

WILKES RESIDENCE 1380 HOLLYWOOD BLVD. HOLLYWOOD, FLORIDA



1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020 PH. (954) 926-3358

DRAWING INDEX

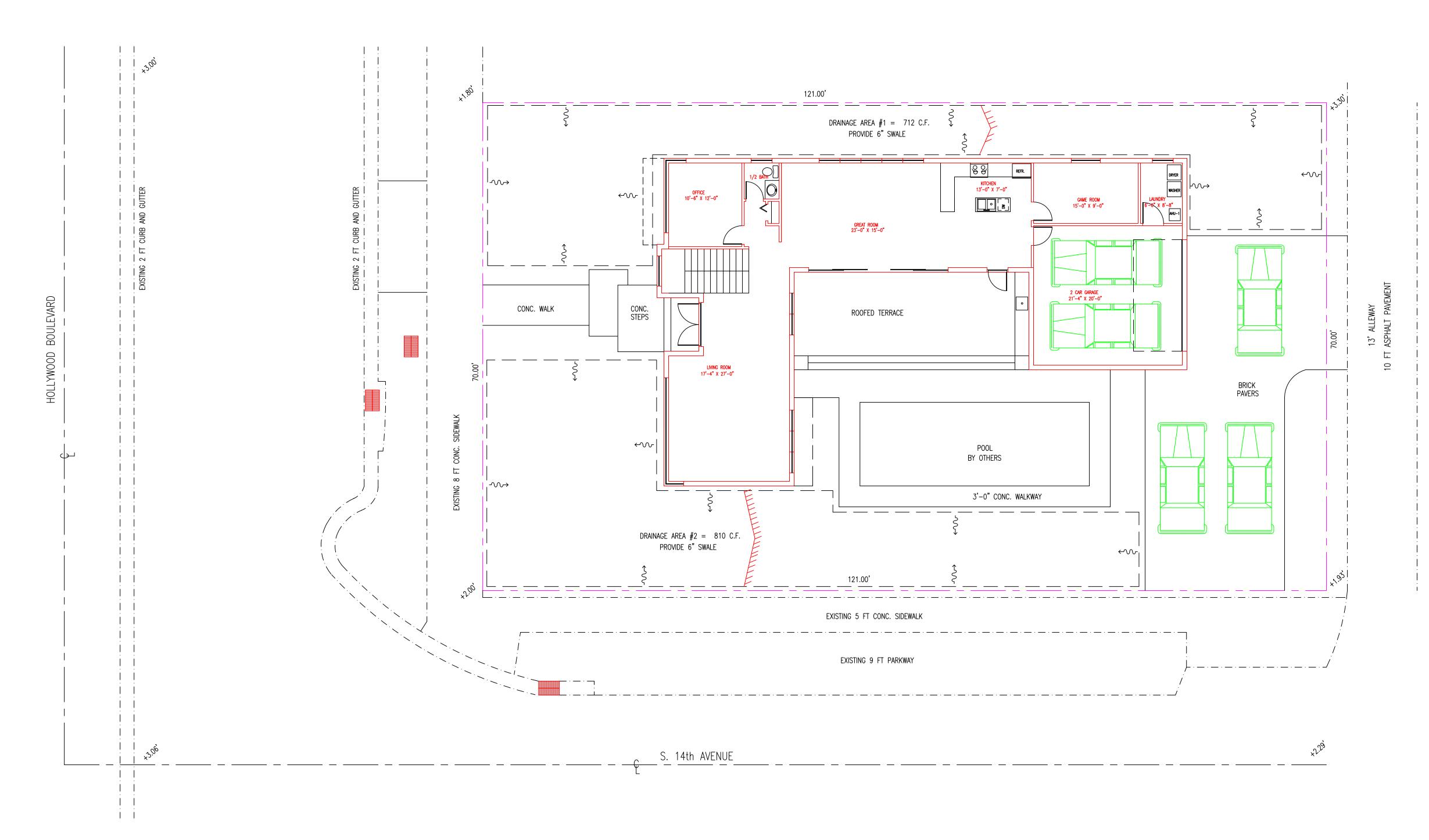
SHT-1 DRAINAGE PLAN

SHT-2 SITE PLAN

SHT-3 GROUND FLOOR PLAN

SHT-4 SECOND FLOOR PLAN

SHT-5 BUILDING ELEVATIONS



LOT COVERAGE INFORMATION

1. 8,470.00 S.F. SQUARE FEET OF LOT

2. 2,265.00 S.F. SQUARE FEET OF RESIDENCE (FOOT PRINT)

3. ______SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES

4. N/A SQUARE FEET OF ADDITION

5. ______SQUARE FEET OF PROPOSED ACCESSORY STRUCTURE

6. 3,876.00 S.F. SQUARE FEET OF ALL IMPERVIOUS AREA OF LOT

7. 45.77 % PERCENTAGE OF IMPERVIOUS LOT COVERAGE

SITE CALCULATION:

SITE: 8,470.00 S.F. 0.19 ACRES

 BUILDING FOOTPRINT
 2,265.00 S.F.
 26.74 %

 FRONT ENTRANCE
 39.00 S.F.
 0.46 %

 REAR TERRACE AND STEPS
 472.00 S.F.
 5.57 %

 FRONT STEPS AND WALK
 200.00 S.F.
 2.36 %

 POOL AND POOL DECK
 790.00 S.F.
 9.32 %

 DRIVEWAYS
 1,025.00 S.F.
 12.10 %

LANDSCAPE PERVIOUS 3,679.00 S.F. 43.43 %

SITE DRAINAGE CALCULATIONS

1" OVER THE ENTIRE SITE:

1" X 8470 = 8470 / 12 = 706 C.F. REQUIRED

AREA #1 = 1425 S.F. X .50' = 712 C.F.

AREA #2 = 1620 S.F. X .50' = 810 C.F.

TOTAL

1,522 C.F. PROVIDED

TOTAL LENGHT

1:4

SLOPE

N

DRAINAGE PLAN

SCALE: 1/8"=1'-0"
ALL DIMENSIONS ARE TO BE FIELD VERIFIED
FLOOD ZONE AE-6

LEGAL DESCRIPTION:

LOT 30 AND THE WEST 20 FT OF LOT 29, BLOCK 8

HOLLYWOOD LAKES SECTION, PLAT BOOK 1 PAGE 32

BROWARD COUNTY FLORIDA

GROUND FLOOR LIVING AREA 1,795.00 S.F.

GARAGE 470.00 S.F.

TOTAL GROUND FLOOR 2,265.00 S.F.

TOTAL SECOND FLOOR 1,310.00 S.F.

TOTAL RESIDENCE 3,575.00 S.F.

TOTAL LIVING AREA 3,105.00 S.F.

REAR TERRACE 472.00 S.F. FRONT ENTRY 39.00 S.F.

WILKES RESIDER 1380 HOLLYWOOD HOLLYWOOD, FLO

A R C H I T E C T P.A.

