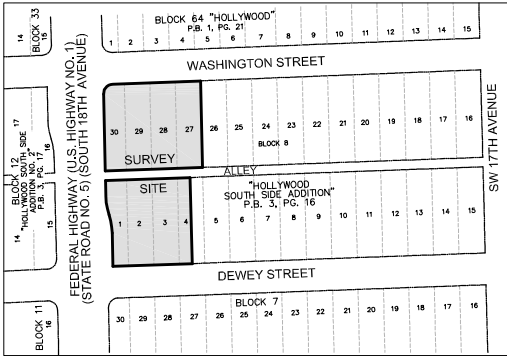
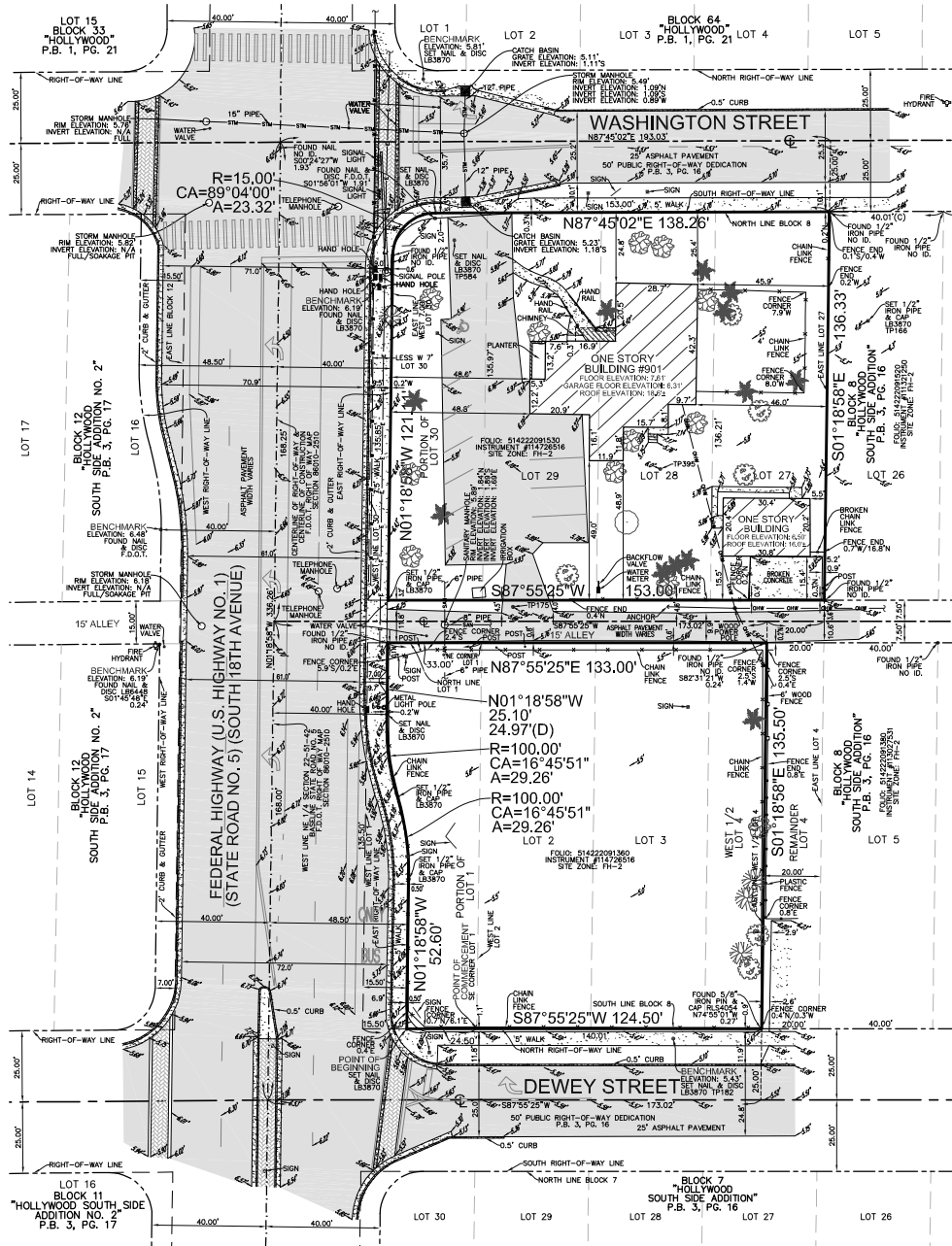


LEGEND

- CONCRETE
ASPHALT PAVEMENT
PAVERS
ELEVATION
OVERHEAD WIRES
UNDERGROUND STORM SEWER LINE
UNDERGROUND SANITARY SEWER LINE
UNDERGROUND ELECTRIC LINE
UNDERGROUND WATER LINE
CENTERLINE
O.R.B. OFFICIAL RECORDS BOOK
P.B. PLAT BOOK
PG. PAGE
TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
R RADIUS
CA CENTRAL ANGLE
A ARC LENGTH
FPL FLORIDA POWER & LIGHT COMPANY
F.D.O.T. FLORIDA DEPT. OF TRANSPORTATION
LB LICENSED BUSINESS
★ PALM TREE
○ OAK TREE
○ MANGO TREE
○ BAMBOO TREE
○ UNIDENTIFIED TREE

NOTES:

- 1) THIS SITE CONTAINS A TOTAL OF 38,106 SQUARE FEET (0.8748 ACRES) MORE OR LESS.
- 2) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK 1896; ELEVATION: 9.07 FEET.
- 3) FLOOD ZONE: X; BASE FLOOD ELEVATION: NONE; PANEL #125113 0569H; MAP DATE: 08/18/14.
- 4) THIS SITE LIES IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- 5) BEARINGS ARE BASED ON THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET BEING N87°45'02"E.
- 6) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- 7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 8) THIS SITE CONTAINS 11 FADED PARKING SPACES (10 REGULAR & 1 DISABLED).
- 9) ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS.
- 10) THIS SURVEY WAS PREPARED WITH BENEFIT OF PROPERTY INFORMATION REPORT FOR TITLE INSURANCE, ORDER NUMBER: 7386943, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY; EFFECTIVE DATE: 6/19/2019 AT 6:00 AM. THE FOLLOWING ITEMS ARE SCHEDULE B SECTION II EXCEPTIONS TO SAID COMMITMENT:
ITEM 1-RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND ANY OTHER MATTERS AS CONTAINED ON THE PLAT OF HOLLYWOOD SOUTH SIDE ADDITION, RECORDED IN PLAT BOOK 3, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
ITEM 2 & 4-RESTRICTIONS, COVENANTS AND CONDITIONS IN DEED BOOK 80, PAGE 183, (AS TO LOT 28) AND DEED BOOK 193, PAGE 121, (AS TO LOT 27) APPLY TO THIS SITE BUT ARE NOT PLOTTABLE.
ITEM 3-RESTRICTIONS, COVENANTS AND CONDITIONS IN DEED BOOK 160, PAGE 431, AS AFFECTED BY RELEASE OF REVERTER IN DEED BOOK 574, PAGE 195, (AS TO LOT 1 AND 2) APPLY TO THIS SITE BUT ARE NOT PLOTTABLE.
ITEM 5-RESTRICTIONS, COVENANTS AND CONDITIONS IN DEED BOOK 242, PAGE 160, (AS TO LOT 29 AND 30) APPLY TO THIS SITE BUT ARE NOT PLOTTABLE.
ITEM 6-RELEASE OF REVERTER (LOTS 1 AND 2) DEED BOOK 242 PAGE 195.
ITEM 7-RESTRICTIONS, COVENANTS AND CONDITIONS IN DEED BOOK 578, PAGE 376, (AS TO LOT 3 AND THE WEST 1/2 OF LOT 4) APPLY TO THIS SITE BUT ARE NOT PLOTTABLE.
- 11) THIS SURVEY WAS PREPARED WITH BENEFIT OF PROPERTY INFORMATION REPORT, FILE NUMBER: 7386943, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY; SEARCH DATE: MAY 21, 2019 AT 6:00 AM.



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:

LOT 1, BLOCK 8, "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS

ALL THAT PART OF SAID LOT 1, BLOCK 8, IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST WHICH LIES WEST OF THE FOLLOWING DESCRIBED LINE:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 24.50 TO THE POINT OF BEGINNING; THENCE RUN NORTH 01°18'58" WEST A DISTANCE OF 52.60 FEET TO A POINT OF CURVE WHICH IS CONCAVE TO THE SOUTHWEST; THENCE RUN NORTHERLY ALONG SAID CURVE HAVING A RADIUS OF 100 FEET THROUGH A CENTRAL ANGLE OF 16°45'51" AND ARC DISTANCE OF 29.26 FEET TO A POINT OF REVERSE CURVATURE; THENCE RUN NORTHERLY ALONG SAID REVERSE CURVE HAVING A RADIUS OF 100 FEET THROUGH A CENTRAL ANGLE OF 16°45'51" AND ARC DISTANCE OF 29.26 FEET TO THE END OF SAID REVERSE CURVE; THENCE RUN NORTH 01°18'58" WEST A DISTANCE OF 24.97 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 1 AND THE END OF THE HEREIN DESCRIBED LINE; THENCE RUN EASTERLY ALONG THE NORTH LINE OF SAID LOT 1 A DISTANCE OF 33.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, ALL AS SHOWN ON THE RIGHT OF WAY MAP FOR SECTION 86010-2510, STATE ROAD NO. 5.

AND

LOTS 2, 3 AND WEST HALF OF LOT 4, BLOCK 8, "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND

LOTS 27, 28, 29 AND 30, BLOCK 8, "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS

THE WESTERLY 7 FEET OF LOT 30, BLOCK 8 OF "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST AND BEING THAT PART OF SAID LOT 30 WHICH LIES WITHIN 40 FEET EAST OF THE CENTERLINE OF RIGHT OF WAY AND CENTERLINE OF CONSTRUCTION FOR STATE ROAD NO. 5, ACCORDING TO THE RIGHT OF WAY MAP FOR SECTION 86010-2510.

AND LESS

THAT PART OF LOT 30, BLOCK 8 OF "HOLLYWOOD SOUTH SIDE ADDITION" WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15 FOOT RADIUS ARC WHICH IS TANGENT TO THE NORTH LINE OF SAID LOT 30 AND TANGENT TO A LINE WHICH IS 7 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID LOT 30.

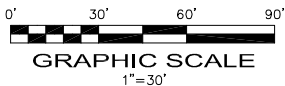
CERTIFICATION:

TO, HOUSING TRUST GROUP, LLC, A FLORIDA LIMITED LIABILITY COMPANY; STEARNS, WEAVER, MILLER, WEISSLER, ALHADEFF & SITTERSON, P.A.; FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b-1) 8, 9, 11 AND 13 OF TABLE A THEREOF.

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
STATE OF FLORIDA

COPYRIGHT 2019 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.



5		
4		
3		
2		
1	66107-PROPERTY INFORMATION-06/05/19	B.E.
NO.	REVISIONS	BY

HOUSING TRUST GROUP SITE
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33020

**BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY**

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: B.E.
CHECKED BY: J.F.P.

SCALE: 1" = 30'
SURVEY DATE: 03/27/19

FILE: HOUSING TRUST GROUP
ORDER NO.: 66107

P&D Board Submittal: September 30th, 2019

TAC MEETING DATES				RECESS	
DATES	NOTES	DATES	NOTES	DATES	NOTES
1/22/2019		5/06/2019		9/03/2019	
2/04/2019		5/20/2019		9/16/2019	
2/19/2019		6/03/2019		10/17/2019	
3/04/2019		6/17/2019		11/04/2019	
3/18/2019		7/01/2019		11/18/2019	
4/01/2019		7/15/2019		12/02/2019	
4/15/2019					



INDEX OF SHEETS	
SHEET NO.	SHEET NAME
SURVEY	
ARCHITECTURE	
A - 0.0	COVER
A - 1.00	SITE GROUND FLOOR PLAN
A - 1.01	GROUND FLOOR PLAN
A - 1.02	2ND FLOOR PLAN
A - 1.03	3RD FLOOR PLAN
A - 1.04	4TH FLOOR PLAN
A - 1.05	5TH - 7TH FLOOR PLAN
A - 1.06	8TH FLOOR PLAN
A - 1.07	ROOF FLOOR PLAN
A - 1.08	FAR DIAGRAMS
A - 2.00	ELEVATIONS
A - 2.01	ELEVATIONS
A - 2.01A	STREET PROFILE DIAGRAMS
A - 2.02	COLOR ELEVATIONS
A - 2.03	COLOR ELEVATIONS
A - 2.04	GARAGE SCREEN DETAIL
A - 3.00	RENDERINGS
A - 3.01	RENDERINGS
A - 4.00	UNIT PLANS
A - 4.01	UNIT PLANS
A - 4.02	UNIT PLANS
A - 4.03	UNIT PLANS
CIVIL	
C - 02	EROSION CONTROL PLAN
C - 03	DEMOLITION PLAN
C - 04	PAVING, GRADING, & DRAINAGE PLAN
C - 05	SITE DETAILS
C - 06	PAVING, GRADING, & DRAINAGE DETAILS
C - 07	TBD
C - 08	UTILITY PLAN
C - 09	UTILITY DETAILS
C - 10	PAVEMENT MARKING & SIGNAGE PLAN
C - 11	TRUCK CIRCULATION PLAN
LANDSCAPE	
LD-1	TREE DISPOSITION PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE NOTES AND DETAILS
R-1	RENDERED SITE PLAN

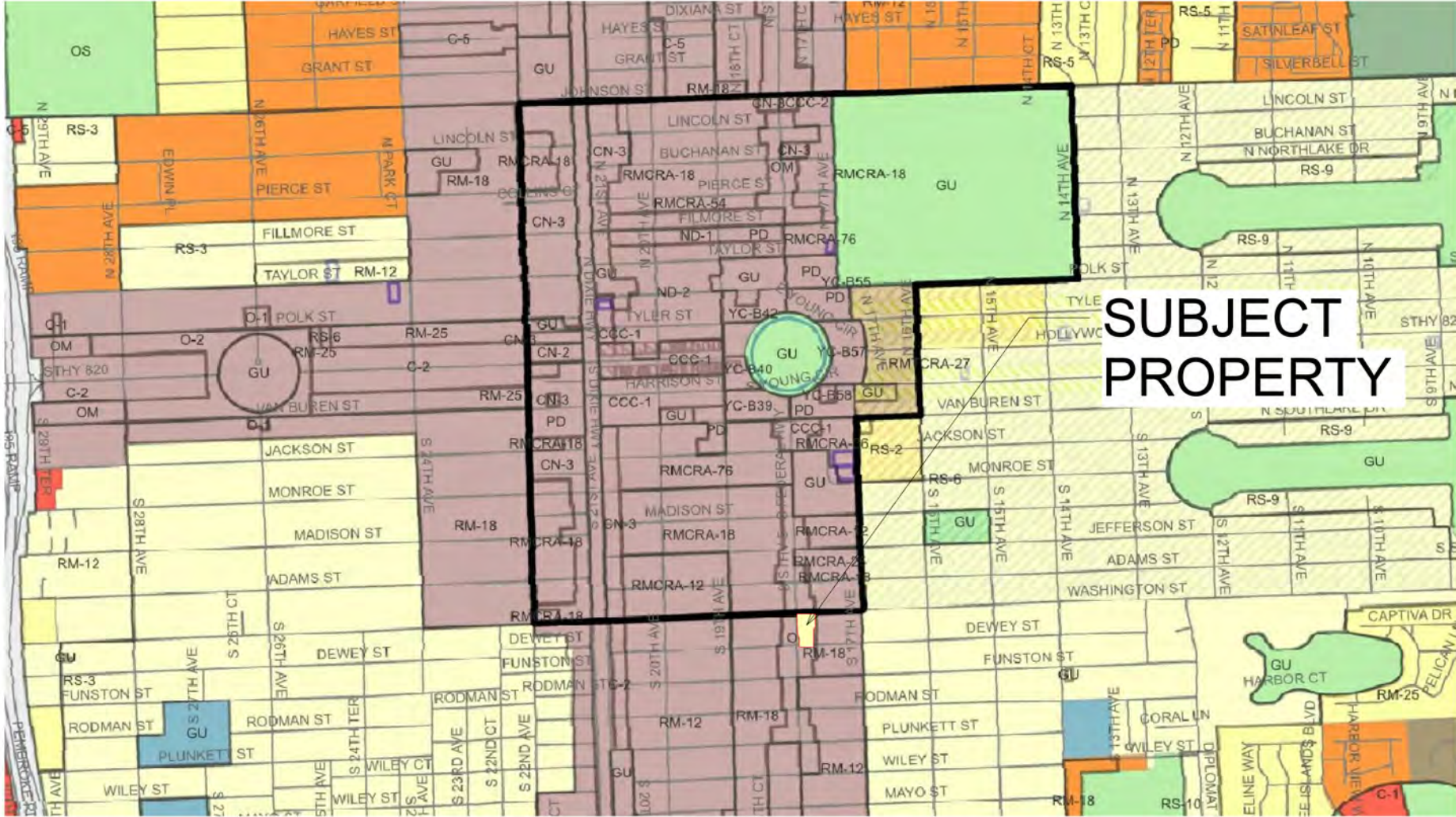
DEVELOPER



HOUSING TRUST GROUP

3225 Aviation Ave. Ste 602
Miami, FL 33133

ZONING MAP



LOCATION MAP



Hudson Village

901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FLORIDA

CIVIL ENGINEERING/
LANDSCAPE ARCHITECTS



1000 Corporate Drive, Suite 250
Fort Lauderdale, FL 33334



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC.NO. AA-C002151 T.305.448.7383



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

Hudson Village

901 SOUTH FEDERAL HIGHWAY

HOLLYWOOD, FL

OWNER:

HTG

Housing Trust Group

3225 AVIATION AVENUE

STE. 602.

MIAMI FL. 33133

SITE DATA

FUTURE LAND USE DESIGNATION:		RAC : REGIONAL ACTIVITY CENTER	
ZONING DISTRICT:		FH-2 FEDERAL HIGHWAY MEDIUM-HIGH INTENSITY MIXED USE DISTRICT	
LOT AREA:		EXISTING : 38,106 SF (0.87 AC.)	PROPOSED: 38,131 SF (0.87 AC.) NET
RESIDENTIAL UNITS:		96 UNITS (53 - 1 BEDROOM & 43 - 2 BEDROOMS)	
HEIGHT:		REQUIRED	PROVIDED
BASE:		45'- 0"	33'- 6"
TOWER:		140'- 0" (10 STORIES)	91'- 10" OVERALL (8 STORY UNDER 75')
SETBACKS:		REQUIRED	PROVIDED
BASE:		10'- 0" ALL FRONTAGES	16'- 6" (WEST) 28'- 0" (SOUTH) 25'- 8" (NORTH)
		0'- 0" SIDE INTERIOR	0'- 3" (EAST)
		5'- 0" ADJACENT TO ALLEY	5'- 3" (EAST)
TOWER:		10'- 0" ALL FRONTAGES	14'- 1" (WEST) 26'- 4" (SOUTH) 25'- 8" (NORTH)
		0'- 0" SIDE INTERIOR	9'- 5" (EAST)
		5'- 0" ADJACENT TO ALLEY	0'- 3" (EAST) *WAIVER AGREEMENT
MAXIMUM FAR:		REQUIRED	PROVIDED
		3.00	2.6
BLDG. FOOTPRINT		25,462 SF (0.585 AC) 68.13%	
OPEN AREA		11,912 SF (0.273 AC) 31.87%	
PERVIOUS AREA		8,771 SF	
IMPERVIOUS AREA		1,279 SF	

PARKING BREAKDOWN

	REQUIRED	PROVIDED
DENSITY: units x 1	96 X 1 = 96	96
VISITOR: 10 per unit	96 / 10 = 10	28
TOTAL SPACES	106	124
ACCESSIBLE: 5% of unit spaces 2 % of visitor spaces 1 space for leasing	96 X 0.05 = 5 10 X .02 = 1 1 = 7 spaces totl.	8
ACCESSIBLE VAN: 1 for every 6 spc.	1	1
OFF-STREET LOADING: 60,000-119,999 = 3 (50-100 units = 1)	3 - 1 = 2 spaces	2

UNIT BREAKDOWN

UNIT #	AREA (SF GROSS)	BALCONY AREA (SF)
A-1	709 SF	72 SF
A-2	709 SF	40 SF
A-3	709 SF	40 SF
A-4	709 SF	40 SF
A-5	685 SF	48 SF
A-6	695 SF	47 SF
A-7	654 SF	39 SF
A-8	653 SF	38 SF
A-9	660 SF	38 SF
A-10	711 SF	79 SF
A-11	734 SF	79 SF
B-1	985 SF	51 SF
B-2	1,003 SF	46 SF
B-3	1,052 SF	43 SF
B-4	1,037 SF	39 SF
B-5	1,035 SF	90 SF
B-6	1,026 SF	44 SF
B-7	1,058 SF	60 SF
B-8	1,086 SF	81 SF
B-9	1,014 SF	91 SF
AVERAGE UNIT AREA:	845 SF	1 BEDROOM= 53 UNITS TOTAL 2 BEDROOM= 43 UNITS TOTAL

TOTAL AREA BREAKDOWN

	A/C AREA	NON A/C AREA	TERRACE / BALCONIES
GROSS AREA			
GROUND FLOOR	7,971 SF	14,188 SF	3,303 SF
SECOND FLOOR (GARAGE)	180 SF	25,074 SF	0 SF
THIRD FLOOR (GARAGE)	180 SF	4,411 SF	0 SF
4TH - 8TH FLOOR	(18,820 SF X 4) + 15,395 SF = 90,675 SF	(702 SF X 5) 3,510 SF	ALL BALC. 6,425 SF 6,925 SF (POOL DECK)
TOTAL	99,006 SF	47,183 SF	16,653 SF
TOTAL BUILDING GROSS AREA			162,842 SF

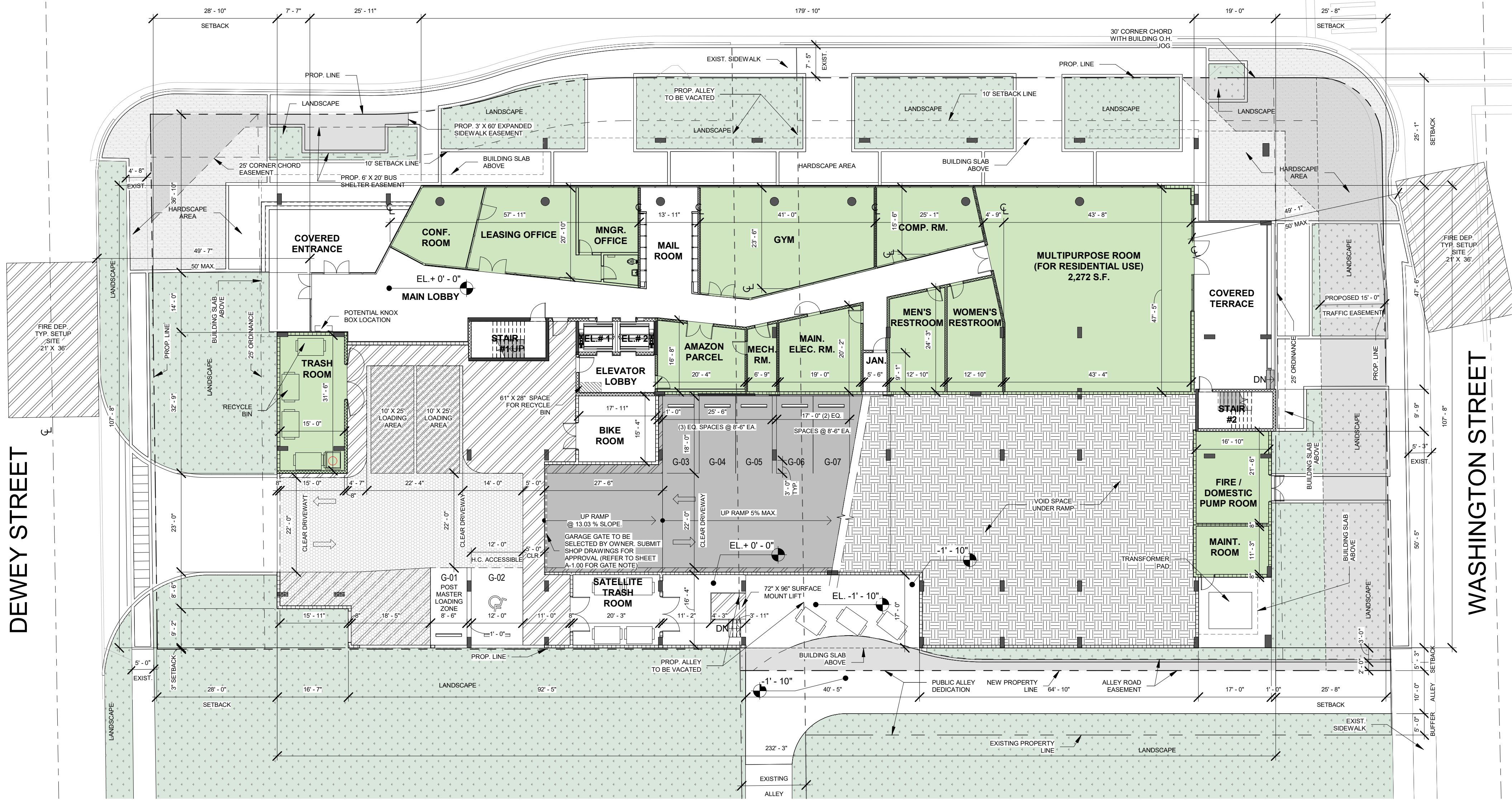
COMMON AREA BREAKDOWN

	GROSS AREA		
LEASING OFFICE	1,140 SF	MECHANICAL ROOM	121 SF
GYM	975 SF	TRASH ROOM	533 SF
COMPUTER ROOM	394 SF	SATELLITE TRASH ROOM	550 SF
MULTIPURPOSE ROOM	2,272 SF	BIKE ROOM	288 SF
RESTROOMS	680 SF	PUMP ROOM	395 SF
AMAZON PARCEL	355 SF	MAINT. ROOM	220 SF
MAIN ELCT. ROOM	383 SF		

LEGEND

	DENOTES 14' VERTICAL CLEARANCE
	DENOTES PARKING STRIPPING
	DENOTES LANDSCAPE AREA
	DENOTES SOIL UNDERNEATH FLOOR SLAB
	DENOTES EASEMENT AREA

FEDERAL HIGHWAY (U.S. HIGHWAY NO.1) (STATE ROAD NO. 5) (SOUTH 18TH AVENUE)



SITE GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"

NOTE

1. MAXIMUM FOOT CANDLE : 0.5 AT ALL PROPERTY LINES
2. THIS PROJECT TO BE NGBS CERTIFIED
3. RECYCLE MATERIALS FROM DEMOLITION OF THE EXISTING STRUCTURES TO THE GREATEST EXTENT POSSIBLE. RECYCLE WASTE MATERIALS FROM CONSTRUCTION AS WELL. FLORIDA'S GOAL IS A 75% RECYCLING RATE BY 2020, WHICH INCLUDES CONSTRUCTION AND DEMOLITION DEBRIS.
4. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION.

