

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 12.12.19

Location Address: 1201 N. SOUTHLAKE DRIVE
Lot(s): 10 & 12 Block(s): 27 Subdivision: HOLLYWOOD LAKES

Folio Number(s): 5142 14 01 46 40

Zoning Classification: RS-6 Land Use Classification: LRES

Existing Property Use: SINGLE FAMILY Sq Ft/Number of Units: 3650 EXIST/ONE

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 13-CV-93 13-CV-93a

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: REDUCTION OF FRONT SETBACK FROM REQUIRED 25' TO MATCH EXISTING 19'

Number of units/rooms: 1 Sq Ft: ADDITION 1278, 2280 MISC.

Value of Improvement: \$400,000 Estimated Date of Completion: 6/21

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: KENNETH GRUBER
Address of Property Owner: 1201 N. SOUTHLAKE DR. HOLLYWOOD FL 33019
Telephone: 973 650 0377 Fax: _____ Email Address: K.gruber@mac.com

Name of Consultant/Representative/Tenant (circle one): ALBERT POZZA, ARCHITECTS
Address: 1900 FERDINAND ST. CORAL GABLES Telephone: 786 200 4328
Fax: 305 266 4328 Email Address: ALPOZZA@COMCAST.NET

Date of Purchase: 4.19.19 Is there an option to purchase the Property? Yes () No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Kenneth Gruber*

Date: 1-10-2020

PRINT NAME: Kenneth Gruber

Date: 1.10.2020

Signature of Consultant/Representative: *Albert Pozo*

Date: 1.9.20

PRINT NAME: ALBERT POZO

Date: 1.9.20

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Building Permits to my property, which is hereby made by me or I am hereby authorizing Albert Pozo to be my legal representative before the Board/Committee (Board and/or Committee) relative to all matters concerning this application.

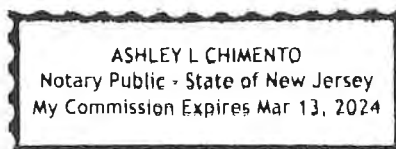
Sworn to and subscribed before me this 10th day of Jan 2020.

Kenneth Gruber
Signature of Current Owner

Notary Public

State of Florida New Jersey

My Commission Expires: 3/13/21 (Check One) ☐ Personally known to me; OR ☒ Produced Identification FL Drivers License



Kenneth Gruber
Print Name

6616501600080
EX: 1-8-28

A.R. POZA

ARCHITECT, INC.

Architecture
Interior Design
Construction Management

January 15, 2020

1201 N. Southlake Dr., Hollywood, Florida

Legal Description & Project Information

Legal Description

Lots 10 and 11, Block 27, of "HOLLYWOOD LAKES SECTION", being a subdivision of all of Section 14 and all that part of Section 13 lying West of the Florida Coast line Canal and Transportation Company's Canal, in Township 51 South, Range 42 East, according to the plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

The East 185 feet of the ally in Block 27 of "HOLLYWOOD LAKES SECTION", according to the plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida; and being that portion of such alley abutting Lot 11 of said Block 27, extending from the Westerly line of South 12th Avenue to a line parallel with South 12th Avenue and 185 feet Westerly from said Westerly line of South 12th Avenue.

Project Information

Project consists of enlargement of existing garage, addition of one bedroom, a covered entry, new roof over existing terrace, pool/pool deck, covered terrace, cabana bath and multi-purpose room. The cabana bath and multi-purpose room are both at the required floor elevation flood level. The covered terrace's north wall has a small outdoor kitchen which is shielded from direct views by a decorative metal screen. All appliances are out of sight when viewed from the public sidewalk or beyond, located flush with the countertop or below.

Design intent includes for the Owner to enjoy the beautiful views of the lake from this property. The unique shape/dimensions of the property and its placement, basically renders the property without an actual back yard. The design addresses this by using the front/side yard as a back/rear yard.

1 of 2

NCARB • FL AR 0009525
AA26003155

1900 Ferdinand Street
Coral Gables, FL 33134
786.200.4328

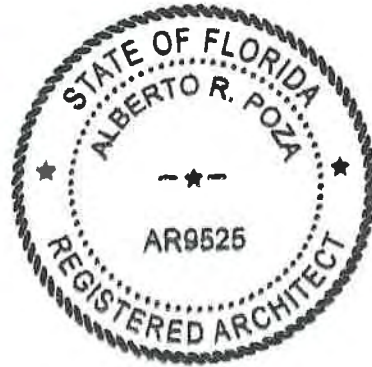
arpoza@comcast.net
www.arpozara.com

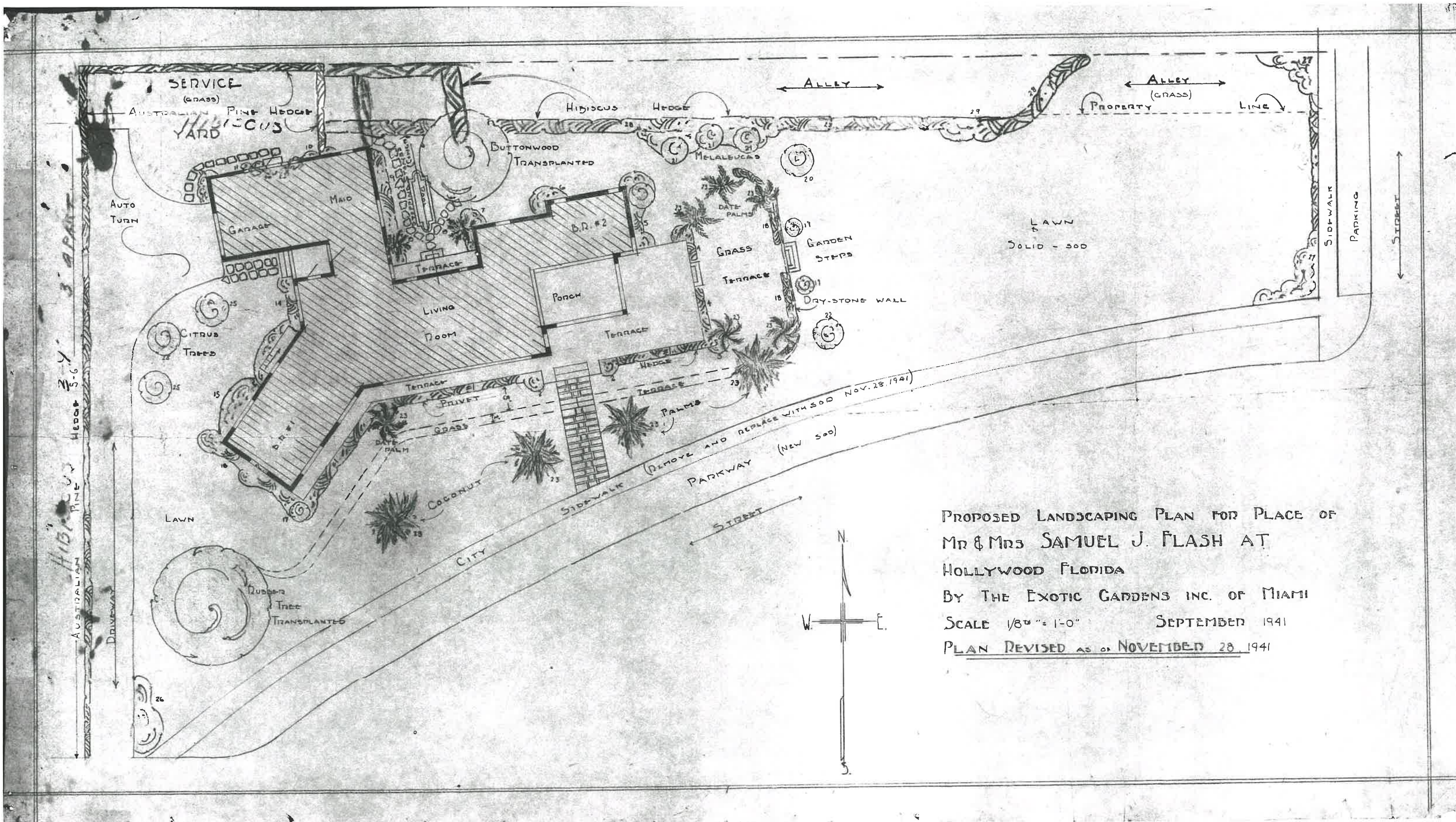
Currently, the residence has two bedrooms. Many of the modifications are being made to accommodate two new inhabitants, a homebound elderly father and a live-in nurse.

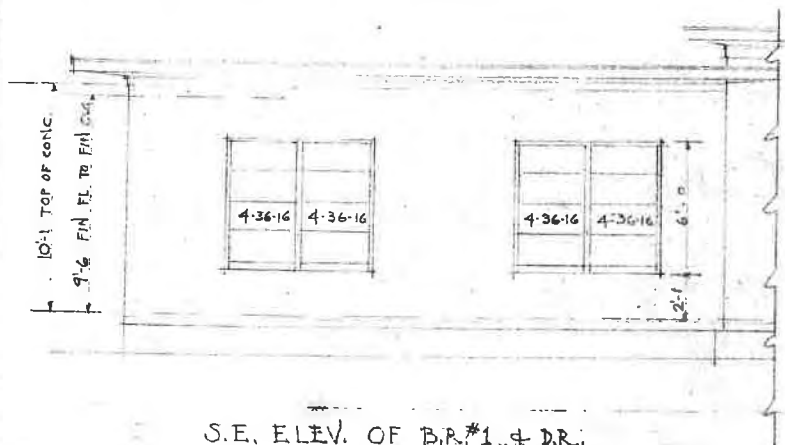
Both the City's Variance Criteria and Historical Preservation Board's Design Guidelines have been met.



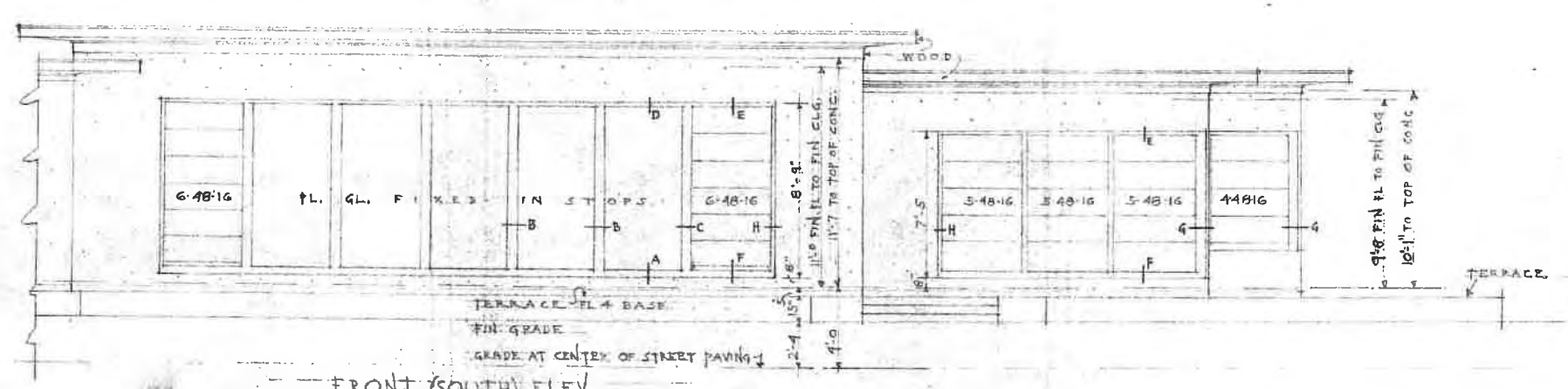
Albert R. Poza, R.A.



