

### **PLANNING DIVISION**



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):

### **GENERAL APPLICATION**

|  | APPLICATION TYPE (CHECK ONE):   |
|--|---|
| Highlywood<br>FLORIDA  | ☐ Technical Advisory Committee ☐ Historic Preservation Board ☐ City Commission ☐ Planning and Development Board ☐ Date of Application:  |
| Tel: (954) 921-3471<br>Fax: (954) 921-3347   | Location Address: 5530 3. STATE RD 7  PARCELS B & C Block(s): Subdivision: 6 & S  Folio Number(s): 5041 3610 0750   |
| This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda. | Zoning Classification: N - MU Land Use Classification: MIXED USE  Existing Property Use: VACANT Sq Ft/Number of Units:  Is the request the result of a violation notice? ( ) Yes ( No If yes, attach a copy of violation. Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO PPELIM TAC FINAL TAC |
| The applicant is responsible for obtaining the appropriate checklist for each type of application.                         | □ Economic Roundtable □ Technical Advisory Committee □ Historic Preservation Board □ City Commission □ Planning and Development  Explanation of Request: SITE PLAN APPROVAL FOR A 100 ROOM HOTEL ON 441   |
| Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.                           | Number of units/rooms: Sq Ft: 7-350 8F  Value of Improvement: Estimated Date of Completion: 12-1-20  Will Project be Phased? ( ) Yes ( ) No If Phased, Estimated Completion of Each Phase   |
| At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).       | Name of Current Property Owner: SHOPPES OF HARDROCK UC  Address of Property Owner: 2790 STIRLING RD BAYS 9-10  Telephone: 95+ 394 6615 Fax: Email Address: Sharonsharaby @ yahoo -6   |
| Documents and forms can be accessed on the City's website at http://www.hollywoodfl.org/DocumentCenter/Home/View/21        | Name of Consultant/Representative/Tenant (circle one): JOSEPH B. KALLER  Address: 2417 HOLLWOOD BWD Telephone: 954920 5146  Fax: 9549262841 Email Address: Joseph & Faller and Joseph Company (1980)  Date of Purchase: Is there an option to purchase the Property? Yes ( ) No ( )  If Yes, Attach Copy of the Contract. 99 TEAL LEASE ATTACHED.                                   |
|  | List Anyone Else Who Should Receive Notice of the Hearing:  ROD FEINER  Address: 404 S. ANDREWS AVE  FORT LANDRENGE FL 33316  Email Address: rateiner & core-tener-con  |

### PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):

### **GENERAL APPLICATION**

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <a href="www.hollywoodfl.org">www.hollywoodfl.org</a>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

| Signature of Current Owner:   | Date: <u>6/3/19</u>         |
|---|-----------------------------|
| PRINT NAME: Sharon Sharasym   | Date: <u>6/3/19</u>         |
| Signature of Consultant/Representative:   | Date: 6/3/19                |
| PRINT NAME: JOSEPH B. KALLER  | Date: 4/3/19                |
| Signature of Tenant:  | Date:                       |
| PRINT NAME:   | Date:                       |
| Current Owner Power of Attorney   |                             |
| am the current owner of the described real property and that I am aware of the nature to my property, which is hereby made by me to be my legal representative before the Committee) relative to all matters concerning this application. | or I om havaler with a data |
| Sworn to and subscribed before me   |                             |
| LAURIE YODER  | ARON Sharasy                |
| State of Florida  |                             |
| My Commission Expires:(Check One) Personally known to me; OR Produced Iden  | ntification                 |



### PROJECT INFO:

6 STORY 100 ROOM HOTEL

### LAND DESCRIPTION:

A PORTION OF PARCELS "B" AND "C", "C & S SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 89 AT PAGE 40 OF THE PUBLIC RECORDS OF 8ROWARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

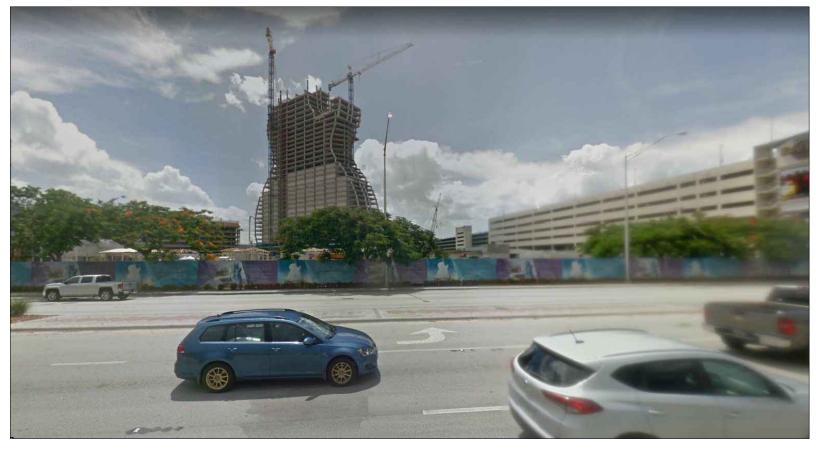
BEGIN AT THE NORTHEAST CORNER OF SAID PARCEL "B"; THENCE SOUTH 89°48'30" WEST ALONG THE NORTH LINE OF SAID PARCEL "B" FOR 24.08 FEET; THENCE SOUTH 89°18'32" WEST, A DISTANCE OF 46.58 FEET; THENCE NORTH 00°41'28" WEST, A DISTANCE OF 0.41 FEET TO A POINT ON SAID NORTH LINE OF PARCEL "B"; THENCE SOUTH 89°48'30" WEST ALONG SAID NORTH LINE OF PARCEL "B" FOR 56.83 TO THE NORTHEAST CORNER OF THE MCDONALD'S PARCEL AS SHOWN ON THE SURVEY PREPARED BY FORTIN, LEAVY, SKILES, INC. UNDER JOB NO. 131023 AND DRAWING NO. 2008-092-2 AND DATED SEPTEMBER 9, 2013, THE FOLLOWING FIVE (5) COURSES BEING ALONG THE EAST LINE OF SAID MCDONALD'S PARCEL; 1) THENCE SOUTH 00°07'48" EAST FOR 55.12 FEET; 2) THENCE SOUTH 89°52'12" WEST FOR 7.81 FEET; 3) THENCE SOUTH 00°07'48" EAST FOR 131.36 FEET; 4) THENCE NORTH 89°52'12" EAST FOR 5.36 FEET; 5) THENCE SOUTH 00°07'48" EAST FOR 30.75 FEET; THENCE NORTH 89°52'12" EAST ALONG THE SOUTH LINE OF SAID PARCEL "C" FOR 132.28 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL "C": THENCE NORTH 00°44'47" WEST ALONG THE EAST LINE OF SAID PARCELS "B" AND "C" FOR 217.60 FEET TO THE POINT OF BEGINNING.





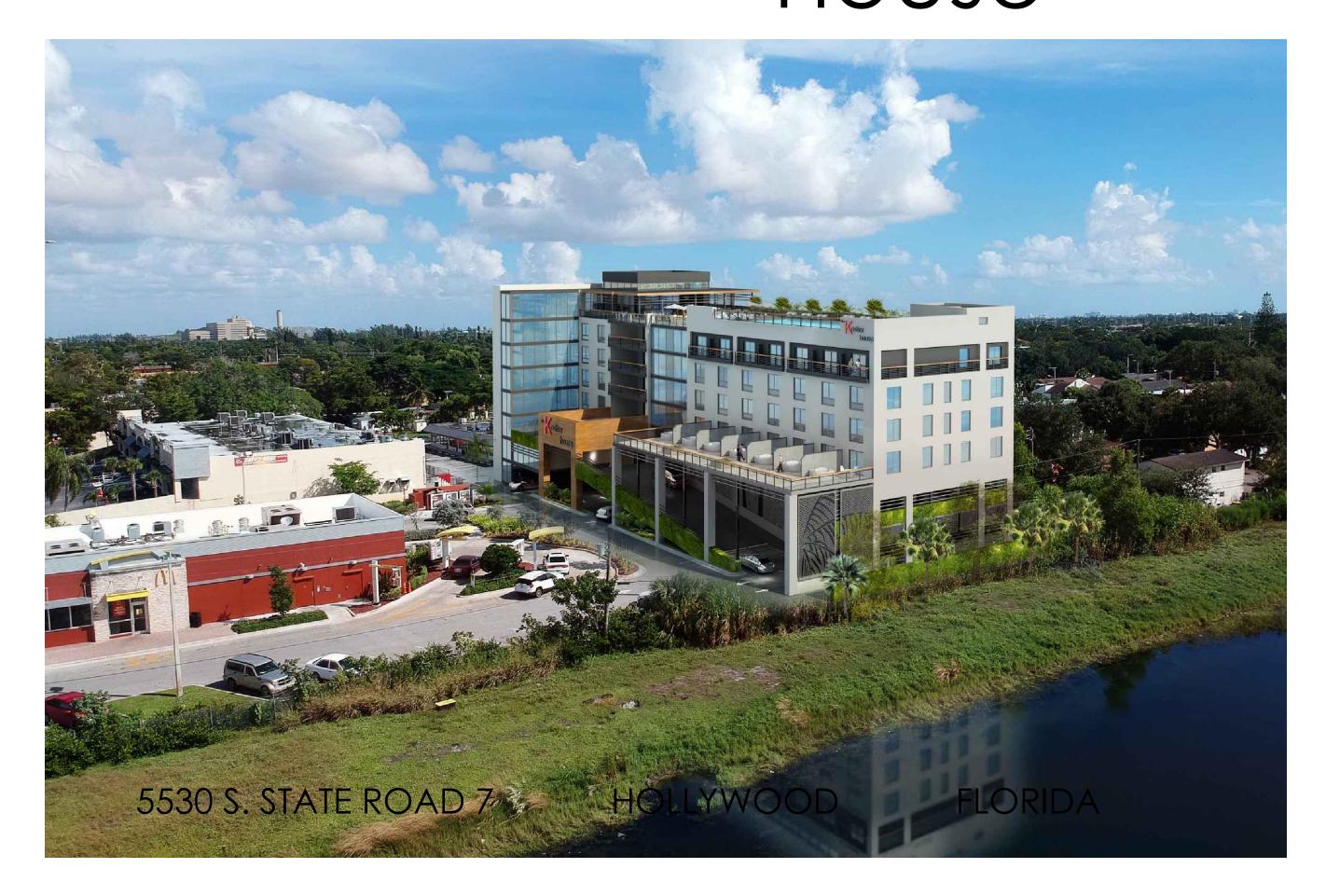






HARDROCK HOTEL (west of site)

1 SEMINOLE WAY



P.A.C.O. - DECEMBER 3, 2018
PRELIMINARY TAC - FEBUARY 4, 2019
FINAL TAC - MAY 6, 2019
P AND D - DECEMBER 12, 2019

### PROJECT TEAM

SHOPPES OF HARD ROCK LLC

CONTACT: Mr. Sharon Sharaby

EMAIL:

EMAIL:

<u>ATTORNEY</u>

COKER AND FEINER

CONTACT: ROD FEINER

LANDSCAPE ARCHITECT

MIRRORS OF PARADISE INC

CONTACT: Gabriela Fojt

ADDRESS: 2790 Stirling Road HOLLYWOOD, FL 33020

(954) 394-6615

ADDRESS: 1404 S ANDREW AVENUE

(954) 761-3636

(954) 478-3064

sharonsharaby@yahoo.com

FORT LAUDERDALE, FL 33316

gabriela@themirrorofparadise.com

rafeiner@coker-feiner.com

ARCHITECT

JOSEPH B. KALLER AND ASSOCIATES, P.A.
CONTACT: MR. JOSEPH B. KALLER
ADDRESS: 2411 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020

HOLLYWOOD, FL 33020
PHONE: (954) 920-5746
FAX: (954) 926-2841
EMAIL: Joseph@kallerarchitects.com

<u>SURVEYOR</u>

COUSINS SURVEYORS AND ASSOCIATES, INC.
CONTACT: RICHARD COUSINS
ADDRESS: 3921 SW 4TTH AVENUE, SUITE 1011
DAVIE, FL 33314
PHONE: (954) 680-9885

RECsurveyr@aol.com

CIVIL ENGINEER

GGB ENGINEERING. INC.

EMAIL:

GGB ENGINEERING, INC.

CONTACT: GARY BLOOM

ADDRESS: 3109 STIRLING ROAD, SUITE 201

FORT LAUDERDALE, FLORIDA 33312

PHONE: (954) 986-9899

FAX: (954) 986-8833 FAX: (954) 986-6655 EMAIL: gary@ggbeng.com

### PROJECT DATA

FLORIDA BUILDING CODE, 6TH EDITION 2017
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

JURISDICTION:

CITY OF HOLLYWOOD

BROWARD COUNTY

STATE OF FLORIDA

### DRAWING INDEX

T-1 COVER SHEET

C-I CIYIL PLAN

9P-0 SITE AND BUILDING DATA 9P-1 SITE PLAN AND NOTES

9P-IA SITE PLAN WITH TRAFFIC PATTERNS AND PEDESTRIAN ACCESS

6P-2 SITE DETAILS 6P-3 SIGNAGE AND CAR LIFT DETAILS

DT-I TREE REMOVAL PLAN
LP-I FIRST FLOOR LANDSCAPE PLAN

LP-2 ROOF TERRACE LANDSCAPE PLAN

A-10 BUILDING ELEVATION

A-11 BUILDING ELEVATION

A-12 BUILDING ELEVATION

BCAPE PLAN

A-13 CONTEXTUAL STREET ELEVATIONS

A-1 FIRST FLOOR PLAN

A-2 SECOND FLOOR PLAN

A-3 THIRD FLOOR PLAN

A-4 FOURTH FLOOR PLAN

A-5 FIFTH FLOOR PLAN

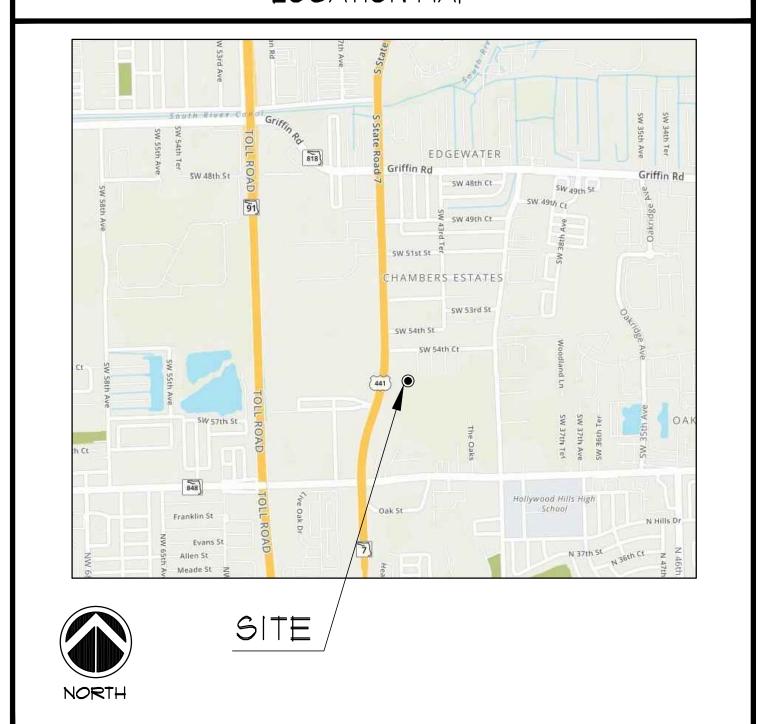
A-6 SIXTH FLOOR PLAN

A-8 ROOF PLAN

A-7 ROOF AMENITY PLAN

A-9 BUILDING ELEVATION

### LOCATION MAP



### AERIAL



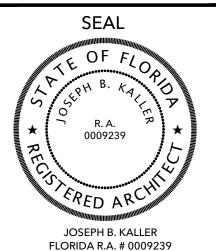
NORTH

SITE

ssary to produce the intended results.

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com



USDO C

5530 S. STATE ROAD 7

SHEET TITLE
TITLE PAGE

REVISIONS No. DATE DESCRIPTION

Of brighting to store in the control of the control

This drawing, as an instrument of service, is and shall remain the property of the Architect and shall not be reproduced, published or used in any way without the permission of the Architect.

PROJECT No.: 16116

DATE: 1-24-19

DRAWN BY: TMS

CHECKED BY: JBK

SHEET

T-1

### NOTES:

- 1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND ENCUMBRANCE REPORT, WHICH REPORT WAS CONDUCTED FROM THE TIME OF BEGINNING ONWARD THROUGH JANUARY 22, 2019
- 3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- 4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- 5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
- 6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- 7. BENCHMARK REFERENCE : BROWARD COUNTY BENCHMARK # 3361 ELEVATION=3.69' (NAVD88)
- 8. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF "C & S SUBDIVISION", P.B. 89, PG. 40, B.C.R. SAID LINE BEARS S89°52'12"W.
- 9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
- 10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- 11. THE PROPERTY HAS DIRECT ACCESS TO STATE ROAD NO 7, A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 89, PAGE 40, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.

- STATE PLANE COORDINATE INFORMATION
- (a) PROJECTION:

UNIVERSAL TRANSVERSE MERCATOR PROJECTION AS ESTABLISHED FOR THE FLORIDA EAST ZONE COORDINATE SYSTEM.

### (b) DATUM:

THE STATE PLANE COORDINATES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 WITH A SUBSEQUENT RE-ADJUSTMENT DONE IN 2007 (NAD 83 (NATIONAL SPATIAL REFERENCE SYSTEM 2007)). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

### (c) METHODOLOGY:

COORDINATES WERE DETERMINED USING THE TOPCON HI-PER SR AND THE TOPCON FC-5000 WITH THE TDS PACKAGE TOGETHER WITH THE 'L-NET' ROVER SYSTEM PACKAGE PROVIDED BY LENGEMANN CORPORATION. THE 'L-NET' NETWORK (A TOPNET GNSS NETWORK) UTILIZES A NETWORK OF REAL TIME KINEMATIC (RTK) REFERENCE STATIONS.

### (d) ESTIMATED ACCURACIES:

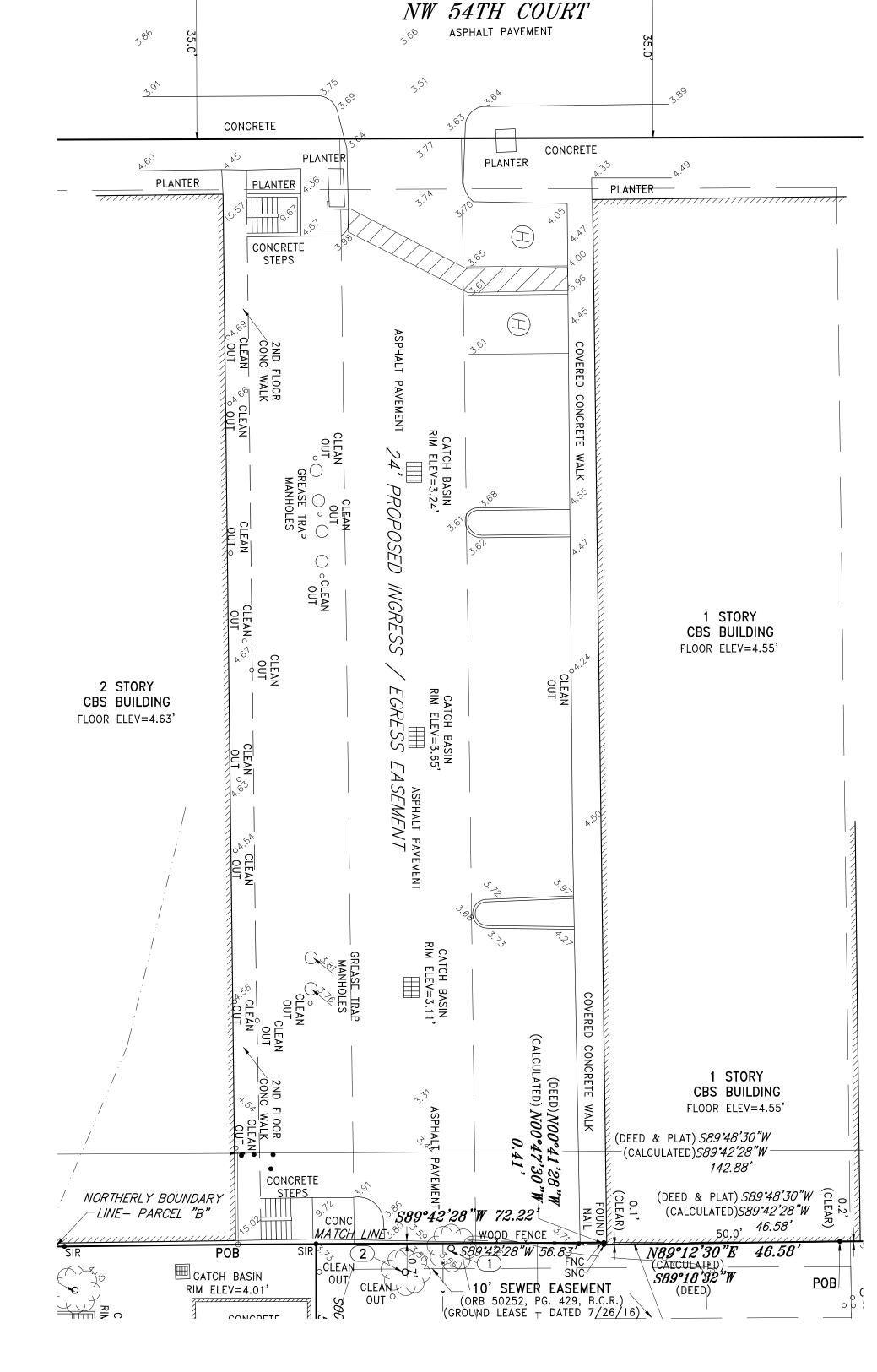
HORIZONTAL ACCURACIES TO 0.04' VERTICAL ACCURACIES TO 0.07'

### **ENCUMBRANCES:**

- 1. MATTERS AS CONTAINED ON THE PLAT OF C & S SUBDIVISION, RECORDED IN PLAT BOOK 89, PAGE 40, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- 2. DEVELOPER'S AGREEMENT REGARDING WATER AND SEWER SERVICES RECORDED IN OR BOOK 4206, PAGE 25, AND AMENDED IN OR BOOK 4517, PAGE 774 AND OR BOOK 6549, PAGE 428 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- 3. DEVELOPER'S AGREEMENT REGARDING WATER AND SEWER SERVICES RECORDED IN OR BOOK 6549, PAGE 433 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- 4. AGREEMENT FOR SUBDIVISION RECORDED IN OR BOOK 6662, PAGE 167 OF THE PUBLIC RECORDS OF BROWARD COUNTY, (INSUFFICIENT DOCUMENT PROVIDED)
- 5. GUARANTEE SEWER CONNECTION AGREEMENT RECORDED IN OR BOOK 7230, PAGE 637 AND 639 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- 6. EASEMENT GRANTED TO FLORIDA POWER & LIGHT RECORDED IN OR BOOK 8343, PAGE 77 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (DOES NOT AFFECTS/NOT
- 7. THAT CERTAIN EASEMENTS AND RESTRICTIONS CONTAINED IN THAT CERTAIN CROSS-EASEMENT AGREEMENT FOR INGRESS AND EGRESS RECORDED IN OR BOOK 8740, PAGE 95 AS AMENDED IN OR BOOK 50003, PAGE 1834 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- 8. DECLARATION OF UNITY OF TITLE RECORDED IN OR BOOK 50223, PAGE 1548 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/NOT PLOTTABLE)
- 9. EASEMENT GRANTED TO FLORIDA POWER & LIGHT RECORDED IN OR BOOK 50257, PAGE 886 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)
- 10. THOSE CERTAIN EASEMENTS WHICH ARE PART OF THAT CERTAIN LEASE BETWEEN KALIF CORP. AND SHOPPES OF HARD ROCK, LLC, WHICH LEASE IS NOT RECORDED BUT REFERENCED IN THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN INSTRUMENT NO. 114338528 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

### 12. THERE ARE 48 STRIPED PARKING SPACES ON THE PROPERTY, INCLUDING 2 HANDICAP SPACES.

- 13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- 14. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
- 15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
- 16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.



SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THE FIELD WORK WAS COMPLETED ON JUNE 27, 2019.

RICHARD E. COUSINS

PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION No. 4188.

FLOOD ZONE INFORMATION

0562

0.2 PCT / A

N/A / 5

08/18/14

OMMUNITY NUMBER

BASE FLOOD ELEV.

FFECTIVE DATE

PANEL NUMBER



COUSINS SURVEYORS & ASSOCIATES, INC. 3921 SW 47TH AVENUE, SUITE 1011 DAVIE, FLORIDA 33314

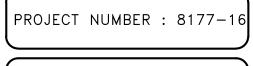
CERTIFICATE OF AUTHORIZATION: LB # 6448 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

5530 S STATE ROAD 7 JOSEPH B. KALLER HOLLYWOOD, FLORIDA + ASSOCIATES PA

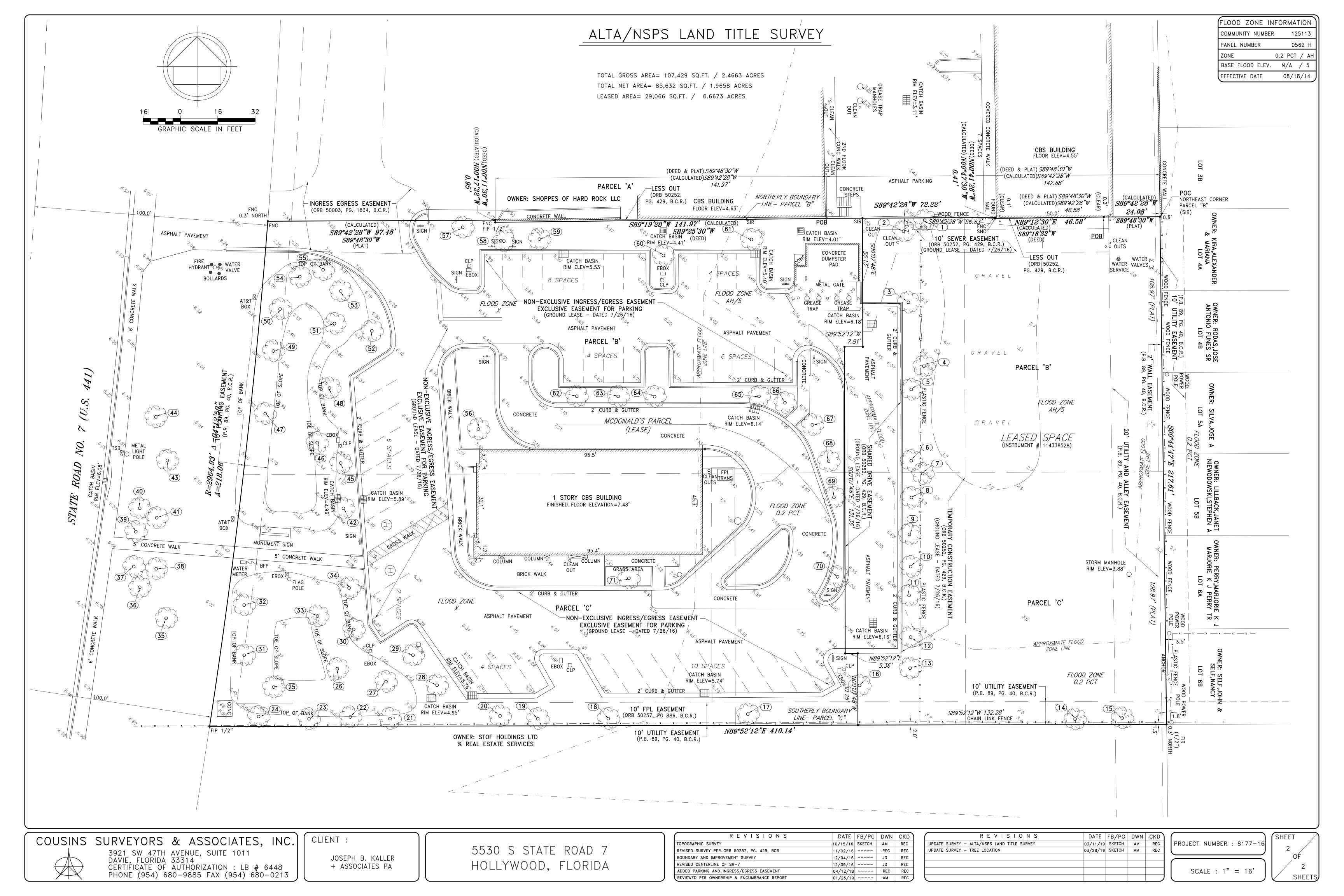
| REVISIONS                                    | DATE FB/PG DWN CK     | D. |
|--|-----------------------|----|
| TOPOGRAPHIC SURVEY                           | 10/15/16 SKETCH AM RE | С  |
| REVISED SURVEY PER ORB 50252, PG. 429, BCR   | 11/02/16 REC RE       | :C |
| BOUNDARY AND IMPROVEMENT SURVEY              | 12/04/16 JD RE        | :C |
| REVISED CENTERLINE OF SR-7                   | 12/09/16 JD RE        | C  |
| ADDED PARKING AND INGRESS/EGRESS EASEMENT    | 04/12/18 REC RE       | С  |
| REVIEWED PER OWNERSHIP & ENCLIMBRANCE REPORT | 01/25/19 AM RE        |    |

| REVISIONS                                     | DATE     | FB/PG  | DWN | CKD | ١ |
|---|----------|--------|-----|-----|---|
| UPDATE SURVEY - ALTA/NSPS LAND TITLE SURVEY   | 03/11/19 | SKETCH | АМ  | REC |   |
| UPDATE SURVEY — TREE LOCATION                 | 03/28/19 | SKETCH | АМ  | REC |   |
| LOCATED PROPOSED ACCESS AREA TO NW 54TH COURT | 06/27/19 | SKETCH | АМ  | REC |   |
| ADDED STATE PLANE COORDINATES                 | 10/05/19 |        | JD  | REC |   |
|   |          |        |     |     | 1 |



SCALE : N/A





MINIMUM AVERAGE ALLOWED

335 SF

PROVIDED 367 SF

MINIMUM AVERAGE ALLOWED PROVIDED

335 SF 367 SF

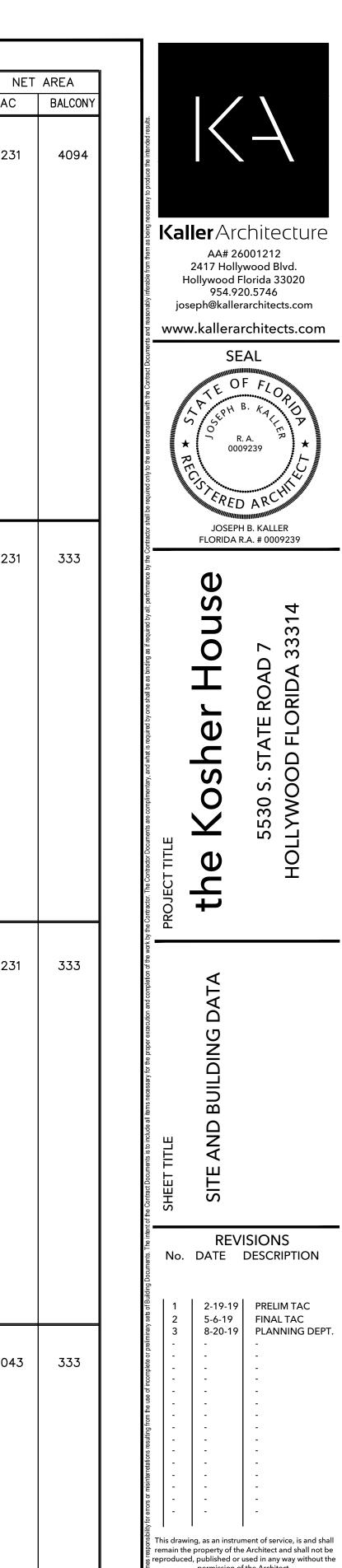
CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA: PER ASCE 24-05:

| STRUCTURE CATEGORY                  | DESIGN CLASS II |                 |
|-------------------------------------|-----------------|-----------------|
| MINIMUM ELEVATION OF LOWEST         | BFE +1 OR DFE   | +6.00' N.A.Y.D. |
| FLOOR (TABLE 2-1)                   | WHICHEVER IS    |                 |
|                                     | HIGHER          |                 |
| MINIMUM ELEVATION BELOW WHICH       | BFE +1 OR DFE   | +6.00' N.A.V.D. |
| FLOOD DAMAGE RESISTANT              | WHICHEVER IS    |                 |
| MATERIALS SHALL BE USED (TABLE 5-1) | HIGHER          |                 |
| MINIMUM ELEVATION OF UTILITIES      | BFE +1 OR DFE   | +6.00' N.A.V.D. |
| AND EQUIPMENT (TABLE 7-1)           | WHICHEVER IS    |                 |
|                                     | HIGHER          |                 |
| MINIMUM ELEVATION OF                | BFE +1 OR DFE   | +6.00' N.A.V.D. |
| DRY FLOOD PROOFING OF NON           | WHICHEVER IS    |                 |
| RESIDENTIAL STRUCTURES (TABLE 6-1)  | HIGHER          |                 |

