

**ATTACHMENT A**  
**Application Package**

# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 12/12/19

Location Address: 1134 JEFFERSON STREET

Lot(s): 1/2 of LOT 22 & AL 23 Block(s): 34 Subdivision: HOLLYWOOD "BY THE SEA"

Folio Number(s): 5142 14 01 5742

Zoning Classification: RS-6 Land Use Classification: LRFS

Existing Property Use: SFR Sq Ft/Number of Units: 1,772 / 1

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: NEW CONSTRUCTION APPROVAL

Number of units/rooms: SINGLE FAMILY HOUSE Sq Ft: \_\_\_\_\_

Value of Improvement: \$500,000 Estimated Date of Completion: DEC / 2020

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: JEFFREY OLIVERIO

Address of Property Owner: 1134 JEFFERSON STREET

Telephone: 954-564-9434 Fax: \_\_\_\_\_ Email Address: BLAKE@HARTHOMES.US

Name of Consultant/Representative/Tenant (circle one): \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

HART HOMES

Address: 420 SE 12th ST., FTL, FL 33316

Email Address: BLAKE@HARTHOMES.US



# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 12/10/2019

PRINT NAME: Jeffrey Oliverio

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: 12/10/19.

PRINT NAME: BLAKE SCHMIDT - HART HOMES.

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

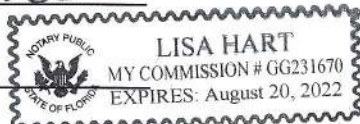
### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for CERTIFICATE OF APPROPRIATENESS to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the HISTORIC PRESERVATION (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 10 day of Dec

[Signature]  
Notary Public



State of Florida

My Commission Expires: 8/20/22 (Check One) ☐ Personally known to me; OR ☒ Produced Identification DL

[Signature]  
Signature of Current Owner  
Jeffrey Oliverio  
Print Name





*Luxury Home Builder*

## **OLIVERIO RESIDENCE**

**Project Owner:** Jeffrey Oliverio

**Project Address:** 1134 Jefferson Street, Hollywood, FL 33019



*Since 1987*

> Certified General Contractor CGC047085 > Home Inspector HI2435 > Certified Mold Remediator MRSR861  
> United States Environmental Protection Certification NAT-106738-1 > Certified Mold Assessor MRSA1690

420 East Davie Boulevard · Fort Lauderdale, FL 33316 · 954.564.9434 · Fax: 954.467.8551 · [www.harthomesflorida.com](http://www.harthomesflorida.com)





*Luxury Home Builder*

**LEGAL DESCRIPTION AND PROJECT INFORMATION:**

**Project Owner:** Jeffrey Oliverio

**Project Address:** 1134 Jefferson Street, Hollywood, FL 33019

**Folio:** 5142 14 01 5742

**Legal Description:** Hollywood Lakes Section 1-32 B Lot 22 W1/2, 23 BLK 34

**Zoning Classification:** RS-6

**Land Use:** Low Residential (LRES)

**Historic Designation:** HMPRL0D-1

**Site Square Footage:** 10,225 S.F.

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**FINANCIAL FEASIBILITY STUDY (for DEMOLITION only)**

**Analysis:**

The existing residence located at 1134 Jefferson Street within the Hollywood Lakes historic district is a one story single family residential building built in the 1950's and originally designed by Gamble, Powell, & Gilroy Architects.

In our analysis of the original structure, it has been determined that the rehabilitation of the existing structure is not a financially feasible project. The existing structure's current Finished Floor Elevation (F.F.E.) is 4.45' which is 3.55' below the required FEMA NAVD88 F.F.E of 8.0'. When estimating the cost to raise the slab, tie beams, windows, remove and replace roof, extend wall heights, all while working with original wood frame construction, the cost analysis would exceed the cost of a new home, not including unforeseen conditions.

Within this flood zone it is highly unlikely that the current elevation of the home would not be compromised by a flood event and/or sea level rise. When reviewing the Hollywood Lakes flood maps and outlines on encroaching water from past storm events, it is clear that rehabilitating this current structure at its current elevation is highly discouraged.

In the Broward County, City of Hollywood Vulnerability Report ([https://www.broward.org/Climate/Toolbox/Documents/ResilientCoastalComm/hollywd\\_slr.pdf](https://www.broward.org/Climate/Toolbox/Documents/ResilientCoastalComm/hollywd_slr.pdf)), it is estimated that by year 2030 alone, the Sea Level is projected to rise approximately 3-7 inches and by year 2060 approximately 9-24 inches. With a current F.F.E. of the existing home at 4.45' it is highly inadvisable to rehabilitate the current structure without raising the F.F.E. of the home. With the costs of rehabilitation and resizing the slab to F.F.E. codes, the owner Jeffrey Oliverio, has decided to demolish the existing home and to build a completely new home adhering to all state and municipal codes and regulations.

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**CERTIFICATE OF APPROPRIATENESS FOR DESIGN FOR HISTORIC PRESERVATION BOARD**

**Introduction:**

The proposed project located at 1134 Jefferson Street within the Hollywood Lakes historic district is a new one story single family residential building of Modern / Minimalist style. The layout and geometry of the structure was inspired by the historical Martin L. Hampton Hollywood Casino courtyard layout. The delineation of hierarchy of the architectural horizontality, verticality, and materiality pull inspiration from Frank Lloyd Wright, Donald Singer, and Claus R. Moberg's minimalist approaches. The medley of Mediterranean and Modern structures within the Hollywood Lakes historic district create a framework for our project's design that complements our composition, materials and details.

**Integrity:**

The Modern / Minimalist typology of our proposed new single family residence respects all of the zoning setbacks and heights, while creating a clear balance of the comprehensive structure giving the entry hierarchy over the front elevation. The communal courtyard layout lends an inviting presence to Jefferson Street with clean lines and orthogonal geometry that update the entire property and remove the presence of the original 1950 decaying structure.

**Design:**

The 75' wide lot creates the opportunity for a split plan that allows for privacy for the living space wings on each side of the structure. The split plan also allows the front entry to be centrally located giving it the primary hierarchy and giving the secondary presence to the functional living spaces on each side of the home.

Vertical and horizontal elements were designed to blend the structure into a balance of spatial geometry while also being mindful of the transparency and versatility that shading enhances the design and quality of life for the owner.

The rear design of the home is also meant to enhance and cater to the family lifestyle of the owner. The singular asymmetrical vertical architectural element draws your eye to the height of the design while also doubling as a sliding glass door pocket to allow for a large opening to open the home for entertaining and uninterrupted air flow from front to back.

**Setting:**

The design and massing relates to the medley of Contemporary-Mediterranean and Modern neighboring residences within the Hollywood Lakes historic district.

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**Materials:**

The materiality of the structure will create a cool color palette with darker accent colors to further establish hierarchy of architectural elements. Matching and complimenting stone and pavers will be used to blend and accent in color and establish the introduction of subtle textural differences.

**Workmanship:**

The details, structural architectural elements, and material selections are consistent with the proposed style and will be built and installed by experienced contractors.

**Association:**

The design utilizes Modern-Minimalist styling elements such as horizontal and vertical elements, materiality, color, and materiality creating a balanced composition of geometric rhythm. The tropical landscaping, inviting courtyard layout, and comprehensive property update contribute to the overall streetscape quality and building scale of Jefferson Street and the Hollywood Lakes historic district.

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**PHOTOGRAPHS OF SUBJECT SITE AND ADJACENT PROPERTIES**

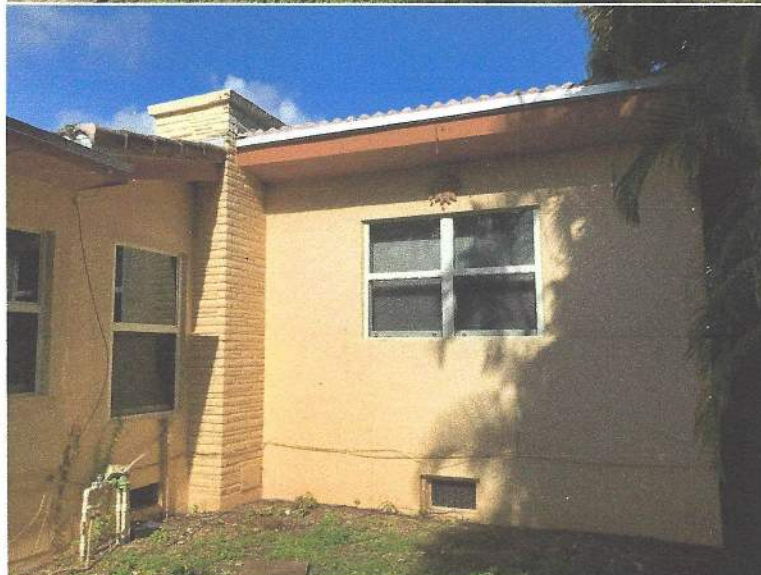
**Oliverio Residence:**  
1134 Jefferson Street  
Hollywood, FL 33019



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**GRIFFIN RESIDENCE:**  
1124 Jefferson Street  
Hollywood, FL 33019



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**LIPOVCHENKO & TASHLITSKAYA RESIDENCE:**

1140 Jefferson Street  
Hollywood, FL 33019



*Since 1987*

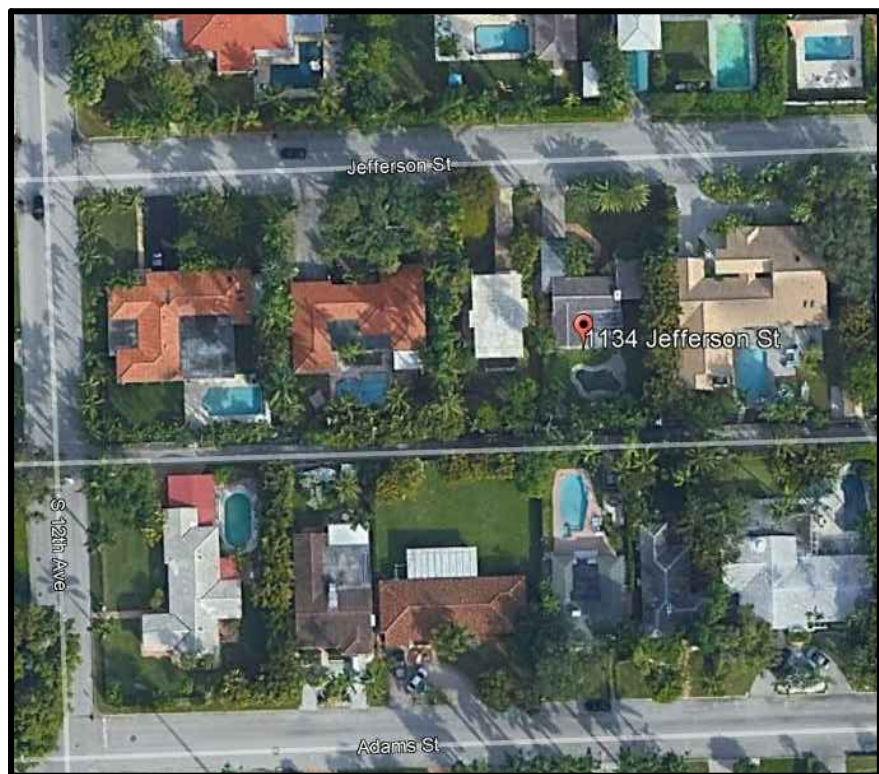
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# OLIVERIO RESIDENCE

## LOCATION MAP



### GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW THE 2017 FLORIDA BUILDING CODE AS ADAPTED BY THE COUNTY AND ALL APPLICABLE CODES, AMENDMENTS, LAWS AND STATUTES. STRICTLY ADHERE TO MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL CONSTRUCTION IN BROWARD AND DADE COUNTIES SHALL COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) SECTIONS OF THE F.B.C.
- THE BUILDER SHALL COORDINATE THE WORK OF ALL TRADES.
- BUILDER SHALL REVIEW DRAWINGS AND VERIFY DIMENSIONS AND DESIGN INTENT BEFORE BEGINNING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS, OMISSIONS, DISCREPANCIES OR MISSING DIMENSIONAL REQUIREMENTS NOT REPORTED IMMEDIATELY IN WRITING TO THE ARCHITECT/ENGINEER. BACKCHARGES WILL NOT BE ACCEPTED. DO NOT SCALE OR MEASURE ANY DRAWING.
- BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING AND SHORING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS TO SAFELY SUPPORT ALL LOADS DURING CONSTRUCTION.
- THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE F.B.C. CHAPTER 13 ENERGY EFFICIENCY SECTION.
- ALL WINDOWS AND DOORS SHALL BE CAULKED, AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH F.B.C. CHAPTER 13 ENERGY EFFICIENCY SECTION.
- CABINET, WINDOW, AND DOOR SUPPLIERS SHALL PROVIDE SHOP DRAWINGS TO THE BUILDER.
- ALL MATERIALS, EQUIPMENT, APPLIANCES, ETC. SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER.
- HANDLE AND DISPOSE OF SOLID WASTE IN SUCH A MANNER THAT WILL PREVENT THE CONTAMINATION OF THE ENVIRONMENT. TRANSPORT ALL SOLID WASTE OFF PROPERTY AND DISPOSE OF WASTE IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL NOT USE ANY MATERIALS CONTAINING ASBESTOS OR LEAD BASED PAINT FOR ANY PART OF THE WORK.
- STORE CHEMICAL WASTE AWAY FROM THE WORK AREA IN CORROSION RESISTANT CONTAINERS AND DISPOSE OF CHEMICAL WASTE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.

### ENVIRONMENTAL CONSIDERATIONS:

- BUILDER SHALL FAMILIARIZE HIMSELF WITH THE EPA GUIDELINES FOR THE PREVENTION OF MOLD AND MILDEW, AND ADHERE TO ITS RECOMMENDATIONS.
- MANAGE CONSTRUCTION ACTIVITIES TO AVOID POLLUTION OF SURFACE AND GROUND WATERS AND SEWER SYSTEMS. DO NOT ALLOW WASTE WATER FROM CONSTRUCTION ACTIVITIES TO ENTER WATER AREAS. COLLECT AND PLACE WASTE WATER IN COLLECTION AREAS ALLOWING THE SUSPENDED MATERIAL TO SETTLE. THE POLLUTANTS TO SEPARATE, OR THE WATER TO EVAPORATE.
- MANAGE CONSTRUCTION ACTIVITIES TO MINIMIZE POLLUTION OR AIR RESOURCES. BURNING IS NOT PERMITTED ON THE PROJECT SITE. KEEP ACTIVITIES, EQUIPMENT PROCESSES, AND WORK OPERATED OR PERFORMED, IN STRICT ACCORDANCE WITH THE STATE AND FEDERAL EMISSION AND PERFORMANCE LAWS AND STANDARDS. MAINTAIN AMBIENT AIR QUALITY STANDARDS SET BY THE ENVIRONMENTAL PROTECTION AGENCY. FOR CONSTRUCTION OPERATION. CONTROL DUST PARTICLES, AEROSOLS, AND GASEOUS BY PRODUCTS FROM ALL CONSTRUCTION ACTIVITIES, PROCESSING, AND PREPARATION OF MATERIALS AT ALL TIMES. SPRINKLE OR USE OTHER METHODS THAT ARE PERMITTED TO CONTROL PARTICULATES IN THE WORK AREA.

### MOISTURE CONTROL:

- BUILDER SHALL MAINTAIN A STRICT POLICY FOR THE CONTROL OF WATER INFILTRATION AND MOISTURE BUILD UP DURING CONSTRUCTION. THE PLANS ARE NOT INTENDED TO DETECT EACH AND EVERY CONDITION OR DETAIL OF CONSTRUCTION. AS THE KNOWLEDGEABLE PARTY IN THE FIELD, THE BUILDER IS IN THE BEST POSITION TO VERIFY THAT ALL CONSTRUCTION IS COMPLETED IN A MANNER WHICH WILL PROVIDE A WATERTIGHT STRUCTURE. THE BUILDER HAS THE SOLE RESPONSIBILITY FOR ENSURING THE WATERTIGHT INTEGRITY OF THE STRUCTURE.
- IF THE BUILDER OBSERVES WATER INFILTRATION (UNINTENDED) INTO THE BUILDING, HE SHALL IMMEDIATELY TAKE STEPS TO INVESTIGATE THE SOURCE OF THE WATER INFILTRATION AND DEVISE A PROCEDURE TO PROMPTLY ELIMINATE WATER INFILTRATION INTO THE BUILDING.
- THE BUILDER SHALL INSPECT ALL MATERIALS DELIVERED TO THE SITE FOR PRE-EXISTING WATER DAMAGE, AS WELL AS EXISTING MOLD GROWTH.
- IF IN-PLACE CONSTRUCTION BECOMES WET, CONTACT THE MANUFACTURER AND DETERMINE WHETHER OR NOT THE WORK SHALL BE REMOVED AND REPLACED, OR IF THE TYPE OF MATERIAL CAN BE PERMITTED TO DRY.
- UNDER NO CIRCUMSTANCES SHALL NEW OR ADDITIONAL CONSTRUCTION BE PLACES OVER, OR OTHERWISE ENCLOSE, WET BUILDING MATERIALS.

### THERMAL ENVELOPE:

- THE BUILDING THERMAL ENVELOPE SHALL BE COMPLETELY SEALED AGAINST MOISTURE AROUND ALL PENETRATIONS AND AGAINST AIR LEAKAGE IN ACCORDANCE WITH F.B.C. TABLE R402.4.1.1.

### COPIES FURNISHED AND OWNERSHIP

THE ORIGINAL DRAWINGS AND SPECIFICATIONS AND ALL SETS REPRODUCED FROM SUCH ARE THE PROPERTY OF THE ARCHITECT. THE DRAWINGS SHALL NOT BE DUPLICATED OR REPRODUCED IN ANY PORTION WITHOUT PRIOR WRITTEN CONSENT FROM THE ARCHITECT OR OWNER.

