

**ATTACHMENT A**  
**Application Package**

# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



## APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☒ Planning and Development Board

Date of Application: June 12, 2019

Location Address: 1859 Van Buren Street, Hollywood Florida 33020

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Folio Number(s): 514215017570

Zoning Classification: YC Land Use Classification: RAC

Existing Property Use: HOSPITAL Sq Ft/Number of Units: 67,623 SF

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: VARIANCE FOR FENCE HEIGHT ON PROPERTY LINE IN ALLEY

Number of units/rooms: NA Sq Ft: NA

Value of Improvement: 90,000 Estimated Date of Completion: 1-15-2020

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Ventas Realty, Limited Partnership

Address of Property Owner: 500 N. HURSTBOURNE PKWY, STE 200 LOUISVILLE KY 40222

Telephone: 877-483-6827 Fax: \_\_\_\_\_ Email Address: TREVOR.DERING@VENTASREIT.COM

Name of Consultant/Representative/Tenant (circle one): MICHAEL PLUTA

Address: 2919 WHITE PLAINS ROAD LOUISVILLE, KY 40218 Telephone: 502-499-7477

Fax: \_\_\_\_\_ Email Address: MIKE@MRPARCHITECT.COM

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



# PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 6-27-19

PRINT NAME: \_\_\_\_\_

Ventas Realty, Limited Partnership  
By: Ventas, Inc, its general partner  
By: Douglas A. Johnson, Authorized Signatory

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

KINDRED HOSPITALS, EAST, L.L.C.

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: 7-1-19

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Signature of Current Owner

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Print Name

State of Florida

My Commission Expires: \_\_\_\_\_ (Check One) ☐ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



Michael Ray Pluta  
Architect, AIA  
[502]499.7477  
2919 White Plains Road  
Louisville, Kentucky 40218  
[mike@mrparchitect.com](mailto:mike@mrparchitect.com)  
[www.mrparchitect.com](http://www.mrparchitect.com)

June 27, 2019  
Revised August 22, 2019  
Revised August 27, 2019

City of Hollywood Planning & Development Board  
2600 Hollywood Blvd.  
Hollywood. Florida 33022

RE: Facility Name: Kindred Hospital-South Florida Hollywood  
1859 Van Buren St, Hollywood FL 33022

Project Name: Bulk Oxygen Tank & Enclosure Alteration

Dear Members of the Planning and Development Board;

I am writing to seek a fence variance for a portion of a concrete masonry fence that is on the rear property line along the Alley at the referenced property. The fence is part of an existing and proposed fence enclosure for the facilities bulk oxygen storage tanks. The current CMU fence is at 5' high and we are seeking a variance to build a fence to a height of 13'-4".

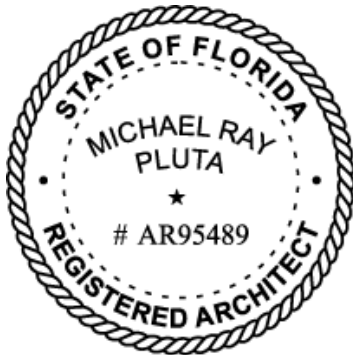
Currently the facility utilizes bulk oxygen for the 120 ventilator dependant patients. Two tanks are enclosed for security and fire separation from the hospital. One tank is a large main tank and the other is the reserve tank. The bulk oxygen supplier has determined that the reserve tank is under sized for the current patient usage and based on NFPA 99 is in non-compliance with the code.

To resolve the code deviation we are proposing upgrading the reserve and main tank along with the associated support equipment. The enclosure must meet NFPA 55 that mandates the solid CMU enclosure as indicated on the supporting documents. Further, The Agency For Healthcare Administration (AHCA) requires that the reserve tank must be protected from hurricane wind born damage thus the vertical 13'-4" height of the concrete masonry wall.

In conclusion, I hope you agree that our solution to resolving this critical patient care issue also provides an aesthetically proper addition if not an enhancement to the neighborhood. Should you have any questions, please do not hesitate to contact me a 502-499-7477. Thank you for your thoughtful consideration of this request.

Best Regards:

Michael Ray Pluta, Architect



A handwritten signature in black ink that reads "Michael Ray Pluta". The signature is fluid and cursive, with a long horizontal stroke at the end.

AR 95489 Michael Ray Pluta

cc: Anthony Dickamore (Kindred Healthcare Inc.), Kevin Sheehan (Kindred Healthcare), Shaminda Hubert (BCCLT), Michelle Weston (Engel Construction), David Wagner (Kindred Hospital Hollywood CEO). Steven Archer (JLL)



Kindred Hospital South Florida-Hollywood

1859 Van Buren Street

Hollywood, Florida 33020

A BULK OXYGEN TANK & ENCLOSURE ALTERATION

Property Owner:  
VENTAS REALTY, INC.  
10350 Ormsby Park Place Ste. 300  
Louisville, KY 40223  
Phone, 502-357-9000  
Contact: Rachel Klintstiver

Hospital Owner:  
KINDRED HEALTHCARE INC.  
680 S. 4TH Street  
Louisville, KY 40202  
Phone, 502-596-7300  
Contact: Anthony Dickamore

Architect:  
MICHAEL RAY PLUTA, ARCHITECT  
2919 White Plains Road  
Louisville, KY 40218  
Phone, 502-499-7477  
Contact: Michael Pluta

GENERAL DEMOLITION NOTES:

1.

BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO ARCHITECT BEFORE DOING WORK RELATED TO THAT BEING INSPECTED.
2.

BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, CASEWORK, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
3.

THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK IS ALSO A PART OF THIS CONTRACT. INSPECT THOSE AREAS, AND ASCERTAIN WORK NEEDED, AND DO THAT WORK IN ACCORD WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
4.

TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBERS SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED. IN EACH CASE ADD, BY INFERENCE, AFTER TRADE, PRODUCT, OR MANUFACTURER'S NAME, THE PHRASE "OR APPROVED EQUAL".
5.

TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBERS, AND INDICATIONS OF PRODUCT TYPES, SUCH AS "GLASS FIBER INSULATION", SHOWN ON THE DRAWINGS FOR EXISTING PRODUCTS ARE BELIEVED TO BE ACCURATE. IF THEY ARE DISCOVERED TO BE INACCURATE, NOTIFY ARCHITECT IMMEDIATELY AND DO NOT PROCEED WITHOUT INSTRUCTION
6.

DETERMINE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER, WINDOW JAMB OR MULLION, OR OTHER SIMILAR FIXED ITEM
7.

DIMENSIONS TO EXISTING SURFACES ARE TO FINISHED FACE. DIMENSIONS TO NEW MASONRY IS TO ROUGH FACE OF UNITS. MASONRY DIMENSIONS ARE NOMINAL. DIMENSIONS TO NEW METAL STUD PARTITIONS ARE TO FINISHED FACE.
8.

DO NOT DRILL OR CUT EXISTING FLOOR JOISTS, BEAMS, COLUMNS, OR OTHER STRUCTURAL ELEMENTS, UNLESS SPECIFICALLY INDICATED. DRILL SLABS WHERE APPROVED. CORE DRILL CIRCULAR OPENINGS THROUGH SLABS. LINE DRILL FOR RECTANGULAR OPENINGS. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.
9.

PREPARE, SUBMIT, AND RECEIVE APPROVAL OF SLEEVE AND OPENING DRAWINGS BEFORE LOCATING SLEEVES AND OPENINGS IN NEW CONSTRUCTION AND BEFORE DRILLING EXISTING STRUCTURE. SHOW EACH OPENING AND SLEEVE IN THE ENTIRE PROJECT.
10.

PROTECT EXISTING WORK TO REMAIN FROM DAMAGE.
11.

REPAIR, PATCH, AND FINISH, OR REFINISH AS APPLICABLE, TO MATCH ADJACENT EXISTING FINISHES, THOSE EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
12.

WHERE PERMANENT REMOVAL OF EXISTING MILLWORK, CASEWORK, CABINETWORK, ACCESSORIES, EQUIPMENT OF FURNISHINGS IS REQUIRED, AND PREVIOUSLY CONCEALED SURFACES ARE TO REMAIN EXPOSED, PATCH PREVIOUSLY CONCEALED SURFACES TO MATCH ADJACENT EXPOSED SURFACES. WHERE SUCH SURFACES ARE SCHEDULED TO RECEIVE NEW FINISHES, PREPARE THE SURFACES TO RECEIVE THE NEW FINISHES.
13.

WHERE CUTTING OF EXISTING SURFACES OR REMOVAL OF EXISTING FINISHES IS REQUIRED TO PERFORM THE WORK UNDER THIS CONTRACT, AND A NEW FINISH IS NOT INDICATED, FILL RESULTING OPENINGS AND PATCH THE SURFACE AFTER DOING THE WORK, AND FINISH TO MATCH ADJACENT EXISTING SURFACES.
14.

