

ATTACHMENT II
Revised Design

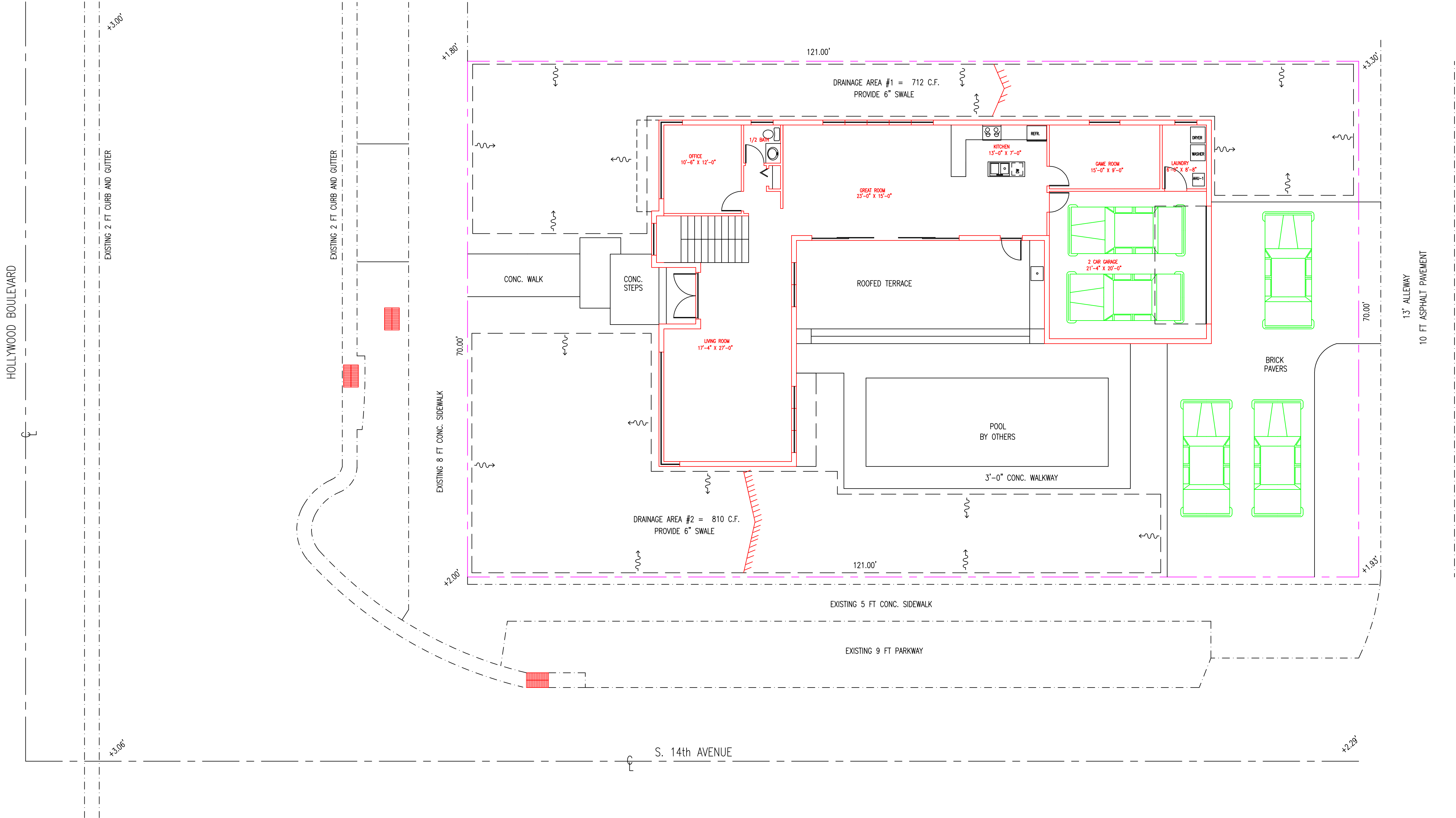
WILKES RESIDENCE 1380 HOLLYWOOD BLVD. HOLLYWOOD, FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR-13378

1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358

DRAWING INDEX

SHT-1	DRAINAGE PLAN
SHT-2	SITE PLAN
SHT-3	GROUND FLOOR PLAN
SHT-4	SECOND FLOOR PLAN
SHT-5	BUILDING ELEVATIONS



LOT COVERAGE INFORMATION

- 8,470.00 S.F. SQUARE FEET OF LOT
- 2,265.00 S.F. SQUARE FEET OF RESIDENCE (FOOT PRINT)
- N/A SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES
- N/A SQUARE FEET OF ADDITION
- 1,611.00 S.F. SQUARE FEET OF PROPOSED ACCESSORY STRUCTURE
- 3,876.00 S.F. SQUARE FEET OF ALL IMPERVIOUS AREA OF LOT
- 45.77 % PERCENTAGE OF IMPERVIOUS LOT COVERAGE

SITE CALCULATION:

SITE: 8,470.00 S.F. 0.19 ACRES

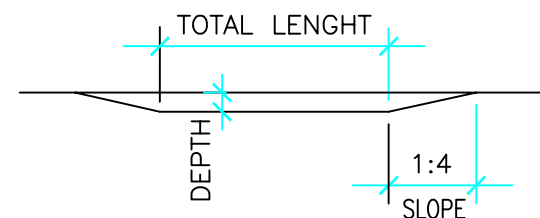
BUILDING FOOTPRINT	2,265.00 S.F.	26.74 %
FRONT ENTRANCE	39.00 S.F.	0.46 %
REAR TERRACE AND STEPS	472.00 S.F.	5.57 %
FRONT STEPS AND WALK	200.00 S.F.	2.36 %
POOL AND POOL DECK	790.00 S.F.	9.32 %
DRIVEWAYS	1,025.00 S.F.	12.10 %
LANDSCAPE PERVIOUS	3,679.00 S.F.	43.43 %

SITE DRAINAGE CALCULATIONS

1" OVER THE ENTIRE SITE:
1" X 8470 = 8470 / 12 = 706 C.F. REQUIRED

AREA #1 = 1425 S.F. X .50' = 712 C.F.
AREA #2 = 1620 S.F. X .50' = 810 C.F.