### DIMENSIONS:

GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND COORDINATING ALL FIELD DIMENSIONS.

### SUBSTITUTIONS:

WHERE THE CONTRACTOR IS REQUESTING TO PROVIDE A PRODUCT SUBSTITUTION OR EQUAL, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT AND OWNER SUFFICIENT PRODUCT DATA, SPECIFICATIONS AND SAMPLES AS DETERMINED BY THE ARCHITECT FOR SUBSTITUTION.

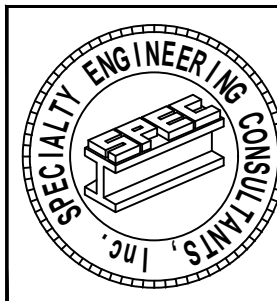
REQUESTS FOR SUBSTITUTIONS OR EQUALS SHALL BE SUBMITTED FOR REVIEW TO THE ARCHITECT NO LATER THAN 10 DAYS PRIOR TO THE BID DATE. NO SUBSTITUTION OR EQUAL WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT OR OWNER.

### STANDARDS OF QUALITY:

ANY MATERIAL, ARTICLE OR PIECE OF EQUIPMENT FROM OTHER MANUFACTURERS OR VENDORS WHICH SHALL PERFORM ADEQUATELY THE DUTIES IMPOSED BY THE GENERAL DESIGN SHALL BE CONSIDERED EQUALLY ACCEPTABLE PROVIDED THE MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT SO PROPOSED IS, IN THE OPINION OF THE ARCHITECT, OF EQUAL SUBSTANCE, APPEARANCE AND FUNCTION. IT SHALL NOT BE PURCHASED OR INSTALLED BY THE CONTRACTOR WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL.

ALL ELECTRICAL FIXTURES, APPLIANCES, EQUIPMENT AND MECHANICAL EQUIPMENT ARE TO BE UL LISTED AND MARKED.

CONTRACTOR SHALL ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG EMPLOYEES. DO NOT EMPLOY ON WORK UNFIT PERSONS OR PERSONS NOT SKILLED IN ASSIGNED TASKS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION OF OWNERS PROPERTY. CONTRACTOR WILL REPAIR OR REPLACE ALL DAMAGE ITEMS WITHOUT COST TO THE OWNER.



SPECIALTY ENGINEERING  
CONSULTANTS, Inc.  
1599 SW 30th AVE.  
SUITE 400  
BOYNTON BEACH, FL 33426  
DADE - BROWARD - PALM BEACH  
FL, CA, 4056217  
561-752-5440 OFFICE  
561-752-5442 FAX



## OLIVERIO RESIDENCE

PROJECT OWNER:  
JEFFREY OLIVERIO  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33013

PROJECT LOCATION:  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33013

## PROJECT DATA

FOLIO:  
5142 14 01 5742  
LEGAL DESCRIPTION:  
HOLLYWOOD LAKES SECTION 1-32 B LOT 22  
W1/2, 23 BLK 34  
ZONING CLASSIFICATION:  
RS-6  
LAND USE:  
LOW RESIDENTIAL (LRES)  
HISTORIC DESIGNATION:  
HMPROD-1  
SITE SQUARE FOOTAGE:  
10,225 S.F.

SEAL  
GARY McDUGGLE, PE FL #56214

PROJECT # HART1134  
SCALE 1/4" = 1'-0" U.N.O.  
DRAWN BY BAS

### REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	12.12.19	PERMIT SUBMITTAL

### TITLE SHEET

SHEET TITLE

T1

SHEET TITLE

### CODES:

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH: FLORIDA RESIDENTIAL BUILDING CODE 2017 EDITION W/ SUPPLEMENTS  
NATIONAL ELECTRIC CODE - LATEST EDITION ALL APPLICABLE AMENDMENTS

### CONTRACTOR'S PERMIT SET:

THESE DRAWINGS ARE TO BE CONSIDERED A "CONTRACTOR'S PERMIT SET" AND ARE NOT INTENDED TO COVER ALL AREAS OF CONTRACTUAL AGREEMENTS BETWEEN OWNER AND CONTRACTOR. SPECIFIC MATERIALS, PAINT COLORS, FURNITURE, FINISHES, FIXTURES, ALLOWANCES, ETC. NOT COVERED BY THESE PLANS SHOULD BE INCLUDED IN THE WRITTEN AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR. IF APPLICABLE, THE CONTRACTOR IS TO COORDINATE EXACT CABINERY LAYOUT W/ CABINERY SHOP DRAWINGS.

DRAWING INDEX:			
T1	TITLE SHEET	A3	FRONT & REAR ELEVATIONS
	PLOT PLAN SURVEY - TBD	A4	RIGHT & LEFT ELEVATIONS
	BOUNDARY SURVEY	A5	STREET PROFILE ELEVATION
C1	GRADING AND DRAINAGE PLAN	A6	TBD
C2	PAVING, GRADING & DRAINAGE PLAN	A7	TBD
C3	SEPTIC & DRAINFIELD PLAN	A8	TBD
L1	TREE DISPOSITION PLAN	A9	TBD
L2	LANDSCAPE PLAN	A10	TBD
L3	LANDSCAPE DETAILS	A11	TBD
L4	IRRIGATION PLAN - TBD	A12	TBD
A0	SITE & ROOF PLAN	A13	TBD
A1	FIRST FLOOR PLAN & RCP		
A2	DIMENSION PLAN		

### SYMBOLS LEGEND:

TYPICAL MASONRY CONSTRUCTION		1 HOUR FIRE-RATED WALL
GROUT FILLED CELL W/ REBAR. SEE STRUCTURAL		DETAIL CALLOUT W/ SHEET NO. NOTED
POURED CONCRETE COLUMN. SEE STRUCTURAL		WALL SECTION CALLOUT W/ SHEET NO. NOTED
NON-BEARING FRAME CONSTRUCTION		BLDG. SECTION CALLOUT W/ SHEET NO. NOTED
INFILL MASONRY CONSTRUCTION. SEE STRUCTURAL		INSULATION, R-VALUE AS NOTED ON PLANS
FRAME CONSTRUCTION ABOVE OR BELOW SEE PLAN FOR HEIGHT		3" SOUND BLANKETS AS NOTED ON PLANS
SOFFIT ABOVE. SEE PLAN FOR HEIGHT		
WALL OPENING SEE PLAN		

### ABBREVIATIONS:

ABV	ABOVE	LN.	LINEN
AFCI	ARC FAULT CIRCUIT INTERRUPT	LT.	LIGHT
AFB	ABOVE FINISHED FLOOR	L.T.	LAUNDRY TUB
AHU	AIR HANDLER UNIT	M.C.	MEDICINE CABINET
B.F.	BI FOLD	M.R.H.	MEAN ROOF HEIGHT
B.P.	BI PASS	M.T.	METAL THRESHOLD
BLK	BLOCK	MAX.	MAXIMUM
BLW.	BELOW	MFR.	MANUFACTURER
BRC.	BEARING	MICRO.	MICROWAVE
BTM.	BOTTOM	MIN.	MINIMUM
CLC.	CEILING	M.O.	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MONO.	MONOLITHIC
COL.	COLUMN	MTL.	METAL
CONC.	CONCRETE	N.E.C.	NATIONAL ELECTRIC CODE
CONT.	CONTINUOUS	O.H.D.	OVER HEAD DOOR
CSMT.	CASEMENT	O.H.	OVERHANG
DBL.	DOUBLE	O.C.	ON CENTER
DIA.	DIAMETER	P.L.F.	POUNDS PER LINEAR FOOT
DISP.	DISPOSAL	P.S.F.	POUNDS PER SQUARE FOOT
DP.	DESIGN PRESSURE	P.S.I.	POUNDS PER SQUARE INCH
DW.	DOOR	PART.	PARTITION
DW.	DISH WASHER	PKT.	POCKET
E.E.	EACH END	PLYWD.	PLYWOOD
ELEC.	ELECTRICAL	R.O.	ROUGH OPENING
ELEV.	ELEVATION	S.C.	SOLID CORE
E.S.	EACH SIDE	SD	SMOKE DETECTOR
E.W.	EACH WAY	S.G.D.	SLIDING GLASS DOOR
EX.	EXISTING	SF	SQUARE FOOT
EXT.	EXTERIOR	SH	SINGLE HUNG
F.B.C.	FLORIDA BUILDING CODE	SHS	SHEET METAL SCREWS
F.F.	FINISHED FLOOR	ST.	STUBS
FIRE.	FIRE RATED	STL.	STEEL
FR.	FRENCH DOOR	SW	SWITCH
FIN.	FINISHED	TEMP.	TEMPERED
FLR.	FLOOR	T.B.	THROUGH BOLT
GA.	Gauge	T.O.	THROUGH OUT
GAUV.	GALVANIZED	T.O.B.	TOP OF BEARING
G.E.	GABLE END	T.O.PL.	TOP OF WOOD PLATE
GFCI	GROUND FAULT CIRCUIT INTERRUPT	T.O.T.B.	TOP OF THE BEAM
GL.	GLASS	TYP.	TYPICAL
G.T.	GIRDER TRUSS	U.N.O.	UNLESS NOTED OTHERWISE
GWB.	GYPSON WALLBOARD	UL	UNDERWRITERS LABORATORIES
GYP. BD.	GYPSON WALLBOARD	V.I.F.	VERIFY IN FIELD
HGT.	HEIGHT	W.A.	WEDGE ANCHORS
HPS.	HOOPES	W.	WITH
HR.	HOUR	WC.	WATER CLOSET
HS	HORIZONTAL SLIDING	WD.	WOOD
HVHZ	HIGH VELOCITY HURRICANE ZONE		
INS.	INSULATION		
INT.	INTERIOR		
LG.	LONG		

### MECHANICAL NOTES:

- SEE MECHANICAL PLANS BY OTHERS FOR ALL UNIT SIZES, DUCT LAYOUTS, EXHAUST REQUIREMENTS, ENERGY CALCULATIONS, UNIT MOUNTING & CLEARANCE DETAILS, ACCESS REQUIREMENTS, ETC. REQUIRED TO BE SHOWN AND NOTED BY CODE.
- THIS HOME IS DESIGNED TO COMPLY WITH THE NATURAL VENTILATION REQUIREMENTS OF SECTION 402 OF THE FLORIDA BUILDING CODE 2017, MECHANICAL.
- PROVIDE SCREENED VENTS AT FLOOR LEVEL IN GARAGE MIN. 60 SQUARE INCHES (100 CFM) PER VEHICLE OR EXHAUST FAN (SEE MECH. PLAN PER F.B.C. MECH. CODE TABLE 403.3. TWO CAR GARAGE = 120 SQUARE INCHES OF SCREENED VENTS.
- CLOTHES DRYER EXHAUST DUCTS SHALL BE A MINIMUM OF 4" ROUND 26 GA. METAL PIPE. DRYER DUCTS SHALL HAVE A SMOOTH INTERIOR SURFACE, AND MUST NOT EXCEED THE MAXIMUM ALLOWABLE LENGTH PER F.B.C. MECH. CODE.
- SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO ALL MECHANICAL COMPONENTS LOCATED IN OR FORMING A PART OF THE AIR DISTRIBUTION SYSTEM TO ASSURE ADEQUATE ACCESS FOR SEALING, INSPECTION, CLEANING, AND MAINTENANCE. A MINIMUM OF 4" IS CONSIDERED SUFFICIENT SPACE AROUND AIR HANDLING UNITS. PER 610.1 ABC.3. SEE F.M.C. 306.1.1 FOR OTHER RESTRICTIONS AND EXCEPTIONS.
- EXTERIOR CONCRETE ACCESSORY AND EQUIPMENT PADS SHALL BE A MINIMUM OF 4" THICK.
- WHEN AN AUXILIARY DRAIN PAN CANNOT BE INSTALLED UNDER UNITS CONTAINING COOLING COILS, A DRAIN PIPE SHALL BE CONNECTED TO THE SECONDARY DRAIN (OVERFLOW) CONNECTION SO THAT THE OVERFLOWING CONDENSATE RESULTING FROM FLOW RESTRICTIONS IN THE PRIMARY DRAIN PIPE WILL BE CARRIED AWAY WITHOUT CAUSING DAMAGE TO THE UNIT OR ITS SURROUNDINGS. AS AN ALTERNATIVE TO A SECONDARY DRAIN LINE, AN APPROVED WATER LEVEL DETECTOR OR FLOAT SWITCH DEVICE SHALL BE USED TO CONTROL OVERFLOW BY AUTOMATICALLY SHUTTING DOWN THE EQUIPMENT THAT PRODUCES THE CONDENSATE.
- PIPING THROUGH MASONRY SLABS AND/OR WALLS MUST BE PROPERLY SLEEVED. ALL HORIZONTAL PRIMARY CONDENSATE DRAINS WITHIN UNCONDITIONED AREAS SHALL BE INSULATED PER F.M.C. 307.2.5.
- HVAC SYSTEM IS TO BE DESIGNED TO KEEP RELATIVE HUMIDITY BELOW 50% IN ORDER TO HELP PREVENT THE GROWTH OF MOIST.
- CONDENSATE DRAINS ARE 3/4" PVC WITH 1/2" T-CELL INSULATION, OUTLET MINIMUM 1" 2" OFF SLAB.
- BYPASS RETURNS TO MEET FLORIDA MECHANICAL CODE 601.4.
- DRYER NOTE: UL 2158 FOR TRANSMISSIONS, NO MORE THAN 200 CFM PER MANUFACTURER'S SPECS. ALL DRYERS MUST HAVE DAMPERS.
- PER F.M.C. 401.5 AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION RESISTANT SCREENS, LOUVERS OR GRILLES. OPENINGS IN LOUVERS, GRILLES AND SCREENS SHALL BE SIZED IN ACCORDANCE WITH TABLE 401.5 AND SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS. OPENINGS LOCATED IN EXTERIOR WALLS SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTIVES IN ACCORDANCE WITH THE F.B.C.

ALL ELECTRICAL FIXTURES, APPLIANCES, EQUIPMENT AND MECHANICAL EQUIPMENT ARE TO BE UL LISTED AND MARKED.

CONTRACTOR SHALL ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG EMPLOYEES. DO NOT EMPLOY ON WORK UNFIT PERSONS OR PERSONS NOT SKILLED IN ASSIGNED TASKS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION OF OWNER'S PROPERTY. CONTRACTOR WILL REPAIR OR REPLACE ALL DAMAGE ITEMS WITHOUT COST TO THE OWNER.

### PLAN NOTES:

- PROVIDE 1/2" P.T. FIRESTOP HORIZONTAL @ CEILING & WALL INTERSECTIONS OR 8'-0" OC VERT. MAX AND ALL OTHER LOCATIONS PER F.B.C. SECTION 705
- DRYWALL ATTACHMENTS MUST COMPLY WITH R441.4.6. GYPSUM WALLBOARD SHALL BE ATTACHED TO METAL MEMBERS BY SELF-DRILLING, SELF TAPPING SHEET METAL SCREWS. THE SPACING OF SCREWS ATTACHING TO GYPSUM WALLBOARD TO METAL STUDS AND RUNNERS, SHALL NOT BE MORE THAN 12 INCHES (305 MM) ON CENTER. SCREW FOR ATTACHING GYPSUM TO METAL STUDS SHALL NOT BE LESS THAN 7/8 INCH (22.2 MM) LONG FOR 1/2 INCH (12.7 MM) WALLBOARD OR 1 INCH (25.4 MM) LONG FOR 5/8 INCH (17.1 MM) WALLBOARD. SCREWS ATTACHING GYPSUM WALLBOARD SHALL BE DRIVEN BELOW THE SURFACE AND SPOTTED WITH FINISHING COMPOUND. RUNNERS SHALL BE FASTENED TO THE CEILING, CONTIGUOUS WALLS AND PARTITIONS AND TO THE FLOOR AT INTERVALS NOT EXCEEDING 24 INCHES (610 MM) ON CENTER. SUCH ATTACHMENT MAY BE BY NAILS PENETRATING THE BASE MATERIAL NOT LESS THAN 5/8 INCH (17.1 MM) OR BY SELF-DRIVING, SELF-TAPPING SHEET METAL SCREWS ATTACHING METAL TO METAL.
- WALL THE MUST COMPLY WITH R441.1.7.2.1. CERAMIC AND PORTLAND CEMENT WALL THE USED IN AREAS SUBJECT TO FREQUENT WEARING SHALL BE BACKED WITH MASONRY, STUCCO OR WIRE LATH OR APPROVED THE BACKER BOARD.
- PENETRATIONS THROUGH THE SEPARATIONS REQUIRED IN SECTION R309.2 SHALL BE PROTECTED BY FILLING THE OPENING AROUND THE PENETRATING ITEM WITH APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- ALL DIMENSIONS ARE TO FRAMING AND STRUCTURE, NOT FINISHED SURFACES.
- ALL SLEEPING ROOMS MUST COMPLY WITH R314. ALL ROOMS WILL HAVE (0) SMOKE DETECTOR INSIDE AND ONE IN THE IMMEDIATE VICINITY OUTSIDE.





# JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72nd AVENUE  
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MIAMI, FLORIDA 33126  
PH: (305) 262-0400  
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.  
SUITE 8  
CAPE CORAL, FL 33904  
PH: (239) 540-2660  
FAX: (239) 540-2664

## MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

1134 JEFFERSON STREET, HOLLYWOOD, FL 33019

### GRAPHIC SCALE



(IN FEET)

1 INCH = 20 FEET

### LOCATION SKETCH

SCALE = N.T.S.

### LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE NOTED.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE.
- DOES NOT EXTEND TO ANY UNNAMED PARTY.

### FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
FLOOD ZONE: "AE"  
BASE FLOOD ELEVATION: 7 FT.  
COMMUNITY: 125113  
PANEL: 0569  
SUFFIX: H  
DATE OF FIRM: 08/18/2014  
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

### SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NORTH AMERICAN VERTICAL DATUM OF 1988. NG5 BENCH MARK PID# AD2430. DESIGNATION: B 311; ELEVATION IS 1.68 FEET OF N.A.V.D. OF 1988.

### SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY & TOPOGRAPHIC SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: 11/12/2019

JOHN IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA  
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: \_\_\_\_\_  
REVISED ON: \_\_\_\_\_

DRAWN BY: DA

FIELD DATE: 11/12/2019

SURVEY NO: 19-005447-1

SHEET: 1 OF 1



### CERTIFICATION:

OLIVERIO RESIDENCE

### LEGAL DESCRIPTION:

THE WEST 1/2 OF LOT 22 AND ALL OF LOT 23, BLOCK 34, HOLLYWOOD "BY THE SEA" HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### ENCROACHMENT NOTES:

- NORTH SIDE OF THE SUBJECT PROPERTY, BRICK RETURN IS ENCROACHING INTO THE RIGHT OF WAY OF JEFFERSON STREET.
- WEST SIDE OF THE SUBJECT PROPERTY, NEIGHBOR'S CHAIN LINK FENCE IS ENCROACHING INTO THE SUBJECT PROPERTY.

### ABBREVIATIONS AND MEANINGS

A = ARC  
AC = AIR CONDITIONER PAD.  
A.C. = ANCHOR EASEMENT.  
AR = ALUMINUM ROOF.  
AS = ASPHALT.  
B.C. = BLOCK CORNER.  
B.C.R. = BROWARD COUNTY RECORDS.  
BLDG. = BUILDING.  
B.M. = BENCH MARK.  
B.O.B. = BASIS OF BEARINGS.  
B.S.L. = BUILDING SETBACK LINE.  
C = CALCULATED.  
C.B. = CATCH BASIN.  
C.B.S. = CONCRETE BLOCK STRUCTURE.  
CBW = CONCRETE BLOCK WALL.  
CH = CHORD.  
CH.B. = CHORD BEARING.  
CL = CLEAR.  
C.L.F. = CHAIN LINK FENCE.  
C.M.E. = CANAL MAINTENANCE EASEMENTS.  
CONC. = CONCRETE.  
C.P. = CONC. PORCH.  
C.S. = CONCRETE SLAB.  
C.U.P. = CONC. UTILITY POLE.  
C.W. = CONCRETE WALK.  
D.E. = DRAINAGE EASEMENT.  
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS.  
DRIVE = DRIVEWAY.  
E = DEGREES.  
E = EAST.  
EB = ELECTRIC BOX.  
E.T.P. = ELECTRIC TRANSFORMER PAD.  
ELEV. = ELEVATION.  
ENCR. = ENCROACHMENT.  
F.H. = FIRE HYDRANT.  
F.I.P. = FOUND IRON PIPE.  
F.I.R. = FOUND IRON ROD.  
F.F.E. = FINISHED FLOOR ELEVATION.  
F.N.D. = FOUND NAIL & DISK.  
FR = FRAME.  
FT = FEET.  
F.N.P. = FEDERAL NATIONAL INSURANCE.  
F.N. = FOUND NAIL.  
H. = HIGH (HEIGHT).  
I.C.V. = IRRIGATION CONTROL VALVE.  
I.F. = IRON FENCE.  
I.N.E. = INGRESS AND EGRESS EASEMENT.  
L.B. = Certificate of Authorization L.B.#7806.  
L.P. = LIGHT POLE.  
L.F.E. = LOWEST FLOOR ELEVATION.  
L.M.E. = LAKE MAINTENANCE EASEMENT.  
M. = MINUTES.  
M. = MEASURED DISTANCE.  
MB = MAIL BOX.  
M.D.C.R. = MIAMI DADE COUNTY RECORDS.  
M.E. = MAINTENANCE EASEMENTS.  
MON. = MONUMENT LINE.  
MH = MANHOLE.  
ML = MONUMENT LINE.  
N.A.P. = NOT A PART OF.  
NGVD = NATIONAL GEODETIC VERTICAL DATUM.  
N. = NORTH.  
N.T.S. = NOT TO SCALE.  
#NO. = NUMBER.  
OS = OFFSET.

O.H. = OVERHEAD.  
O.H.L. = OVERHEAD UTILITY LINES.  
O.R.B. = OFFICIAL RECORDS BOOK.  
OVH = OVERHANG.  
P.V.M.T. = PAVEMENT.  
PL = PLANTER.  
P.L. = PROPERTY LINE.  
P.C. = POINT OF CURVE.  
P.C.C. = POINT OF COMPOUND CURVE.  
P.T. = POINT OF TANGENCY.  
P.O.C. = POINT OF COMMENCEMENT.  
POS = POINT OF BEGINNING.  
P.R.C. = POINT OF REVERSE CURVE.  
P.D. = PLAT BOOK.  
PS = PAGE.  
P.W. = PARKWAY.  
PRM. = PERMANENT REFERENCE MONUMENT.  
P.L.S. = PROFESSIONAL LAND SURVEYOR.  
R. = RECORDED DISTANCE.  
RR = RAIL ROAD.  
RES. = RESIDENCE.  
PROP. COR. = PROPERTY CORNER.  
RW = RIGHT-OF-WAY.  
R.P. = RADIUS POINT.  
RGE = RANGE.  
SEC. = SECTION.  
STY. = STORY.  
SWK. = SIDEWALK.  
S.I.P. = SET IRON PIPE L.B. #7806.  
S.F. = SCREENED PORDI.  
S. = SOUTH.  
S. = SECONDS.  
T = TANGENT.  
TB = TELEPHONE BOOTH.  
T.U.E. = TECHNOLOGY UTILITY EASEMENT.  
TSB = TRAFFIC SIGNAL BOX.  
T.S.P. = TRAFFIC SIGNAL POLE.  
TWP = TOWNSHIP.  
UTL. = UTILITY.  
U.P. = UTILITY POLE.  
W.M. = WATER METER.  
W.F. = WOOD FENCE.  
W.R. = WOOD ROOF.  
W.M. = WATER METER.  
W.F. = WOOD FENCE.  
W.R. = WOOD ROOF.  
W.S. = WOOD SHED.  
W. = WEST.  
Δ = CENTER LINE.  
Δ = CENTRAL ANGLE.  
Δ = ANGLE.  
Δ = OVERHEAD UTILITY LINES.  
Δ = CONCRETE BLOCK WALL.  
Δ = CHAIN LINK FENCE.  
Δ = IRON FENCE.  
Δ = WOOD FENCE.  
Δ = BUILDING SETBACK LINE.  
Δ = UTILITY EASEMENT.  
Δ = LIMITED ACCESS RW.  
Δ = NON-VEHICULAR ACCESS RW.  
Δ = EXISTING ELEVATIONS.

RECEIVED

DEC 12 2019

CITY OF HOLLYWOOD  
PLANNING DIVISION

### TREE TABLE

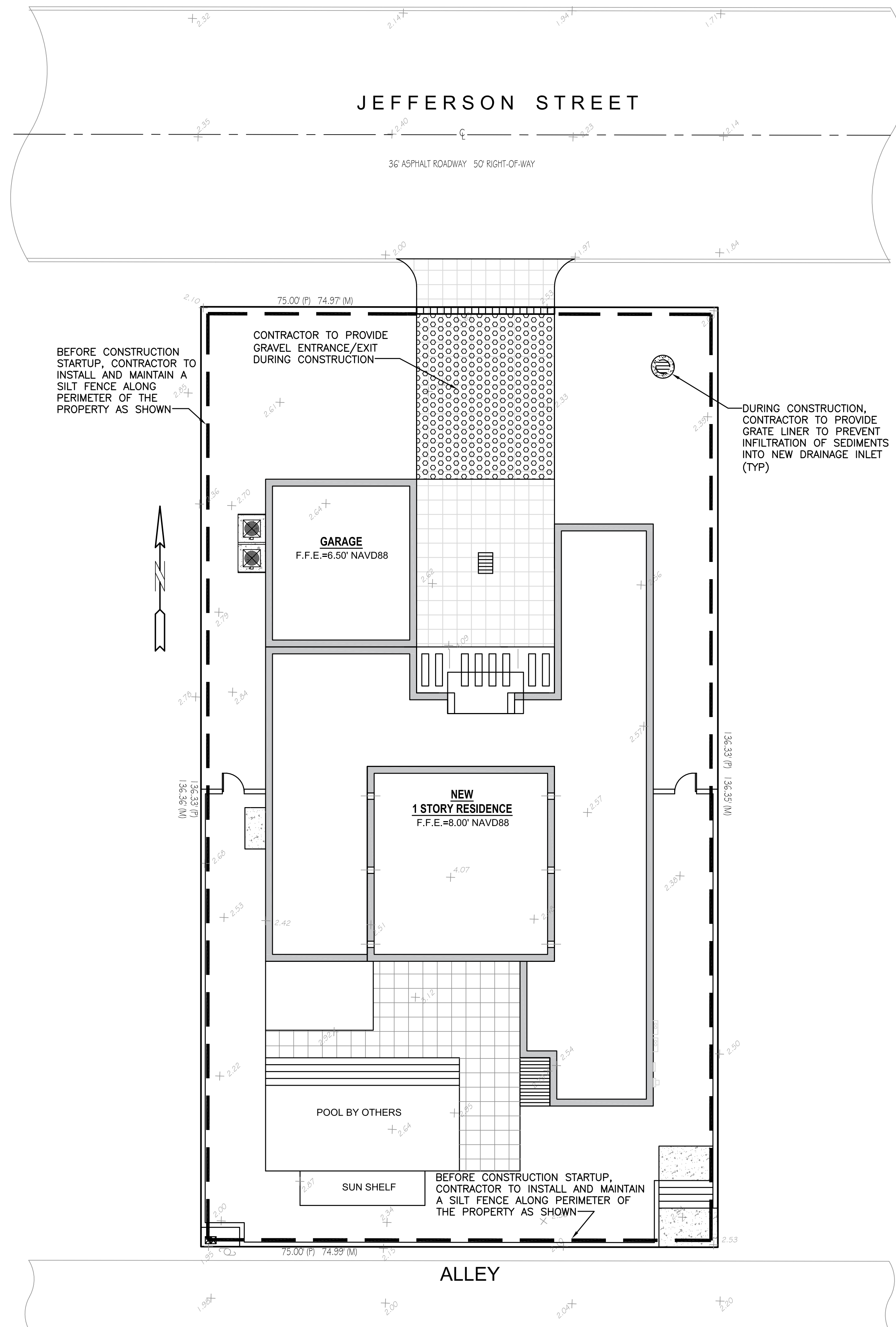
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	PALM	1.20	25	17
2	PALM	1.40	25	17
3	PALM	1.20	25	17
4	ARECA PALM	2.00	22	15
5	ARECA PALM	2.00	22	15
6	PALM (3)	0.40	14	12
7	PALM (3)	0.40	14	12
8	PALM (3)	0.40	14	12
9	PALM (2)	0.40	20	10
10	PALM	0.30	17	8
11	PALM (4)	0.40	25	13
12	UNKNOWN	0.50	13	15
13	PALM	1.40	50	15
14	PALM	0.25	25	8
15	PALM (4) GROUP	0.25	25	8
16	PALM (4) GROUP	0.30	30	8
17	PALM (4) GROUP	0.30	30	8
18	PALM (2)	0.30	30	8
19	PALM (2)	0.30	20	8
20	PALM	0.30	20	8
21	PALM	0.25	18	6
22	PALM	0.25	18	6
23	PALM	0.25	18	6
24	PALM	0.25	18	6
25	PALM	0.25	18	6
26	PALM	0.25	18	6
27	PALM	0.25	18	6
28	PALM	0.25	18	6
29	PALM	1.20	25	17













ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM

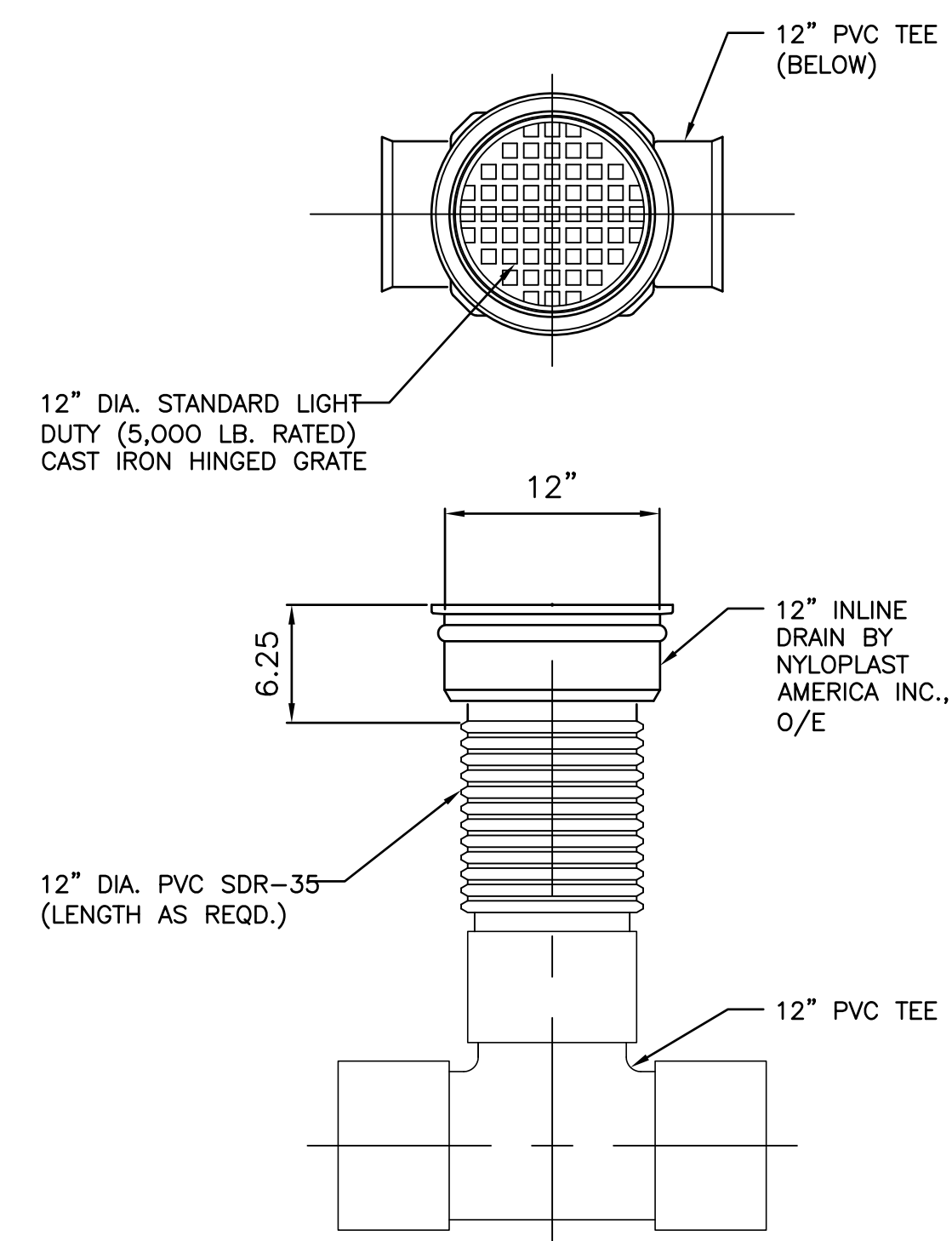
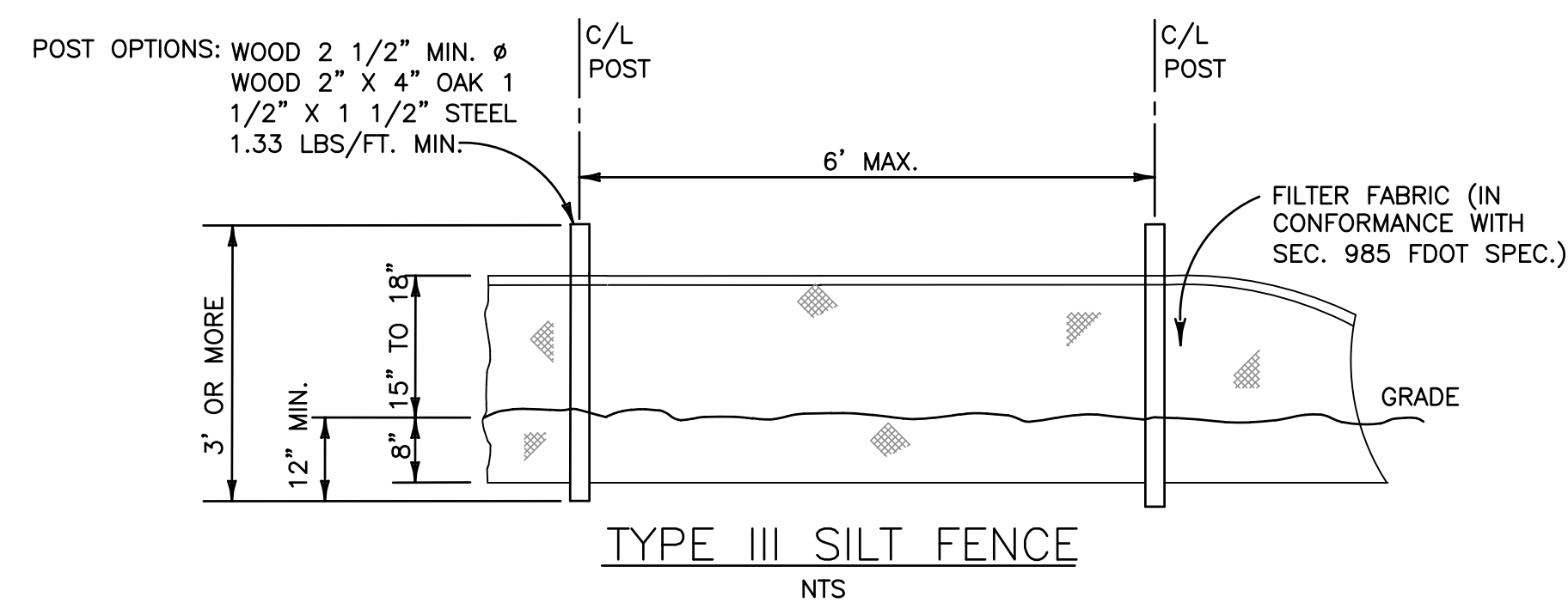
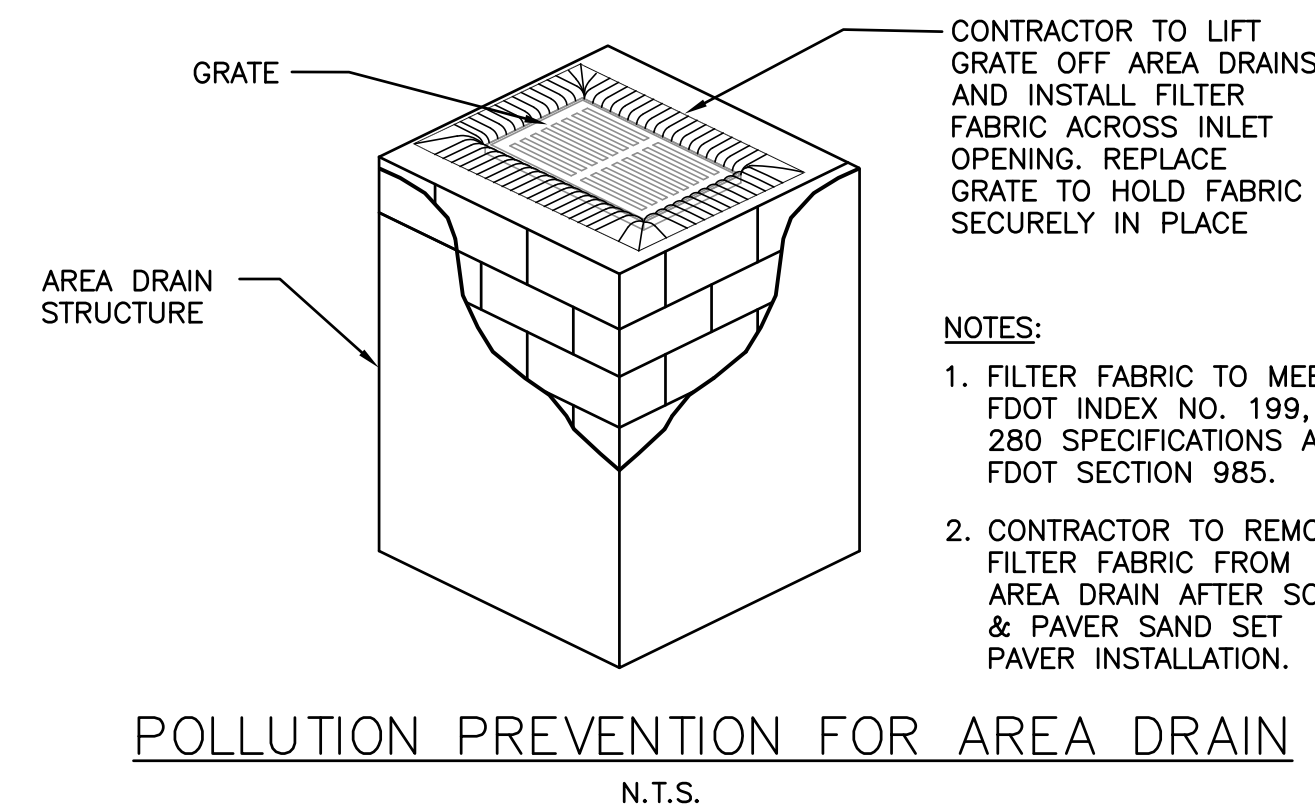


