

# ATTACHMENT A

## Application Package

# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: \_\_\_\_\_

Location Address: 5530 S. STATE RD 7  
Lot(s): PARCELS B & C Block(s): \_\_\_\_\_ Subdivision: C & S

Folio Number(s): 5041 3610 0150

Zoning Classification: N-MU Land Use Classification: MIXED USE

Existing Property Use: VACANT Sq Ft/Number of Units: —

Is the request the result of a violation notice? ( ) Yes ( ☒ ) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO, PRELIM TAZ, FINAL TAZ

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: SITE PLAN APPROVAL FOR A 100 ROOM HOTEL ON 441

Number of units/rooms: 100 Sq Ft: +/- 350 SF

Value of Improvement: 10 MIL Estimated Date of Completion: 12-1-20

Will Project be Phased? ( ) Yes ( ☒ ) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: SHOPPES OF HARD ROCK LLC

Address of Property Owner: 2790 STIRLING RD, DAYS 9-10

Telephone: 954 394 6615 Fax: \_\_\_\_\_ Email Address: sharonsharaby@yahoo.com

Name of Consultant/Representative/Tenant (circle one): JOSEPH D. KALLER

Address: 2417 HOLLYWOOD BLVD Telephone: 954 920 5746

Fax: 954 926 2841 Email Address: Joseph@kallerarchitects.com

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract. 99 YEAR LEASE ATTACHED.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

ROD FEINER Address: 1404 S. ANDREWS AVE

FORT LAUDERDALE FL 33316 Email Address: rfeiner@coke-feiner.com



# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: 6/3/19

PRINT NAME: SHARON SHARABY Date: 6/3/19

Signature of Consultant/Representative: \_\_\_\_\_ Date: 6/3/19

PRINT NAME: JOSEPH B. KALLER Date: 6/3/19

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Planning & Development Renew to my property, which is hereby made by me or I am hereby authorizing Joseph B. Kaller to be my legal representative before the Planning & Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 3rd day of June 2019

Signature of Current Owner

Print Name SHARON SHARABY

Notary Public  
State of Florida



My Commission Expires: \_\_\_\_\_ (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



**PROJECT INFO:**

6 STORY 100 ROOM HOTEL

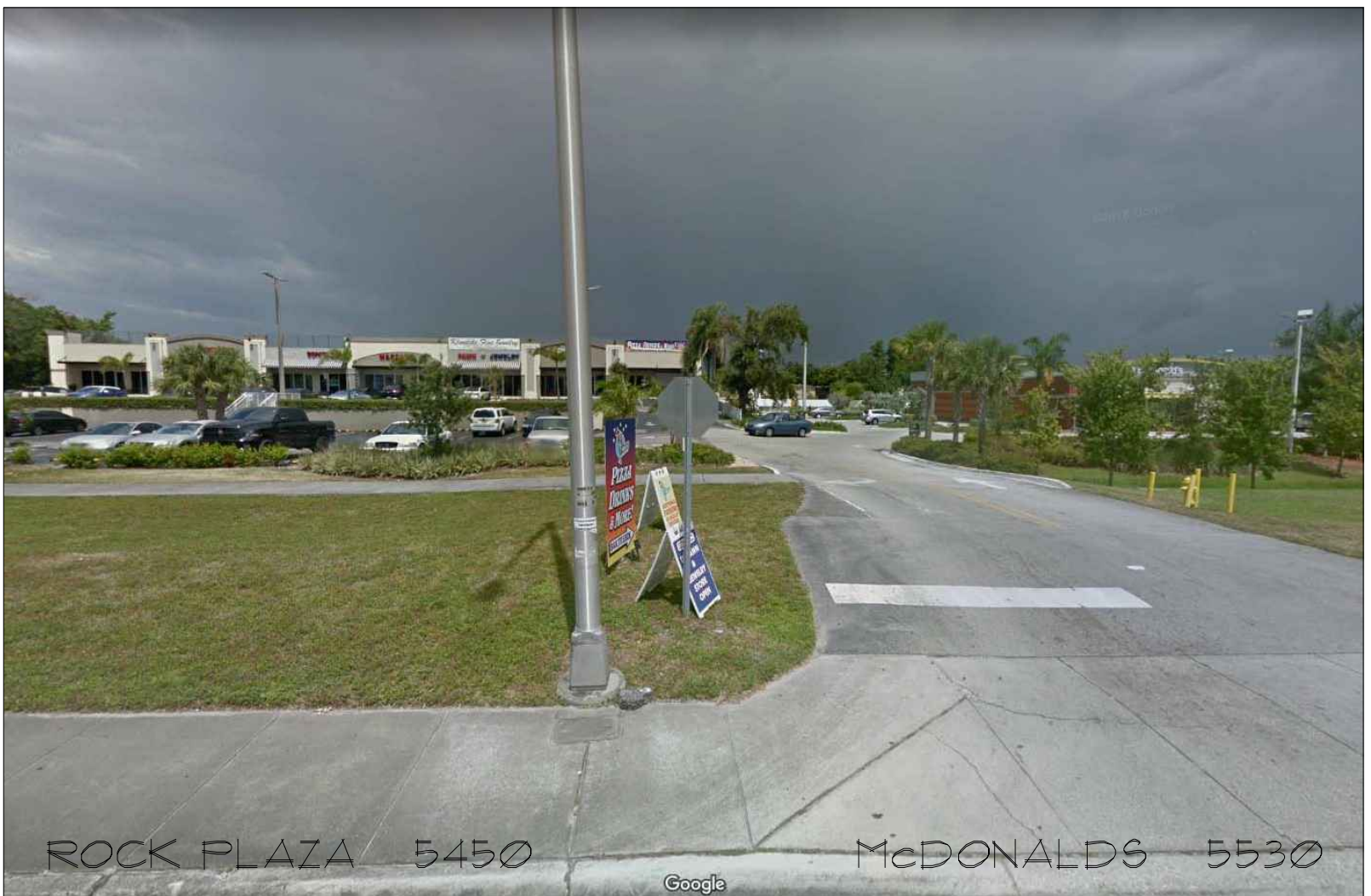
**LAND DESCRIPTION:**

A PORTION OF PARCELS "B" AND "C", "C & S SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 89 AT PAGE 40 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF SAID PARCEL "B"; THENCE SOUTH  $89^{\circ}48'30''$  WEST ALONG THE NORTH LINE OF SAID PARCEL "B" FOR 24.08 FEET; THENCE SOUTH  $89^{\circ}18'32''$  WEST, A DISTANCE OF 46.58 FEET; THENCE NORTH  $00^{\circ}41'28''$  WEST, A DISTANCE OF 0.41 FEET TO A POINT ON SAID NORTH LINE OF PARCEL "B"; THENCE SOUTH  $89^{\circ}48'30''$  WEST ALONG SAID NORTH LINE OF PARCEL "B" FOR 56.83 TO THE NORTHEAST CORNER OF THE MCDONALD'S PARCEL AS SHOWN ON THE SURVEY PREPARED BY FORTIN, LEAVY, SKILES, INC. UNDER JOB NO. 131023 AND DRAWING NO. 2008-092-2 AND DATED SEPTEMBER 9, 2013, THE FOLLOWING FIVE (5) COURSES BEING ALONG THE EAST LINE OF SAID MCDONALD'S PARCEL; 1) THENCE SOUTH  $00^{\circ}07'48''$  EAST FOR 55.12 FEET; 2) THENCE SOUTH  $89^{\circ}52'12''$  WEST FOR 7.81 FEET; 3) THENCE SOUTH  $00^{\circ}07'48''$  EAST FOR 131.36 FEET; 4) THENCE NORTH  $89^{\circ}52'12''$  EAST FOR 5.36 FEET; 5) THENCE SOUTH  $00^{\circ}07'48''$  EAST FOR 30.75 FEET; THENCE NORTH  $89^{\circ}52'12''$  EAST ALONG THE SOUTH LINE OF SAID PARCEL "C" FOR 132.28 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL "C"; THENCE NORTH  $00^{\circ}44'47''$  WEST ALONG THE EAST LINE OF SAID PARCELS "B" AND "C" FOR 217.60 FEET TO THE POINT OF BEGINNING.

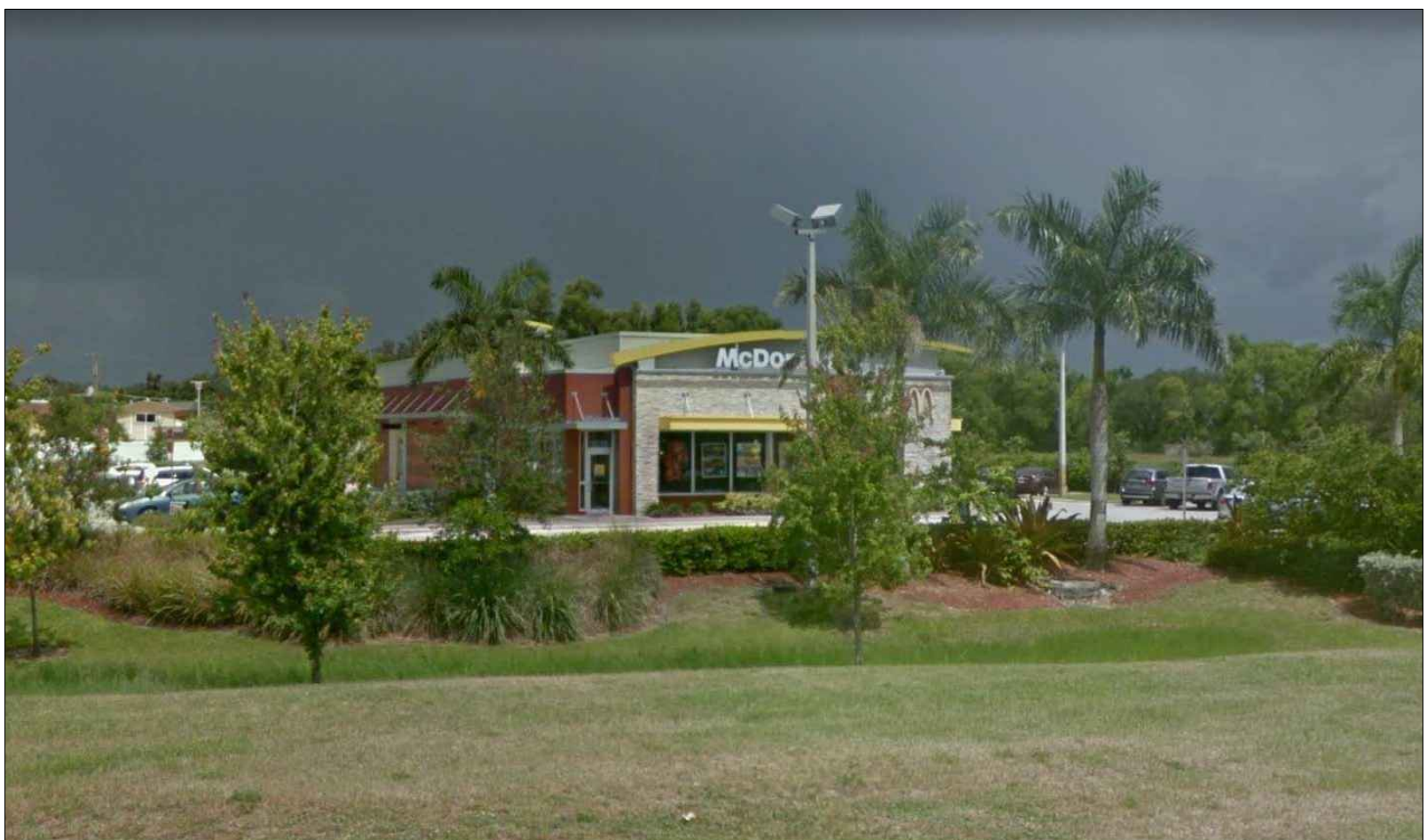


# the *K*osher house



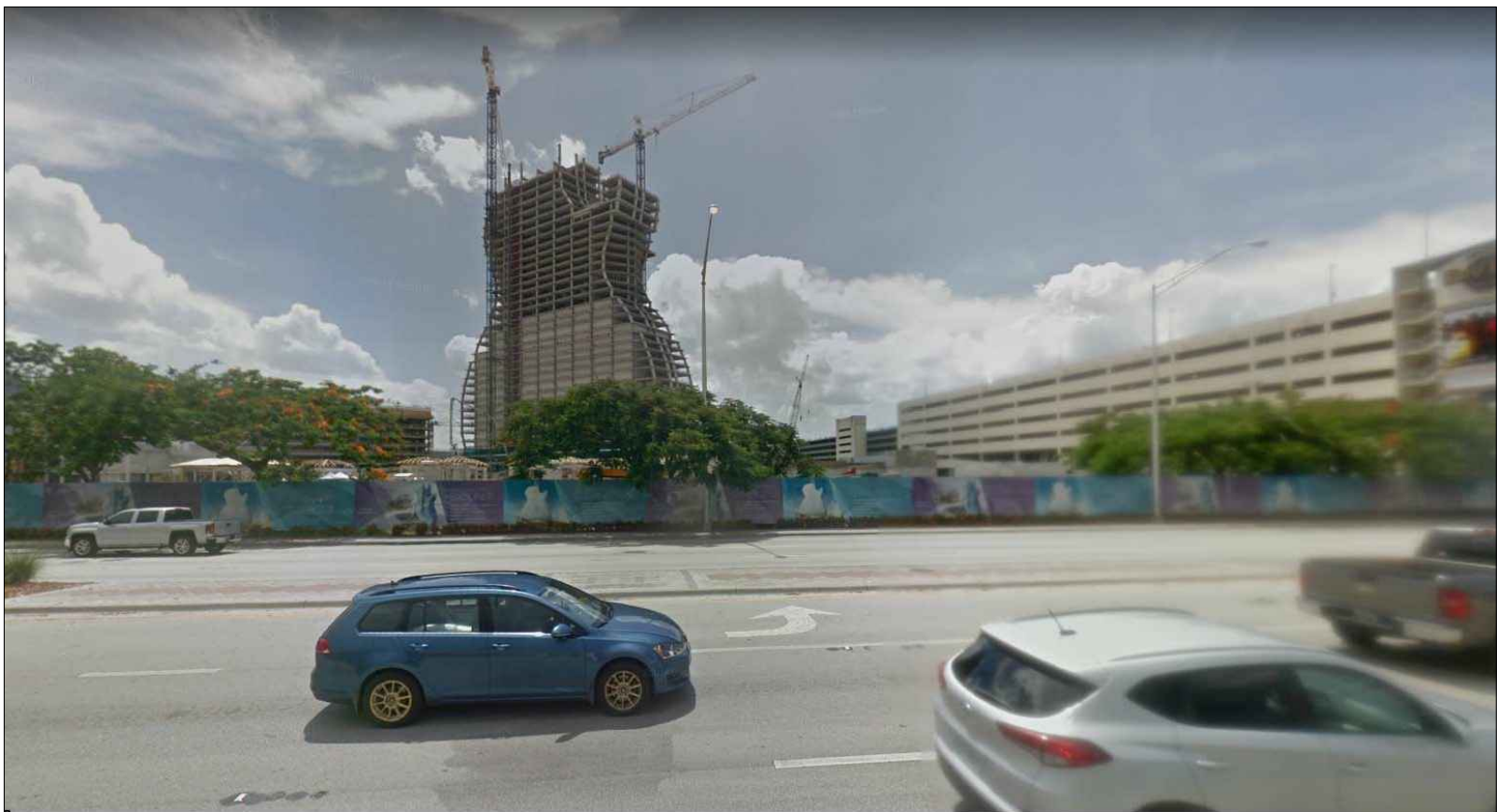


# the *K*osher house





# the *K*osher house



HARDROCK HOTEL  
(west of site)

1 SEMINOLE WAY



the *K*osher  
house



5530 S. STATE ROAD 7 HOLLYWOOD FLORIDA

P.A.C.O. - DECEMBER 3, 2018  
PRELIMINARY TAC - FEBRUARY 4, 2019  
FINAL TAC - MAY 6, 2019  
P AND D - DECEMBER 12, 2019

## PROJECT TEAM

## ARCHITECT

**JOSEPH B. KALLER AND ASSOCIATES, P.A.**  
**CONTACT:** MR. JOSEPH B. KALLER  
**ADDRESS:** 2417 HOLLYWOOD BLVD.  
 HOLLYWOOD, FL 33020  
 (954) 920-5746  
**PHONE:**  
 (954) 926-2841  
**FAX:**  
 joseph@kallerarchitects.com  
**EMAIL:**

SURVEYOR

COUSINS SURVEYORS AND ASSOCIATES, INC.  
CONTACT: RICHARD COUSINS  
ADDRESS: 3921 SW 4TH AVENUE, SUITE 101  
DAVIE, FL 33314  
PHONE: (954) 680-9885  
EMAIL: RECsurvey@aol.com

## CIVIL ENGINEER

GGB ENGINEERING, INC.  
CONTACT: GARY BLOOM  
ADDRESS: 3109 STIRLING ROAD, SUITE 201  
FORT LAUDERDALE, FLORIDA 33312  
PHONE: (954) 986-9899  
FAX: (954) 986-6655  
EMAIL: gary@ggbeng.com

## OWNER

SHOPPES OF HARD ROCK LLC  
CONTACT: Mr. Sharon Sharaby  
ADDRESS: 2790 Stirling Road  
HOLLYWOOD, FL 33020  
CELL: (954) 394-6615  
EMAIL: sharonsharaby@yahoo.com

ATTORNEY

**COKER AND FEINER**  
CONTACT: ROD FEINER  
ADDRESS: 1404 S ANDREW AVENUE  
FORT LAUDERDALE, FL 33316  
PHONE: (954) 761-3636  
EMAIL: [rafeiner@coker-feiner.com](mailto:rafeiner@coker-feiner.com)

## LANDSCAPE ARCHITECT

MIRRORS OF PARADISE INC  
CONTACT: Gabriela Fojt  
PHONE: (954) 478-3064  
EMAIL: gabriela@themirrorofparadise.com

## PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 6TH EDITION 2017  
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

JURISDICTION:

CITY OF HOLLYWOOD  
BROWARD COUNTY  
STATE OF FLORIDA

## DRAWING INDEX

## T-1 COVER SHEET

55. 0

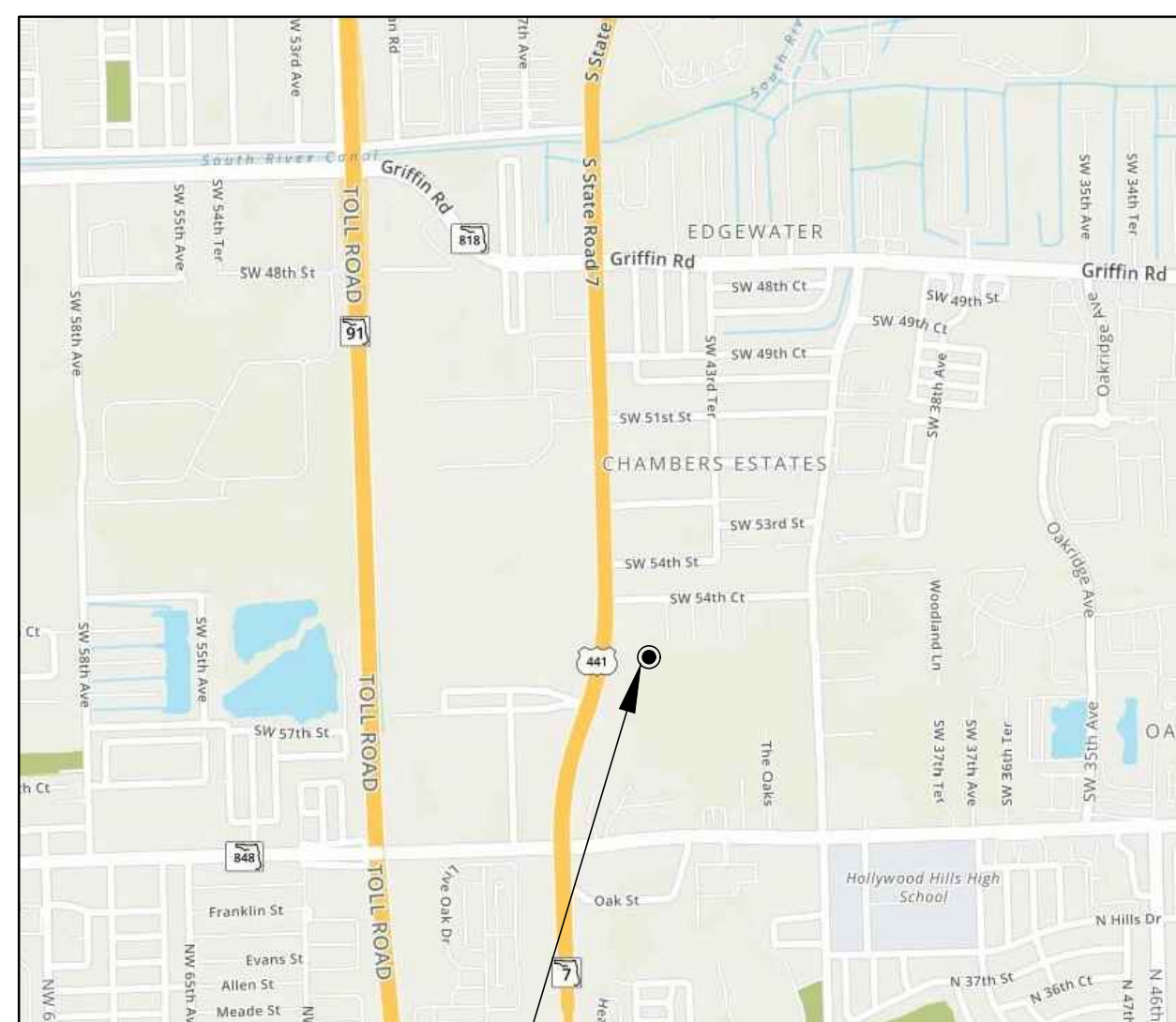
SP-0	SITE AND BUILDING DATA
SP-1	SITE PLAN AND NOTES
SP-1A	SITE PLAN WITH TRAFFIC PATTERNS AND PEDESTRIAN ACCESS
SP-2	SITE DETAILS
SP-3	SIGNAGE AND CAR LIFT DETAILS

## C-1 CIVIL PLAN

DT-1 TREE REMOVAL PLAN  
LP-1 FIRST FLOOR LANDSCAPE PLAN  
LP-2 ROOF TERRACE LANDSCAPE PLAN

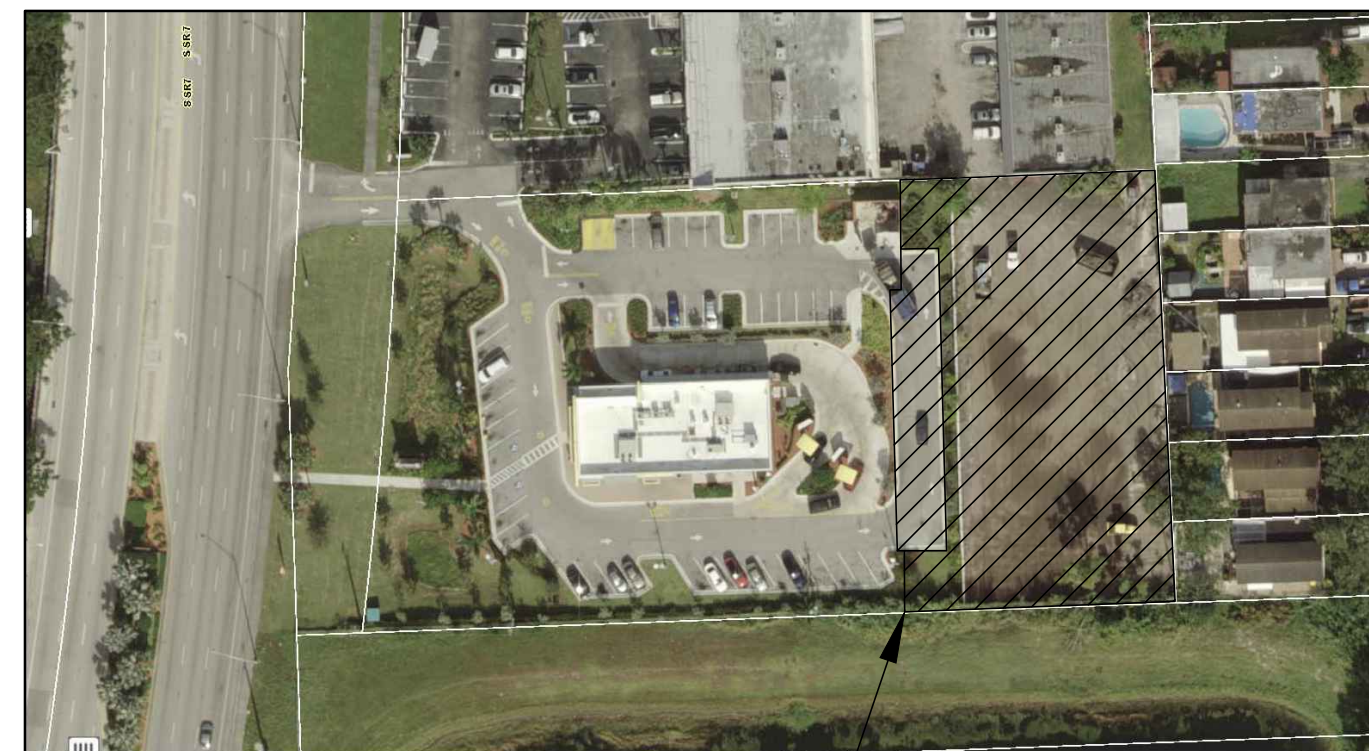
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 THIRD FLOOR PLAN
- A-4 FOURTH FLOOR PLAN
- A-5 FIFTH FLOOR PLAN
- A-6 SIXTH FLOOR PLAN
- A-7 ROOF AMENITY PLAN
- A-8 ROOF PLAN
- A-9 BUILDING ELEVATION
- A-10 BUILDING ELEVATION
- A-11 BUILDING ELEVATION
- A-12 BUILDING ELEVATION
- A-13 CONTEXTUAL STREET ELEVATIONS

## LOCATION MAP



SITE

## AERIAL



SITE

[illegible]

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 16116  
DATE: 1-24-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

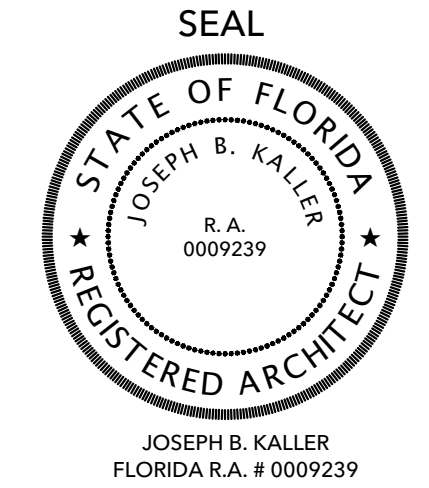
**T-1**



**Kaller**Architecture

AA# 26001212  
2417 Hollywood Blvd.  
Hollywood Florida 33020  
954.920.5746  
joseph@kallerarchitects.com

www.kallerarchitects.com



PROJECT TITLE

the Kosher house

5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

KALLER ARCHITECTURE. ALL RIGHTS RESERVED © 2018



ALTA/NSPS LAND TITLE SURVEY

TREE NO. ON SURVEY	SPECIES		TRUNK DIA. AT BREAST HEIGHT	# OF TRUNKS	TREE HEIGHT	CANOPY SPREAD	CANOPY (SF)	CONDITION
	COMMON NAME	SCIENTIFIC NAME	INCHES		FEET	FT2		
1	ROYAL POINCIANA		10		30		25	
2	UNKNOWN		3		13		7	
3	UNKNOWN		3		11		10	
4	UNKNOWN		5		20		12	
5	OAK		3		10		5	
6	UNKNOWN		3		11		8	
7	UNKNOWN		3		20		14	
8	ACACIA		3		10		6	
9	OAK		3		10		7	
10	OAK		3		12		7	
11	ACACIA		3		8		6	
12	ACACIA		3		8		6	
13	ACACIA		3		9		4	
14	UNKNOWN		12		30		20	
15	UNKNOWN		12		22		15	
16	OAK		2		17		4	
17	POND APPLE		2		8		4	
18	POND APPLE		2		5		3	
19	POND APPLE		2		6		5	
20	POND APPLE		2		8		5	
21	POND APPLE		2		5		3	
22	POND APPLE		2		7		4	
23	POND APPLE		2		7		4	
24	POND APPLE		2		8		4	
25	MAPLE		4		14		7	
26	MAPLE		3		10		6	
27	MAPLE		3		10		7	
28	OAK		3		16		8	
29	OAK		3		15		7	
30	PALM		14		25		15	
31	MAPLE		3		13		8	
32	MAPLE		3		10		5	
33	MAPLE		3		12		6	
34	PALM		16		25		12	
35	OAK		5		20		10	
36	PALM		10		18		9	
37	PALM		10		18		9	
38	PALM		10		15		8	
39	PALM		10		19		10	
40	PALM		10		16		8	
41	PALM		8		15		8	
42	PALM		12		30		15	
43	OAK		3		20		8	
44	OAK		3		12		7	
45	PALM		12		30		13	
46	MAPLE		4		14		5	
47	MAPLE		4		13		6	
48	OAK		6		17		6	
49	MAPLE		5		13		7	
50	MAPLE		5		15		6	
51	MAPLE		3		10		5	
52	OAK		2		10		5	
53	PALM		10		15		9	
54	PALM		10		18		8	
55	PALM		10		20		8	
56	PALM		22		30		17	
57	OAK		18		35		22	
58	HIBISCUS		2		9		6	
59	HIBISCUS		2		10		6	
60	HIBISCUS		2		12		7	
61	HIBISCUS		5		22		20	
62	SILVER TAB		4		12		7	
63	SILVER TAB		3		9		6	
64	SILVER TAB		3		10		8	
65	SILVER TAB		2		10		3	
66	SILVER TAB		4		14		8	
67	SILVER TAB		2		8		5	
68	SILVER TAB		2		8		8	
69	SILVER TAB		5		8		8	
70	SILVER TAB		5		12		8	
71	OAK		3		13		6	

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT, WHICH REPORT WAS CONDUCTED FROM THE TIME OF BEGINNING ONWARD THROUGH JANUARY 22, 2019
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK REFERENCE : BROWARD COUNTY BENCHMARK # 3361 ELEVATION=3.69" (NAVD88)
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "C & S SUBDIVISION", P.B. 89, PG. 40, B.C.R. SAID LINE BEARS S89°52'12"W.
- ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT ACCESS TO STATE ROAD NO 7, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 89, PAGE 40, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

CLIENT :

JOSEPH B. KALLER  
+ ASSOCIATES PA

5530 S STATE ROAD 7  
HOLLYWOOD, FLORIDA

STATE PLANE COORDINATE INFORMATION

(a) PROJECTION:

UNIVERSAL TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDINATE SYSTEM.

(b) DATUM:

THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQUENT RE-ADJUSTMENT DONE IN 2007 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2007)). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

(c) METHODOLOGY:

COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE TDS PACKAGE TOGETHER WITH THE "L-NET" ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION. THE "L-NET" NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS.