EXCEPT IN SPACES WHERE NO WORK UNDER THIS CONTRACT IS REQUIRED, ENCLOSE EXISTING AND NEW CONDUITS, DUCTS, PIPES, AND SIMILAR ITEMS IN FURRING WHERE SUCH ITEMS PASS THROUGH REFINISHED SPACES WHETHER OR NOT FURRING IS INDICATED.

15.

WHERE CONDUITS, DUCTS, PIPES, AND SIMILAR ITEMS ARE SHOWN TO BE INSTALLED IN EXISTING WALLS OR PARTITIONS, NEATLY CHASE THE WALLS OR PARTITIONS, INSTALL THE ITEMS, AND PATCH THE WALLS OR PARTITIONS TO MAKE THE INSTALLATION NOT DISCERNIBLE IN THE FINISHED WORK.
16.

SEAL TIGHT AND PROTECT WITH APPROVED UL PENETRATION ASSEMBLIES EXISTING AND NEW SLEEVES AND OPENINGS THROUGH FLOORS.
17.

ALL SUSPENDED PLASTER AND GUS CEILING WILL REMAIN IN PLACE THROUGH OUT BUILDING. INSTALL NEW CONDUITS AND PIPES IN EVERY CASE, AND NEW DUCTS WHERE POSSIBLE, ABOVE THE EXISTING CEILING. REMOVE EXISTING CEILING AS NECESSARY. AFTER INSTALLATION OF CONCEALED WORK, REINSTALL REMOVED CEILING AND PATCH AND REFINISH TO MATCH ADJACENT UNREMOVED CEILINGS.
18.

WITH-IN THE LIMITS OF THIS WORK SCOPE REMOVE ALL EXISTING FLOOR FINISH MATERIALS TO CONCRETE DECK AND PATCH TO RECEIVE SCHEDULED FINISHES. REMOVE ALL VINYL WALL BASE AND PATCH GYPSUM WALL BOARD ASSEMBLIES TO RECEIVE NEW BASE AS SCHEDULED.
19.

REMOVE ALL EXISTING WALL MOUNTED ACCESSORIES SUCH AS,

GENERAL CONSTRUCTION NOTES:

1.

ALL DIMENSIONS GIVEN ARE FROM FINISHED FACE TO FINISHED FACE OR FROM CENTERLINE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
2.

ALL DOORS TO BE LOCATED 4" FROM ADJACENT WALL OR COUNTER, OR CENTERED IN WALL UNLESS OTHERWISE NOTED.
3.

ALL NEW WALLS ARE TO BE CONSTRUCTED AS INDICATED BY WALL TYPES SHOWN ON SHEET A2.01
4.

DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
5.

ALL EXISTING DIMENSIONS ARE "OR -" AND ALL NEW DIMENSIONS GOVERNED BY EXISTING PARTITIONS ARE "+" OR "-" AND MUST BE VERIFIED AND ADJUSTED ACCORDINGLY BY THE CONTRACTOR.
6.

IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
7.

REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR NOTES OR DETAILS WHICH INVOLVE THE CUTTING AND PATCHING OF FLOORS, WALLS AND CEILINGS, TO PERMIT INSTALLATION OF NEW MECHANICAL OR ELECTRIC WORK.
8.

VERIFY LOCATION OF ALL EQUIPMENT AND VERIFY SIZES, WALL OPENINGS, AND SUPPORT REQUIREMENTS WITH MANUFACTURE. PROVIDE OPENINGS, BRACING AND REINFORCEMENT AS REQUIRED BY MANUFACTURER.
9.

ALL ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO RETAIN RATING.
10.

EXTEND SMOKE, FIRE AND RATED PARTITIONS TO DECK ABOVE, TYPICAL. SEE PARTITION TYPES ON SHEET L9.02
11.

FOR ALL RATED WALLS, NEW OR EXISTING, CONTRACTOR IS TO USE ONLY UL APPROVED ASSEMBLIES TO SEAL ALL PENETRATIONS

GRAPHIC SYMBOLS

MATERIAL DESIGNATIONS:

EARTH/  
COMPACT FILL

POROUS FILL/  
(GRAVEL OR STONE)

ROCK

CONCRETE AND MASONRY

EARTHWORKS

CONCRETE

STONE

CONCRETE  
BLOCK

COMMONFACE  
BRICK

WOOD

FINISH

ROUGH

BLOCKING

PLYWOOD

GLASS

GLASS  
BLOCK

INSULATION

BATT  
INSULATION

RIGID  
INSULATION

SPRAY/  
FOAM

ELEVATION INDICATIONS

CONCRETE,  
PLASTER

BRICK  
LARGE SCALE

BRICK  
SMALL SCALE

CERAMIC  
TILE

CEILING DESIGNATIONS:

2X4 OR 2X2  
ACoust. TILE

EXPOSED  
CONSTRUCTION

GYPSUM  
WALLBOARD

PLASTER  
OR EIFS.

ACCESS DOOR

RECESSED  
LIGHT FIXTURE

EXIT LIGHT

RECESSED 2 X 4  
FLORESCENT LIGHT FIXT

RECESSED 2 X 2  
FLORESCENT LIGHT FIXT

RECESSED OR SURFACE 1 X 4  
FLORESCENT LIGHT FIXT

SUPPLY  
DIFFUSER

EXHAUST OR RETURN  
AIR GRILLE

DRAWING CONVENTIONS

REVISION

—A— EXTERIOR WINDOW TYPE

—V1— INTERIOR WINDOW TYPE

COLUMN REFERENCE  
GRID

PARTITION TYPE

INDICATES WALL  
ON PLAN

ROOM NUMBER

DOOR MARK

KEY NOTE

EQUIP. NO.  
FURNISHED BY  
OWNER

TOILET  
ACCESSORY  
DESIGNATION

WALL  
PROTECTION  
(SEE SPEC)

ROOM/SPACE  
NUMBER

DOOR DESIGNATION: REFER TO DOOR SCHEDULE. THE MAIN DOOR WHICH SWINGS INTO A ROOM/SPACE IS GIVEN THE DOOR MARK LETTER "A". A SECONDARY DOOR SWINGING INTO THE SAME ROOM WOULD BE GIVEN THE LETTER "B" AND SO ON. AN EXTERIOR LEAVING THE ROOM/SPACE WOULD BE GIVEN THE LETTER "A" AS NOTED ABOVE. IN ALL CASES THE MARK AND ROOM NUMBER ARE LINKED ON THE DOOR SCHEDULE

INDICATES SECTION NO.

INDICATES DRAWING SHEET NO.  
ON WHICH SECTION IS SHOWN

INDICATES DETAIL NO.

INDICATES DRAWING SHEET NO.  
ON WHICH DETAIL IS SHOWN

INDICATES ELEVATION NO.

INDICATES DRAWING SHEET NO.  
ON WHICH ELEVATION IS SHOWN

INDEX OF SHEETS

- ARCHITECTURAL:
- X1.01

VICINITY MAP, INDEX OF SHEETS, GRAPHIC SYMBOLS, DEMOLITION AND GENERAL CONSTRUCTION NOTES
- A00.01

PHOTOS OF EXISTING SITE AND ADJACENT PROPERTIES
- A00.02

RENDERINGS OF PROPOSED 02 ENCLOSURE
- A1.01

EXISTING CONDITIONS AND DEMOLITION PLANS
- A1.02

ALTERATION PLANS AND ELEVATIONS

REFERENCE DRAWINGS: (DRAWINGS LISTED BELOW ARE NOT PREPARED BY ARCHITECT & ENGINEER NOTED ABOVE AND ARE INCLUDED FOR REFERENCE ONLY.)

- MAP OF BOUNDARY SURVEY - CARIBBEAN LAND SURVEYORS, INC.
- L9P-1 LIFE SAFETY & SITE PLANS



VICINITY MAP 1859 Van Buren Street, Hollywood, Florida 33020



Michael Ray Pluta  
Architect, AIA  
[502]499.7477  
2919 White Plains Road  
Louisville, Kentucky 40218  
mike@mrparchitect.com  
www.mrparchitect.com

Kindred Healthcare

South Florida-Hollywood

1859 Van Buren Street

Hollywood, Florida 33020

A BULK OXYGEN TANK & ENCLOSURE ALTERATION

| no: | revision: | date: | job: 180202                                    |
|-----|-----------|-------|--|
|     |           |       | date: JULY 12, 2018                            |
|     |           |       | drawn by: MRP                                  |
|     |           |       | KINDRED HOLLYWOOD                              |
|     |           |       | <b>X-1.01</b>                                  |
|     |           |       | INDEX OF SHEETS, GRAPHIC SYMBOLS, VICINITY MAP |
|     |           |       | ISSUED: VARIANCE SUBMITTAL                     |



#4876

# MAP of BOUNDARY SURVEY

## LEGAL DESCRIPTION

**PARCEL I:**  
LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9 AND 10, BLOCK 39 OF "TOWN OF HOLLYWOOD" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL II:**  
LOTS 27, 28 AND 29, BLOCK 39 OF "HOLLYWOOD" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL III:**  
LOT 30, BLOCK 39 OF "HOLLYWOOD" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**PARCEL IV:**  
LOTS 16, 17, 18, 19, 20 AND 21, BLOCK 28 OF "HOLLYWOOD ORIGINAL TOWN" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 21 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

## SURVEYOR'S CERTIFICATE

THE DESCRIPTION CONTAINED HEREON DESCRIBES ALL PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER FA-C-1758 DATED MARCH 27, 1998.