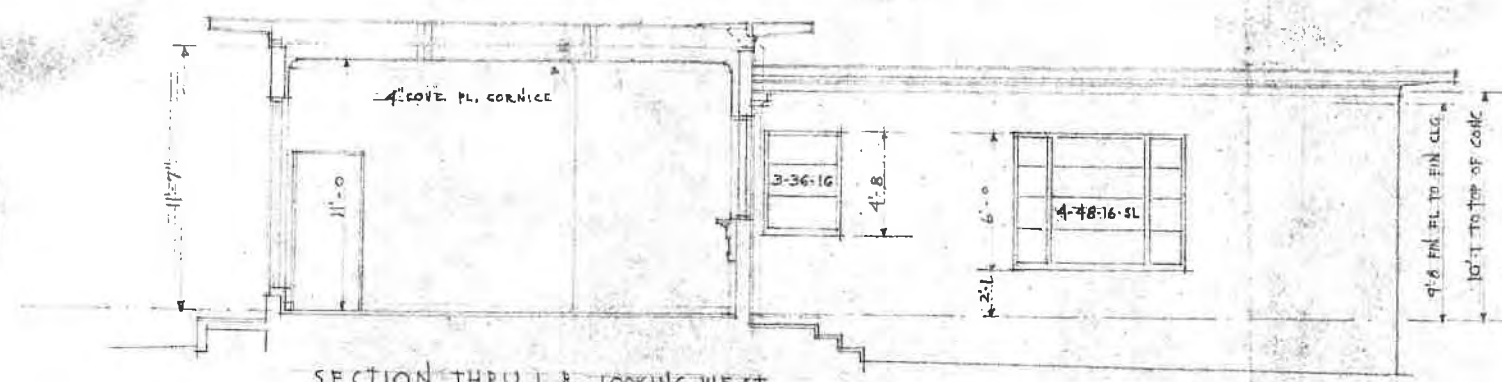




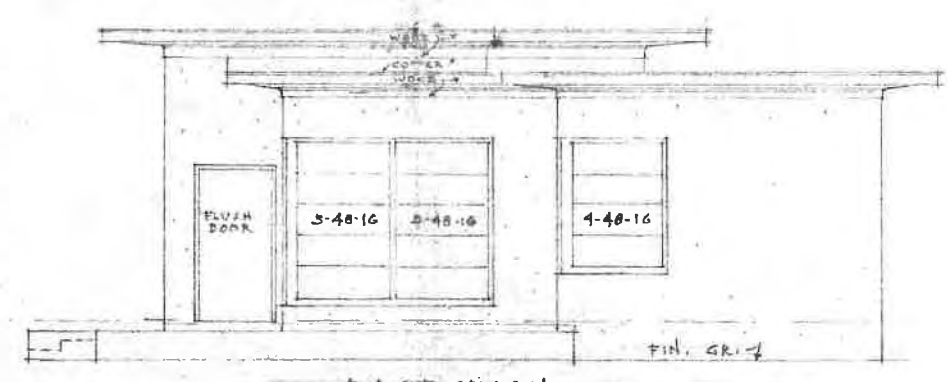
S.E. ELEV. OF B.R. #1 + DR.



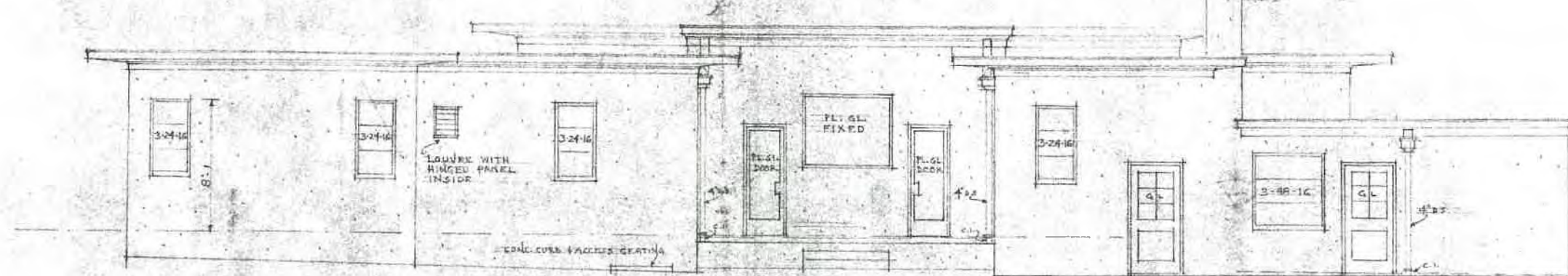
FRONT (SOUTH) ELEV.



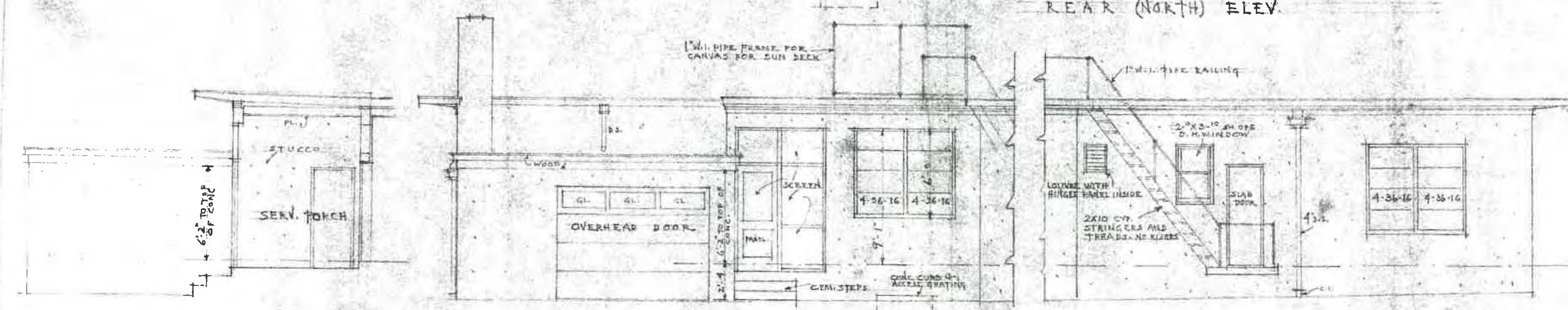
SECTION THRU L.R. LOOKING WEST



EAST ELEV.



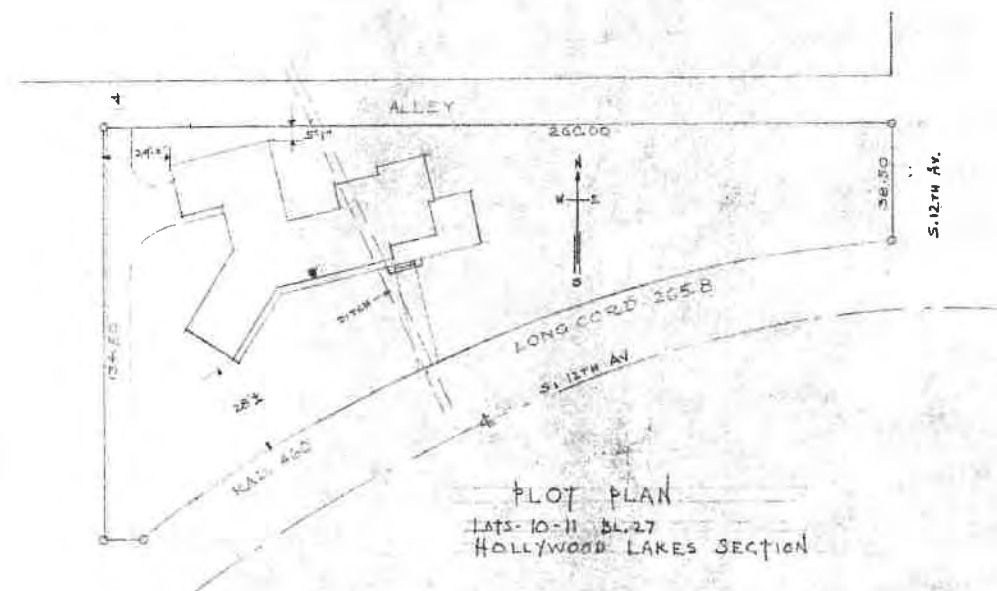
REAR (NORTH) ELEV.