## LEGEND

- |   |                      |
|---|----------------------|
|  | PROPOSED CONCRETE    |
|  | PROPOSED GRADE       |
|  | EXISTING ELEVATION   |
|  | PROPOSED AREA DRAIN  |
|  | PROPOSED WATER METER |
|  | PROPOSED BFP DEVICE  |

## BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.



## EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'

[illegible]

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.

W  
N

NEW SINGLE FAMILY RESIDENCE  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33020

P.E.#:76036

DATE: 12/09/19

SCALE: 1"=10'

SHEET NO.:

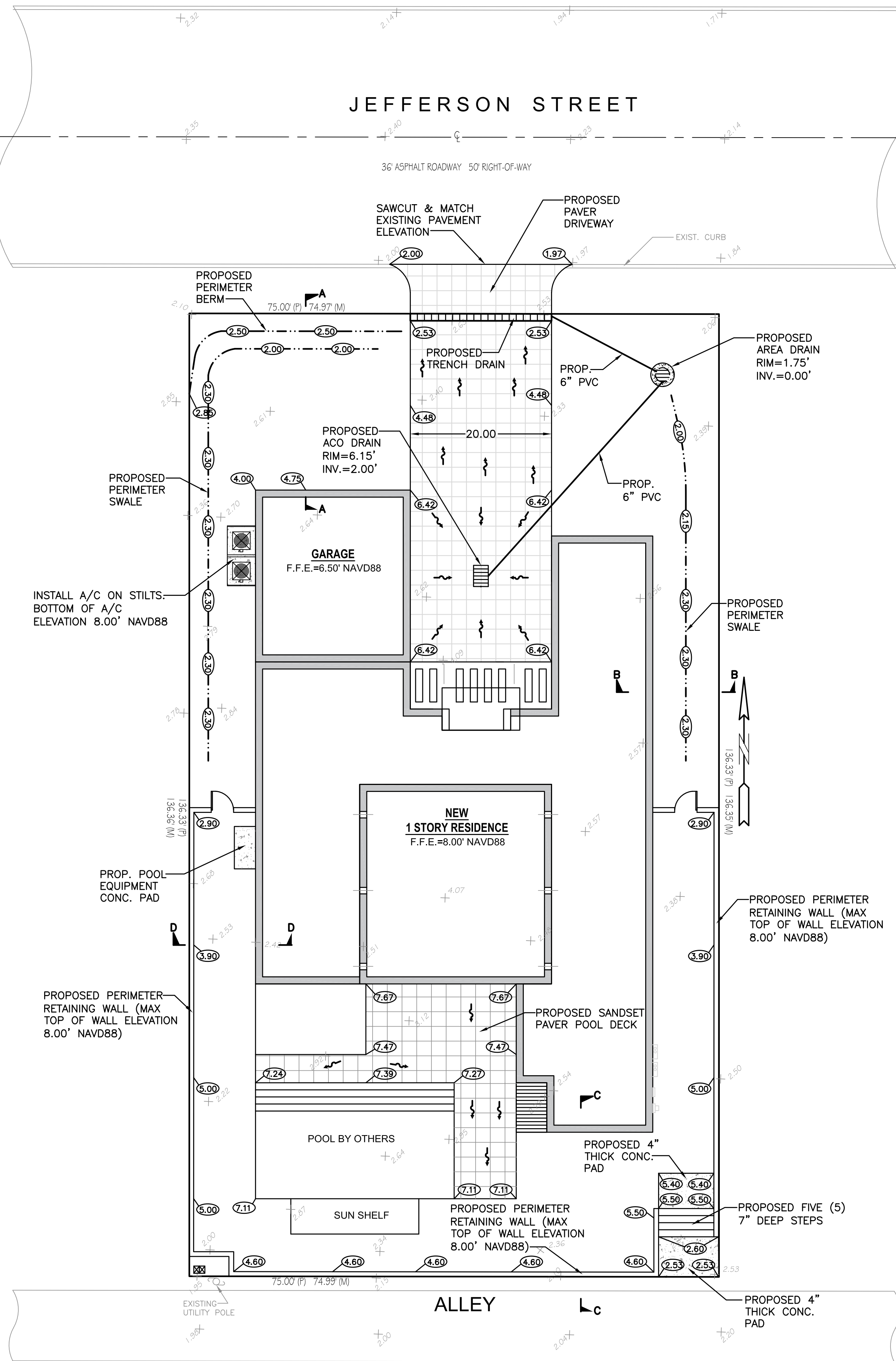
C1

1 OF 3

PROJECT NO.: 19-55



ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM



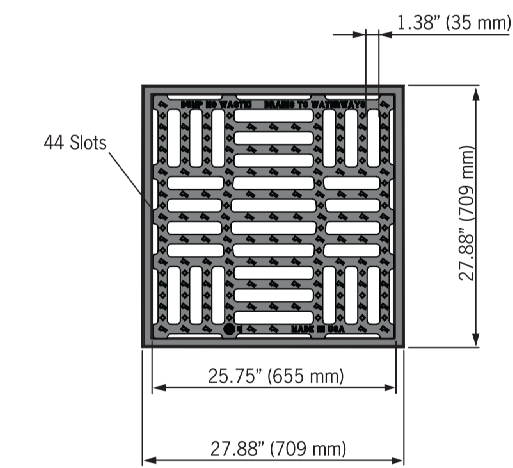
### LEGEND

- PROPOSED CONCRETE
- PROPOSED GRADE
- EXISTING ELEVATION
- PROPOSED AREA DRAIN
- PROPOSED WATER METER
- PROPOSED BFP DEVICE

### ACO DRAIN

#### 2x2 Polyester polymer concrete catch basin

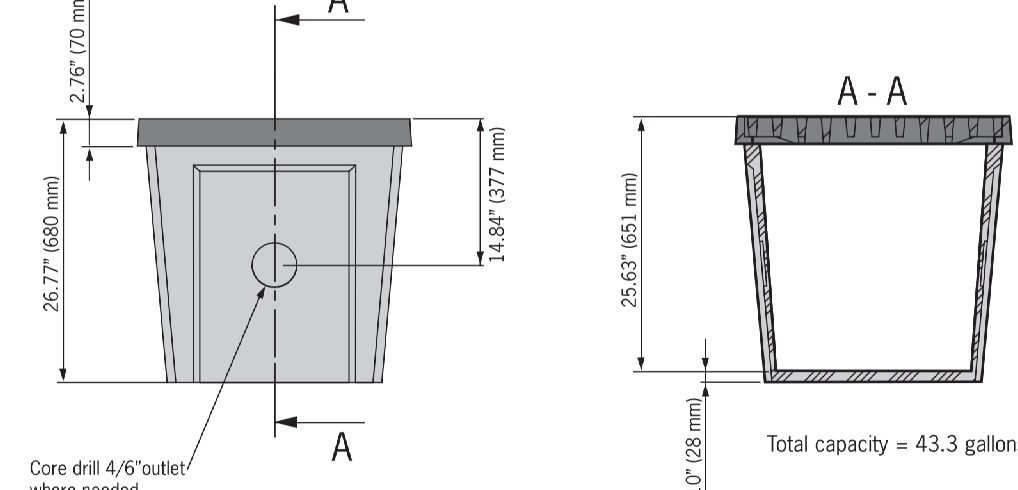
##### Grate



- Grate is classified as 'Heavy Duty' and meets the requirements of AASHTO M306.
- Grate provides 48% open area - 318 sq. in.

\*AASHTO M306 requires that castings bear a minimum of 40,000 pounds on a 9" x 9" area. This represents a 2.5 safety factor over the 16,000 pound requirement of H20 and HS20. This load designation is appropriate for general traffic applications. Loading criteria is 40,000 - 100,000 pounds.

##### Base



### ACO DRAIN

#### 2x2 Polyester polymer concrete catch basin

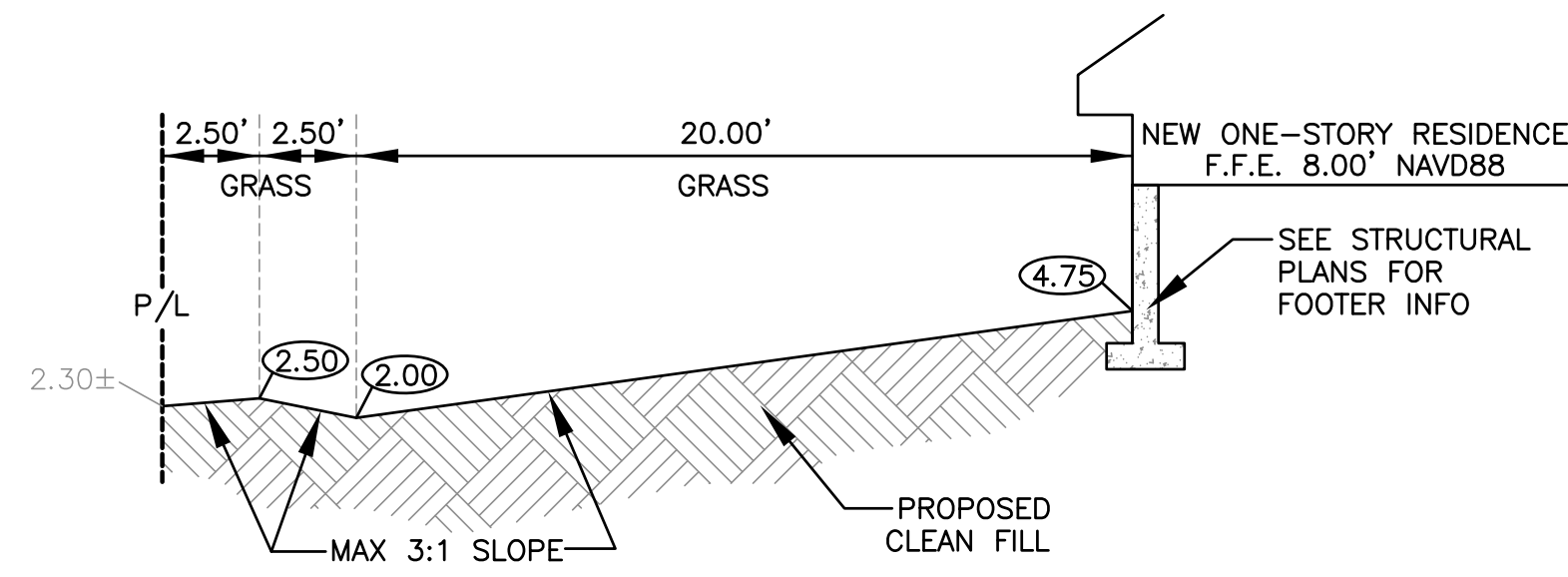
Description	Part No.	Invert Depth inches	mm	Weight lbs.
2x2 Catch Basin - Polyester polymer concrete	05719	25.63	651	192.0
Grey iron frame & slot grate	05720	-	-	191.0

- Part I - General**
- Related Work** - Work specified in other sections includes but is not limited to: Excavation and backfill, cast-in-place concrete, and mechanical equipment.
  - System Description** - 2 x 2 Catch basin manufactured from polyester polymer concrete, complete with gray iron slotted grates.
  - Submittals** - Manufacturer will submit, when required, shop drawings showing schematic plan of total drainage system listing all parts being provided with exact center-line dimensions suitable for installation. Copies of the manufacturer's recommended method of installation shall be submitted for review.
  - Project History** - Manufacturer shall submit a list of installed projects, if required.
  - Warranty** - ACO provides a limited product warranty of one year based on installation according to manufacturer's installation instruction data.
- Part II - Product**
- Products** - Manufacturer shall be ACO, Inc.
  - Physical & Mechanical Characteristics**
    - Overall width - 27.87 inches (708mm)
    - Overall length - 27.87 inches (708mm)
    - Overall depth - 26.77 inches (680mm)
    - Invert depth - 25.63 inches (651mm)
    - Compressive strength - 4,000 psi
    - Flexural strength - 4,000 psi
    - Water absorption rate - <0.1% by weight
  - Box Profile** - Pre-cast units shall be manufactured with drill-outs for channel and pipe connections and have a wall thickness of at least 0.75" (19mm).
  - Grates** - Grates are slotted gray iron. After removal of grates there shall be uninterrupted access to the catch basin to aid maintenance.
- Part III - Installation**
- Excavation** - Identify area for install. Full concrete encasement is required, encasement area large enough to fit catch basin plus a minimum of 6" of concrete on all four sides and base. Engineering advice should be sought as ground conditions may require additional concrete support.
  - Outlet Connections** - Each box has several drill-outs, which when removed, allow pipe to be connected to catch basin. Drillouts are guides & openings that can be positioned where required.
  - Connection of channels** - Catch basin can be used within a channel run. Remove sidewall to suit channel profile.
  - Back Fill** - Hunch around catch basin & backfill with concrete of 4,000 psi minimum strength. Finish concrete to 1/8" above required grate height.
  - Install in strict accordance with manufacturer's recommendations & drawings. Details available at [www.ACOdrain.us](http://www.ACOdrain.us).**

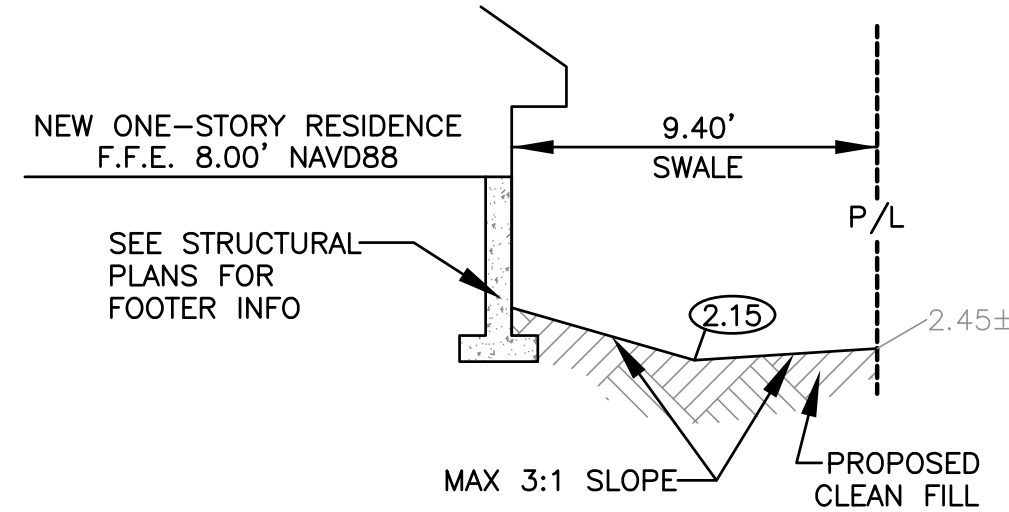
ACO, Inc.