AA-26001641 AR 13378

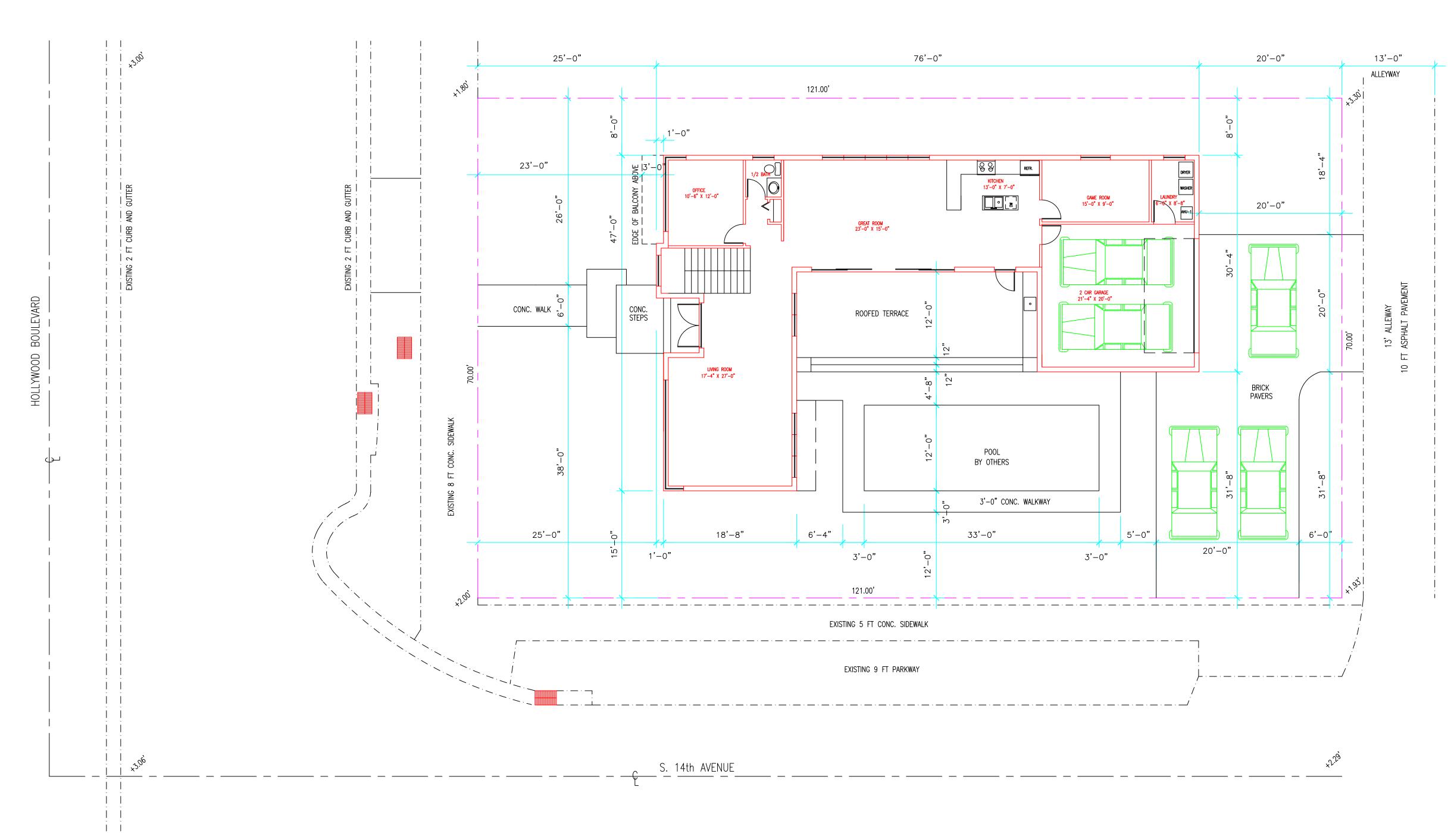
R STREET SUITE 107 HOLLYWOOD, FLORIDA 3302

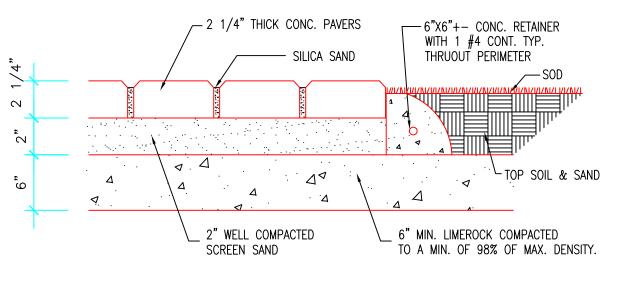
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DATE 10-22-2019

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CONCRETE BRICK PAVER DETAIL

N.T.S.

PARKING CALCULATION:

TOTAL A/C AREA = 3,105.00 S.F. 3,105.00 - 2,000 = 1,105.00 S.F. 1,105.00 S.F. / 500 = 2.21 4.21 SPACES REQ. 5 SPACES PROVIDED

SITE CALCULATION:

SITE: 8,470.00 S.F. 0.19 ACRES

JILDING FOOTPRINT	2,265.00 S.F.	26.74 %
RONT ENTRANCE	39.00 S.F.	0.46 %
EAR TERRACE AND STEPS	472.00 S.F.	5.57 %
RONT STEPS AND WALK	200.00 S.F.	2.36 %
OOL AND POOL DECK	790.00 S.F.	9.32 %
RIVEWAYS	1,025.00 S.F.	12.10 %
NDSCAPE PERVIOUS	3,679.00 S.F.	43.43 %

N

SITE PLAN

SCALE: 1/8"=1'-0"

ALL DIMENSIONS ARE TO BE FIELD VERIFIED

FLOOD ZONE AE-6

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HOLLYWOOD LAKES SECTION, PLAT BOOK 1 PAGE 32
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A R C H I T E C T P.A.

AA-26001641 AR 13378

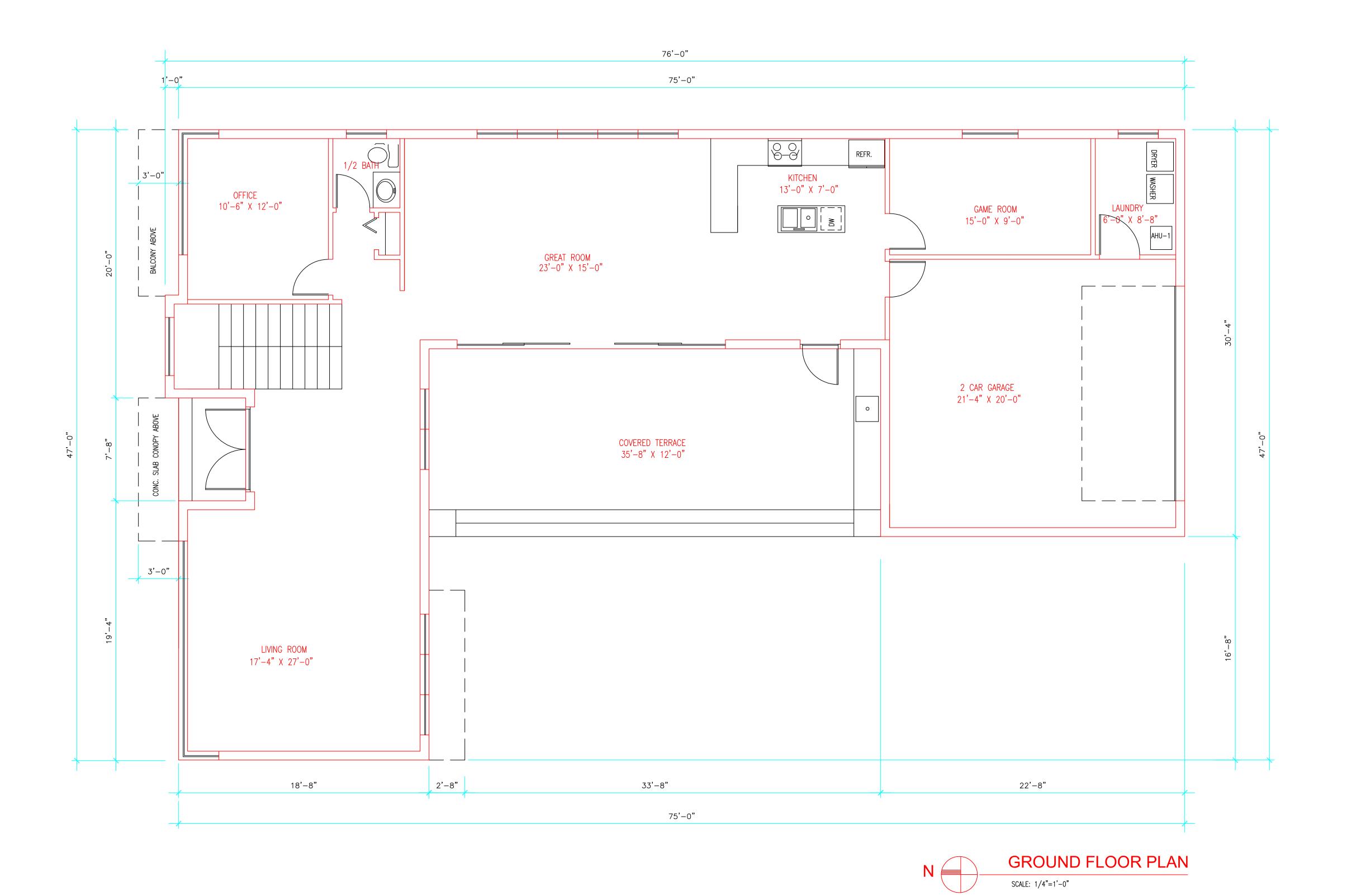
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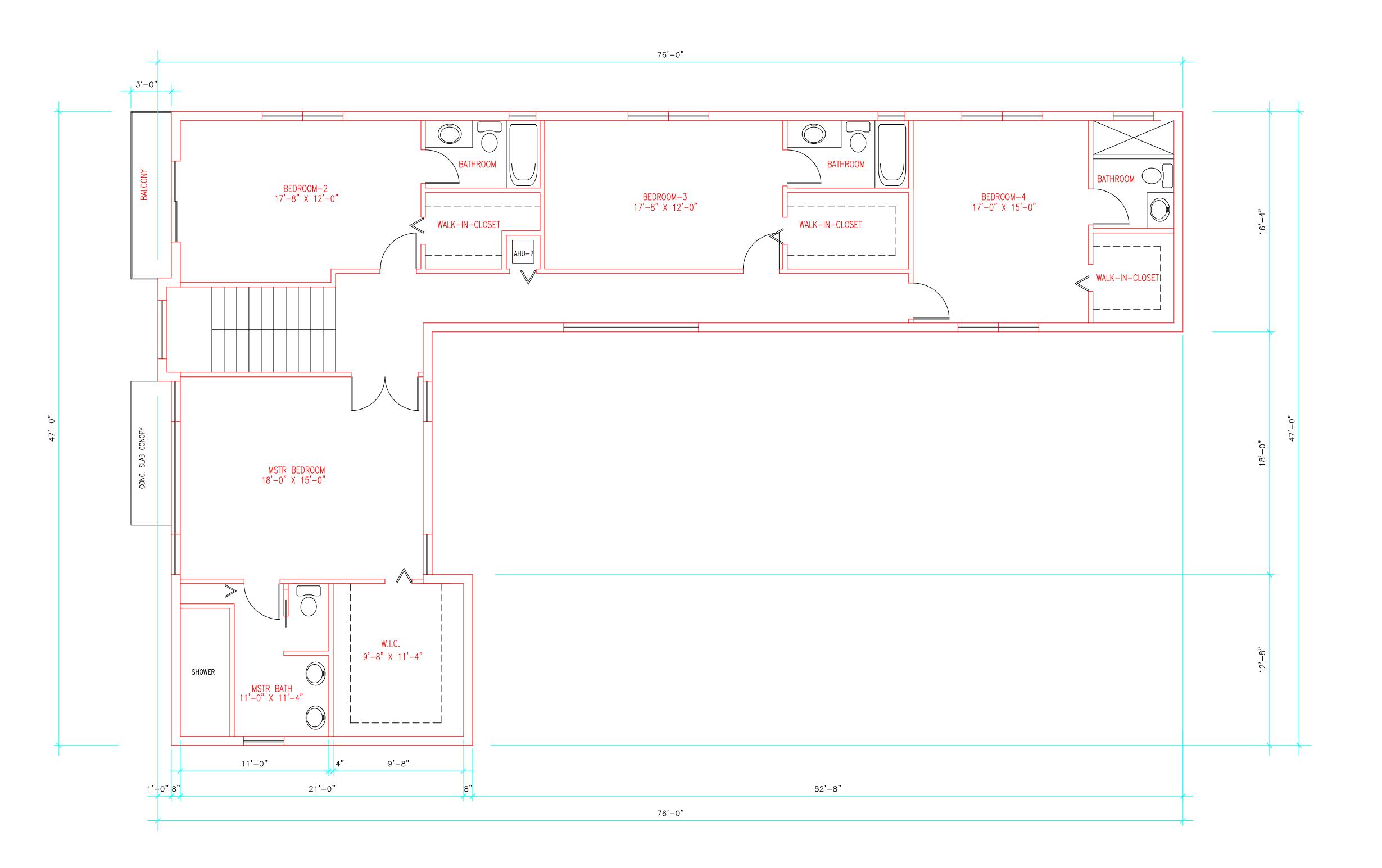
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COMM. NO. 18-204

