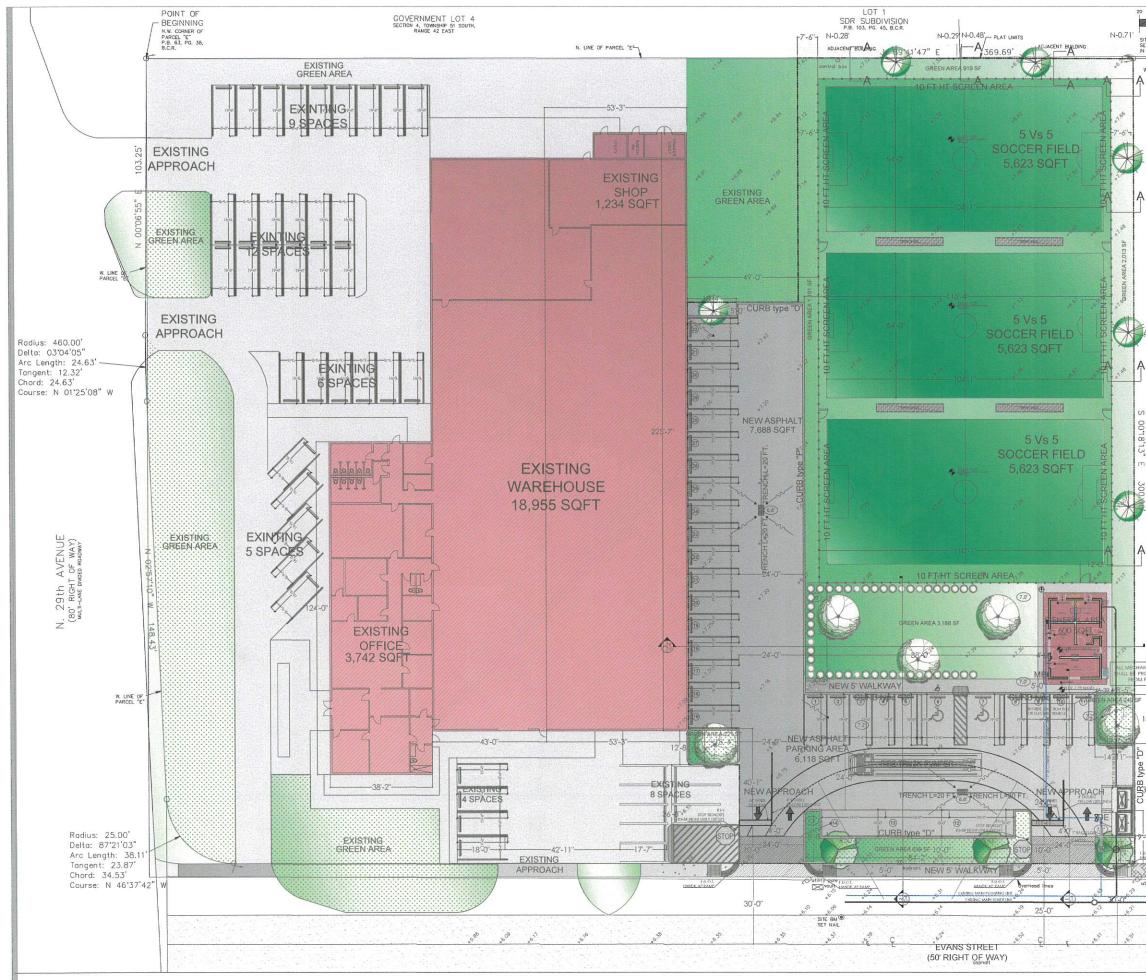
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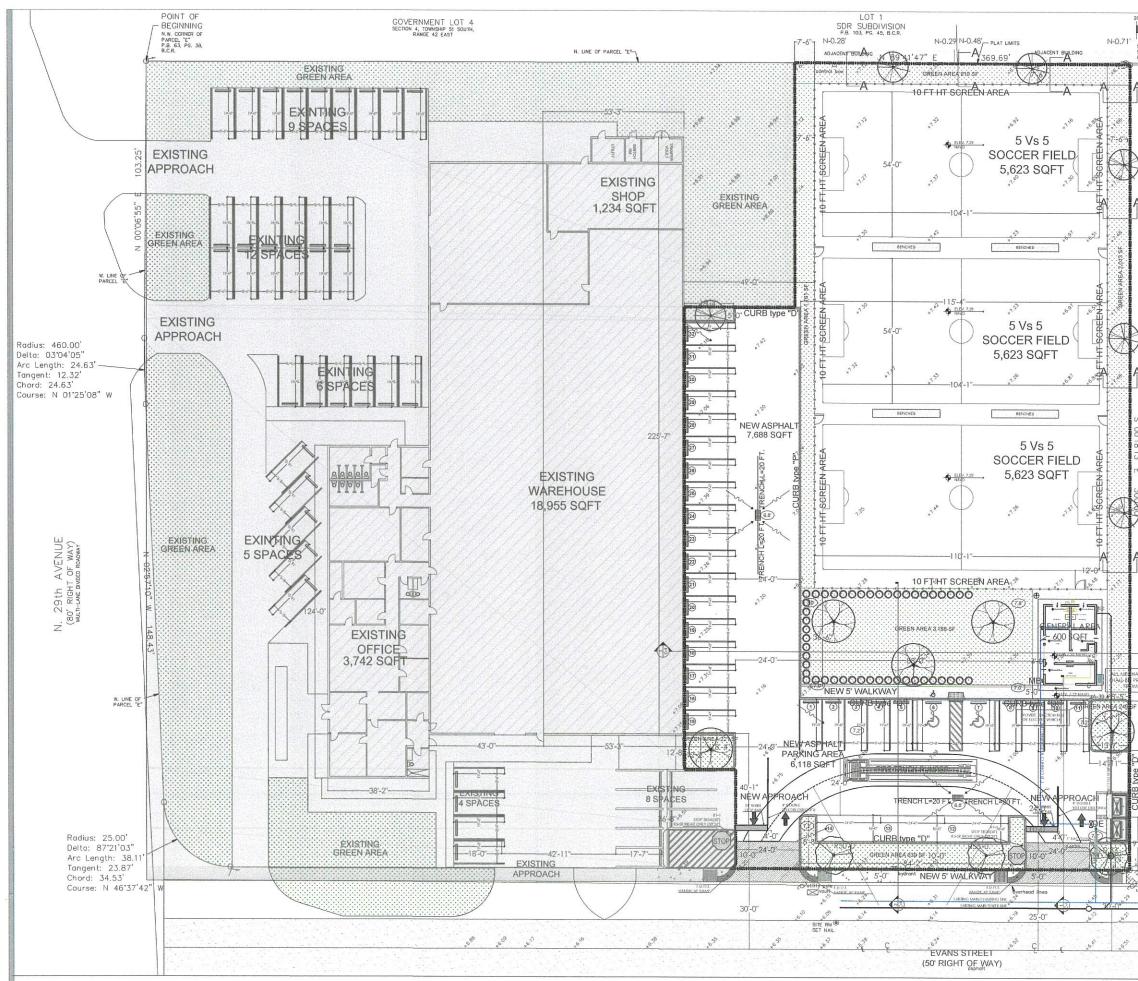
FL C A #31187 • FL PE #747 18200 NE. 19th Ave. SUITE 105 NORTH MIAMI BEACH, FL. 33162 TEL: (786) 916-6546 fax: (305) 848-9318 alioskar@ganemconsultingeng.com KEY PLAN CONSULTING ENGINEER MEETING DATES 03/18/19 (PACO) 09/09/19 (TAC) ALIOSKAR GANEM P.E. FL. LIC. No. 74745 PROJECT NAME: NEW SOCCER FIELD PROJECT ADDRESS: 4151 N 29th AVE HOLLYWOOD, FL. 33020 Best Western Plus For Lauderdale Airport Aquatic Jewe REVISIONS DATE 09/24/2019 10/24/2019 51 North 29th Avenue 11/18/2019 /3\ Dakw Penn Dutch Meat Seafood Market Project No: AS NOTED Scale: 06-01-2019 Date: A.G. can Freight Drawn: Furniture and Mattress A.G. Checked: CAD File: Dave & Buster's Google Drawing Title: SCALE: NTS OF

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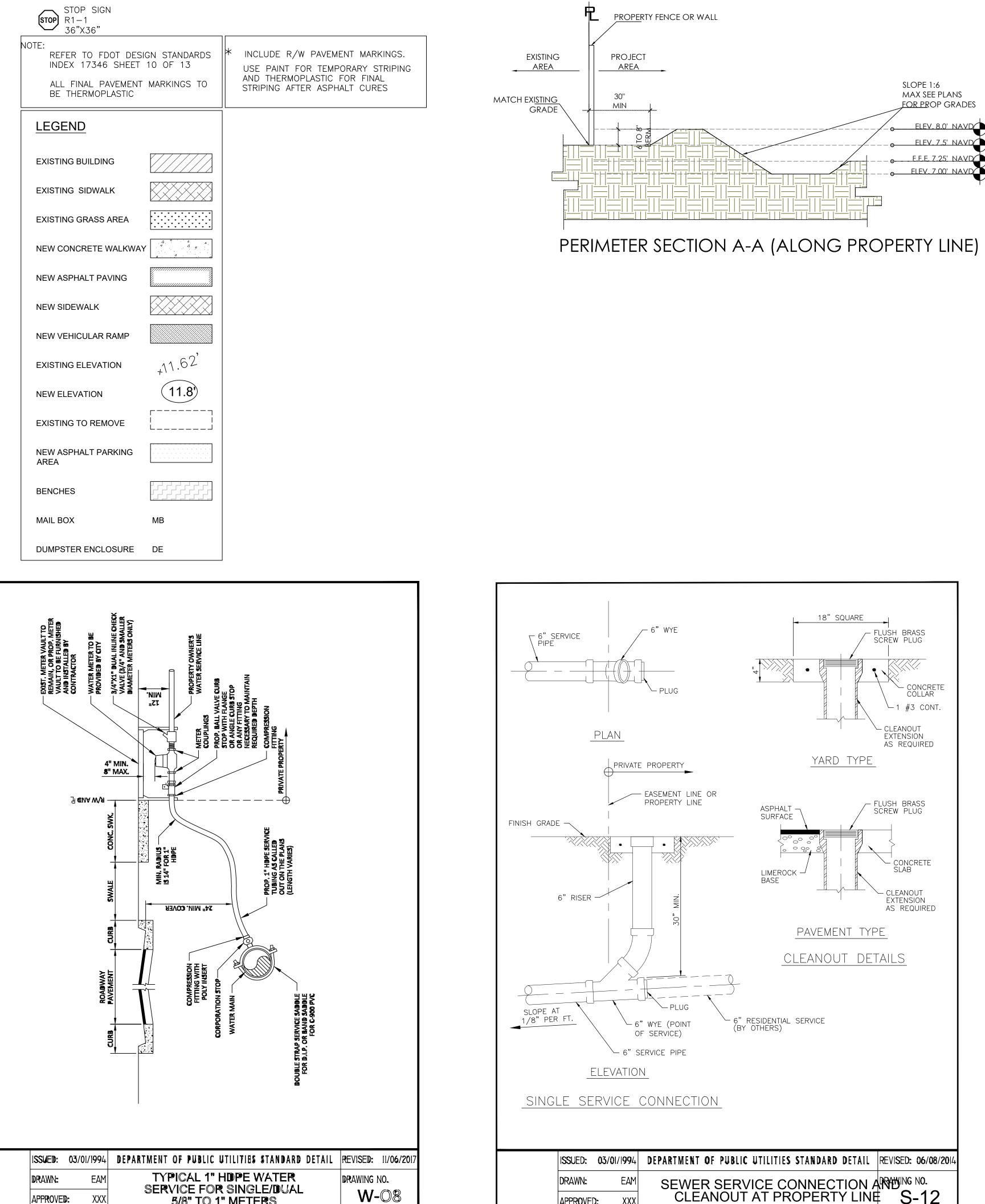


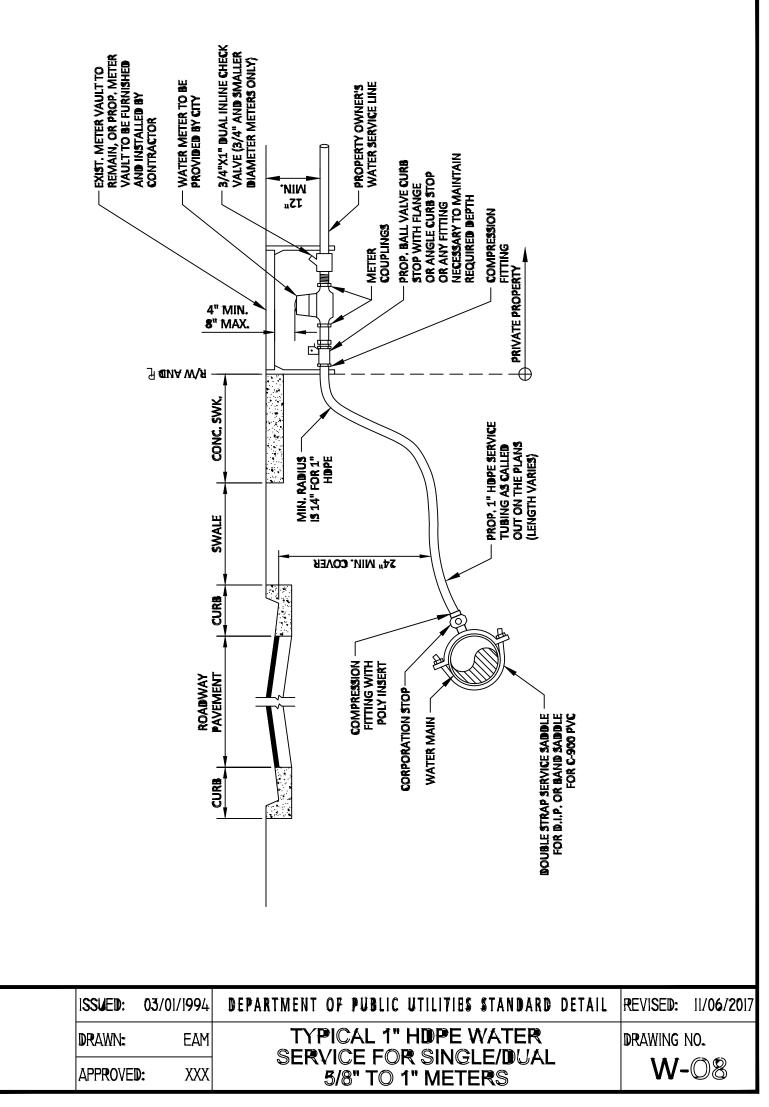


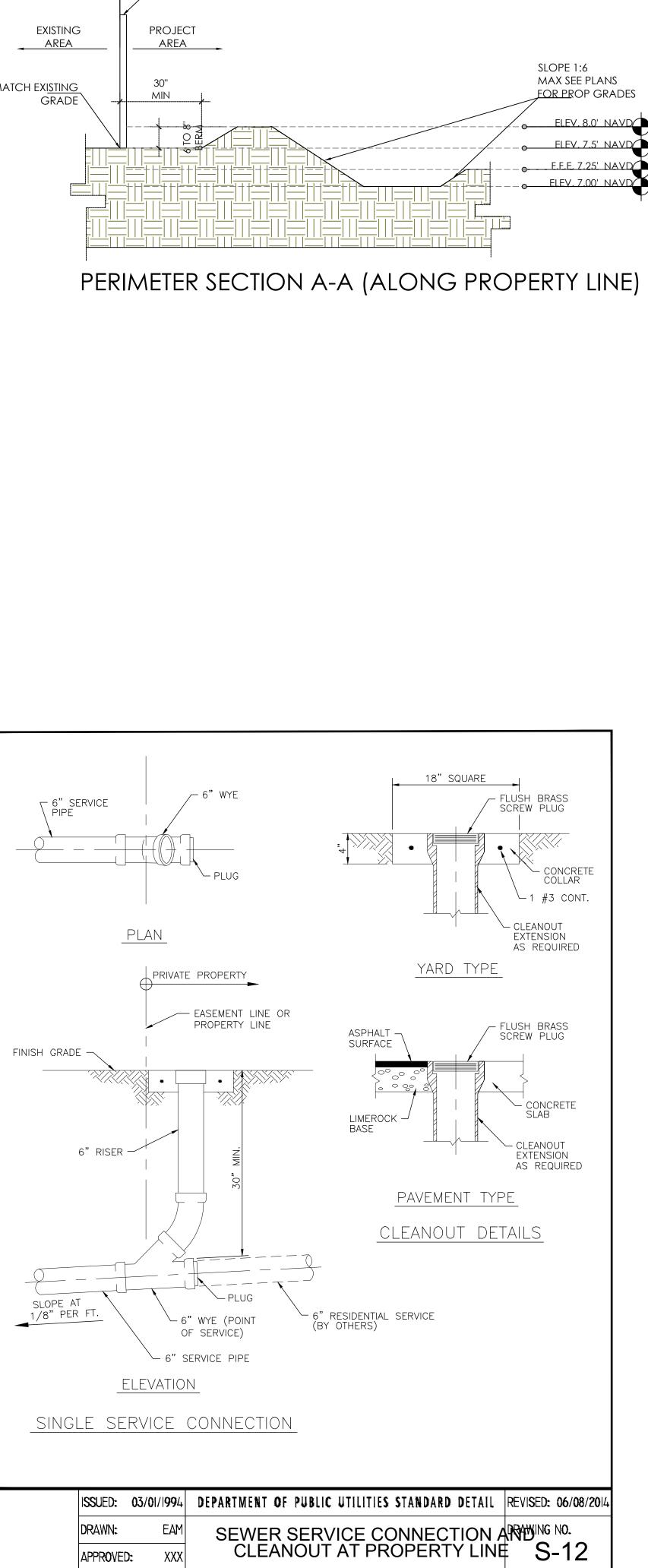
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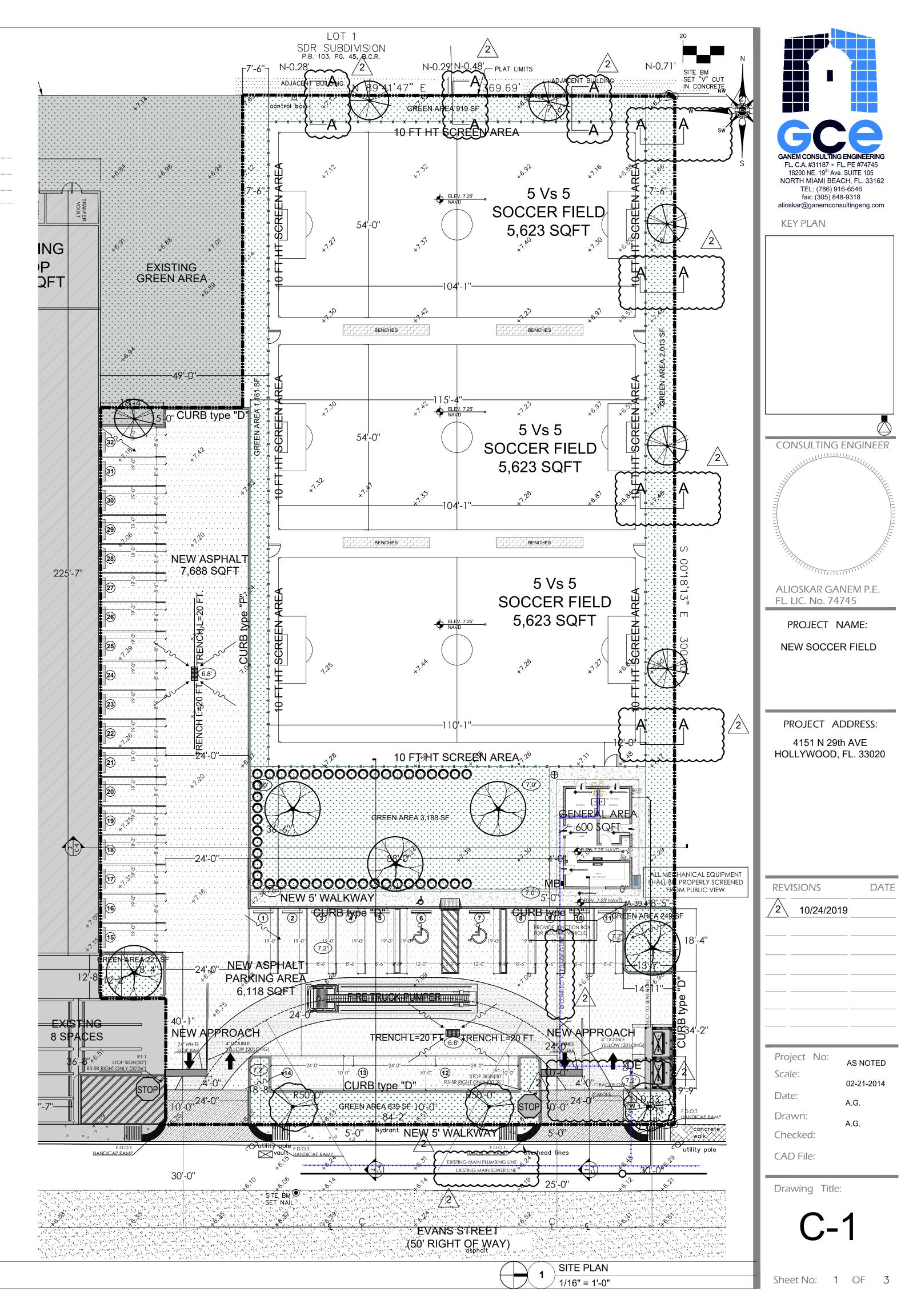


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						fax: (305) 848-9318 alioskar@ganemconsultingeng.com
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GENERAL NOTES AND SPECIFICATIONS

PROJECT NO. 1927-03

APPLICABLE CODES

- A. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE DADE COUNTY D.E.R.M., F.D.O.T. AND ALL OTHER LOCAL FLORIDA STATE AND NATIONAL CODES WHERE APPLICABLE.
- ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NATIONAL GEODETICAL VERTICAL DATUM OF 1929, (N.G.V.D.), UNLESS OTHERWISE NOTED.