LEGAL DESCRIPTION:

LOT 1, BLOCK 8, "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS

ALL THAT PART OF SAID LOT 1, BLOCK 8, IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST WHICH LIES WEST OF THE FOLLOWING DESCRIBED LINE:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 24.50 TO THE POINT OF BEGINNING; THENCE RUN NORTH 01°18'58" WEST A DISTANCE OF 52.60 FEET TO A POINT OF CURVE WHICH IS CONCAVE TO THE SOUTHWEST; THENCE RUN NORTHERLY ALONG SAID CURVE HAVING A RADIUS OF 100 FEET THROUGH A CENTRAL ANGLE OF 16°45'51" AND ARC DISTANCE OF 29.26 FEET TO A POINT OF REVERSE CURVATURE; THENCE RUN NORTHERLY ALONG SAID REVERSE CURVE HAVING A RADIUS OF 100 FEET THROUGH A CENTRAL ANGLE OF 16°45'51" AND ARC DISTANCE OF 29.26 FEET TO THE END OF SAID REVERSE CURVE; THENCE RUN NORTH 01°18'58" WEST A DISTANCE OF 24.97 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 1 AND THE END OF THE HEREIN DESCRIBED LINE; THENCE RUN EASTERLY ALONG THE NORTH LINE OF SAID LOT 1 A DISTANCE OF 33.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 1, ALL AS SHOWN ON THE RIGHT OF WAY MAP FOR SECTION 88010-2510, STATE ROAD NO. 5.

AND

LOTS 2, 3 AND WEST HALF OF LOT 4, BLOCK 8, "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND

LOTS 27, 28, 29 AND 30, BLOCK 8, "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS

THE WESTERLY 7 FEET OF LOT 30, BLOCK 8 OF "HOLLYWOOD SOUTH SIDE ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST AND BEING THAT PART OF SAID LOT 30 WHICH LIES WITHIN 40 FEET EAST OF THE CENTERLINE OF RIGHT OF WAY AND CENTERLINE OF CONSTRUCTION FOR STATE ROAD NO. 5, ACCORDING TO THE RIGHT OF WAY MAP FOR SECTION 88010-2510.

AND LESS

THAT PART OF LOT 30, BLOCK 8 OF "HOLLYWOOD SOUTH SIDE ADDITION" WHICH IS INCLUDED IN THE EXTERNAL AREA FORMED BY A 15 FOOT RADIUS ARC WHICH IS TANGENT TO THE NORTH LINE OF SAID LOT 30 AND TANGENT TO A LINE WHICH IS 7 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SAID LOT 30.

GATE NOTES

1. OWNER TO CONFIRM SECURITY GATE OR OTHER SECURITY DEVICE TO BE INSTALLED. ELECTRICAL CONNECTIONS SHALL BE PROVIDED. SEPARATE PERMIT SHALL BE SUBMITTED. REFER TO GATE AND SECURITY SUBMITTAL FOR DETAILS.
2. SECURITY CONSULTANT TO CONFIRM PROPOSED TELE READER OR KEYPAD LOCATION BASED ON OPERATIONAL REQUIREMENTS. 8'-2" MIN. CLEAR HEADROOM TO BE PROVIDED FOR HC ACCESSIBLE VEHICLES.
3. AUTOMATIC VEHICULAR GATES SHALL COMPLY WITH FBC 3110.2. VEHICULAR GATES INTENDED FOR AUTOMATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS AS ASTM F 2200 AND 2017 FBC & 3110.4. VEHICULAR GATE OPENERS, WHEN PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325

SITE GROUND FLOOR PLAN

PHASE:

Final Site Plan

Review

PERMIT No.:

REVISIONS

Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019

JOB No.: 2019-22

DRAWN BY: MA, GL, MC

APPR BY: AMC

PRINTED DATE: 9/27/2019 4:55:35 PM

SHEET NUMBER:

A-1.00



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:

HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

GROUND FLOOR PLAN

PHASE:

Final Site Plan
Review

PERMIT No.:

REVISIONS

Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE:

8-2-2019

JOB No.:

2019-22

DRAWN BY:

Author

APPR BY:

Approver

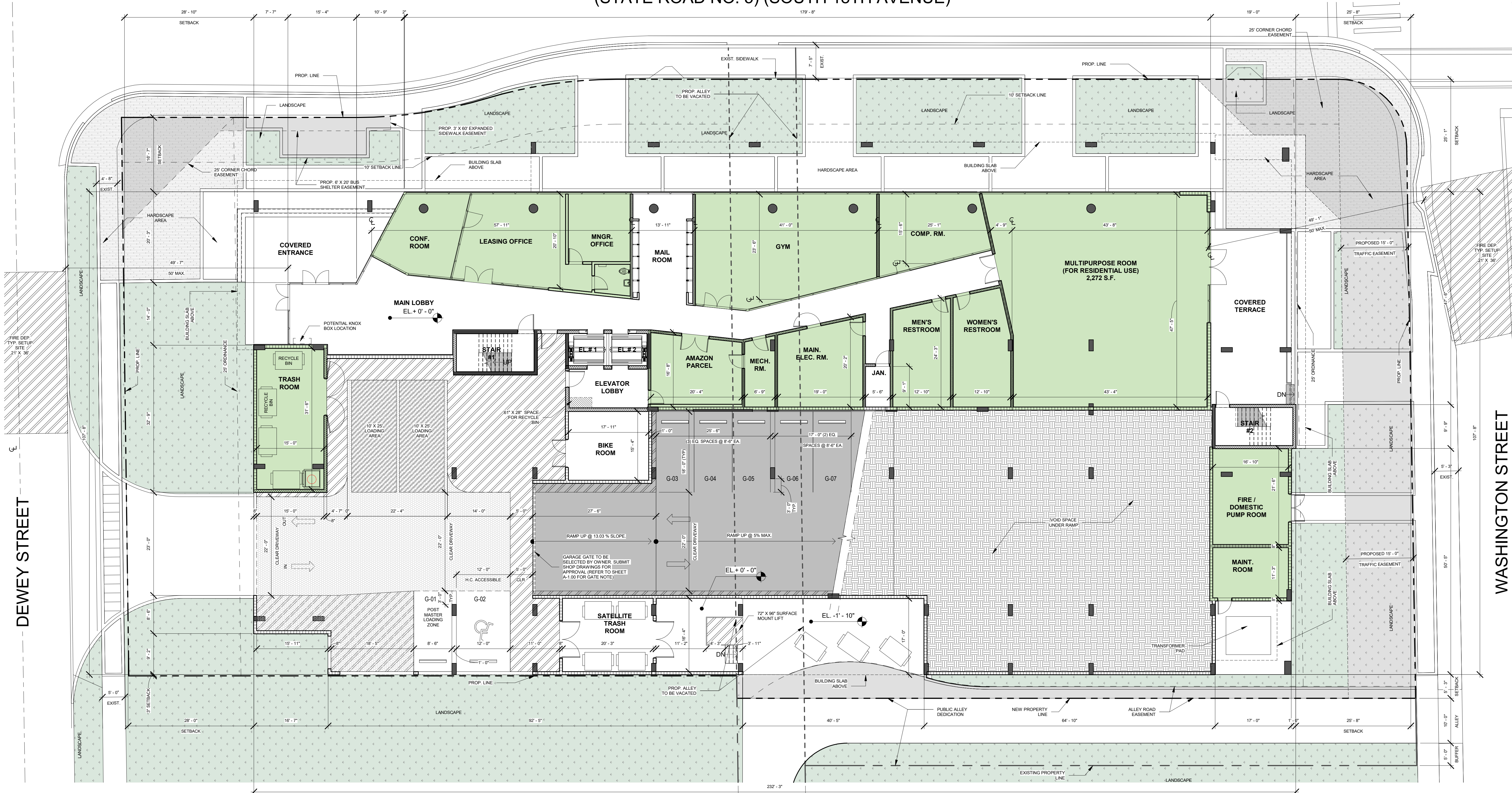
PRINTED DATE:

9/27/2019 4:55:39 PM

SHEET NUMBER:

A-1.01

FEDERAL HIGHWAY (U.S. HIGHWAY NO.1)
(STATE ROAD NO. 5) (SOUTH 18TH AVENUE)



1 GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION.

PARKING DIAGRAM
- GROUND TO 2ND FLOOR

SCALE: 3/32" = 1'-0"

PARKING SPACES= 7 SPACES



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

2ND FLOOR PLAN

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

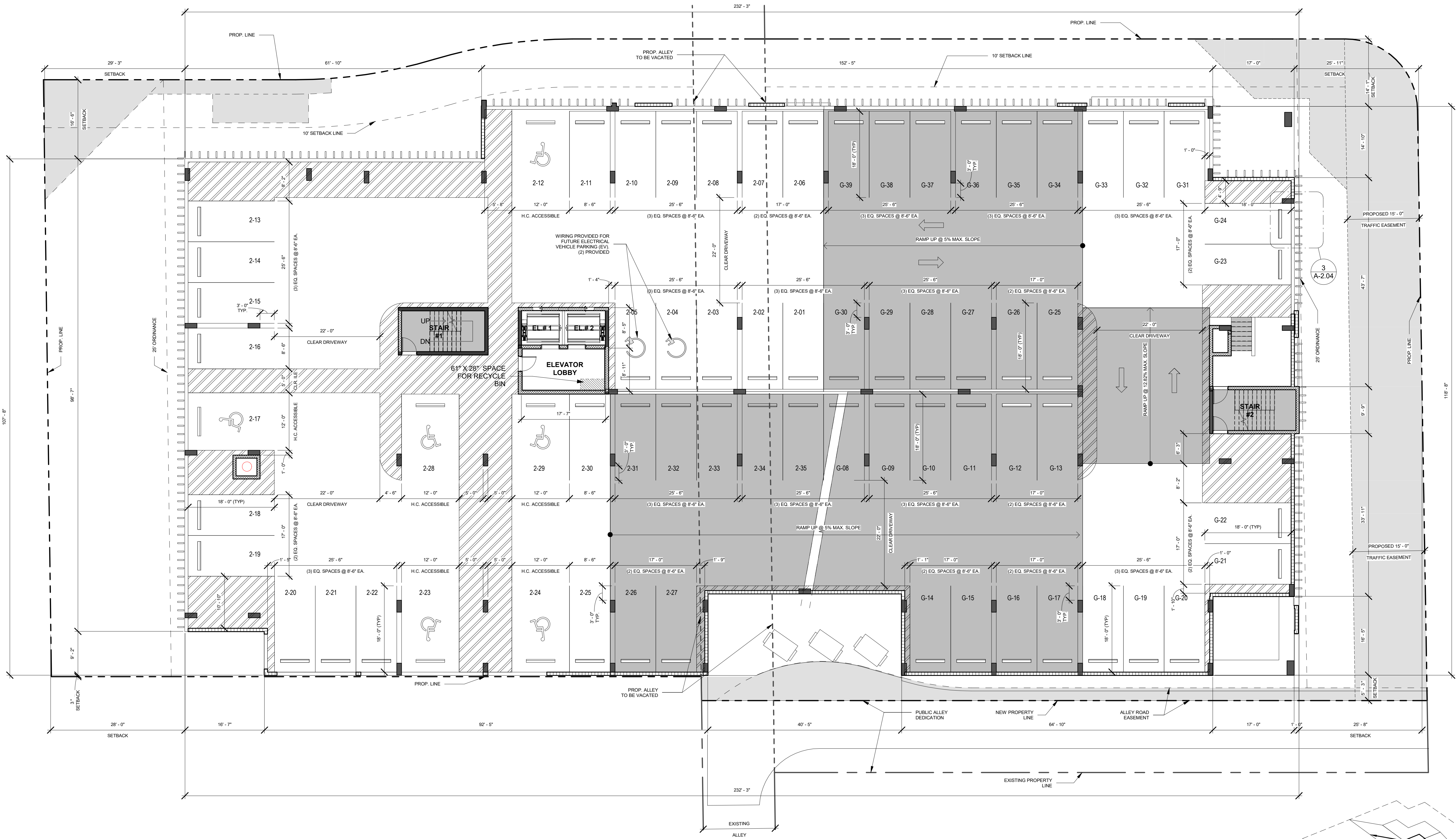


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

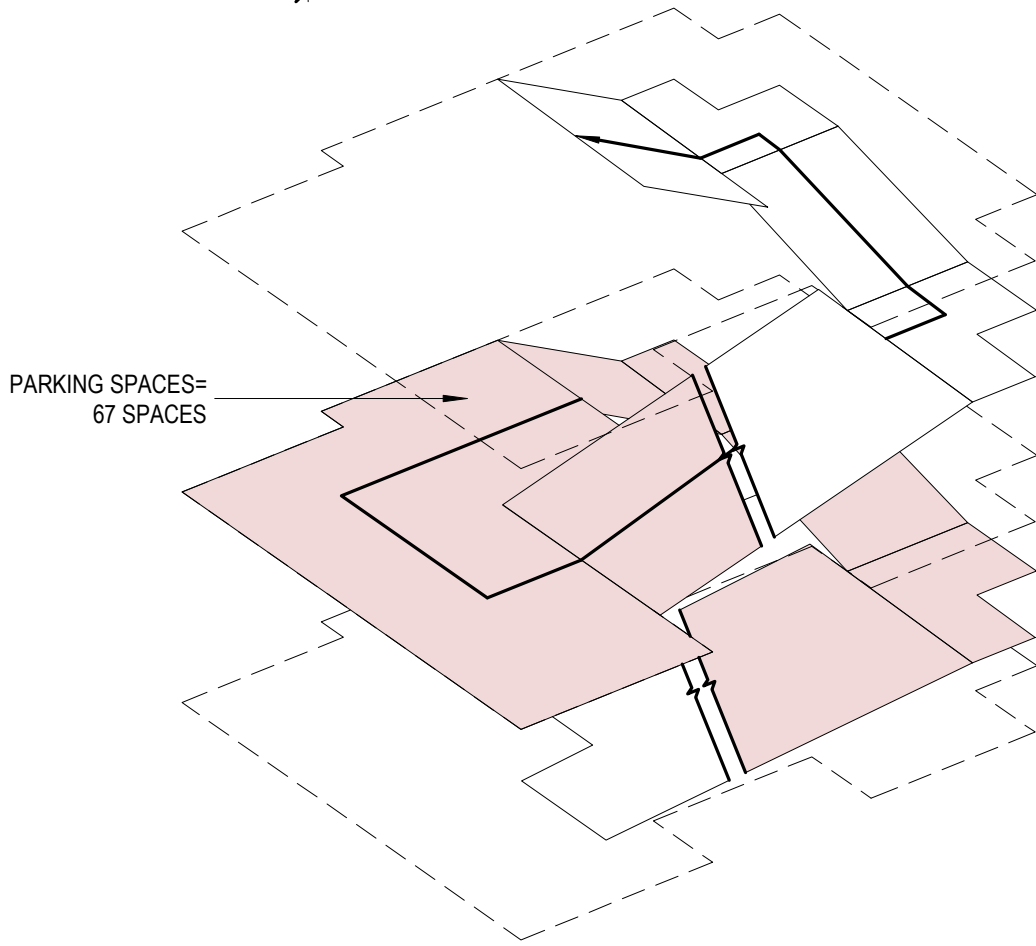
DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:55:44 PM

SHEET NUMBER:

A-1.02



2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"



PARKING DIAGRAM
- 2ND TO 3RD FLOOR
SCALE: 3/32" = 1'-0"



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL
OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

3RD FLOOR PLAN

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

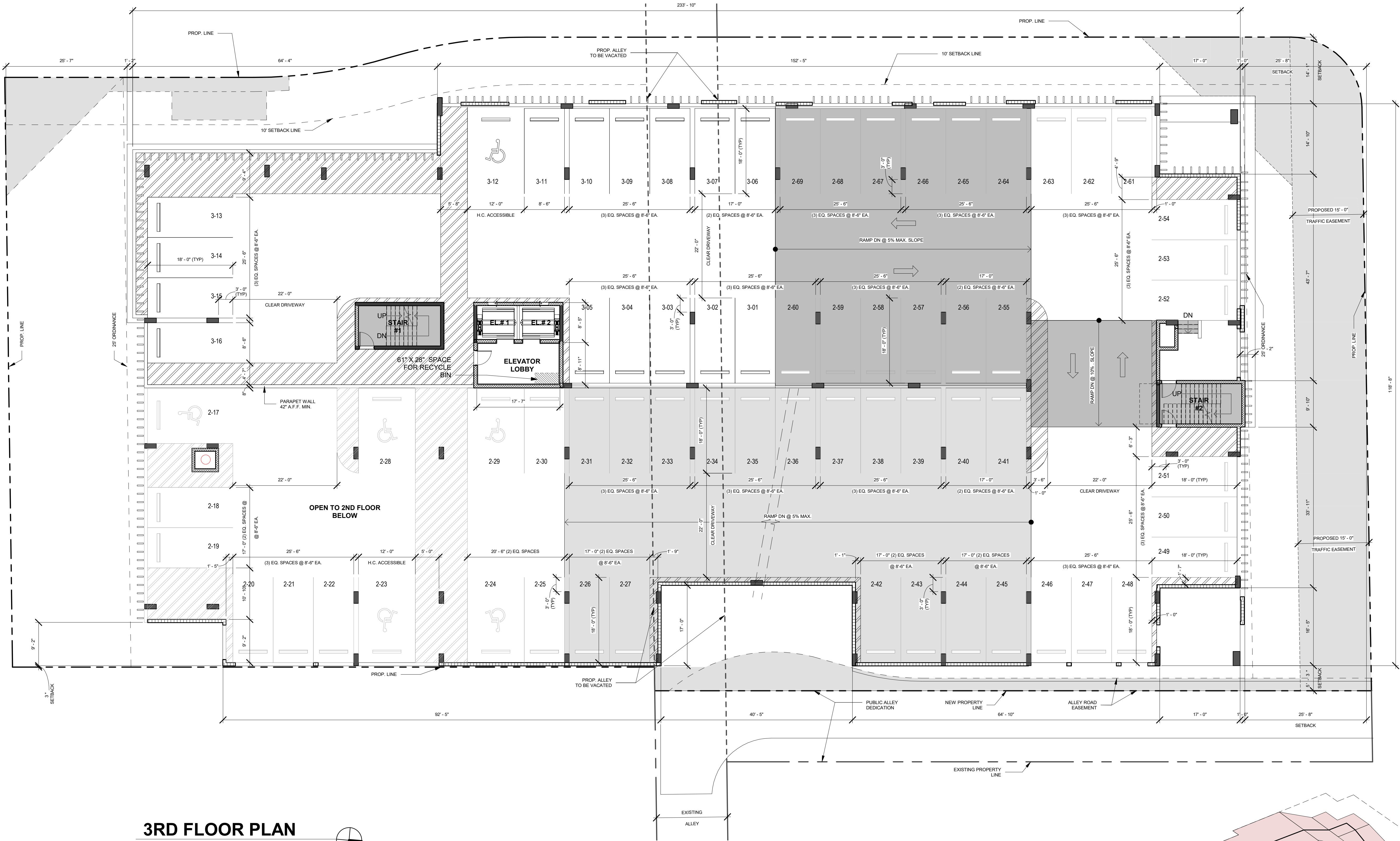


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

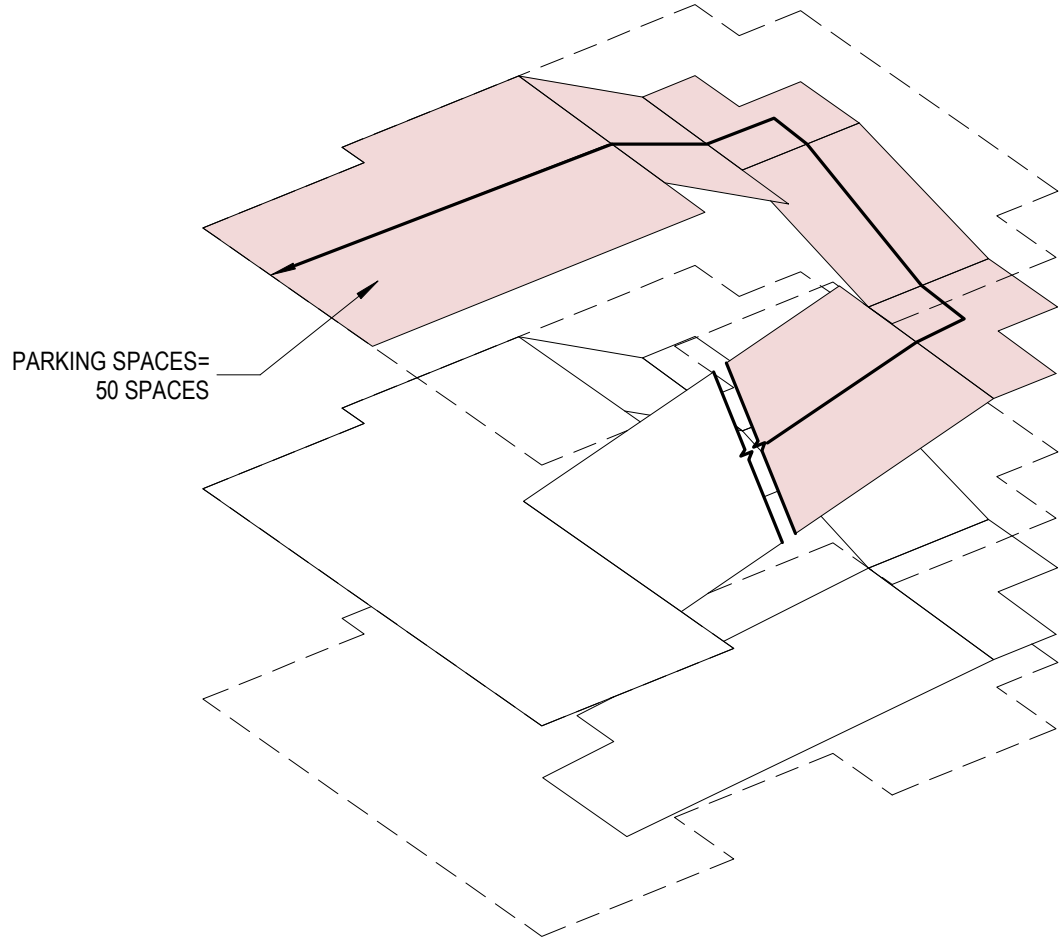
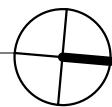
DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:55:47 PM

SHEET NUMBER:

A-1.03



3RD FLOOR PLAN
SCALE: 3/32" = 1'-0"



PARKING DIAGRAM
- 3RD FLOOR
SCALE: 3/32" = 1'-0"



