

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 2/3/2019

Location Address: 1700 Mayo Street
Lot(s): 16 & 17 Block(s): 2 Subdivision: Hollywood Southside
Folio Number(s): 5142 22 09 0290

Zoning Classification: FH-1 Land Use Classification: RAC

Existing Property Use: single-family Sq Ft/Number of Units: 18-units/14,641

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: _____ Sq Ft: _____

Value of Improvement: _____ Estimated Date of Completion: _____

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: XLT Investment Corp.

Address of Property Owner: 16450 NE 35 AVE MIAMI FL 33160

Telephone: 305-496-1035 Fax: _____ Email Address: alrod10@gmail.com

Name of Consultant/Representative/Tenant (circle one): Luis La Rosa

Address: 12980 SW 52 Street, Miramar, FL 33027 Telephone: 786-543-0851

Fax: _____ Email Address: llarosa@larosaarchitects.com

Date of Purchase: 1/12/2018 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public

Print Name

State of Florida

My Commission Expires: _____ (Check One) ___ Personally known to me; OR ___ Produced Identification _____



Luis LaRosa Architects, Inc.

October 14, 2019

XLT Investment Corp.
16450 NE 35 Avenue
Miami, FL 33160

FILE NUMBER: 19-DP-05

SUBJECT: Preliminary Site Plan review for a 15-unit residential development (Mayo Apartments).

SITE DATA

Owner/Applicant: XLT Investment Corp.
Address/Location: 1700 Mayo Street
Net Area of Property: TBD
Land Use: Regional Activity Center (RAC)
Zoning: Federal Highway Low-Medium Intensity Multi-Family District (FH-1)
Existing Use of Land: Residential

ADJACENT LAND USE

North: Regional Activity Center (RAC)
South: Regional Activity Center (RAC)
East: Low Residential (LRES)
West: Regional Activity Center (RAC)

ADJACENT ZONING

North: Federal Highway Low-Medium Intensity Multi-Family District (FH-1)
South: Federal Highway Low-Medium Intensity Multi-Family District (FH-1)
East: Single Family District (RS-6)
West: Federal Highway Low-Medium Intensity Multi-Family District (FH-1)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).



Luis LaRosa Architects, Inc.

A. APPLICATION SUBMITTAL

Deandrea Moise, Planning Administrator (dmoise@hollywoodfl.org) 954-921-3471

1. Application shall be revised to ensure all information is filled out completely.

Response: OK

2. Ownership and Encumbrance (O&E) report shall:

- a. Be dated within 30 days of the submittal. Ensure note on Alta Survey is updated to reflect O&E
- b. List names of all outstanding mortgage holders or a no lien affidavit.

Response: provided

3. ALTA survey:

- a. Update note referencing O&E report as O&E is updated.
- b. Provide net and gross property size in square feet and acreage. Net and gross should be included in the language. Ensure consistency with Site Plan.
- c. List existing number of units.

Response: Provided

4. No information was provided demonstrating that the authorized personnel have signed for XLT Investment Corp. Provide with next submittal.

Response: Owner of XLT as per corporate filing has signed application

5. Site Data:

- a. Legal Descriptions including subdivision name, plat book, page number, lot and block or metes and bounds.
- b. Current Land Use designation.
- c. Coordinate the Net property size in square feet and acres to match the survey.
- d. Allowed and proposed heights.
- e. Number of dwelling units per floor, total of each and total floor area of each type of unit including a breakdown of air-conditioned and non-air-conditioned space (balconies, garages, terraces, restrooms, power equipment rooms, meter rooms, etc.). Ensure the areas used to calculate FAR are clearly indicated.

Response: all of the above has been provided in SP-1.1

6. On cover sheet:

- a. List all applicable meeting dates, including Preliminary TAC date.
- b. Revise Location map to clearly identify subject property.
- c. Provide name of development.

Response: Provided



Luis La Rosa Architects, Inc.

7. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Board. Provide update with next submittal.
Response: OK
8. Complete and submit to Broward County School Board an impact fee application prior to submitting for Board consideration. Website:
http://www.broward.k12.fl.us/propertymgmt/Growth_Management/meetings/Docs/PublicSchoolImpactApplication.pdf
Response: Owner to provided
9. Provide written responses to all comments with next submittal. Additionally, next submittal should include a CD of all submitted documents organized in the same order as physical submittal sets.
Response: Provided
10. Additional comments may be forthcoming.
Response: OK

B. ZONING

Deandrea Moise, Planning Administrator (dmoise@hollywoodfl.org) 954-921-3471

1. Provide open space calculation.
Response: Provided
2. Revise tabular data to include net size of site in square feet and acres. "Net" should be included in the language.
Response: Provided on SP-1.1
3. Revise drawings to ensure that all stalls adjacent to a wall, fence, screen, building, or other physical obstruction are increased by one foot.
Response: Refer to sheet SP-1.1
4. Dimension all vertical and horizontal projections.
Response: Provided
5. Walkway adjacent to West property line shall be revised to provide required 3' setback.
Response: Provided on SP-1.1
6. Proposed gate in rear shall not swing beyond property line and into public right of way.
Response: revised accordingly



Luis LaRosa Architects, Inc.

7. How is the dumpster being rolled out? Will pick-up occur inside the building? Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Response: Trash will be rolled out to front

8. Additional comments may be forthcoming.

Response: OK

C. ARCHITECTURE AND URBAN DESIGN

Deandrea Moise, Planning Administrator (dmoise@hollywoodfl.org) 954-921-3471

1. Will access to parking be gated?

Response: NO

2. Provide detail of the proposed decorative fencing.

Response: Provided on Sp-1.1

3. Ensure that rendering accurately reflects proposed site plan, landscape and design. Furthermore, rendering should accurately reflect existing right of way conditions.

Response: OK

4. Work with staff regarding additional design consideration.

Response: OK

5. Pavement and roofing material should be “cool.” Roofing material should be energy star certified or cool roof council rated. Pavement should be highly reflective.

Response: refer to SP-1.1 regarding green building notes

6. Consider using permeable pavement.

Response: refer to SP-1.1 regarding green building notes

7. Consider adding balcony on south façade for units at the west corner.

Response: OK

8. Provide material samples and paint chips with next submittal.

Response: OK



Luis LaRosa Architects, Inc.

D. SIGNAGE

Deandrea Moise, Planning Administrator (dmoise@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevations, dimensions on Site Plan, etc.
Response: OK
2. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.
Response: OK

E. LIGHTING

Deandrea Moise, Planning Administrator (dmoise@hollywoodfl.org) 954-921-3471

1. What type of lighting is proposed?
Response: LED in parking area
2. Revise on Site Plan regarding foot candle to state Maximum Foot candle level at property all lines shall be 0.5.
Response: OK

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Elaine Franklin, Environmental Sustainability Coordinator (efranklin@hollywoodfl.org) 954-921-3201

1. Recycle waste materials from demolition and construction to the greatest extent possible. Florida's goal is a 75% recycling rate by 2020, which includes construction and demolition debris.
Response: refer to SP-1.1 regarding green building notes
2. Use sustainable building and fencing materials.
Response: refer to SP-1.1 regarding green building notes
3. Use low VOC materials.
Response: refer to SP-1.1 regarding green building notes
4. Provide a long-term, covered bicycle storage area for residents that would protect bikes from the elements and theft.
Response: Provided, Refer to Sp-1.
5. All external lighting should be fully shielded and meet the requirements of the International Dark Sky Association.
Response: OK



Luis LaRosa Architects, Inc.

6. Install Energy Star or water sense certified appliances, in addition to the tankless water heaters, and programmable thermostats.

Response: refer to SP-1.1 regarding green building notes

7. Install an Energy Star certified or Cool Roof Council rated roof. Or consider a green roof, which would reduce stormwater runoff and increase energy efficiency, benefiting the tenants.

Response: refer to SP-1.1 regarding green building notes

8. Retain rainwater on site for irrigation and non-potable water uses in the building.

Response: Provided note on C-1

9. Relocate and design one of the stairwells to make it an appealing alternative to using the elevator. Currently there is a lobby for the elevator but no lobby for stairs.

Response: Did not provide

G. ENGINEERING

Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

1. Indicate location of mail boxes/services on plan.

Response: Refer to SP-1.1-provided in Lobby Area

2. Include current City sidewalk and curb ramp details.

Response: Provided

3. Clear zone on Mayo Street is 12'x12'.

Response: Refer to SP-1.1

4. Corner setback at the northeast corner of the site is 25'x25' and 6'x25' at the southeast corner of the site.

Response: Refer to SP-1.1

5. Parking Stall 9 is adjacent to the stairwell and minimum width is 9.5'. Please provide.

Response: Refer to SP-1.1

6. Parking Stall 10 is adjacent to an obstruction and minimum width is 9.5'. Please provide.

Response: Refer to SP-1.1



Luis LaRosa Architects, Inc.

7. Indicate column distance from the entrance of Parking Stall 10, minimum distance is 3'.
Response: Refer to SP-1.1
8. Revise Sheet C-1.1 to reference the correct page for civil details.
Response: OK
9. With the level of construction activities for the proposed development, full road width pavement resurfacing abutting to the site (Mayo Street, South 17 Avenue and the alley) will be necessary, please indicate on civil plans.
Response: Note provided on C-1.1
10. Park impact fees will be required prior to issuance of Building Permit.
Response: OK
11. All outside agency permits must be obtained prior to issuance of City building permit.
Response: OK
12. More comments may follow upon review of the requested information.
Response: OK

H. LANDSCAPING

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. Provide information updated property survey with all existing trees/palms on site not older than 6 months survey to provide a separate table including: location, species, estimated ht./spread, and diameter of trunks.
Response: Provided
2. Provide a detailed tree disposition plan and landscape plan by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Provide tabular data chart on plan that identifies City of Hollywood landscape requirements and how they are being met for Perimeter landscape, Species diversity requirements, Interior landscape for at grade parking lots and vehicular use areas, open space, view triangle, utility lines, lot dimensions, center line and monument line and comply with all planning and development board and historic preservation board requirements and irrigation plans. Landscape plan should comply with all the requirements according to City of Hollywood Landscape manual, chapter 155.52, Article 9 LDR and section 6 landscape Plan details and specifications for technical review process. Landscape plan set to include and clarify what is been provided as per city code requirements for landscape



Luis LaRosa Architects, Inc.

for project type and what is provided for tree mitigation if any. As per submitted clarity is required in terms of number of trees proposed to be removed, marking for utility lines.

Response: Provided

3. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

Response: Provided

4. No tree removals without a tree removal sub- permit. Supplemental arborist report might be required as needed to approve any tree removal permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal requirements.

Response: Provided

5. Additional comments may be forthcoming at Building permit submittal.

Response: OK

6. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual. Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criterion may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/reclinata/canariensis, Bismarkia, and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT.

Response: OK

7. Courtesy comment: Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org.

Response: OK



Luis La Rosa Architects, Inc.

I. UTILITIES

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985

James Rusnak, Engineer (jrusnak@hollywoodfl.org) 954-921-3302

1. Update survey to clearly specify elevations shown are in reference to the NAVD 88 datum as on Sheet C-1.1.
Response: OK
2. Correct Surveyor's Certificate Note #6 FEMA to indicate the property DOES lie within special flood hazard zone AE7. This means the proposed finished floor elevation (FFE) for new construction shall be set at Base Flood Elevation (BFE) + 1' to comply with City Ordinance Chapter 154.50. The proposed FFE shall be $(7' + 1' =) 8'$ NAVD88 since this condition is greater than 18-inches above the highest point of the crown of the adjacent road $(3.84' + 1.5' = 5.34'$ NAVD 88).
Response: Provided
3. Revise the Panel No. to 12011C0732 in Note #6.
Response: revised
4. Show existing 2-inch water main within alley and corresponding water meter on Sheet C-1.1.
Response: Provided
5. Provide additional cross sections on west side and south side indicating swales.
Response: provided
6. Indicate how roof drainage will be collected and retained.
Response: Refer to C-1.1
7. Provide drainage calculations.
Response: OK
8. May need to show additional standard details such as for water and sewer notes (W-01, W-02), cleanout (S-12), tapping and water service from meter (W-10), etc.
Response: OK
9. Provide proposed catch basin elevations.
Response: Provided
10. The transverse trench section shows the proposed grade elevation at 8.00' NAVD. That does not match
Response: revised



Luis LaRosa Architects, Inc.

11. Additional comments may follow upon further review.

Response: OK

J. BUILDING

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Application is substantially complaint.

K. FIRE

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

1. Although the information on the fire flow requirements appears to be correctly calculated, a copy of the hydrant flow test report from Underground Utilities is required to verify the information. The report must be within the last year per Broward Fire Amendment F-112(F). Please include on the next submittal.

Response: to be provided

2. Show the closest fire hydrant on the plan and distance from the building.

Response: Refer to C-1.1

3. Show the proposed fire department connection on the plan.

Response: Refer to C-1.1

4. The correct and correct edition the State has adopted is the 6th edition Florida Fire Prevention Code which includes 2015 editions of NFPA 1 and NFPA 101. There is no 2017 edition.

Response: revised

5. Per NFPA 1, 12.3.2* a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the registered design professional responsible for design. Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. Architectural plans will be required to show this information moving forward for buildings three stories or greater in height. Provide a note on the plan regarding NFPA 1, 12.3.2*.

Response: OK

6. A Knox box will be required for after hours in the event Fire needs to access the building.

Response: No Knox box required no gate at entrance



Luis LaRosa Architects, Inc.

L. PUBLIC WORKS

Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Application must be revised to include Park Impact application.

N. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Sheet SP-1.1:
 - a. What is the purpose of the gate at the alley side? ***-required by Engineering***
 - b. Recommend eliminating curb stops- ***OK***
 - c. Include bicycle rack-***provide at Entry Lobby***
 - d. Show details of decorative screening at garage. Provided on SP-1.1
2. Sheet A-1.2: There's no closet in master bedroom of units 1, 4, 5 on each floor.
Response: Revised
3. Sheet A-2.1: Show details of decorative fence around perimeter
Response: Screen only refer to SP-1.1
4. Communicate with the two local neighborhood civic associations about the proposed project.
 - a. Downtown/Royal Poinciana/Parkside Civic Assoc., Lynn Smith, President, 954.854.4496 or dprpca@aol.com
 - b. Parkside Civic Asso., Ken Crawford, President, parksideken@aol.com

O. ECONOMIC DEVELOPMENT

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371

1. Application is substantially complaint. Contact Police for CPTED Recommendations.



Luis LaRosa Architects, Inc.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. Not Applicable.

R. PARKING

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Application substantially complaint.

S. ADDITIONAL COMMENTS

Deandrea Moise, Planning Administrator (dmoise@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee does not find this application substantially compliant with all applicable regulations, therefore the Applicant must resubmit for TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

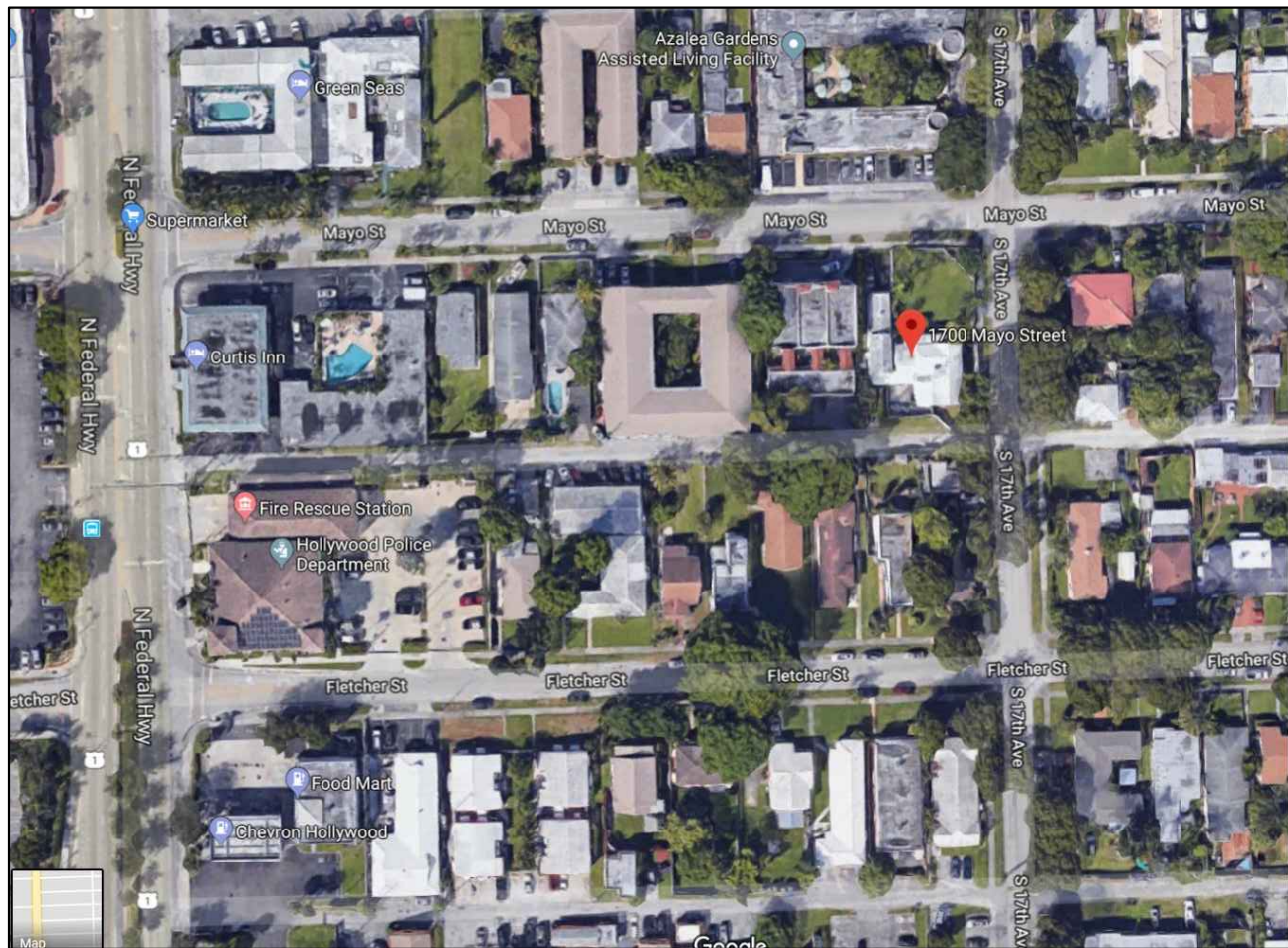
Should you have any questions, please do not hesitate to contact Deandrea Moise at 954-921-3471.