TO: VENCOR, INC., ITS SUCCESSORS AND ASSIGNS AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THE UNDERSIGNED, REGISTERED PROFESSIONAL SURVEYOR (P.S.), HEREBY CERTIFIES THAT THE SURVEY WAS MADE IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA SURVEYING ACT, CHAPTER 461, F.S., AND THAT THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSION.

THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSION.

THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT, AND THE SURVEY ON WHICH IT IS BASED, WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSION.


THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSION.

THE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY WAS MADE IN ACCORDANCE WITH THE STANDARDS OF THE PROFESSION.

MATTHEW E. VENCOR  
PROFESSIONAL SURVEYOR AND MAPPER  
STATE OF FLORIDA  
DATE: 05-07-98  
REGISTRATION NO. 3108

|           |           |
|-----------|-----------|
| Date      | 5-8-98    |
| Dwn. By   | R.R.      |
| Aprvd. By | H. V      |
| Dwg.      | 9805-143  |
| Scale     | 1"=20'    |
| Date      | Revisions |

## ALTA/ACSM LAND TITLE SURVEY



**International**

621 24th Avenue S.W.  
Norman, Oklahoma 73069  
(405) 384-9352

Project Location  
**HOLLYWOOD, FL.**

Project Address  
**1859 VAN BUREN STREET**

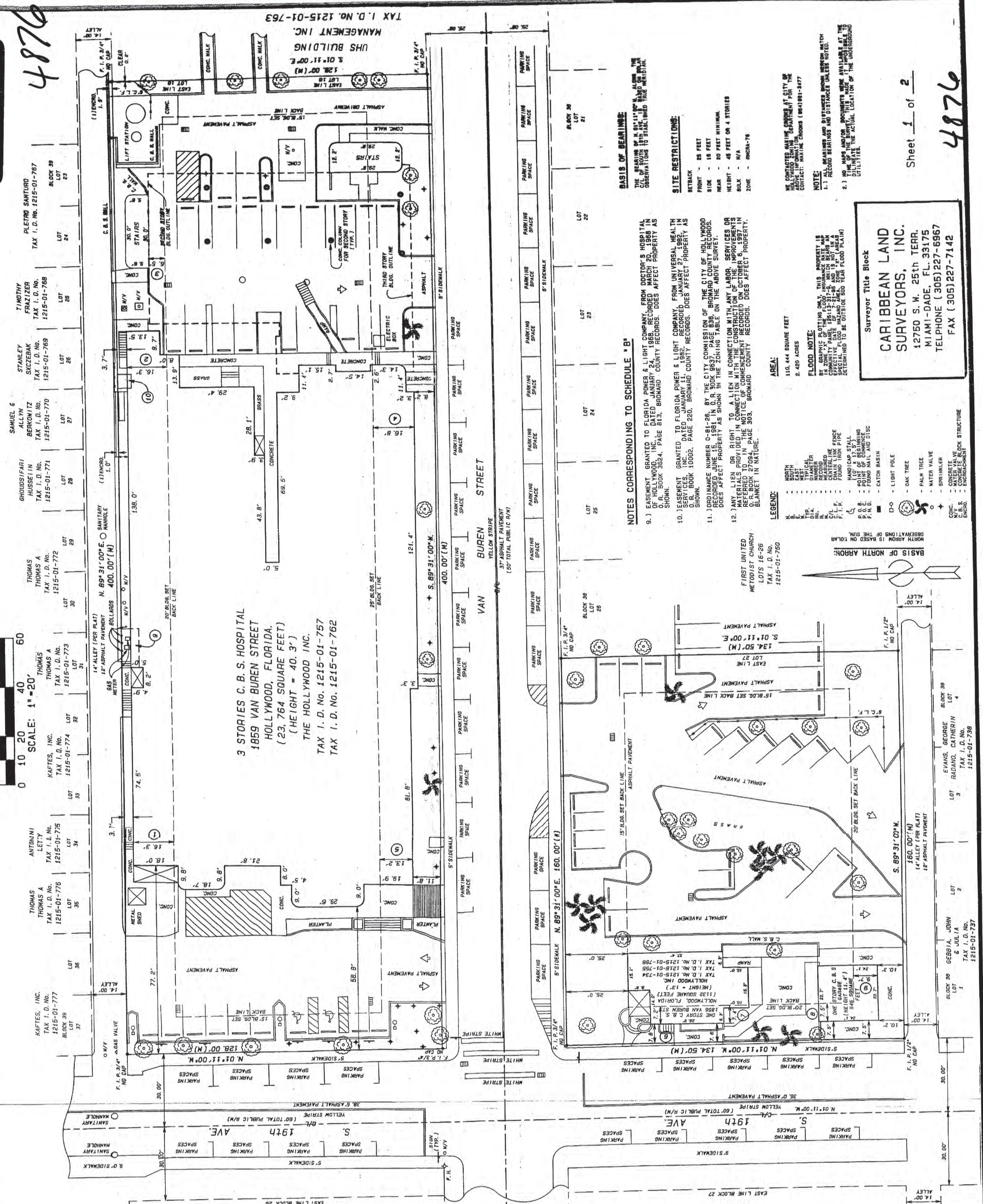
Project Name  
**VENCOR DENALI 3 PROJECT**

Prepared For:  
**VENCOR, INC.**

Job Order Number  
**98-04-44-002**

CHECKED JUN 05 1998

1859 VAN BUREN STREET  
HOLLYWOOD, FLORIDA  
GRAPHIC SCALE:  
0 10 20 30 40 50 60  
SCALE: 1"=20'



**Surveyor Title Block**  
**CARIBBEAN LAND SURVEYORS, INC.**  
12750 S.W. 25th TERR.  
MIAMI-DADE, FL 33175  
TELEPHONE (305) 227-6967  
FAX (305) 227-7142

4876





05 ELEVATION: AT VAN BUREN LOOKING EAST  
NO SCALE



16 ELEVATION: AT ALLEY LOOKING WEST  
NO SCALE



09 ELEVATION: AT VAN BUREN LOOKING WEST  
NO SCALE



19 SITE: 1859 VAN BUREN STREET, 33020  
NO SCALE

02 ENCLOSURE

02 ENCLOSURE

02 ENCLOSURE



Michael Ray Piuta  
Architect, AIA  
[502]499.7477  
2919 White Plains Road  
Louisville, Kentucky 40218  
mike@mrparchitect.com  
www.mrparchitect.com

Kindred Healthcare South Florida-Hollywood  
1859 Van Buren Street Hollywood, Florida 33020  
A BULK OXYGEN TANK & ENCLOSURE ALTERATION

|     |                           |          |  |
|-----|---------------------------|----------|--|
| no: | revision:                 | date:    | job: 18002   |
| 3   | ADD P4Z REQUESTED CHANGES | 06-21-19 | date: JULY 12, 2019<br>drawn by: MRP                                 |
|     |                           |          | KINDRED HOLLYWOOD  |
|     |                           |          | <b>A0.01</b>   |
|     |                           |          | PHOTOS OF SITE AND ADJACENT PROPERTIES<br>ISSUED: VARIANCE SUBMITTAL |