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

4TH FLOOR PLAN

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

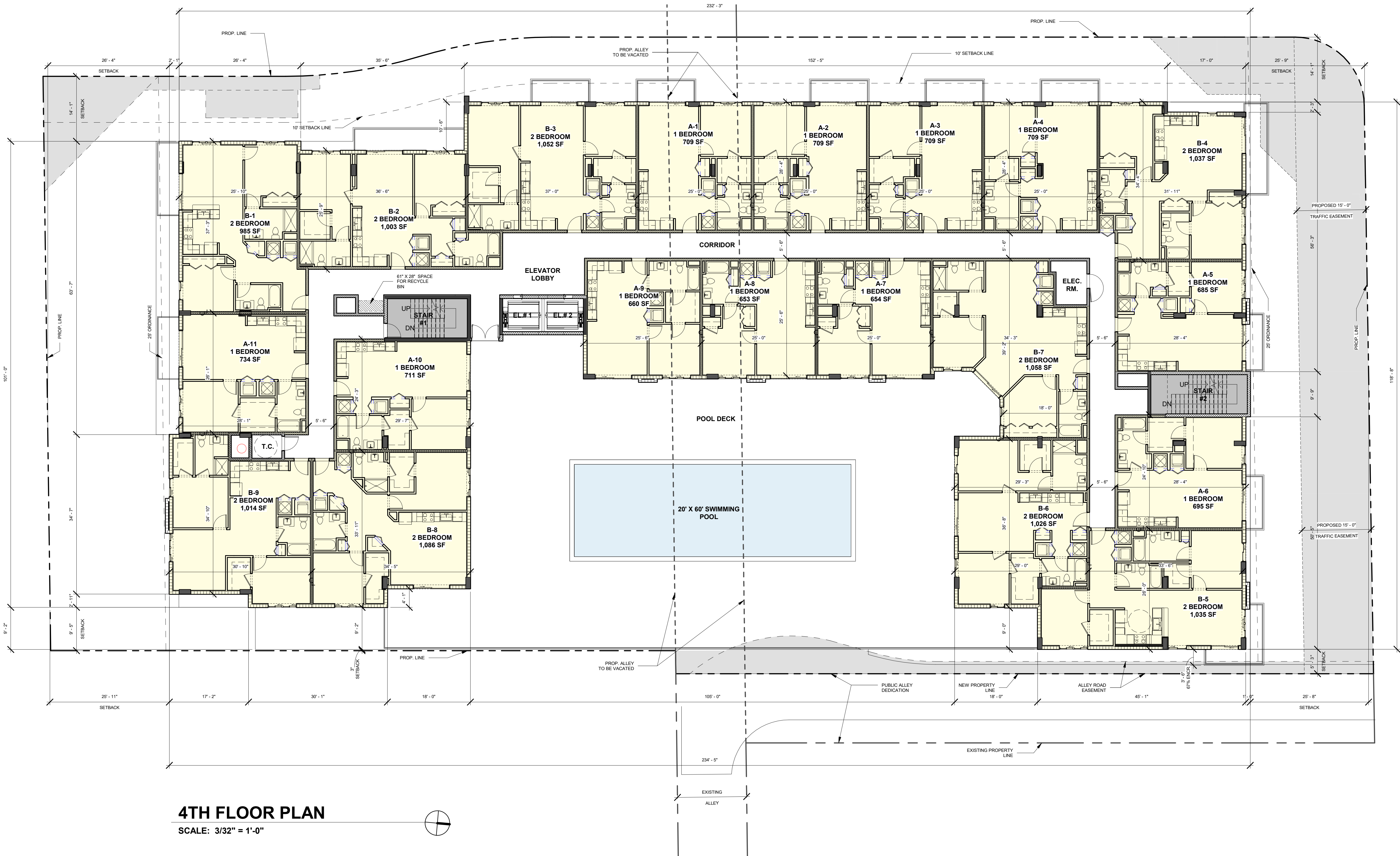


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:55:52 PM

SHEET NUMBER:

A-1.04





CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL
OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

5TH - 7TH FLOOR PLAN

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

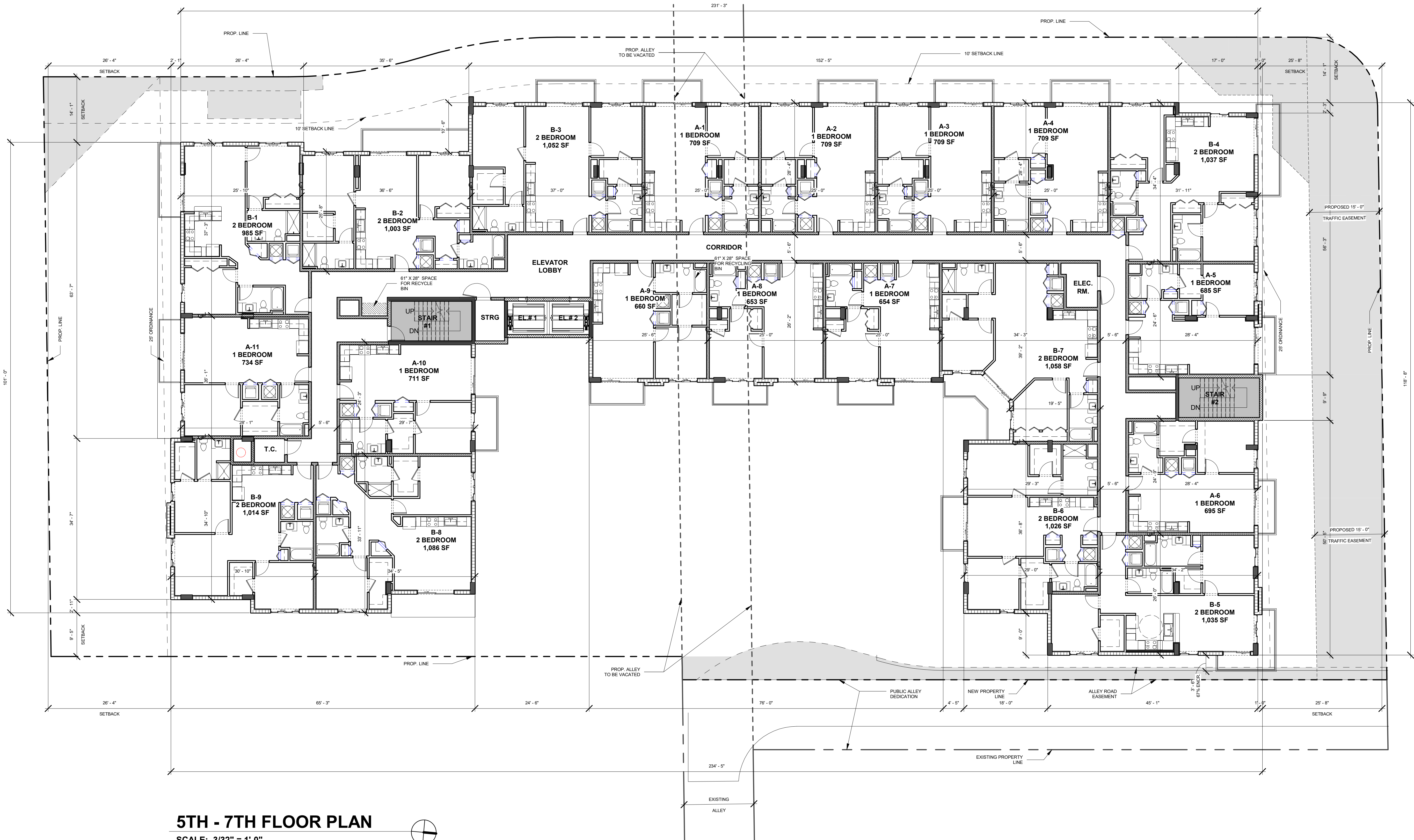


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

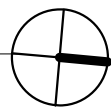
DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:55:58 PM

SHEET NUMBER:

A-1.05



5TH - 7TH FLOOR PLAN
SCALE: 3/32" = 1'-0"





CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL
OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

8TH FLOOR PLAN

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

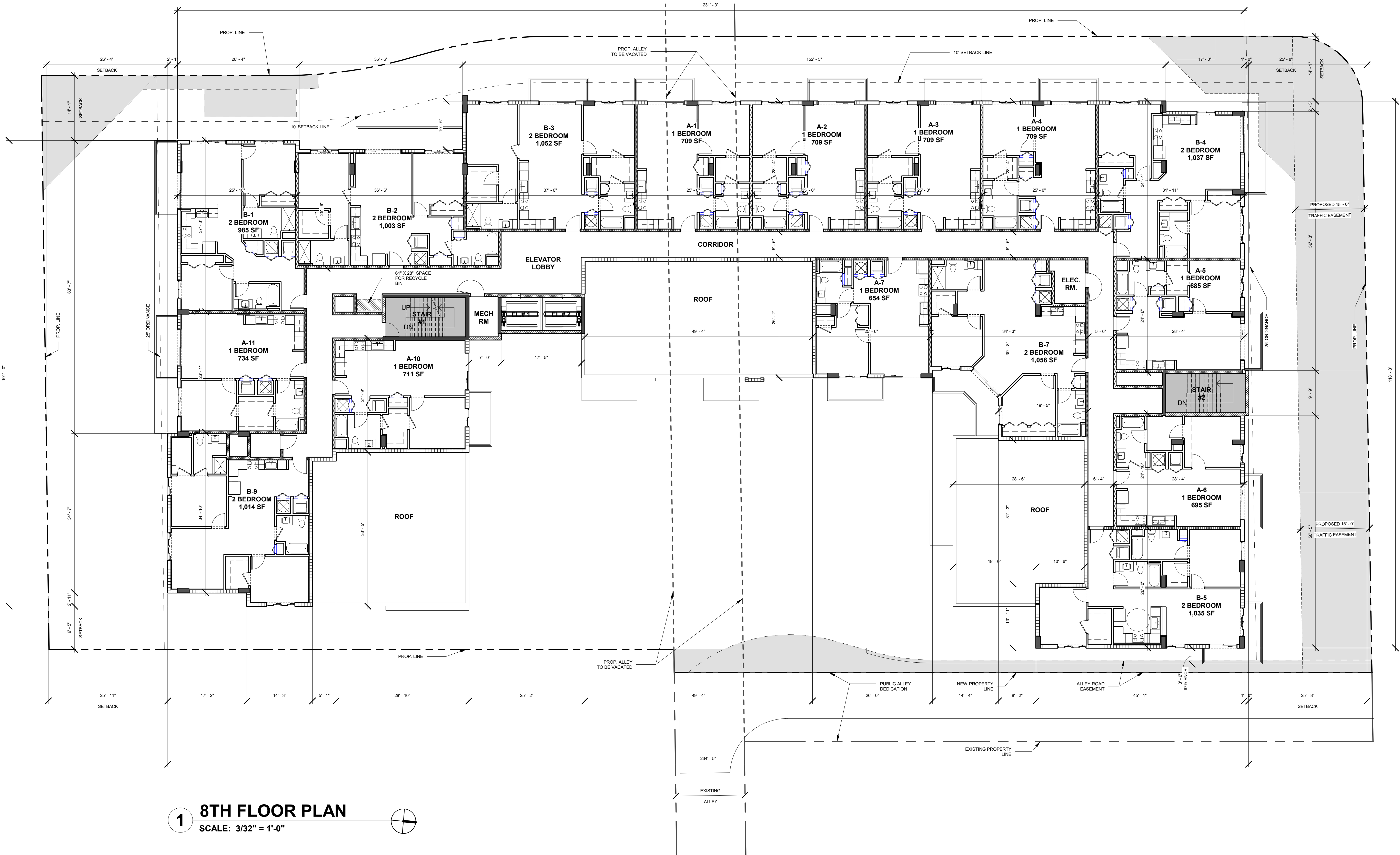


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:03 PM

SHEET NUMBER:

A-1.06



1 8TH FLOOR PLAN
SCALE: 3/32" = 1'-0"



OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

ROOF FLOOR PLAN

PHASE:
Final Site Plan
Review
PERMIT No.:

[illegible]

SEAL:

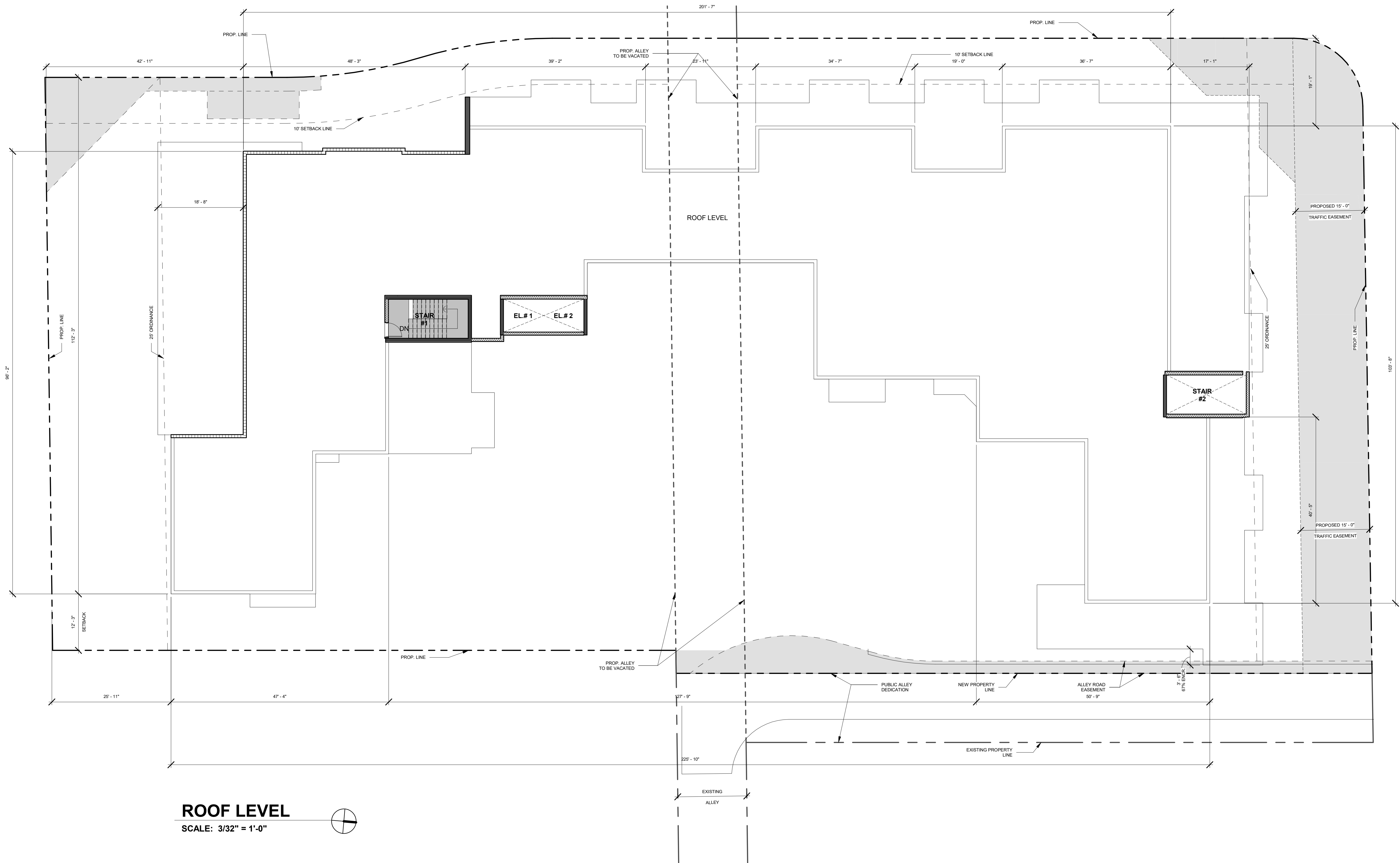


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS, INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:04 PM

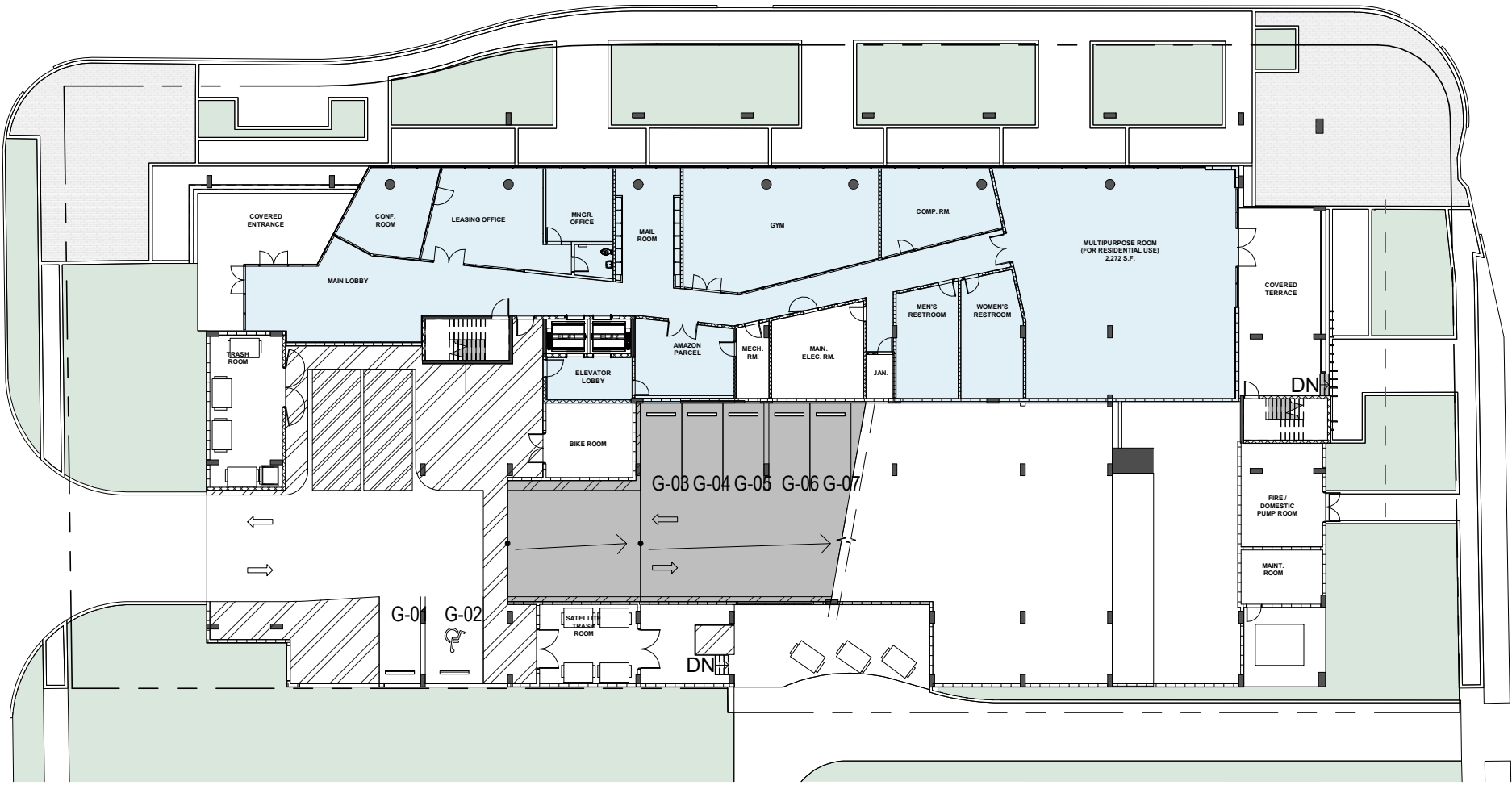
SHEET NUMBER:

A-1.07



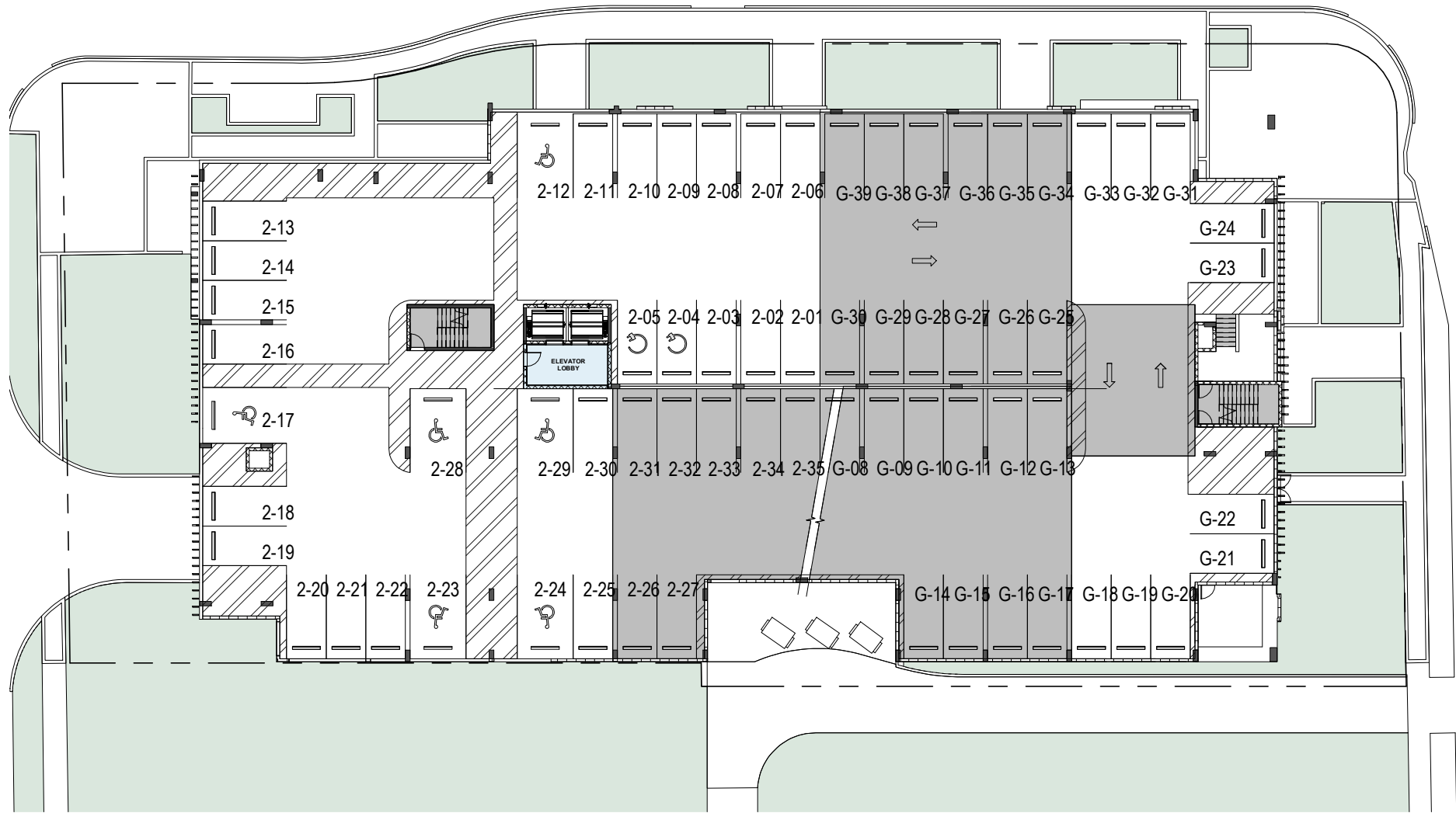
FEDERAL HIGHWAY (U.S. HIGHWAY NO.1)
(STATE ROAD NO. 5) (SOUTH 18TH AVENUE)