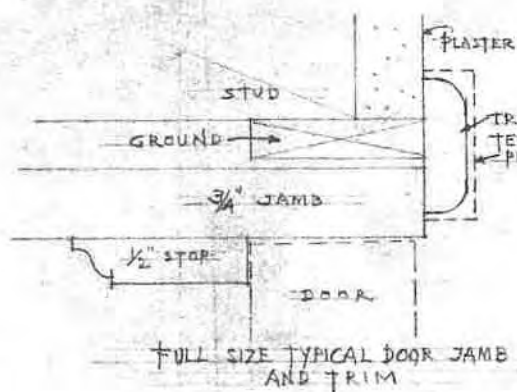
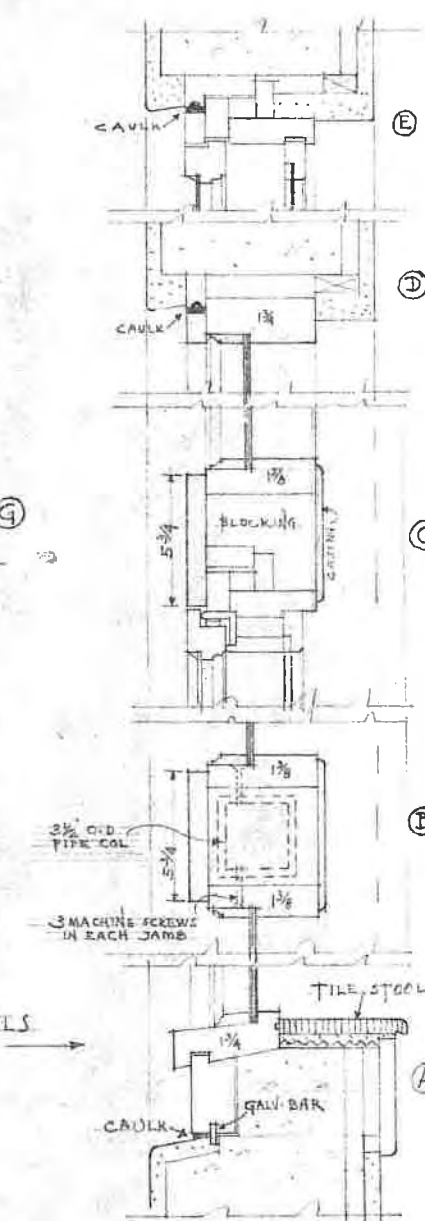
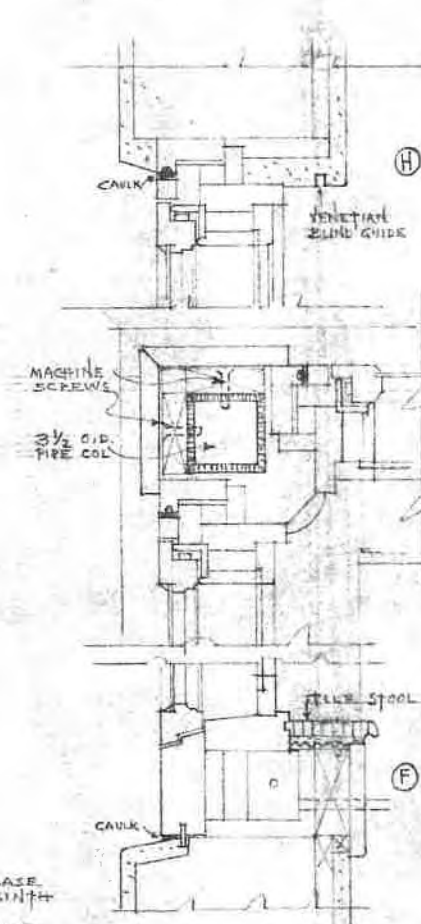
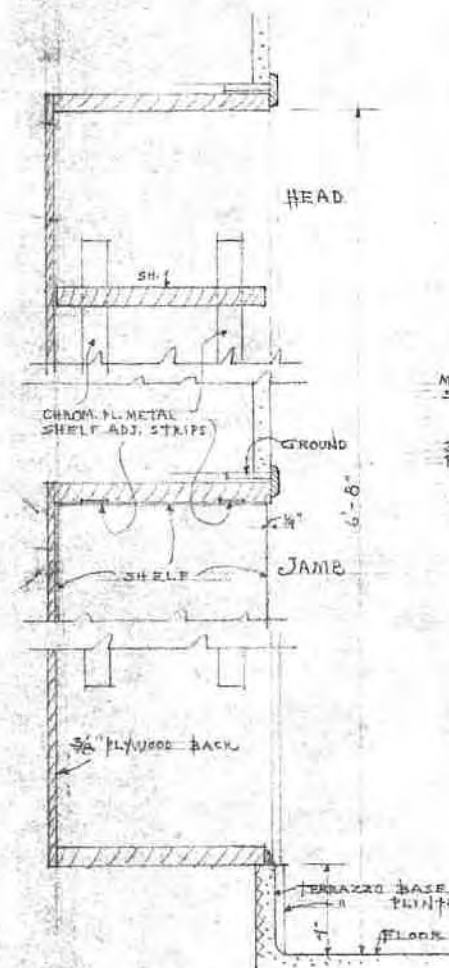
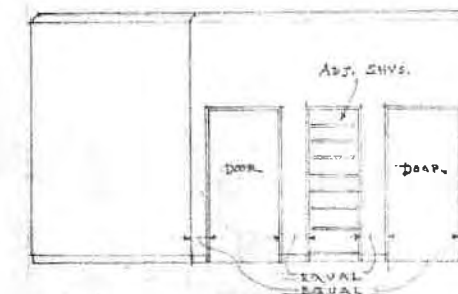
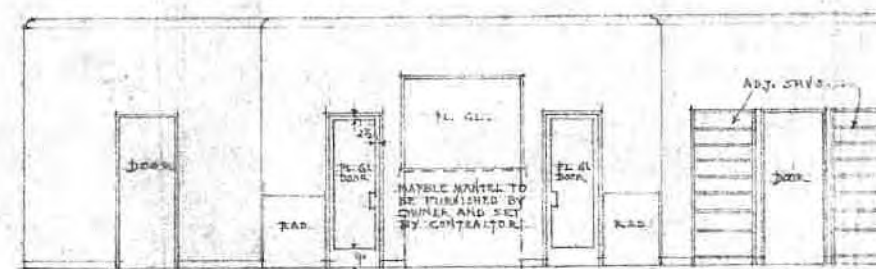
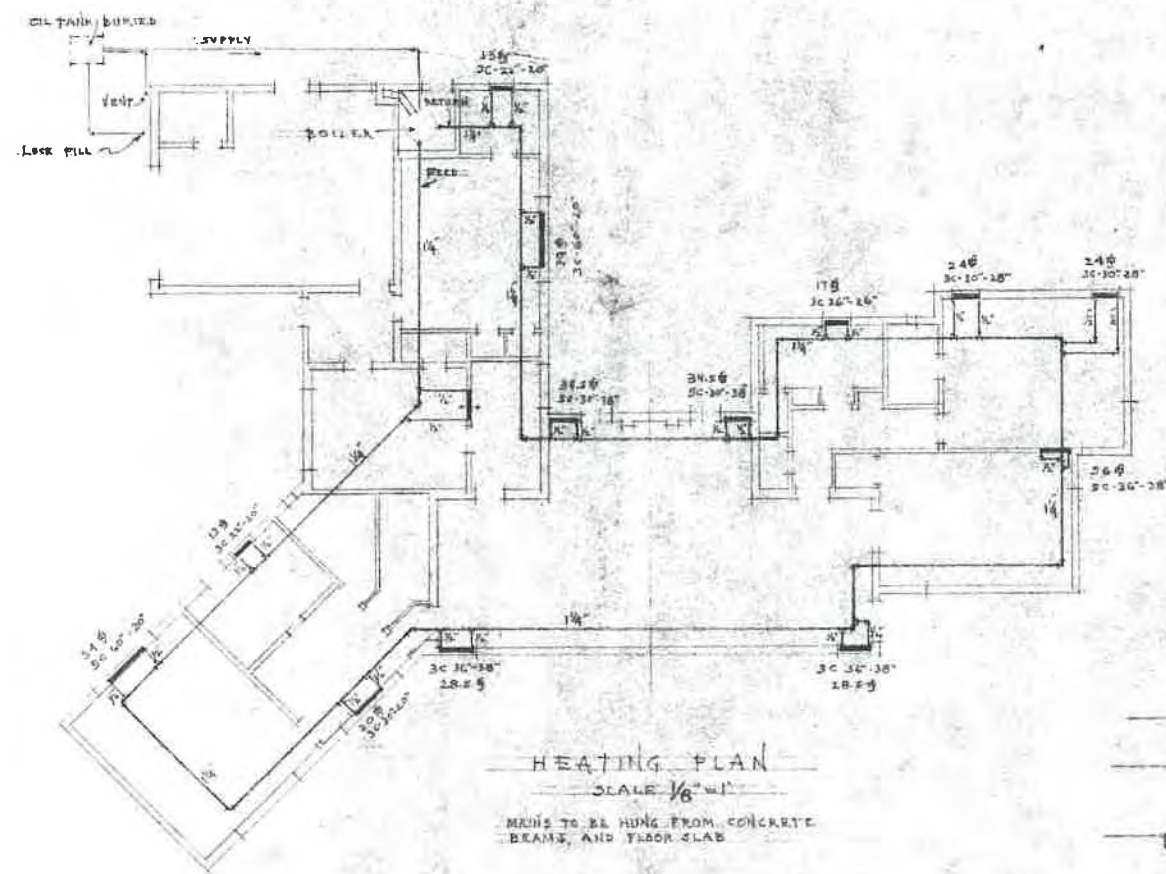
WEST ELEV. OF GAR. K. ETC.

N.W. ELEV. OF B.R. #1

HOUSE FOR MR. SAMUEL J. FLASH
AT HOLLYWOOD FLA.
E. DEAN FARMELEE
ARCHITECT
MIAMI & PALM BEACH



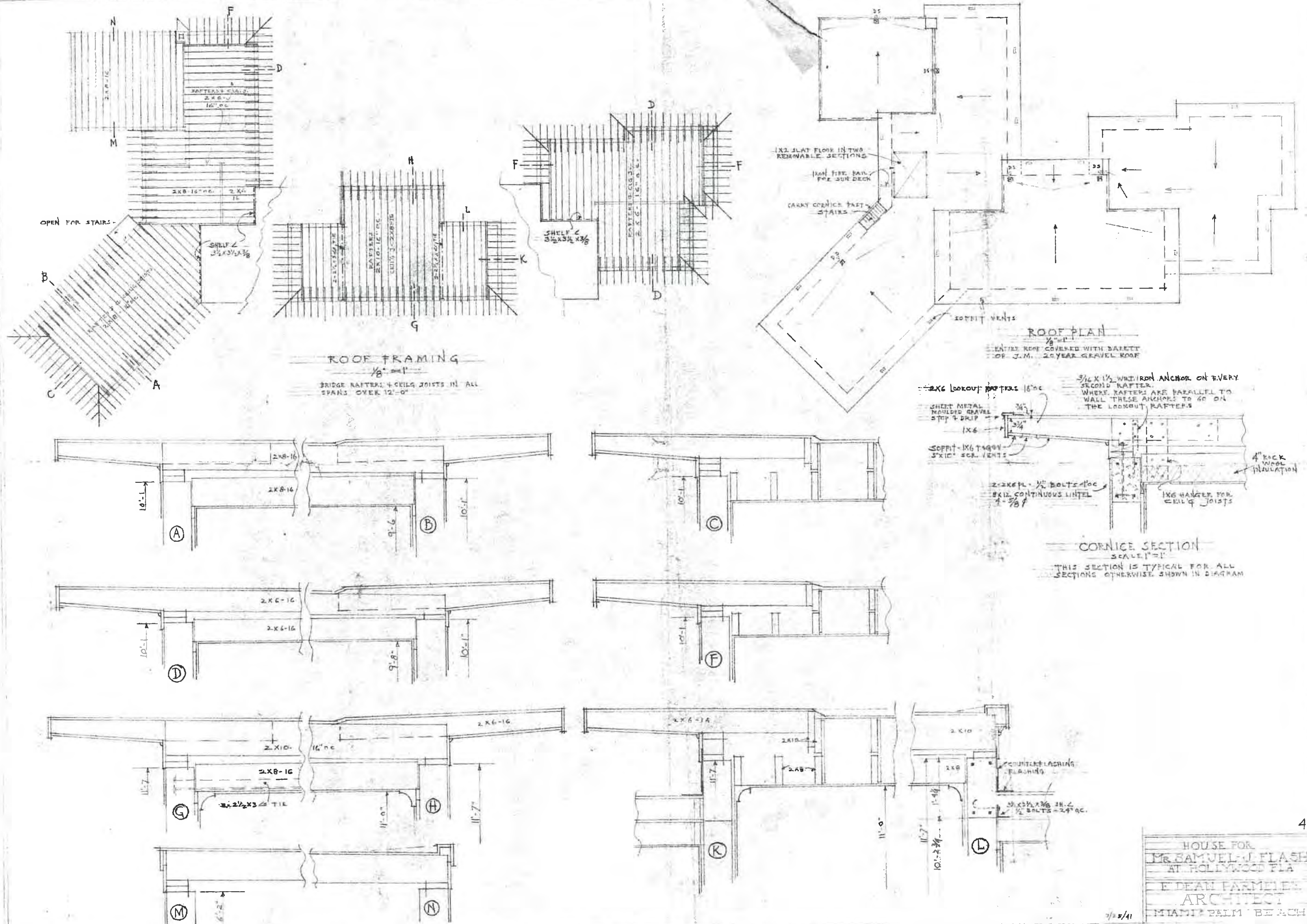
SCALE 1"=30'