Sincerely,

Alexandra Guerrero
Principal Planner

C: XLT Investment Corp via email maribona1000@gmail.com
Luis Larosa via email llarosa@larosaarchitects.com

PROPOSED 15-UNIT MULTI FAMILY
DEVELOPMENT FOR:
XLT INVESTMENT CORP.
1700 MAYO STREET
HOLLYWOOD, FLORIDA 33020



LOCATION MAP



PACO-SUBMITTAL - JUNE 4, 2018
TAC-1- SUBMITTAL - FEBRUARY 2, 2019
TAC-2- SUBMITTAL - OCTOBER 17, 2019

SHEET INDEX

COVER SHEET	
SURVEY	
C-1.1	PAVING & DRAINAGE PLAN
C-1.2	WATER & SEWER PLAN
C-1.2	GENERAL NOTES
SP-1.1	
SP-1.1	SITE PLAN
SP-1.1	SITE DATA
SP-1.1	BUILDING CALCULATION
SP-1.1	GENERAL NOTES
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	EAST ELEVATION
A-2.2	NORTH ELEVATION
A-2.3	WEST ELEVATION
A-2.4	SOUTH ELEVATION
1 of 2	LANDSCAPE PLAN
2 of 2	LANDSCAPE DETAILS



LLR Architects, Inc.

ARCHITECTURE & PLANNING

12980 SW 52 STREET
MIRAMAR, FLORIDA 33027

(O)- 305-403-7926
(F)- 305-403-7928
E-MAIL: LLAROSA@LAROSAARCHITECTS.COM

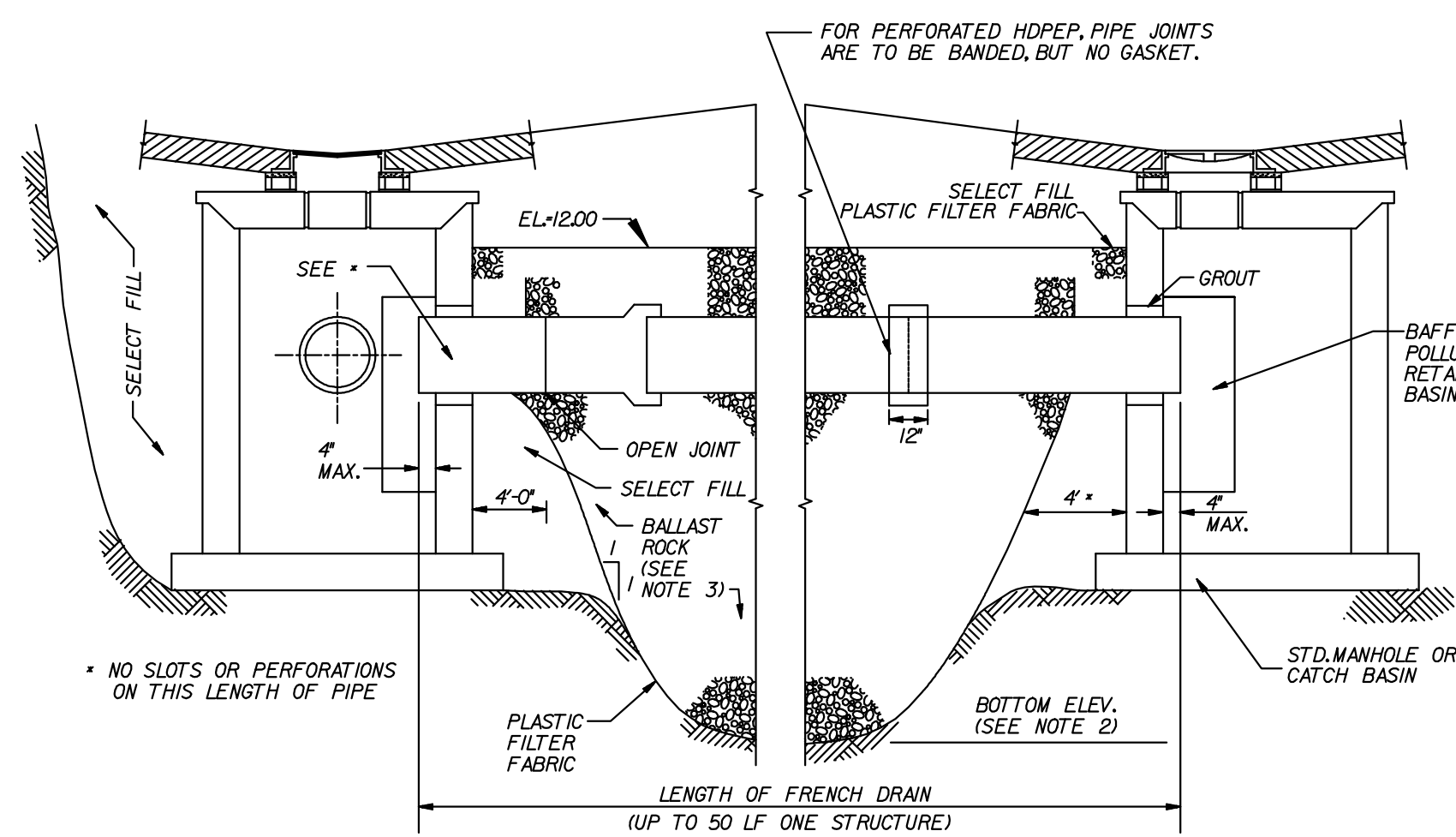
AYLWARD ENGINEERING
CIVIL ENGINEERING

3222 RIDGE TRACE
DAVIE, FLORIDA 33328

(O)- 954-424-5852
E-MAIL: AYLWARDENGINEER@GMAIL.COM

BRANDON WHITE-ASLA
LANDSCAPE ARCHITECTURE
1705 S.E. JOY HAVEN STREET
PORT ST. LUCIE, FL 34983

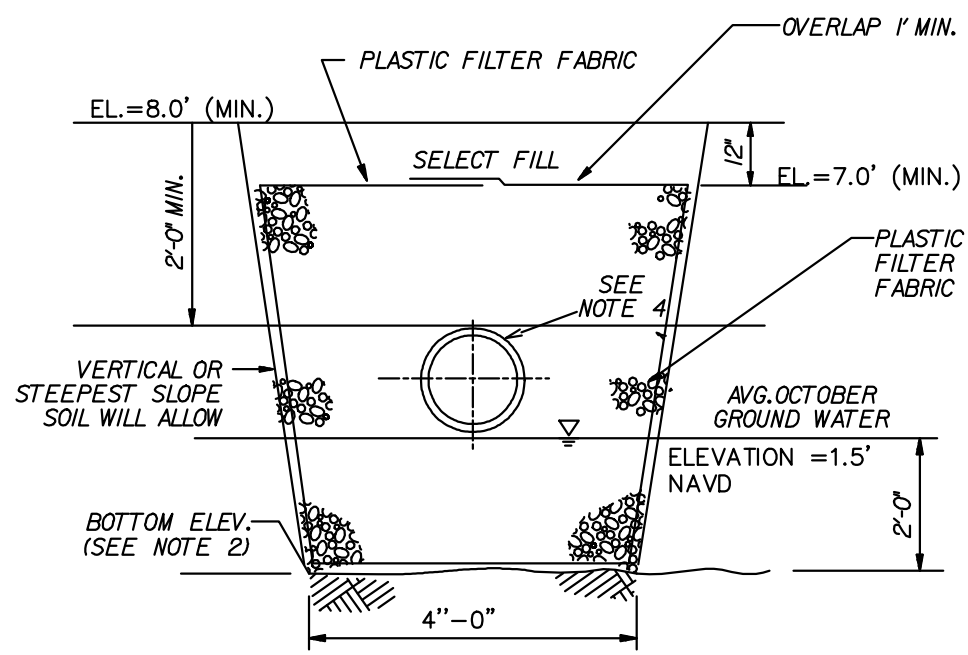
(O)- 772-834-1357
E-MAIL: BRANDON@LAS-FL.COM



LONGITUDINAL SECTION

NOTES:

1. PLASTIC FILTER FABRIC (AT EASIDE TOP & BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 2'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
4. INVERT ELEVATION TO BE ABOVE AVERAGE OCTOBER GROUND WATER LEVEL OF 2.00' NAVD AS SHOWN IN W.C. 2-2.



TRANSVERSE SECTION

WATER & SEWER DEMAND

15 UNITS X 250 GPD/UNIT = 3,750 GPD

FIRE FLOW CALCULATION:
CODE: F.F.P.C. 2015 EDITION & NFPA 220

BUILDING TYPE:- 1
TOTAL AREA: 14,639 SF.
TYPE OF OCCUPANCY: APARTMENT BUILDING
AS PER SECTION 18.4.5.2. FOR NON-ONE & TWO-FAMILY DWELLING

TABLE 18.4.5.1.2- 0-22,000 SF. = 1,500 GPM FOR A DURATION OF 2 HOURS
A REDUCTION OF 75% SHALL BE PERMITTED TO BE APPLIED
MIN. FLOW: 1,000 GPM STANDARD SPRINKLERS OR 600 GPM QUICK RESPONSE

1,500 GPM X .25 = 375 GPM (USE MINIMUM FOR QUICK RESPONSE - 600 GPM @20PSI)

FLOW TEST RESULTS:
STATIC =
RESIDUAL =

TOTAL FLOW = 1,060 + 320 GPM = 1,380 GPM

(AT 46 PSI FIRE FLOW IS SUFFICIENT TO COVER THE NEED OF 600 GPM @20 PSI).

LEGEND: (note all values are N.A.V.D.88)

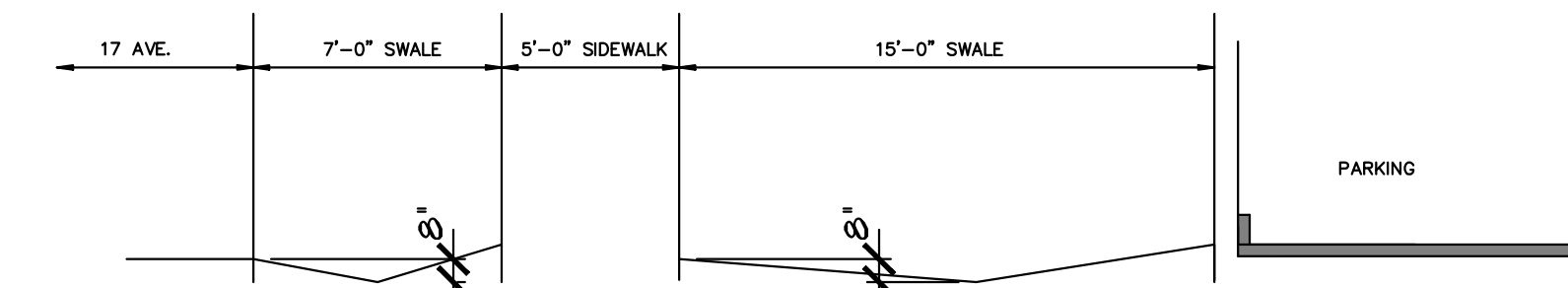
(6.1) DENOTES EXISTING GRADE

XX DENOTES PROPOSED GRADE

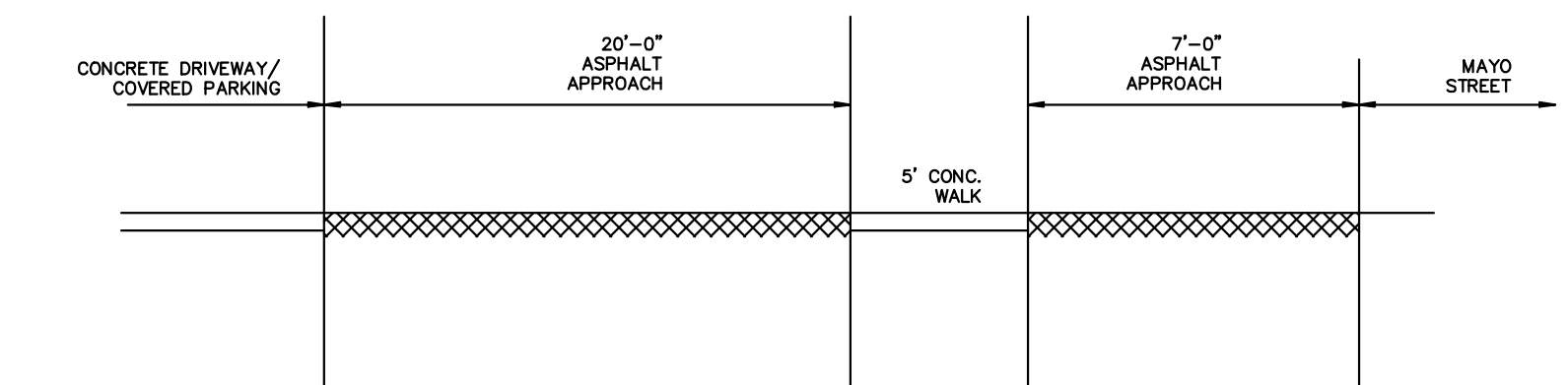
FIRE NOTES:
1). UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II OR V LICENSE AS PER FS 633.102

2). NO FIRE PUMP IS REQUIRED

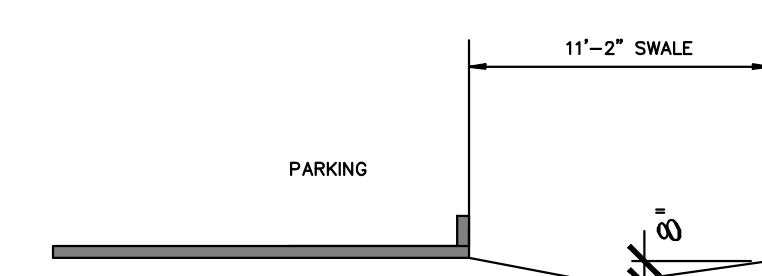
3). PER NFPA 1, 12.3.2* A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.



