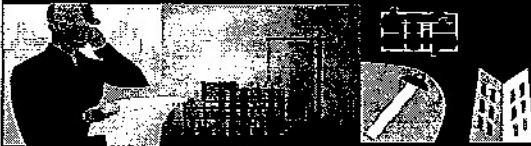


ATTACHMENT I
November 26th, 2019
Application Package

ATTACHMENT A
Application Package

RECEIVED

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 7/31/2019

Location Address: 913 WASHINGTON ST

Lot(s): 12 Block(s): 57 Subdivision: HOLLYWOOD LAKES

Folio Number(s): 5142 14 02 1450

Zoning Classification: R6 Land Use Classification: _____

Existing Property Use: VACANT LOT Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: NEW HOUSE (SFR)

Number of units/rooms: 1 UNIT 4 ROOMS Sq Ft: 2400

Value of Improvement: \$245,000 Estimated Date of Completion: MID 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: TATIANA CHIPILOVA

Address of Property Owner: 1550 VAN BUREN ST HOLLYWOOD FL 33020

Telephone: 305-926-4113 Fax: _____ Email Address: ACHIPILOV@HOTMAIL.COM

Name of Consultant/Representative/Tenant (circle one): _____

Address: _____ Telephone: _____

Fax: _____ Email Address: _____

Date of Purchase: 9/18/2018 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

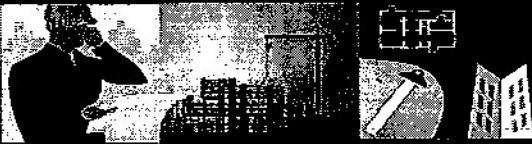
List Anyone Else Who Should Receive Notice of the Hearing: ANATOLY CHIPILOV

Address: 1550 VAN BUREN ST HOLLYWOOD

Email Address: ACHIPILOV@HOTMAIL.COM

RECEIVED

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315

Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: _____

PRINT NAME: TATIANA CHIPILOVA

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: TATIANA ChipilovaDate: 07/31/19

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 31 day of July

Notary Public

State of Florida

My Commission Expires: 8/2/19 (Check One) ☐ Personally known to me; OR ☒ Produced Identification FLD

Leslie Roman
COMMISSION #FF227818
EXPIRES: August 2, 2019
WWW.AARONNOTARY.COM

Signature of Current Owner

Print Name

This instrument was prepared
by:

Michelle N. Gonzalez, Esq.
Akerman LLP
Three Brickell City Centre
98 Southeast Seventh Street, Suite 1100
Miami, Florida 33131

Return to:

Ashley Title Company
16375 NE 18 Avenue, Suite 225
North Miami Beach, Florida 33162

Consideration: \$225,000.00

SPECIAL WARRANTY DEED

THIS WARRANTY DEED made and executed this 18th day of September, 2018, by PETER EVANS AND ANDREA FISHER EVANS, husband and wife, hereinafter referred to as the "GRANTOR", to TATIANA CHIPILOVA, a married woman, whose address is 1550 Van Buren Street, Hollywood, Florida 33020, hereinafter called the "GRANTEE" (wherever used herein the terms "GRANTOR" and "GRANTEE" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations).

WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable consideration, the receipt whereof is hereby acknowledged, by these presents has granted, bargained, and sold to the GRANTEE, all that certain land and improvements thereto situated in Broward County, Florida, viz:

Lot 12, Block 57, HOLLYWOOD LAKES SECTION, according to the Plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

Folio No.: 514214-02-1450

Also known as: 913 Washington Street, Hollywood, Florida 33019

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.


SUBJECT TO, taxes and assessments for the year 2018 and subsequent years, and all easements, zoning restrictions, rights of way, reservations of record, covenants, restrictions and any other matters of record, none of which are reimposed by this reference (the "Permitted Exceptions");


AND Grantor does hereby covenant with and warrant to Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; and that Grantor specially warrants the title to the Property and will defend the same, subject to the Permitted Exceptions, against the lawful claims of all persons claiming by, through or under Grantor, but not otherwise.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:


Print Name: Joanne Critasi


PETER EVANS


Print Name: Helena B Medina

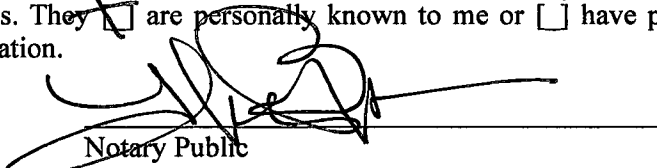

ANDREA FISHER EVANS

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 18th day of September, 2018, by Peter Evans and Andrea Fisher Evans. They ☒ are personally known to me or ☐ have produced _____ as identification.



(NOTARY SEAL)


Notary Public
Print Name: _____
My Commission Expires: _____



Site Address	913 WASHINGTON STREET, HOLLYWOOD FL 33019	ID #	5142 14 02 1450
Property Owner	CHIPILOVA, TATIANA	Millage	0513
Mailing Address	1550 VAN BUREN ST HOLLYWOOD FL 33020	Use	00
Abbr Legal Description	HOLLYWOOD LAKES SECTION 1-32 B LOT 12 BLK 57		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2019	\$215,530		\$215,530	\$215,530	
2018	\$86,210		\$86,210	\$81,290	\$1,716.35
2017	\$73,900		\$73,900	\$73,900	\$1,543.58

2019 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$215,530	\$215,530	\$215,530	\$215,530
Portability	0	0	0	0
Assessed/SOH	\$215,530	\$215,530	\$215,530	\$215,530
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$215,530	\$215,530	\$215,530	\$215,530

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
9/18/2018	SWD-Q	\$225,000	115332550	\$35.00	6,158	SF
5/19/2003	WD	\$180,000	35255 / 141			
				Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								

**CITY OF HOLLYWOOD
HISTORIC PRESERVATION BOARD**

INSTR # 115126668
Recorded 06/08/18 at 09:07 AM
Broward County Commission
3 Page(s)
#2

RESOLUTION NO. 18-V-10

A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA APPROVING VARIANCE FOR A UNDEVELOPED LOT LOCATED AT 913 WASHINGTON STREET IN THE LAKES AREAS MULTIPLE RESOURCE LISTING DISTRICT AS MORE SPECIFICALLY DESCRIBED IN THE ATTACHED EXHIBIT "A" PURSUANT TO PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Historic Preservation Board (the Board) is charged with the responsibility of preserving and conserving properties of historical, architectural and archeological merit in the City of Hollywood; and

WHEREAS, Andrea Fisher Evans and Peter Evans, collectively the "Applicant", (File Number 18-V-10), requested a Variance to reduce the minimum lot width of an undeveloped lot located at 913 Washington Street, as more particularly described in the attached Exhibit "A" incorporated herein by reference; and

WHEREAS, the Board held an advertised public hearing on April 24, 2018 to consider the Applicant's request; and

WHEREAS, the Board reviewed the application for the Variance to reduce the minimum lot width requirement from 60 feet to allow for 50 feet, in accordance with the criteria set forth in Section 5.3. F.1. of the Zoning and Land Development Regulations and made the following findings:

- (a) That the requested Variance does maintain the basic intent and purpose of the subject regulations, particularly as its affects the stability and appearance of the City; and
- (b) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- (c) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City; and

- (d) That the need for the requested Variance is not economically based or self-imposed; and
- (e) Since the Board finds that criteria a. through d. have been met, then criteria e. is not applicable.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the Board, after hearing all evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, approves the Applicant's request for a Variance to reduce the minimum lot width requirement from 60 feet to allow for 50 feet, based on the plans submitted by the Applicant and reviewed by the Board.

Section 3: That the Department of Development Services Planning Division is hereby directed to forward a copy of this Resolution to the Applicant and the owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the public records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

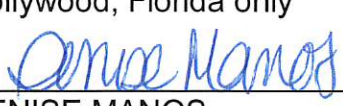
PASSED AND ADOPTED THIS 24 DAY OF APRIL, 2018.

RENDERED THIS 15 DAY OF may, 2018.


TERRY CANTRELL, BOARD CHAIR


GEORGE CHILLAG, VICE CHAIR

APPROVED AS TO FORM & LEGALITY
For the use and reliance of the Historic
Preservation Board of the City of
Hollywood, Florida only

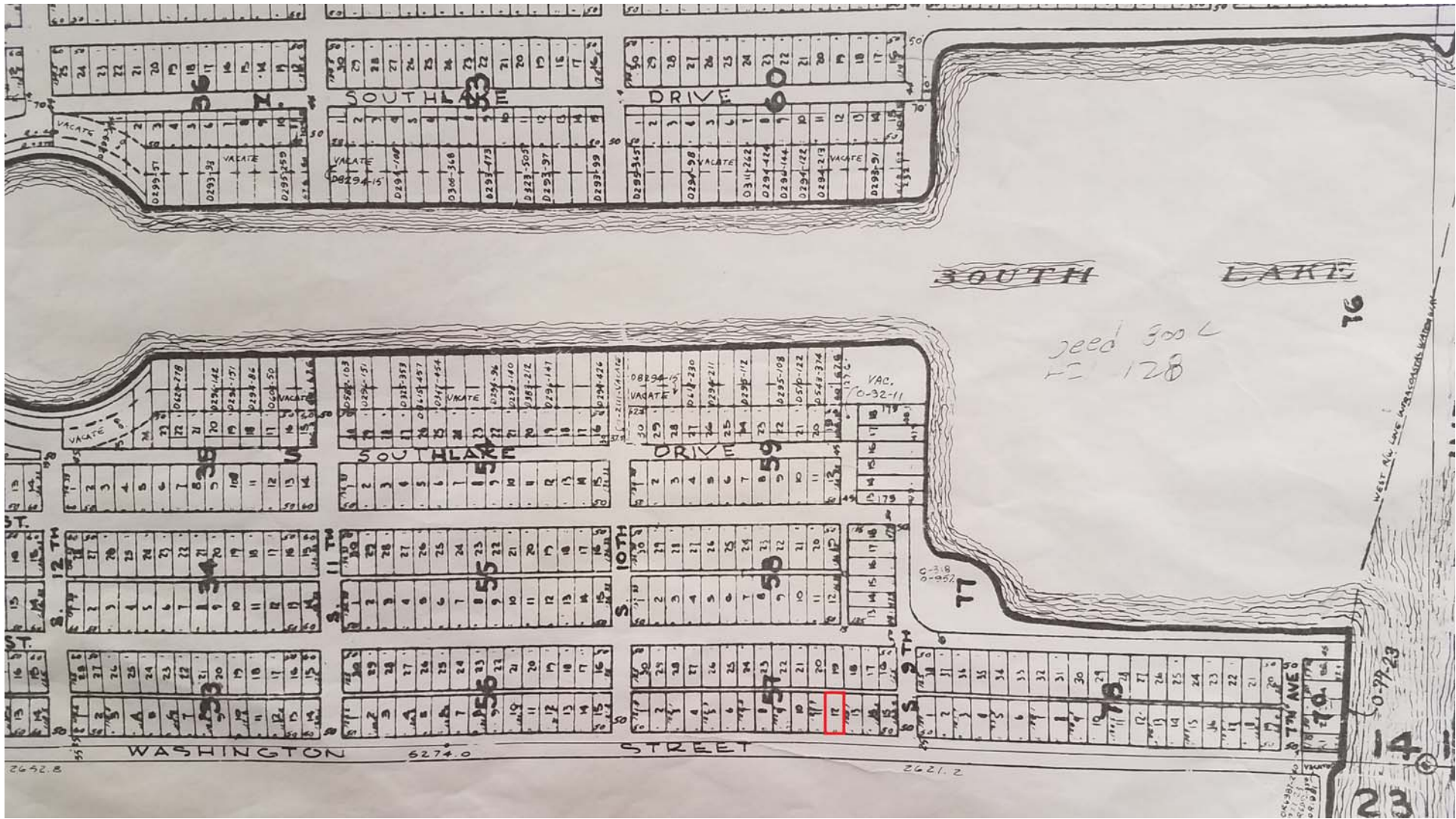

DENISE MANOS,
BOARD ATTORNEY

(HISTORIC PRESERVATION BOARD RESOLUTION 18-V-10)

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 12, HOLLYWOOD LAKES SECTION, BLOCK 57 ACCORDING TO THE PLAT
THEREOF, RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD
COUNTY, FLORIDA