HOUSE FOR
MR. SAMUEL J. FLASH
AT HOLLYWOOD FLA
E DEAN PARMELEE
ARCHITECT
MIAMI & PALMBEACH

E DEAN PARMELEE
ARCHITECT
MIAMI & PALM BEACH

7/25/94



HOUSE FOR
 MR. SAMUEL J. FLASH
 AT HOLLYWOOD FLA
 E. DEAN FARMER
 ARCHTCT
 MIAMI PALM BEACH

7/25/41





































A.R. POZA

ARCHITECT, INC.

Architecture
Interior Design
Construction Management

January 22, 2020

City of Hollywood Florida
2600 Hollywood Blvd.
Hollywood, FL 33022

Ref: 1201 N. Southlake Drive, Hollywood, FL 33019
Certificate of Appropriateness for Design for Historic Preservation Board

Dear Board Members,

In your consideration for design which is evaluated based upon the City of Hollywood's Design Guidelines for Historic Properties and Districts along with the following Criteria.

Integrity of Location

The existing property is a Mid-Century Modern single family residence. The proposed additions and remodeling are a continuance of the same aesthetics/style and consistent with the location.

Design

The design intent of the proposed is to enhance and grow upon the existing Mid-Century aesthetics including its horizontally, larger overhangs, height, volumes and scale, while distinguishing the existing Historic from the proposed.

Design intent includes for the Owner to enjoy the beautiful views of the lake from this property. The unique shape/dimensions of the property and its placement, basically renders the property without an actual back yard. The design addresses this by using the front/side yard as a back/rear yard.

The Covered Terrace's north wall has a small outdoor kitchen which is shielded from direct views by a decorative metal screen by means of a period correct metal screen with solid and open rings. All appliances are out of sight when viewed from the public sidewalk or beyond, located flush with the countertop or below.

Currently, the residence has only 2 bedrooms/2.5 bathrooms. Modifications are being made to accommodate two new inhabitants, a homebound elderly father and a live-in-nurse. Additionally, modifications also enhance the general overall use of the property allowing it to be compatible/similar to its surroundings.

1 of 2

Setting

The neighborhood consists of very fine single family residences conveying uniqueness and individuality, some one-story and some two-story. All considered, the proposed design is compatible and sits well within the neighborhood.

Materials

The proposed materials are historically correct and similar to the existing: Painted stucco, painted wood fascia, painted 1 by 6 wood plank soffits and type of fenestration yet also introduce period correct compatible elements to distinguish itself from the existing such painted steel slender round columns, stone and tile finishes.

Workmanship

The proposed design continues the required workmanship so as not to create a false sense of Historic compatibility or relevance. The aesthetics of the existing Mid-Century Modern style drives the design.

Association

Currently Association is not applicable. However, upon completion the proposed will complement the existing and by association, increase its Historical presence/designation.

Sincerely,



Albert R. Poza, R.



A.R. POZA

ARCHITECT, INC.

Architecture
Interior Design
Construction Management

January 22, 2020

City of Hollywood Florida
2600 Hollywood Blvd.
Hollywood, FL 33022

Ref: 1201 N. Southlake Drive, Hollywood, FL 33019

Variance Request

A Variance is respectfully being requested for this uncommon irregularly shaped lot for a reduction in the required Front Yard Setback of 25'-0" to match the existing 19'-0". This request was previously granted to a previous Application/Owner of this property.

The variance for the proposed addition is to match and follow the existing original Historic residence's South/Front Setback of 19'-0".

By following the existing South/Front Setback of 19'-0" we are not increasing the existing non-conformance of the South/Front Setback of 19'-0", just matching it.

Variance Criteria

- a. That the requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Design Guidelines for Historic Properties and Districts and Resolutions, particularly as it affects the stability and appearance of the City;

The requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Design Guidelines for Historic Properties and Districts and Resolutions, particularly as it affects the stability and appearance of the City in that it matches the original Historic residence's 19'-0" Front Setback and does not request or increase the existing non-conformance.

- b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;

The requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community in that the Land Use, Single Family, remains the same as is typical of the surrounding properties in the area. The proposed addition is of lesser height than many in the surroundings, lower than allowed by zoning and of less mass, due to its design.

- c. That the requested Variance is consistent with and if furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City.

The requested Variance is consistent with and if furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City in that the proposed addition will increase the size of this property from a 2 bedroom/2.5 bath residence to a 3 bedroom/3.5 bath residence, allowing the Owner's homebound elderly father and live-in nurse to live with him.

The addition of the pool and Accessory Structure allows the Owner and his family to use the property as is most common in the surrounding residences. Due to the inherent hardship of the irregularly shaped lot, its dimensions and orientation, the lot actually does not have a back yard but only, in actuality, a very wide front yard. The proposed would allow for the property to be used similarly to others in the area. Granting the requested variance would result in better use of this property, increase its value thus increasing surrounding values and ultimately also benefiting the City.

- d. That the need for the requested Variance is not economically based or self-imposed.

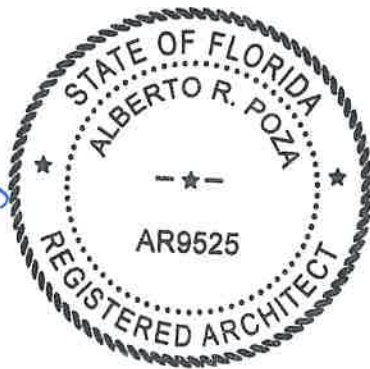
The need for the requested Variance is not economically based or self-imposed in that it is a result of the irregular lot (as mentioned above) and just requesting to match the original existing Front Setback. No other concessions are being sought.

- e. That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

Not applicable.

Sincerely,

Albert R. Poza, R.A.



LEGAL DESCRIPTION:

LOTS 10 AND 11, BLOCK 27, HOLLYWOOD LAKES SECTION, BEING A SUBDIVISION OF ALL OF SECTION 14 AND ALL OF THAT PART OF SECTION 13 LYING WEST OF THE FLORIDA COAST LINE CANAL AND TRANSPORTATION COMPANY'S CANAL, IN TOWNSHIP 51 SOUTH, RANGE 42 EAST, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE(S) 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND

THE EAST 185 FEET OF THE ALLEY IN BLOCK 27, OF HOLLYWOOD LAKES SECTION ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND BEING THAT PORTION OF SUCH ALLEY ABUTTING LOT 11 OF SAID BLOCK 27, EXTENDING FROM THE WESTERLY LINE OF SOUTH 12TH AVENUE TO A LINE PARALLEL TO SOUTH 12TH AVENUE AND 185 FEET WESTERLY FROM SAID WESTERLY LINE OF SOUTH 12TH AVENUE.

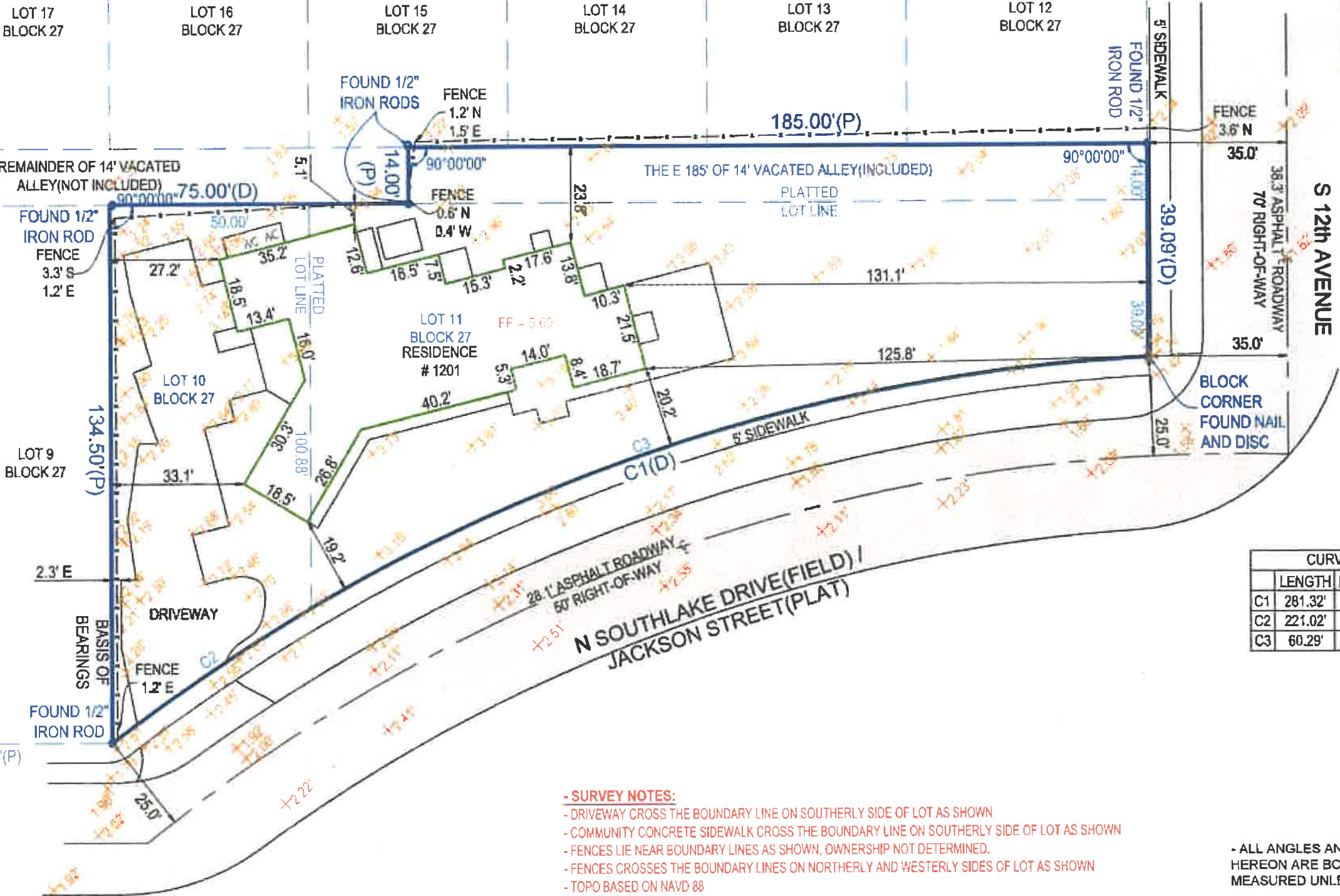
CERTIFIED TO:

KENNETH A. GRUBER
OCEAN TITLE AND ESCROW CO
TD BANK, NA ISAOA ATIMA
WFG NATIONAL TITLE INSURANCE
COMPANY

FLOOD ZONE:

12011C0569H
ZONE: AE
ELEV. 6 FT
EFF: 08/18/2014

BLOCK
CORNER
AT LOT 1
BLOCK 27
FOUND 1/2"
IRON ROD



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



CURVE TABLE			
	LENGTH	RADIUS	DELTA
C1	281.32'	460.00'	35°02'23"
C2	221.02'	460.00'	27°31'47"
C3	60.29'	460.00'	07°30'36"

- SURVEY NOTES:**
- DRIVEWAY CROSS THE BOUNDARY LINE ON SOUTHERLY SIDE OF LOT AS SHOWN
 - COMMUNITY CONCRETE SIDEWALK CROSS THE BOUNDARY LINE ON SOUTHERLY SIDE OF LOT AS SHOWN
 - FENCES LIE NEAR BOUNDARY LINES AS SHOWN, OWNERSHIP NOT DETERMINED.
 - FENCES CROSSES THE BOUNDARY LINES ON NORTHERLY AND WESTERLY SIDES OF LOT AS SHOWN
 - TOPO BASED ON NAVD 88

- ALL ANGLES AND DISTANCES SHOWN
HEREON ARE BOTH RECORD AND
MEASURED UNLESS OTHERWISE NOTED

LB 8111



5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407
NexgenSurveying.com

PHONE: 561.508.6272
FAX: 561.508.6309

BOUNDARY SURVEY
of
1201 N SOUTHLAKE DRIVE,
HOLLYWOOD, FL 33019

- C - CALCULATED

L - LEGAL

M - MEASURED

P - PLATTED

WM - WATER METER

xxx - TOPOGRAPHIC ELEVATION
- ASPHALT

CONCRETE
PAVER/BRICK

WOOD

UTILITY POLE

MANHOLE
- € CENTER LINE

CATCH BASIN


FIRE HYDRANT

LIGHT POLE

WELL

WATER VALVE

Clyde McNeal PSM 2083
THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE OF AND RAISED SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER



ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name KENNETH A. GRUBER				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1201 N. SOUTHLAKE DRIVE				Company NAIC Number:	
City HOLLYWOOD		State Florida		ZIP Code 33019	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) TAX PARCEL NUMBER 514214014640					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>26.00942</u> Long. <u>-80.13087</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>396</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF HOLLYWOOD 125113			B2. County Name BROWARD COUNTY		B3. State Florida
B4. Map/Panel Number 12011C0569	B5. Suffix H	B6. FIRM Index Date 08/18/2014	B7. FIRM Panel Effective/ Revised Date 08/18/2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 6 FT.
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1201 N. SOUTHLAKE DRIVE			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33019	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BROWARD CO. B.M. AD2460 Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.


Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>5. 5</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor	<u>N. A</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N. A</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>3. 1</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>5. 2</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>2. 8</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>4. 1</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N. A</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name CLYDE MCNEAL	License Number LB 8111	Clyde O. McNeal Digitally signed by Clyde O. McNeal Date: 2020.01.23 11:40:17 -05'00'
Title SURVEYOR		
Company Name NEXGEN SURVEYING, LLC.		
Address 5601 CORPORATE WAY, SUITE 103		
City WEST PALM BEACH	State Florida	
Signature 	Date 01/23/2020	Telephone (561) 508-6272

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

Latitude/Longitude in A5 derived from Google Maps. Machinery/Equipment in C2e is an A/C Pad.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1201 N. SOUTHLAKE DRIVE			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33019	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ N . A _____ ☒ feet ☐ meters ☒ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ N . A _____ ☒ feet ☐ meters ☒ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ N . A _____ ☒ feet ☐ meters ☒ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ N . A _____ ☒ feet ☐ meters ☒ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ N . A _____ ☒ feet ☐ meters ☒ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
		Florida	
Signature	Date	Telephone	

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1201 N. SOUTHLAKE DRIVE			Policy Number:	
City HOLLYWOOD	State Florida	ZIP Code 33019	Company NAIC Number	
SECTION G – COMMUNITY INFORMATION (OPTIONAL)				
<p>The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.</p> <p>G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)</p> <p>G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.</p> <p>G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.</p>				
G4. Permit Number		G5. Date Permit Issued		G6. Date Certificate of Compliance/Occupancy Issued
<p>G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement</p> <p>G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p>				
Local Official's Name			Title	
Community Name			Telephone	
Signature			Date	
Comments (including type of equipment and location, per C2(e), if applicable)				
<input type="checkbox"/> Check here if attachments.				

BUILDING PHOTOGRAPHS**ELEVATION CERTIFICATE**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1201 N. SOUTHLAKE DRIVE

Policy Number:

City
HOLLYWOODState
FloridaZIP Code
33019

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One Caption Photo Taken 01/23/2020 "Front View"



Photo Two Caption Photo Taken 01/23/2020 "Rear View" and "Front Door View"

ELEVATION CERTIFICATE**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1201 N. SOUTHLAKE DRIVE			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33019	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo One Caption Photo Taken 01/23/2020 "Side Views"



Photo Two Caption Photo Taken 01/23/2020 "Side Views with A/C"

Permit # _____

Date: 12.12.19

LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

1. 22,279 ^(IRREGULAR) _(240' x 134.5') SQUARE FEET OF YOUR LOT (length x width)
2. 3,650 SQUARE FEET OF YOUR HOUSE
3. 3,019 SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
4. 1,278 SQUARE FEET OF THE ADDITION, AND OR...
5. 2,280 SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECKS, ETC.
6. 10,227 TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3+ 4+ 5)...
7. 45.9% PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)

Lots 10 and 11, Block 27, of "HOLLYWOOD LAKES SECTION", being a subdivision of all of Section 14 and all that part of Section 13 lying West of the Florida Coast line Canal and Transportation Company's Canal, in Township 51 South, Range 42 East, according to the plat thereof, as recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida.

The East 185 feet of the ally in Block 27 of "HOLLYWOOD LAKES SECTION", according to the plat thereof, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida; and being that portion of such ally abutting Lot 11 of said Block 27, extending from the Westerly line of South 12th Avenue to a line parallel with South 12th Avenue and 185 feet Westerly from said Westerly line of South 12th Avenue.

- NOT SIZE MATTER
- NOT USE ABSTRACTION
- NOTHING CLASSIFICATION
- SET BACKS
 - FRONT
 - BACK
 - SIDES
- PERIODS / IMPROVING
- HEIGHT - EXISTING, GROWTH
- BAKING THE NAME
- MAIN STRUCTURE
- ~~NECESSARY~~ STRUCTURE
- WORKING FROM SETBACK

6,000 (1377 LBS.)

25'-0"

15'-0"

10'-0"

2710 SF (40%) / 18367

20'-0" 2' SLOPE

S (SEE ATTACHED PLAN BELOW)

1529 SF (30%)

* FILLY SATURATED 25' TO 19'

- GLAZING TO KEYS IN
- REFINISH EXIST'G
- NEW FLOOR WALL
- NEW EXHAUSTION WALL
- ITEM ABOVE, BELOW IT ATTACHED
- WORK (STAINED OR PAINTED)
- STAIN/PAINTED
- EXIST'G WINDOWS (IMPACT)
- NEW WINDOWS (IMPACT)
- NEW TILE FINISH

- EXIST^g WORK (D EXT = IMP/ACT)
- NEW WORK (D EXT = IMP/ACT)
- NEW START FINISH
- EXIST^g FINISH START
- NEW MATERIAL: RANDOM STONE
- NEW CARPET: STUCK/PE/PA
- NEW STEEL COLUMN, PAINTER



REVISIONS	BY

A. R. POZA
ARCHITECT, INC.

Architecture
Interior Design
Construction Mgmt.