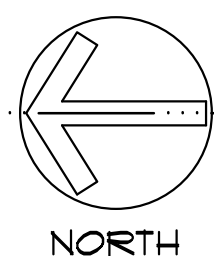
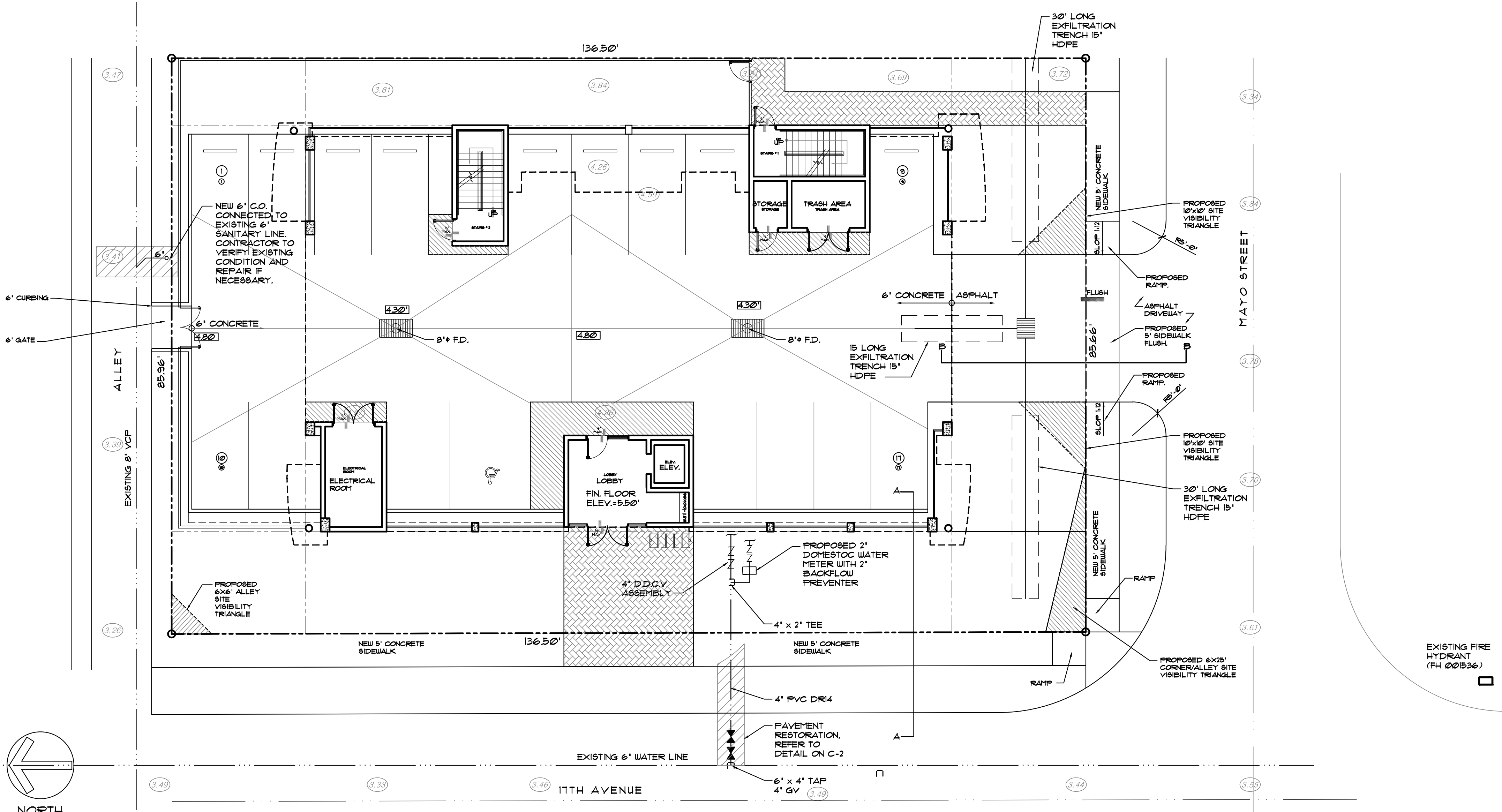
SECTION "A-A"
N.T.S.



SECTION "B-B"
N.T.S.



SECTION "C-C"
N.T.S.



REVISION:	BY:


PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	C-1.1
OF	SHEETS


GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSO), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECSO AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSO IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECSO IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	GENERAL NOTES		
APPROVED: XXX	DRAWING NO. G-00		


GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSO UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSO FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCRoACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSO FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSO.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		
APPROVED: XXX	DRAWING NO. G-00.1		


GENERAL NOTES (CONTINUED):


27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTling OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

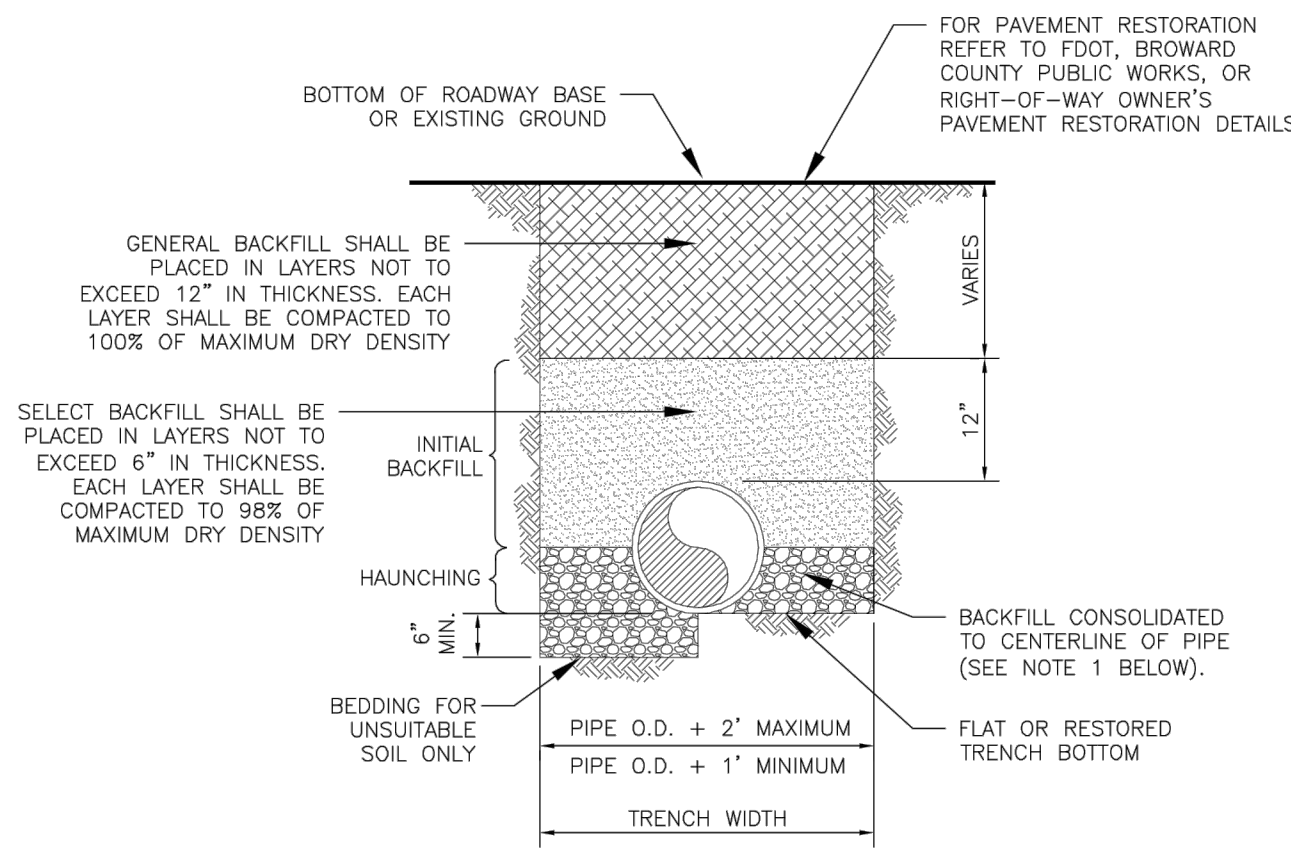
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		
APPROVED: XXX	DRAWING NO. G-00.2		

GENERAL NOTES (CONTINUED):

40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
- Always call 811 two full business days before you dig



41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSO SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

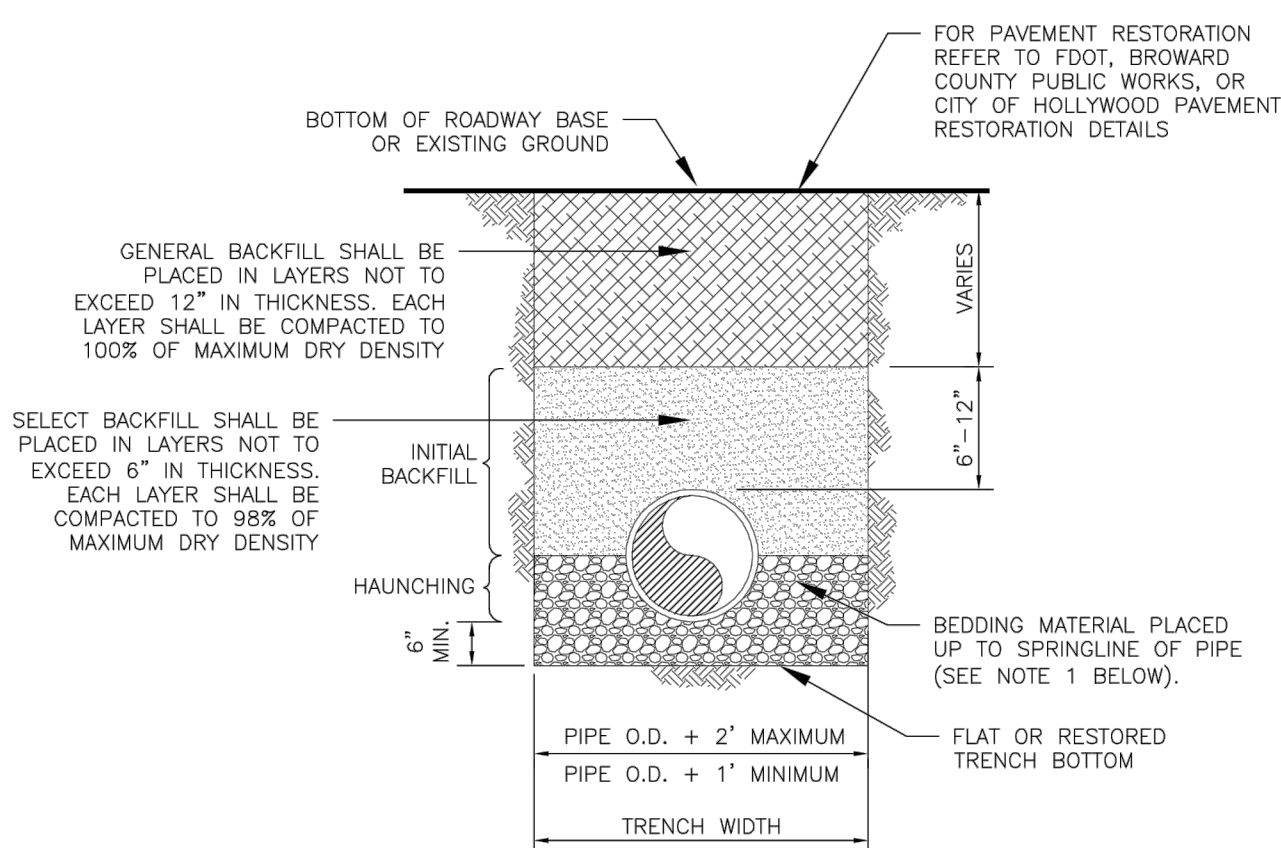
	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	GENERAL NOTES (CONTINUED)		
APPROVED: XXX	DRAWING NO. G-00.3		



NOTES:


1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)		
APPROVED: XXX	DRAWING NO. G-02		




NOTES:

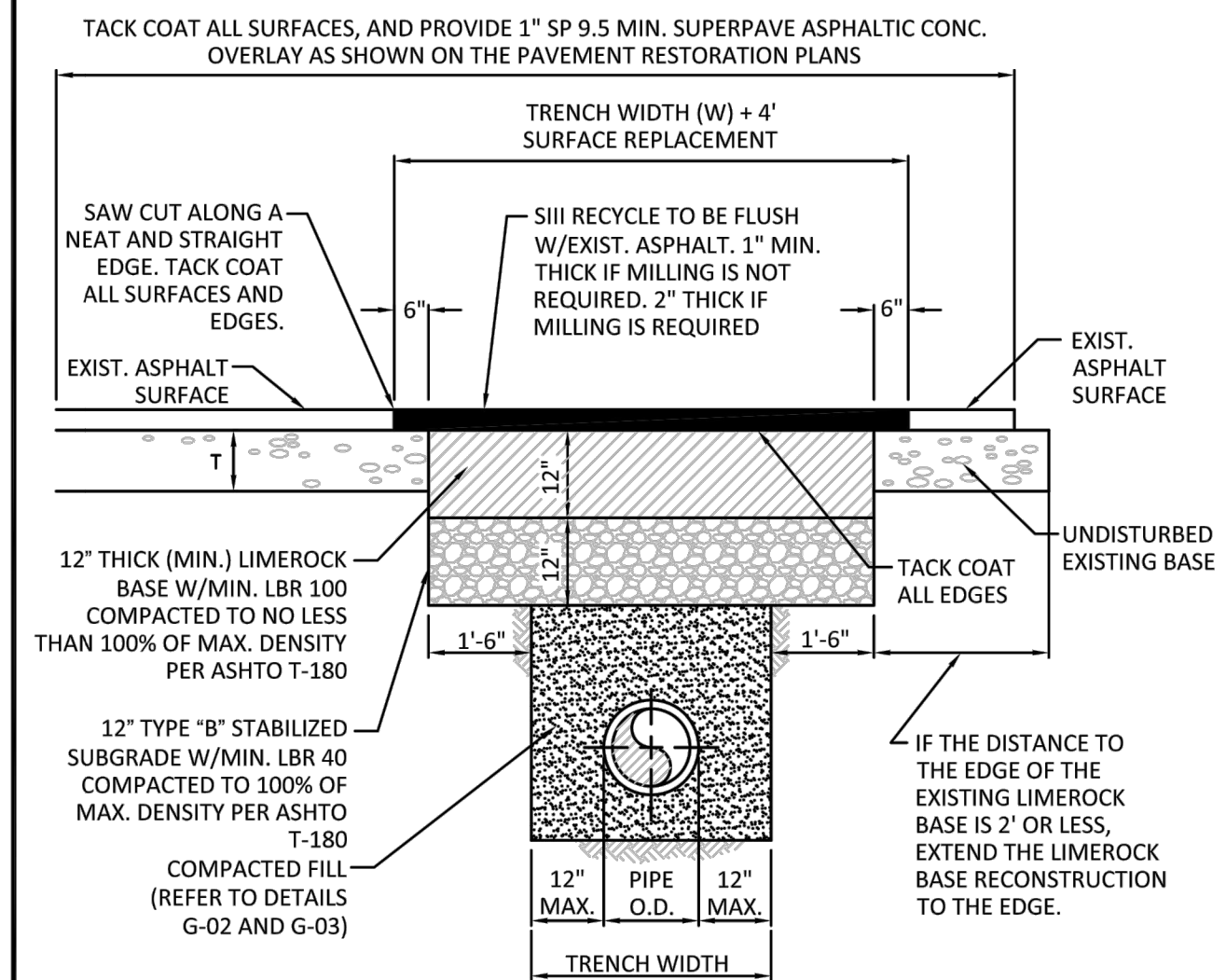
1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.


	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
DRAWN: EAM	PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)		
APPROVED: XXX	DRAWING NO. G-03		

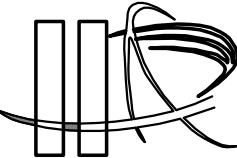
FLEXIBLE PAVEMENT RESTORATION NOTES:

1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION NOTES		
APPROVED: XXX	DRAWING NO. G-12		



	ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
DRAWN: EAM	FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY		
APPROVED: XXX	DRAWING NO. G-12.1		



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12805 S.W. 52 STREET
MIAMI, FLORIDA 33127
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM
Luis La Rosa - Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.

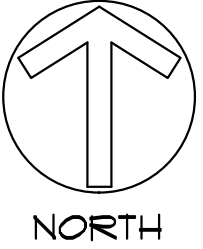
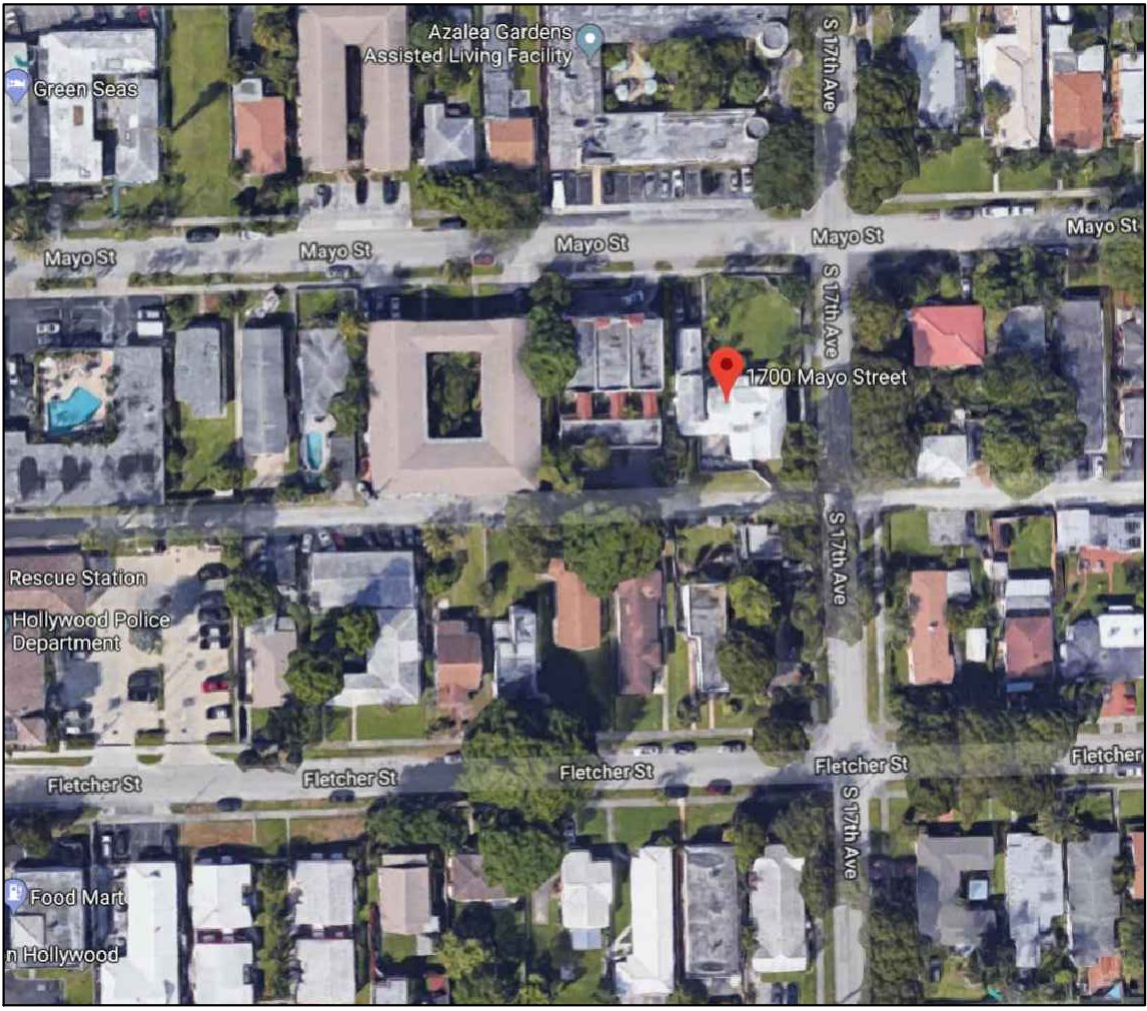
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

C-1.2

OF SHEETS



1 LOCATION PLAN

SCALE: N.T.S.