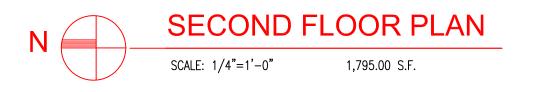
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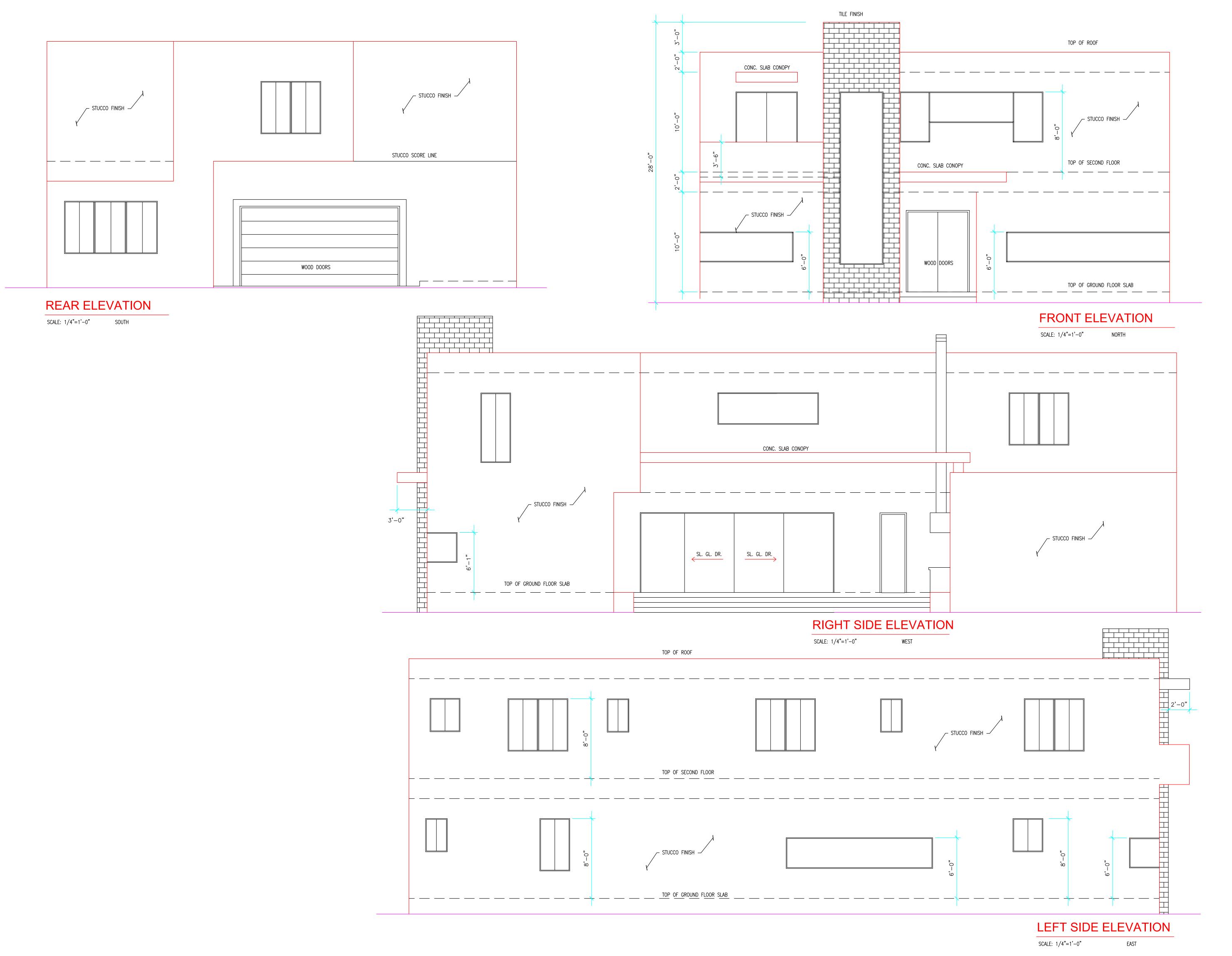




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DRAWN DATE 10-22-2019

COMM. NO. 18-204



DATA, NOTES AND ANY OTHER DOCUMENTS
PREPARED BY THE ARCHITECT AS
INSTRUMENTS OF SERVICE SHALL REMAIN
THE PROPERTY OF THE ARCHITECT AND IS
NOT TO BE REPRODUCED, COPIED OR
ALTERED IN WHOLE OR IN PART. IT IS ONLY
TO BE USED FOR THE PROJECT AND SITE
SPECIFICALLY IDENTIFIED HEREIN AND IS
NOT TO BE USED ON ANY OTHER PROJECT.
THE ARCHITECT SHALL RETAIN ALL COMMON
LAW COPYRIGHT AND OTHER RESERVED
RIGHTS THERETO.
WRITTEN DIMENSIONS SHALL HAVE