PRECONSTRUCTION RESPONSIBILITIES:

- UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE FLORIDA INTERNATIONAL UNIVERSITY PROJECT REPRESENTATIVE AND THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL OBTAIN AN "SUNSHINE STATE ONE CALL FOR FLORIDA, INC." CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING AN EXCAVATION. CALL 1-800-432-4770.
- ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION. (IF REQUIRED)
- LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING CONSTRUCTION IS DISCOVERED UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- INSPECTIONS:
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF AT LEAST 24 HOURS PRIOR TO RECORD BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
 - CLEARING AND FILLING
 - STORM DRAINAGE SYSTEM SUBGRADE
 - LIMEROCK BASE ASPHALTIC CONCRETE
 - LIGHTING LANDSCAPING

SHOP DRAWINGS:

FINAL

- PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, DRAWINGS SHALL BE SUBMITTED TO SHOP AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: CATCH BASINS, FILTER MEMBRANE, PIPE, ASPHALT MIX.
- . PROJECT CLOSEOUT
- A. CLEANING UP -
- 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND FAN MANNER, AND UPON FINAL CI FAN-UP, THE PROJEC SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CI FAN
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTORS SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATIONS.
- 3. WHERE MATERIALS OR DEBRIS HAS WASHED OR FLOWED INTO. OR HAVE BEEN PLACED IN WATER COURSES. DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OR DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.

- B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED . ALL UNPAVED SURFACES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.
- D. PROJECT RECORD DOCUMENTS -
- 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- 2. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN AND EDGES OF PAVEMENT AT 50 FEET INTERVALS.
- 3. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.
- 4. ALL "AS-BUILT" INFORMATION ON ELEVATIONS SHALL BE CERTIFIED BY A FLORIDA REGISTERED LAND SURVEYOR.
- CRUSHED ROCK HAVING LESS THAN 10% SILT, 1% ORGANICS AND

B. MATERIALS:

1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI OOLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. (60% FOR LOCAL STREETS & PARKING AREAS)

- 2. ASPHALT SURFACES SHALL BE TYPE S-3 7% ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- 3. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" X 6" NO. 8 GAUGE WIRE MESH.

C. INSTALLATION:

- 1. THE TOP 12" OF THE SUBGRADE FOR ROADWAY AND PARKING AREAS SHALL BE COMPACTED (AND STABILIZED, IF REQUIRED) TO A MINIMUM OF 75 POUNDS PER SQUARE INCH (PSI).
- 2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6" PLACED ON A SINGLE LAYER.
- 3. BASE COURSE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180-74 PRIMED FOR THE ENTIRED AREA.
- 4. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1994 OR LATEST.

D. TESTING:

- 1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES
- EXCEEDING THIS LIMIT SHALL BE CORRECTED. 2. DENSITY TEST SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF
- FLORIDA, WHERE DIRECTED BY THE ENGINEER. 3. ALL TESTING COST (PAVING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS WHICH ARE TO BE PAID BY THE CONTRACTOR.

VI. EARTHWORK & COMPACTION:

- A. ALL TOPSOIL, VEGETATION AND HEAVY ROOT MATS SHALL BE STRIPPED TO AT LEAST 5' BEYOND THE PERIMETER OF THE PROPOSED CONSTRUCTION.
- B. FILL AND BACKFILL SHALL BE SAND, SAND-ROCK MIXTURE OR ROCK SIZES LESS THAN 3" IN DIAMETER.
- VII. STORM DRAINAGE

A. GENERAL:

- 1. CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS MAY BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.
- 2. DISTANCES AND LENGTHS SHOWN ON PLAN & PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.

B. MATERIALS:

1. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE HELICAL TYPE, CONFORMING TO ASTM B209 AND AASHTO M196, AS MANUFACTURED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:

DIA.	CORRUGATION	GAU
12" TO 21"	2 2/3" X 1/2"	16
24" TO 27"	2 2/3" X 1/2"	16
30"	2 2/3" X 1 1/2"	14
36" TO 54"	3" X 1"	14

60" TO 78" 3" X 1" 12

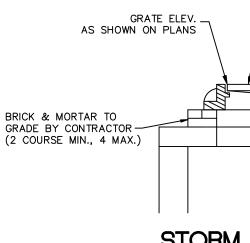
- 2. PIPE COUPLINGS FOR C.A.P. SHALL BE 12" WIDE (MINIMUM), 24" WIDE FOR 60" DIAMETER OR LARGER, SPLIT BANDS OF THE SAME ALLOY AS THE PIPE MAY BE ONE GAUGE LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS.
- 4. ALL DRAINAGE CATCH BASIN AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, OR EQUAL. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8" AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS AT 12" EACH WAY UNLESS OTHERWISE INDICATED. CONCRETE SHALL BE MINIMUM OF 4000 PSI AT 28 DAYS.

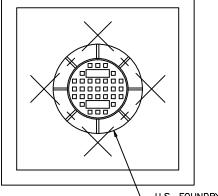
C. INSTALLATION:

- 1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
- 2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6" TO A HEIGHT OF 12" ABOVE PIPE AS SHOWN ON THE PLANS
- 3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24" OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION. VIII.. <u>PAVING:</u>

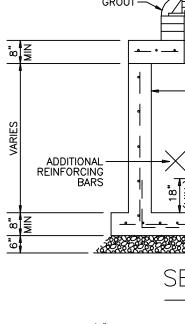
A. GENERAL

- 1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- 2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- 3. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.



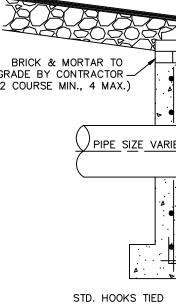


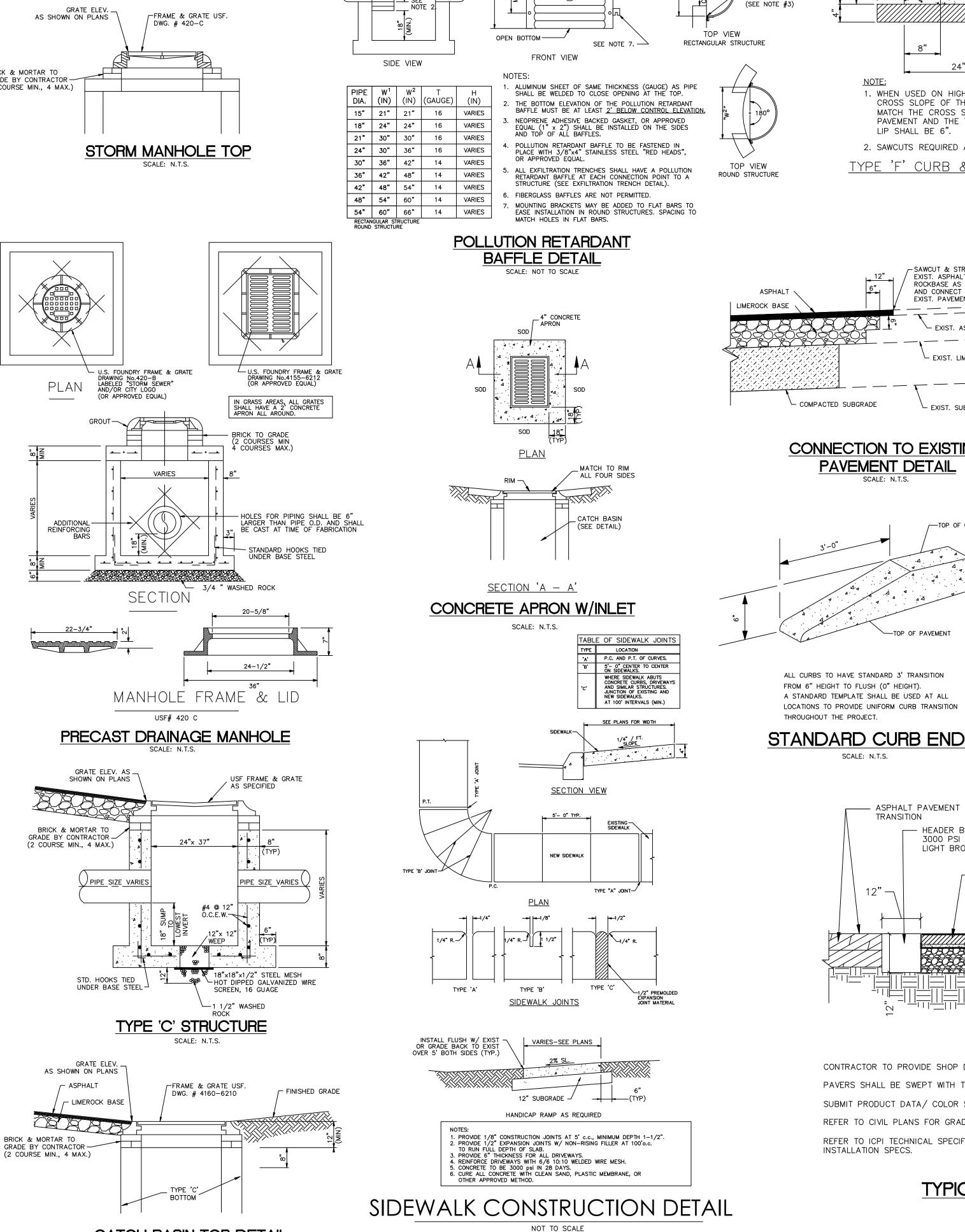


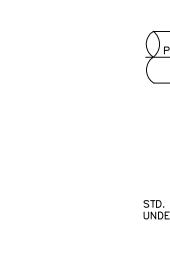


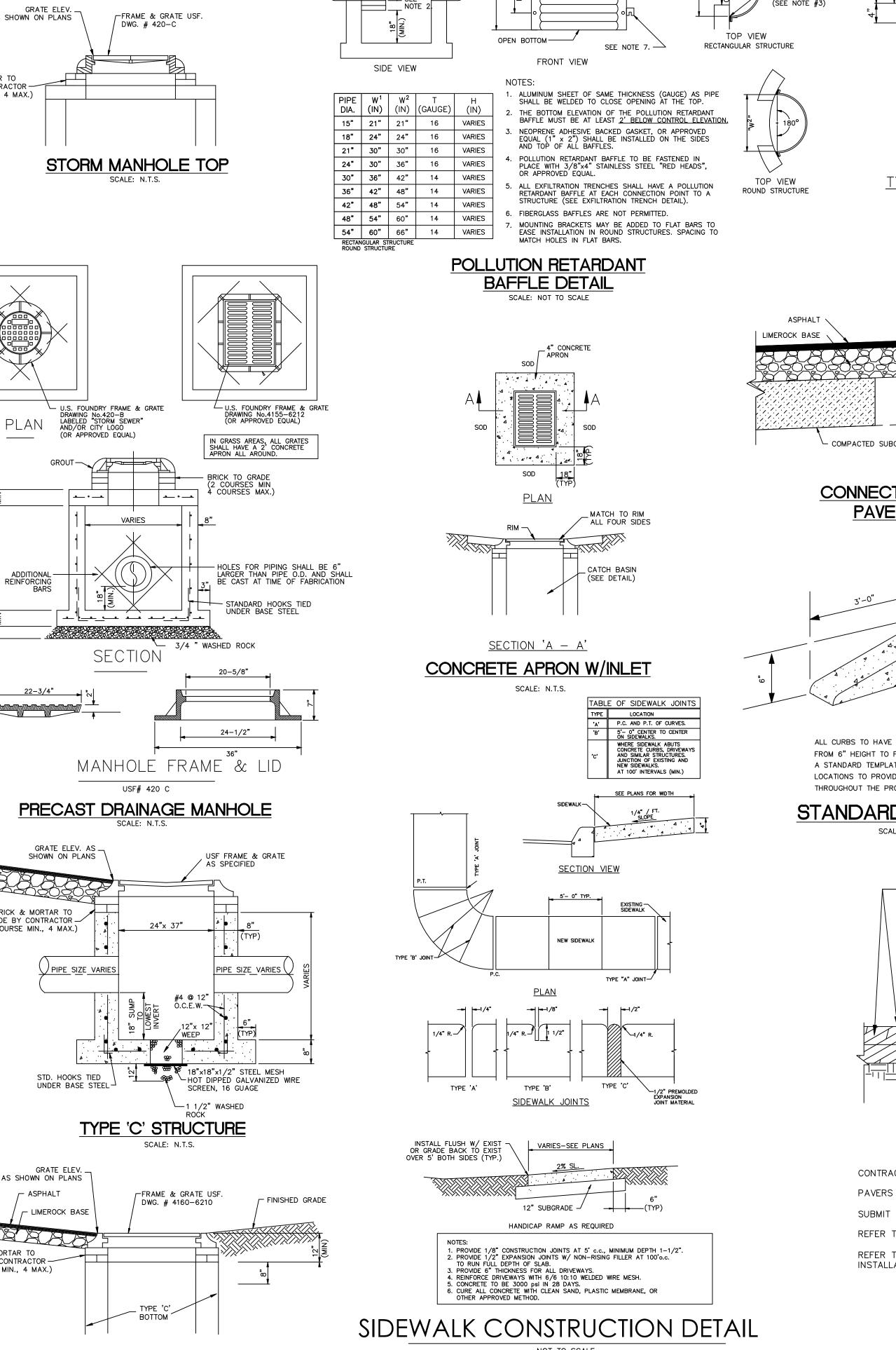


GRATE ELEV. AS SHOWN ON PLANS

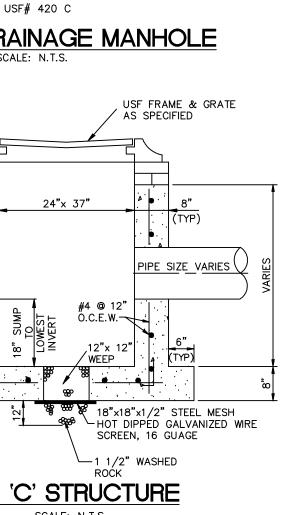




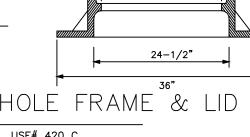


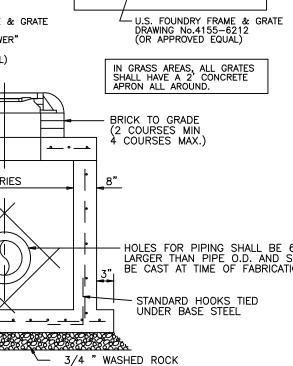


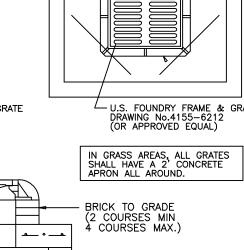
CATCH BASIN TOP DETAIL

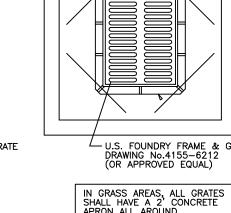


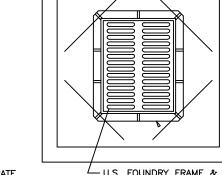


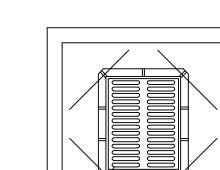


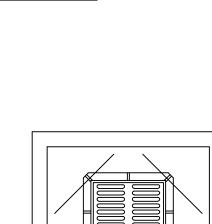


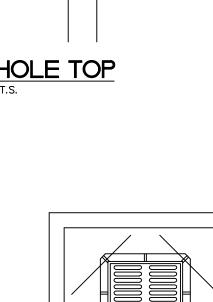


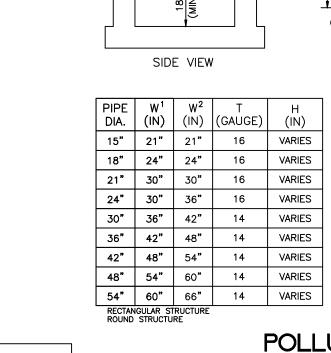












(SEE NOTE #3

HALF PIPE

SOLID TOP (SEE NOTE #1)-

 \neg

- 3" x 1/8" FLAT BAR

CONTINUOUS WELD

WITH 1/2" MOUNTING HOLES

1/2 ROUNE ÓRRUGATED

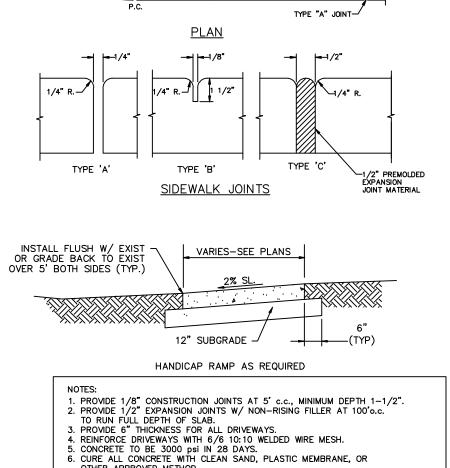
-NEOPRENE

GASKET TY

LUMINUM PIPI

NOTE:

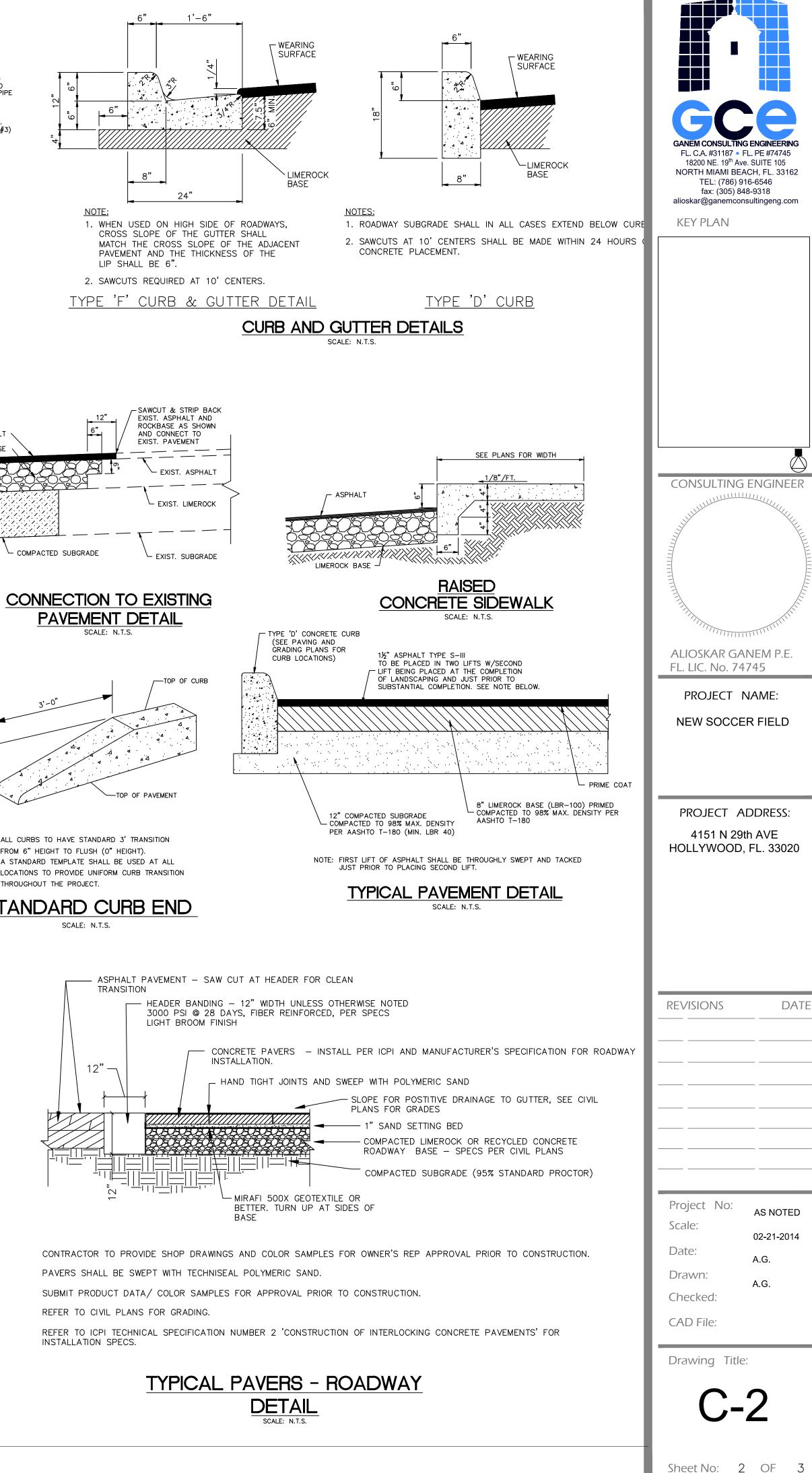
TOP AND SIDES





INSTALLATION SPECS.

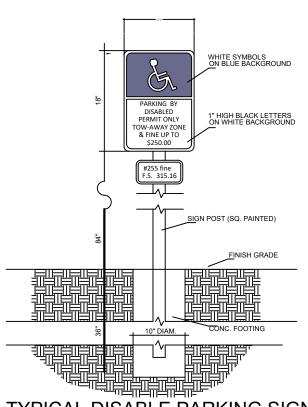
12"

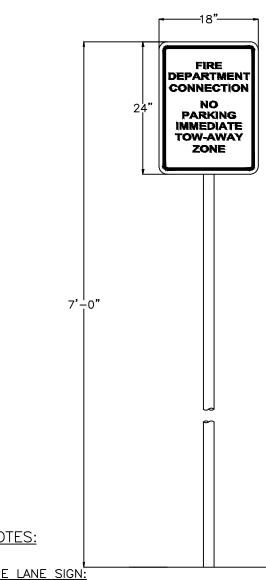


PAVING NOTES

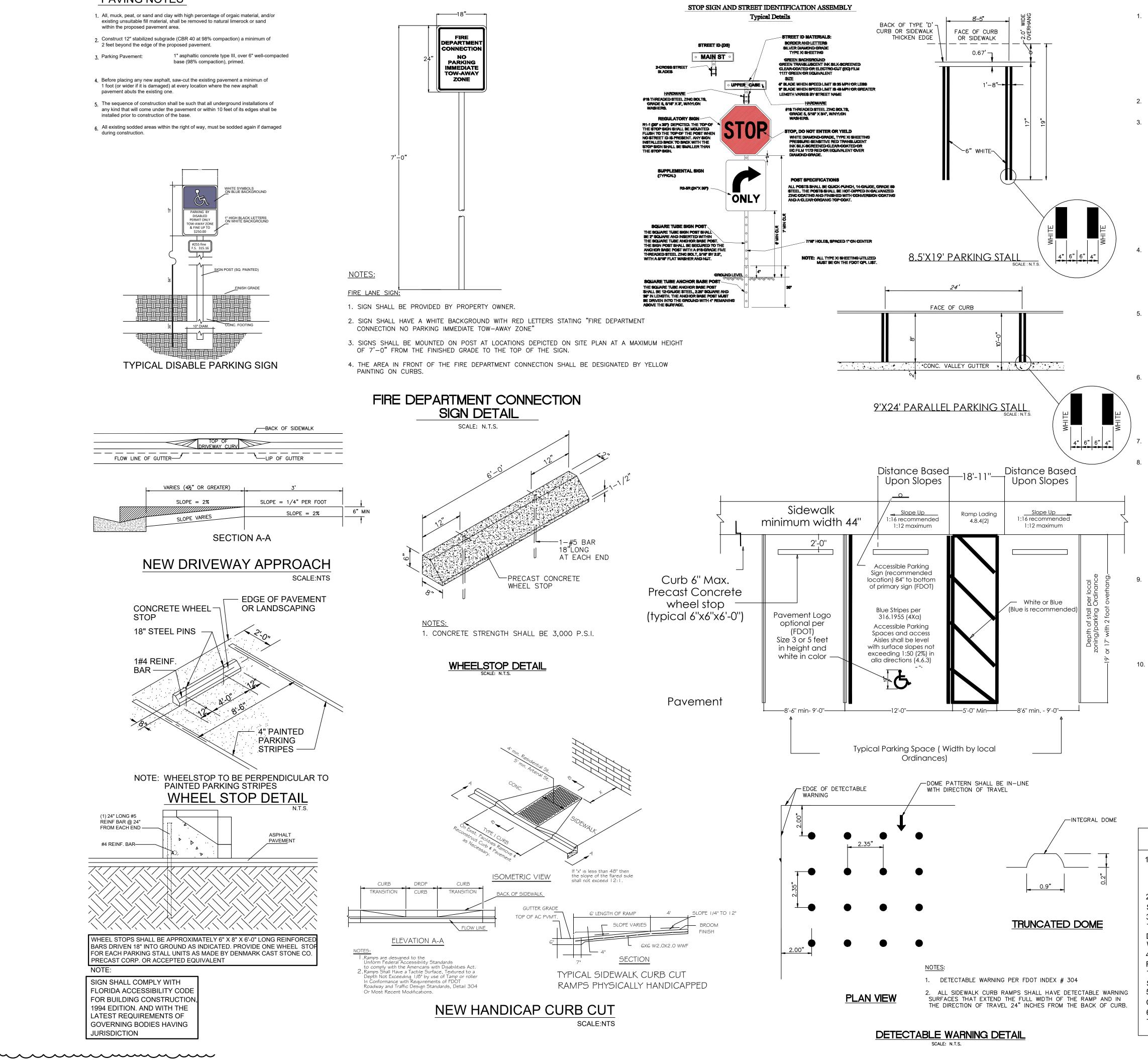
- existing unsuitable fill material, shall be removed to natural limerock or sand

- 1 foot (or wider if it is damaged) at every location where the new asphalt pavement abuts the existing one.
- nstalled prior to construction of the base.





- PAINTING ON CURBS.



GENERAL NOTES

1. Public sidewalk curb ramps shall be constructed in the public right of way at locations that will provide continuous unobstructed pedestrian circulation paths to pedestrian areas, elements and facilities in the public right of way and to accessible pedestrian routes on adjacent sites. Curbed facilities with sidewalks and those without sidewalks are to have curb ramps constructed at all street intersections and at turnouts that have curbed returns. Partial curb returns shall extend to the limit prescribed by Index No. 515 to accommodate curb ramps. Ramps constructed at locations without sidewalks shall have a landing constructed at the top of each ramp, see Sheet 5.

2. The location and orientation of curb ramps shall be as shown in the plans.

3. Curb ramp running slopes at unrestrained sites shall not be steeper than 1:12 and cross slope shall be

When altering existing pedestrian facilities where existing site development precludes the accommodation of a ramp slope of 1:12, a running slope between 1:12 and 1:10 is permitted for a rise of 6" maximum and a running slope of between 1:10 and 1:8 is permitted for a rise of 3" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided.

Ramp running slope is not required to exceed 8' in length, except at sites where the plans specify a greater length.

If a curb ramp is located where pedestrians must walk across the ramp, then the walk shall have transition slopes to the ramp; the maximum slope of the transitions shall be 1:12. Ramps with curb returns may be used at locations where other improvements provide guidance away from that portion of curb perpendicular to the sidewalk; improvements for guidance are not required at curb ramps for linear pedestrian traffic.

Curb ramp detectable warning surfaces shall extend the full width of the ramp and 24" deep. Detectable warning surfaces shall be constructed in accordance with Specification 527. See Sheet 6 for detectable warning layouts. Transition slopes are not to have detectable warnings. Detectable warnings are required on sidewalks at intersecting roads, streets and railroads. For requirements for detectable warnings on sidewalks at intersecting driveways, see Index 310.

Where a curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transitions or to the extent that no remaining section of curb or curb and gutter is less than 5 long. The existing sidewalk shall be removed to the nearest joint beyond the transition slope or walk around or to the extent that no remaining section of sidewalk is less than 5 long. For details of Concrete Sidewalk See Index 310.

Alpha-numeric identifications are for reference (plans, permits, etc.).

Public sidewalk curb ramps are to be paid for as follows:

Ramps, reconstructed sidewalks, walk around sidewalks, sidewalk landings and sidewalk curbs are to be paid for under the contract unit price for Sidewalk Concrete, (__ " Thick), SY. Curb transitions and reconstructed curbs are to be paid for under the contract unit price for the parent curb, i.e., Concrete Curb (Type __), LF or Concrete Curb and Gutter (Type __), LF.

When a separate pay item for the removal and disposal of existing curb, curb and gutter, and/or sidewalk is not provided in the plans, the cost of removal and disposal of these features shall be included in the contract unit price for new curb, curb and gutter and/or sidewalk respectively

9. Acceptance Criteria for Detectable Warnings:

- a. The ramp detectable warning surface shall be complete and uniform in color and texture
- b. 90% of the individual truncated domes must comply with the design criteria c. There may be no more than 4 non-complying domes in any one square foot of surface
- d. No two adjacent domes may be non-compliant
- e. Surface may not deviate more than 0.10" from a true plane

10. All sidewalk surfaces, ramp surfaces, and landings with a cross slope shown in this Index to be 0.02 shall be 0.02 maximum. All ramp surfaces and ramp transition slopes with a slope shown in this Index to be 1:12 shall be 1:12 maximum.

GENERAL NOTES:

1.-WORKS PERFORMED SHALL COMPLY WITH THE FOLLOWING A) ALL NOTES WRITTEN ON ALL SHEETS AND / OR PLANS OF THE PRESENT PROJECT

B) ALL APPLICABLE LOCAL, COUNTY OR STATE ORDINANCE. 2.- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE RESPONSIBILITY OF THE CONTRACTOR

3.- IT SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH THE ENGINEER IN WRITING ANY OMISSIONS OR DISCREPANCIES ARISING FROM THE INFORMATION CONTAINED

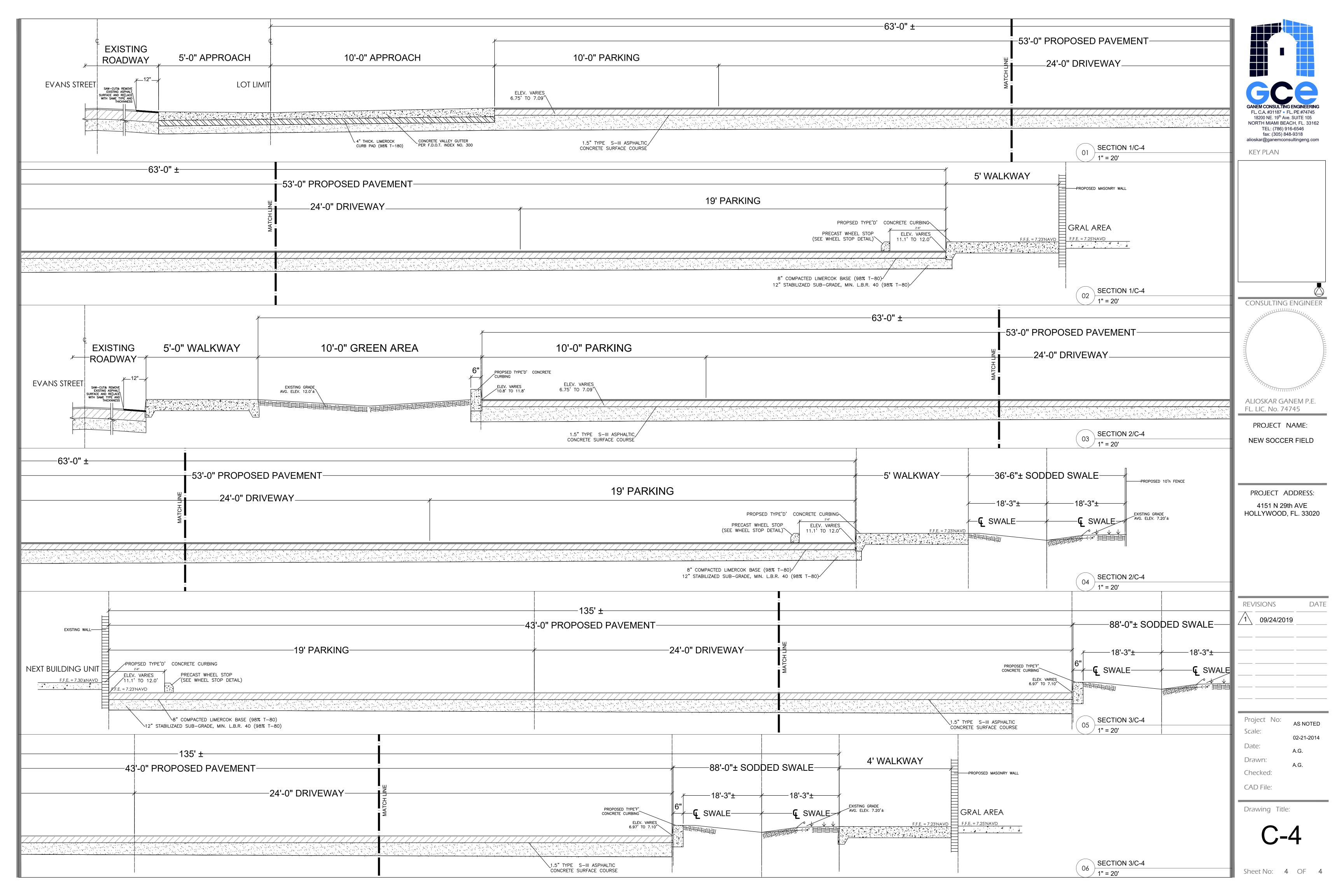
WITHIN THESE SPECIFICATIONS AND DRAWINGS. 4.- CONTRACTOR AND SUBCONTRACTOR SHALL COMPLETELY

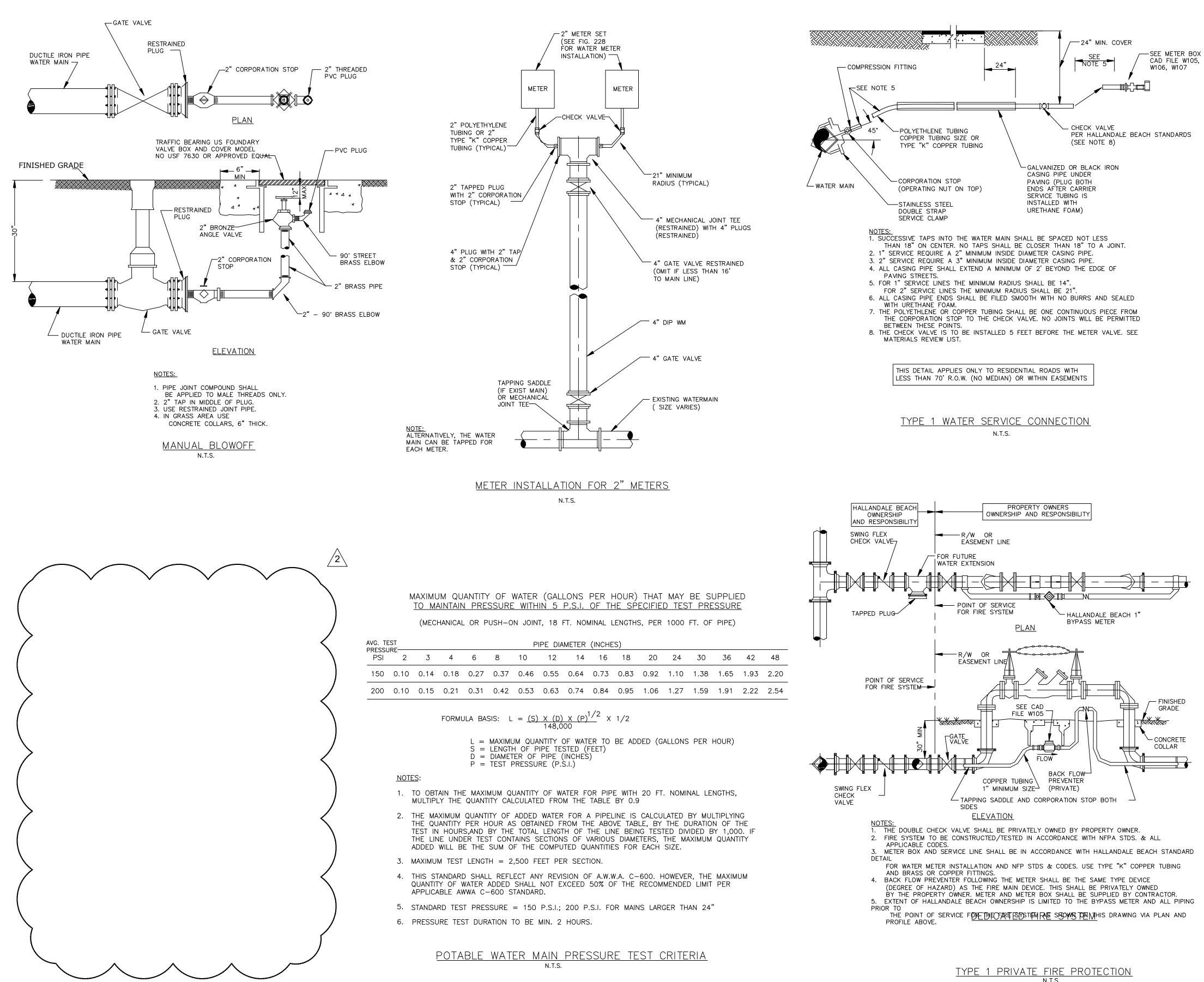
FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS AND VERIFY THE LOCATION AND AVAILABILITY OF ALL UTILITIES PRIOR TO SUBMITTING BID.