FEBRUARY 12, 2019

Copyright 2018 MRP Architect





**09 ELEVATION: PROPOSED O2 TANK ENCLOSURE. VIEW FROM ALLEY LOOKING WEST**  
NO SCALE



**19 ELEVATION: PROPOSED O2 TANK ENCLOSURE. VIEW FROM VAN BUREN STREET**  
NO SCALE

FEBRUARY 12, 2018

Copyright 2018 MRP Architect



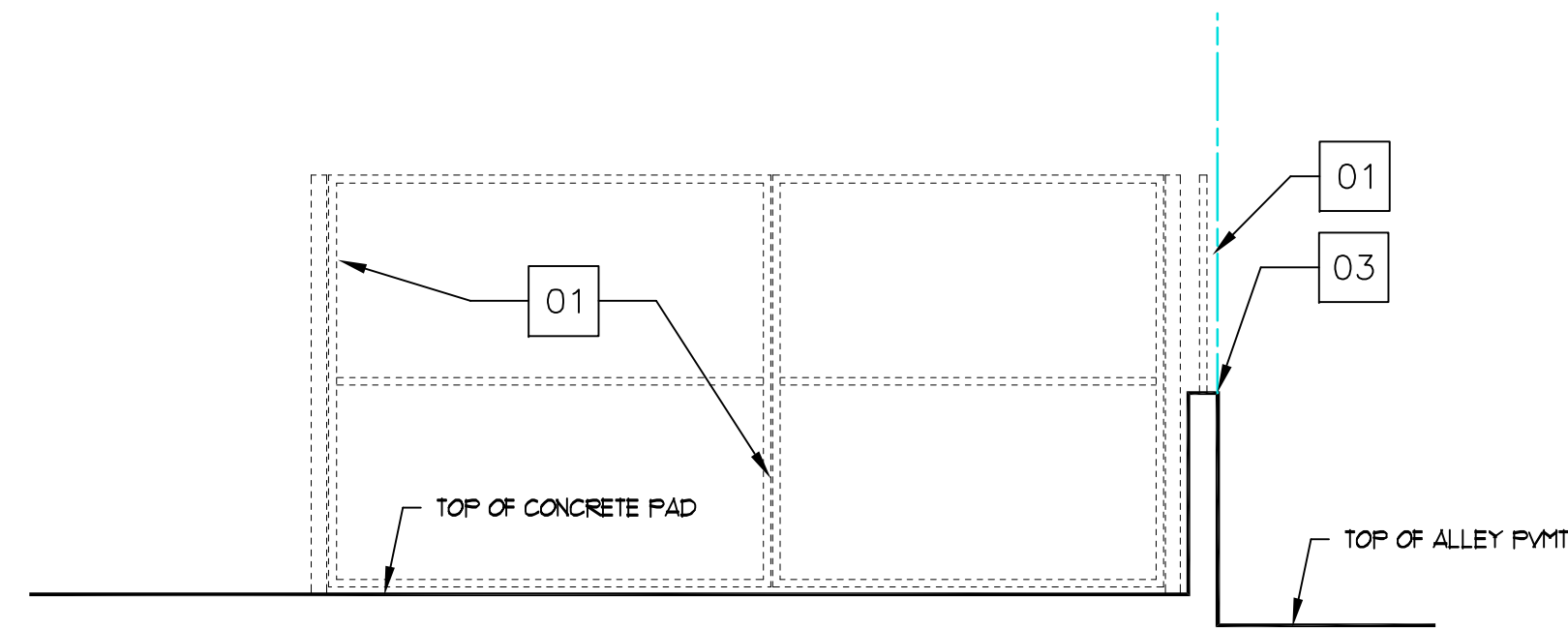
Michael Ray Piuta  
Architect, AIA  
[502]499.7477  
2919 White Plains Road  
Louisville, Kentucky 40218  
mike@mrparchitect.com  
www.mrparchitect.com

Kindred Healthcare South Florida-Hollywood  
1859 Van Buren Street Hollywood, Florida 33020  
A BULK OXYGEN TANK & ENCLOSURE ALTERATION

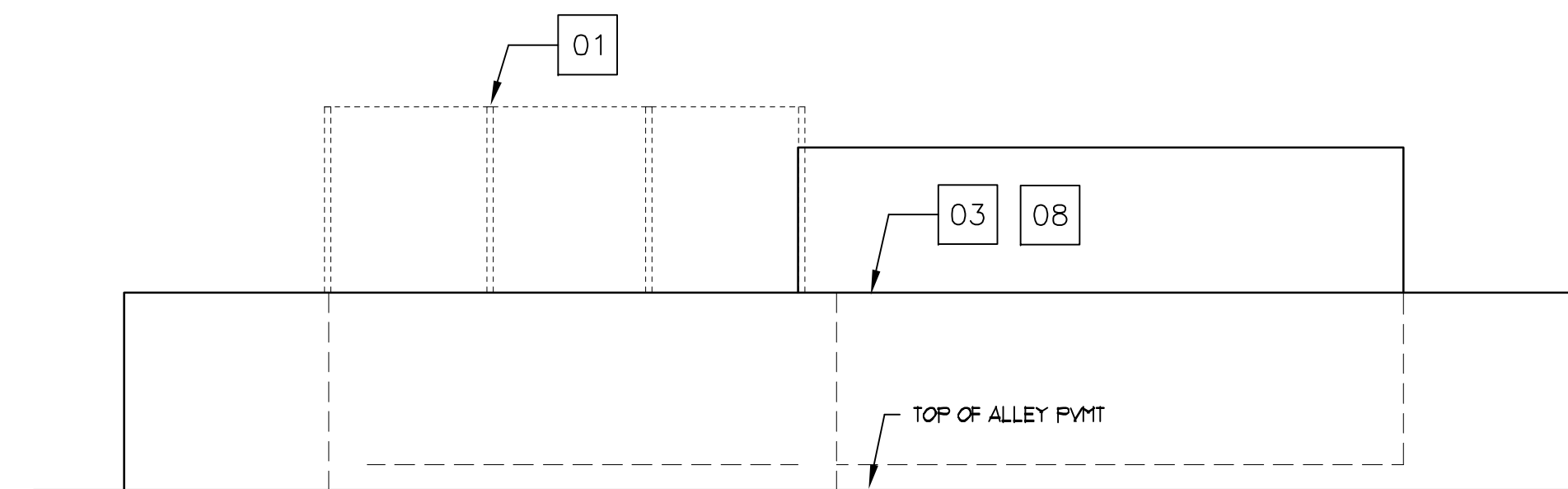
| no: | revision:                 | date:    | job:                                |
|-----|---------------------------|----------|-------------------------------------|
| 3   | ADD P4Z REQUESTED CHANGES | 06-21-18 | 18002                               |
|     |                           |          | date: JULY 12, 2018                 |
|     |                           |          | drawn by: MRP                       |
|     |                           |          | KINDRED HOLLYWOOD                   |
|     |                           |          | <b>A0.02</b>                        |
|     |                           |          | RENDERINGS OF PROPOSED O2 ENCLOSURE |
|     |                           |          | ISSUED: VARIANCE SUBMITTAL          |



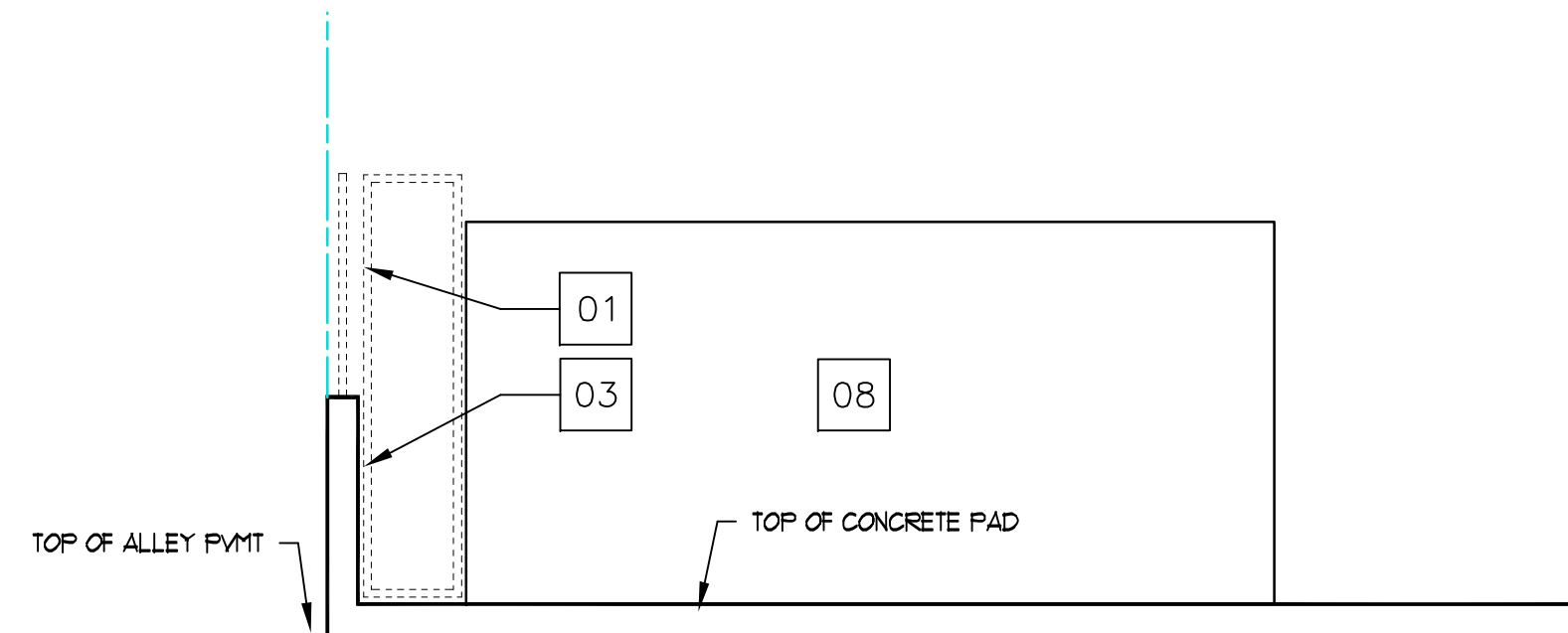
**01 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**05 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"