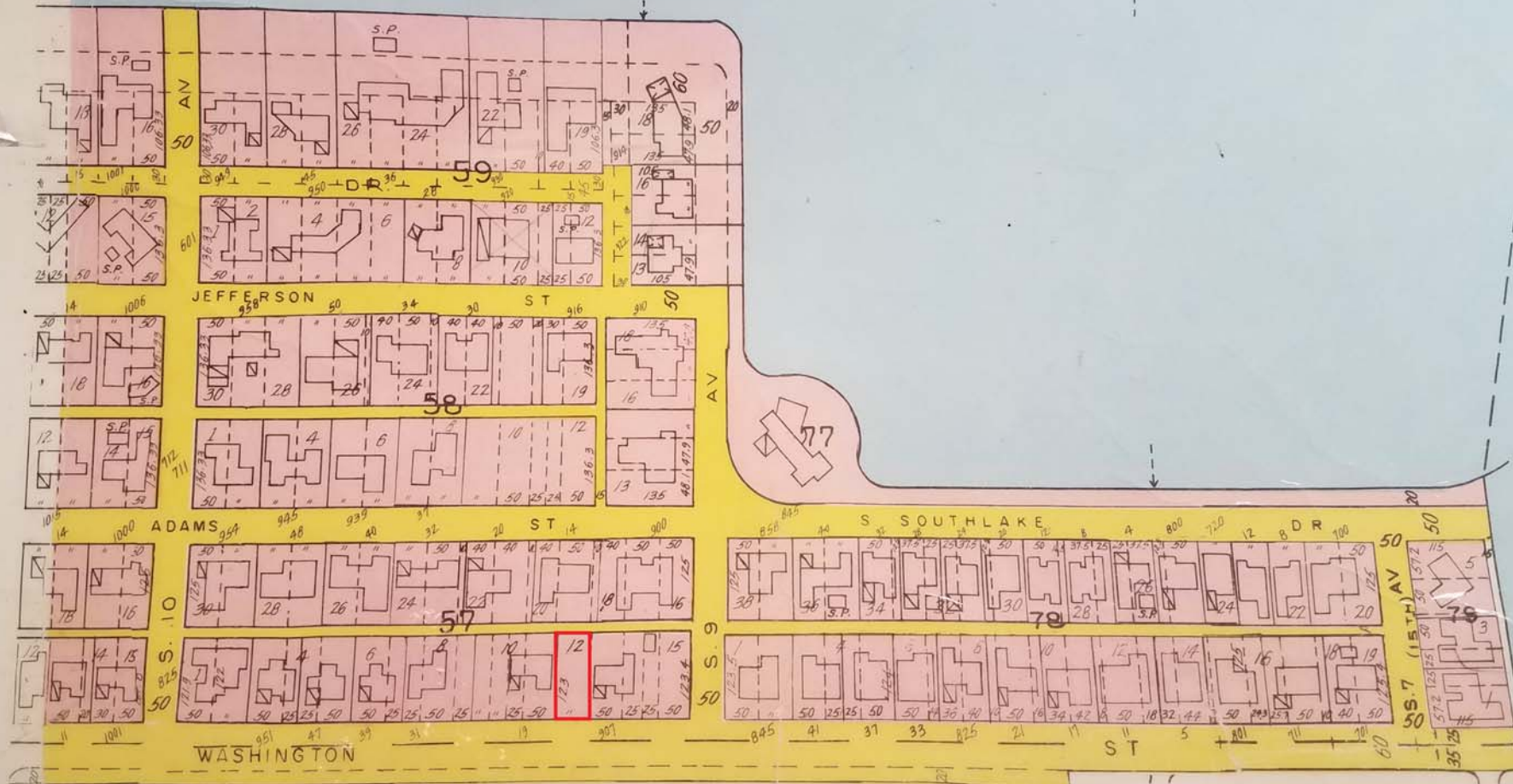
SOUTH LAKE

470

SE

--1600--

76



92

Carmen Diaz

To: Anatoly Chipilov
Subject: RE: [EXT]FW: Public Records Request (W012581-103019)

From: Anatoly Chipilov [mailto:achipilov@hotmail.com]
Sent: Thursday, October 31, 2019 4:48 PM
To: Carmen Diaz <CDIAZ@hollywoodfl.org>
Subject: [EXT]FW: Public Records Request (W012581-103019)

Hi Carmen, please see response from records dep bellow. Do you need me yo print and bring a copy of this email to you for the file? Thank you

From: Edgar Cristo <ECristo@hollywoodfl.org>
Sent: Thursday, October 31, 2019 4:10:05 PM
To: achipilov@hotmail.com <achipilov@hotmail.com>
Subject: Public Records Request (W012581-103019)

Good Afternoon,

Let this email serve as proof that the City of Hollywood Records and Archives does not have any historical records on 913 Washington St. Attached is the sequence of addresses in the microfilm. You can see that 913 Washington St is not available jumping to 919 Washington St. If you have any questions feel free to contact me. Thanks

Edgar Cristo
Records Analyst
City of Hollywood
Records & Archives Division
2600 Hollywood Blvd
P.O Box 229045
Hollywood, FL 33022-9045
ECristo@hollywoodfl.org
(954)921-3545



You can submit a records request by visiting [Submit/View Records Requests | Hollywood, FL - Official Website](#)

Edgar Cristo
Records Analyst
City of Hollywood
Office of the City Clerk

P.O. Box 229045
Hollywood, FL 33022-9045
Office: 954-921-3545
E-mail: ECristo@hollywoodfl.org

913 Washington ST

Property legal description

Lot 12, Block 57, HOLLYWOOD LAKES SECTION, according to the Plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

Folio No.: 514214-02-1450

PROJECT INFORMATION

New Mediterranean style single family residence consisted of 3 bedrooms 3 full bath.



919 Washington St. – West property



907 Washington St. – East property



910 Washington St. – South property



913 Washington St. – Subject property

Tatiana Chipilova
1550 Van Buren St
Hollywood FL 33020

City of Hollywood
2600 Hollywood BLVD
Hollywood FL 33020

Criteria of appropriateness for design 913 Washington ST

CRITERION: INTEGRITY OF LOCATION

ANALISIS: This vacant lot located in a historic district of Hollywood Lakes at 913 Washington St. Site made of one single lot 50x 125.

CRITERION: SETTING

ANALISIS: The setting of this proposed residence is typical to most of homes in the area.

CRITERION: MATERIALS

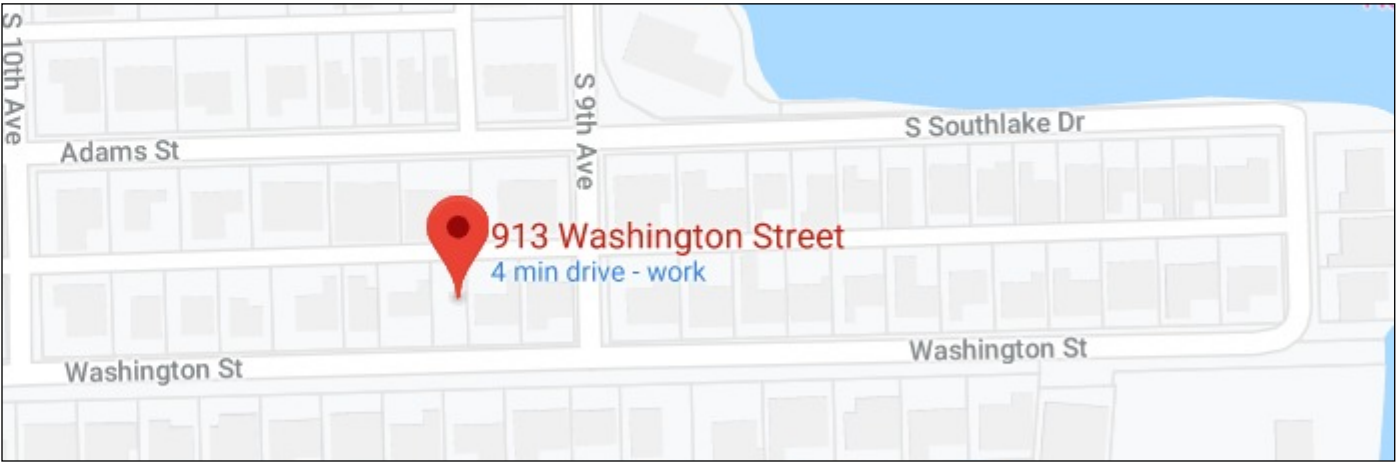
ANALISIS: Home will be constructed using concrete block and cement with metal rebar reinforcement. All building products and workmanship will comply with latest Florida building code