NOTE: BASE FLOOD ELEVATION (B.F.E.) = +5.00' NAVD

|            | SPACE           | AR   | EA     | GROS  | S AREA | AREA     |
|------------|-----------------|------|--------|-------|--------|----------|
|            |                 | AC   | NON AC | AC    | NON AC | NOT INCL |
|            | LOBBY/ CORRIDOR | 1666 |        |       |        |          |
|            | ELEVATORS       |      | 217    |       |        |          |
|            | STAIRWELLS      |      | 299    | 3783  | 516    |          |
| 1ST FL     | OFFICES         | 352  |        |       |        |          |
|            | STAFF ROOM      | 424  |        |       |        |          |
|            | LAUNDRY         | 459  |        |       |        |          |
|            | STORAGE         | 882  |        |       |        |          |
|            | GARAGE          |      | 7044   |       |        | 7044     |
|            | LOBBY           | 319  |        |       |        |          |
| 2ND FL     | ELEVATORS       |      | 217    |       |        |          |
|            | STAIRWELLS      |      | 299    | 319   | 516    |          |
|            | GARAGE          |      | 12621  |       |        | 12621    |
|            | LOBBY/ CORRIDOR | 1695 |        |       |        |          |
|            | HOUSE KEEPING   | 121  |        |       |        |          |
| 3RD FL     | ELEVATORS       |      | 217    | 11047 | 516    |          |
|            | STAIRWELLS      |      | 299    |       |        |          |
|            | ROOMS           | 9231 |        | ]     |        |          |
|            | BALCONIES       |      | 4094   |       |        | 4094     |
|            | LOBBY/ CORRIDOR | 1695 |        |       |        |          |
|            | HOUSE KEEPING   | 121  |        | 1     |        |          |
| 4TH FL     | ELEVATORS       |      | 217    | 11047 | 516    |          |
|            | STAIRWELLS      |      | 299    | 1     |        |          |
|            | ROOMS           | 9231 |        | 1     |        |          |
|            | BALCONIES       |      | 333    |       |        | 333      |
|            | LOBBY/ CORRIDOR | 1695 |        |       |        |          |
|            | HOUSE KEEPING   | 121  |        |       |        |          |
| 5TH FL     | ELEVATORS       |      | 217    | 11047 | 516    |          |
|            | STAIRWELLS      |      | 299    |       |        |          |
|            | ROOMS           | 9231 |        | 1     |        |          |
|            | BALCONIES       |      | 333    | 1     |        | 333      |
|            | LOBBY/ CORRIDOR | 1695 |        |       |        |          |
|            | HOUSE KEEPING   | 121  |        |       |        |          |
| 6TH FL     | ELEVATORS       |      | 217    | 10859 | 516    |          |
|            | STAIRWELLS      |      | 299    |       |        |          |
|            | ROOMS           | 9043 |        |       |        |          |
|            | BALCONIES       |      | 333    | 1     |        | 333      |
|            | ELEVATORS       |      | 217    |       |        |          |
| ROOF       | STAIRWELLS      |      | 299    | 2671  | 8497   |          |
|            | RESTAURANT      | 2303 |        | 1     |        |          |
|            | RESTROOMS       | 368  |        | 1     |        |          |
|            | ROOF DECK       | +    | 3957   | 1     |        |          |
|            | POOL DECK       |      | 4024   |       |        |          |
|            |                 |      |        | 50773 | 11593  | 24758    |
| TOTAL GROS | SS AREA         |      |        | 62366 |        |          |
| TOTAL AREA | <u> </u>        |      |        |       | 87124  |          |
|            |                 |      |        |       | 3/1ZT  |          |

| LOCATION     | ROOM<br>#  | AC         | REA (SF)         | NET<br>AC | BA  |
|--------------|------------|------------|------------------|-----------|-----|
|              | 301        |            | TERRACE/ BALCONY | AC        | BA  |
|              | 302        | 370<br>387 | _                |           |     |
| 3RD FLOOR    | 303        | 373        | _                | 9231      | 4   |
|              | 304        | 370        | _                |           |     |
|              | 305        | 387        | 1200             |           |     |
|              | 306        | 370        | _                |           |     |
|              | 307        | 387        | _                |           |     |
|              | 308        | 370        | _                |           |     |
|              | 309<br>310 | 361<br>370 |                  |           |     |
|              | 311        | 370        | 447              |           |     |
|              | 312        | 361        | _                |           |     |
|              | 313        | 370        | 417              |           |     |
|              | 314        | 361        | _                |           |     |
|              | 315        | 370        | 417              |           |     |
|              | 316        | 370        | -                |           |     |
|              | 317<br>318 | 370<br>370 | 417              |           |     |
|              | 319        | 370        | 394              |           |     |
|              | 320        | 370        | _                |           |     |
|              | 321        | 370        | 394              |           |     |
|              | 322        | 370        | _                |           |     |
|              | 323        | 363        | 408              |           |     |
|              | 324        | 316        | _                |           |     |
|              | 325        | 385        | _                |           |     |
|              | 401<br>402 | 370        | _                |           |     |
| 4TH FLOOR    | 403        | 387<br>373 |                  | 9231      | ] 3 |
|              | 404        | 370        | _                |           |     |
|              | 405        | 387        | 333              |           |     |
|              | 406        | 370        | _                |           |     |
|              | 407        | 387        | _                |           |     |
|              | 408        | 370        | _                |           |     |
|              | 409<br>410 | 361        |                  |           |     |
|              | 410        | 370<br>370 |                  |           |     |
|              | 412        | 361        | _                |           |     |
|              | 413        | 370        | _                |           |     |
|              | 414        | 361        | _                |           |     |
|              | 415        | 370        | _                |           |     |
|              | 416        | 370        | -                |           |     |
|              | 417        | 370        | _<br>            |           |     |
|              | 419        | 370<br>370 |                  |           |     |
|              | 420        | 370        | _                |           |     |
|              | 421        | 370        | _                |           |     |
|              | 422        | 370        | _                |           |     |
|              | 423        | 363        | _                |           |     |
|              | 424<br>425 | 316        | _                |           |     |
|              |            | 385<br>370 | <u>-</u>         |           |     |
|              | 501<br>502 | 387        |                  |           |     |
|              | 503        | 373        | _                | 9231      | ] 3 |
|              | 504        | 370        | _                | 9231      |     |
| 5TH FLOOR    | 505        | 387        | 333              |           |     |
|              | 506        | 370        | _                |           |     |
|              | 507<br>508 | 387<br>370 | _                |           |     |
|              | 509        | 361        | _                |           |     |
|              | 510        | 370        | _                |           |     |
|              | 511        | 370        | _                |           |     |
|              | 512        | 361        | _                |           |     |
|              | 513        | 370        | _                |           |     |
|              | 514        | 361<br>370 | <u>-</u>         |           |     |
|              | 515<br>516 | 370        |                  |           |     |
|              | 517        | 370        | _                |           |     |
|              | 518        | 370        | _                |           |     |
|              | 519        | 370        | _                |           |     |
|              | 520        | 370        | _                |           |     |
|              | 521<br>522 | 370        |                  |           |     |
|              | 522        | 370<br>363 | _                |           |     |
|              | 523        | 316        | _                |           |     |
|              | 525        | 385        | _                |           |     |
|              | 601        | 361        | _                |           |     |
|              | 602        | 372        | _                | 0047      | _   |
|              | 603        | 365        | _                | 9043      | 3   |
| 6TH FLOOR    | 604<br>605 | 362<br>387 | 333              |           |     |
| JIII I LOOK  | 606        | 362        |                  |           |     |
|              | 607        | 385        | _                |           |     |
|              | 608        | 362        | _                |           |     |
|              | 609        | 361        |                  |           |     |
|              | 610        | 362        | _                |           |     |
|              | 611        | 361<br>361 |                  |           |     |
|              | 612<br>613 | 361<br>361 | _<br>_           |           |     |
|              | 614        | 361        |                  |           |     |
|              | 615        | 361        | _                |           |     |
|              | 616        | 362        |                  |           |     |
|              | 617        | 361        | _                |           |     |
|              | 618        | 362        | _                |           |     |
|              | 619        | 361        | _                |           |     |
|              | 620        | 362        | _                |           |     |
|              | 621<br>622 | 361<br>362 |                  |           |     |
|              | 623        | 362        | _                |           |     |
|              | 624        | 309        | _                |           |     |
|              |            |            | _                |           |     |
|              | 625        | 370        |                  |           | _   |
| TOTAL AREA I | <u> </u>   |            | <u> </u>         |           | 5   |



PROJECT No.: 16116

DRAWN BY: TMS

CHECKED BY: JBK

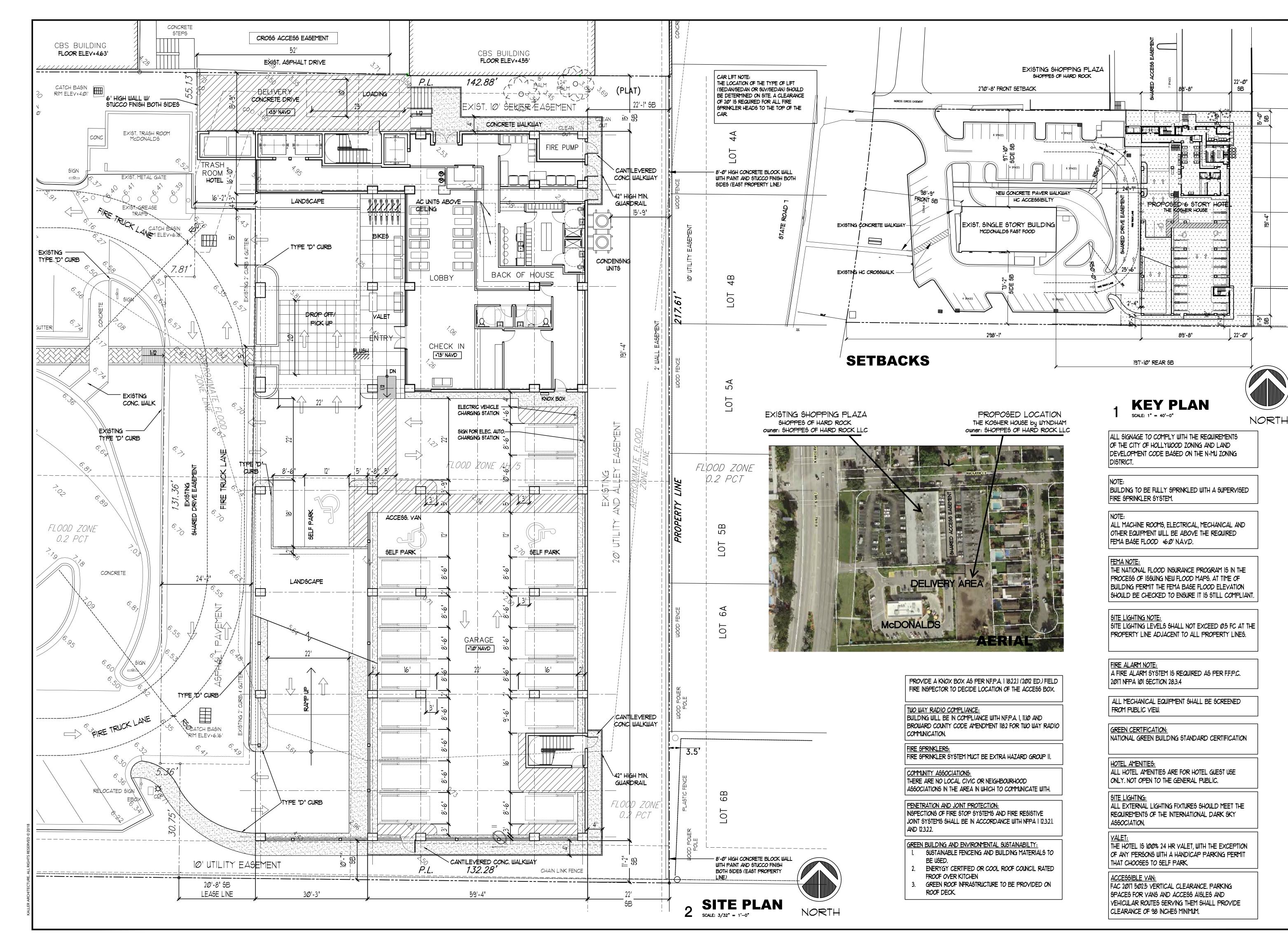
1-24-19

SHEET

DATE:

SITE DATA

2 BUILDING DATA

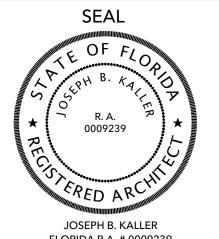




**Kaller** Architecture AA# 26001212

> 2417 Hollywood Blvd. Hollywood Florida 33020 954.920.5746 joseph@kallerarchitects.com

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**REVISIONS** 

No. DATE DESCRIPTION

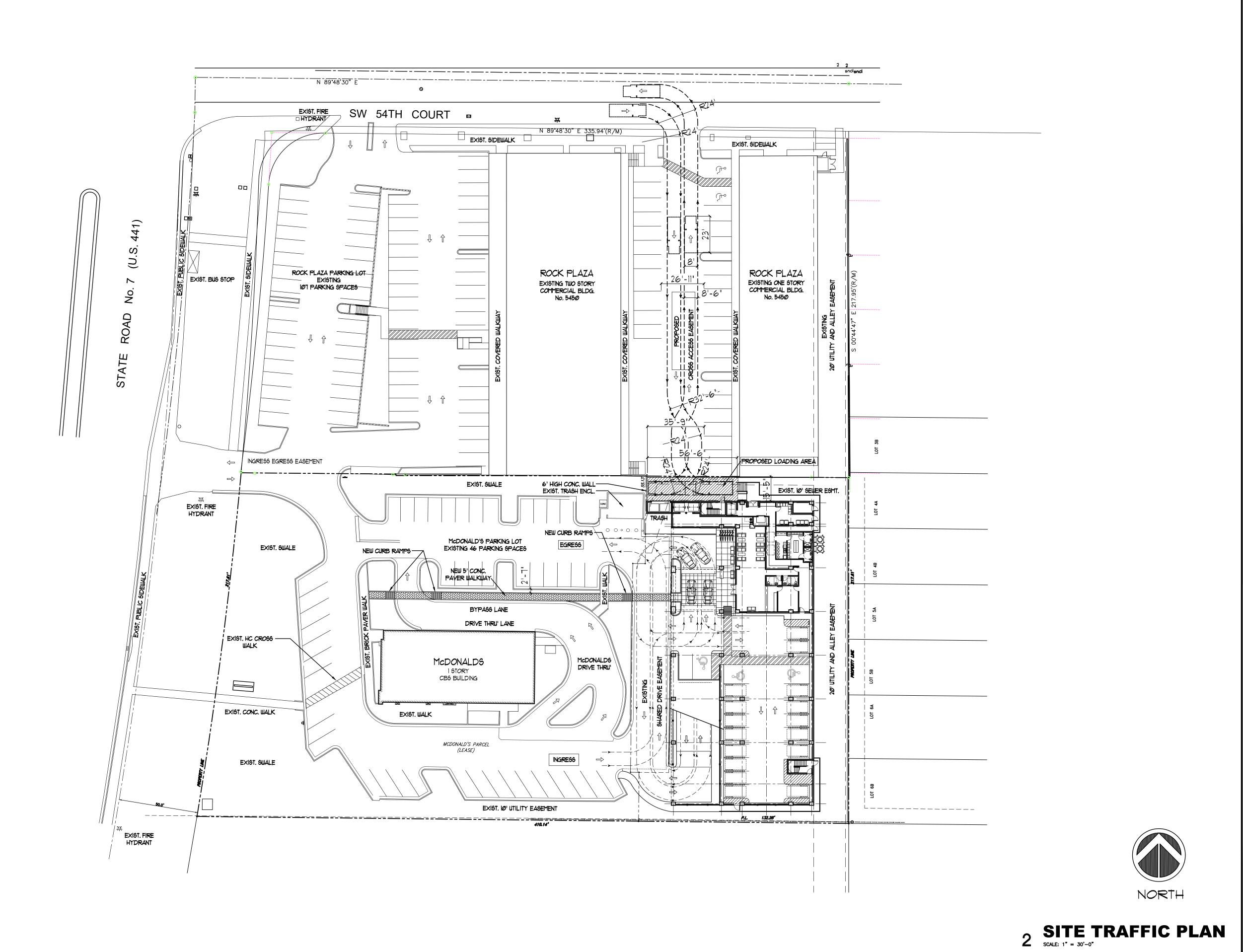
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| errors or misinterrelations resulting from the use of incomplete or preliminary sets of Building | 1 | 2-19-19 | PRELIM TAC   |
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| misin  | - | -       | -            |
| s or i   | - | -       | -            |
| error  | - | -       | -            |
|  |   |         |              |

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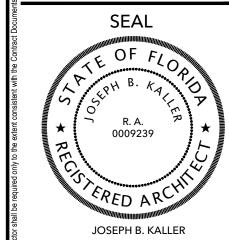
SHEET 1 OF 4





AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com



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Kosher House

the Kosh

SITE PLAN AND NOTES

REVISIONS
No. DATE DESCRIPTION

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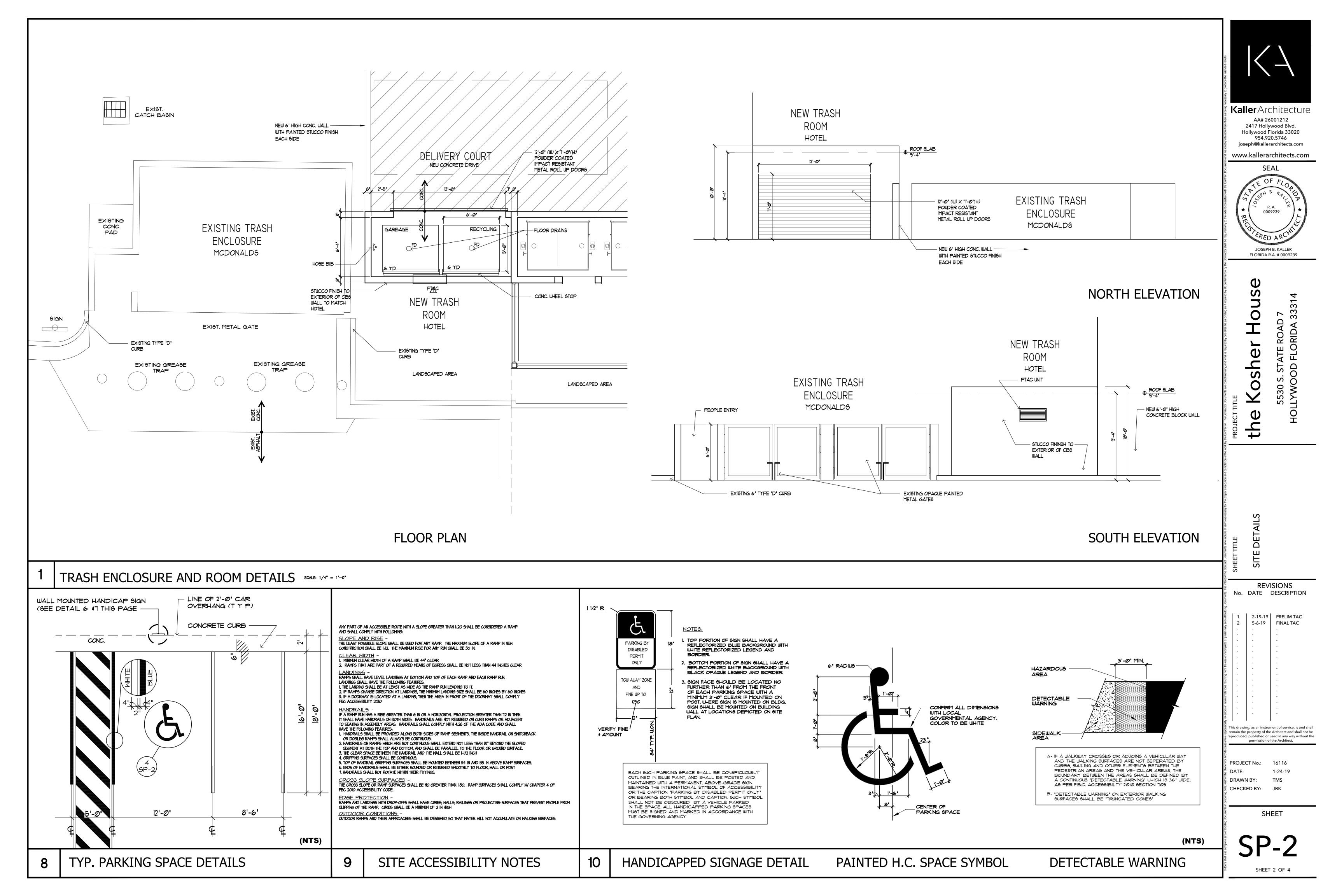
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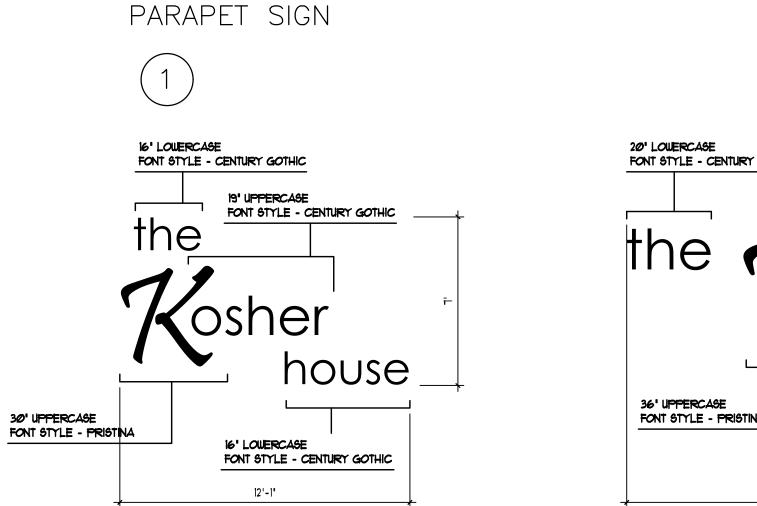
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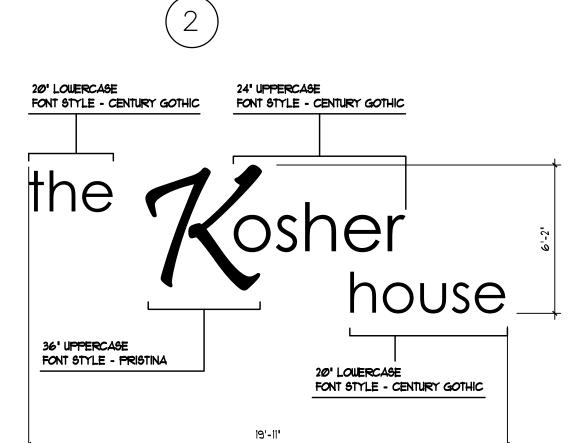
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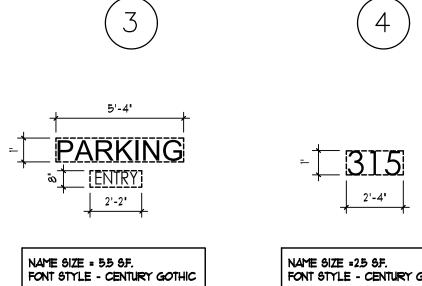
SHEET 1 OF 4

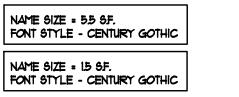






WALL SIGNS



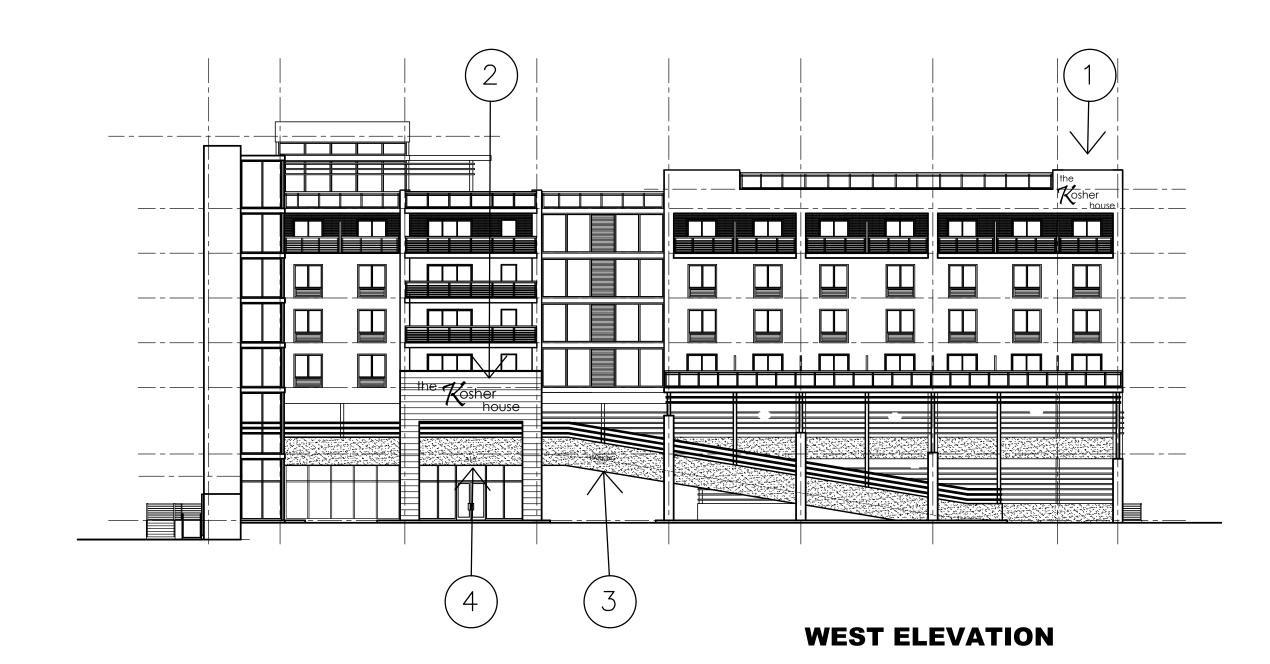




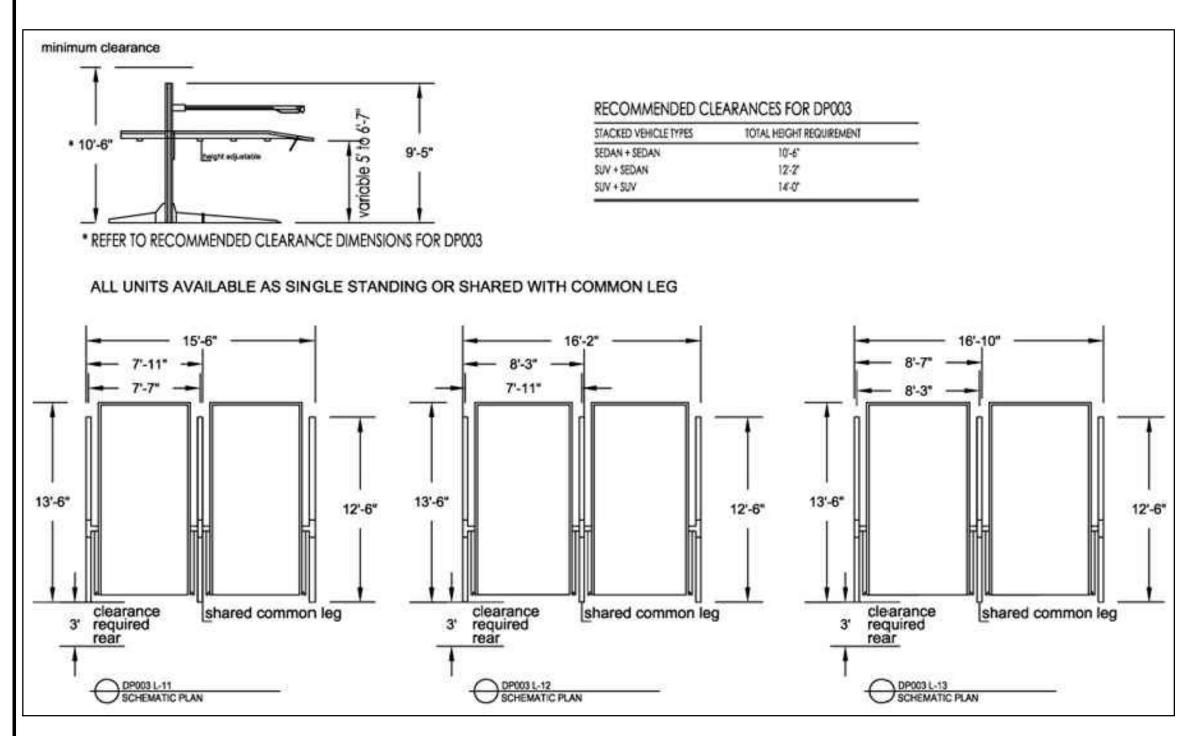
ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE TRANSIT ORIENTED CORRIDOR ZONING DISTRICT.

A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN. A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.



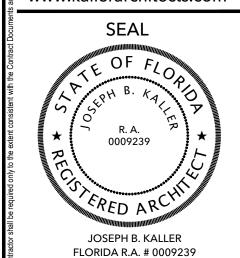






Hollywood Florida 33020 954.920.5746

joseph@kallerarchitects.com www.kallerarchitects.com



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SIGNAGE DETAILS CAR LIFT DETAILS

REVISIONS

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2-19-19 | PRELIM TAC 5-6-19 FINAL TAC 8-20-19 PLANNING DEPT.

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SHEET 3 OF 4

2 CAR LIFT DETAILS
SCALE: NTS

## The Kosher House Hollywood, Florida

### CIVIL ENGINEERING PLANS

# State Road 7 (U.S. 441)

LOCATION MAP

SECTION 25-50S-41E

N.T.S.

### LEGAL DESCRIPTION:

LAND DESCRIPTION :

PARCELS "B" AND "C" OF "C & S SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 89, PAGE 40 OF THE PUBLIC RECORDS OF BROWARD COUNTY. FLORIDA AND LESS THE FOLLOWING DESCRIBED PARCELS:

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL "B" OF "C & S SUBDIVISION"; THENCE SOUTH 89° 48'30" WEST ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL "B", A DISTANCE OF 24.08 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89° 18'32" WEST, A DISTANCE OF 46.5 FEET; THENCE NORTH 00° 41'28" WEST, A DISTANCE OF 0.41 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL "B"; THENCE NORTH 89° 48'30" EAST ALONG SAID NORTHERLY BOUNDARY, A DISTANCE OF 46.58 FEET TO THE POINT OF BEGINNING.

AND LESS

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL "B" OF "C & S SUBDIVISION"; THENCE SOUTH 89° 48'30" WEST ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL "B", A DISTANCE OF 142.88 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89° 25'30" WEST, A DISTANCE OF 141.97 FEET; THENCE NORTH 00° 11'30" WEST, A DISTANCE OF 0.95 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL "B"; THENCE NORTH 89° 48'30" EAST ALONG SAID NORTHERLY BOUNDARY, A DISTANCE OF 141.97 FEET TO THE POINT OF BEGINNING.

### **TOPOGRAPHIC ELEVATIONS:**

ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

### **BCWWS NOTES:**

- 1. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH WATER AND WASTEWATER SERVICES MINIMUM DESIGN AND CONSTRUCTION STANDARDS. PLANS ARE IN ACCORDANCE WITH WWS MINIMUM DRAWING REQUIREMENTS DATED 2013.
- 2. STATE PLANE COORDINATES SHALL BE SUPPLIED FOR THE DESIGN AND RECORD DRAWINGS.
- 3. BCWWS APPROVAL OF THIS SET OF DRAWINGS IS RELIANT UPON THE DRAWINGS CLEARLY SHOWING ALL EXISTING AND PROPOSED ABOVE GROUND STRUCTURES, ASPHALT, PAVING, LANDSCAPING, WALLS, FENCES, UNDERGROUND PIPING, UNDERGROUND STRUCTURES, DUCT BANKS, TRANSFORMERS, POLES, STORM WATER STORAGE AREAS, PAVERS, ELECTRIC CABLE, AND OTHER UTILITY FACILITIES WITHIN RIGHTS OF WAY AND EXISTING AND PROPOSED POTABLE WATER/ RECLAIMED WATER/ WASTEWATER EASEMENTS. WWS HEREBY AUTHORIZES ONLY THE ITEMS SHOWN ON THESE DRAWINGS TO BE WITHIN SAID POTABLE WATER/ RECLAIMED WATER/
- 4. FLORIDA EAST ZONE/NAD 83-90 HARN STATE PLANE COORDINATE.
- 5. RECORD DRAWINGS SHALL INCLUDE COLOR PHOTOGRAPHS OF ALL CONNECTIONS TO EXISTING WWS INFRASTRUCTURE AS WELL AS ALL CRITICAL UTILITY CROSSINGS AND WHERE SPECIFICALLY REQUIRED ON THE DESIGN DRAWINGS REFERENCED PUBLISHED DOCUMENT "MINIMUM DRAWINGS REQUIREMENTS FOR PIPING PROJECTS FOR EXACT REQUIREMENTS CONCERNING PHOTOGRAPHS.