ALBERT R. POZA
NCAAB - FLA 000025
AA2000153

1900 Ferdinand Street
Coral Gables, FL 33134
305.266.4325
apex@apexintl.com
www.apexintl.com

GRUBER RESIDENCE - ADDITION & REMODELING
1201 N. SOUTHLAKE DRIVE, HOLLYWOOD, FLORIDA 33019

DE 123.20



5-6

Sheet 1

25

10

SITE PLAN 1/8"

SITE DRAINAGE

NORMAL PENETRATION
DOWNWARD THROUGH
ARISE HILLS AFTDR SLOPE
AT GRAVE DOWN TO PERIMETER
OF WEST GARDEN SINGLE X 200
DETERMINE PT. OF GRAVE
(SEE PAGE (A) @ LEFT & SITE
PLAN)

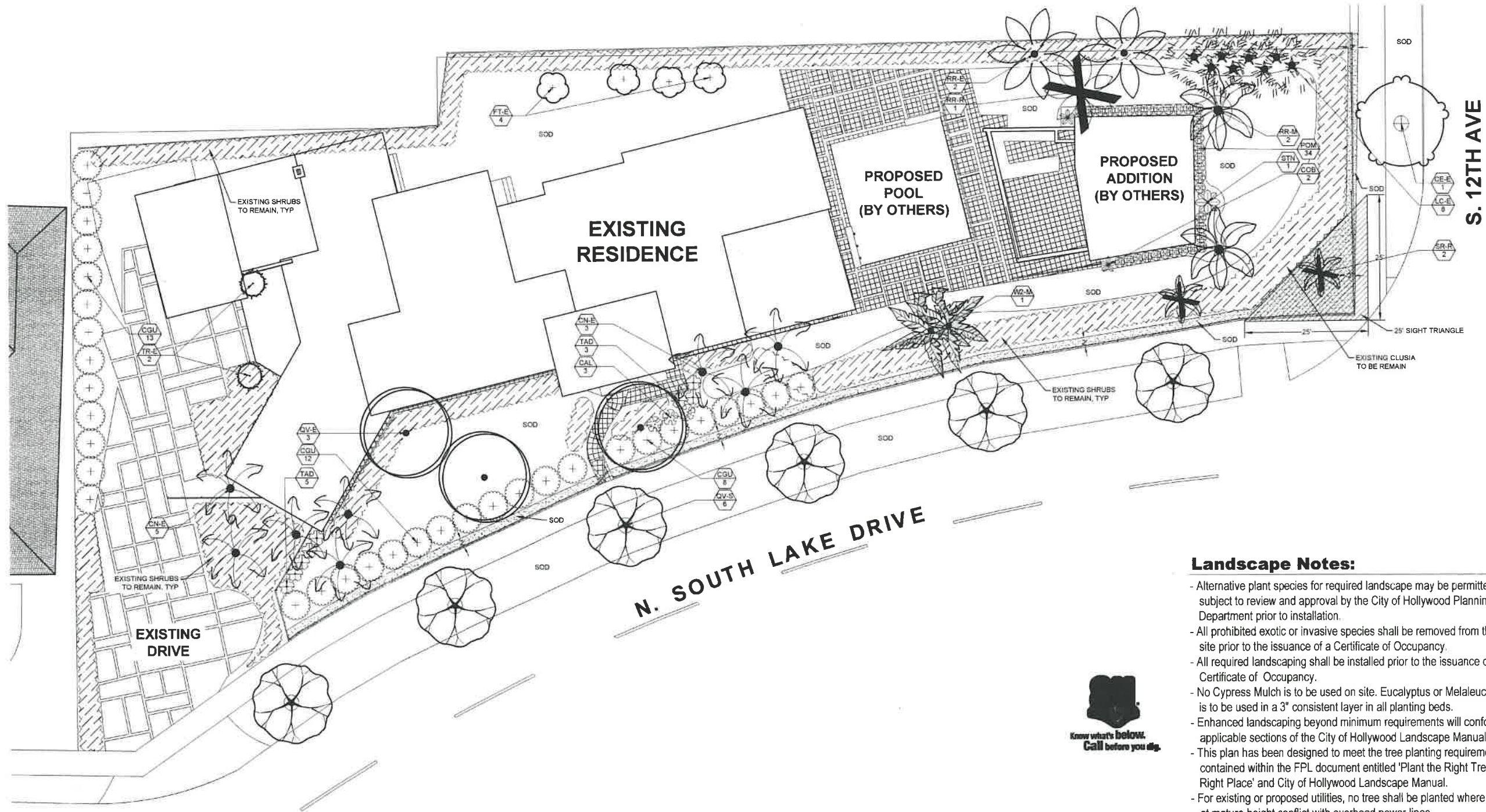
LINE PER EXISTING. FROM WATER WITH OFF
COLLECTED AT PERMANENT GUTTERS. WENT
TO STRAIGHTENABLE LOCATED DOWNSTREAM
W/ APPROX 100 YDS. BETWEEN THEM. DRAINAGE
PER W/TE ABOVE & SEPT. (A) (SEE NOTE 114)

GUTTERS @ 6" @ 10' ABOVE MFL
POINTS TO PLANT N/AL
DOWNSTREAM @ 4" @ 10' MATERIAL GUTTERS
ALONG BRICKS @ 12" @ 24" PER SECT. 214C

PROPERTY COMMITMENT

MAIN STRUCTURE 5,095 S.F.
ACCESSORY BLDG. 917 S.F. = 17.99%

1000



Project Team

Landscape Designer:
BRANDON M. WHITE, ASLA
 1708 SE Joy Haven Street
 Port St. Lucie, FL 34983
 (772) 834-1357

Architect:
A.R. POZA ARCHITECT, INC.
 1600 Fernlinea Street
 Coral Gables, FL 33134
 (305) 266-4328

Proposed Improvements
 1201 N. Southlake Drive, Hollywood, FL 33019
Landscape Plan

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
- Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.
- Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Revisions		
Date	Init	Description
12.10.19	BW	Initial Submittal
01.10.20	BW	Revised per Comments

PAUL GOULAS, RLA
 FLORIDA REG. #LA686807

Drawn By: BW
 Checked By: PG
 Municipal Project:
 Scale:

 SCALE: 1" = 10'
 0 5 10 20
1 of 2

Landscape Data:

Single Family Districts (RS)	Required	Provided
Perimeter Landscape One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	7 Trees (331'/50')	7 Trees (6 Live Oak + 1 Ex. Green Buttonwood)
Open Space A minimum of 20% of the required front yard area shall be landscaped pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs. One tree per 1,250 sq. ft. (including any fraction) of front yard area.	4 Trees (4,620 SF)	4 Trees (3 Existing Live Oaks + 1 Existing Royal Palm)
Mitigation Requirements (1) Existing Royal Palm and (2) Existing Queen Palms Removed. 1:1 Palm Mitigation Required.	3 Palm Trees	3 Palm Trees
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	7 Trees	2 Trees

Plant Schedule:

EXISTING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CN-E	8	Cocos nucifera 'Green Malaysian'	Existing Coconut Palm	Existing to Remain
CE-E	1	Cotinus coccineus	Existing Green Buttonwood	Existing to Remain
FT-E	4	Existing Fruit Tree	Existing Fruit Tree	Existing to Remain
LC-E	8	Livistona chinensis	Existing Chinese Fan Palm	Existing to Remain
QV-E	3	Quercus virginiana	Existing Live Oak	Existing to Remain
RR-E	2	Roystonia regia	Existing Royal Palm	Existing to Remain
TR-E	2	Thrinax radiata	Existing Thatch Palm	Existing to Remain
EXISTING TREES TO BE REMOVED	QTY	BOTANICAL NAME	COMMON NAME	SIZE
RR-R	1	Roystonia regia	Royal Palm	Existing to be Removed
SR-R	2	Syagrus romanzoffiana	Queen Palm	Existing to be Removed
MITIGATION TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
RR-M	2	Roystonia regia	Royal Palm	FG, 8 CT, SGL, SP
W2-M	1	Wodyetia bifurcata	Double Foxtail Palm	FG, 8 CT MIN. DBL, SP
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
QV-S	6	Quercus virginiana	Southern Live Oak	FG, 12 HT, 2" DBH MIN. STD, PS
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CGU	33	Clusia guilfordia	Small Leaf Clusia	25G, 6' OA, FTB, SP
CAL	3	Cordia alliodora 'Auntie Lou'	Ti Plant	7G, 4 HT x 3' SPR, 3PP, SP, AS
COB	2	Cordia alliodora 'Black Magic'	Black Magic Ti Plant	7G, 4 HT x 3' SPR, 3PP, SP, AS
POM	34	Podocarpus macrophyllus	Podocarpus	7G, 4 HT, FTB
STN	1	Streptocarpus	White Bird of Paradise	15G, 5-6' HT, 5PP, F, SP
TAD	8	Tabernaemontana divaricata	Crape Jasmine	7G, 36' OA, F, SP, AS

Perimeter Hedge Note:

- Existing and proposed clusia hedge adjacent to sidewalk(s) within public right-of-way to be maintained according to City of Hollywood Code, encroachment onto sidewalk is prohibited. Sod strip between hedge and sidewalk to be maintained as shown on plan.

LANDSCAPE SPECIFICATIONS

PART 1 GENERAL CONDITIONS

1.01 SCOPE

- A The Landscape Architect includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plan.

1.02 AGENCY STANDARDS

- A Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION

- A The Landscape Contractor shall personally examine the site and fully acquaint himself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint himself with all procedures to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

1.04 ERRORS AND OMISSIONS

- A The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for higher own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

- B The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.

- C If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

1.05 EXECUTION OF THE WORK

- A The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
- B The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the Superintendent) shall be immediately replaced.
- C The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

1.06 PROTECTION OF PUBLIC AND PROPERTY

- A The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

1.07 CHANGES AND EXTRAS

- A The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting both the adjusted price has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

1.08 GUARANTEE

- A The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the date of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed for 60 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guarantee of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and all subsequent replacements (at costs equally with the Owner, should the replacement plant fail to survive).

1.09 CARE AND MAINTENANCE

- A The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
- B The Owner agrees to execute the instructions for such care and maintenance.

1.10 SAFETY

- A It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety and Health Act (O.S.H.A.).

1.11 CONTRACTOR QUALIFICATION

- A The Owner may require the applicant contractor to qualify himself as to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
 2. A listing of not less than (3) completed projects of similar scope and nature.
 3. Permanent name and address of place of business.
 4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12 INSURANCE AND BONDING

- A The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

1.13 PERMITS AND CERTIFICATES

- A All contractors shall secure and pay for all permits and certificates required for higher class of work.

PART 2 MATERIALS

2.01 PLANT MATERIALS

- A A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

- B Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.

- C All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.

- D All plant materials shall be nursery grown, unless otherwise noted. Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current edition and Grades and Standards for Nursery Plants, most current edition.

- E Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

- F The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

2.02 INSPECTION

- A The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

2.03 PROTECTION OF PLANT MATERIALS

- A Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encase the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

- B Plants with broken, damaged or insufficient rootballs will be rejected.

- C All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

- D Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

2.04 STORAGE

- A All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.

- B No plant material shall be stored longer than seventy-two (72) hours unless approved by the Landscape Architect and/or owner.

- C The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.

- D All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

2.05 PROTECTION DURING PLANTING

- A Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark damage by means of burlap, wood battens or other approved methods. Batters shall NOT be attached to the tree with nails.

2.06 PLANTING SOIL

- A Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

2.07 FERTILIZER

- A Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.

- B Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

1 gallon container	1 tablet
3 gallon container	2 tablets
5 gallon container	3 tablets
7 gallon	5 tablets

- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material.

The Landscape Architect reserves the right to inspect and review the application of fertilizer.

2.08 MULCH

- A Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress Bark Mulch is prohibited.

- B All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" mulch on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

PART 3 EXECUTION

3.01 DIGGING

- A The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

3.02 GRADING

- A Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.

- B It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walls, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

3.03 PLANTING

- A Planting shall take place during favorable weather conditions.

- B The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

- C Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

- D Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

- E A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.