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017-20th EDITION, FLORIDA FIRE PREVENTION CODE 2016 (6TH EDITION), WITH BROWARD COUNTY AMENDMENTS. ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER. SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

LOT 16 & 17 OF BLOCK 2 HOLLYWOOD SOUTHSIDE ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

3 LEGAL DESCRIPTION

SITE CALCULATIONS:

TOTAL SITE AREA:	11,112.98 S.F. (NET) OR 26 ACRES
BUILDING COMMON AREA	869 S.F.
DRIVEWAY CONC. SLAB	5,618 S.F.
891 S.F.	
TOTAL IMPERVIOUS AREA=	7,438 S.F. (63.5%)
TOTAL PERVIOUS AREA=	4,274.98 S.F. (36.5%)

TOTAL IMPERVIOUS AREA=	7,438 S.F. (63.5%)
BUILDING FOOTPRINT AREA	5,680 S.F.
TOTAL PERVIOUS AREA=	4,274.98 S.F. (36.5%)

F.A.R. CALCULATIONS:

TOTAL SITE AREA:	11,112.98 NET S.F. X 125=	(14,641.22 S.F.)
GROUND FLOOR	167 S.F.	
(NOT TRASH ROOM, STORAGE & ELECTRICAL ROOM)		
2ND FLOOR PLAN	4,624 S.F.	
(NOT TRASH ROOM, ELEC. ROOM, JAN ROOM, UTILITY, CL. & BALCONY)		
3RD FLOOR PLAN	4,624 S.F.	
(NOT TRASH ROOM, ELEC. ROOM, JAN ROOM, UTILITY, CL. & BALCONY)		
4TH FLOOR PLAN	4,624 S.F.	
(NOT TRASH ROOM, ELEC. ROOM, JAN ROOM, UTILITY, CL. & BALCONY & STAIRS)		

F.A.R. PROVIDED	14,639 S.F.
F.A.R. ALLOWED	(14,641.22 S.F.)
LAND USE DESIGNATION: REGIONAL ACTIVITY CENTER (R.A.C.)	
ZONING DESIGNATION: PH-1	

PARKING CALCULATIONS:

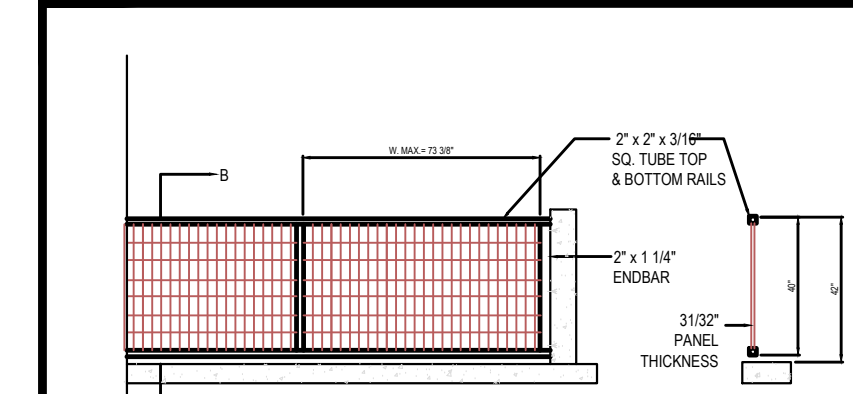
	REQUIRED	PROVIDED
1 PARKING SPACE PER UNIT & 1 GUEST PARKING SPACES PER 10 UNITS	15 15	
TOTAL PARKING SPACES	16.5 OR 17	17

SETBACK CALCULATIONS:

	REQUIRED	PROVIDED
FRONT	20'	20'-0"
REAR	20'	20'-0"
STREET	15'	15'-0"
INT-SIDE	10'	10'-0"

ALLOWABLE HEIGHTS:

	REQUIRED	PROVIDED
4-STORIES± NOT TO EXCEED 45'	4 STORIES	44'-0"



BUILDING CALCULATION

	LOBBY	UNIT #1 (TWO BEDS.)	UNIT #2 (TWO BEDS.)	UNIT #3 (TWO BEDS.)	UNIT #4 (TWO BEDS.)	UNIT #5 (TWO BEDS.)		
1ST. FLOOR COMMON AREA=	167 S.F.	-	-	-	-	-		167 S.F.
2ND. FLOOR LIVING AREA=	-	141 S.F.	121 S.F.	685 S.F.	182 S.F.	182 S.F.		3,111 S.F.
BALCONY AREA=	-	12 S.F.	48 S.F.	83 S.F.	59 S.F.	59 S.F.		321 S.F.
COMMON AREA=	-	-	-	-	-	-		907 S.F.
TOTAL GROSS AREA=	-	-	-	-	-	-		4,624 S.F.
3RD. FLOOR LIVING AREA=	-	141 S.F.	121 S.F.	685 S.F.	182 S.F.	182 S.F.		3,111 S.F.
BALCONY AREA=	-	12 S.F.	48 S.F.	83 S.F.	59 S.F.	59 S.F.		321 S.F.
COMMON AREA=	-	-	-	-	-	-		907 S.F.
TOTAL GROSS AREA=	-	-	-	-	-	-		4,624 S.F.
4TH. FLOOR LIVING AREA=	-	141 S.F.	121 S.F.	685 S.F.	182 S.F.	182 S.F.		3,111 S.F.
BALCONY AREA=	-	12 S.F.	48 S.F.	83 S.F.	59 S.F.	59 S.F.		321 S.F.
TOTAL UNIT AREA=	-	-	-	-	-	-		907 S.F.
COMMON AREA=	-	-	-	-	-	-		907 S.F.
TOTAL GROSS AREA=	-	-	-	-	-	-		4,624 S.F.
TOTAL GROSS AREA=								14,681 S.F.

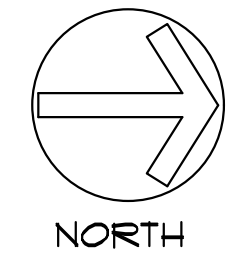
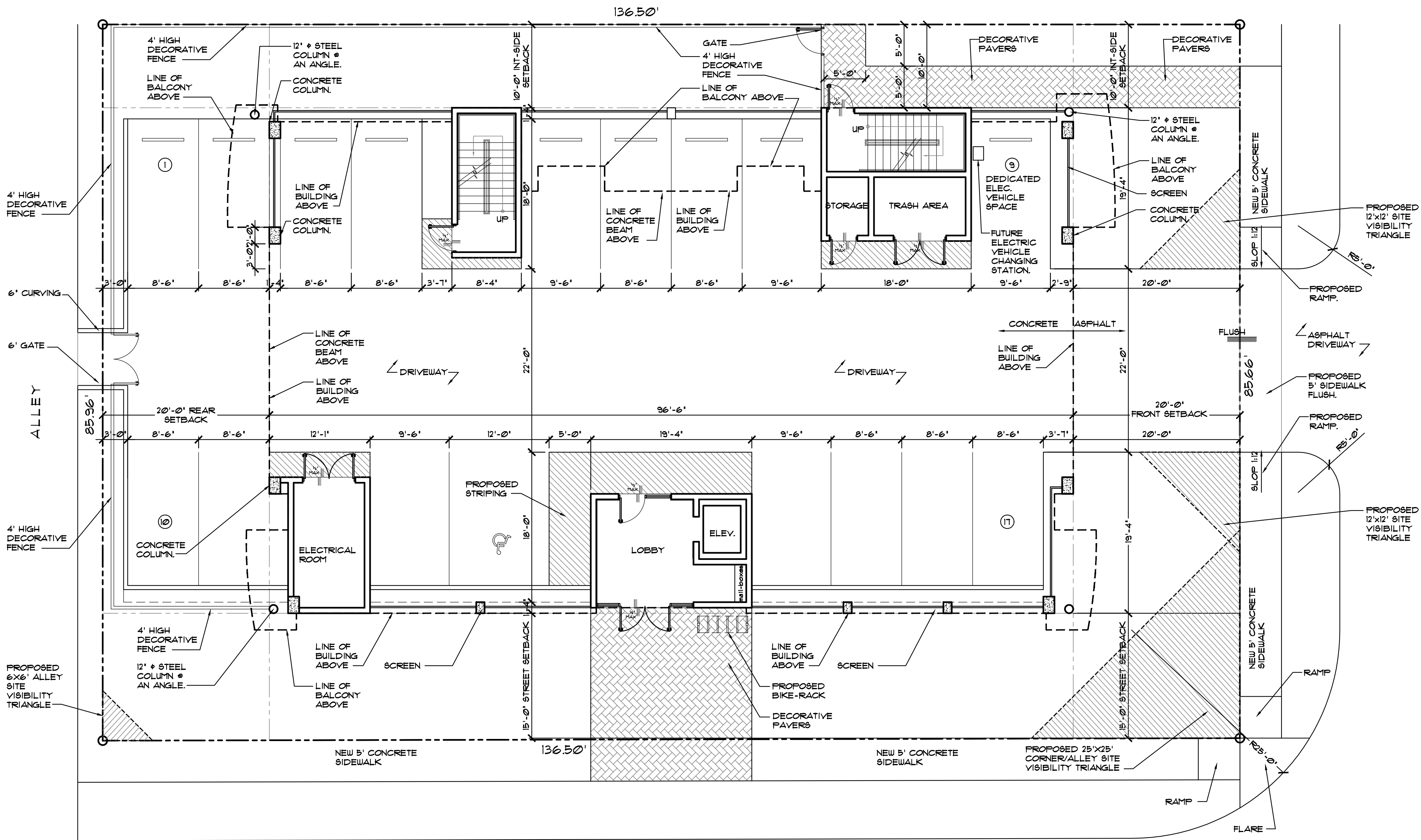
2ND. FLOOR	3RD. FLOOR	4TH. FLOOR	TOTAL UNITS
5 UNITS (2 BED.)	5 UNITS (2 BED.)	5 UNITS (2 BED.)	15 UNITS (2 BED.)
5 UNITS	5 UNITS	5 UNITS	15 UNITS

1. OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE 02016-02.
2. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LEND DEVELOPMENT REGULATION.
3. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
4. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 05 IF ADJACENT TO RESIDENTIAL).
5. A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 110 & BROWARD AMENDMENT 1182.
6. GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
7. BIKE RACK TO BE INSTALLED AS SHOWN.
8. WHITE ROOF TO REFLECT LIGHT.

4 SITE DATA

5 DETAIL-SCREEN

6 BUILDING CALCULATION



11TH AVENUE

7 PROPOSED SITE PLAN

SCALE: 1/8\"/>

GREEN BUILDING PRACTICE

- (E) ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
- (H) PROGRAMMABLE THERMOSTATS.
- (N) DUAL FLUSH TOILETS.
- (P) AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION).
- (Q) ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- (R) ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THEN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION).
- (T) ALL HOT WATER PIPES INSULATED.
- (U) MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT.
- (V) TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER.
- (W) ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.

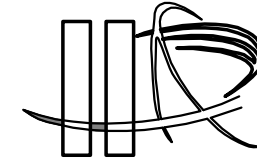
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

SP-1.1

OF SHEETS

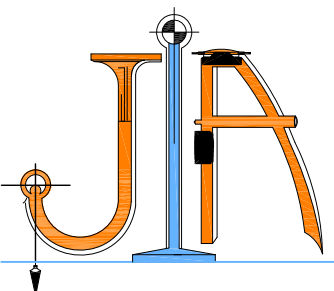


LLR Architects, Inc.
ARCHITECTURE & PLANNING
12880 S.W. 52 STREET
MIAMI, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:



JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

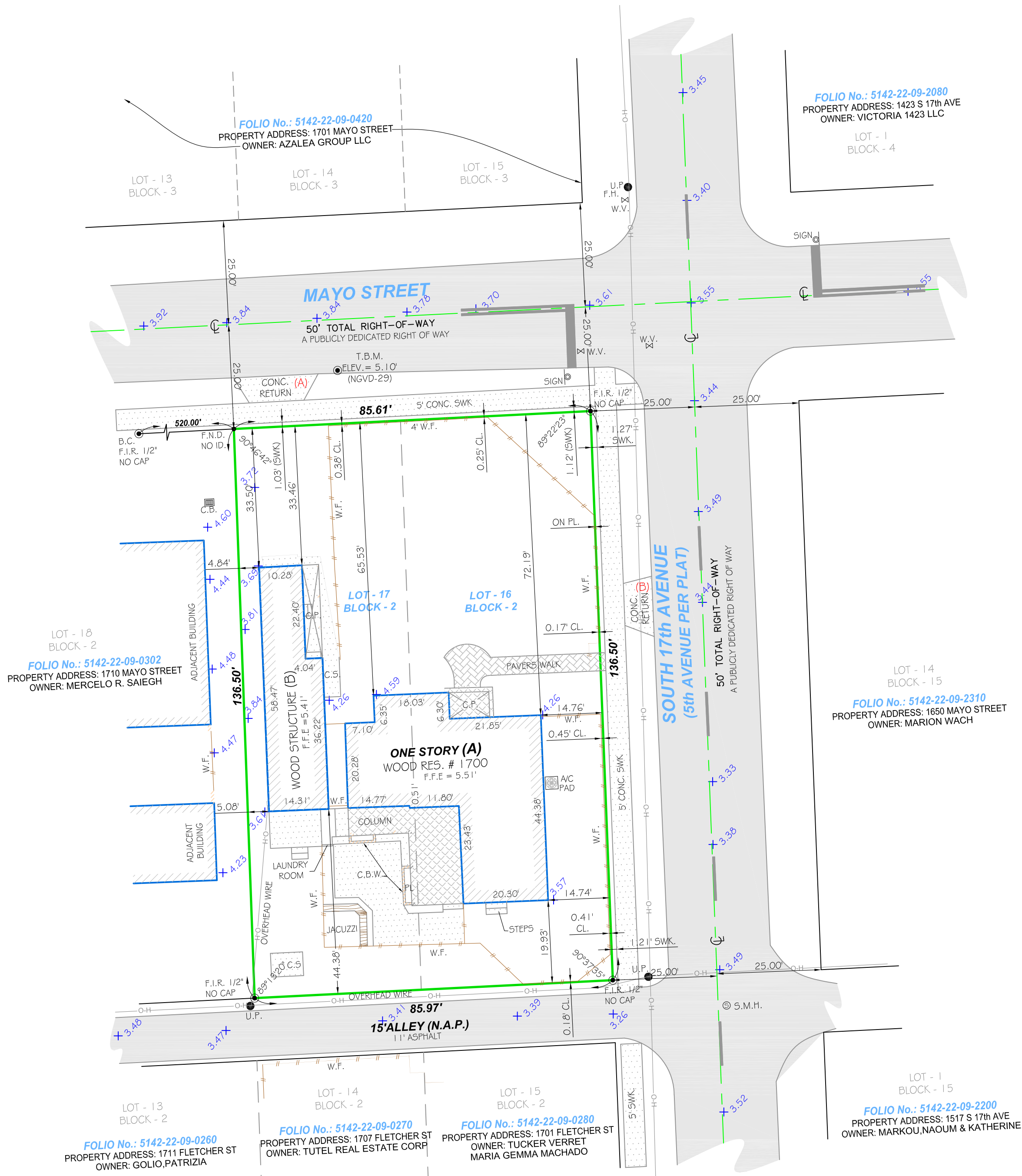
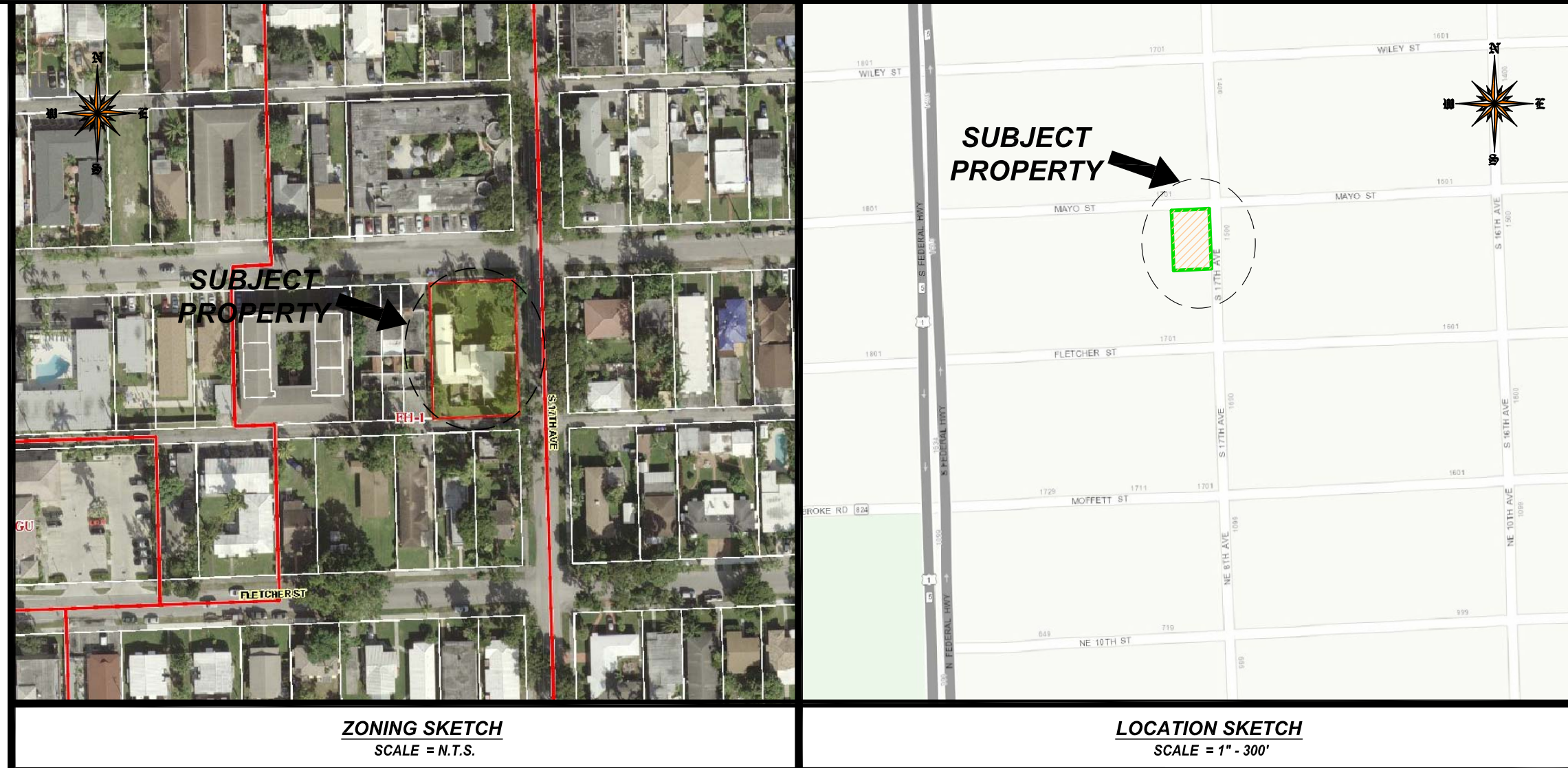
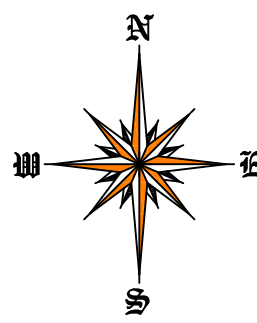
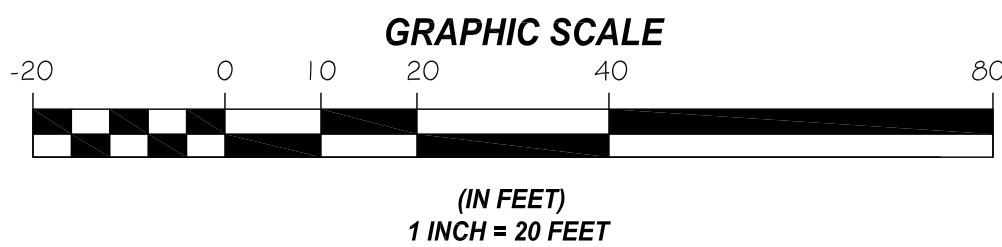
WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

