

SECTION 004000 - BID PROPOSAL FORM

<p>RESIDENCES ON HOLLYWOOD BEACH CONDOMINIUM ASSOCIATION <i>HOLLYWOOD, FLORIDA</i> Building Envelope PROJECT</p>

LEGAL NAME OF BIDDER: Age Of Empire, Inc.

ADDRESS: 11475 SW 43 Terrace, Miami, FL 33165

TELEPHONE NUMBER: 305-851-5897

LICENSE NUMBER: CGC1514379

DATE OF BID PREPARATION: 06/06/2019

Having completely examined the Specifications, all attached and referenced documents, and the existing site conditions and quantities, the undersigned hereby agrees to provide all the labor and materials and all else necessary for the proper construction and completion of the work in accordance with the Specifications.

In submitting this Bid, the undersigned agrees and certifies:

- To hold the Bid open for a period of 90 days after the due date.
- To enter into and execute a Contract, if awarded on a basis of this Bid, and to furnish all guarantees as required in the Contract Documents.
- To accomplish all work in accordance with the Contract Documents.
- To commence all Work at the site within thirty (30) calendar days of award of the Contract.
- To have all work complete in accordance with the Contract Documents within the time period allotted.
- To pay any fees related to, but not as penalty, the cost of engineering fees for each work day, past the agreed upon number of work days in accordance with Section 011000 "Summary", of these Specifications.

BUILDING 3001 (Revised Bid Sheet – 05/30/19)

BASE BID					
G	GENERAL TERMS				
No	Description	Unit	Unit Price	Quantity	Amount
1	Permits	N/A	N/A	A	At Cost to Owner
2	Mobilization / Start-up	N/A	N/A	LS	\$62,000.00
3	General Conditions	N/A	N/A	LS	\$225,000.00
4	Demobilization	N/A	N/A	LS	\$10,000.00
TOTAL SECTION G					\$297,000.00
A	BASE BID – PAINTING AND CAULKING				
No	Description	Unit	Unit Price	Quantity	Amount
1a	OPTION 1 - Paint All Previously Painted Surfaces. [Exterior Elevations of Building, Parking Garage Structure (interior & exterior, includes pipes paint) Pool Deck Parapets and Planters with Benjamin Moore	SF		LS	\$359,350.00
1b	OPTION 2 - Paint All Previously Painted Surfaces. [Exterior Elevations of Building, Parking Garage Structure (interior & exterior, includes pipes paint) Pool Deck Parapets and Planters with Sherwin Williams	SF		LS	\$341,300.00
2	Caulking of windows/doors	LF		LS	\$157,500.00
TOTAL SECTION A (Benjamin Moore) – 1a+2					\$516,850.00
TOTAL SECTION A (Sherwin Williams) – 1b+2					\$498,800.00
B	BASE BID – CONCRETE AND STUCCO RESTORATION (BUILDING, PARKING GARAGE, POOL DECK,				
No	Description	Unit	Unit Price	Quantity	Amount
1	Stucco Cracking	LF	\$8.50	7,000	\$59,500.00
2	Stucco Delamination (up to 1" thick)	SF	\$15.00	12,000	\$180,000.00
3	Excessive Stucco Delamination (thickness in excess of 1")	SF	\$28.00	4,000	\$112,000.00
4	Structural Concrete Cracks	LF	\$24.00	400	\$9,600.00
5	Concrete Column Repair	CF	\$240.00	300	\$72,000.00
6	Concrete Beam Repair	CF	\$240.00	500	\$120,000.00
7	Rust Spot Repair	EA	\$40.00	500	\$20,000.00
8	Rebar Tip Repair	EA	\$45.00	350	\$15,750.00
9	Wall Repairs	SF	\$65.00	450	\$29,250.00
10	Window Header/Sill Repairs	LF	\$65.00	200	\$13,000.00
11	Concrete Overhead Repairs	SF	\$95.00	700	\$66,500.00
12	Concrete Through Slab Repairs (Full Depth)	SF	\$105.00	600	\$63,000.00

Selected Paint Option

13	Concrete Repairs from the Top (Partial)	SF	\$85.00	800	\$68,000.00
14	Concrete Slab Edge Repairs	LF	\$90.00	1,000	\$90,000.00
15	Concrete Nosing Repairs	LF	\$45.00	300	\$13,500.00
16	Concrete Guardrail Repairs (see scope of work for work required for this item))	EA	\$65.00	50	\$3,250.00
17	Seal around Railing Post Pockets	EA	\$20.00	1,000	\$20,000.00
18	Railing Post Pockets Grout Repair	EA	\$45.00	1,000	\$45,000.00
19	Flash Patching	SF	\$11.00	8,000	\$88,000.00
20	Removal and disposal of balcony tile finishes (150 balconies)	SF	\$2.00	LS	\$22,500.00
21	Removal and disposal of other floor finishes (12 balconies)	SF	\$2.00	LS	\$1,800.00
22	Removal and disposal of waterproofing on balconies	SF	\$2.00	LS	\$53,850.00
23	Decorative green tile wall removal (two locations on west elevation)	SF	\$2.00	LS	\$3,360.00
24	Installation of tiles on walls of west elevation of building at two locations	SF	\$22.00	LS	\$36,960.00
25	Installation of new glass railing system at staircases (two locations)	LF		LS	TBD
26	Removal of existing glass rails and installation of a new glass rail system along the seawall (60" in height)	LF	\$180.00	LS 230LF	\$41,400.00
27	Weather and dust wall	LF	\$50.00	100	\$5,000.00
28	Glass railing gasket removal and replacement	LF	\$30.00	600	\$18,000.00
29	Repair abandoned railing post pockets	EA	\$40.00	100	\$4,000.00
Concrete, Seawall and Stucco Scopes TOTAL SECTION B					\$1,275,220.00
C	BASE BID – WATERPROOFING (BALCONIES, EYEBROWS, PARKING GARAGE UPPER DECK &				
No	Description	Unit	Unit Price	Quantity	Amount
1	Balcony Waterproofing – Sikalastic 710/715/735AL Traffic System	SF	\$9.00	LS 26,925SF	\$242,325.00
2	Eyebrow Waterproofing – Sikalastic 710/715/735AL Traffic System	SF	\$9.00	LS 1,665SF	\$14,985.00
3	Staircases Waterproofing – Sikalastic 710/715/735AL Traffic System	SF		LS	N/A
4	Garage deck and traffic coating with Sikalastic 720/745 Traffic System				
A	Removal and disposal of waterproofing	SF	\$2.00	LS 35,670SF	\$71,340.00
B	Replacement of existing drains	EA	\$1,450.00	15	\$21,750.00