- F Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) sterile native soil):
1 Gallon material (1 gal.): 12" x 12" x 12" min
3 Gallon material (3 gal.): 20" x 20" x 18" min
Lawn material (7 gal.): 30" x 30" x 24" min
Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

- G No planting or laying of sod shall be initiated until the area has been cleared of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

- H Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wires, stakes, etc. shall be removed from sides and top of the ball and removed from hole before filling in.

- J All flagging ribbon shall be removed from trees and shrubs before planting.

- K Excess excavation (8") from all holes shall be removed from the site, at no additional expense to Owner.

- L All palms shall be backfilled with sand, thoroughly watered in during planting operations and with a shallow saucer depression left at the soil line for future watering. Saucer areas shall be top-dressed two (2) inches deep with topsoil and left in a neat, clean manner.

3.04 PRUNING

- A Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.

- B Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

- C Trees shall not be poled or topped.

- D Remove all trimmings from site.

3.05 GUYING

- A All trees over six (6) feet in height shall immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge galvanized steel wire in tripod fashion. See Detail.

- B Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling outstems apart.

- D Stakes & Braces all trees larger than 12" db. See detail.
Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.

- E Tumbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.

3.06 WATER

- A Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.

- B See General Notes of Landscape Plan for water source.

3.07 SOD

- A The Landscape Contractor shall sod all areas indicated on the drawings.

- B It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas eliminating all bumps, depressions, sticks, stones, and other debris.

- C The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.

- D Before being cut and lifted, the sod shall have been moved at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

- E 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.

- F Sod sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.

- G The finished level of all sod areas after settlement shall be one (1) inch below the top of abutting curbs.

- H If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

3.08 SEEDING

- A The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.

- B Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.

- C Roll immediately after seeding with a minimum 500 pound roller. Then apply straw mulch at the rate of 2,500 pounds per acre.

- D Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

3.09 CLEANING UP

- A The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

3.10 MAINTENANCE

- A Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.

- B Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

- C Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lightning, or hurricane force winds, until final acceptance.

- D In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

- E Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

3.11 COMPLETION, INSPECTION AND ACCEPTANCE

- A Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.

- B Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- C All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- D After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER:

- A DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

- B FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

- C WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL (SEE DETAIL).

- D ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

- E WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.

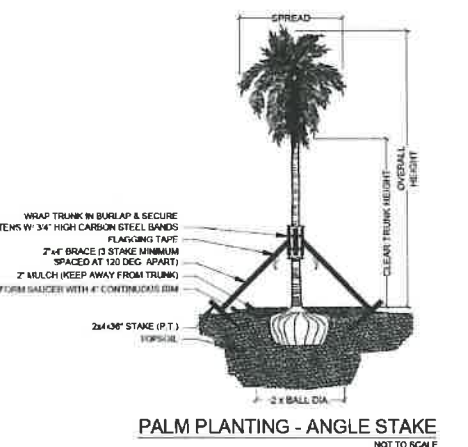
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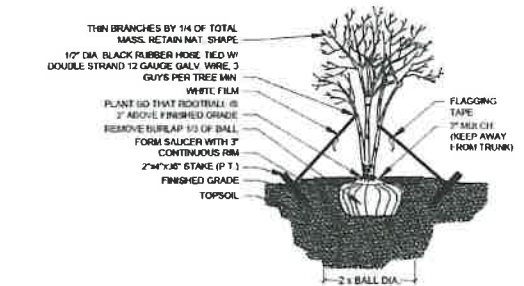
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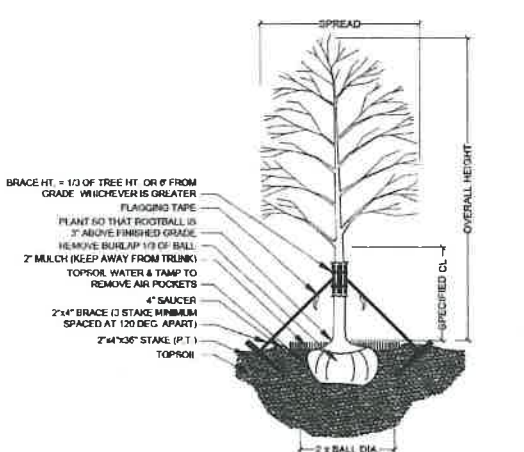
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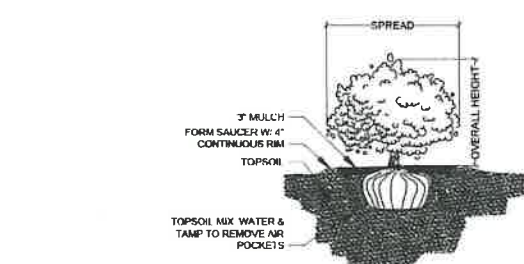
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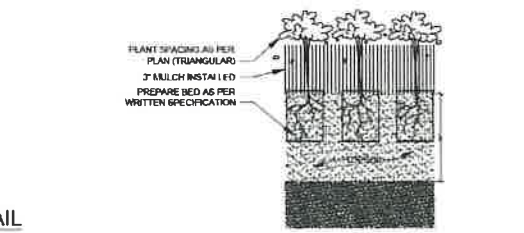
TREE PLANTING & STAKING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

Project Team

Landscape Designer:

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Port St. Lucie, FL 34883
(772) 834-1357

Architect:

A.R. POZA ARCHITECT, INC.
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(305) 286-4328

Proposed Improvements

1201 N. Southlake Drive, Hollywood, FL 33019

Landscape Details & Specifications

Revisions		
Date	Init	Description
12.10.19	BW	Initial Submittal
01.10.20	BW	Revised per Comments

PAUL GOULAS, RLA
FLORIDA REG. # LA6668807

Drawn By: BW

Checked By: PG

Municipal Project:

Scale:

NORTH

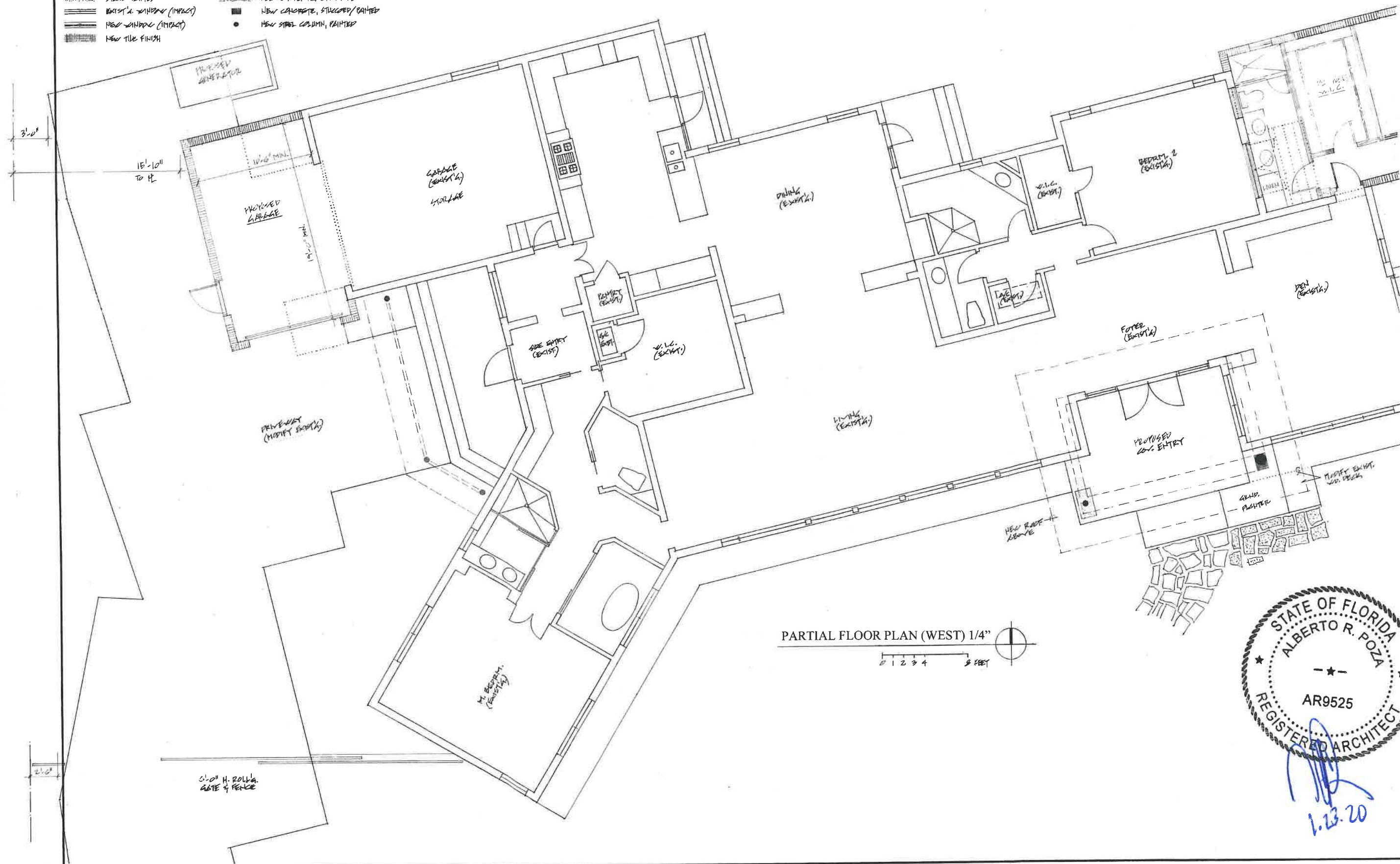
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2 of 2

LEGEND

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	NEW BLOCK WALL		NEW STONE FINISH
	NEW EXIST'G. WALL		EXIST'G. RANDOM STONE
	ITEM ABOVE, BELOW OR HIDDEN		NEW MASONRY RANDOM STONE
	WALL (STAINED OR PAINTED)		NEW CONCRETE, STUCCOED/PAINTED
	STUCCO CHIMNEY		NEW STEEL COLUMN, PAINTED
	EXIST'G. WINDOW (IMPACT)		
	NEW WINDOW (IMPACT)		
	NEW TILE FINISH		