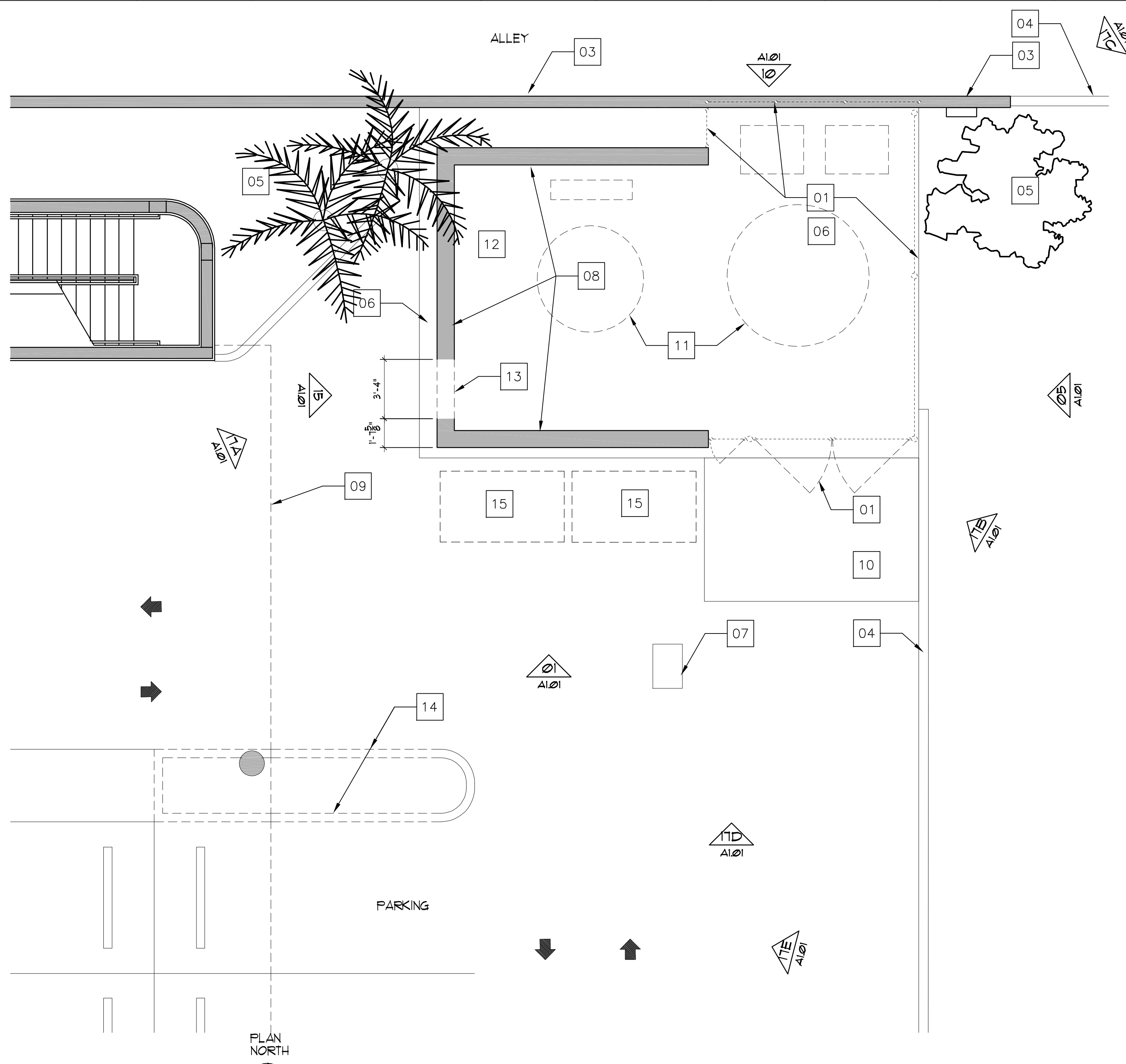


**10 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**15 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"

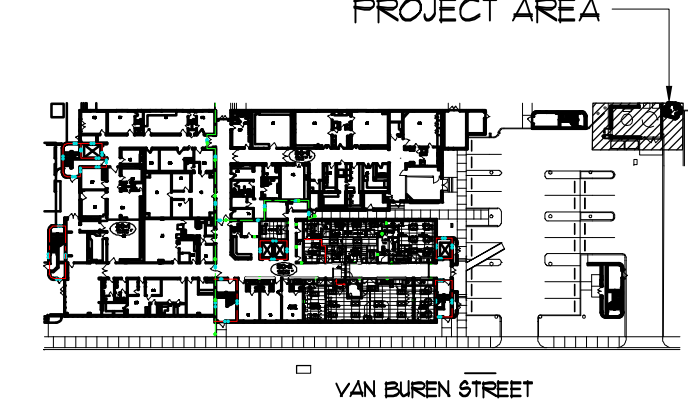
**11 PLAN: EXISTING & DEMOLITION NOTES**  
SCALE: 1/4" = 1'-0"



**DEMOLITION KEYNOTES:**

- 01 DEMOLISH CHAIN LINK FENCE AND POSTS, CUT POSTS AT CONCRETE OR CMU AND GRIND
- 02 OR CMU AND GRIND
- 03 EXISTING CMU FENCE
- 04 EXISTING CURB
- 05 EXISTING PLANTS
- 06 EXISTING CONCRETE SLAB
- 07 EXISTING CATCH BASIN
- 08 EXISTING CMU ENCLOSURE TO REMAIN
- 09 LINE OF EXISTING BUILDING OVERHANG ABOVE
- 10 EXISTING CONCRETE APRON TO REMAIN
- 11 OXYGEN EQUIPMENT SYSTEM INCLUDING MAIN AND RESERVE STORAGE TANKS REMOVED BY OTHERS
- 12 CYLINDER STORAGE RACKS TO REMAIN
- 13 DEMOLISH PORTION OF CMU WALL FOR NEW 3070 DOOR
- 14 DEMOLISH CONCRETE CURB AND LANDSCAPING
- 15 EXISTING DUMPSTER