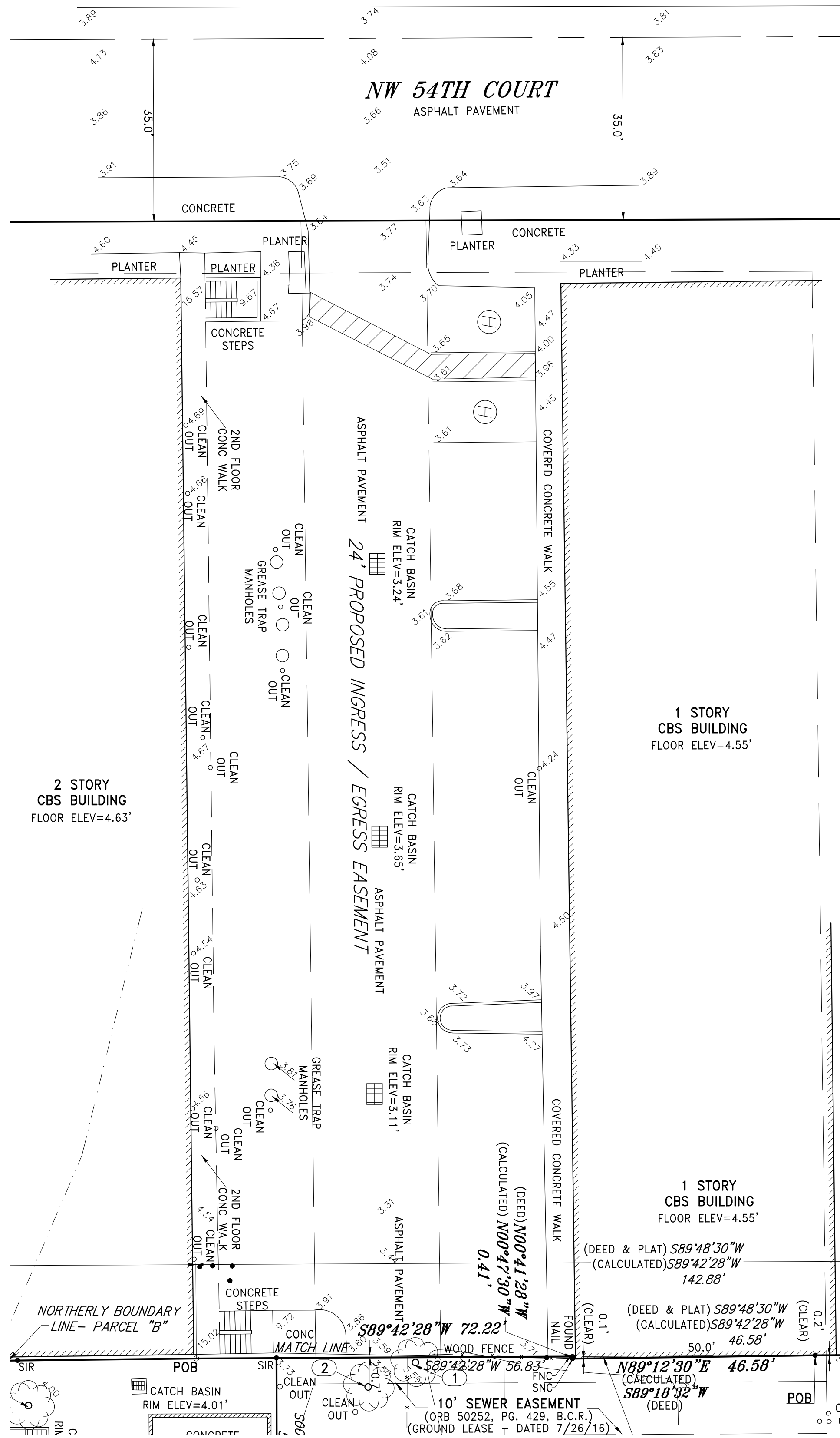
(d) ESTIMATED ACCURACIES:

HORIZONTAL ACCURACIES TO 0.04'

VERTICAL ACCURACIES TO 0.07'

ENCUMBRANCES:

- MATTERS AS CONTAINED ON THE PLAT OF C & S SUBDIVISION, RECORDED IN PLAT BOOK 89, PAGE 40, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- DEVELOPER'S AGREEMENT REGARDING WATER AND SEWER SERVICES RECORDED IN OR BOOK 4206, PAGE 25, AND AMENDED IN OR BOOK 4517, PAGE 774 AND OR BOOK 6549, PAGE 428 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- DEVELOPER'S AGREEMENT REGARDING WATER AND SEWER SERVICES RECORDED IN OR BOOK 6549, PAGE 433 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- AGREEMENT FOR SUBDIVISION RECORDED IN OR BOOK 6662, PAGE 167 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (INSUFFICIENT DOCUMENT PROVIDED)
- GUARANTEE SEWER CONNECTION AGREEMENT RECORDED IN OR BOOK 7230, PAGE 637 AND 639 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- EASEMENT GRANTED TO FLORIDA POWER & LIGHT RECORDED IN OR BOOK 8343, PAGE 77 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (DOES NOT AFFECTS/NOT PLOTTED)
- THAT CERTAIN EASEMENTS AND RESTRICTIONS CONTAINED IN THAT CERTAIN CROSS-EASEMENT AGREEMENT FOR INGRESS AND EGRESS RECORDED IN OR BOOK 8740, PAGE 95 AS AMENDED IN OR BOOK 50003, PAGE 1834 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- DECLARATION OF UNITY OF TITLE RECORDED IN OR BOOK 50223, PAGE 1548 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- EASEMENT GRANTED TO FLORIDA POWER & LIGHT RECORDED IN OR BOOK 50257, PAGE 886 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- THOSE CERTAIN EASEMENTS WHICH ARE PART OF THAT CERTAIN LEASE BETWEEN KALIF CORP. AND SHOPPES OF HARD ROCK, LLC, WHICH LEASE IS NOT RECORDED BUT REFERENCED IN THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN INSTRUMENT NO. 114338528 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)



SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THE FIELD WORK WAS COMPLETED ON JUNE 27, 2019.

FOR THE FIRM BY:

Richard E. Cousins

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 689-7766 FAX (954) 689-7799

REVISIONS

	DATE	FB/PG	DWN	CKD
TOPOGRAPHIC SURVEY	10/15/16	SKETCH	AM	REC
REVISED SURVEY PER ORB 50252, PG. 429, BCR	11/02/16	-----	REC	REC
BOUNDARY AND IMPROVEMENT SURVEY	12/04/16	-----	JD	REC
REVISED CENTERLINE OF SR-7	12/09/16	-----	JD	REC
ADDED PARKING AND INGRESS/EGRESS EASEMENT	04/12/18	-----	REC	REC
REVISED PER OWNERSHIP & ENCUMBRANCE REPORT	01/25/19	-----	AM	REC

REVISIONS

	DATE	FB/PG	DWN	CKD
UPDATE SURVEY - ALTA/NSPS LAND TITLE SURVEY	03/11/19	SKETCH	AM	REC
UPDATE SURVEY - TREE LOCATION	03/28/19	SKETCH	AM	REC
LOCATED PROPOSED ACCESS AREA TO NW 54TH COURT	06/27/19	SKETCH	AM	REC
ADDED STATE PLANE COORDINATES	10/05/19	-----	JD	REC

PROJECT NUMBER : 8177-16

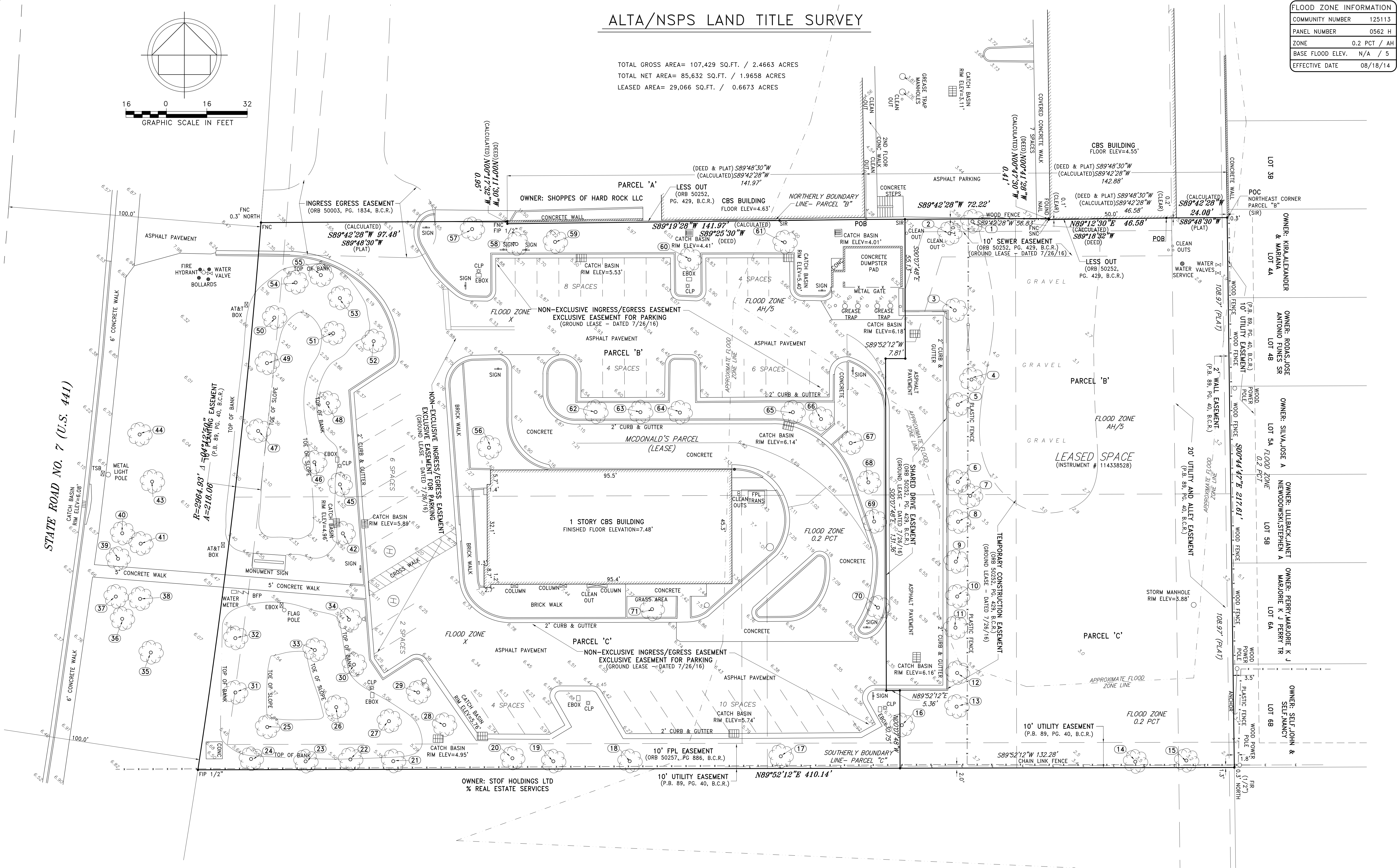
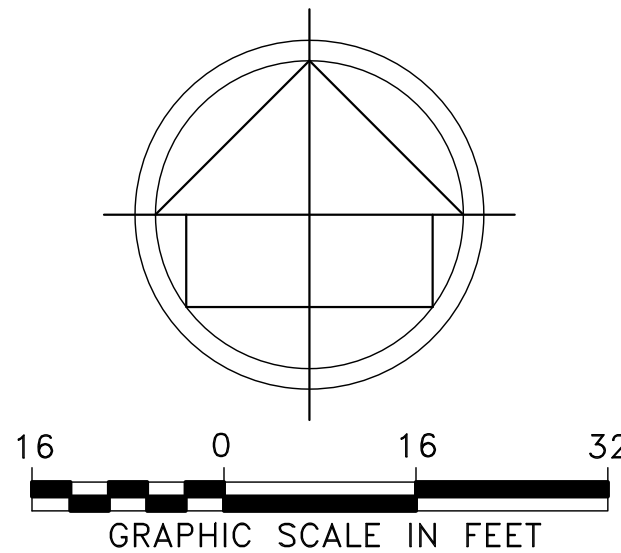
SCALE : N/A

SHEET  
1  
OF  
2  
SHEETS

ALTA/NSPS LAND TITLE SURVEY

TOTAL GROSS AREA= 107,429 SQ.FT. / 2.4663 ACRES  
TOTAL NET AREA= 85,632 SQ.FT. / 1.9658 ACRES  
LEASED AREA= 29,066 SQ.FT. / 0.6673 ACRES

FLOOD_ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0562 H
ZONE	0.2 PCT / AH
BASE FLOOD ELEV.	N/A / 5
EFFECTIVE DATE	08/18/14



COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 680-9885 FAX (954) 680-0213

CLIENT :

JOSEPH B. KALLER  
+ ASSOCIATES PA

5530 S STATE ROAD 7  
HOLLYWOOD, FLORIDA

REVISIONS		DATE	FB/PG	DWN	CKD
TOPOGRAPHIC SURVEY		10/15/16	SKETCH	AM	REC
REVISED SURVEY PER ORB 50252, PG. 429, B.C.R.		11/02/16	----	REC	REC
BOUNDARY AND IMPROVEMENT SURVEY		12/04/16	----	JD	REC
REVISED CENTERLINE OF SR-7		12/09/16	----	JD	REC
ADDED PARKING AND INGRESS/EGRESS EASEMENT		04/12/18	----	REC	REC
REVIEWED PER OWNERSHIP & ENCUMBRANCE REPORT		01/25/19	----	AM	REC

REVISIONS		DATE	FB/PG	DWN	CKD
UPDATE SURVEY - ALTA/NSPS LAND TITLE SURVEY		03/11/19	SKETCH	AM	REC
UPDATE SURVEY - TREE LOCATION		03/28/19	SKETCH	AM	REC

PROJECT NUMBER : 8177-16

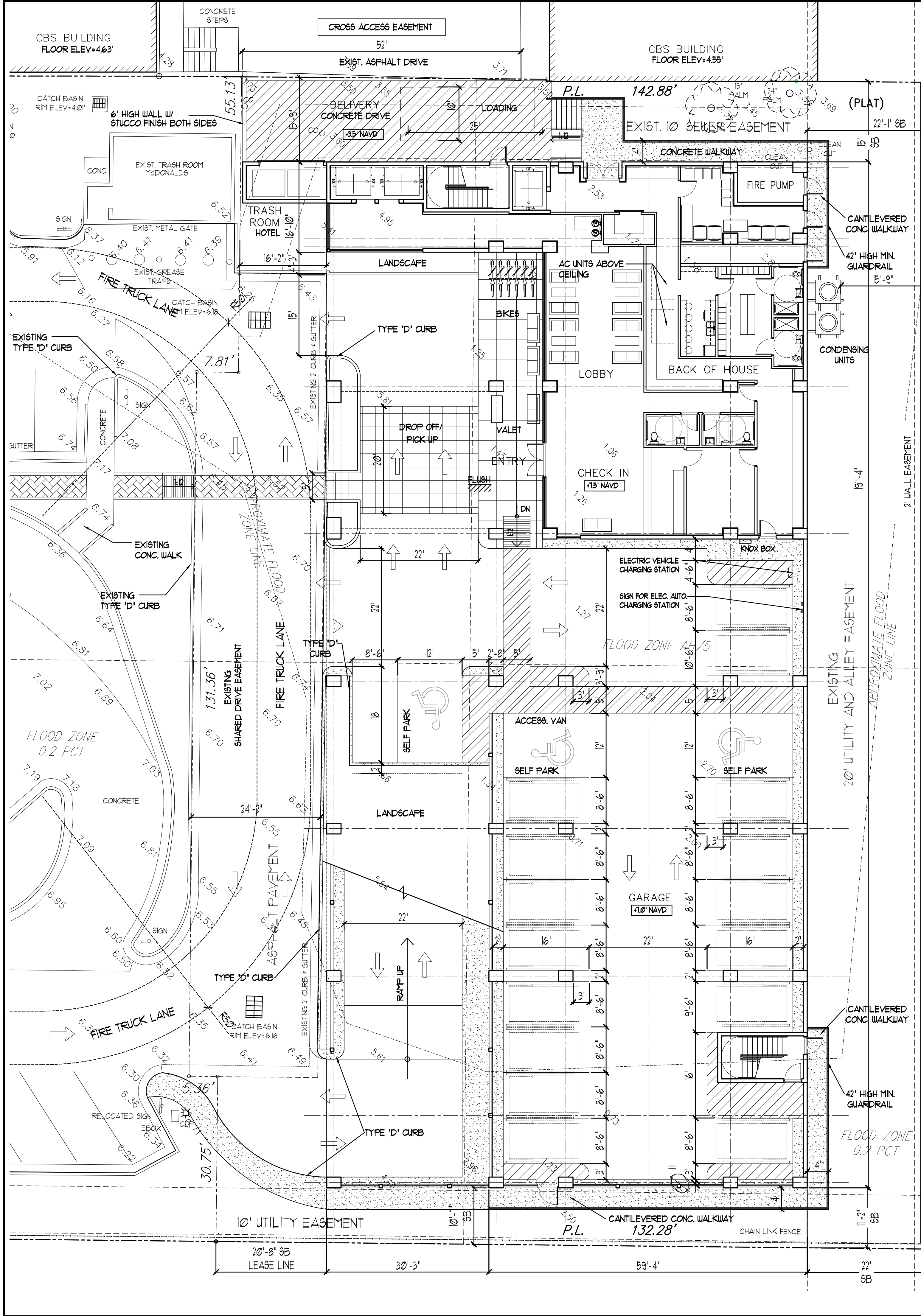
SCALE : 1" = 16'

SHEET  
2  
OF  
2  
SHEETS

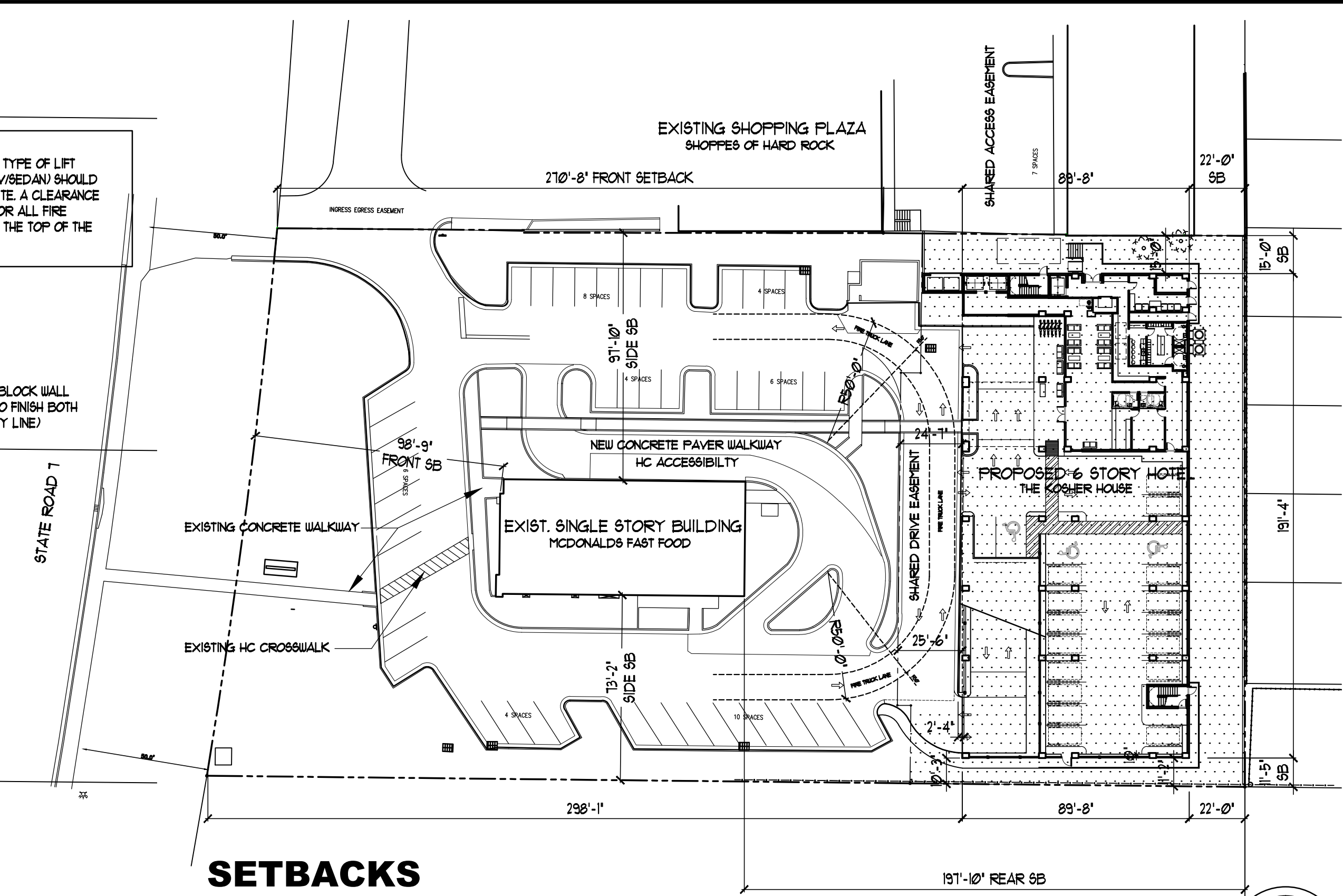








2 SITE PLAN  
SCALE: 3/32" = 1'-0"



SETBACKS

EXISTING SHOPPING PLAZA  
SHOPPES OF HARD ROCK  
owner: SHOPPES OF HARD ROCK LLC

PROPOSED LOCATION  
THE KASHER HOUSE by WYNDHAM  
owner: SHOPPES OF HARD ROCK LLC



PROVIDE A KNOX BOX AS PER NFPA 1182.21 (2012 ED.) FIELD  
FIRE INSPECTOR TO DECIDE LOCATION OF THE ACCESS BOX.

TWO WAY RADIO COMPLIANCE:  
BUILDING WILL BE IN COMPLIANCE WITH NFPA 1, 110 AND  
BROWARD COUNTY CODE AMENDMENT 1182 FOR TWO WAY RADIO  
COMMUNICATION.

FIRE SPRINKLERS:  
FIRE SPRINKLER SYSTEM MUST BE EXTRA HAZARD GROUP II.

COMMUNITY ASSOCIATIONS:  
THERE ARE NO LOCAL CIVIC OR NEIGHBOURHOOD  
ASSOCIATIONS IN THE AREA IN WHICH TO COMMUNICATE WITH.

PENETRATION AND JOINT PROTECTION:  
INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE RESISTIVE  
JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH NFPA 1123.21  
AND 1232.2.

GREEN BUILDING AND ENVIRONMENTAL SUSTAINABILITY:  
1. SUSTAINABLE FENCING AND BUILDING MATERIALS TO  
BE USED.  
2. ENERGY CERTIFIED OR COOL ROOF COUNCIL RATED  
FROOF OVER KITCHEN  
3. GREEN ROOF INFRASTRUCTURE TO BE PROVIDED ON  
ROOF DECK.

1 KEY PLAN  
SCALE: 1" = 40'-0"

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS  
OF THE CITY OF HOLLYWOOD ZONING AND LAND  
DEVELOPMENT CODE BASED ON THE N-MU ZONING  
DISTRICT.

NOTE:  
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED  
FIRE SPRINKLER SYSTEM.

NOTE:  
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND  
OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED  
FEMA BASE FLOOD 46' NAVD.

FEMA NOTE:  
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE  
PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF  
BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION  
SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE:  
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE  
PROPERTY LINE ADJACENT TO ALL PROPERTY LINES.

FIRE ALARM NOTE:  
A FIRE ALARM SYSTEM IS REQUIRED AS PER FF.P.C.  
2017 NFPA 101 SECTION 28.3.4.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED  
FROM PUBLIC VIEW.

GREEN CERTIFICATION:  
NATIONAL GREEN BUILDING STANDARD CERTIFICATION

HOTEL AMENITIES:  
ALL HOTEL AMENITIES ARE FOR HOTEL GUEST USE  
ONLY. NOT OPEN TO THE GENERAL PUBLIC.

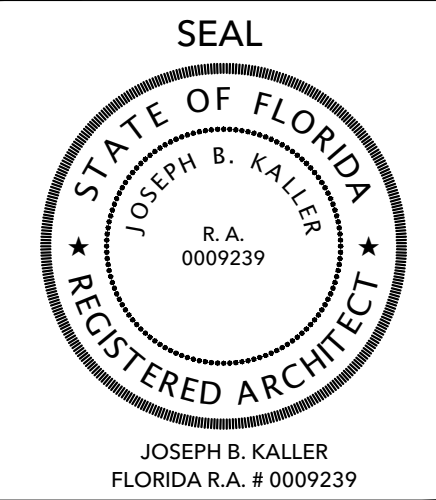
SITE LIGHTING:  
ALL EXTERNAL LIGHTING FIXTURES SHOULD MEET THE  
REQUIREMENTS OF THE INTERNATIONAL DARK SKY  
ASSOCIATION.

VALET:  
THE HOTEL IS 100% 24 HR VALET, WITH THE EXCEPTION  
OF ANY PERSONS WITH A HANDICAP PARKING PERMIT  
THAT CHOOSES TO SELF PARK.

ACCESSIBLE VAN:  
FAC 2011 502.5 VERTICAL CLEARANCE. PARKING  
SPACES FOR VANS AND ACCESS AISLES AND  
VEHICULAR ROUTES SERVING THEM SHALL PROVIDE  
CLEARANCE OF 98 INCHES MINIMUM.



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www.kallerarchitects.com



PROJECT TITLE  
**the Kasher House**  
5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

SITE PLAN AND NOTES  
SHEET TITLE

REVISIONS  
No. DATE DESCRIPTION

1	2-19-19	PRELIM TAC
2	5-6-19	FINAL TAC
3	8-20-19	PLANNING DEPT.
4		
5		
6		
7		
8		
9		
10		

PROJECT No.: 16116  
DATE: 1-24-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

SP-1

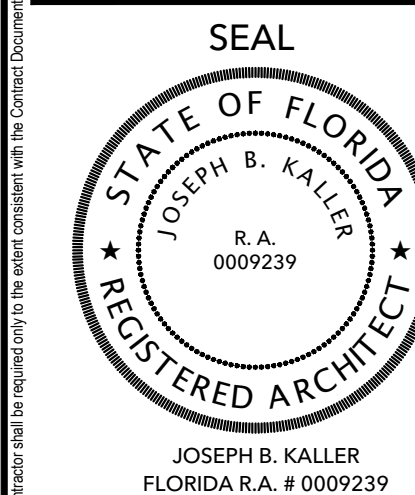
SHEET 1 OF 4





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954.920.5746  
eph@kallerarchitects.com

www.kallerarchitects.com



PROJECT TITLE

# the Kosher House

5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

HEET TITLE

SITE PLAN AND NOTES

[illegible]

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DATE: 1-24-1  
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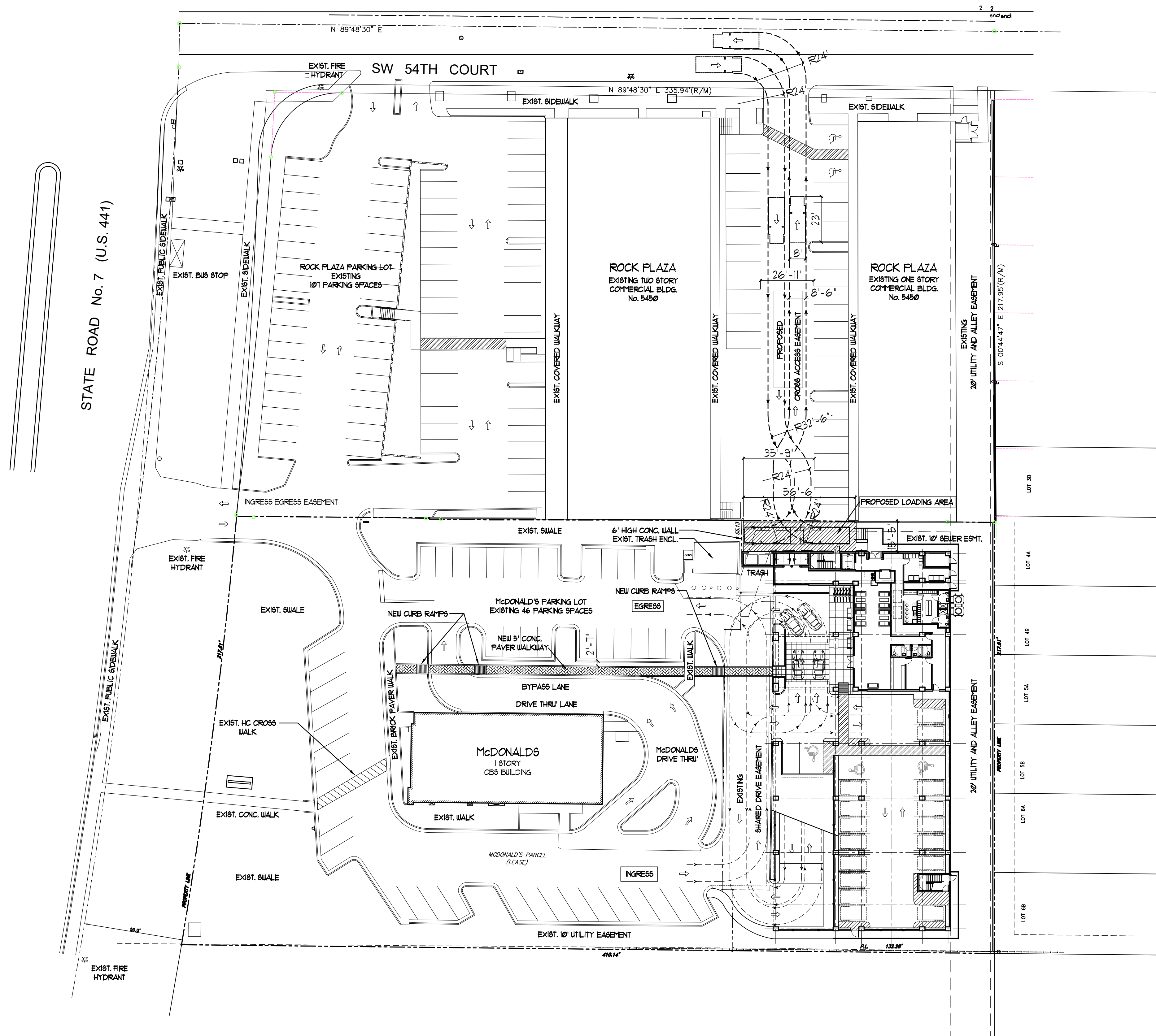
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SP-1A

SHEET 1 OF 4



## 2 SITE TRAFFIC PLAN



CALLER ARCHITECTURE, ALL RIGHTS RESERVED © 2018





①



2

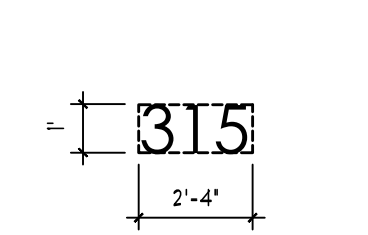


Diagram illustrating a parking lot layout. The main parking area is labeled "PARKING" and has a width of 5'-4". The entry area is labeled "ENTRY" and has a width of 8'-0". The exit area is labeled "EXIT" and has a width of 2'-2".

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

**NOTE:**  
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.  
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS  
REQUIRING ILLUMINATION.

4



minimum clearance

\* 10'-6"

weight adjustable

variable 5' to 6'-7"

9'-5"

\* REFER TO RECOMMENDED CLEARANCE DIMENSIONS FOR DP003

STACKED VEHICLE TYPES	TOTAL HEIGHT REQUIREMENT
SEDAN + SEDAN	10'-4"
SUV + SEDAN	12'-2"
SUV + SUV	14'-0"

ALL UNITS AVAILABLE AS SINGLE STANDING OR SHARED WITH COMMON LEG

15'-6"

7'-11"

7'-7"

13'-6"

3'

clearance required rear

shared common leg

DP003 L-11  
SCHEMATIC PLAN

16'-2"

8'-3"

7'-11"

13'-6"

3'

clearance required rear

shared common leg

DP003 L-12  
SCHEMATIC PLAN

16'-10"

8'-7"

8'-3"

13'-6"

3'

clearance required rear

shared common leg

DP003 L-13  
SCHEMATIC PLAN



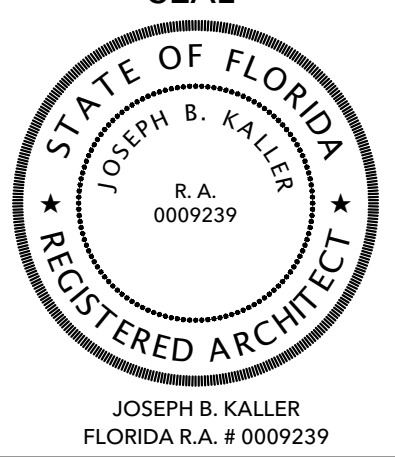
**1** **SIGNA**  
SCALE: 1/4" = 1'-0"

2 **CAI**  
SCALE: NTS



AA# 26001212  
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Hollywood Florida 33020  
954.920.5746  
joseph@kallerarchitects.com

SEAL



PROJECT TITLE

the Koshier House

5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

PROJECT TITLE

SHEET TITLE

SIGNAGE DETAILS

CAR LIFT DETAILS

**SHEET TITLE**

[illegible][illegible]

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PROJECT No.: 16116  
DATE: 1-24-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

SP-3

SHEET 3 OF 4



# The Kosher House

## Hollywood, Florida

### CIVIL ENGINEERING PLANS

LEGAL DESCRIPTION:

LAND DESCRIPTION :

PARCELS "B" AND "C" OF "C & S SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 89, PAGE 40 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND LESS THE FOLLOWING DESCRIBED PARCELS:

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL "B" OF "C & S SUBDIVISION"; THENCE SOUTH 89°48'30" WEST ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL "B"; A DISTANCE OF 24.08 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°18'32" WEST, A DISTANCE OF 46.5 FEET; THENCE NORTH 00°41'28" WEST, A DISTANCE OF 0.41 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL "B"; THENCE NORTH 89°48'30" EAST ALONG SAID NORTHERLY BOUNDARY, A DISTANCE OF 46.58 FEET TO THE POINT OF BEGINNING.