4851 TAMiami TRAIL NORTH
SUITE # 200
NAPLES, FL 34103
PH: (239) 540-2660
FAX: (239) 540-2664



ALTA/NSPS Land Title Survey



ENCROACHMENT NOTES:
A. NORTH SIDE OF THE SUBJECT PROPERTY CONCRETE RETURN IS ENCROACHING INTO THE RIGHT OF WAY OF MAYO STREET.
B. EAST SIDE OF THE SUBJECT PROPERTY, CONCRETE RETURN IS ENCROACHING INTO THE RIGHT OF WAY OF SOUTH 17TH AVENUE.

ABBREVIATIONS

- A = ARC
- AC = AIR CONDITIONER PAD
- A.E. = ANCHOR EASEMENT
- A.R. = ALUMINUM ROOF
- AS = ALUMINUM SHED
- ASPH. = ASPHALT
- B.C. = BLOCK CORNER
- B.D.C. = BUILDING
- B.M. = BENCHMARK
- B.C.R. = BROWARD COUNTY RECORDS
- B.O.B. = BASIS OF BEARING
- C.S.L. = BUILDING SETBACK LINE
- (C) = CALCULATED
- C.A. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C.B.W. = CONCRETE BLOCK WALL
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENT
- D.R. = DRIVEWAY
- D.R.G. = DRIVEWAY
- E.B. = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.O.D. = FOUND WALL & DOOR
- FT. = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
- F.N. = FOUND NAIL
- H. = HIGH (HEIGHT)
- IN AG. = INGRESS AND EGRESS EASEMENT
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- L.B. = LICENSED BUSINESS
- L.P. = LIGHT POLE
- L.F.E. = LOWER FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- M. = MINUTES
- M.I. = MEASURED DISTANCE
- M.B. = MAIL BOX
- M.O.C. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENT
- M.H. = MANHOLE
- N.A.P. = NOT A PART OF
- N.O.V.D. = NATIONAL ORIGINATED VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- # = NUMBER
- OS = OFFSET
- O.H. = OVERHEAD
- QU.L. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- O.V.H. = OVERHANG
- P.V.M.T. = PAVEMENT
- P.L. = PLASTER
- P.L. = PROPERTY LINE
- P.C. = POINT OF COMPOUND CURVATURE
- P.C. = POINT OF CURVATURE
- P.O.T. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVATURE
- PKY. = PARKWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- P.P. = POWER POLE
- P.P.S. = POOL PUMP SLAB
- P.U.E. = PUBLIC UTILITY EASEMENT
- (R) = RECORD DISTANCE
- R.K. = RAIL ROAD
- RES. = RESIDENCE
- R.W. = RIGHT-OF-WAY
- RAD. = RADIAL OR RADIAL
- R.O.E. = RANGE
- R.O.E. = PROF. OVERHANG EASEMENT
- SEC. = SECTION
- STY. = STONY
- SWK. = SIDEWALK
- S.I.P. = SET IRON PIPE
- S. = SOUTH
- S.P. = SCREENED PORCH
- S.V. = SEWER VALVE
- S. = SECONDS
- T. = TANGENT
- T.B. = TELEPHONE BOOTH
- T.B.M. = TEMPORARY BENCHMARK
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- T.M.P. = TOWNSHIP
- UTL. = UTILITY
- U.E. = UTILITY EASEMENT
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.P. = WOOD PORCH
- W.R. = WOOD ROOF
- W.V. = WATER VALVE
- M. = MONUMENT LINE
- E. = CENTER LINE
- Δ = DELTA

SURVEYOR'S CERTIFICATE:

- 1A. THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.
- 1B. THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEYS MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS; OR
- 1C. PROPER FIELD PROCEDURES, INSTRUMENTATION AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE MINIMUM ANGLE DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS.
2. THE LOCATION OF THE SUBJECT PROPERTY IS IN ZONE FH-1, ZONE AS PER BROWARD COUNTY PROPERTY APPRAISER.
- NOT SETBACKS FOUND.
3. THE PROPERTY HAS DIRECT PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM PUBLICLY USED AND MAINTAINED STREETS OR HIGHWAYS KNOWN AS MAYO ST AND S 17th AVE.
4. MUNICIPAL WATER, MUNICIPAL STORM SEWER AND MUNICIPAL SANITARY FACILITIES, TELEPHONE, AND ELECTRIC SERVICES OF PUBLIC UTILITIES ARE AVAILABLE AT THE BOUNDARY OF THE PROPERTY IN THE LOCATIONS AS SHOWN ON THE SURVEY.
5. THE SUBJECT PROPERTY DOES SERVE ADJOINING PROPERTY FOR VISIBLE SUBSURFACE DRAINAGE STRUCTURES, VISIBLE WATER COURSES, UTILITIES, STRUCTURAL SUPPORT OR INGRESS & EGRESS.
6. THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY NO. 12512 PANEL NO. 0132, SUFFIX "H", AND HAVING A BASE FLOOD OF 7 FEET, BEARING AN EFFECTIVE DATE OF 08/19/2014.
7. THE LAND AREA OF THE SUBJECT PROPERTY IS:
GROSS LAND AREA = 111,710 SQUARE FEET OR 10.269 ACRES
NET LAND AREA = 111,710 SQUARE FEET OR 10.269 ACRES
AS DESCRIBED IN THE LEGAL DESCRIPTION.
8. THE TOTAL BUILDING AREA (BASED UPON EXTERIOR FOOTPRINT OF BUILDING ON GROUND SURFACE, NOT INTERIOR USABLE FLOOR SPACE) ARE BLDG. (A) = 1,568 SQUARE FEET AND BLDG. (B) = 747 SQUARE FEET.
9. THERE ARE NO REGULAR PARKING SPACES AND NO MARKED HANDICAPPED PARKING SPACES ON THE SUBJECT PROPERTY.
10. ELEVATIONS ARE REFERRED TO BROWARD COUNTY BENCHMARK, ELEVATION 3.55 FEET N.A.V.D. OF 1988, LOCATED AT MAYO ST AND S 17th AVE.
11. THE PARTIES LISTED ABOVE AND THEIR SUCCESSORS AND ASSIGNS ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.
12. FLOOR ELEVATION OF EXISTING BUILDING ARE BLDG (A): 5.51 FEET AND BLDG (B) 5.41 FEET.
13. THERE IS NO VISIBLE OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
14. THERE IS NO VISIBLE OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
15. THERE IS TWO EXISTING UNITS, UNIT A AND UNIT B, AS SHOWN ON SURVEY.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOT 16 AND 17, BLOCK 2 HOLLYWOOD SOUTHSIDE ADDITION
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3,
PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ZONING REPORT HAS NOT BEEN PROVIDED FOR REFERENCE TO SURVEYOR BY THE PLANNING & ZONING RESOURCE COMPANY.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.

TITLE COMMITMENT NOTES:

THAT I HAVE REVIEWED THE COMMITMENT AND ALL ITEMS ARE SHOWN ON THE SURVEY. THE ITEMS SHOWN HERE FORTH ARE PER SCHEDULE B-4 OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER 515757, ISSUING OFFICE FILE NUMBER: 17-094, DATED AUGUST 21, 2018, AT 11:00 P.M.

ITEM NO. 6 ALL MATTERS CONTAINED ON THE PLAT OF HOLLYWOOD SOUTH SIDE ADDITION, AS RECORDED IN PLAT BOOK 3, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES AFFECT THE PROPERTY, LOT LINES AND ROAD LINES AS SHOWN ON PLAT.

ITEM NO. 7 ORDINANCE NO. 2005-18 RECORDED IN O.R. BOOK 40082, PAGE 1789 AND BROWARD COUNTY ORDINANCE NO. 2005-18 RECORDED IN O.R. BOOK 40082, PAGE 1783, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES AFFECT THE PROPERTY, ITEM IS BALWET IN NATURE AND IS NOT PLOTTABLE.

As part of the preparation of this Survey the undersigned examined an Owners and Encumbrance Report prepared by Torrens Law Firm, PLLC dated June 21, 2019. There are no encumbrances, easements of record, servitudes and any other relevant matter, except as noted above that need to be plotted on this survey.

LEGEND

- O-H = OVERHEAD UTILITY LINES
- X-X-X-X = CONCRETE BLOCK WALL
- - - - - = CHAIN LINK FENCE
- - - - - = IRON FENCE
- - - - - = WOOD FENCE
- - - - - = BUILDING SETBACK LINE
- - - - - = UTILITY EASEMENT
- - - - - = LIMITED ACCESS RW
- - - - - = NON-VEHICULAR ACCESS RW
- x 0.00 = EXISTING ELEVATIONS

Project Address:
1700 MAYO STREET, HOLLYWOOD FL, 33020

Project Location: BROWARD COUNTY

SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST

Folio No.: 5142-22-09-0290

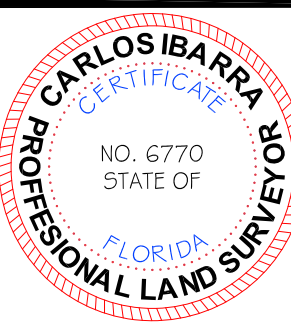
DRAWN BY: TB

Job Number: 18-003068

777 N.W. 72nd AVENUE SUITE 3025
MIAMI, FLORIDA 33126
TELEPHONE: (305) 262-0400 FAX (305) 262-0401
www.ibarralandsurveyors.com

John Ibarra
And Assoc., Inc.
LAND SURVEYORS

L.B.# 7806



NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SEAL

XLT INVESTMENT CORP
1700 MAYO ST., HOLLYWOOD, FL 33020
BASED UPON TITLE COMMITMENT FILE NUMBER 515757
ISSUING OFFICE FILE NO.: 17-094
OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF NOVEMBER 3, 2017 AT 11:00 PM

SURVEYOR'S CERTIFICATION

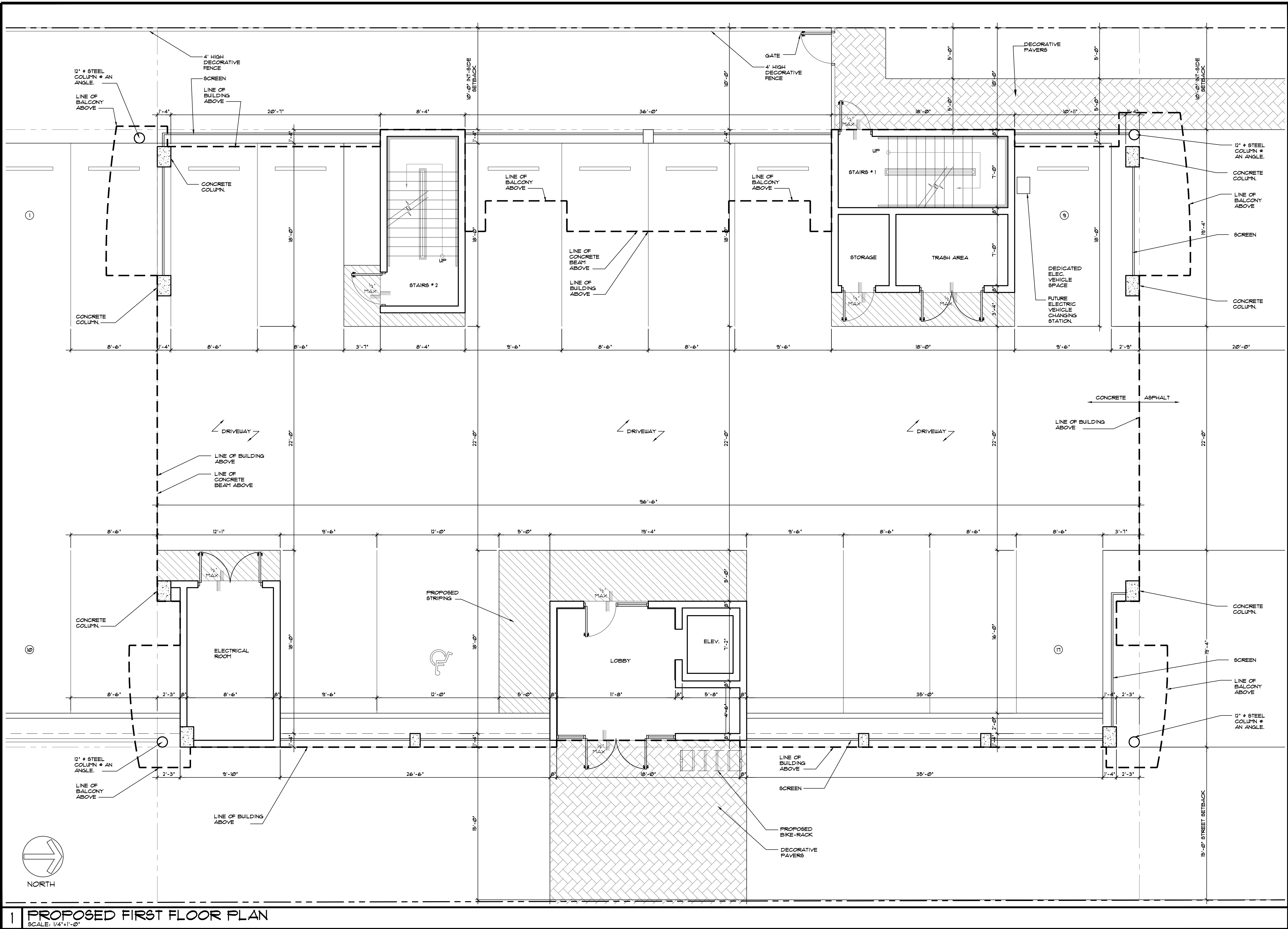
TO: XLT INVESTMENT CORP, TORRENS LAW FIRM, L.L.C. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ITS SUCCESSOR AND/OR ASSIGNS, AS THEIR RESPECTIVE INTERESTS MAY APPEAR:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,5,7(A),18-1),8,9,13,16,19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 9, 2018:

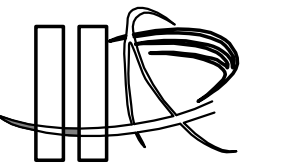
CARLOS IBARRA (DATE OF SURVEY)
PROFESSIONAL LAND SURVEYOR NO. 6770 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)
REVISED SURVEY:

I HEREBY CERTIFY: THIS "ALTA/NSPS SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

10/09/2018



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12880 S.W. 52 STREET
MIAMI, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM
Luis La Rosa - Registered Architect
AR# 0017852
AA# 26003693

REVISION:	BY:

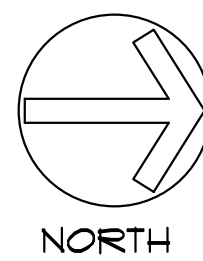
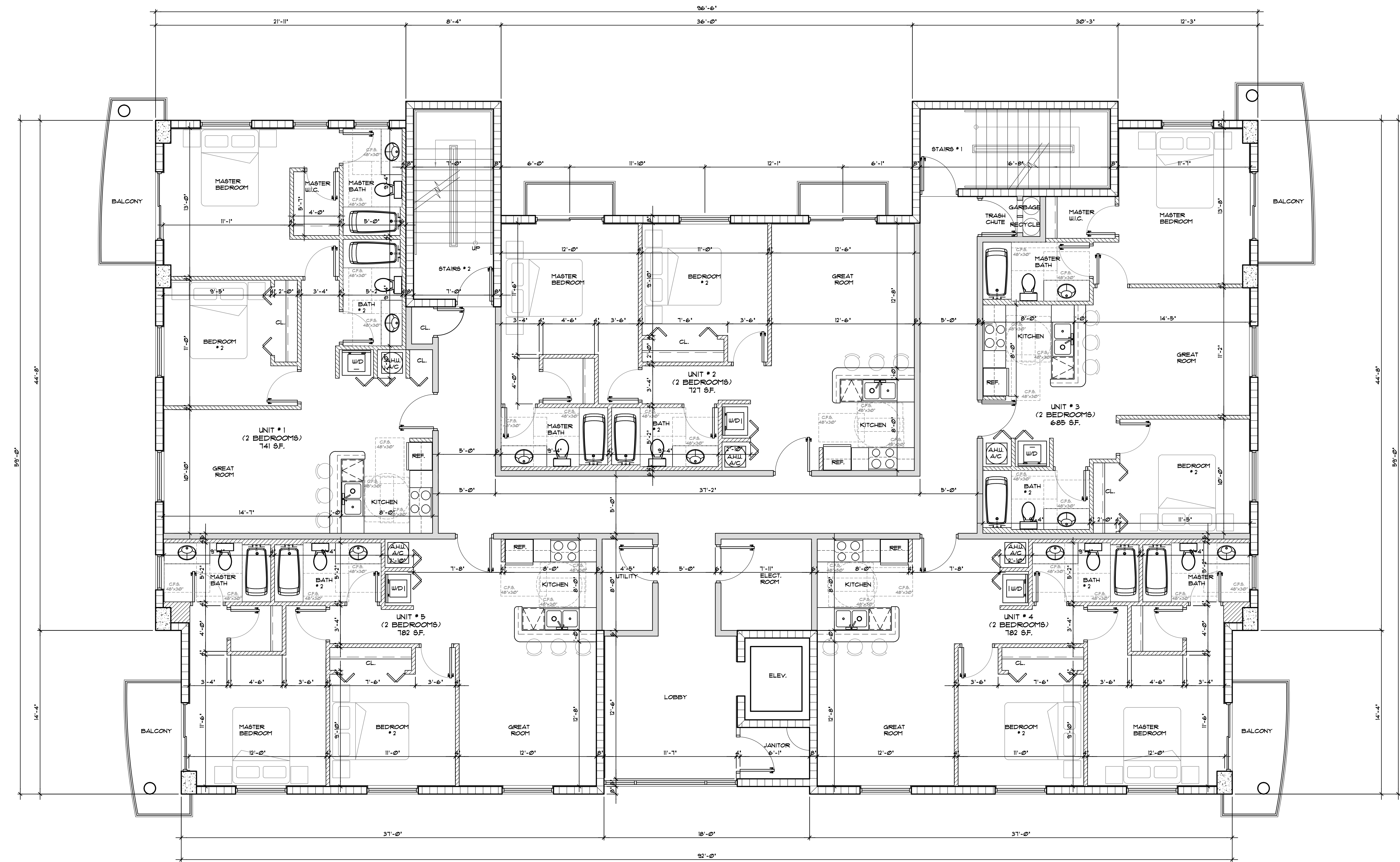
PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A=1.1

OF SHEETS



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR# 0017852
AA# 26003693

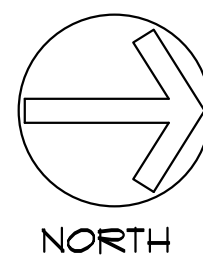
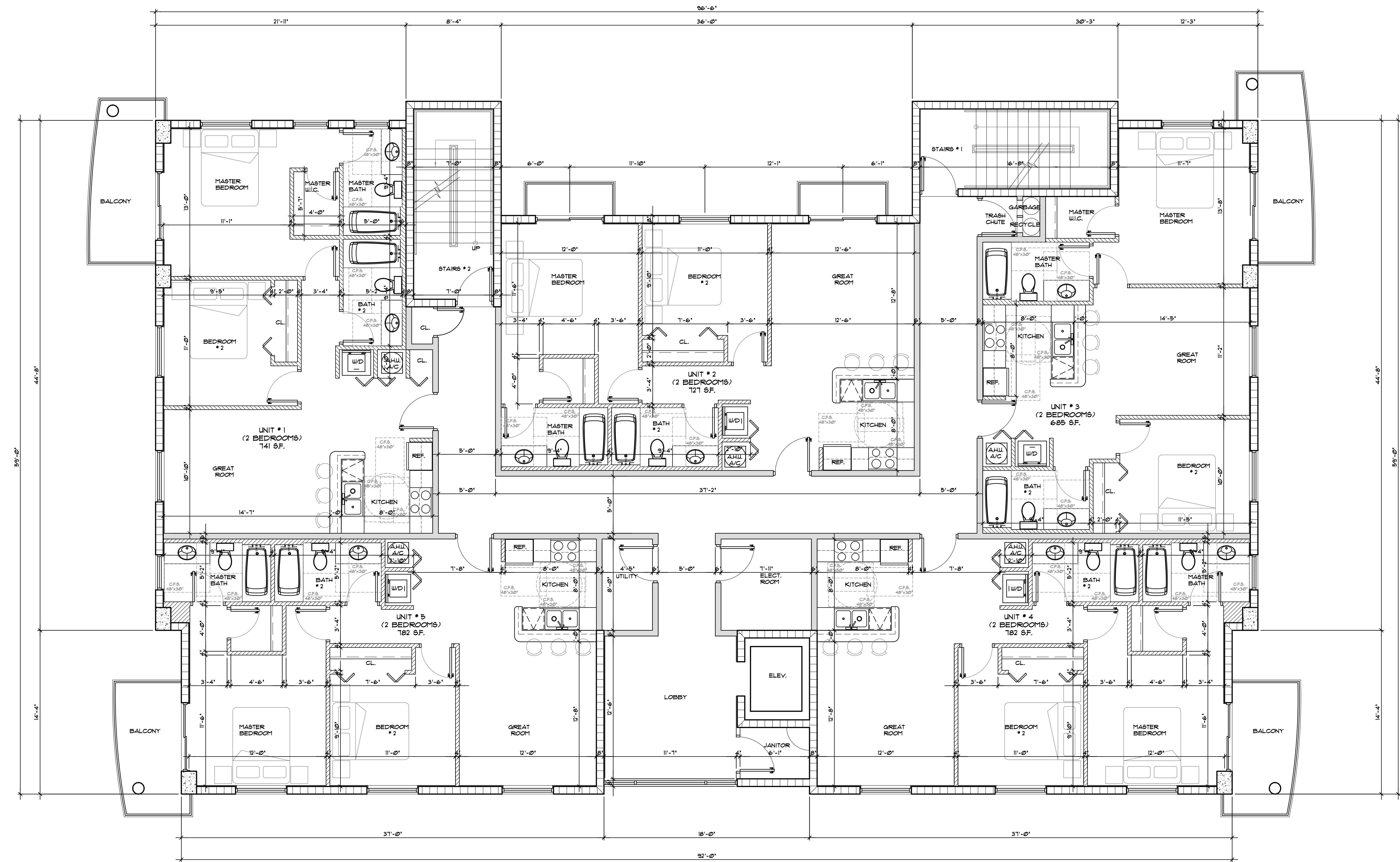
REVISION:	BY:

PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A-1.2
OF SHEETS



1 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR# 0017852
AA# 26003693

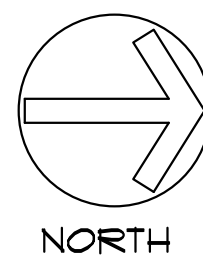
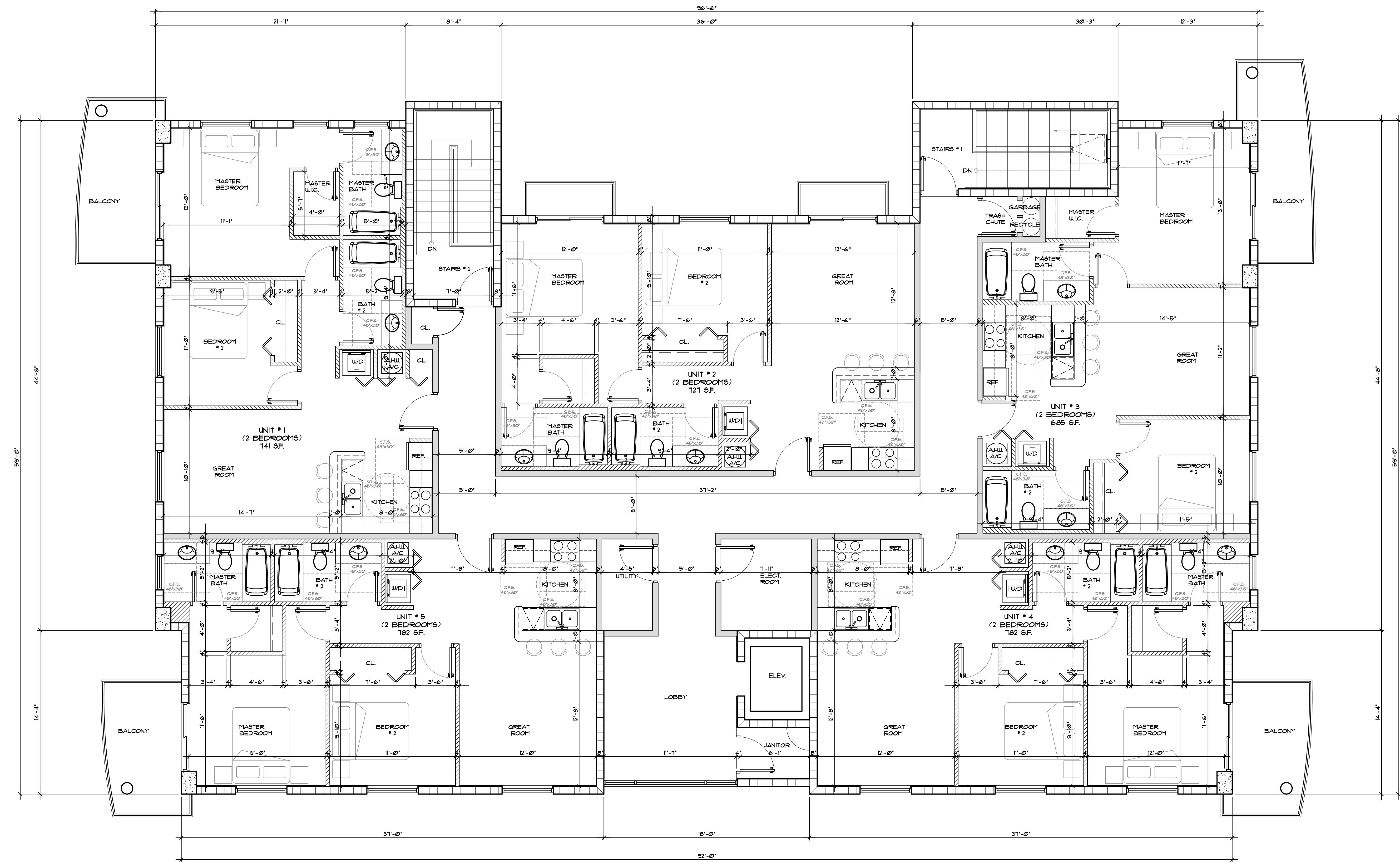
REVISION:	BY:

PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

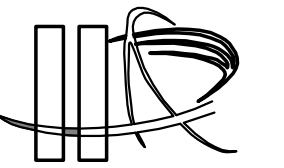
DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A=1.3
OF SHEETS



1 PROPOSED FOURTH FLOOR PLAN

SCALE: 1/4"=1'-0"



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM
Luis La Rosa-Registered Architect
AR# 0017852
AA# 26003693

REVISION:	BY:

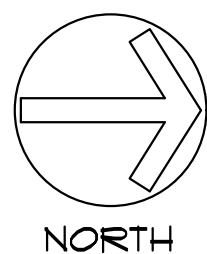
PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A=1.4

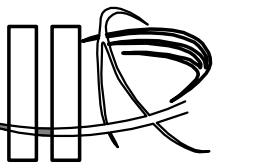
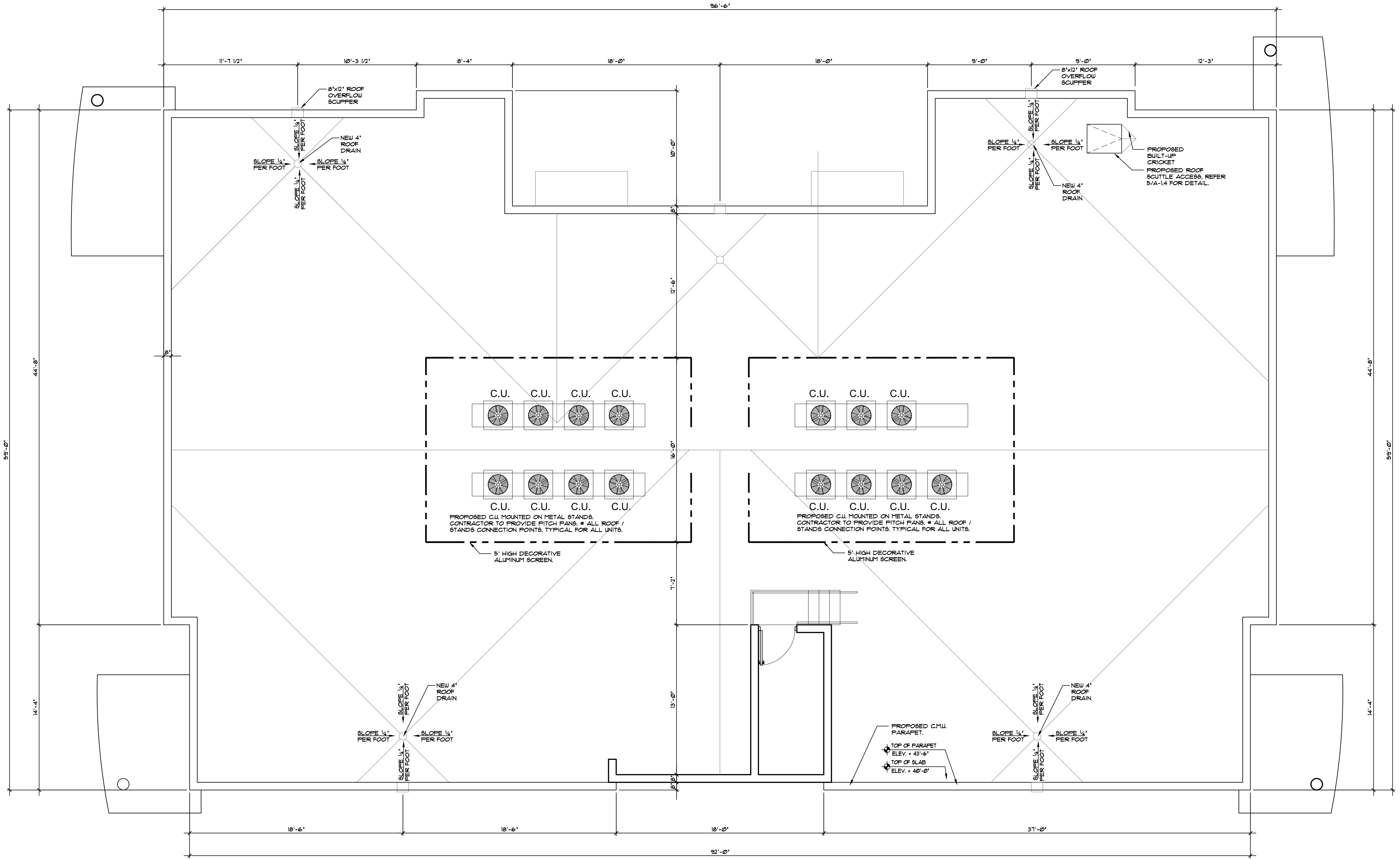
OF SHEETS