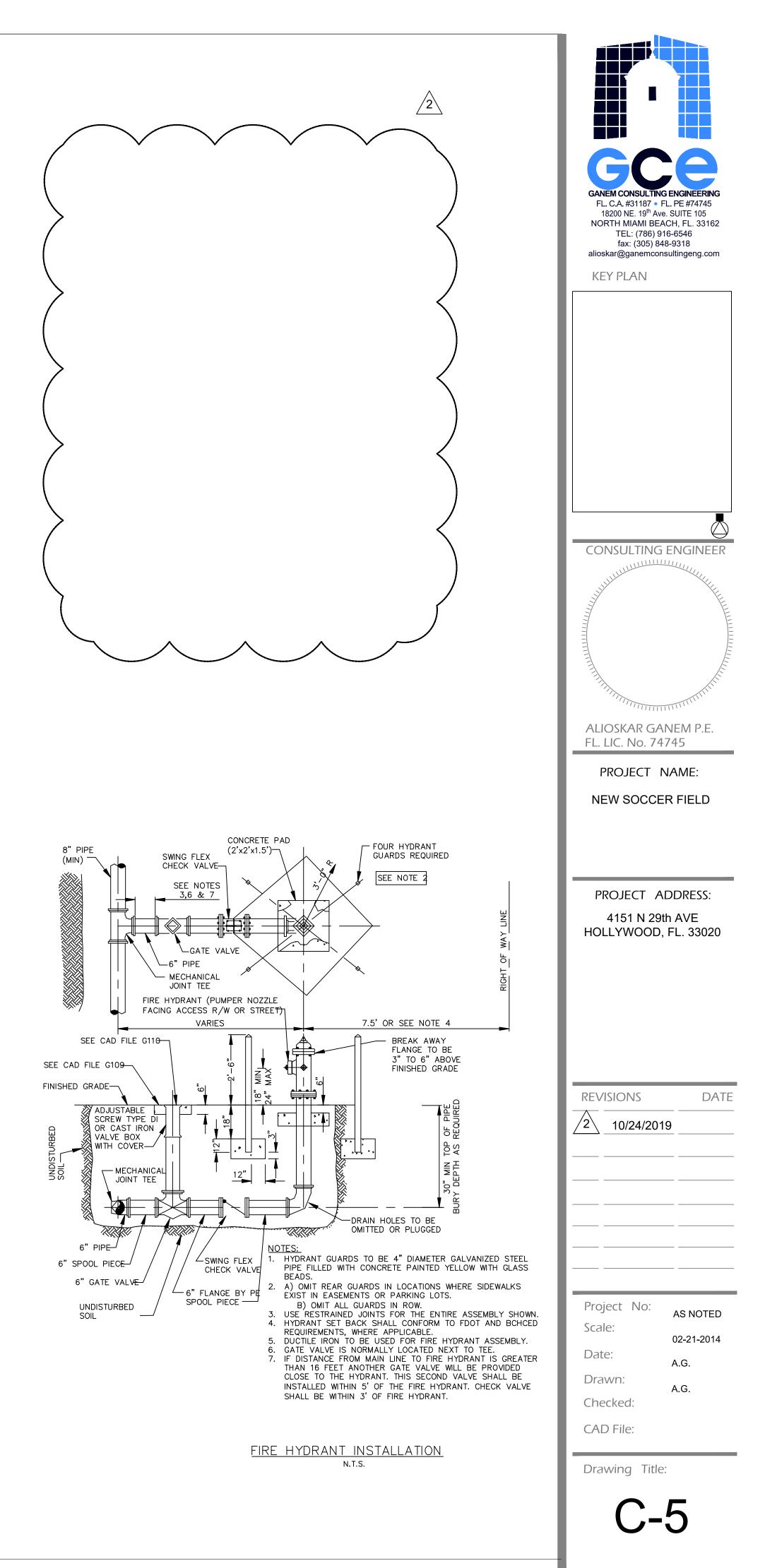
5.- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FORMWORK.

6.- IF ANY DISCREPANCIES ARE FOUND, STOP WORKING AND CONTACT THE OWNER & THE ENGINEER.

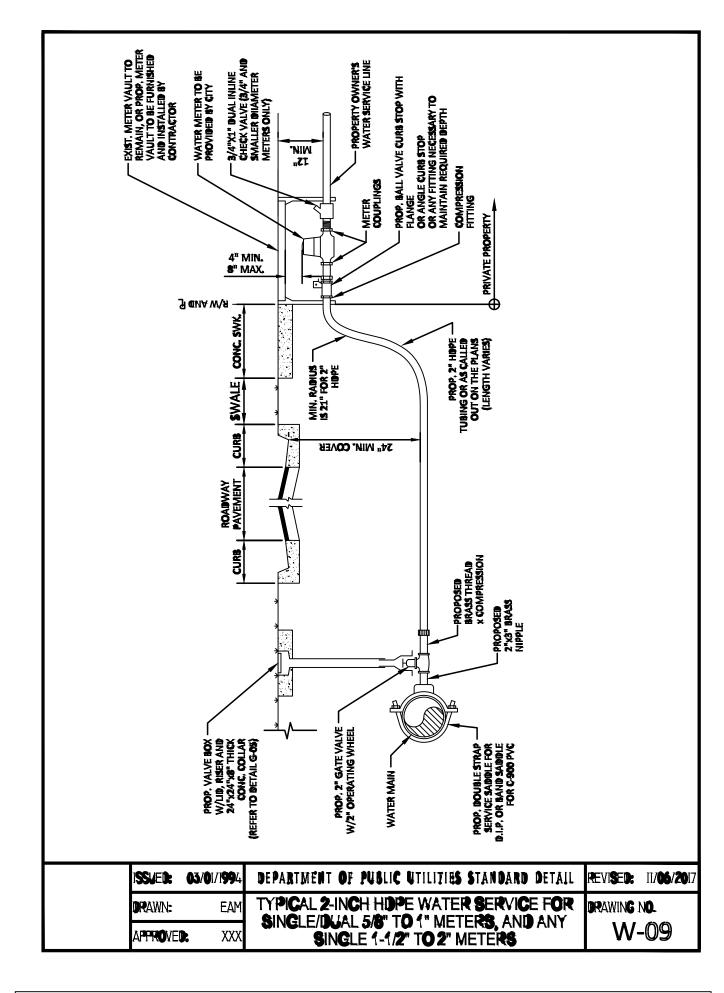


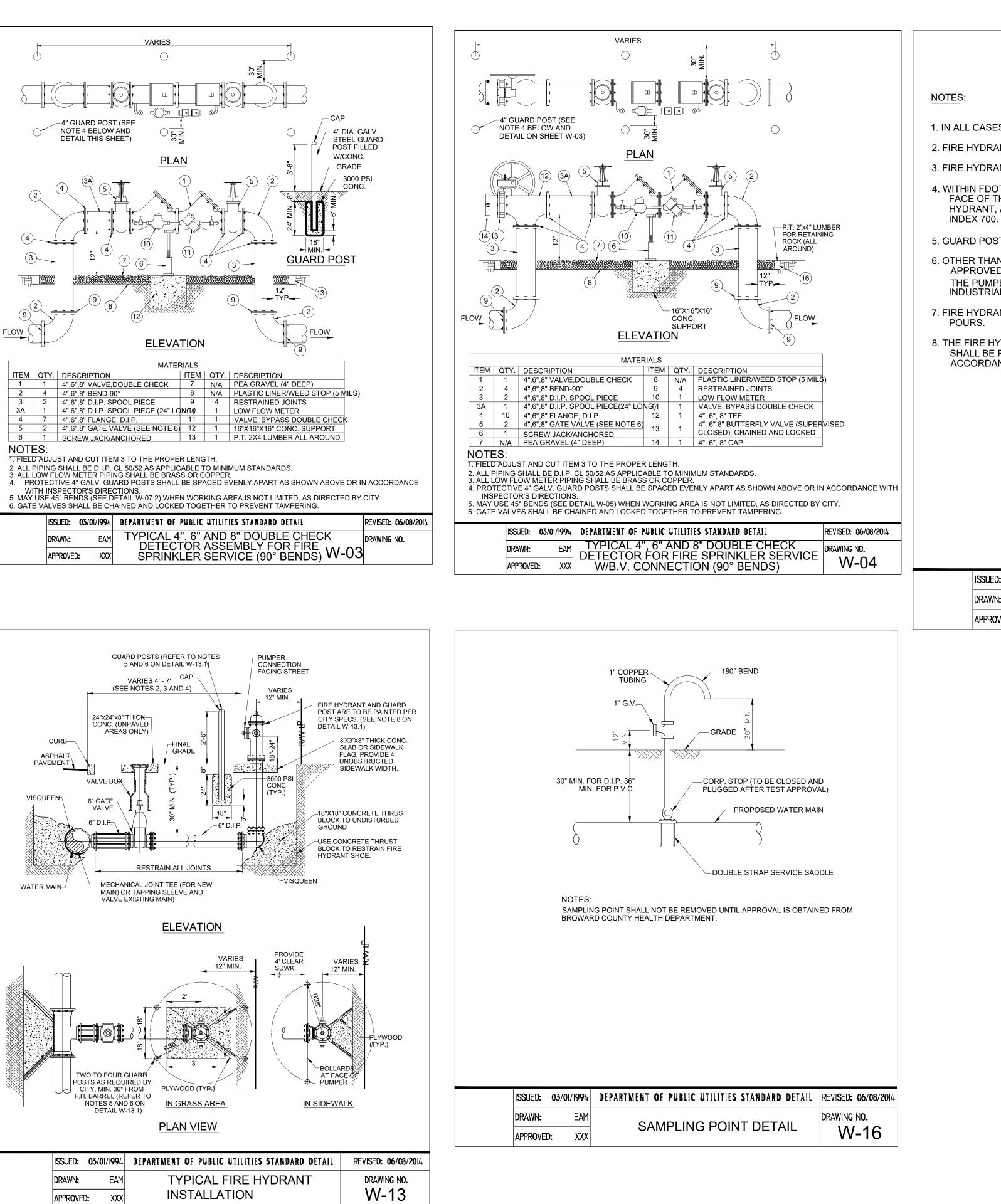


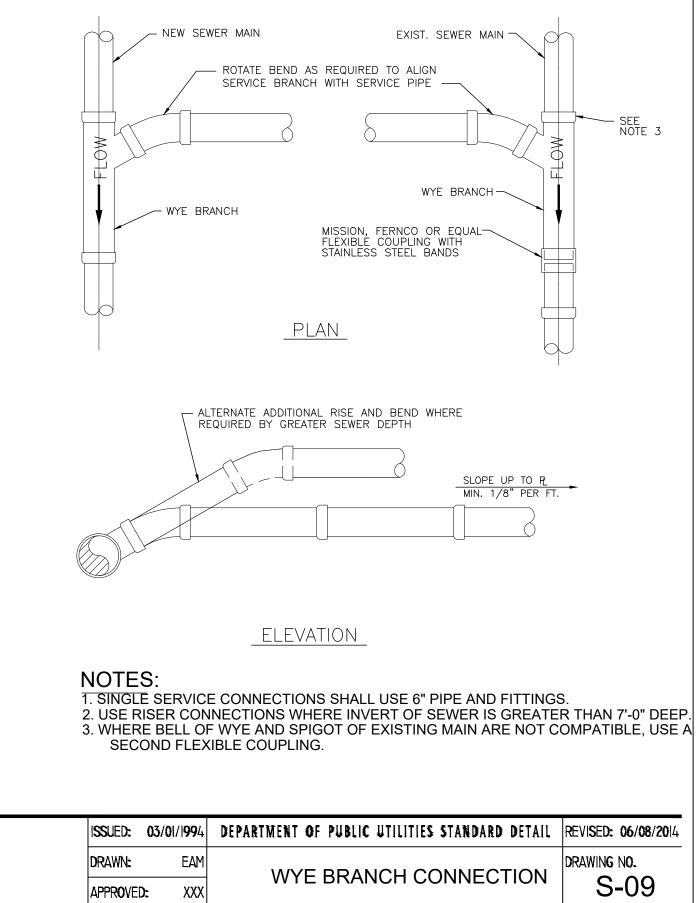


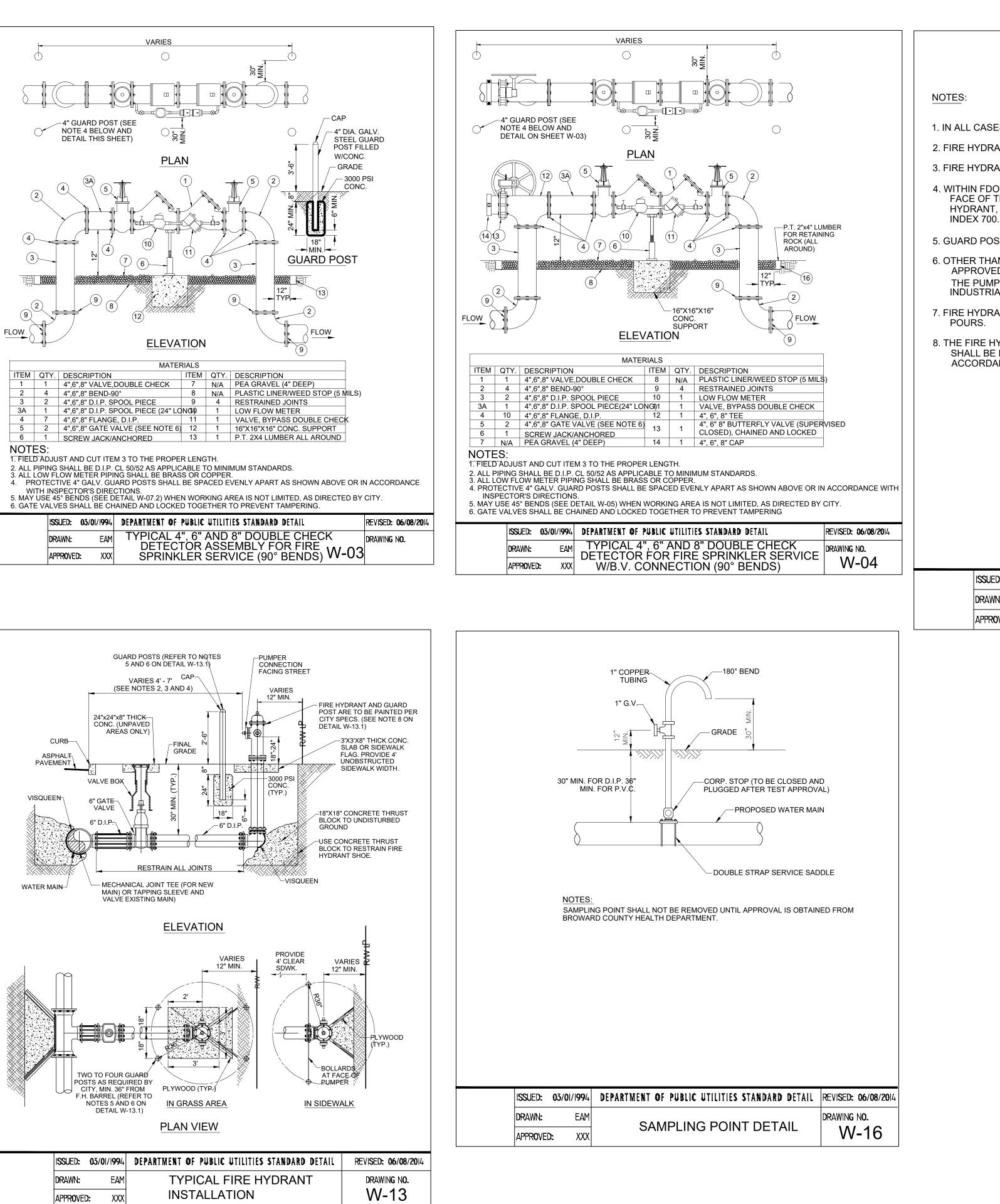


Sheet No: 4 OF 4









1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS. 2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.

3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.

4. WITHIN FDOT R/W, WHERE SPACE IS RESTRICTED THE FIRE HYDRANT MAY BE LOCATED 2' FROM THE FACE OF THE CURB AS LONG AS THERE IS A MINIMUM 4' UNOBSTRUCTED SIDEWALK BEHIND THE HYDRANT, AND THE HYDRANT BASE IS 4" OR LESS FROM GRADE IN ACCORDANCE WITH F.D.O.T.

5. GUARD POSTS SHALL NOT BE ALLOWED WITHIN FDOT R/W.

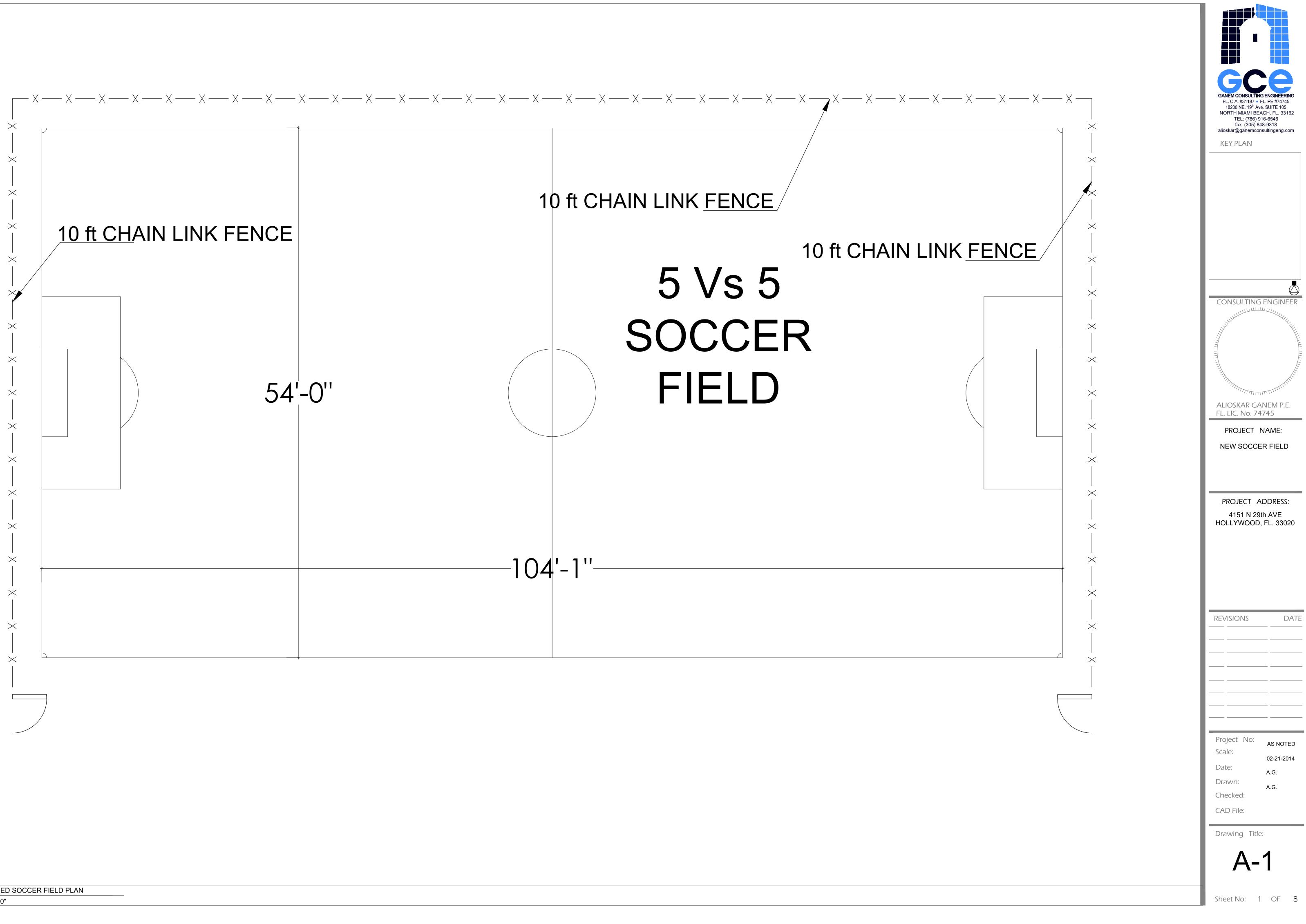
6. OTHER THAN FDOT R/W, GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6' LEFT/RIGHT OF OF THE FIRE HYDRANT.EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)