AND LESS:

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL "B" OF "C & S SUBDIVISION"; THENCE SOUTH 89°48'30" WEST ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL "B"; A DISTANCE OF 142.88 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°25'30" WEST, A DISTANCE OF 141.97 FEET; THENCE NORTH 00°11'30" WEST, A DISTANCE OF 0.95 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL "B"; THENCE NORTH 89°48'30" EAST ALONG SAID NORTHERLY BOUNDARY, A DISTANCE OF 141.97 FEET TO THE POINT OF BEGINNING.

TOPOGRAPHIC ELEVATIONS:

ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

BCWWS NOTES:

- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH WATER AND WASTEWATER SERVICES MINIMUM DESIGN AND CONSTRUCTION STANDARDS. PLANS ARE IN ACCORDANCE WITH WWS MINIMUM DRAWING REQUIREMENTS DATED 2013.
- STATE PLANE COORDINATES SHALL BE SUPPLIED FOR THE DESIGN AND RECORD DRAWINGS.
- BCWWS APPROVAL OF THIS SET OF DRAWINGS IS RELIANT UPON THE DRAWINGS CLEARLY SHOWING ALL EXISTING AND PROPOSED ABOVE GROUND STRUCTURES, ASPHALT, PAVING, LANDSCAPING, WALLS, FENCES, UNDERGROUND PIPING, UNDERGROUND STRUCTURES, DUCT BANKS, TRANSFORMERS, POLES, STORM WATER STORAGE AREAS, PAVERS, ELECTRIC CABLE, AND OTHER UTILITY FACILITIES WITHIN RIGHTS OF WAY AND EXISTING AND PROPOSED POTABLE WATER/ RECLAIMED WATER / WASTEWATER EASEMENTS. WWS HEREBY AUTHORIZES ONLY THE ITEMS SHOWN ON THESE DRAWINGS TO BE WITHIN SAID POTABLE WATER / RECLAIMED WATER / WASTEWATER EASEMENTS.
- FLORIDA EAST ZONE/NAD 83-90 HARN STATE PLANE COORDINATE.
- RECORD DRAWINGS SHALL INCLUDE COLOR PHOTOGRAPHS OF ALL CONNECTIONS TO EXISTING WWS INFRASTRUCTURE AS WELL AS ALL CRITICAL UTILITY CROSSINGS AND WHERE SPECIFICALLY REQUIRED ON THE DESIGN DRAWINGS REFERENCED PUBLISHED DOCUMENT "MINIMUM DRAWINGS REQUIREMENTS FOR PIPING PROJECTS FOR EXACT REQUIREMENTS CONCERNING PHOTOGRAPHS.



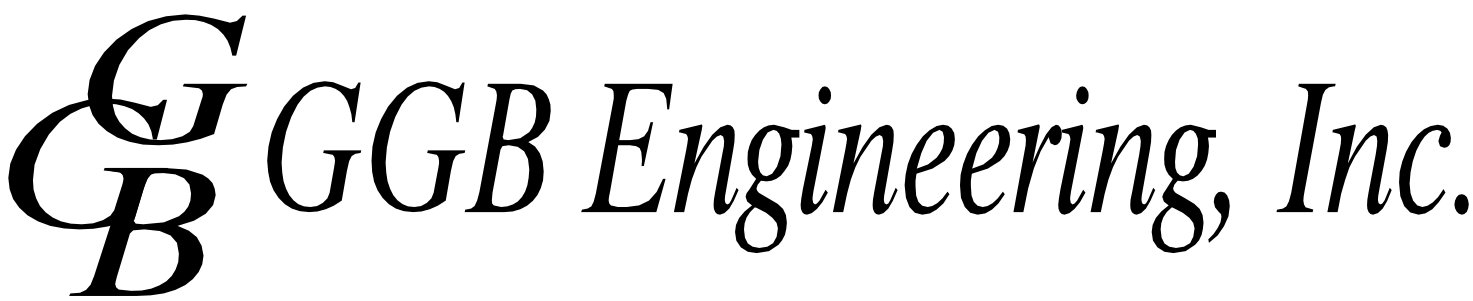
LOCATION MAP

SECTION 25-50S-41E  
N.T.S.

REQUIRED FIRE FLOW FOR PROJECT:

1. HOTEL★ \_\_\_\_\_ 100 GPM

★FULL FIRE SPRINKLER PROTECTION  
PER NFPA 18.4.5.2.1



CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
• CONSTRUCTION MANAGERS  
FLORIDA REGISTRATION No. 8118 •  
email: gary@ggbeng.com

2699 Stirling Road, Suite C-202  
Fort Lauderdale, Florida 33312

Phone: (954) 986-9899  
Fax: (954) 986-6655

SHEET NO.

TITLE

1	COVER SHEET
GN	GENERAL NOTES
C-1	WATER AND SEWER PLAN
DT1 – DT5	CONSTRUCTION DETAILS
	R-TANK PLANS AND DETAILS

IRRIGATION ERU TABLE\*\*

Type of Use	Unit of Measure	No. of Units	ERU per Unit	ERU's	Ref. Code	Comments
IRRIGATION	1000 SF	62.366	0.549	32.239	102	
(20% TOTAL BLDG. ERU'S)				34.239		CREDIT
			TOTAL	24.779		

WATER ERU TABLE\*\*

Type of Use	Unit of Measure	ERU per Unit	• Units	ERU's	Ref. Code	Comments
Hotel	PER ROOM	0.473	100.000	47.300	C19	
			TOTAL	47.300		

SEWER ERU TABLE\*\*

Type of Use	Unit of Measure	ERU per Unit	• Units	ERU's	Ref. Code	Comments
Hotel	PER ROOM	0.473	100.000	47.300	C19	
			TOTAL	47.300		

METER TALLY TABLE

Type of Use	5/8"	1"	1 1/2"	2"	3"
HOTEL	1 (bypass)				1

METER USAGE BREAKDOWN

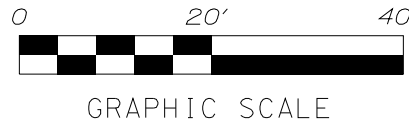
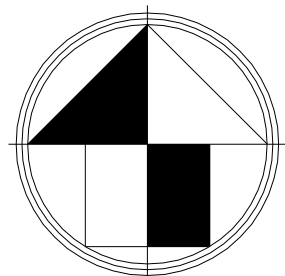
HOTEL	3"
TOTAL	1



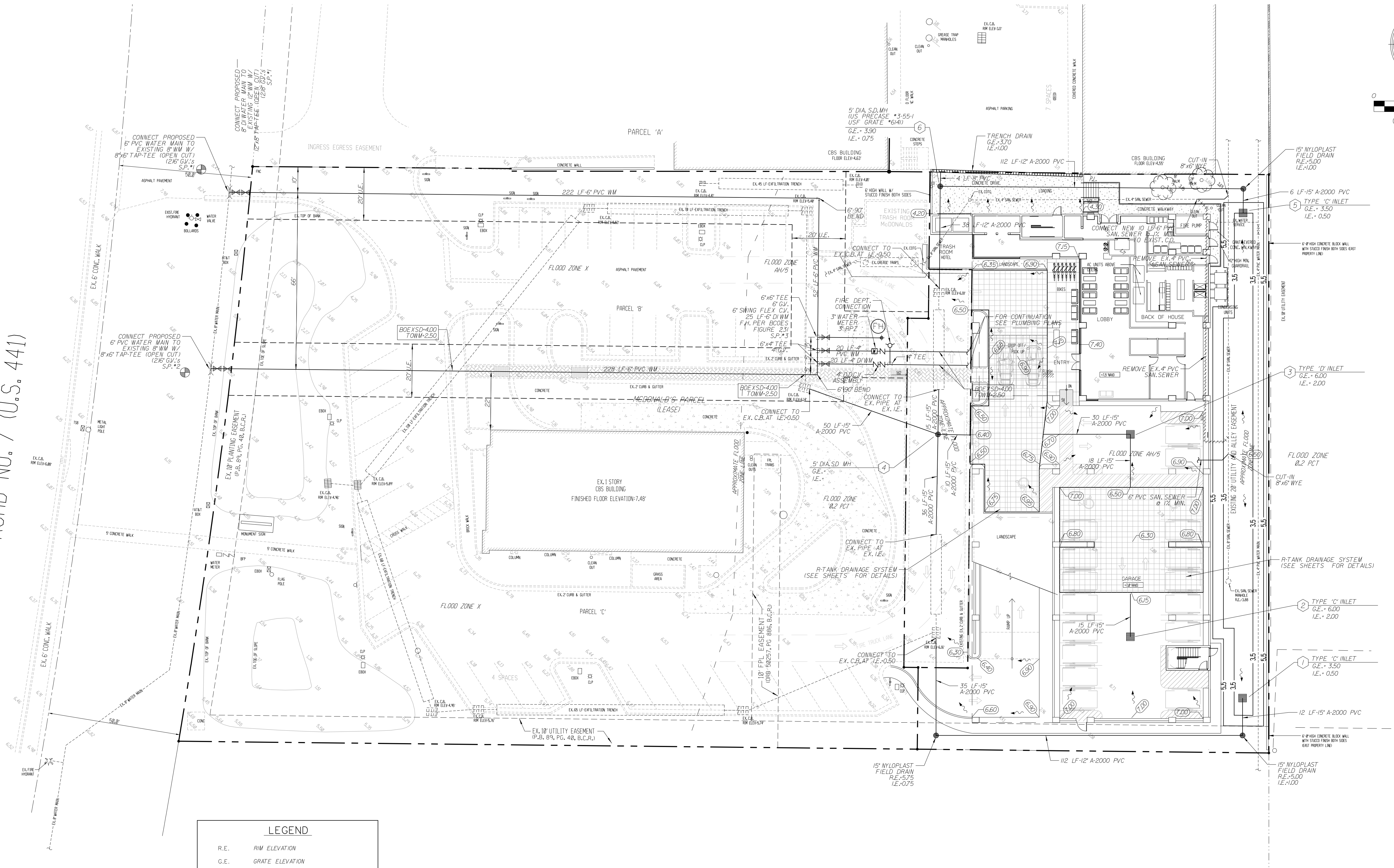




PROJ. No.  
DWG No.



STATE ROAD NO. 7 (U.S. 441)



LEGEND	
R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
---	PROPERTY LINE
---	DIRECTION OF OVERLAND FLOW
P.R.B.	POLLUTION RETARDANT BASIN
F.F.	FINISHED FLOOR ELEVATION
---	EXISTING INFORMATION
○	CATCH BASIN
○	STRUCTURE DESIGNATION
○	LENGTH/SIZE OF STORM DRAIN
---	EXISTING GRADE
---	PROPOSED GRADE
○	PROPOSED WATER METER AND RPZ
○	PROPOSED FIRE HYDRANT
○	PROPOSED DOUBLE DETECTOR CHECK VALVE ASSEMBLY
---	PROPOSED STORM DRAINAGE R-TANK SYSTEM

NOTE:  
ALL EXISTING AND PROPOSED GRADES  
REFER TO NAVD 88 DATUM.

NOTE:  
UNDERGROUND FIRE MAIN WORK WILL BE  
COMPLETED BY A CONTRACTOR HOLDING AT  
CLASS I, II OR V LICENSE PER FS 633-102.

NOTE:  
FOR ALL PARKING AND SIDEWALK DIMENSIONS  
REFER TO ARCHITECTURAL SITE PLAN BY  
KALLER ARCHITECTS.

PERMIT SET  
MUST BE ON SITE AT ALL  
TIMES DURING CONSTRUCTION

MATERIAL  
ALL MATERIAL USED AND INSTALLATIONS  
MADE WITHIN THE PUBLIC RIGHT-OF-WAY  
OR EASEMENTS SHALL BE IN ACCORDANCE  
WITH BROWARD COUNTY ENGINEERING  
DIVISION "MINIMUM STANDARDS"

NOTICE  
24 HRS. PRIOR TO COMMENCING ANY WORK  
IN THE PUBLIC RIGHT-OF-WAY, CONTACT THE  
CITY OF DANIA BEACH ENGINEERING DIVISION  
FOR INSPECTION

APPROVAL OF THIS PLAN DOES NOT  
CONSTITUTE A PERMIT FOR CONSTRUCTION.  
A PERMIT FOR CONSTRUCTION MUST BE  
OBTAINED FROM THE CITY OF DANIA BEACH  
ENGINEERING DIVISION PRIOR TO COMMENCING  
CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY.

BROWARD COUNTY PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

☐ PLAN CONSTANT  
WITH PLAT REQUIREMENTS

☐ PUBLIC RIGHT OF WAY APPROVAL  
FOR WATER AND SEWER

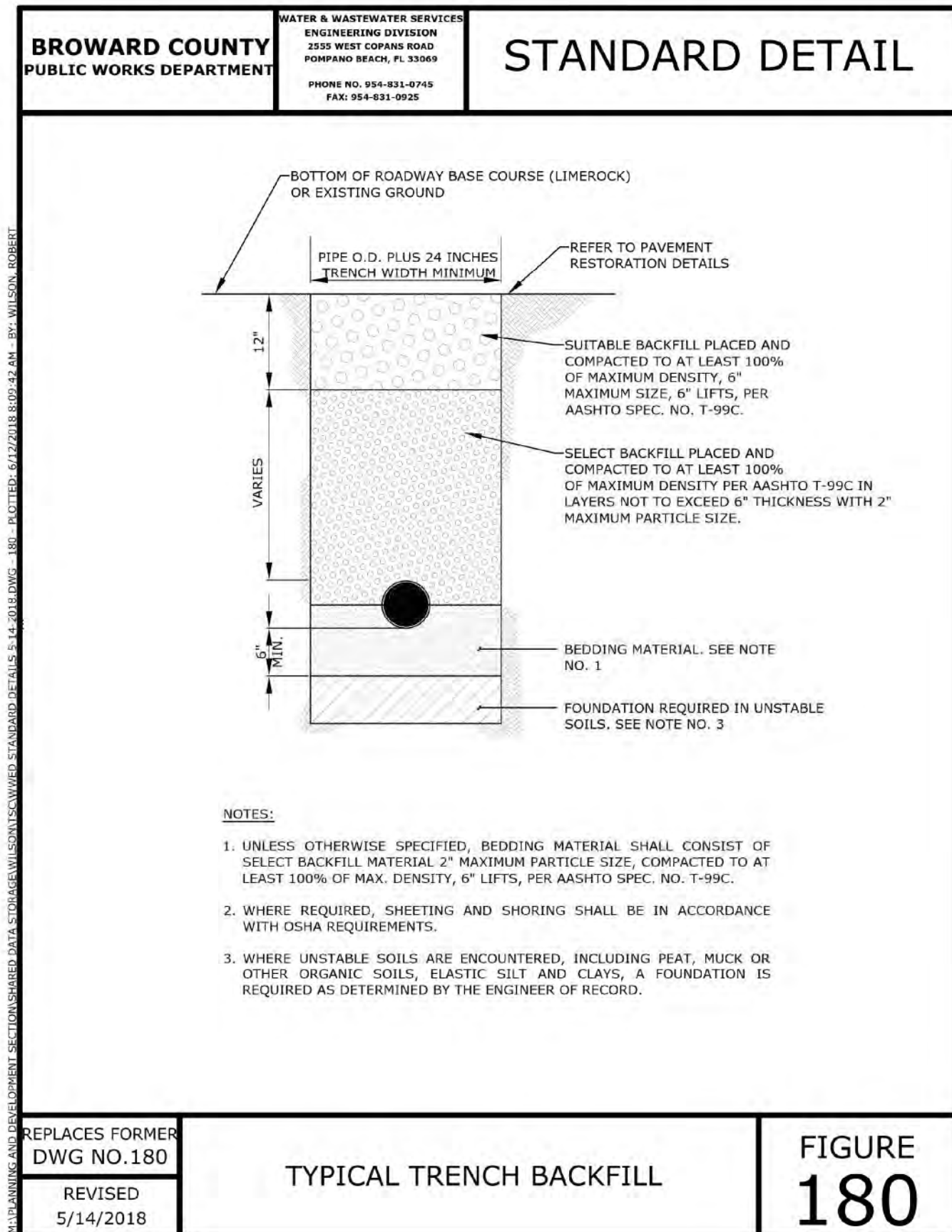
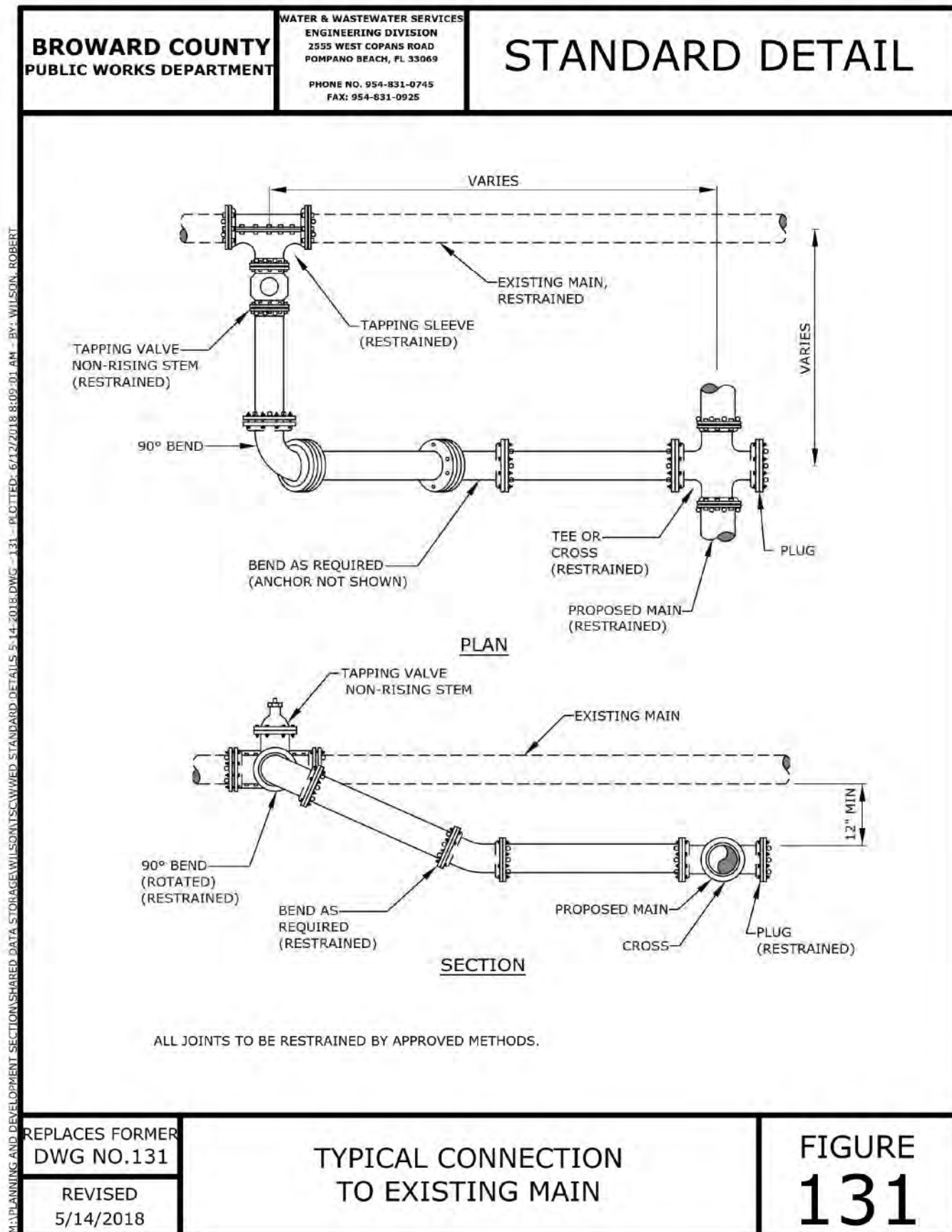
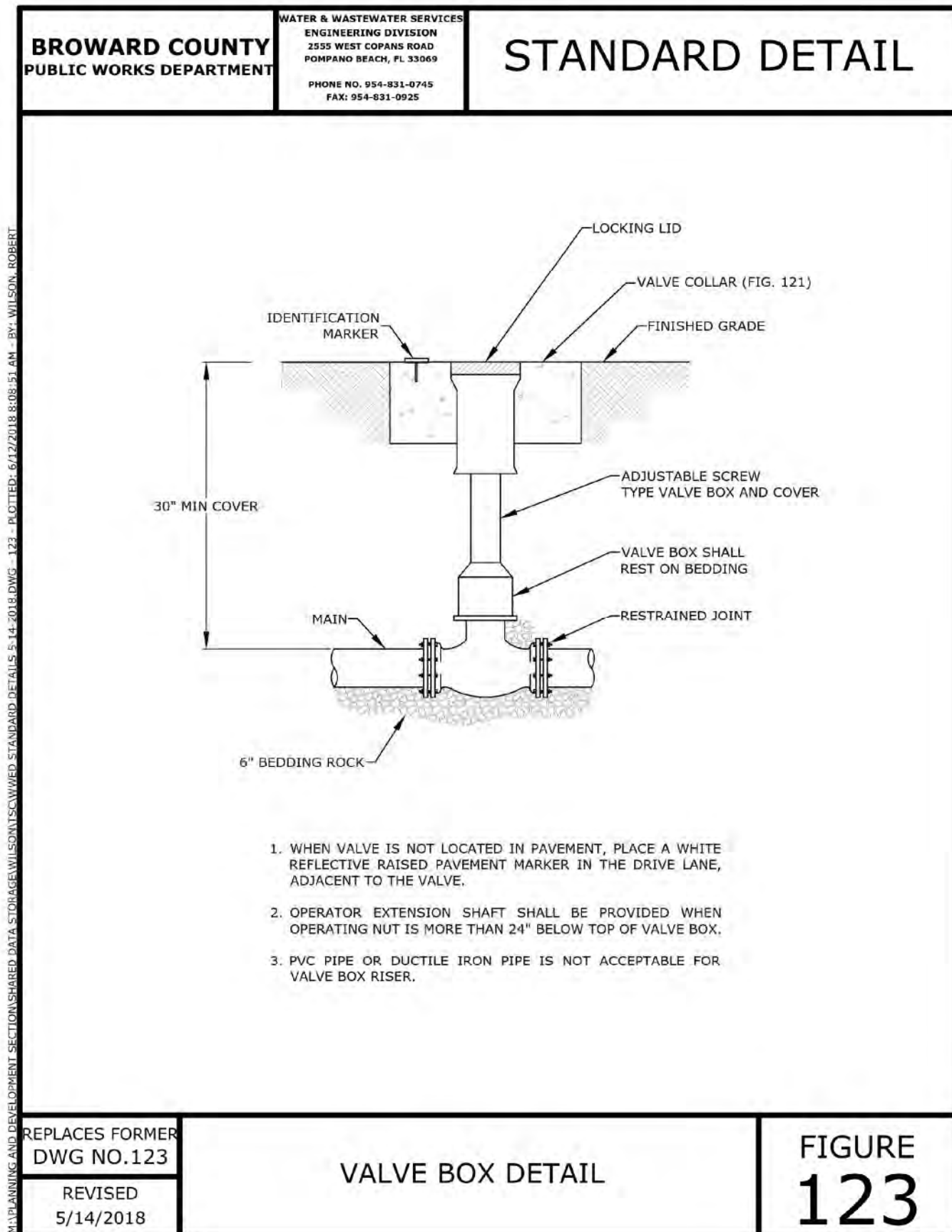
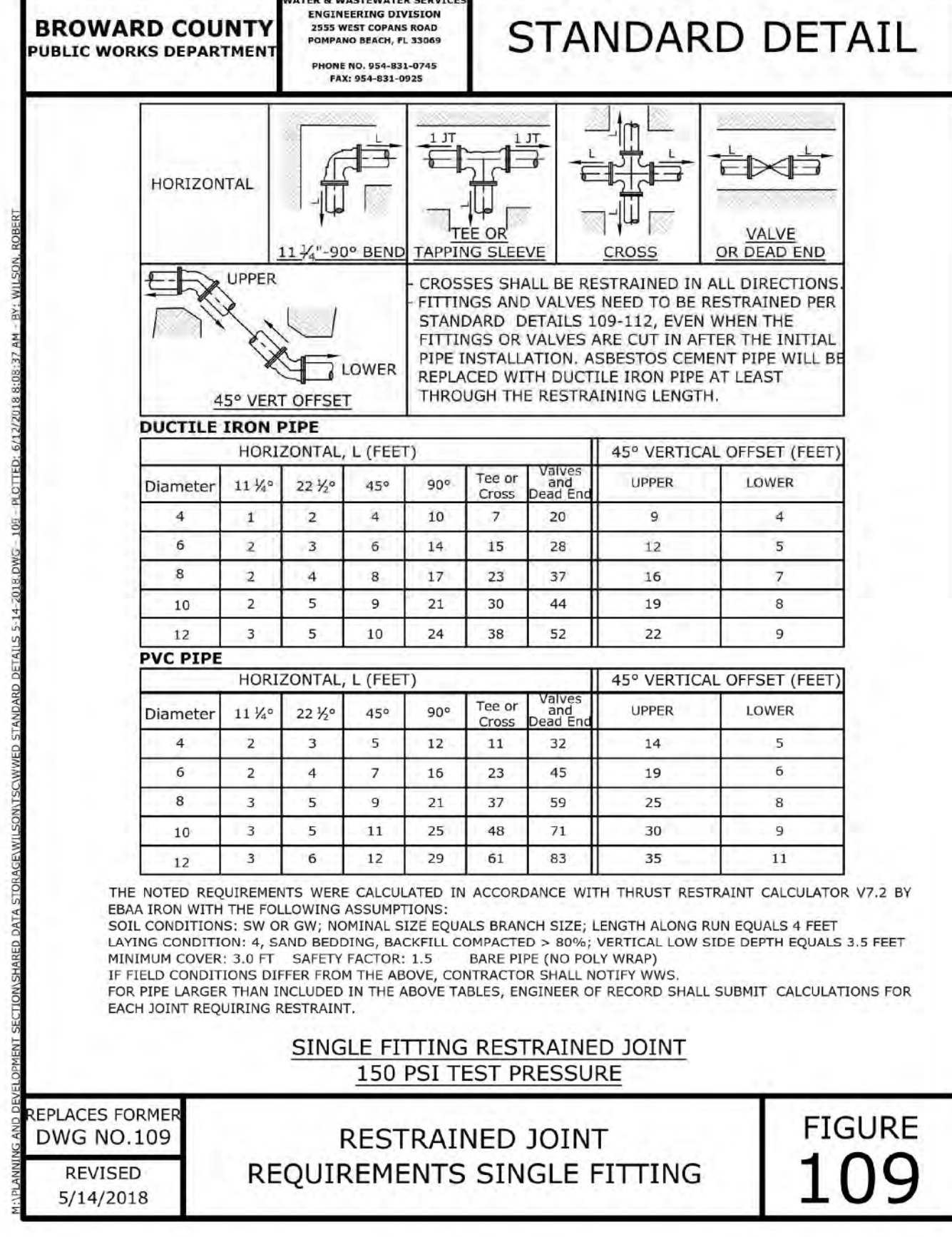
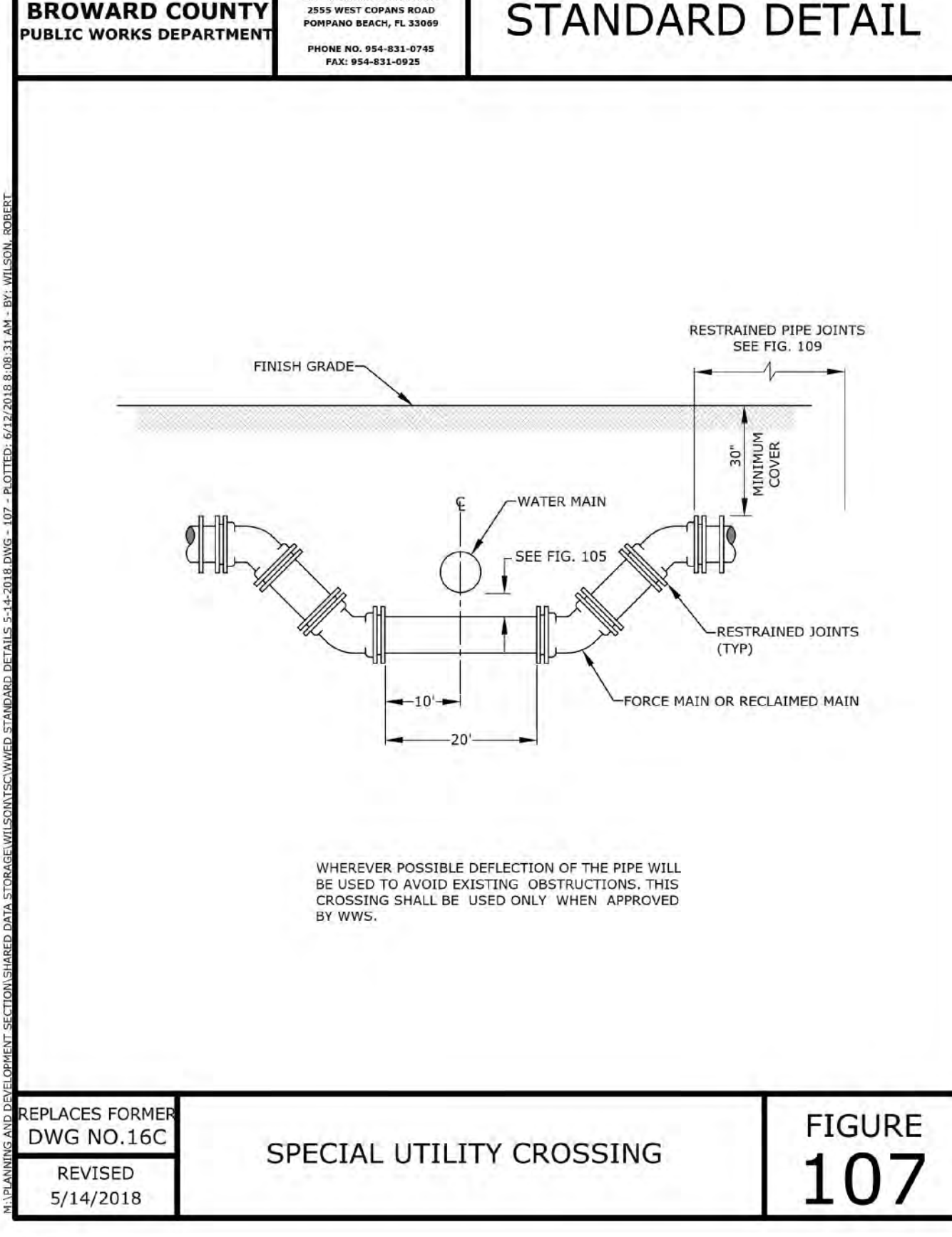
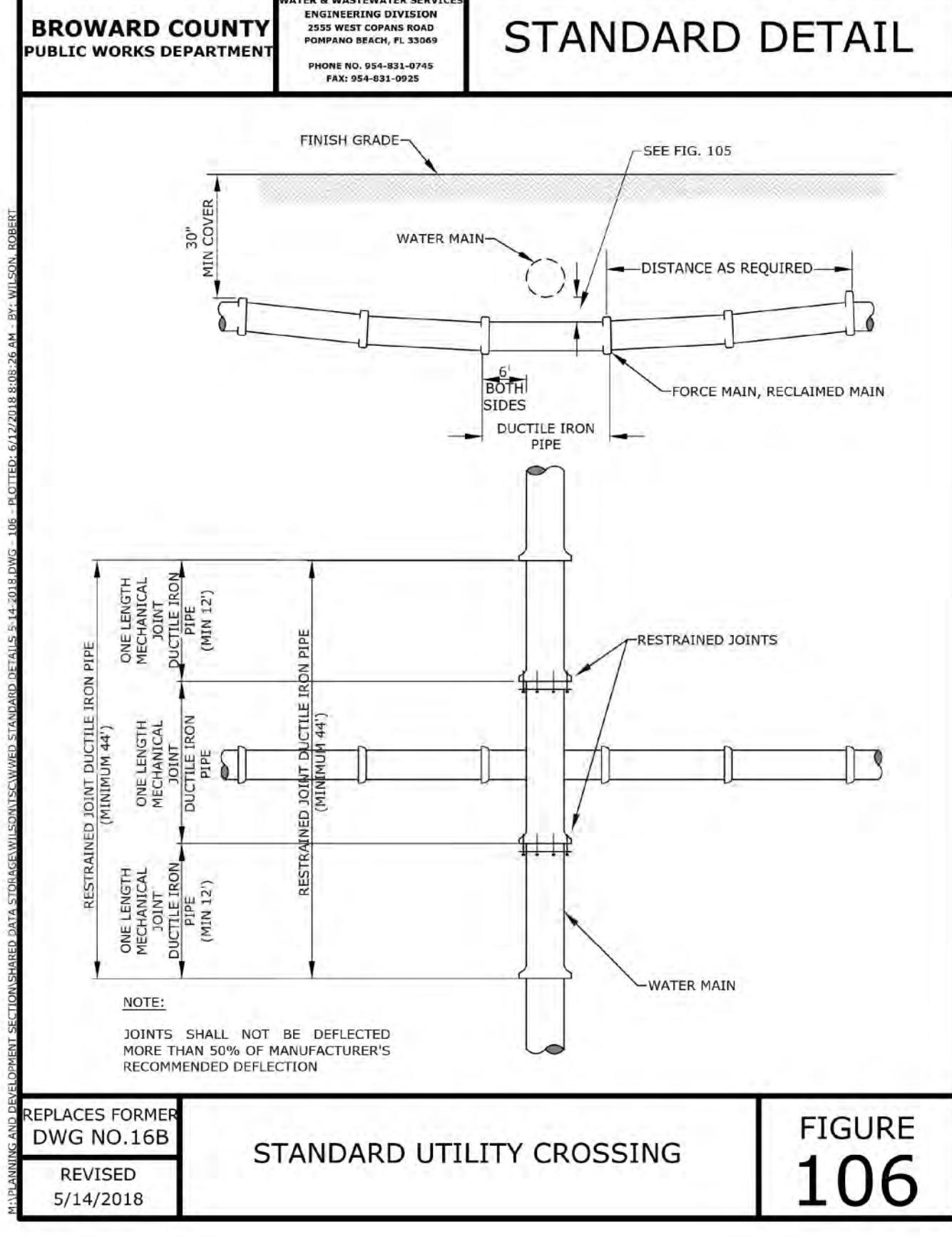
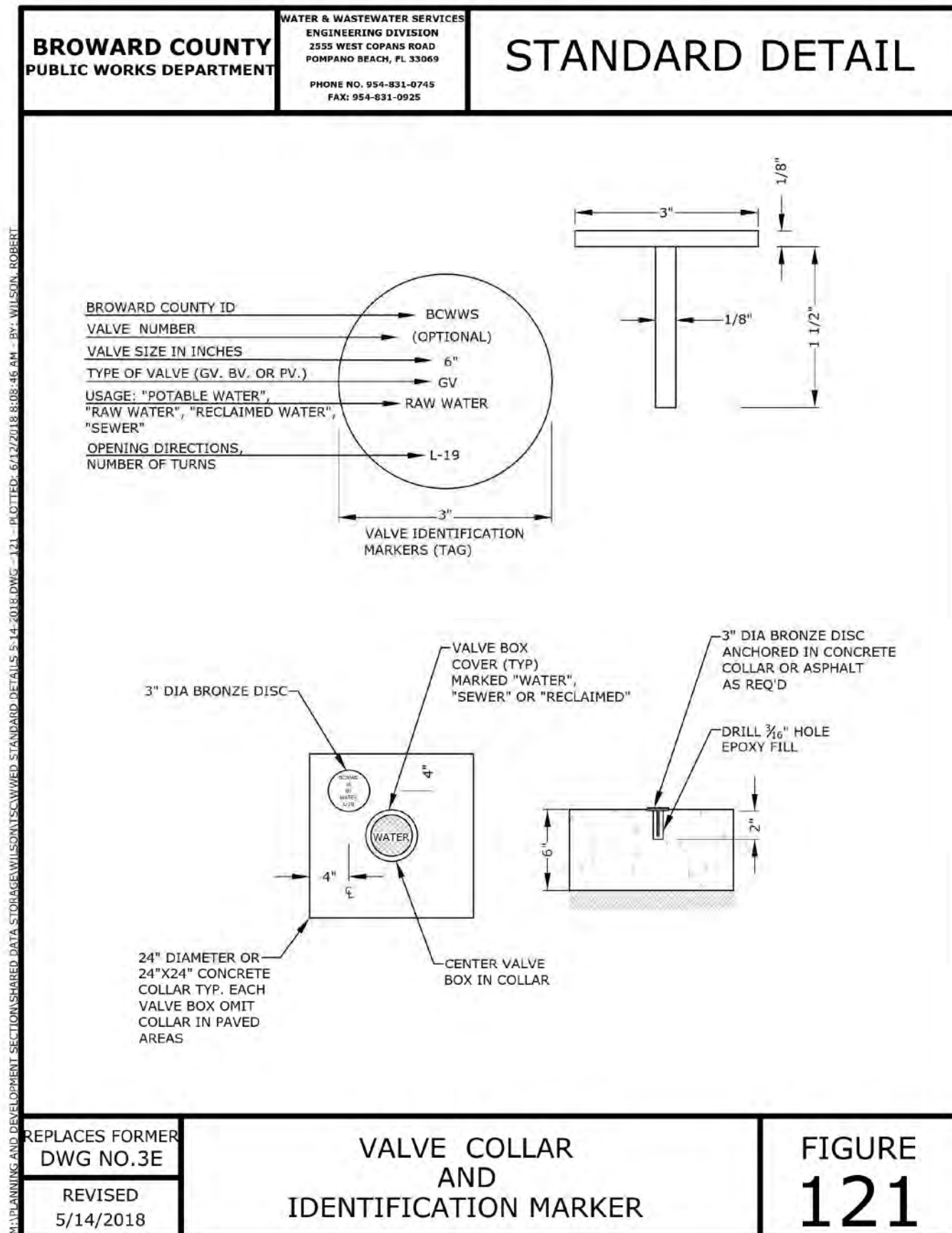
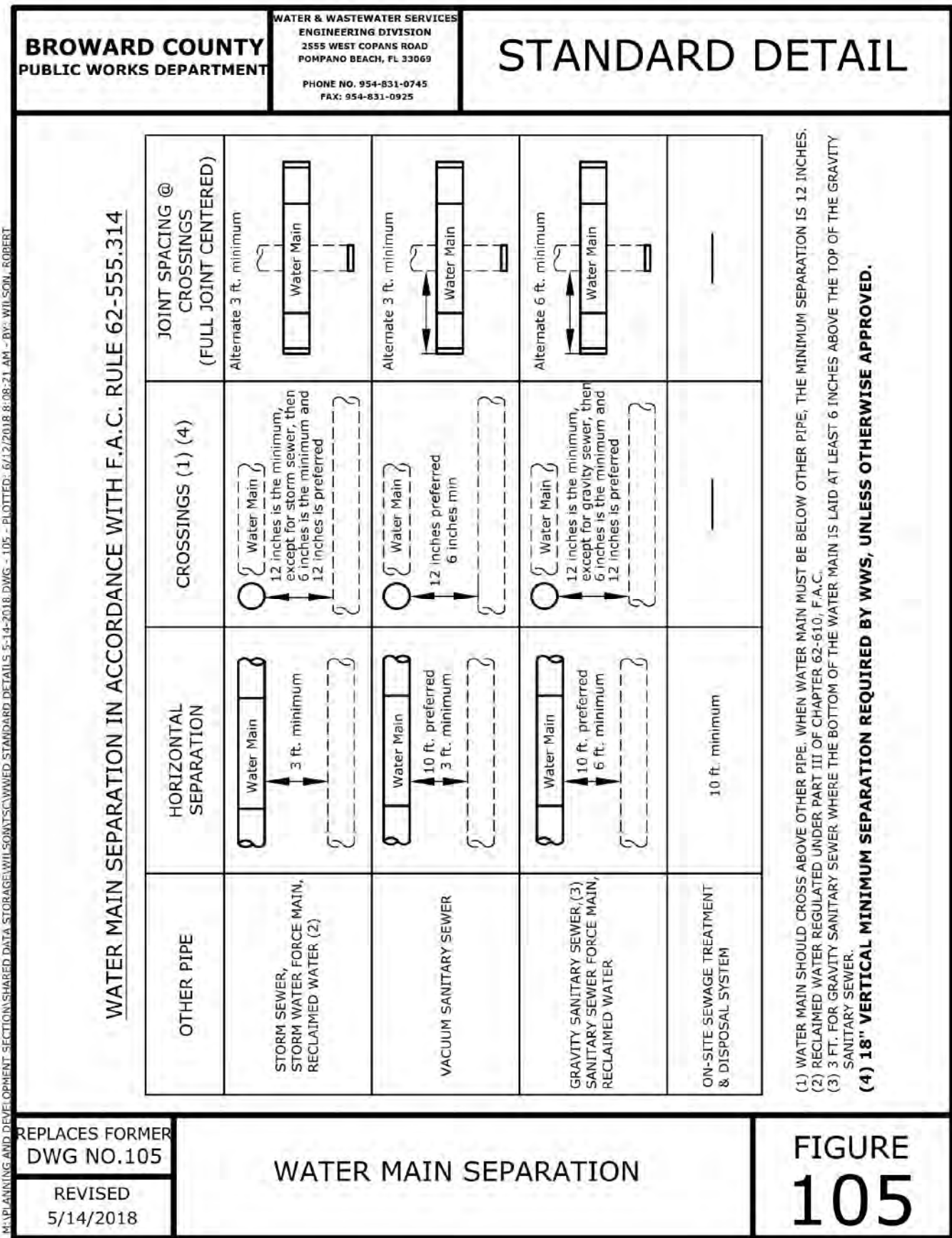
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DOES NOT INCLUDE APPROVAL  
OF PRELIMINARY WORKS AND SIGNS

Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746		FLORIDA The Koshier House HOLLYWOOD TASK: CIVIL ENGINEERING PLAN	
GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS • FLORIDA REGISTRATION NO. 8118 2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655		DATE: April 2019 DESIGNED BY: C.G.B. SCALE: 1"=20' DRAWN BY: F.M.	
PROJECT NO. 18-0919		SHEET C-1	
GARY G. BLOOM, P.E. FLA. LIC. NO. 19832 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER			



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NOTE:  
BCWWS SHALL BE CONTACTED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR WHO SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH BCWWS.

REVISIONS:	
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CLIENT:	
Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746	

PROJECT:	
The Koshier House HOLLYWOOD TASKS	

DATE:	
April 2019	

DESIGNED BY:	
C.G.B.	

DRAWN BY:	
M.M.	

PROJECT NO.	
18-0919	

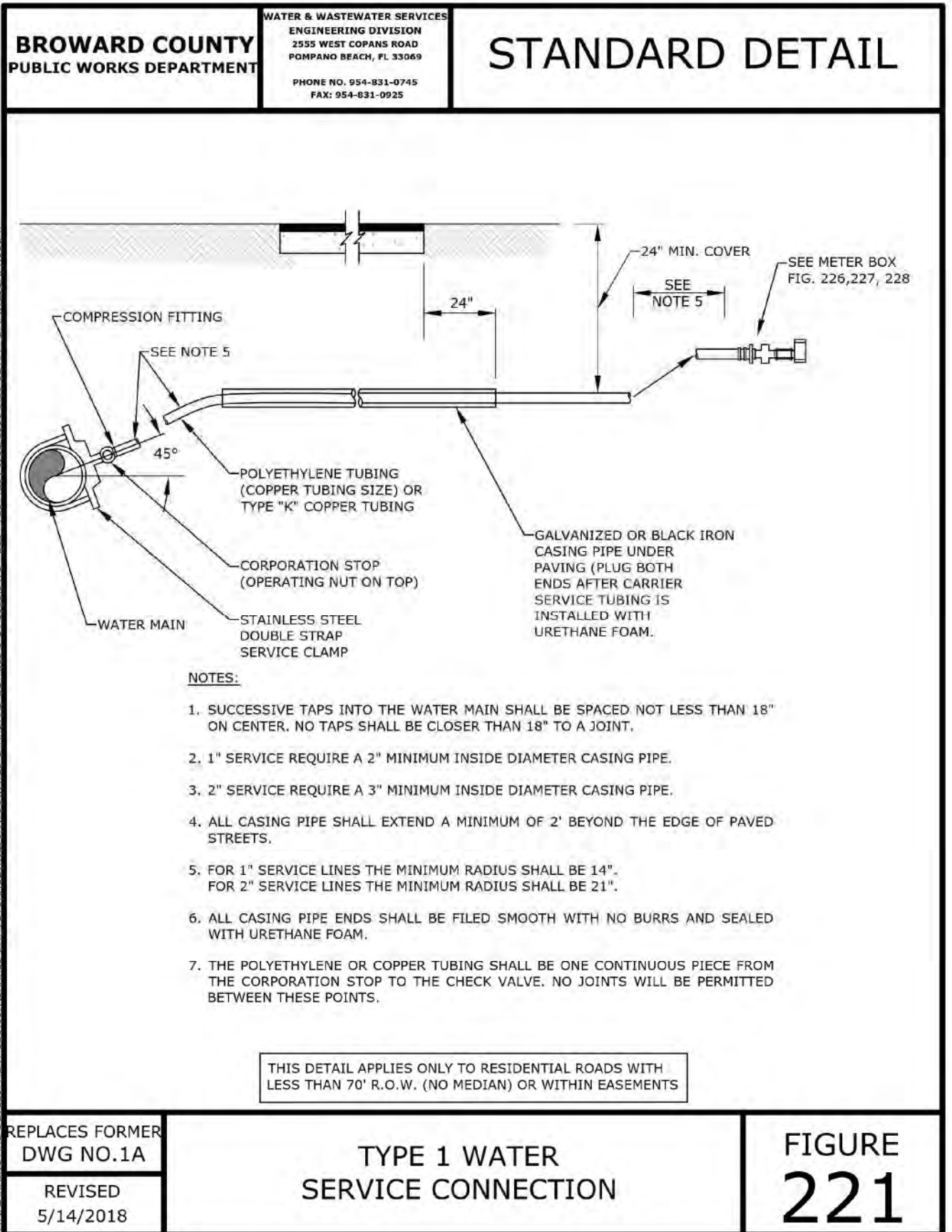
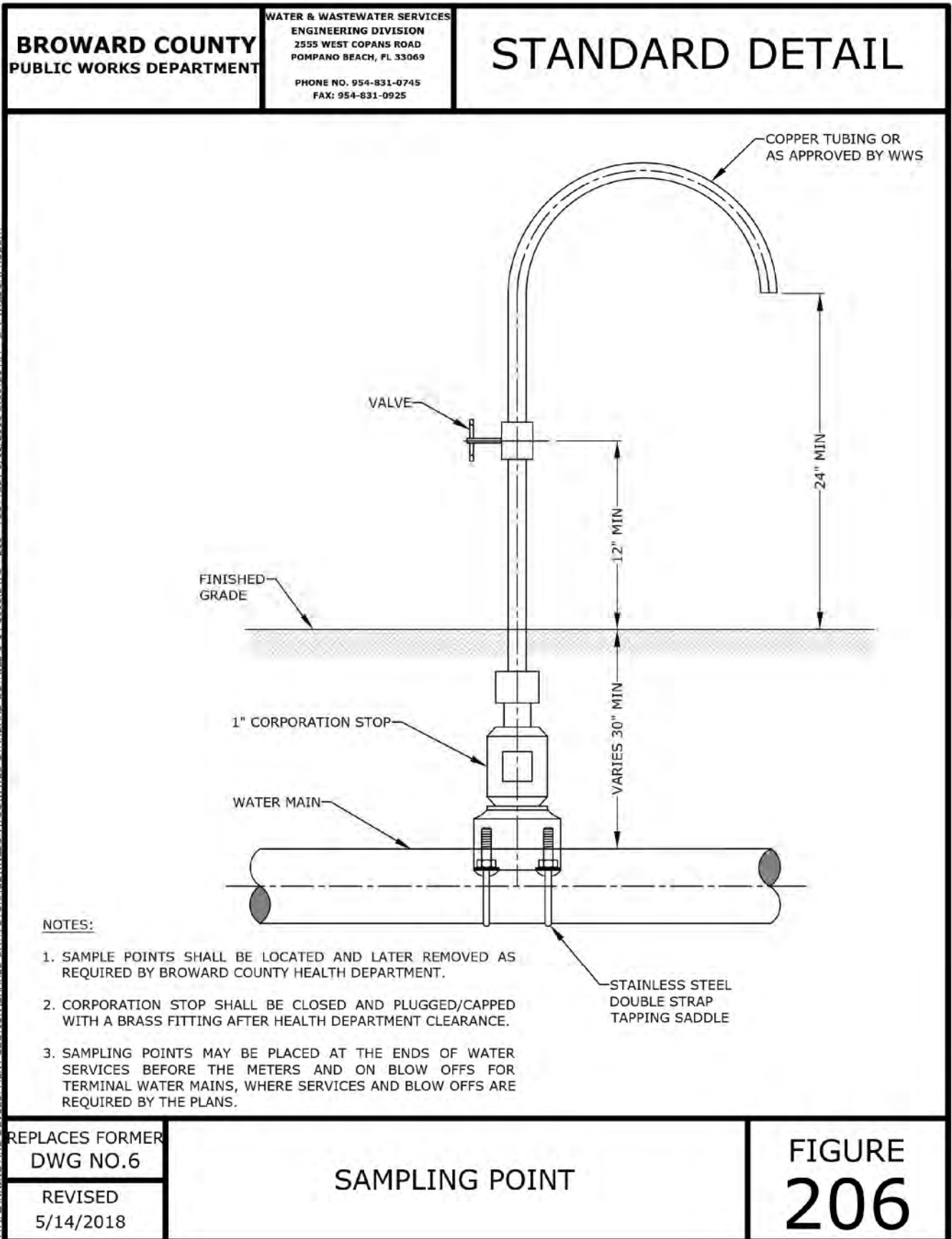
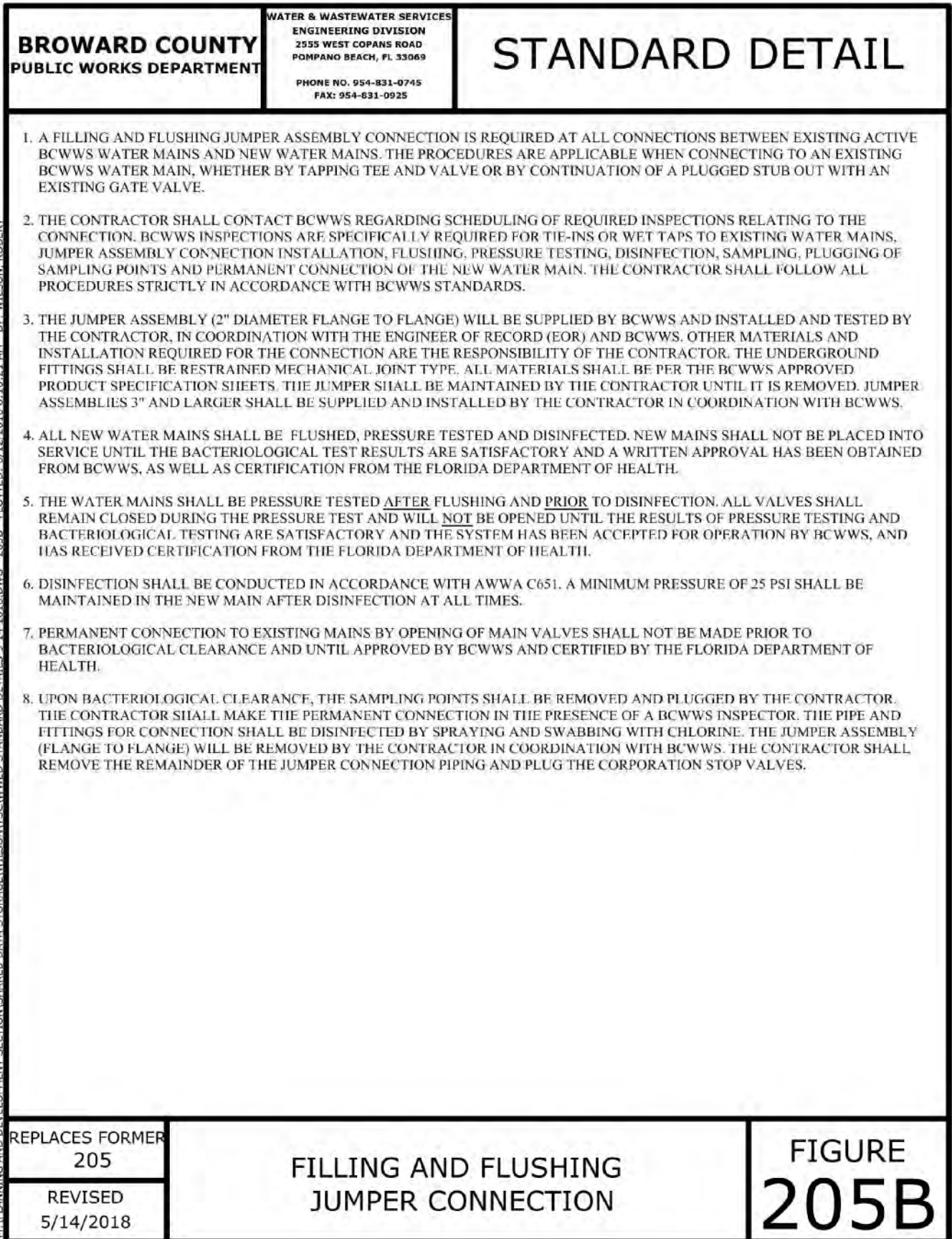
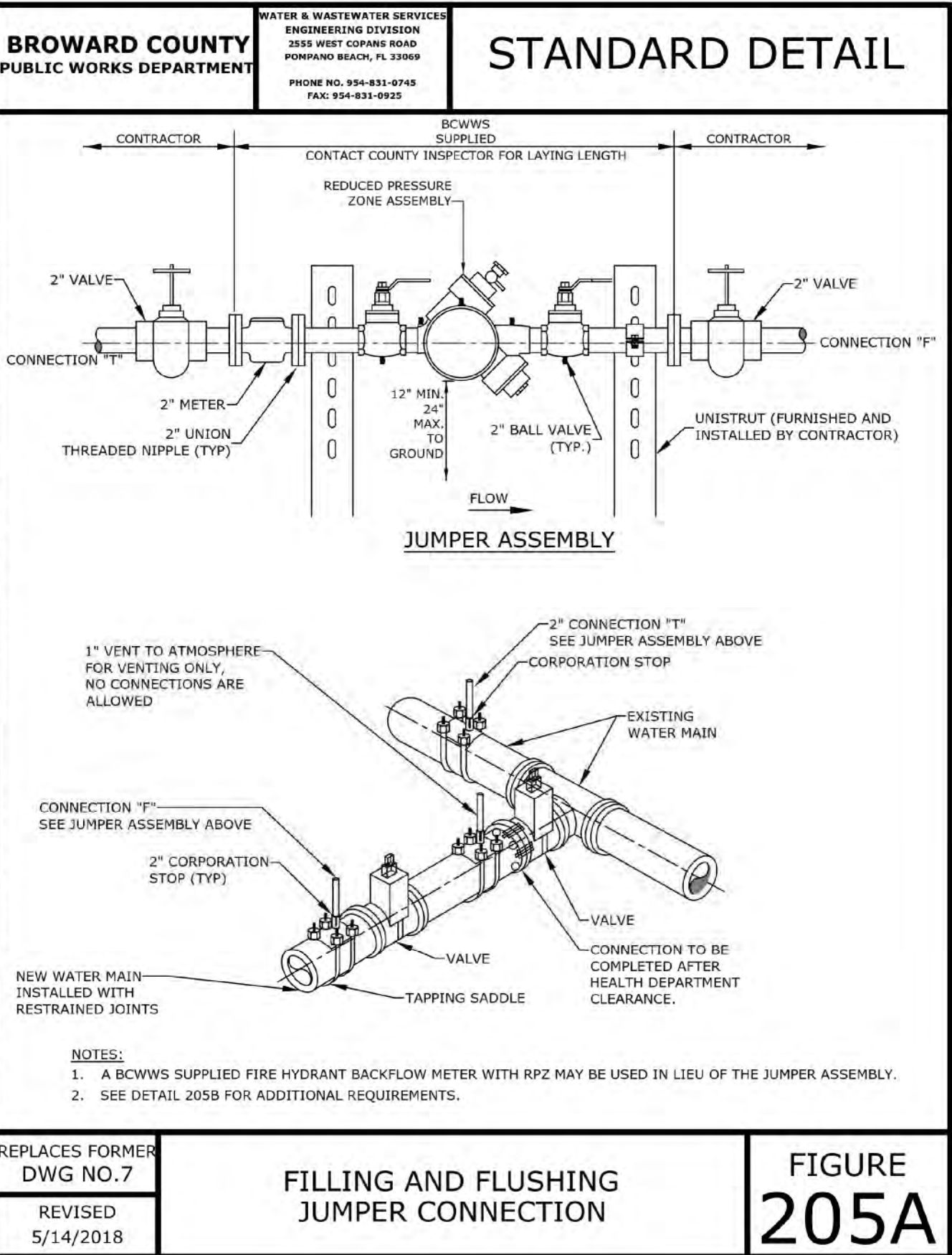
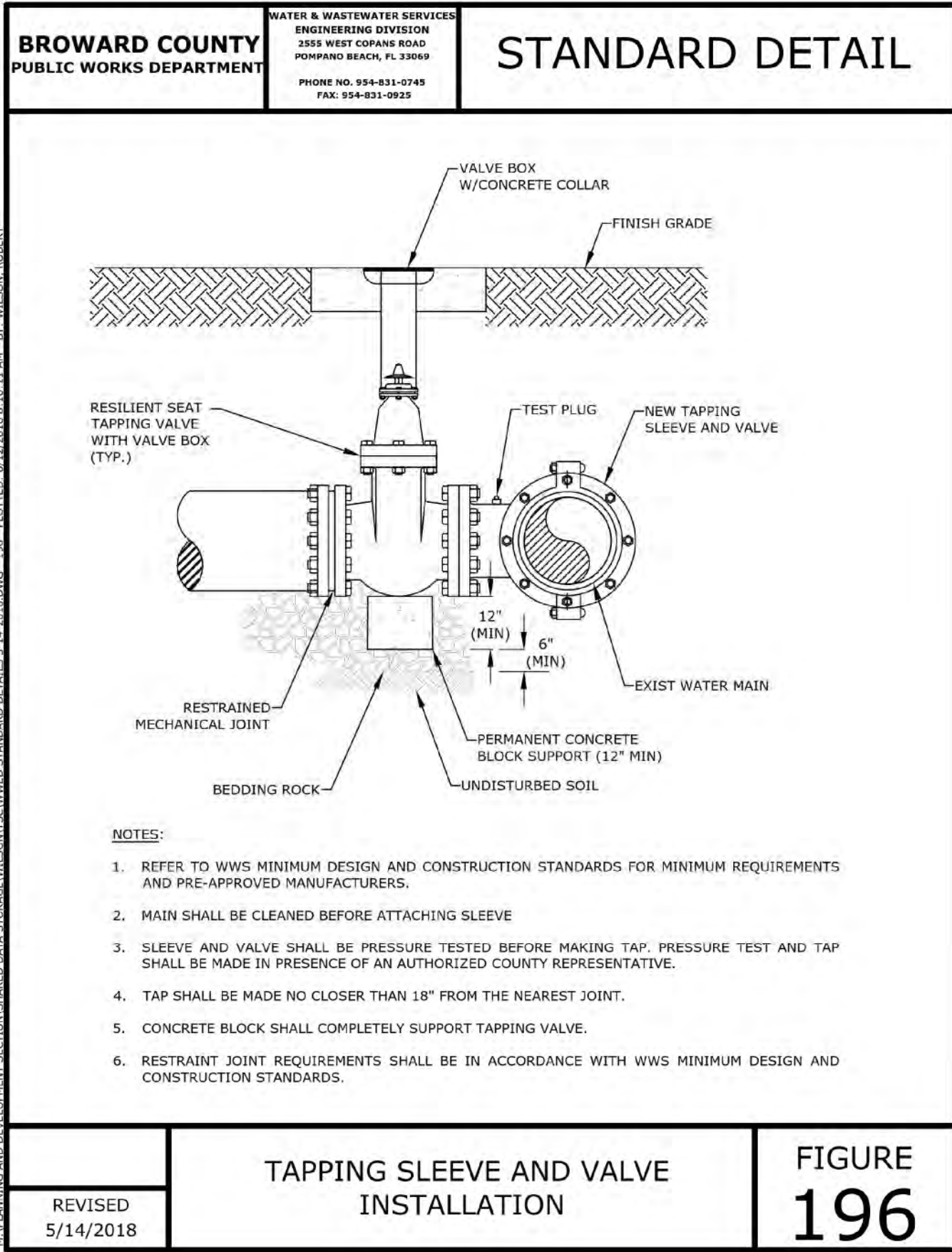
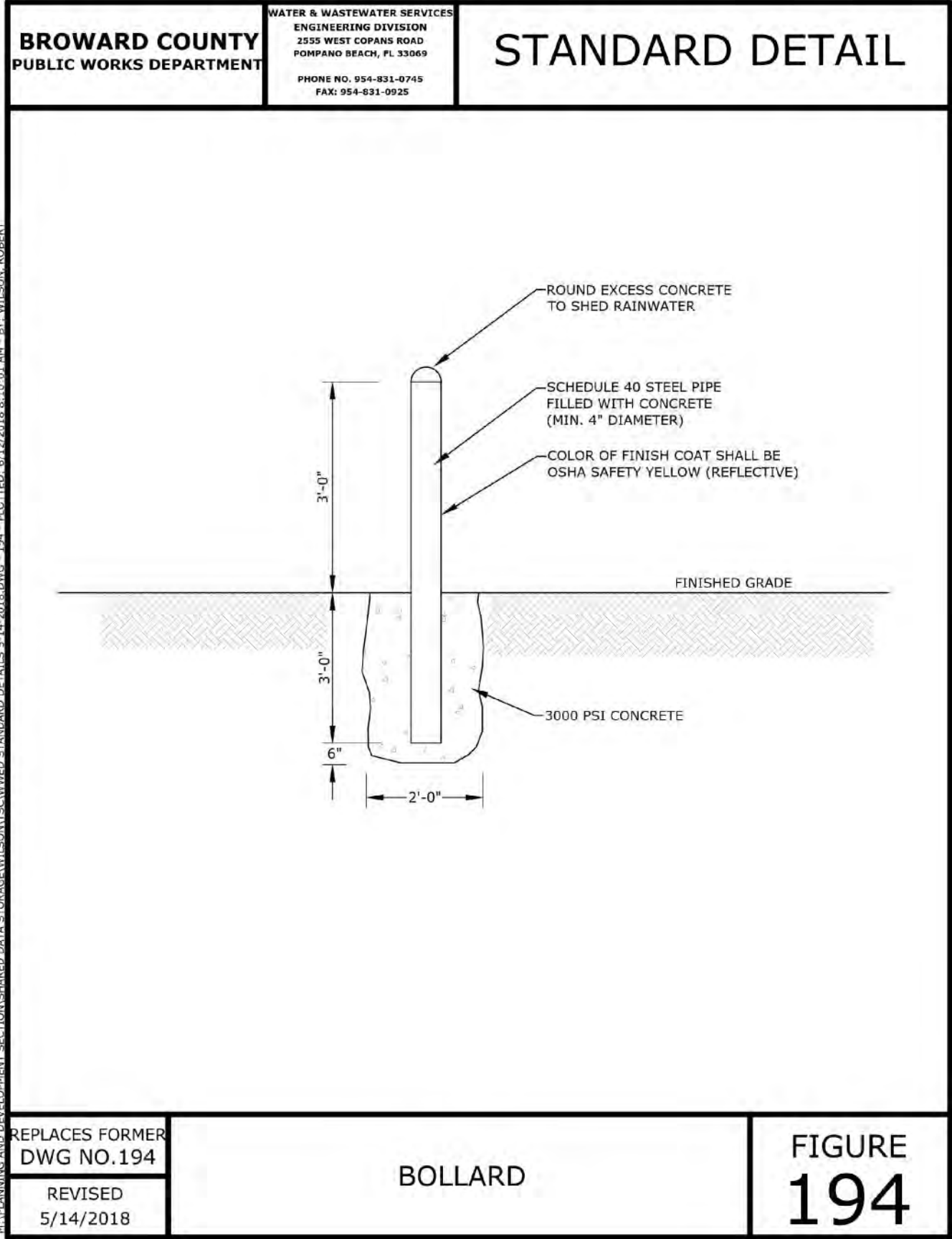
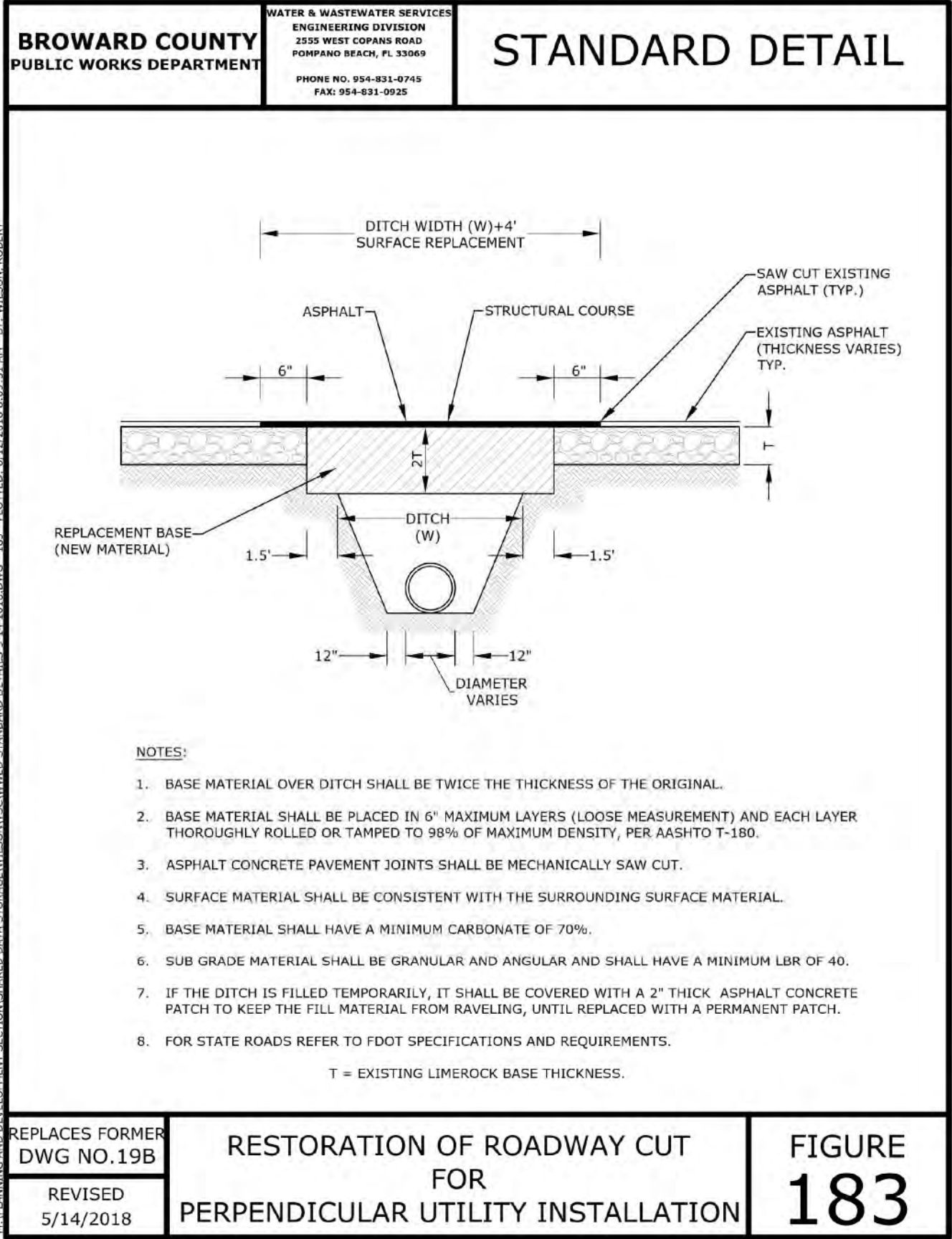
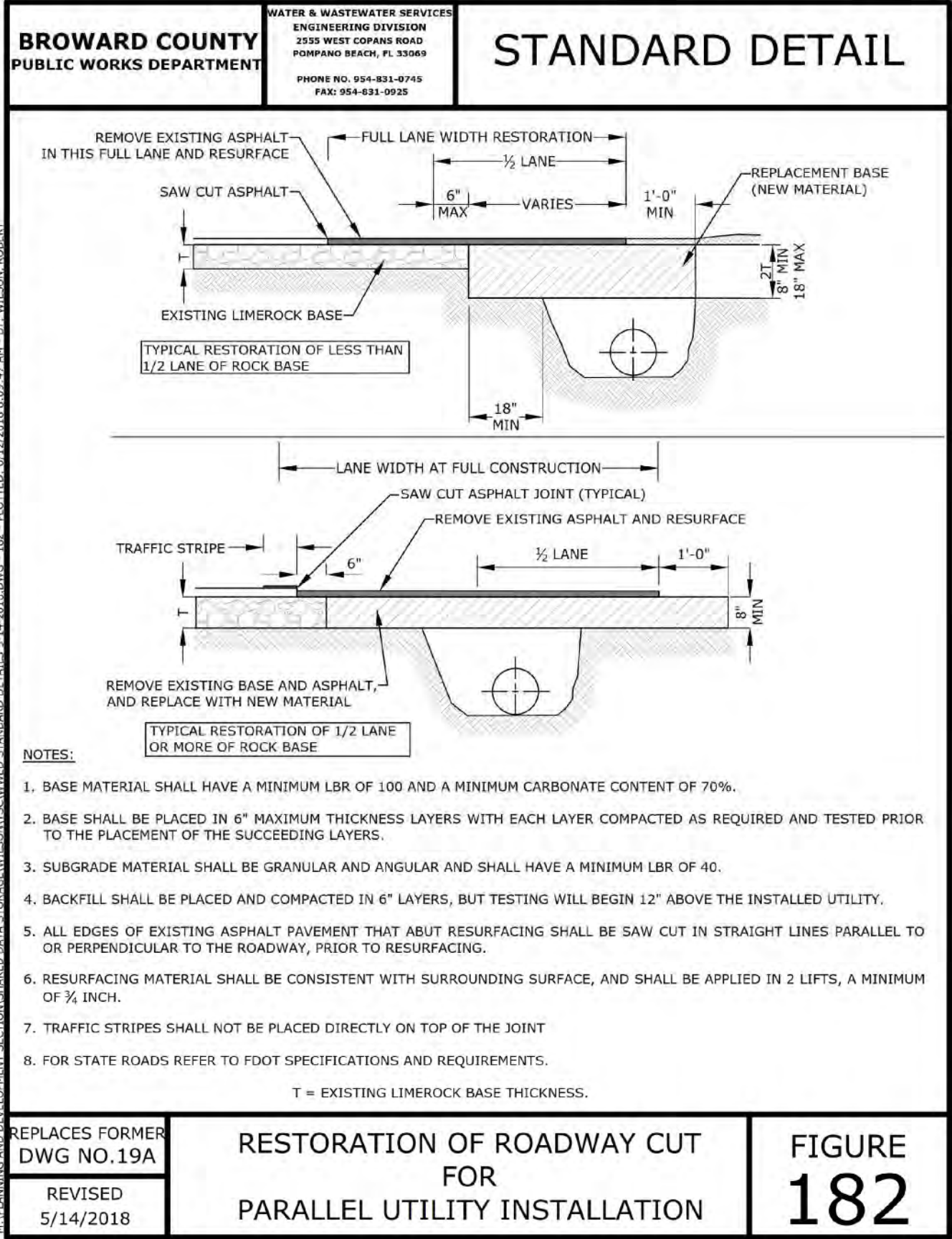
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GGB Engineering, Inc.	
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS 2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655	