1

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR# 0017852
AA# 26003693

REVISION:	BY:

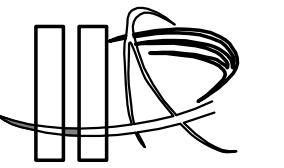
PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A-1.5

OF SHEETS



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

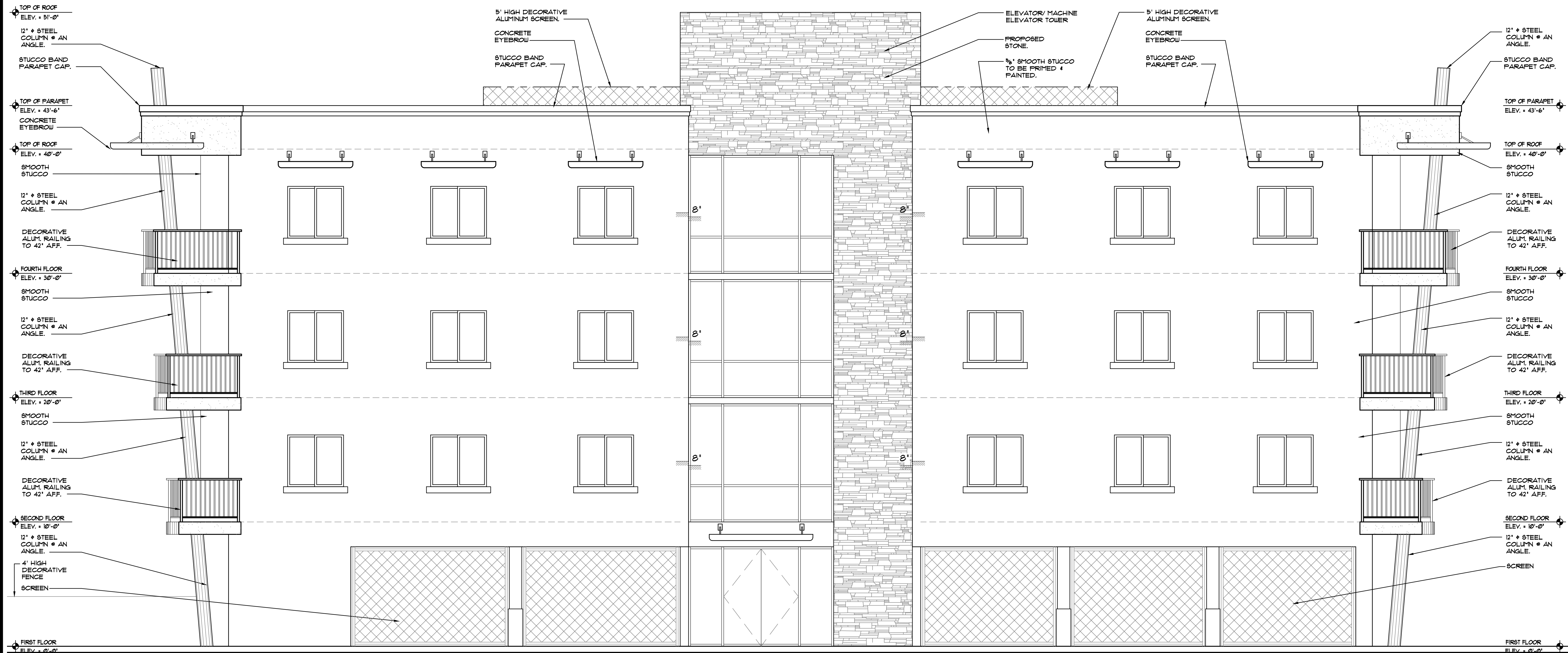
PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

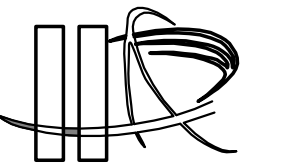
DRAWN	C.C.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A-2.1

OF SHEETS



1 EAST ELEVATION
SCALE: 1/4"=1'-0"



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

PROPOSED 15-UNIT MULTI-FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

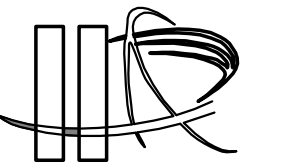
SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A-2.2

OF SHEETS





LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM
Luis La Rosa-Registered Architect
AR#-0017852
AA#-26003693

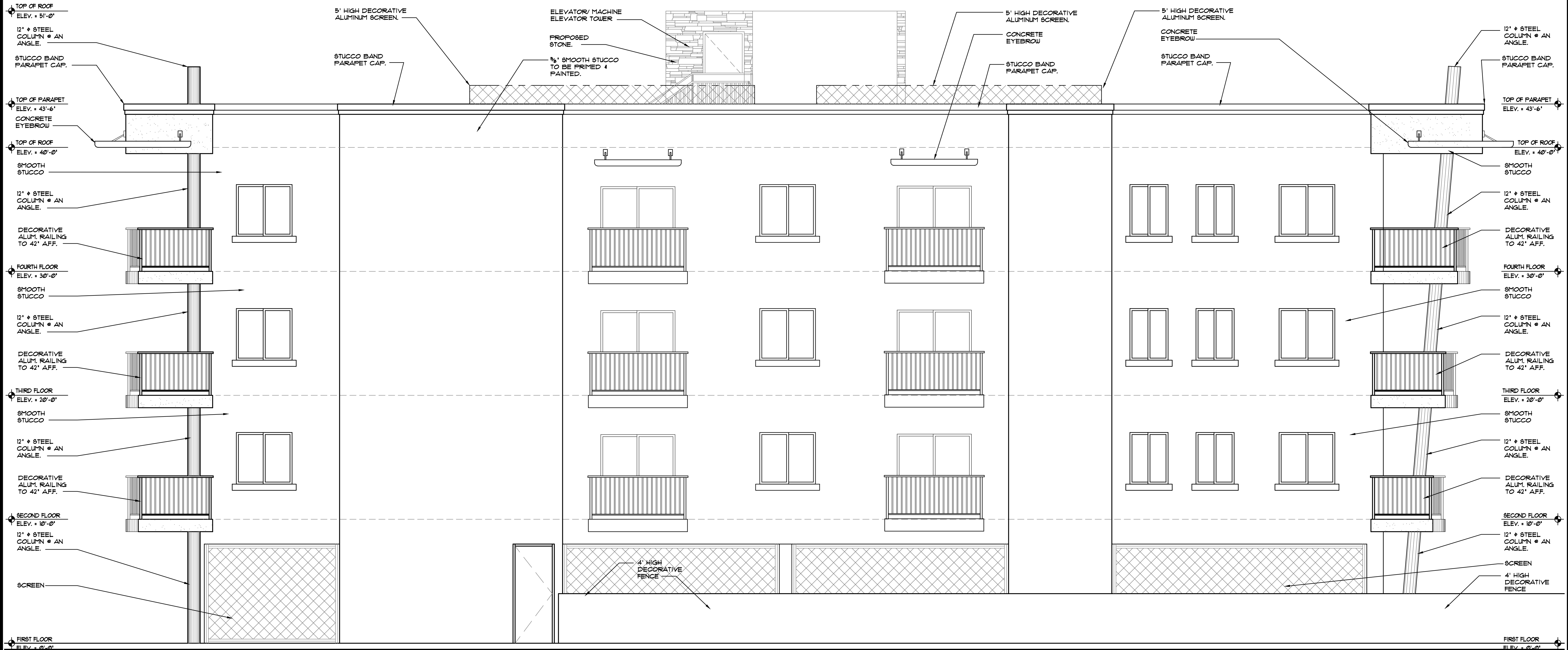
REVISION:	BY:

PROPOSED 15-UNIT MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

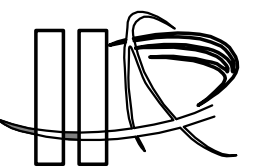
SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A-2.3
OF SHEETS



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIAMI, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL.) - 786-543-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis La Rosa-Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:

PROPOSED 15 UNITS MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENTS CORP.
1700 MAYO STREET
HOLLYWOOD, FL

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	05/30/18
SCALE	AS NOTED
JOB. NO.	018-018
SHEET	

A-2.4

OF SHEETS

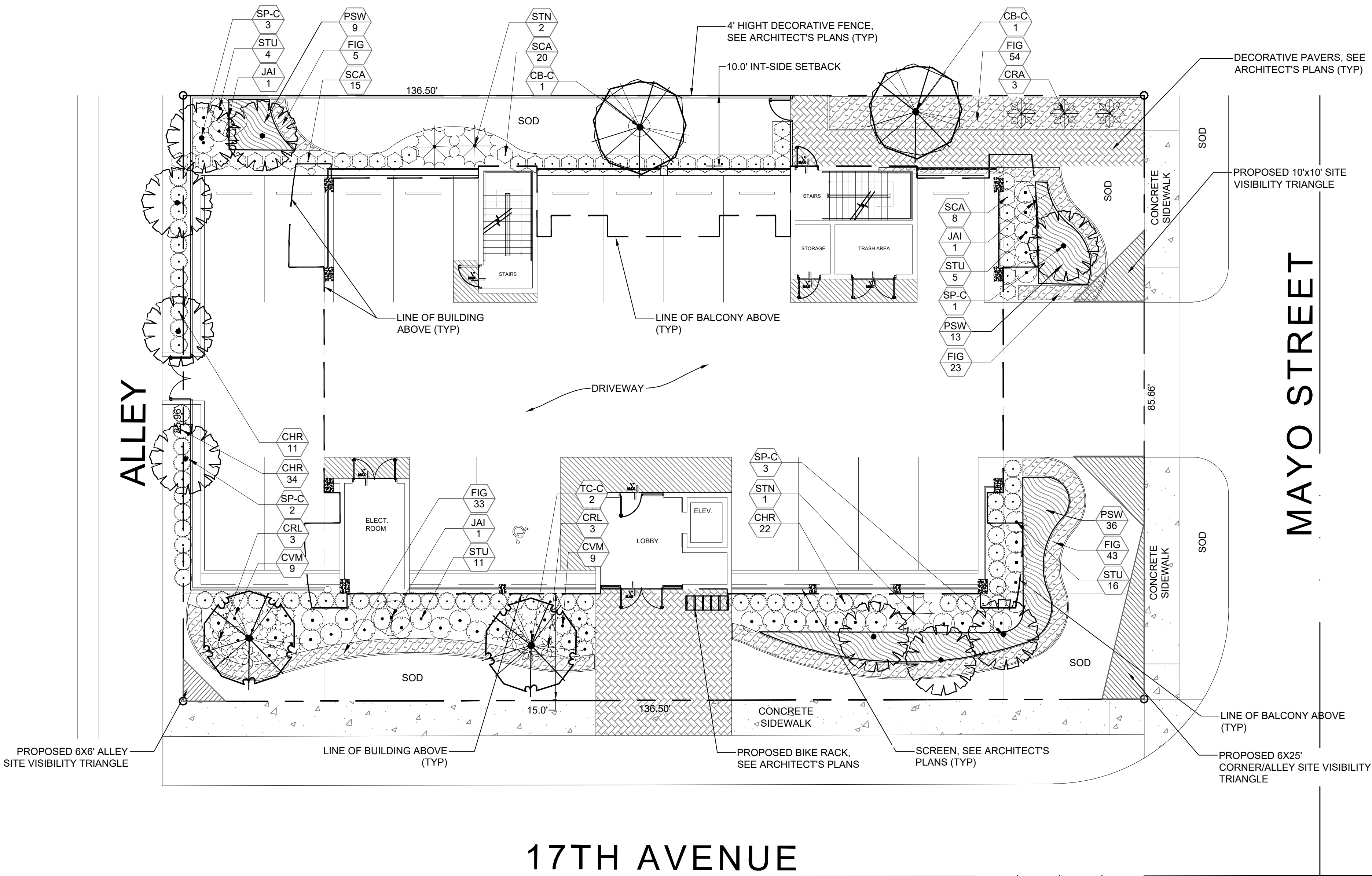


Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve site line visibility.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.



Landscape Data:

RAC Zoning - Federal Highway Low-Medium Intensity Multi-Family District (FH-1)	Required	Provided
Perimeter Landscape One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	7 Trees (342.72'/50)	7 Trees (Beauty Leaf, Tabebuia, Sabal)
Minimum Open Space All pervious areas must be landscaped with grass, ground cover, and/or shrubbery. Minimum of one tree per 1,000 sq. ft. of pervious area.	4 Trees Min. Site Req. (3,798 SF/1,000)	7 Trees (Provided in Perimeter)
Minimum Tree Sizes Shade trees:2" DBH/ 12' height. Palm trees: 8' of GW or CT.		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	4 Trees	4 Trees

Plant Schedule:

CODE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CB-C	2	Calophyllum brasiliense	Beauty Leaf	FG, 12' HT, 2" DBH MIN, STD, SP
SP-C	9	Sabal palmetto	Sabal Palm	FG, 12'-18' CT, HVY C, CV TRK, SP
TC-C	2	Tabebuia caraiba	Silver Trumpet	FG, 12' HT, 2" DBH MIN, STD, SP
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CHR	67	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC
CVM	18	Codiaeum variegatum 'Mammey'	Mammey Croton	3G, 24" OA, F,
CRL	6	Crinum	Green Crinum Lily	7G, 30" OA, SP
CRA	3	Crinum augustum 'Queen Emma'	'Queen Emma' Crinum	7G, 30" OA, SP
JAI	3	Jatropha integerrima 'Compacta'	Jatropha	15G, 5' HT x 3' SPR, STD, SP
SCA	43	Schefflera arboricola	Green Schefflera	3G, 24" HT x 18" SPR, F, 30" OC
STU	36	Stachytarpheta urticifolia	Blue Porterweed	3G, 24" OA, F,
STN	3	Strelitzia nicolai	White Bird of Paradise	15G, 5'-6' HT, 5PP, F, SP
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PSW	58	Pennisetum setaceum 'White'	White Fountain Grass	3G, 24" OA, F
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
FIG	158	Ficus microcarpa 'Green Island'	Green Island Ficus	3G, 12" HT x 15" SPR, F,

SPACING
30" o.c.

SPACING
24" o.c.

Project Team

Landscape Designer:

BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357

Architect:

LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027
(OFF.) - 305-403-7926
(CELL) - 786-543-0851
E-MAIL: LLR.DESIGNS@ARNDARCHITECTS.COM

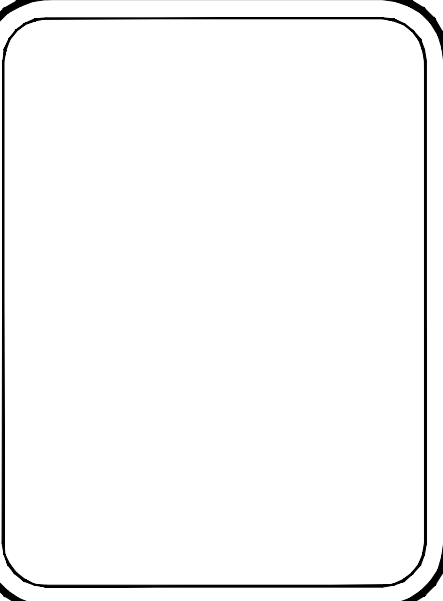
PROPOSED MULTI FAMILY DEVELOPMENT FOR:

XLT INVESTMENTS CORP.

1700 Mayo Street, Hollywood, FL 33020

Landscape Plan

Revisions		
Date	Init.	Description
02.04.19	BW	Initial Submittal
10.15.19	BW	Revised per Site Plan



Drawn By: BW

Checked By: BW

Municipal Project:

Scale:

SCALE: 1" = 10'

1 of 2



LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

1.01 SCOPE:

- A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

1.02 AGENCY STANDARDS:

- A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION:

- A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

1.04 ERRORS AND OMISSIONS:

- A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
- B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full instruction will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.
- C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

1.05 EXECUTION OF THE WORK:

- A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.
- B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.
- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

1.06 PROTECTION OF PUBLIC AND PROPERTY:

- A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

1.07 CHANGES AND EXTRAS:

- A. The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

1.08 GUARANTEE:

- A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.
- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

1.09 CARE AND MAINTENANCE:

- A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.
- B. The Owner agrees to execute the instructions for such care and maintenance.