<b>Northeast Sales Office</b> 9470 Pinecone Drive Mentor, OH 44060 Tel: (440) 639-7230 Toll Free: (800) 543-4764 Fax: (440) 639-7235	<b>West Sales Office</b> 825 W. Beechcraft St. Casa Grande, AZ 85122 Tel: (520) 421-9988 Toll Free: (888) 490-9952 Fax: (520) 421-9989	<b>Southeast Sales Office</b> 4211 Pleasant Road Fort Mill, SC 29708 Tel: (803) 543-4764 Toll Free: (803) 802-1063	<b>Electronic Contact:</b> <a href="mailto:info@acodrain.us">info@acodrain.us</a> <a href="http://www.acodrain.us">www.acodrain.us</a>
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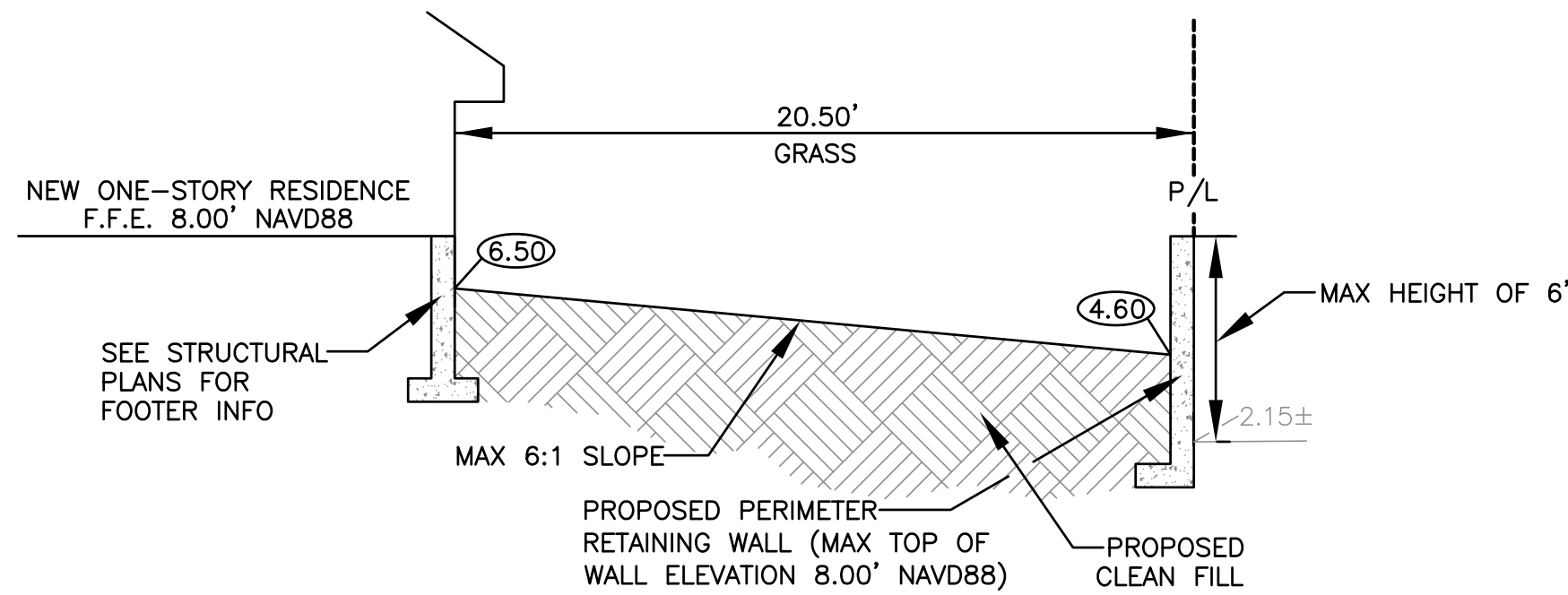
© April 2018 ACO, Inc. This information is intended to be accurate but is not guaranteed to be so. We cannot assume liability for results that occur when using our product under conditions of use not covered by the terms of this document. It is the customer's responsibility to evaluate suitability and safety of product for its own use. ACO, Inc. reserves the right to change the product and specifications without notice. v1.2.0



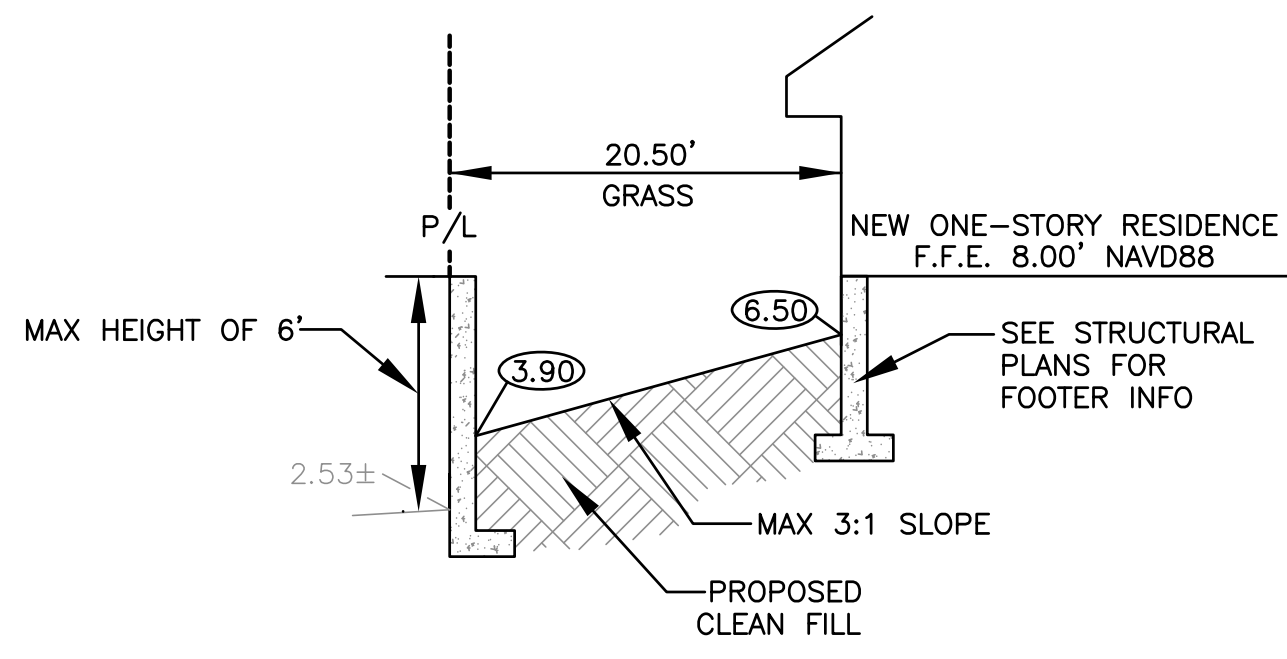
SECTION A-A  
N.T.S.



SECTION B-B  
N.T.S.



SECTION C-C  
N.T.S.



SECTION D-D  
N.T.S.

### REVISIONS

NO.	DATE	DESCRIPTION

### ZEPHYR ENGINEERING

WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
[wzephyr@gmail.com](mailto:wzephyr@gmail.com)  
CA#: 31158

# ZE

NEW SINGLE FAMILY RESIDENCE  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33020

P.E.#: 76036

DATE: 12/09/19

SCALE: 1"=10'

SHEET NO. C2

2 OF 3

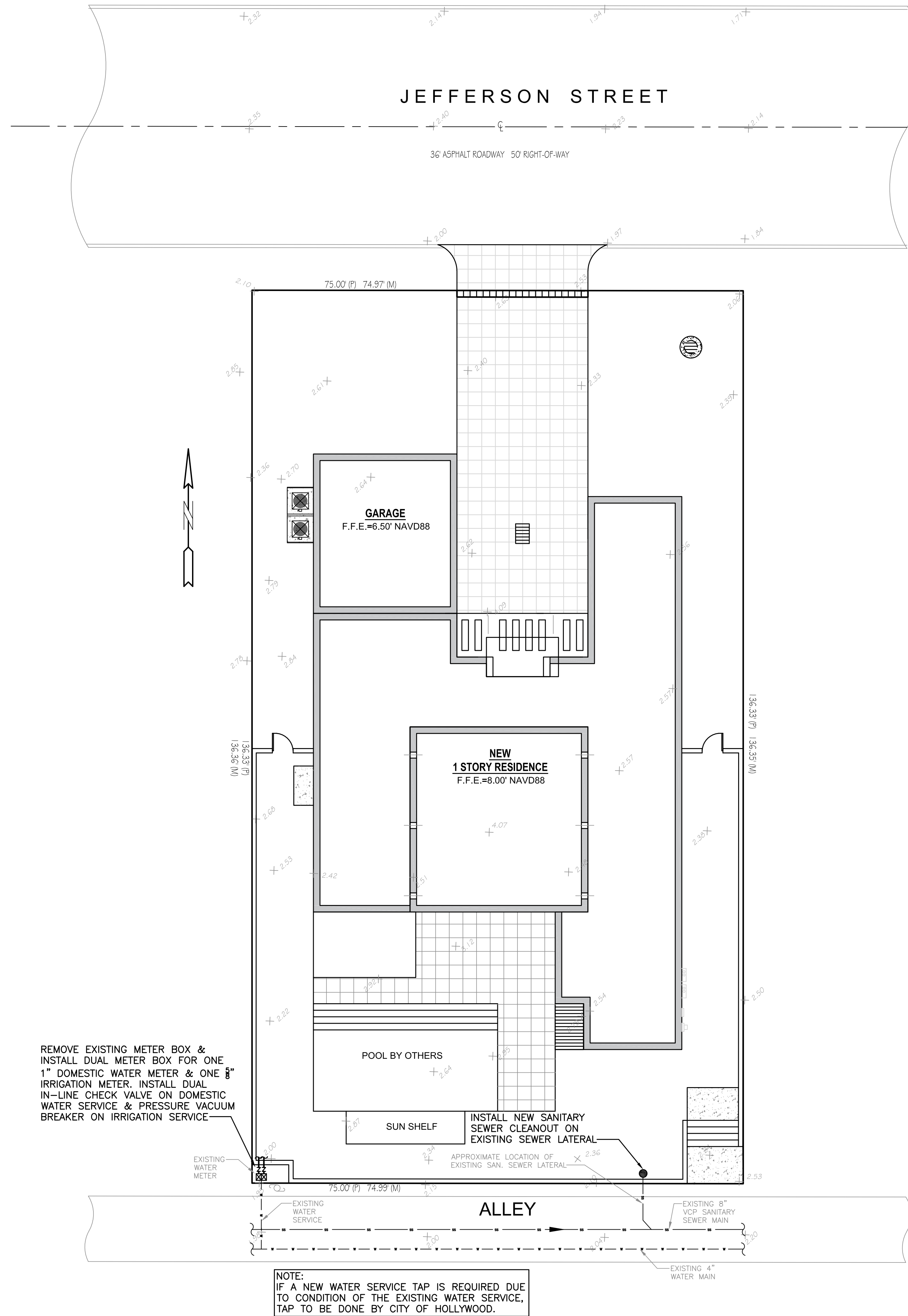
PROJECT NO.: 19-55

### PAVING, GRADING & DRAINAGE PLAN







SCALE: 1"=10'



ALL ELEVATIONS ARE REFERENCED  
TO NAVD88 VERTICAL DATUM

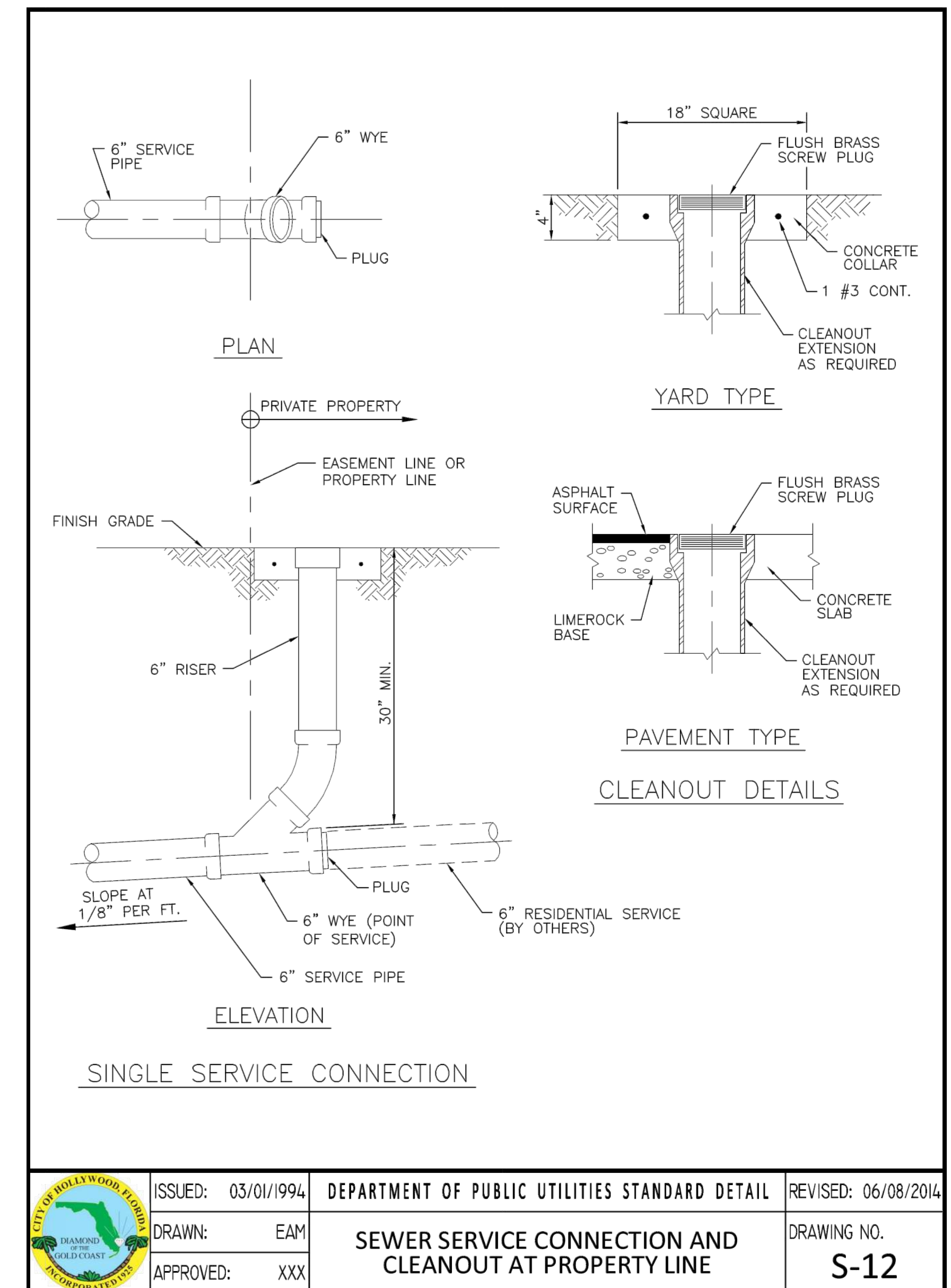


## LEGEND

- |   |                      |
|---|----------------------|
|  | PROPOSED CONCRETE    |
|  | PROPOSED GRADE       |
|  | EXISTING ELEVATION   |
|  | PROPOSED AREA DRAIN  |
|  | PROPOSED WATER METER |
|  | PROPOSED BFP DEVICE  |

## WATER & SEWER PLAN & DETAILS

SCALE: 1"=10'

[illegible]

**ZEPHYR ENGINEERING**  
WILFORD ZEPHYR, P.E.  
HOLLYWOOD, FL  
(786) 302-7693  
wzephyreng@gmail.com  
CA #. 31158

UN

1134 JEFFERSON STREET  
HOLLYWOOD, FL 33020

E.#:76036

DATE: 12/09/19

SCALE: 1"=10'