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30 HOLLYWOOD BLVD. 31 STAWOOD, FLORIDA

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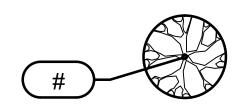
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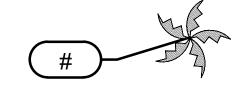
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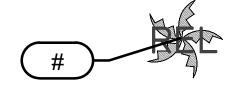
- EXISTING TREE TO REMAIN

SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD

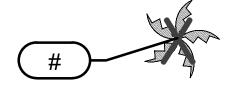


- EXISTING PALM TO REMAIN

SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD



- EXISTING PALM TO BE RELOCATED SEE PREPARATION AND CARE IN NOTES AND SPECIFICATIONS THIS PAGE



- EXISTING PALM TO BE REMOVED REMOVE ENTIRE ROOT SYSTEMS AND

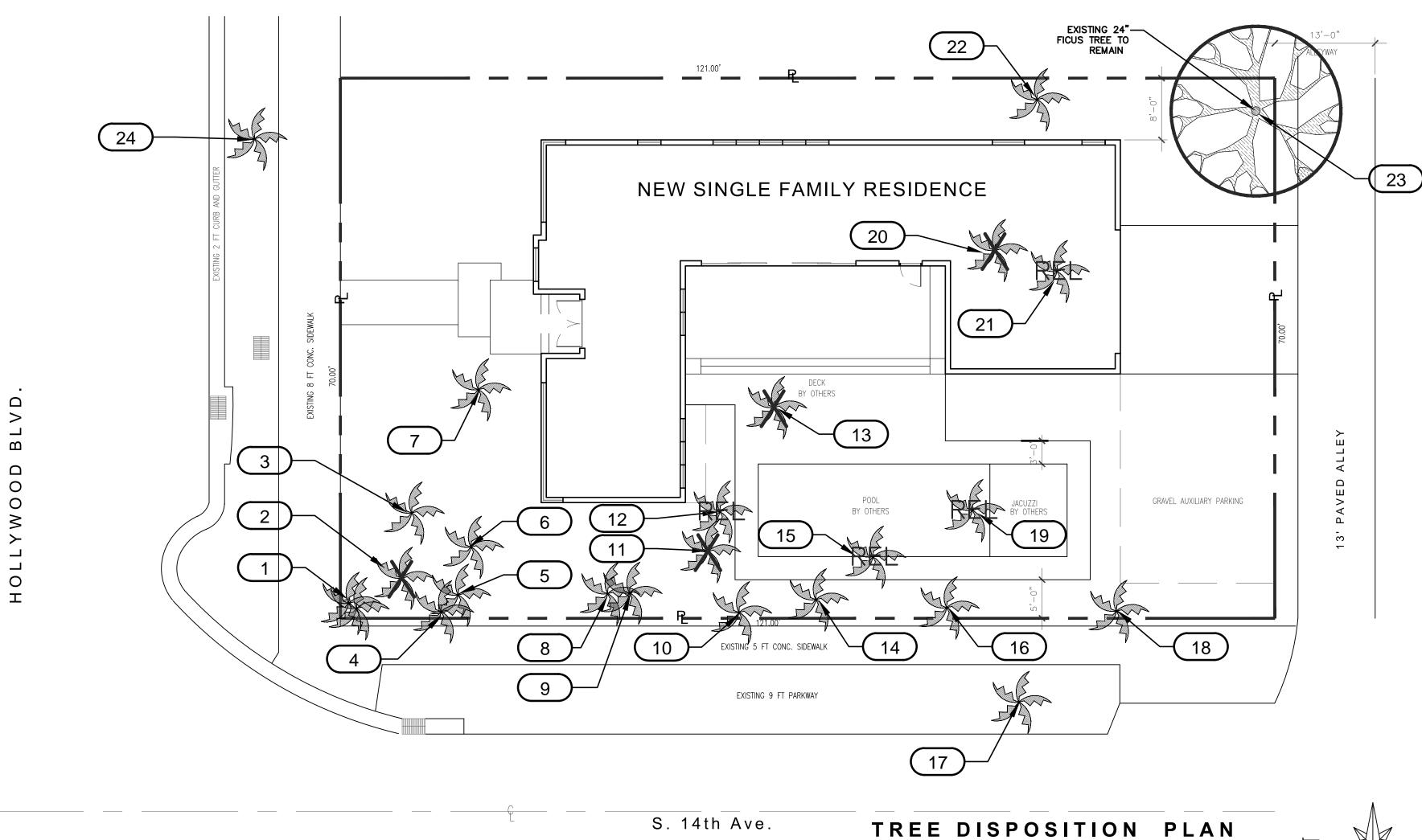
REMOVE ENTIRE ROOT SYSTEMS AND FILL/LIGHTLY COMPACT/GRADE WITH SUITABLE SOIL

TREE DISPOSITION TABLE

	INEL	DISPUSITION	IABL	_	
No.	LATIN NAME	COMMON NAME	DBH	SIZE	DISPOSITION
1	Veitchia merrillii	Double Christmas Palm	n/a	10' X 10'	REMAIN
2	Roystonea elata	Florida Royal Palm (Dead)	n/a	38' X 0'	REMOVE
3	Syagrus romanzoffiana	Queen Palm	n/a	16' X 12'	REMAIN
4	Syagrus romanzoffiana	Queen Palm	n/a	16' X 12'	REMAIN
5	Syagrus romanzoffiana	Queen Palm	n/a	22' X 15'	REMAIN
6	Syagrus romanzoffiana	Queen Palm	n/a	20' X 14'	REMAIN
7	Roystonea elata	Florida Royal Palm	n/a	35' X 20'	REMAIN
8	Syagrus romanzoffiana	Queen Palm	n/a	20' X 15'	REMAIN
9	Syagrus romanzoffiana	Queen Palm	n/a	24' X 16'	REMAIN
10	Roystonea elata	Florida Royal Palm	n/a	18' X 16'	REMAIN
11	Syagrus romanzoffiana	Queen Palm	n/a	20' X 14'	REMOVE
12	Roystonea elata	Double Florida Royal Palm	n/a	22' X 24'	RELOCATE
13	Cocos nucifera	Coconut Palm	n/a	30' X 18'	REMOVE
14	Roystonea elata	Florida Royal Palm	n/a	45' X 18'	REMAIN
15	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	RELOCATE
16	Syagrus romanzoffiana	Queen Palm	n/a	22' X 14'	REMAIN
17	Roystonea elata	Double Florida Royal Palm	n/a	45' X 28'	REMAIN
18	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	REMAIN
19	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	RELOCATE
20	Dypsis lutescens	Areca Palm	n/a	20' X 25'	REMOVE
21	Roystonea elata	Florida Royal Palm	n/a	30' X 18'	RELOCATE
22	Roystonea elata	Florida Royal Palm	n/a	35' X 18'	REMAIN
23	Ficus aurea	Strangler Fig	24"	22' X 20'	REMAIN
24	Roystonea elata	Florida Royal Palm	n/a	40' X 18'	REMAIN

TOTAL DBH INCHES (NON-EXEMPT SPECIES) TO BE MITIGATED: 0"

TOTAL REPLACEMENT PALMS TO BE MITIGATED: 3 (or 1 12'/2" DBH tree at 1:3)



SCALE: 1" = 10'

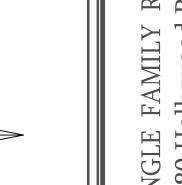
1. CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL. BY PLACING A BID OR SUBMITTING A PROPOSAL TO DO THE WORK HEREIN CONTRACTOR ACKNOWLEDGES HE HAS REVIEWED THE PLANS, VISITED THE SITE AND FOUND NO MAJOR CONFLICTS.