Tatiana Chipilova
1550 Van Buren St
Hollywood FL 33020

913 Washington St



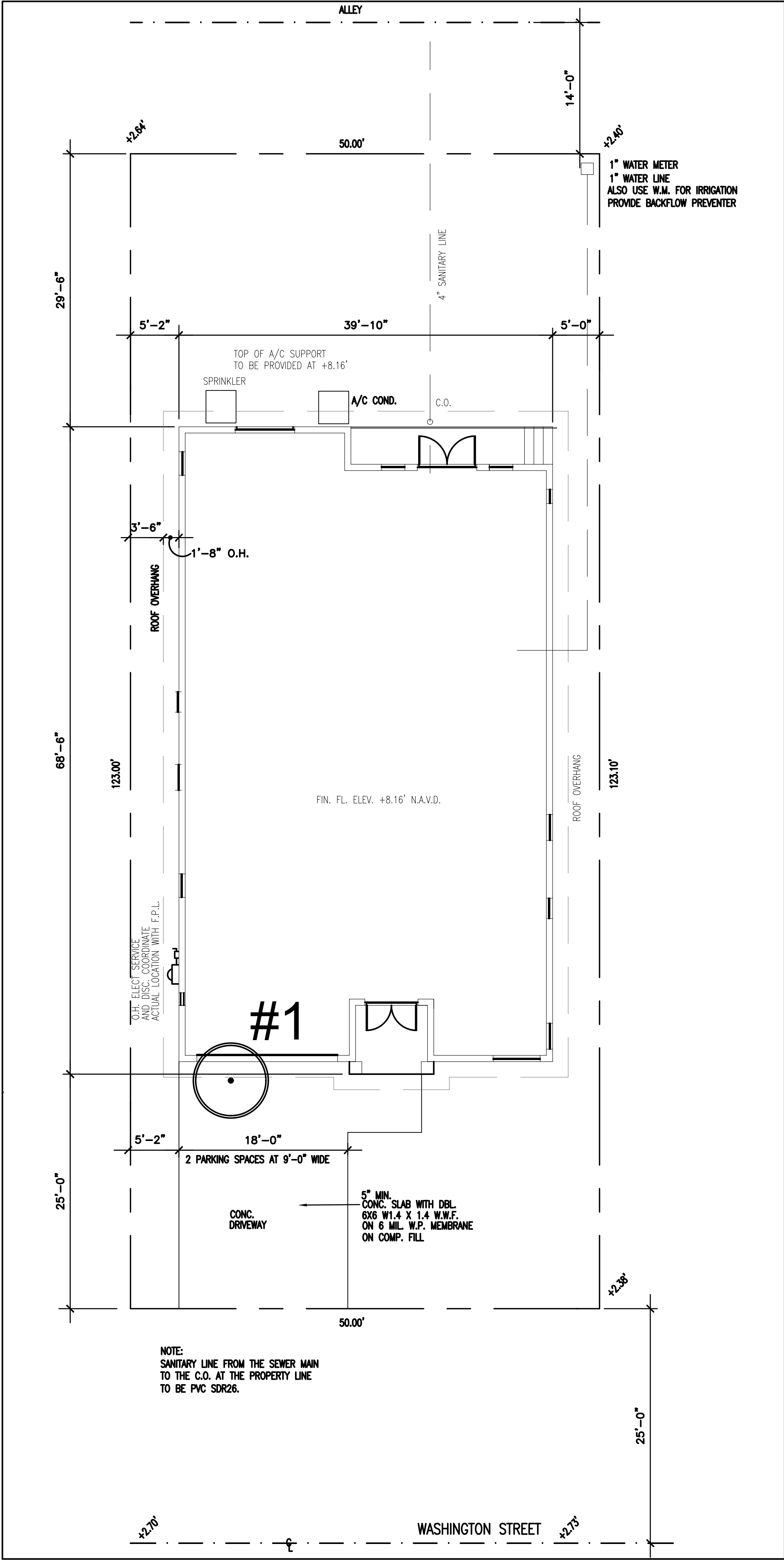
MAP LOCATION



FRONT ELEVATION

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR 13378

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 EMAIL. DEDIEGOARCH@AOL.COM



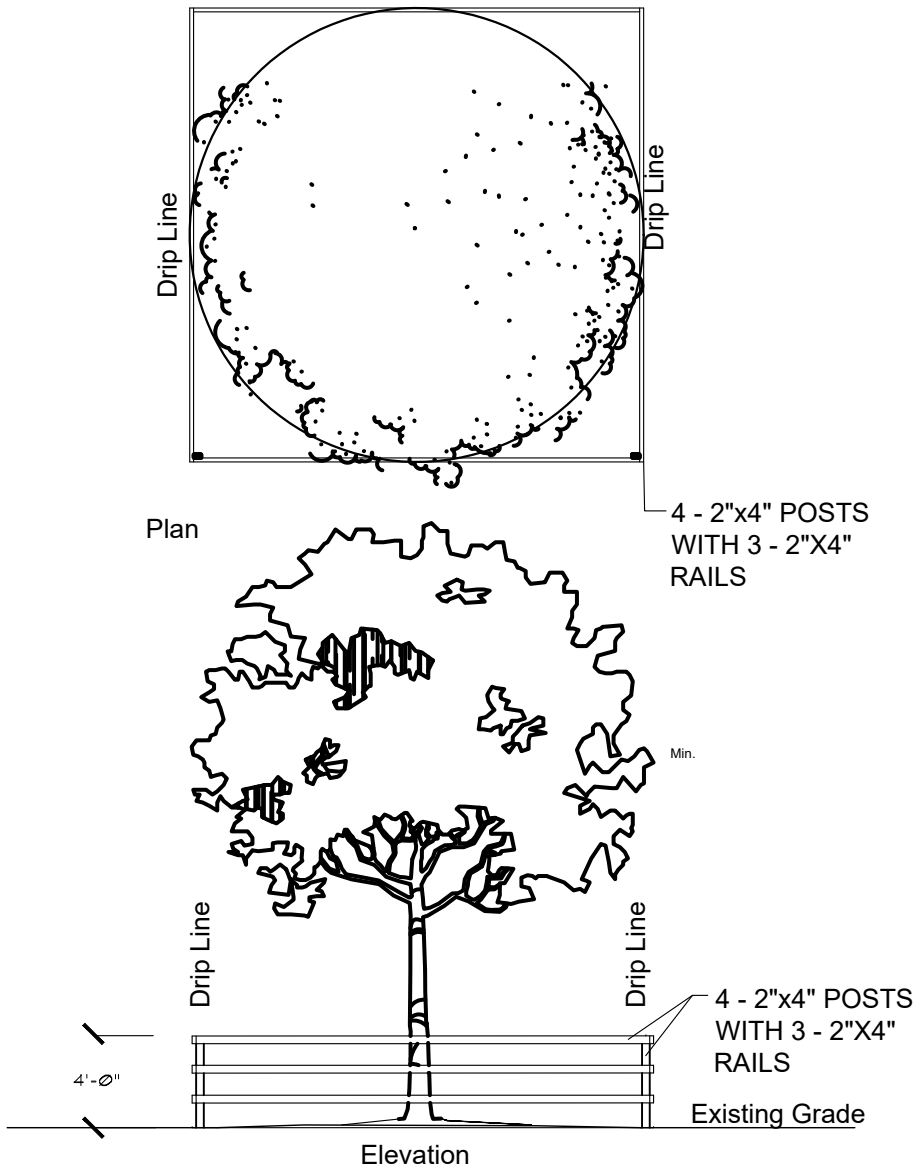
EXISTING TREE SURVEY CHART

Tree Number	Botanical Name	Common Name	DBH (inches)	Canopy (feet)	Height (feet)	Condition	Disposition	Notes
1	<i>Roystonia elata</i>	Florida Royal Palm	18"	16'	18'	Average	Relocate	Height is in Clear Trunk, good candidate to relocate

ROOT PRUNING FOR TREE RELOCATION

- 1) ROOT PREPARATION
- A. Trees to be root pruned with clean, sharp equipment 6-8 weeks prior to relocation to a depth of at least 24 inches by ISA certified arborist.
1. Maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices.
 2. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth.
 3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize temperature fluctuation.
- B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees, Florida Department of Agriculture.
1. Trees-Minimum Ball Sizes: DBH Minimum Ball Diameter
- 3-1/2" to 4": 28"
- 4" to 4-1/2": 30"
- 4-1/2" to 5": 32"
- 5" to 5-1/2": 34"
- Larger sizes increase proportionally.
- C. Two to three weeks after root pruning and before lifting, tree canopies shall be pruned to remove any dead, decayed, broken branches, low hanging branches, or branches which would otherwise restrict strapping/lifting activities.

- 1) TREE RELOCATION
- A. Trees shall be lifted using fiber rope lifting straps, with their rootballs cradled with fiber rope tree slings or other appropriate materials, such that the bulk of the trees' weight rests upon the rootball. Trunk straps may be used for balancing an maneuvering the trees into position, but shall not be used to lift or hold 100% of the trees' weight.
1. Once lifting begins, any uncut roots which become apparent around or under the rootballs shall be immediately severed with the appropriate pruning tools so as to minimize tearing.
2. After lifting, trees shall not be set down again until reaching the final site of relocation.
- B. Trees are to be set in pre-dug pits, and properly braced in accordance with tree planting details shown on landscape plan.
- C. Daily irrigation at high volume (15-25 gallons per tree, as per size) shall be provided for the first month after relocation. After that time, irrigation shall be provided 3 times per week, continuing at high rates, for at least 2 more months. After establishment, standard irrigation practices shall be implemented.

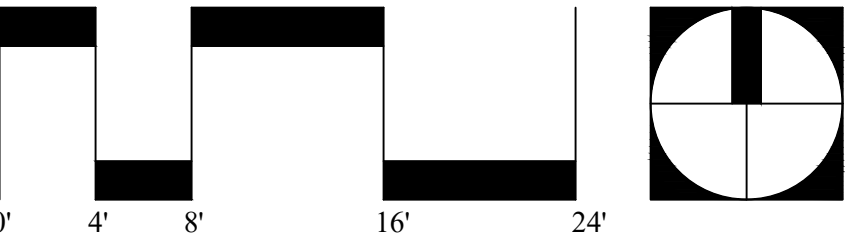


- NOTES:
1. SOD AND IRRIGATE TO EDGE OF ROAD.
 2. TREE REMOVAL PERMIT IS REQUIRED BY CITY PRIOR TO REMOVAL OF ANY TREES ON SITE.
 3. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROPRIATE SHRUB MATERIAL.



TREE DISPOSITION PLAN

Scale: 1/8" = 1'-00"



ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS ARE THE PROPERTY OF MIGUEL DE DIEGO ARCHITECT P.A. AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED, ALTERED IN WHOLE OR IN PART, IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE USED ON ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

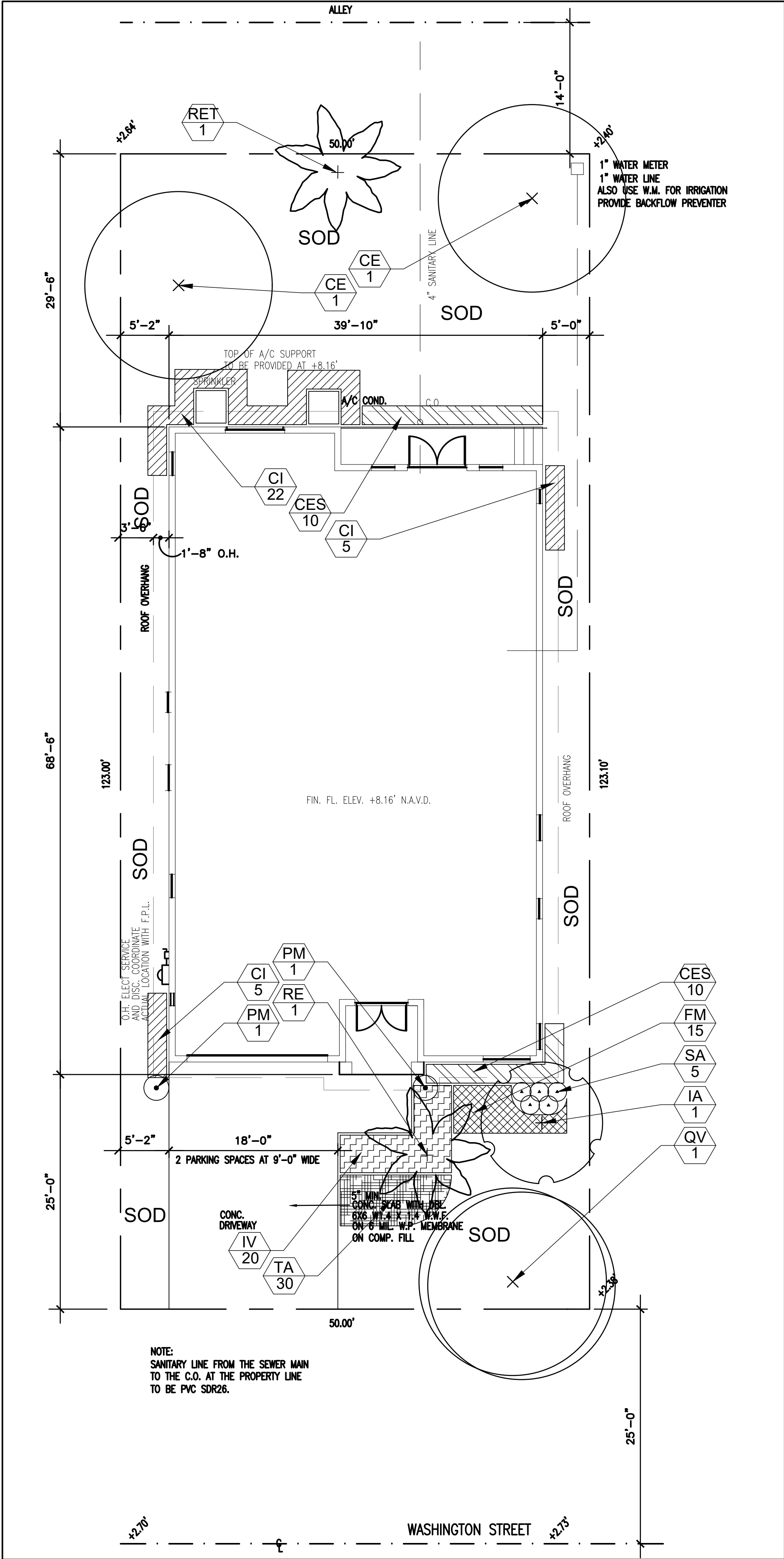
NEW RESIDENCE
FOR
913 WASHINGTON STREET
HOLLYWOOD, FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR 13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 EMAIL: DEDIEGOARCH@AOL.COM

CHECKED
DRAWN
DATE 9-30-2019
COMM. NO. 18-207

James Brian Euell, PLA
Landscape Architecture
(954) 205-1721
Lic. No. #LA666897

TD-1



Plant List				
Trees/ Palms				
Sym	Qty	Botanical / Common Name	Size	Native
CE	2	Conocarpus erectus/ Green Buttonwood	12' Ht. x 5' Spr., 2.5" DBH	Yes
IA	1	Ilex attenuata / East Palatka Holly	12' Ht x 5' Spr, 2" DBH	Yes
RE	1	Roystonea elata / Florida Royal Palm	8' GW Min.	Yes
QV	1	Quercus virginiana / Live Oak	14' Ht. x 6' Spr., 3" DBH	Yes
RET	1	Roystonea elata / Florida Royal Palm	Existing to be Relocated	Yes
Shrubs/Groundcovers				
CES	20	Conocarpus erectus series/ Silver Buttonwood	24" x 24", 24" O.C.	Yes
CI	32	Chrysobalanus icaco / Cocoplum	24" x 24", 24" O.C.	Yes
FM	15	Ficus microcarpa 'Green Island'/ Green Island Ficus	14" x 14", 24" O.C.	No
IV	20	Ilex vomitoria 'Stokes Dwarf' / Dwarf Ilex	10" x 10", 18" O.C.	Yes
PM	2	Podocarpus macrophyllus / Podocarpus	36" x 30"	No
SA	5	Schefflera arboricola 'Trinette'/ Var. Arboricola	24" x 24", 24" O.C.	No
TA	30	Trachelospermum asiaticum/ Asiatic Jasmine	6" x 12", 18" O.C.	No
Sod		St. Augustine		
Mulch		Shredded Melaleuca or Eucalyptus		

LANDSCAPE CALCULATIONS		
ZONING: RS-6		
GROSS SITE AREA		
6,150 SQUARE FEET		
SECTION 2.1	REQUIRED	PROVIDED
SINGRE FAMILY DISTRICTS		
PERIMETER LANDSCAPE		
(1) 2" CALIPER X 12' H TREE PER 50 LINEAR FEET OR PORTION THEREOF STREET FRONTAGE OF PROPERTY WHEREIN IMPROVEMENTS ARE PROPOSED	1	1
(1) TREE PER 1,250 SQ. FT. (INCLUDING ANY FRACTION) OF FRONT YARD AREA. 781 SQ. FT. / 1,250=1	1	1
1 TREE AND 10 SHRUBS IN REAR HALF OF PLOT	1	2
TOTAL TREES		
TOTAL TREES REQUIRED	3 TREES	4 TREES
MIN. 60% NATIVE (4 TOTAL TREES REQUIRED, 4 NATIVE TREES PROV.)	60%	80%
PERCENT OF PALMS-NO MORE THAN 50%	>50%	20%
PERCENT OF NATIVE SHRUBS 50%	50%	50%

NOTE: ALL PALMS SHALL BE COUNTED AS 3:1 EXCEPT ROYAL PALMS AND DATE PALMS

General Notes:

- All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
- All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
- Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
- Grade B+, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'- 4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
- All sodded areas to have a minimum of 2" of planting soil as described in note #8.
- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
- All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
- All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
- All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
- In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
- All planting shall be installed with fertilizer at time of planting.
- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
- All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswith device.
- All landscape and irrigation shall be installed in compliance with all local codes. The plan shall take precedence over the plant list, should there be any discrepancy between the two.