C	Removal, disposal, and replacement of stucco at the wall base of vertical surfaces	SF		LS	N/A
D	Surface preparation and installation of new waterproofing Sikalastic 720/745 Traffic System	SF		LS	\$249,690.00
<div>Not Eligible Improvements</div> <div>→ Sub-total 4</div>					\$342,780.00
5	Pool Equipment Room Waterproofing				
A	All piping pertaining to the pool equipment to be temporary cap/disconnect from outside	LS		LS	\$3,200.00
B	Pool equipment removal and reinstallation	LS		LS	\$7,500.00
C	Replacement of existing drains	EA		1	\$1,450.00
D	Install new concrete pads for pool equipment as required	LS		LS	\$12,500.00
E	Flash patch floor surfaces	SF		LS	\$550.00
F	Surface preparation and installation of new waterproofing Sikagard 75 Epocem and Sika Duochem 7500	SF		LS 350SF	\$9,500.00
G	Pool equipment roof waterproofing with Sikalastic 710/715/735	SF	\$9.00	LS 350SF	\$3,150.00
F	Pool Equipment Survey	LS		LS	\$950.00
Sub-total 5					\$38,800.00
<div>Not Eligible Improvements</div> <div>→ TOTAL SECTION C</div>					\$638,890.00
D	BASE BID - MISCELLANEOUS				
1	Garage upper deck and ramp striping	LS		LS	\$4,200.00
2	Speed bumps removal, disposal, and replacement	EA		LS	\$1,300.00
3	Removal, disposal, and replacement of column guards in the upper garage	EA		LS	\$850.00
4	Removal and re-set existing pavers on sand	SF	\$7.00	500	\$3,500.00
5	Installation of new pavers	SF	\$9.00	500	\$4,500.00
6	Items obstructing the work	EA		30	TBD
7	Soil excavation, backfill, and compaction (cubic feet)	CF	\$45.00	100	\$4,500.00
8	Louver replacement	EA		5	TBD
<div>Not Eligible Improvements</div> <div>→ TOTAL SECTION D</div>					\$18,850.00
E	OPTIONAL WORK (All optional work is inclusive of general conditions)				
1	Replace all balcony railings with new glass railings	LF		LS	\$771,150.00
2	Installation of additional drains at low spots	EA	\$1,800.00	5	\$9,000.00
3	Speed bumps	EA		LS	TBD

4	Replacement of common areas windows and doors	LS		LS	15% Mark up from desired MFG.
5	Replacement of old fixed windows and sliding doors for (188) units	LS		LS	15% Mark up from desired MFG.
6	Replacement of old fixed windows and sliding doors	EA		15	15% Mark up from desired MFG.
7	Replacement of sliding doors	EA		5	15% Mark up from desired MFG.
8	Replacement of old fixed windows	EA		5	15% Mark up from desired MFG.
9	Tile Installation	SF	\$14.00		
10	Removal and disposal of balcony flooring finishes as needed only	SF	\$2.00	2,000	\$4,000.00
11	Paint building railings with Kynar				
	Option A – Brush and roll	LS	\$38.00	LS	\$184,300.00
	Option B – HLVP (High velocity low pressure) or airless	LS	\$55.00	LS	\$266,750.00
	Option C – Electrostatic	LS	\$43.00	LS	\$208,550.00
TOTAL SECTION E (with option 11A)					\$968,450.00
TOTAL SECTION E (with option 11B)					\$1,050,900.00
TOTAL SECTION E (with option 11C)					\$992,700.00

Not Eligible Improvements

T	TOTAL BID				
TOTAL (Section G+A+B+C+D)					\$2,728,760.00
TOTAL (Section G+A+B+C+D+E)					\$3,697,210.00
M	MISCELLANEOUS SERVICES				
No	Description	Unit	Unit Price	Quantity	Amount
M1	Payment and Performance Bond	%	2.50%	N/A	2.50%
M2	Allowance for Shoring	LS	N/A	A	\$45,000.00
TOTAL (Section M)					\$45,000.00

Note: All fields shall be populated in order for bid to be considered.

Duration of the project: 19 Months

Total For Eligible Improvements: 2,134,070

HOURLY LABOR RATES

For purposes of reviewing and approving change orders for additional work, if and where required, the Bidder shall submit hourly rates for the following trades.

• ELECTRICIAN	<u>\$85.00</u>	PER HOUR
• CARPENTER	<u>\$75.00</u>	PER HOUR
• LABORER	<u>\$45.00</u>	PER HOUR
• PLUMBER	<u>\$95.00</u>	PER HOUR

LEGEND:

N/A	- NOT APPLICABLE
EA	- EACH
LS	- LUMP SUM
LF	- LINEAR FOOT
SF	- SQUARE FOOT
CF	- CUBIC FOOT
%	- PERCENTAGE
A	- LUMP SUM ALLOWANCE - TO BE BILLED AT ACTUAL COST

Upon review and completion, please acknowledge the clarifications above by including a signed copy of this Addendum with the submitted bid due no later than Wednesday, June 5, 2019 at 4:00pm.