**FIRST FLOOR KEY PLAN:**



**E** VIEW OF EXISTING PARKING



**A** LEFT SIDE VIEW



**B** FRONT VIEW ENLARGED



**C** ALLEY VIEW



**D** FRONT VIEW FROM VAN BUREN STREET

**17 SITE PHOTOS**  
NO SCALE

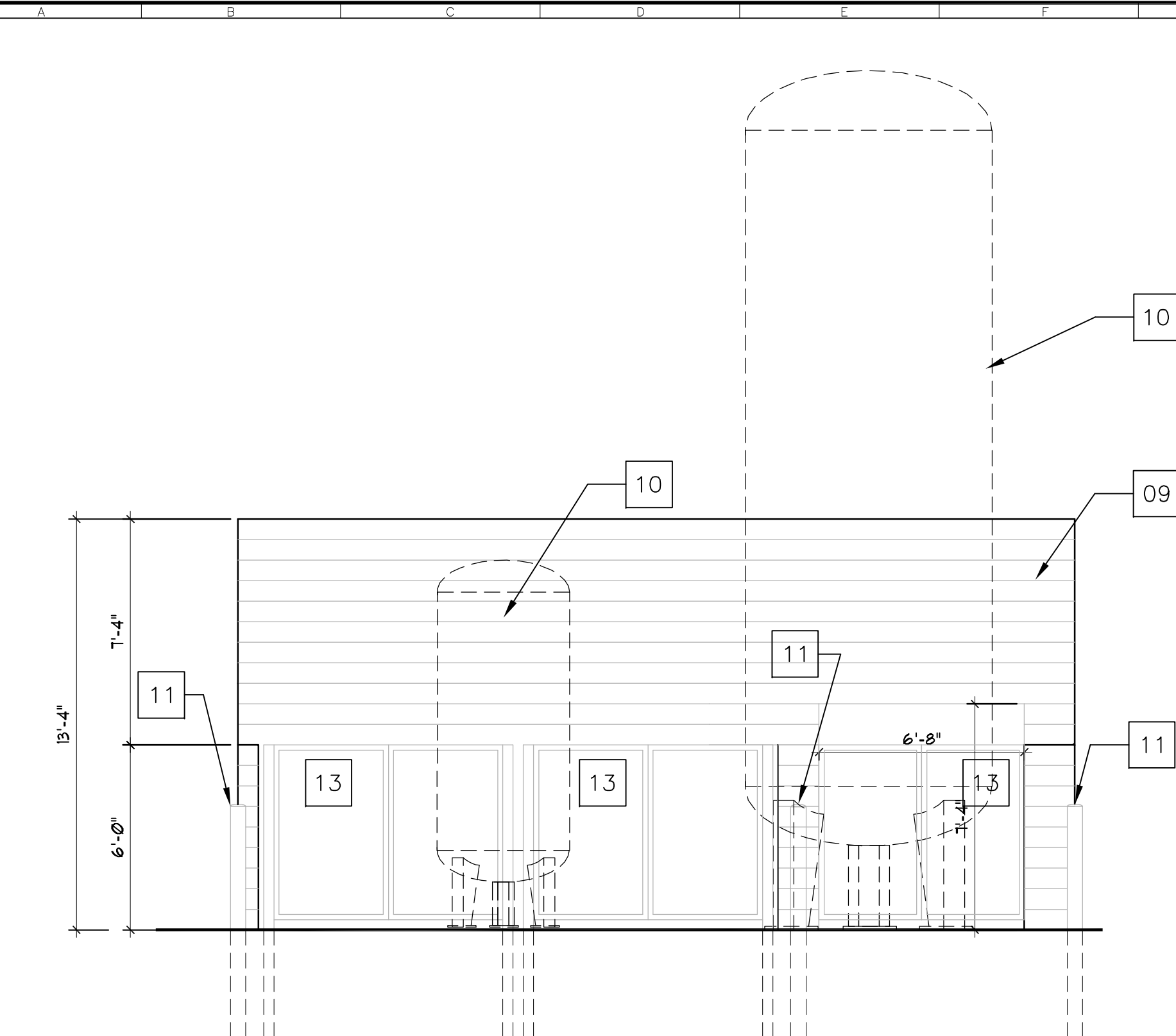


Michael Ray Piuta  
Architect, AIA  
[502]499.7477  
2919 White Plains Road  
Louisville, Kentucky 40218  
mike@mrparchitect.com  
www.mrparchitect.com

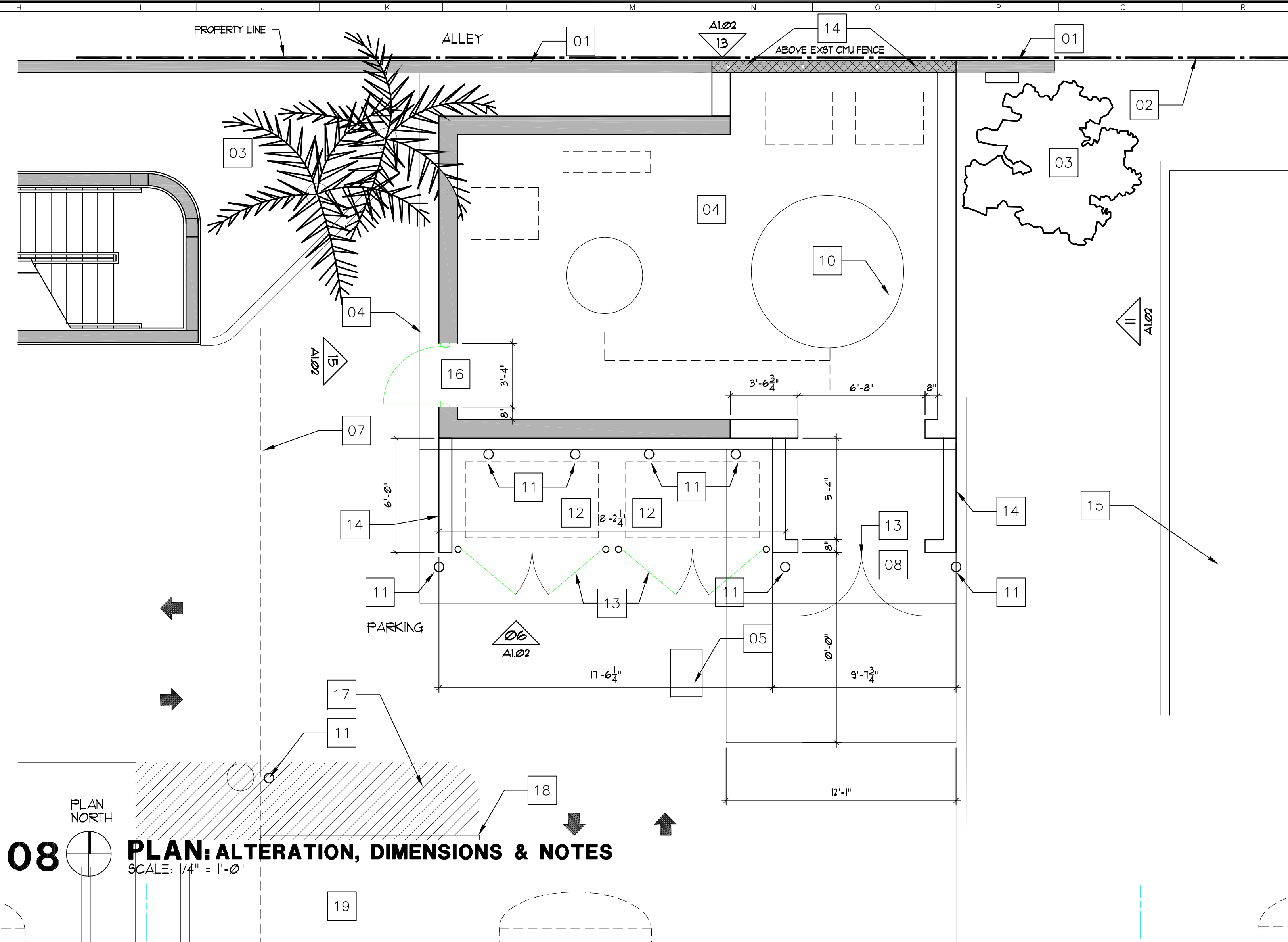
Kindred Healthcare South Florida-Hollywood  
1859 Van Buren Street Hollywood, Florida 33020  
A BULK OXYGEN TANK & ENCLOSURE ALTERATION

|     |                            |          |  |
|-----|----------------------------|----------|--|
| no: | revision:                  | date:    | job: 1802  |
| 2   | REVISED CMU WALL AND GATES | 06-06-19 | date: JULY 12, 2018<br>drawn by: MRP   |
| 3   | ADD P4Z REQUESTED CHANGES  | 06-27-19 | KINDRED HOLLYWOOD  |
|     |                            |          | <b>A1.01</b><br>EXISTING CONDITIONS & DEMOLITION PLANS<br>ISSUED: VARIANCE SUBMITTAL |