NOTES:

- SOD AND IRRIGATE TO EDGE OF ROAD.
- TREE REMOVAL PERMIT IS REQUIRED BY CITY PRIOR TO REMOVAL OF ANY TREES ON SITE.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROPRIATE SHRUB MATERIAL.



LANDSCAPE PLAN

Scale: 1/8" = 1'-00"



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NEW RESIDENCE
FOR

913 WASHINGTON STREET
HOLLYWOOD, FLORIDA

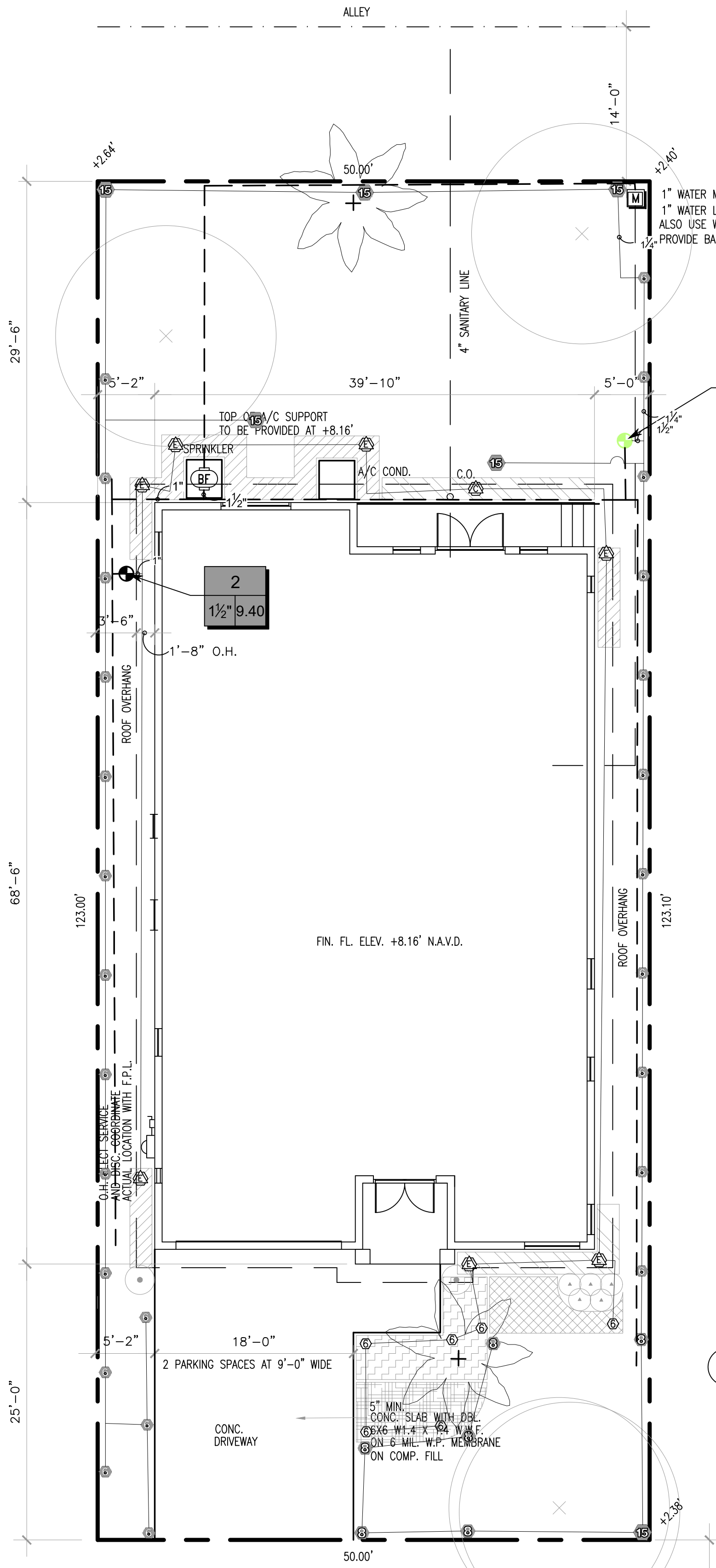
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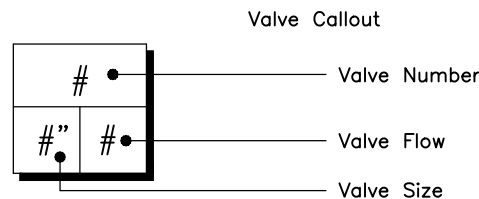
REVISION

DATE

NO.



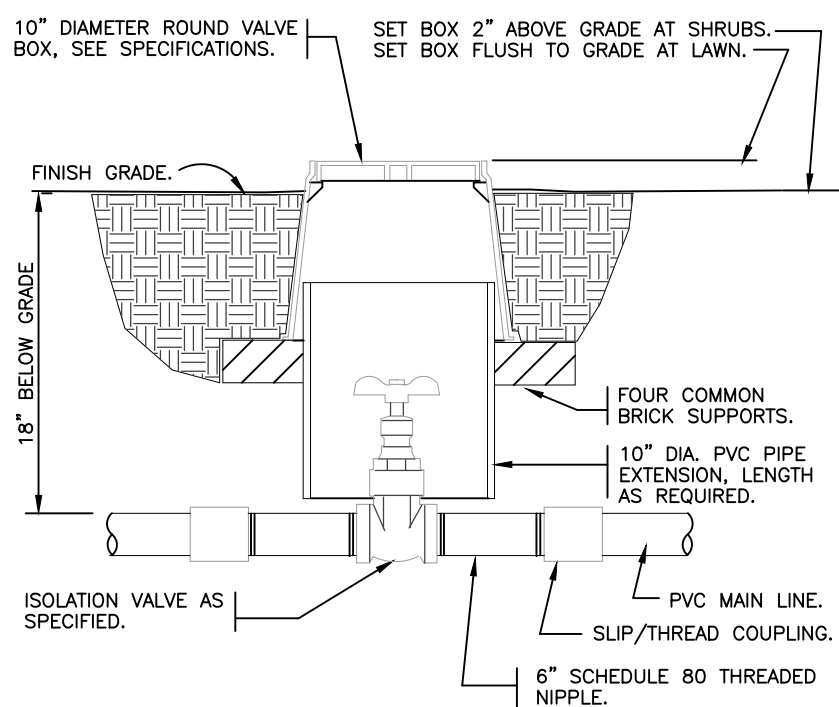
IRRIGATION SCHEDULE IRRIGATION			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1806-SAM ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE.	26	30
	RAIN BIRD 1806-SAM ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE.	12	30
	RAIN BIRD 1806-SAM-PRS 15 STRIP SERIES SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET ON FIXED RISER. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	8	30
	RAIN BIRD 1806-SAM-PRS ADJ SHRUB SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET ON FIXED RISER. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	6	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	2	
	FEBCO 765 1-1/2" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1	
	WATER METER 1"	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 ONLY LATERAL LINES SIZED 1-1/4" AND LARGER ARE LABELED, WITH ALL OTHER LINES BEING 1" IN SIZE.	634.7 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	270.9 L.F.	



IRRIGATION PLAN

Scale: 1/8" = 1'-00"

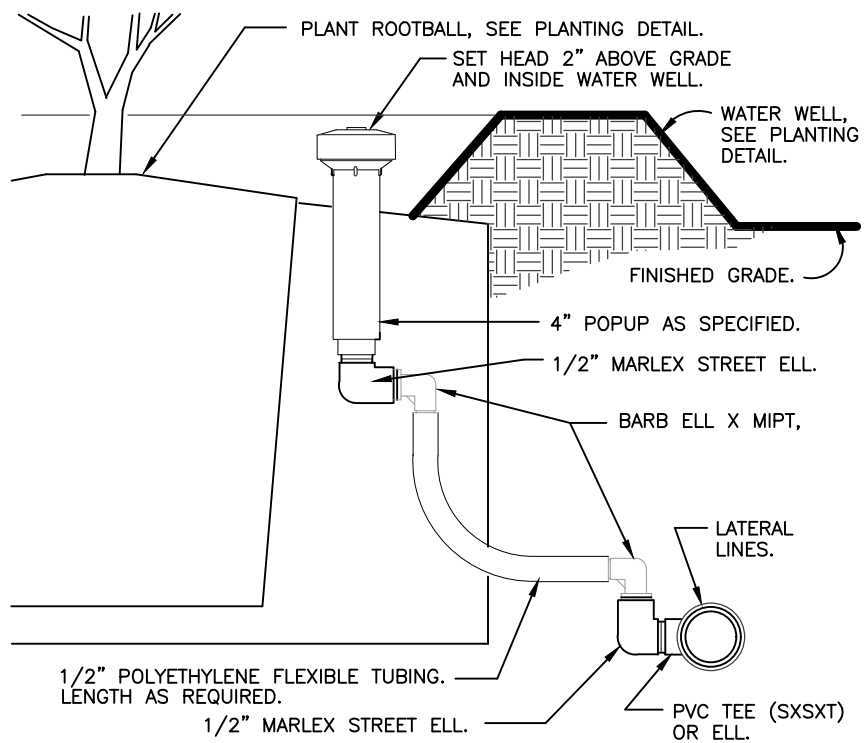
North



7 BRASS ISOLATION VALVE

1 1/2" = 1'-0"

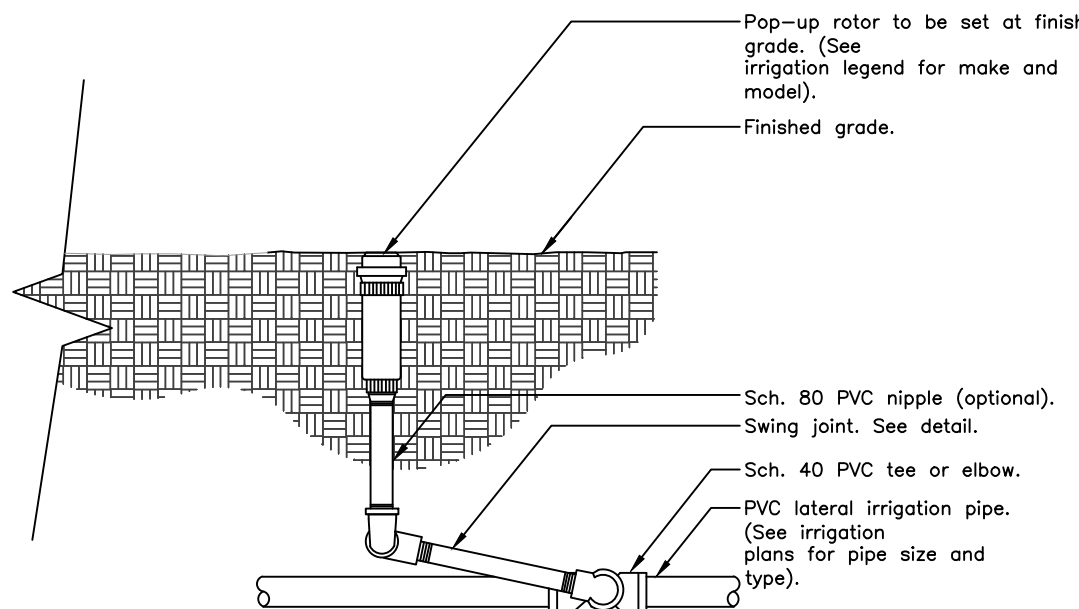
32 8406.33-01



4 POPUP BUBBLER AT PLANT PIT

3" = 1'-0"