DEWEY STREET

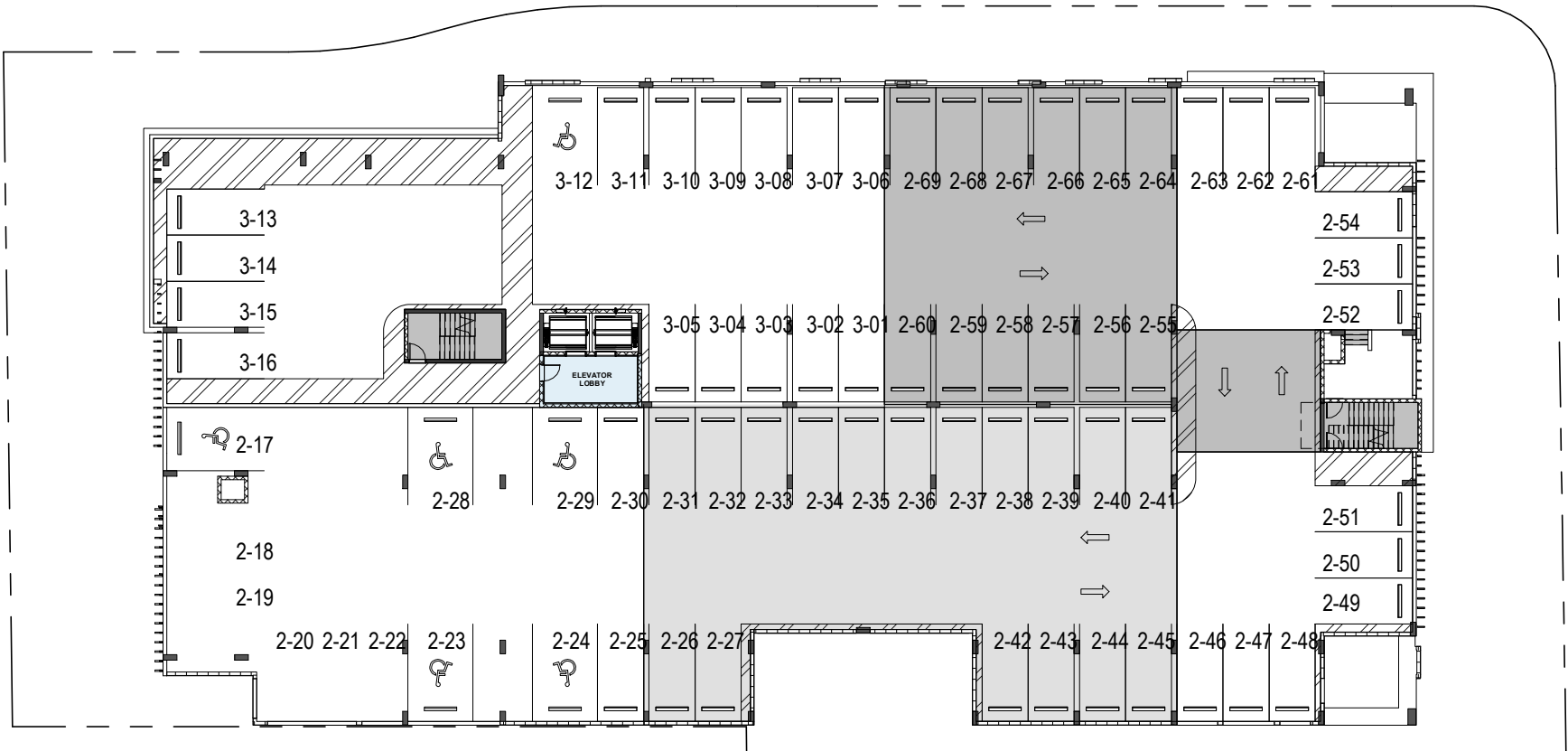


WASHINGTON STREET

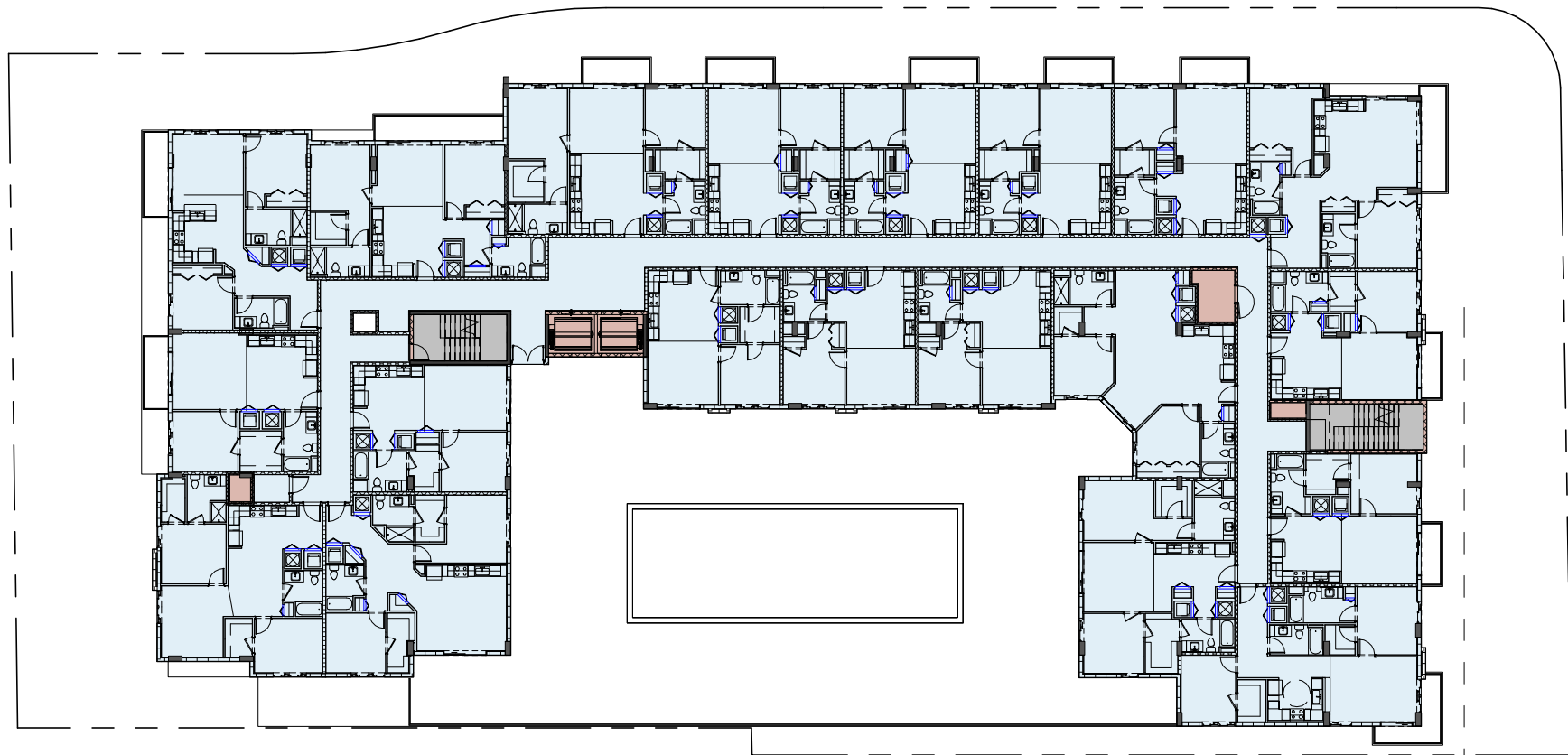
1 GROUND FLOOR FAR AREAS
SCALE: 1/32" = 1'-0" FAR AREA: 7,971 SF



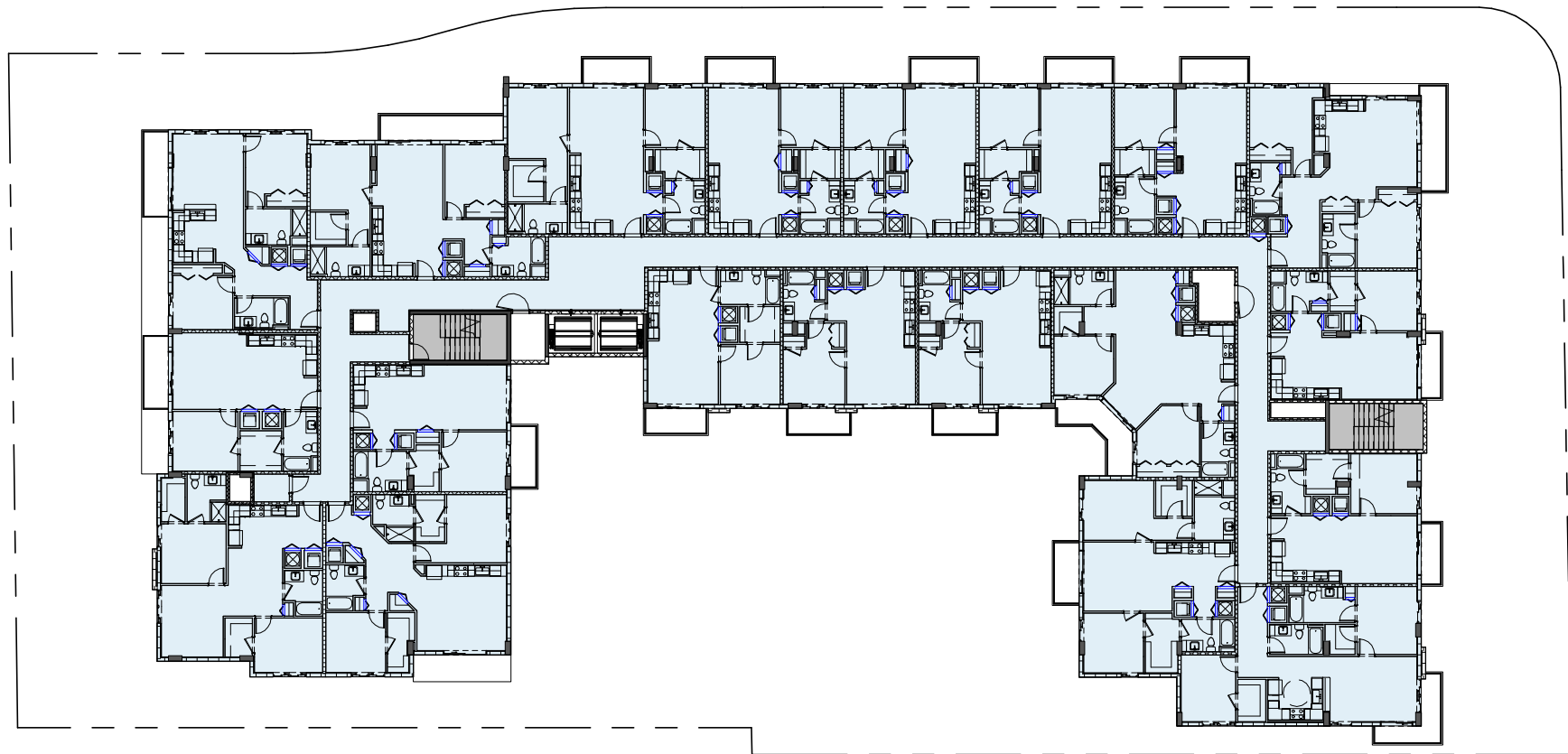
2 2ND FLOOR PLAN
SCALE: 1/32" = 1'-0" FAR AREA: 180 SF



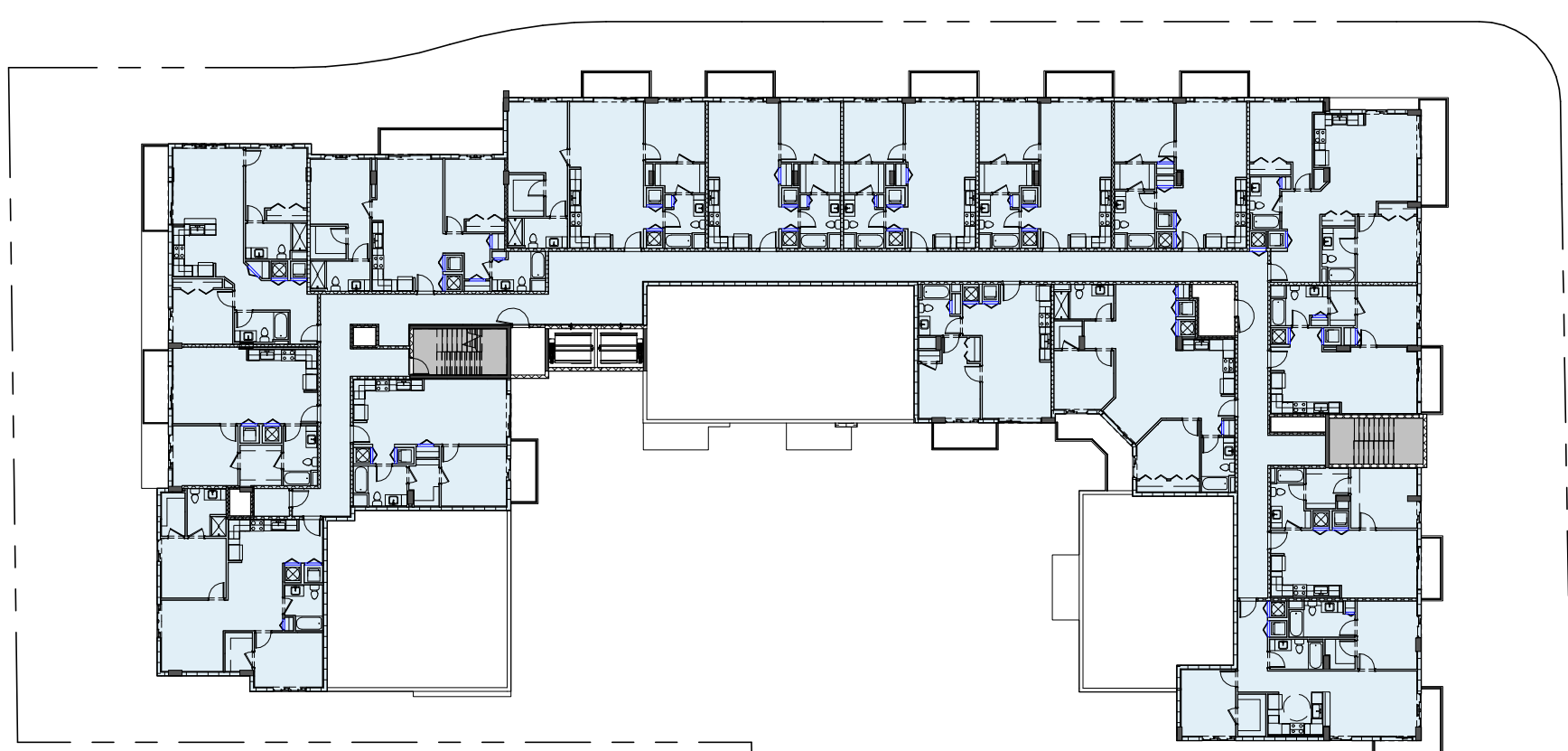
3 3RD FLOOR PLAN
SCALE: 1/32" = 1'-0" FAR AREA: 180 SF



4 4TH FLOOR PLAN
SCALE: 1/32" = 1'-0" FAR AREA: 18,834 SF



5 5TH - 7TH FLOOR FAR AREAS
SCALE: 1/32" = 1'-0" FAR AREA: 56,310 SF



6 8TH FLOOR FAR AREAS
SCALE: 1/32" = 1'-0" FAR AREA: 15,478 SF

FLOOR AREA RATIO TABLE	
LEVEL	AREA
GROUND FLOOR	7,971 SF
2ND FLOOR	180 SF
3RD FLOOR	180 SF
4TH FLOOR	18,834 SF
5TH - 7TH FLOOR	18,770 SF (3) = 56,310 SF
8TH FLOOR	15,478 SF
TOTAL AREA	98,953 SF/ 38,131 SF = 2.6 FAR



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

FAR DIAGRAMS

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:21 PM

SHEET NUMBER:

A-1.08



CORWILARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

Hudson Village

901 SOUTH FEDERAL
HIGHWAY, HOLLYWOOD FL

OWNER:

**HTG
Housing Trust Group**

3225 Aviation Ave. Ste 602
Miami, FL 33133

PHASE:

**Final Site Plan
Review**

PERMIT No.:

ELEVATIONS

REVISIONS		
Revision #	Revision Description	Date

SEAL:

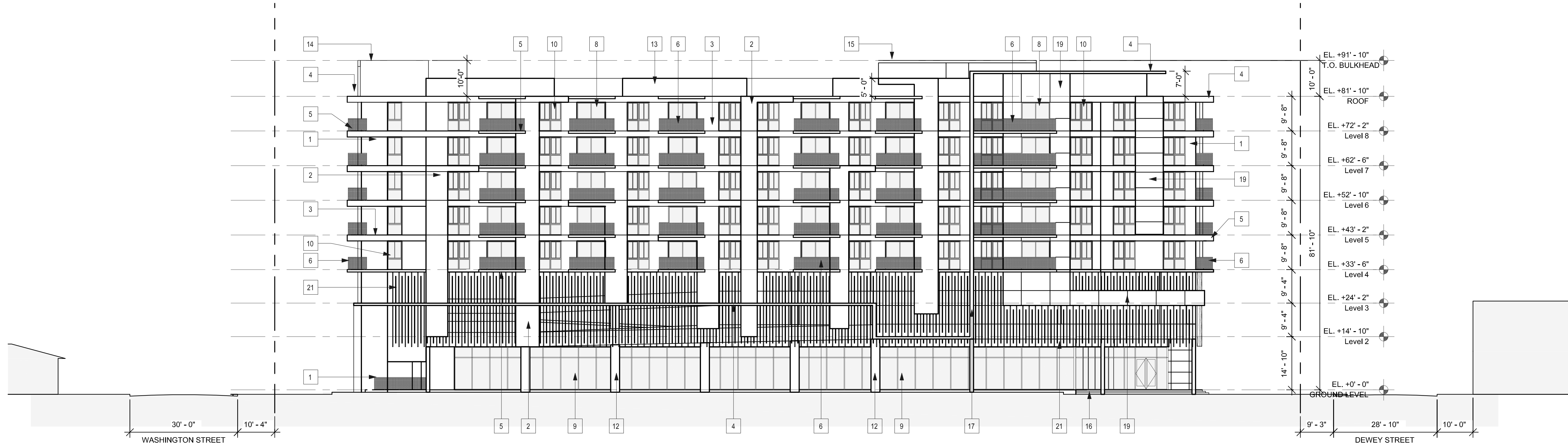


THIS DRAWING IS THE PROPERTY OF CORWIL ARCHITECTS INC.
UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THIS DRAWING ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

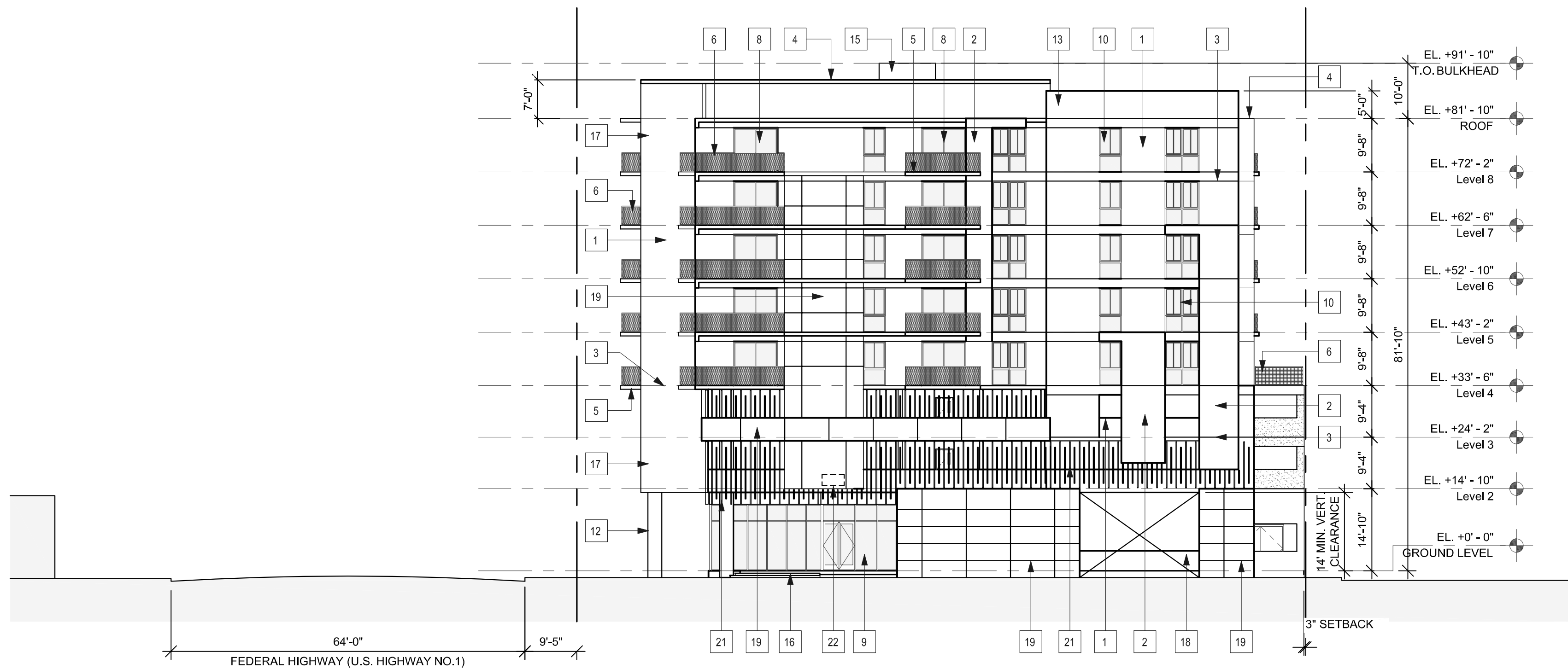
DATE: **4-2-2019**
JOB No.: **2019-22**
DRAWN BY: **Author**
APPR BY: **Approver**

SHEET NUMBER:

A-2.00



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND			
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	5 EXPOSED BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR.	10 ROLLING WINDOW W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS (TYP.)	16 ACCESS STEPS/ STOOP.
2 SMOOTH FINISH CEMENT PLASTER (AT ALL FEATURE WALLS UNLESS OTHERWISE NOTED)	6 42" HT. EXPANDED ALUMINUM MESH SCREEN / BALCONY RAILING (KYNAR FINISH). MESH SHALL REJECT 4" OBJECTS.	11 IMPACT RESISTANT METAL DOOR	17 CONCRETE ARCHITECTURAL FIN
3 CONT. 1" WIDE STUCCO SCORE LINE. ALL LINES TO BE CONTINUOUS AND AT SAME HEIGHT THROUGHOUT ELEVATIONS	7 ARTIFICIAL GREEN WALL	12 CONCRETE RECTANGULAR COLUMN	18 GARAGE ENTRANCE
4 EXPOSED CONCRETE EYEBROW W/ SLOPE AND APPLIED WATERPROOFING THROUGHOUT.	8 SLIDING DOOR. W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS	13 PARAPET WALL	19 ALUMINUM CLADDING SYSTEM (KYNAR FINISH. COLOR TO BE SELECTED BY OWNER/ ARCHITECT
	9 IMPACT RESISTANT ALUMINUM (KYNAR FINISH) STOREFRONT SYSTEM.	14 STAIR CORE AT ROOF LEVEL	20 ADA ACCESS RAMP
		15 ELEVATOR CORE AT ROOF LEVEL	21 GARAGE SCREEN W/ 2" X 6" 2" X 8" AND 2" X 16" ALUMINUM TUBE FRAME (WOOD LOOK FINISH, KYNAR FINISH)
			22 12" X 24" BUILDING SIGNAGE (UNDER SEPARATE PERMIT)

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION



CORWILARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

Hudson Village

901 SOUTH FEDERAL
HIGHWAY, HOLLYWOOD FL

OWNER:

**HTG
Housing Trust Group**

3225 Aviation Ave. Ste 602
Miami, FL 33133

PHASE:

**Final Site Plan
Review**

PERMIT No.:

ELEVATIONS

REVISIONS		
Revision #	Revision Description	Date

SEAL:

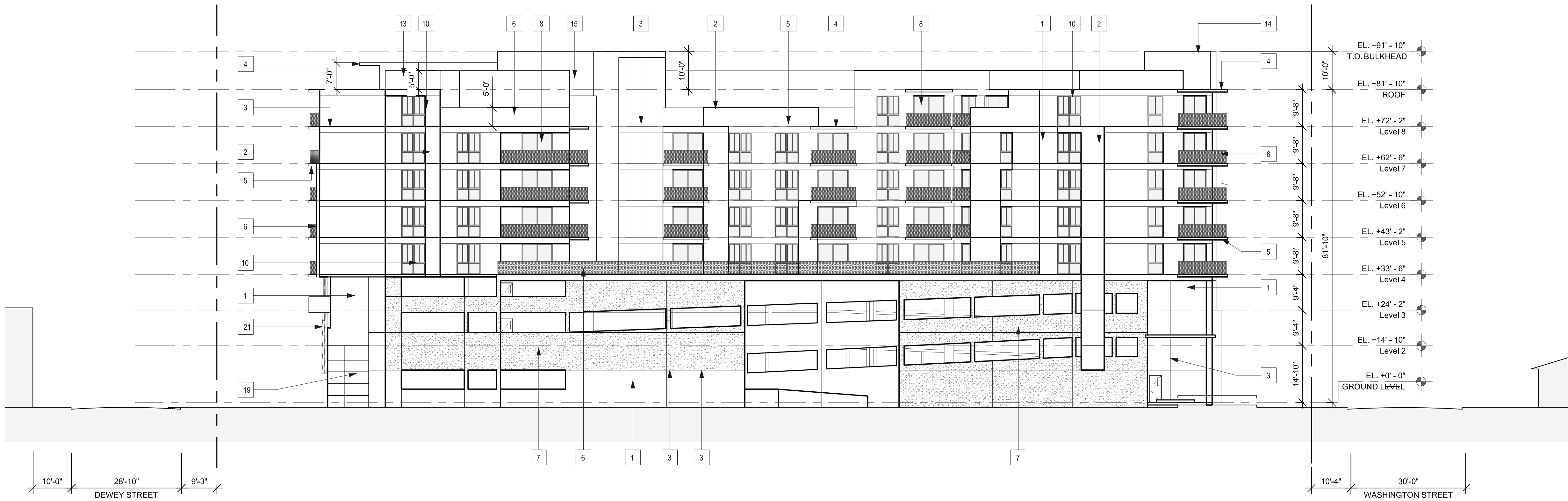


THIS DRAWINGS IS THE PROPERTY OF CORWIL ARCHITECTS INC.
UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THIS DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