TREE DISPOSITION NOTES & SPECIFICATIONS

- 2. THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN. ALL FINAL PLANS SHALL BE COORDINATED WITH FINAL APPROVED SITE PLAN.
- 3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
- 4. THE TREE REMOVAL WORK HEREIN WILL REQUIRE MITIGATION IN ACCORDANCE WITH CITY OF HOLLYWOOD ARTICLE 9 TREE MITIGATION REQUIREMENTS.
- 5. CONTRACTOR TO COMPLETELY REMOVE ALL PARTS OF TREES SPECIFIED FOR REMOVAL ON THE TREE DISPOSITION PLAN. GRIND ALL TRUNKS/ROOT SYSTEMS OR TREES TO BE REMOVED A MINIMUM OF 18" DEPTH IN THEIR ENTIRETY AND FILL AND COMPACT WITH SUITABLE CLEAN SOIL TO FINAL GRADE.
- 6. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE CHANGES IN MATERIAL, QUANTITIES AND PROJECT SCOPE TO CONTRACTED WORK.
- 7. IN THE EVENT OF DISPUTE, THE LANDSCAPE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
- 8. ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- 9. CONTRACTOR TO LEAVE SITE COMPLETELY CLEAN, RESTORED, AND FREE OF DEBRIS. CONTRACTOR TO REPAIR IN FULL ANY DAMAGE CAUSED BY WORK OR MOBILIZATION.
- 10. FOR ALL TREES TO BE REMOVED, CONTRACTOR TO TAKE PROPER CARE IN REMOVAL TO NOT CAUSE DAMAGE TO EXISTING SITE FEATURES, CONDITIONS, INFRASTRUCTURE, OR THE GENERAL PUBLIC AND PASSERSBY. COMPLETELY REMOVE TREES AND PROPERLY DISPOSE OF REMAINS OFF-SITE.
- 11. NO TREES SHALL BE REMOVED OR RELOCATED UNTIL A CITY OF HOLLYWOOD TREE REMOVAL PERMIT IS ISSUED. APPLICATIONS ARE AVAILABLE IN ROOM 308 OF CITY HALL OR VIA WEBSITE DOWNLOAD AT WWW.HOLLYWOODFL.ORG > DEPARTMENTS > ENGINEERING > ENGINEERING SERVICES
- 12. ALL TREES TO REMAIN SHALL BE PROTECTED IN PLACE BY A TREE PROTECTION BARRIER FENCE ERECTED TO THE EXTENTS OF THE CANOPY DRIPLINES. SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL INFORMATION. FAILURE TO MAINTAIN THE BARRIERS MAY RESULT IN DAMAGE TO TREES SPECIFIED TO REMAIN, ESPECIALLY ONES CLOSE TO ACTIVE CONSTRUCTION, WHICH MAY RESULT IN TREE MITIGATION COSTS, ADDITIONAL PERMITTING TIME AND COSTS, OR REJECTION OF TREES AT TIME OF FINAL INSPECTION. TREE PROTECTION BARRIERS ARE TO REMAIN IN PLACE, TO THE EXTENTS OF THE TREE DRIPLINES, FOR THE ENTIRE DURATION OF CONSTRUCTION.
- 13. FOR ALL PALMS PROPOSED FOR RELOCATION ARE TO BE ROOT PRUNED AND CARED FOR AS FOLLOWS PRIOR TO, DURING, AND AFTER RELOCATION:
 PRUNE ROOTS AND TO A DEPTH OF 18" AROUND ENTIRE PERIMETER OF PALMS TO CREATE A 4' DIAMETER TRENCH AND PRUNE LOWER FRONDS A MINIMUM OF 2 WEEKS
- PRIOR TO RELOCATION

 FILL TRENCH WITH MULCH OR OTHER MEDIUM TO RETAIN MOISTURE; INSURE THAT ROOTS REMAIN MOIST <u>AT ALL TIMES</u>
- IN PREPARATION FOR RELOCATION DIG ROOTBALL TO A MINIMUM 30-36" DEPTH BY 36-48" DIAMETER DEPENDING ON SIZE OF PALM. TIGHTLY WRAP ROOTBALL IN
- BIO-DEGRADABLE BURLAP AND SECURE OPEN ENDS TOGETHER SECURELY FOR SAFE MOVEMENT TO NEW PLANTING LOCATIONS

 RELOCATE PALMS TO NEW LOCATIONS PER LANDSCAPE PLAN L-200 TO COINCIDE WITH FINAL GRADES AND PAVING
- BACKFILL WITH 5 → AMENDED SOIL RATIO BY VOLUME PREMIX COMPRISED OF 50% TOPSOIL AND 50% CLEAN SAND AND BRACE WITH WOOD STAKED BATTONS PER DETAIL ON SHEET L-201
- IMMEDIATELY AFTER PLANTING, ERECT TREE PROTECTION BARRIER AND WATER DAILY FOR 30 DAYS AT A MINIMUM OF 5 GALLONS PER OCCURRENCE PER PALM; BEYOND 30 DAYS, WATER AT LEAST 3 TIMES PER WEEK FOR THE NEXT 3 MONTHS OR UNTIL SUBSTANTIALLY ACCLIMATE; FAILURE TO DO THIS MAY RESULT IN REPLACEMENT WITH LIKE KIND/SIZES AND POSSIBLY ADDITIONAL REQUIRED MITIGATION TREES OR PALMS BE PLANTED AS REQUIRED BY BROWARD COUNTY AT THE CONTRACTOR'S EXPENSE



NEW SINGLE FAMIL
1380 Hollywoo

GREEN EARTI



REE DISPOSITION

SHEET NUMBER

T.-100

GENERAL NOTES & SPECIFICATIONS

- All proposed plant material shall be a minimum of Florida No. 1 or better as described in Grades and Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Agriculture and Consumer Services.
- 2. All planted areas shall contain a three (3) inch layer of shredded sterilized Eucalyptus or Melaleuca mulch such as Flori-mulch. Keep mulch a min. 12" away from tree trunks. Create min. 5' diameter mulch tree rings around all trees not within a shrub or groundcover bed.
- . All sod or seed shall be certified (if applicable), and weed and insect free.
- 4. Contractor shall be responsible for locating existing utilities or other obstructions which may interfere with plant installation. Call Sunshine One service for underground utility locations 48 hours prior to any excavation or digging 1-800-432-4770.
- 5. Corner clip and visibility triangles shall be maintained for clear sight visibility in accordance with Local and County roadway clear sight requirements.
- The landscape plans were designed to comply with Florida Friendly Landscape principles with specific consideration of water needs, shade/sun tolerances, structural heat gain, and site opportunities and constraints.
 A Tree Permit will be required prior to any construction, native vegetative removal within the dripline of a tree,
- and/or site tree work.
 8. Local Utility and Fire Rescue Clearance Zones shall be provided around all above ground or at grade meters and
- equipment.

 9. Where overhead power lines exist, all proposed trees and palm setbacks shall conform with the Florida Power and Light (FPL) Guidelines for setbacks from overhead utility lines.
- 10. Plant quantities are provided for convenience. In the event of discrepancies between plant list counts and plan, plan quantities and layout shall take precedence based on symbols and center-to-center spacing specified on plant list.
- 11. All landscape planting areas shall have amended planting soil of uncompacted coarse loam that is a minimum of 12 inches deep. Soils shall be appreciably free of gravel, stones, rubble or trash. All compacted soil, contaminated soil or roadbase fill shall be removed. Amended planting soil shall be premixed off site and shall be a ratio by volume mixture of 50% pulverized topsoil/Florida muck organic content and 50% clean, screened sand, free of nematodes and vegetative growth. 10% sphagnum peat or other organic amenity is acceptable in the amended soil mix.
- 12. All sod shall be Paspalum 'Sea Isle 2000' variety turfgrass or approved equal (*Paspalum vaginatum 'Sea Isle 2000'*)variety except where noted as "bahiagrass sod" which shall be Argentine variety of Bahiagrass (*Paspalum notatum 'Argentine'*). All sod shall be in solid, full pieces. Lay sod tight with staggered joints and roll if necessary to produce a smooth, even finish grade. Infill any gaps or voids in or between pieces with course sand. See detail
- 13. All plant materials shall be guaranteed by the contractor for a period of one year to be in a thriving, healthy condition that is indicative of each species. Any plants that fail within that period shall be replaced immediately with like kind, size, and specs.
- 14. Remove any and all prohibited exotic vegetation from site.
- 5. All landscaped areas shall have an automatic irrigation system with rain sensor and programmable automatic controller as permitted by South Florida Water Management District, County, and Local Codes.
- Other than existing Mahogany tree to remain, all existing vegetation, turf, weeds, groundcover, and other deleterious materials are to be removed in their entirety prior to planting preparation. See landscape planting details and notes herein for amended soil mix and planting preparation.