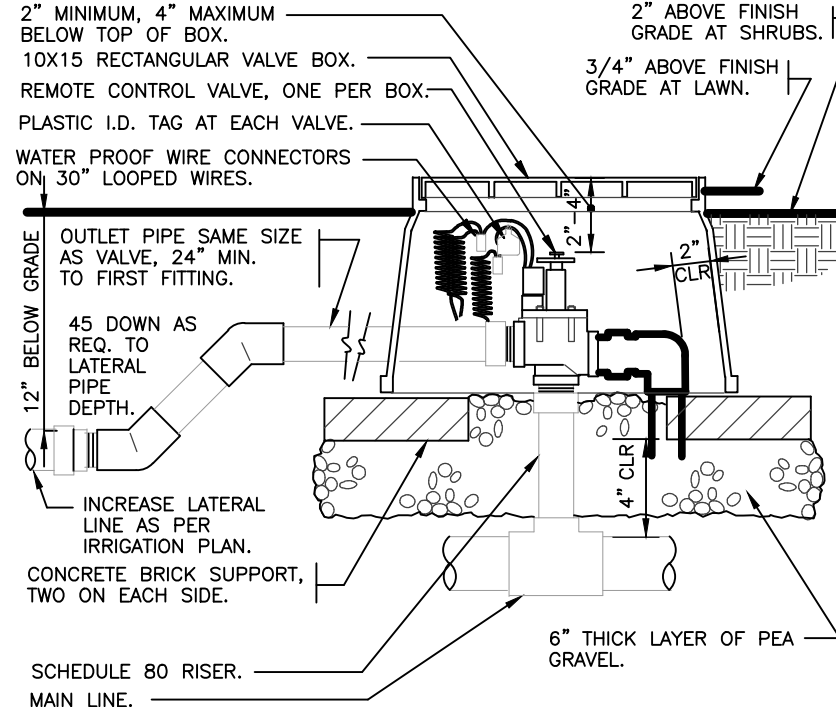
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5 ROTOR SPRAYHEAD

1 1/2" = 1'-0"

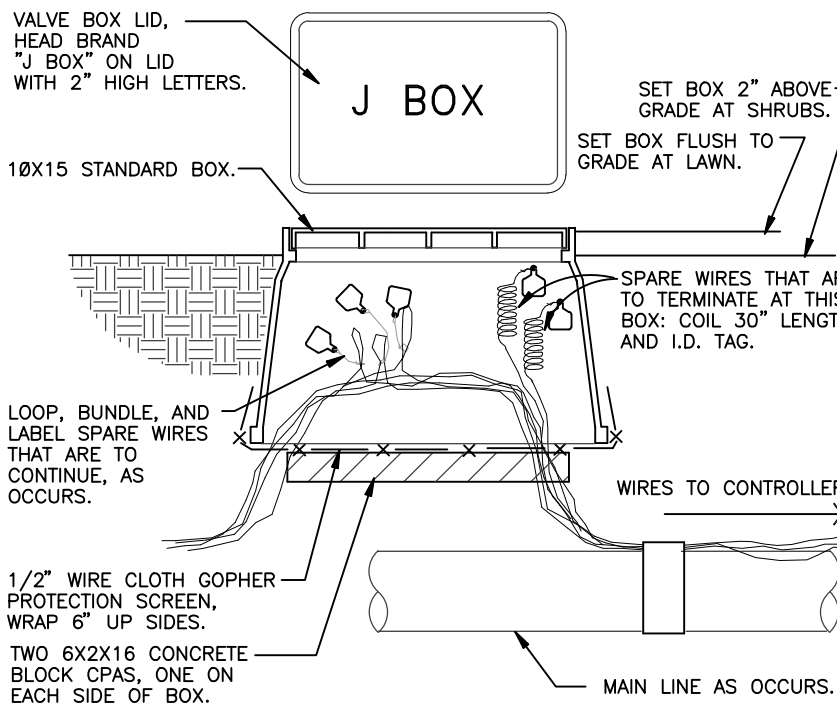
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6 ELECTRIC REMOTE CONTROL VALVE

1 1/2" = 1'-0"

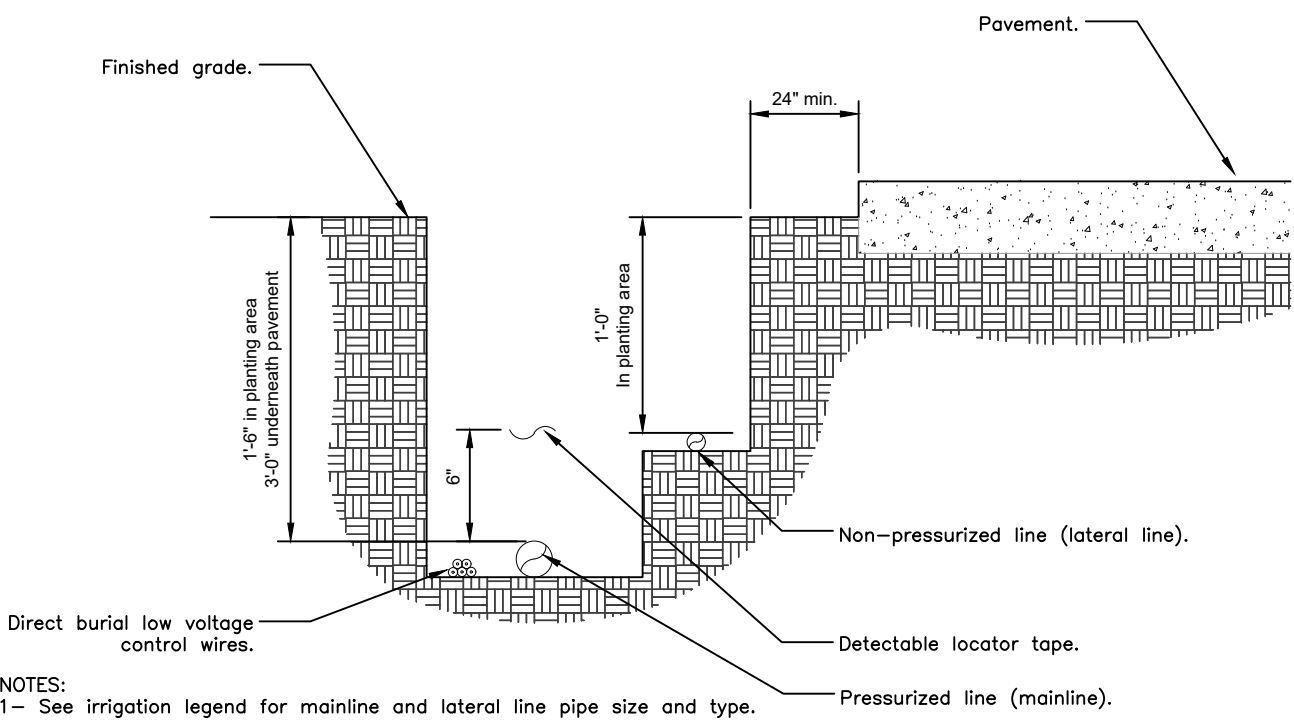
32 8406.13-01



10 WIRE BUNDLE JUNCTION BOX

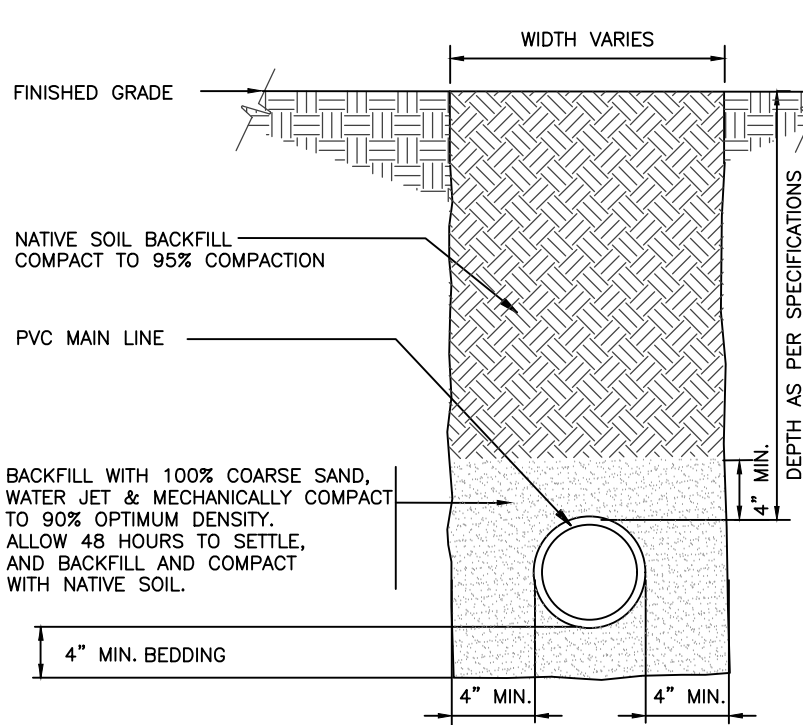
1 1/2" = 1'-0"

32 8409.79-01



11 IRRIGATION TRENCHING

1 1/2" = 1'-0"



12 MAINLINE WITH SAND BEDDING

1 1/2" = 1'-0"

32 8409.79-01

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DATE 9-30-2019
COMM. NO. 18-207

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IR-1

WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire, suitable for direct burial and continuous operation at rated voltages.

Tape and bundle control wire every 10' and run alongside the mainline. At all turns in direction, make a 2" coil of wire. At all valve boxes coil wire around a ¾" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3MDBY/R connectors.

Number all wires, using an electrical book of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.

Wire sized, numbered and colored as follows:

- #14 white for common
- #14 spare black common
- #14 individual color coded hot wire
- #14 spare yellow hot wire

Spare wires

Leaving each controller, run four spare wires in both directions (eight spare wires total). Install as 1 common spare (2 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must all be color coded and numbered as required in the plans.

Controller and pump station Control Panel grounding - Contractor to utilize 4"x8"x½" copper grounding plates, ½"x10" copper clad grounding rods, 'One Strike' CAD wells at all connection points, #6 insulated copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractors letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded an tested. Each component must have its own separate ground grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.

Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail sheet.

Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.

Shrub heads shall be installed on ¾" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other hardscaped areas. Shrub heads shall be installed to a standard height of 2" above maintained height of plants and shall be installed a minimum of 6" within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse water; in this case the risers shall be purple PVC and shall not be painted.

Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.

VALVES

Sequence all valves so that the farthest valve from the POC operates first and the closest to the POC operates last. The closest valve to the POC should be the last valve in the programmed sequence.

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using an electric branding iron, brand the valve ID letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.

EQUIPMENT

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple joints unless otherwise detailed.

All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.

Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.

INSTALLATION

Solvent Wld Pipe: Cut all pipe square and deburr. Clean pipe an fittings of foreign material; then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement; first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then urn the pipe a ¼ turn and hold for 10 seconds. make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded. Pipes must curve a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hous prior to filling with water.

BACK FILL

The back fill 6" below, 6" above, and around all piping shall be clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.

Main line pipe depth measure to the top of pipe shall be:

- 24" minimum for ¾" - 2½" PVC with a 30" minimum at vehicular crossings;
- 30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings.

Lateral line depths measure to top of pipe shall be:

- 18" minimum for ¾" - 3" PVC with a 30" minimum at vehicular crossings;
- 24" minimum for 4" PVC and above with a 30" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2" on each side of every joint (bell fittings, 90's, tees, 45's, etc). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.

FLUSHING

Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Use screens in heads and adjust heads for proper coverage avoiding excess water on walks, walls and paving.

TESTING

Schedule testing with Owner's Representative a minimum of three (3) days in advance of testing.

Mainline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. Hose bibs and gate valves shall not be tested against

during a pressure test unless authorized by written permission from the owner. fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe.

If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.

Lateral lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.

Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.

Upon completion of the operational test, run each zone until water begins to puddle or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.