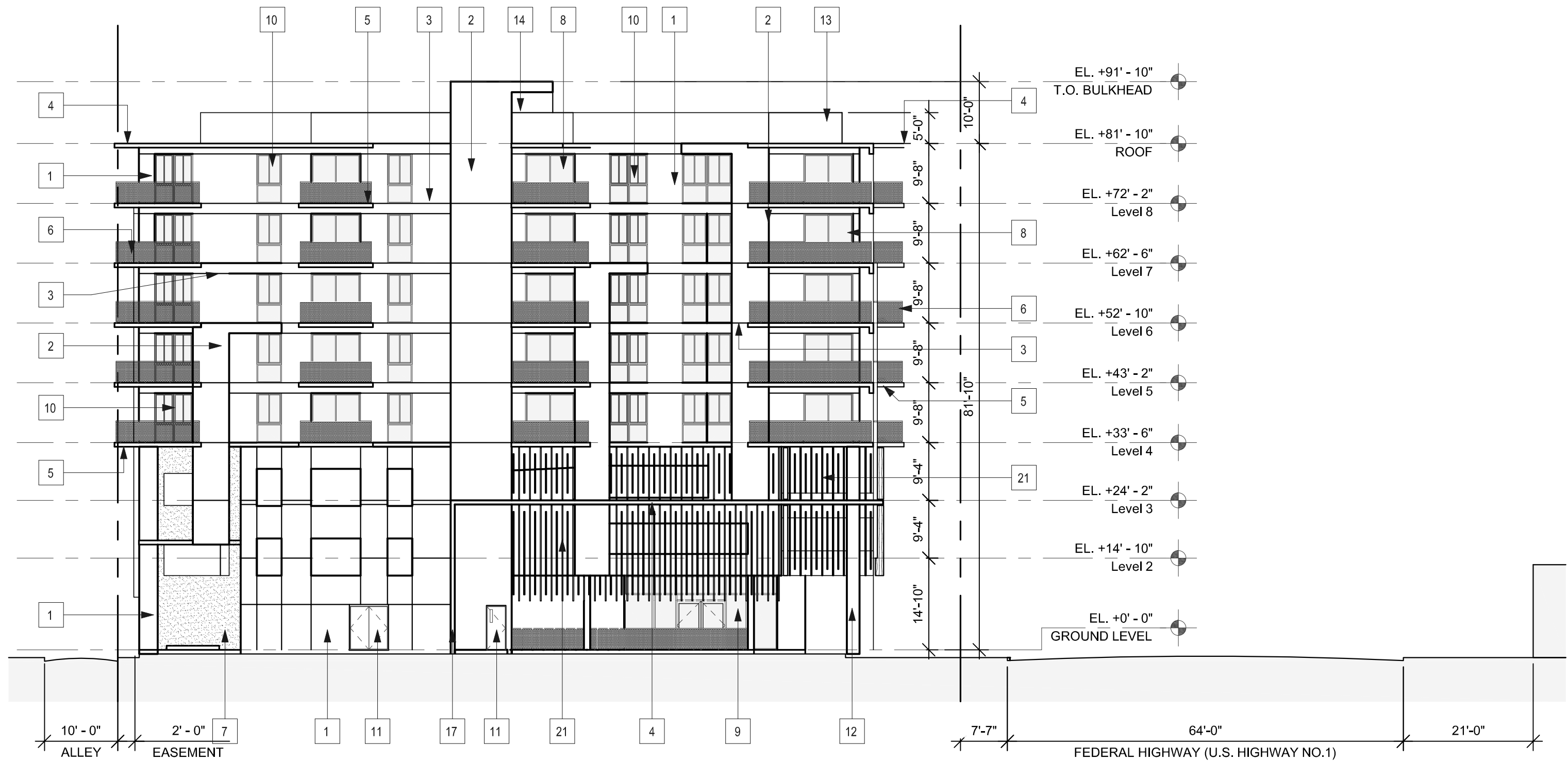
DATE: **4-2-2019**
JOB No.: **2019-22**
DRAWN BY: **Author**
APPR BY: **Approver**

SHEET NUMBER:

A-2.01



4 EAST ELEVATION
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND			
1	LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	10	ROLLING WINDOW W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS (TYP.)
2	SMOOTH FINISH CEMENT PLASTER (AT ALL FEATURE WALLS UNLESS OTHERWISE NOTED)	11	IMPACT RESISTANT METAL DOOR
3	CONT. 1" WIDE STUCCO SCORE LINE. ALL LINES TO BE CONTINUOUS AND AT SAME HEIGHT THROUGHOUT ELEVATIONS	12	CONCRETE RECTANGULAR COLUMN
4	EXPOSED CONCRETE EYEBROW W/ SLOPE AND APPLIED WATERPROOFING THROUGHOUT.	13	PARAPET WALL
5	EXPOSED BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR.	14	STAIR CORE AT ROOF LEVEL
6	42" HT. EXPANDED ALUMINUM MESH SCREEN / BALCONY RAILING (KYNAR FINISH). MESH SHALL REJECT 4" OBJECTS.	15	ELEVATOR CORE AT ROOF LEVEL
7	ARTIFICIAL GREEN WALL	16	ACCESS STEPS/ STOOP.
8	SLIDING DOOR. W/ ALUMINUM (KYNAR FINISH) FRAME & IMPACT RESISTANT GLASS	17	CONCRETE ARCHITECTURAL FIN
9	IMPACT RESISTANT ALUMINUM (KYNAR FINISH) STOREFRONT SYSTEM.	18	GARAGE ENTRANCE
		19	ALUMINUM CLADDING SYSTEM (KYNAR FINISH. COLOR TO BE SELECTED BY OWNER/ ARCHITECT
		20	ADA ACCESS RAMP
		21	GARAGE SCREEN - W/ 2" X 6", 2" X 8" AND 2" X 16" ALUMINUM TUBE FRAME (WOOD LOOK FINISH, KYNAR FINISH)
		22	12" X 24" BUILDING SIGNAGE (UNDER SEPARATE PERMIT)

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATION

PROJECT:

Hudson Village

901 SOUTH FEDERAL
HIGHWAY, HOLLYWOOD FL

OWNER:

**HTG
Housing Trust Group**

3225 Aviation Ave. Ste 602
Miami, FL 33133

PHASE:

**Final Site Plan
Review**

PERMIT No.:

STREET PROFILE
DIAGRAMS

REVISIONS		
Revision #	Revision Description	Date

SEAL:

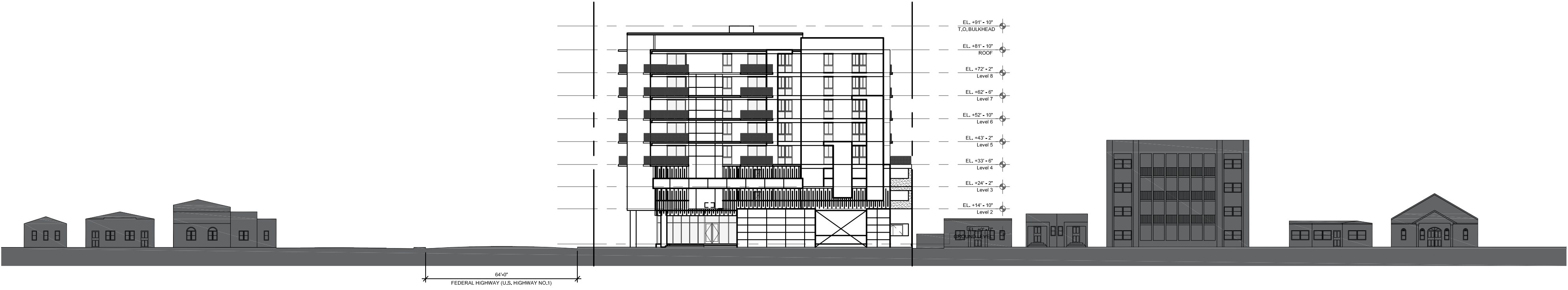


THIS DRAWINGS IS THE PROPERTY OF CORWIL ARCHITECTS
INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE
CONTENTS OF THIS DRAWINGS ARE CONFIDENTIAL AND
SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY
EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

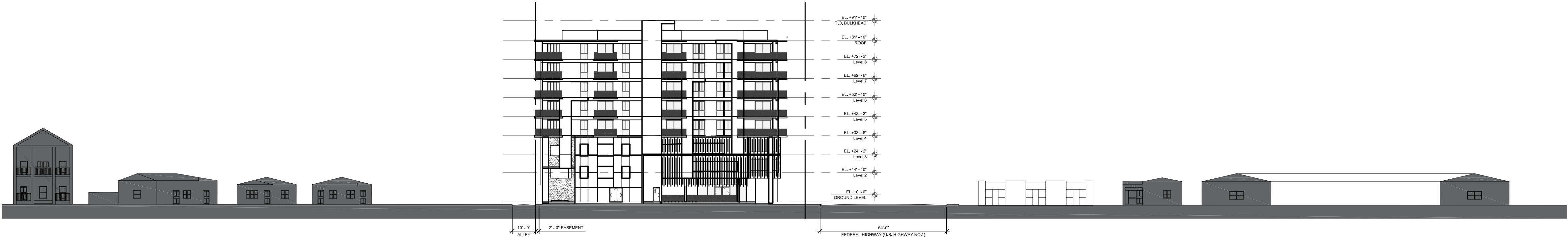
DATE: **4-2-2019**
JOB No.: **2019-22**
DRAWN BY: **Author**
APPR BY: **Approver**

SHEET NUMBER:

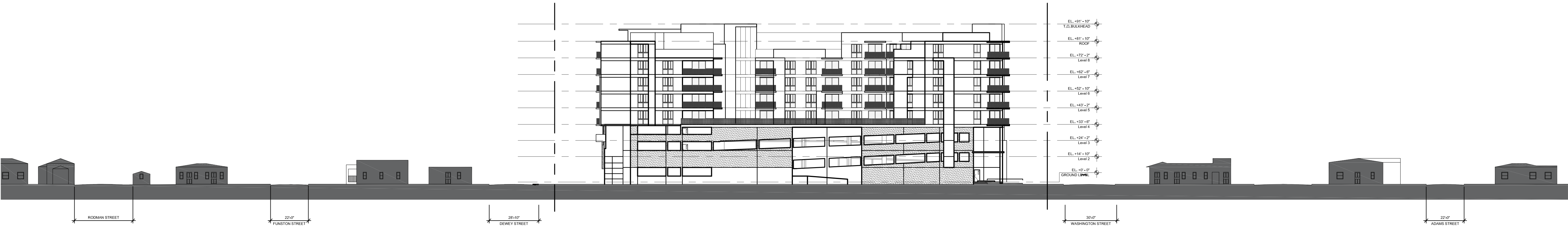
A-2.01A



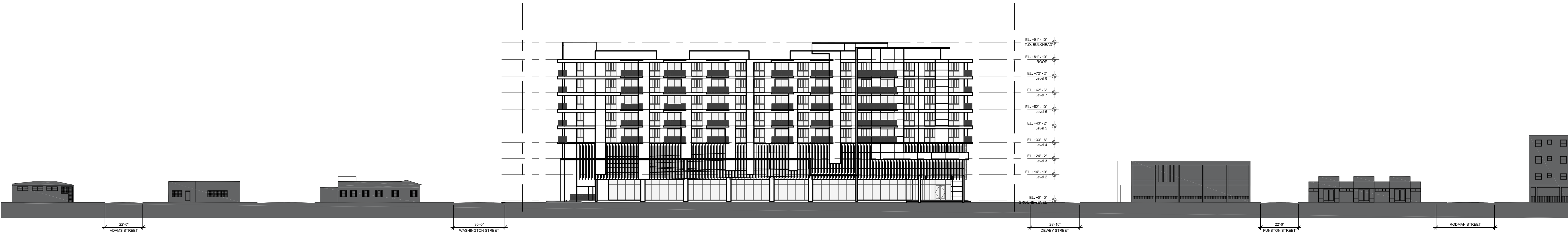
1 SOUTH ELEVATION
SCALE: 1/32" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/32" = 1'-0"



3 EAST ELEVATION
SCALE: 1/32" = 1'-0"



4 WEST ELEVATION
SCALE: 1/32" = 1'-0"

PROJECT:

Hudson Village

901 SOUTH FEDERAL
HIGHWAY, HOLLYWOOD FL

OWNER:

**HTG
Housing Trust Group**

3225 Aviation Ave. Ste 602
Miami, FL 33133

PHASE:

**Final Site Plan
Review**

PERMIT No.:

COLOR ELEVATIONS

REVISIONS		
Revision #	Revision Description	Date



THIS DRAWINGS IS THE PROPERTY OF CORWIL ARCHITECTS INC.
UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THIS DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

DATE: 4-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-2.02



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

No.	COLOR CHIP	COLOR CODE	COLOR NAME OR DESCRIPTION
1		SW 7757	HIGH REFLECTIVE WHITE
2		SW 6233	SAMOVAR SILVER OR EXPOSED CONCRETE
3		SW 9143	CADET
4		SW 2836	QUARTERSAWN OAK
5		NA	ALUMINUM CLADDING MATERIAL SILVER METALLIC
6		NA	GARAGE SCREEN PARK WOOD KEYNAR FINISH
7		NA	ARTIFICIAL GREEN VINE

PROJECT:

Hudson Village

901 SOUTH FEDERAL
HIGHWAY, HOLLYWOOD FL

OWNER:

HTG
Housing Trust Group

3225 Aviation Ave. Ste 602
Miami, FL 33133

PHASE:

Final Site Plan
Review

PERMIT No.:

COLOR ELEVATIONS

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THIS DRAWINGS IS THE PROPERTY OF CORWIL ARCHITECTS INC.
UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THIS DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT/ENGINEERS.

DATE: 4-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-2.03



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

No.	COLOR CHIP	COLOR CODE	COLOR NAME OR DESCRIPTION
1		SW 7757	HIGH REFLECTIVE WHITE
2		SW 6233	SAMOVAR SILVER OR EXPOSED CONCRETE
3		SW 9143	CADET
4		SW 2836	QUARTERSAWN OAK
5		NA.	ALUMINUM CLADDING MATERIAL SILVER METALLIC
6		NA.	GARAGE SCREEN PARK WOOD KEYNAR FINISH
7		NA.	ARTIFICIAL GREEN VINE



001 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

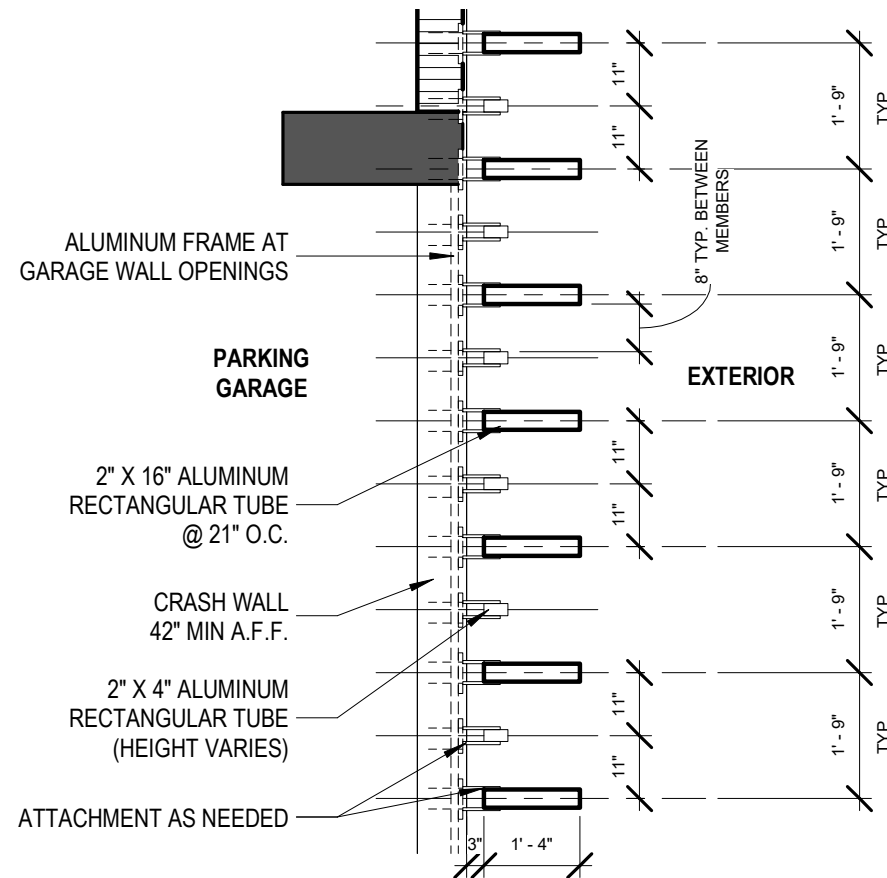
GARAGE SCREEN DETAIL

PERMIT No.:

[illegible]

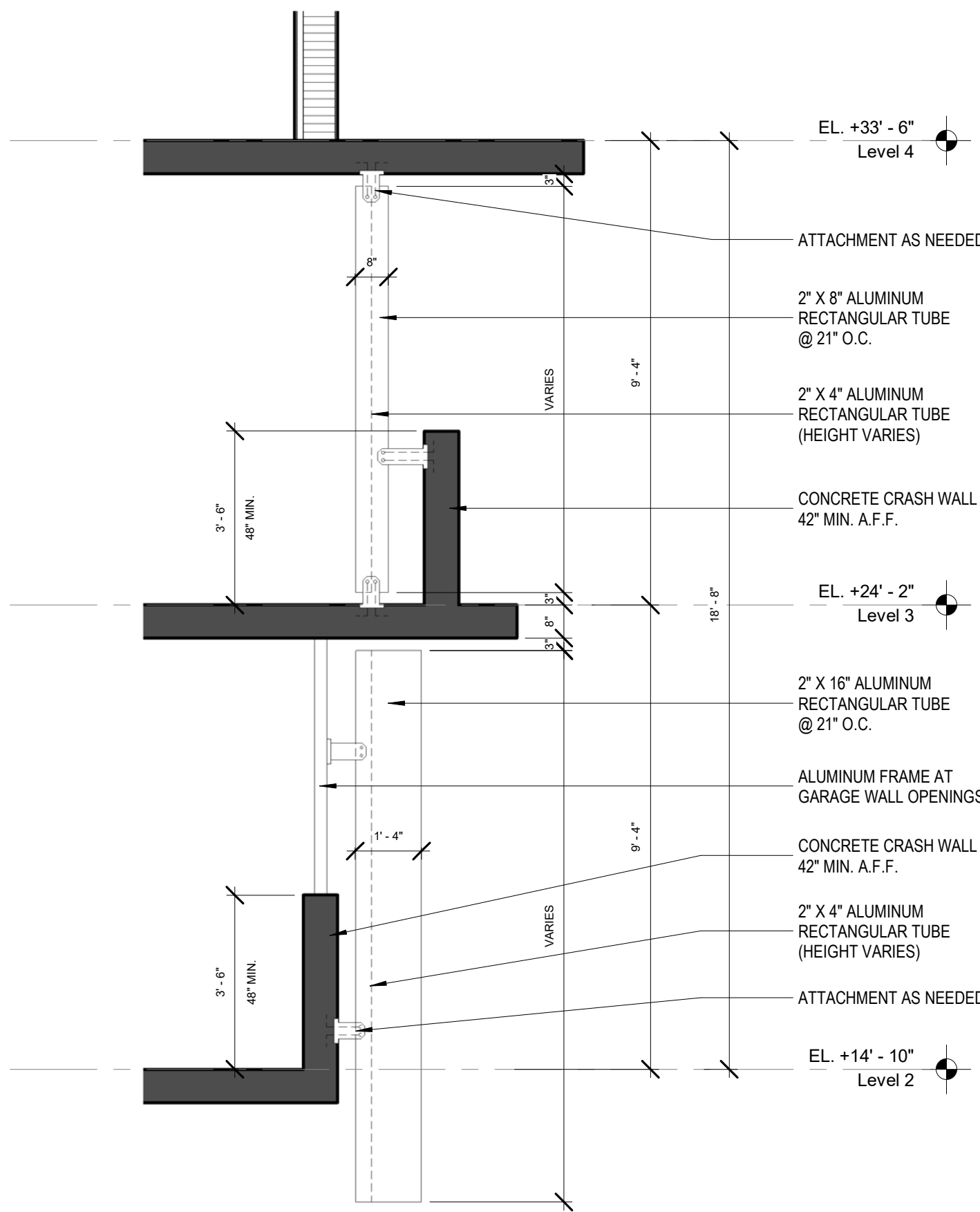
DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:23 PM

A-2.04



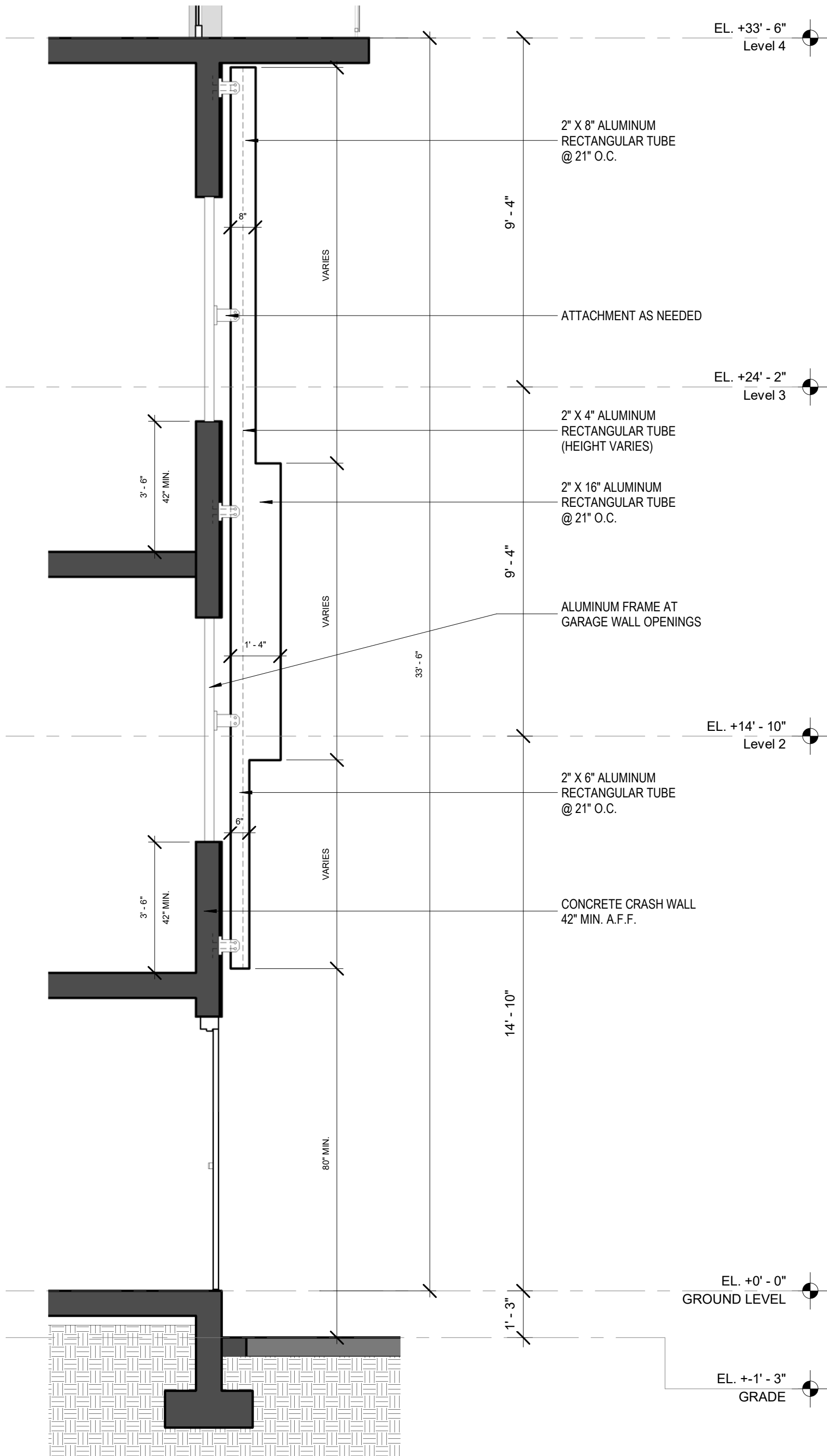
3 TYPICAL GARAGE PLAN DETAIL

SCALE: 3/8" = 1'-0"