SCALE:	
N.T.S.	

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GARY G. BLOOM, P.E. FLA. LIC. NO. 98032	

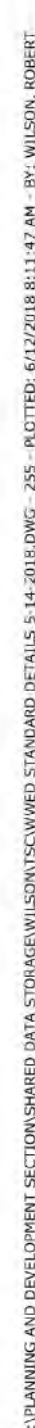




**NOTE:**  
BCWWS SHALL BE CONTACTED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR WHO SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH BCWWS.

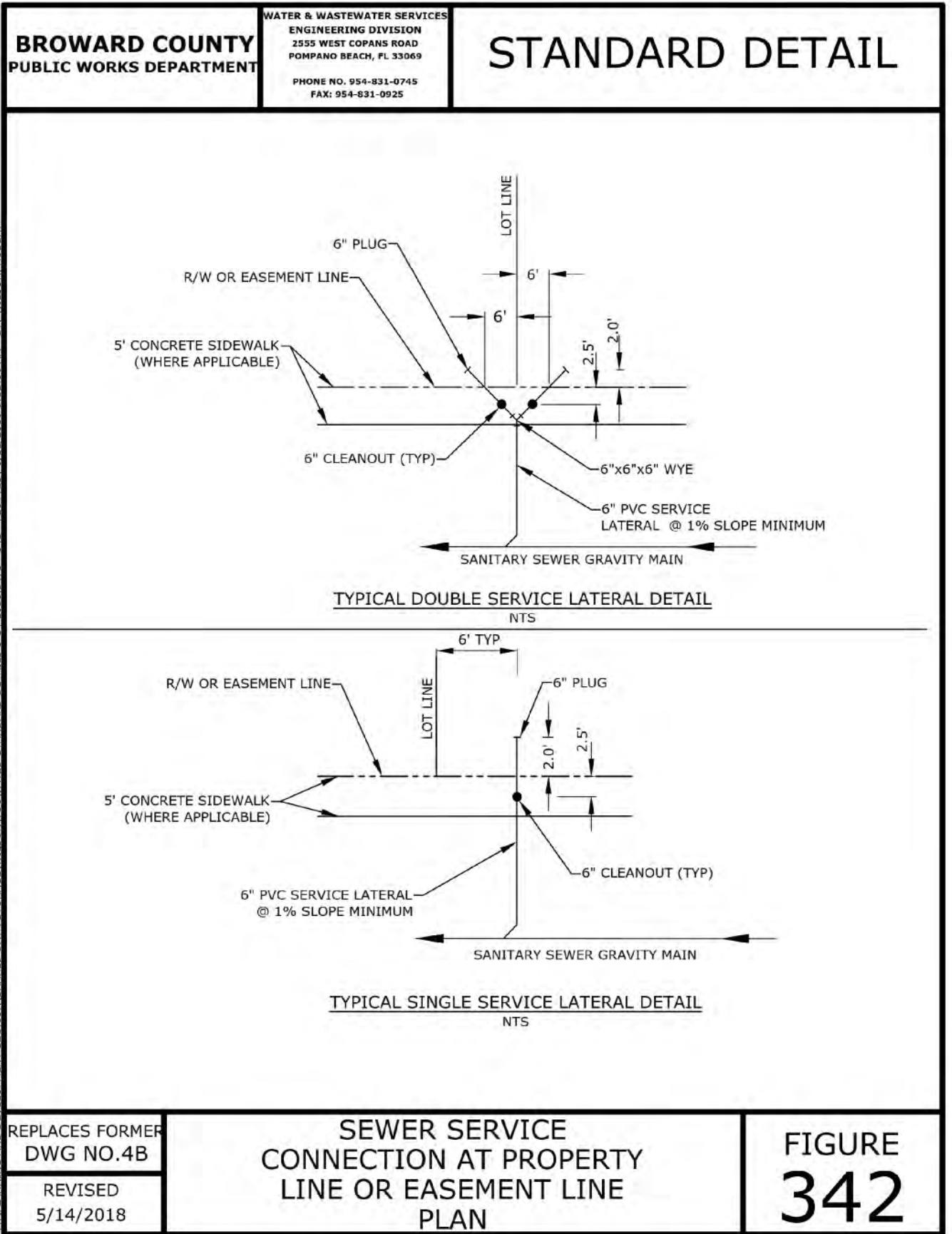
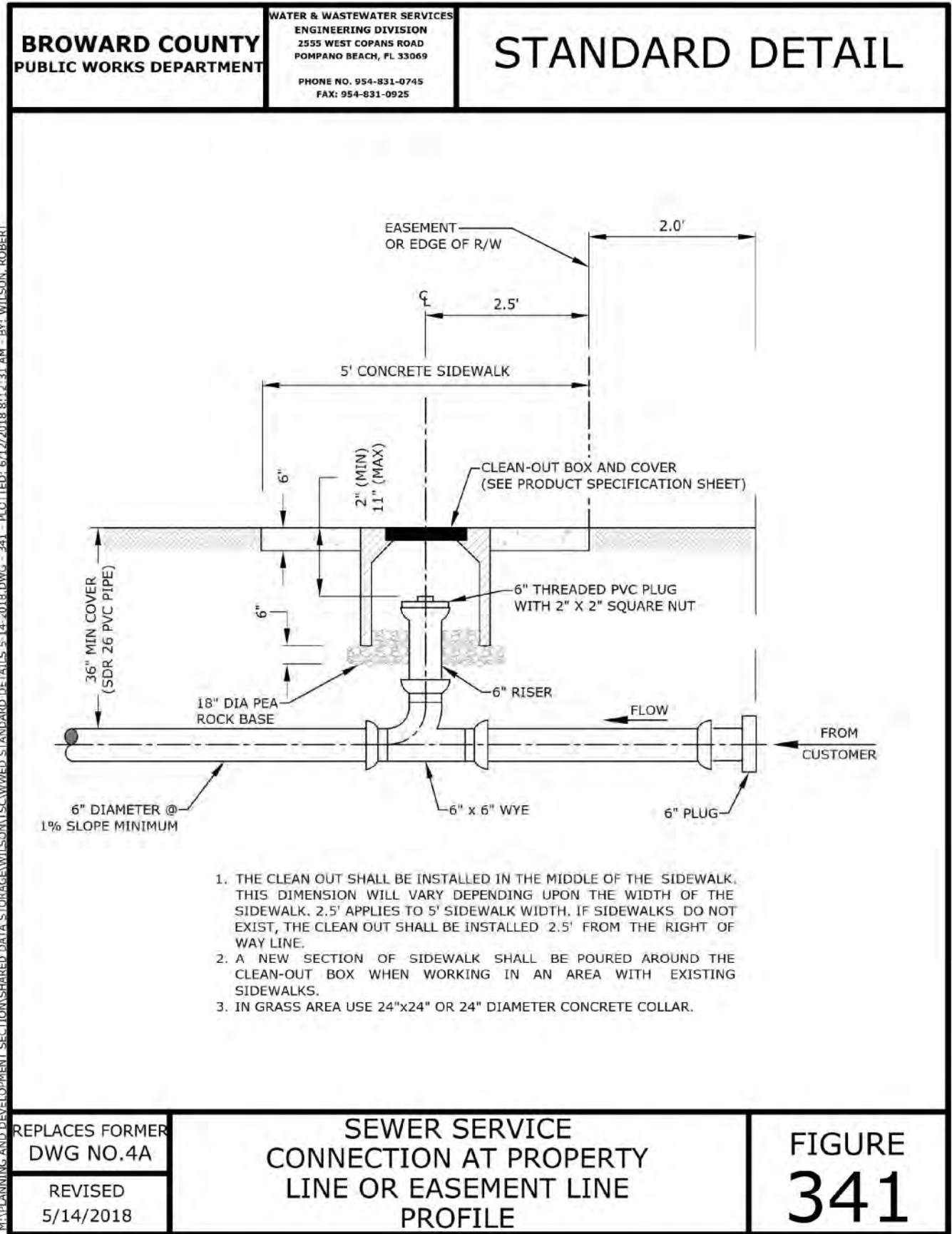
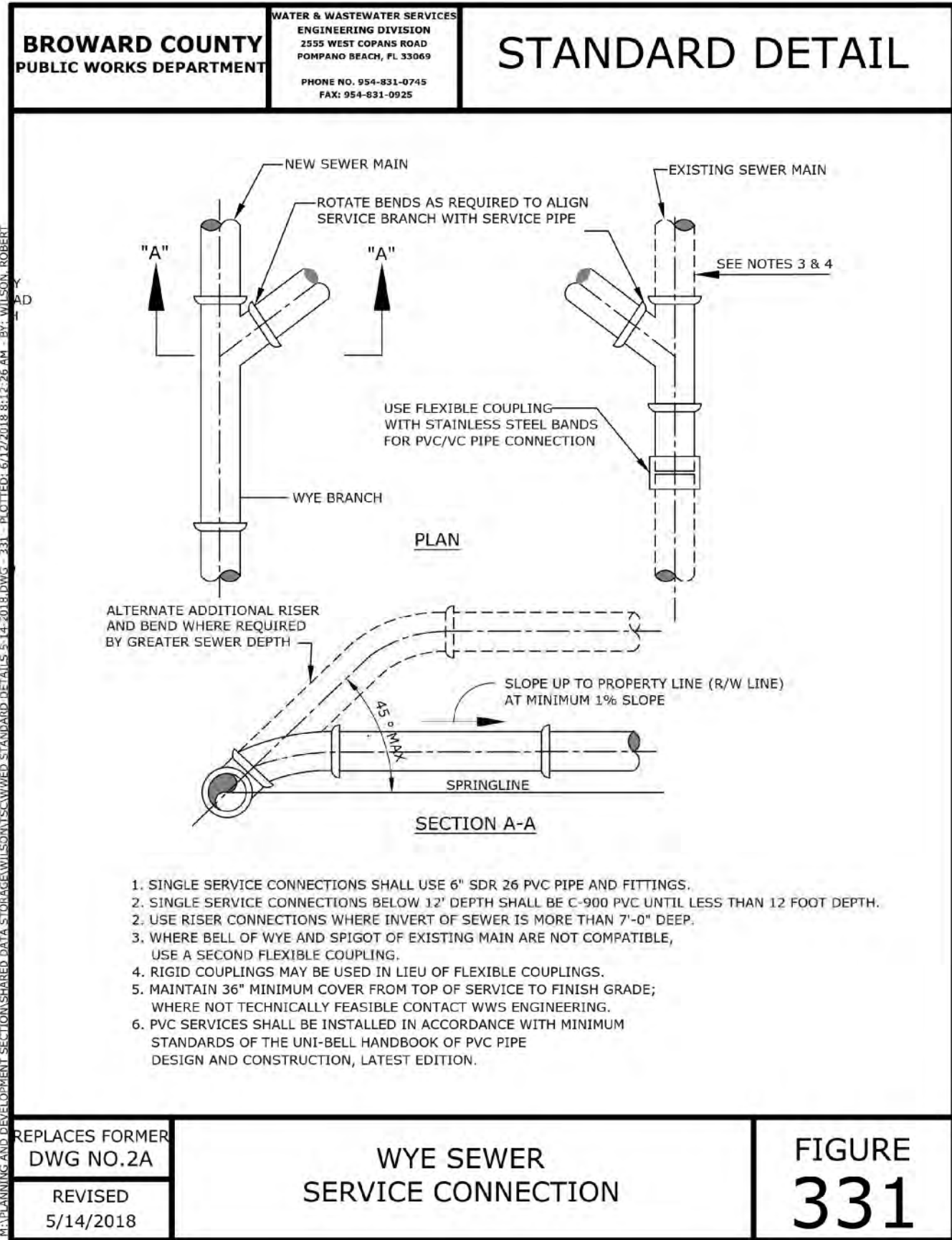
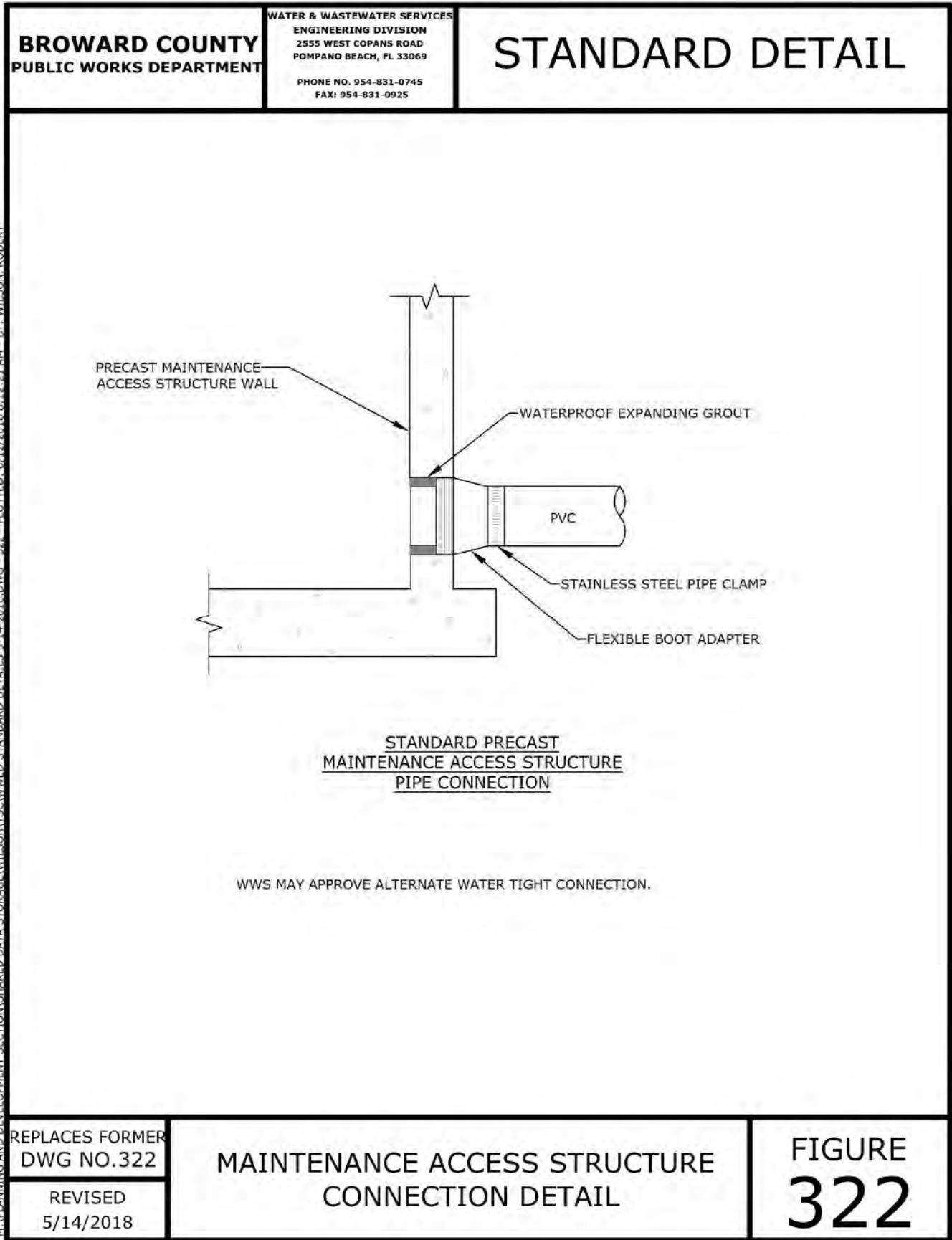
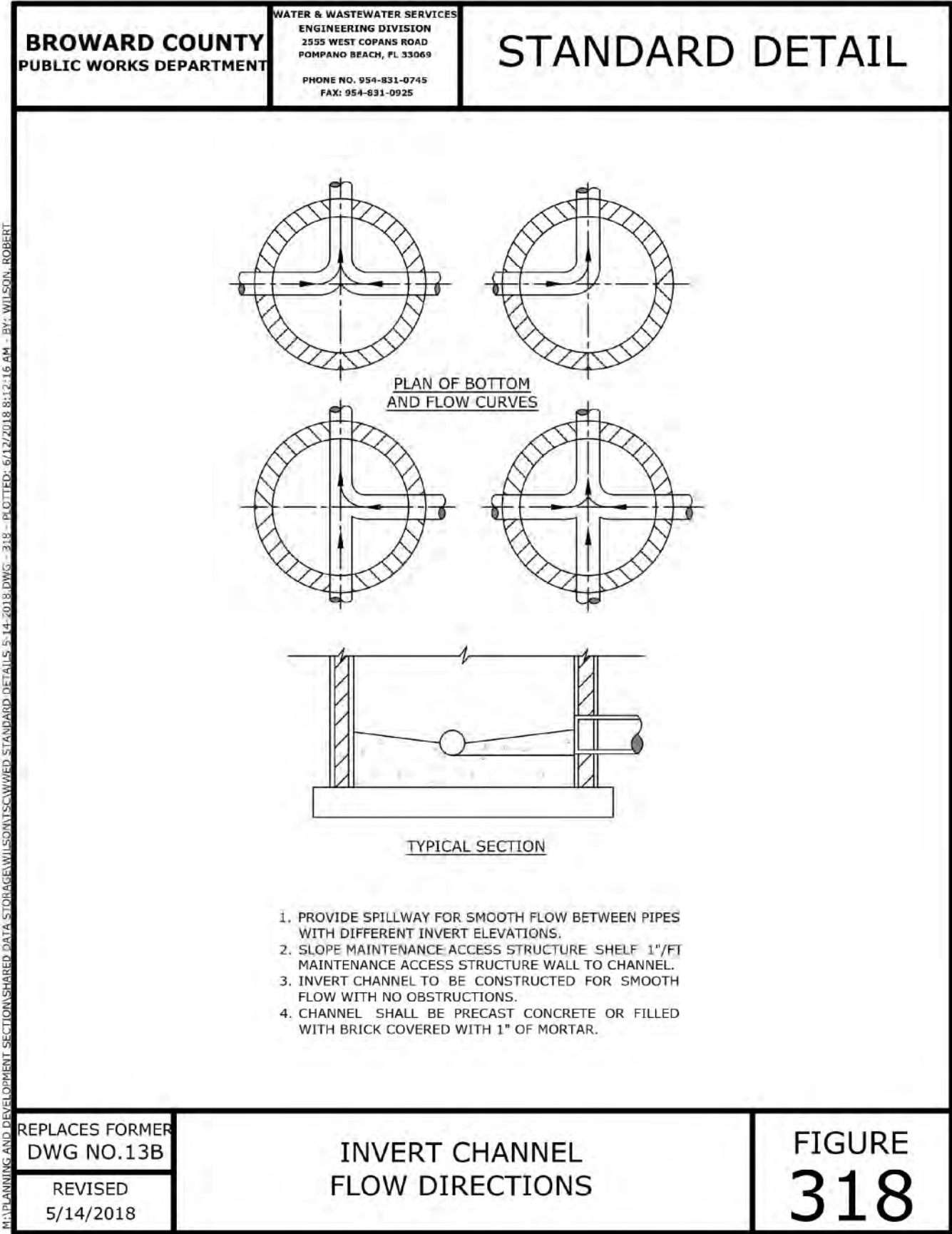
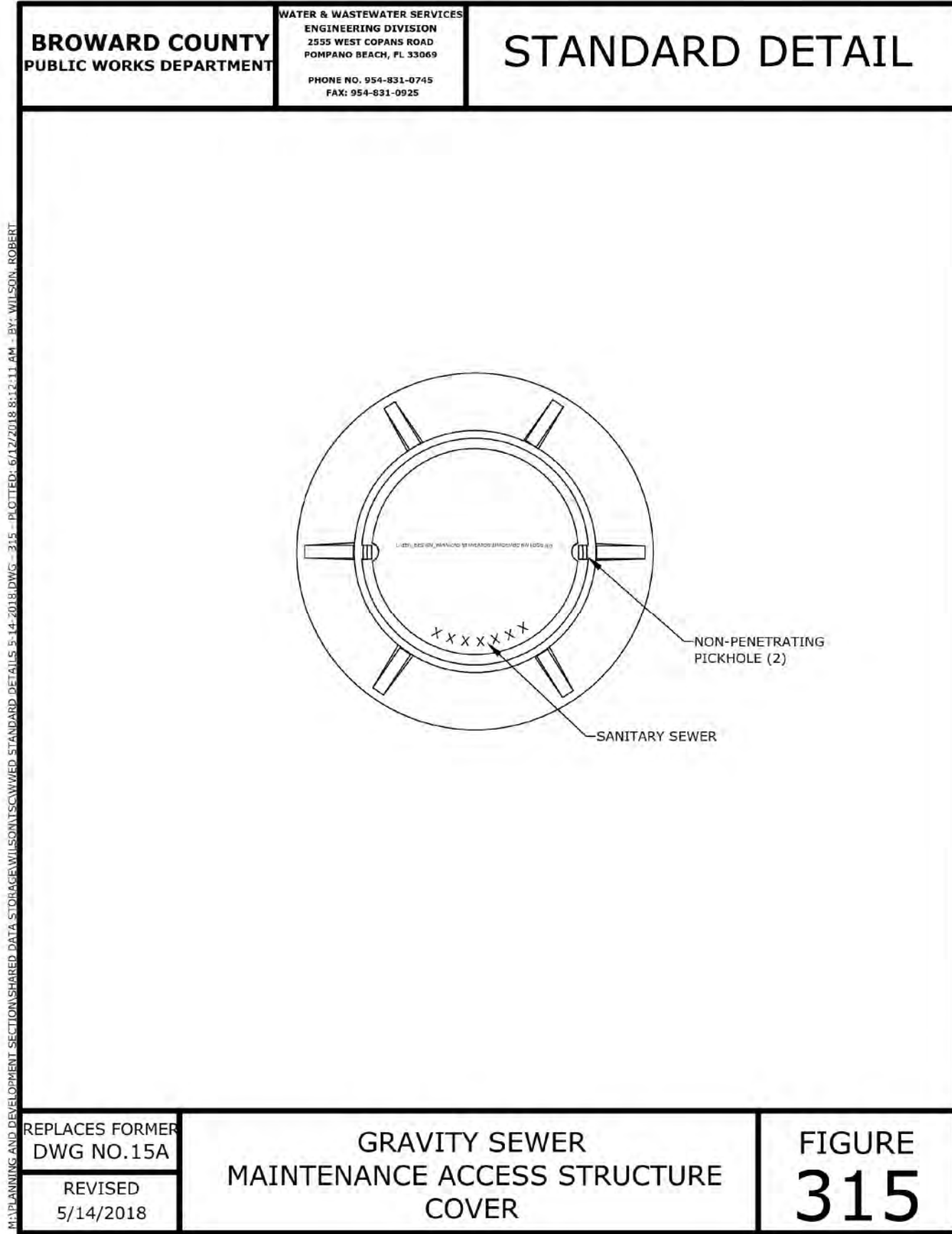
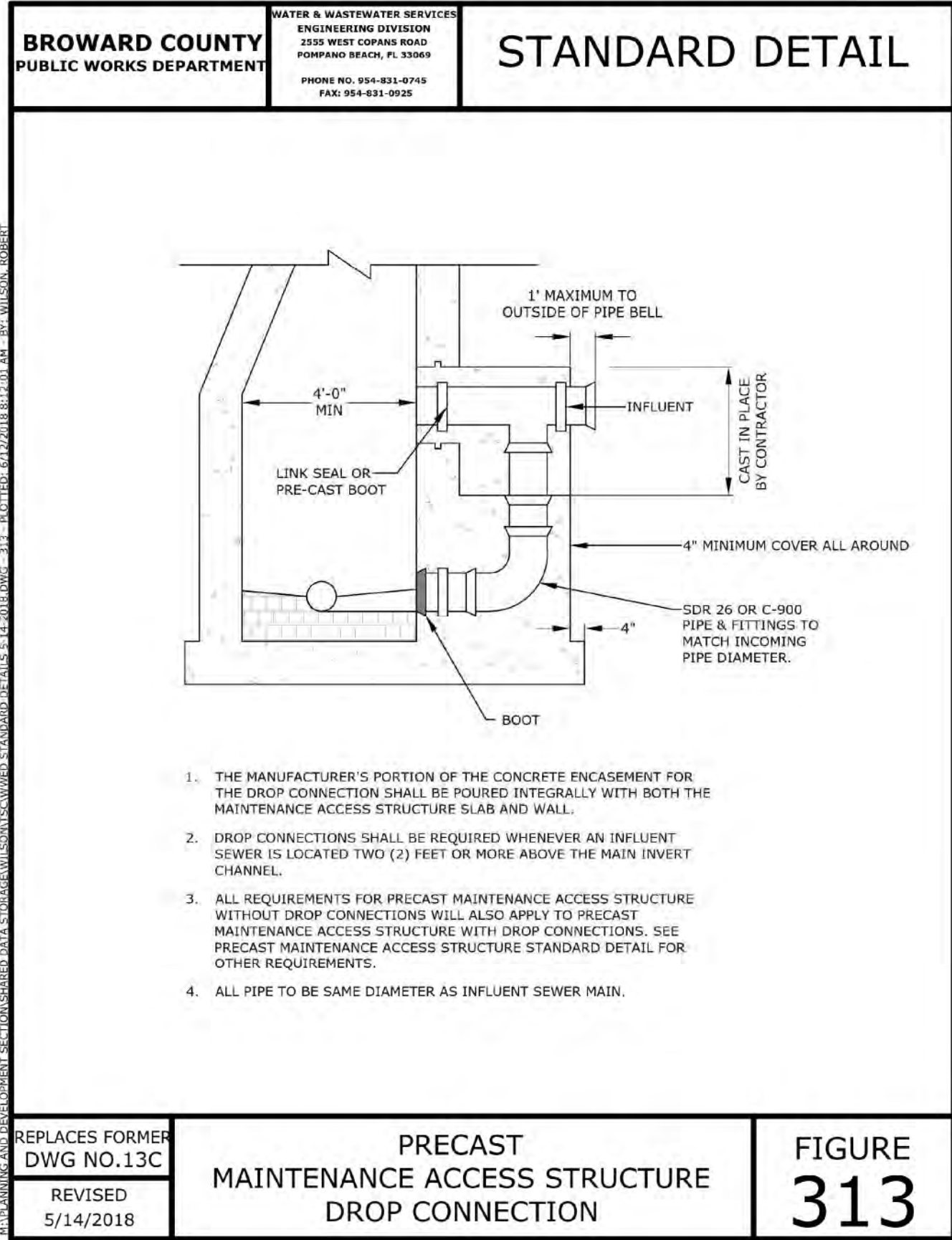
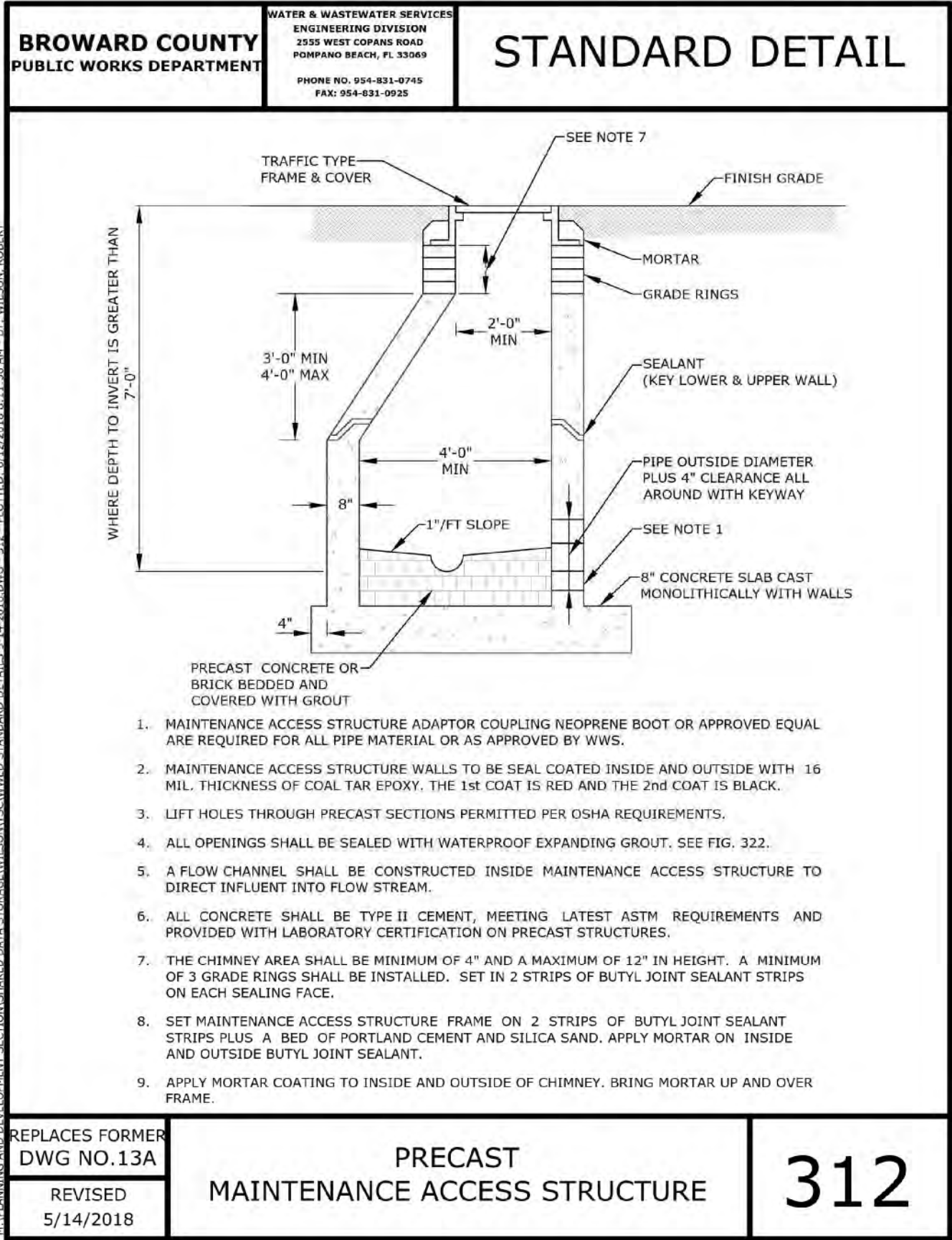
REVISIONS:	1. 2. 3. 4. 5. 6. 7. 8.
CLIENT:	<b>Kaller Architects</b> 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746
PROJECT:	<b>The Koshier House</b> FLORIDA HOLLYWOOD TASK: CONSTRUCTION DETAILS
DESIGNED BY:	<b>G.C.B.</b>
DRAWN BY:	<b>M.M.</b>
PROJECT NO.	18-0919
SHEET	DT2
<b>GGB Engineering, Inc.</b> CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS FLORIDA REGISTRATION NO. 818 2899 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655	
DATE: April 2019 SCALE: N.T.S. GARY G. BLOOM, P.E. FLA. LIC. NO. 38037 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER	