SUBMITTALS

Pre-Construction: Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of Notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet. Index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicated which items are being supplied on catalog cut sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review. In lieu of hardcopies, an electronic package in PDF format can be submitted.

After project completion:

As a condition of final acceptance, the irrigation contractor shall provide the owner with:

- Irrigation As-builts - shall be provided accurately locating all mainlines, sleeves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Sleeves will be located at end points and every 20' of length. All underground items shall include depth in inch format.
- Controller charts - Upon completion of "as-built" prepare controller charts; one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside the controller door. The reduction shall be hermetically sealed inside two 2ml pieces of clear plastic.
- Grounding Certification - Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indication location tested (using IR plan symbols), date, time, test method and testing results.

INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:

- Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.
- Mainline installation inspection(s) - All mainline must be inspected for proper pipe, fittings, depth of coverage, backfill and installation method.
- Mainline pressure test - All mainline shall be pressure tested according to this design's requirements.
- Flow meter calibration - All flow meters must be calibrated. Provide certified calibration report for all flow meters.
- Coverage and operational test
- Final inspection
- Punch list inspection

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.

- All above inspections are completed, documented, approved by owner.
- Completion and acceptance of 'as-built' drawings.
- Acceptance of required controller charts and placement inside controllers.
- All other submittals have been made to the satisfaction of the owner.

GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

1. Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:

A. Turn on each zone from the controller to verify automatic operation.

B. Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.

C. Check remote control valve to ensure proper setting, if present.

D. Check setting on pressure regulator it verify proper setting, if present.

E.Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller.

F. Check for leaks - mainline, lateral lines, valves, heads, etc.

- G. Check all heads as follows:
- Proper set height (top of sprinkler is 1" below mow height)
 - Verify head pop-up height - 6" in turf, 12" in groundcover, and riser in shrub beds
 - Check wiper seal for leaks - if leaking, clean head and re-inspect.
 - If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
 - All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
 - Check for proper alignment - perfectly vertical; coverage area is correct;p minimize over spray onto hardscapes
 - Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage.
 - Verify pop-ups retract after operation. If not, repair/replace as needed.

H. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports.

I. check rain shut-off device monthly and clean/repair/replace as needed.

J. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.

K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.

L. Inspect all filters monthly and clean/repair/replace as needed.

M. Check pump stations fpr proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual.

N. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.

O. Winterize, if applicable, as weather in your area dictates. follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.

P. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.

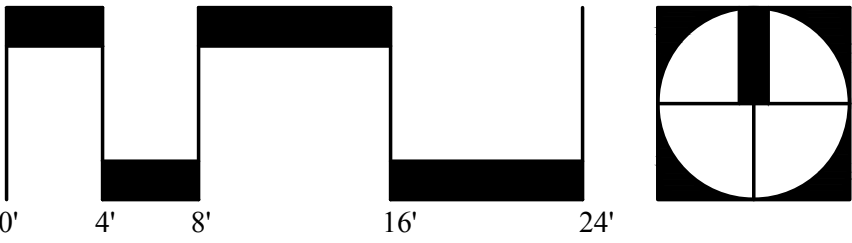
SOIL MOISTURE SENSOR (When applicable)

- Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit
- Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.
- Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (like a rain switch) per manufacturer directions.



IRRIGATION PLAN

Scale: 1/8" =1'-00"



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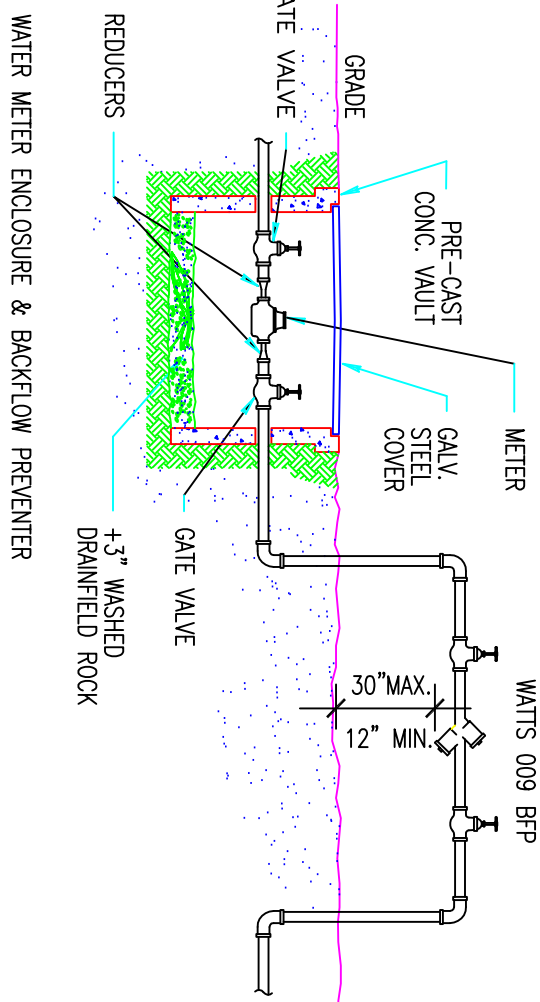
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CHECKED	
DRAWN	
DATE	9-30-2019
COMM. NO.	18-207

IR-2



BACKFLOW PREVENTER DETAIL

N.T.S.

GREEN BUILDING REQUIREMENTS (151.153)

1. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
2. PROVIDE PROGRAMMABLE THERMOSTATS.
3. PROVIDE DUAL FLUSH TOILETS. VERIFY TO USE LESS THAN ONE GALLON TO FLUSH LIQUIDS AND 1.6 GALLONS OR LESS FOR SOLIDS.
4. PROVIDE MEN OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 4\"/>

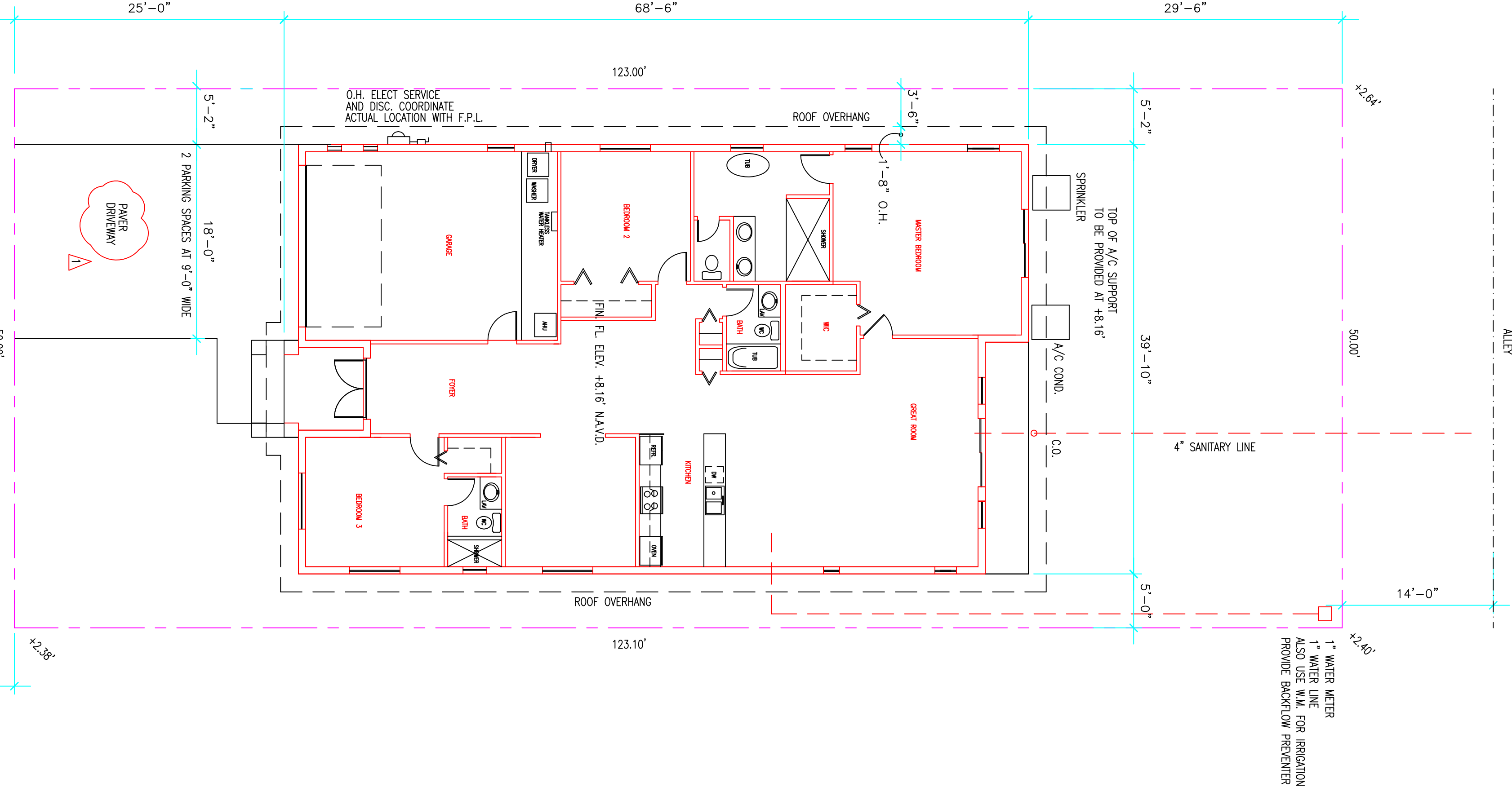
NOTE:
PROVIDE AN EMPTY 3/4\"/>

NOTE:
SANITARY LINE FROM THE SEWER MAIN TO THE C.O. AT THE PROPERTY LINE TO BE PVC SD26.

SITE CALCULATIONS

LOT	6,155.00 S.F.	
BUILDING	2,564.00 S.F.	41.65 %
REAR TERRACE	86.00 S.F.	1.39 %
FRONT ENTRY	56.00 S.F.	0.90 %
DRIVEWAY	450.00 S.F.	7.31 %
WALKWAY	50.00 S.F.	0.81 %
LANDSCAPE	2,949.00 S.F.	47.91 %
A/C AREA	2,128.00 S.F.	
GARAGE	436.00 S.F.	

FRONT YARD CALC
25' X 57' = 1,250.00 S.F.
DRIVEWAY AND WALK = 500 S.F. = 40 %
TERRACE AREA = 750 S.F. = 60 %



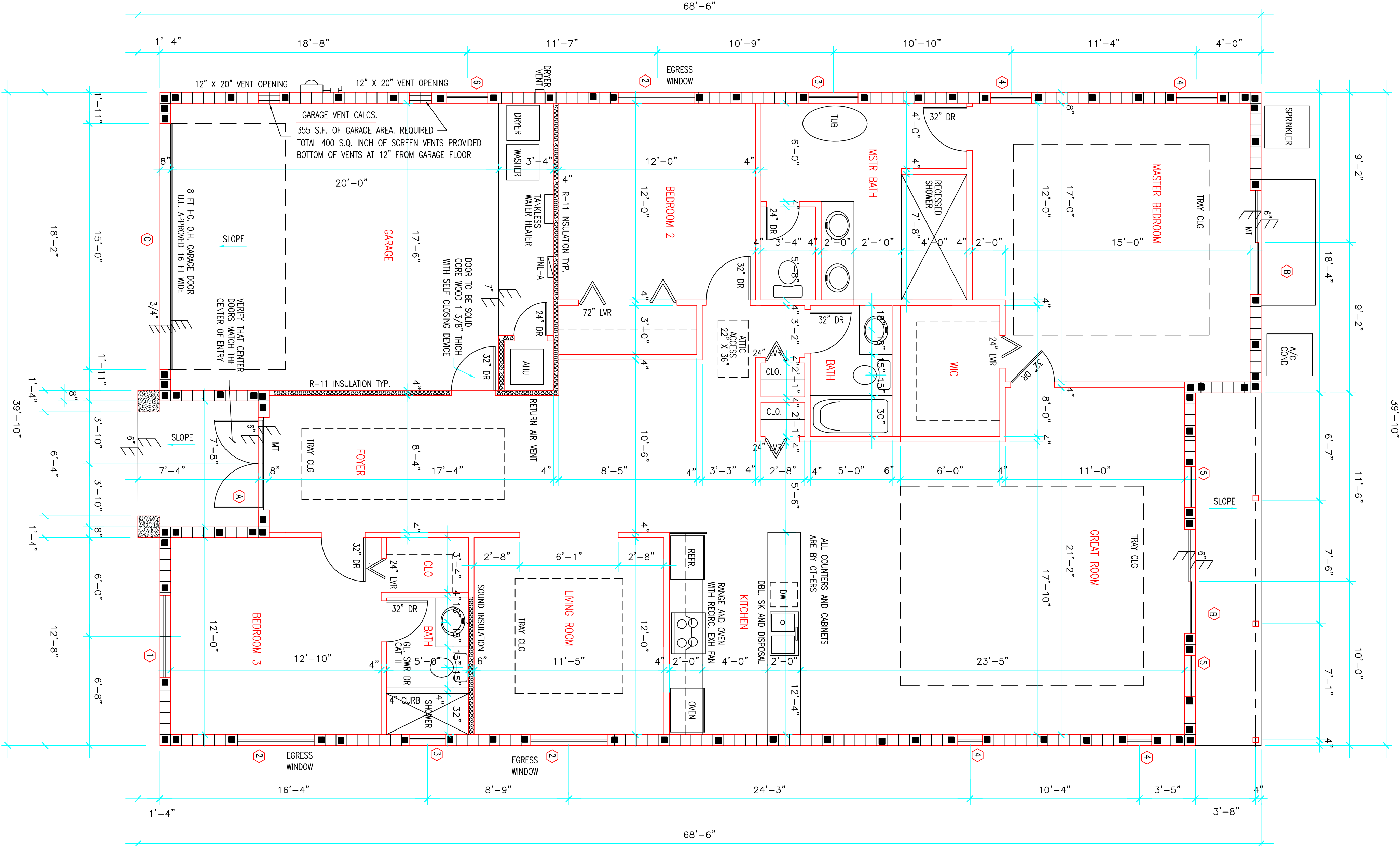
SITE PLAN

SCALE: 1/8\"/>

FLOOD ZONE AE 7

LEGAL DESCRIPTION:

LOT 12, BLOCK 57, OF HOLLYWOOD LAKES SECTION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA.