**06 VAN BUREN STREET: ENCLOSURE**  
SCALE: 1/4" = 1'-0"

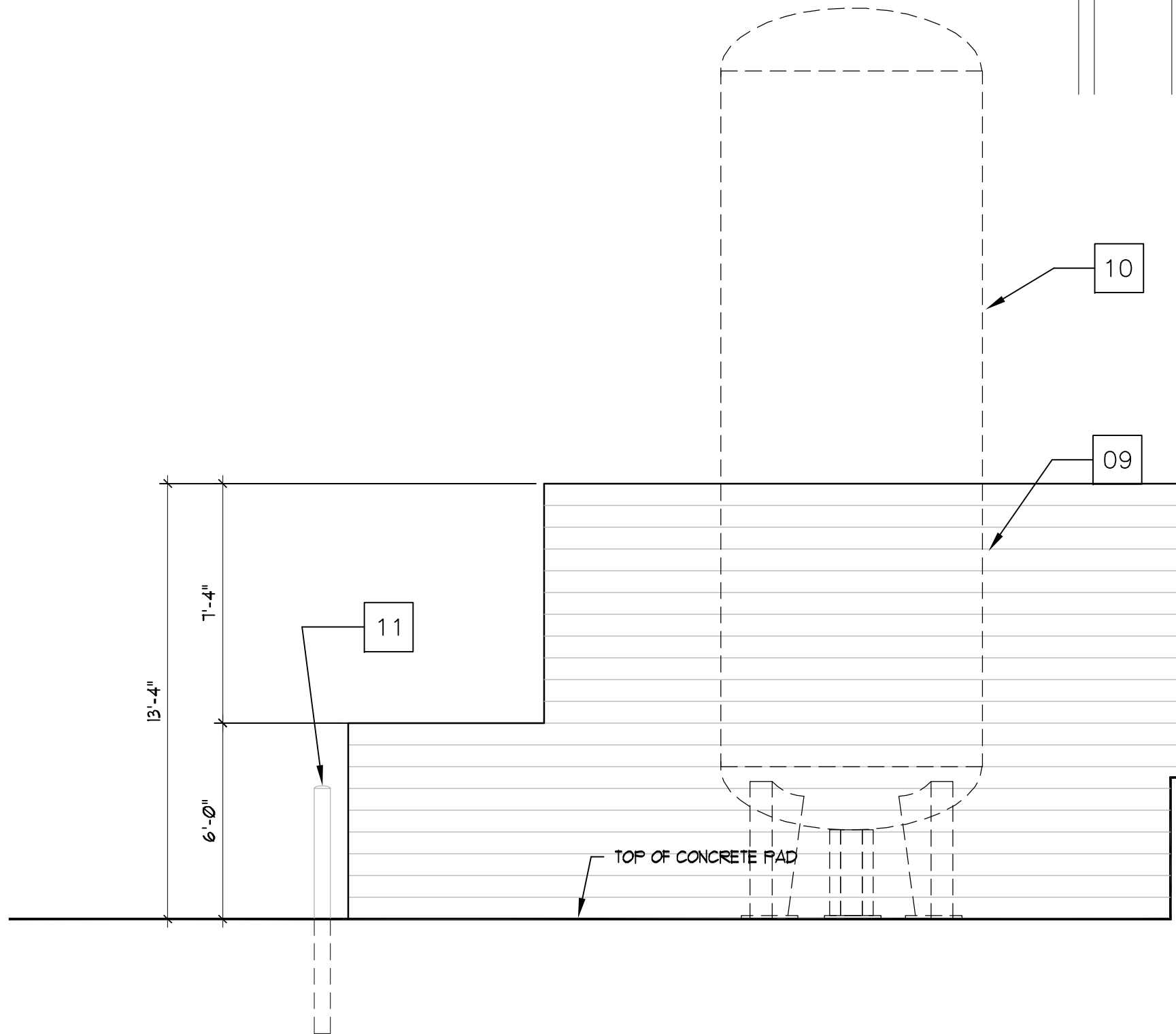


**08 PLAN: ALTERATION, DIMENSIONS & NOTES**  
SCALE: 1/4" = 1'-0"

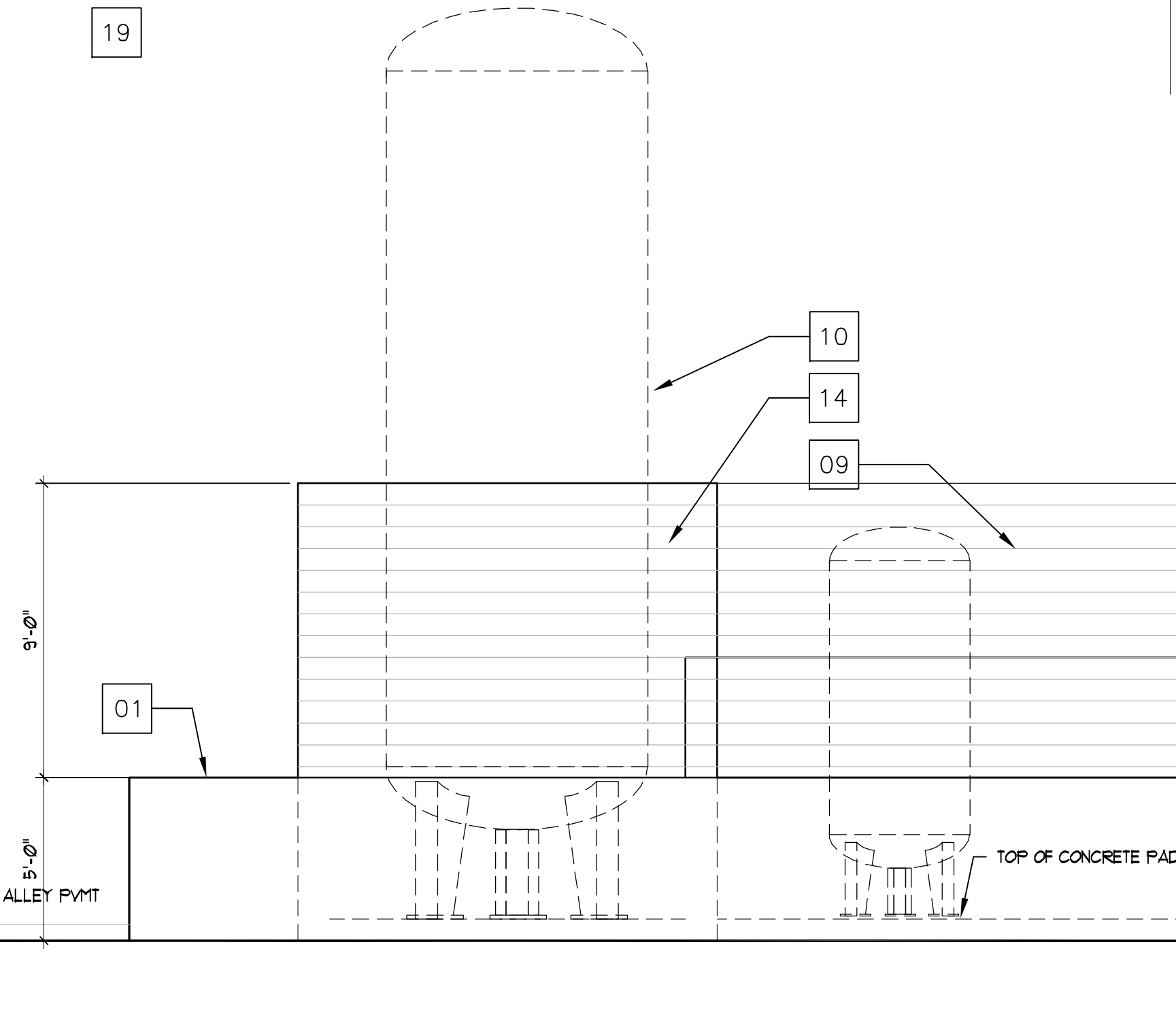
**CONSTRUCTION KEYNOTES:**

- 01 EXISTING 8" CMU FENCE
- 02 EXISTING CURB
- 03 EXISTING PLANTS TO REMAIN, PROTECT DURING CONSTRUCTION
- 04 EXISTING CONCRETE SLAB
- 05 EXISTING CATCH BASIN
- 06 EXISTING CMU FENCE ENCLOSURE TO REMAIN
- 07 LINE OF EXISTING BUILDING OVERHANG ABOVE
- 08 EXISTING CONCRETE APRON TO REMAIN
- 09 12" CMU FENCE, PAINTED
- 10 NEW OXYGEN EQUIPMENT SYSTEM INCLUDING MAIN AND RESERVE STORAGE TANKS BY OTHERS
- 11 6" STEEL BOLLARD FILL WITH CONCRETE
- 12 DUMPSTER BY OWNER
- 13 METAL ANGLE FRAME AND CORRUGATED METAL PANEL GATE
- 14 NEW 8" CMU PAINTED
- 15 EXISTING PARKING
- 16 NEW 3010 HOLLOW METAL DOOR AND FRAME, PAINTED
- 17 NEW ASPHALT AND BASE TO MATCH EXISTING
- 18 NEW PARKING STRIPE
- 19 COMPACT CAR PARKING SPACE