GARY G. BLOOM, P.E.  
FLA LIC. No. 19832  
NOT VALID UNLESS SIGNED  
AND SEALED BY ENGINEER





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CONSTRUCTION BY THE CONTRACTOR WHO SHALL  
COORDINATE A PRE-CONSTRUCTION MEETING  
WITH BCWWS.

REVISIONS:

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	

CLIENT:

**Privcap Companies**  
7200 W. Camino Real, Suite 200  
Boca Raton, Florida 33433

PROJECT:

**Griffin Multi-Use**  
FLORIDA  
HOLLYWOOD  
TASK:

**CONSTRUCTION DETAILS**

**GGB Engineering, Inc.**  
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
• CONSTRUCTION MANAGERS  
FLORIDA REGISTRATION NO. 8118  
2699 Stirling Road, Suite C-202  
Fort Lauderdale, Florida 33312  
Phone: (954) 986-9899  
Fax: (954) 986-8655

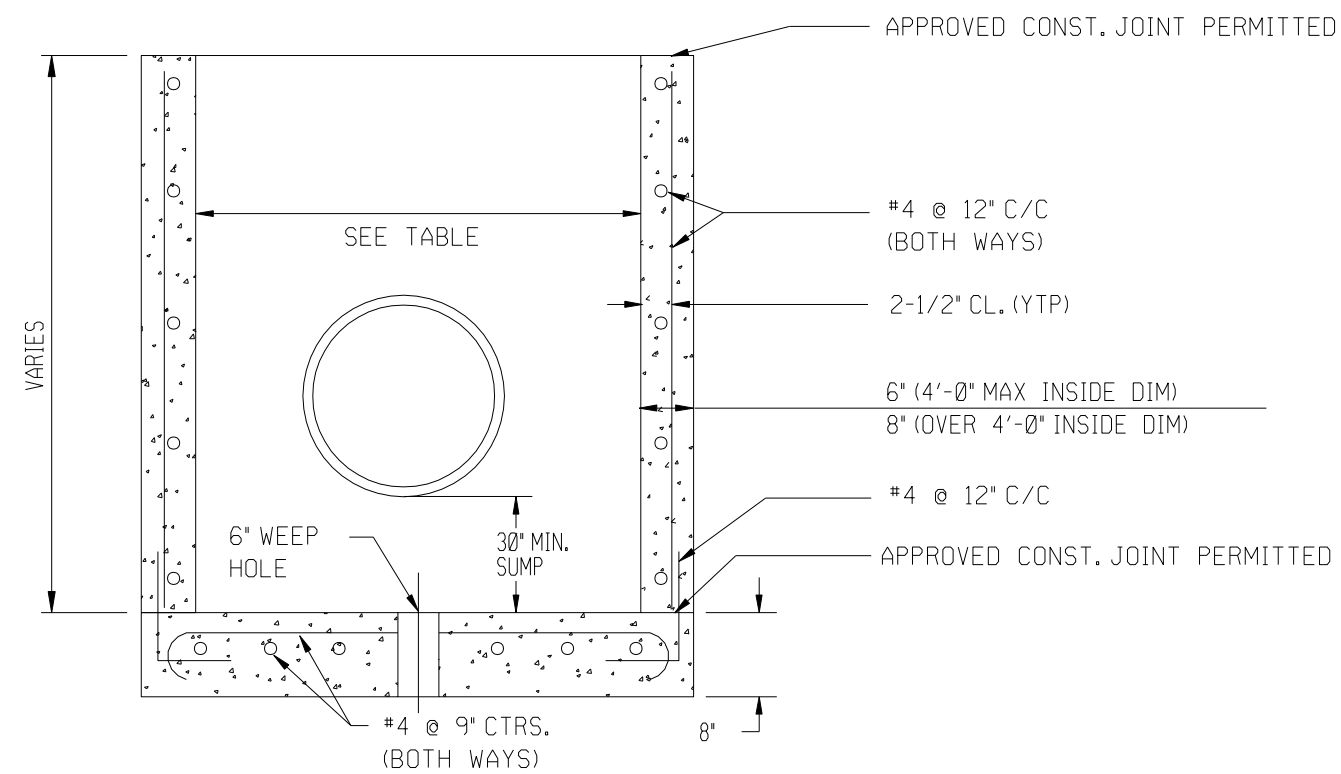
DATE:	S.C.T.S.
May 2016	
DESIGNED BY:	DRAWN BY:
G.C.B.	M.M.
PROJECT NO.	
151030	
SHEET	
DT 4	

GARY G. BLOOM, P.E.  
FLA. LIC. NO. 78032  
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AND SEALED BY ENGINEER



REVISIONS:

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
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## DRAINAGE STRUCTURES

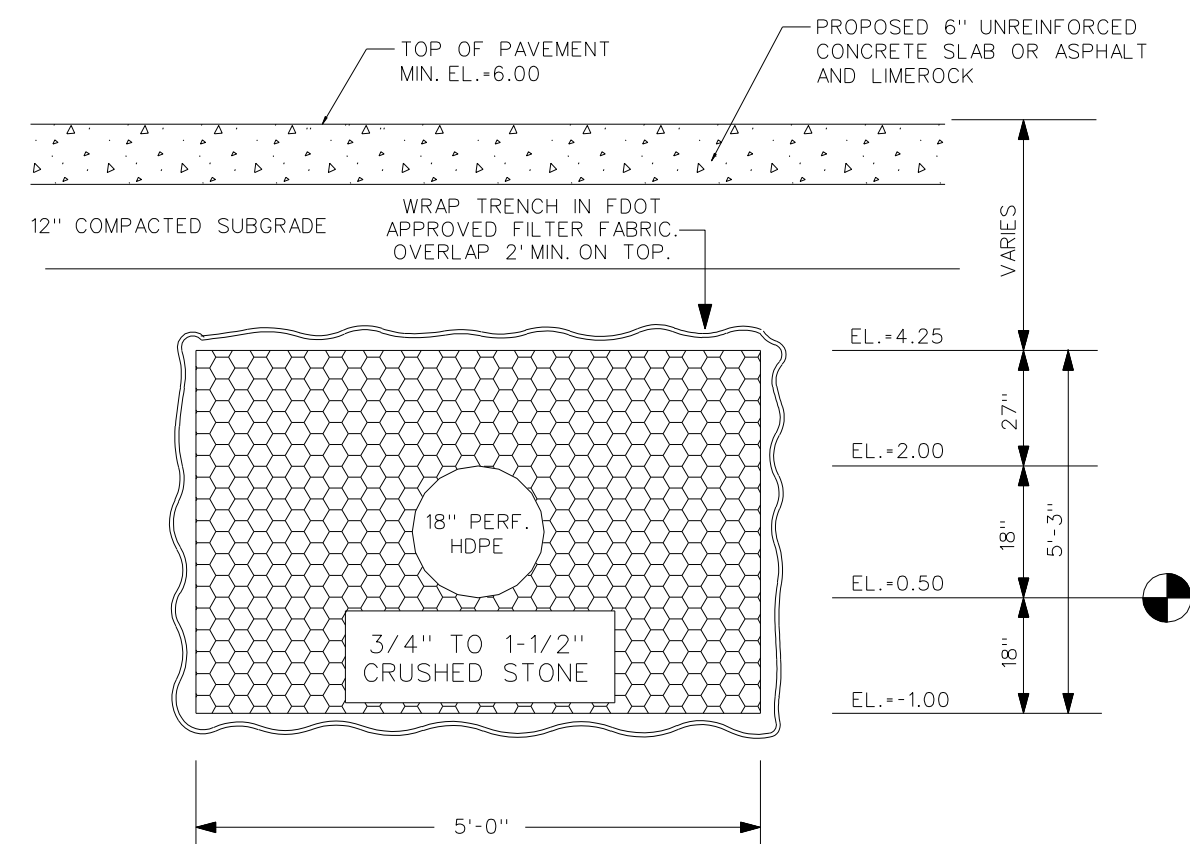
- ### CONCRETE SIDEWALK DETAIL

Figure 1 consists of two diagrams, (A) and (B), illustrating the typical details of a cast-in-place concrete deck.

(A) Plan view: A rectangular deck with a central square opening. The opening has a side length of 8'-0". The deck has a width of 8'-0" and a depth of 2'-1/4". The distance from the opening to the outer edge is 2'-1/4". The label "PLAN" is centered below the diagram.

(B) Elevation view: A cross-section of the deck. The total thickness of the deck is 10". The deck is supported by a base that is 2'-4" wide. The reinforcement details are shown, including a top layer of #4 bars spaced at 12" and a bottom layer of #4 bars spaced at 12". The deck is supported by a 2'-4" wide base. A note indicates that type 'C' gratings are cast in two sections.

NOTE:  
TYPE "C" GRATINGS  
ARE CAST  
IN TWO  
SECTIONS.



## TRENCH CROSS SECTION

## INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".

FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.

GRATES: CAST IRON IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS.

INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. TYPE "E MOD" IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P.P. UP TO 48" DIAMETER. INLETS ARE TO BE DEEPER THAN THE R.C.P.P. INLET SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS. SEE F.D.O.T. STANDARD INDEXTS 200, 201, & 232.

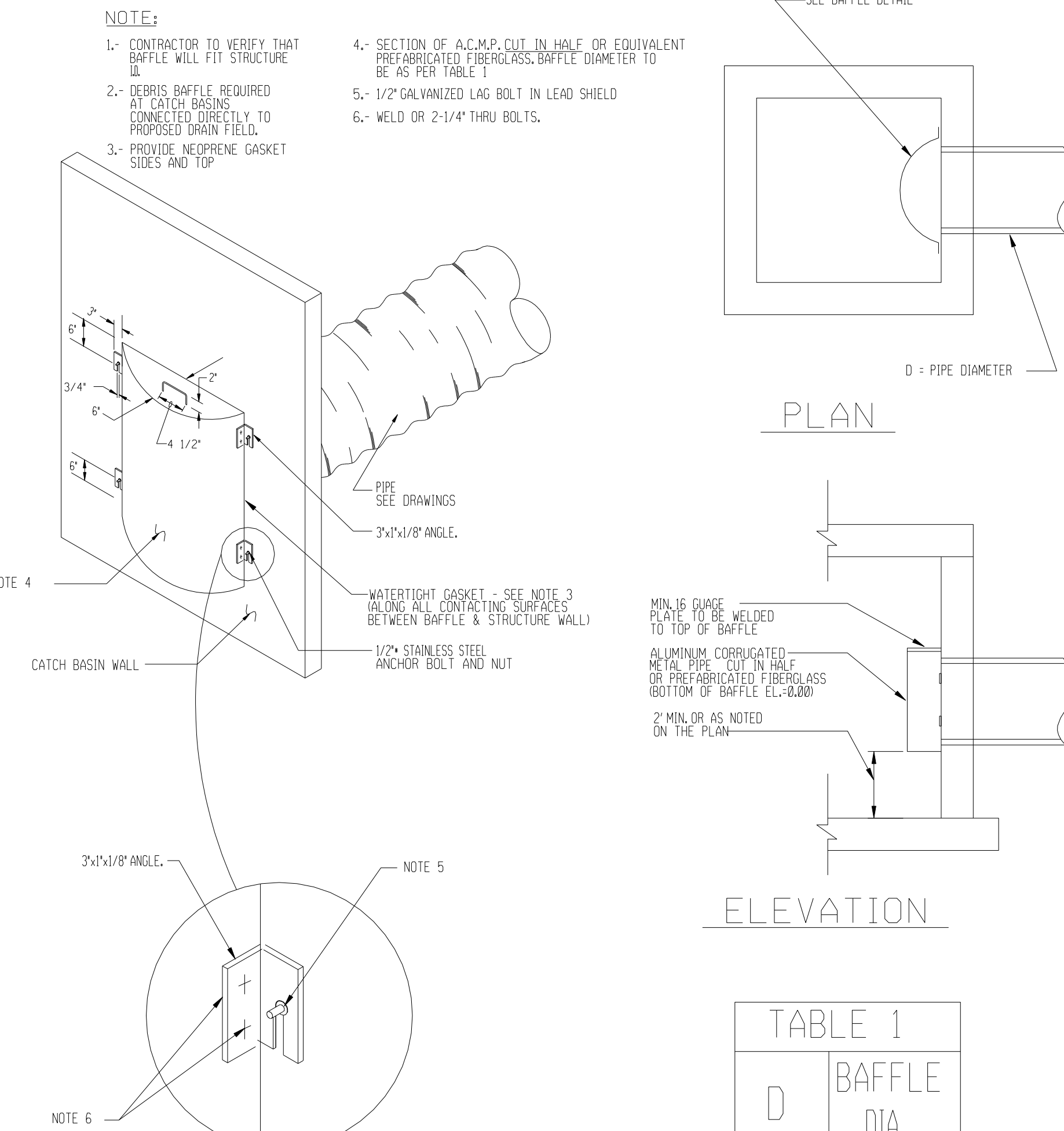
MATERIAL: INLET WALLS AND BASES MAY BE EITHER CLASS 1- IN-PLACE CLASS 1, 2500 P.S.I. OR PRECAST CLASS 1- 4,000 P.S.I. CONCRETE.

POLLUTION CONTROL DEVICES: SPECIAL INLETS SHALL HAVE POLLUTION CONTROL DEVICES. UNDELETED, CONSISTS OF: HARD ROLLING COIL STEEL PLATE, OPEN AT THE BOTTOM, WELDED CLOSED AT TOP (OPTIONAL).

LOCKDOWN: PROVIDE EYEBOLT PER F.D.O.T. STANDARD INDEX 201.

## BACKFILL NOTES

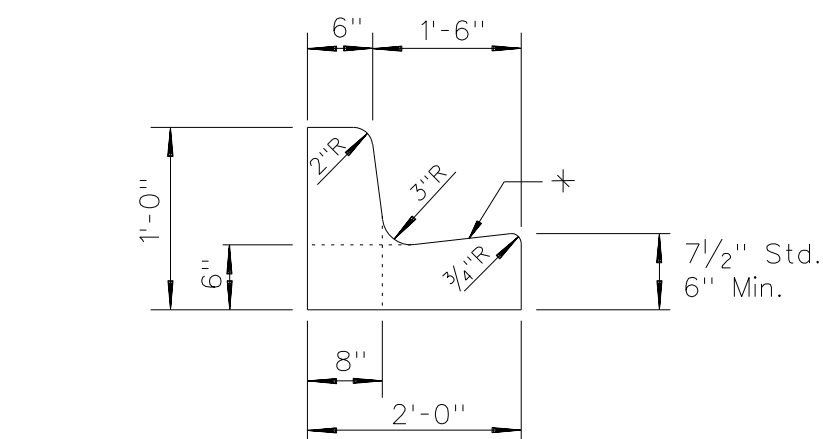
COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 95% OF MAX. DRY DENSITY PER ASTM D-1557.



## BRACKET DETAIL

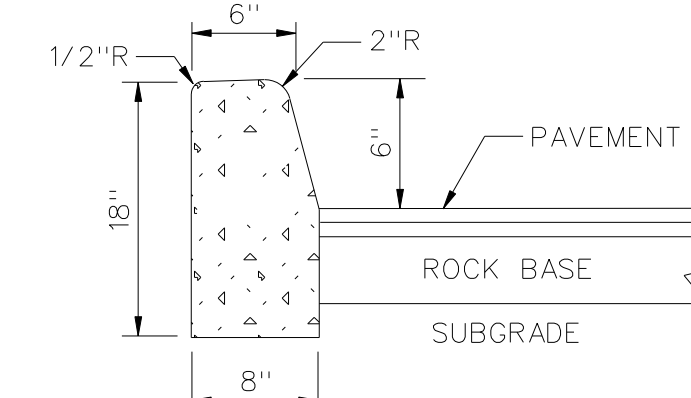
D	BAFFLE DIA.
10'	15'
15'	24"
18"	30'
24'	36"
30"	48"
36'	54'

POLLUTION RETARDANT BASIN  
DEBRIS BAFFLE DETAIL



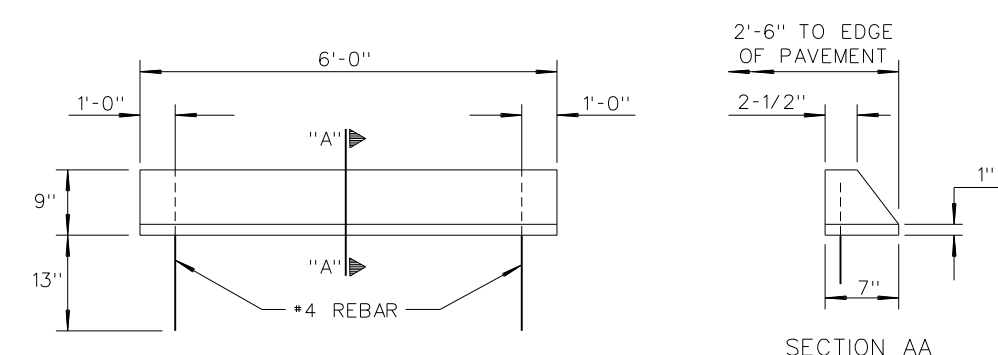
\* NOTE:  
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE  
GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT  
THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN  
ON PLANS.

TYPE "F" CURB DETAIL



## TYPE "D" CURB

N.T.S.



### CONCRETE WHEEL STOP DETAIL

PROJECT: **HOLLYWOOD** **The Kosher House** **FLORIDA**

## CONSTRUCTION DETAILS

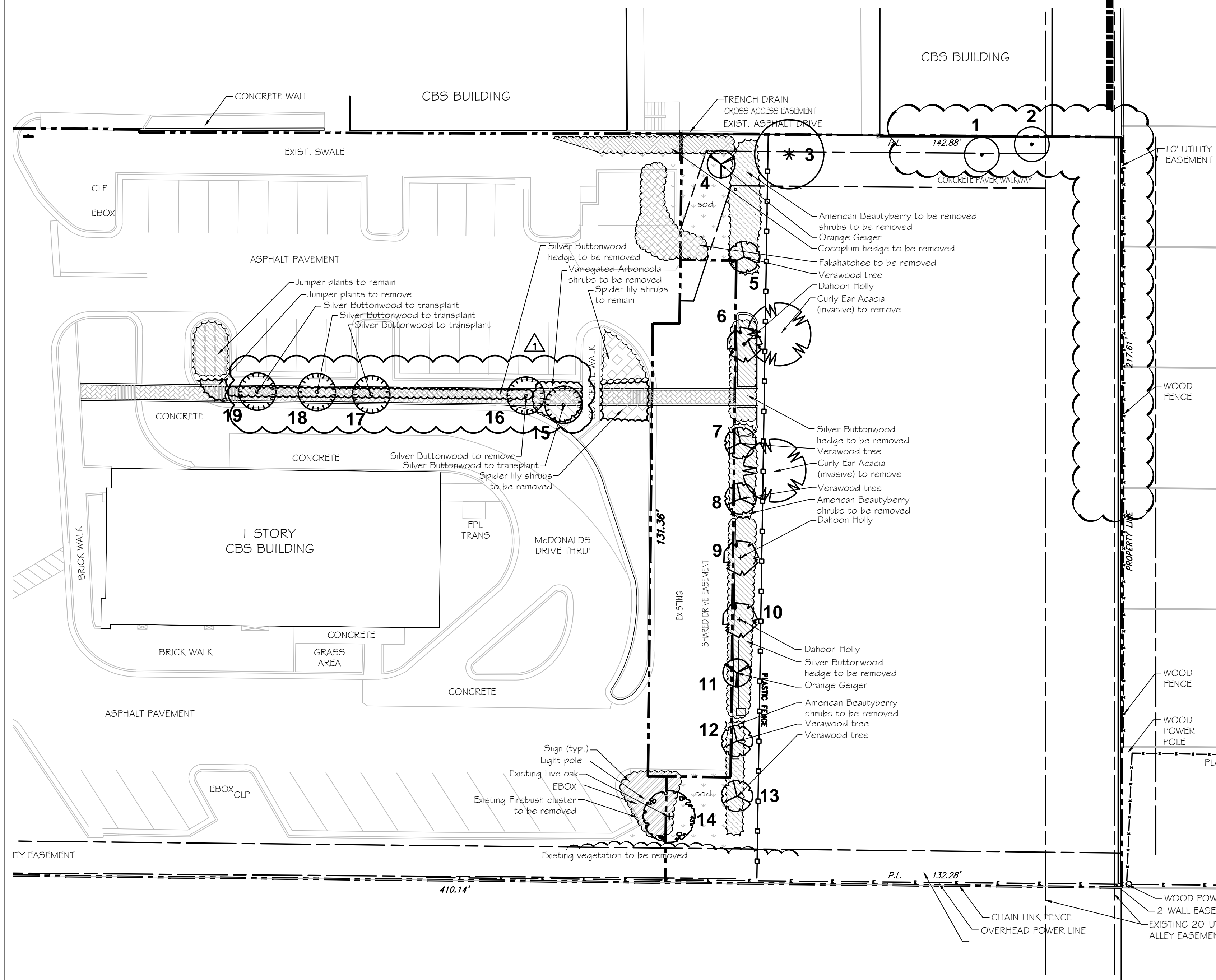
**GGB Engineering, Inc.**

**D** CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS  
• CONSTRUCTION MANAGERS  
FLORIDA REGISTRATION No. 8118  
2699 Stirling Road, Suite C-202  
Fort Lauderdale, Florida 33312  
Phone: (954) 986-9899  
Fax: (954) 986-8655

DATE: April 2019	SCALE: N.T.S.
DESIGNED BY: G.G.B.	DRAWN BY: M.M.
PROJECT NO. 18-0919	
SHEET DT5	

GARY G. BLOOM, P.E.  
FLA LIC. No. 19832  
NOT VALID UNLESS SIGNED  
AND SEALED BY ENGINEER



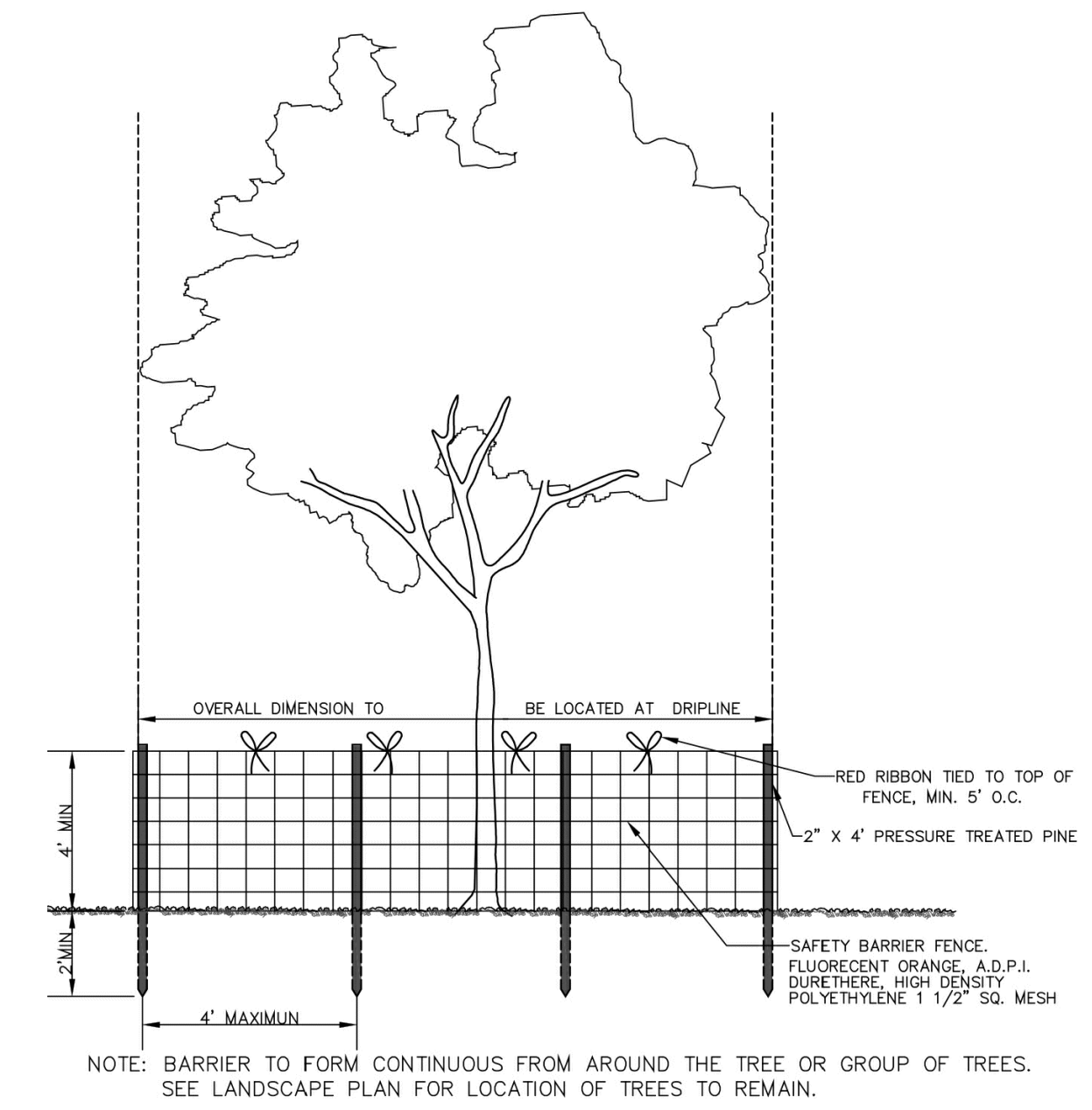


**A** EXISTING LANDSCAPING  
SCALE 1"=20'-0"

KEEP ALL RELOCATED TREES HERE DURING CONSTRUCTION

TREE RELOCATION ARE TO BE COMPLETELY FENCED AND SEPARATED FROM CONSTRUCTION ACTIVITIES

INSTALL TEMPORARY AUTOMATED IRRIGATION DURING CONSTRUCTION



**B** TREE PROTECTION DETAIL  
NOT TO SCALE

NR	Botanical name	Common name	DBH	Dimensiones	Conditions	Action
1	<i>Sabal palmetto</i>	Sabal palm		15"	good	TO REMAIN
2	<i>Sabal palmetto</i>	Sabal palm		24"	good	TO REMAIN
3	<i>Lysiloma latisiliquum</i>	Wild tamarind	10"	30'OA x 25'spr	good	REMOVE
4	<i>Cordia sebestena</i>	Orange geiger	3"	13'OA x 7'spr	good	TRANSPLANT
5	<i>Bulnesia arborea</i>	Verawood	3"	11'OA x 10'	good	TRANSPLANT
6	<i>Ilex cassine</i>	Dahoon holly	3"	10' OA x 5'	good	TRANSPLANT
7	<i>Bulnesia arborea</i>	Verawood	3"	11'OA x 8'spr	good	TRANSPLANT
8	<i>Bulnesia arborea</i>	Verawood	3"	10'OA x 6'spr	good	TRANSPLANT
9	<i>Ilex cassine</i>	Dahoon holly	3"	10'OA x 7'spr	good	TRANSPLANT
10	<i>Ilex cassine</i>	Dahoon holly	3"	12'OA x 7'spr	good	TRANSPLANT
11	<i>Cordia sebestena</i>	Orange geiger	3"	8'OA x 6'spr	good	TRANSPLANT
12	<i>Bulnesia arborea</i>	Verawood	3"	8'OA x 6'spr	good	TRANSPLANT
13	<i>Bulnesia arborea</i>	Verawood	3"	9'OA x 4'spr	good	TRANSPLANT
14	<i>Quercus virginiana</i>	Live oak	4"	17'OA x 4'spr	good	TRANSPLANT
15	<i>Conocarpus erectus</i> var. sericeus	Silver buttonwood	4"	14'OA x 8'spr	good	TRANSPLANT
16	<i>Conocarpus erectus</i> var. sericeus	Silver buttonwood	2"	10'OA x 3'spr	poor	REMOVE
17	<i>Conocarpus erectus</i> var. sericeus	Silver buttonwood	3"	10'OA x 8'spr	good	TRANSPLANT
18	<i>Conocarpus erectus</i> var. sericeus	Silver buttonwood	3"	9'OA x 6'spr	good	TRANSPLANT
19	<i>Conocarpus erectus</i> var. sericeus	Silver buttonwood	4"	12'OA x 7'spr	good	TRANSPLANT

**C** EXISTING TREES CHART

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OF FLORIDA, INC.  
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NOTE:  
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CONTRACTOR IS RESPONSIBLE FOR VERIFICATION  
OF ALL UTILITIES ON SITE PRIOR TO  
COMMENCEMENT OF ANY WORK.  
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY  
FOR UTILITY DAMAGE.