FLOOR PLAN

SCALE: 1/4\"/>

GROUP R-3

TYPE VA

F.B.C. (2017 SIXTH EDITION)

NO.	DATE	REVISION
1	10-14-2019	BLDG DEPT COMMENTS

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CHECKED	
DRAWN	
DATE	5-20-2019
COMPL NO.	18-207

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

NO.	DATE	REVISION

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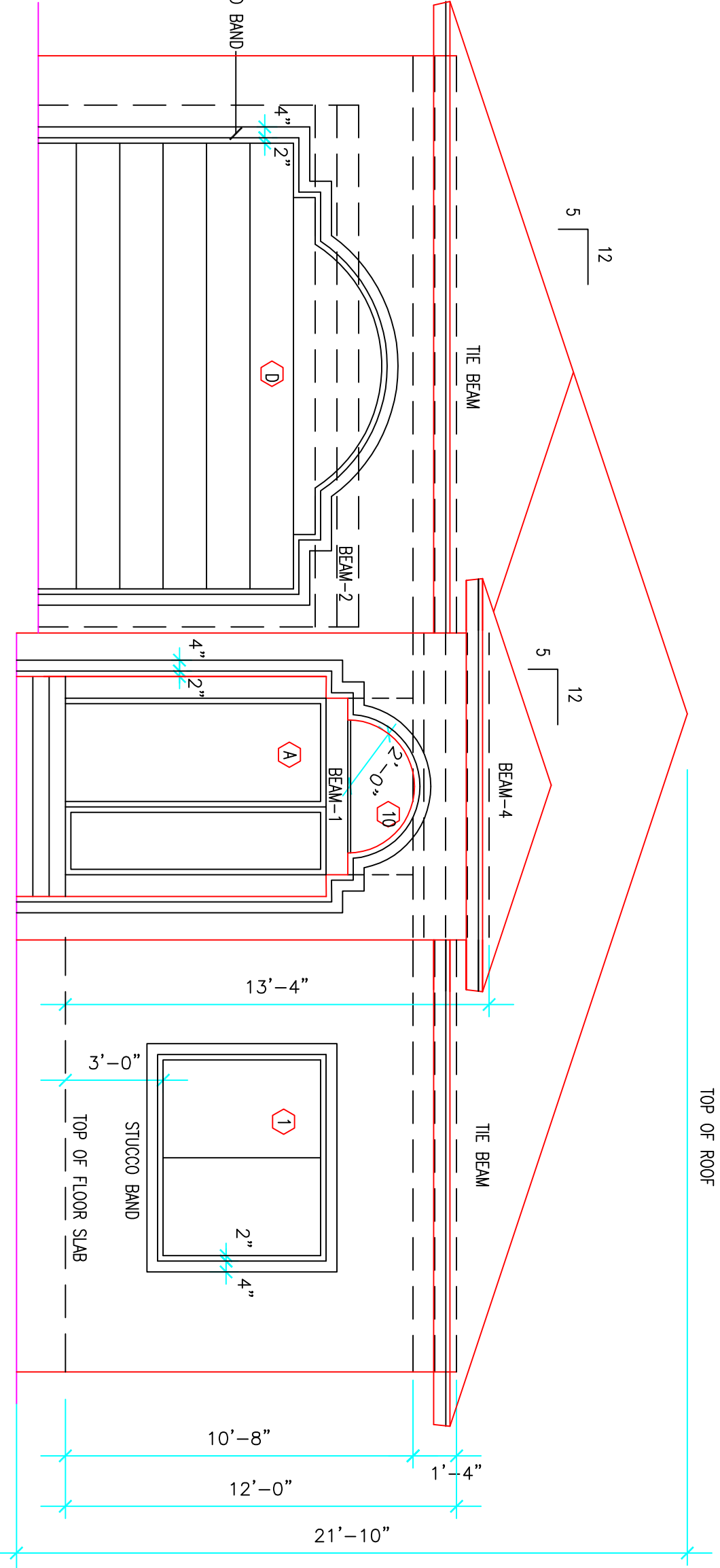
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DATE 5-20-2019

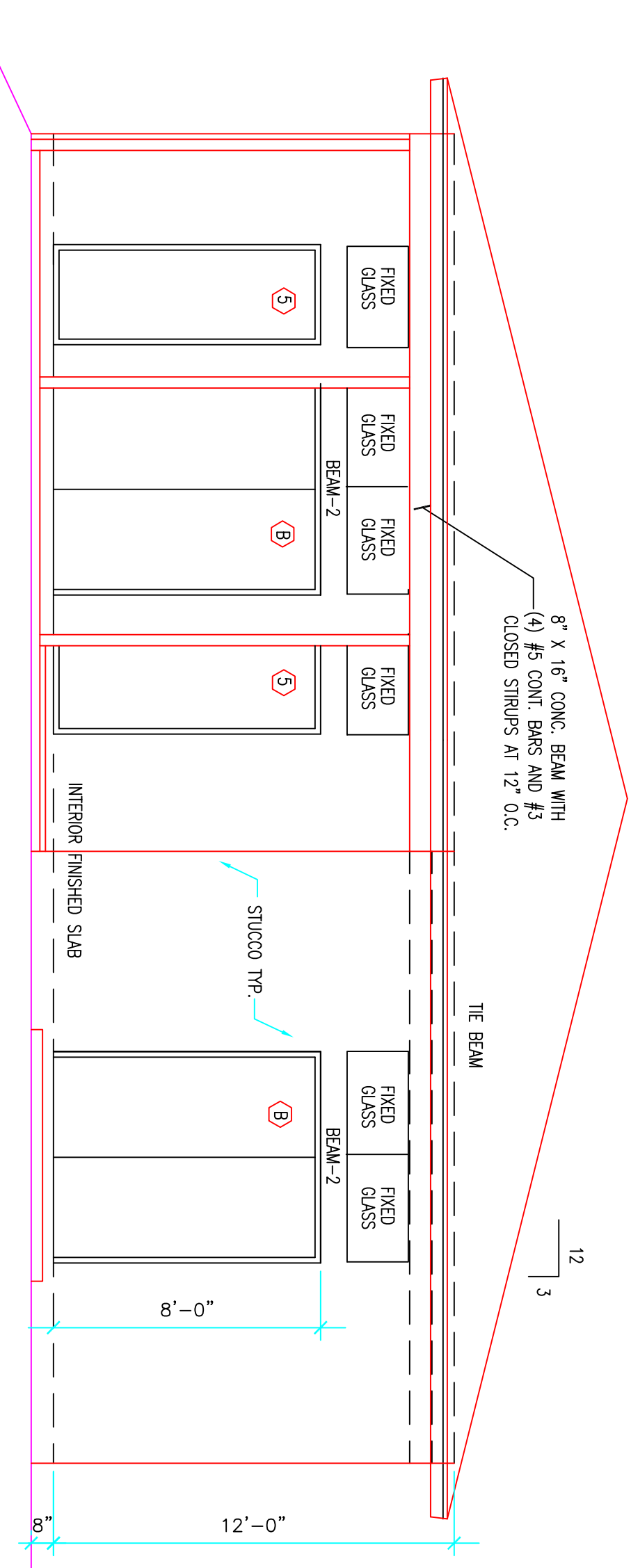
COORD. NO. 18-207

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

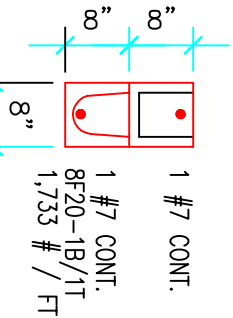


REAR ELEVATION

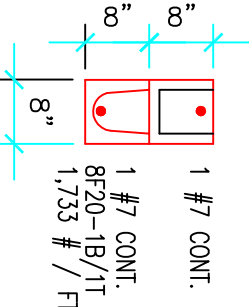
SCALE: 1/4"=1'-0"



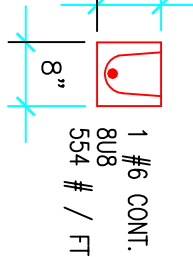
BEAM-1



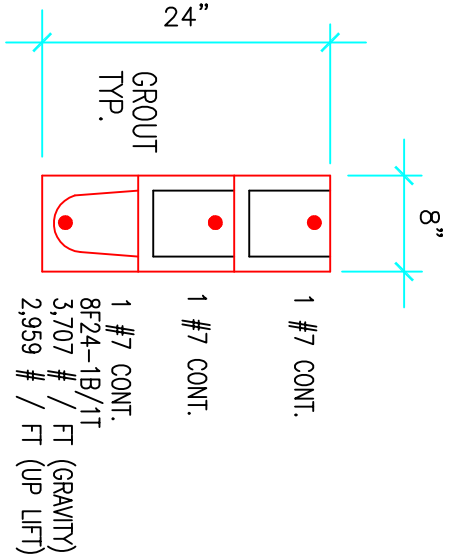
TIE BEAM



BEAM-2

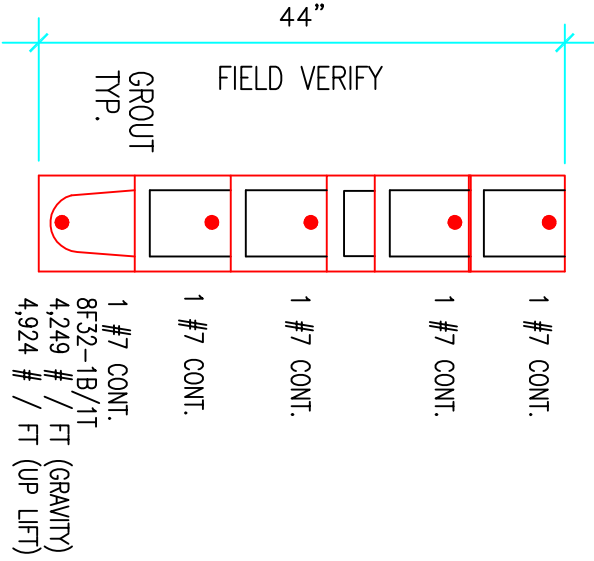


ALL UNITS TO HAVE A MIN. OF 8" BEARING AT EACH END



BEAM-3

ALL UNITS TO HAVE A MIN. OF 8" BEARING AT EACH END



BEAM-4

ALL UNITS TO HAVE A MIN. OF 8" BEARING AT EACH END

EXTERIOR DOOR SCHEDULE

CONTRACTOR TO VERIFY ALL MASONRY OPENINGS WITH THE MANUFACTURER
COORDINATE STYLE WITH THE OWNER

MARK	SIZE WIDTH X HEIGHT	MASONRY OPENING WIDTH X HEIGHT	PRESS. RATING REQ. FOR SPECIFIC OPENING (+) PSF (-) PSF	SHUTTERS REQ. YES OR NO	EGRESS REQ. YES OR NO	ZONE
A	ENTRY DOORS 64" X 96"	68" X 98"	+34.18	-37.39	IMPACT	4
B	SLIDING GLASS DOORS 72" X 96"	76" X 98"	+33.89	-37.10	IMPACT	4
C	GARAGE OR DOOR 15'-0" X 8'-0"	15'-0" X 8'-0"	+31.69	-34.69	IMPACT	4