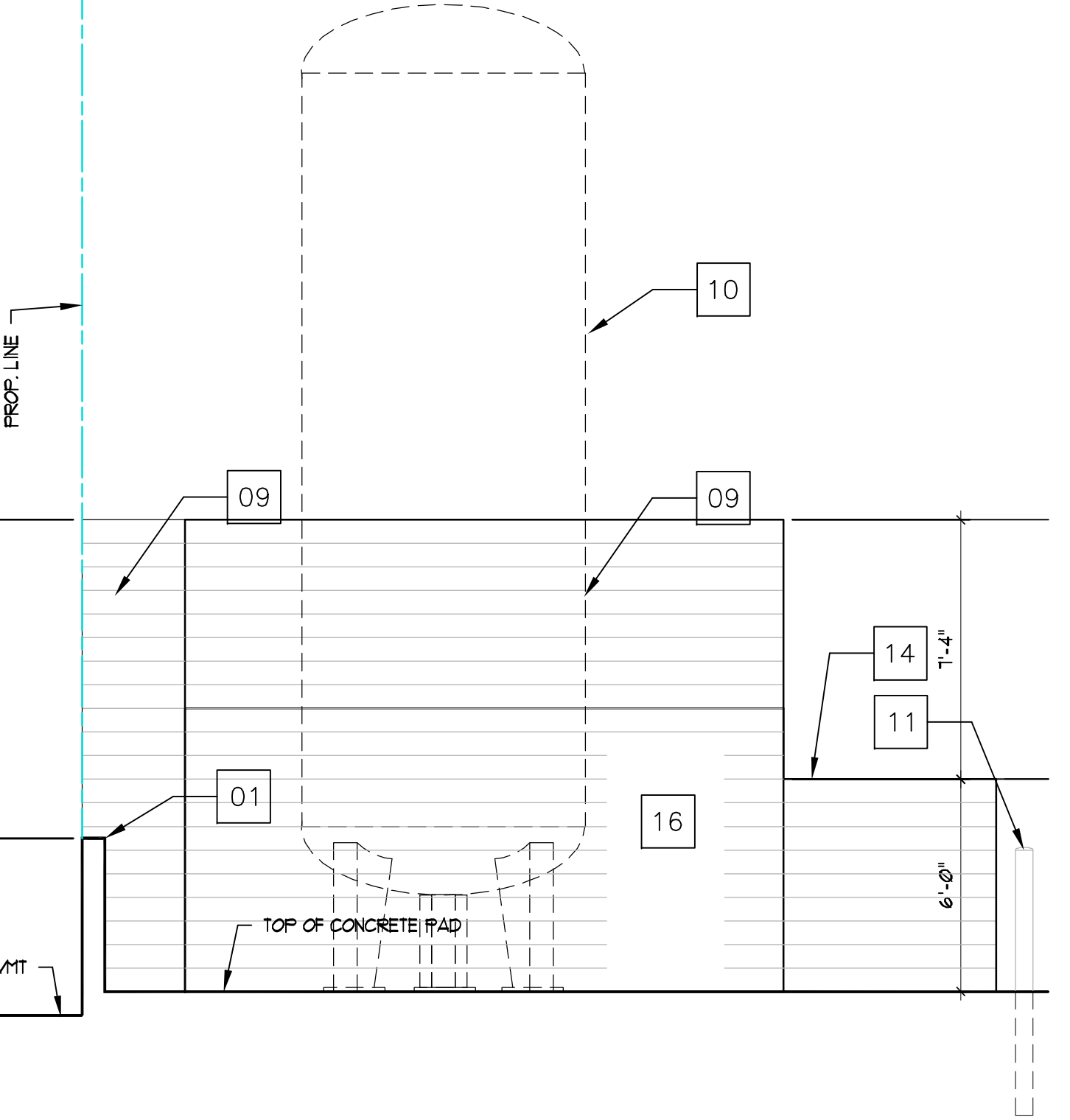
**FIRST FLOOR KEY PLAN:**  
PROJECT AREA



**11 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"



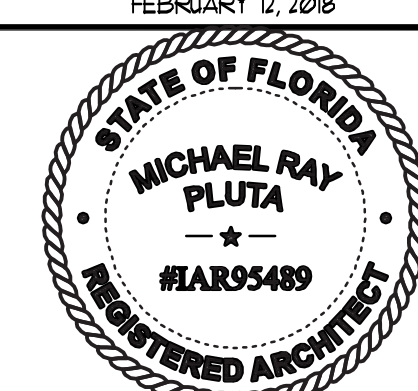
**13 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**15 ELEVATION: ENCLOSURE**  
SCALE: 1/4" = 1'-0"



Michael Ray Piuta  
Architect, AIA  
[502]499.7477  
2919 White Plains Road  
Louisville, Kentucky 40218  
mike@mrparchitect.com  
www.mrparchitect.com



**Kindred Healthcare**

**South Florida-Hollywood**  
1859 Van Buren Street  
Hollywood, Florida 33020

A BULK OXYGEN TANK & ENCLOSURE ALTERATION

| no: | revision:                         | date:    | job:                                 |
|-----|-----------------------------------|----------|--------------------------------------|
| 1   | 02 TANK SIZE AND REVISED CMU WALL | 12-12-18 | date: JULY 12, 2018<br>drawn by: MRP |
| 2   | REVISED CMU WALL AND GATES        | 06-06-19 | KINDRED HOLLYWOOD                    |
| 3   | ADD P4Z REQUESTED CHANGES         | 06-27-19 | <b>A1.02</b>                         |
| 4   | CHANGE FENCE HEIGHT TO 13'-4"     | 07-11-19 | ALTERATION PLANS & ELEVATIONS        |
|     |                                   |          | ISSUED: VARIANCE SUBMITTAL           |



- [illegible]

## BED COUNT

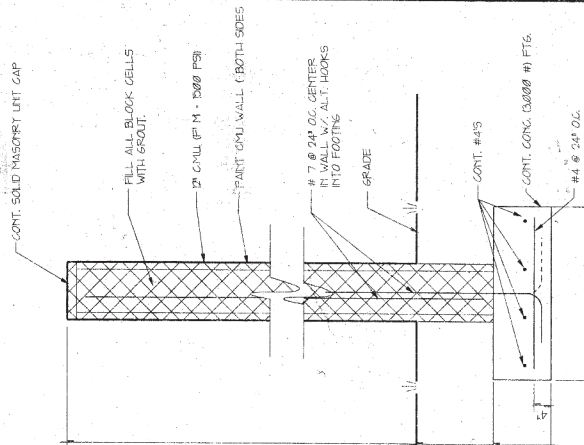
|           |  |
|-----------|--|
| 1ST FLOOR | 2 BEDS (2 SEM-PRIVATE)                 |
| 2ND FLOOR | 67 BEDS (66 SEM-PRIVATE & 1 ISOLATION) |
| 3RD FLOOR | 55 BEDS (46 SEM-PRIVATE & 9 ICU)       |
| TOTAL     | 124 BEDS                               |

|                               |            |
|-------------------------------|------------|
| 1ST FLOOR                     | 23,459 SF. |
| 2ND FLOOR                     | 23,904 SF. |
| 3RD FLOOR                     | 20,260 SF. |
| TOTAL GROSS<br>SQUARE FOOTAGE | 67,623 SF. |

## SCHEDULE OF EXIT CALCULATIONS

| SMOKE<br>COMPARTMENT<br>NUMBER | WIDTH X<br>SQUARE<br>LENGTH | GROSS<br>SQUARE FOOT<br>ALLOWED<br>FOR OCCUPANT | TOTAL<br>OCCUPANCY<br>ALLOWED | EGRESS CAPACITY<br>ALLOWED PER<br>PERSON | TOTAL<br>EXITS<br>REQUIRED | TOTAL<br>EXITS<br>PROVIDED |
|--------------------------------|-----------------------------|---|-------------------------------|--|----------------------------|----------------------------|
| ①                              |                             | 9256  | 240                           | 872                                      | 2                          | 3                          |
| ②                              |                             | 7898  | 130                           | 872                                      | 2                          | 4                          |
| ③                              |                             | 6725  | 240                           | 872                                      | 2                          | 3                          |
| ④                              |                             | 6640  | 240                           | 872                                      | 2                          | 4                          |
| ⑤                              |                             | 6667  | 130                           | 872                                      | 2                          | 2                          |
| ⑥                              |                             | 54134   | 130                           | 872                                      | 2                          | 3                          |
| ⑦                              |                             | 4964  | 240                           | 872                                      | 2                          | 2                          |
| ⑧                              |                             | 6362  | 130                           | 872                                      | 2                          | 2                          |
| ⑨                              |                             | 6434  | 130                           | 872                                      | 2                          | 3                          |

1. U.S. 6-206 CEILING ASSEMBLY  
EXISTING 9" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE SYSTEM  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
2. EXISTING 9" FLOOR / CEILING ASSEMBLY  
4" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
3. EXISTING 9" FLOOR / CEILING ASSEMBLY  
4" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
4. U.S. 6-201  
EXISTING 9" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
5. EXISTING 9" FLOOR / CEILING ASSEMBLY  
4" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
6. EXISTING 9" FLOOR / CEILING ASSEMBLY  
4" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
7. EXISTING 9" FLOOR / CEILING ASSEMBLY  
4" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.
8. EXISTING 9" FLOOR / CEILING ASSEMBLY  
4" REINFORCED CONCRETE SLAB ON STEEL BEAM JOIST.  
W/ 1" REINFORCED CONCRETE JOIST. 1" REINFORCED CONCRETE JOIST.  
W/ 1" REINFORCED CEILING JOIST. 1" REINFORCED CONCRETE JOIST.



(A) DETAIL - C.M.U. WALL  
@ OXYGEN FARM

SCALE: 3/4"=1'-0"

SECRET TITLE:

SHEET TITLE: LIFE SAFETY & SITE PLANS

PROJECT: #94021

Renovations  
Transitional Hospital of Hollywood

75