The Mirror of Paradise

Gabriela Fojt  
LA 6667277  
LC 26000628

3924 N. Ocean Blvd.  
Fort Lauderdale  
FL 33308  
Tel (954) 478 3064  
www.florida-landscape.com  
gabriela@themirrorofparadise.com

SCALE AS NOTED

DESIGNED BY GF, GW

DRAWN BY GF

CHECKED BY GF, GW

CAD DWG.

DATE 04.11.19

REVISIONS 07.08.19

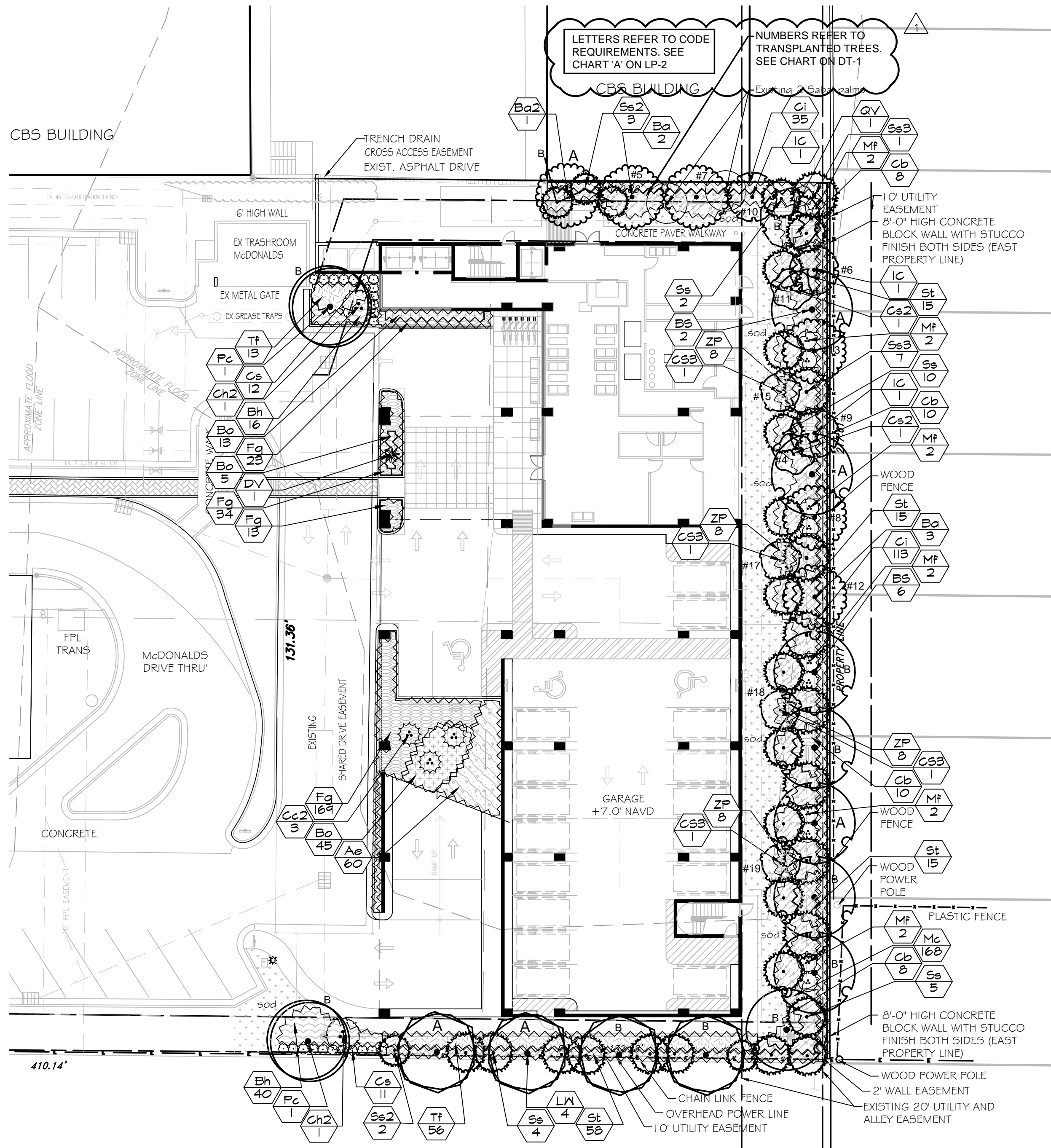
The Kosher House

5530 S STATE 7 RD

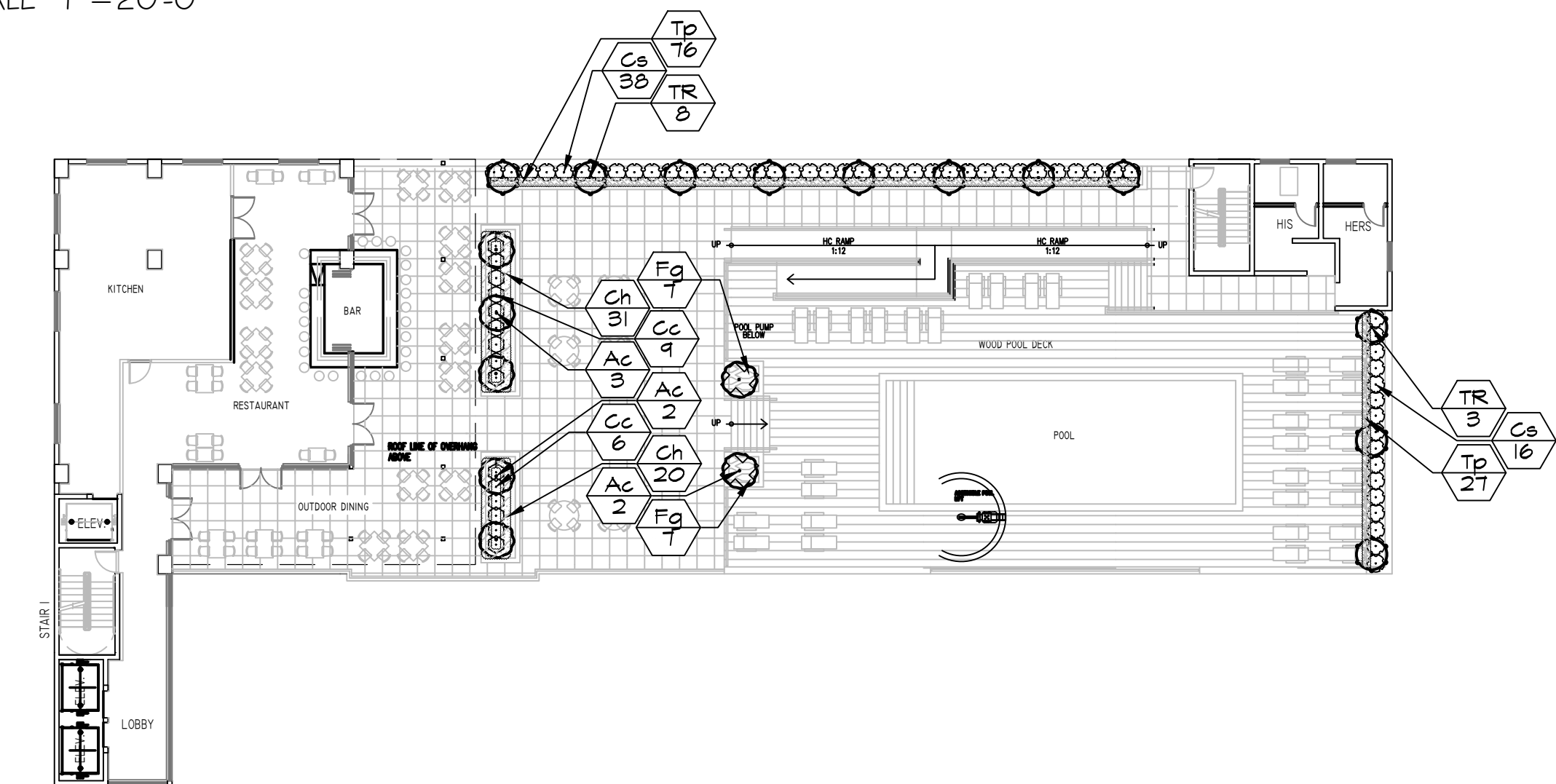
HOLLYWOOD, FLORIDA

TREE REMOVAL PLAN





A GROUND LEVEL LANDSCAPE PLAN  
SCALE 1"=20'-0"




B ROOF GARDEN LANDSCAPE PLAN  
SCALE 1"=20'-0"

PLANT SCHEDULE

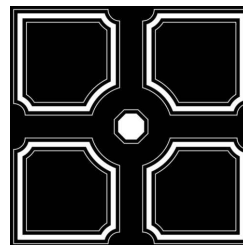
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Ac	7	Azadirachta indica / Neem tree	8' CT single	AS SHOWN	NO	HIGH
Ba2	1	Banksia arborea / Veranood	12' OA 2" DBH	AS SHOWN	NO	HIGH
BS	8	Bursera simaruba / Gumbo Limbo	12'-14' OA, 2" dbh	AS SHOWN	YES	HIGH
LW	4	Lythium latifolium / Wild Tamarind	12' OA 2" DBH	AS SHOWN	YES	HIGH
Pc	2	Phoenix canariensis / Canary Island Date Palm	6'SW 9'CT matched	AS SHOWN	NO	HIGH
Se2	5	Sabal palmetto / Cabbage Palmetto	12' CT	AS SHOWN	YES	HIGH
Se	21	Sabal palmetto / Cabbage Palmetto	20' CT	AS SHOWN	YES	HIGH
Se3	8	Sabal palmetto / Cabbage Palmetto	28'CT	AS SHOWN	YES	HIGH
TR	11	Thrinax radiata / Florida Thatch Palm	6' CT	AS SHOWN	YES	HIGH
TRANSPLANTED TREES	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Ba	5	Banksia arborea / Veranood	Various see DT-1	AS SHOWN	NO	HIGH
Cs3	4	Conocarpus erectus 'Sericeus' / Silver Buttonwood	Various see DT-1	AS SHOWN	YES	HIGH
Cs2	2	Cordia sebestena / Orange Seiger Tree	Various see DT-1	AS SHOWN	YES	HIGH
IC	3	Ilex cassine / Dahoon Holly	Various see DT-1	AS SHOWN	YES	HIGH
QV	1	Quercus virginiana / Southern Live Oak	Various see DT-1	12'-14' AO min 2"dbh	YES	HIGH
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Cc2	3	Chamaedorea cataractarum / Cascade Palm	15 gal	AS SHOWN	NO	LOW
Ch2	2	Chamaerops humilis / Mediterranean Fan Palm	5'OA multitrunk	AS SHOWN	NO	HIGH
Cs	77	Clusia guttifera / Small Leaf Clusia	7 gal 36"OA	36" O.C.	NO	HIGH
Cc	15	Codiaeum variegatum 'Curlyboy' / Curlyboy Croton	3 gal	30" OC	NO	HIGH
DV	1	Dracaena reflexa 'Variegata' / Song of India	6'-7' OA	AS SHOWN	NO	HIGH
MF	12	Myrsine fragrans / Simpson's stopper	6' OA multistem	AS SHOWN	YES	HIGH
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	NATIVE	DROUGHT RESISTANT
Ae	60	Aspidistra elatior / Cast Iron Plant	3 gal	24" O.C.	NO	MODERATE
Bo	63	Begonia odorata 'Alba' / Giant White Angel Begonia	3 gal	24" O.C.	NO	MODERATE
Bh	56	Bougainvillea x 'Helen Johnson' / Compact Bougainvillea	3 gal	24" O.C.	NO	HIGH
Cb	36	Callicarpa americana / American Beautyberry	3 gal	30" O.C.	YES	HIGH
CI	148	Chrysobalanus icaco / Coco Plum	3 gal 24"OA	24" O.C.	YES	MODERATE
Ch	51	Chrysobalanus icaco 'Horizontalis' / Horizontal Cocoplum	3 gal	18" O.C.	YES	HIGH
Fg	253	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal	18" O.C.	NO	HIGH
Mc	168	Muhlenbergia capillaris / Pink Muhly	3 gal	36" O.C.	YES	HIGH
St	103	Sophora tomentosa / Yellow Necklacedod	3 gal	24" O.C.	YES	HIGH
TP	103	Tradescantia pallida / Purple Queen Spiderwort	1 gal	15" O.C.	NO	HIGH
TF	64	Tripsacum dactyloides / Fakahatchee Grass	3 gal	30" O.C.	YES	HIGH
ZP	32	Zamia pumila / Coontie	3 gal	24" O.C.	YES	HIGH

C PLANT LIST



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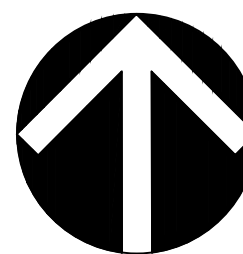
NOTE:  
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SCALE	AS NOTED
DESIGNED BY	GF, GW
DRAWN BY	GF
CHECKED BY	GF, GW
CAD DWG.	
DATE	04.11.19
REVISIONS	07.08.19

The Kosher House  
5530 S STATE 7 RD  
HOLLYWOOD, FLORIDA

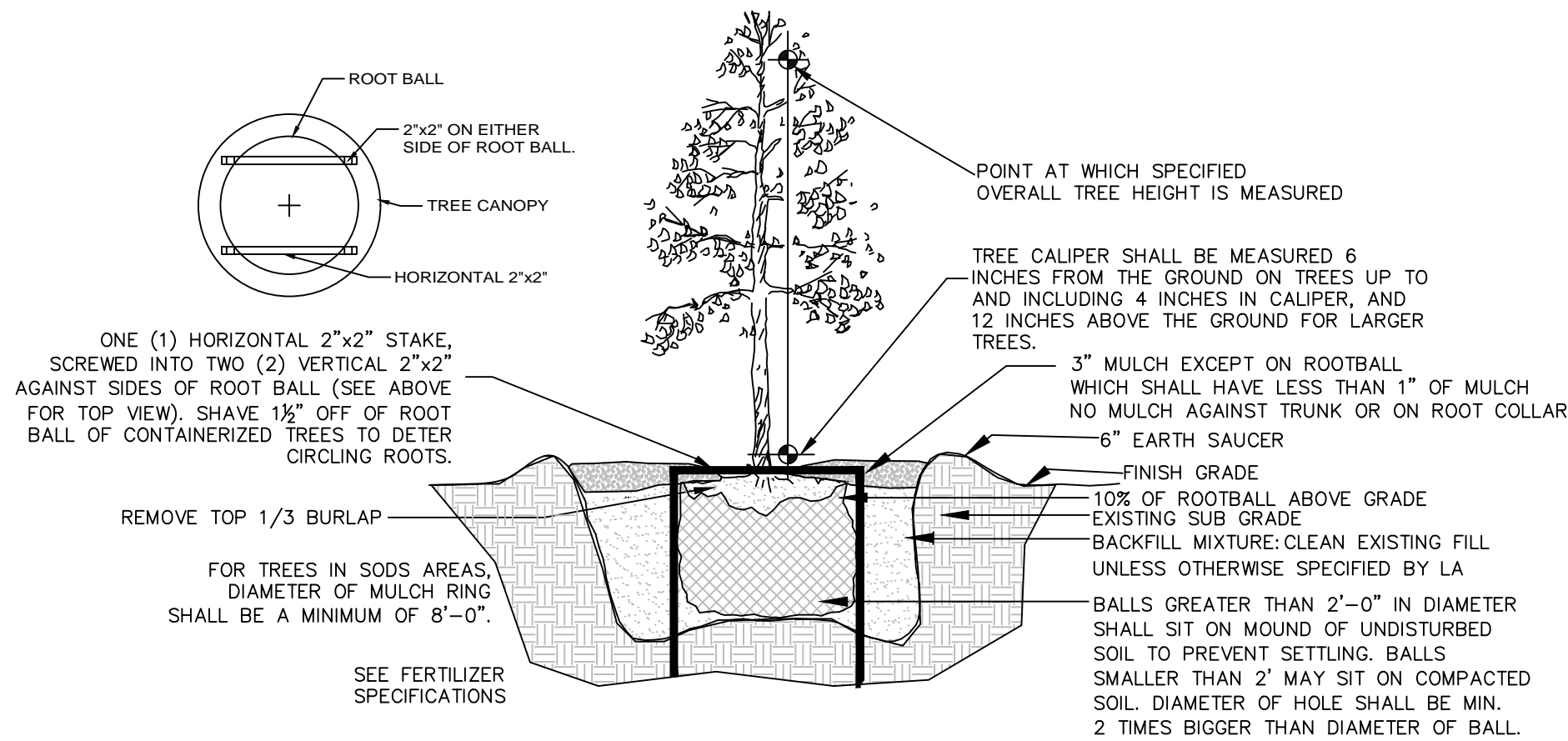
LANDSCAPE PLAN AND PLANT LIST



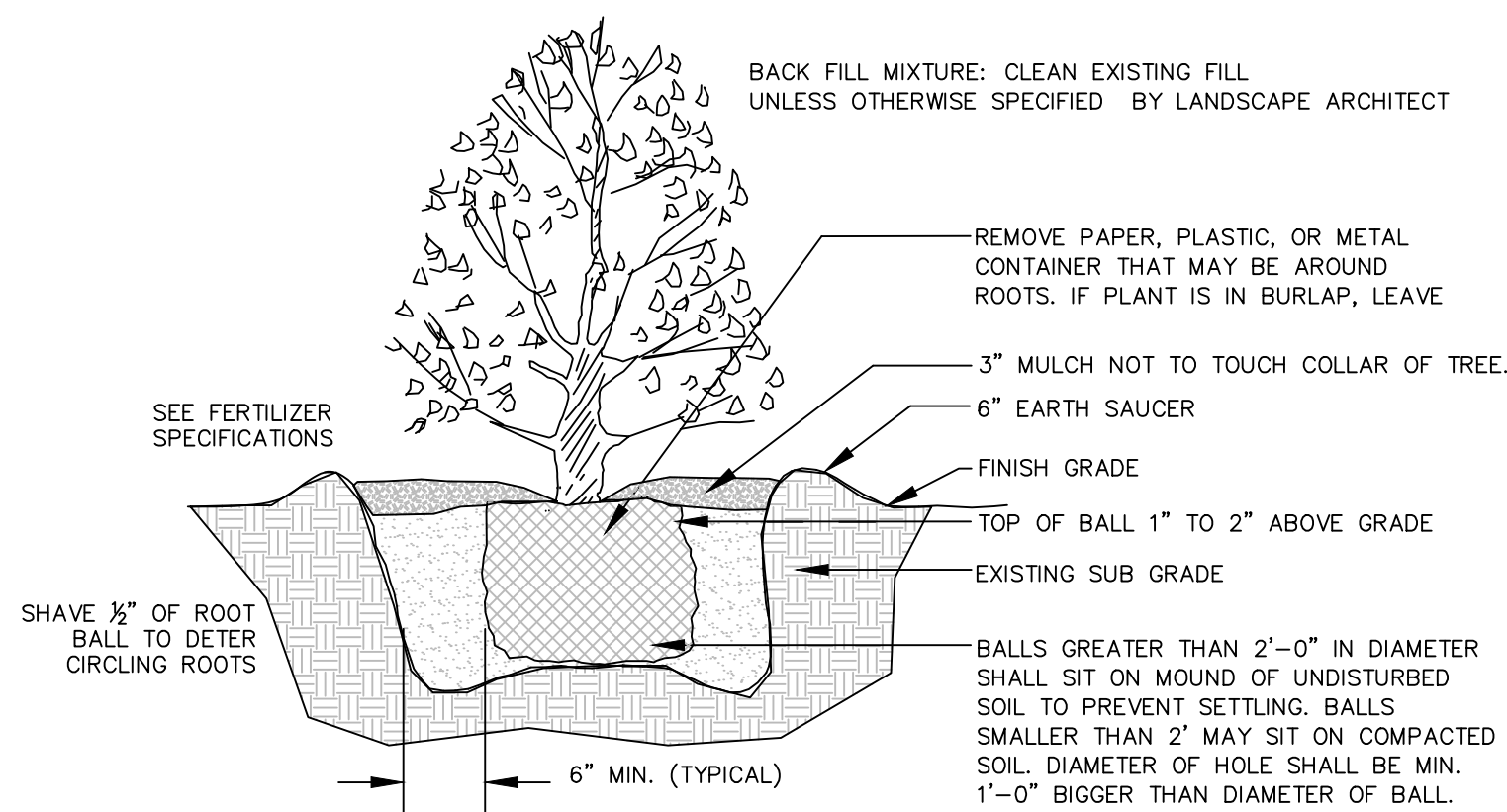
City of Hollywood Landscape Requirements RM-18

Condition	Requirement	Existing	Provided
<b>PERIMETER LANDSCAPE</b>			
-One Tree per 50' of street frontage	N/A	0	0
<b>MITIGATION TREES AND PALMS</b>			
-1 Silver buttonwood (2"dbh) (A)	1 tree		1
-1 Tamarind (10" dbh) (A)	5 trees		5
-18 trees relocated from shared easement		18	18
<b>VEHICULAR USE AREA</b>			
-Terminal Islands at ends of all parking areas	N/A	N/A	N/A
<b>OPEN SPACE (Min 40% open landscape area) (B)</b>			
-Site area 25,618 sq.ft x 40%	10,247 sf		10,247 sf
-One Tree per 1000SF open space (10,247/1000)	11		+ 11
-Required tree species/variety	3		9
-Minimum 60% of required trees as Native	60%		85%of required trees is native
-Maximum 50% of required trees may be palms	(max) 7		5
<b>DESIGN REVIEW</b>			
-Complies with Design Review Guidelines for Landscaping	YES		YES
<b>VIEW TRIANGLE</b>			
-Clear site triangles at all drives and intersections	YES		YES
<b>IRRIGATION</b>			
-Provide 100%+ coverage by auto sprinkler system (In accordance with City of Hollywood and SFWMD)	YES		YES
<b>OTHER</b>			
-Apply Xeriscape principles to proposed landscape design	YES		YES
-Utilize plant species compatible with highly saline areas	YES		YES
-Trees to be 12'oah, 2" DBH at time of planting	YES		YES
-Required palms to have minimum 8'CT at time of planting	YES		YES
-50% of all required shrubs to be Florida Native	YES		YES
-A city of Hollywood tree removal/relocation permit will be required for any tree removal or relocation as part of this project. Application is available online from public works section of city website, or in RM308 in City Hall.			

A LANDSCAPE CODE CHART  
NOT TO SCALE



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

GENERAL LANDSCAPE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILDRGANITE PER 6 CU. YDS.
5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
6. APPLY 3" MELALEUCAEUCALYTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
12. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

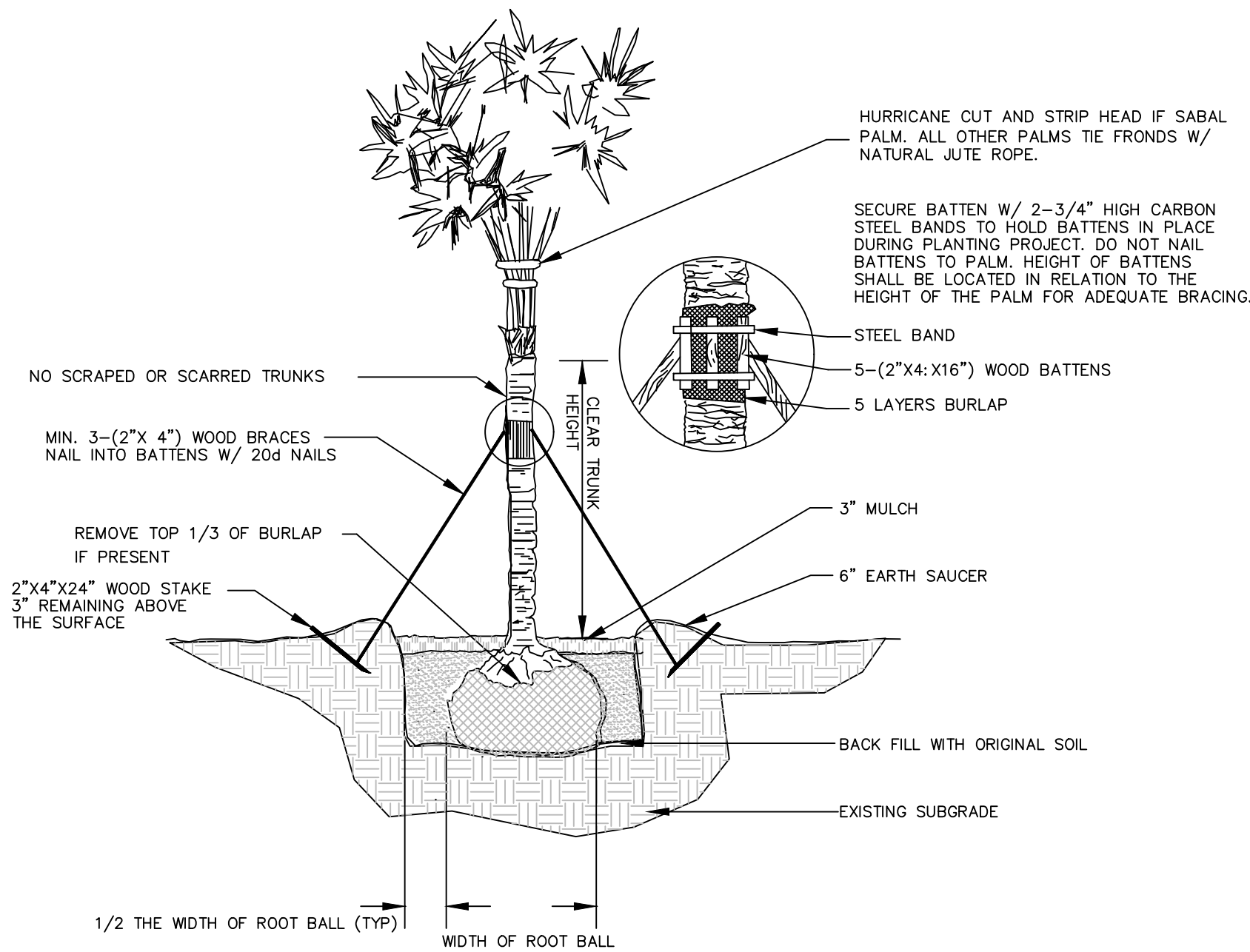
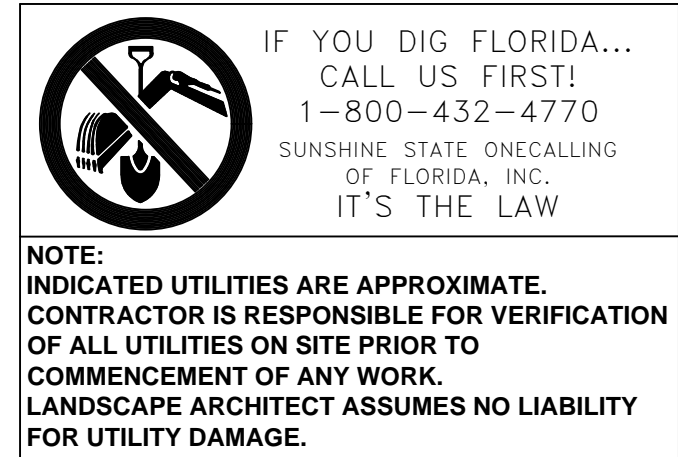
1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

B GENERAL LANDSCAPE NOTES  
NOT TO SCALE

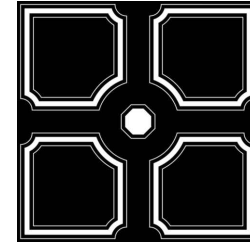


All eleven (11) relocated trees will be warranted and if trees die during construction timeframe at holding area they will have to be replaced for same quantity, quality, species and DBH with equals on site.

PROVIDE A 100% IRRIGATION COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.