### **REQUIRED FIRE FLOW FOR PROJECT:**

1. HOTEL\* \_\_\_\_\_ 100 GPM

\*FULL FIRE SPRINKLER PROTECTION PER NFPA 18.4.5.2.1

1 COVER SHEET
GN GENERAL NOTES
C-1 WATER AND SEWER PLAN
DT1 - DT5 CONSTRUCTION DETAILS
R-TANK PLANS AND DETAILS

TITLE

### IRRIGATION ERU TABLE\*\*

| Type of Use             | Unit of<br>Measure | No. of<br>Units | ERU per<br>Unit | ERU's  | Ref.<br>Code | Comments |
|-------------------------|--------------------|-----------------|-----------------|--------|--------------|----------|
| IRRIGATION              | 1000 SF            | 62.366          | 0.549           | 32.239 | I02          |          |
| (20% TOTAL BLDG. ERU'S) |                    |                 |                 | 34.239 |              | CREDIT   |
|                         |                    |                 | TOTAL           | 24.779 |              |          |

SHEET NO.

### WATER ERU TABLE\*\*

| Type of<br>Use | Unit of<br>Measure | ERU per<br>Unit | # Units | ERU's  | Ref.<br>Code | Comments |
|----------------|--------------------|-----------------|---------|--------|--------------|----------|
| Hotel          | PER ROOM           | 0.473           | 100.000 | 47.300 | C19          |          |
|                |                    |                 | TOTAL   | 47.300 |              |          |

### SEWER ERU TABLE\*\*

| Type of<br>Use | Unit of<br>Measure | ERU per<br>Unit | # Units | ERU's  | Ref.<br>Code | Comments |
|----------------|--------------------|-----------------|---------|--------|--------------|----------|
| Hotel          | PER ROOM           | 0.473           | 100.000 | 47.300 | C19          |          |
|                |                    |                 | TOTAL   | 47.300 |              |          |

### METER TALLY TABLE

| Type of Use | 5/8''         | 1'' | 11/2" | 2'' | 3'' |
|-------------|---------------|-----|-------|-----|-----|
| HOTEL       | 1<br>(bypass) |     |       |     | 1   |

### METER USAGE BREAKDOWN

HOTEL 3

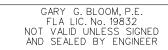
GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118 •
email: gary@ggbeng.com

2699 Stirling Road, Suite C-202 Fort Lauderdale, Florida 33312

Phone: (954) 986–9899 Fax: (954) 986–6655

PROJECT No. 18-0919 DESIGN DATE: May 2019



EARTHWORK: THE CONTRACTOR'S BID FOR EARTHWORK SHALL INCLUDE THE EXCAVATION, REMOVAL, AND DISPOSAL OF ALL MATERIALS, OF WHATEVER CHARACTER WITHIN THE LIMITS OF CONSTRUCTION, ALL TOPSOIL THAT IS SUITABLE FOR LANDSCAPING OR GRASSING OPERATIONS MAY BE STOCKPILED NEARB SUCH USE IF APPROVED BY OWNER, WHERE MUCK, ROCK, CLAY, OTHER MATERIAL WITHIN THE LIMITS OF CONSTRUCTION IS UNSUITABLE IN ITS ORIGINAL POSITION, THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL IN ITS ENTIRETY AND BACKFILL WITH SUITABLE MATERIAL WHICH SHALL BE COMPACTED IN PLACE TO CONFORM TO THE REQUIRED GRADES AND SECTIONS AS SHOWN ON THE PLANS. IT IS THE CONTRACTOR' RESPONSIBILITY TO VERIFY THE UNSUITABLE MATERIAL PRESENT ON-SIT AND INCLUDE THE REMOVAL AND REPLACEMENT OF SAME IN HIS BID PRICE THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATE ON THE VOLUME OF MATERIAL ACTUALLY REQUIRED TO OBTAIN THE CROSS SECTIONS OR GRADES IT IS THE CONTRACTORS RESPONSIBILITY TO PREPARE THE SITE IN ACCORDANCE WITH THE OWNERS GEOTECHNICAL REPORT FOR SUBSURFACE EXPLORATION AND RECOMMENDATIONS. THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE COMPLETELY DEMUCKED BEFORE CONSTRUCTION OF THE ROADWAY BEGINS. NO MATERIAL OF CLASSES A-5, A-7, OR A-8 SHALL BE ALLOWED. ALL MATERIAL SUPPORTING THE ROADWAY AND SHOULDERS SHALL BE STABILIZED TO HAVE A MINIMUM LBR OF 40. SUBGRADES SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY WHEREVER EXCAVATIONS FOR UTILITIES ARE MADE BELOW THE GRADES INDICATED ON THE PLANS, GRANULAR MATERIAL FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL SHALL BE USED TO RESTORE THE AREA TO THE PROPER GRADE, AND SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY PER AASHTO T-99 METHOD"C". AREAS TO BE COMPACTED SHALL BE MOISTENED AND COMPACTED BY EITHER ROLLING, TAMPING, OR ANY OTHER METHOD APPROVED BY THE ENGINEER, IN ORDER TO OBTAIN THE DESIRED DENSITY. THE ENGINEER SHALL ALL COMPACTED AREAS PRIOR TO FURTHER CONSTRUCTION PRIOR TO BACKFILLING AROUND STRUCTURES, THE AREAS SHALL BE CLEAN OF ALL TRASH AND DEBRIS OF ANY DESCRIPTION, UNLESS DIRECTED BY THE ENGINEER TO BE LEFT IN PLACE, SUCH AS SHEETING AND BRACING. THE EXISTING ELEVATIONS SHOWN HEREON ARE FOR THE PURPOSE OF INDICATING THE GROUND ELEVATION ONLY AT THE POSITION SHOWN AND IN ) WAY SHOULD INDICATE ELEVATION AT ANY POINT OTHER THAN THAT CATCH BASINS / INLETS / JUNCTION BOXES SHALL NOT BE LOCATED IN DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE UNLESS OTHERWISE REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS SECTION 941. CONCRETE PIPE SHALL BE CLASS III OR AS SHOWN ON THE PLANS. PIPE GASKETS SHALL MEET F.D.O.T. PRIOR TO BACKFILLING THE DRAINAGE SYSTEM, THE CONTRACTOR SHALL BOTTOM OF ALL INLETS SHALL BE 12"BELOW THE LOWEST INLET INVERT, UNLESS OTHERWISE SPECIFIED. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-CORRUGATED ALUMINUM PIPE SHALL BE FABRICATED WITH HELICAL CORRUGATIONS WITH A MINIMUM OF TWO ANNULAR CORRUGATIONS FORMED INTO EACH END TO ACCOMMODATE A COUPLING BAND, REFER TO TABLE 1, SECTION 945 FOR THICKNESS OF METAL FOR PIPE. HIGH DENSITY POLYETHYLENE (H.D.P.) COMPOSED OF CORRUGATED EXTERIOR AND SMOOTH INTERIOR SHALL BE IN ACCORDANCE WITH AASHTO M252 AND M294. TYPE ZS'AS MANUFACTURED BY HANCOR, INC. WITH SURELOC JOINTS OR A.D.S. WITH CLEATED BELL AND SPIGOT OR APPROVED SEE LANDSCAPING PLANS FOR ADDITIONAL GRADING AND DRAINAGE INFORMATION FOR RECREATIONAL AMENITIES, POOL, POOL DECK, BERMING, GRATE ELEVATION OF TYPE-10 / CURB AND GUTTER INLET STRUCTURES PROVIDED AT EDGE OF PAVEMENT. SITE PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS ENGINEER'S SUBSURFACE EXPLORATION AND RECOMMENDATION REPORT. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND PREPARATION OF ALL EXISTING STORM DRAINAGE PIPE AND INLETS FOR TESTING AS REQUIRED FOR NEW CONSTRUCTION, CONTRACTOR IS RESPONSIBLE TO COMPLETELY INSPECT EXISTING STORM DRAINAGE SYSTEM IN ADVANCE OF ANY WORK AND NOTIFY THE ENGINEER OF ANY DEFICIENCIES, SHOULD CONTRACTOR COMMENCE WORK WITHOUT FIRST INSPECTING THE EXISTING STORM DRAINAGE SYSTEM, THEN THE CONTRACTOR IS RESPONSIBLE FOR ALL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY TURBIDITY SCREENS AT OUTFALL PIPES AND LAKE FROM TIME OF CONSTRUCTION COMMENCEMENT UNTIL FINAL PAVING AND DRAINAGE ALL RAMPS, WALKS, AND PEDESTRIAN PATHWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION "LATEST EDITION, IN THE CASE OF ANY CONFLICTS BETWEEN THESE PLANS AND CODE, THE CODE WILL GOVERN. TEMPORARY AND PERMANENT FIRE DEPARTMENT ACCESS ROADS SHALL BE FREE OF CONSTRUCTION MATERIALS, VEHICLES, ETC. DURING YARD DRAINAGE SYSTEM MATERIALS SHALL BE BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL. ALL EXISTING STORM DRAINAGE PIPING AND INLETS DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED. REMOVAL SHALL BE COMPLETELY REMOVED.

MINIMUM PARKING LOT LONGITUDINAL AND CROSS SLOPES SHALL BE 0.50%
AND 1.0%, RESPECTIVELY.

CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT WATER PLANS, MYLAR,
AND COMPUTER DISK TO THE ENGINEER OF RECORD PRIOR TO FINAL
CERTIFICATION TO THE UTILITY, AS-BUILTS SHALL BE SIGNED AND
SEALED BY A REGISTERED FLORIDA SURVEYOR. RESIDENTIAL PARCEL SIDEWALK TO BE CONSTRUCTED AT TIME OF BUILDING CONSTRUCTION, UNLESS OTHERWISE NOTED ON THE PLAN. ALL LANDSCAPE ISLANDS TO BE CURBED, UNLESS OTHERWISE NOTED ON THE ALL ELEVATIONS REFER TO N.A.V.D. CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF BUILDING STORM / ROOF DRAINAGE GATE VALVES 4"AND LARGER SHALL BE MECHANICAL JOINT TYPE AND COMPLY WITH AWWA / ANSI STANDARD C509-01. MECHANICAL JOINTS SHALL CONFORM TO AWWA / ANSI C1111/A21.11-00 ALL GATE VALVES ARE TO BE IRON BODY, BRONZE MOUNTED, DOUBLE DISK, NON-RISING STEM, RESILIENT SEAT TYPE, OPENING LEFT (COUNTER CLOCKWISE). THE INTERIOR LINING SHALL BE FUSION BONDED EPOXY ACCORDING TO AWWA 550-01 AND AN EXTERIOR EPOXY COAT (BOTH 40 MILLS WATER SERVICES SHALL BE POLYETHYLENE TUBING (PE 3408) COMPLYING WITH APPLICABLE REQUIREMENTS FOR PE, AWWA C902-01 HIGH MOLECULAR WEIGHT PLASTIC MATERIAL ASTM D-2666, 250 PSI RATING (CTS-OD) SDR GATE VALVES 4"TO 12"SHALL HAVE A MAXIMUM WORKING PRESSURE OF 9. SERVICE PIPE SHALL BE INSTALLED AS A SINGLE RUN WITHOUT GATE VALVES 4"TO 12"SHALL HAVE A MAXIMUM WORKING PRESSURE OF 200 PSI AND BE TESTED AT 400 PSI. GATE VALVES SHALL BE RESILIENT SEATED MUELLER, CLOW RESILIENT WEDGE, M & H, OR APPROVED EQUAL, GATE VALVES UNDER 4"IN SIZE SHALL BE BRONZE GATE VALVES CONFORMING TO MSS STANDARD PRACTICE SP-37. THEY SHALL BE DOUBLE DISK, NON-RISING STEM, OPEN LEFT (COUNTER CLOCKWISE) WITH OPERATING WHEEL. PEWTER AND POT METAL OPERATING WHEELS SHALL NOT STIFFENER INSERTS SHALL ALSO BE USED FOR TUBING SERVICES. SERVICE LINES SHALL BE MARKED WITH 2"X 4"POST PAINTED BLUE. BE PERMITTED. GATE VALVES SHALL MEET AWWA C500-02 STANDARDS. VALVE BOXES SHALL BE CAST IRON EXTENSION TYPE WITH NOT LESS THAN 5-1/4"DIAMETER SHAFT AND WITH COVERS MARKED"WATER", PAINTED BLUE. USF 7500 OR APPROVED EQUAL. GATE VALVES 18"AND LARGER WILL BE SUBSTITUTED WITH BUTTERFLY VALVES AS MANUFACTURED BY PRATT, DEZURIK, CLOW, OR APPROVED MINIMUM COVER SHALL BE 24". BUTTERFLY VALVES ARE TO BE CAST OR DUCTILE IRON BODY; ALLOY CAST IRON OR DUCTILE IRON DISK; BODY MOUNTED ADJUSTABLE SEAT; ONE-FORD STAINLESS INSERTS ARE REQUIRED FOR PLASTIC PIPE. PIECE STAINLESS STEEL SHAFT; SHORT OR LONG BODY TYPE; WITH THE VALVE CLASS, SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN; AND ARE TO COMPLY WITH

THE PROVISIONS OF AWWA C504-00, "RUBBER SEATED BUTTERFLY VALVES."

ENCLOSURES FOR BURIED OR SUBMERGED SERVICE, POSITION INDICATOR WILL BE FURNISHED AS REQUIRED, UNITS ARE TO BE EQUIPPED WITH 2

APPURTENANCES ARE TO BE FURNISHED BY THE VALVE MANUFACTURER.

VALVE OPERATION IS TO BE APPROVED GEAR ACTUATORS, WITH SEALED

ACTUATING NUTS, CAST IRON HANDWHEELS, OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION.

WATER SYSTEM: ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO BCWWS STANDARDS, THE LOCAL MUNICIPALITY AND APPLICABLE DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES STANDARDS. NO PHYSICAL CONNECTION OF NEW WATER MAINS TO ACTIVATE WATER MAINS SHALL BE MADE UNTIL SUCH TIME THAT THE NEW MAINS ARE CONFIRMED TO BE BACTERIOLOGICALLY SAFE AND THE HEALTH DEPARTMENT RELEASE HAS BEEN OBTAINED. TEMPORARY CONNECTIONS OF NEW MAINS TO ACTIVE MAINS FOR THE PURPOSE OF FILLING AND FLUSHING SHALL BE MADE BY A METHOD DEEMED ACCEPTABLE TO THE UTILITY PROVIDING SERVICE. ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE THE WATER SYSTEM SHALL BE HYDROSTATICALLY PRESSURE TESTED AND DISINFECTED PER AWWA / ANSI C600-05, C651-05 AND TESTED FOR A MINIMUM PERIOD OF 2 HOURS AT A MINIMUM STARTING PRESSURE OF 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C600-05 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA:  $Q = LD \times SQUARE ROOT OF P / 148,000 WHERE:$ Q = QUANTITY OF MAKEUP WATER IN GALLONS / HOUR ELENGTH OF PIPE SECTION BEING TESTED IN FEET

OF HOMENAL DIAMETER OF THE PIPE IN INCHES P = AVERAGE TEST PRESSURE DURING HYDROSTATIC TEST IN PSI GAUGE PRESSURE SHALL NOT VARY MORE THAN 5 PSI THROUGHOUT THE EST.THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE BASED ON A MAXIMUM 000 feet when the length of PIPE tested exceeds 2000 feet. ALL BENDS UNLESS NOTED OTHERWISE ON PLANS. IF RESTRAINT JOIN PIPE ISSPECIFIED ON THE PLANS, IT SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF THE PIPE MANUFACTURER AND THE UTILITY DEPARTMENT.NO CONCRETE THRUST BLOCKS WILL BE ALLOWED EXCEPT BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA / ANSI C651-05 LATEST REVISION. CARE SHALL BE TAKEN DURING THE TRANSPORTING OF THE PIPE TO INSURE THAT THE BINDING AND TIE DOWN METHODS DO NOT DAMAGE OR DEFLECT THE PIPE IN ANY MANNER. PIPE BENT, DEFLECTED, OR OTHERWISE FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON PRESSURE CLASS 350 THROUGH 12". ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND SEALED THE SAME AS PIPE IN ACCORDANCE WITH AWWA/ANSI C110/A21.10-D.I.P. PIPE SHALL BE DEFLECTED NO MORE THAN ONE HALF(1/2) THE MANUFACTURERS RECOMMENDATION. JOINTS FOR BELL AND SPIGOT PVC/DIP PIPE AND FITTINGS SHALL BE MECHANICAL OR RUBBER GASKET (EITHER ON SPIGOT OR IN BELL)COMPRESSION TYPE AS SPECIFIED IN ACCORDANCE WITH AWWA/ANSI STANDARD C111/A21.11-00. SPECIAL FITTINGS AND JOINTS ALL WATER MAINS SHALL HAVE CONTINUOUS DETECTOR TAPE 18 INCHES BELOW GRADE ALONG ALL WATER MAINS, DETECTOR TAPE SHALL HAVE BLUE SIDE-UP. A 14 GAUGE MULTI STRAND WIRE SHALL BE ATTACHED TO ALL NON-CONDUCTIVE WATER MAIN TO FACILITATE FUTURE LOCATION. AN EXTRA 4'OF WIRE SHALL BE PROVIDED AT BLOWOFFS, FIRE HYDRANTS, ETC. POLYETHYLENE ENCASEMENT/WRAP SHALL BE INSTALLED ON ALL IRON PIPESINCLUDING VALVES, FITTINGS, SLEEVES, HYDRANTS, ETC. POLYWRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM ANSI/AWWA C105/A21.5-99 STANDARDS. DUCTILE IRON WATER MAIN SEALCOAT SHALL BE COAL TAR EPOXY OR DUCTILE IRON PIPE JOINTS SHALL BE PUSH-ON TYPE AND RESTRAINED MINIMUM DISTANCE AS SPECIFIED IN RESTRAINEND DETAIL ON APPLICABLE DETAIL SHEET, USING MEGA-LUG OR APPROVED EQUAL USING TR-FLEX U.S. PIPE OR FLEX RING BY AMERICAN PIPE. WATER MAIN STUBS FOR FUTURE EXTENSION INCLUDING ALL FITTINGS BACK TO TEE (IF STUB LENGHTS IS LEES THAN TWO PIPE LENGTH)LENGHTS WILL BE RESTRAINT JOINT PIPE FOR THE LAST TWO LENGTHS. (AS REQUIRED BY ENGINEER OR UTILITY DEPT.) DUCTILE IRON PIPE SHALL BE CLASS 350 AND SHALL BE CEMENT LINED AND SEALCOATED IN ACCORDANCE WITH AWWA / ANSI STANDARD C151/A21.51-02. WATER MAINS SHALL BE LAID WITH A MINIMUM 30" CLEAR COVER. DUCTILE IRON FITTINGS SHALL BE CLASS 350 THROUGH 12" AND CLASS 250 IN SIZES 16"AND LARGER. ALL FITTINGS SHALL BE CEMENT LINED AND SEALCOATED THE SAME AS PIPE IN ACCORDANCE WITH AWWA / ANSI STANDARDS C104/A21.4-95 AND C153/A21.53-00. NEOPRENE ALL WATER MAINS SHALL BE BEDDED AND BACKFILLED PER STANDARD CONTRACTOR IS RESPONSIBLE FOR THE EXISTING ON-SITE WATER SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION AND APPROVAL BY THE CONTRACTOR IS RESPONSIBLE WHETHER, OR NOT NOTED ON PLANS FOR RAISING OR LOWERING OF EXISTING GATE VALVE BOXES, METER BOXES, ETC. THAT MAY NEED ADJUSTMENT TO MEET PROPOSED FINISH GRADES. ALL EXISTING WATER MAINS AND COMPONENTS DESIGNATED FOR REMOVAL CONTRACTOR WILL BE RESPONSIBLE FOR OFF-SITE DISPOSAL. CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL WATER FIRE AND SEWER DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO THE UTILITY FOR ALL PUBLIC WATER MAINS THAT ARE TO BE ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON THE CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS, UNLESS OTHERWISE REQUIRED BY THE UTILITY. MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS. LANDSCAPING SHALL NOT BE INSTALLED WITHIN 6'OF ALL WATER MAINS AND SERVICES OR WITHIN A 5'RADIUS OF ALL FIRE HYDRANTS, UNLESS APPROVED BY THE ENGINEER. WATER MAINS SHALL BE DEFLECTED OVER DRAINAGE AT ALL CONFLICTS. ALL WATER SERVICES SHALL TERMINATE A MINIMUM OR 5'FROM BUILDING. UNDERGROUND WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO BUILDING CONSTRUCTION AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND THE SOUTH FLORIDA BUILDING CODE, LATEST ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320, F.A.C. JOINTS FOR TUBING SHALL BE OF THE COMPRESSION TYPE UTILIZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE

WATER SERVICE FITTINGS:

ASTM SPECIFICATION B62-82A.

SUPPLIED AND INSTALLED BY UTILITY.

METER VALVES AND CORPORATION STOPS (FORD BALL CORP. NO. FC 202) SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A WITH EPOXY COATED DUCTILE IRON BODY STAINLESS STEEL SERVICE SADDLES BY FORD.

INLET THREAD FOR METER VALVES AND CURB STOPS SHALL BE AWWA TAPER THREAD IN ALL SIZES IN ACCORDANCE WITH ANSI / AWWA STANDARD C800-89. OUTLET CONNECTIONS SHALL HAVE A COMPRESSION TYPE FITTING SAME

CONTRACTOR TO REVIEW WATER DETAILS TO DETERMINE EXTENT OF JURISDICTION OF WATER SERVICE AND METER MATERIALS (METERS, ETC.)

THE FIRE HYDRANTS SHALL BE OF THE COMPRESSION TYPE, OPENING AGAINST THE PRESSURE AND CLOSING WITH THE LINE PRESSURE WITH (1)-5 1/4 "VALVE OPENING, THE HYDRANT SHALL BE EQUIPPED WITH (2)-2 1/2"HOSE NOZZLES AND (1)-5 1/4"PUMPER NOZZLE FIRE HYDRANTS SHALL BE FURNISHED WITH A SEALED OIL OR GREASE RESERVOIR LOCATED IN THE BONNET SO THAT ALL THREADED AND BEARING SURFACES ARE AUTOMATICALLY LUBRICATED WHEN THE HYDRANT IS OPERATED. THE HYDRANT WILL BE DESIGNED FOR DISASSEMBLY BY USE OF A SHORT DISASSEMBLY WRENCH OR THE HYDRANT SHOE SHALL HAVE INTEGRAL CAST TIE BACK LUGS ON THE MAIN VALVE TO PERMIT THE MAIN VALVE ASSEMBLY AND VALVE SEAT TO BE REMOVED WITHOUT DIGGING EARTH OR DISASSEMBLING THE HYDRANT BARREL. FIRE HYDRANTS SHALL BE FURNISHED WITH A BREAKABLE FEATURE THAT WILL BREAK CLEANLY UPON IMPACT. THIS SHALL CONSIST OF A TWO PART BREAKABLE SAFETY FLANGE WITH A BREAKABLE STEM COUPLING. THE UPPER AND LOWER BARRELS SHALL BE FLUTED AND RIBBED ABOVE AND BELOW THE SAFETY FLANGE OR HAVE AN EXTRA STRENGTH LOWER BARREL. THE FIRE HYDRANT INTERNAL VALVE SHALL BE 5 1/4"MINIMUM. THE PENTAGONAL OPERATING NUTS AND THE CAP NUTS SHALL BE 1 1/2"POINT TO FLAT. DRAIN VALVE OUTLETS FOR THE HYDRANTS SHALL BE PLUGGED OR OMITTED. THE HYDRANTS SHALL OPEN COUNTER CLOCKWISE AND THE DIRECTION OF OPENING SHALL BE CAST ON THE TOP. THE BURY LENGTH, MEASURED FROM THE BOTTOM OF THE CONNECTING PIPE TO THE GROUND LINE AT THE HYDRANT SHALL BE THREE FEET SIX INCHES (42") MINIMUM OR AS REQUIRED BY PLAN. THE HYDRANT SHALL BE EQUIPPED WITH A 6"MINIMUM MECHANICAL JOINT BASE INLET UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. FIRE HYDRANTS SHALL BE MUELLER PAINTED TRAFFIC YELLOW OR AS OTHERWISE SPECIFIED ON PLANS, OR AS REQUIRED BY THE LOCAL REFER TO WATER DETAILS FOR OTHER REQUIREMENTS / INFORMATION RELATED TO FIRE HYDRANTS. SANITARY SEWER: ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE BROWARD COUNTY BUILDING DEPARTMENT, LOCAL MUNICIPALITY AND THE WATER RESOURCE DIVISION, BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE UNLESS OTHERWISE NOTED OR APPROVED, ALL GRAVITY MAINS AND SERVICES UP TO 5'OUTSIDE OF BUILDING SHALL BE 8"UNPLASTICIZED POLYVINYL CHLORIDE (PVC) NONPRESSURE PIPE CONFORMING TO ASTM D3034 AND SDR 35 WITH INTEGRAL WALL BELL AND SPIGOT JOINTS FOR PUSH-ON RUBBER GASKET TYPE JOINT SEALS CONFORMING TO ASTM D1869, UNLESS OTHERWISE SPECIFIED ON THE PLANS. PVC FITTINGS SHALL BE OF MONOLITHIC CONSTRUCTION OF THE TYPE SPECIFIED BY THE MANUFACTURER OF THE PIPE BEING USED. NO SOLVENT WELDS OR THREADED JOINTS WILL BE PERMITTED. ALL JOINTS SHALL BE THE JOINING OF PIPE ON THE JOB SHALL BE DONE IN STRICT ACCORDANCE WITH THE PIPE MANUFACTURER'S INSTRUCTIONS AND SHALL BE DONE ENTIRELY IN THE TRENCH UNLESS OTHERWISE DIRECTED BY THE ENGINEER. CONNECTION OF PVC PIPE TO MANHOLES SHALL BE MADE WITH "KOR-N-SEAL "MANHOLE COUPLINGS CORRESPONDING TO THE SIZE AND TYPE OF SEWER PIPE OR OTHER ADAPTERS AS MAY BE APPROVED BY THE UTILITY INFLUENT AND EFFLUENT SEWERS SHALL BE GROUTED IN PLACE USING A TYPE II WATERPROOF EXPANDING GROUT ACCEPTABLE TO THE ENGINEER. ALL OPENINGS AND JOINTS SHALL BE SEALED WATERTIGHT. REFER TO GENERAL NOTES FOR NON-SHRINK GROUT. LIFT HOLES THROUGH PRECAST STRUCTURES ARE NOT PERMITTED. A FLOW CHANNEL SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW OUTSIDE DROP CONNECTIONS WILL BE REQUIRED WHEN THE VERTICAL DISTANCE BETWEEN PIPE INVERTS EXCEEDS TWO FEET (2'). DROP CONNECTIONS. WHERE REQUIRED, SHALL BE CAST MONOLITHICALLY WITH THE MANHOLE ELEMENTS AS SHOWN ON DETAILS. THE LID AND FRAME SHALL BE CAST OF CLOSE-GROUND GRAY IRON CONFORMING TO ASTM A-48, CLASS 30 AND SHALL BE OF UNIFORM QUALITY, FREE OF BLOW HOLES, POROSITY, CRACKS, AND OTHER OBVIOUS VISUAL DEFECTS. THE COMBINED WEIGHT OF THE FRAME AND LID SHALL NOT BE LESS THAN 420 POUNDS, AND THE LID SHALL WEIGH A MINIMUM OF 160 POUNDS. THE SEATING SURFACES BETWEEN FRAMES AND COVERS SHALL BE MACHINED TO FIT TRUE. NO PLUGGING OR FILLING WILL BE ALLOWED. CASTING PATTERNS SHALL CONFORM TO THOSE DESIGNATED BY THE GOVERNING UTILITY. THE LID SHALL HAVE THE WORDS"(PREFERABLY AS REQUIRED BY THE UTILITY)"CAST IN ALL MANHOLE COVERS, CASTINGS SHALL BE CLEANED AND COATED WITH A COAL TAR PITCH VARNISH WHICH IS TOUGH WHEN COLD BUT NOT TACKY OR BRITTLE, PICK TYPE LIFTING HOLES WILL BE CAST INTO LIDS, BUT SHALL NOT GO CLEAR THROUGH THE LID. MINIMUM COVER ON SANITARY SEWER PIPE SHALL BE 36"ABOVE PVC PIPE, MANHOLE LIDS SHALL BE PROVIDED WITH WATERTIGHT POLYETHYLENE MANHOLE INSERTS AS APPROVED BY THE UTILITY DEPARTMENT. NSIDE SURFACES OF MANHOLES TO BE TREATED WITH TWO COATS KOPPERS BITUMASTIC 300-M OR EQUAL, MINIMUM DRY THICKNESS 16 MILS. MANHOLES SHALL BE CURED TWENTY-ONE (21) DAYS BEFORE COATING. MANHOLES SHALL BE PAINTED AT FACTORY PRIOR TO DELIVERY OR ONSITE WITH ONE COAT (BLACK) OUTSIDE OR AS REQUIRED BY THE UTILITY. FIRST COAT TO BE RED, SECOND COAT TO BE BLACK, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE ENGINEER AND UTILITY SHALL INSPECT INSIDE OF MANHOLE AFTER EACH APPLICATION / COAT OF PAINT. UPON COMPLETION OF THE WORK A LAMPING INSPECTION SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH AN INSPECTION SHALL BE MADE OF THE COMPLETION OF THE WORK A LAWFING INSPECTION SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH AN INFILTRATION AND / OR EXFILTRATION TEST. AFTER ALL TESTING INCLUDED IN THIS CONTRACT HAS BEEN COMPLETED; THE CONTRACTOR WILL PROVIDE A TELEVISED INSPECTION OF THE SEWER LINES PRIOR TO BEING ACCEPTED FOR USE AND A SECOND TELEVISED INSPECTION AND LAMPING PRIOR TO RELEASE OF ONE-MANHOLE JOINTS WILL BE SEALED WITH RAMNEK OR APPROVED EQUAL AND ANTI-HYDRO CEMENT INSIDE AND OUT. ALL SANITARY SEWER GRAVITY MAINS AND SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL. ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF A MINIMUM OF 10-FOOT HORIZONTAL CLEARENCE IS REQUIRED BETWEEN ALL UTILITY PIPE AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS. LANDSCAPING SHALL NOT BE INSTALLED WITHIN A MINIMUM OF 6'OF ALL SANITARY SEWER MAINS AND LATERALS. ALL SEWER LATERALS SHALL TERMINATE AT THE PROPERTY LINE AND / OR A MINIMUM OF 5'FROM BUILDING, UNLESS OTHERWISE SPECIFIED ON THE PLANS, APPROPRIATE CLEANOUT TYPE PER LOCATION IN OR OUT PAVEMENT SHALL BE INSTALLED BY THE CONTRACTOR SERVICE LATERALS SHALL HAVE CLEANOUTS INSTALLED AT A MAXIMUM OF 75'SPACING. CLEANOUTS IN PAVEMENT SHALL HAVE TRAFFIC BEARING LIDS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETELY INSPECT THE EXISTING SANITARY SEWER SYSTEM AND / OR LIFT STATION, IF APPLICIABLE, IN ADVANCE OF ANY WORK AND NOTIFY THE ENGINEER IN ADVANCE OF ANY DEFICIENCIES. SHOULD THE CONTRACTOR COMMENCE WORK WITHOUT FIRST INSPECTING THE EXISTING SANITARY SEWER MAINS AND / LIFT STATION, THAN THE CONTRACTOR IS RESPONSIBLE FOR ALL WATER SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING ON-SITE SANITARY SEWER COLLECTION SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION, AND APPROVAL BY THE GOVERNING AUTHORITY, CONTRACTOR TO INCLUDE THE COST OF CLEANING, REPAIRING, AND TESTING EXISTING SEWER MAINS PIPE DEFLECTION SHALL BE NO MORE THAN ONE HALF OF THE MANUFACTURER'S RECOMMENDATION. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINAL GRADE ADJUSTMENTS OF EXISTING MANHOLES AND CLEANOUTS TO MEET PROPOSED FINISH GRADE ALL WATER SERVICE LINES UNDER PAVED AREAS SHALL BE SLEEVED IN SCHEDULE 40 PVC AND SHALL BE OF ONE SINGLE LENGTH WITHOUT UNIONS. DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO TH UTILITY FOR ALL PUBLIC SEWER MAINS AND MANHOLES THAT ARE TO ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS. METER VALVES (ASTM B-62 LATEST) SHALL BE FORD ANGLE STOPS MODEL #KV43-342W FOR SINGLE SERVICES AND FORD MODEL #UV63-42W FOR DOUBLE SERVICES OR APPROVED EQUAL. CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT SEWER PLANS, MYLAR, AND COMPUTER DISK TO THE ENGINEER PRIOR TO FINAL CERTIFICATION TO THE GOVERNING AUTHORITIES, AS-BUILTS SHALL BE SIGNED AND SEALED CURB STOPS SHALL BE OF THE INVERTED KEY TYPE WITH TEE-HEAD SHUT OFF. CURB STOPS SHALL BE MADE OF BRASS ALLOY IN ACCORDANCE WITH

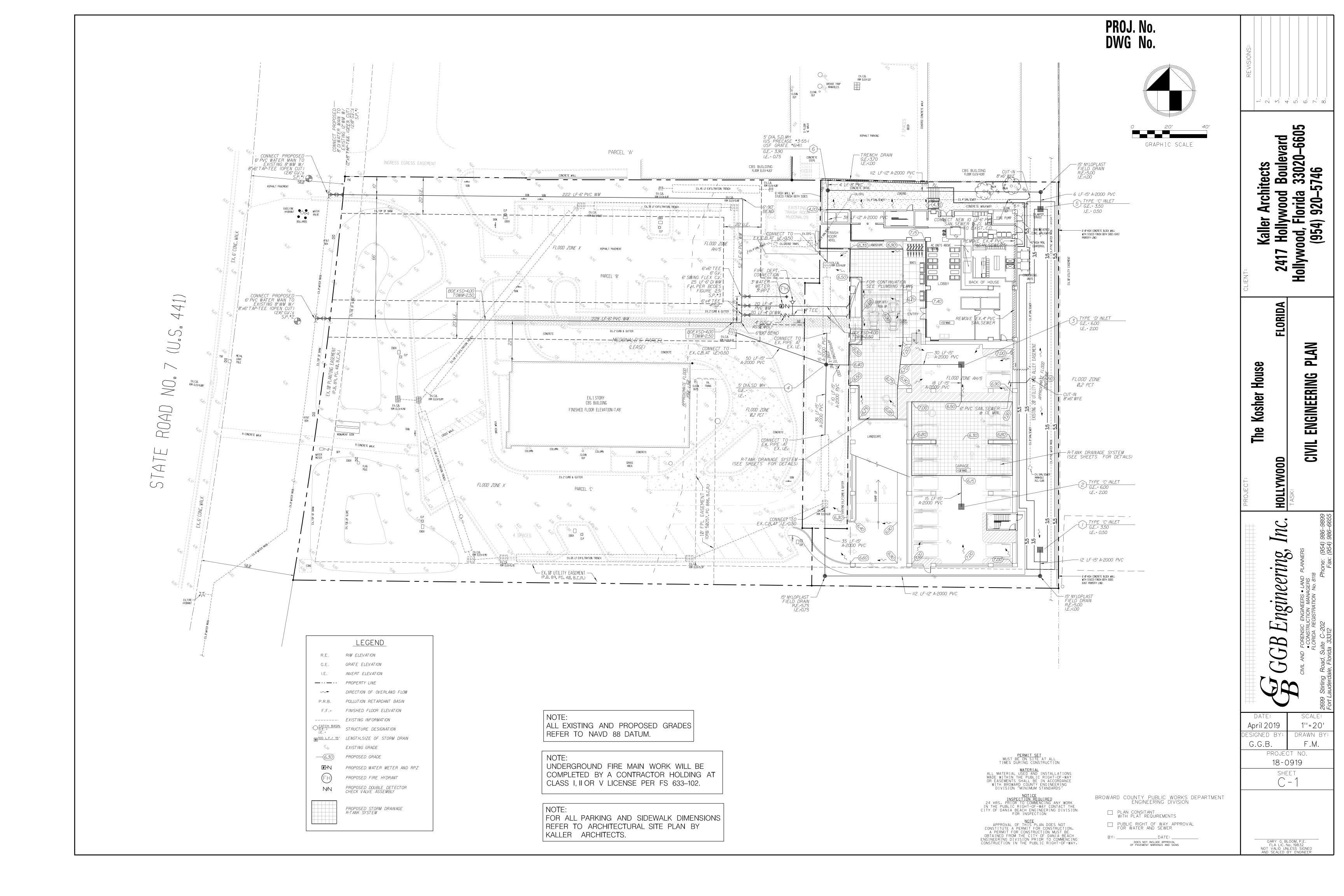
<u>FIRE HYDRANTS:</u>

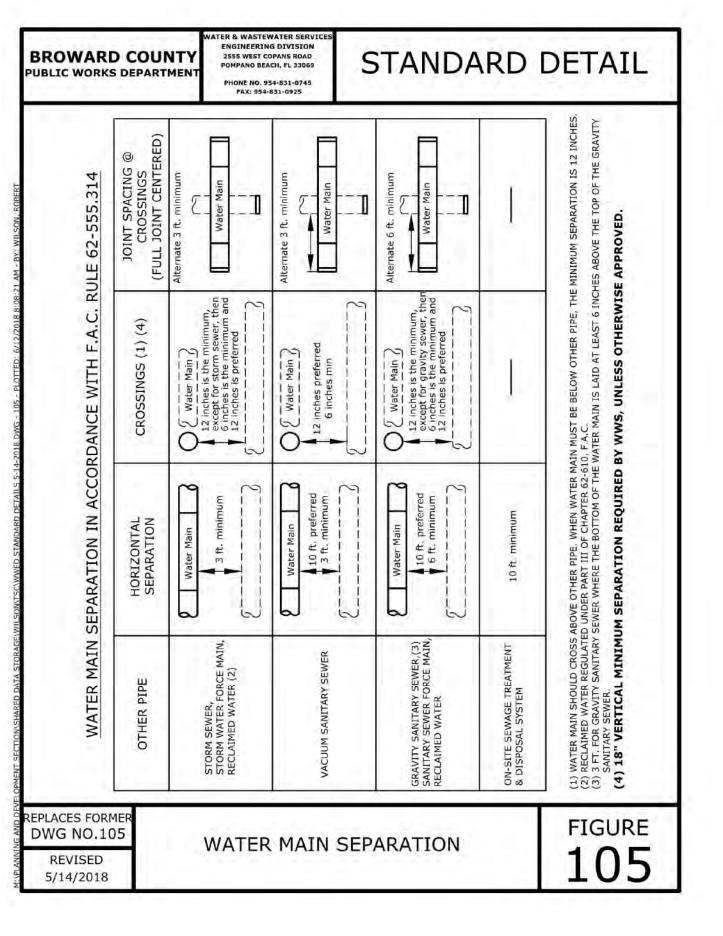
AND THE FOLLOWING DESIGN STANDARDS:

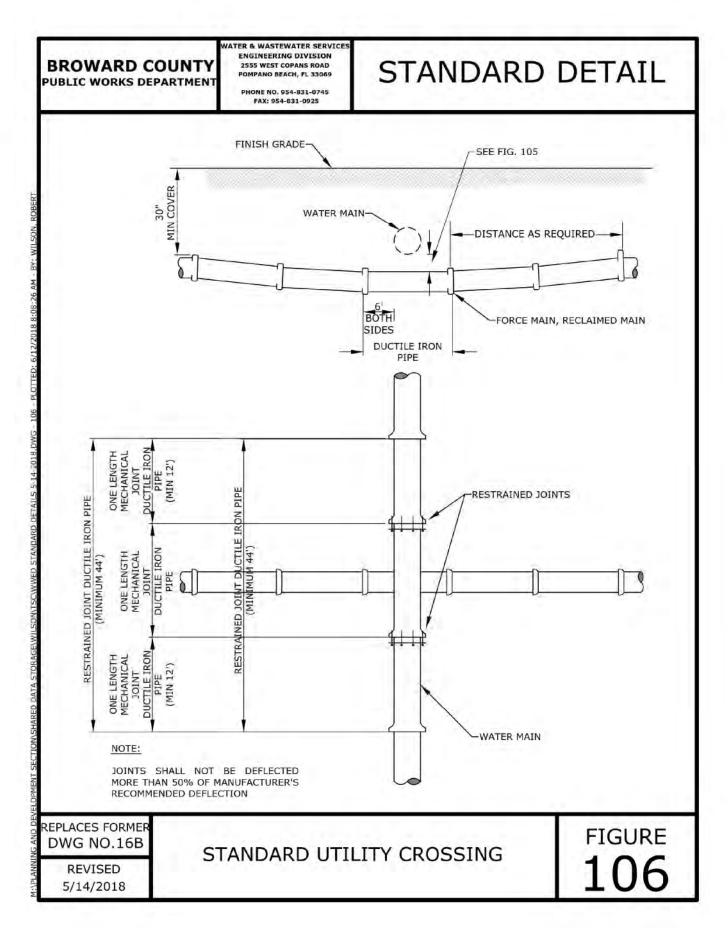
PROJ. No. DWG No. MINIMUM RECORD DRAWING REQUIREMENTS: ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA / ANSI STANDARD C502-94 As used in this document, the term'record drawing' refers to the final drawing set signe and sealed by the Engineer of Record. The Engineer of Record will prepare or have prepared record drawings based on as-built information provided by a PSM and from information provided by the engineer's staff. The Engineer of Record shall retain the signed and sealed'as-built' drawings provided by the PSM with the other project records for possible review by WWS upon request. At the Engineer of Record's option, the PSM can prepare record drawings in lieu of asbuilts. If using this option the Engineer of Record must coordinate with the PSM so the record drawings contain information provided by the engineer's staff. If the record drawings are prepared by the Engineer of Record, each sheet of the record drawings must be signed and sealed by the Engineer of Record. The cover sheet is to be signed and sealed by the Engineer of Record and shall include the following statement:  $^\prime$ I certify that these record drawings have been reviewed by me or by individual(s) under my direct supervision and that these drawings incorporate the information contained in the certified as-builts. To the best of my knowledge and belief these record drawings substantially reflect the potable water, reclaimed water, wastewater and drainage facilities as constructed. The accuracy of these record drawings is reliant on the accuracy applied by the surveyor that prepared the certified as-builts, which was [include the surveyor's name, business name, PSM number, address and telephone number]. The surveyor has certified to me that the as-built location information of the potable water, reclaimed water, wastewater and drainage facilities conforms to the minimum technical standards for land surveying in the State of Florida, Chapter 5J17.050(10)(i) If the record drawings are prepared by the PSM in lieu of as-builts, each sheet of the record drawings must be signed and sealed by the Engineer of Record. The cover sheet is to be signed and sealed by the Engineer of Record and shall include the following "I certify that these record drawings have been reviewed by me or by individual(s) under my direct supervision and to the best of my knowledge and belief these record drawings substantially reflect the potable water, reclaimed water, wastewater and drainage In addition to signing and sealing by the Engineer or Record, the cover sheet will be signed, sealed and dated by the PSM the record drawings. The cover sheet will include the PSM's name, business name, PSM number, address and telephone number and contain the following statement: "I hereby certify that the as-built location information of the potable water, reclaimed water, wastewater and drainage facilities shown on these record drawings conforms to the minimum technical standards for land surveying in the State of Florida, Chapter 5J-17.050(10)(i) (Florida Administrative Code), as adopted by the Department of Agriculture and Consumer Services, Board of Professional Surveyors and Mappers, and that said record drawings are true and correct to the best of our knowledge and belief." If the record drawings are prepared by a PSM based on as-builts prepared by a different PSM, each sheet of the record drawings must be signed and sealed by the Engineer of Record. The cover sheet is to be signed and sealed by the Engineer of Record and shall "I certify that these record drawings have been reviewed by me or by individual(s) under my direct supervision and to the best of my knowledge and belief these record drawings substantially reflect the potable water, reclaimed water, wastewater and drainage In addition to signing and sealing by the Engineer or Record, the cover sheet will be signed, sealed and dated by the PSM that prepared the record drawings. The cover sheet will include the PSM's name, business name, PSM number, address and telephone number and contain the following statement: "I certify that these record drawings have been reviewed by me or by individual(s) under my direct supervision and that these drawings incorporate the information contained in the certified as-builts. The accuracy of these record drawings is reliant on the accuracy applied by the surveyor that prepared the certified as-builts, which was [include the surveyor's name, business name, PSM number, address and telephone number]. The surveyor has certified to me that the as-built location information of the potable water, reclaimed water, wastewater and drainage facilities conforms to the minimum technical standards for land surveying in the State of Florida, Chapter 5J17.050(10)(i) Record Drawings will contain the information in the design and as-built drawings (including cover sheet, overall layout, blowups, details, standard details, legends, etc.), plus the following additional requirements: 1. Number of Submittals. Two paper sets are required for the first and each subsequent submittal, except for land development projects where four sets are required for the first submittal. WWS consultants are required to submit record drawings in AutoCAD format in addition to the paper sets. Check with the WWS GIS group for more information on the format of the AutoCAD submittal. 2. Drawings are to show as constructed information, not document changes between the design and construction. Any WWS facilities constructed in a horizontal or vertical location different (one-tenth foot horizontal, one-tenth foot vertical) than the design location will have their design location erased and will be redrafted at the constructed location. All information that is incorrect due to changes during construction will be corrected. Incorrect information will not be struck through; it will be erased and replaced with the corrected information. Any information that is no longer relevant due to changes during construction will be deleted. Design drawing dimensioning to water and wastewater facilities will be corrected as necessary. 3. Drawings will be a complete set including cover sheet, index (if one was included in the approved design drawings) standard details and any other sheets included in the approved design set. 4. Drawings will include the MINIMUM AS-BUILT AND RECORD DRAWING CONTENTS described elsewhere in this document.\* MINIMUM AS-BUILT AND RECORD DRAWING CONTENTS: 1. The amount of information required on as-built and record drawings will require the drawing author to organize its presentation in order to make the drawings readable. On occasion, it may be necessary to put water and wastewater information on separate sheets, and/or use a table to show coordinate information. 2. Show the location of easements used by the water and wastewater facilities. 3. Indicate pipe joint locations where water and wastewater or reclaimed water piping 4. Indicate the length of gravity wastewater piping and actual slope between manhole 5. Show all abandoned in place facilities including the extent and method of abandonment. 6. Show elevations to the nearest tenth of a foot for: a. Top of pipe for water mains, force mains and reclaimed water mains at vertical deflection points and every 200 feet along straight runs. b. Top of pipe of water or wastewater facilities where they cross all other facilities (drainage, telephone, cable TV, electric, etc.) 7. Show elevations to the nearest one hundredth of a foot for: b. Inverts of every gravity wastewater pipe and force main connections to manholes. c. Lift station top of slab, bottom of wet well, influent pipe invert and control set points. 8. Coordinates will be provided for WWS maintained facilities, including: a. Water mains, force mains and reclaimed water mains at deflection points and every 200 feet along straight runs. b. The center of each manhole, fitting, valve, blow off, hydrant, water meter box, wastewater cleanout, lift station wetwell, double detector check or other non-pipe water or wastewater facility. c. The location of each connection to existing facilities.
d. The corners (vertices) of all easements being granted to the County as a part of the e. Other locations designated by WWS. 9. Show the changed location of any non-water/wastewater features so they are at the visually correct location relative to WWS maintained facilities. 10. Record drawings shall include color photographs of all connections to existing WWS infrastructure as well as all critical utility crossings and where specifically required on the design drawings. The pictures will be taken with a GPS camera that automatically geotags the picture. A maximum of six photographs per sheet is acceptable. Each photograph shall have a minimum size of 8"x10". Photographs shall have a density of 3.0 megapixel or greater. Plot resolution is to be minimum 300 dots per inch. Photographs shall normally be taken from a point between four feet (4' ) and six feet (6' ) above the subject infrastructure and shall show good detail in both shadow and sunlit areas. Include a measuring device in the photo for scale and where applicable to indicate the depth or separation of the utilities. A symbol (i.e. an arrow) is to be used in the plan views indicating the location and direction of view for each photograph submitted. The symbol must include the photograph number. A caption under each photograph shall include the following information: a. Photograph number b. Photograph description c. Date of photograph d. Location and direction of view (for example 201 NW 34 Street looking North) e. State plane coordinates All photographs included in the record drawings will also be provided to WWS in JPEG format on CD or DVD media. The CD or DVD will be labeled with the WWS project name and number. Individual photo files will be named using the same photograph number contained in the record drawings. SUBGRADE (DENSITY TESTS SHALL BE APPROVED PRIOR TO THE PLACEMENT LIMEROCK BASE (DENSITY TESTS AND AS-BUILTS MUST BE SUBMITTED WITH A CERTIFIED LETTER FROM THE GEOTECHNICAL FIRM TAKING THE TEST INDICATING THAT THE TEST CONFORMS WITH THE APPROVED PLANS AND SPECIFICATIONS PRIOR TO THE PLACEMENT OF ASPHALT THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE GOVERNING AUTHORITIES IN WRITING AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING 5. WASTEWATER: DELIVERY OF MATERIALS PRESSURE TESTING / FLUSHING SANITARY SEWER LAMPING 2. CLEARING AND EARTHWORK OPERATIONS 3. STORM SEWER: LIFT STATION START-UPS B. STRUCTURE INSPECTIONS PRESSURE TESTING PIGGING / FLUSHING 4. PAVEMENT: SUBGRADE INSPECTIONS TIE-INS / DISINFECTION / BASEROCK INSPECTIONS SWABBING / VISUAL ASPHALT PAVEMENT 7. WALK THROUGH: 1. PRELIMINARY / FINAL

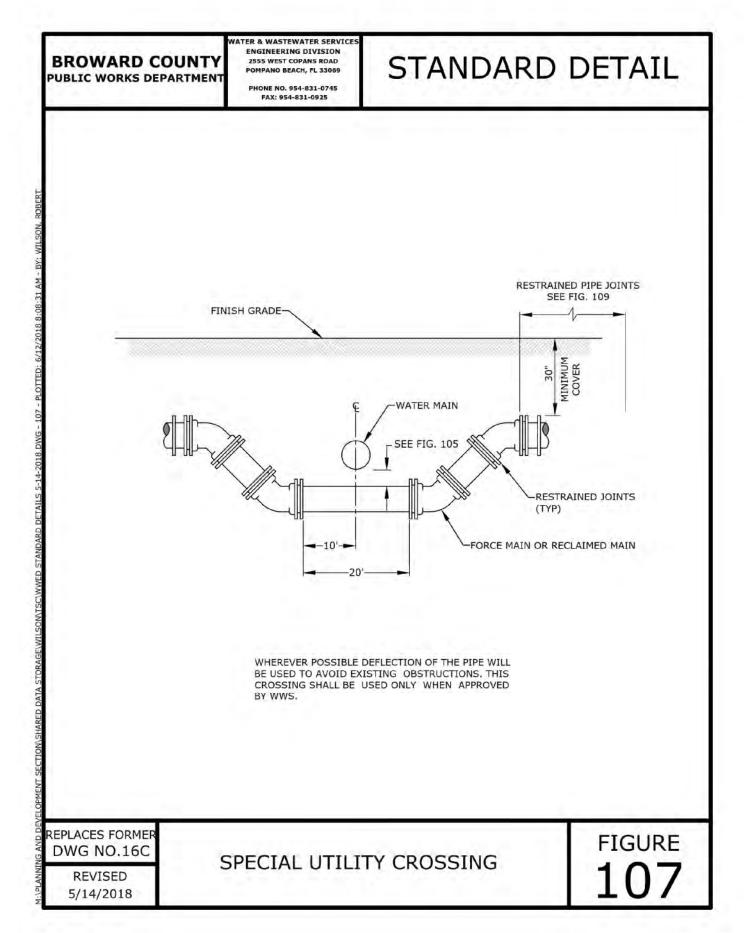
- 0 N 4 D 0 V 80 ects 3oulevard 33020–660 746 Zwae | Call | Ar Woo Kaller Hollyv ood, Fl In ering, 6 gin H B 5 April 2019 N.T.S. DRAWN BY SIGNED BY PROJECT NO 18-0919 SHEET BCWWS SHALL BE CONTACTED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR WHO SHALL COORDINATE A PRE-CONSTRUCTION MEETING

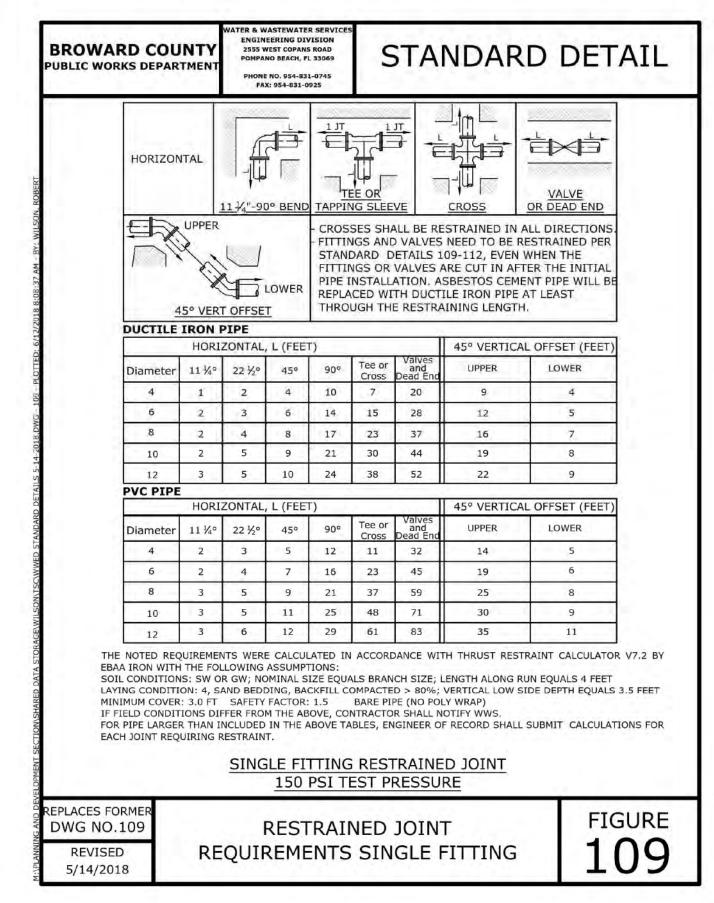
WITH BCWWS.

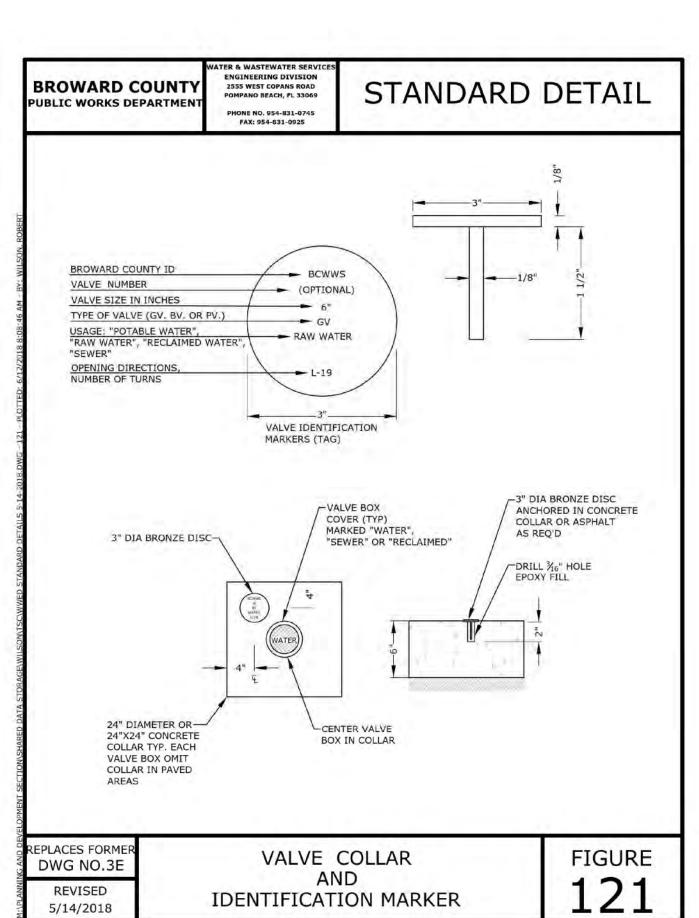


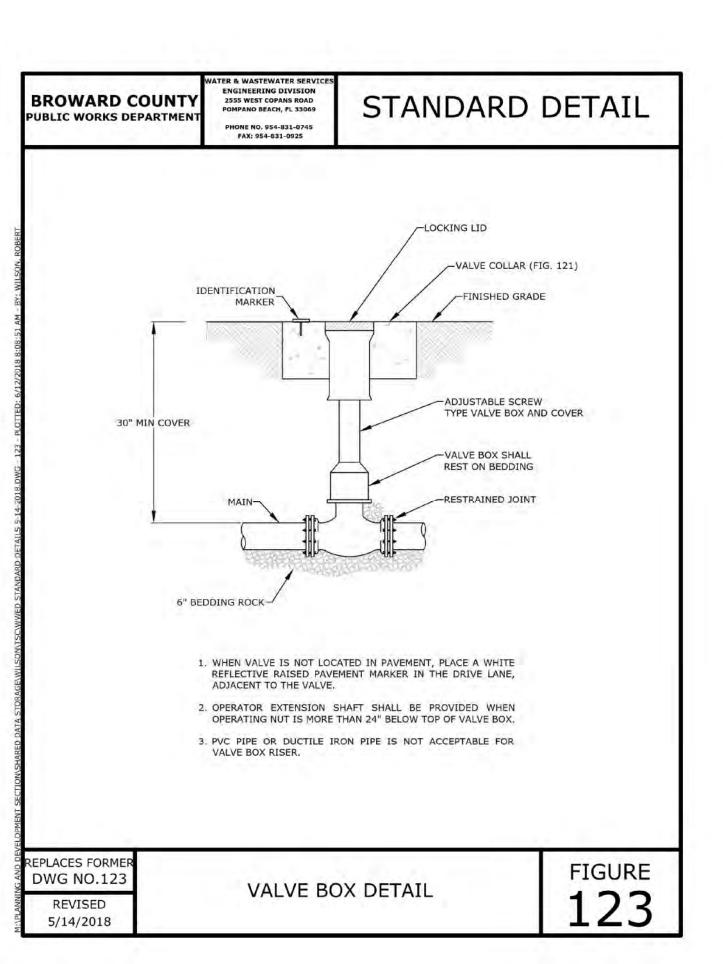


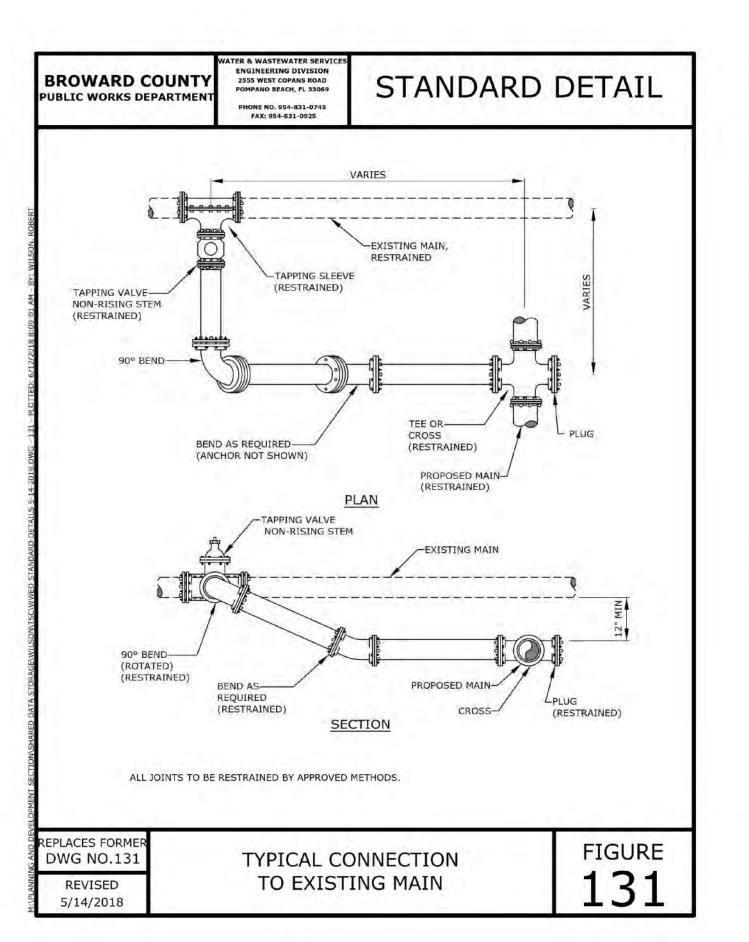


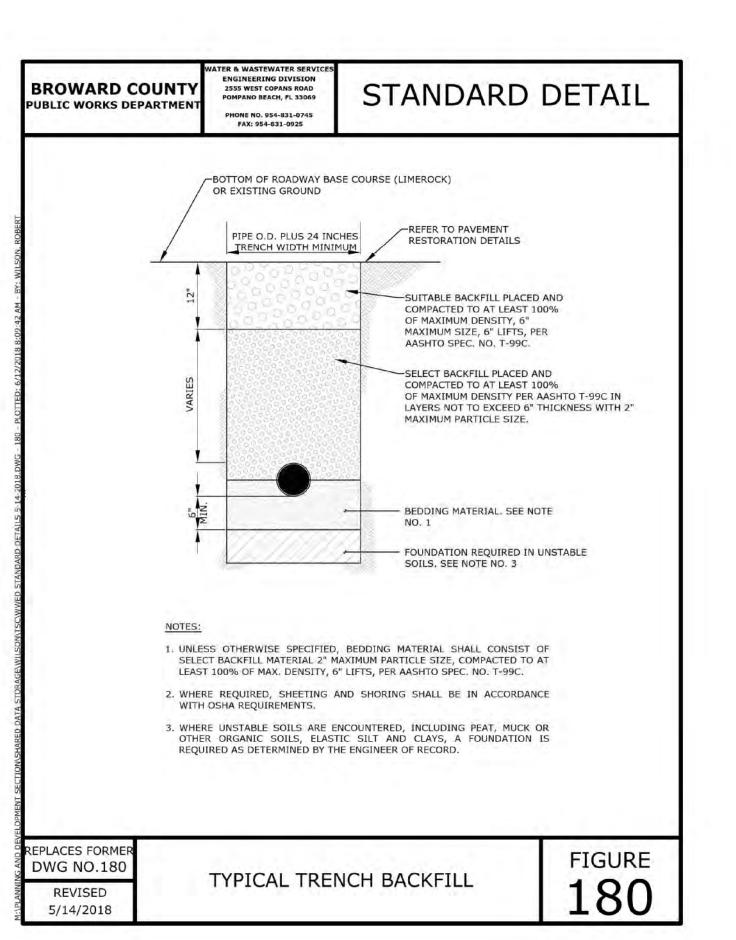












NOTE:
BCWWS SHALL BE CONTACTED PRIOR TO ANY
CONSTRUCTION BY THE CONTRACTOR WHO SHALL
COORDINATE A PRE-CONSTRUCTION MEETING
WITH BCWWS.

1. 2. 3. 4. 5. 6. 8.

Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020–6605 (954) 920–5746

FLORIDA

OD CONSTRUCTION DETAILS

House

Kosher

HOLLYWOOD
TASK:

GGB Engineers Land Planners

Civil and Forensic Engineers Land Planners

- CONSTRUCTION MANAGERS

FLORIDA REGISTRATION NO. 8118

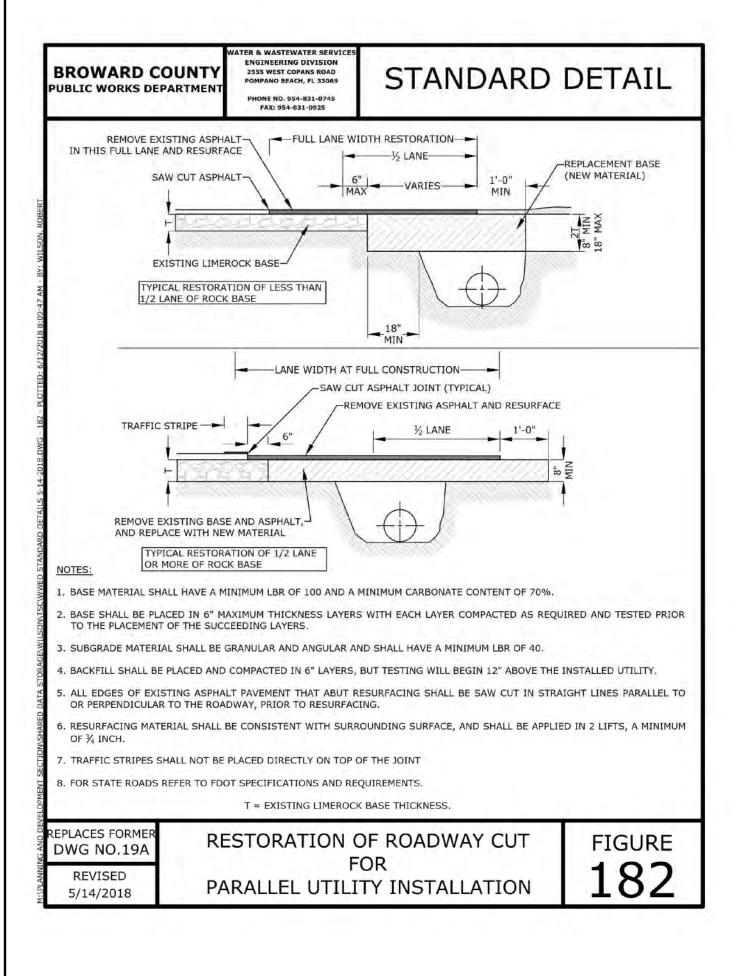
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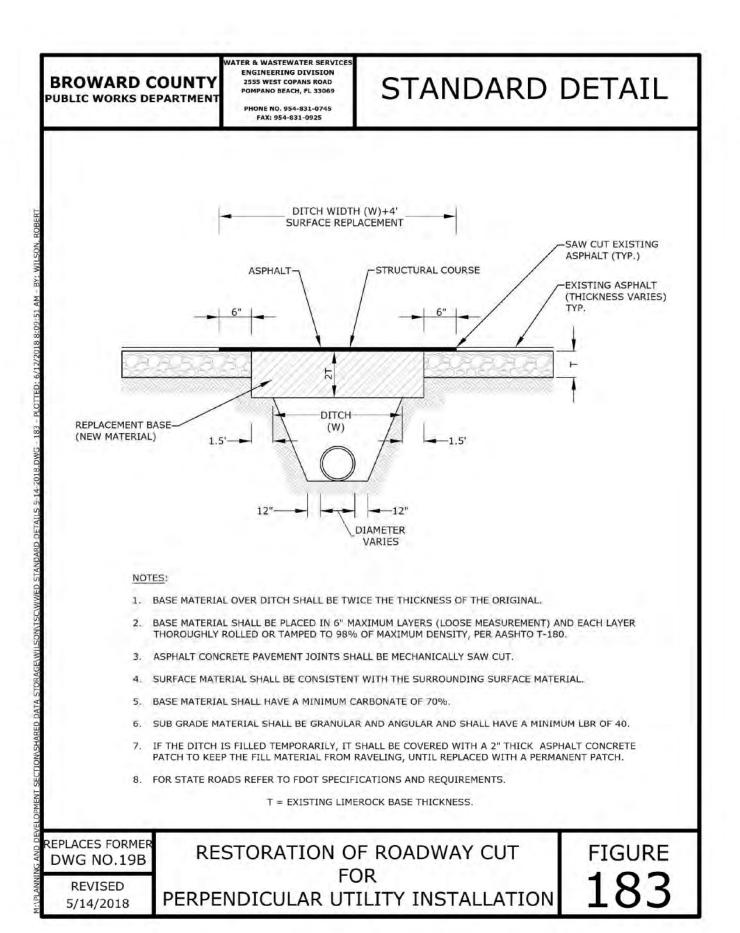
Phone: (954) 98

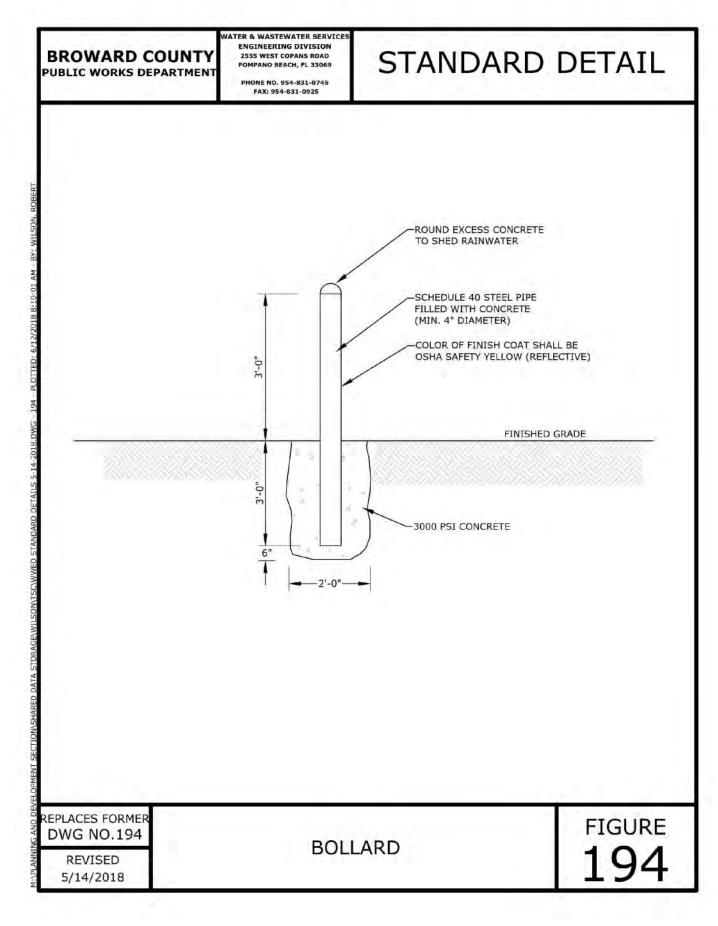
April 2019 N.T.S.
ESIGNED BY: DRAWN BY
G.G.B. M.M.
PROJECT NO.
18-0919

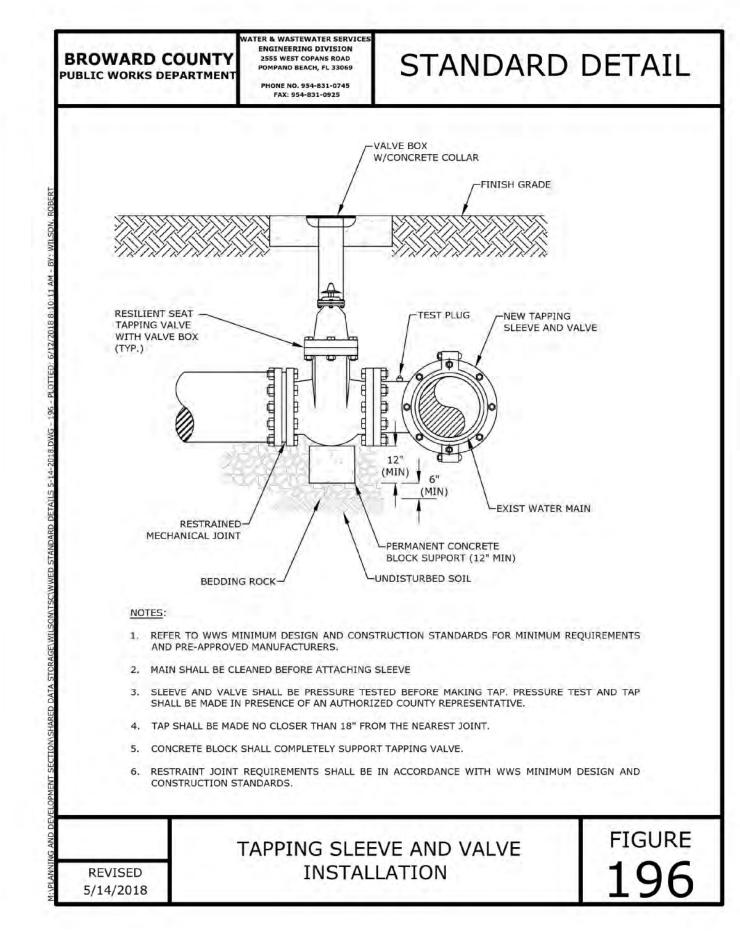
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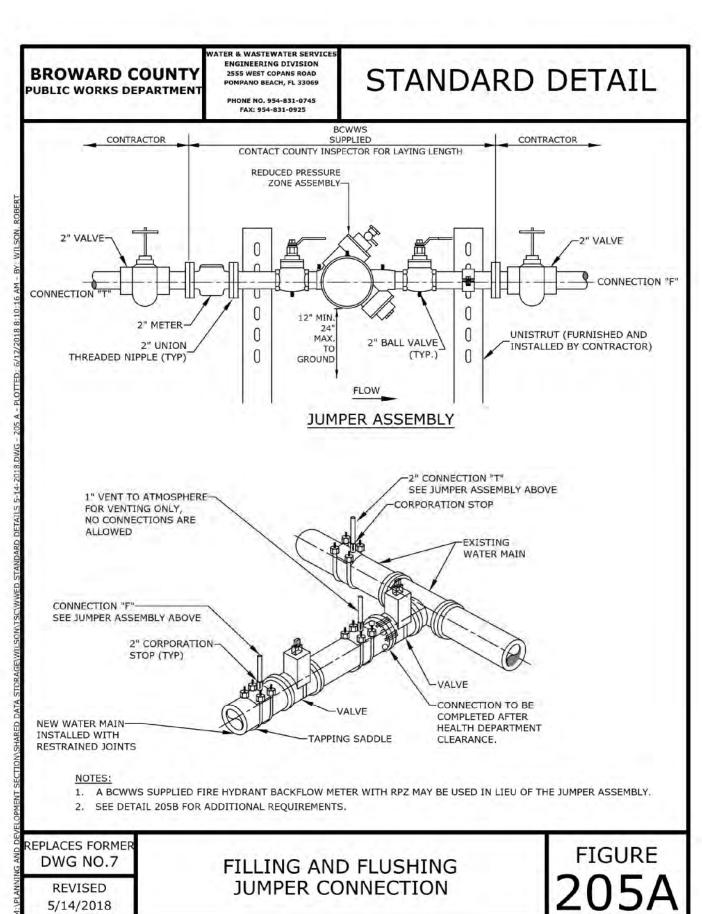
GARY G. BLOOM, P.E.
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AND SCALED BY FNGINFER

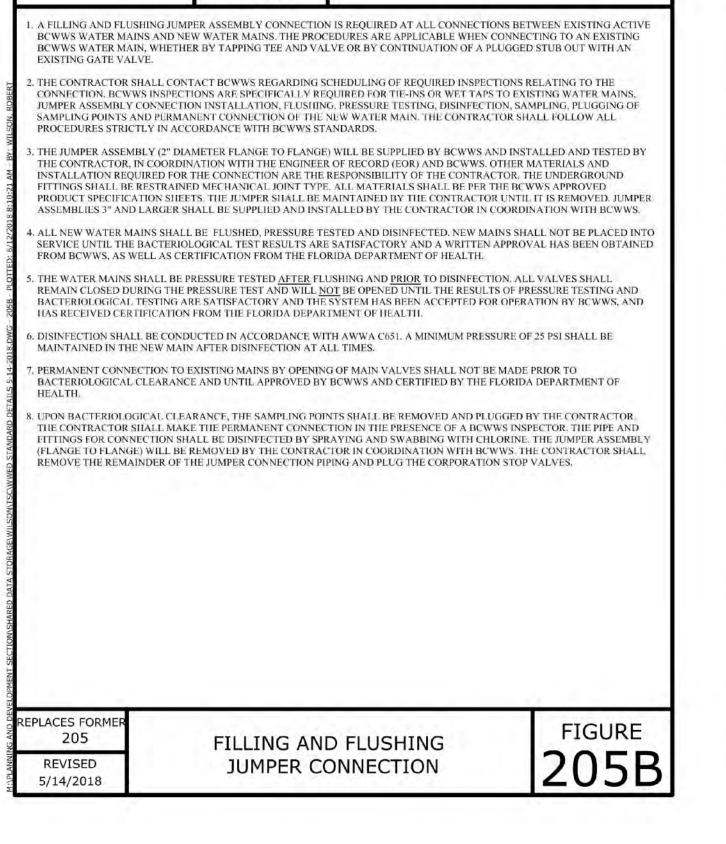












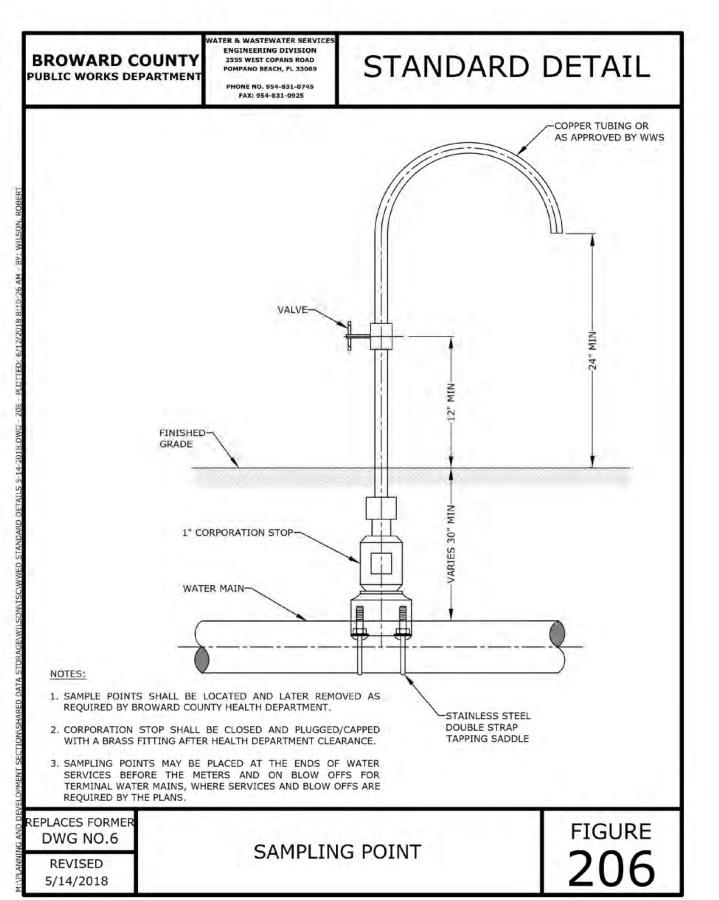
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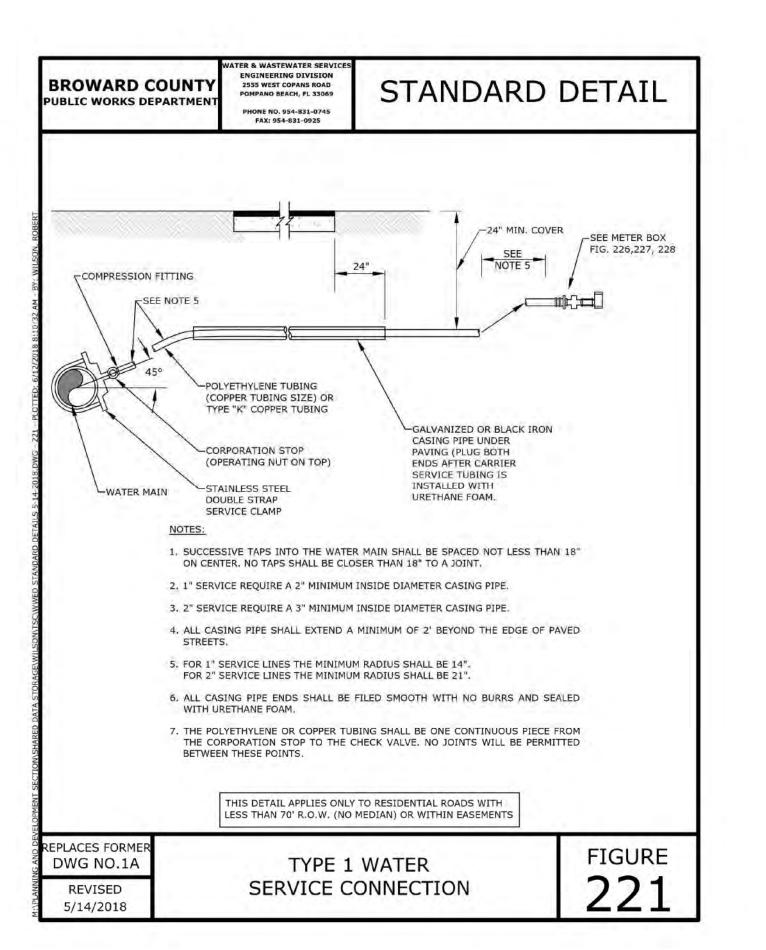
BROWARD COUNTY

PUBLIC WORKS DEPARTMENT

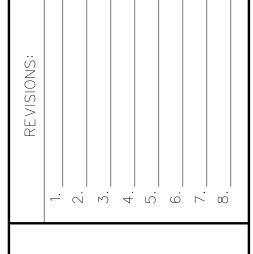
2555 WEST COPANS ROAD

FAX: 954-831-0925





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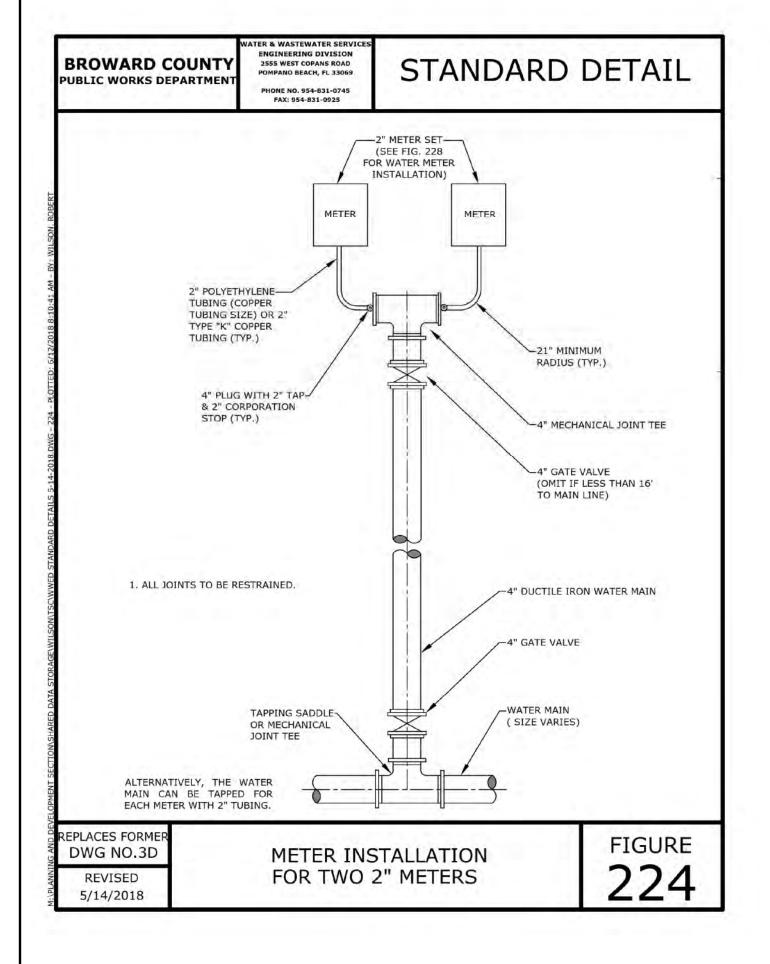
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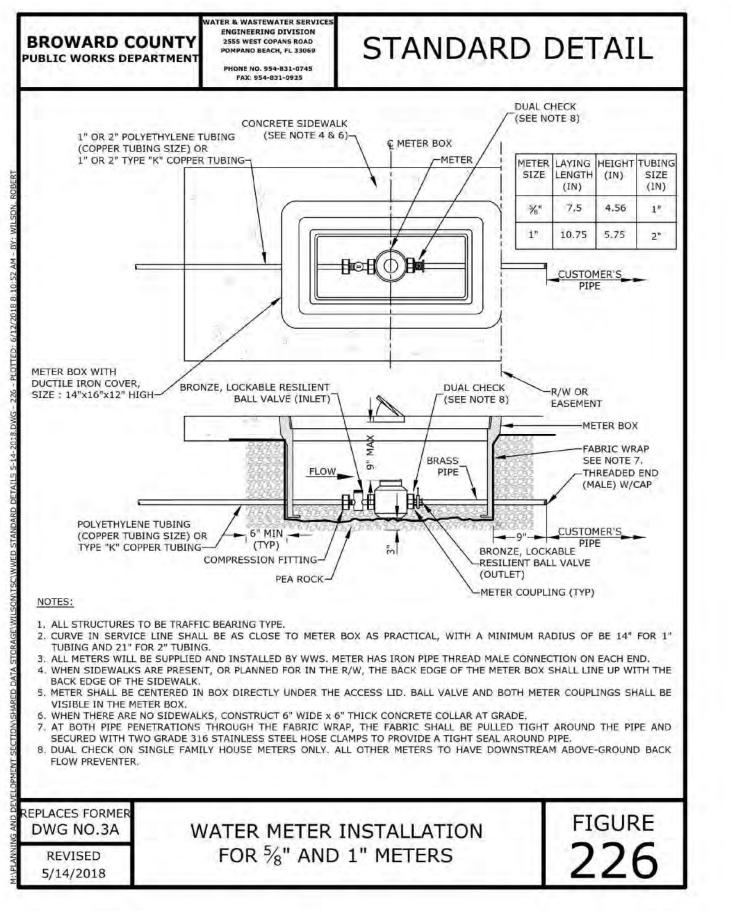
HOLLYWOOD TASK:

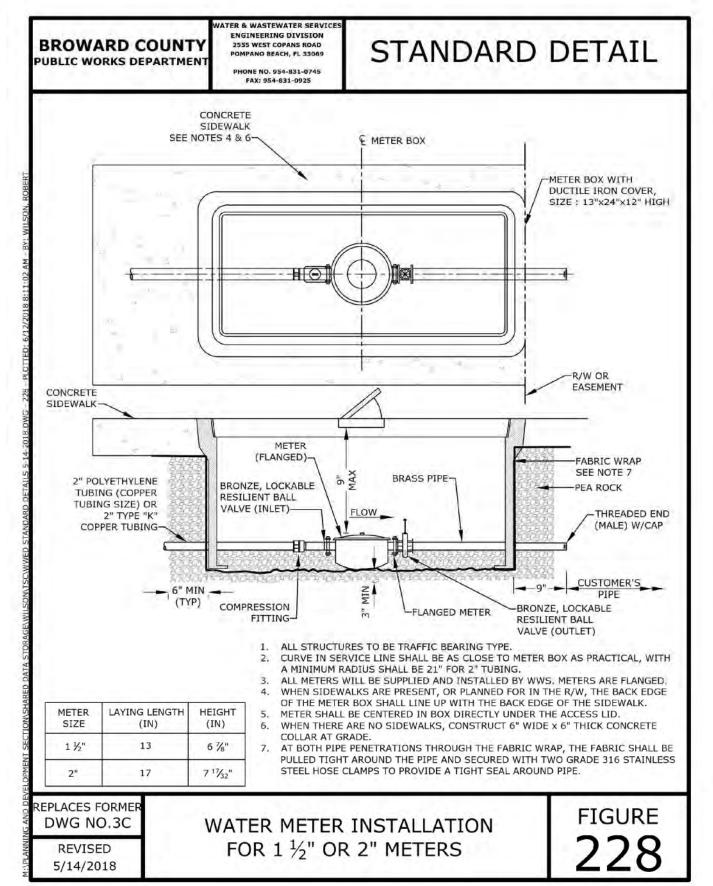
GGB Engineers I In CONIT AND FOREIGN MANAGERS FLORIDA REGISTRATION NO. 8118

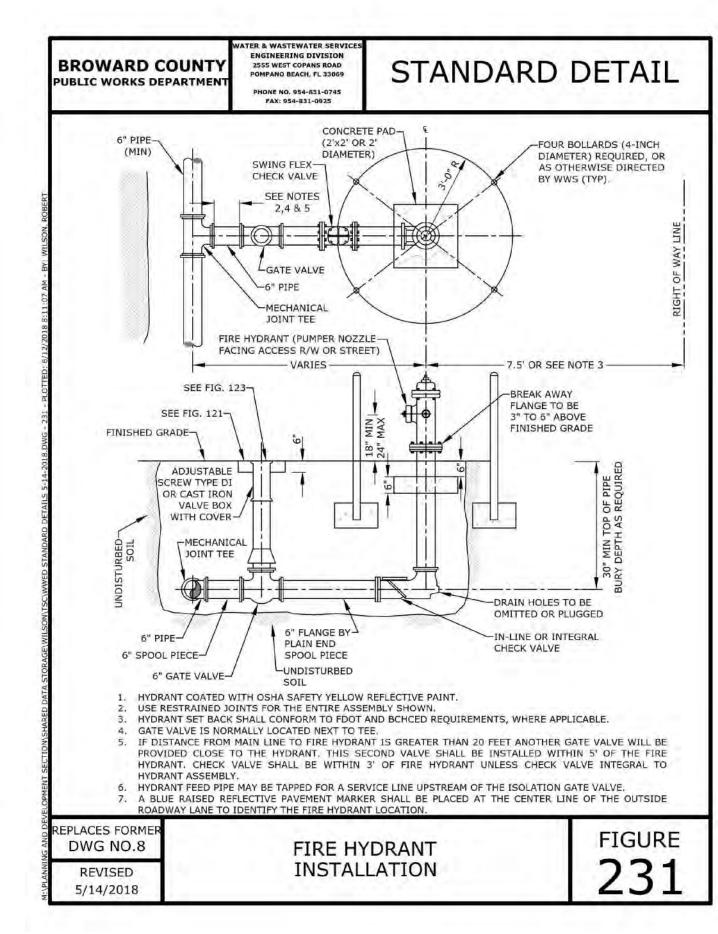
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April 2019 N.T.S.
ESIGNED BY: DRAWN BY
G.G.B. M.M.
PROJECT NO.
18-0919
SHEET

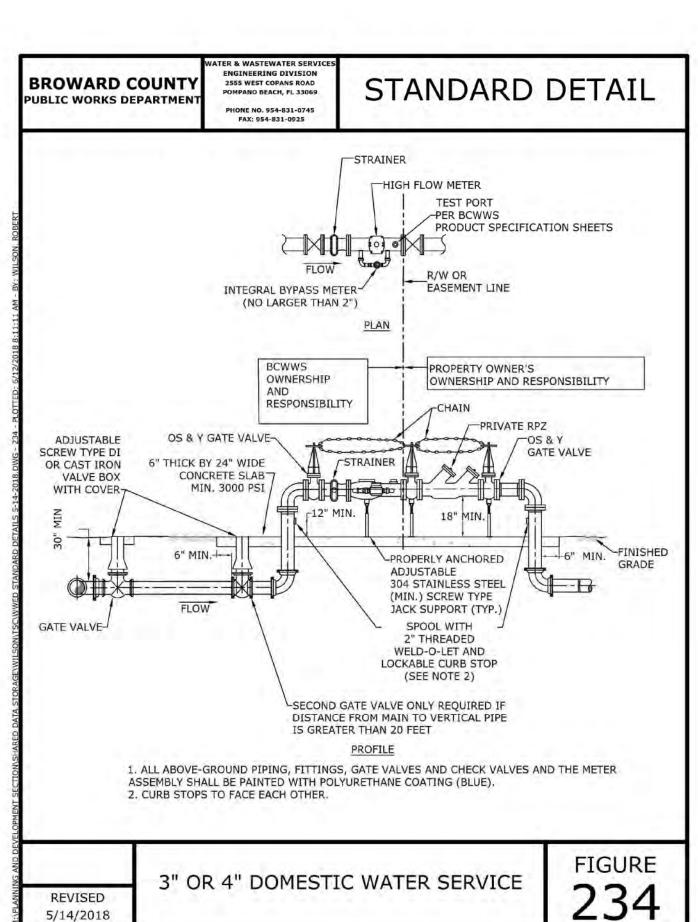
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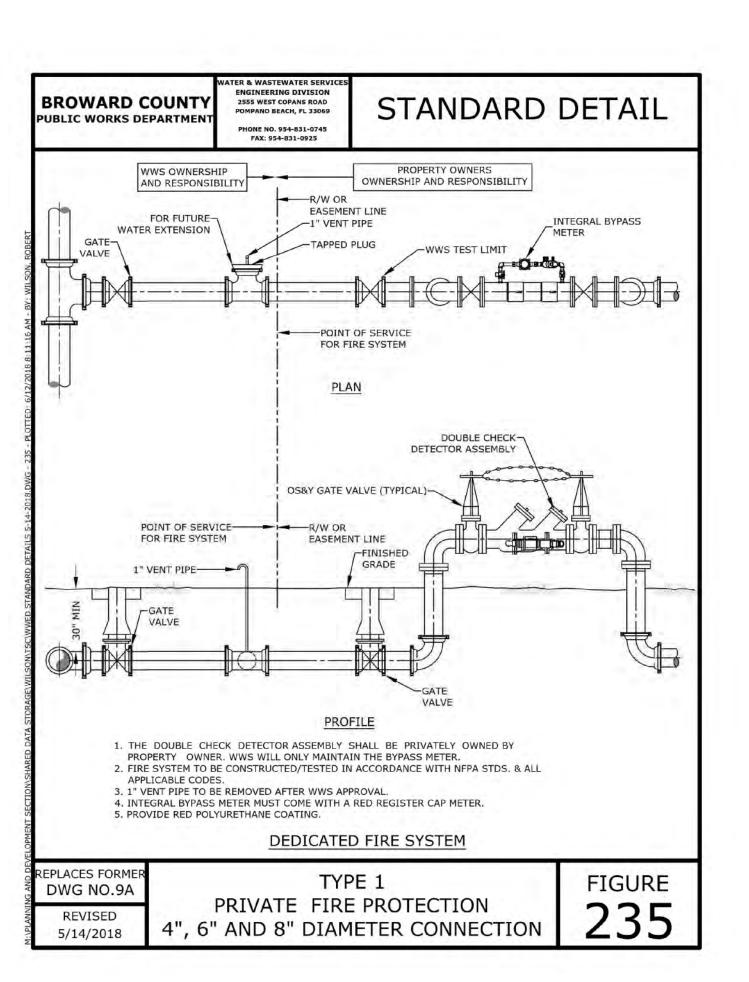


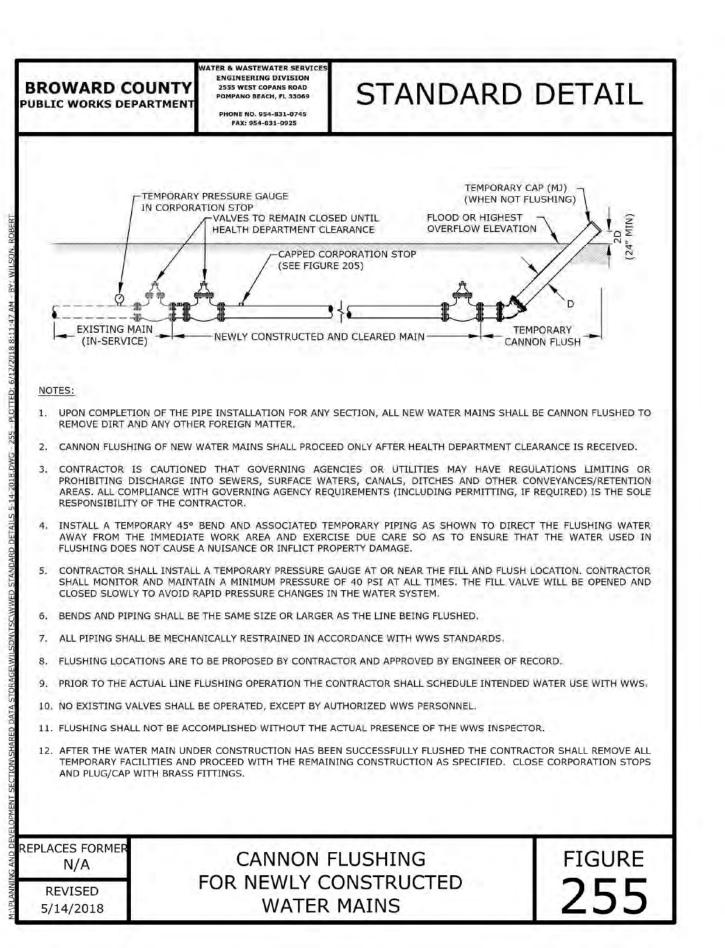


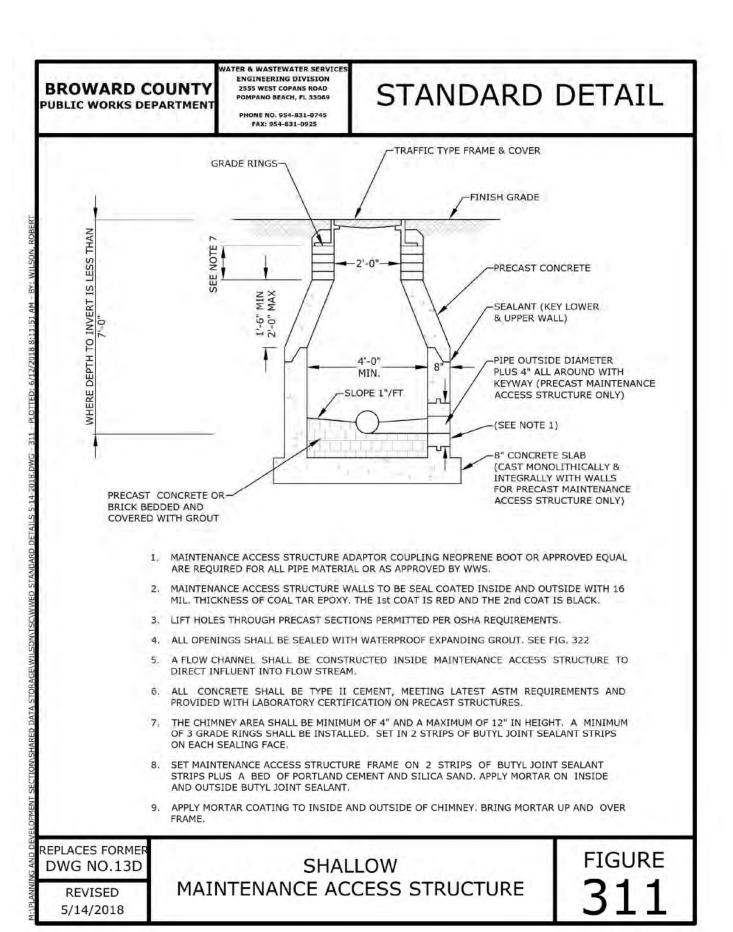












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FLORIDA

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Kosher

DETAIL

IOLLYWOOD
FASK:
CONSTRUCTION

GGB Engineers Land Planners

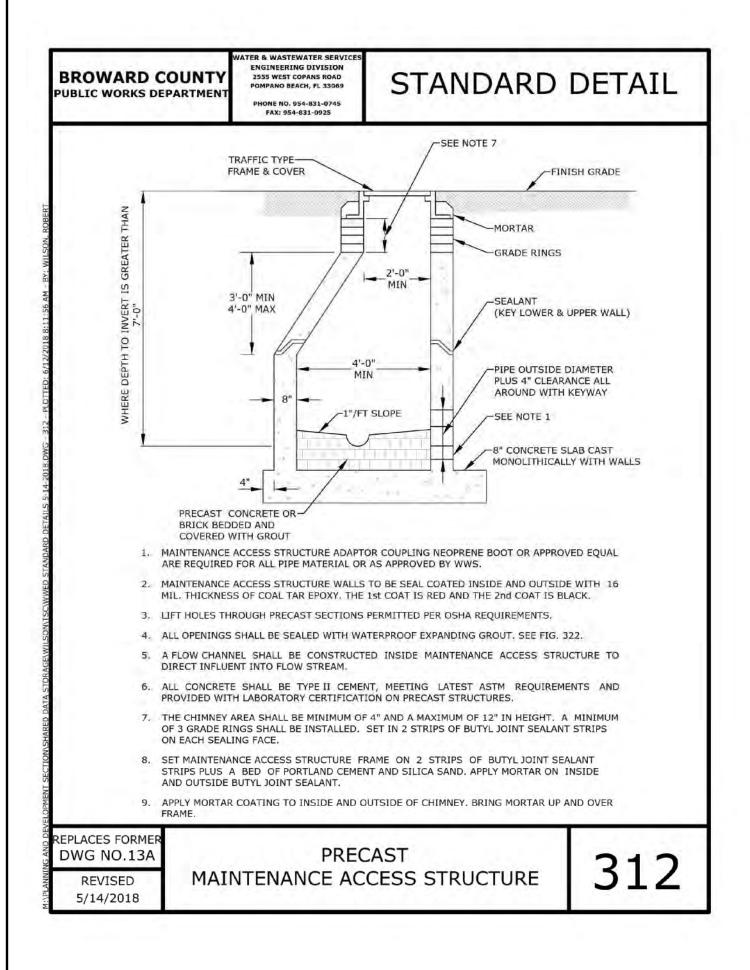
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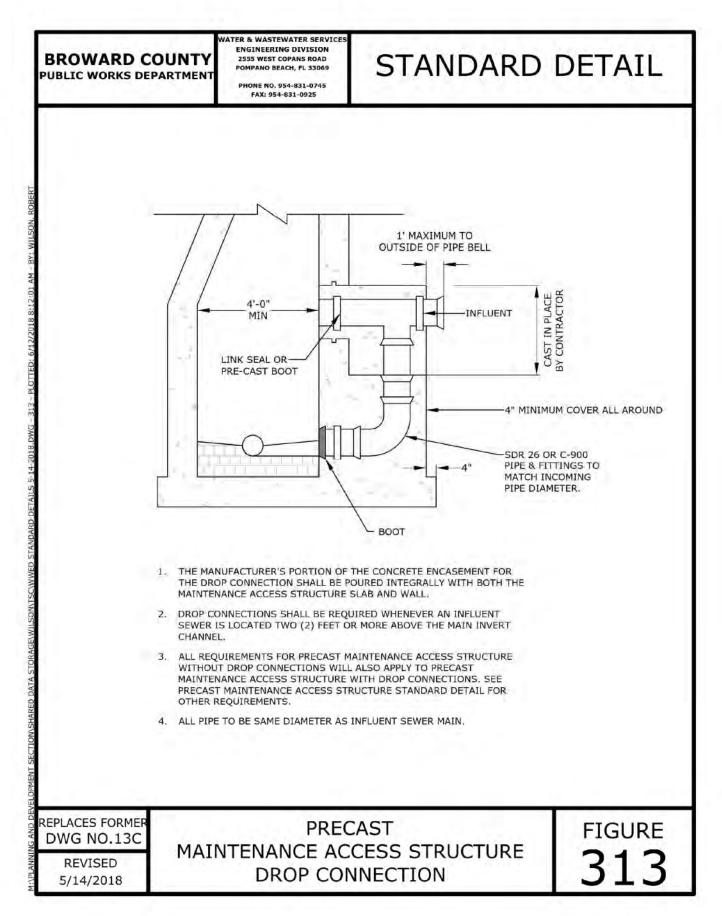
-CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
Phone: (954) 986

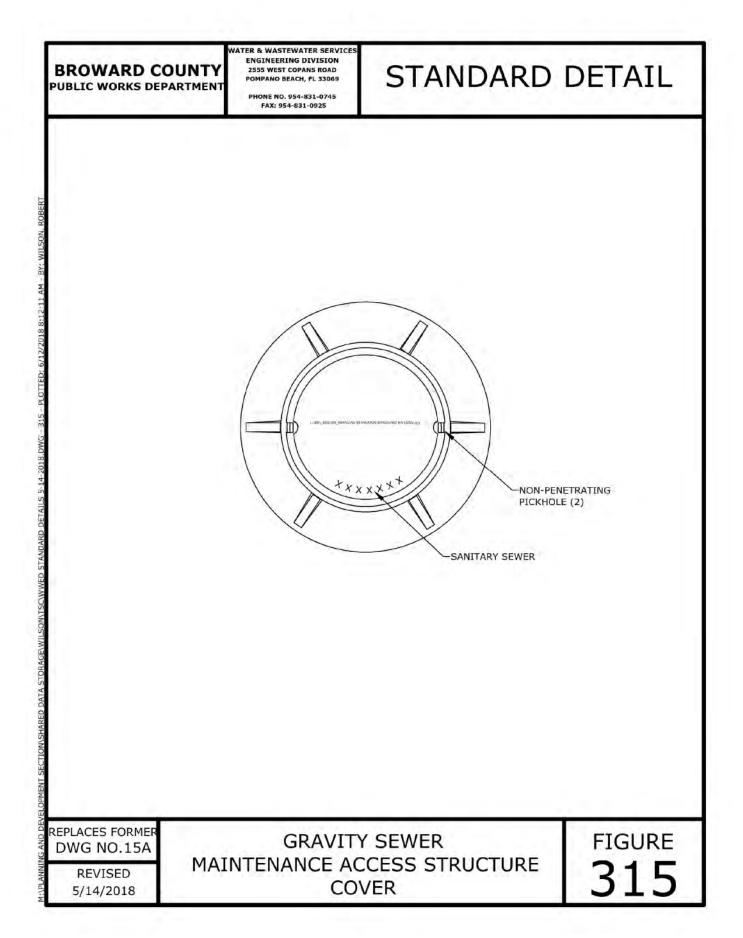
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April 2019 N.T.S.
SIGNED BY: DRAWN BY:
G.G.B. M.M.
PROJECT NO.
18-0919

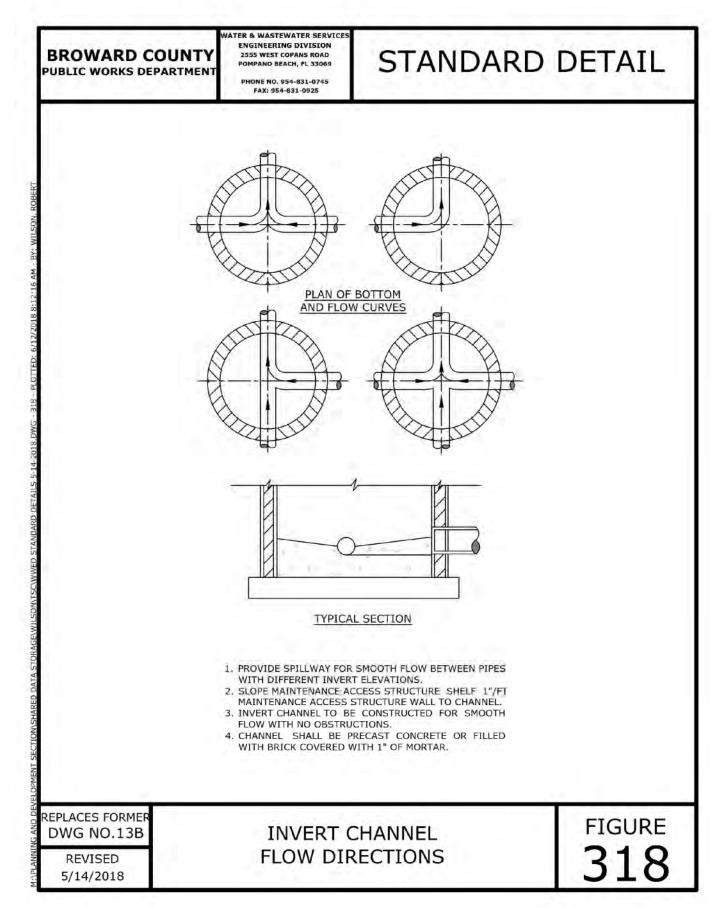
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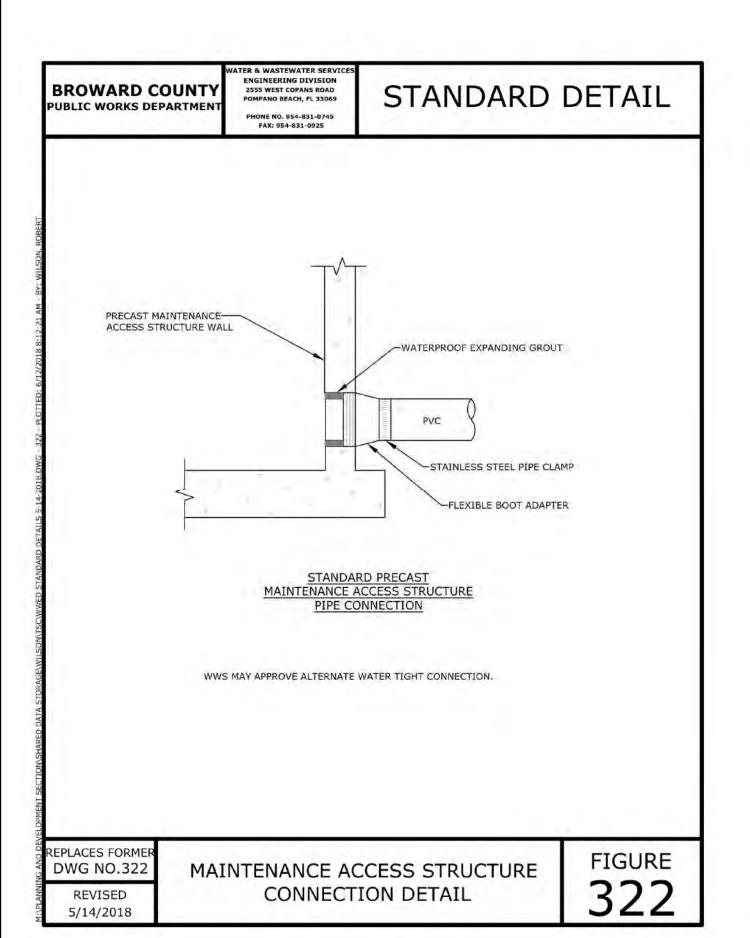
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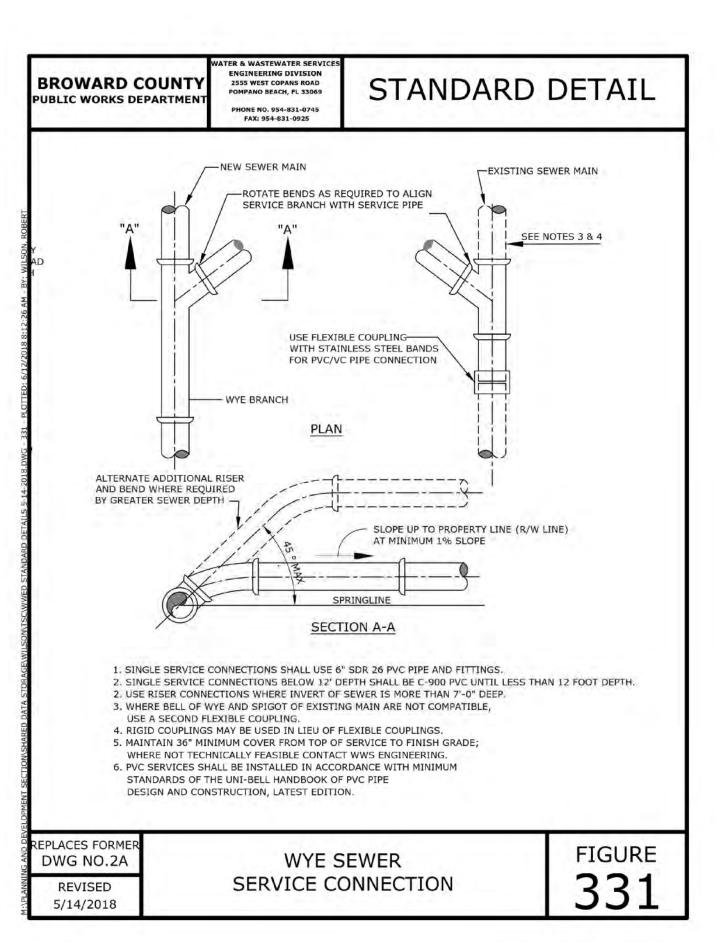


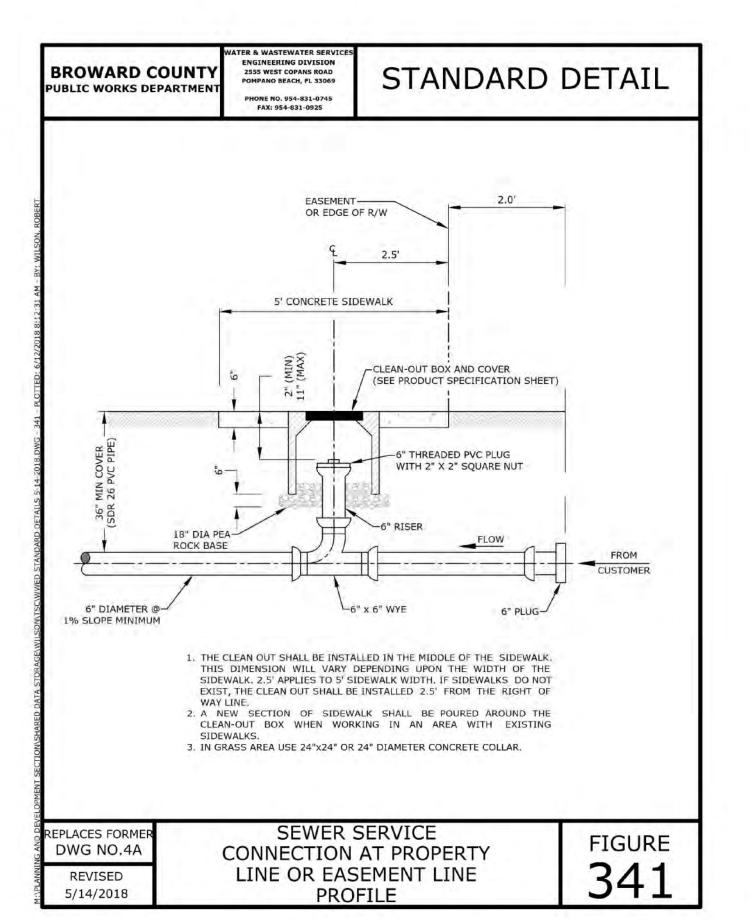


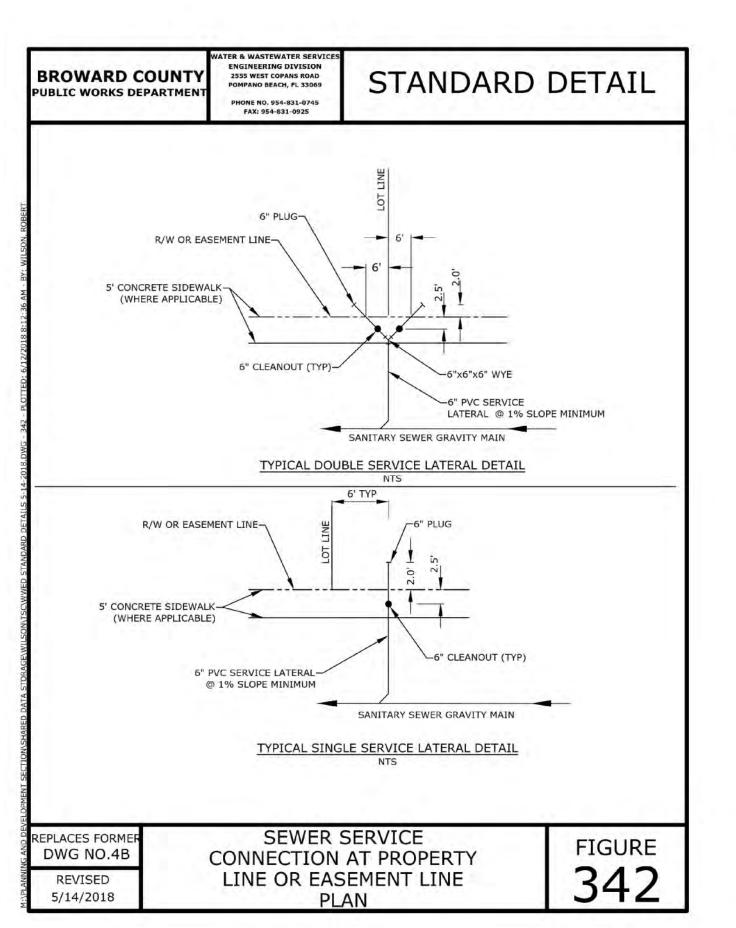












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Privcap Companies 200 W. Camino Real, Suite Boca Raton, Florida 3343

FLORIDA

HOLLYWOOD
TASK:
CONSTRUCTION

GB Engineering, Inc. 14

AND FORENSIC ENGINEERS - LAND PLANNERS
-CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118

DATE: SCALE:

May 2016 N.T.S.

DESIGNED BY: DRAWN BY:

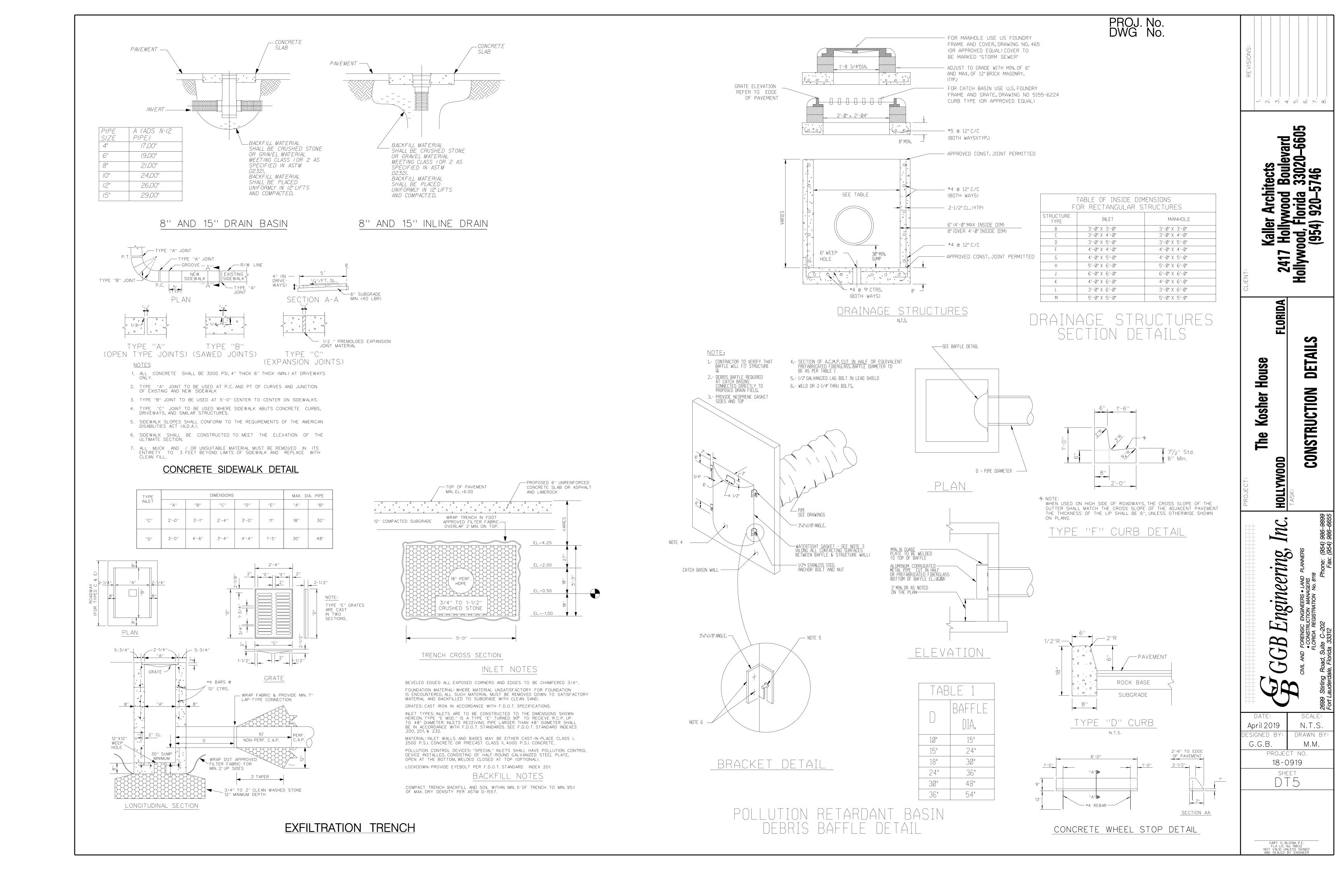
G.G.B. M.M.

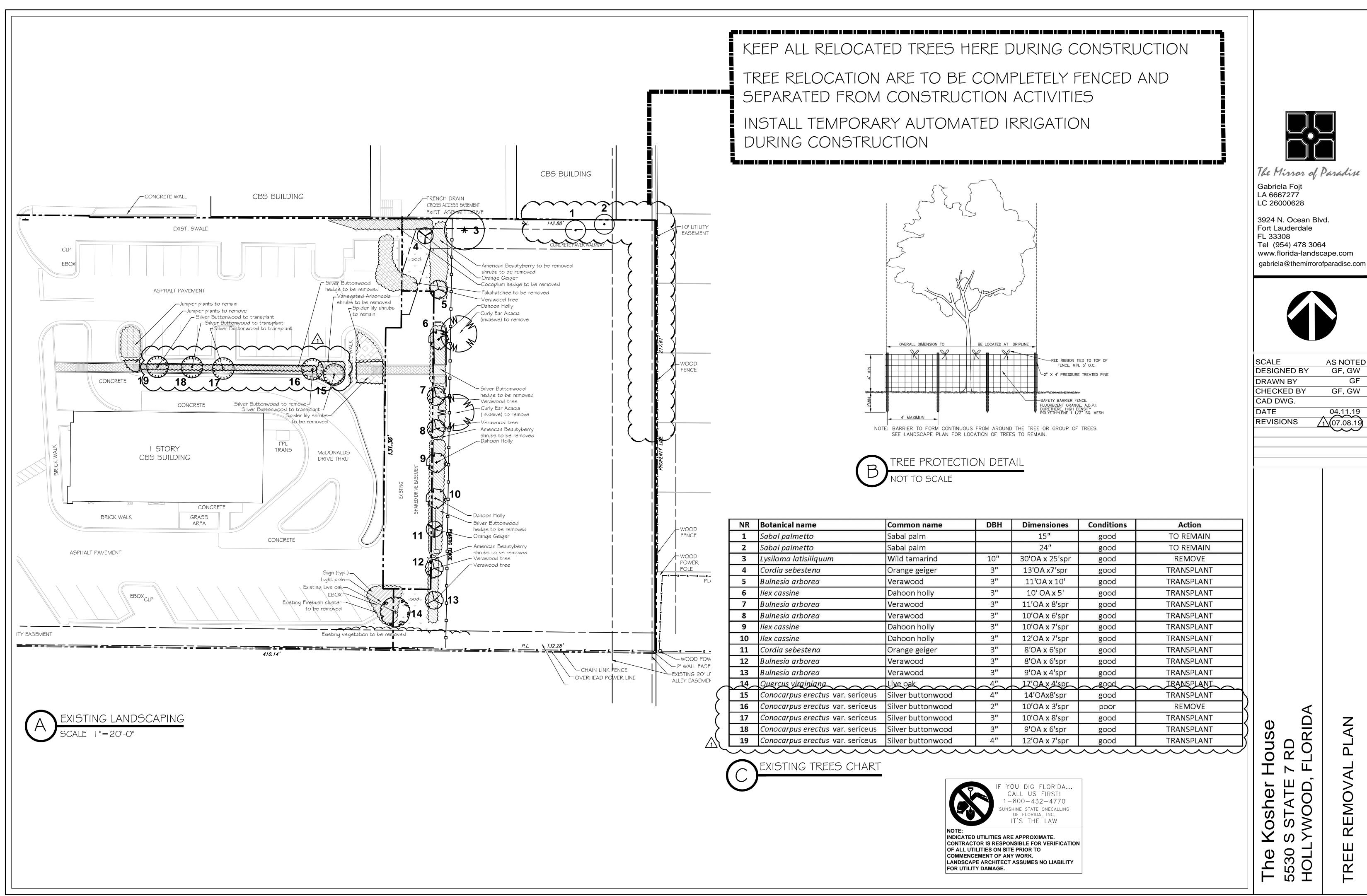
PROJECT NO.

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ROOF GARDEN LANDSCAPE PLAN

SCALE | "=20'-0"

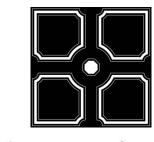
### PLANT SCHEDULE

| TREES<br>Ac              | <u>QTY</u><br>7  | BOTANICAL / COMMON NAME<br>Adonidia merrillii / Christmas Palm single stem | <u>SIZE</u><br>8' CT single     | <u>SPACING</u><br>AS SHOWN         | NATIVE<br>NO | DROUGHT RESISTANT<br>HIGH            |
|--------------------------|------------------|--|---------------------------------|------------------------------------|--------------|--------------------------------------|
| Ва2                      | I                | Bulnesia arborea / Verawood  | 12' OA 2" DBH                   | AS SHOWN                           | NO           | HIGH                                 |
| B5                       | 8                | Bursera simaruba / Gumbo Limbo   | 12'-14' OA, 2"dbh               | AS SHOWN                           | YES          | HIGH                                 |
| LM                       | 4                | Lysiloma latisiliqua / Wild Tamarind                                       | 12' OA 2" DBH                   | AS SHOWN                           | YES          | HIGH                                 |
| Pc                       | 2                | Phoenix canariensis / Canary Island Date Palm                              | 6'GW 9'CT matched               | AS SHOWN                           | NO           | HIGH                                 |
| Ss2                      | 5                | Sabal palmetto / Cabbage Palmetto  | 12' CT                          | AS SHOWN                           | YES          | HIGH                                 |
| Ss                       | 21               | Sabal palmetto / Cabbage Palmetto  | 20' CT                          | AS SHOWN                           | YES          | HIGH                                 |
| Ss3                      | 8                | Sabal palmetto / Cabbage Palmetto  | 28'CT                           | AS SHOWN                           | YES          | HIGH                                 |
| TR                       | П                | Thrinax radiata / Florida Thatch Palm                                      | 6' CT                           | AS SHOWN                           | YES          | HIGH                                 |
| TRANSPLANTED TREES<br>Ba | <u>QTY</u><br>5  | BOTANICAL / COMMON NAME Bulnesia arborea / Verawood                        | <u>SIZE</u><br>Various see DT-I | <u>SPACING</u><br>AS SHOWN         | NATIVE<br>NO | <u>DROUGHT RESISTANT</u><br>HIGH     |
| C53                      | 4                | Conocarpus erectus 'Sericeus' / Silver Buttonwood                          | Various see DT-1                | AS SHOWN                           | YES          | HIGH                                 |
| Cs2                      | 2                | Cordia sebestena / Orange Geiger Tree                                      | Various see DT-1                | AS SHOWN                           | YES          | HIGH                                 |
| IC                       | 3                | llex cassine / Dahoon Holly  | Various see DT-1                | AS SHOWN                           | YES          | HIGH                                 |
| QV                       | I                | Quercus virginiana / Southern Live Oak                                     | Various see DT-1                | 12'-14' A0 min 2"dbh               | YES          | HIGH                                 |
| SHRUBS<br>Cc2            | <u>QTY</u><br>3  | BOTANICAL / COMMON NAME<br>Chamaedorea cataractarum / Cascade Palm         | <u>SIZE</u><br>15 gal           | <u>SPACING</u><br>AS SHOWN         | NATIVE<br>NO | <u>DROUGHT RESISTANT</u><br>LOW      |
| Ch2                      | 2                | Chamaerops humilis / Mediterranean Fan Palm                                | 5'0A multitrunk                 | AS SHOWN                           | NO           | HIGH                                 |
| Cs                       | 77               | Clusia guttifera / Small Leaf Clusia                                       | 7 gal 36"0A                     | 36" O.C.                           | NO           | HIGH                                 |
| Cc                       | 15               | Codiaeum variegatum 'Curlyboy' / Curlyboy Croton                           | 3 gal                           | 30" 00                             | NO           | HIGH                                 |
| DY                       | 1                | Dracaena reflexa 'Variegata' / Song of India                               | 6'-7' OA                        | AS SHOWN                           | NO           | HIGH                                 |
| Mf                       | 12               | Myrcianthes fragrans / Simpson's stopper                                   | 6' OA multistem                 | AS SHOWN                           | YES          | HIGH                                 |
| <u>SHRUB AREAS</u><br>Ae | <u>QTY</u><br>60 | BOTANICAL / COMMON NAME<br>Aspidistra elatior / Cast Iron Plant            | <u>SIZE</u><br>3 gal            | <u>SPACING</u><br>24" <i>O.</i> C. | NATIVE<br>NO | <u>DROUGHT RESISTANT</u><br>MODERATE |
| Во                       | 63               | Begonia odorata 'Alba' / Giant White Angel Begonia                         | 3 gal                           | 24" O.C.                           | NO           | MODERATE                             |
| Bh                       | 56               | Bougainvillea x 'Helen Johnson' / Compact Bougainvillea                    | 3 gal                           | 24" O.C.                           | NO           | HIGH                                 |
| СЬ                       | 36               | Callicarpa americana / American Beautyberry                                | 3 gal                           | 30" O.C.                           | YES          | HIGH                                 |
| Ci                       | 148              | Chrysobalanus icaco / Coco Plum  | 3 gal 24"0A                     | 24" O.C.                           | YES          | MODERATE                             |
| Ch                       | 51               | Chrysobalanus icaco 'Horizontalis' / Horizontal Cocoplum                   | 3 gal                           | 18" O.C.                           | YES          | HIGH                                 |
| Fg                       | 253              | Ficus microcarpa 'Green Island' / Green Island Ficus                       | 3 gal                           | 18" O.C.                           | NO           | HIGH                                 |
| Mc                       | 168              | Muhlenbergia capillaris / Pink Muhly                                       | 3 gal                           | 36" O.C.                           | YES          | HIGH                                 |
| St                       | 103              | Sophora tomentosa / Yellow Necklacepod                                     | 3 gal                           | 24" O.C.                           | YES          | HIGH                                 |
| Тр                       | 103              | Tradescantia pallida / Purple Queen Spiderwort                             | l gal                           | 15" O.C.                           | NO           | HIGH                                 |
| Tf                       | 69               | Tripsacum dactyloides / Fakahatchee Grass                                  | 3 gal                           | 30" O.C.                           | YES          | HIGH                                 |
| ZP                       | 32               | Zamia pumila / Coontie   | 3 gal                           | 24" O.C.                           | YES          | HIGH                                 |





INDICATED UTILITIES ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR VERIFICATION
OF ALL UTILITIES ON SITE PRIOR TO
COMMENCEMENT OF ANY WORK.
LANDSCAPE ARCHITECT ASSUMES NO LIABILITY
FOR UTILITY DAMAGE.



The Mirror of Paradise
Gabriela Fojt

Gabriela Fojt LA 6667277 LC 26000628

3924 N. Ocean Blvd.
Fort Lauderdale
FL 33308
Tel (954) 478 3064
www.florida-landscape.com
gabriela@themirrorofparadise.com



|  | SCALE       | AS NOTED             |
|--|-------------|----------------------|
|  | DESIGNED BY | GF, GW               |
|  | DRAWN BY    | GF                   |
|  | CHECKED BY  | GF, GW               |
|  | CAD DWG.    |                      |
|  | DATE        | 04.11.19             |
|  | REVISIONS   | <u>/1</u> (07.08.19) |
|  |             |                      |
|  |             |                      |

Kosher

### City of Hollywood Landscape Requirements RM-18

| Condition  | Requirement         | Existing    | Provided                     |
|--|---------------------|-------------|------------------------------|
| PERIMETER LANDSCAPE  |                     |             |                              |
| -One Tree per 50' of street frontage                       | N/A                 | 0           | 0                            |
| MITIGATION TREES AND PALMS                                 |                     |             |                              |
| -1 Silver buttonwood (2"dbh) (A)                           | 1 tree              |             | 1                            |
| -1 Tamarind (10" dbh) <b>(A)</b>                           | 5 trees             |             | 5                            |
| -18 trees relocated from shared                            |                     | 18          | 18                           |
| easement   |                     |             |                              |
| VEHICULAR USE AREA   |                     |             |                              |
| -Terminal Islands at ends of all parking areas             | N/A                 | N/A         | N/A                          |
| OPEN SPACE (Min 40% open landscape area) (B)               |                     |             |                              |
| -Site area 25,618 sq.ft x 40%                              | 10,247 sf           |             | 10,247 sf                    |
| -One Tree per 1000SF open space (10,247/1000)              | 11                  |             | + 11                         |
| -Required tree species/variety                             | 3                   |             | 9                            |
| -Minimum 60% of required trees as Native                   | 60%                 |             | 85% of required trees is nat |
| -Maximum 50% of required trees may be palms                | (max) 7             |             | 5                            |
| DESIGN REVIEW  |                     |             |                              |
| -Complies with Design Review Guidelines for Landscaping    | g YES               |             | YES                          |
| VIEW TRIANGLE  |                     |             |                              |
| -Clear site triangles at all drives and intersections      | YES                 |             | YES                          |
| IRRIGATION   |                     |             |                              |
| -Provide 100%+ coverage by auto sprinkler system           | YES                 |             | YES                          |
| (In accordance with City of Hollywood and SFWMD)           |                     |             |                              |
| OTHER  |                     |             |                              |
| -Apply Xeriscape principles to proposed landscape design   | n YES               |             | YES                          |
| -Utilize plant species compatible with highly saline areas | YES                 |             | YES                          |
| -Trees to be 12'oah, 2" DBH at time of planting            | YES                 |             | YES                          |
| -Required palms to have minimum 8'CT at time of planting   | ng YES              |             | YES                          |
| -50% of all required shrubs to be Florida Native           | YES                 |             | YES                          |
| - A city of Hollywood tree removal/relocation permit will  | be required for any | tree remova | l or relocation              |



or in RM308 in City Hall.

### GENERAL LANDSCAPE NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- 2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- 3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
- 4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
- 5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
- 6. APPLY 3" MELALEUCA\EUCALYTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
- 7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- 8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- 9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
- 10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- 11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- 12. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
- 13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

### HOLLYWOOD LANDSCAPE NOTES

- 1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
- 2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

All eleven (11) relocated trees will be warranted and if trees die during construction timeframe at holding area they will have to be replaced for same quantity, quality, species and DBH with equals on site.

PROVIDE A 100% IRRIGATION COVERAGE BY MEANS
OF AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND
CONSTRUCTED IN ACCORDANCE WITH THE CITY OF
HOLLYWOOD CODE OF ORDINANCES AND THE
REGULATIONS OF THE SOUTH FLORIDA WATER
MANAGEMENT DISTRICT.



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1-800-432-4770

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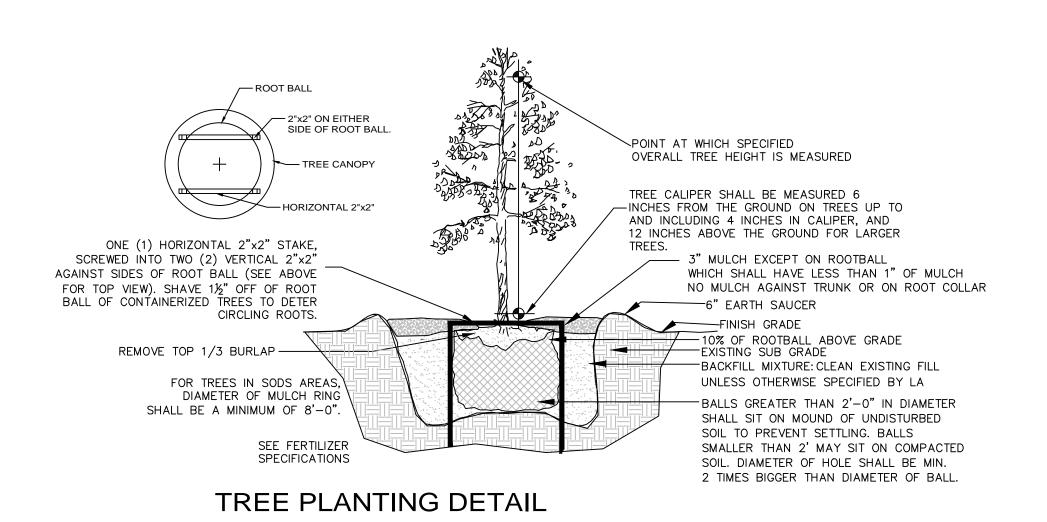
OF FLORIDA, INC.

IT'S THE LAW

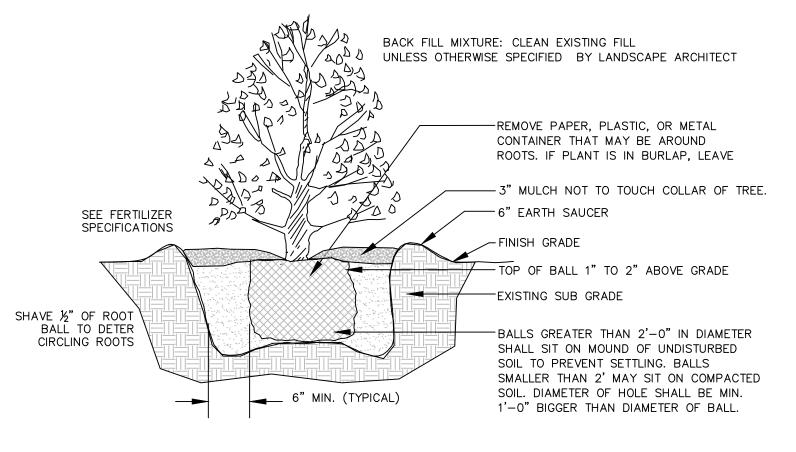
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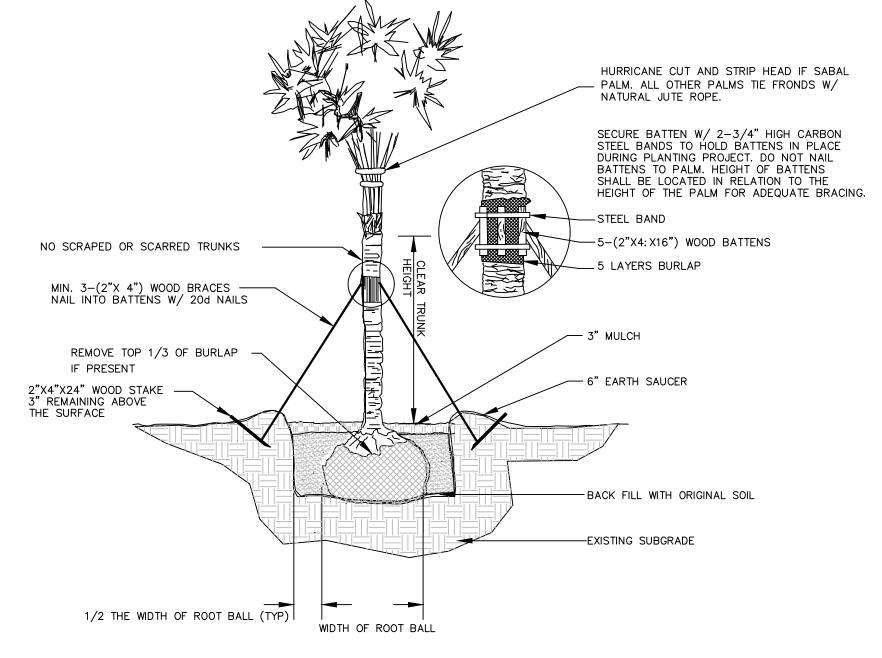




as part of this project. Application is available online from public works section of city website,



SHRUB PLANTING DETAIL

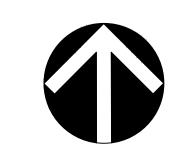


PALM PLANTING DETAIL

The Mirror of Paradise
Gabriela Fojt

LA 6667277 LC 26000628 3924 N. Ocean B

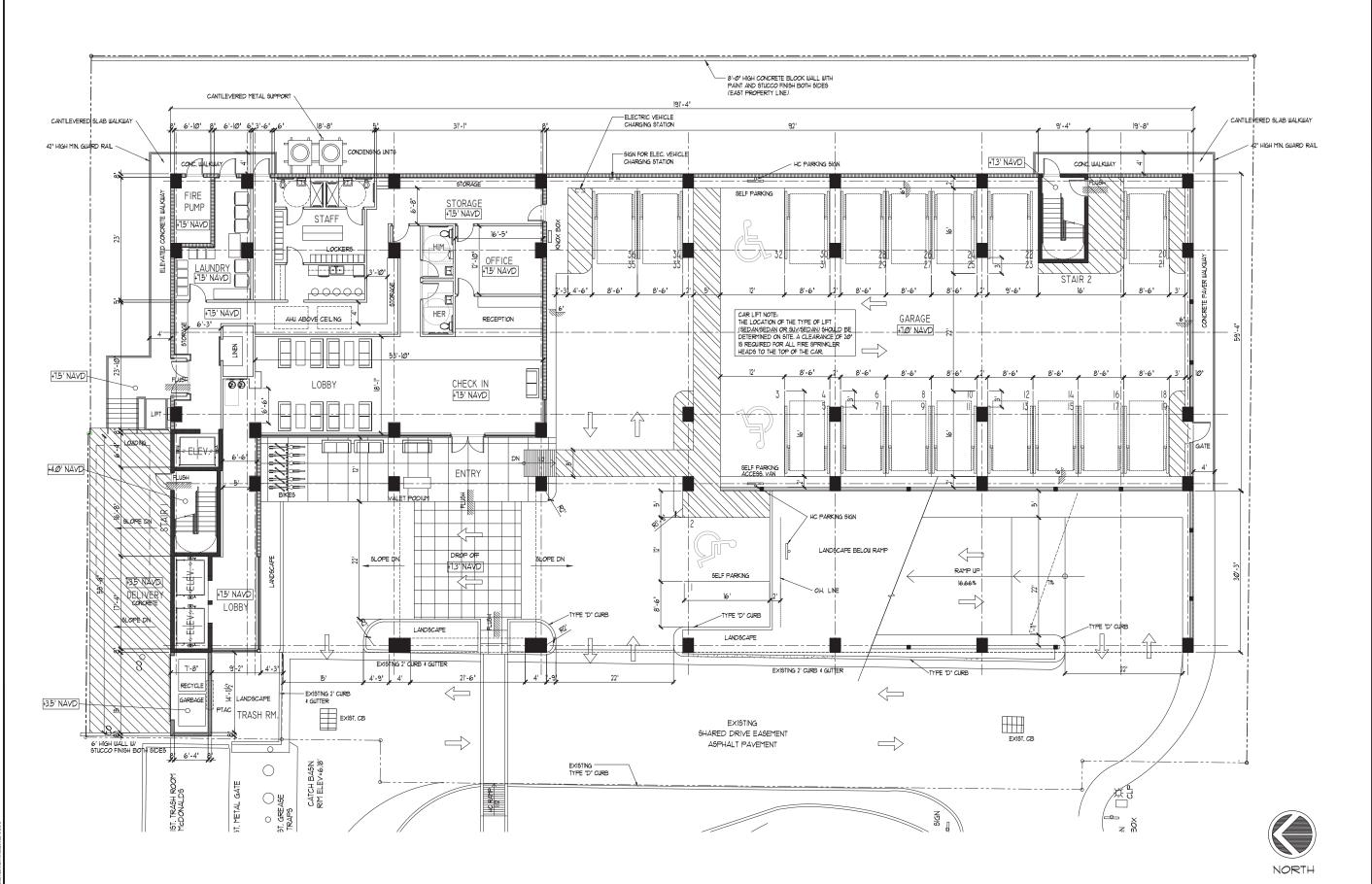
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gabriela@themirrorofparadise.com



| SCALE       | AS NOTEI   |
|-------------|------------|
| DESIGNED BY | GF, GW     |
| DRAWN BY    | GF         |
| CHECKED BY  | GF, GW     |
| CAD DWG.    |            |
| DATE        | 04.11.19   |
| REVISIONS   | 1 07.08.19 |
|             |            |

NOTES AND CODE CHART

30 S STATE 7 RD LLYWOOD, FLORIDA





**Kaller**Architecture

AA# 26001212 2417 Hollywood Blvd. Hollywood Florida 33020 954.920.5746 joseph@kallerarchitects.com

www.kallerarchitects.com

SEAL

5530 S. STATE ROAD 7 HOLLYWOOD FLORIDA 33314

the Kosher House

REVISIONS
No. DATE DESCRIPTION

1 2-19-19 PRELIM TAC 2 5-6-19 FINAL TAC

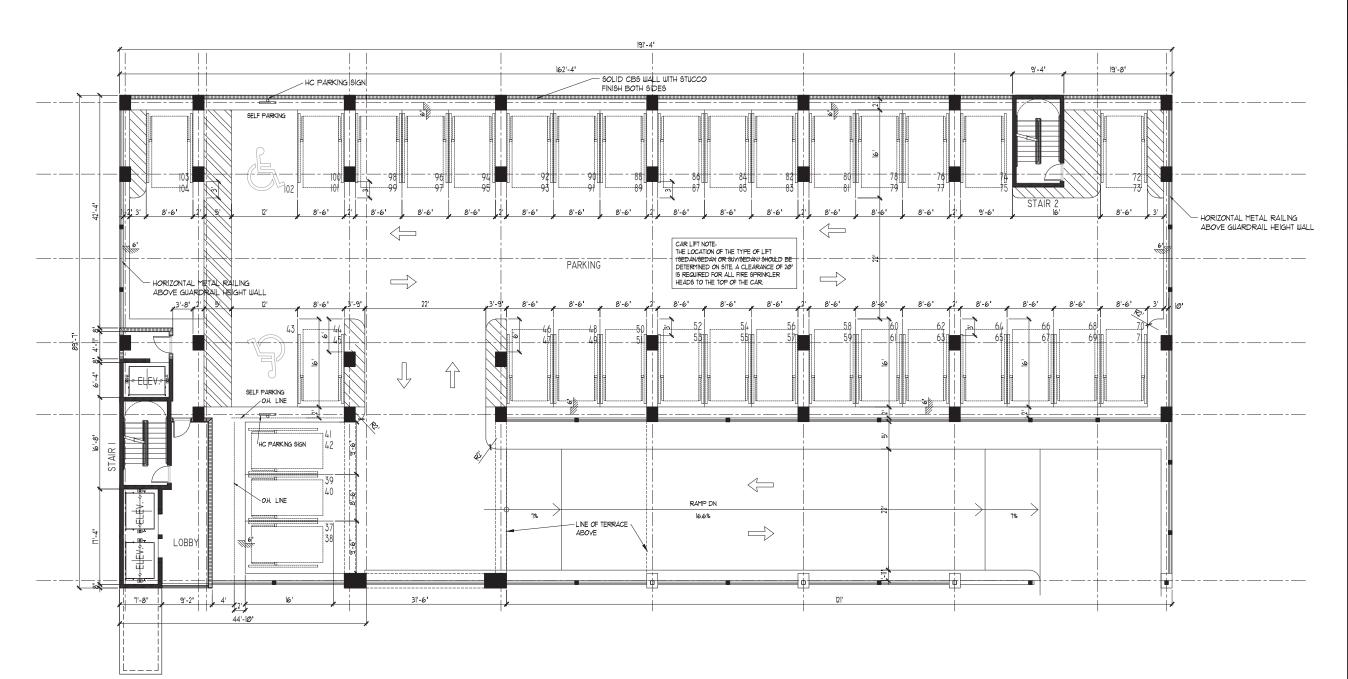
JBK

PROJECT No.: 16116 DATE: 1-24-19

CHECKED BY:

SHEET

**FIRST FLOOR PLAN** 





**SECOND FLOOR PLAN** 



**Kaller** Architecture

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com

SEAL

the Kosher House

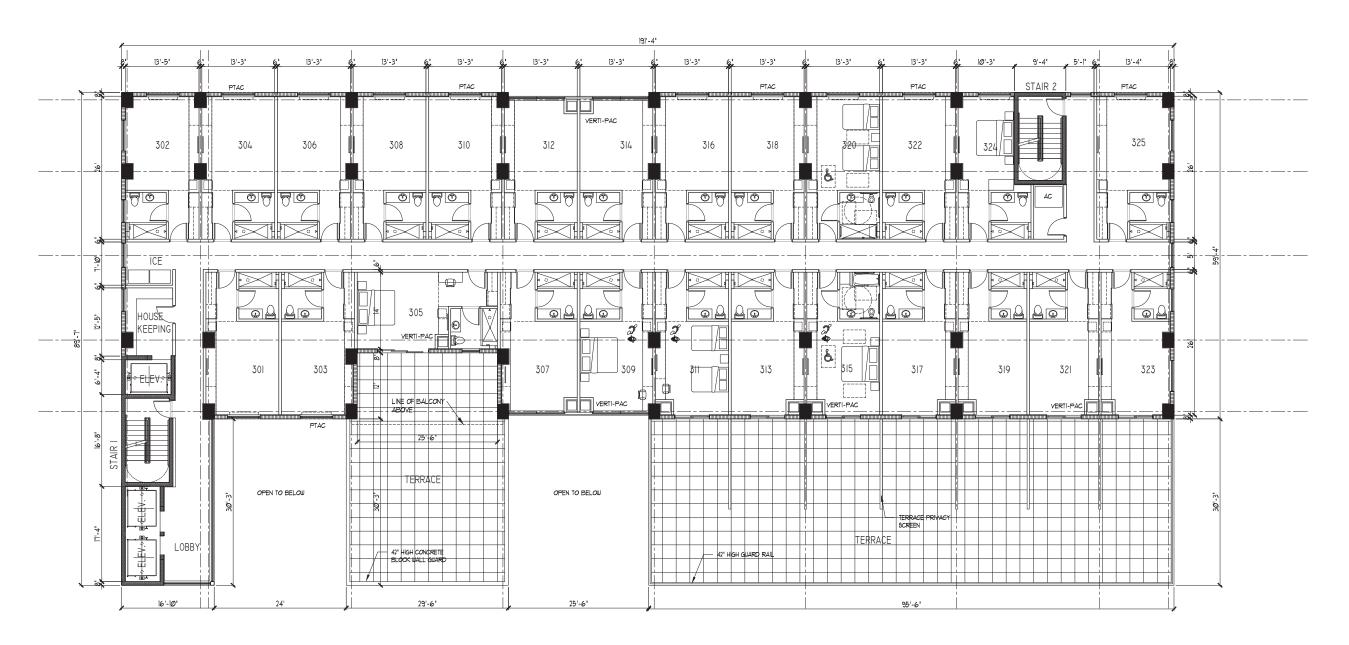
SECOND FLOOR PLAN

REVISIONS No. DATE DESCRIPTION

1 2-19-19 PRELIM TAC 2 5-6-19 FINAL TAC

PROJECT No.: 16116 DATE: CHECKED BY: JBK

SHEET





THIRD FLOOR PLAN



**Kaller** Architecture

AA# 26001212
2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com

SEAL

the Kosher House

THIRD FLOOR PLAN

REVISIONS
No. DATE DESCRIPTION

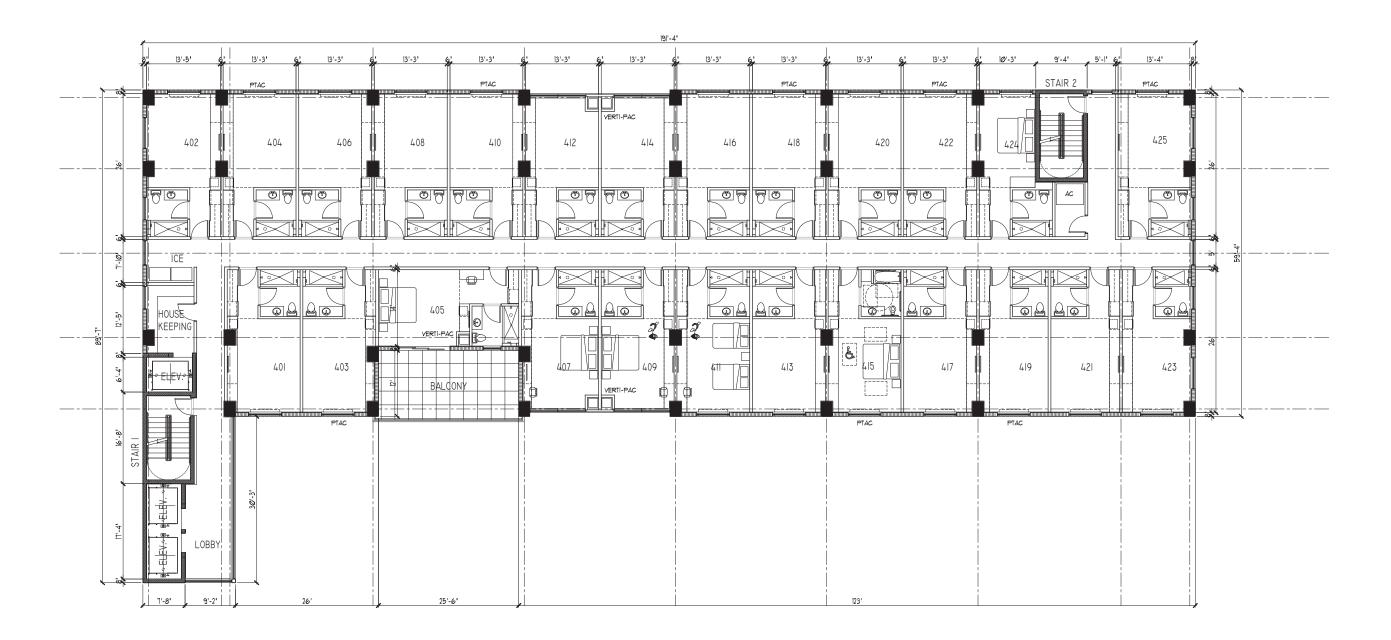
1 2-19-19 FINAL TAC 2 5-6-19 FINAL TAC

PROJECT No.: 16116 DATE:

CHECKED BY: JBK

SHEET

SHEET 3 OF 12





**FOURTH FLOOR PLAN** 



**Kaller** Architecture

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2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

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SEAL

the Kosher House

FOURTH FLOOR PLAN

REVISIONS No. DATE DESCRIPTION

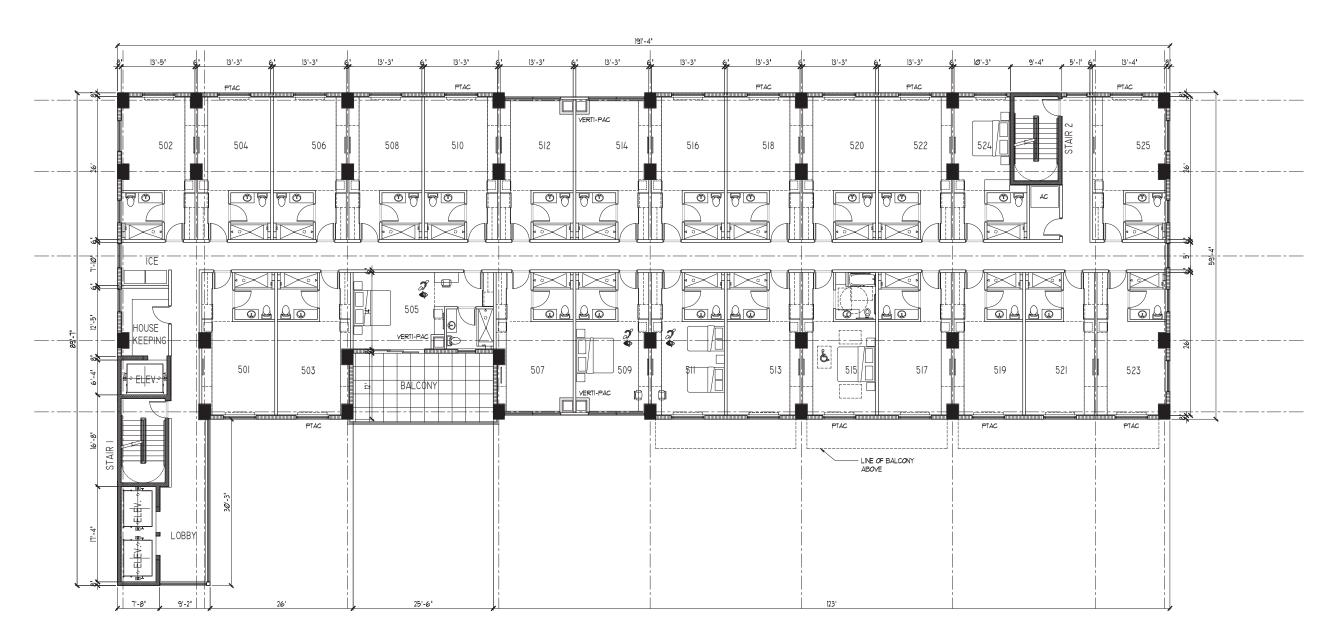
1 2-19-19 FINAL TAC 2 5-6-19 FINAL TAC

PROJECT No.: 16116 DATE: CHECKED BY: JBK

SHEET

SHEET 4 OF 12

**A-4** 





FIFTH FLOOR PLAN



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Hollywood Florida 33020
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FIFTH FLOOR PLAN

REVISIONS No. DATE DESCRIPTION

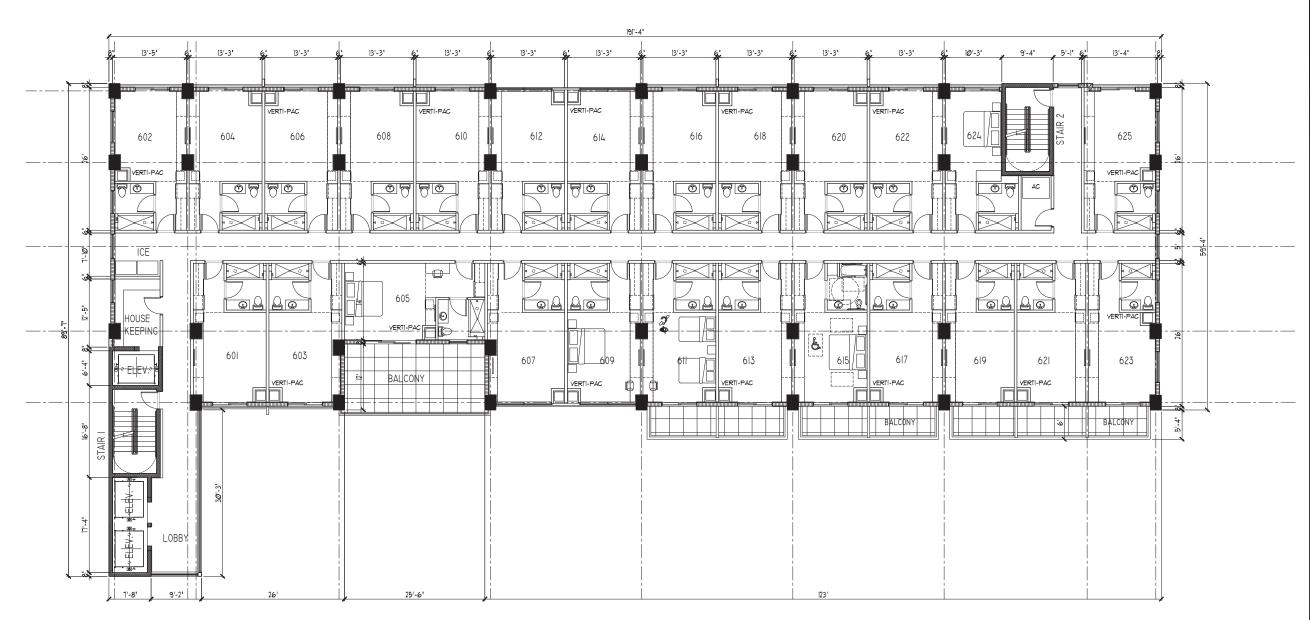
1 2-19-19 FINAL TAC 2 5-6-19 FINAL TAC

PROJECT No.: 16116 DATE: CHECKED BY: JBK

SHEET

SHEET 5 OF 12

**A-5** 





**SIXTH FLOOR PLAN** 



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SIXTH FLOOR PLAN

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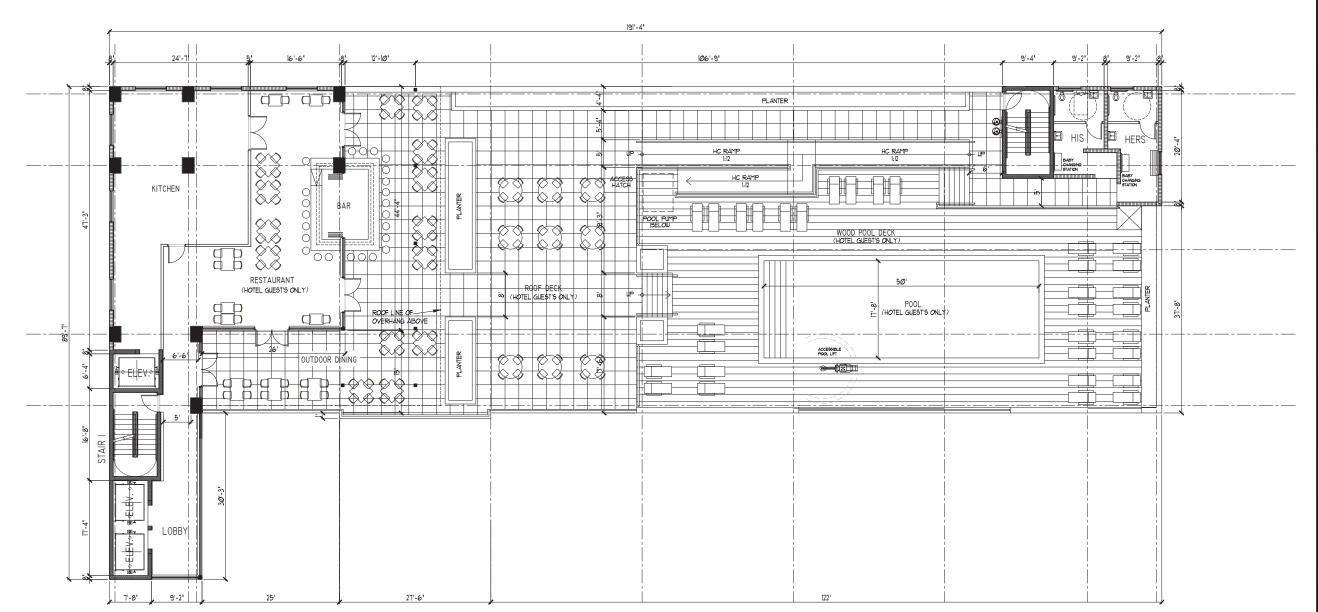
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PROJECT No.: 16116 DATE:

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SHEET

A-6 SHEET 6 OF 12





**ROOF AMENITIES PLAN** 



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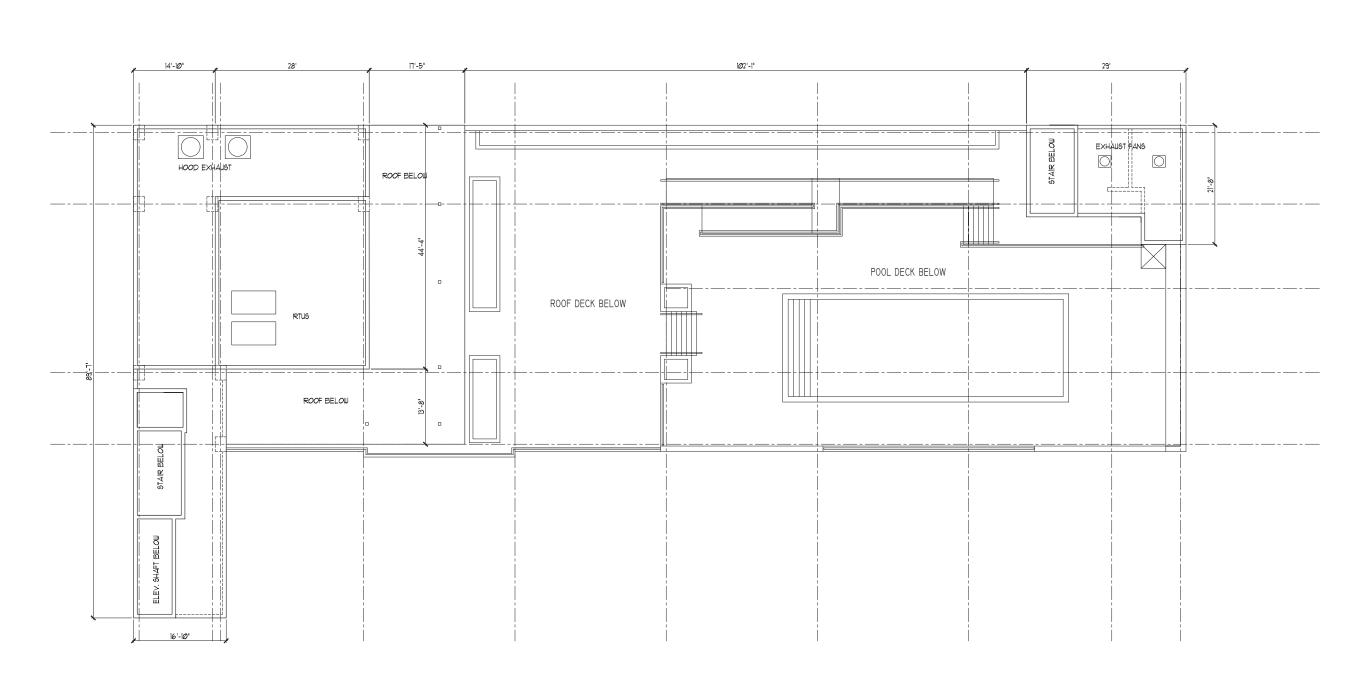
1 2-19-19 PRELIM TAC 2 5-6-19 FINAL TAC

PROJECT No.: 16116 DATE:

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SHEET

**A-7** 





ROOF PLAN
SCALE: 1/8" = 1'-0"



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2417 Hollywood Blvd.
Hollywood Florida 33020
954.920.5746
joseph@kallerarchitects.com

www.kallerarchitects.com

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the Kosher House

5530 S. STATE ROAD 7 HOLLYWOOD FLORIDA 33314

ROOF PLAN

REVISIONS No. DATE DESCRIPTION

1 2-19-19 PRELIM TAC 2 5-6-19 FINAL TAC

PROJECT No.: 16116 DATE: 1-24-19 DRAWN BY: TMS
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PTAC UNIT
POUDER COATED METAL COLUMN
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42' HIGH MIN, IMPACT RESISTANT METAL HORIZONTAL PICKET RAILING WITH WOOD TOP RAIL IMPACT RESISTANT TINTED CLERESTORY WINDOWS TEXTURED WALL FINISH FOR IVY HOOD EXHAUST FANS
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CANTILEVERED SLAB WALKWAY

24. CONTILEYERCH LIFT

26. IMPACT RESISTANT FRAMELESS GLASS WINDSCREEN SYSTEM

21. TRANSLUCENT FROSTED GLASS TO 5'-0' AFF.

**WEST ELEVATION** 



**Kaller** Architecture

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SEAL

JOSEPH B. KALLER LORIDA R.A. # 0009239

Φ Š 5530 S. STATE ROAD 7 HOLLYWOOD FLORIDA 33314

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ELEVATIONS

REVISIONS No. DATE DESCRIPTION

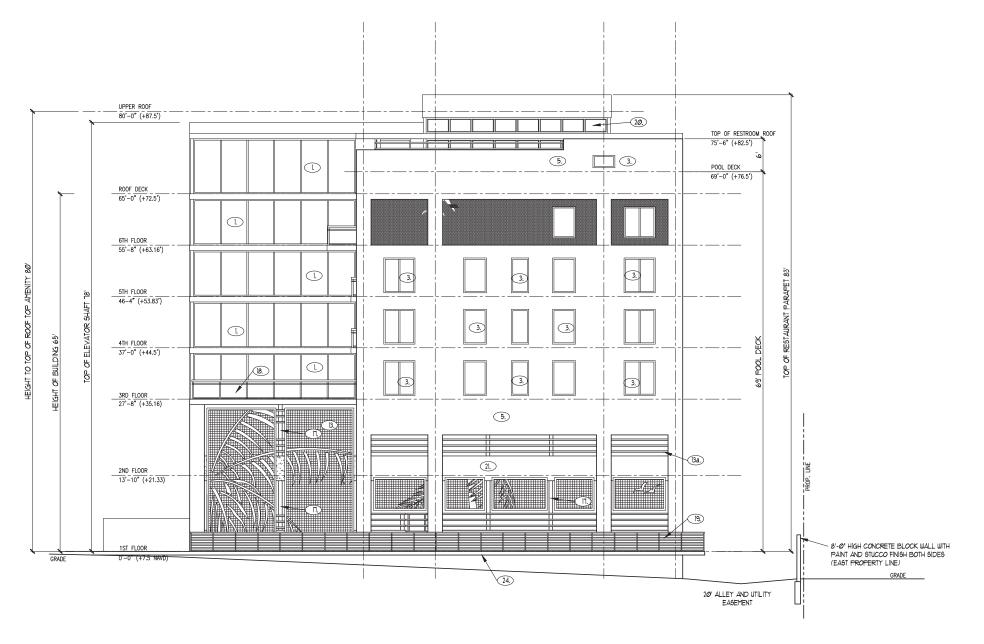
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PROJECT No.: 16116 DATE: 1-24-19

CHECKED BY: JBK

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**A-9** SHEET 8 OF 12



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DECORATIVE HORIZONTAL ALUMINUM TUBING FIXED TO SOLID CONCRETE WALL
CONCRETE EYEBROW
VERTICAL PLANT CABLE TRELLIS
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CONDENSING UNITS ON CANTILEVERED METAL STANDS.
CANTILEVERED SLAB WALKWAY

COMMERCIAL LIFT

COMMERCIAL LIFT
IMPACT RESISTANT FRAMELESS GLASS WINDSCREEN SYSTEM
TRANSLUCENT FROSTED GLASS TO 5'-0' AFF.

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the

ELEVATIONS

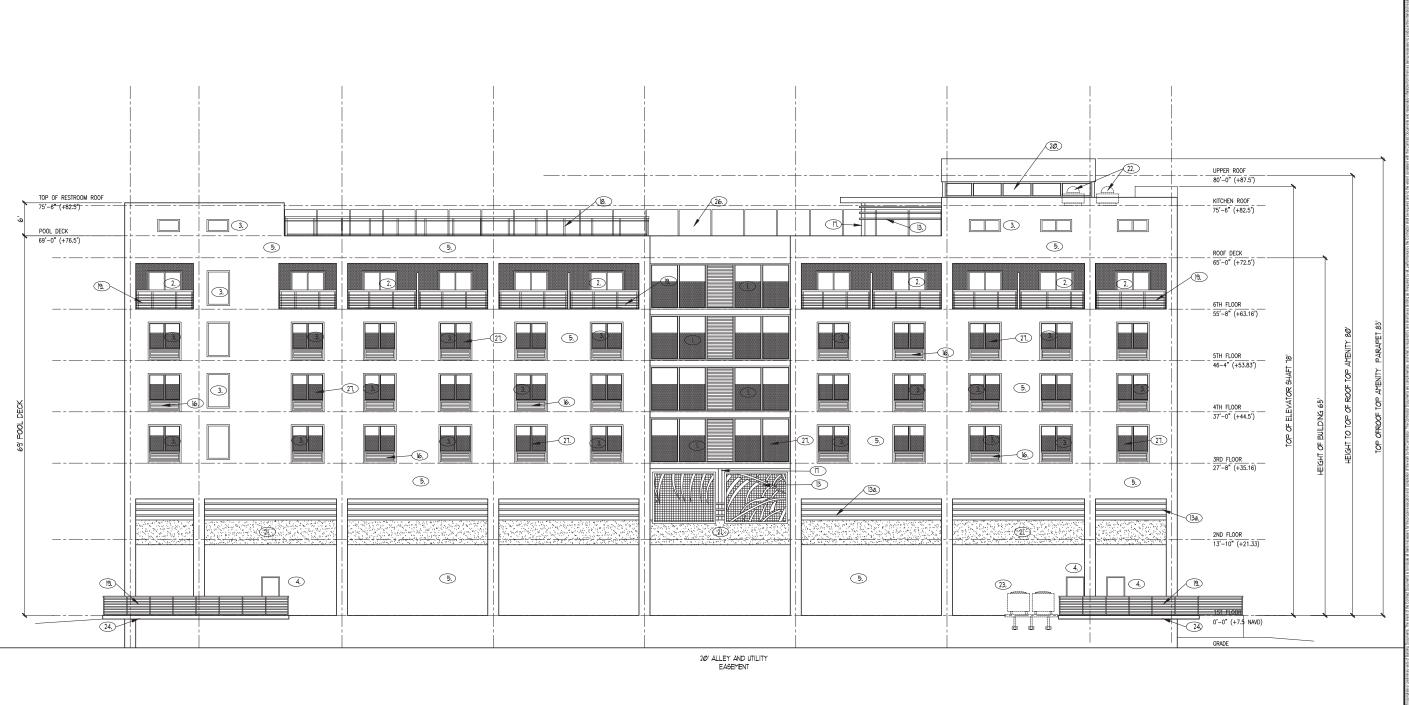
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PROJECT No.: 16116 DATE: 1-24-19 CHECKED BY: JBK

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14. CONCRETE EYERROW

15. VERTICAL PLANT CABLE TRELLIS

16. PTAC UNIT

17. POWDER COATED METAL COLUMN

18. 42' HIGH HINL MPACT RESISTANT ALLMINIM' AND GLASS RAILING

19. 42' HIGH HINL MPACT RESISTANT METAL HORIZONTAL PICKET RAILING WITH WOOD TOP RAIL

20. IMPACT RESISTANT INTED CLERESTORY WINDOWS

21. TEXTURED WALL FINISH FOR IVY

22. HOOD EXHAUST FANS

23. CONDENSING WITS ON CANTILEVERED METAL STANDS.

24. CANTILEVERED SLAB WALKWAY

25. COMMERCIAL LIFT 25. COMMERCIAL LIFT
26. IMPACT RESISTANT FRAMELESS GLASS WINDSCREEN SYSTEM
21. TRANSLUCENT FROSTED GLASS TO 5'-0" AFF.

**EAST ELEVATION** 



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the Kosher House 5530 S. STATE ROAD 7 HOLLYWOOD FLORIDA 33314

ELEVATIONS

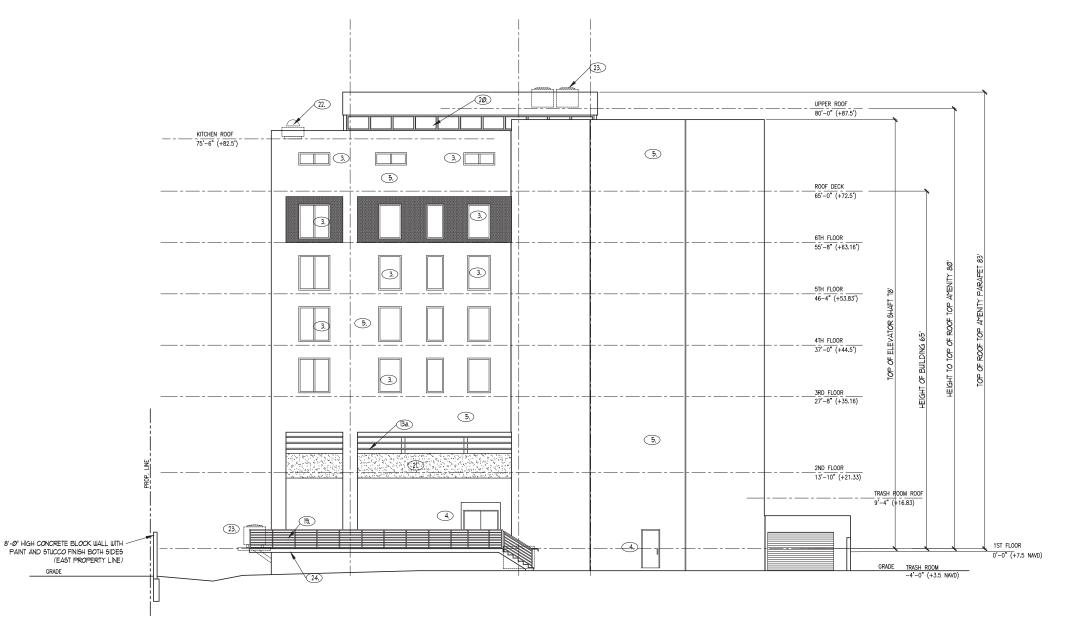
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PROJECT No.: 16116

DATE: 1-24-19 CHECKED BY: JBK

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TINTED IMPACT RESISTANT TINTED STOREFRONT
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SMOOTH STUCCO WALL FINISH
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B. DECORATIVE ALUMINM LASER CUT SCREEN, OPEN TO GARAGE BEHIND

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CONCRETE EYEBROW

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15. VERTICAL PLANT CABLE TRELLIS

16. PTAC UNIT

17. POWDER COATED METAL COLUMN

18. 42° HIGH MIN. IMPACT RESISTANT ALUMINUM AND GLASS RAILING

19. 42° HIGH MIN. IMPACT RESISTANT METAL HORIZONTAL PICKET RAILING WITH WOOD TOP RAIL

10. IMPACT RESISTANT TINTED CLERESTORY WINDOWS

11. TEXTURED WALL FINISH FOR IVY

12. HOOD EXHAUST FANS

13. CONDENSING WITS ON CANTILEVERED METAL STANDS.

14. CANTILEVERED SLAB WALKWAY

15. COMPERCIAL LIFT

16. IMPACT RESISTANT FRAMELESS GLASS WINDSCREEN SYSTEM

17. TRANSLUCENT FROSTED GLASS TO 5°-0" AFF.

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ELEVATIONS

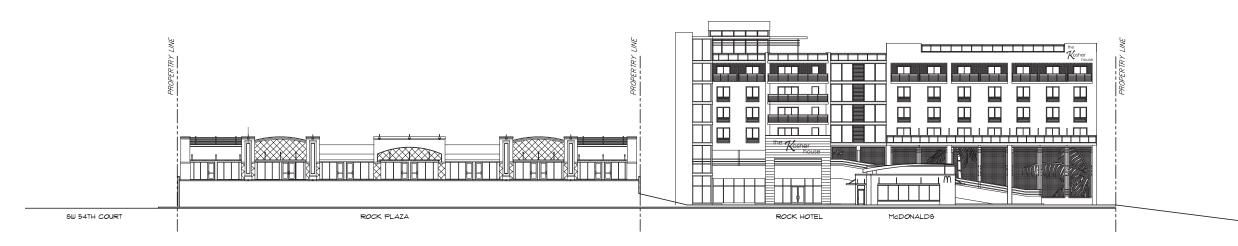
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No. DATE DESCRIPTION

2-19-19 PRELIM TAC 5-6-19 FINAL TAC 9-12-19 PLANNING DEPT.

PROJECT No.: 16116 DATE: 1-24-19 CHECKED BY: JBK

SHEET

SHEET 11 OF 12



STATE ROAD 7 LOOKING EAST



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the Kosher House

ELEVATIONS

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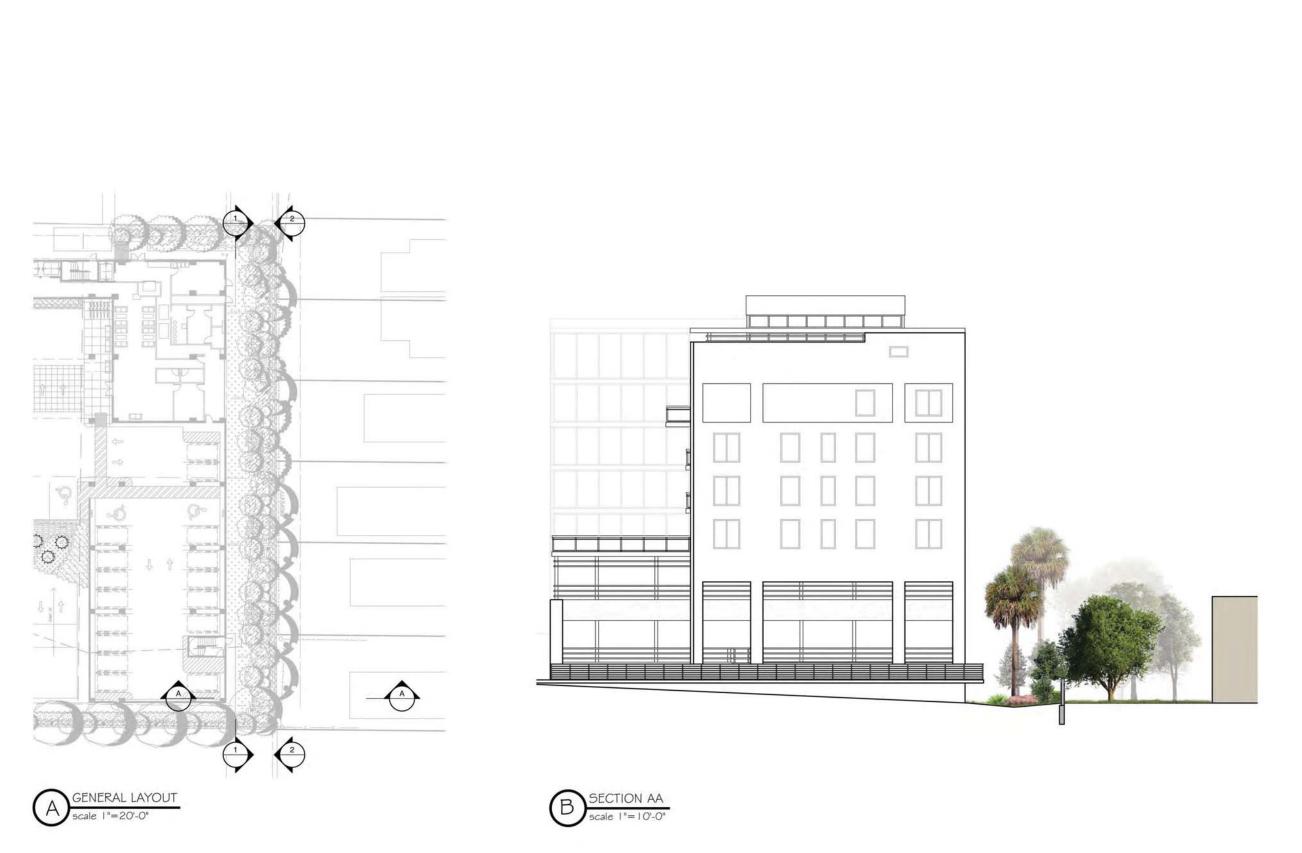
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2 5-6-19 FINAL TAC
3 8-20-19 PLANNING DEPT.
4 9-12-19 PLANNING DEPT.

PROJECT No.: 16116 DATE: CHECKED BY: JBK

SHEET

SHEET 12 OF 12









The Mirror of Paradise

Gabriela Fojt LA 6667277 LC 26000628

3924 N. Ocean Blvd. Fort Lauderdale FL 33308 Tel (954) 478 3064 www.florida-landscape.com gabriela@themirrorofparadise.com

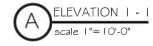


| SCALE       | AS NOTE  |
|-------------|----------|
| DESIGNED BY | GF, GW   |
| DRAWN BY    | GF       |
| CHECKED BY  | GF, GW   |
| CAD DWG.    |          |
| DATE        | 04.11.19 |
| REVISIONS   |          |

ELEVATION AND SECTION OF EAST BUFFER

The Kosher House 5530 S STATE 7 RD HOLLYWOOD, FLORIDA













The Mirror of Paradise

Gabriela Fojt LA 6667277 LC 26000628

3924 N. Ocean Blvd.
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| SCALE       | AS NOT  |
|-------------|---------|
| DESIGNED BY | GF, GV  |
| DRAWN BY    | G       |
| CHECKED BY  | GF, GV  |
| CAD DWG.    |         |
| DATE        | 04.11.1 |
| REVISIONS   |         |

ELEVATION AND SECTION OF EAST BUFFER



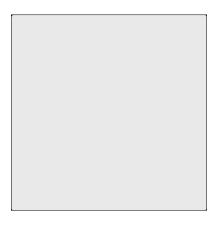




5530 SOUTH STATE ROAD 7 HOLLYWOOD FL 33314

MAIN ENTRY FINISH benjamin moore pure white OC-64



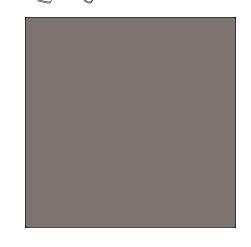


ACCENT COLOR ivy wall covering



ACCENT COLOR benjamin moore grey mountain 1462





## the Kosher house

5530 SOUTH STATE ROAD 7 HOLLYWOOD FL 33314

GUARDRAIL horizontal picket

with wood top rail



GUARDRAIL painted aluminum and tempered glass



TERRACE PRIVACY SCREEN



satin bronze finish





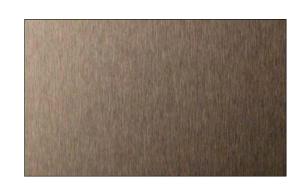
5530 SOUTH STATE ROAD 7 HOLLYWOOD FL 33314

STOREFRONT



SLIDERS AND WINDOWS

satin bronze finish





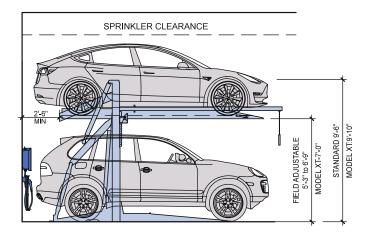


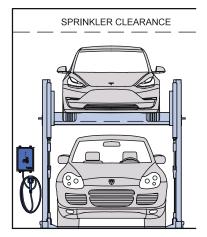
## **DP003**

## **DOUBLE STACKER**2 Level Parking System



### SPEC SHEET PARKPLUS DP003 DOUBLE STACKER



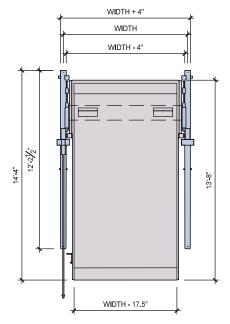


### Clearance

S = Standard/SUV C = Compact/Sedan

| MODEL | HEIGHT |
|-------|--------|
| C/C   | 10'-6" |
| C/S   | 12'-2" |
| S/S   | 14'-0" |
| S/S*  | 14'-6" |

\*LA City requirement



### Width

| MODEL | WIDTH  |
|-------|--------|
| W01   | 7'-11" |
| W02   | 8'-3"  |
| W03   | 8'-6"  |
| W04   | 9'-0"  |
| W05   | Custom |

WIDTH = Center of Leg to Center of Leg

The PARKPLUS DP003 Double Stacker is a hydraulic 2-post, 2-level cantilevered vehicle lift for parking cars one above another. The DP003 raises and locks a platform in place so that a second vehicle can be parked at grade.

Entire assembly comes pre-welded and is assembled in the field. Stackers may be installed as single units or in arrays with shared common legs. Stacker is designed to be mounted on grade, concrete or asphalt. Approved foundation system may be required for installation of stackers.

The PARKPLUS DP003 Double Stacker is designed to be installed indoors and outdoors. Platform height is field adjustable in 11/2" increments. Each city may have minimum height requirements and different clear requirements for code required parking. Owner/Architect should review with local planning and building departments. MEP coordination with project team must meet code requirements and satisfy equipment clearances.

### Suitable for

- · Standard passenger vehicles
- SUVs

### **Specifications**

Load per Platform: 6,000 lbs. Weight of Unit: +/- 3.050 lbs. Length of Platform: 13'-6" Length incl. Overhang: 16'-6" Width of Unit: 7'-11" to 9'-0" 9'-6" to 9'-10" **Height of Unit:** Operation: Hydraulic

Control: **Push Button Pendant** 

\*Custom Height and Width Available

### **Power Pack**

Hydraulic Power System (HPS)

HPS1: 1-2 units

(208-230V / 1 PH / 60 HZ / 2-3 HP / 18 FLA)

HPS-1P10: 1-30 units

(208-230V / 1 PH / 60 HZ / 10 HP / 40 FLA)

HPS-3P10: 1-30 units

(208-230V / 3 PH / 60 HZ / 10 HP / 28.4 FLA)

### **Electrical**

1 Disconnect required per HPS

3 PH 208-230V / 40Amp

1 PH 208-230V / 60Amp

All control wiring is a Class 2 Circuit 24V

### Applications

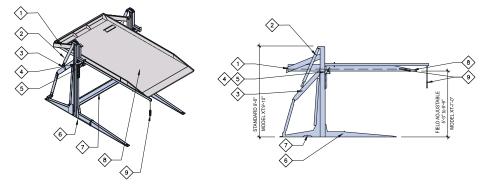
DP003 Double Stacker can be installed in attended/valet and self-park applications:

- Single & Multi-Family Residential Buildings
- Indoor & Outdoor Installations
- Low & High Rise Buildings
- Commercial Buildings
- Surface Lots



- In-house Design, Manufacturing, Installation & Service
- Minimal Moving Parts Reduced Maintenance
- Galvanized, Commercial-Grade Machines
- Premium Quality Hydraulic Cylinders





# THE DOTA S DETAILS DETAILS

### **Components**

- (1) CRADLE FRAME ASSEMBLY
- 2 HYDRAULIC CYLINDER
- 3 PARALLEL ARM ASSEMBLY
- 4 ADJUSTABLE HEIGHT ASSEMBLY
- 5 SAFETY LOCKS ASSEMBLY
- 6 END LEG ASSEMBLY
- 7 SEISMIC BEAM ASSEMBLY
- 8 PLATFORM ASSEMBLY
- 9 PUSH BUTTON CONTROLS

### Layout

PARKPLUS DP003 Double Stacker can be arranged in single or tandem arrays on either side of a drive aisle. Queuing space of at least 2 vehicles must be provided to allow for shuffling of cars. Queuing space may be in drive aisle. For commercial projects, during peak traffic, all platforms will be lowered for quick filling of stackers. Surface space to be provided for code-required Accessible Parking.

### **ADDITIONAL INFORMATION**

### Safety

Device is equipped with safety locking system. 'Posi-lock' double suspension system holds full weight of vehicle on platform in locked position. Device can be equipped with individual keyed controller for extra safety. Self-attended applications may require additional sensors to detect objects located under platform or entering the area below platform.

### **Fire Protection**

In most metropolitan areas, car stackers are reviewed as similar to high piled storage and non-building structures. Fire rating of structural components is not required. Sprinklers may be required per following section. Each city may have fire department guidelines.

### **Fire Sprinklers**

**Outdoor: 1.** Most cities do not require fire sprinklers. **2.** May need to conform to additional zoning regulations and building code requirements.

**Indoor:** 1. Installation shall be in a sprinklered garage. In tandem array, additional sprinkler requirements may apply. 2. Sprinkler Plans filed and approved by local municipality. 3. Sprinkler system designed as required by NFPA 13 and local building codes. 4. Clear building height within parking area must accommodate height of equipment plus additional requirements for adequate coverage of fire sprinklers.

### **Temperature**

Device is designed to operate between 20° and 120° F. For below freezing environments, hydraulic heaters for Power Packs are recommended.

### Loading

Structural design and loading is provided on a project by project basis and is dependant on seismic zones, soil conditions and other environmental conditions.

### Warranty

12-month Standard Manufacturer's Warranty on new equipment. Equipment Lifespan: Indoor = 7,500 cycles; Outdoor = 5,000 cycles.

### **Service**

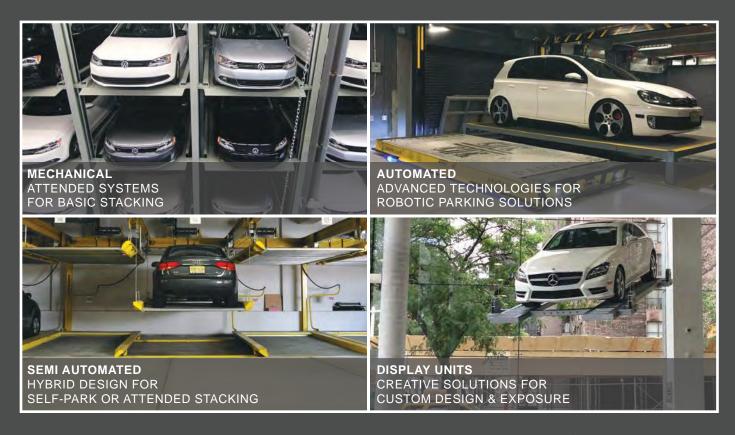
At end of 12-month warranty period a service contract is available upon request.

Rental option may include Service & Maintenance for full term.

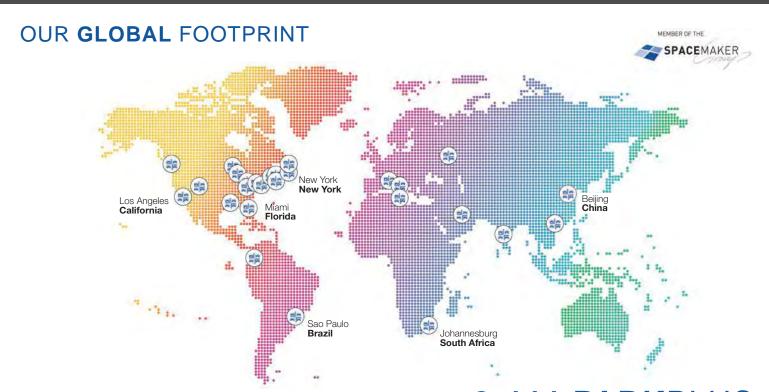
### **Approvals**

- MEA/OTCR Certified, City of New York
- LAETL Approved, LARR#930501, City of Los Angeles
- California Seismic Code Compliant
- Miami Dade County Compliant
- · Approved in Multiple U.S. Cities

### **PARK**PLUSINC.COM



INFO@PARKPLUSINC.COM







PARKPLUS, INC. HEAD OFFICE 83 BROAD AVENUE, SUITE 2 FAIRVIEW, NJ 07022 PARKPLUS CALIFORNIA 8640 TAMARACK AVENUE LOS ANGELES, CA 91352 PARKPLUS FLORIDA, INC. 1111 OLD GRIFFIN ROAD DANIA BEACH, FL 33004