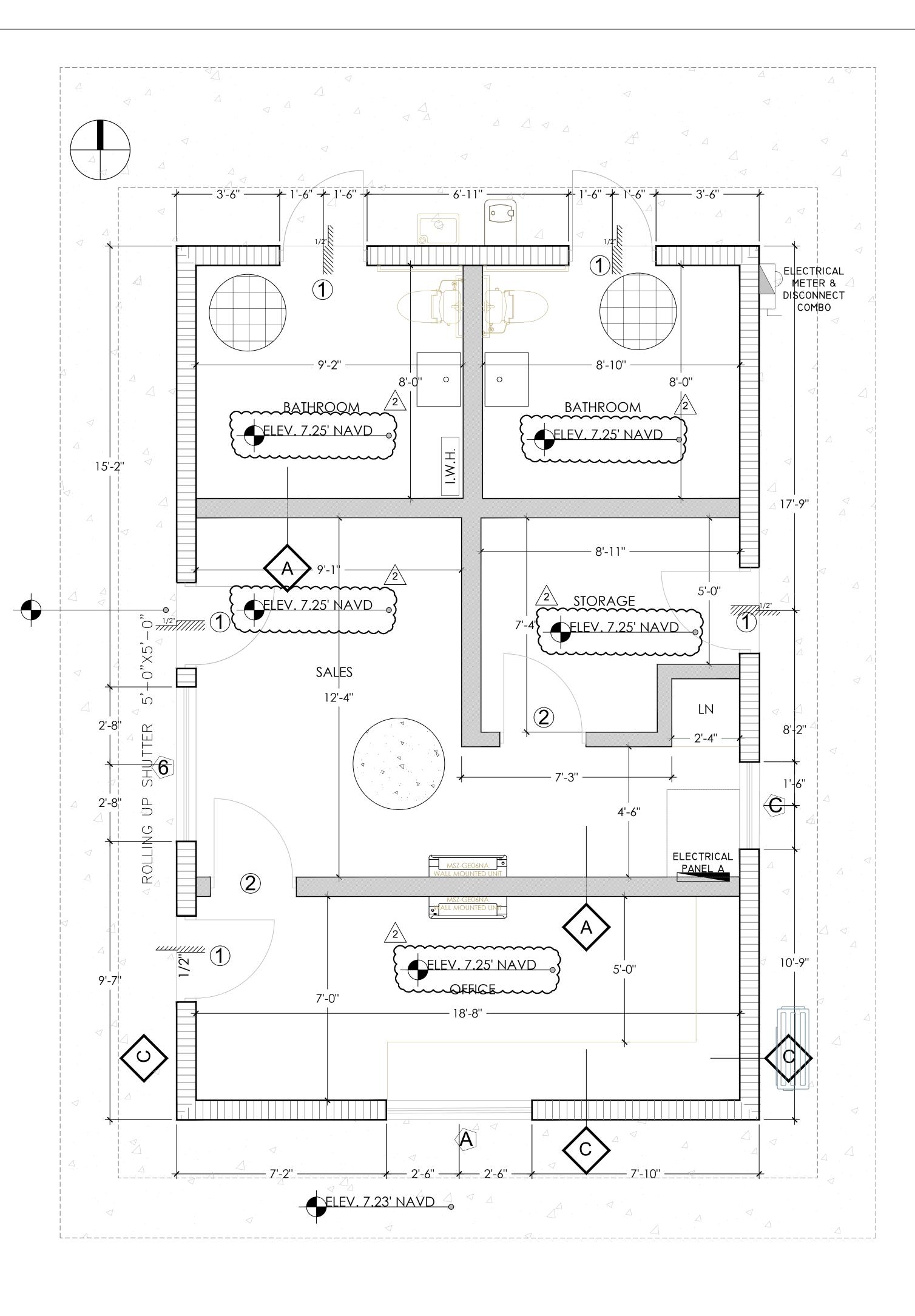
7. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT

8. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

D:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
N:	EAM	TYPICAL FIRE HYDRANT NOTES	DRAWING NO.
)VE[): XXX	TIFICAL FIRE TITDRANT NOTES	W-13.1

GANEM CONSULTING ENGINEERING FL. C.A. #31187 • FL. PE #74745 18200 NE. 19 th Ave. SUITE 105 NORTH MIAMI BEACH, FL. 33162 TEL: (786) 916-6546 fax: (305) 848-9318 alioskar@ganemconsultingeng.com
CONSULTING ENGINEER
ALIOSKAR GANEM P.E. FL. LIC. No. 74745 PROJECT NAME: NEW SOCCER FIELD
PROJECT ADDRESS: 4151 N 29th AVE HOLLYWOOD, FL. 33020
REVISIONS DATE 2 10/24/2019
ProjectNo:AS NOTEDScale:02-21-2014Date:A.G.Drawn:A.G.Checked:CAD File:
Drawing Title:

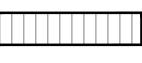




PROPOSED PLAN
1/2" = 1'-0"

Google Ganen consultance encounce Key PLAN	
CONSULTING ENGINEER	
PROJECT ADDRESS: 4151 N 29th AVE HOLLYWOOD, FL. 33020	
REVISIONS DAT 2 10-24-2019	Ē
Project No: AS NOTED Scale: 02-21-2014 Date: A.G. Drawn: A.G. Checked: CAD File: Drawing Title:	

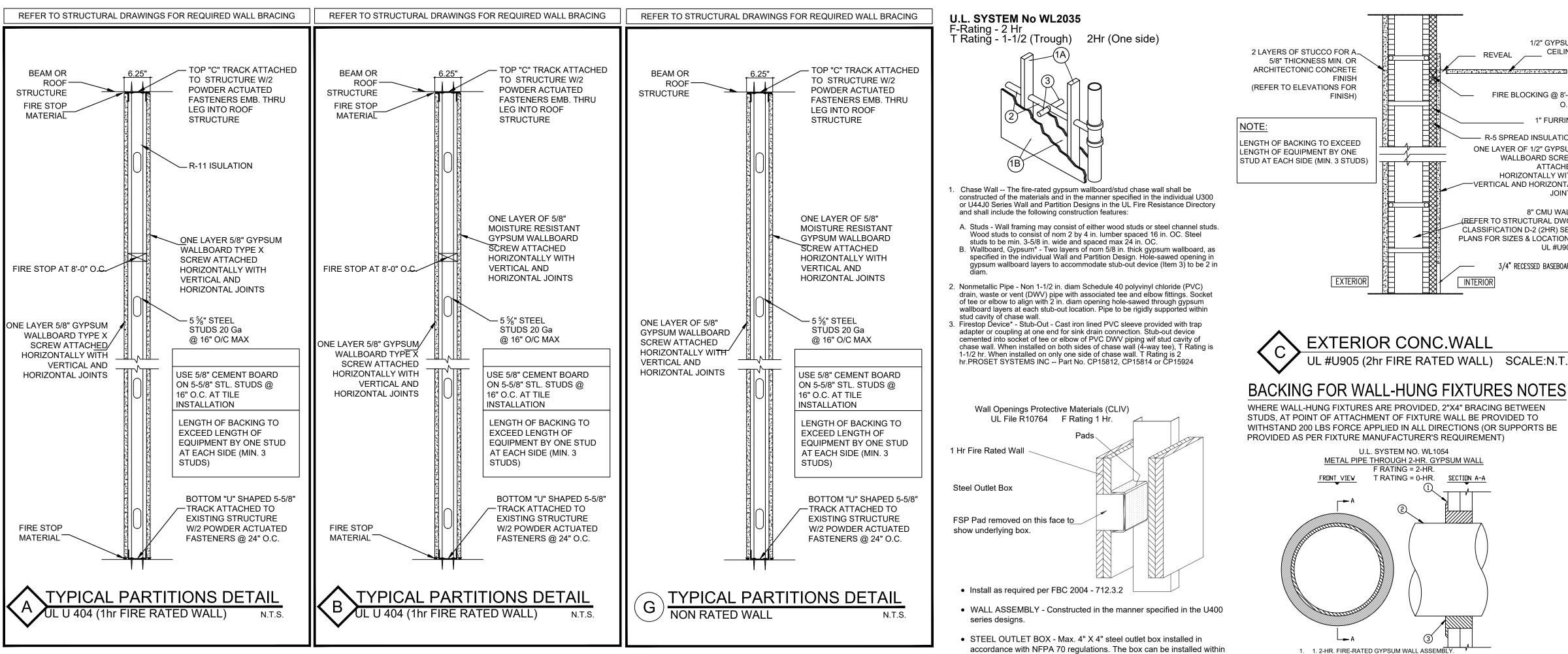
LEGEND



MASONRY WALL PARTITION WALL



POLISHED CONCRETE



FIRESTOPS NOTES

REQUIRED FIRESTOPS AND DRAFTSTOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRESTOPS OR DRAFT STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER. F.B.C. 2320.1.6

OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RESISTANT-RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRE-STOPPED USING APPROVED METHODS OR MAINTAIN THE FIRE RESISTANCE RATING. NEC 300.21

1H FIRE RATED PARTITIONS

0.018" (NO. 25 CARBON SHEET STEEL GAGE) CHANNEL-SHAPED STUDS 24" ON CENTER WITH ONE FULL-LENGTH LAYER OF 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY ATTACHED WITH 1" LONG NO. 6 DRYWALL SCREWS TO EACH STUD. SCREWS ARE 8" ON CENTER AROUND THE PERIMETER AND 12" ON CENTER ON THE INTERMEDIATE STUD. THE WALLBOARD MAY BE APPLIED HORIZONTALLY WHEN ATTACHED TO 3-5/8" STUDS AND THE HORIZONTAL JOINTS ARE STAGGERED WITH THOSE ON THE OPPOSITE SIDE. SCREWS FOR THE HORIZONTAL APPLICATION SHALL BE 8" ON CENTER AT VERTICAL EDGES AND 12" ON CENTER AT INTERMEDIATE STUDS.

2H FIRE RATED CONCRETE WALL

8" CMU WALL W/5/8" STUCCO AT EXTERIOR AND 5/8" GYPSUM WALL BOARD OVER 1x2 PT WOOD FURRING AND R-5 INSULATION BTW. (SEE STRUCTURAL DETAILS)

DETAIL APPLIES TO ALL LEVEL CHANGES, DOOR OPENINGS AND THRESHOLDS.

CHANGE IN ELEVATION

SCALE: 1-1/2"=1'-0"

INTERIOR FINISH NOTES:

- INTERIOR FINISH SHALL BE IN ACCORDANCE WITH LSC CHAPTER 10 AND FLORIDA BUILDING CODE CHAPTER 8
- CLASSIFICATIONS IN ACCORDANCE WITH ASTM E 84: (LSC 10.2.3.4 & FBC 803.1) 1. CLASS A: FLAME SPREAD RATING OF 0-25, SMOKE DEVELOPMENT RATING OF 0-450, NO
- CONTINUED PROPAGATION OF FIRE IN ANY ELEMENT THEREOF WHEN SO TESTED. 2.2. CLASS B: FLAME SPREAD RATING OF 26-75, SMOKE DEVELOPMENT RATING OF 0-450.
- 2.3. CLASS C: FLAME SPREAD RATING OF 76-200, SMOKE DEVELOPMENT RATING OF 0-450. INTERIOR WALL AND CEILING FINISH MATERIALS IN VERTICAL EXITS AND EXIT PASSAGEWAYS
- (LSC 10.2 & FBC 803.5)
- 3.1. RESIDENTIAL: CLASS 'C' INTERIOR WALL AND CEILING FINISH MATERIALS IN EXIT ACCESS CORRIDORS AND OTHER EXITWAYS
- 4.1. RESIDENTIAL: CLASS 'C' INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASS A, B OR C IN ALL ROOMS AND
- ENCLOSED SPACES GYPSUM WALLBOARD TO BE FREE OF CORROSIVE OR TOXIC CHEMICALS INCLUDING SULFUR AND SULFUR DIOXIDE
- PAINTS TO BE LOW OR NO V.O.C. BY BENJAMIN MOORE OR SHERWIN WILLIAMS. SUBSTITUTES MUST BE ACCEPTED BY ARCHITECT
- PAINTS TO BE EGGSHELL THROUGHOUT EXCEPT PAINTS TO BE SATIN IN BATHROOMS AND HIGH GLOSS ON ALL WOOD TRIM.
- BATHROOMS TO RECEIVE MILDEW RESISTANT PAINT.
- INSTALL 5/8" CEMENT BOARD BEHIND TILE IN ALL WET AREAS
- 11. CEILING HEIGHTS ARE MEASURED FROM EXISTING FLOOR SLAB. 12. WALL COVERINGS BY INTERIOR DESIGNER TO BE MIN. CLASS 'C'.

SECTION 2320 HIGH-VELOCITY HURRICANE ZONES - FIRESTOPS

- FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES, BOTH VERTICAL AND HORIZONTAL.
- FIRESTOPS SHALL FORM EFFECTIVE FIRE BARRIERS BETWEEN STORIES AND BETWEEN A STORY AND ROOF SPACE.
- FIRESTOPPING SHALL BE TIGHTLY AND SECURELY FITTED INTO PLACE AND WHERE OF WOOD, SHALL BE NOT LESS THAN A NOMINAL 2 INCHES (51 MM) IN THICKNESS.
- SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE SOLIDLY FILLED WITH MORTAR OR LOOSE INCOMBUSTIBLE MATERIALS SUPPORTED ON INCOMBUSTIBLE SUPPORTS.
- FIRESTOPPING SHALL CONSIST OF 2 INCH (51MM) NOMINAL LUMBER, OR TWO THICKNESS OF 1 INCH (25 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR 1 THICKNESS OF 23/32-INCH (18 MM) PLYWOOD, WITH JOINTS BACKED BY 23/32-INCH (18 MM) PLYWOOD, OR OTHER APPROVED MATERIALS.
- DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 3/8-INCH (9.5 MM) PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.
- REQUIRED FIRESTOPS AND DRAFTSTOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRESTOPS OR DRAFT STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER.
- VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 2326.3.2. FIRESTOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS
- SPECIFIED IN SECTIONS 2320.2.1 THROUGH 2320.2.6. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS TO LIMIT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE TO 8 FEET (2438 MM).
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS
- OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR FEATURES. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT LEAST ONCE IN THE MIDDLE OF EACH RUN.
- AT THE TOP AND BOTTOM, AND BETWEEN STUDS ALONG AND IN LINE WITH ADJACENT RUN OF STAIRS OF THE RUN. 13. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH APPROVED NONCOMBUSTIBLE MATERIALS, EXCEPT IN THE CASE OF APPROVED METAL CHIMNEY INSTALLATION.
- IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORT. AROUND THE TOP, BOTTOM AND SIDES OF DOOR POCKETS. DRAFTSTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS
- SPECIFIED IN SECTIONS 2320.3.1 AND 2320.3.

- accordance with NFPA 70 regulations. The box can be installed within the same stud cavity, provided they are not installed back-to-back.
- NELSON FSP PUTTY PADS Min. 1/4" thickness Putty pad. Putty pads are to be installed to completely cover the exterior surfaces of the outlet box (except for the side of the outlet box against the stud) and completely seal against the stud within the stud cavity.

				RO	OM FINIS	H SCHED	ULE						
		WALLS	;	FLOOR		BASE		CEILING					
ROOM NAME	5/8" GWB TYPE "X"	PLYWOOD.	1/2". CEMENT WB. & TILE	TILE	POLISH. CONC.	VCT	WD.	TILE	5/8" GWB TYPE "X"	ACCUST. TILE	EXPOSED	ACCUST. TILE 1HR RATED	CLG HT
OFFICES	•				•				•				9'-0"
SALES	•				•		•		•				9'-0'
STORAGE	•				•		•				•		9'-0'
BATHROOM	•				•		•			•			9'-0'

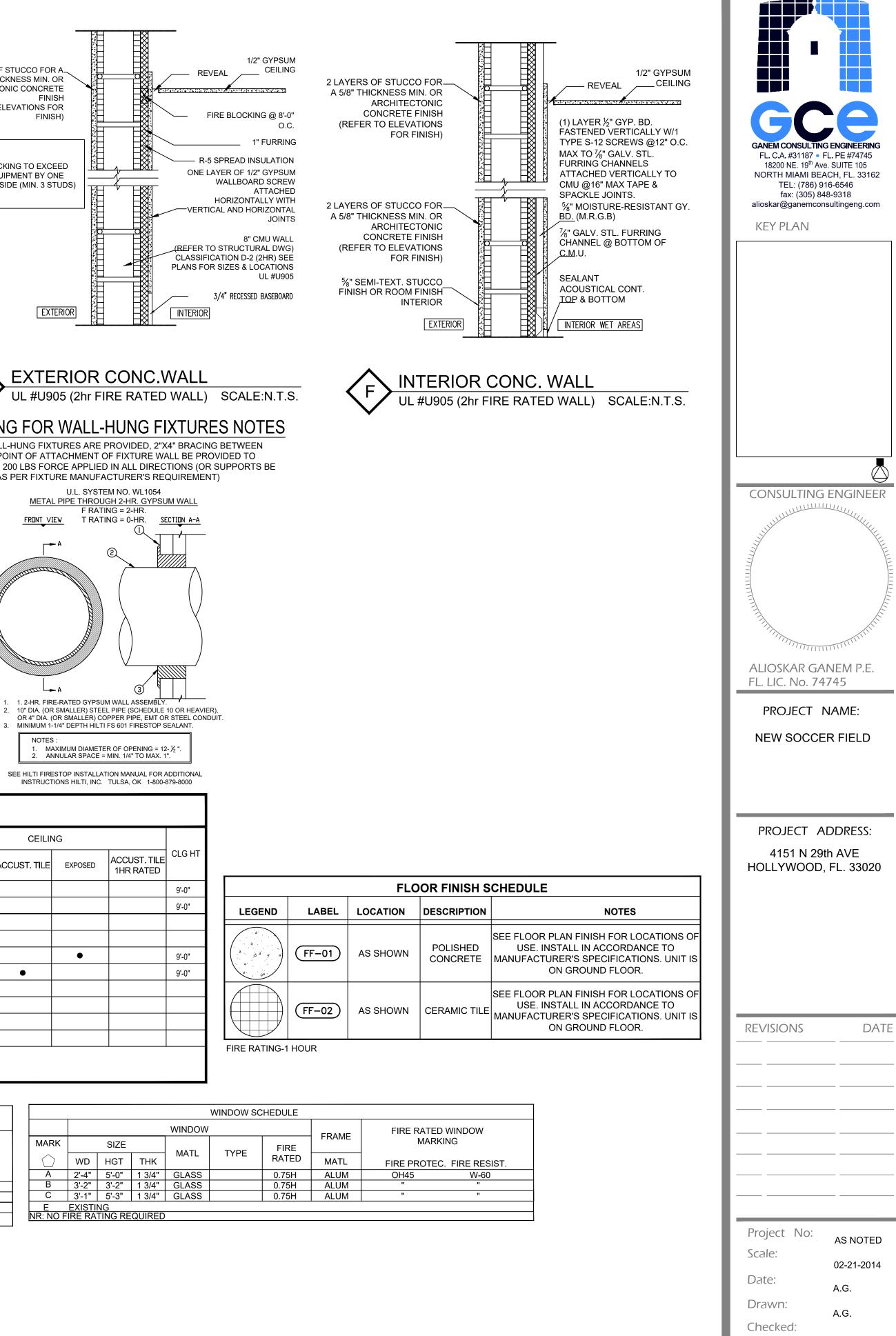
NOTES

MAXIMUM DIAMETER OF OPENING = $12 - \frac{1}{2}$ "