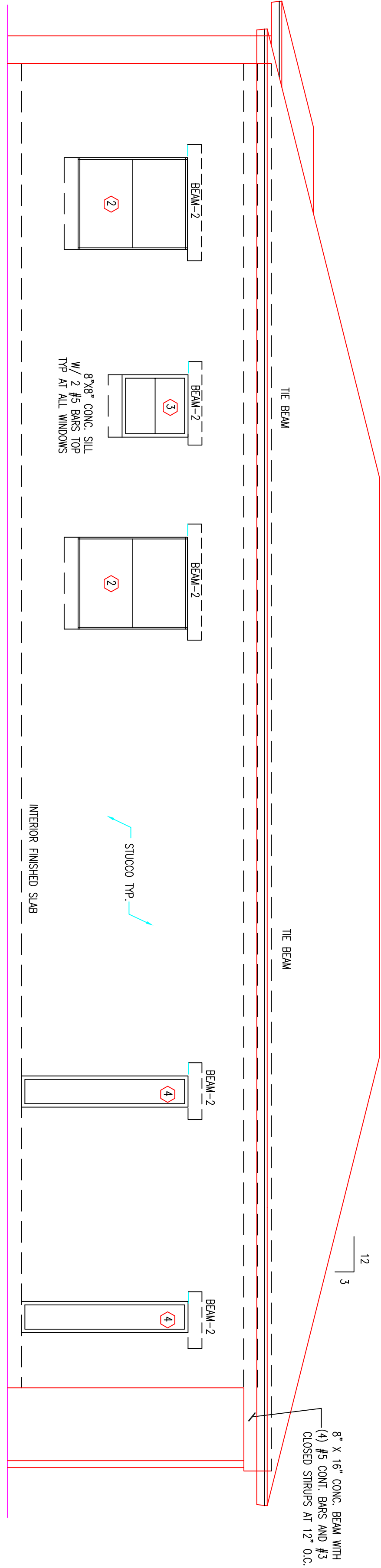
WINDOW SCHEDULE

CONTRACTOR TO VERIFY ALL MASONRY OPENINGS WITH THE MANUFACTURER
COORDINATE STYLE WITH THE OWNER

PROVIDE U-Factor 1.02
PROVIDE SHGC 0.40

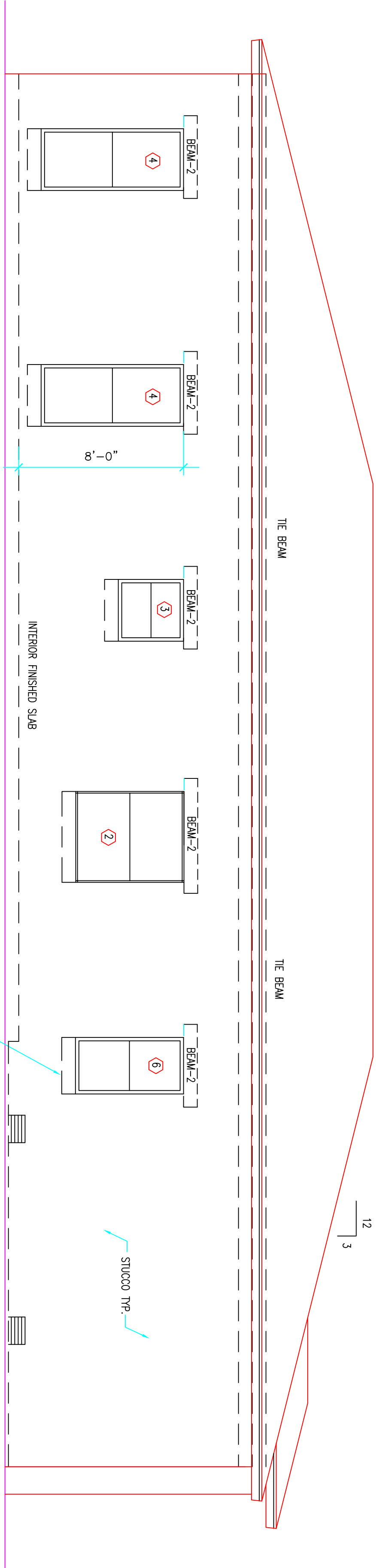
MARK	SIZE WIDTH X HEIGHT	MASONRY OPENING WIDTH X HEIGHT	PRESS. RATING REQ. FOR SPECIFIC OPENING (+) PSF (-) PSF	SHUTTERS REQ. YES OR NO	EGRESS REQ. YES OR NO	ZONE
1	FIXED WINDOW 60" X 60" FIXED	61" X 64"	IMPACT	NO	+34.75	-37.95
2	35 SH WINDOW 53 1/8" X 63"	54 1/8" X 64"	IMPACT	YES	+36.65	-39.85
3	SH WINDOW 26 1/2" X 38 3/8"	27 1/2" X 39 3/8"	IMPACT	NO	+37.80	-41.00
4	FIXED WINDOW 18" X 96" FIXED	19" X 97" FIXED	IMPACT	NO	+35.84	-39.04
5	FIXED WINDOW 30" X 96" FIXED	31" X 97" FIXED	IMPACT	NO	+35.84	-39.04
6	FIXED WINDOW 37" X 63" FIXED	38" X 64" FIXED	IMPACT	NO	+36.61	-39.82
7	FIXED WINDOW 5'-4" X 2'-6" FIXED	5'-4" X 2'-6"	IMPACT	NO	+37.09	-40.29

NOTE: WINDOW #1 IN BEDROOM-3 MUST COMPLY WITH THE EGRESS CODE



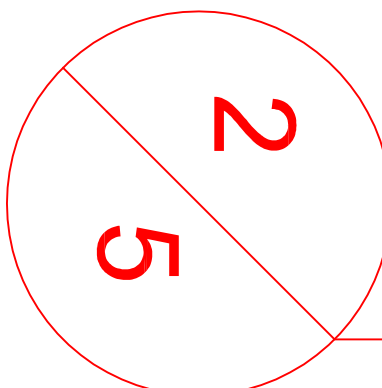
RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



MAIN
TRIM

EXTERIOR MAIN COLOR

"Greek Villa"

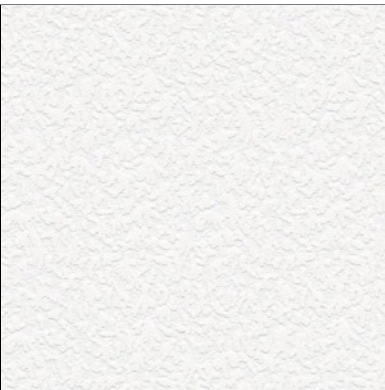
MODEL: SW 7551

ACCENTS & TRIM COLOR

"Natural Choice"

MODEL: SW 7011

SHERWIN-WILLIAMS



STUCCO MAIN: TEXTURED
ALL TRIMS: SMOOTH



ROOF TILE
BARCELONA 900 SERIES
COLOR: Chestnut Burnt



WINDOWS & DOORS
FRAME: BRONZE
GLASS TINT: BRONZE
MODEL - Windguard PGT

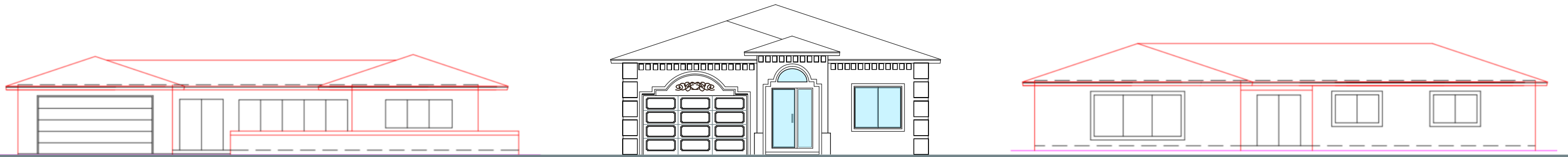


DRIVEWAY PAVERS
COLOR: CLASSIC
MODEL - OLD MIAMI



COLOR: Trinar® Bronze
GARAGE DOOR
Sculptured Raised Panel
600 SERIES INSULATED

PROPOSED EXTERNAL FINISHES



919 Washington St



913 Washington St



907 Washington St

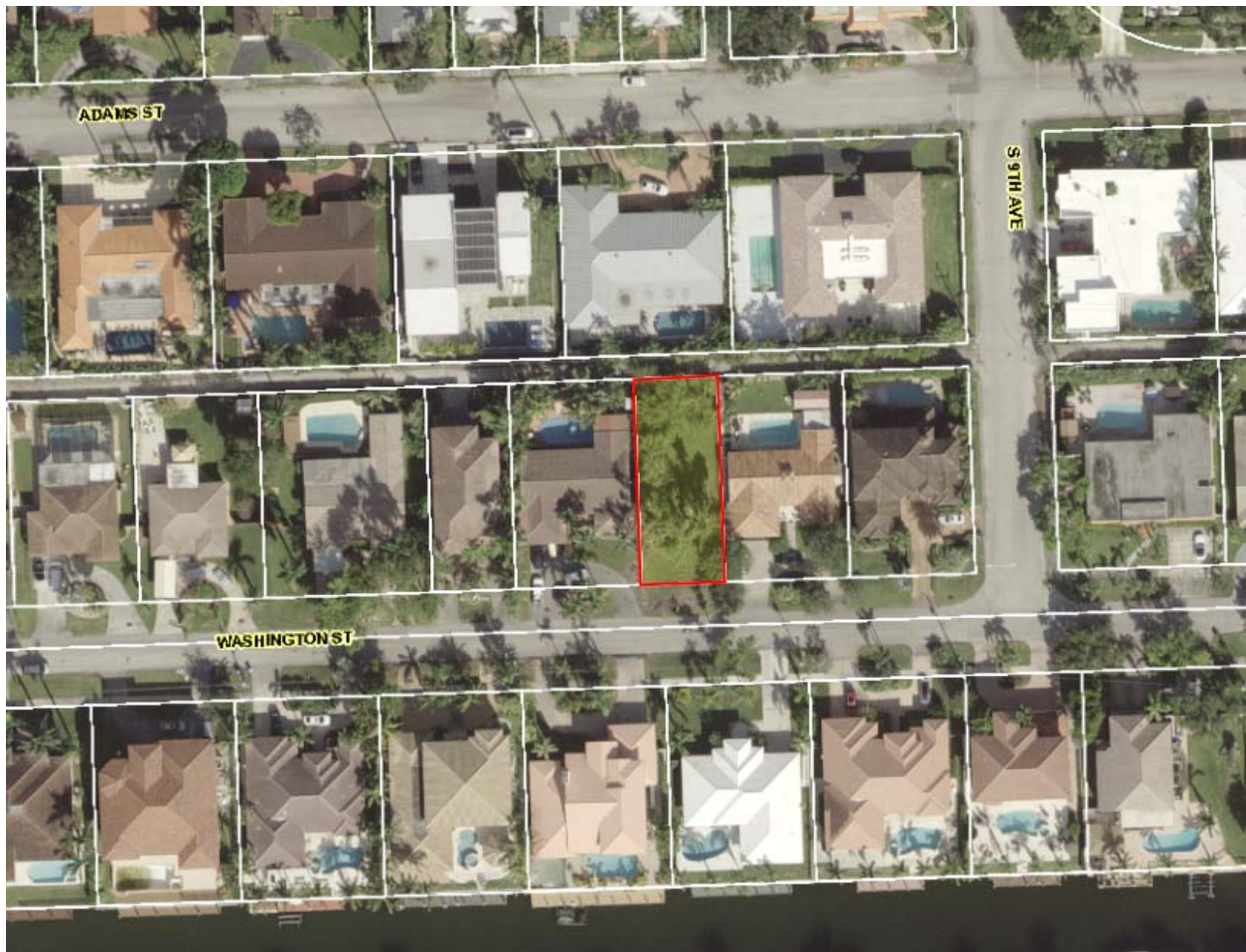
WASHINGTON STREET PROFILE

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ATTACHMENT B

Aerial Photograph

AERIAL PHOTOGRAPH



913 Washington Street