TOTAL 1,522 C.F. PROVIDED



DRAINAGE PLAN

SCALE: 1/8"=1'-0"
ALL DIMENSIONS ARE TO BE FIELD VERIFIED
FLOOD ZONE AE-6

LEGAL DESCRIPTION:
LOT 30 AND THE WEST 20 FT OF LOT 29, BLOCK 8
HOLLYWOOD LAKES SECTION, PLAT BOOK 1 PAGE 32
BROWARD COUNTY FLORIDA

GROUND FLOOR LIVING AREA	1,795.00 S.F.
GARAGE	470.00 S.F.
TOTAL GROUND FLOOR	2,265.00 S.F.
TOTAL SECOND FLOOR	1,310.00 S.F.
TOTAL RESIDENCE	3,575.00 S.F.
TOTAL LIVING AREA	3,105.00 S.F.
REAR TERRACE	472.00 S.F.
FRONT ENTRY	39.00 S.F.

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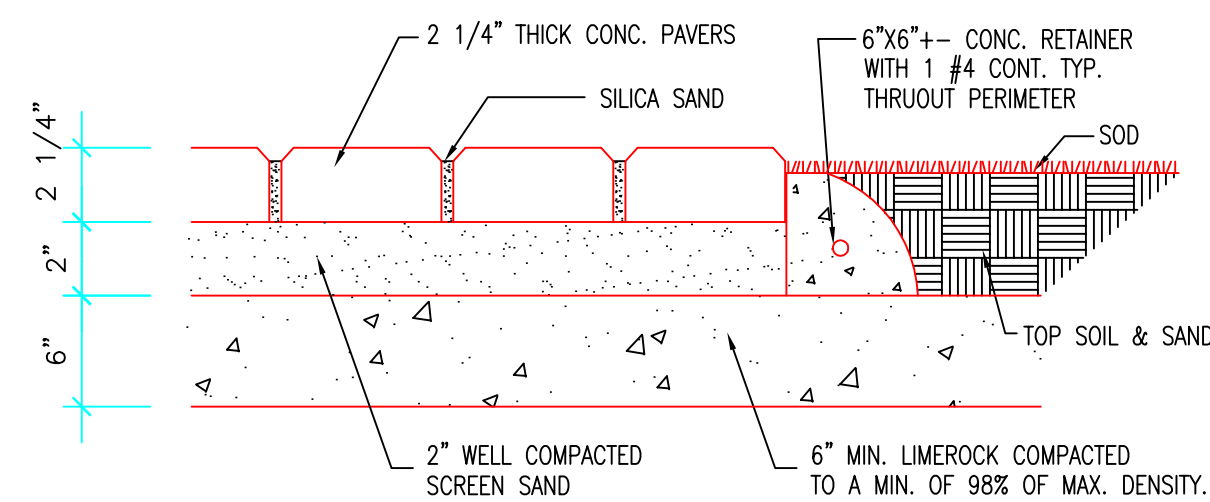
WILKES RESIDENCE
1380 HOLLYWOOD BLVD.
HOLLYWOOD, FLORIDA

CONTACT: JUAN F. WILKES (786) 838-8159

CHECKED	
DRAWN	
DATE	10-22-2019
COMM. NO.	18-204

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N.T.S.

TOTAL A/C AREA = 3,105.00 S.F.
 3,105.00 - 2,000 = 1,105.00 S.F.
 1,105.00 S.F. / 500 = 2.21
 4.21 SPACES REQ. 5 SPACES PROVIDED

SITE: 8,470.00 S.F. 0.19 ACRES

BUILDING FOOTPRINT	2,265.00 S.F.	26.74 %
FRONT ENTRANCE	39.00 S.F.	0.46 %
REAR TERRACE AND STEPS	472.00 S.F.	5.57 %
FRONT STEPS AND WALK	200.00 S.F.	2.36 %
POOL AND POOL DECK	790.00 S.F.	9.32 %
DRIVEWAYS	1,025.00 S.F.	12.10 %
LANDSCAPE PERVIOUS	3,679.00 S.F.	43.43 %



SCALE: 1/8"=1'-0"
ALL DIMENSIONS ARE TO BE FIELD VERIFIED
FLOOD ZONE AE-6

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TOTAL RESIDENCE	3,575.00 S.F.
TOTAL LIVING AREA	3,105.00 S.F.
REAR TERRACE	472.00 S.F.
FRONT ENTRY	39.00 S.F.

NO.	DATE	REVISION
1	8-5-2019	ZONING COMMENTS
2	12-12-2019	ZONING COMMENTS

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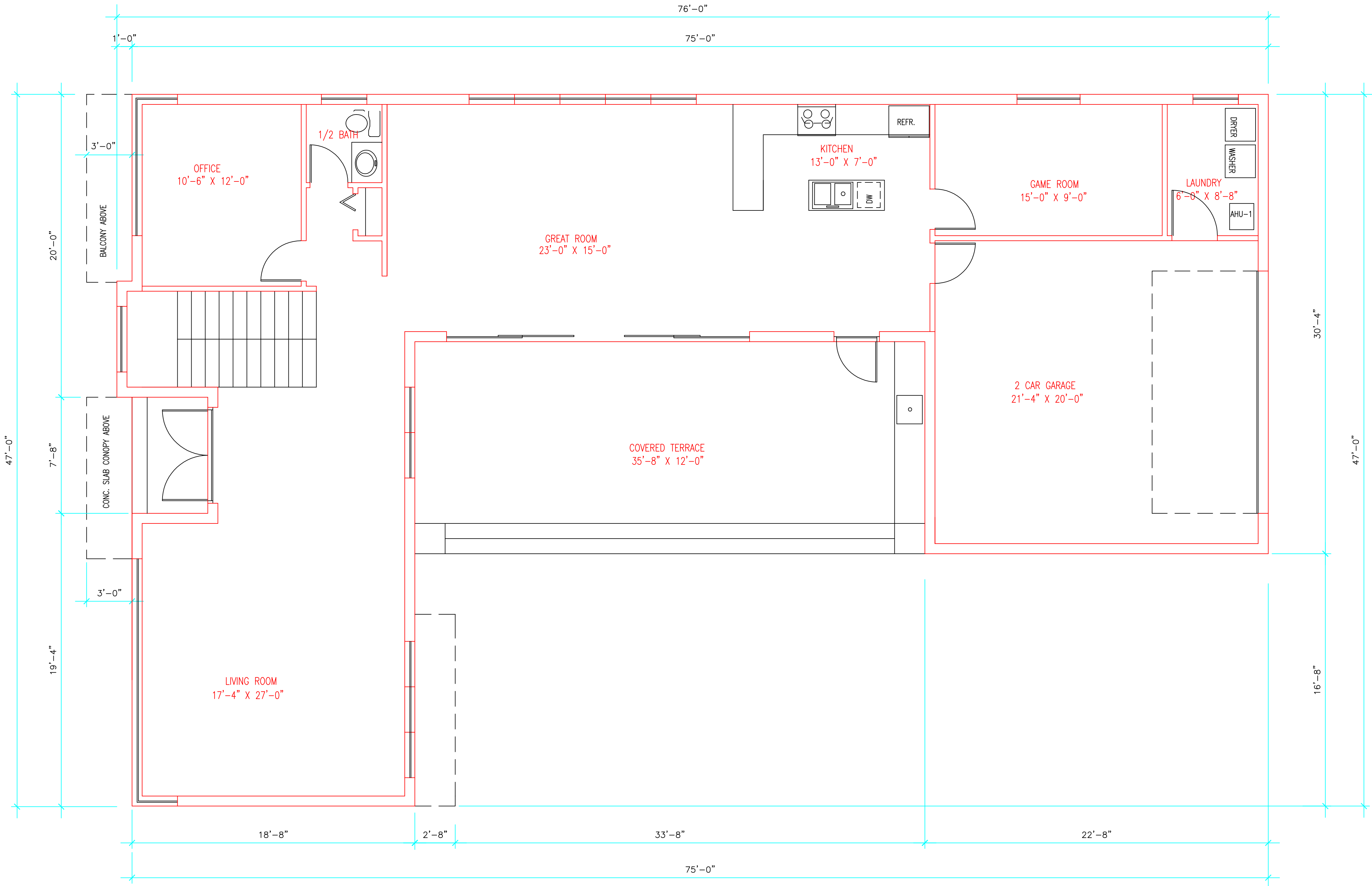
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GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"