ANNULAR SPACE = MIN. 1/4" TO MAX. 1

FINISHES AND COLORS TO BE DETERMINED BY OWNER - SEE NOTES INTERIOR FINISH NOTES

					DOOR AND FRAME SCHEDUL	E			4				V
DOOR					FRAME	l	MARK	SIZE			Γ		
MARK		SIZE		MATL	TYPE	FIRE		NOTES		WD	HGT	тнк	№
\bigcirc	WD	HGT	тнк			RATED	MATL		A	2'-4"	5'-0"	1 3/4"	+
1	3'-0"	6'-8"	1 3/4"	STL.	EXTERIOR	1.5H	ALUM		В	3'-2"	3'-2"	1 3/4"	
2	2'-8"	6'-8"	1 3/4"	WOOD	INTERIOR SWING DOOR	NR	WOOD	PANEL	С	3'-1"	5'-3"	1 3/4"	
E	EXISTI	NG							E EXISTING				



CAD File:

Drawing Title:

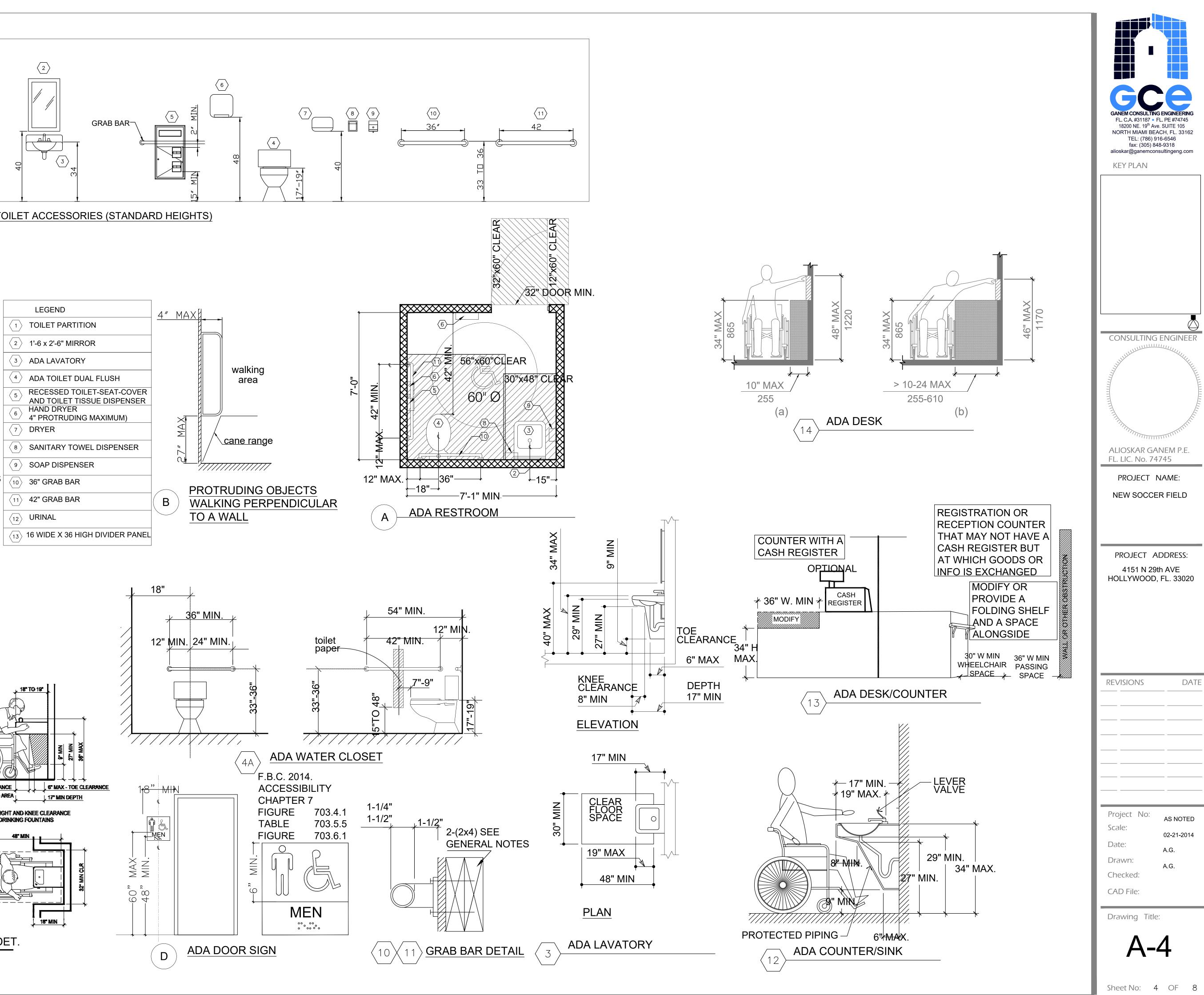


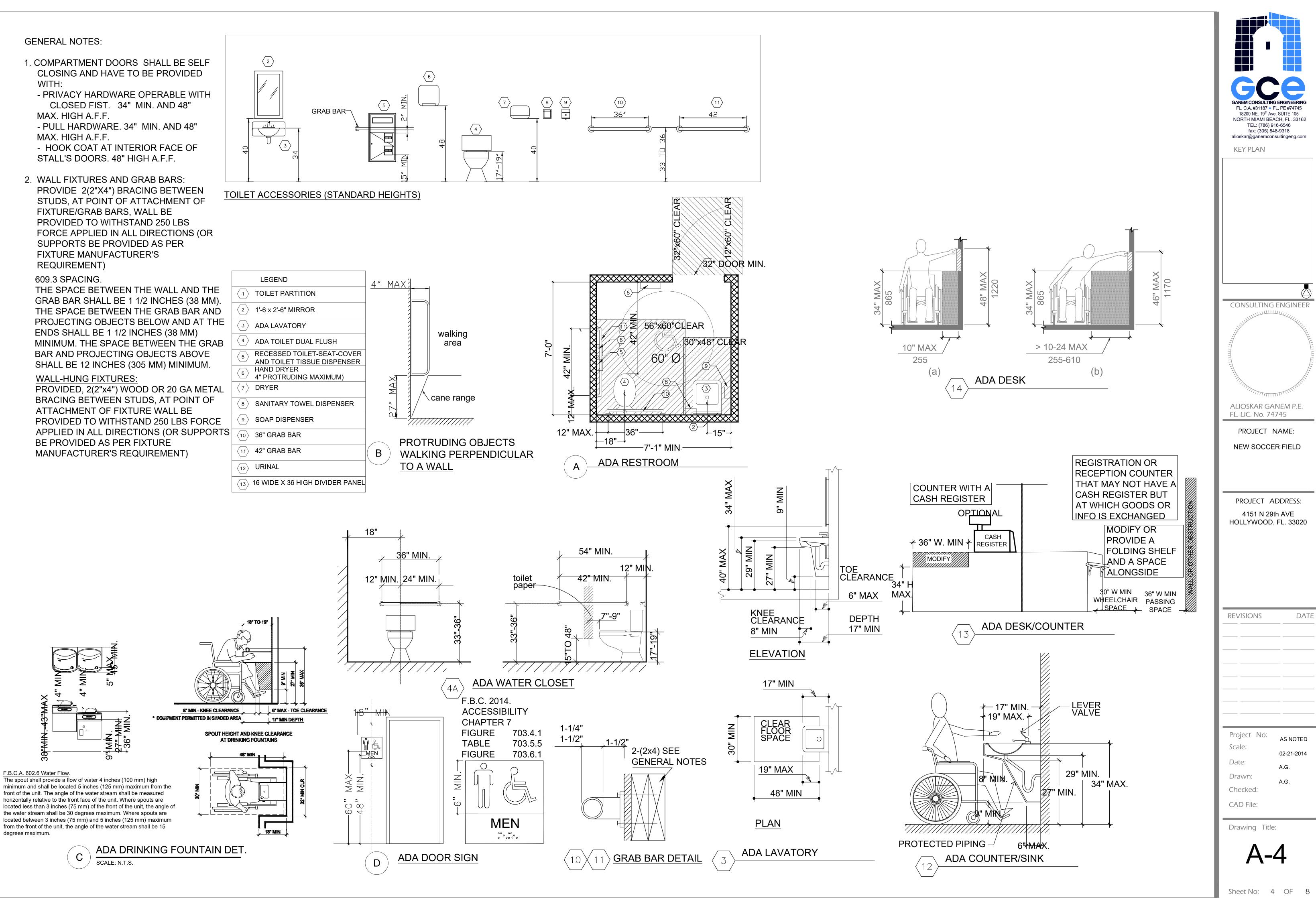
GENERAL NOTES:

1. COMPARTMENT DOORS SHALL BE SELF CLOSING AND HAVE TO BE PROVIDED WITH:

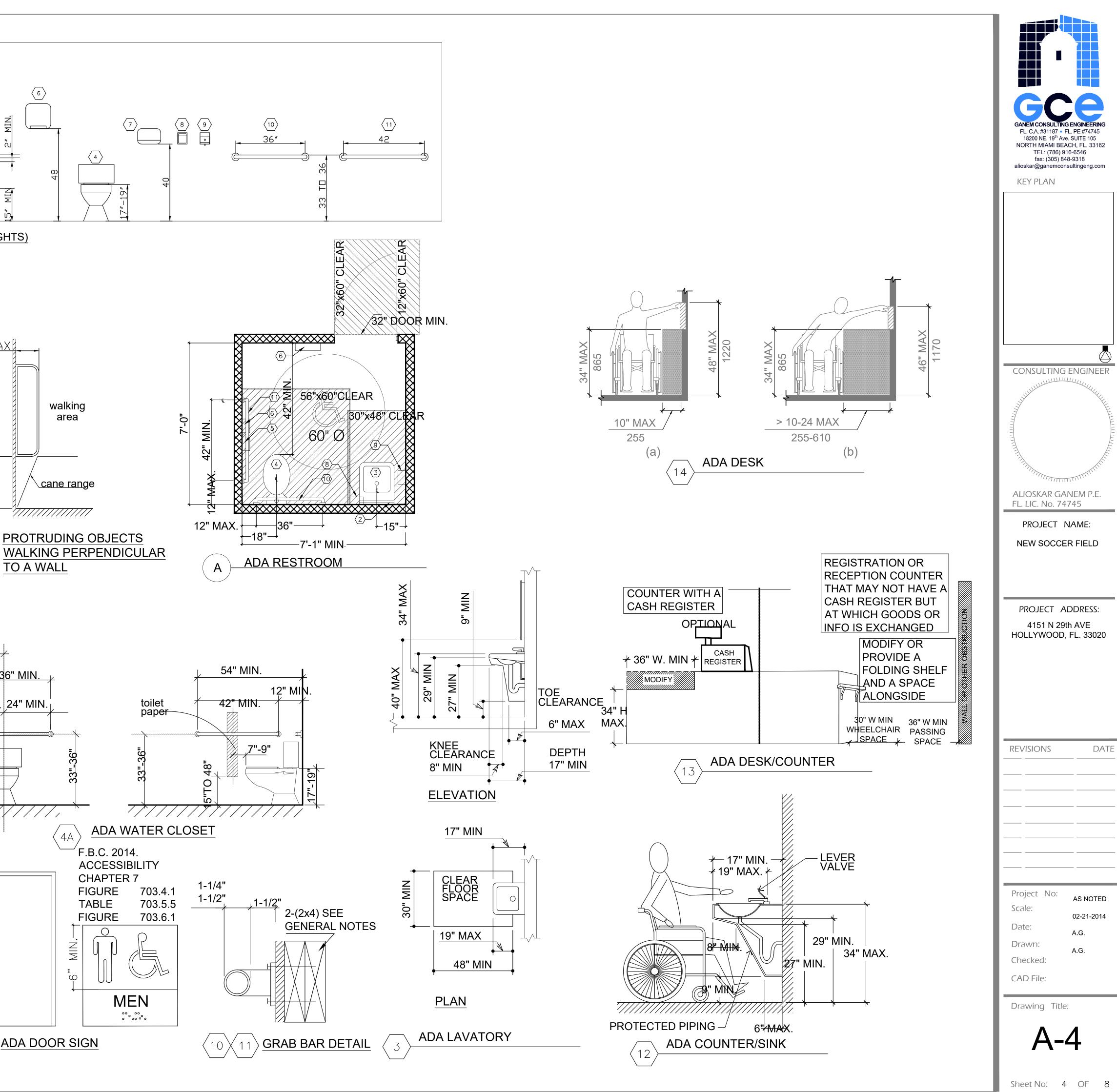
CLOSED FIST. 34" MIN. AND 48"

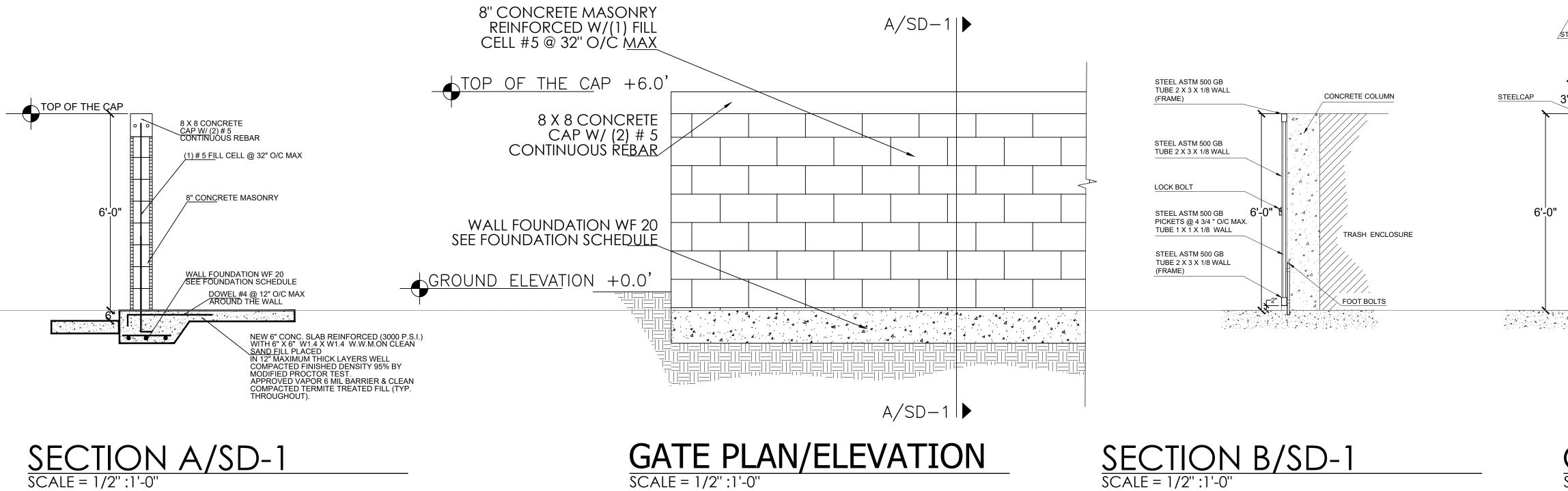
2. WALL FIXTURES AND GRAB BARS: PROVIDE 2(2"X4") BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE/GRAB BARS, WALL BE PROVIDED TO WITHSTAND 250 LBS SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S