**SHEET NO.:** \_\_\_\_\_

C3

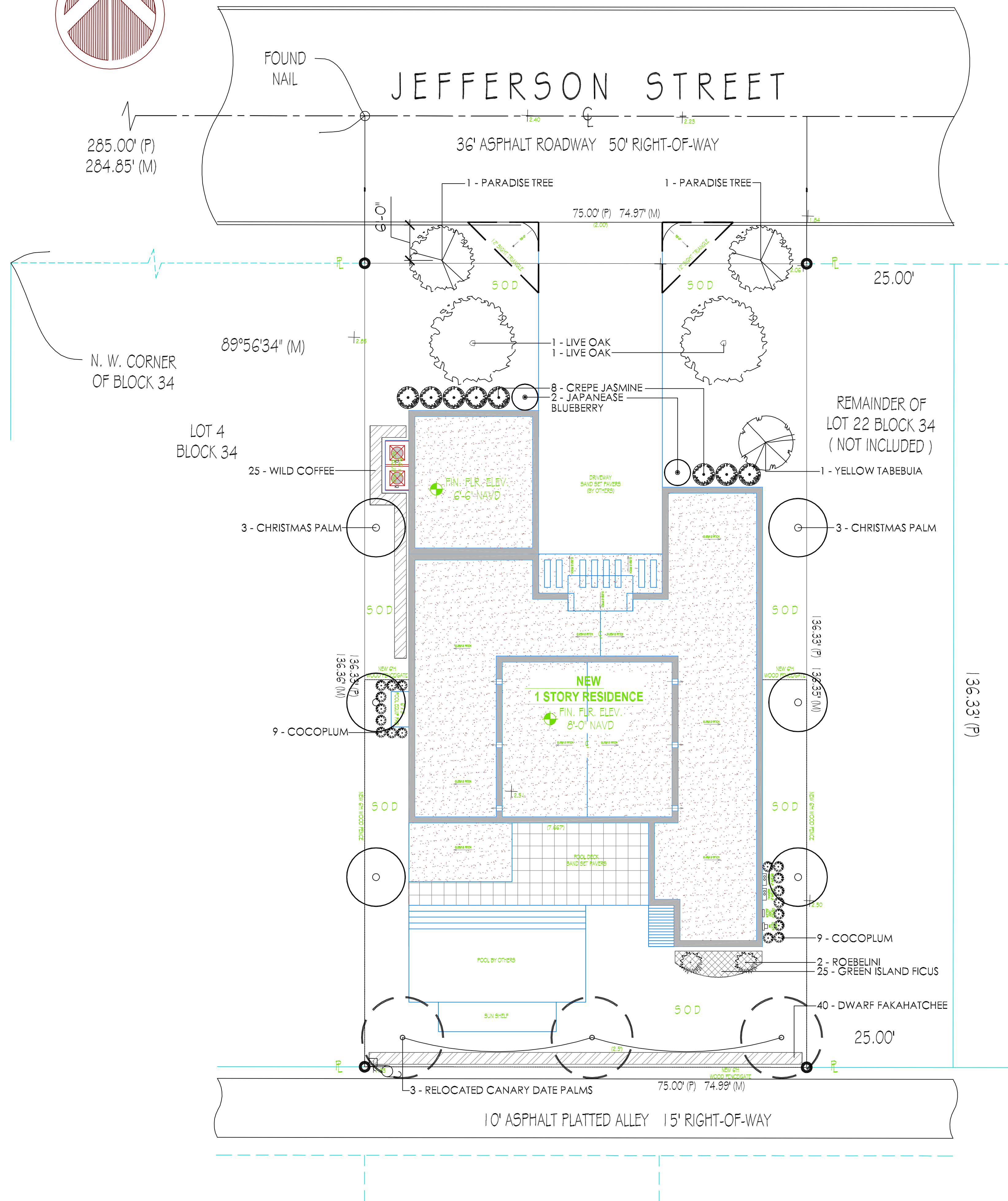
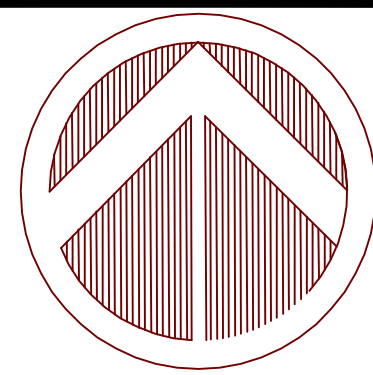
3 OF 3

PROJECT NO.: 19-55

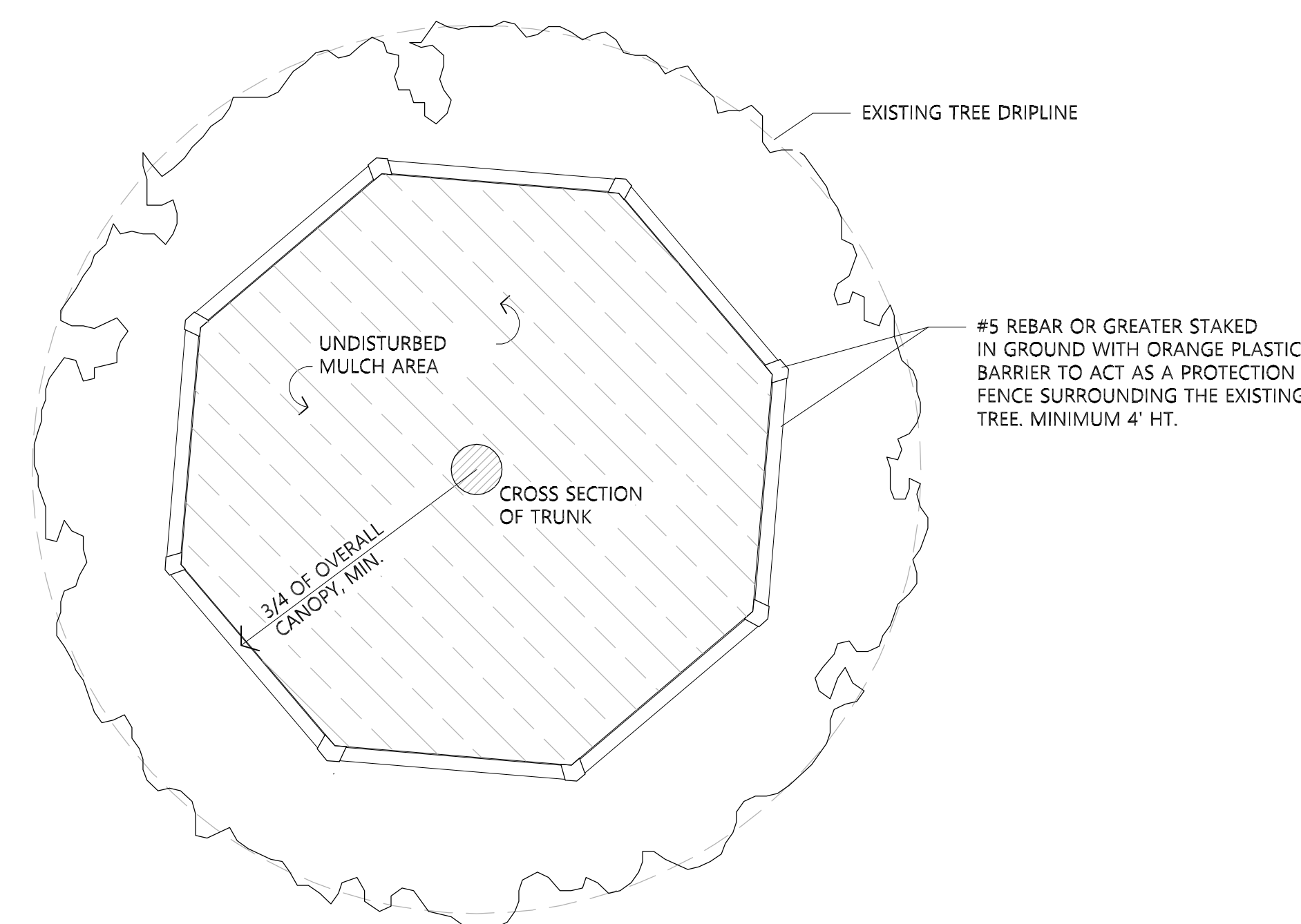








PLANT LIST			
			** DENOTES NATIVE / DROUGHT TOLERANT
QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION
TREES			
2	Quercus virginiana **	Live Oak	14' ht. x 7' spr. 3" Cal.
1	Tabebuia caraiba	Yellow Tabebuia	12' ht. x 6' spr.
2	Phoenix roebelenii	Pygmy Date Palm	4-5' oa ht, Triple Trunk
6	Adonidia merrillii	Christmas Palm	6' ct ht., Double Trunk
2	Simarouba glauca **	Paradise Tree	12' ht. x 6' spr. - Street/Swale Tree
3	Phoenix canariensis	Canary Island Date Palm	5' ct ht - Existing to be relocated on site
SHRUBS & GROUNDCOVERS			
2	Elaeocarpus decipiens	Japanese Blueberry	7g., 3-4' oa ht., Topiary / Pyramid Full to Base
40	Tripsacum floridanum **	Dwarf Fakahatchee Grass	3g, 36" o.c.
8	Tabernaemontana divaricata	Crepe Jasmine	7g., 36" o.c.
25	Psychotria nervosa **	Wild Coffee	3g., 24" o.c.
18	Chrysobalanus icaco **	Cocoplum	3g., 24" o.c.
25	Ficus microcarpa	Green Island Ficus	3g., 24" o.c.
SOD - 3,258 SF	Stenotaphrum secundatum 'Palmetto'	Palmetto Sod	Weed free, stagger joints
7 Trees - 4 Native/Drought Tolerant = 57% Native/Drought Tolerant			
118 Shrubs/Groundcovers - 83 Native/Drought Tolerant = 70% Native/Drought Tolerant			
Palmetto Sod 3,258 sf = 79% of 4,105 sf Green Space			



TREE PROTECTION DETAIL



LANDSCAPE PLANTING NOTES

1.

Contractor shall field verify all information prior to initiating planting installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
2.

Prior to construction, the Contractor is responsible for locating all underground utilities and shall avoid damage to all utilities during construction. Should the Contractor cause damage to any utilities, he/she shall make necessary repairs as quickly as practicable.
3.

The Contractor is responsible for maintaining in full all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, by the Owner and Landscape Architect.
4.

All plants must be healthy, vigorous material, free of pests and Disease. All plant material shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants", published by the Florida Department of Agriculture and Consumer Services. Plant materials shall in some instances exceed No. 1 grade in order to meet the minimum requirements of this project.
5.

Contractor shall be responsible for plants meeting specification as noted prior to installation. Contractor shall immediately remove all plant material that does not conform to specifications.
6.

All container sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
7.

All rootballs shall conform to the size standards set forth in "American Standards for Nursery Stock".
8.

Contractor to submit to the Landscape Architect the Grower's and/or state inspection certificate for plant material one week before commencement of work.
9.

Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Landscape Architect.
10.

Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
11.

Contractor shall refer to the landscape planting details, plant list, general notes and the specifications for complete landscape planting instructions.
12.

Guying / staking practices shall not permit nails, screws, wires etc., to penetrate outer surface of tree or palm. Trees or palms rejected due to this practice shall be replaced with inspector on site.
13.

Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one - half (1/2) of root ball.
14.

Trees grown in grow bags or grow bag type material must have the grow bag REMOVED ENTIRELY prior to planting .
15.

All plant material shall be protected during transport and delivery to job site with shade cloth or other acceptable means of windburn prevention.
16.

All trees must be straight trunked, full headed, and meet all requirements specified.
17.

All trees must be guyed or staked as shown in the details.
18.

All plant material shall be installed in a sound, workman-like manner and according to accepted good planting procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
19.

Contractor shall mulch all plant material throughout and completely to a 3" depth with clean, weed free Eucalyptus mulch.
20.

Contractor shall assure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drain- age conditions.
21.

Contractor to guarantee plant material for a period of 12 months after date of substantial completion. The guarantee begins over for plants replaced during the original guarantee.
22.

Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the Owner and Landscape Architect shall declare the project Substantially complete constitutes the beginning of guarantee period.
23.

Contractor to replace rejected plant material within two(2) weeks of notice.
24.

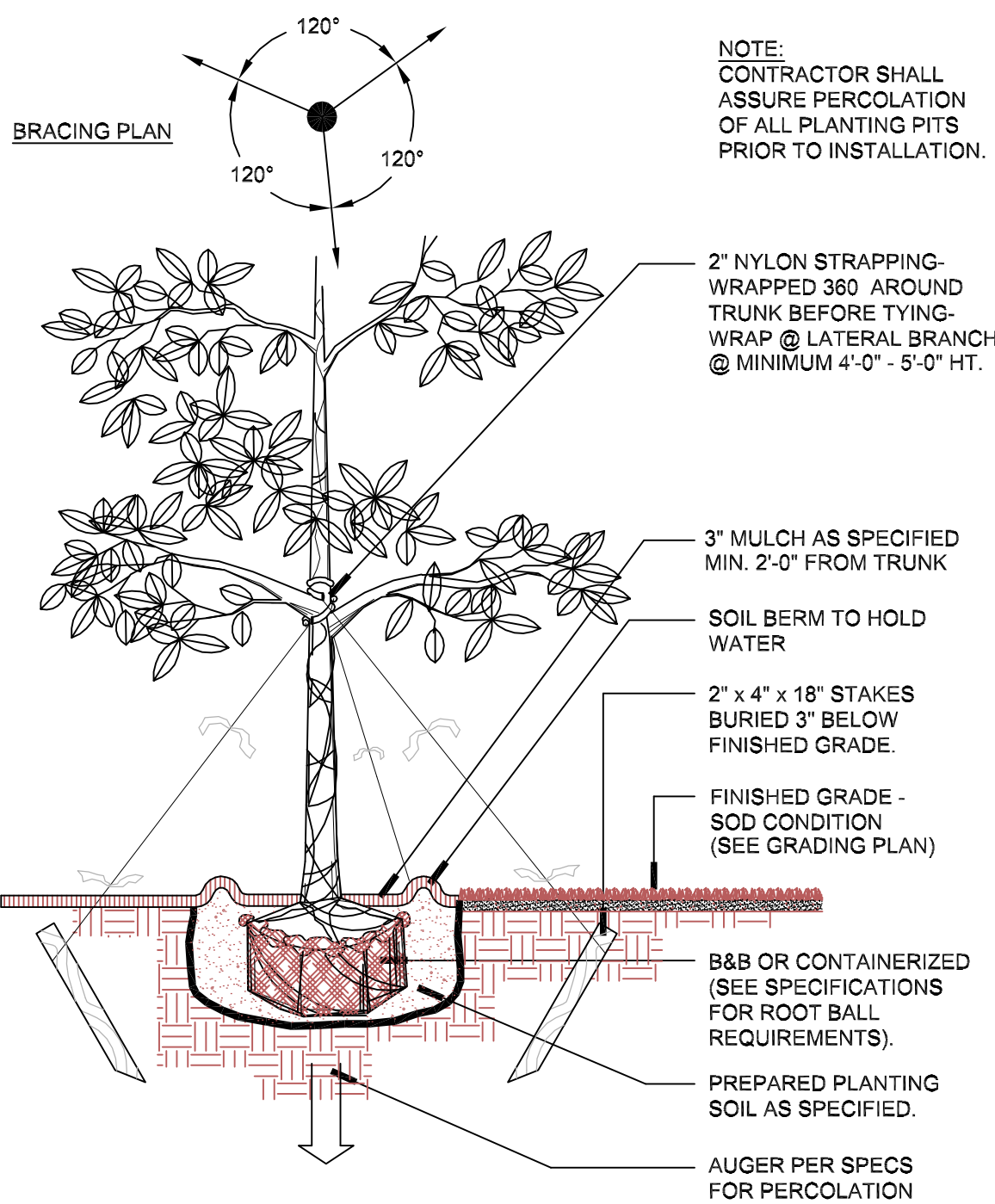
Contractor shall remove all staking of trees after 12 months from time of installation.
25.

Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Specifications" on the plant list.
26.

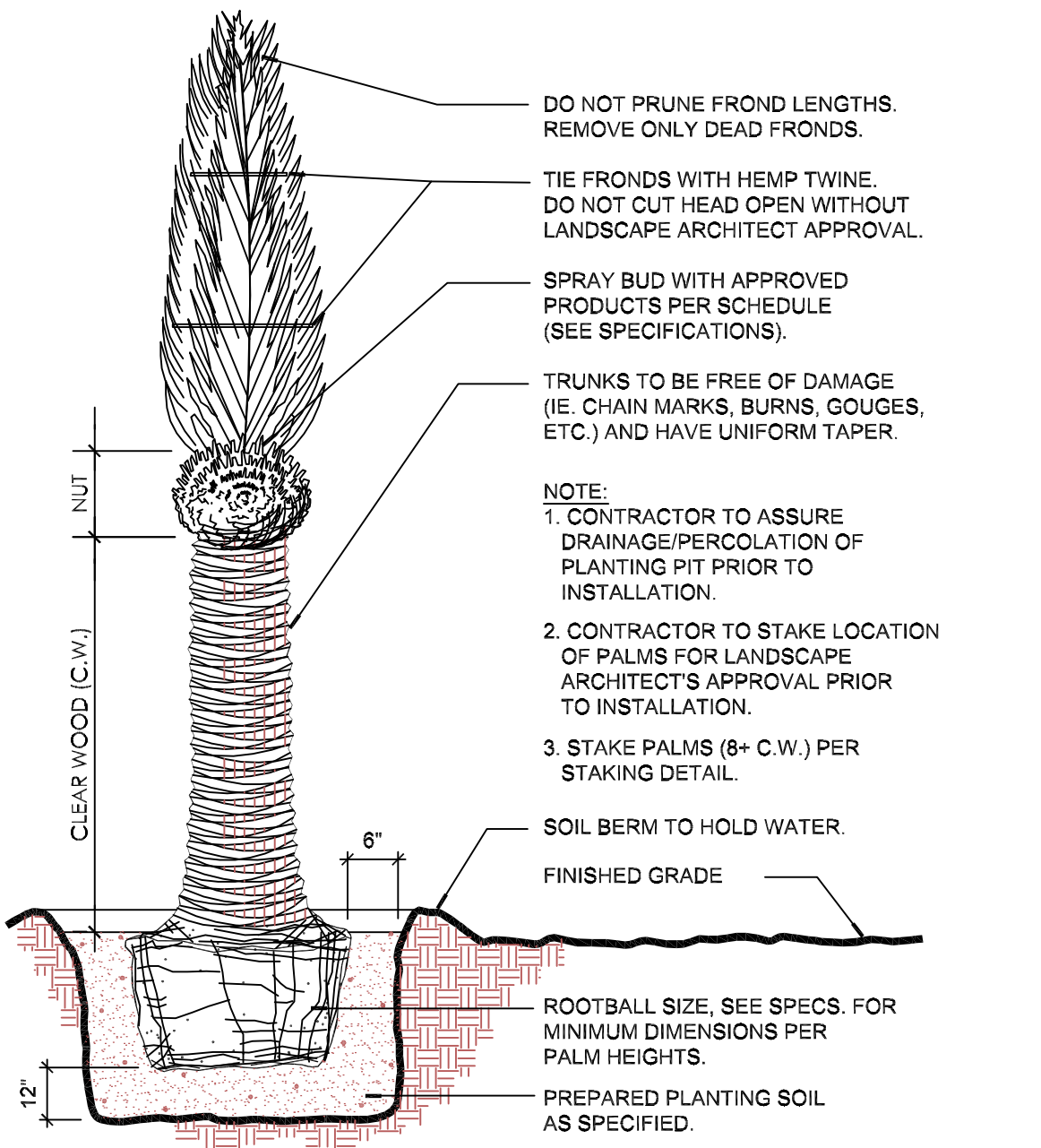
Fertilization: All plantings shall be properly fertilized at installation with at least a minimum of 25% organic 6-6-6, time release, with trace elements or better.
27.