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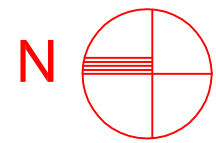
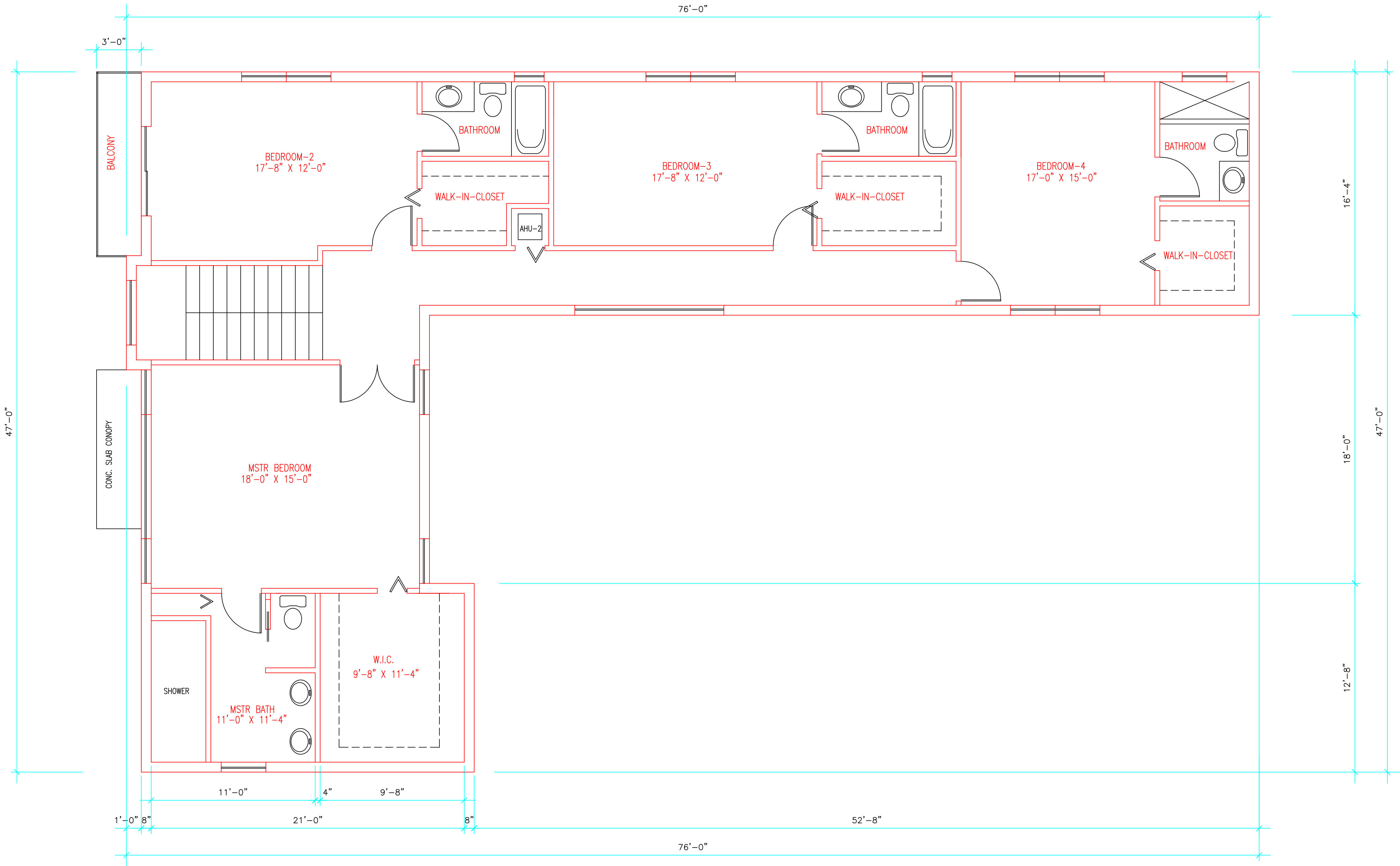
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SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" 1,795.00 S.F.

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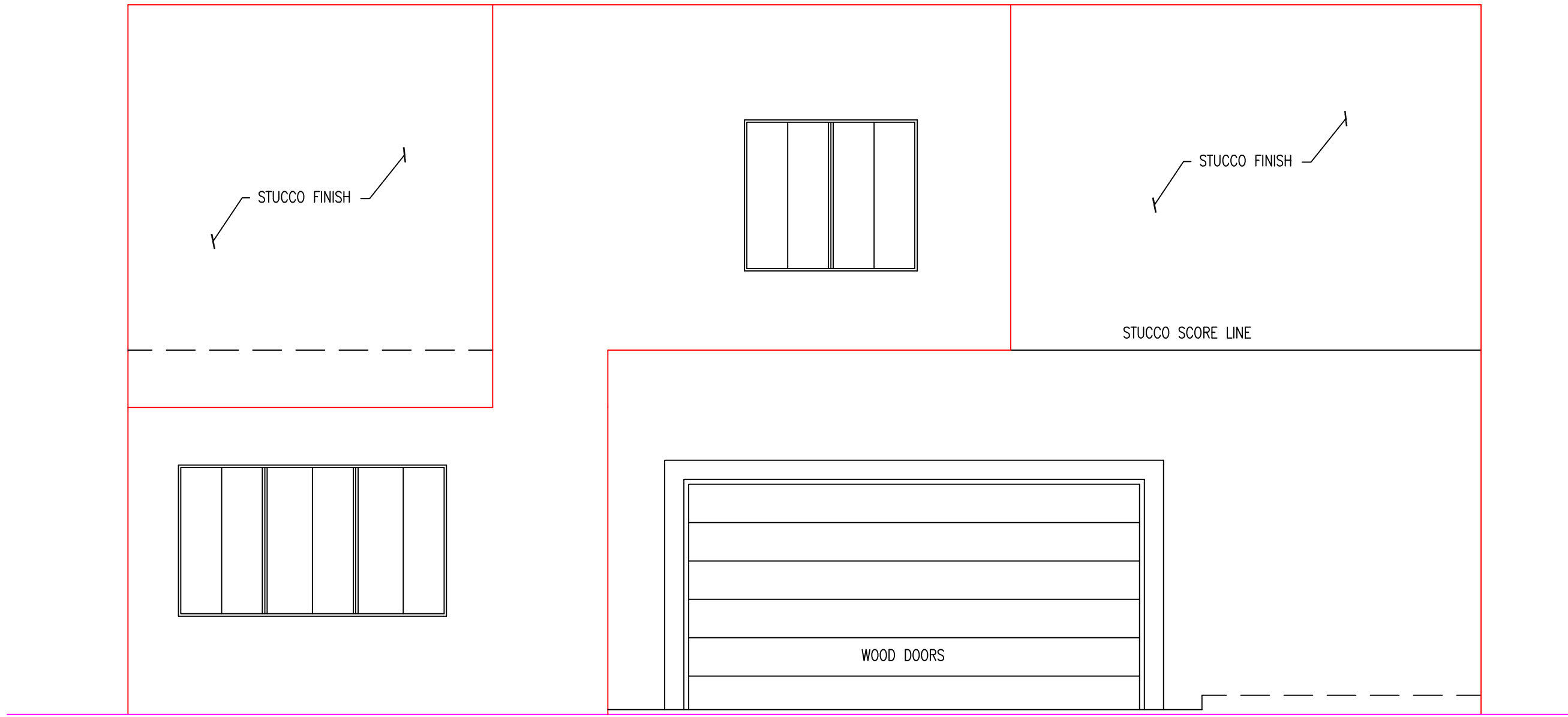
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HOLLYWOOD, FLORIDA

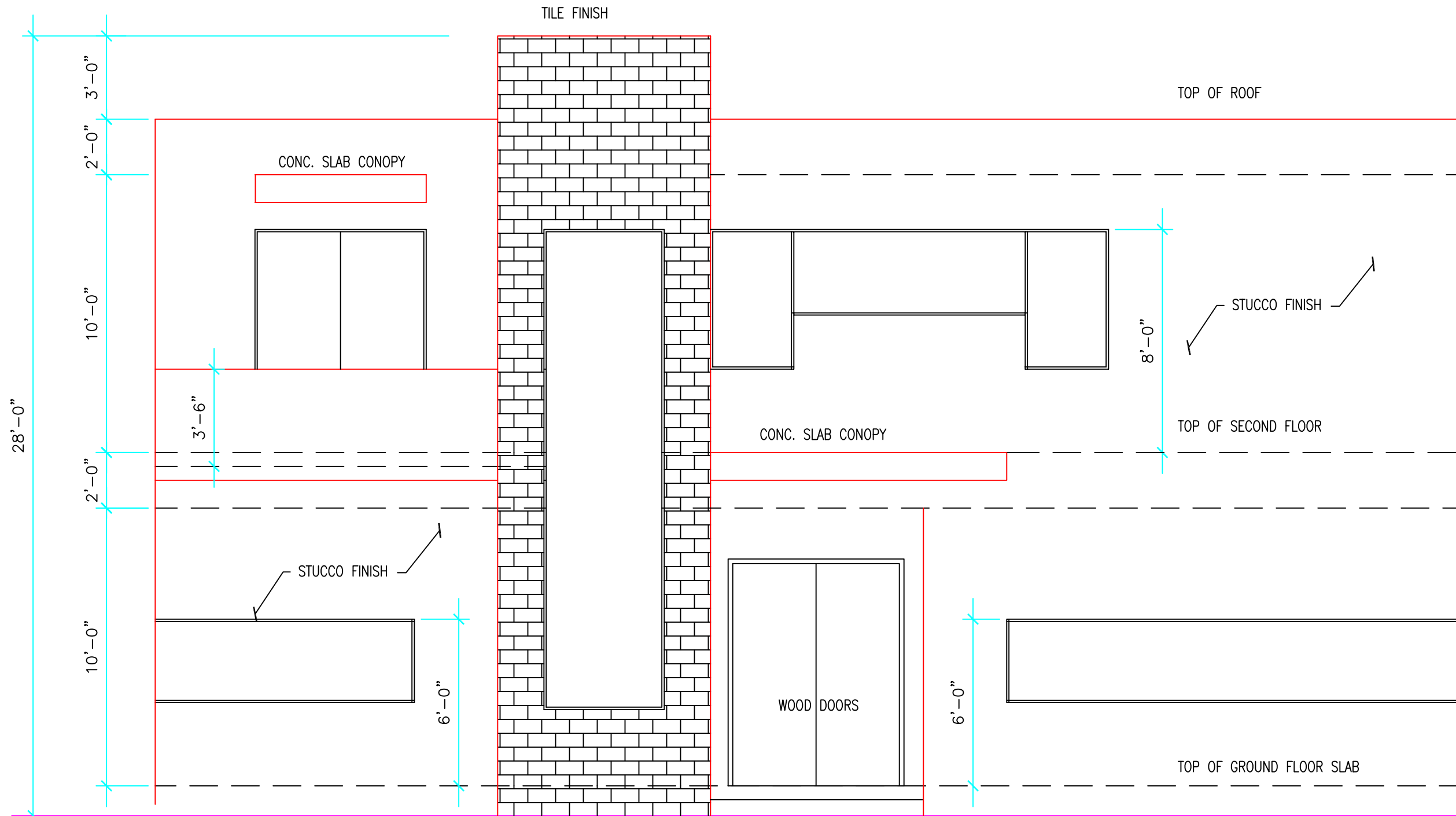
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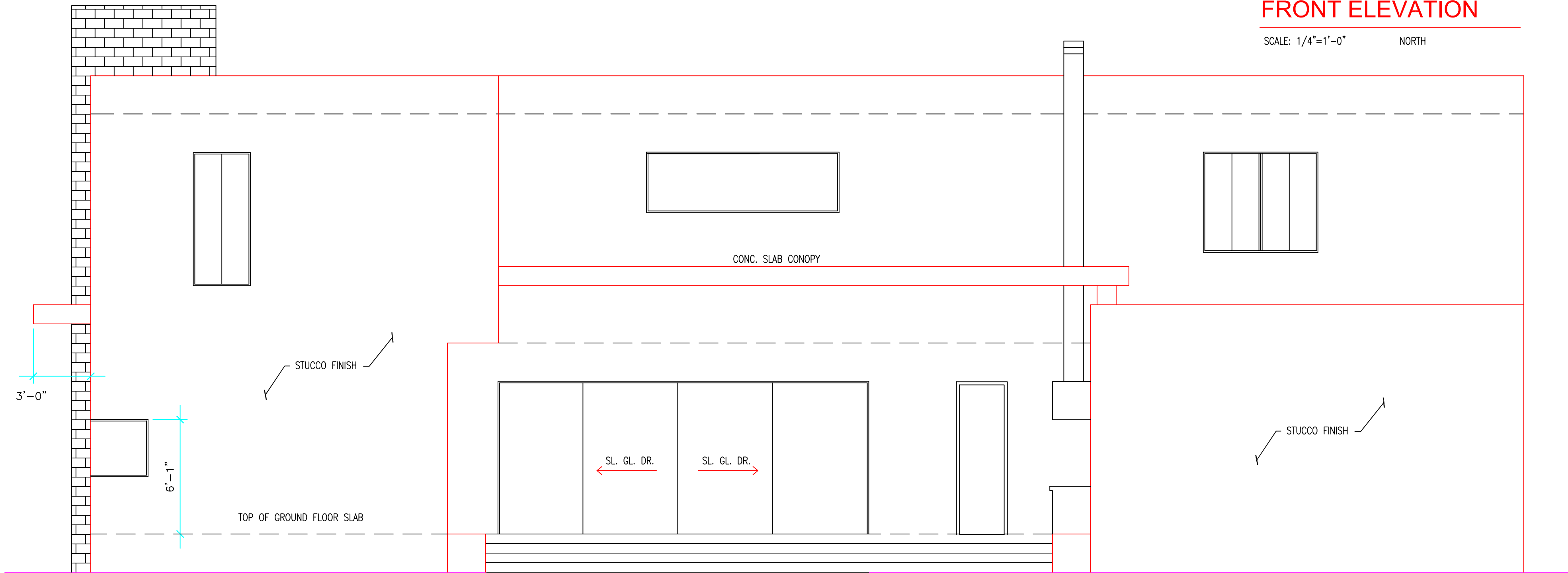
REAR ELEVATION

SCALE: 1/4"=1'-0" SOUTH



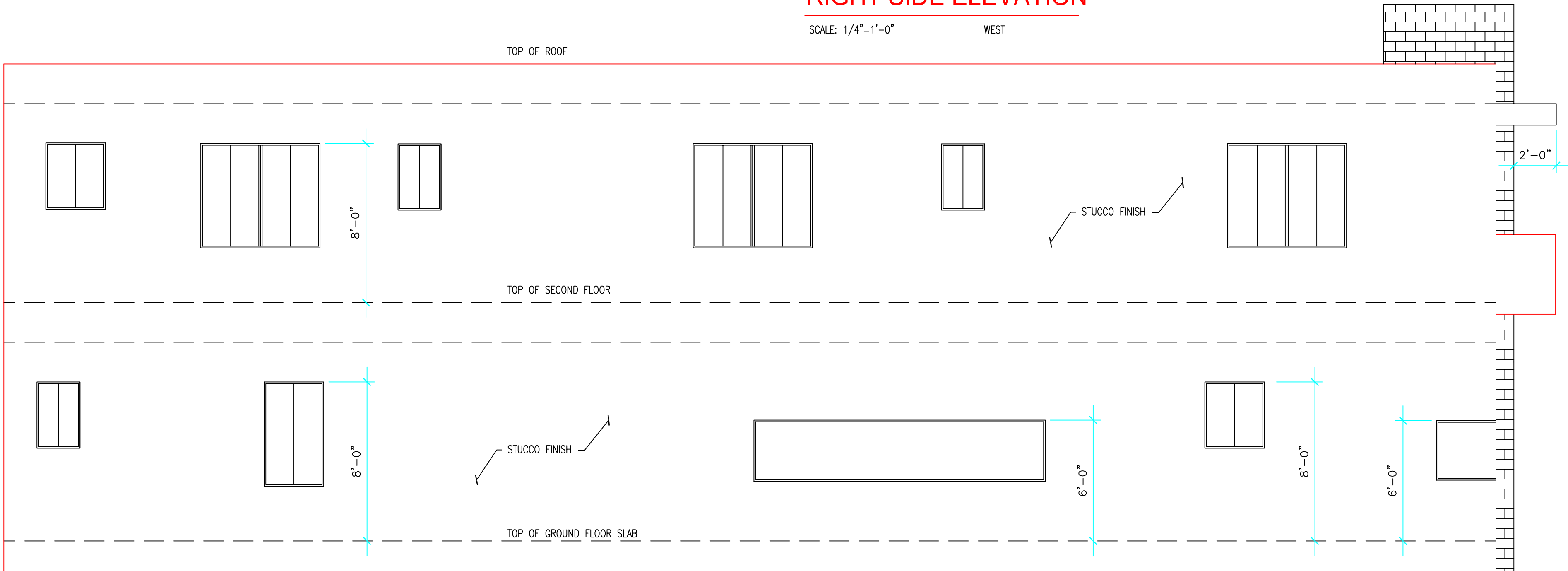
FRONT ELEVATION

SCALE: 1/4"=1'-0" NORTH



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0" WEST



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0" EAST

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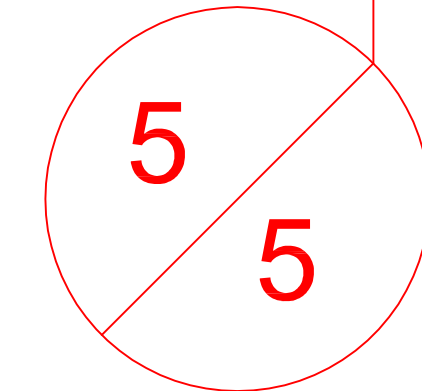
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NO.	DATE	REVISION	ZONING COMMENTS
1	12-12-2019		

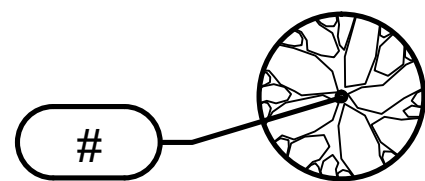
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CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

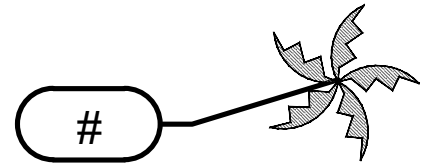


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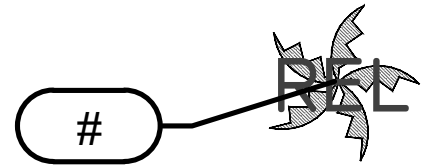
TREE SYMBOL LEGEND



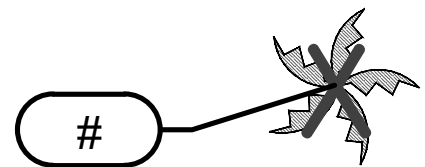
- EXISTING TREE TO REMAIN
SEE TREE PROTECTION FENCING
DETAIL FOR FENCING TO BE ERECTED
AND MAINTAINED DURING ENTIRE
CONSTRUCTION PERIOD



- EXISTING PALM TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR
FENCING TO BE ERECTED AND MAINTAINED
DURING ENTIRE CONSTRUCTION PERIOD



- EXISTING PALM TO BE RELOCATED
SEE PREPARATION AND CARE IN NOTES AND
SPECIFICATIONS THIS PAGE



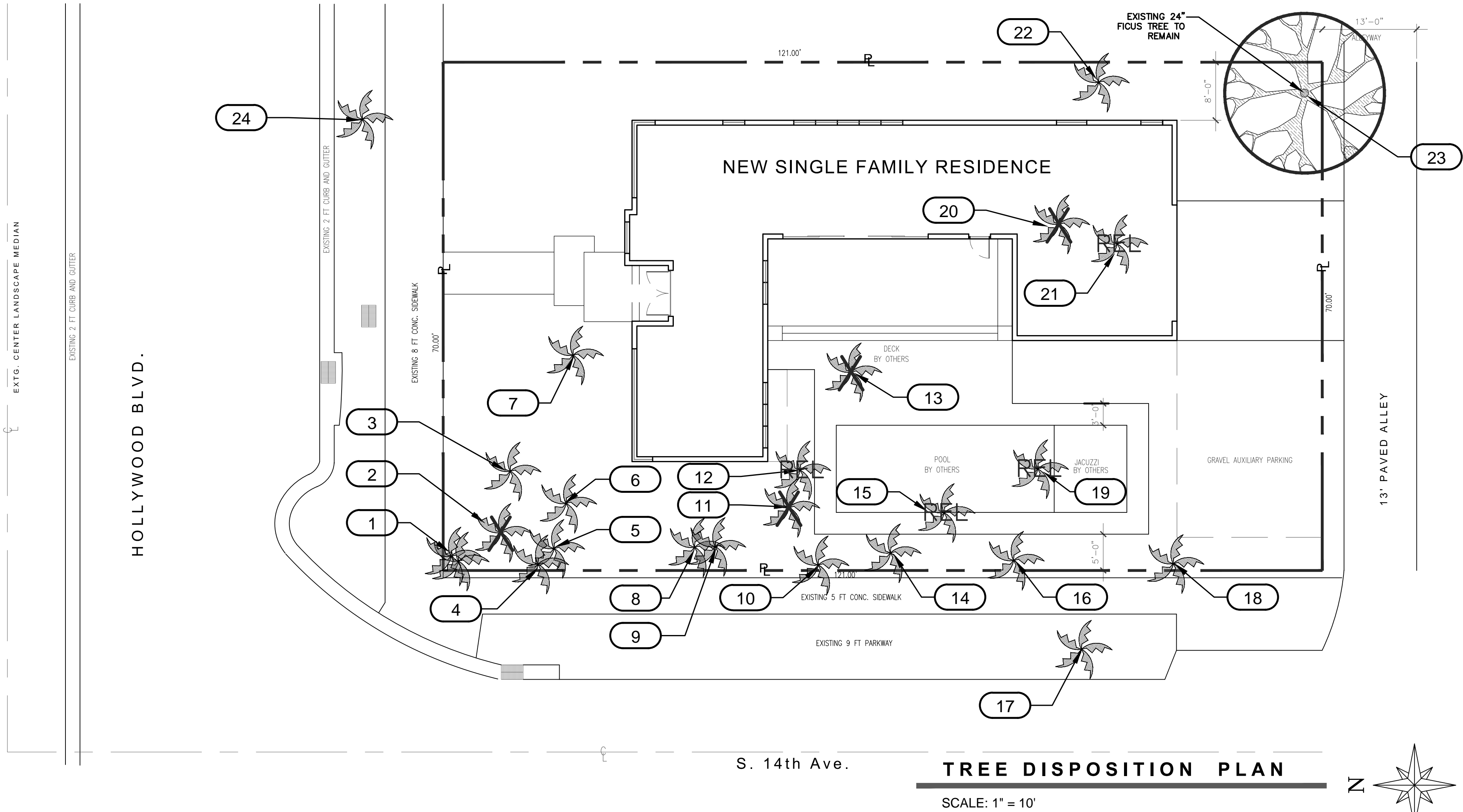
- EXISTING PALM TO BE REMOVED
REMOVE ENTIRE ROOT SYSTEMS AND
FILL/LIGHTLY COMPACT/GRADE WITH
SUITABLE SOIL

TREE DISPOSITION TABLE

No.	LATIN NAME	COMMON NAME	DBH	SIZE	DISPOSITION
1	Veitchia merrillii	Double Christmas Palm	n/a	10' X 10'	REMAIN
2	Roystonea elata	Florida Royal Palm (Dead)	n/a	38' X 0'	REMOVE
3	Syagrus romanzoffiana	Queen Palm	n/a	16' X 12'	REMAIN
4	Syagrus romanzoffiana	Queen Palm	n/a	16' X 12'	REMAIN
5	Syagrus romanzoffiana	Queen Palm	n/a	22' X 15'	REMAIN
6	Syagrus romanzoffiana	Queen Palm	n/a	20' X 14'	REMAIN
7	Roystonea elata	Florida Royal Palm	n/a	35' X 20'	REMAIN
8	Syagrus romanzoffiana	Queen Palm	n/a	20' X 15'	REMAIN
9	Syagrus romanzoffiana	Queen Palm	n/a	24' X 16'	REMAIN
10	Roystonea elata	Florida Royal Palm	n/a	18' X 16'	REMAIN
11	Syagrus romanzoffiana	Queen Palm	n/a	20' X 14'	REMOVE
12	Roystonea elata	Double Florida Royal Palm	n/a	22' X 24'	RELOCATE
13	Cocos nucifera	Coconut Palm	n/a	30' X 18'	REMOVE
14	Roystonea elata	Florida Royal Palm	n/a	45' X 18'	REMAIN
15	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	RELOCATE
16	Syagrus romanzoffiana	Queen Palm	n/a	22' X 14'	REMAIN
17	Roystonea elata	Double Florida Royal Palm	n/a	45' X 28'	REMAIN
18	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	REMAIN
19	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	RELOCATE
20	Dypsis lutescens	Areca Palm	n/a	20' X 25'	REMOVE
21	Roystonea elata	Florida Royal Palm	n/a	30' X 18'	RELOCATE
22	Roystonea elata	Florida Royal Palm	n/a	35' X 18'	REMAIN
23	Ficus aurea	Strangler Fig	24"	22' X 20'	REMAIN
24	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	REMAIN

TOTAL DBH INCHES (NON-EXEMPT SPECIES) TO BE MITIGATED: 0"

TOTAL REPLACEMENT PALMS TO BE MITIGATED: 3 (or 1 12/2" DBH tree at 1:3)



TREE DISPOSITION NOTES & SPECIFICATIONS

- CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL. BY PLACING A BID OR SUBMITTING A PROPOSAL TO DO THE WORK HEREIN CONTRACTOR ACKNOWLEDGES HE HAS REVIEWED THE PLANS, VISITED THE SITE AND FOUND NO MAJOR CONFLICTS.
- THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN. ALL FINAL PLANS SHALL BE COORDINATED WITH FINAL APPROVED SITE PLAN.
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
- THE TREE REMOVAL WORK HEREIN WILL REQUIRE MITIGATION IN ACCORDANCE WITH CITY OF HOLLYWOOD ARTICLE 9 TREE MITIGATION REQUIREMENTS.
- CONTRACTOR TO COMPLETELY REMOVE ALL PARTS OF TREES SPECIFIED FOR REMOVAL ON THE TREE DISPOSITION PLAN. GRIND ALL TRUNKS/ROOT SYSTEMS OR TREES TO BE REMOVED A MINIMUM OF 18" DEPTH IN THEIR ENTIRETY AND FILL AND COMPACT WITH SUITABLE CLEAN SOIL TO FINAL GRADE.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE CHANGES IN MATERIAL, QUANTITIES AND PROJECT SCOPE TO CONTRACTED WORK.
- IN THE EVENT OF DISPUTE, THE LANDSCAPE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
- ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- CONTRACTOR TO LEAVE SITE COMPLETELY CLEAN, RESTORED, AND FREE OF DEBRIS. CONTRACTOR TO REPAIR IN FULL ANY DAMAGE CAUSED BY WORK OR MOBILIZATION.
- FOR ALL TREES TO BE REMOVED, CONTRACTOR TO TAKE PROPER CARE IN REMOVAL TO NOT CAUSE DAMAGE TO EXISTING SITE FEATURES, CONDITIONS, INFRASTRUCTURE, OR THE GENERAL PUBLIC AND PASSERSBY. COMPLETELY REMOVE TREES AND PROPERLY DISPOSE OF REMAINS OFF-SITE.
- NO TREES SHALL BE REMOVED OR RELOCATED UNTIL A CITY OF HOLLYWOOD TREE REMOVAL PERMIT IS ISSUED. APPLICATIONS ARE AVAILABLE IN ROOM 308 OF CITY HALL OR VIA WEBSITE DOWNLOAD AT WWW.HOLLYWOODFL.ORG > DEPARTMENTS > ENGINEERING > ENGINEERING SERVICES
- ALL TREES TO REMAIN SHALL BE PROTECTED IN PLACE BY A TREE PROTECTION BARRIER FENCE ERECTED TO THE EXTENTS OF THE CANOPY DRIPLINES. SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL INFORMATION. FAILURE TO MAINTAIN THE BARRIERS MAY RESULT IN DAMAGE TO TREES SPECIFIED TO REMAIN, ESPECIALLY ONES CLOSE TO ACTIVE CONSTRUCTION, WHICH MAY RESULT IN TREE MITIGATION COSTS, ADDITIONAL PERMITTING TIME AND COSTS, OR REJECTION OF TREES AT TIME OF FINAL INSPECTION. TREE PROTECTION BARRIERS ARE TO REMAIN IN PLACE, TO THE EXTENTS OF THE TREE DRIPLINES, FOR THE ENTIRE DURATION OF CONSTRUCTION.
- FOR ALL PALMS PROPOSED FOR RELOCATION ARE TO BE ROOT PRUNED AND CARED FOR AS FOLLOWS PRIOR TO, DURING, AND AFTER RELOCATION:
 - PRUNE ROOTS AND TO A DEPTH OF 18" AROUND ENTIRE PERIMETER OF PALMS TO CREATE A 4' DIAMETER TRENCH AND PRUNE LOWER FRONDS A MINIMUM OF 2 WEEKS PRIOR TO RELOCATION
 - FILL TRENCH WITH MULCH OR OTHER MEDIUM TO RETAIN MOISTURE; INSURE THAT ROOTS REMAIN MOIST **AT ALL TIMES**
 - IN PREPARATION FOR RELOCATION DIG ROOTBALL TO A MINIMUM 30-36" DEPTH BY 36-48" DIAMETER DEPENDING ON SIZE OF PALM. TIGHTLY WRAP ROOTBALL IN BIO-DEGRADABLE BURLAP AND SECURE OPEN ENDS TOGETHER SECURELY FOR SAFE MOVEMENT TO NEW PLANTING LOCATIONS
 - RELOCATE PALMS TO NEW LOCATIONS PER LANDSCAPE PLAN L-200 TO COINCIDE WITH FINAL GRADES AND PAVING
 - BACKFILL WITH 90% AMENDED SOIL RATIO BY VOLUME PREMIX COMPRISED OF 50% TOPSOIL AND 50% CLEAN SAND AND BRACE WITH WOOD STAKED BATTONS PER DETAIL ON SHEET L-201
 - IMMEDIATELY AFTER PLANTING, ERECT TREE PROTECTION BARRIER AND WATER DAILY FOR 30 DAYS AT A MINIMUM OF 5 GALLONS PER OCCURRENCE PER PALM; BEYOND 30 DAYS, WATER AT LEAST 3 TIMES PER WEEK FOR THE NEXT 3 MONTHS OR UNTIL SUBSTANTIALLY ACCLIMATE; FAILURE TO DO THIS MAY RESULT IN REPLACEMENT WITH LIKE KIND/SIZES AND POSSIBLY ADDITIONAL REQUIRED MITIGATION TREES OR PALMS BE PLANTED AS REQUIRED BY BROWARD COUNTY AT THE CONTRACTOR'S EXPENSE

LICENSED PROFESSIONAL
William Dale Bryant
FL LICENSE NUMBER
LA6666943

PROJECT #	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISIONS	DATE	BY
19-108	04-23-19	AS NOTED	WDB	WDB	WDB	REVISIONS PER SITE PLAN CHANGES	12-03-19	WDB

NEW SINGLE FAMILY RESIDENCE
1380 Hollywood Blvd.
Hollywood, FL

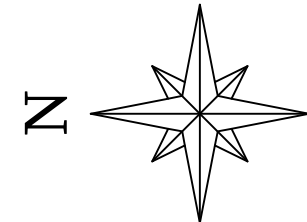
GREEN EARTH
LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
CALL: 954-618-1425
EMAIL: dale.bryant@greeneearth.com PHONE: 954-618-1425

TREE DISPOSITION
PLAN

SHEET NUMBER
L-100

1. All proposed plant material shall be a minimum of Florida No. 1 or better as described in Grades and Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Agriculture and Consumer Services.
2. All planted areas shall contain a three (3) inch layer of shredded sterilized Eucalyptus or Melaleuca mulch such as Flori-mulch. Keep mulch a min. 12" away from tree trunks. Create min. 5' diameter mulch tree rings around all trees not within a shrub or groundcover bed.
3. All sod or seed shall be certified (if applicable), and weed and insect free.
4. Contractor shall be responsible for locating existing utilities or other obstructions which may interfere with plant installation. Call Sunshine One service for underground utility locations 48 hours prior to any excavation or digging 1-800-432-4770.
5. Corner clip and visibility triangles shall be maintained for clear sight visibility in accordance with Local and County roadway clear sight requirements.
6. The landscape plans were designed to comply with Florida Friendly Landscape principles with specific consideration of water needs, shade/sun tolerances, structural heat gain, and site opportunities and constraints.
7. A Tree Permit will be required prior to any construction, native vegetative removal within the dripline of a tree, and/or site tree work.
8. Local Utility and Fire Rescue Clearance Zones shall be provided around all above ground or at grade meters and equipment.
9. Where overhead power lines exist, all proposed trees and palm setbacks shall conform with the Florida Power and Light (FPL) Guidelines for setbacks from overhead utility lines.
10. Plant quantities are provided for convenience. In the event of discrepancies between plant list counts and plan, plan quantities and layout shall take precedence based on symbols and center-to-center spacing specified on plant list.
11. All landscape planting areas shall have amended planting soil of uncompacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash. All compacted soil, contaminated soil or roadbase fill shall be removed. Amended planting soil shall be premixed off site and shall be a ratio by volume mixture of 50% pulverized topsoil/Florida muck organic content and 50% clean, screened sand, free of nematodes and vegetative growth. 10% sphagnum peat or other organic amenity is acceptable in the amended soil mix.
12. All sod shall be Paspalum 'Sea Isle 2000' variety turfgrass or approved equal (*Paspalum vaginatum* 'Sea Isle 2000') variety except where noted as "bahia grass sod" which shall be Argentine variety of Bahia grass (*Paspalum notatum* 'Argentine'). All sod shall be in full, solid pieces. Lay sod tight with staggered joints and roll if necessary to produce a smooth, even finish grade. Infill any gaps or voids in or between pieces with course sand. See detail on this page.
13. All plant materials shall be guaranteed by the contractor for a period of one year to be in a thriving, healthy condition that is indicative of each species. Any plants that fail within that period shall be replaced immediately with like kind, size, and specs.
14. Remove any and all prohibited exotic vegetation from site.
15. All landscaped areas shall have an automatic irrigation system with rain sensor and programmable automatic controller as permitted by South Florida Water Management District, County, and Local Codes.
16. Other than existing Mahogany tree to remain, all existing vegetation, turf, weeds, groundcover, and other deleterious materials are to be removed in their entirety prior to planting preparation. See landscape planting details and notes herein for amended soil mix and planting preparation.

TREE AND PALMS						
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
PTY ELE	2	Ptychosperma elegans	SOLITAIRE PALM	8' & 14' GW	10'	STRAIGHT TRUNK, FULL CROWN
CALLOUT	16	EXISTING PALMS TO REMAIN	SPECIES VARIES	VARIES	VARIES	SEE SHEET L-100 AND PROTECTION BARRIER DETAIL
CALLOUT	4	Roystonea elata (existing to be relocated)	ROYAL PALM RELOCATES	VARIES	VARIES	ROYAL PALMS TO BE RELOCATED, SEE SHEET L-100
SHRUBS AND GROUNDCOVER						
SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
AEC BLA	8	Aechmea blanchetiana 'Raspberry'	GIANT ORANGE BROMELIAD	30" HT	36"	FULL, SPACE PER PLAN
EUG RHO	191	Eugenia rhombea	RED STOPPER	24" HT	24"	FULL, SPACE 24" ON CENTER
TRA PUR	203	Tradescantia pallida 'Purpurea'	PURPLE QUEEN	6" CONTAINER	10"	FULL, SPACE 18" ON CENTER



REGULATING DOCUMENT: LANDSCAPE MANUAL & ARTICLE 9 LAND DEVELOPMENT & ZONING REGULATIONS		
ZONING/LAND USE: RS		
SECTION : 2.1 SINGLE FAMILY RESIDENCE (RS)	REQUIRED	PROVIDED
STREET TREE REQUIREMENTS 1 TREE/50LF STREET FRONTAGE @ 191LF	4 TREES	5 TREES (3 RELOCATED, 2 EXTG.)
FRONT YARD TREE REQUIREMENTS 1 TREE/1,250 SF OF FRONT YARD LANDSCAPE AREA	1 TREE	9 EXISTING TREES
NATIVE SPECIES REQUIREMENTS	60% TREES/50% SHRUBS	75% TREES/100% SHRUBS
MITIGATION FOR PALM REMOVALS	1:1 PALM OR 1:3 DICOT	1 DICOT = 3 PALMS @ 1:3