REVISIONS	BY

A. R. POZA
ARCHITECT, INC.

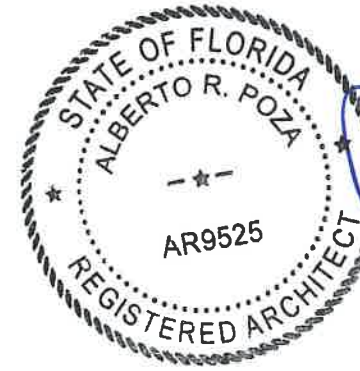
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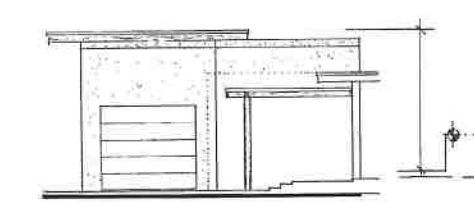
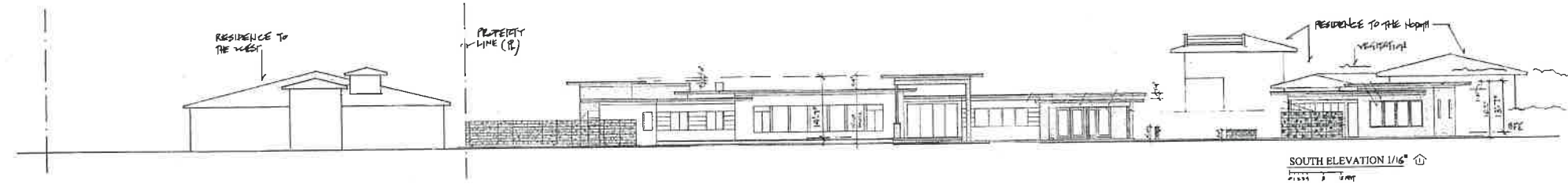
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Job	
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Of	5 Sheets

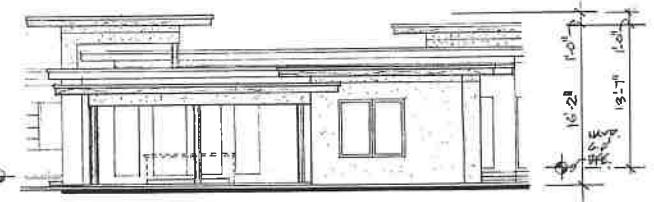


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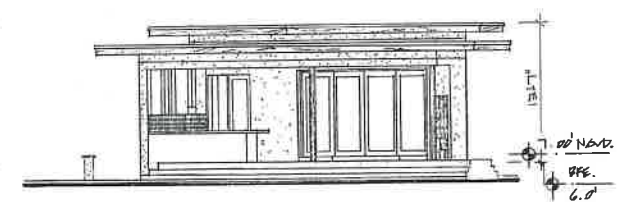
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- [Symbol] NEW PAINTED FENCE w/ SLAB OR STEEL RINGS



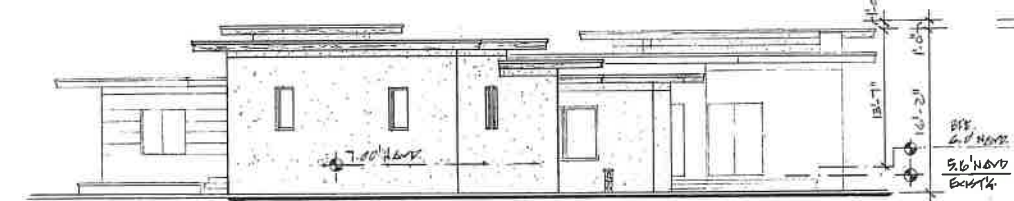
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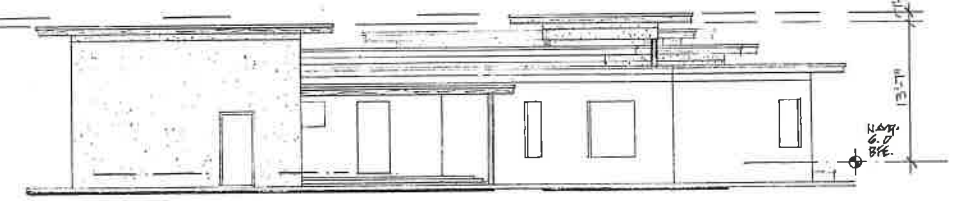
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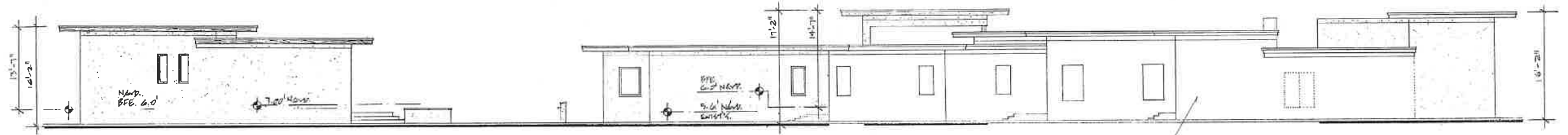
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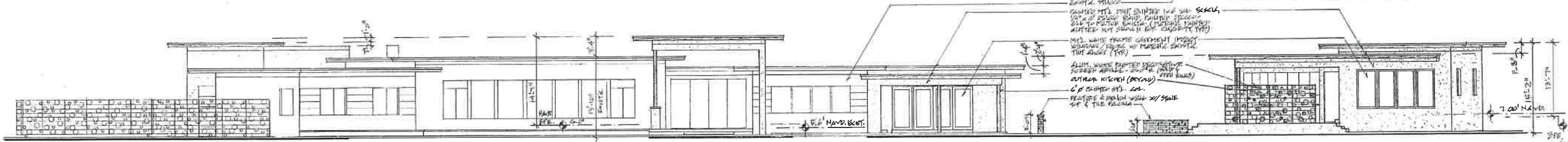
EAST ELEVATION 1/8"



WEST ELEVATION 1/8"



NORTH ELEVATION 1/8"



SOUTH ELEVATION 1/8"

0 12 24 36 48 60 72 84 96 108 120

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Date 1.23.20

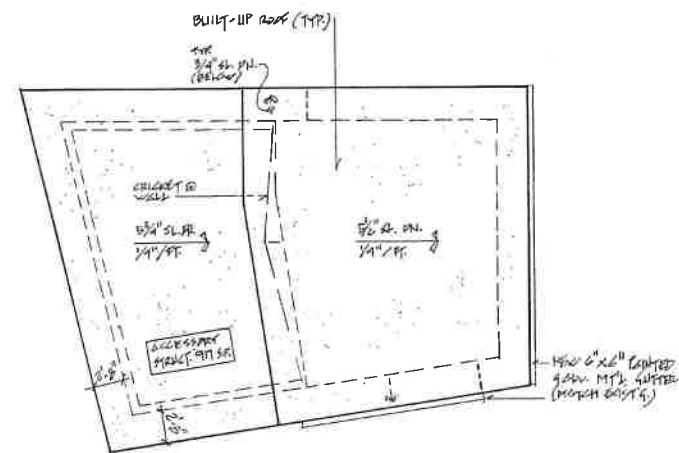
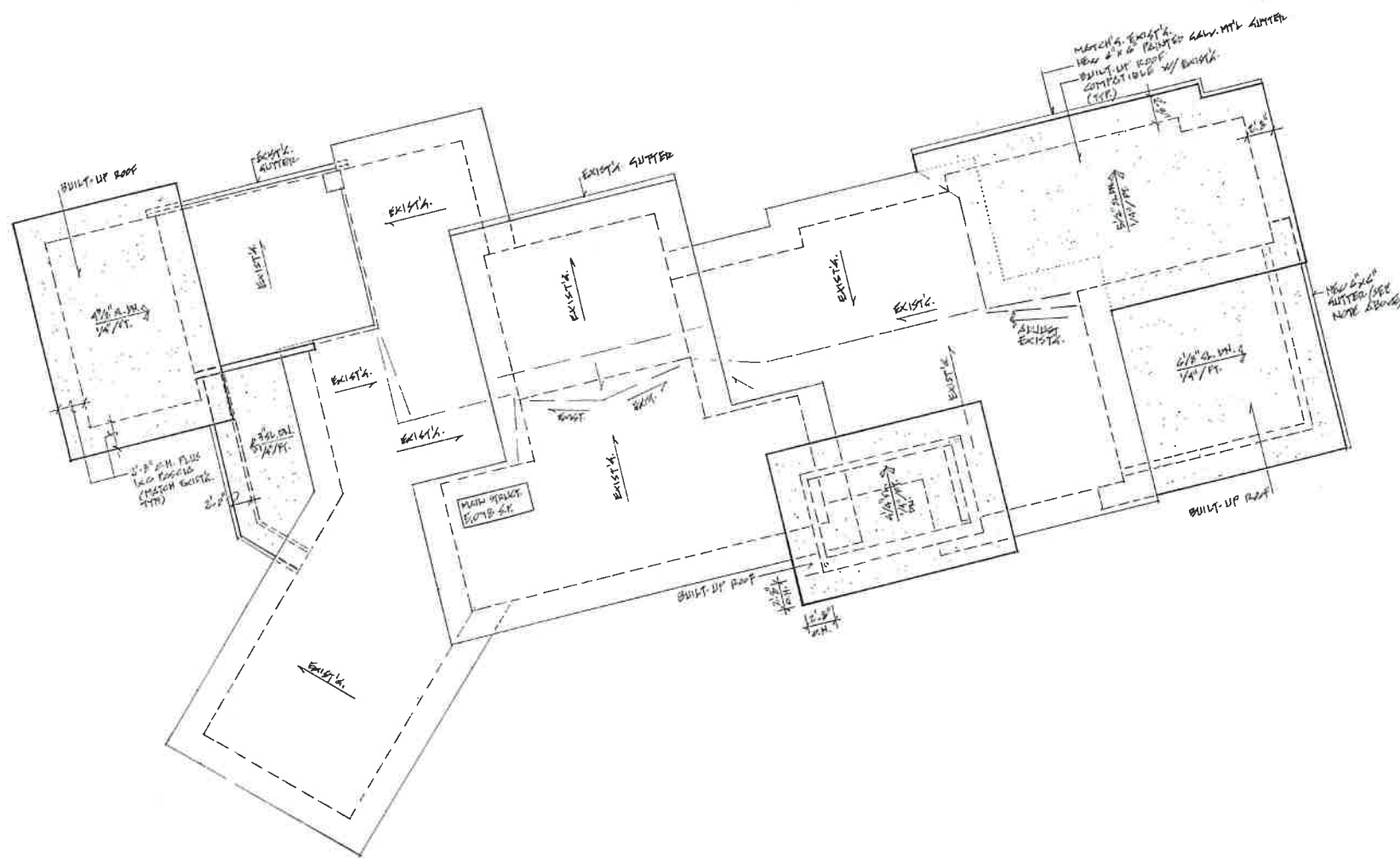
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Sheet A.4

Of 5 Sheets



ROOF PLAN 1/8"



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1-23-20

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Job	
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Of	5 Sheets



GRUBER RESIDENCE

**1201 N SOUTHLAKE DRIVE,
HOLLYWOOD, FLORIDA**

A.R. POZA Architect Inc.



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