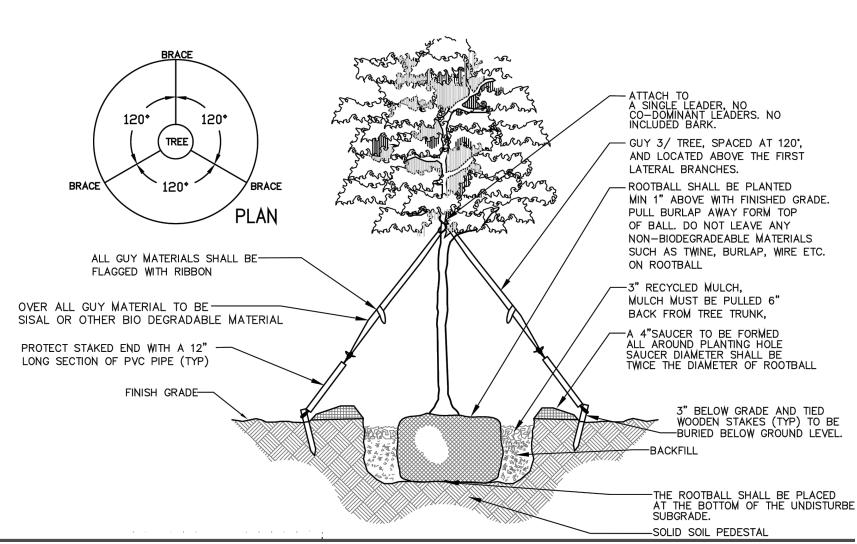
RELOCATED DOUBLE ROYAL PALM (#12 ON SHEET L-100) SEE SPECIFICATIONS AND NOTES SHEET L-100 FOR PRE AND POST RELOCATION CARE ARGENTINE — BAHIAGRASS SOD PASPALUM 'SEA ISLE 2000' EXISTING ROYAL PALM — TO REMAIN (TYP) SEE SHEET L-100 FOR MORE INFORMATION EXISTING FICUS AND TREE PROTECTION TREE TO REMAIN BARRIER DETAIL THIS PASPALUM 'SEA NEW SINGLE FAMILY ISLE 2000' SOD RESIDENCE RELOCATED ROYAL PALM -CONCRETE (#21 ON SHEET L-100) WALKWAY BY OTHERS DRIVEWAY SEE SPECIFICATIONS AND NOTES SHEET L-100 FOR PRE AND POST RELOCATION CARE BY OTHERS PASPALUM 'SEA ISLE 2000' SOD - EXISTING PALMS TO REMAIN (TYP SEE SHEET L-100 FOR MORE INFORMATION AND TREE PROTECTION BARRIER DETAIL GRAVEL AUXILIARY PARKING ARGENTINE ARGENTINE ARGENTINE EXISTING PALMS TO REMAIN (TYP) - SEE SHEET L-100 FOR MORE BAHIAGRASS SOD BAHIAGRASS BAHIAGRASS INFORMATION AND TREE PROTECTION - EXISTING ROYAL PALM TO REMAIN (TYP) SEE SHEET L-100 FOR MORE INFORMATION AND TREE PROTECTION RELOCATED DOUBLE ROYAL PALM (#15 & # 19 ON SHEET L-100) -SEE SPECIFICATIONS AND NOTES SHEET L-100 FOR PRE AND POST RELOCATION CARE S. 14th Ave. LANDSCAPE PLANTING PLAN

PLANT LIST AND SPECIFICATIONS

Ī	TREE AND PALMS						
	SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
	PTY ELE	2	Ptychosperma elegans	SOLITAIRE PALM	8' & 14' GW	10'	STRAIGHT TRUNK, FULL CROWN
*N	CALLOUT	16	EXISTING PALMS TO REMAIN	SPECIES VARIES	VARIES	VARIES	SEE SHEET L-100 AND PROTECTION BARRIER DETAIL
*N	CALLOUT	4	Roystonea elata (existing to be relocated)	ROYAL PALM RELOCATES	VARIES	VARIES	ROYAL PALMS TO BE RELOCATED, SEE SHEET L-100
	SHRUBS AND GROUNDCOVER						
	SYMBOL	QUANTITY	LATIN NAME	COMMON NAME	SIZE	SPREAD	DESCRIPTION
*N	AEC BLA	8	Aechmea blanchetiana 'Raspberry'	GIANT ORANGE BROMELIAD	30" HT	36"	FULL, SPACE PER PLAN
*N	EUG RHO	191	Eugenia rhombea	RED STOPPER	24" HT	24"	FULL, SPACE 24" ON CENTER
	TRA PUR	203	Tradescantia pallida 'Purpurea'	PURPLE QUEEN	6" CONTAINER	10"	FULL, SPACE 18" ON CENTER

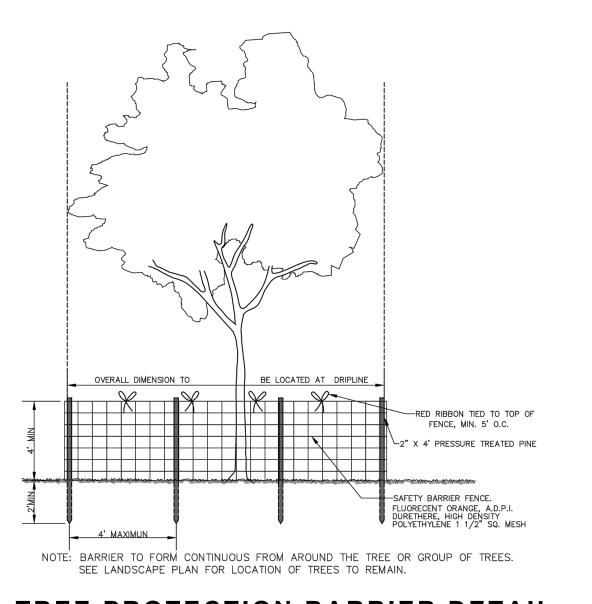
TABULAR DATA CODE CHART

REGULATING DOCUMENT: LANDSCAPE MANUAL & ARTICLE 9 LAND DEVELOPMENT & ZONING REGULATIONS					
ZONING/LAND USE: RS					
SECTION: 2.1 SINGLE FAMILY RESIDENCE (RS)	REQUIRED	PROVIDED			
STREET TREE REQUIREMENTS 1 TREE/50LF STREET FRONTAGE @ 191LF	4 TREES	5 TREES (3 RELOCATED, 2 EXTG.)			
FRONT YARD TREE REQUIREMENTS 1 TREE/1,250 SF OF FRONT YARD LANDSCAPE AREA	1 TREE	9 EXISTING TREES			
NATIVE SPECIES REQUIREMENTS	60% TREES/50% SHRUBS	75% TREES/100% SHRUBS			
MITIGATION FOR PALM REMOVALS	1:1 PALM OR 1:3 DICOT	1 DICOT = 3 PALMS @ 1:3			



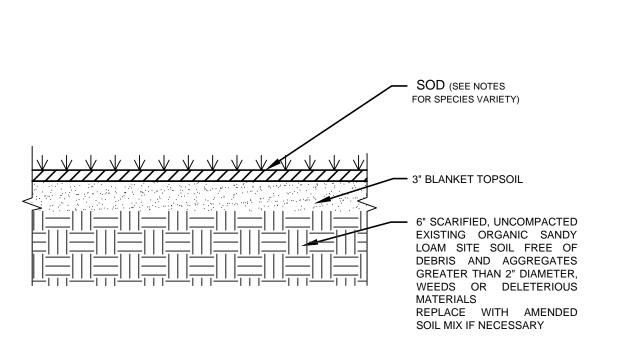
TREE PLANTING DETAIL

N.T.S.



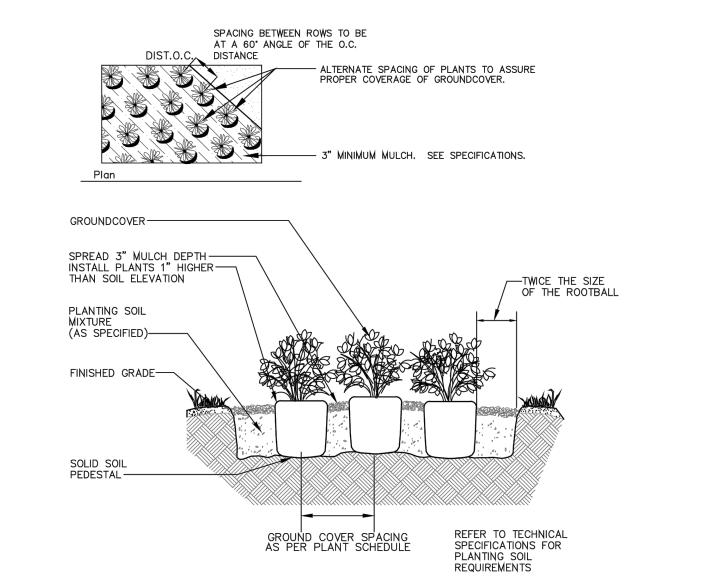
TREE PROTECTION BARRIER DETAIL

N.T.S.