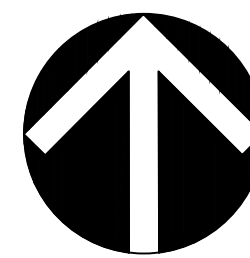
PALM PLANTING DETAIL



The Mirror of Paradise

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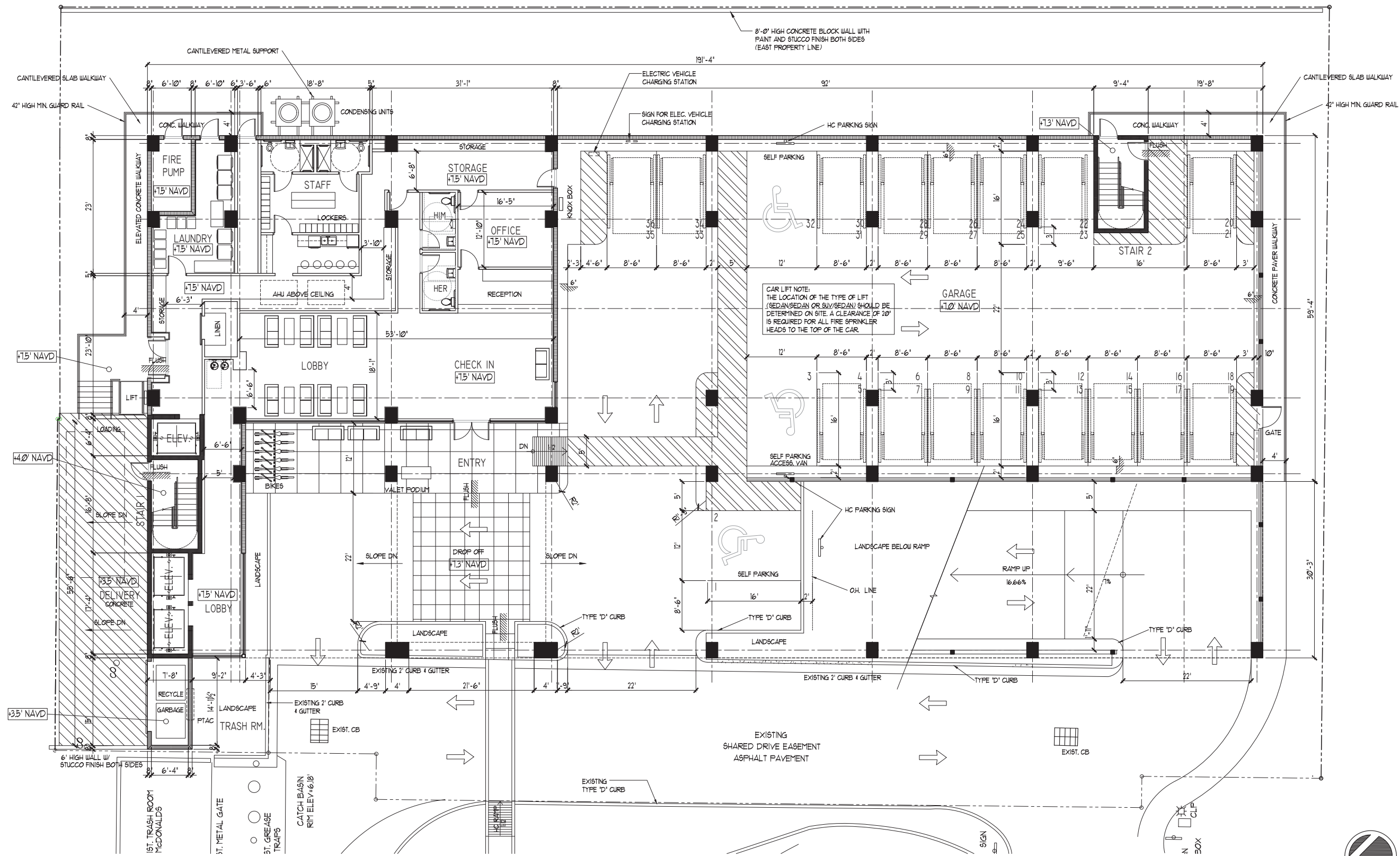


SCALE	AS NOTED
DESIGNED BY	GF, GW
DRAWN BY	GF
CHECKED BY	GF, GW
CAD DWG.	
DATE	04.11.19
REVISIONS	07.08.19

The Koshier House  
5530 S STATE 7 RD  
HOLLYWOOD, FLORIDA

LANDSCAPE DETAILS, NOTES AND CODE CHART

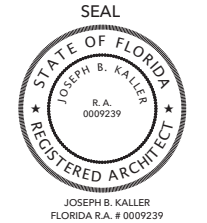




1 **FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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joseph@kallerarchitects.com  
www.kallerarchitects.com



**PROJECT TITLE**  
**the Kasher House**  
5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

**SHEET TITLE**  
**FIRST FLOOR PLAN**

REVISIONS			
No.	DATE	DESCRIPTION	
1	2-19-19	PRELIM TAC	
2	5-6-19	FINAL TAC	

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DATE: 1-24-19  
DRAWN BY: TMS  
CHECKED BY: JBK

SHEET

**A-1**  
SHEET 1 OF 12



[illegible]

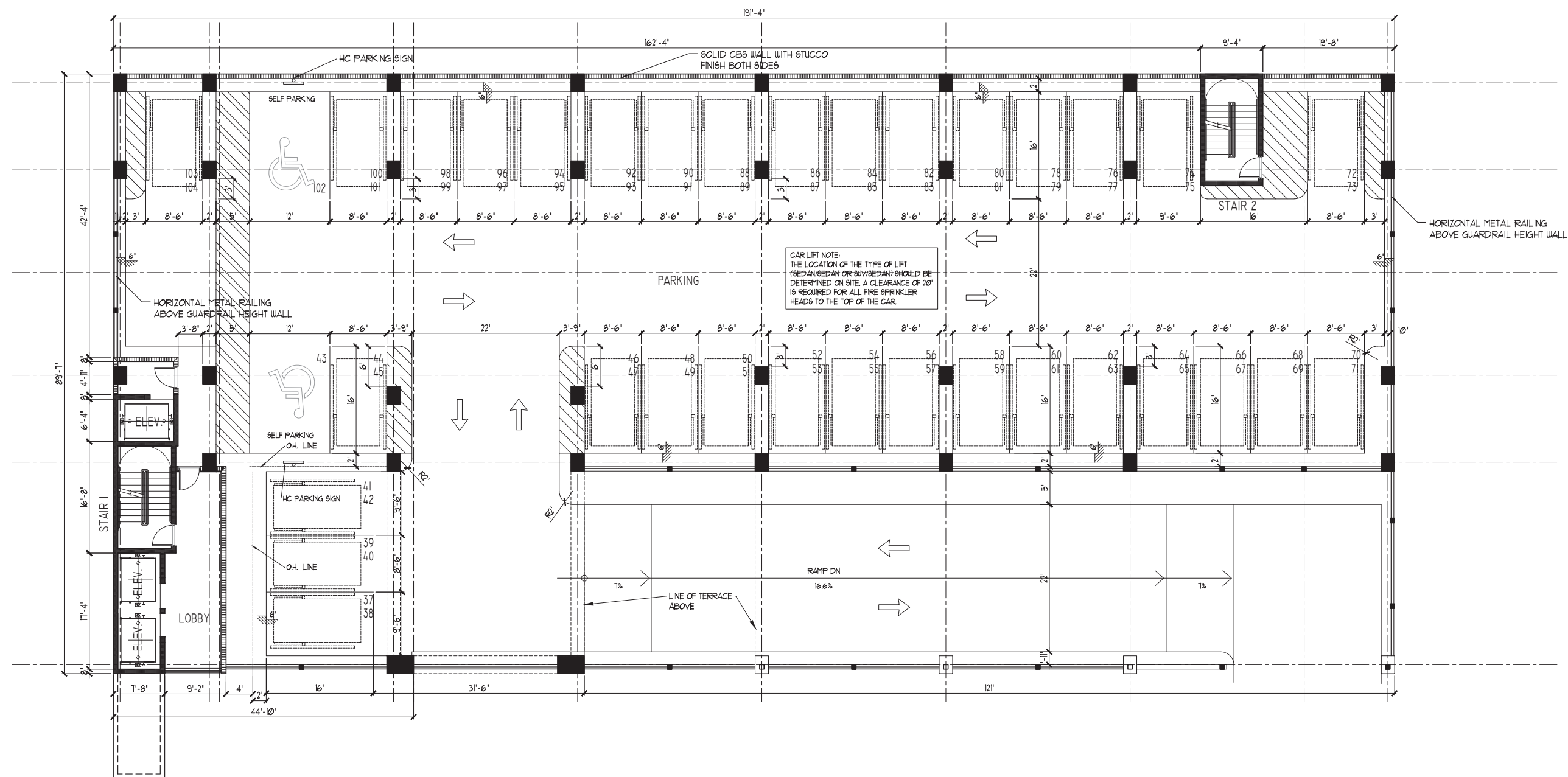
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DATE: 1-24-19  
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SHEET

# A-2

SHEET 2 OF 12



NORTH

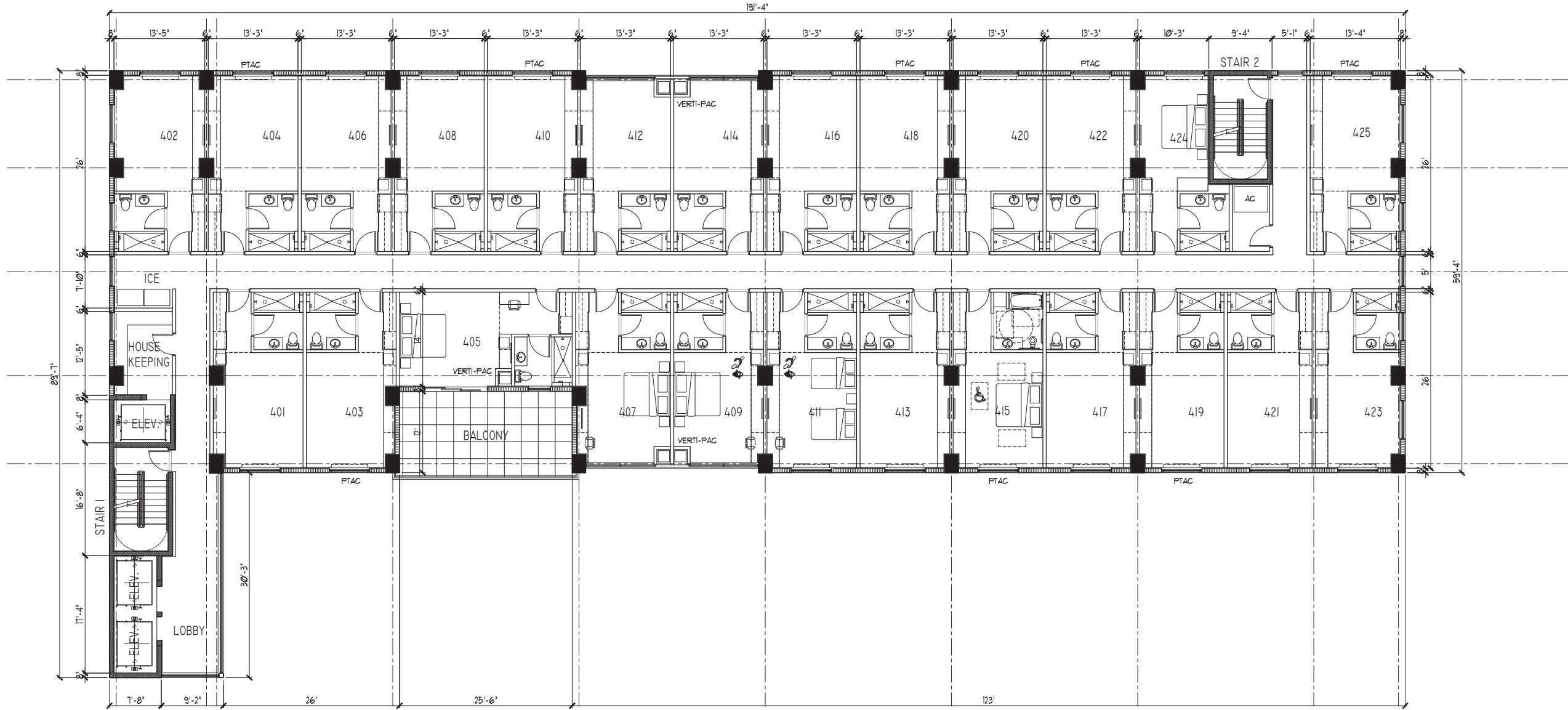
## 1 SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"













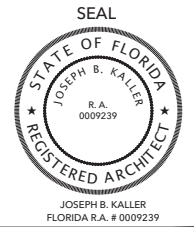












PROJECT TITLE

**the Kasher House**

5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

SHEET TITLE

ROOF PLAN

[illegible]

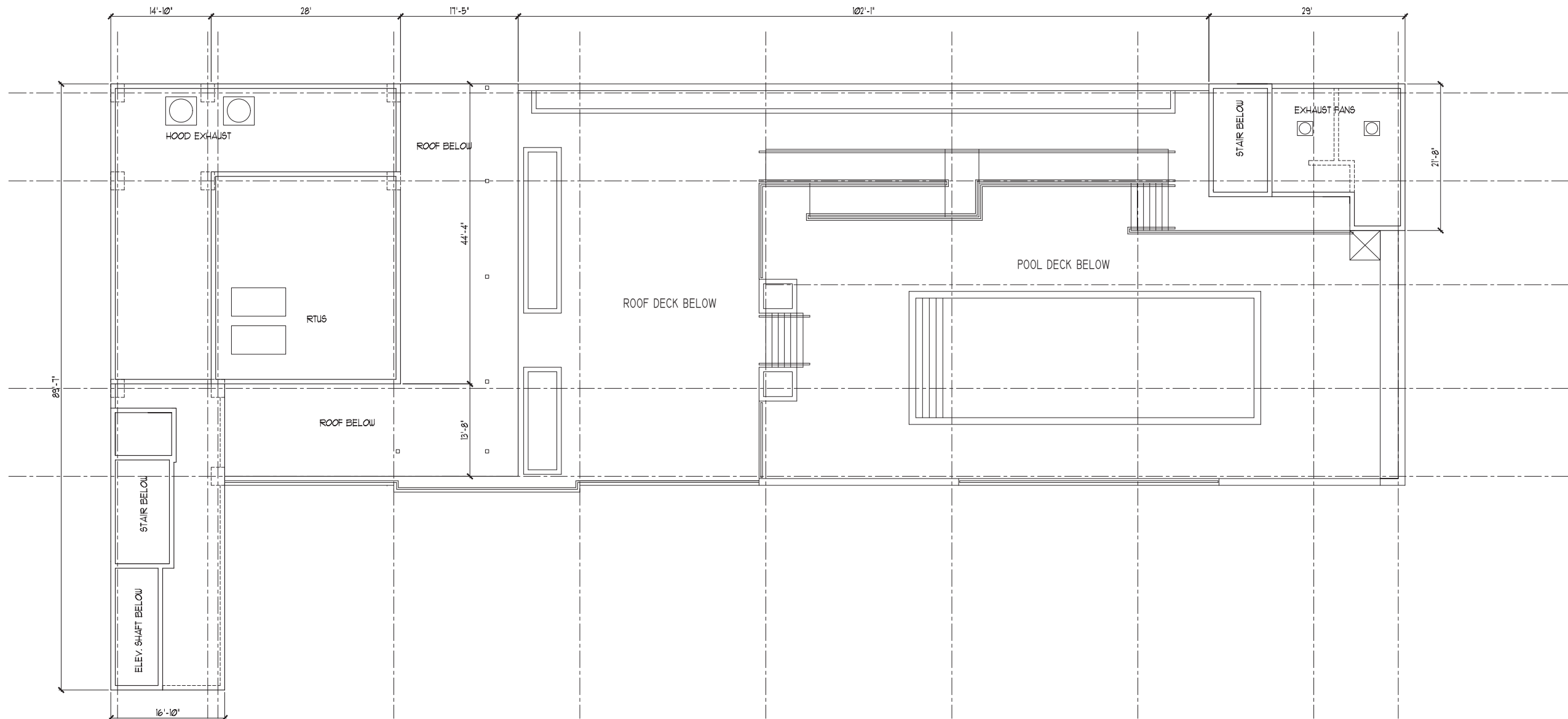
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SHEET

A-8

SHEET 8 OF 12



NORTH

# 1 ROOF PLAN

SCALE: 1/8" = 1'-0"





**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

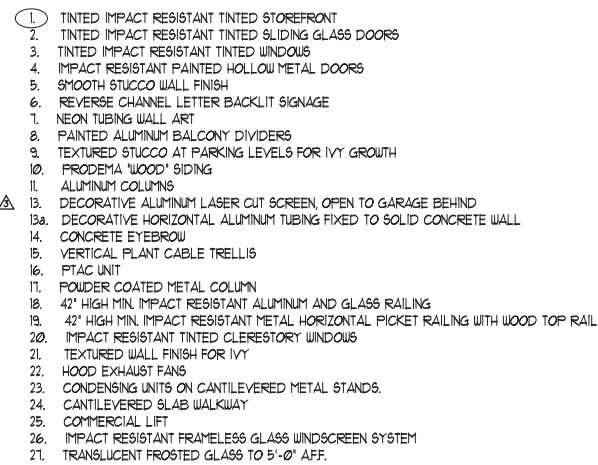










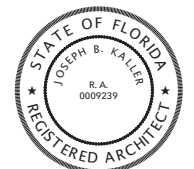


**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



[www.kallerarchitects.com](http://www.kallerarchitects.com)

SEAL



PROJECT TITLE

5530 S. STATE ROAD 7  
HOLLYWOOD FLORIDA 33314

SHEET TITLE

## ELEVATIONS

## REVISIONS

No.	DATE	DESCRIPTION
-----	------	-------------

[illegible]

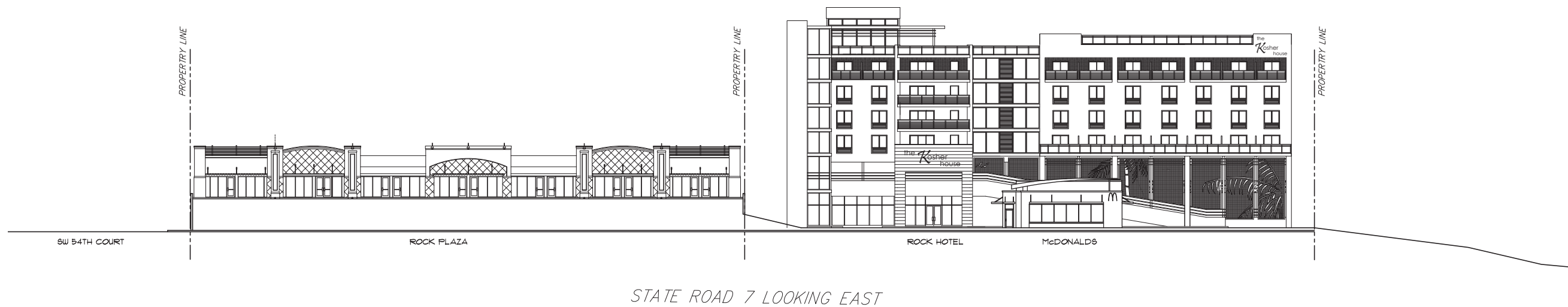
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DATE: 1-24-19  
DRAWN BY: TMS  
CHECKED BY: JBK

## SHEET

A-13

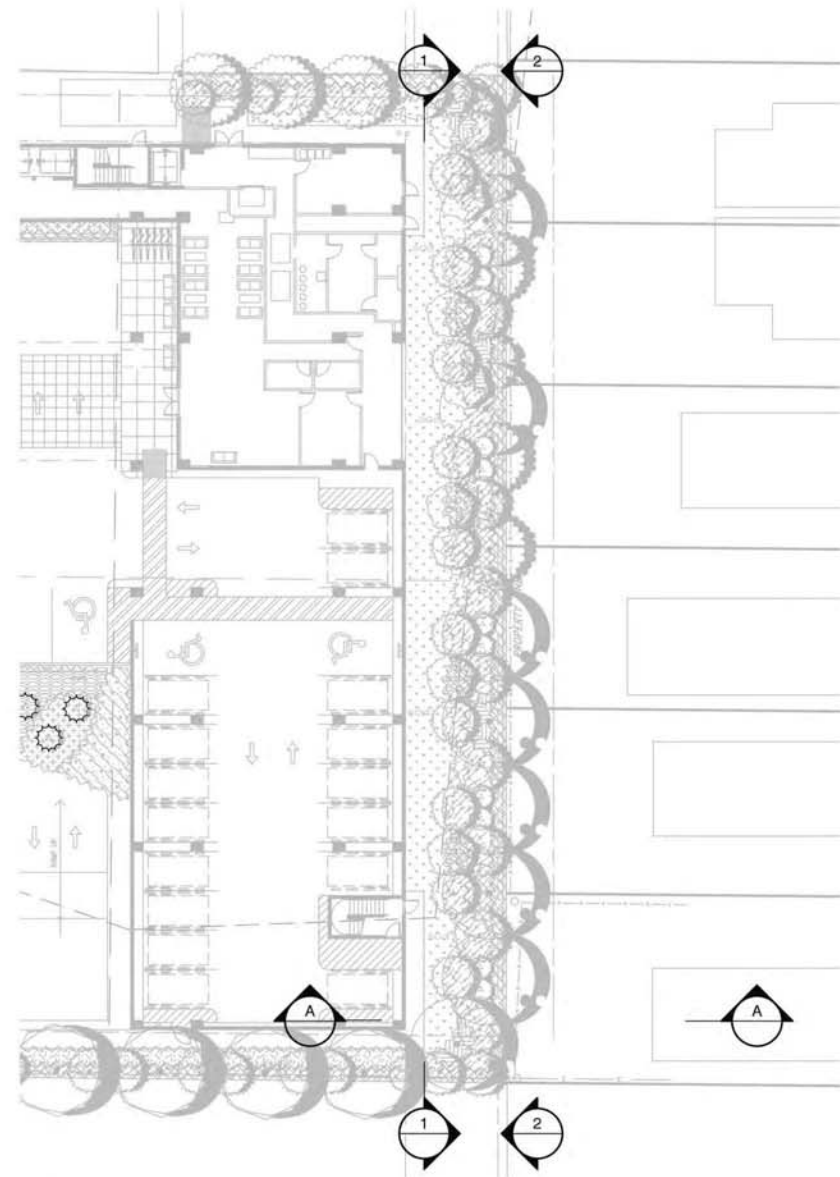
SHEET 12 OF 12











**A** GENERAL LAYOUT  
scale 1"=20'-0"



**B** SECTION AA  
scale 1"=10'-0"



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CHECKED BY	GF, GW
CAD DWG.	
DATE	04.11.19
REVISIONS	

**The Kasher House**  
5530 S STATE 7 RD  
HOLLYWOOD, FLORIDA

ELEVATION AND SECTION OF EAST BUFFER

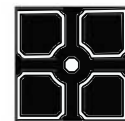




**A** ELEVATION 1 - 1  
scale 1"=10'-0"



**A** ELEVATION 2-2  
scale 1"=10'-0"



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CAD DWG.	
DATE	04.11.19
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**The Kosher House**  
5530 S STATE 7 RD  
HOLLYWOOD, FLORIDA

ELEVATION AND SECTION OF EAST BUFFER











# the Kasher house

5530 SOUTH STATE ROAD 7 HOLLYWOOD FL 33314

MAIN ENTRY FINISH  
benjamin moore  
pure white OC-64



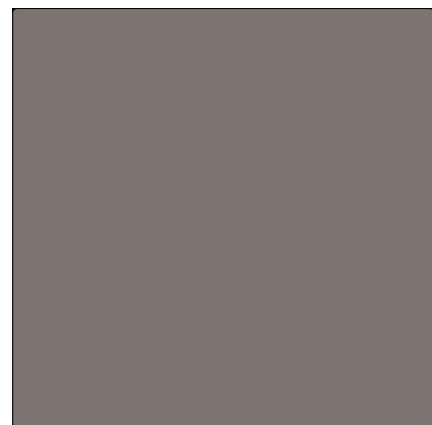
ACCENT COLOR  
ivy wall covering



ENTRY FINISH  
PRODEMA  
waves - light brown



ACCENT COLOR  
benjamin moore  
grey mountain 1462





# the *K*osher house

5530 SOUTH STATE ROAD 7

HOLLYWOOD FL 33314

GUARDRAIL  
horizontal picket  
with wood top rail

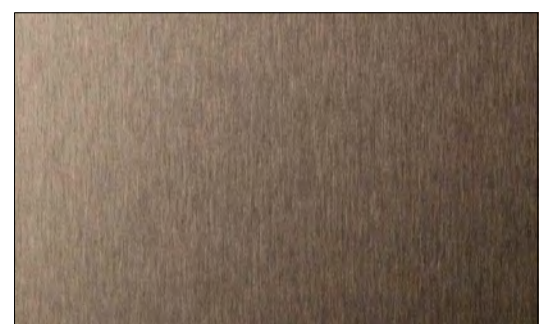


GUARDRAIL  
painted aluminum and  
tempered glass



TERRACE PRIVACY  
SCREEN

satin bronze finish





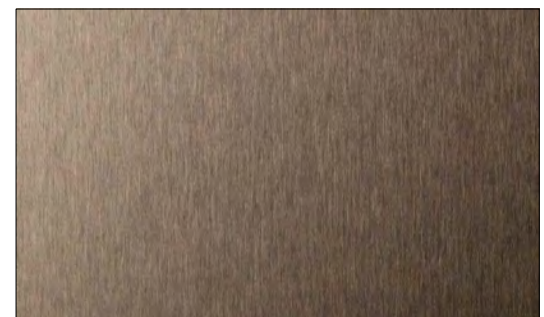
# the *K*osher house

5530 SOUTH STATE ROAD 7 HOLLYWOOD FL 33314

STOREFRONT



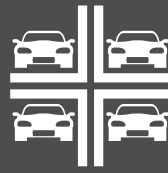
satin bronze finish



SLIDERS AND WINDOWS







**PARKPLUS**  
HIGH DENSITY VEHICLE STORAGE

# DP003

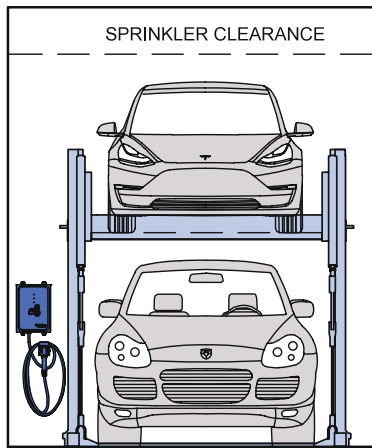
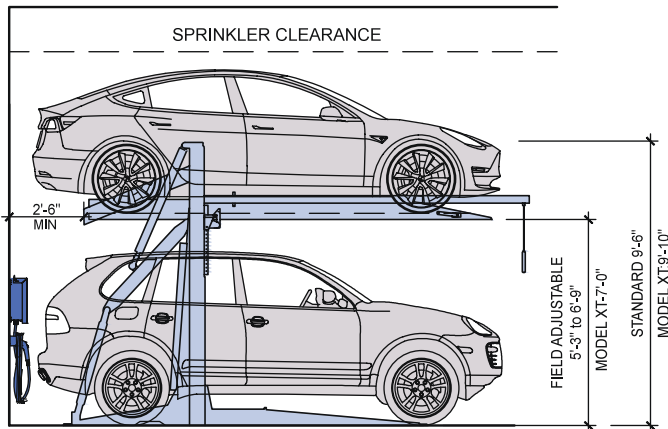
**DOUBLE STACKER**  
2 Level Parking System





# SPEC SHEET

# PARKPLUS DP003 DOUBLE STACKER



## Clearance

S = Standard/SUV  
C = Compact/Sedan

MODEL	HEIGHT
C/C	10'-6"
C/S	12'-2"
S/S	14'-0"
S/S*	14'-6"

\*LA City requirement

## Width

MODEL	WIDTH
W01	7'-11"
W02	8'-3"
W03	8'-6"
W04	9'-0"
W05	Custom

WIDTH = Center of Leg to Center of Leg

The **PARKPLUS DP003** Double Stacker is a hydraulic 2-post, 2-level cantilevered vehicle lift for parking cars one above another. The **DP003** raises and locks a platform in place so that a second vehicle can be parked at grade.

Entire assembly comes pre-welded and is assembled in the field. Stackers may be installed as single units or in arrays with shared common legs. Stacker is designed to be mounted on grade, concrete or asphalt. Approved foundation system may be required for installation of stackers.

The **PARKPLUS DP003** Double Stacker is designed to be installed indoors and outdoors. Platform height is field adjustable in 1 1/2" increments. Each city may have minimum height requirements and different clear requirements for code required parking. Owner/Architect should review with local planning and building departments. **MEP coordination with project team must meet code requirements and satisfy equipment clearances.**

## Suitable for

- Standard passenger vehicles
- SUVs

## Specifications

Load per Platform:	6,000 lbs.
Weight of Unit:	+/- 3,050 lbs.
Length of Platform:	13'-6"
Length incl. Overhang:	16'-6"
Width of Unit:	7'-11" to 9'-0"
Height of Unit:	9'-6" to 9'-10"
Operation:	Hydraulic
Control:	Push Button Pendant

\*Custom Height and Width Available

## Power Pack

### Hydraulic Power System (HPS)

HPS1:	1-2 units (208-230V / 1 PH / 60 HZ / 2-3 HP / 18 FLA)
HPS-1P10:	1-30 units (208-230V / 1 PH / 60 HZ / 10 HP / 40 FLA)
HPS-3P10:	1-30 units (208-230V / 3 PH / 60 HZ / 10 HP / 28.4 FLA)

## Electrical

1 Disconnect required per HPS  
3 PH 208-230V / 40Amp  
1 PH 208-230V / 60Amp  
All control wiring is a Class 2 Circuit 24V

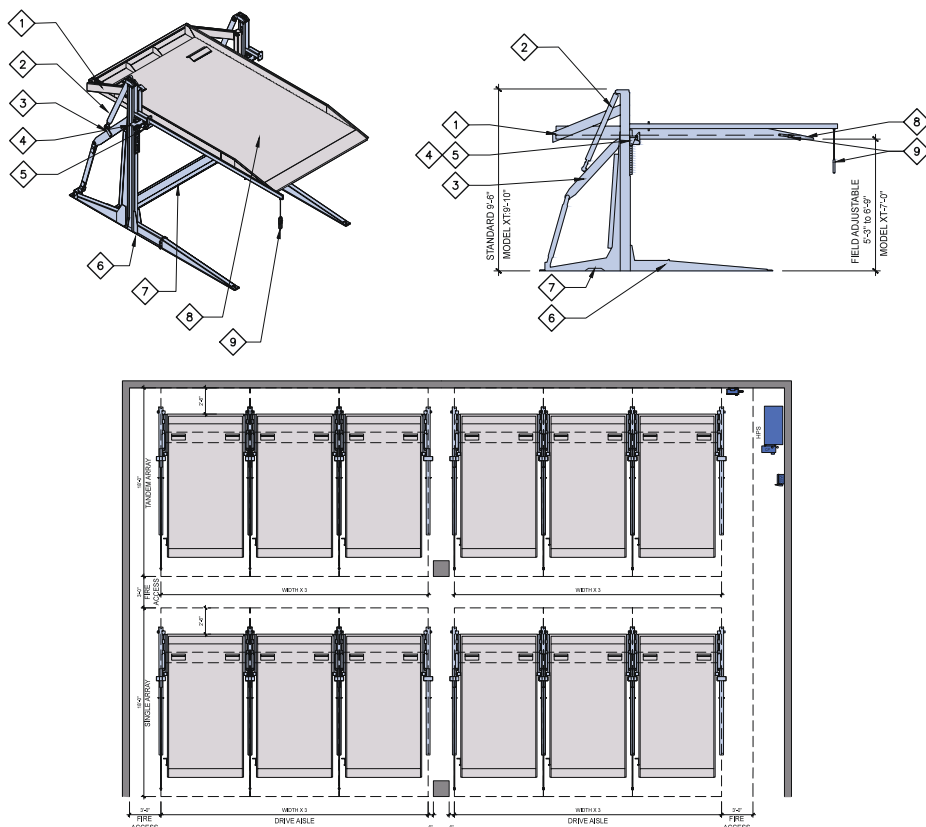
## Applications

**DP003** Double Stacker can be installed in attended/valet and self-park applications:

- Single & Multi-Family Residential Buildings
- Indoor & Outdoor Installations
- Low & High Rise Buildings
- Commercial Buildings
- Surface Lots



- 
- PARKPLUS**  
HIGH DENSITY VEHICLE STORAGE



- 1 CRADLE FRAME ASSEMBLY
- 2 HYDRAULIC CYLINDER
- 3 PARALLEL ARM ASSEMBLY
- 4 ADJUSTABLE HEIGHT ASSEMBLY
- 5 SAFETY LOCKS ASSEMBLY
- 6 END LEG ASSEMBLY
- 7 SEISMIC BEAM ASSEMBLY
- 8 PLATFORM ASSEMBLY
- 9 PUSH BUTTON CONTROLS

**PARKPLUS DP003** Double Stacker can be arranged in single or tandem arrays on either side of a drive aisle. Queuing space of at least 2 vehicles must be provided to allow for shuffling of cars. Queuing space may be in drive aisle. For commercial projects, during peak traffic, all platforms will be lowered for quick filling of stackers. Surface space to be provided for code-required Accessible Parking.

## Safety

Device is equipped with safety locking system. 'Posi-lock' double suspension system holds full weight of vehicle on platform in locked position. Device can be equipped with individual keyed controller for extra safety. Self-attended applications may require additional sensors to detect objects located under platform or entering the area below platform.

## Fire Protection

In most metropolitan areas, car stackers are reviewed as similar to high piled storage and non-building structures. Fire rating of structural components is not required. Sprinklers may be required per following section. Each city may have fire department guidelines.

## Fire Sprinklers

**Outdoor:** 1. Most cities do not require fire sprinklers. 2. May need to conform to additional zoning regulations and building code requirements.

**Indoor:** 1. Installation shall be in a sprinklered garage. In tandem array, additional sprinkler requirements may apply. 2. Sprinkler Plans filed and approved by local municipality. 3. Sprinkler system designed as required by NFPA 13 and local building codes. 4. Clear building height within parking area must accommodate height of equipment plus additional requirements for adequate coverage of fire sprinklers.

## Temperature

Device is designed to operate between 20° and 120° F. For below freezing environments, hydraulic heaters for Power Packs are recommended.

## Loading

Structural design and loading is provided on a project by project basis and is dependant on seismic zones, soil conditions and other environmental conditions.

## Warranty

12-month Standard Manufacturer's Warranty on new equipment.  
Equipment Lifespan: Indoor = 7,500 cycles; Outdoor = 5,000 cycles.

## Service

At end of 12-month warranty period a service contract is available upon request.

Rental option may include Service & Maintenance for full term.

## Approvals

- MEA/OTCR Certified, City of New York
- LAETL Approved, LARR#930501, City of Los Angeles
- California Seismic Code Compliant
- Miami Dade County Compliant
- Approved in Multiple U.S. Cities

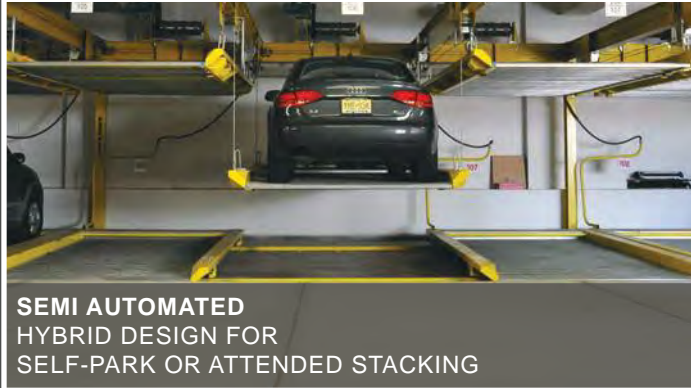




**MECHANICAL**  
ATTENDED SYSTEMS  
FOR BASIC STACKING



**AUTOMATED**  
ADVANCED TECHNOLOGIES FOR  
ROBOTIC PARKING SOLUTIONS



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HYBRID DESIGN FOR  
SELF-PARK OR ATTENDED STACKING



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LOS ANGELES, CA 91352

**PARKPLUS FLORIDA, INC.**  
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