Landscaping shall be maintained in a good condition so as to present a healthy, neat and orderly appearance at least equal to the original installation and shall be mowed or trimmed in a manner and at a frequency so as not to detract from the appearance of the general area.
28.

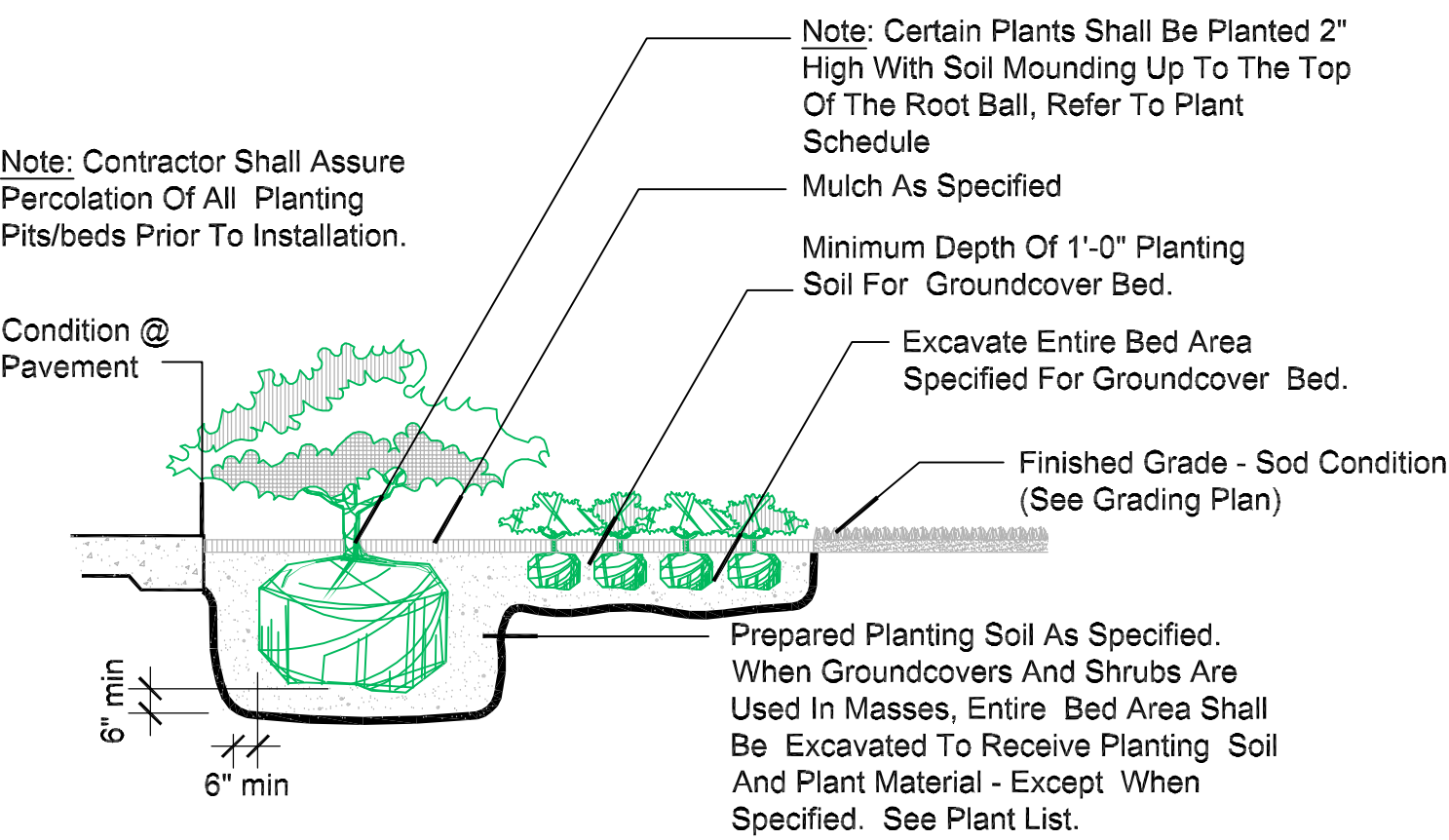
Irrigation system shall be automatic with water from municipal or reclaimed source. System shall deliver 100% coverage with 50% overlap, and shall be equipped with an automatic rain shut-off switch, unless otherwise instructed.



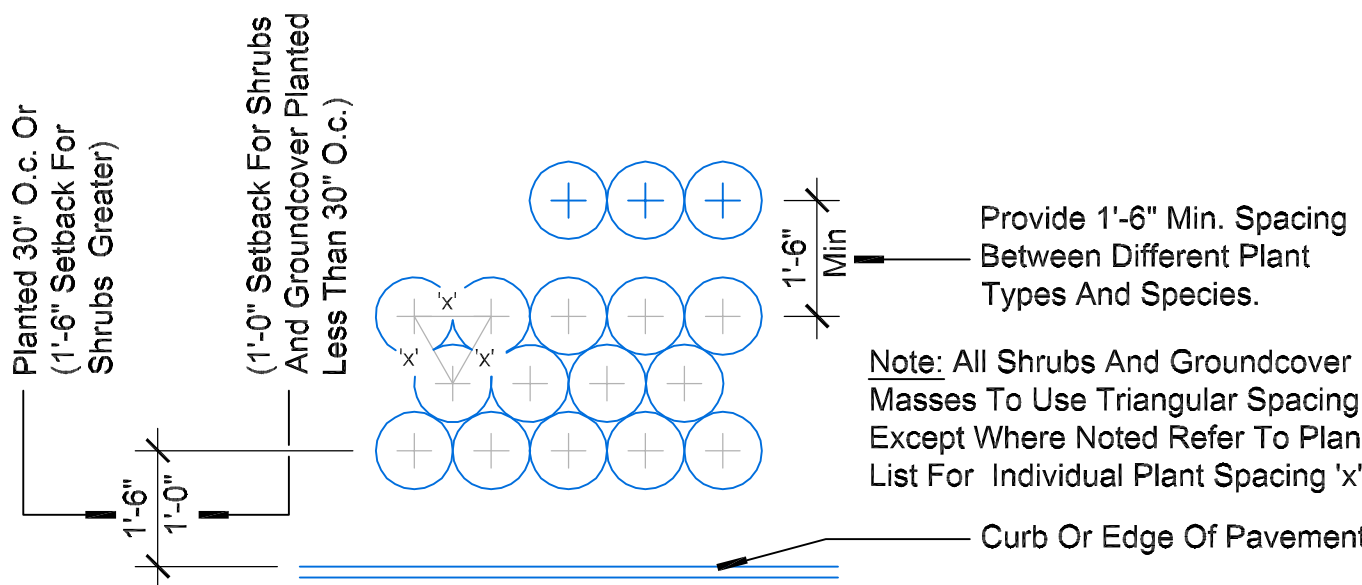
1 LARGE TREE  
SECTION  
ILTRDET.DWG  
NOT TO SCALE



2 DATE PALM  
SECTION  
C102A132.DWG  
SCALE: 1"=1'-0"



3 Shrub And Groundcover Detail  
Section  
Not To Scale



4 Typical Plant Spacing Detail  
Plan  
Not To Scale

SOIL PREPARATION AND SOIL MIX

1.

Apply Roundup (manufactured by Monsanto Corp.) according to manufacturer's rate and specification within limits of all areas to be planted. Protect existing plants to remain from overspray or spray within root zone. Contractor to ensure total weed eradication.
2.

Before replacing topsoil, rake subsoil surface clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material.
3.

Scarify subsoil to a depth of three inches(3").
4.

Contractor to apply "Surflan" or approved pre-emergent herbicide in accordance with manufacturer's rate and specifications.
5.

Landscape Contractor shall be responsible for confirming all planting soil types and specifications with Landscape Architect prior to bid. Contractor to submit laboratory soil tests of the soil mixture for approval by Landscape Architect.
6.

Florida peat shall be free of deleterious materials that would be harmful to plant growth, shall be free of nematodes, shall be of uniform quality and shall have a pH value between 5.3 and 6.5 (as determined in accordance with ASTM E70). Florida peat shall be sterilized to make free of all viable nut grass and other undesirable weeds.
7.

Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil. It shall be free of stones, lumps, live plants an their roots, sticks, and other extraneous matter. Spread topsoil mixture to minimum depth of 2" through- out all sod areas and 12" in all shrub and groundcover beds. Remove all rocks and other objects over 1" in diameter.
8.

Smooth all soil mixture to four inches(4") below top of surrounding pavement edges.
9.

Smooth topsoil mixture to two inches(2") below finish grade in areas to be sodded.
10.

Topsoil shall not be extremely acid or alkaline, nor contain toxic substances which may be harmful to plant growth. The topsoil pH shall be in the range of pH 5.5 to 6.5. If necessary, the Contractor shall apply the appropriate soil amendments adjusting soil pH to assure a pH range of 5.5 to 6.5.
11.

Finish grade all topsoil areas to a smooth, even surface, assuring positive drainage away from the structures and eliminate any low areas which may collect water.
12.

Contractor to remove debris and excess material immediately from job site.
13.

Minimum topsoil (approved plant mix) for shrubs and groundcover is 12" depth.
14.

The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests to be submitted to the Landscape Architect for approval.

note-no-cuts

48 HOURS BEFORE DIGGING

BROWARD PALM BEACH INDIAN RIVER

ST. LUCIE MIAMI-DADE COUNTIES

CALL TOLL FREE

1-800-432-4770

SUNSHINE STATE 1 CALL

UNDERGROUND UTILITIES

NOTIFICATION CENTER

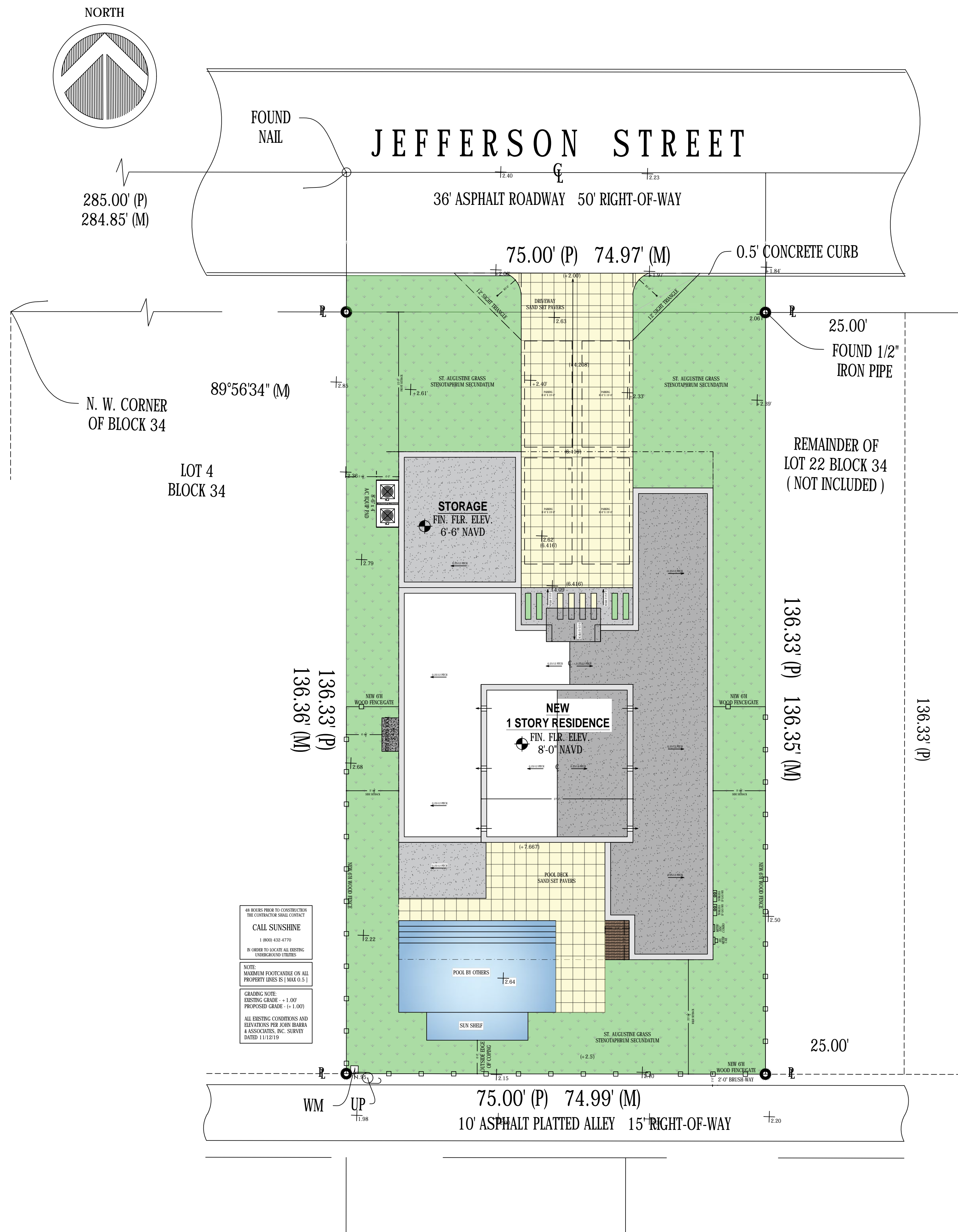


## ZONING DATA TABLE

ADDRESS OF PROPERTY:	1134 JEFFERSON STREET HOLLYWOOD, FL 33019	
ZONING CLASSIFICATION:	ZONED RS-6	
LAND USE:	LOW RESIDENTIAL (LRES)	
HISTORIC DESIGNATION:	HMPRL0D-1	
TOTAL LOT AREA	10,225 SQ. FT. = 0.23 ACRES	
NET LOT AREA	10,225 SQ. FT. = 0.23 ACRES	
SETBACKS:		
FRONT YARD	25 FT.	
SIDE YARD	7.5 FT.	
REAR YARD	20.45 FT.	15% OF LOT DEPTH
MAX. BUILDING HEIGHT	30 FT.	NOT TO EXCEED 2 STORIES
PERVIOUS AREA:		
REQUIRED		
FRONT YARD	375 SQ. FT.	20% OF SETBACK
TOTAL YARD	4,090 SQ. FT.	40% OF NET SITE
PROVIDED		
FRONT YARD	1,375.63 SQ. FT.	73.36% OF SETBACK OK
TOTAL YARD	4,203.32 SQ. FT.	41.11% OF NET SITE OK
BUILDING HEIGHT:		
MAXIMUM		
BUILDING HEIGHT	30 FT.	NOT TO EXCEED 2 STORIES
PROVIDED		
BUILDING HEIGHT	20 FT.	OK
PARKING REQUIREMENTS: 2 / 1ST 2,000 S.F. + 1 / 500 ADDITIONAL W/MAX OF 5		
REQUIRED		
3,008.75 SQ. FT.	4 SPACES	@ 8.5' X 19' / SPACE
PROVIDED		
3,008.75 SQ. FT.	4 SPACES	@ 8.5' X 19' / SPACE
SQUARE FOOTAGE:		
UNDER A/C		
FIRST FLOOR	3,008.75 SQ. FT.	
NON - A/C		
GARAGE	535.3 SQ. FT.	
COVERED ENTRY	160.4 SQ. FT.	
EXT. STORAGE	31.7 SQ. FT.	
FRONT DRIVEWAY	1,132.6 SQ. FT.	
POOL DECK	506.6 SQ. FT.	
EXT. SHOWER DECK	30.3 SQ. FT.	
EQUIPMENT PADS	52.0 SQ. FT.	
COVERED LANAI	156.7 SQ. FT.	
FINISHED FLOOR ELEVATION:		
ZONE 'AE' NAVD BFE	7 FT.	
FLOOD PANEL	XXX	
PER 4-126 LOWEST FLOOR ELEVATION SHALL BE B.F.E. + 1 FOOT		
B.F.E. = 7 + 1' =	8 FT. THIS ELEVATION GOVERNS	

## GENERAL NOTES

1. CONSTRUCTION SHALL FOLLOW THE FLORIDA BUILDING CODE, LATEST EDITION, AS ADOPTED BY THE COUNTY AS APPLICABLE AND ALL APPLICABLE AMENDMENTS.
2. BUILDER SHALL COORDINATE ALL THE WORK OF TRADES
3. BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOBSITE PRIOR TO STARTING ANY WORK, IN WRITING. IMMEDIATELY OR THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS, WHETHER ERRORS OR COMMISSIONS OR OMISSION. DO NOT SCALE DRAWINGS.
4. SUBMIT A MINIMUM OF THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
5. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY GOVERNING CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY, AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
6. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
7. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
8. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
9. ALL STRUCTURAL LUMBER TO HAVE FIBER STRESS CAPACITY OF 1200 P.S.I. MINIMUM.
10. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
11. ARCHITECT ACCEPTS NO RESPONSIBILITY FOR STRUCTURAL BEAMS, COLUMNS, AND FOOTINGS UNTIL REVIEW OF APPROVED TRUSS DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.



OLIVERIO  
RESIDENCE

PROJECT OWNER:  
JEFFREY OLIVERIO  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

PROJECT LOCATION:  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

## PROJECT DATA

FOLIO:  
5142 14 01 5742

LEGAL DESCRIPTION:  
HOLLYWOOD LAKES SECTION 1-32 B LOT 22  
W1/2, 23 BLK 34

ZONING CLASSIFICATION:  
RS-6

LAND USE:  
LOW RESIDENTIAL (LRES)

HISTORIC DESIGNATION:  
HMPRL0D-1

SITE SQUARE FOOTAGE:  
10,225 S.F.

SEAL  
GARY McDOUGLE, PE FL #56214

PROJECT #	HART1134
SCALE	3/32" = 1'-0" U.N.O.
DRAWN BY	BAS

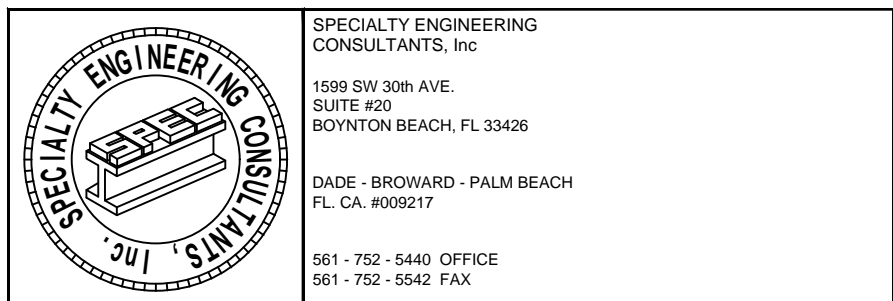
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	12.12.19	PERMIT SUBMITTAL

## SITE & ROOF PLAN

SHEET TITLE

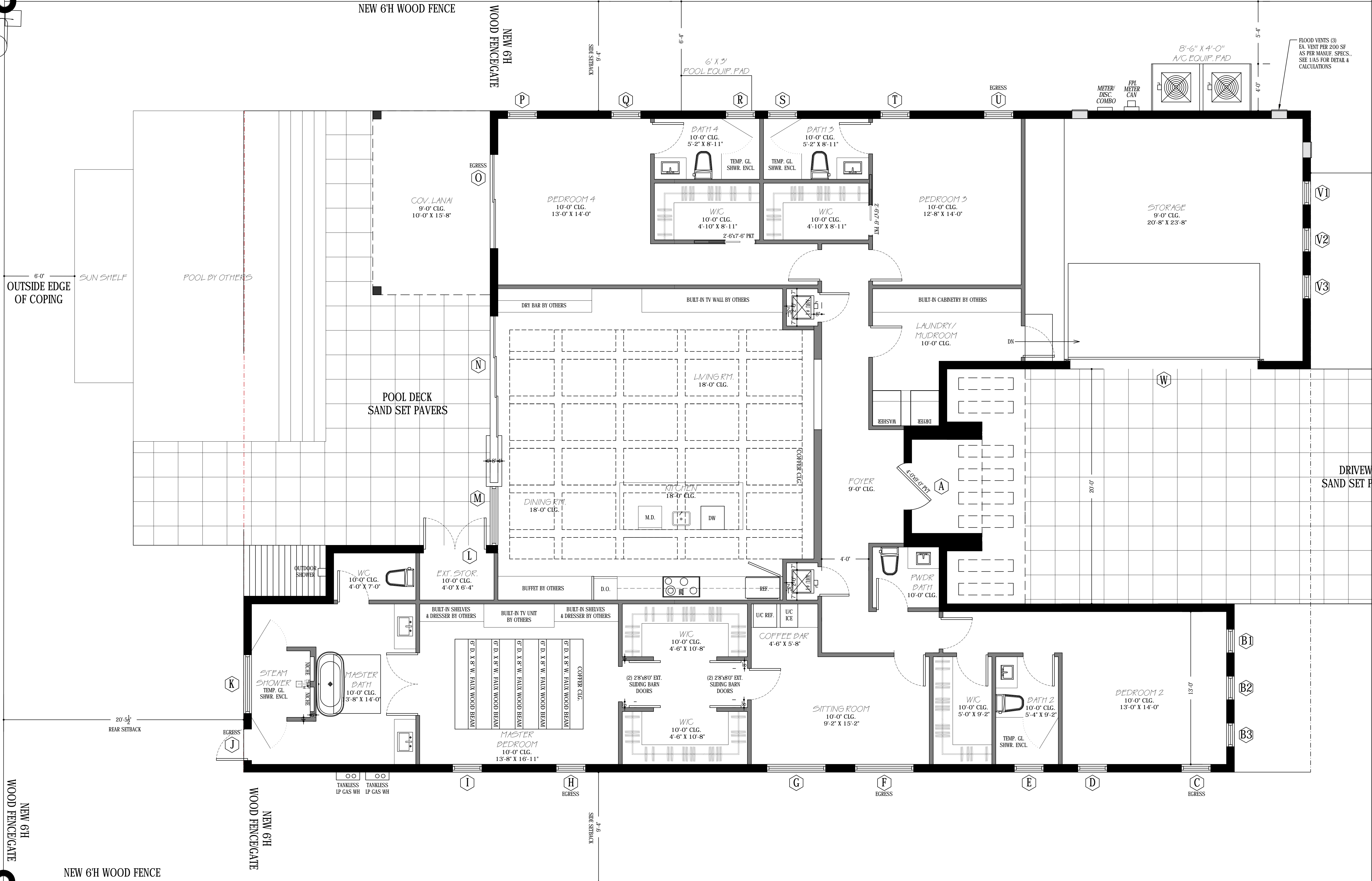
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SHEET TITLE





WM UP



## OLIVERIO RESIDENCE

PROJECT OWNER:  
JEFFREY OLIVERIO  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

PROJECT LOCATION:  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

## PROJECT DATA

FOUO:  
5142 14 01 5742

LEGAL DESCRIPTION:  
HOLLYWOOD LAKES SECTION 1-32 B LOT 22  
W1/2, 23 BLK 34

ZONING CLASSIFICATION:  
RS-6

LAND USE:  
LOW RESIDENTIAL (LRES)

HISTORICAL DESIGNATION:  
HMPRIOD-1

SITE SQUARE FOOTAGE:  
10,225 S.F.

SEAL  
GARY McDOUGLE, PE FL #56214

PROJECT # HART1134

SCALE 1/4" = 1'-0" U.N.O.

DRAWN BY BAS

REVISION SCHEDULE

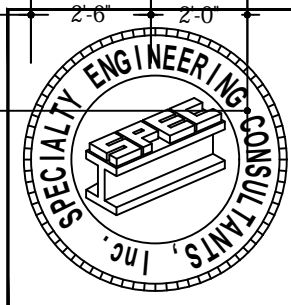
NO.	DATE	DESCRIPTION
1	12.12.19	PERMIT SUBMITTAL





PROJECT OWNER:  
JEFFREY OLIVERIO  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

FOLIO:  
5142 14 01 5742







OLIVERIO  
RESIDENCE

PROJECT OWNER:  
JEFFREY OLIVERIO  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

PROJECT LOCATION:  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

PROJECT DATA

FOUO:  
5142 14 01 5742

LEGAL DESCRIPTION:  
HOLLYWOOD LAKES SECTION 1-32 B LOT 22  
W1/2, 23 BLK 34

ZONING CLASSIFICATION:  
RS-6

LAND USE:  
LOW RESIDENTIAL (LRES)

HISTORICAL DESIGNATION:  
HMPRIOD-1

SITE SQUARE FOOTAGE:  
10,225 S.F.

SEAL  
GARY McDOUGLE, PE FL #56214

PROJECT #	HART1134
SCALE	1/4" = 1'-0" U.N.O.
DRAWN BY	BAS

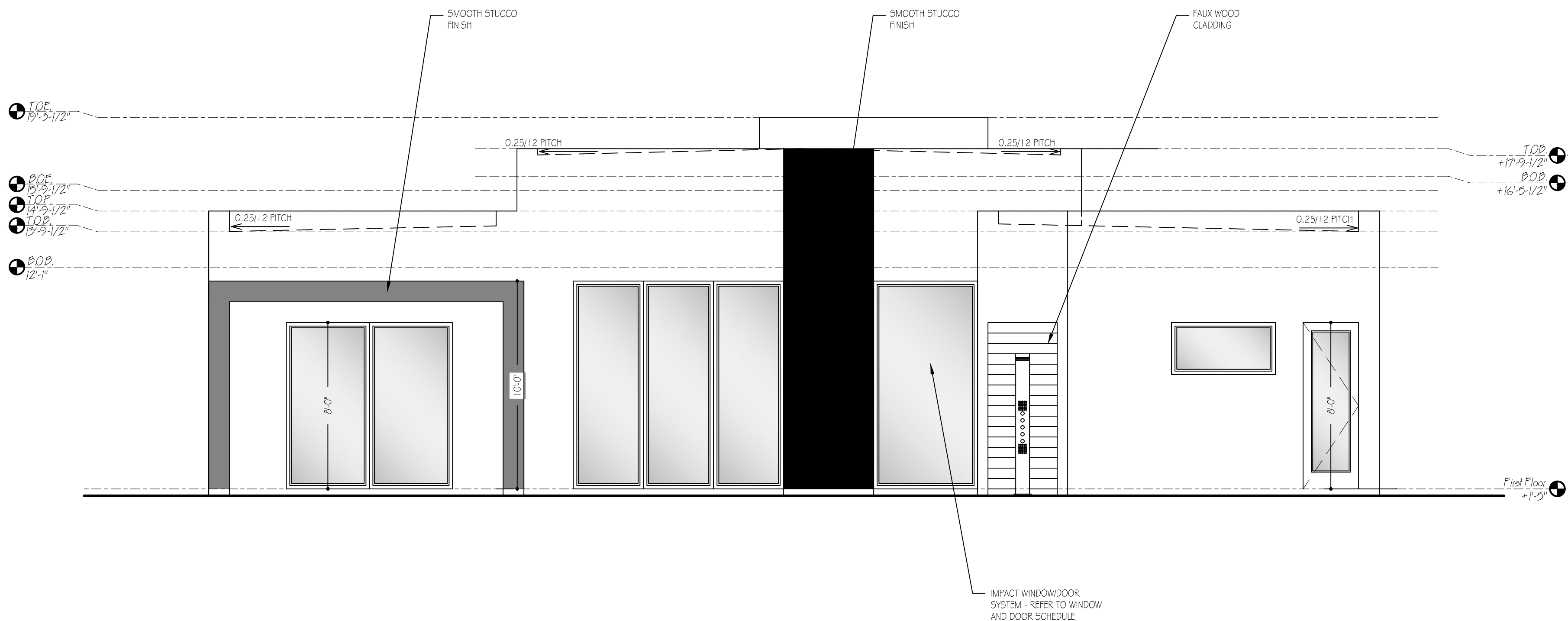
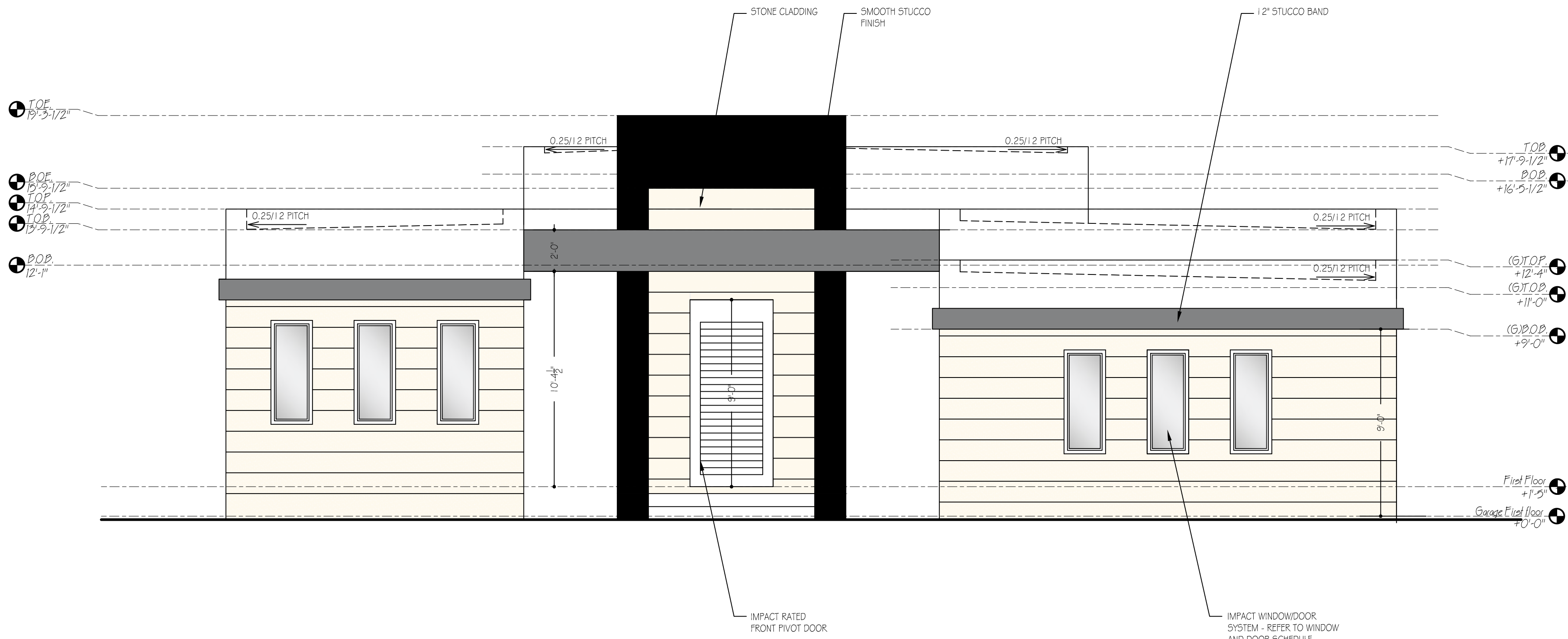
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	12.12.19	PERMIT SUBMITTAL

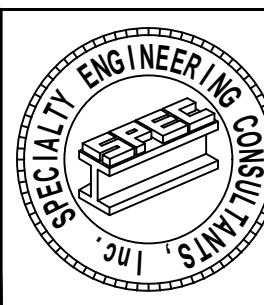
FRONT & REAR  
ELEVATIONS

SHEET TITLE

A3

SHEET TITLE





SPECIALTY ENGINEERING  
CONSULTANTS, Inc.  
1599 SW 30th AVE.  
SUITE 400  
BOYNTON BEACH, FL 33426  
DADE - BROWARD - PALM BEACH  
FL, CA, #009217  
951-752-5440 OFFICE  
951-752-5542 FAX









OLIVERIO  
RESIDENCE

PROJECT OWNER:  
JEFFREY OLIVERIO  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

PROJECT LOCATION:  
1134 JEFFERSON STREET  
HOLLYWOOD, FL 33019

PROJECT DATA

FOUO:  
5142 14 01 5742

LEGAL DESCRIPTION:  
HOLLYWOOD LAKES SECTION 1-32 B LOT 22  
W1/2, 23 BLK 34

ZONING CLASSIFICATION:  
RS-6

LAND USE:  
LOW RESIDENTIAL (LRES)

HISTORICAL DESIGNATION:  
HMPROD-1

SITE SQUARE FOOTAGE:  
10,225 S.F.

SEAL  
GARY McDUGLE, PE FL #56214

PROJECT # HART1134  
SCALE 1/8" = 1'-0" U.N.O.  
DRAWN BY BAS

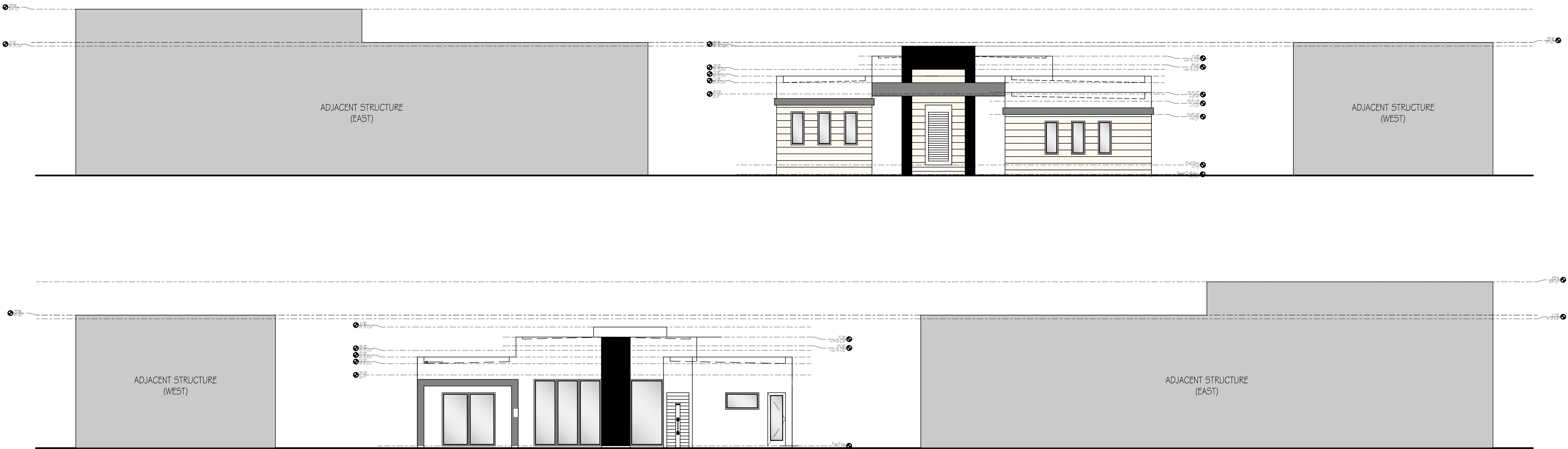
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	12.12.19	PERMIT SUBMITTAL

STREET PROFILE  
ELEVATION

SHEET TITLE

A5

SHEET TITLE





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