SOD PLANTING DETAIL

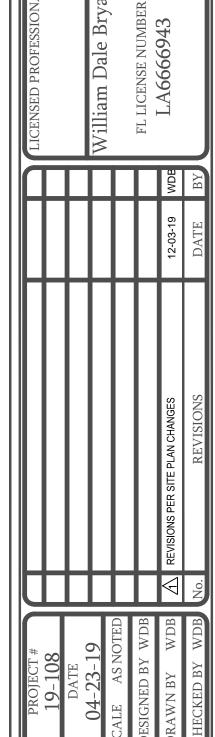
N.T.S.



SHRUB & GROUNDCOVER PLANTING DETAIL

N.T.S.

SCALE: 1" = 10'



EW SINGLE FAMILY RESIDENCE 1380 Hollywood Blvd. Hollywood, FL

GREEN EARTH
LANDSCAPE ARCHITECTUR
HOLLYWOOD, FLORIDA



LANDSCAPE PLANTING PLAN

SHEET NUMBER
L-200

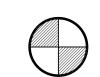
IRRIGATION NOTES & SPECIFICATIONS

- 1. CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER, AND SHALL BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. 2. THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN.
- 3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION. ALL TREES TO REMAIN SHALL RECEIVE A FENCE BARRIER PROTECTION DURING CONSTRUCTION. SEE LANDSCAPE DETAILS FOR MORE INFORMATION ON TREE PROTECTION.
- 4. THIS PLAN NOT COMPLETE WITHOUT ALL LANDSCAPE SHEETS. 5. IRRIGATION SYSTEM WILL BE A NEW 1-1/2 HP PUMP CENTRIFUGAL PUMP WITH ELECTRONIC CONTROL VALVES, POP-UP SPRINKLER SPRAY
- HEADS AND AN AUTOMATIC PROGRAMMABLE TIMER WITH RAIN SENSOR SHUT-OFF DEVICE. 6. IRRIGATION CONTRACTOR TO COORDINATE WITH MEP ENGINEER AND GENERAL CONTRACTOR TO COORDINATE POWER NEEDS FOR 220V PUMP STATION AND CONTROLLER. THIS MUST BE DONE BEFORE PROJECT CONSTRUCTION BEGINS SO PROPER CALCULATIONS CAN BE DETERMINED AND PROPER INFRASTRUCTURE FOR IRRIGATION AND ELECTRICAL REQUIREMENTS ARE PROVIDED BEFORE PAVING OCCURS. CONTROLLER LOCATION SHOWN IS RECOMMENDED LOCATION ONLY. FINAL DETERMINATION TO BE BY OWNER OR OWNER'S REPRESENTATIVE FOR
- CONVENIENCE, EASE OF MAINTENANCE AND ACCESS. 7. THE SCOPE OF WORK INTENDED WHEN BIDDING ON THESE IRRIGATION PLANS IS TO PROVIDE A COMPLETE, COMPLIANT, SAFE, FULLY-OPERATIONAL, INSTALLED IRRIGATION SYSTEM ACCORDING TO THE DESIGNED IRRIGATION SYSTEM HEREIN. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL COMPONENTS, APPROVALS, AND WORKMANSHIP TO MAKE THE SYSTEM FUNCTION PROPERLY AND
- PROVIDE 100% (HEAD-TO-HEAD) COVERAGE OF ALL PERVIOUS AREAS WITHIN THE SCOPE OF WORK. 8. THE IRRIGATION CONTRACTOR SHALL VISIT THE SITE PRIOR TO PLACING A BID AND BECOME FAMILIAR WITH EXISTING CONDITIONS. AFTER REVIEWING THE PLANS AND VISITING THE SITE, CONTRACTOR SHALL BRING ALL QUESTIONS OR POTENTIAL CONFLICTS TO THE WRITTEN ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PLACING A BID.
- 9. ALL SLEEVING SHALL BE SCHEDULE 80 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN THE SUPPLY LINE(S) CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 12" BELOW FINISHED GRADE OF PAVEMENT OR AS REQUIRED BY CODE. ALL PIPE AND CONTROL WIRING SHALL BE INSTALLED IN SLEEVES WHEN BENEATH PAVEMENT.
- 10. ALL AUTOMATIC RAINBIRD VALVES SHALL BE INSTALLED IN A RECTANGULAR FIBERGLASS BOX AND SHALL BE ARRANGED FOR EASY ADJUSTMENT AND ACCESS. THE FLOW ADJUSTMENT FEATURE OF EACH VALVE SHALL BE UTILIZED TO BALANCE OPERATING PRESSURES THROUGHOUT THE SYSTEM. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE AND SHALL INSURE PERCOLATION THROUGH THE BOX. 11. WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS OR RESTRICTIONS. REFER TO
- MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED. 12. IRRIGATION PLAN IS SCHEMATIC. IRRIGATION CONTRACTOR TO ADJUST TO FIELD CONDITIONS AND INACCURACIES THAT ARE INHERENT WITH DRAWINGS AT THIS SCALE. IRRIGATION CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR ANY SUBSTANTIAL CHANGES THAT WOULD NOT CONFORM TO THE INTENT OF THE IRRIGATION PLANS. NO SUBSTITUTIONS IN MANUFACTURER MATERIALS WILL BE ACCEPTED UNLESS
- 13. ALL MAIN AND LATERAL PIPING RUNS TO HAVE SOLVENT WELD JOINTS.

ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO ORDERING, PLANNING, OR INSTALLATION.

- 14. CONTROLLER SHALL BE RAINBIRD ESP-RZXe 4-STATION CONTROLLER WITH INTEGRATED RAIN SENSOR SHUTOFF. 15. PLAN WAS DESIGNED BASED ON ASSUMPTION OF AT LEAST 30 PSI TO END OF ZONES INCLUDING PRESSURE LOSS FROM PIPE RUN LENGTHS,
- TURNS, ZONE VALVES, FITTINGS AND ELEVATION CHANGES. 16. ALL ZONE VALVE WIRING TO BE DIRECT BURIAL TYPE AS RECOMMENDED BY ZONE VALVE MANUFACTURER.
- 17. INSTALL A MINIMUM OF ONE (1) BUBBLER NOZZLE AT EACH TREE OR PALM ROOTBALL SET AT A RATE OF .25 GPM. BUBBLER NOZZLES ARE NOT SHOWN ON THE PLAN FOR GRAPHIC CLARITY OF OTHER COMPONENTS.