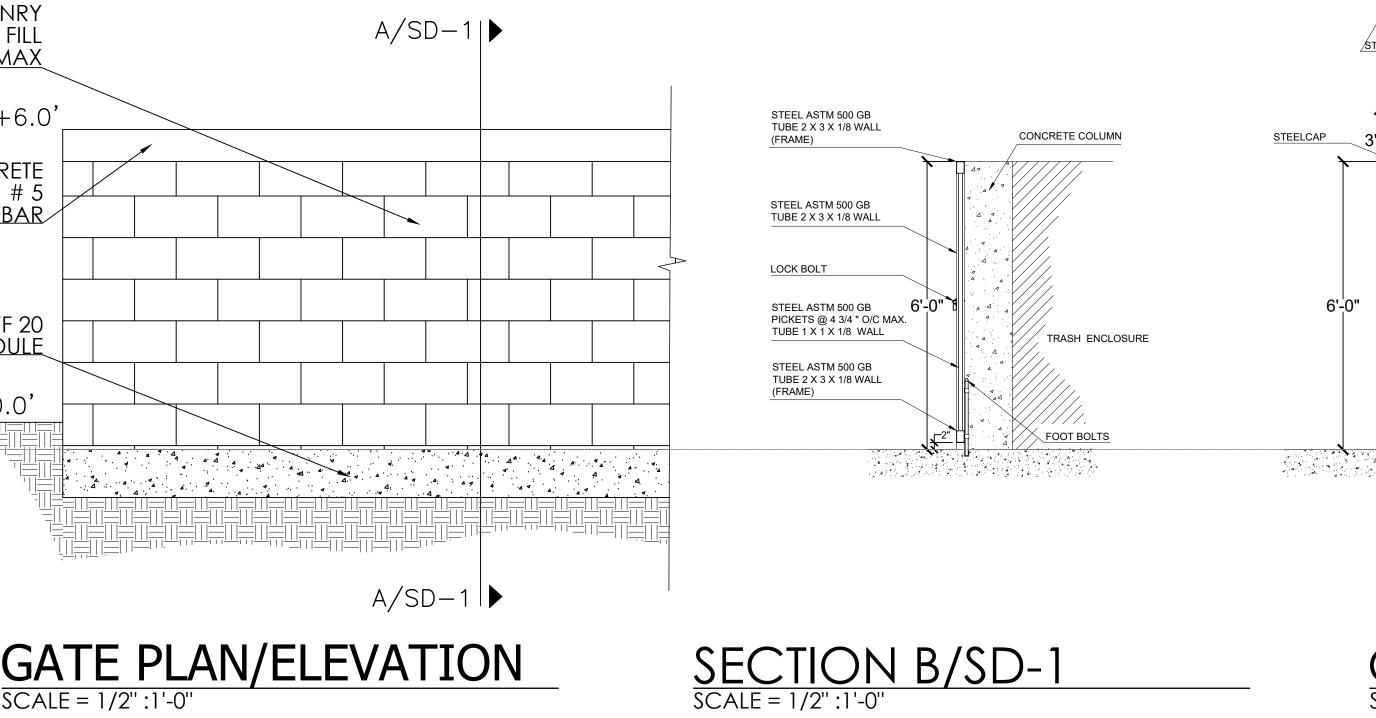




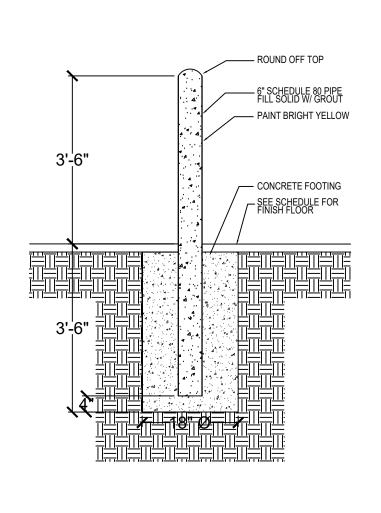


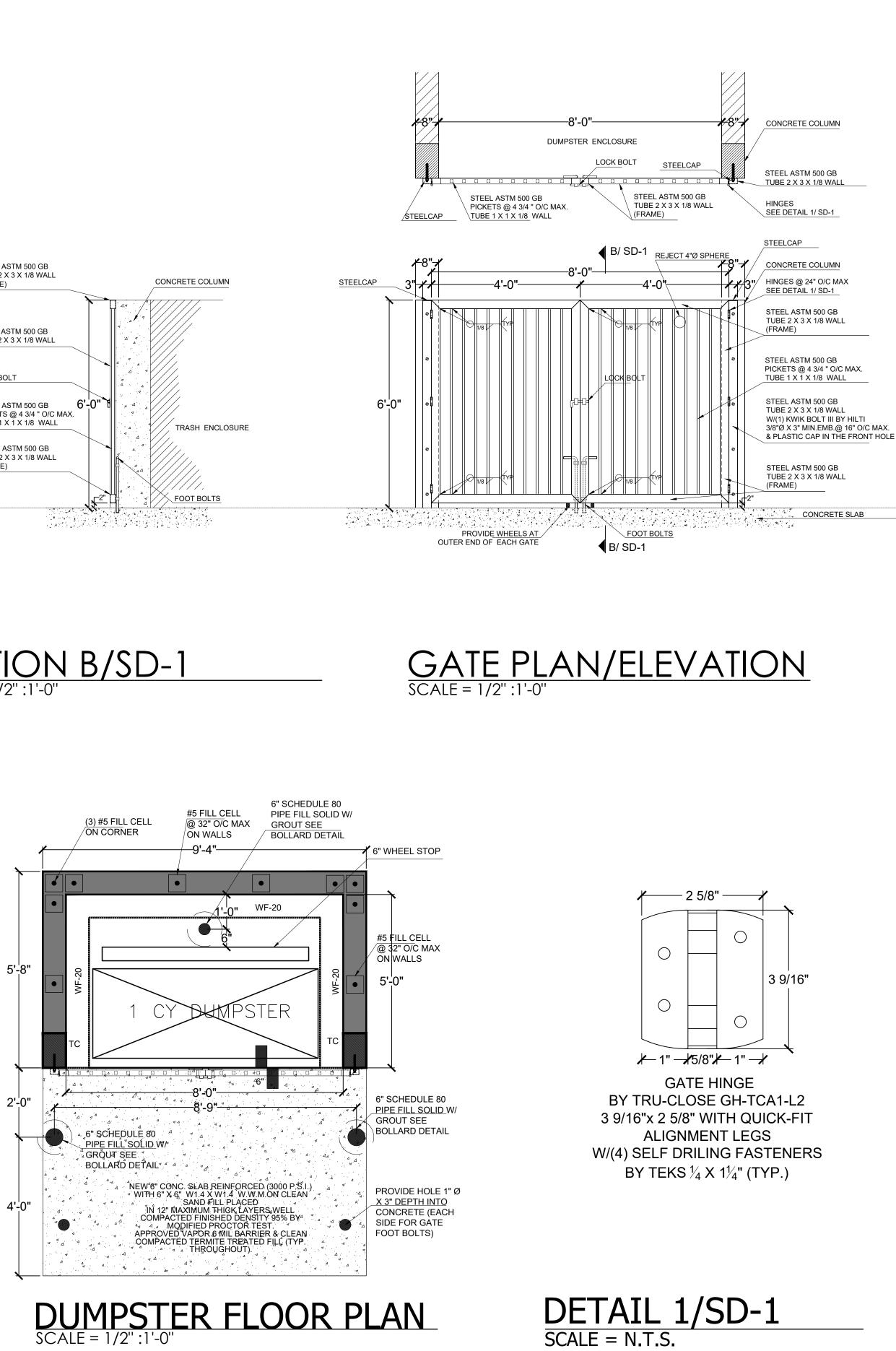






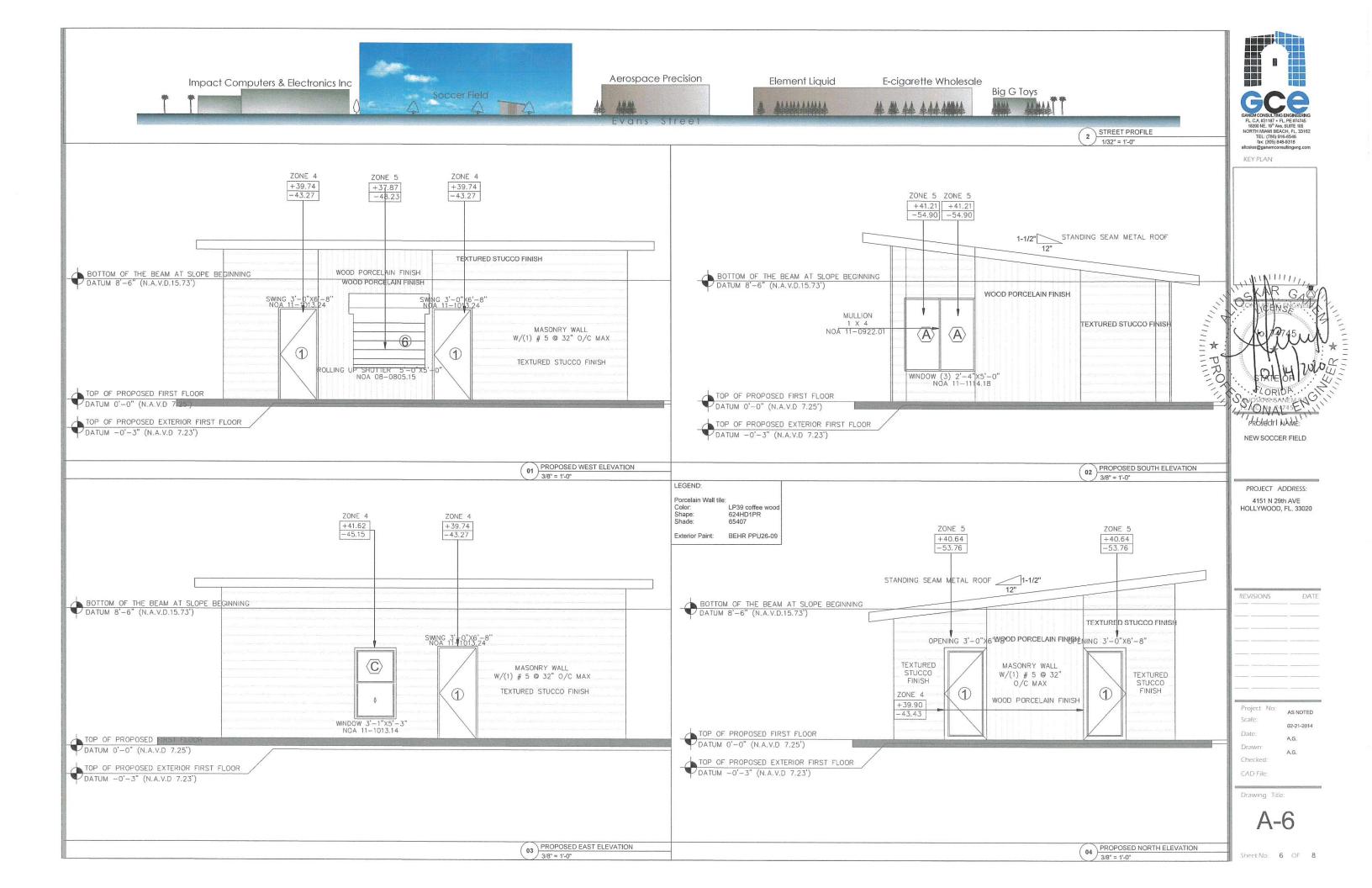






BOLLARD DETAIL SCALE = 1/2":1'-0"











1 PROPOSED SOCCER FIELD VIEW



2 PROPOSED SOCCER FIELD VIEW

3 PROPOSED SOCCER FIELD VIEW

E TEL: (786) 916-6546 fax: (305) 848-9318 alloskar@ganemconsultingeng.com KEY PLAN 11111 PROJECT NAMEL 111 NEW SOCCER FIELD PROJECT ADDRESS: 4151 N 29th AVE HOLLYWOOD, FL. 33020 REVISIONS DATE Project No: AS NOTED Scale: 02-21-2014 Date: A.G. Drawn: A.G. Checked: CAD File: Drawing Title: A-8 Sheet No: 2 OF 4

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Landscape Notes:

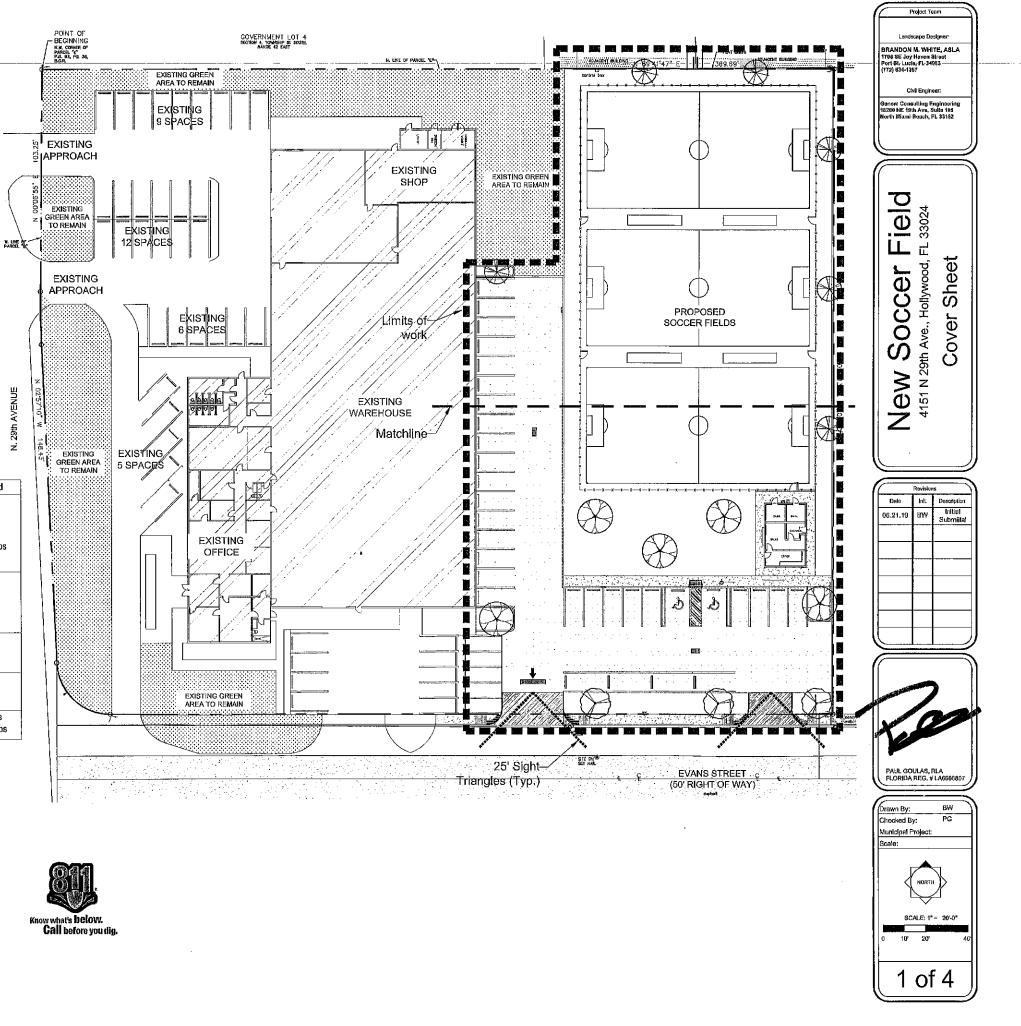
- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others,
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in ocor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Landscape Data:

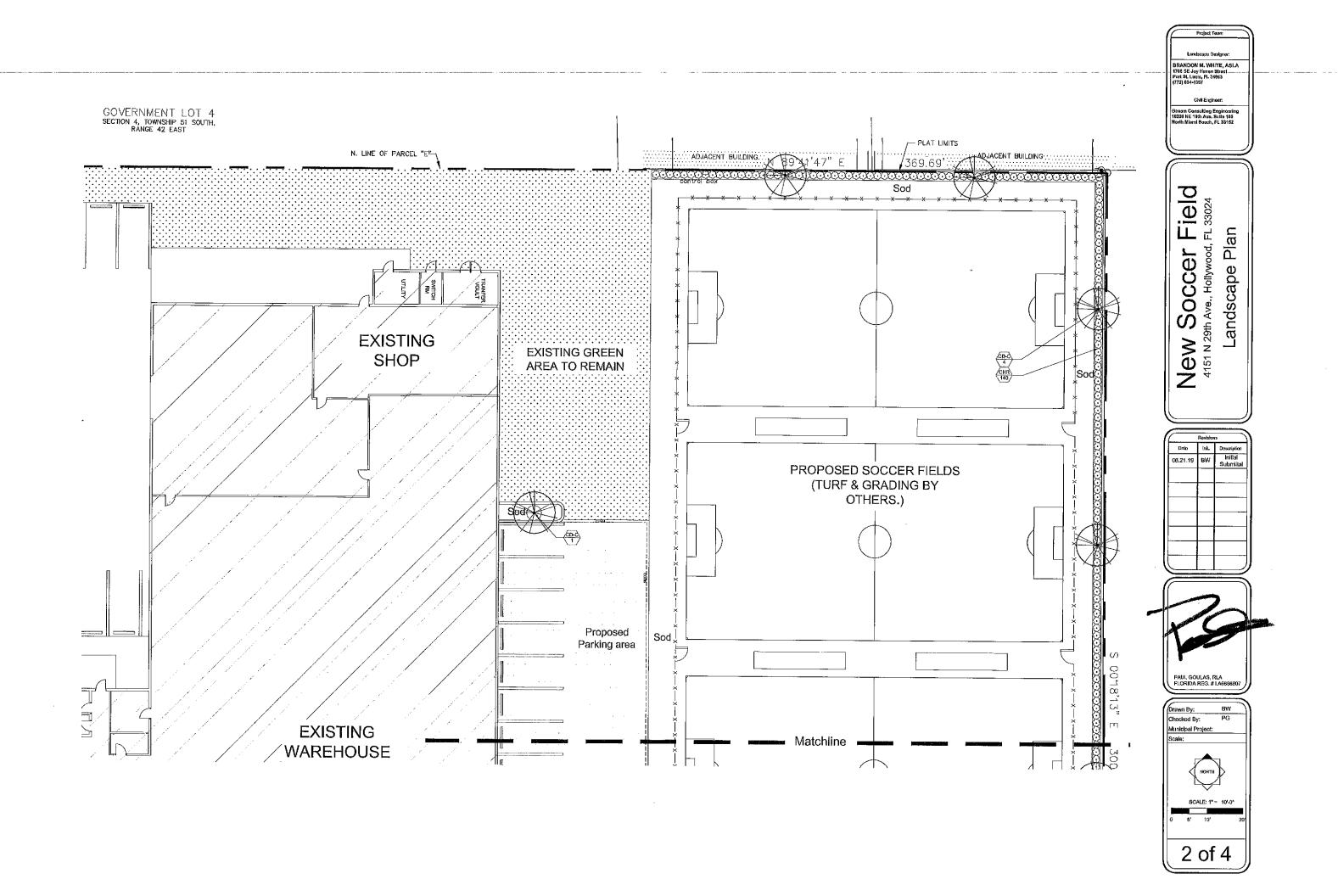
IM-1 Low Intensity industrial and Manufacturing District	Required	Provided	
Perimeter Landscape One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	3 Trees (104//50')	3 Trees	
Perimeter Hedge: One shrub for every 24 inches in landscape buffer abutting property line. 461' / 2' = 230.5.	230.5 Shrubs (4611/2')	231 Shrubs	
Open Space A minimum of 1 tree per 1,000 s.f. of pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs, 7560 s.f. / 1,000 s.f. = 7.56.	8 Trees (7560 SF/ 1,000 SF)	8 Trees	
Interlor Vehicular Use Area Minimum 15% of VUA shall be landscaped. Each island shall contain at least one tree. VUA: 2,071 s.f. x .15 = 311 s.f. Islands: 3	3 Trees 311 s.f.	3 Trees 311 s.f.	
<u>Minimum Tree Sizes</u> Shade trees:2" DBH/ 12' height. Palm trees: 8' of GW or CT.			
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	8 Trees 116 Shrubs	14 Trees 231 Shrubs	



PLANT SCHEDULE NEW SOCCER FIELD

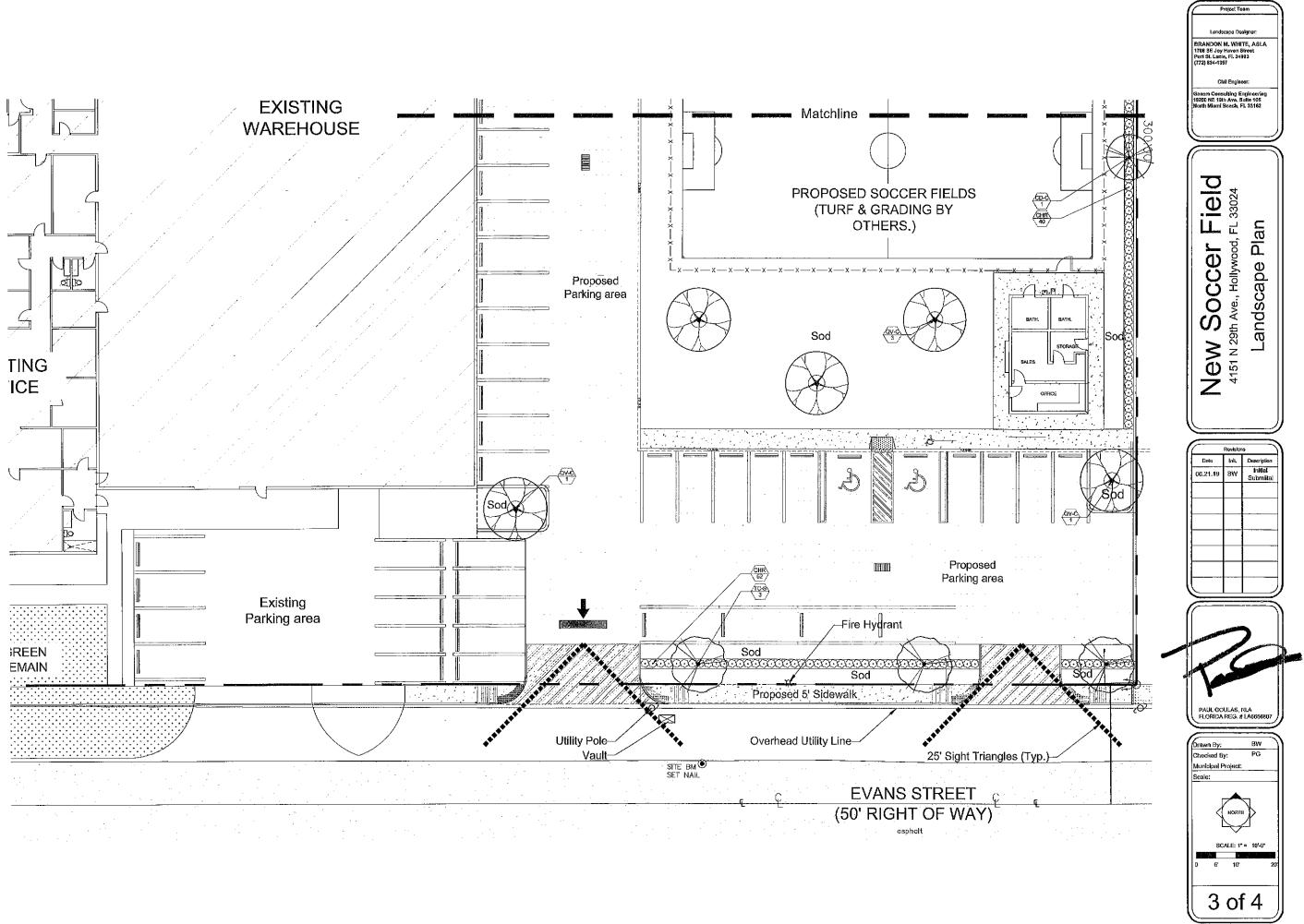
STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	ατγ	DETAIL
\bigotimes	TC-S	Tababula caralba	Silver Trumpot	FG, 12" HT, 2" DBH MIN, STD, SP	3	
CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	<u> 017</u>	<u>QETAL</u>
	CD-C	Coccoloba diversifolia	Pigeon Plum	FG, 12' HT, 2" D8H MIN, STD, SP	6	
(\mathfrak{H})	QV-C	Quercus virginiana	Southorn Live Oak	CG, 12' HT x 6' SPR, 2" DBH MIN, SP	5	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
\odot	CHR	Chrysobalanus icaco 'Redilp'	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	232	





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LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE: A. The body SCOPE: The landscape contract includes the supplying and planting of all trans, shrubs, vinos, and ground cover together with all necessary later, equipment, tools and maleriale panded for the successful completion, execution and maniphrance of the landscape plans.
- 1.02 AGENCY STANDARDS:
- UL AGENUT STANDARDS: Grades and providers and a standards of the standards of Florida Plant Materials published by the Florida AT or batter as stalled in: Grades and Standards of Florida Plant Materials published by the Subter of Florida Doputment of Agriculture, Telbrinswer, Florida.
- Control 1 International Control of the Control of the Control of Control
- 1.04 ERRORS AND OMISSIONS: A. The plantils is a part of the drewings and is furnished as a convenience. The plantils holicates the terms, size and quantilize as peoplin plant instantiato as called for and is loaded on fise drawings. The Landacepe Contractor is responsible for hisher own quantity court, and any disception-between dowings and plantils that his to calculate allow as correct on the drawings.
- The Landscape Contractor shall not lake advantage of errors or antiastens in the specifications or contract drawings. Full institutions will be given it such arrors are discovered. Upon the discovery of any discrepancies, for a ornisations from the drawings or documents, or shadd the Landscape Convector to in docks as to find manifer, the Landscape Architect shall be unofiled and will determine the actions mooscory to oath uway.
- C. If plans and specifications are isuad to disagree after the contract is ewarded, the Landscope Architect shall be the [udge as to which was intended.
- 1.05 EXECUTION OF THE WORK: A. The Landscape Contractor shall have his labor rows controlled and directed by a Facenam well vesced in labor internals, planting methods, reading blueprints, and coordination between job and nursery in order to associate installation sciencely and in a linety namer.
- 9. The Landscape Contractor shell provide a completent English-speaking Foreneor on the project still times, who shall be fully subhorized as the Continuous's equil on the work. This Superinference instal the capability of reading and theoughly the Plane, Specifications and other Contract Documents. If the Superinference in the Interaction Systems Incomposite by the Landscape Architeck, be (the superinference) regime to interactive projections.
- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implaneatiation of the job. Any additional work or changes required as a nealt of failure to communicate with the Owner or Landscape Architect during instamentatio will be the responsibility of the candropee Contractor.

- 1.05 PROTECTION OF PUBLIC AND PROPERTY: A. The Landscape Contractor shall protect all maladals and work against liquip from any cause and stells provide and maintain all neuroscapy saligurants for the protection of the public. He shall be table responsible for any demograph of the work 1.8, demograph which may occur as a result of the fault enrolgements in the second on the work 1.8, demograph to barger and places are black.
- 1.07 CHANGES AND EXTRAS: Crements ANU EXTING: The Contractor mail not stark work one may changes or "toxical" in the project undit a written agreement acting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or elevatival price to execute of a written agreement may or may not be compareded for by the Owner at this discertion.
- .08 GUARANTEE: B CUARANTEE: The Londscape Contractor shall furnish a written guarantee warrantieg all materials, workmonthy and pint matariab, accept sol, for a pwied of ONE (1) YEAR from the time of completion out acceptance by the Londscape Architect and Owner Social Bo guaranteeds 60 & calender days after acceptance by the Londscape Architect and Owner Social Bo guaranteeds 60 & calender days after acceptance by the Londscape Architect and Owner Social Bo guaranteeds 60 & calender days after acceptance by the Londscape Architect and Owner. At platt material shall be alway and in antifactory condition and growth fracts and specific start of plant at the and the guarantee patient. The pusatement of plant material but many barries, by Socie, sub-the hard hermothes responsibility to isomesisted by replant any days of under the material but the duration of the transformer Architect. The parameter with own rule and U plant the and the duration of the Londscape Architect. The parameter with own rule architectif durat days and the duration of the hordscape of the start and the output of the start and the transformer and the start transformer and the start and the start and the start and the start start and the start transformer and the start transformer and the start start and the start transformer and the start transformer and the start transformer and the start transformer and the start transfo
- 8. At the and of the specified guarantee period, any plant required under this contract that is deed or not in sublicatory contribution, as downined by the Lendscape Architect, that is explanded. The Landscape Develocitor shall be expressed for the the implement root of plant instantis for the frait replacement, and there subsequent replacement (a) costs equally with the Owner, should the replacement (and the for the owner).

1.09 CARI: AND MAINTENANCE: A. The Landscape Contractor shill be responsible for the cars and maintanance of ell plan intendate and infragman when updicable until final acceptance by the Owner or Landscape Architect

B. The Owner agrees to execute the instructions for such care and mainlenance

- 1.10 SAFETY: A. It initial has the recognoriability of the Landscape Confusctor to protect all presence from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B. It shall be the contractor's responsibility to conform to all local, state, and fade/oi safety laws and codes including the Faderal Occupational Safety And Health Act (O.S.H.A.).
- 1.11 CONTRACTOR QUALIFICATION:

- CONTRACTOR QUALIFICATION: to Owner may require the appendix contractor (s) to qualify himherseff to a magnetistic antibility by furnishing any cri all of the following documentary altor: A transitil statement in alrwing used so fur liabilities on the company curvest to date. A tailing of not kess then (3) complicied projects of inteller scenes end minute. Permanent remue and address of theored to unities and larget of the the Thm number of regiver employees of the segmination and larget of the the cigatactacton has been in Sucherse theor the patient mans.
- 1.12 INSURANCE AND BONDING: A. The consider (6) shall adamt pread of lacaseme for the job for the tase period that the work is down. The predict of the share pread of the state of the share period work \$300,000,000 per period work \$300,000,000 per interval to the share of the share and agreed to the content. The successful bidget until to required to have this contenge in effect before beginning work on the share.
- The Owner shall have the right to require the Contractor to furnish bonds covering faithing performance of the Contract, and payment obligations anning thereunder as slipplated in bidding requirements or aportically required in the Contract Documents on the date of execution of the Contract.
- 1.13 PERMITS AND CERTIFICATES:
 A All conductors shall accure and payling all permits and cettificates required for his/her
 class of work.
- PART 2: MATERIALS
- 2.01 PLANT MATERIALS: A. A complete list of plants is shown as the drawings, including a schoolde of quantities, sizes, and such other requirements desmod necessary. In the event disorepancies occur, the spacifications on the drawings shall govern.
- R. Subatilitions: Subatilitions of plot privatelys archings in size or spacing of mysterials will be permitted QNLV (uppa writes authorization by the Ownor or trul and cape Archibact. Higher matrixit is not olaritheris these most applicable capes, a letter of variance trom be agrouprise agency wast to obtained by the Ownor provide a state of any diange order. If matrixed at unable state in a to be occepted, here quantity of interview and be been beneased, at no additional cost to be Owner, to meet the intent of the dawings.
- All plant materials shall have a habit of growth that is normal for the species and shall be healthy decreas and agata to a waxced the monstremental specifical in the plant fact, which no the minimum acceptable sizes. Plant shall be measured before pumpy with branches in normal patients. Any measure pruning shall be done as the time of planting.
- All plont matteriate available on unancey grown, unlease otherwise noted, Flokita #1 or hoter and shall camply with all required inspections, grading standards and plant requiritions as a set forth by the Flokida Department of Agglobulare's Gradess and Standards for Nussary Floats, most centers addition and Charles and Standards for Nussary Floats, most centers addition.
- E. Plants that do not have the normal before of keight and agreed typical for the result of the second bio.
- F. The Landscape Contractor shell install each plot to display its best side. Adjustments may be required if plants are not instelled properly and/or approved by the Landscape Archited at no additional uses to owner.

- 2.02 INSPECTION A. The Landscape Architect and Owner may impact lines and shrules at place of growth or at site before planting, for compliance with requirements for genes, species, variety, size and or quely. The Landscape Architect and Owner rolats the right to further mayork news and shrubs for algo and complifient duties and not applorate, encodes, ingletes and latent detects, and is regist usualitationary or detection encode of a latent and using progress of work. Rejuded plant meetrals shall be impatched from project etas.
- ahait to insumouncy return the RIVAS: 2.03 PROTECTION OF PLANT MATERIVAS: A Balde and buildinged plants (3 & B) and 2 be dug with firm natural belle of earth of sufficient dimensia and dupt to eacompass the factors and feading-not settlem and recovery of the plant. Built shall be lamity wrapped with builts and the length of the plant. Built shall be lamity wrapped with builts and the length of the lamit. Built shall be lamity wrapped with builts and the length of the lamit. Built shall be lamity and post builts and the lamit of the lamit. Built shall be lamity and plants at units to lation and builts pped. ecessary for full B. Plants with broken, damaged or insufficient rootballs will be rejected.
- C. All plant material shall be protocled from possible bark injury or broakage of branches. All plants transported by open trucks shall be adequately covered to prevent whoteam, drying or
- D, Plants which cannot be planked immediately on delivery to the site shall be covered with moist soly, nucles or other protection from the drying of which and sun. All plants shall be vialered as nocessary by the Landscape Contractor until planted.
- ZO4 STORAGE:
 A. All plant materials shall be stored on the alle in designated aceas, specified by the Landscape Architect or Owner's spani.
- No plant molorial shall be stored longer than sevenly-two (72) hours unless approved by by Landecape Architect and/or owner.
- The Landscope Architect reserves the right to reject any plant materials not in conferences with these exerciseations.
- D, All rejected material shall be immediately removed from the site and replaced with accentable material at on cost to the Owner.
- Receptore
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 Rec slippings by means of burlap, wood by estanded to the tree with using
- 2.06 PLANTING SOIL: A. Planting soil for all plantings shall consist of existing native soil and shall be free of debts, costs, clay, stores, plants or other fareign materials which might be a hindiance to planting operations or be definiented to good growth.
- 2.07 FERTULZER: A pronounced billion shall consider with the state fortibers form. Ninopen shall not be forse than a pronounced billion is success, tracquint of share that any state state and the state of the original state of the original state of the original state of the Thorswrite mixed 3 lbs. of commercial fed lizer In each cubic varti of clanting soil
- Toblekized fortilizer shat be Agriform planting tables 20-10-6 formula, 21 gram or equal. All trees and snubs shall be fortilized with tabletized fortilizer as follows, While backfulling glent holes, fortilizer stables afabli be countly epaced and placed adjacent to the bail raid-way in dep accordence with the following rates:
 - 1 gellon container 1 lablet 3 gallon container 2 tableta 5 gellon container 3 tableta 7 gallon 5 tableta

Large tubs, wire basicely, grow bags, and balled and burlapped makeful shell have 1 lablet for each (12 lach of funck diameter (manuals) 3 last (from ground) or for each (cash field) to a pread of larger shuch material. The Landscope Architect resources the right to inspect and review the application of fertilizer.

- 2.06 MULCI: A. Mirch material shall be dean, day, free of weeds, seeds and ussts. molstaned at the time of application to proved what displacement. Cyprose Siler Red mulch is perhibited,
- All trees and shuth bads shall receive 3' mulch immediately after planting and howouply waterd, Apply 2' more hea & pairs resolutile, keep away from tree & pairs truets of a scupitor by toost justification,
- PART 3; EXECUTION 3,01 DIGGING: RT 3: ESECUTION in DSGING: The Landrage Contractor shall exactles ears in digging and other work or as not to furnage existing work, individing overhead relative successful pass and ables and the pipes and hydronia of working septems. Should such overhead or anderground descuders be exceeded within historia with galanting, to Owner stand the constantial and contractor with due to because or planta to clear such destruction. The Contractor shall be compared and contractor with cluster be because or planta to clear such destruction. The Contractor shall be responsible for the immediate repert of any damage
- 2 GRADING: Gauding for drainage, swalae, etc. to within 4 inches of the finistral grade to be provided by others.
- 8. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of furtherapy initialities as an to have grade grade the final grade of their proper obviations in elation to welks, passing, etain structures, and other size confidence. The side grading plasmust be checked grade to initiality of and the side of the size of the siz
- 3.03 PLANTING: A. Planting shall take place during favorable weather conditions,
- The Contractor shall call for utility locates and ascertain the location of all utilities and ear precautions can be taken not to during on encroach on them.
- C. Tree Planting shall be located where it is shown on the plant. No planting holes shall be door until the processed locations have been staked on the gloond by the Contractor,
- Excevation of holes shall extend to the required subgrades as specified on the planting diagram located in the planting plans. Plant pits shall be gircular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Clagrams".
- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing method

- O. No plenting or issping of soct shall be initiated shall the area has been cleaned of actsling soci or other plant materials, rough press, week, dualits, stomes at and the growned has been bought to an even grade, with positive circlange areary from britchings and lowards drain initials and evalues and approved by Landacape Architect or owner's rep. Each plant shall be planted in an individual hole as specified for troos, shrubs, and vinos.
- All plants shall be set to ultimate (initiate grade. No filling will be permitted around izunts or stems. All topes, where, stakes, stor, shall be removed from stoles and top of the ball and removed from field before filling in.
- J. All llagging ribbon shall be removed from trees and shrubs before planting.
- Excess excevation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
- 4. All pairs shall be backfilled with sand, thoroughly washed in during planting operations and with a challow service degreeoter left at the soil line for future waterings. Savcer meas shall be top-drasted two (27) inches deep with logoal raked and 161 h a nead, clean manner.
- 3.04 PRUNNIG: A. Rearrys dead and invoken branches from all plant material. Prune to rolain hydral growth hobit of hobitidual planta white as much holght and spread as possible in a menner which will preserve live plants natural charactar.
- B. Make nil cute with storp instruments fluct with trunk or adjected brench, as such a menner as to insure elimination of stubs. Cuts mede at right angles to line of growth will not be permitted,
- C. Trees shall not be poled or topped.
- D. Remove all triaminus from site.

3,06 GUYING: A, All trees over six (0) feet in height shall, immedialely after setting to proper grade, be guyed with livree sels of two strands. No. 12 gauge stalloabla galvanteed iron, in tripod fashfon. See Ostail.

- B. Wirea shall not come in direct confact with the true but shall be covered with an approved protect on day or at all contact points. Wires shall be featened in such a menner se to avoid pulling crotches apen.
- D. Sinke & Brace all traces larger than 12' ca, See dotail, Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree
- E. Tumbuckies for guying treas shall be gatenized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
- 5.00 WATER: A. Each plant or tree shall be thoroughly welfared in effer planting. We add of all rewly helplied plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
- See General Notes of Landscape Plan for water source.

5.07 SDD

- A. The Landscape Contractor shall sod all areas indicated on the drawings,
- It shall be the responsibility of the Landscape Contractor to the grade all landscape areas, etmineting all bumps, depressions, siticks, stones, and other dubris.
- The and shell be firm, lough lockure, having a compacted growth of grass with good root development. It shall contain no noxicout ways, or any other objectionable vegetation, longus, insects, or diverse. The sail anotholded in the sold shall be good diven each, fire income actions and device.
- D. Before being cut and lifed, the cod shall have been moved at least three times with a law mover, with the line moving nat more then seven days before the cod is dat. The cod shall be carding in an above the seven days before the cod is dat. The cod shall be cardinated as the seven days are seven to be set of the seven days are seven to be set of the seven days are seven da
- 6-8-6 ferbilizer with all trace elements is to be applied at the rate of 40 los, per 1,000 sq. ft. prior to faving soci.
- F. Bolis and shall be faid with closely abutting, staggared joints with a tempod or relied, even a unice
- G, The finished level of all sod ureas after estilement shall be one (1*) inchibelow the top of abutting curbs, waiks, éáving and wood bórdéré to állow for building (urf.
- If in the opinion of the Landscape Architect, top dressing is nonessary ofter rolling, clean yellow eapd will be evenly applied over the entire surface and thorough'y washed in.
- 6 GEECING: The Lawloape Contractor shall remove all vegetation and rocks larger ivan (1') in diameter term arces to be seeded, scadiy the area, liten epply fer i lizer at a rate of 500 (bs. per acra,
- Application: Argeniine Bahle Grats seed 200 Pounds per sore mixed with dominion hulled Bermada seed 30 lbs, per apre. All other seed mixtures shall be applied per the
- Rol immediately after seeding with a minimum 500 pound roller, then exply above mulch at the rate of 2,500 pounds per acre. D. Apply fartilizer at the rate of 150 lbs, paracre 45-60 days after seeding.
- 3.05 CLE/NING UP: A. The contractor shall at all times keep the pressises free from accumulations of waste materials or rubbleh coursed by his work, over work. He shall feave all paved areas "broom cleant" when completed with his work. 3,10 MAINTENANCE:
- Moyne to eventset Marine and a shall begin immedinisity after each plant is installed and shall confuse will all planting insisten accepted by the Owner or Lanckaces Ackittect. Mahinemanes shall include watching, weeding, nerrowal of Levial materials, exercising plants to prove gravite or up kight positions, spraying, restoration of planting saucer and/or any other necessary exercision.
- Proper protection to tawn areas shall be provided and any damage resulting from planting operations shall be repeired prompily. Replacement of plants during the maintenance period shall be the responsibility of the Contractor excluding vendaliers or damage on the part of others, lighting, or itumicane force winds, until final

D, In this event that weeds or other undestrable vegetation become prevalent, it shall be the Contractor's responsibility to remove than.

E. Trees or other plant material which fail or are blown over during the mathematics ported will be reset by the Contractor at no add itenal expense to the Cwner, the only exception being horizonte.

3.11 COLVELETION, INSPECTION AND ACCEPTANCE: A. Completion of the work shall mean the bulk and exact compliance and conformity with the provisione acynometal or inplicit in the Dawnips and in the SpearCentient, including the complete removed of all insets, dobda, adj or other wasto conduct by the Lancesco Contractor,

Inspection of work to determine completion of contract, exclusive of the possible representent of plants, will be made by the Oxivar and/or Landscepe Architect at the conclusion of all planting and at the request of the fundamene Contractor.

All plant material shall be a live and in good growing condition for each specified kind of plant at the time of acceptance. The rater of each plant according to Florido Grades and Standards shall be quett to or briter than had colled for on the plans and in these Specificalions at the time of final inspecies and acceptance.

After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plont matched and workmanship, arkipaive of the possible replacement of plonts subject to expected by the subject to

ORAÍNAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

NON POROUS SOIL AND INTO POROUS SOIL, (SEE DETAIL)

(6) 243415 WOLD BATTENS SECURE BATTENS WI(2) 347 HIGH CARBON STEEL BANDS TO HOLG DATTENS IN PLACE DURING PLANTING PROJECT OD NOT HAL BATTENS TO TRUNK, HEIGHT OF

BALLENS SHALL BELUCATED IN RELATION TO THE FIELD IT OF THE THEF BZD ADDULATE REACTING

BRACING DETAIL

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING BHALL BE TESTED IN THE FOLLOWING MANNER

B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER, IF THE WHTER LEVEL DROPS FOUR (*) OR MORE WITHIN FOUR (4) HOURS, THE ORAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED IF THE WATER LEVEL DROPS LESS THAN FOUR RICHES (*) WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

C, WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE

RONGHOUT THE

TOPSOIL

DRAINAGE TESTING DETAIL

ROOTBALL

6" DIA: ORAINAGE DETAIL

D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED

E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE. CARE MUST BE

TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THE PLANTING PIT AND DRAINAGE CHANNEL.

-- ISTLAYERS OF BUILT AP