2 TYPICAL GARAGE WALL SECTION

SCALE: 3/8" = 1'-0"



1 TYPICAL GARAGE WALL SECTION

SCALE: 3/8" = 1'-0"

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

RENDERINGS

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:

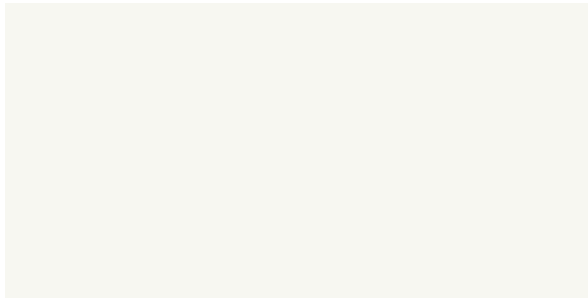


THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:23 PM

SHEET NUMBER:

A-3.00



SW 7757 - HIGH REFLECTIVE WHITE
(SHERWIN WILLIAMS)



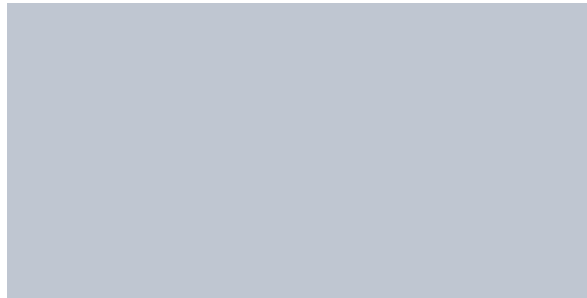
SW 6233 - SAMOVAR SILVER
(SHERWIN WILLIAMS)



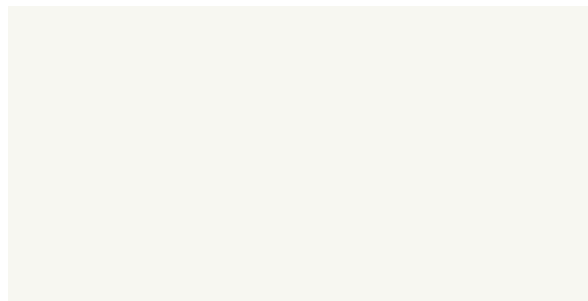
SW 9143 - CADET
(SHERWIN WILLIAMS)



SW 2836 - QUARTERSAW OAK
(SHERWIN WILLIAMS)



ALUMINUM CLADDING MATERIAL SILVER
METALLIC



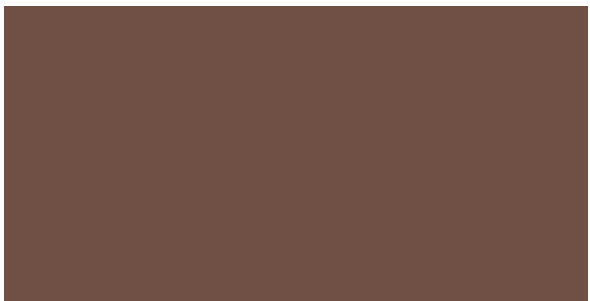
SW 7757 - HIGH REFLECTIVE WHITE
(SHERWIN WILLIAMS)



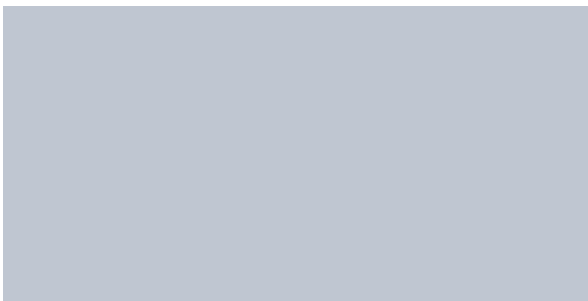
SW 6233 - SAMOVAR SILVER
(SHERWIN WILLIAMS)



SW 9143 - CADET
(SHERWIN WILLIAMS)



SW 2836 - QUARTERSAW OAK
(SHERWIN WILLIAMS)



ALUMINUM CLADDING MATERIAL SILVER
METALLIC



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602
MIAMI FL. 33133

RENDERINGS

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:24 PM

SHEET NUMBER:

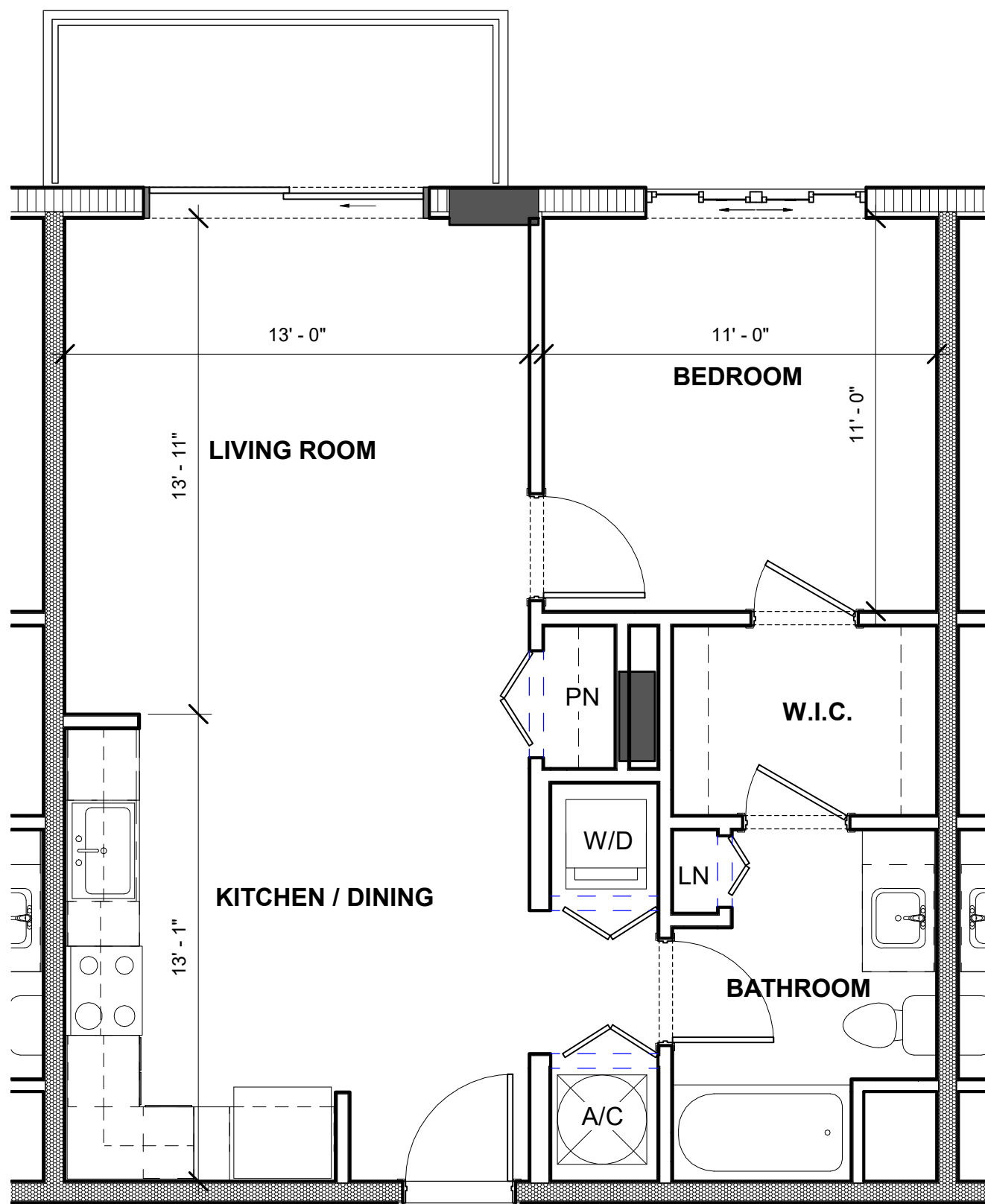


CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

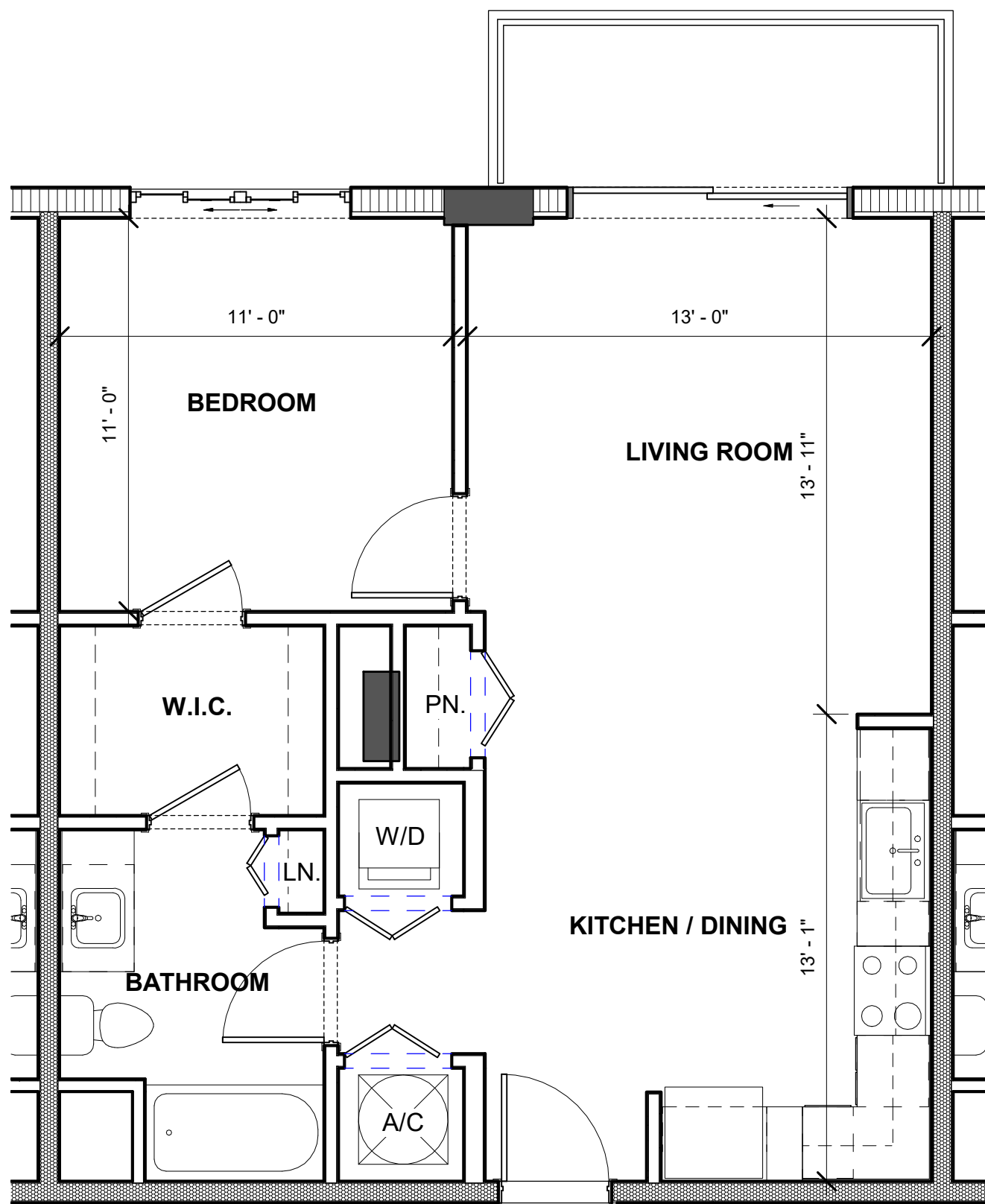
PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

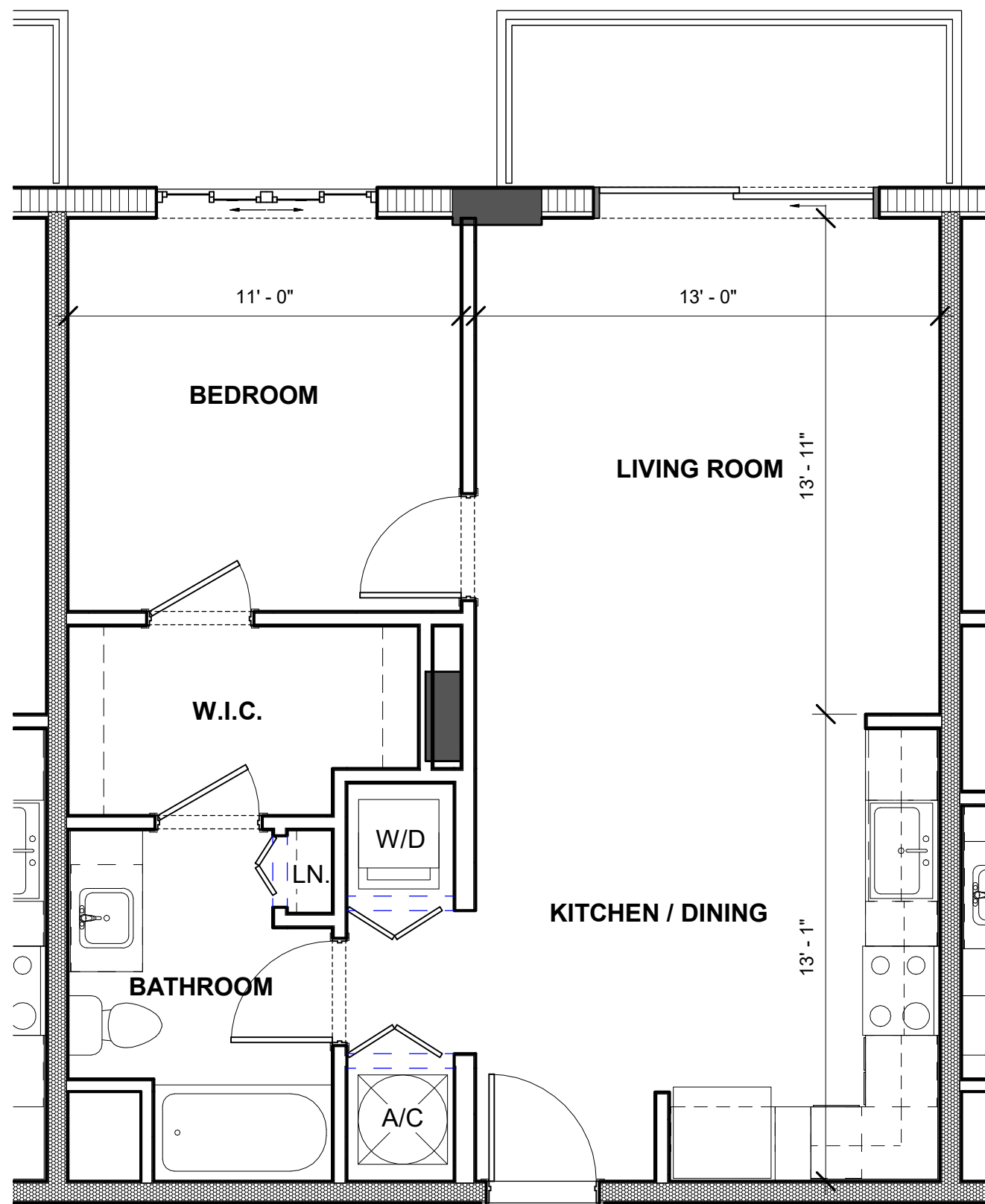
UNIT PLANS



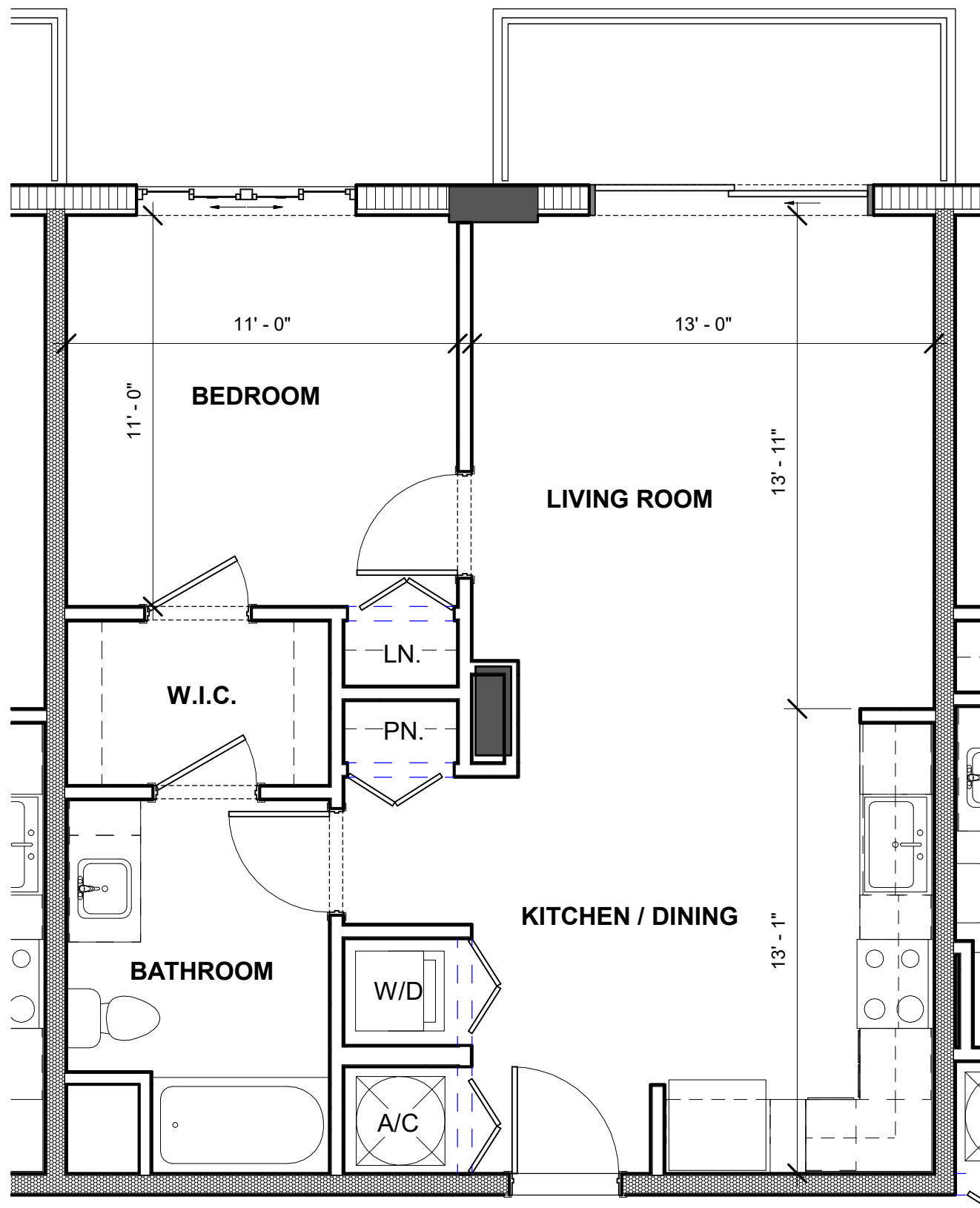
1 UNIT A-1
SCALE: 1/4" = 1'-0" AREA = 709 SF



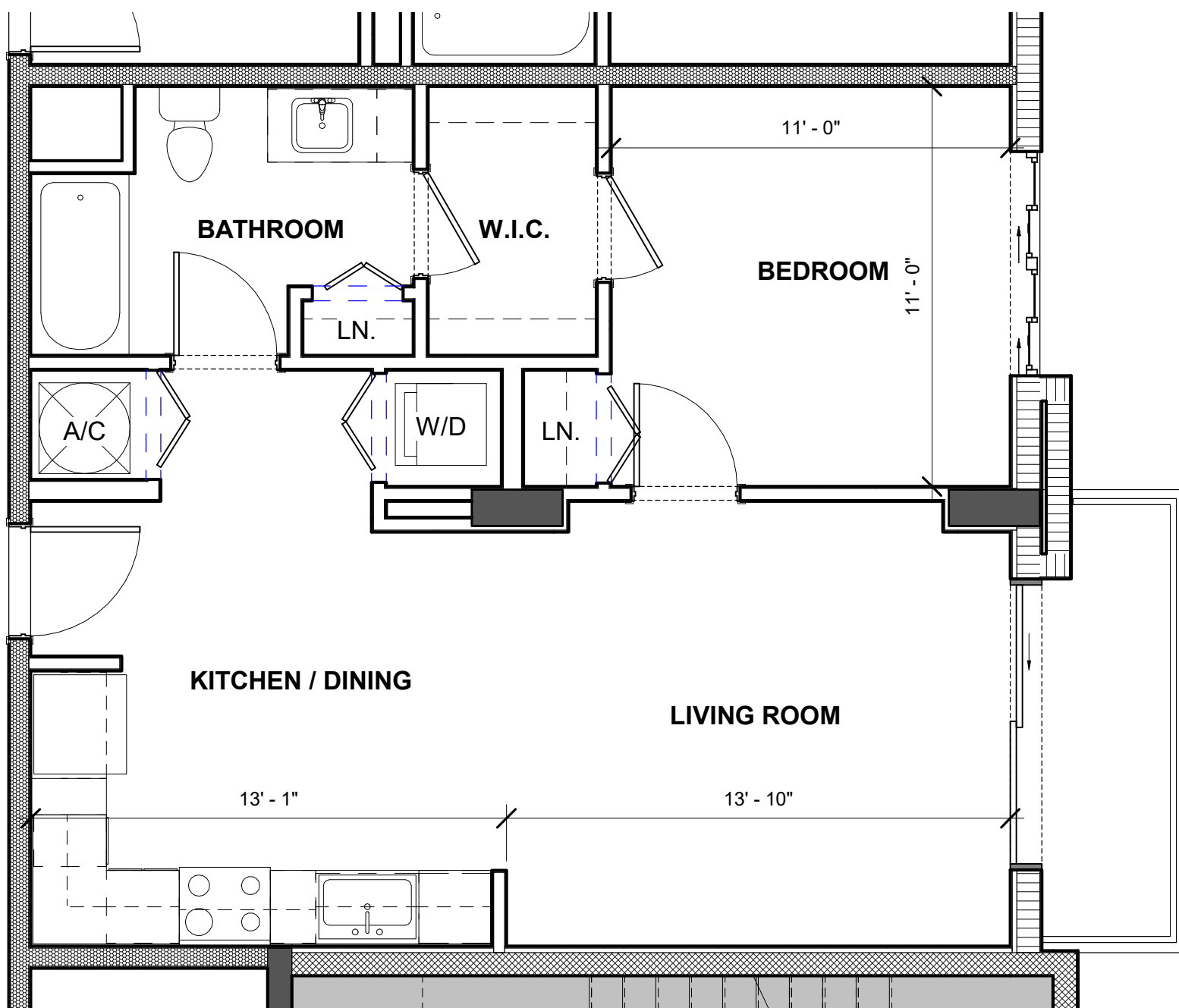
2 UNIT A-2
SCALE: 1/4" = 1'-0" AREA = 709 SF