1.10 SAFETY:

- A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

1.11 CONTRACTOR QUALIFICATION:

- A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
 2. A listing of not less than (3) completed projects of similar scope and nature.
 3. Permanent name and address of place of business.
 4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12 INSURANCE AND BONDING:

- A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

1.13 PERMITS AND CERTIFICATES:

- A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

2.01 PLANT MATERIALS:

- A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
- B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.
- C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.
- D. All plant materials shall be nursery grown, unless otherwise noted. Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.
- E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
- F. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

2.02 INSPECTION

- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

2.03 PROTECTION OF PLANT MATERIALS:

- A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
- B. Plants with broken, damaged or insufficient rootballs will be rejected.
- C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.
- D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

2.04 STORAGE:

- A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.
- B. No plant material shall be stored longer than seventy-two (72) hours unless approved by Landscape Architect and/or owner.
- C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.
- D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

2.05 PROTECTION DURING PLANTING:

- A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

2.06 PLANTING SOIL:

- A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants, or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

2.07 FERTILIZER:

- A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
- B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:
- | | |
|--------------------|-----------|
| 1 gallon container | 1 tablet |
| 3 gallon container | 2 tablets |
| 5 gallon container | 3 tablets |
| 7 gallon | 5 tablets |

Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material.

The Landscape Architect reserves the right to inspect and review the application of fertilizer.

2.08 MULCH:

- A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.
- B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

PART 3: EXECUTION

3.01 DIGGING:

- A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

3.02 GRADING:

- A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be provided by others.
- B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

3.03 PLANTING:

- A. Planting shall take place during favorable weather conditions.
- B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.
- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
- D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".
- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
- F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil):
1 Gallon material (1 gal.): 12" x 12" x 12" min.
3 Gallon material (3 gal.): 20" x 20" x 18" min.
Laric material (7 gal.): 30" x 30" x 24" min.
Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.
- G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.
- H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
- I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
- J. All flagging ribbon shall be removed from trees and shrubs before planting.
- K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
- L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a neat, clean manner.
- 3.04 PRUNING:
- A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
- B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.
- C. Trees shall not be poled or topped.
- D. Remove all trimmings from site.

3.05 GUYING:

- A. All trees over six (6) feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.
- D. Stake & Brace all trees larger than 12" oa. See detail.
Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
- E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.

3.06 WATER:

- A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
- B. See General Notes of Landscape Plan for water source.

3.07 SOD:

- A. The Landscape Contractor shall sod all areas indicated on the drawings.
- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris.
- C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.
- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
- F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.
- G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.
- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

3.08 SEEDING:

- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
- B. Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulls Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

3.09 CLEANING UP:

- A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

3.10 MAINTENANCE:

- A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.
- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lightning, or hurricane force winds, until final acceptance.
- D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.
- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.
- 3.11 COMPLETION, INSPECTION AND ACCEPTANCE:
- A. Completion of the work shall mean the full and exact completion and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
- C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER

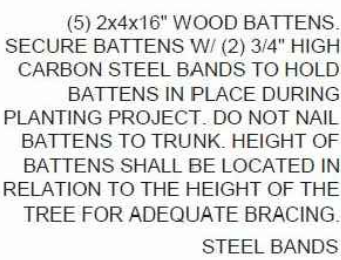
A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL.)

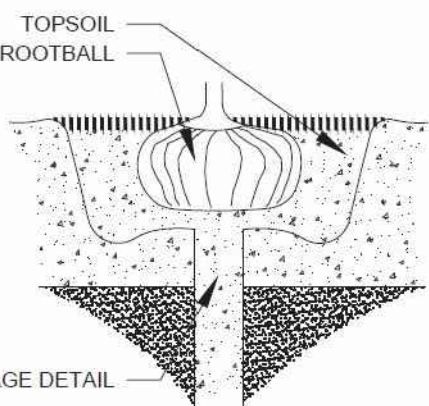
D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



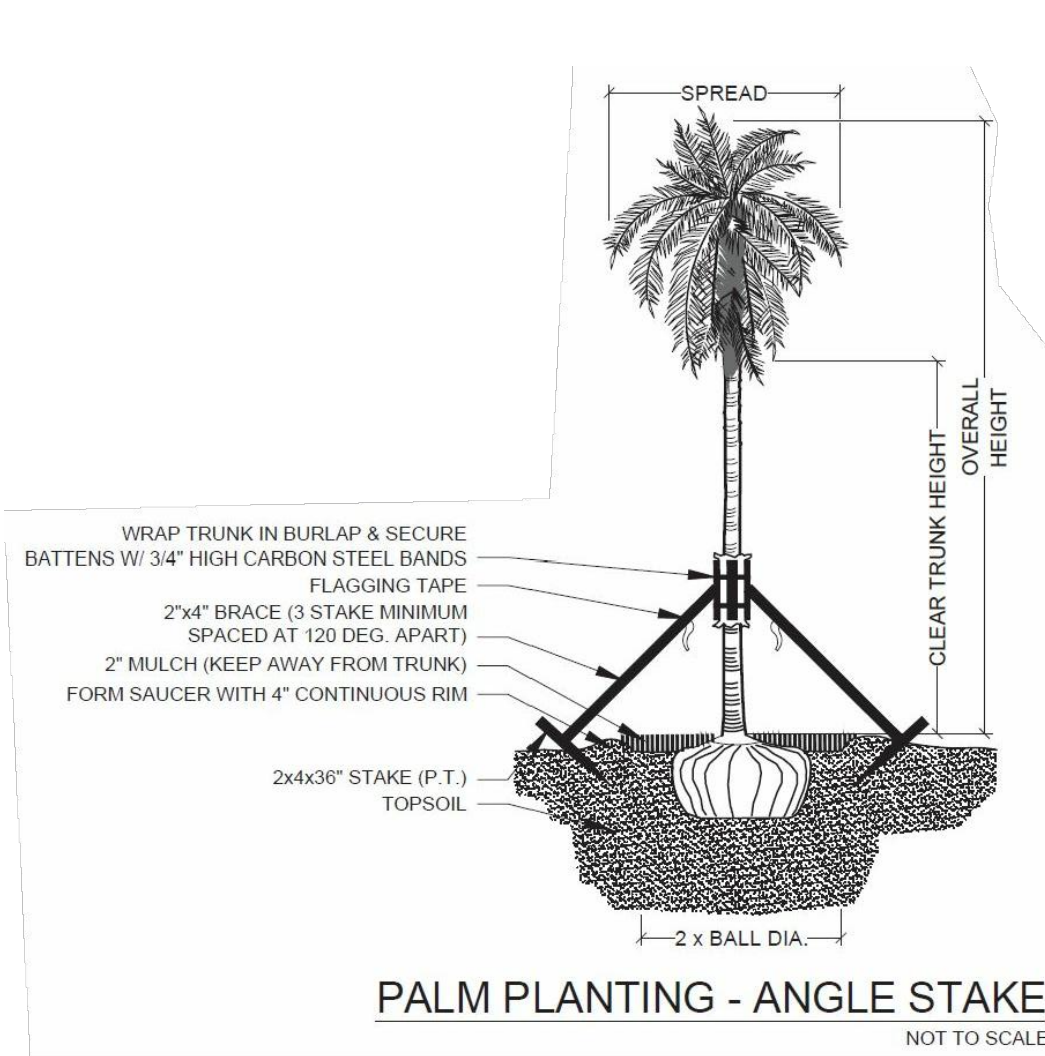
BRACING DETAIL
NOT TO SCALE

(5) 2x4x16" WOOD BATTENS.
SECURE BATTENS W/ (2) 3/4" HIGH
CARBON STEEL BANDS TO HOLD
BATTENS IN PLACE DURING
PLANTING PROJECT. DO NOT NAIL
BATTENS TO TRUNK. HEIGHT OF
BATTENS SHALL BE LOCATED IN
RELATION TO THE HEIGHT OF THE
TREE FOR ADEQUATE BRACING.

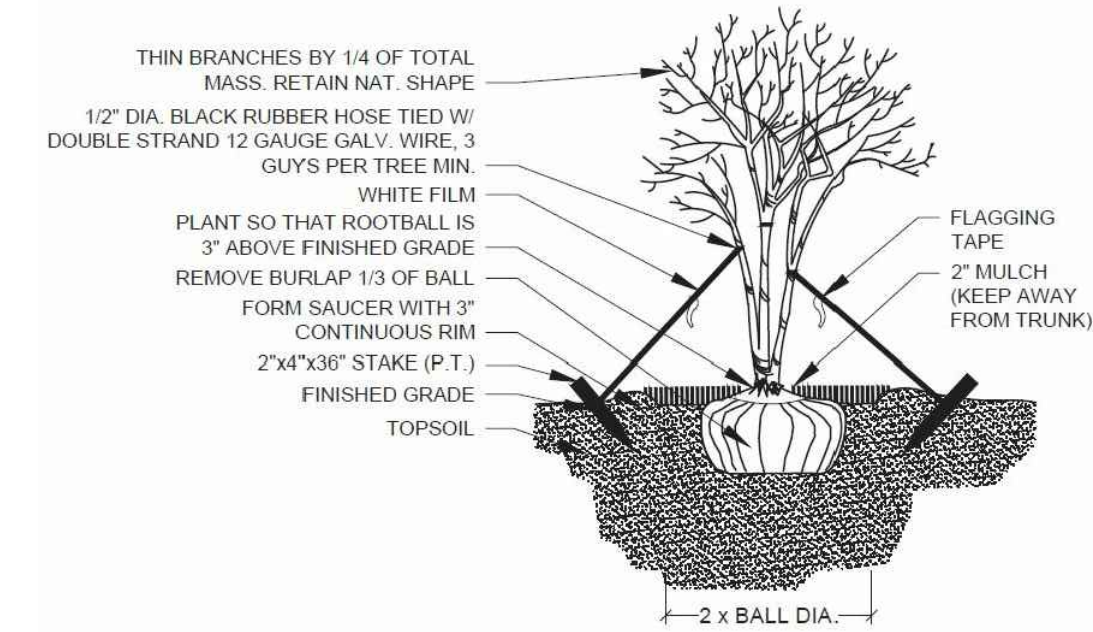


6" DIA. DRAINAGE DETAIL

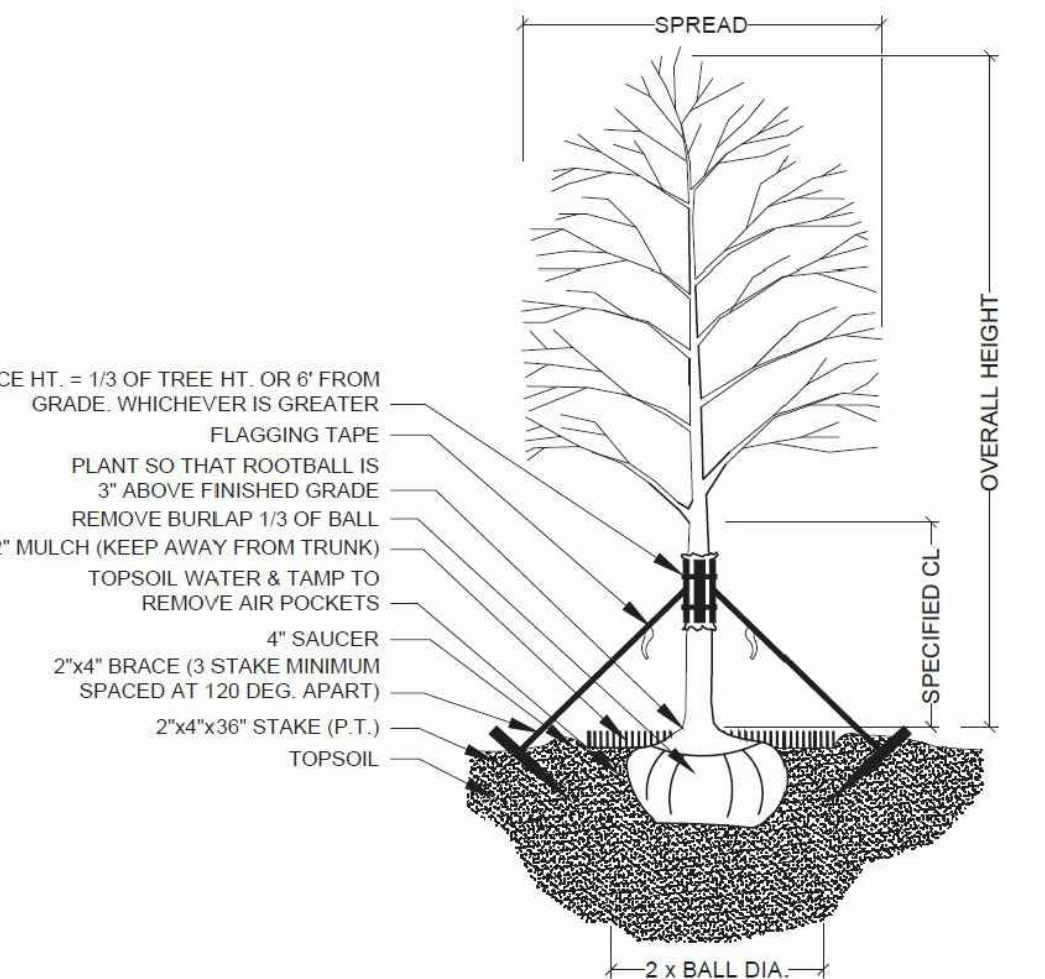
DRAINAGE TESTING DETAIL
NOT TO SCALE



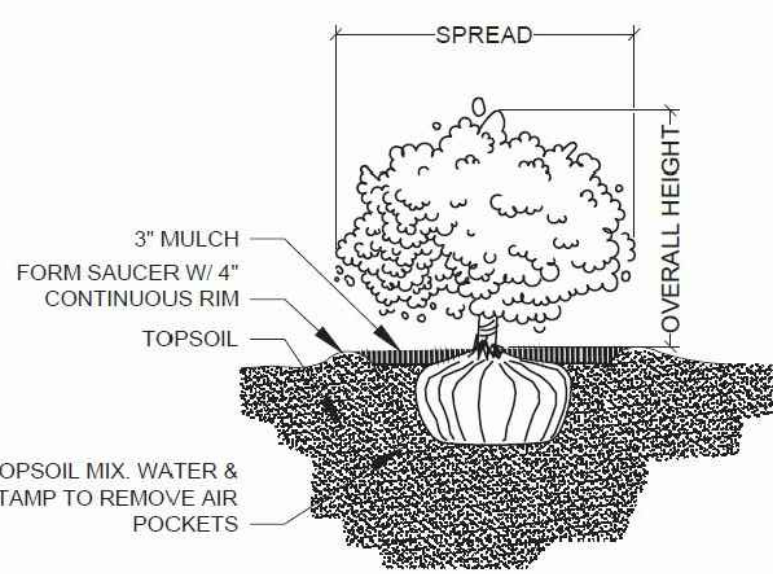
PALM PLANTING - ANGLE STAKE
NOT TO SCALE



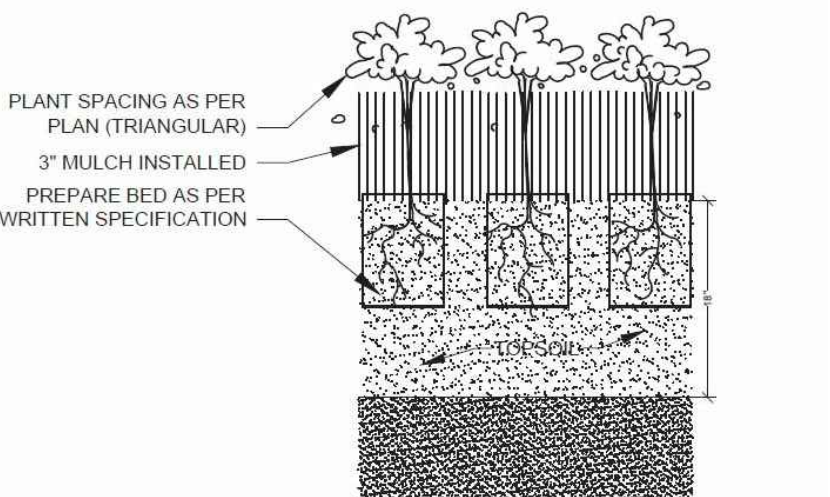
MULTI-TRUNK PLANTING & GUYING
NOT TO SCALE



TREE PLANTING & STAKING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

Project Team

Landscape Designer:

BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1357

Architect:

LLR Architects, Inc.
ARCHITECTURE & PLANNING
15980 S.W. 82 STREET
MIRAMAR, FLORIDA 33027

(OFF.) - 305-403-7926
CELL: 786-543-0851
E-MAIL: LLR@LLR-ARCHITECTS.COM

PROPOSED MULTI FAMILY DEVELOPMENT FOR:

XLT INVESTMENTS CORP.

1700 Mayo Street, Hollywood, FL 33020

Landscape Details & Specifications

Revisions

Date	Init.	Description
02.04.19	BW	Initial Submittal
10.15.19	BW	Revised per Site Plan

Drawn By:

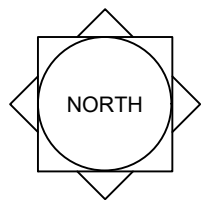
BW

Checked By:

BW

Municipal Project:

Scale:



SCALE: 1" = N.T.S.