IRRIGATION SYMBOL LEGEND

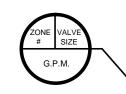


RAINBIRD PGB REMOTE ELECTRIC ZONE VALVE



1-1/2" SCHEDULE 40 PVC MAIN LINE PIPE

SCHEDULE 200 LATERAL (CIRCUIT) PVC PIPE



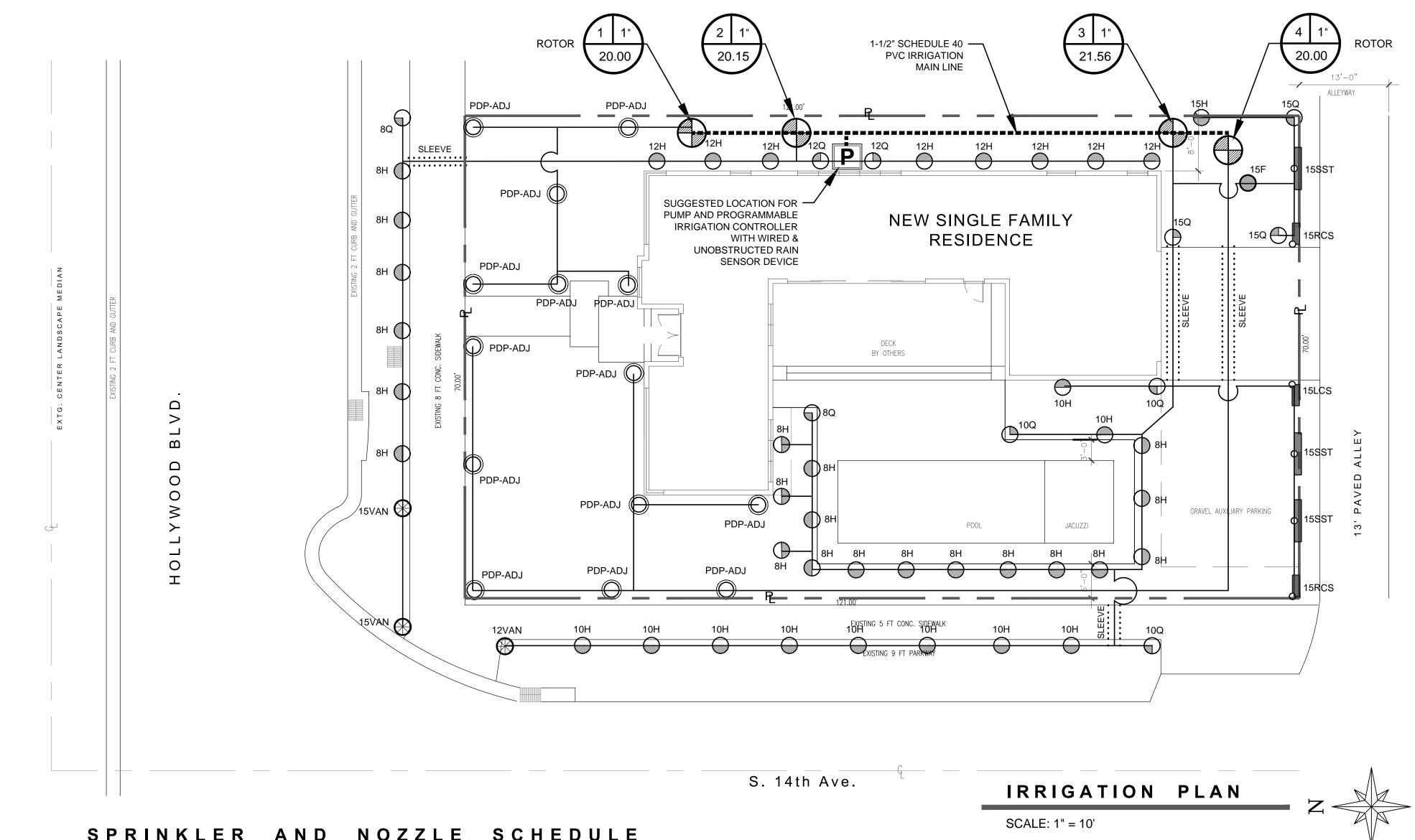
IRRIGATION ZONE CALLOUT

SCHEDULE 80 PVC SLEEVE PIPE (MINIMUM TWICE THE SIZE OF PIPE BEING SLEEVED)



- 1-1/2 HP PUMP STATION INCLUDING: • 1-1/2 HP CENTRIFUGAL SINGLE PHASE 240V SELF
- PRIMING PUMP • RAINBIRD ESP-RZXe 6-STATION PROGRAMMABLE
- CONTROLLER WITH INTEGRAL RAIN SENSOR SHUT-OFF DEVICE (CLEAR OF OVERHEAD OBSTRUCTIONS)
- ELECTRICAL CIRCUIT OVERLOAD PROTECTION • 3,000 PSI 4" CONCRETE PAD WITH SHOCK ABSORBING
- PUMP MOUNTS

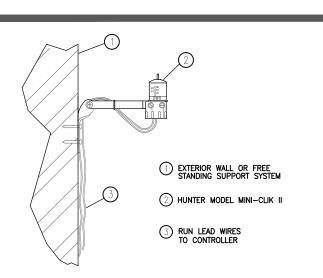
NOTE: INSTALL ONE BUBBLER NOZZLE FOR EACH NEW TREE ON FLEXIBLE PIPING. ADJUST SET SCREW TO EMIT NO MORE THAN .25 GPM.



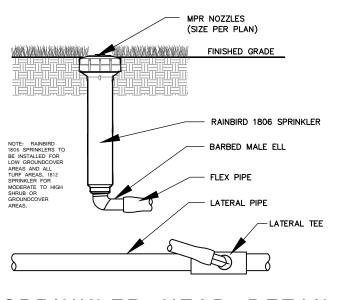
SPRINKLER AND NOZZLE SCHEDULE

SYMBOL	DESCRIPTION	G.P.M.	THROW
● 8Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10Q MPR SPRAY NOZZLE	.26	8'
1 0Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10Q MPR SPRAY NOZZLE	.39	10'
1 0H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 10H MPR SPRAY NOZZLE	.79	10'
1 2Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12Q MPR SPRAY NOZZLE	.65	12'
1 2H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12H MPR SPRAY NOZZLE	1.30	12'
⊕ 12∨	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 12V MPR SPRAY NOZZLE	VARIES	12'
1 5Q	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15Q MPR SPRAY NOZZLE	.92	15'
1 5H	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15H MPR SPRAY NOZZLE	1.85	15'
⊕ 15∨	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15V MPR SPRAY NOZZLE	VARIES	15'
15EST	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15RCS MPR SPRAY NOZZLE	.49	4X15'
15SST	RAINBIRD 1806 PRS OR 1812 PRS (SEE CRITERIA IN NOTES) WITH 15SST MPR SPRAY NOZZLE	1.21	4X30'
O PDP-ADJ	HUNTER PDP ADJUSTABLE POP UP GEAR DRIVE ROTOR (SPRAY NOZZLE VARIES WITH RADII)	2.50	30' MAX.

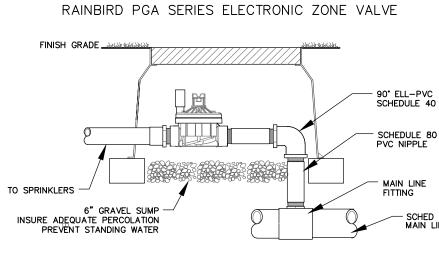
DETAILS



NOTE: MOUNT SENSOR ON SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY RAIN SENSOR DETAIL

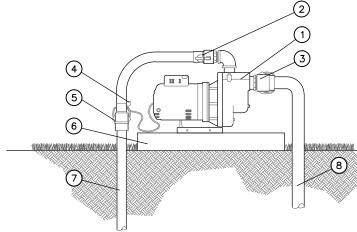


SPRINKLER HEAD DETAIL



IRRIGATION

ZONE VALVE DETAIL



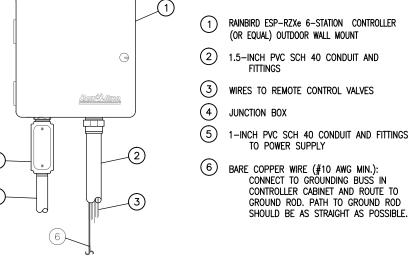
N.T.S.

FLO-TEC (OR EQUAL) FP5172 ELECTRIC
 CENTRIFUGAL SELF-PRIMING, 1-1/2 HP SINGLE
 PHASE CENTRIFUGAL IRRIGATION PUMP

- QUICK DISCONNECTING COUPLING
- (3) 1-1/2" PVC ADAPTER
- 4) 230 VOLT MAIN POWER PLUG WITH QUICK
- (5) QUICK DISCONNECTING COUPLING (6) 4" FIBER REINFORCED CONCRETE PAD
- (8) 2" SUCTION LINE

7) 1-1/2" DISCHARGE LINE

IRRIGATION PUMP DETAIL



1 RAINBIRD ESP-RZXe 6-STATION CONTROLLER (OR EQUAL) OUTDOOR WALL MOUNT

(2) 1.5-INCH PVC SCH 40 CONDUIT AND (3) WIRES TO REMOTE CONTROL VALVES

(4) JUNCTION BOX

5 1-INCH PVC SCH 40 CONDUIT AND FITTINGS TO POWER SUPPLY 6 BARE COPPER WIRE (#10 AWG MIN.):
CONNECT TO GROUNDING BUSS IN
CONTROLLER CABINET AND ROUTE TO GROUND ROD. PATH TO GROUND ROD

PROGRAMMABLE CONTROLLER DETAIL

L-300

RRI

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