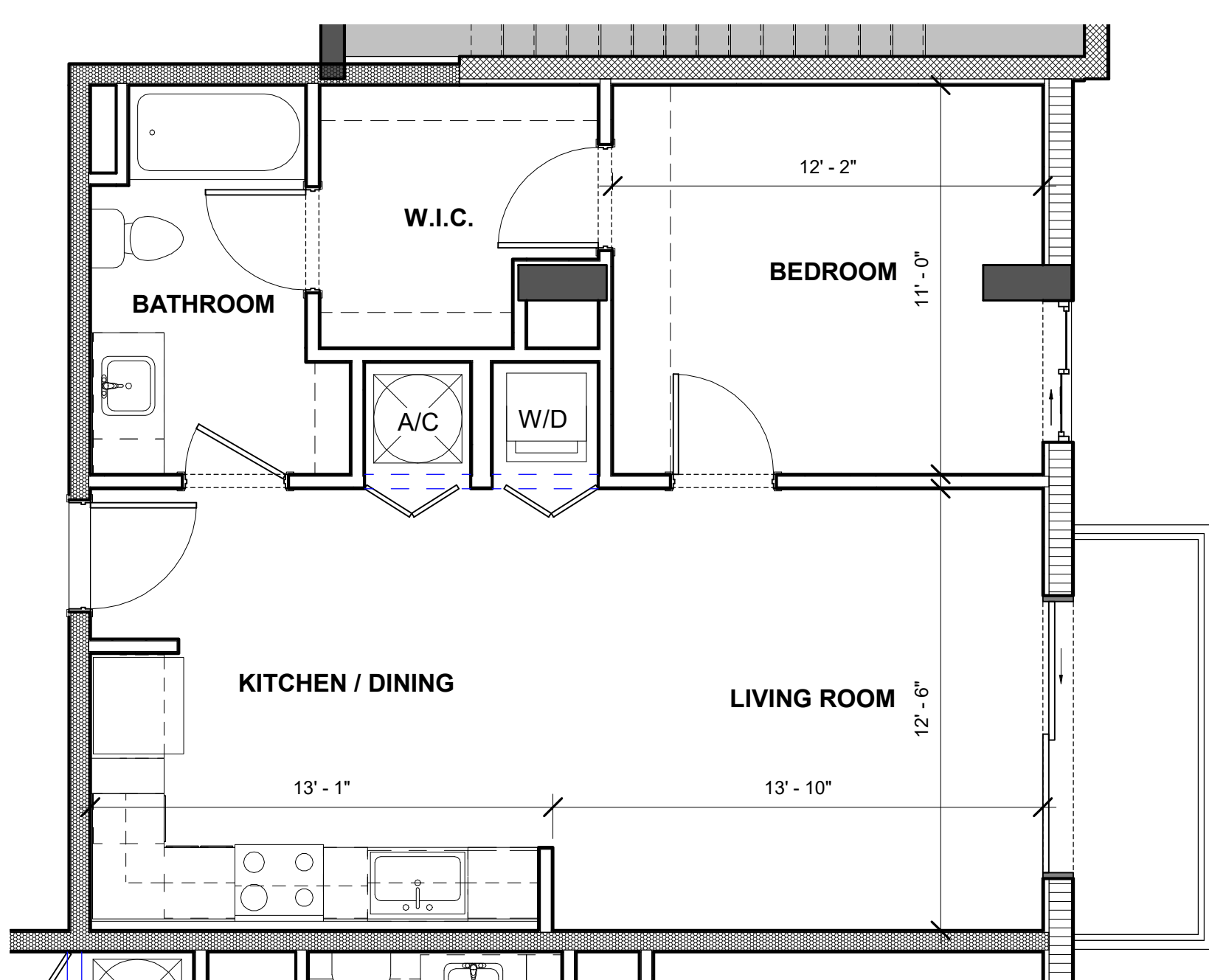
3 UNIT A-3
SCALE: 1/4" = 1'-0" AREA = 709 SF



4 UNIT A-4
SCALE: 1/4" = 1'-0" AREA = 709 SF



5 UNIT A-5
SCALE: 1/4" = 1'-0" AREA = 685 SF



6 UNIT A-6
SCALE: 1/4" = 1'-0" AREA = 695 SF

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:27 PM

SHEET NUMBER:



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

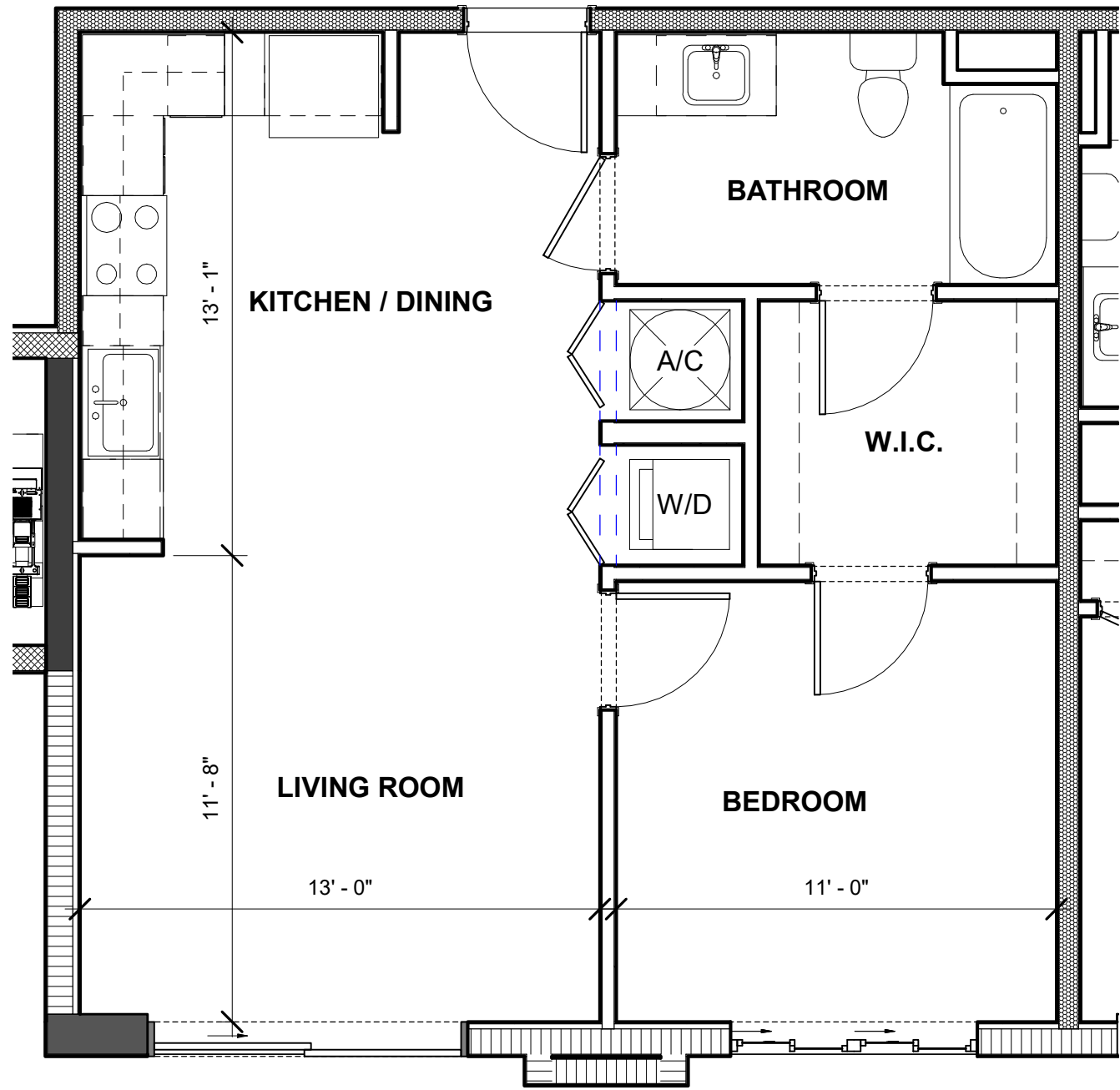
UNIT PLANS



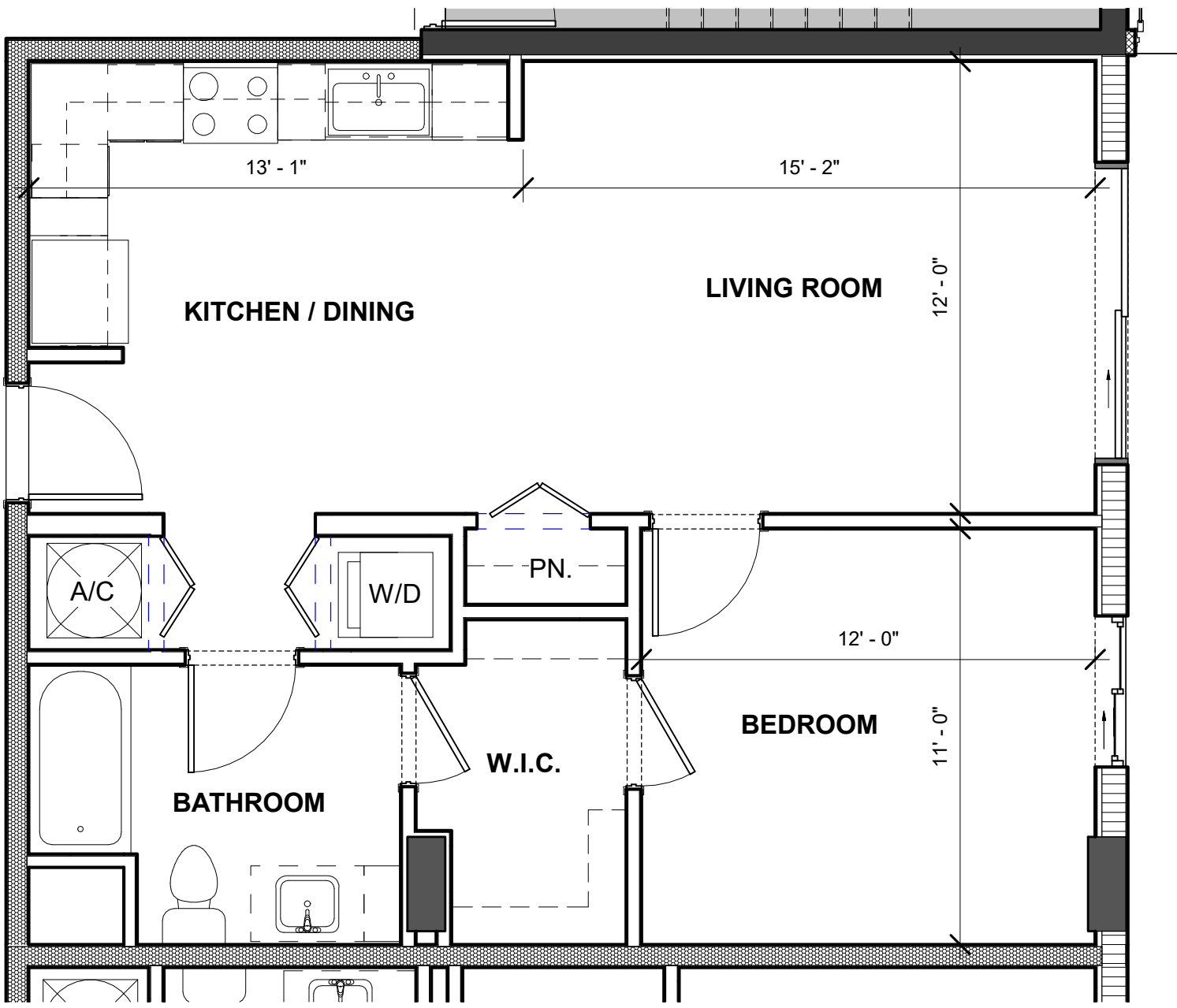
1 UNIT A-7
SCALE: 1/4" = 1'-0" AREA = 654 SF



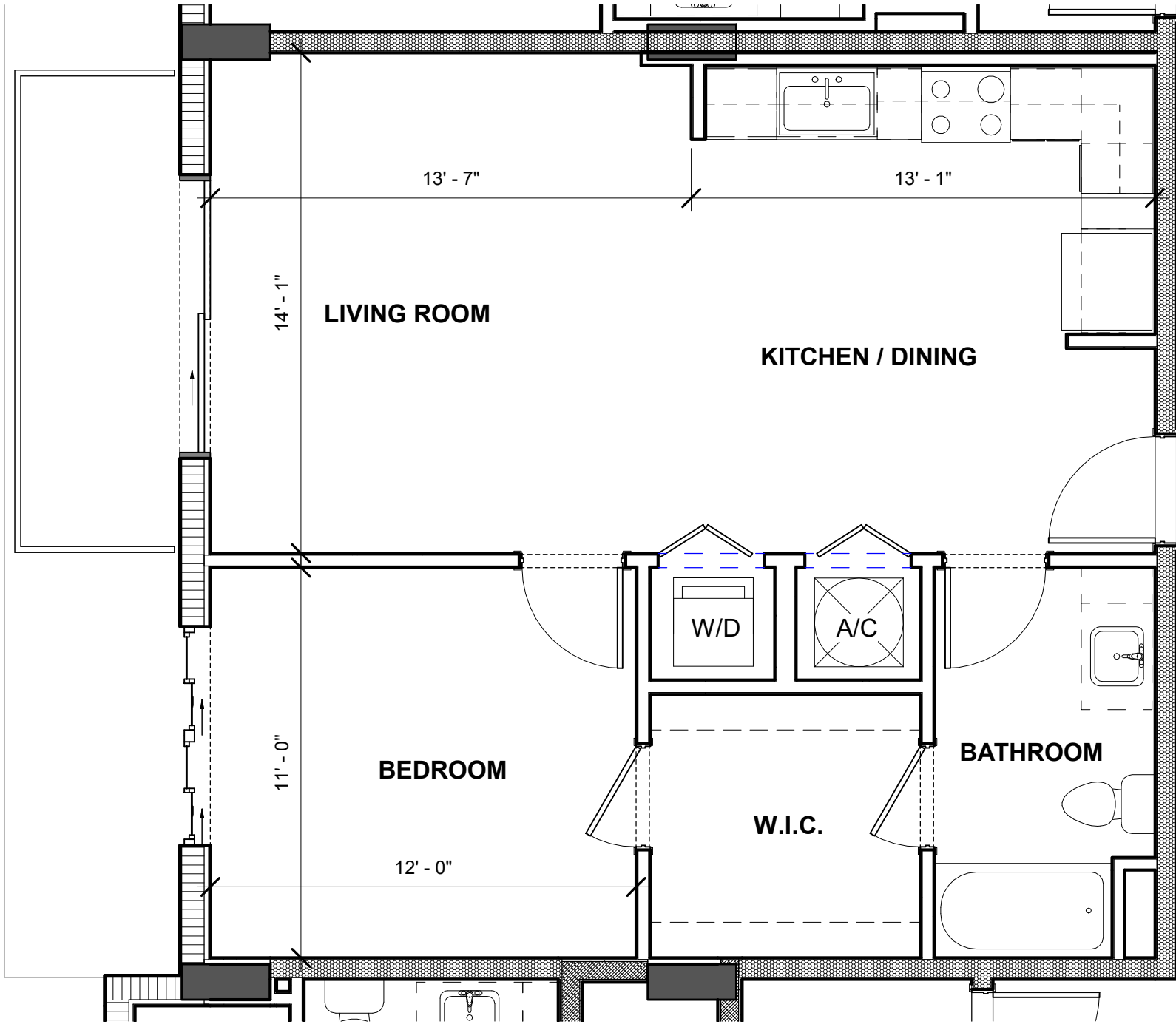
2 UNIT A-8
SCALE: 1/4" = 1'-0" AREA = 653 SF



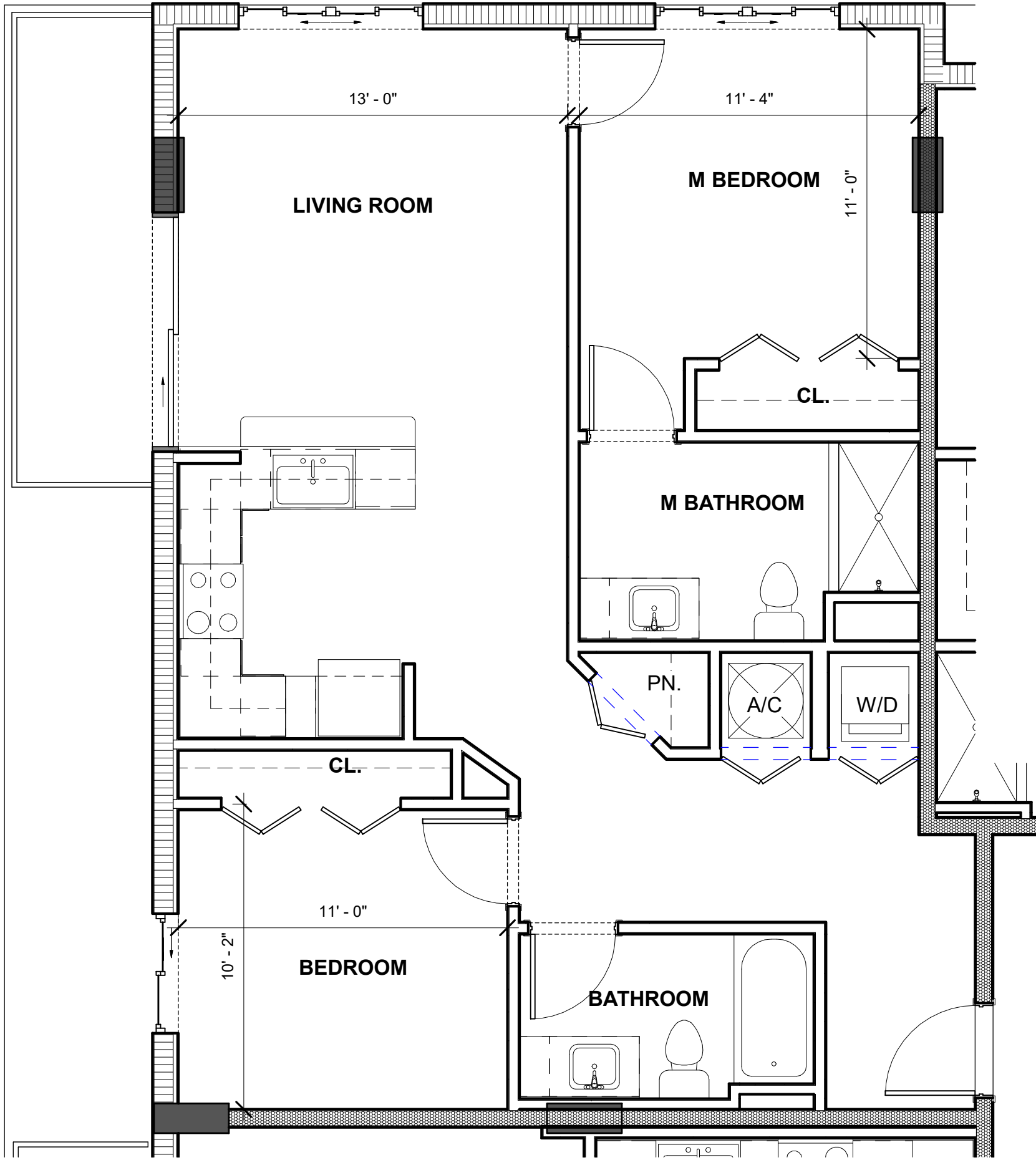
3 UNIT A-9
SCALE: 1/4" = 1'-0" AREA = 660 SF



4 UNIT A-10
SCALE: 1/4" = 1'-0" AREA = 711 SF



5 UNIT A-11
SCALE: 1/4" = 1'-0" AREA = 734 SF



6 UNIT B-1
SCALE: 1/4" = 1'-0" AREA = 985 SF

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:30 PM

SHEET NUMBER:

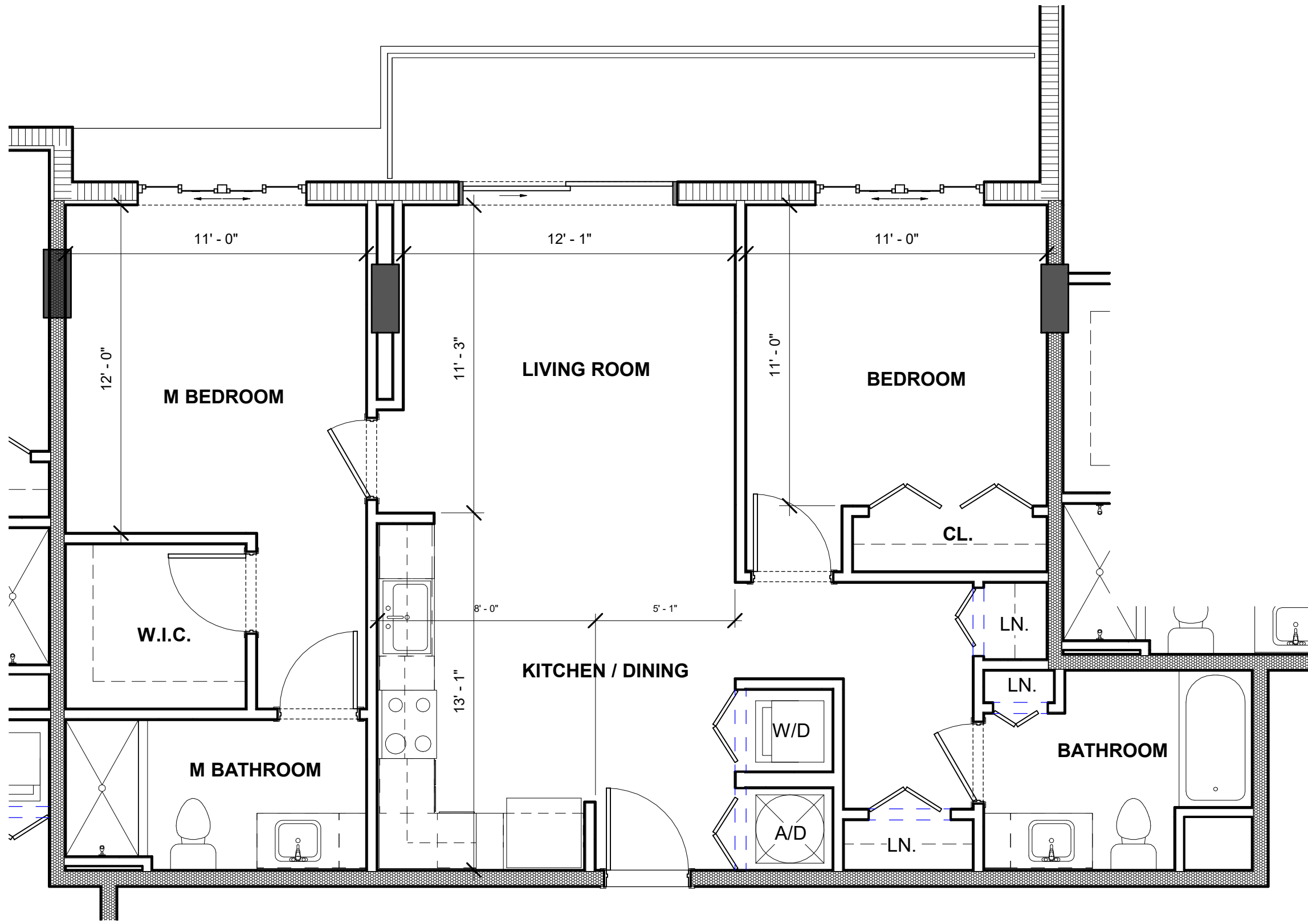


CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

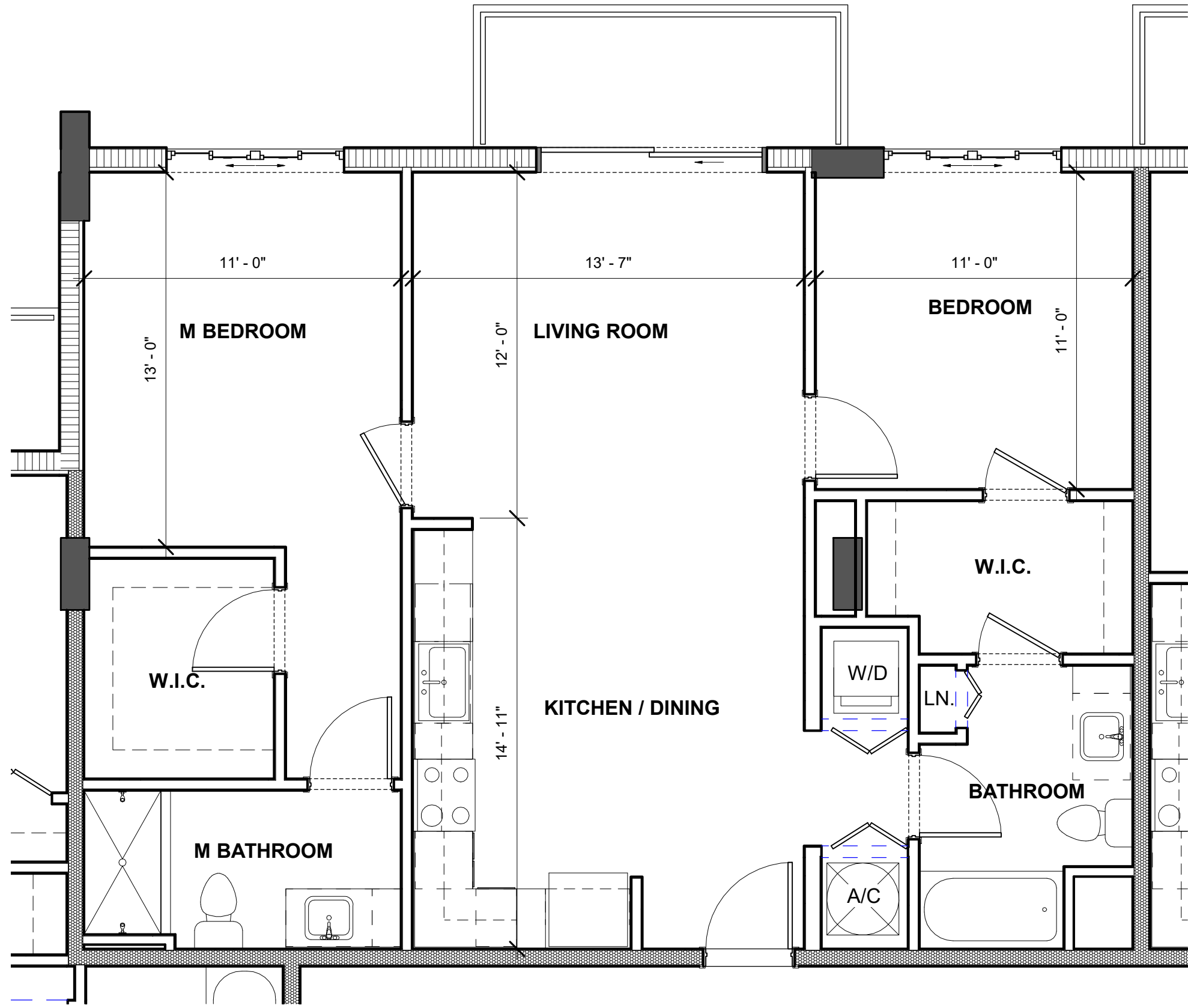
PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