Should you have any questions, please feel free to contact our office.

COMPANY: Age Of Empire, Inc.

SIGNATURE OF ACCEPTANCE: Marcel Alonso

End of Addendum



SECTION 005000 - CONTRACTOR'S QUALIFICATION STATEMENT

Required as a qualification statement in advance of award of contract:

EXPERIENCE, EQUIPMENT AND FINANCIAL QUALIFICATIONS

The Undersigned certifies the truth and correctness of all statements and of all answers to questions made hereinafter.

SUBMITTED TO: The Residences on Hollywood Beach Condominium Association
c/o:
The Falcon Group
Attn: Edher Quiroz
15405 NW 7th Avenue
Miami, FL 33169

SUBMITTED BY:

☒ Corporation ☐ Partnership ☐ Individual ☐ Joint Venture ☐ Other

1. How many years has your organization been in business under your present company name?
12 years
2. List all projects (stucco, liquid applied waterproofing, and deck reconstruction / membrane application) of similar nature and size that you have completed in the last five (5) years:
Please list
Job/Location, Type of work, Date of completion, Contract Amount, Contact w/ phone #
(Use additional sheets as needed)
See attached references
3. Have you ever failed to complete or been declared in DEFAULT by an owner for any work awarded to you? If so, note when, where, why, and Contact w/ phone #:
NO
4. Has any officer or partner of your organization ever been an officer or partner of another organization that failed to complete a construction contract? If so, state the circumstances:
NO



5. List the states and categories in which your organization is legally qualified to do business:

Florida General Contracting -CGC1514379
 Roofing - CCC1329675
 Plumbing - CFC1427603
 Utility & Excavation- CUC1224581

6. List Trade References w/ phone # (minimum of 3):

HD Supply - Richard Duarte 786-503-5665
Coastal Construction Supply - Alex Miranda 954-270-5943
John Abell Supply - Bill Hurst 786-412-1387

7. List Bank References w/ phone # (minimum of 3):

Biscayne Bank - Lourdes Lopez 305-929-2805
US Century Bank - Rick Alfonso 305-715-5181

8. Name of Bonding Company and name and address of agent:

Cincinatti Insurance

SIGNATURES:

Age Of Empire, Inc.

Legal name of Contracting Firm, Partnership, or Corporation

Marcel Alonso

Signed

06/06/2019

Date

Marcel Alonso - President

Name and Title



AGE OF EMPIRE

A CONSTRUCTION CO.

STATE CERTIFIED & QUALIFIED
GENERAL CONTRACTOR



- † CONCRETE RESTORATION
- † POST TENSIONING CABLES
- † PAINTING AND WATERPROOFING
- † ROOFING
- † PLUMBING

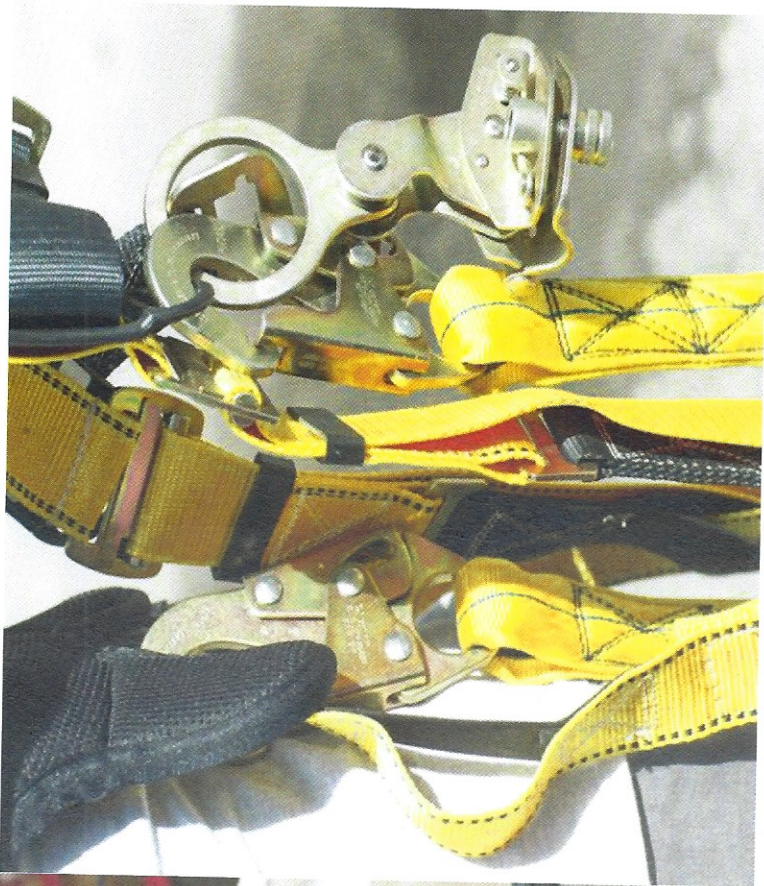
(305) 851-5897

www.ageofempireinc.com

AGE OF EMPIRE

A CONSTRUCTION CO.

SAFETY FIRST – construction is a high hazard industry, *but rest assured* AGE OF EMPIRE educates all its employees in safety, quality workmanship and the latest techniques in the construction industry. Our Team of Foremen and Supervisors have completed a 30-hour OSHA safety certification program and Skilled Laborers have completed a 10-hour OSHA safety certification program.





AGE OF EMPIRE

A CONSTRUCTION CO.



BBB
STAND WITH TRUST

Better Business Bureau®

BBB BUSINESS REVIEW

BBB ACCREDITED BUSINESS SINCE 02/07/2012

Age of Empire, Inc.

Phone: (305) 851-5897

Fax: (305) 663-5769

View Additional Phone Numbers

11475 SW 43rd Ter, Miami, FL 33165 4675



ACCREDITED
BUSINESS



On a scale of A+ to F
Reason for Rating
BBB Ratings System
Overview

BBB Accreditation

A BBB Accredited Business since 02/07/2012



AGE OF EMPIRE

A CONSTRUCTION CO.

Construction Services

- ▶ 40 Year Building Recertification
- ▶ Balcony (Construction & Restoration)
- ▶ Carbon Fiber Reinforced Concrete
- ▶ Caulking Injections
- ▶ Cement Grouting
- ▶ Cementitious Finish
- ▶ Column Jacking
- ▶ Concrete Pavers
- ▶ Concrete Restoration
- ▶ Concrete Slabs
- ▶ Consulting Services
- ▶ Corrosion Control
- ▶ Epoxy Injections & Toppings
- ▶ Expansion Joints Repair

- ▶ Foundation (Construction & Restoration)
- ▶ Masonry Stone (Construction & Restoration)
- ▶ New Construction (Commercial & Residential)
- ▶ Painting & Power Washing
- ▶ Parking Garage (Construction & Restoration)
- ▶ Pool Decking (Construction & Restoration)
- ▶ Post – Tensioning Cable System
- ▶ Renovations (Commercial & Residential)
- ▶ Seawalls
- ▶ Sandblasting
- ▶ Shotcrete
- ▶ Slab Jacking & Shoring
- ▶ Structural Strengthening
- ▶ Waterproofing (Vertical & Horizontal)



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD
THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

ALONSO, MARCELINO JUAN

AGE OF EMPIRE INC
11475 SW 43RD TERRACE
MIAMI FL 33165

LICENSE NUMBER: CGC1514379

EXPIRATION DATE: AUGUST 31, 2020

Always verify licenses online at MyFloridaLicense.com



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STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD
THE ROOFING CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

ALONSO, MARCELINO JUAN

AGE OF EMPIRE INC
11475 SW 43RD TERRACE
MIAMI FL 33165

LICENSE NUMBER: CCC1329675

EXPIRATION DATE: AUGUST 31, 2020

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STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD
THE PLUMBING CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

ALONSO, MARCELINO JUAN

AGE OF EMPIRE INC
11475 SW 43RD TERRACE
MIAMI FL 33165

LICENSE NUMBER: CFC1427603

EXPIRATION DATE: AUGUST 31, 2020

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Level 1 Unbonded PT - Field Installation MARCELINO J ALONSO

Certification ID #01206347

Expires on: 07/12/2019

Post-Tensioning.org

This is to certify that

Marcelino Alonso

attended a series of specialized 2011 World of Concrete educational sessions qualifying for a

MASTER CERTIFICATE

In

Concrete Repair

*The World of Concrete promotes timely, practical, how-to-do-it information
to enable participants to gain a clear understanding of current concrete industry technology
and to perform those techniques associated with that specific technology.*



Certificate of Completion



Presented to:
MARCELINO ALONSO



On 9/10/2009, MARCELINO ALONSO successfully completed the OSHA 30 Hr. Outreach Training for the Construction Industry.

Taylor Alan Scher
OSHA Authorized Trainer



Certificate of Completion

This is to Certify that:

Marcelino Alonso

Participated In:

Sealing the Building Envelope: Principles, Products & Practices

December 9th, 2014
Miami, FL

Earning:

- 1 AIA/CES Learning Units/HSW
- 1 Professional Development Hour

Wesley Friedman
Name of Presenter





Sika Corporation
201 Polito Avenue
Lyndhurst, NJ 07071

Telephone: 800-933-7452
Fax: 201-933-6225

July 20, 2010

To whom it may concern:

This letter has been issued to establish that **Age of Empire Inc.**, is a quality applicator of concrete repair and waterproofing materials manufactured by Sika Corporation. **Age of Empire Inc.** has demonstrated the ability to successfully apply Sika materials through previous applications. Sika Corporation will be available upon job start up to provide technical support and application training for any/all new products.

If you have any questions regarding this letter, please feel free to contact me at 561-537-0700. I look forward to working with you in the future.

Sincerely,

Michael Mastro

Michael Mastro
Project Sales Representative
Sika Corporation



March 28, 2011

Re: Age of Empire is an Approved Applicator

To Whom it May Concern:

This letter is to serve as notification Sto Corp will warrant any Sto Corp Repair, waterproofing, and coating materials that Mr. Marcel Alonso, and Age of Empire install on their construction projects. Age of Empire is an Approved applicator.

If you have any questions, please feel free to contact me at (561) 262-5945

Sincerely,

Burleigh Withers III
Sto Corp.

Re: CCW - Authorized Applicator



Dear Mr. Alonso

Thank you for using Carlisle Coatings & Waterproofing Incorporated products for your project.

This letter is to confirm that Age of Empire, Inc, based upon its experience, Knowledge of product and expertise in application has met the criteria Established and is hereby certified as an Authorized Applicator for the CCW Waterproofing Membrane Systems with all accessory items.

If there are any questions, please contact Carlisle Technical Services at the numbers and website listed below.

Sincerely,

A handwritten signature in black ink, appearing to read "Christopher L Knorr". The signature is written in a cursive, flowing style.

Christopher L Knorr
Technical Service Representative
technicalservices@ccw.carlisle.com
888.229.2199

Tremco Incorporated
www.tremcosealants.com

TREMCO®

Commercial Sealants & Waterproofing

Jeff "J.B." Snyder, Jr.
Tremco Commercial Sealants & Waterproofing
P 561-232-7430

To Whom It May Concern:

This letter is to confirm Age of Empire has successfully completed multiple projects of similar size, value, and scope as to the Waves Condominium project. All materials are to be installed per Tremco Application Instructions and Tremco Manufacturer's Representative recommendations.

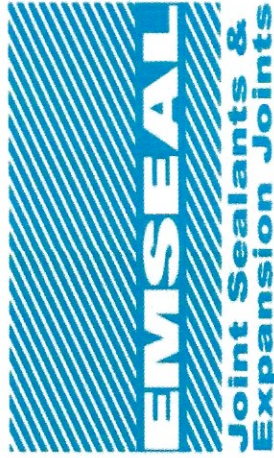
Please contact me with any questions or concerns.

Kind Regards,

Jeff "J.B." Snyder

Jeff "J.B." Snyder, Jr.
Tremco Commercial Sealants and Waterproofing
jsnyder@tremcoinc.com

Approved Contractor by Manufacturer.



EUCLID CHEMICAL

NEOGARD[®]
CONSTRUCTION COATINGS
A part of the Hempel Group



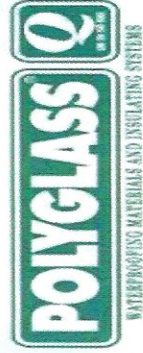
A Member of The Harco Group



Benjamin
Moore[®]
Paints



SHERWIN
WILLIAMS[®]





AGE OF EMPIRE

A CONSTRUCTION CO.



THE WAVERLY AT SURFSIDE BEACH

9201 Collins Avenue
Surfside, FL 33154

Total Floors: 15 Total Units: 112

Contact: Ms. Mayella Mueller (CAM)

Office Phone # 305-867-3970

Email: thewaverlysurfside@gmail.com

Budget: \$ 1,900,000.00

Pre – 40 Year

Scope of Work: Concrete Repair, Post Tension Cables, 15,000
Sq.Ft of Pool Deck Restoration, Waterproofing, New Pavers,
Painting and Re-Roof.

AGT OF EMPIRE

A CONSTRUCTION CO.



THE HALLMARK CONDOMINIUM

3800 South Ocean Drive
Hollywood, FL 33019

Total Floors: 17 Total Units: 395

Contact: Mr. Gilbert Rosa, LCAM

Office Phone # 305 - 967 - 0434

Email: Grosa@manage-1.com

Budget: \$ 8,500,000.00

40 year Recertification

Scope of Work: Balcony Restoration, New Glass Railings, Concrete Restoration, Waterproofing, Expansion Joint, & Painting.



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A CONSTRUCTION CO.



COSTA BELLA CONDOMINIUM

1450 Brickell Bay Drive

Miami, FL 33131

Total Floors: 22 Total Units: 232

Contact Mr. Felix Pena (CAM)

Office Phone # 305-373-3100

Email: Costabel@bellsouth.net

Budget: \$ 1,800,000.00

40 Year Recertification

Scope of Work: Balcony Restoration, Post Tension Cable Repair,
New Lobby Renovation, 10,000 SqFt of Pool Deck Restoration and
Waterproofing, Painting, Expansion Joint, & Waterproofing



AGE OF EMPIRE

A CONSTRUCTION CO.



OLYMPUS CONDOMINIUM

500 & 600 Three Island Blvd
Hallandale Beach, FL 33009

Buildings: 2 Total Units: 492

Contact Mr. Alberto Cardonape

Office Phone # 786 - 252 - 2131

Email: Albertocardonape@gmail.com

Budget: \$ 1,700,000.00

Pre 40 yrs

Scope of Work: Parking Garage; Concrete Restoration, Pool Deck Restoration, Waterproofing, New Pavers, Column Repairs, & Expansion Joint

AGE OF EMPIRE A CONSTRUCTION CO.



605 LINCOLN ROAD CONDOMINIUM

605 LINCOLN ROAD
Miami Beach, FL 33131

Total Floors: 8 Total Units: 48

Contact: Mr. Jay Chaves (CAM)

Office Phone # 786-402-9119

Email: jay@lionstone.net

Cost: \$ 600,000.00

Post 40yrs: Every 10 years after the first
Recertification.

Scope of Work: Concrete Repair, Fire Penetrations, Exterior
Painting, New Mechanical Louvers, Shoring, Waterproofing,
Installation of New Building Sewer Lateral Connection.

||| AGE OF EMPIRE

A CONSTRUCTION CO.



THE 1800 CLUB CONDOMINIUM

1800 North Bayshore
Miami, FL 33131

Total Floors: 43 Total Units: 469

Contact: Mr. Raul Iparraguirre

Office Phone # 305-375-8246

Email: Raul@the1800club.com

Cost: \$ 750,000.00

Pre - 40 Year

Scope of Work: Post Tension Cable Repair, Balcony Restoration, Paint interior common areas, Pool Deck, Parking Garage Slab and Column Repairs, Waterproofing, & Expansion Joint.



AGT OF EMPIRE

A CONSTRUCTION CO.



2080 OCEAN CONDOMINIUM

2080 Ocean Drive
Hallandale Beach, FL 33009

Total Floors: 18 Total Units: 212

Contact Mrs. Marcela Soderberg, LCAM

Office Phone # 786 - 417 - 5315

Email: Msoderberg@miamimanag

Cost: \$ 415,000.00

Pre 40 yrs

**Scope of Work: Expansion Joint, Waterproofing Planter Boxes, and
Vehicular Traffic Waterproofing System (33,500 Square Feet.)**



AGE OF EMPIRE

A CONSTRUCTION CO.



VILLA BAY VISTA

2016 Bay Drive

Miami Beach, FL 33141

Total Floors: 9 Total Units: 64

Contact: Mr. Orlando De-Luis (CAM)

Office Phone # 305-342-2332

Email: Orlando@thewallmanagement.com

Cost: \$ 900,000.00

40 Year Building Certification

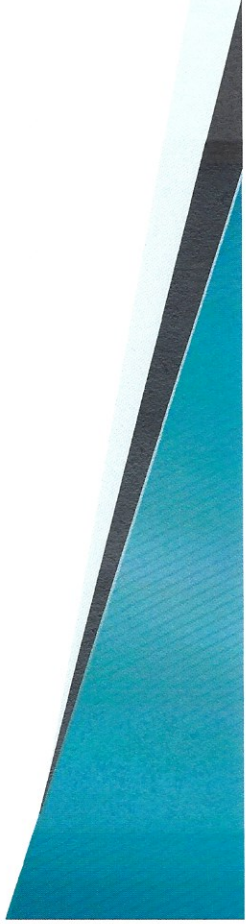
Scope of Work: New Railings, Balcony Repairs, Concrete Restoration, Painting, Waterproofing, Structural Column Reinforcement & Shoring.



AGT OF EMPIRE

A CONSTRUCTION CO.

SAMPLE PICTURES OF WORK DONE



AGT OF EMPIRE A CONSTRUCTION CO.

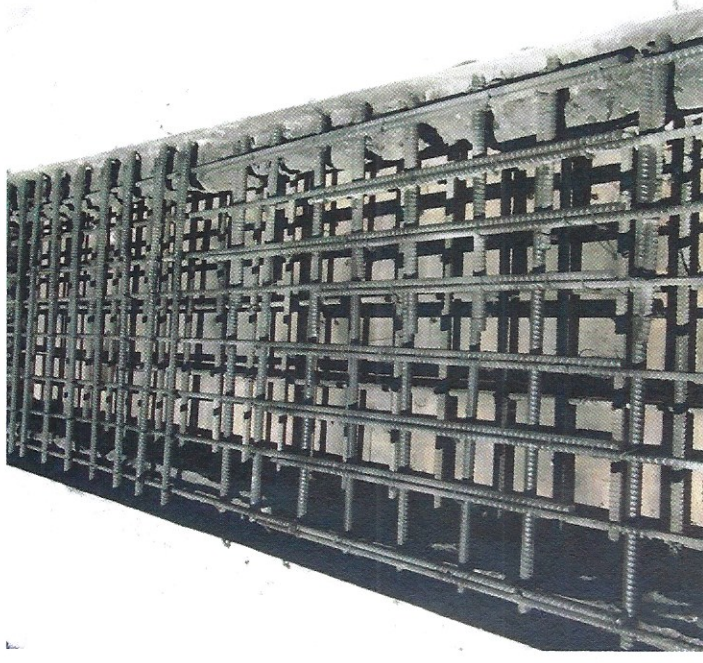
Garage Deck: Spalling concrete, found oxidated rebar and missing rebar.



Missing Rebar



Added Rebar and clean



Corrosion Inhibitor

Repair: Sandblasted existing rebar to clean state and added additional rebar per Engineer Calculations, and added Corrosion Inhibitor to rebar.

AGTE OF EMPIRE

A CONSTRUCTION CO.

Balcony Deck: Post Tension Cables Failure.



Post Tension Cables – Ruptures and Severe Rust



NEW Post Tension Cables, Anchors, & Reinforcements.

Repair: Remove damaged Post Tension Cables and Anchors. Add New Post Tension Cables, splice chuck, and Encapsulated Anchors with Grease Caps. Ready for new Concrete and then apply Tension after Concrete has cured.



AGE OF EMPIRE

A CONSTRUCTION CO.

Vehicular Traffic Sika 720/745 Waterproofing.

Manufacture Rep meeting



Existing Deck Condition



New Waterproofing - in progress





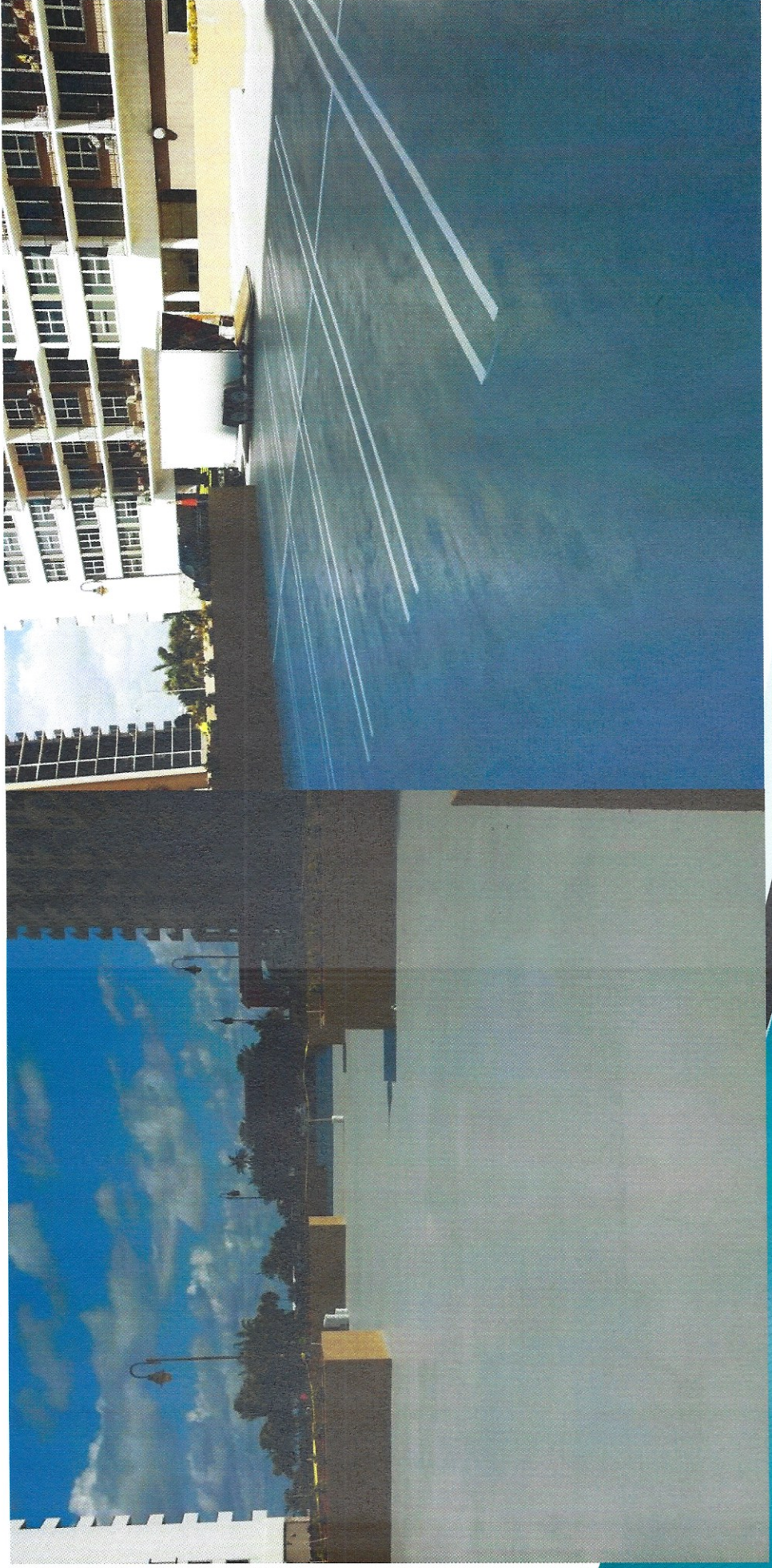
AGE OF EMPIRE

A CONSTRUCTION CO.

Vehicular Traffic Sika 720/745 Waterproofing.

New Waterproofing Applied

Project Complete with Parking Stripes





AGF OF EMPIRE

A CONSTRUCTION CO.

POOL DECK REPAIR AND WATERPROOFING.

DAMAGED EXISTING POOL DECK – TO BE DEMOLISHED





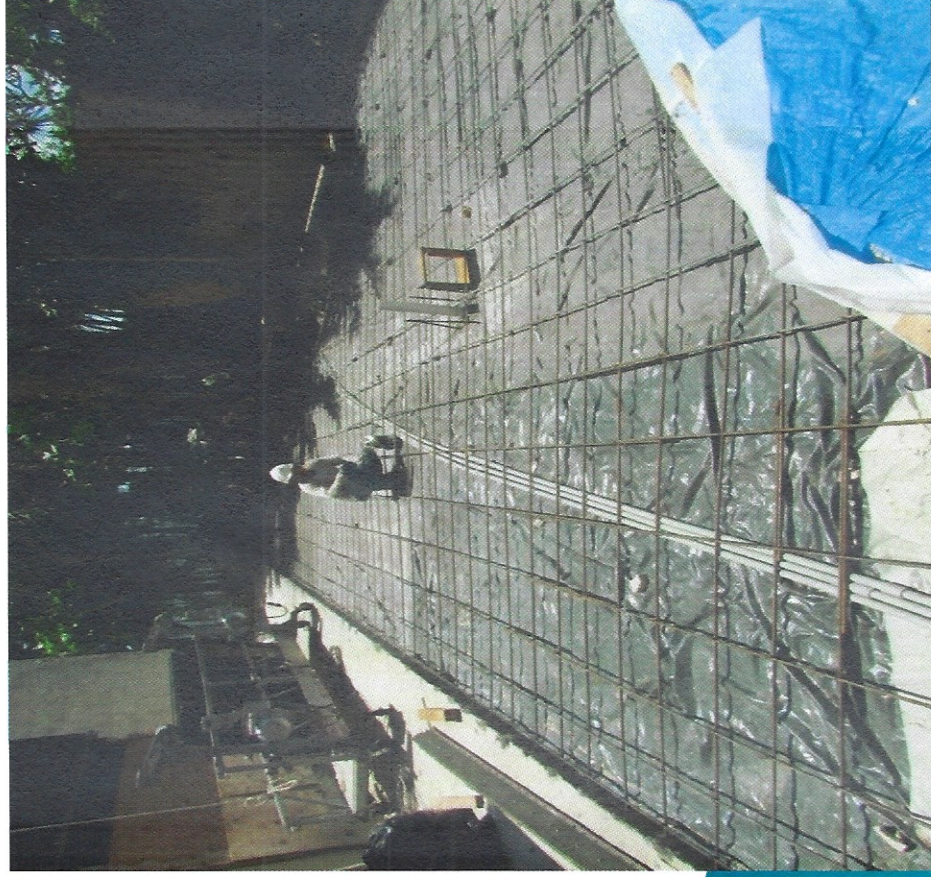
AGE OF EMPIRE

A CONSTRUCTION CO.

POOL DECK REPAIR AND WATERPROOFING.

Demo and Installed Reinforcing Steel

Complete New Concrete with Waterproofing





AGT OF EMPIRE

A CONSTRUCTION CO.

Roof Terrace Waterproofing.

EXISTING DECK CONDITIONS



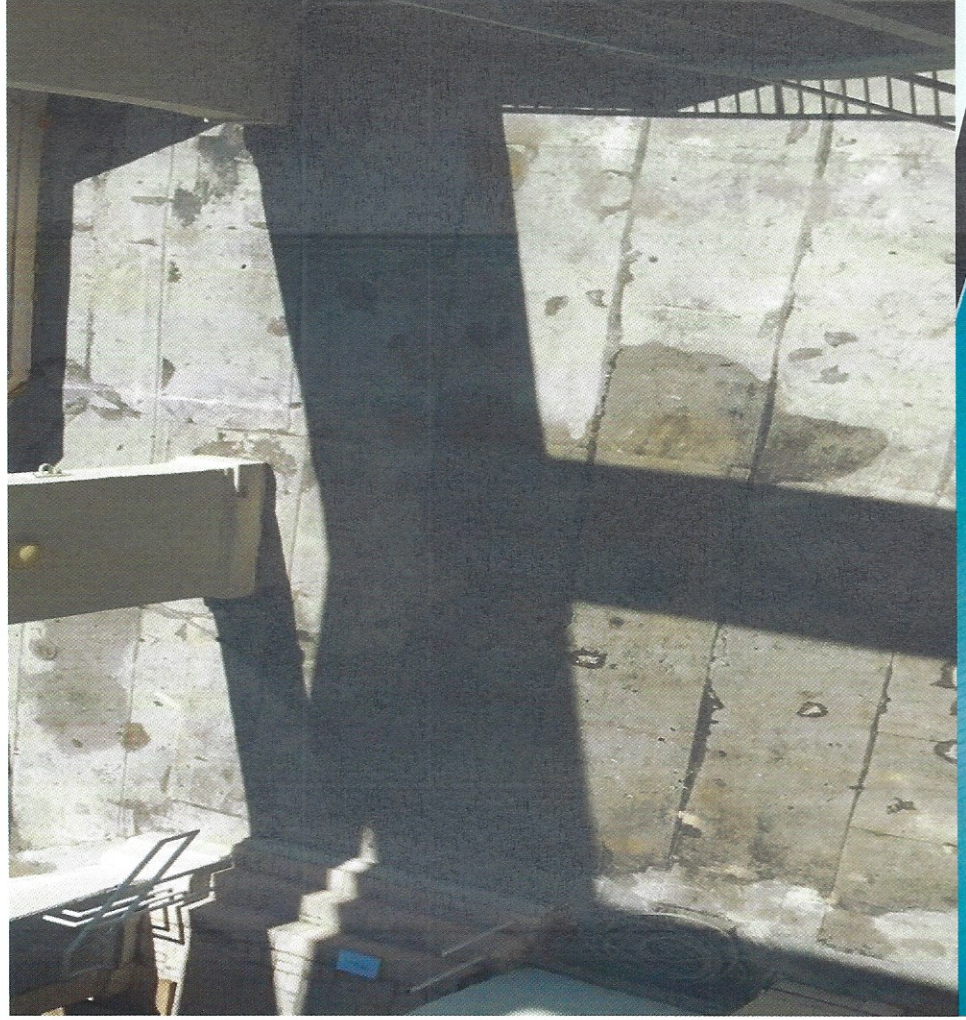


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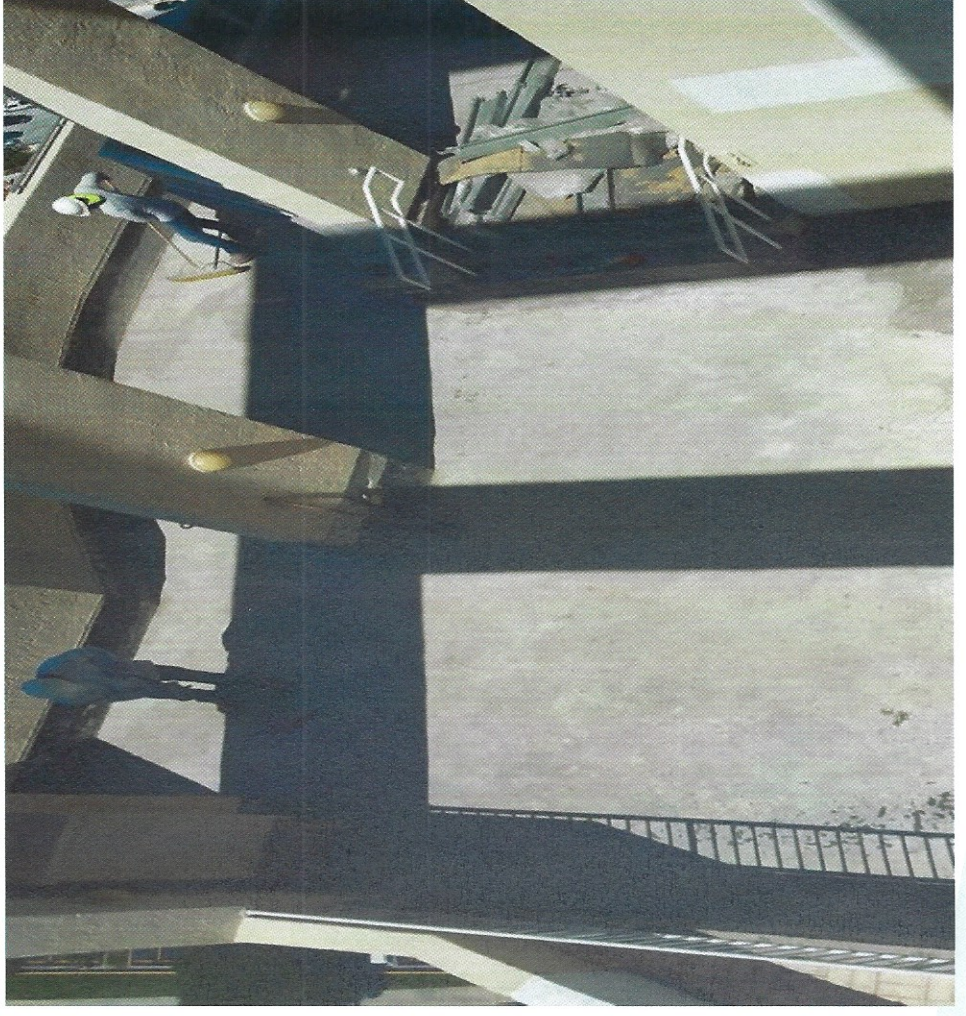
A CONSTRUCTION CO.

Roof Terrace Waterproofing.

Demolition in Progress



Daily Clean-up



AGC OF EMPIRE A CONSTRUCTION CO.

Roof Terrace Waterproofing.

Insulation Board



Protection Board



Waterproofing In Progress



||| AGC OF EMPIRE A CONSTRUCTION CO.

Roof Terrace Waterproofing.

Project Complete with Pavers