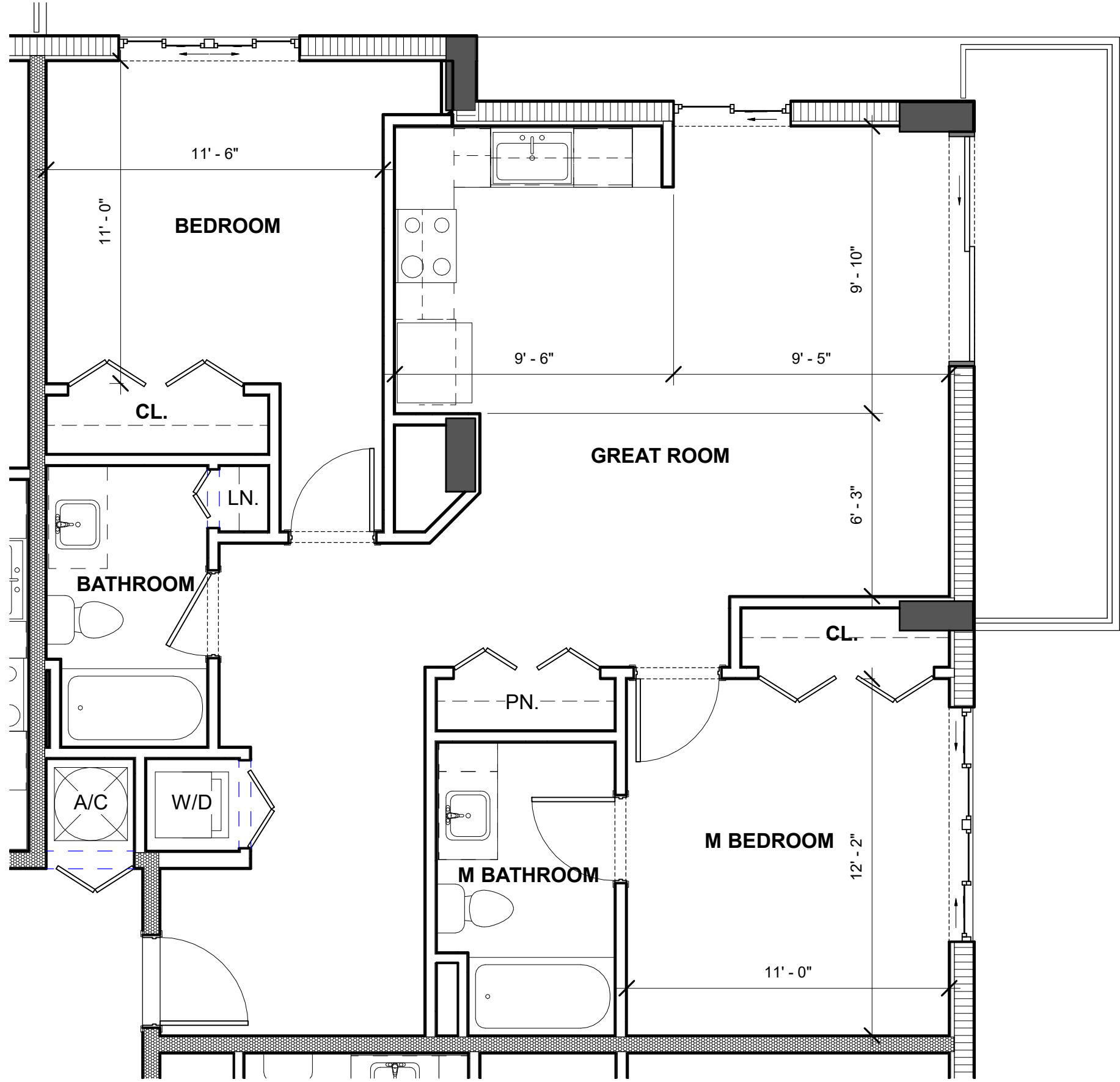
UNIT PLANS



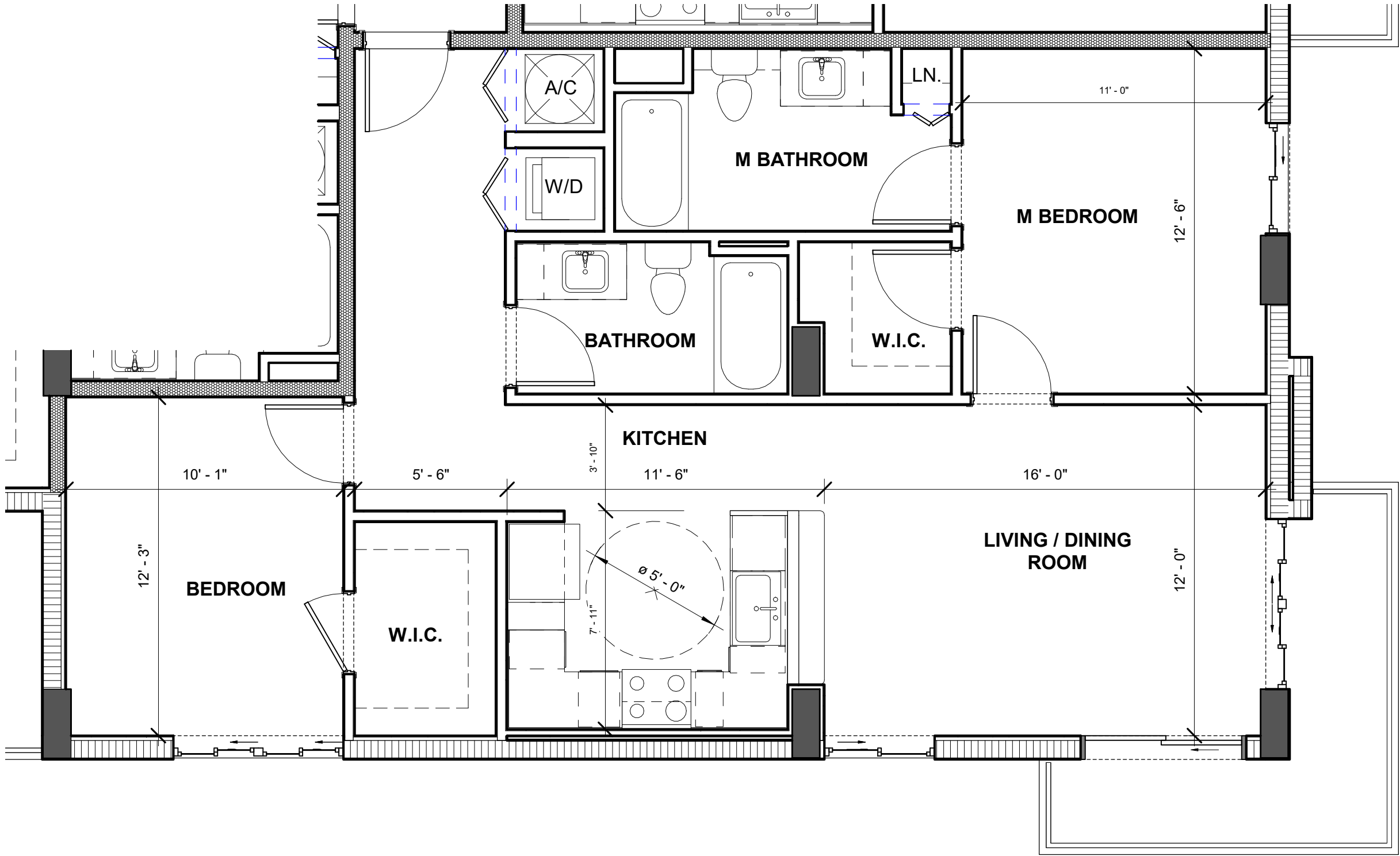
1 UNIT B-2
SCALE: 1/4" = 1'-0" AREA = 1,003 SF



2 UNIT B-3
SCALE: 1/4" = 1'-0" AREA = 1,052 SF



3 UNIT B-4
SCALE: 1/4" = 1'-0" AREA = 1,037 SF



4 UNIT B-5
SCALE: 1/4" = 1'-0" AREA = 1,035 SF

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:33 PM

SHEET NUMBER:

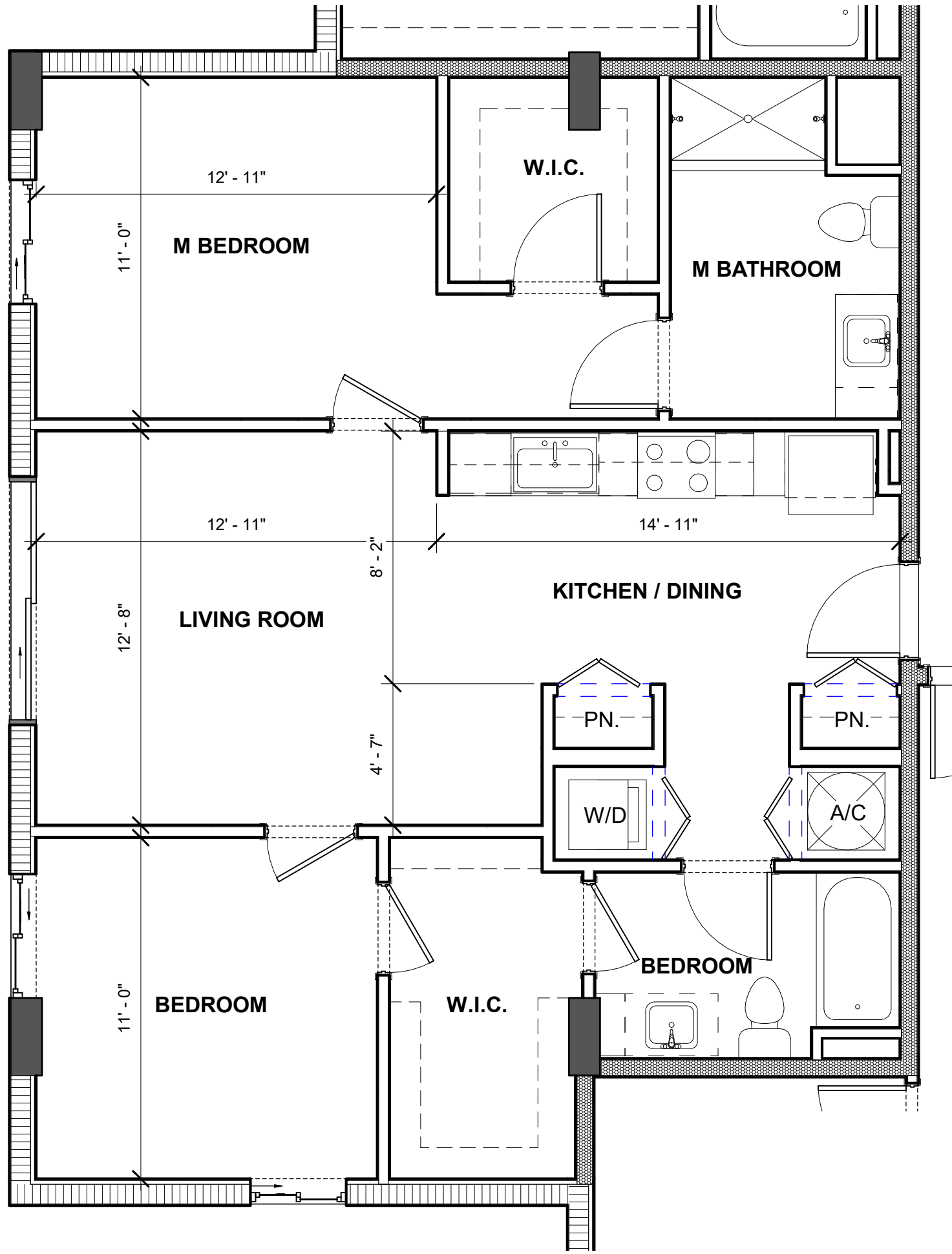


CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

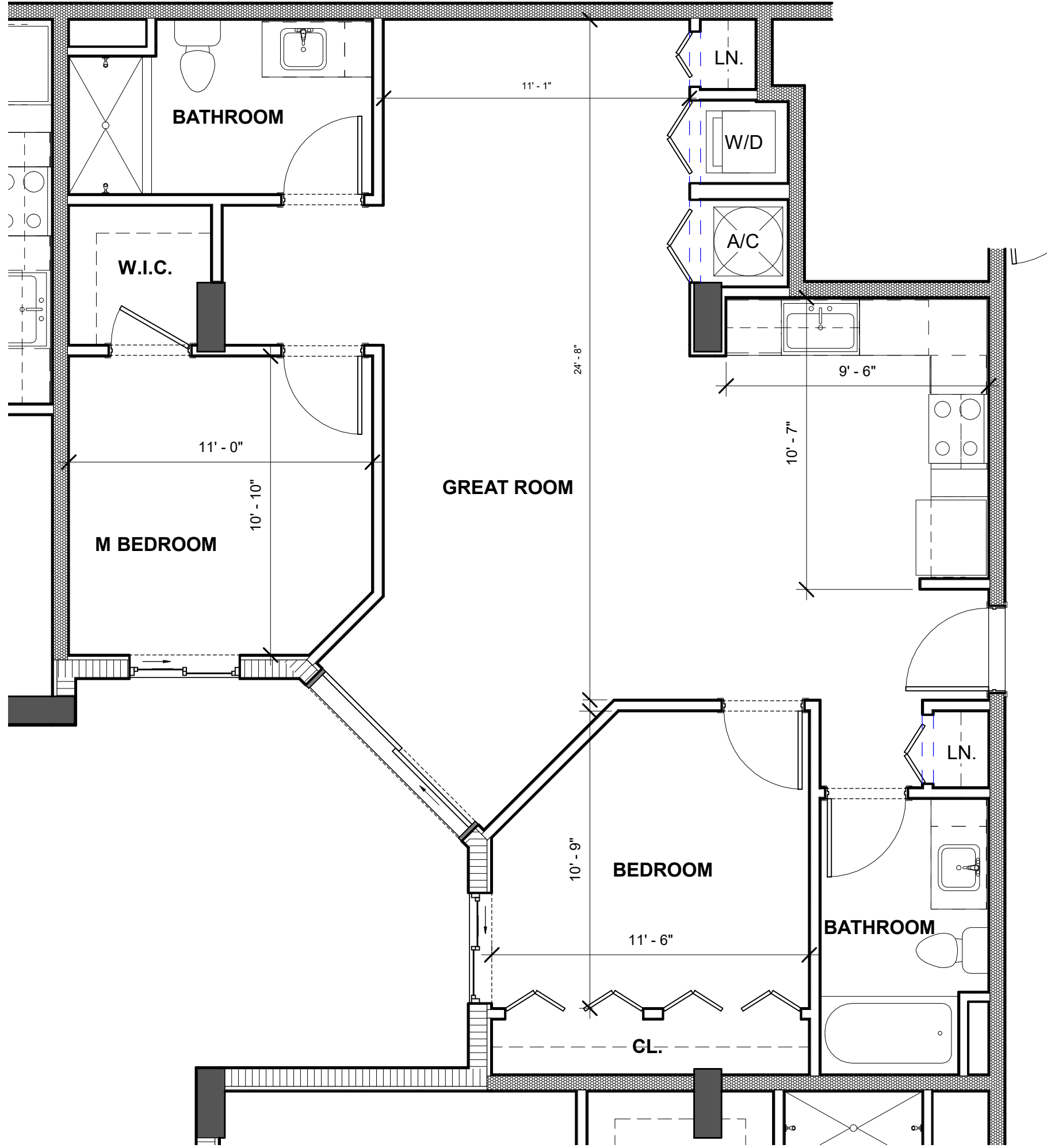
PROJECT:
Hudson Village
901 SOUTH FEDERAL HIGHWAY
HOLLYWOOD, FL

OWNER:
HTG
Housing Trust Group
3225 AVIATION AVENUE
STE. 602.
MIAMI FL. 33133

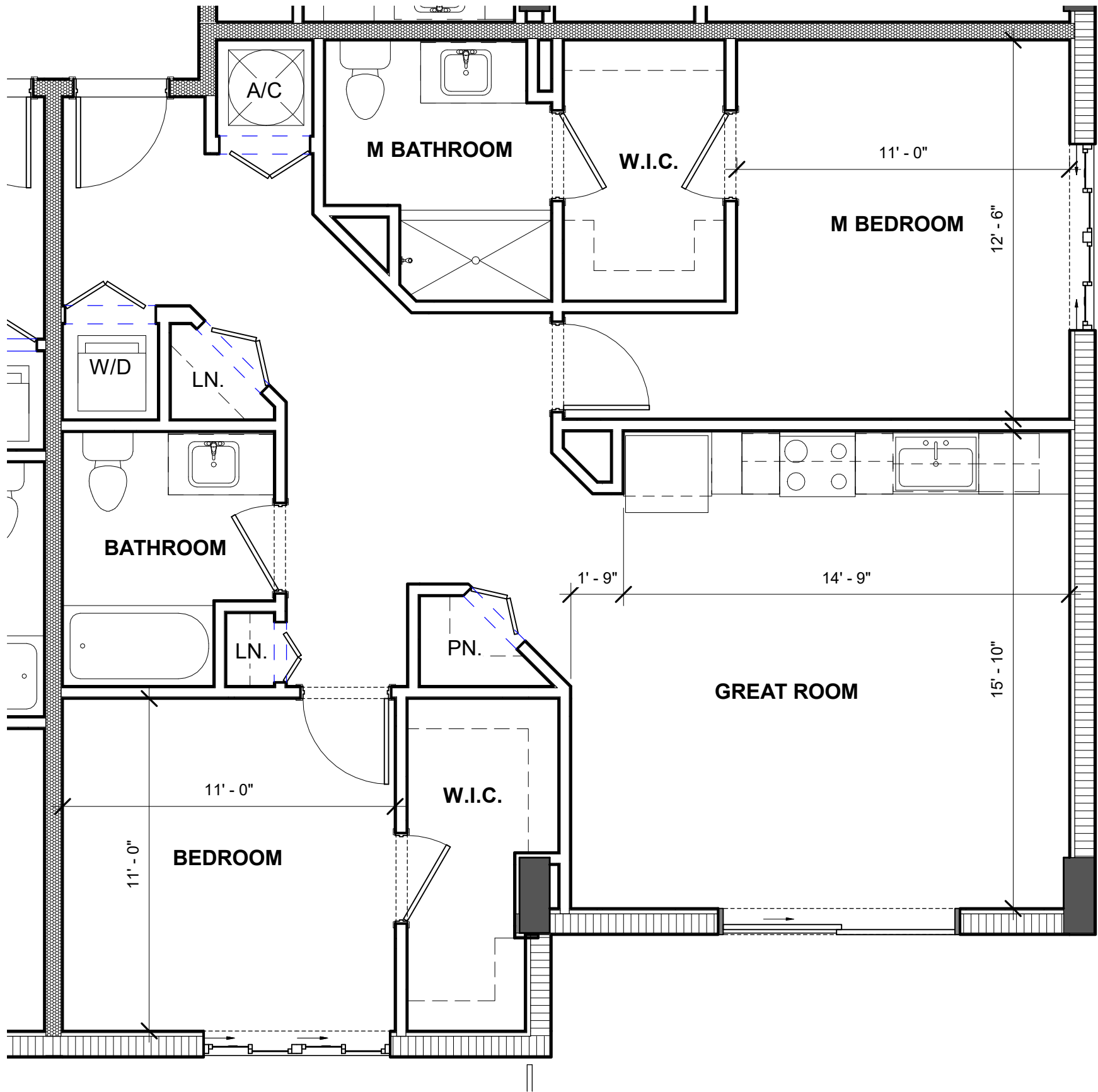
UNIT PLANS



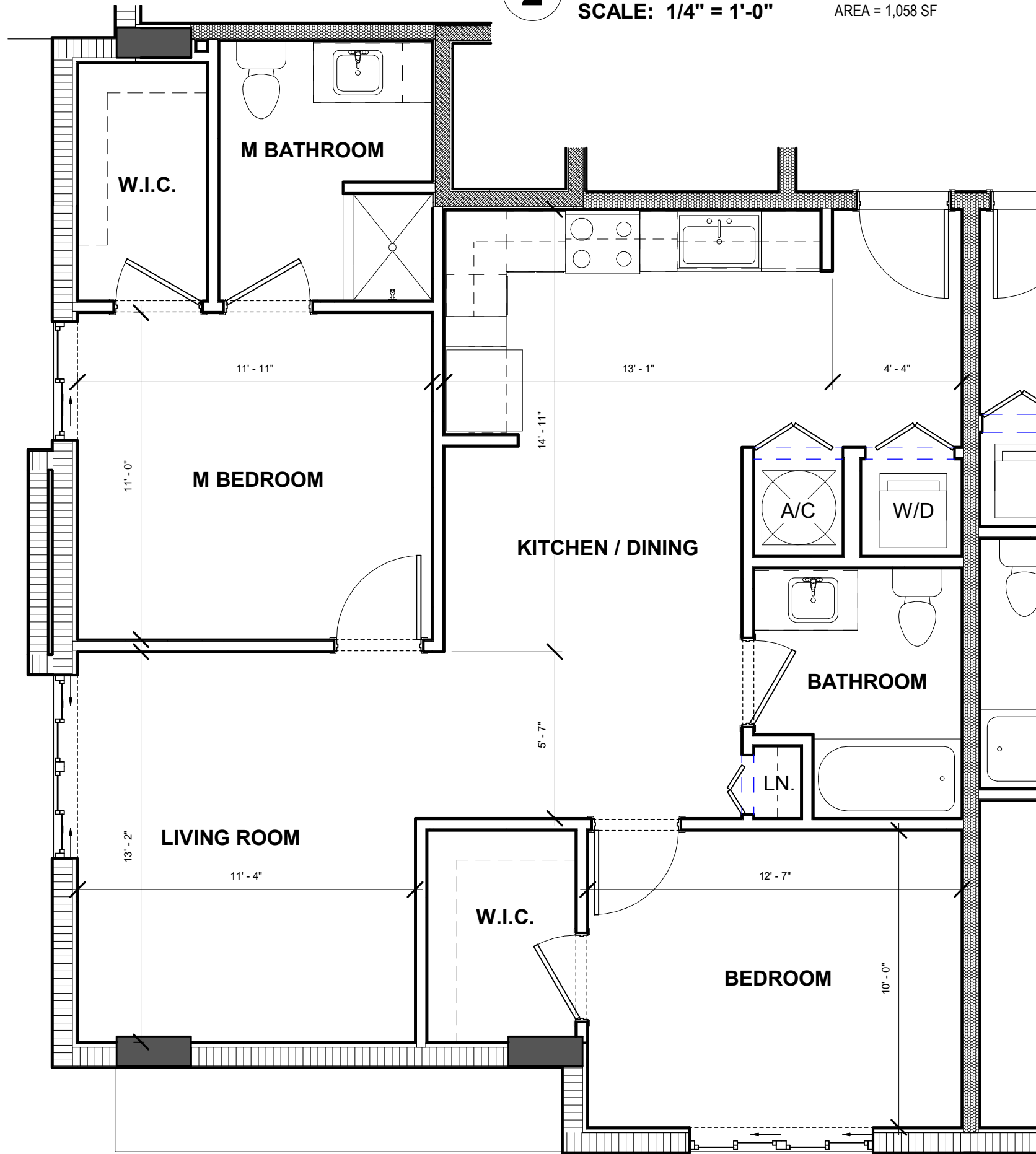
1 UNIT B-6
SCALE: 1/4" = 1'-0" AREA = 1,026 SF



2 UNIT B-7
SCALE: 1/4" = 1'-0" AREA = 1,058 SF



3 UNIT B-8
SCALE: 1/4" = 1'-0" AREA = 1,066 SF



4 UNIT B-9
SCALE: 1/4" = 1'-0" AREA = 1,014 SF

PHASE:
Final Site Plan
Review
PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THESE DRAWINGS ARE THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THESE DRAWINGS ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY THE ARCHITECT / ENGINEERS.

DATE: 8-2-2019
JOB No.: 2019-22
DRAWN BY: Author
APPR BY: Approver
PRINTED DATE: 9/27/2019 4:56:35 PM

SHEET NUMBER: