PLANNING DIVISION

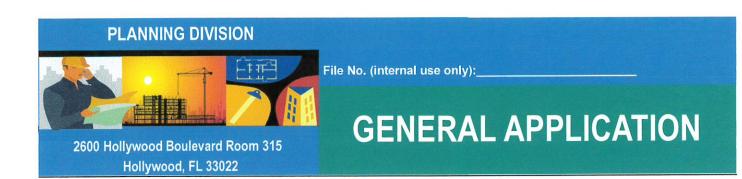


File No. (internal use only):_

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

	APPLICATION TYPE (CHECK ONE):
CITY OF	🔯 Technical Advisory Committee
I I≋IIyw000	City Commission
FLORIDA	Date of Application: 06/27/2019
Tel: (954) 921-3471	
Fax: (954) 921-3347	Location Address: <u>4151 N 29 TH AVENUE</u> Lot(s):Block(s):Subdivision: <u>SouTH FL-WISUSTR</u> AL PARK
Tax. (004) 021-0041	Folio Number(s): <u>5142 04 04 0082</u>
	Zoning Classification: 1 M1 Land Use Classification:
This application must be	Existing Property Use: VACANT Sq Ft/Number of Units:
completed in full and submitted with all documents	Is the request the result of a violation notice? () Yes ()(No If yes, attach a copy of violation.
to be placed on a Board or	Has this property been presented to the City before? If yes, check al that apply and provide File
Committee's agenda.	Number(s) and Resolution(s):
	Economic Roundtable
The applicant is responsible for obtaining the appropriate	City Commission
checklist for each type of	Explanation of Request: <u>Soceen</u> field
application.	
Applicant(s) or their	
authorized legal agent must be	Number of units/rooms: Sq Ft:
present at all Board or Committee meetings.	Value of Improvement: <u>280,000</u> Estimated Date of Completion:
Committee meetings.	Will Project be Phased? () Yes ()No If Phased, Estimated Completion of Each Phase
At least one set of the	
submitted plans for each	Name of Current Property Owner: RAFAEL SALAVES
application must be signed and sealed (i.e. Architect or	Address of Property Owner: 4/51 N 29 TH AV Hollywood fl
Engineer).	Telephone: (95 4)9203/00 Fax: Email Address: SEASTAN. A 28 MPACT
	Name of Consultant/Representative/Tenant (circle one): <u>/EoNAR Do PREEPIORKA</u>
Documents and forms can be accessed on the City's website	Address: 1124 NE 7 ST HATANDALE BARCH Telephone: 786 667 2789
at	Fax: Email Address: VOGIO PiZZA 19 @ GMail . Com
http://www.hollywoodfl.org/Do cumentCenter/Home/View/21	Date of Purchase: Is there an option to purchase the Property? Yes () 🎲 ()
cument center/nome/view/21	If Yes, Attach Copy of the Contract.
	List Anyone Else Who Should Receive Notice of the Hearing:
AND.	Address: RECEIVED
	Email Address:
1/E	JUN 2 7 2019



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: 4/25/19
PRINT NAME: Rafael Salaves	Date: 4/25/19
Signature of Consultant/Representative: hmt und	Date: 4/25/10
PRINT NAME: LEONARDO JOSE PRZEJORKA	Date: 4/25/19
DL ##621 - 530 - 71 - 347 - 0 Signature of Tenant:	Date: <u> </u>
PRINT NAME: LEONARDO PRZEPIORKA	Date: 4/25/19

Current Owner Power of Attorney

Expires 2/11/2023

I am the current owner of the described real property and that I am aware of the nature and effect the request for $U[S] N \cdot 27TH PVE$ to my property, which is hereby made by me or I am hereby authorizing $U[S] N \cdot 27TH PVE$ to be my legal representative before the 4/2S/1P/(Board and/or Committee) relative to all matters concerning this application.

RECEIVED Sworn to and subscribed before me Signature of Current Owner 25 day of 20 this afael salaves JUN 27 2019 Print Name Notary Public CITY OF HOLLYWOOD OFFICE OF PLANNING State of Florida DL $\frac{9}{2}$ (Check One) ____Personally known to me; OR ____ Produced Identification My Commission Expires: 2 Martina Saenz NOTARY PUBLIC STATE OF FLORIDA Comm# GG300625

To the city of Hollywood Florida.,

Thank you for the chance of building our Voglio Soccer fields on your city, at 4151 North 29th Avenue, in the city of Hollywood, Florida 33020.

Our team of qualified and experience designers, general construction and sports operations experts have been assembled to capitalize on the specific knowledge, skills and abilities of each firm and individual. As professionals we are passionate about improving communities that promote health of mine, body and spirit.

We have summarized below our goal objectives and expectations for this project for your best understanding:

The plan is to create 3 (three) soccer fields, with half shade roof, fence and lighting to lure and host young and adult soccer leagues, tournaments and other events. The plan will also include 2 (two) restrooms for women and gentlemen, a kid playground and an office of 600 (six hundred) s.f., with an area for drink and snacks,

The area in will be built by all aspects of the plan will meet all applicable codes from the city of Hollywood (local, state and federal) and regulations.

Between the fields, as you can see on the sketch, there will be a dividing with meshes each soccer field with benches for the players and visitors. The front and left side of the property will be used and design for parking spaces.

The construction of the project will take approximately 8 months to be completed. It will start as soon as all the city permits are obtained. As we already have our team working on their specific duties. Please find their information below, and feel free to contact them with any concerns that you may have.

General Contractor – AJC Builders Enrique Adrian Krauskopf Office: (305) 332-0355

Engineering – Ganem Consulting Enginnering Alioskar Ganem Cell: (786)487-4401 Office: (786)916-6546



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DESIGN SOCCER FIELD

4151 N 29th AV

ARQUITECTURAL AND DESIGN COMPONENTS:

The elements chosen for this project are chosen taking into account the relationship with the existing architectural environment. using traditional materials such as stucco and new materials such as the tile with wood texture, as a contribution of the current architecture.

COMPATIBILITY:

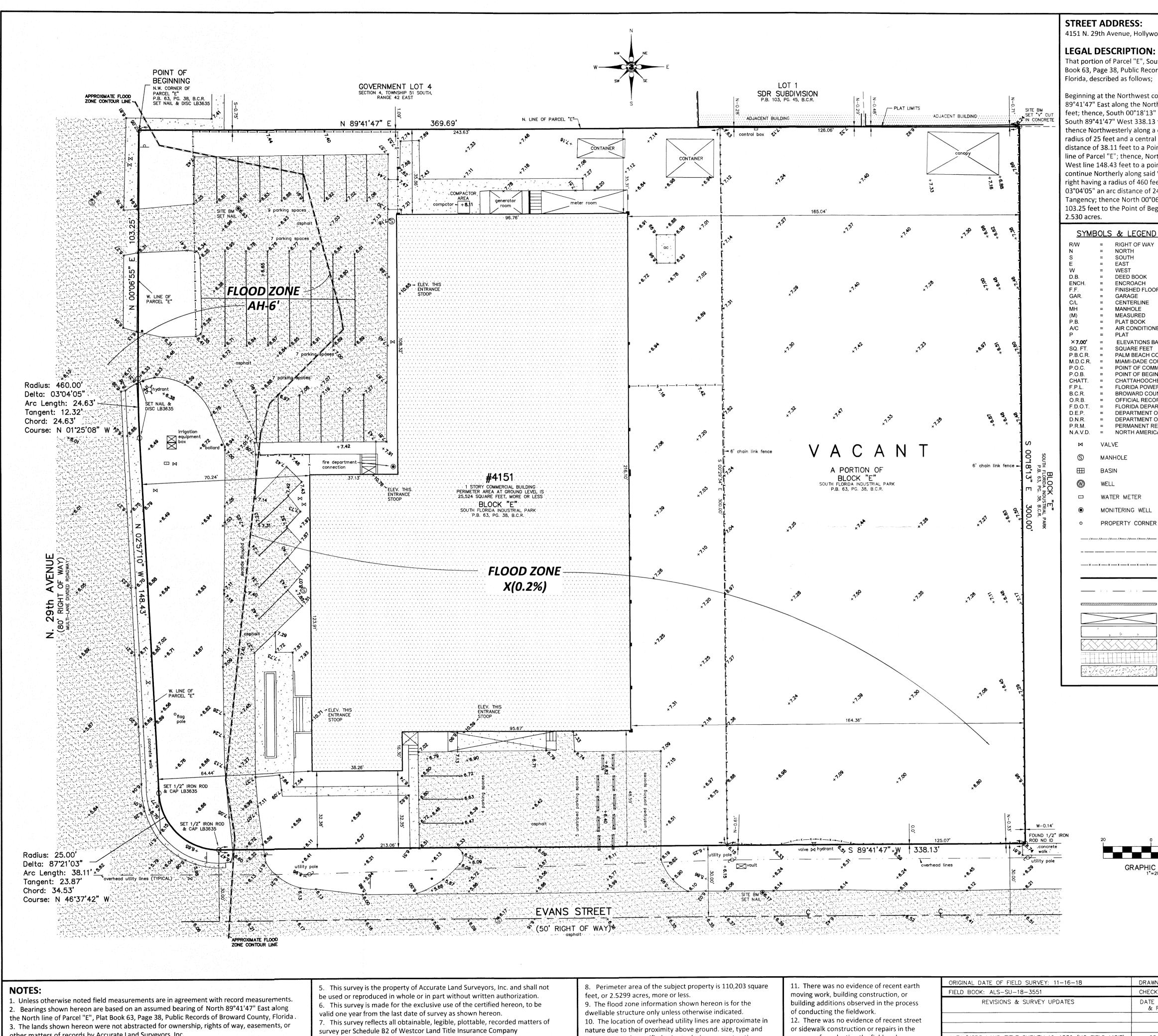
The use of traditional materials, such as new ones, show respect for the existing architecture as well as for the new one. the architecture proposed in the site combines perfectly with the existing neighboring architecture, since it will handle a geometrical similarity and colors that contrast with the neighbors.

SCALE/MASSING:

The architecture reflects a simple volumetric mass, similar to the neighboring structures, but unlike these, the volume is a little lower, since the project does not merit a larger size, the volumetric covers less land than required since the project itself develops in the flat area, the roof with a single inclination and eaves give a modern touch, the doors and windows play a simple role in the building.

LANDSCAPING:

The lot does not have trees, but lends itself to develop an area to plant and give a new environment to the neighborhood.



other matters of records by Accurate Land Surveyors, Inc.

4. Ownership of fences and walls if any are not determined.

Commitment No: 19-41775, Effective July 10, 2019 @ 8:00am.

quantity must be verified prior to design or construction.

process of conducting the fieldwork.

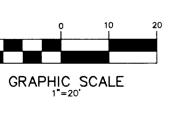
ORIGINAL DATE OF FIELD SURVEY: 11-16-18	
FIELD BOOK: ALS-SU-18-3551	
REVISIONS & SURVEY UPDATES	
ALTA/NSPS LAND TITLE SURVEY 19-1839 (NO FIEL	D VISIT
UPDATE SURVEY ADD ADDITIONAL PARCEL 19-140	

4151 N. 29th Avenue, Hollywood, Florida, 33020

That portion of Parcel "E", South Florida Industrial Park, Pla Book 63, Page 38, Public Records of Broward County,

Beginning at the Northwest corner of Parcel "E", run North 89°41'47" East along the North line of Parcel "E" 369.69 feet; thence, South 00°18'13" East 300.00 feet; thence South 89°41'47" West 338.13 feet to a point of curvature; thence Northwesterly along a curve to the right having a radius of 25 feet and a central angle of 87°21'03" an arc distance of 38.11 feet to a Point of Tangency on the West line of Parcel "E"; thence, North 02°57'10" West along said West line 148.43 feet to a point of curvature; thence, continue Northerly along said West line on a curve to the right having a radius of 460 feet and a central angle of 03°04'05" an arc distance of 24.63 feet to a Point of Tangency; thence North 00°06'55" East along said West lin 103.25 feet to the Point of Beginning. Said lands containing

LEGEND	OF A	BBREVIATIONS:
GHT OF WAY RTH UTH ST ED BOOK CROACH ISHED FLOOF RAGE NTERLINE NHOLE ASURED AT BOOK CONDITIONE AT BOOK CONDITIONE AT BOOK CONDITIONE AT BEACH CO MI-DADE COU INT OF BEGIN ATTAHOOCHE DRIDA POWEF OWARD COUN FICIAL RECOF DRIDA DEPAR PARTMENT O	R SED ON N DUNTY RE JNTY REC ENCEMEI NING E & LIGHT TTY RECC RDS BOOH TMENT O F ENVIRC F NATUR/ FERENCE	I.A.V.D. CORDS CORDS NT PRDS F TRANSPORTATION MENTAL PROTECTION AL RESOURCES MONUMENT
		UTILITY BOX
E	ж,	HYDRANT
	\mathcal{O}	UTILITY POLE
	\boxtimes	VAULT
METER	$\dot{\mathbf{r}}$	LIGHT
RING WELL	•	BOLLARD
TY CORNER	ac	AIR CONDITIONER
	WOOD	FENCE
	ALUMI	NUM FENCE
x x x	CHAIN	LINK FENCE
	PARKI	NG STRIPE
	OVERH	HEAD UTILITY LINES
	6' CO	NCRETE WALL
	COVER	RED AREA
Þ	CONC	RETE
$\langle \langle \rangle \rangle$	BRICK	PAVERS



DRAWN BY: MLW

CHECKED BY: MLW

DATE OF SURVEY

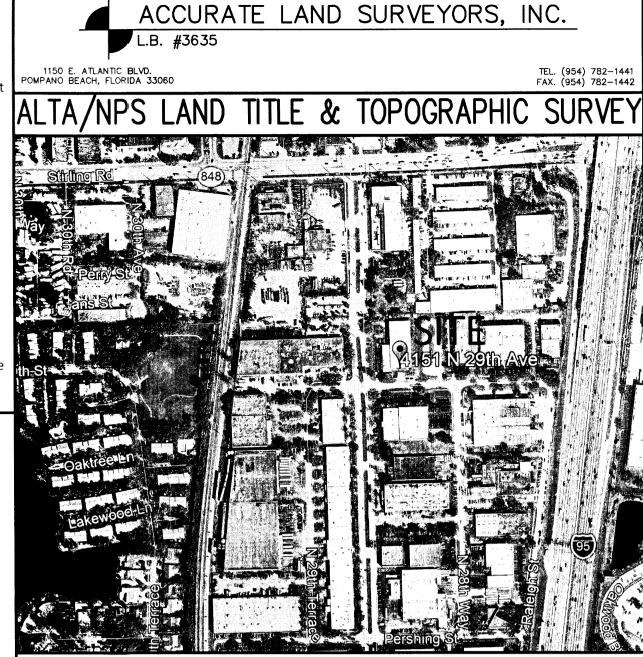
& REVISIONS

08-16-19

06-26-19

TILE

ASPHALT



LOCATION SKETCH NOT TO SCALE

SCHEDULE B2 EXCEPTIONS:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. (This item is not a matter of survey.)

2. Rights or claims of parties in possession not shown by the Public Records. (This item is not a matter of survey.)

3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments on the Land of existing improvements located on the adjoined land. (After upon review of survey to be determined by title examiner.)

4. Easements or claims of easements not shown by the Public Records. (This item is not certifiable.)

5. Taxes or special assessments which are not shown as existing liens by the public records. (This item is not a matter of survey.)

6. Taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable. (This item is not a matter of survey.)

7. Any lien provided by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land. (This item is not a matter of survey.)

8. Restrictions, dedications, reservations, setbacks and easements, if any, as indicated and/or shown on that certain Plat recorded in Plat Book 63, at Page(s) 38, of the Public Records of Broward County, Florida. (There are no restrictions, dedications, reservations or setbacks listed on the aforementioned plat. This plat dedicated all thoroughfares and easements shown on said plat to the perpetual use of the public for proper purposes. All other matters of survey are shown hereon.)

9. Easement(s) in favor of Florida Power and Light recorded in Official Records Book 10795, Page 580, of the Public Records of Broward County, Florida. (This item does not affect the subject property.)

10. Existing unrecorded leases and all right thereunder of the lessees and of any person claiming by, through or under lessees. (This item is not a matter of survey.)

FLOOD INFORMATION:

Community name and number: Hollywood 125113 Map and panel number: 12011C0566H Panel date: 08-18-14 Index date: 08-18-14 Flood zone: X(0.2%) & AH

Base flood elevation: 6' NAVD1988

BENCHMARK INFORMATION:

City of Hollywood Benchmark Property pipe at Southeast corner of 29th Avenue and Evans Street Elevation = 5.95'NAVD1988

OBSERVED ENCROACHMENTS:

Driveways in road right of way along the Sotuh and West boundary.

CERTIFY TO: Gina Sanchez

CERTIFICATION:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes Items 1, 2, 3, 4, 7a, 7b1, 8, 9, 11(observed evidence) 16 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Florida, the Relative Positional Accuracy of this survey does not exceed that SEAL

which is specified therein. SHEET 1 OF 1 SCALE 1"=20'

- 8-16-19 NT) STATE OF FLORIDA	Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.



BY

MLW

MLW

SKETCH NUMBER SU-18-3551

Property Information

Folio: Sub-Division: Property Address Owner Mailing Address PA Primary Zone Primary Land Use Beds / Baths / Half Floors Living Units Actual Area Living Area Adjusted Area Lot Size Year Built Flood Zone Max Crown Elev.

5142-04-04-0082

4151 N 29 AVE HOLLYWOOD, FL 4151 PROPERTY LTD

INDUSTRIAL IM-1 LOW INTENSITY INDUSTRIAL AND MANUFACTURING DIST

37,521 Sq.Ft

X 6.42 ft NAVD

LEGAL DESCRIPTION:

SOUTH FLORIDA INDUSTRIAL PARK 63-38 B TRACT E PT DESC AS BEG AT NW COR OF TR,E ALG N/L 369.69, S 300,W 338.13,NWLY ALG CURVE 38.11,N 148.43 TO A PT OF CURVATURE,CONT NLY 103.25 TO POB

THE CLASSIFICATION OF CONSTRUCTION/ALTERATION SHALL BE AS FOLLOWS :

(F.B.C. EXISTING 2017 SECTION 202)

- GENERAL DEFINITIONS

ALTERATION - ANY CONSTRUCTION OR RENOVATION TO AN EXISTING STRUCTURE OTHER THAN A REPAIR OR ADDITION. ALTERATIONS ARE TO BE CLASSIFIED AS LEVEL 1, LEVEL 2, AND LEVEL 3.

(F.B.C. EXISTING 2017 SECTION 503) - ALTERATION LEVEL 2 (F.B.C. EXISTING 2017 SECTION 404.1)

- SCOPE:

505.1 SCOPE. LEVEL 3 ALTERATIONS APPLY WHERE THE WORK AREA EXCEEDS 50 PERCENT OF THE AGGREGATE AREA OF THE BUILDING.

505.2 APPLICATION. LEVEL 3 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 FOR LEVEL 1 AND 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 9.

SOCCER FIELD

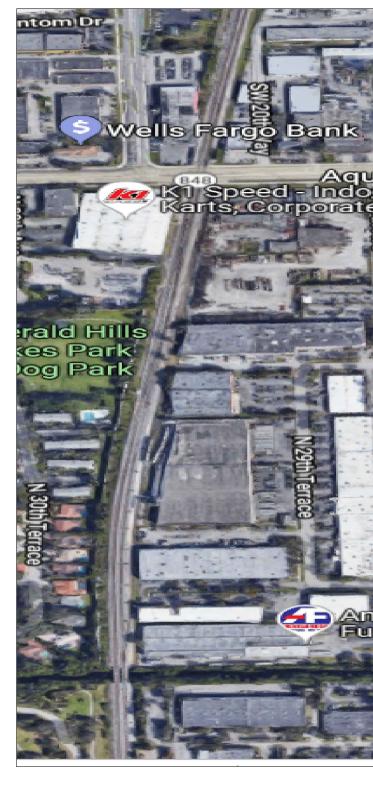
PROJECT ADDRESS: 4151 N 29th AVE, HOLLYWOOD, 33020

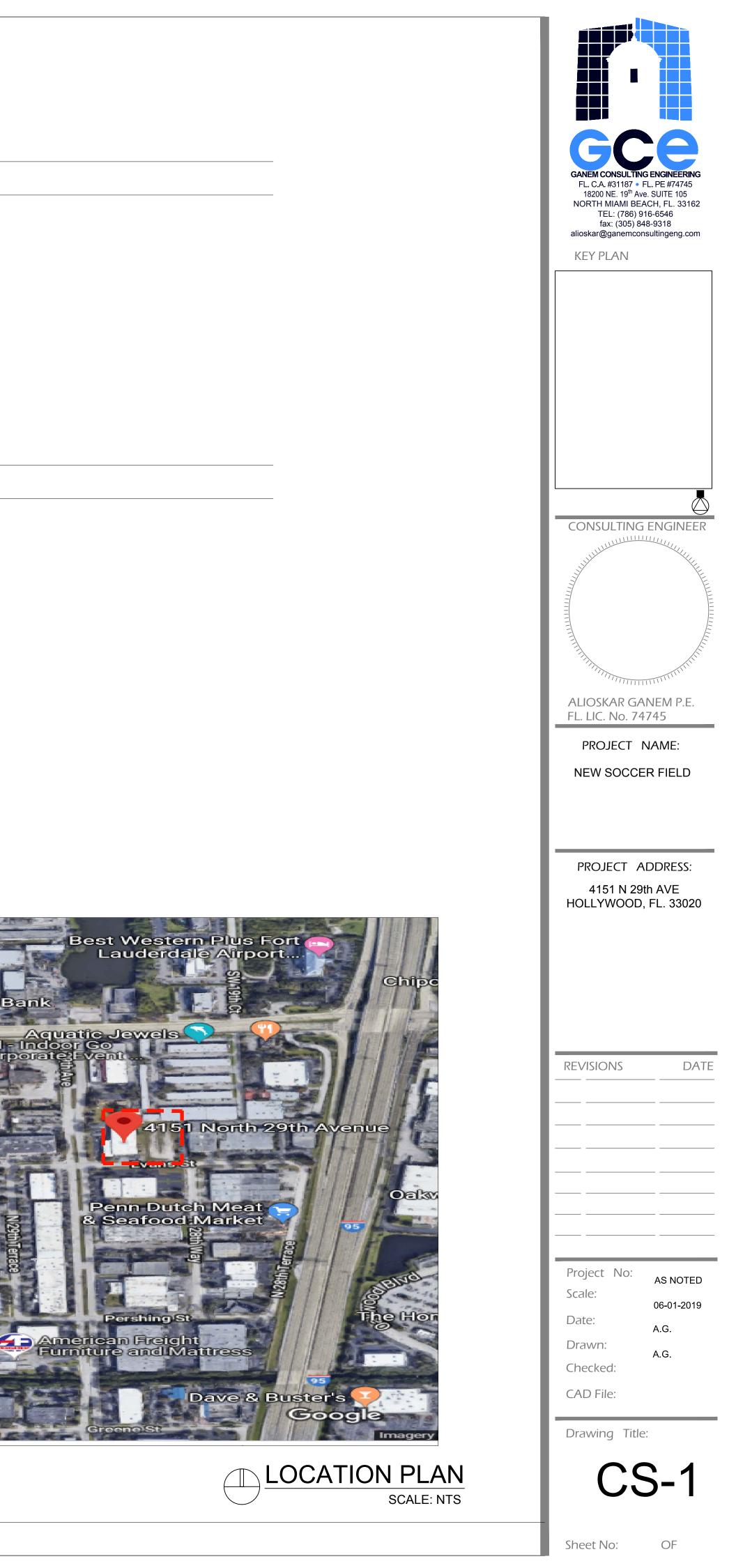
SCOPE OF WORK

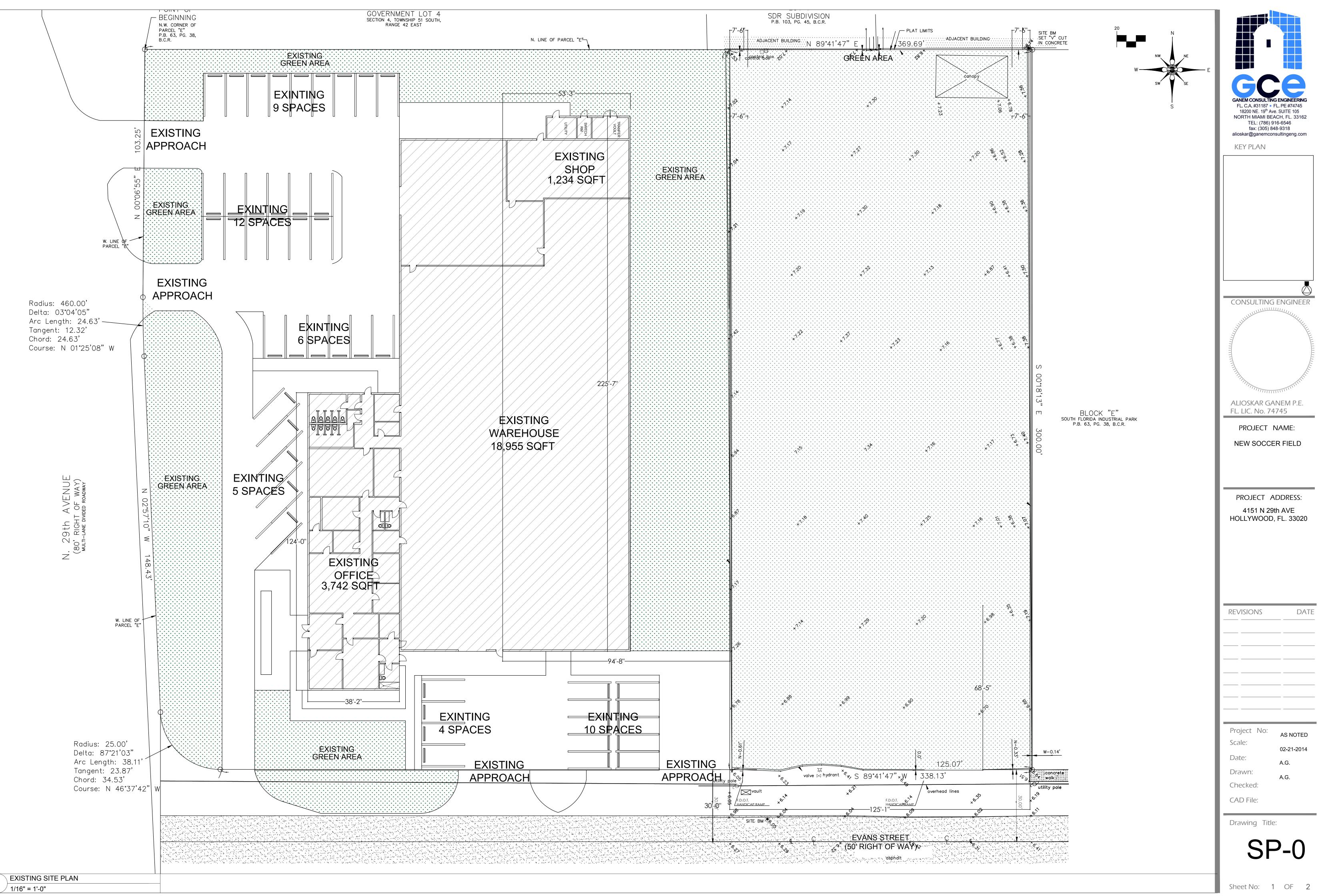
NEW SOCCER FIELD NEW (32) PARKING SPACES NEW GENERAL AREA

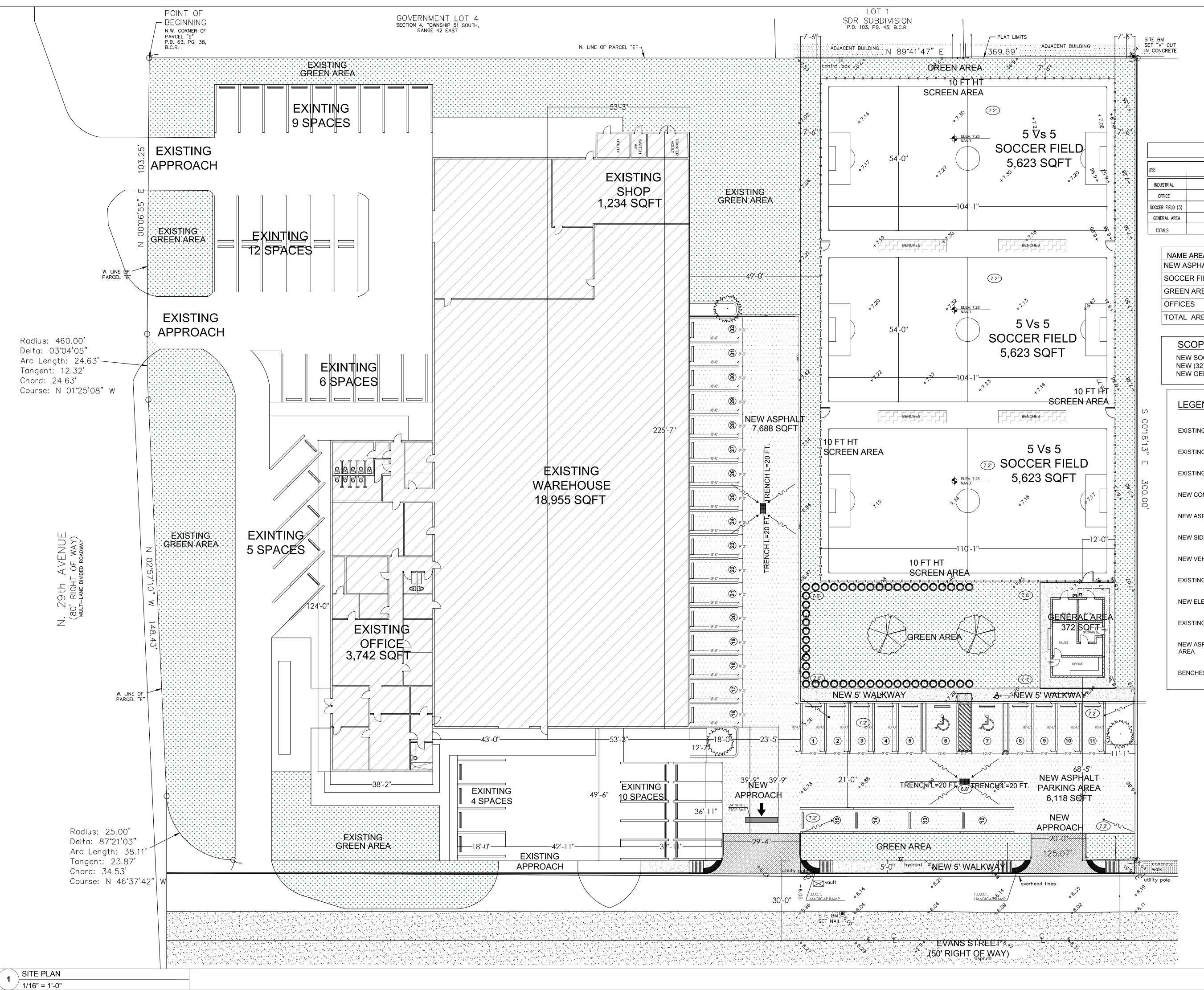
TABLE OF CONTENTS

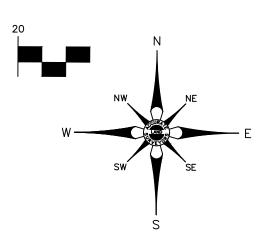
SP-1 EXISTING SITE PLAN
SP-2 PROPOSED SITE PLAN
C-1 SITE PLAN.PROJECT DATA & NOTES.
C-2 CIVIL DETAILS.
A-1 PROPOSED SOCCER FIELD
A-2 ARCHITECTURE PLAN GENERAL AREA
A-2.1 ARCHITECTURE DETAILS & NOTES.
A-2.2 A.D.A NOTES & DETAILS.
A-3 PROPOSED ELEVATIONS.
A-4 PROPOSED FULL ELEVATIONS.
A-5 3D ELEVATIONS .
A-6 VIEW SOCCER FIELD
A-7 VIEW SOCCER FIELD











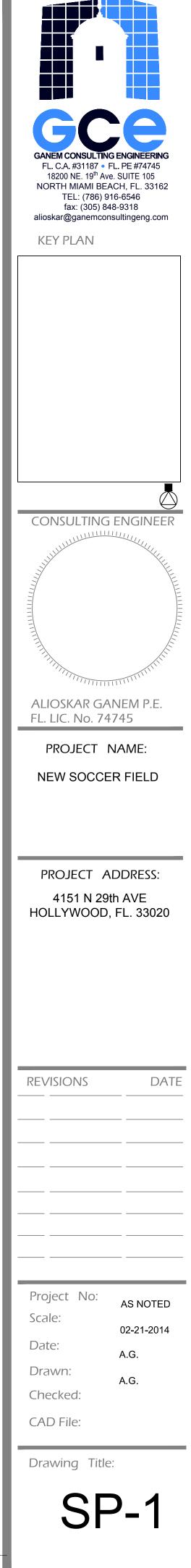
PARKING ANALYSIS

JSE	AREA(SF)	1 SPACE/SF	REQUIRED	PROVIDED
INDUSTRIAL	18,955	1 space per 1,000 SQFT	19	21
OFFICE	4,976	1 space per 250 SQ FT	20	25
SOCCER FIELD (3)		1 space per player	30	30
GENERAL AREA	372	1 space per 250 SQ FT	2	2
TOTALS:	24.303			78

NAME AREA	AREA
NEW ASPHALT PARKING	13,806 SQFT
SOCCER FIELD	20,732 SQFT
GREEN AREA	8,579 SQFT
OFFICES	372 SQFT
TOTAL AREA	43,489 SQFT

SCOPE OF WORK NEW SOCCER FIELD NEW (32) PARKING SPACES NEW GENERAL AREA

LEGEND	
EXISTING BUILDING	
EXISTING SIDWALK	X X
EXISTING GRASS AREA	••••••••••••••••••••••••••••••••••••••
NEW CONCRETE WALKWAY	
NEW ASPHALT PAVING	
NEW SIDEWALK	
NEW VEHICULAR RAMP	
EXISTING ELEVATION	+11.62 [']
NEW ELEVATION	11.8
EXISTING TO REMOVE	
NEW ASPHALT PARKING AREA	
BENCHES	



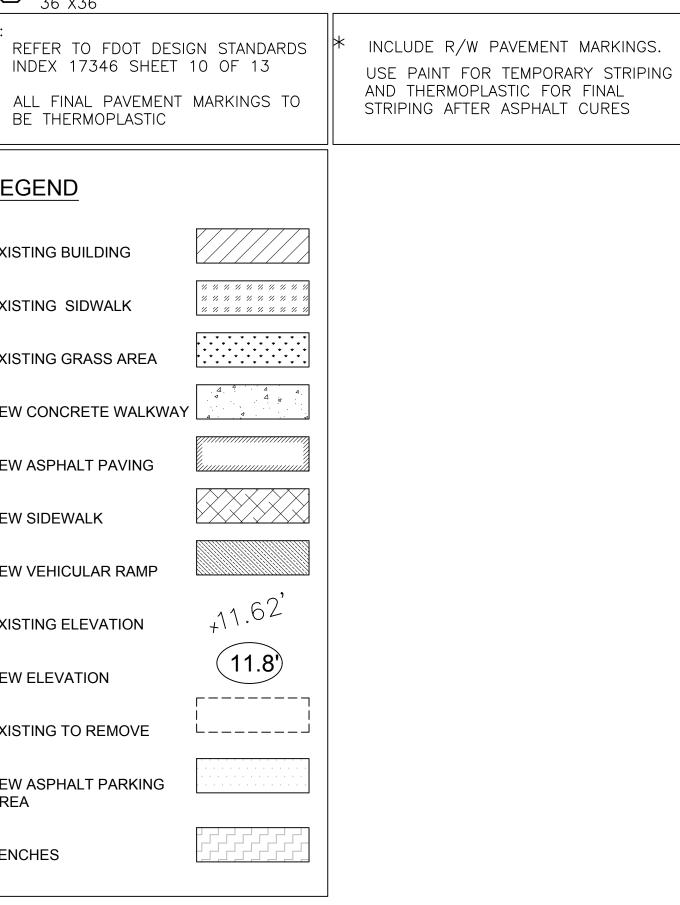
STOP SIGN R1-1 36"X36" NOTE: BE THERMOPLASTIC LEGEND EXISTING BUILDING EXISTING SIDWALK EXISTING GRASS AREA NEW CONCRETE WALKWAY NEW ASPHALT PAVING NEW SIDEWALK NEW VEHICULAR RAMP EXISTING ELEVATION

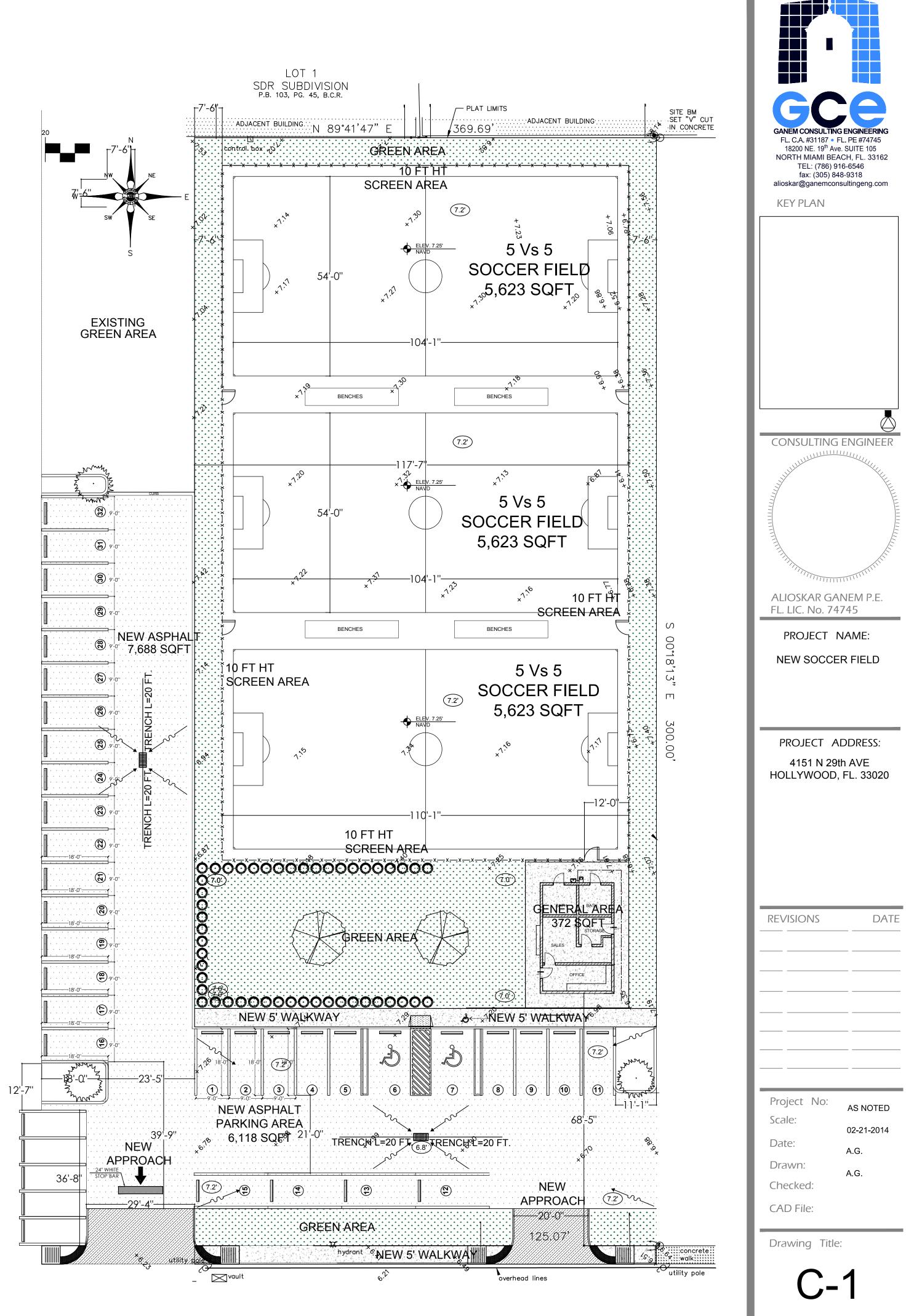
NEW ELEVATION

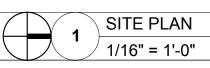
EXISTING TO REMOVE

NEW ASPHALT PARKING AREA

BENCHES







GENERAL NOTES AND SPECIFICATIONS **PROJECT NO. 1927-03**

I. APPLICABLE CODES:

- A. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE DADE COUNTY D.E.R.M., F.D.O.T. AND ALL OTHER LOCAL FLORIDA STATE AND NATIONAL CODES WHERE APPLICABLE.
- B. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- C. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NATIONAL GEODETICAL VERTICAL DATUM OF 1929, (N.G.V.D.), UNLESS OTHERWISE NOTED.

II. PRECONSTRUCTION RESPONSIBILITIES:

- A. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE FLORIDA INTERNATIONAL UNIVERSITY PROJECT REPRESENTATIVE AND THE ENGINEER OF RECORD.
- B. THE CONTRACTOR SHALL OBTAIN AN "SUNSHINE STATE ONE CALL FOR FLORIDA, INC." CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING AN EXCAVATION, CALL 1-800-432-4770.
- C. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION. (IF REQUIRED)
- D. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING CONSTRUCTION IS DISCOVERED UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.

III. INSPECTIONS:

- A. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
- 1. CLEARING AND FILLING 2. STORM DRAINAGE SYSTEM
- 3. SUBGRADE
- 4. LIMEROCK BASE
- 5. ASPHALTIC CONCRETE 6. LIGHTING
- 7. LANDSCAPING
- 8. FINAL

IV. SHOP DRAWINGS

A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: CATCH BASINS, FILTER MEMBRANE, PIPE, ASPHALT MIX.

V. PROJECT CLOSEOUT:

A. CLEANING UP -

- 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN.
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTORS SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATIONS.
- 3. WHERE MATERIALS OR DEBRIS HAS WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OR DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTORS EXPENSE.

- B. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED C. ALL UNPAVED SURFACES SHALL BE RESTORED TO A CONDITION
- EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

D. PROJECT RECORD DOCUMENTS -

- 1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- 2. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN AND EDGES OF PAVEMENT AT 50 FEET INTERVALS.
- 3. UPON COMPLETION OF CONSTRUCTION, AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF ALL "AS-BUILT" CONTRACT DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.
- 4. ALL "AS-BUILT" INFORMATION ON ELEVATIONS SHALL BE CERTIFIED BY A FLORIDA REGISTERED LAND SURVEYOR.

CRUSHED ROCK HAVING LESS THAN 10% SILT, 1% ORGANICS AND

VI. EARTHWORK & COMPACTION

- A. ALL TOPSOIL, VEGETATION AND HEAVY ROOT MATS SHALL BE STRIPPED TO AT LEAST 5' BEYOND THE PERIMETER OF THE PROPOSED CONSTRUCTION.
- B. FILL AND BACKFILL SHALL BE SAND, SAND-ROCK MIXTURE OR

ROCK SIZES LESS THAN 3" IN DIAMETER.

VII. STORM DRAINAGE:

- A. GENERAL
- 1. CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS MAY BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.
- 2. DISTANCES AND LENGTHS SHOWN ON PLAN & PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.

B. MATERIALS:

1. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE HELICAL TYPE, CONFORMING TO ASTM B209 AND AASHTO M196, AS MANUFACTURED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:

DIA. CORRUGATION GAUGE

12" TO 21" 24" TO 27"	2 2/3" X 1/2" 2 2/3" X 1/2"	16 16
30"	2 2/3" X 1 1/2"	14
36" TO 54"	3" X 1"	14
60" TO 78"	3" X 1"	12

- 2. PIPE COUPLINGS FOR C.A.P. SHALL BE 12" WIDE (MINIMUM), 24" WIDE FOR 60" DIAMETER OR LARGER, SPLIT BANDS OF THE SAME ALLOY AS THE PIPE MAY BE ONE GAUGE LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS.
- 4. ALL DRAINAGE CATCH BASIN AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, OR EQUAL. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. THE MINIMUM WALL AND SLAB THICKNESS SHALL BE 8" AND THE MINIMUM REINFORCING SHALL BE NO. 4 BARS AT 12" EACH WAY UNLESS OTHERWISE INDICATED. CONCRETE SHALL BE MINIMUM OF 4000 PSI AT 28 DAYS.

C. INSTALLATION:

- 1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
- 2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6" TO A HEIGHT OF 12" ABOVE PIPE AS SHOWN ON THE PLANS.

3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24" OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

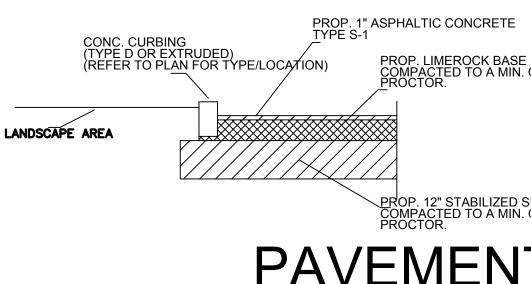
VIII.. PAVING: A. GENERAL:

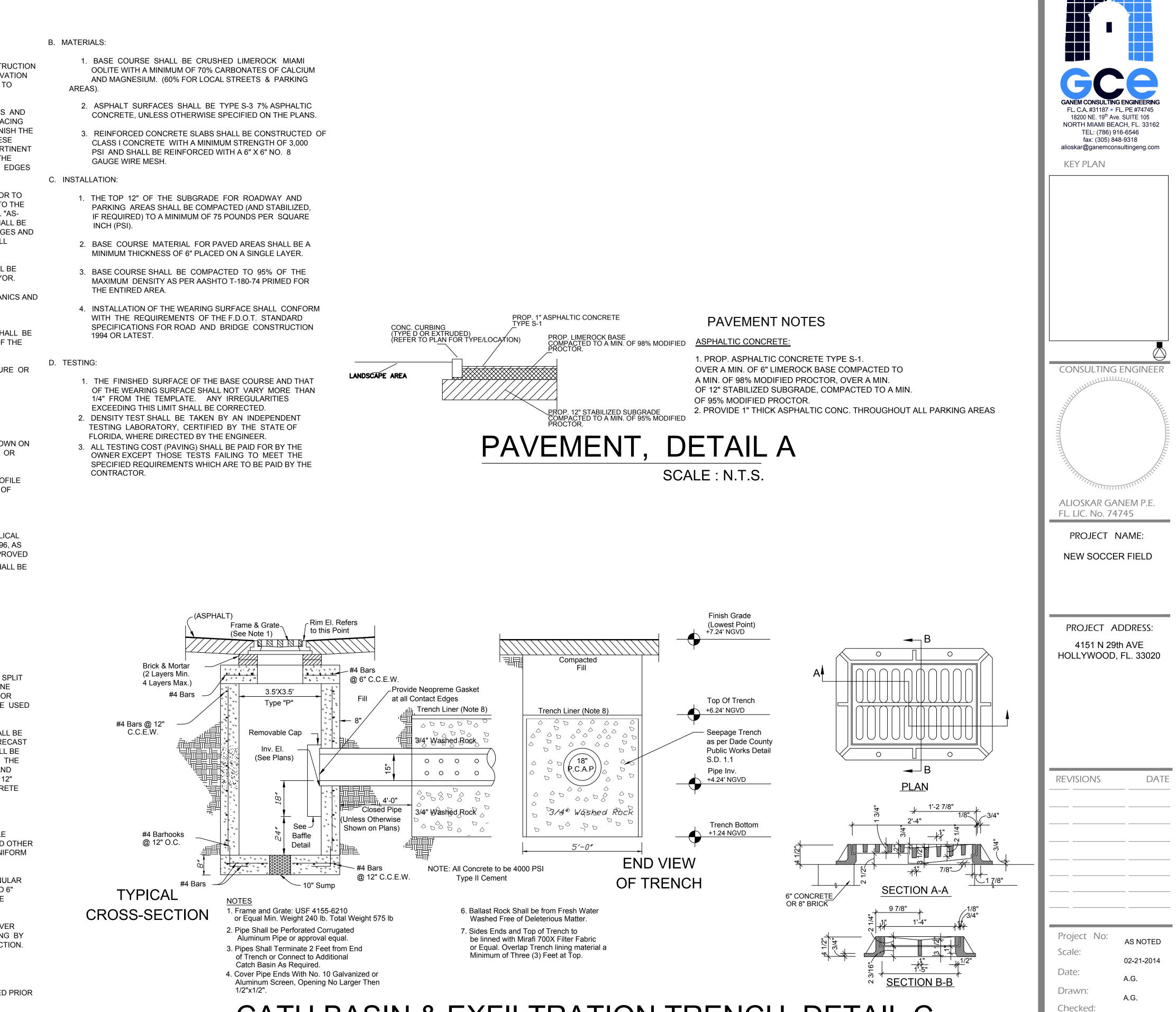
1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR

CONTRACTOR'S EXPENSE.

- TO CONSTRUCTION OF LIMEROCK BASE. 2. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE
- 3. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT

- 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- OWNER EXCEPT THOSE TESTS FAILING TO MEET THE CONTRACTOR.





CATH BASIN & EXFILTRATION TRENCH, DETAIL C

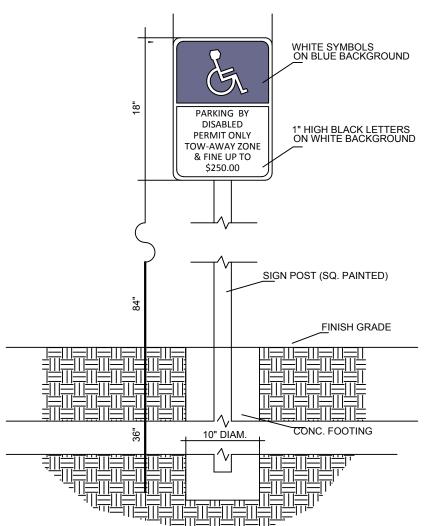
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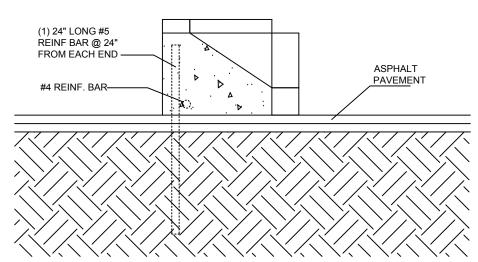
SCALE : N.T.S.

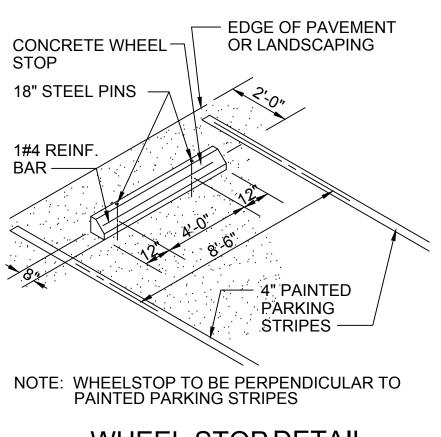
PAVING NOTES

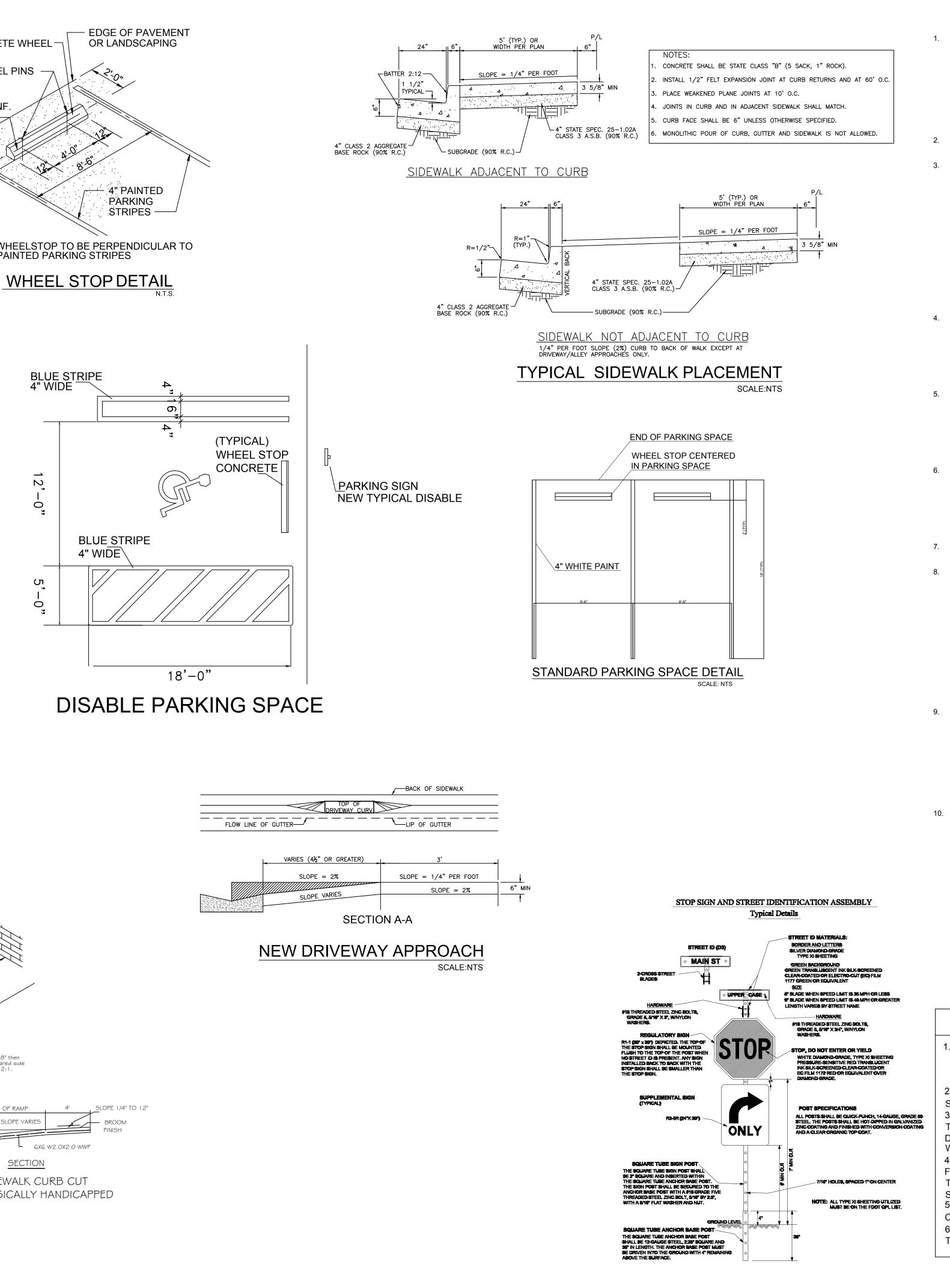
- All, muck, peat, or sand and clay with high percentage of orgaic material, and/or existing unsuitable fill material, shall be removed to natural limerock or sand within the proposed pavement area.
- 2. Construct 12" stabilized subgrade (CBR 40 at 98% compaction) a minimum of 2 feet beyond the edge of the proposed pavement.
- 1" asphaltic concrete type III, over 6" well-compacted 3. Parking Pavement: base (98% compaction), primed.
- 4. Before placing any new asphalt, saw-cut the existing pavement a minimun of 1 foot (or wider if it is damaged) at every location where the new asphalt pavement abuts the existing one. 5. The sequence of construction shall be such that all underground installations of
- any kind that will come under the pavement or within 10 feet of its edges shall be installed prior to construction of the base.
- 6 All existing sodded areas within the right of way, must be sodded again if damaged during construction.



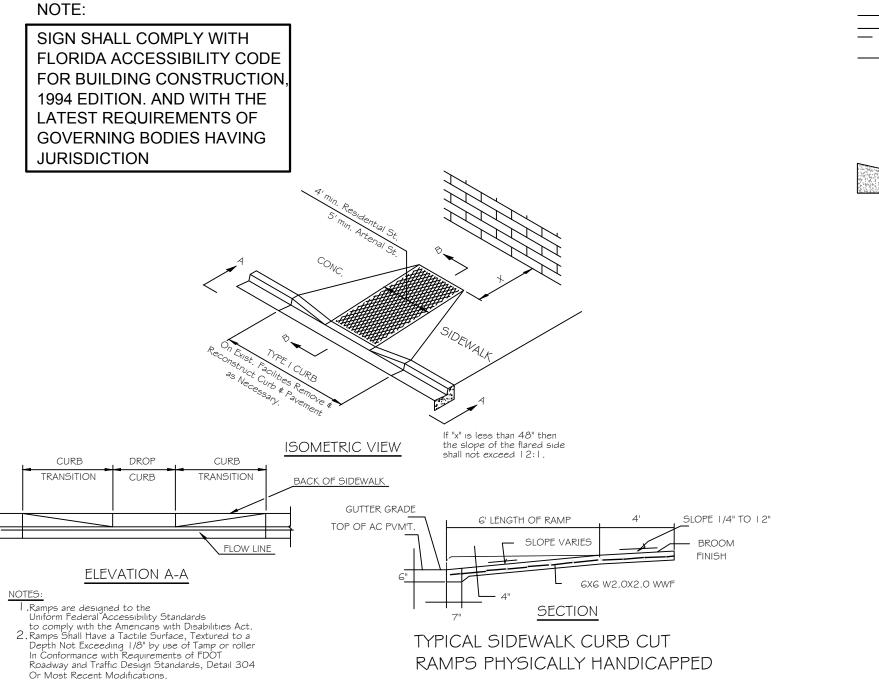








WHEEL STOPS SHALL BE APPROXIMATELY 6" X 8" X 6'-0" LONG REINFORCEI BARS DRIVEN 18" INTO GROUND AS INDICATED. PROVIDE ONE WHEEL STOP FOR EACH PARKING STALL UNITS AS MADE BY DENMARK CAST STONE CO. PRECAST CORP. OR ACCEPTED EQUIVALENT



NEW HANDICAP CURB CUT SCALE:NTS

GENERAL NOTES

1. Public sidewalk curb ramps shall be constructed in the public right of way at locations that will provide continuous unobstructed pedestrian circulation paths to pedestrian areas, elements and facilities in the public right of way and to accessible pedestrian routes on adjacent sites. Curbed facilities with sidewalks and those without sidewalks are to have curb ramps constructed at all street intersections and at turnouts that have curbed returns. Partial curb returns shall extend to the limit prescribed by Index No. 515 to accommodate curb ramps. Ramps constructed at locations without sidewalks shall have a landing constructed at the top of each ramp, see Sheet 5.

2. The location and orientation of curb ramps shall be as shown in the plans.

3. Curb ramp running slopes at unrestrained sites shall not be steeper than 1:12 and cross slope shall be

When altering existing pedestrian facilities where existing site development precludes the accommodation of a ramp slope of 1:12, a running slope between 1:12 and 1:10 is permitted for a rise of 6" maximum and a running slope of between 1:10 and 1:8 is permitted for a rise of 3" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided.

Ramp running slope is not required to exceed 8' in length, except at sites where the plans specify a greater length.

4. If a curb ramp is located where pedestrians must walk across the ramp, then the walk shall have transition slopes to the ramp; the maximum slope of the transitions shall be 1:12. Ramps with curb returns may be used at locations where other improvements provide guidance away from that portion of curb perpendicular to the sidewalk; improvements for guidance are not required at curb ramps for linear pedestrian traffic.

5. Curb ramp detectable warning surfaces shall extend the full width of the ramp and 24" deep. Detectable warning surfaces shall be constructed in accordance with Specification 527. See Sheet 6 for detectable warning layouts. Transition slopes are not to have detectable warnings. Detectable warnings are required on sidewalks at intersecting roads, streets and railroads. For requirements for detectable warnings on sidewalks at intersecting driveways, see Index 310.

6. Where a curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transitions or to the extent that no remaining section of curb or curb and gutter is less than 5 long. The existing sidewalk shall be removed to the nearest joint beyond the transition slope or walk around or to the extent that no remaining section of sidewalk is less than 5 long. For details of Concrete Sidewalk See Index 310.

7. Alpha-numeric identifications are for reference (plans, permits, etc.).

8. Public sidewalk curb ramps are to be paid for as follows:

Ramps, reconstructed sidewalks, walk around sidewalks, sidewalk landings and sidewalk curbs are to be paid for under the contract unit price for Sidewalk Concrete, (___ Thick), SY. Curb transitions and reconstructed curbs are to be paid for under the contract unit price for the parent curb, i.e., Concrete Curb (Type __), LF or Concrete Curb and Gutter (Type __), LF.

When a separate pay item for the removal and disposal of existing curb, curb and gutter, and/or sidewalk is not provided in the plans, the cost of removal and disposal of these features shall be included in the contract unit price for new curb, curb and gutter and/or sidewalk respectively

9. Acceptance Criteria for Detectable Warnings:

- a. The ramp detectable warning surface shall be complete and uniform in color and texture
- b. 90% of the individual truncated domes must comply with the design criteria c. There may be no more than 4 non-complying domes in any one square foot of surface
- d. No two adjacent domes may be non-compliant
- e. Surface may not deviate more than 0.10" from a true plane

10. All sidewalk surfaces, ramp surfaces, and landings with a cross slope shown in this Index to be 0.02 shall be 0.02 maximum. All ramp surfaces and ramp transition slopes with a slope shown in this Index to be 1:12 shall be 1:12 maximum.

GENERAL NOTES:

1.-WORKS PERFORMED SHALL COMPLY WITH THE FOLLOWING A) ALL NOTES WRITTEN ON ALL SHEETS AND / OR PLANS OF THE PRESENT PROJECT

B) ALL APPLICABLE LOCAL, COUNTY OR STATE ORDINANCE. 2.- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE RESPONSIBILITY OF THE CONTRACTOR

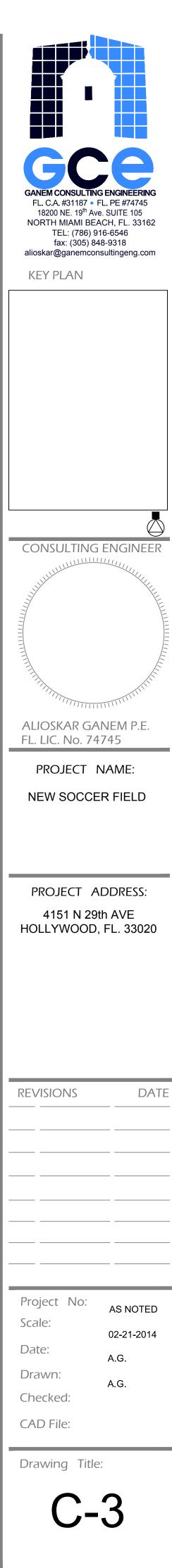
3.- IT SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH THE ENGINEER IN WRITING ANY OMISSIONS OR DISCREPANCIES ARISING FROM THE INFORMATION CONTAINED WITHIN THESE SPECIFICATIONS AND DRAWINGS.

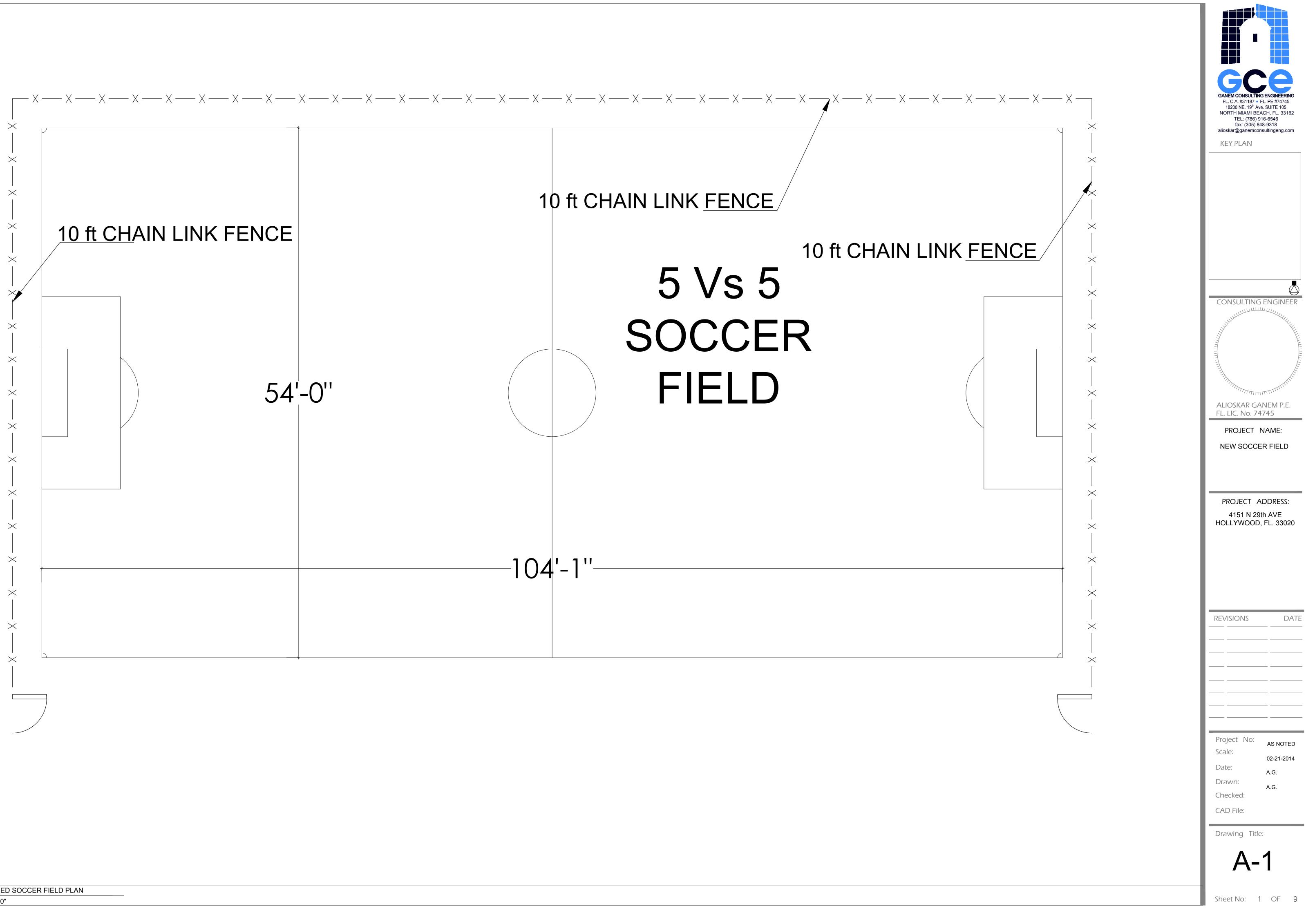
4.- CONTRACTOR AND SUBCONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS AND VERIFY THE LOCATION AND AVAILABILITY OF ALL UTILITIES PRIOR TO SUBMITTING BID.

5.- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND

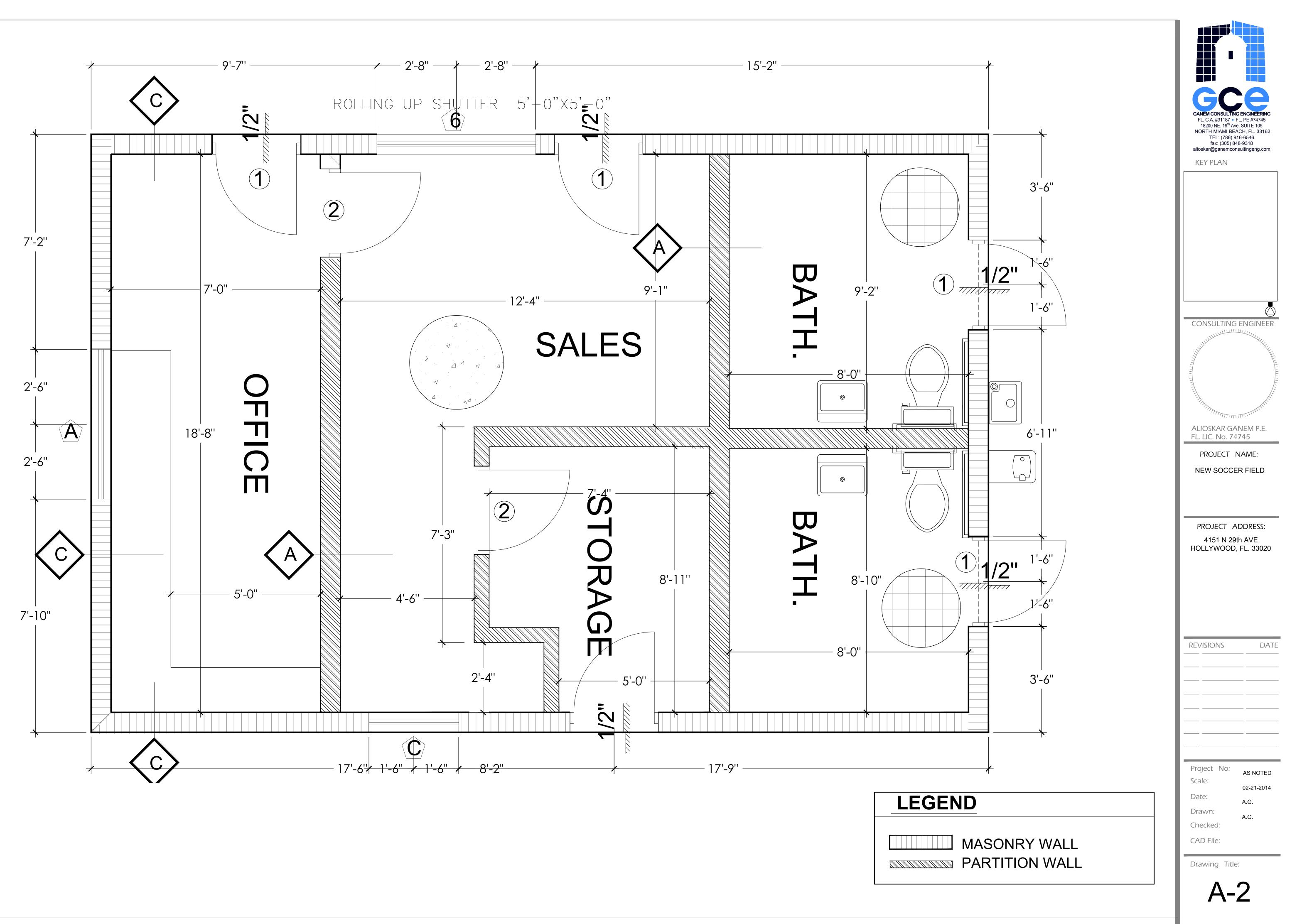
CONSTRUCTION OF THE FORMWORK. 6.- IF ANY DISCREPANCIES ARE FOUND, STOP WORKING AND CONTACT

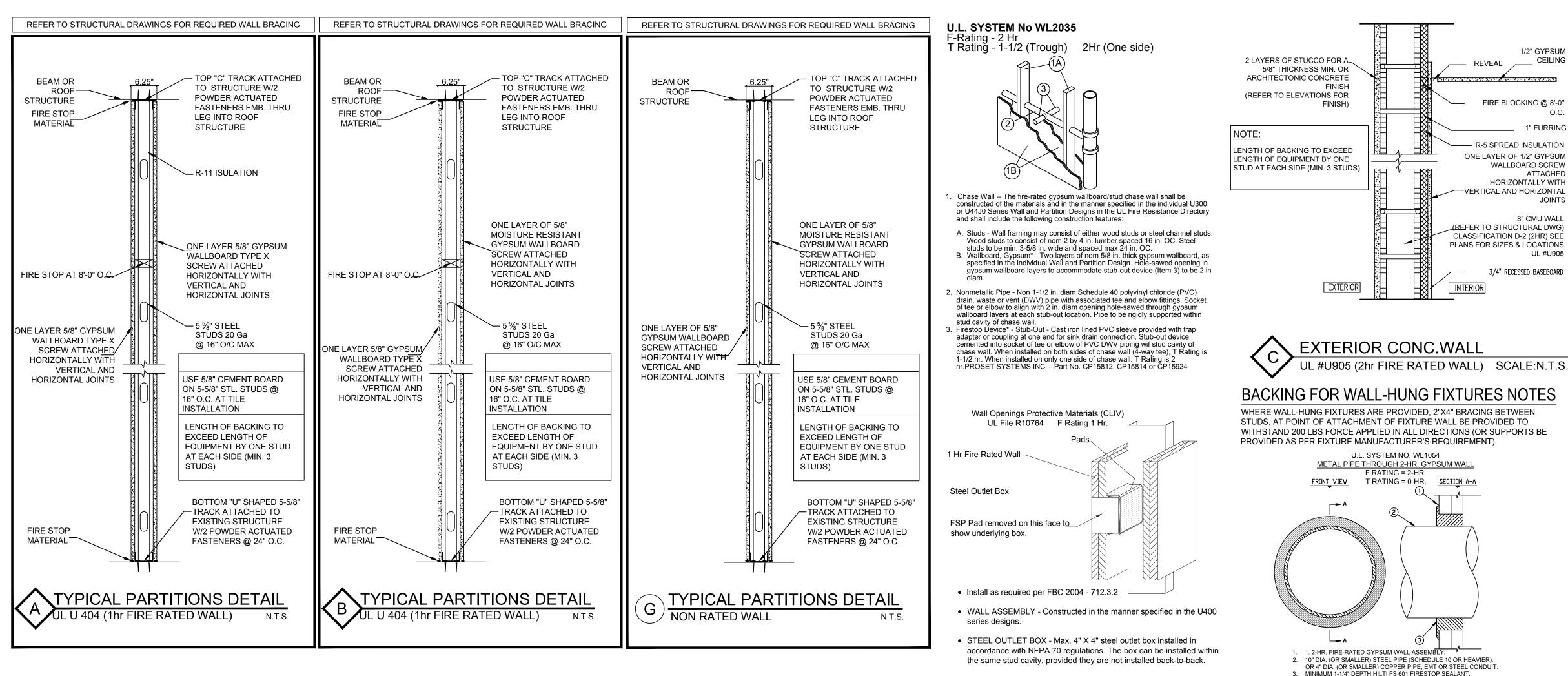
THE OWNER & THE ENGINEER.





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FIRESTOPS NOTES

REQUIRED FIRESTOPS AND DRAFTSTOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRESTOPS OR DRAFT STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER. F.B.C. 2320.1.6

OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RESISTANT-RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRE-STOPPED USING APPROVED METHODS OR MAINTAIN THE FIRE RESISTANCE RATING. NEC 300.21

1H FIRE RATED PARTITIONS

0.018" (NO. 25 CARBON SHEET STEEL GAGE) CHANNEL-SHAPED STUDS 24" ON CENTER WITH ONE FULL-LENGTH LAYER OF 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY ATTACHED WITH 1" LONG NO. 6 DRYWALL SCREWS TO EACH STUD. SCREWS ARE 8" ON CENTER AROUND THE PERIMETER AND 12" ON CENTER ON THE INTERMEDIATE STUD. THE WALLBOARD MAY BE APPLIED HORIZONTALLY WHEN ATTACHED TO 3-5/8" STUDS AND THE HORIZONTAL JOINTS ARE STAGGERED WITH THOSE ON THE OPPOSITE SIDE. SCREWS FOR THE HORIZONTAL APPLICATION SHALL BE 8" ON CENTER AT VERTICAL EDGES AND 12" ON CENTER AT INTERMEDIATE STUDS.

2H FIRE RATED CONCRETE WALL

8" CMU WALL W/5/8" STUCCO AT EXTERIOR AND 5/8" GYPSUM WALL BOARD OVER 1x2 PT WOOD FURRING AND R-5 INSULATION BTW. (SEE STRUCTURAL DETAILS)

DETAIL APPLIES TO ALL LEVEL CHANGES, DOOR OPENINGS AND THRESHOLDS.

CHANGE IN ELEVATION

SCALE: 1-1/2"=1'-0"

INTERIOR FINISH NOTES:

- INTERIOR FINISH SHALL BE IN ACCORDANCE WITH LSC CHAPTER 10 AND FLORIDA BUILDING CODE CHAPTER 8
- CLASSIFICATIONS IN ACCORDANCE WITH ASTM E 84: (LSC 10.2.3.4 & FBC 803.1) 2.1. CLASS A: FLAME SPREAD RATING OF 0-25, SMOKE DEVELOPMENT RATING OF 0-450, NO
- CONTINUED PROPAGATION OF FIRE IN ANY ELEMENT THEREOF WHEN SO TESTED. 2.2. CLASS B: FLAME SPREAD RATING OF 26-75, SMOKE DEVELOPMENT RATING OF 0-450.
- 2.3. CLASS C: FLAME SPREAD RATING OF 76-200, SMOKE DEVELOPMENT RATING OF 0-450. INTERIOR WALL AND CEILING FINISH MATERIALS IN VERTICAL EXITS AND EXIT PASSAGEWAYS
- (LSC 10.2 & FBC 803.5)
- 3.1. RESIDENTIAL: CLASS 'C' INTERIOR WALL AND CEILING FINISH MATERIALS IN EXIT ACCESS CORRIDORS AND OTHER EXITWAYS
- 4.1. RESIDENTIAL: CLASS 'C' INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASS A, B OR C IN ALL ROOMS AND
- ENCLOSED SPACES GYPSUM WALLBOARD TO BE FREE OF CORROSIVE OR TOXIC CHEMICALS INCLUDING SULFUR AND SULFUR DIOXIDE
- PAINTS TO BE LOW OR NO V.O.C. BY BENJAMIN MOORE OR SHERWIN WILLIAMS. SUBSTITUTES MUST BE ACCEPTED BY ARCHITECT
- PAINTS TO BE EGGSHELL THROUGHOUT EXCEPT PAINTS TO BE SATIN IN BATHROOMS AND HIGH GLOSS ON ALL WOOD TRIM.
- BATHROOMS TO RECEIVE MILDEW RESISTANT PAINT.
- INSTALL 5/8" CEMENT BOARD BEHIND TILE IN ALL WET AREAS 11. CEILING HEIGHTS ARE MEASURED FROM EXISTING FLOOR SLAB.
- 12. WALL COVERINGS BY INTERIOR DESIGNER TO BE MIN. CLASS 'C'.

SECTION 2320 HIGH-VELOCITY HURRICANE ZONES - FIRESTOPS

- FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES, BOTH VERTICAL AND HORIZONTAL. FIRESTOPS SHALL FORM EFFECTIVE FIRE BARRIERS BETWEEN STORIES AND BETWEEN A STORY
- AND ROOF SPACE. FIRESTOPPING SHALL BE TIGHTLY AND SECURELY FITTED INTO PLACE AND WHERE OF WOOD,
- SHALL BE NOT LESS THAN A NOMINAL 2 INCHES (51 MM) IN THICKNESS. SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE SOLIDLY FILLED WITH MORTAR OR
- LOOSE INCOMBUSTIBLE MATERIALS SUPPORTED ON INCOMBUSTIBLE SUPPORTS.
- FIRESTOPPING SHALL CONSIST OF 2 INCH (51MM) NOMINAL LUMBER, OR TWO THICKNESS OF 1 INCH (25 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR 1 THICKNESS OF 23/32-INCH (18 MM) PLYWOOD, WITH JOINTS BACKED BY 23/32-INCH (18 MM) PLYWOOD, OR OTHER APPROVED MATERIALS.
- DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 3/8-INCH (9.5 MM) PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.
- REQUIRED FIRESTOPS AND DRAFTSTOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRESTOPS OR DRAFT STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH
- SECTION 2326.3.2.
- FIRESTOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS SPECIFIED IN SECTIONS 2320.2.1 THROUGH 2320.2.6. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS TO LIMIT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE TO 8 FEET (2438 MM).
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS
- OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR FEATURES.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT LEAST ONCE IN THE MIDDLE OF EACH RUN, AT THE TOP AND BOTTOM, AND BETWEEN STUDS ALONG AND IN LINE WITH ADJACENT RUN OF STAIRS OF THE RUN.
- 13. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH APPROVED NONCOMBUSTIBLE MATERIALS, EXCEPT IN THE CASE OF APPROVED METAL CHIMNEY INSTALLATION.
- IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORT. AROUND THE TOP, BOTTOM AND SIDES OF DOOR POCKETS. DRAFTSTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE LOCATIONS
- SPECIFIED IN SECTIONS 2320.3.1 AND 2320.3.

• NELSON FSP PUTTY PADS - Min. 1/4" thickness Putty pad. Putty pads are to be installed to completely cover the exterior surfaces of the outlet box (except for the side of the outlet box against the stud) and completely seal against the stud within the stud cavity.

ROOM FINISH SCHEDULE													
		WALLS	;		FLOOR		B/	ASE		CEILIN	١G		
ROOM NAME	5/8" GWB TYPE "X"	PLYWOOD.	1/2". CEMENT WB. & TILE	TILE	POLISH. CONC.	VCT	WD.	TILE	5/8" GWB TYPE "X"	ACCUST. TILE	EXPOSED	ACCUST. TILE 1HR RATED	CLG HT
OFFICES	•				•				•				9'-0"
SALES	•				•		•		•				9'-0"
				,									
STORAGE	•			ļ	•		•				•		9'-0"
BATHROOM	•			ļ	•		•			•			9'-0"
				ļ	'								
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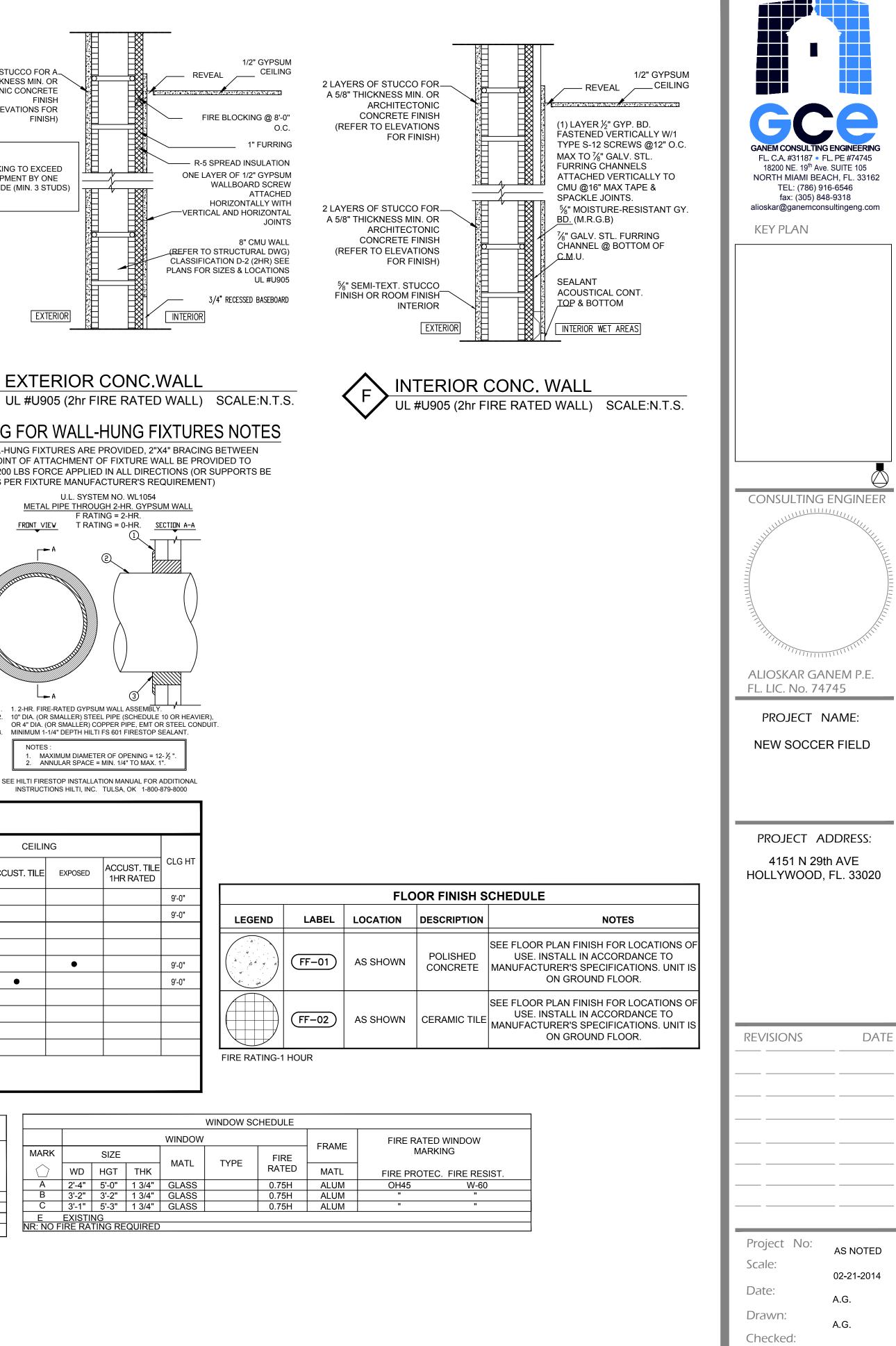
NOTES

MAXIMUM DIAMETER OF OPENING = $12 - \frac{1}{2}$ "

ANNULAR SPACE = MIN 1/4" TO MAX 1

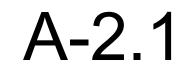
NOTES: FINISHES AND COLORS TO BE DETERMINED BY OWNER - SEE NOTES INTERIOR FINISH NOTES

					DOOR AND FRAME SCHED	ULE							WIN
			DOOR	1			FRAME		MARK		SIZE		
MARK		SIZE NATI TVDE	FIRE		NOTES		WD	HGT	тнк	MA			
\bigcirc	WD	HGT	тнк	MATL	TYPE	RATED	MATL		A	2'-4"	5'-0"	1 3/4"	GL
1	3'-0"	6'-8"	1 3/4"	STL.	EXTERIOR	1.5H	ALUM		В	3'-2"	3'-2"	1 3/4"	GL
2	2'-8"	6'-8"	1 3/4"	WOOD	INTERIOR SWING DOOR	NR	WOOD	PANEL	C	3'-1"	5'-3"	1 3/4"	GL
Е	EXISTI	NG							∃ Е	EXISTI	NG		



CAD File:

Drawing Title:



GENERAL NOTES:

1. COMPARTMENT DOORS SHALL BE SELF CLOSING AND HAVE TO BE PROVIDED WITH:

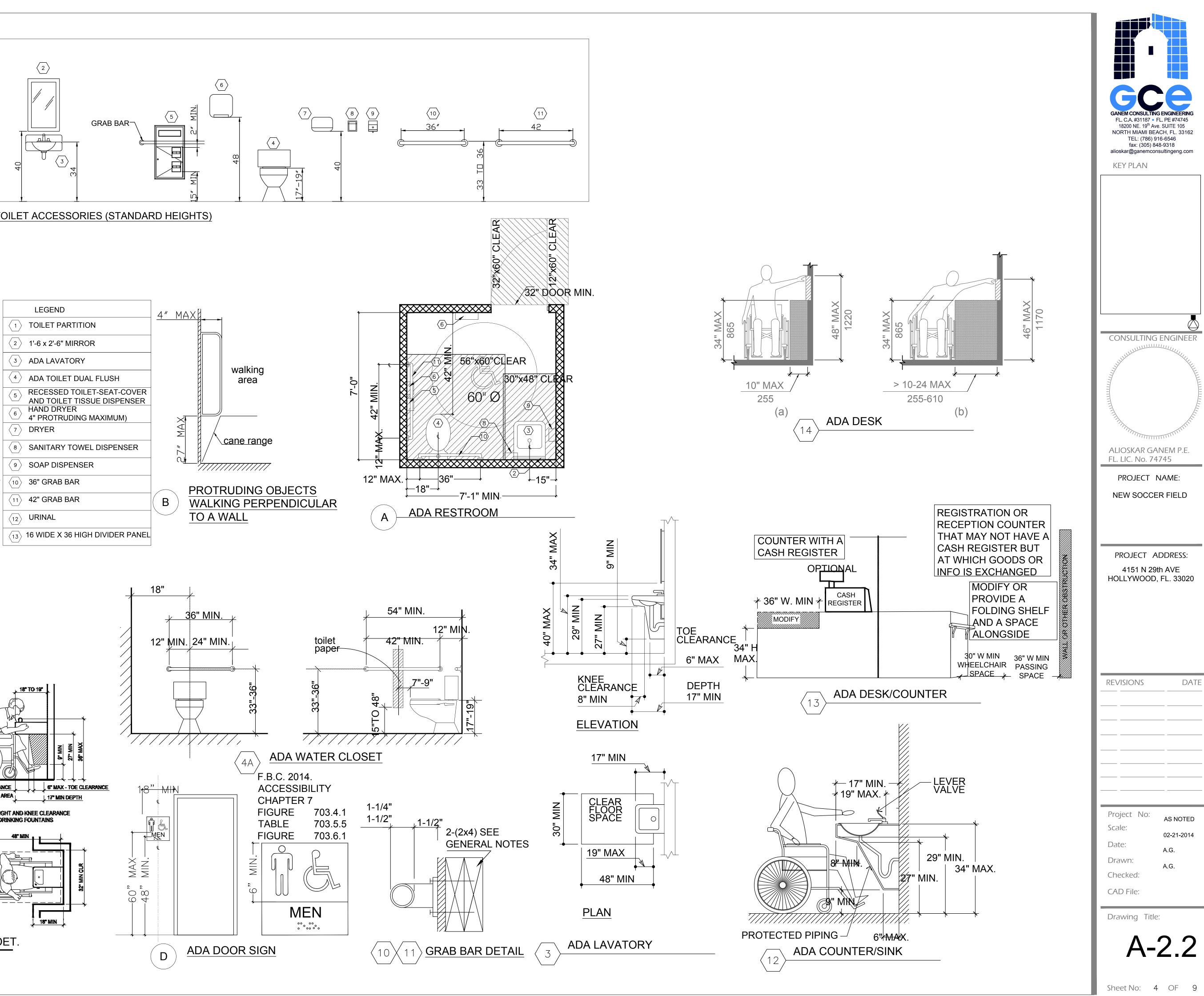
CLOSED FIST. 34" MIN. AND 48"

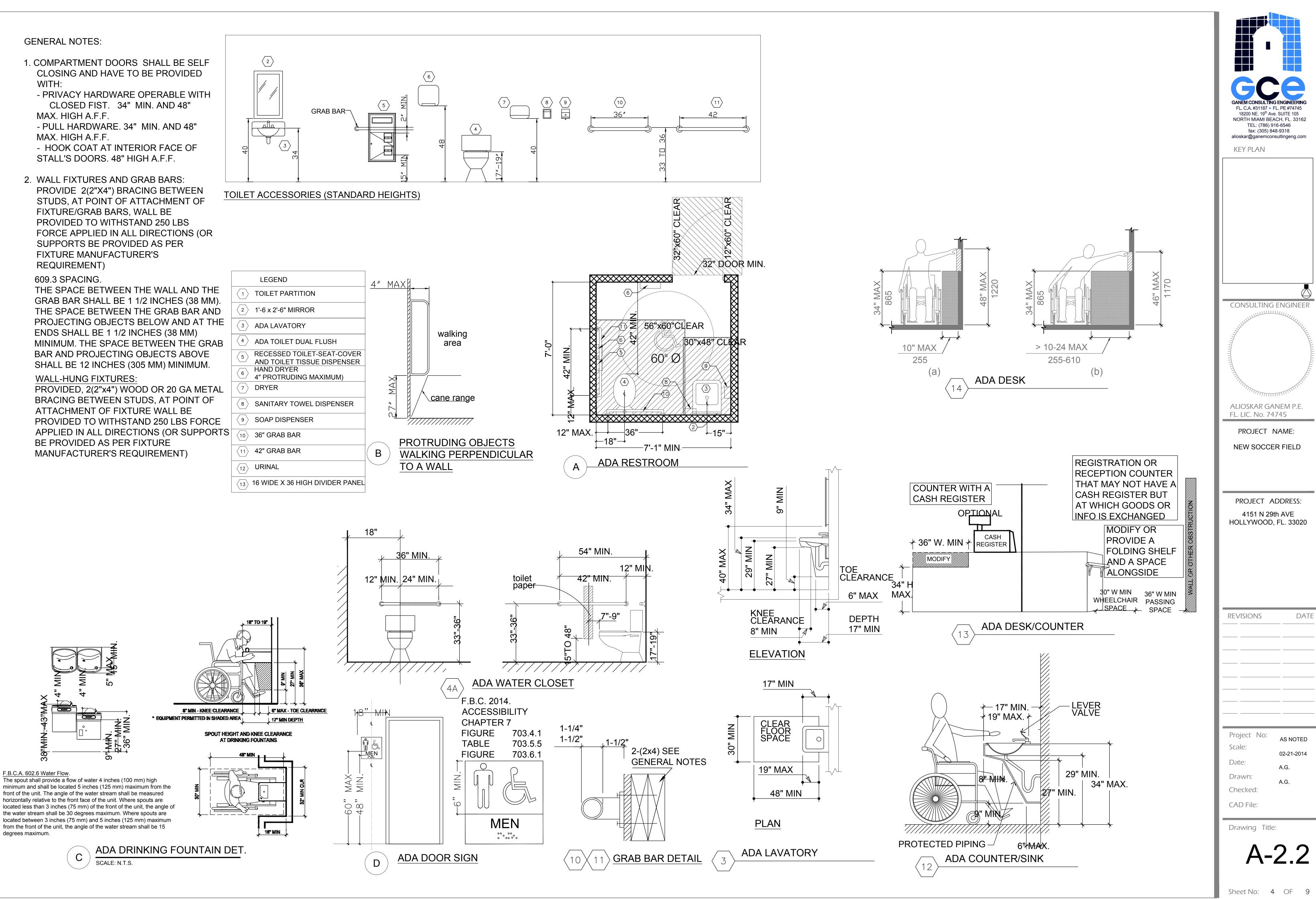
- PULL HARDWARE. 34" MIN. AND 48" MAX. HIGH A.F.F. - HOOK COAT AT INTERIOR FACE OF

2. WALL FIXTURES AND GRAB BARS: PROVIDE 2(2"X4") BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE/GRAB BARS, WALL BE PROVIDED TO WITHSTAND 250 LBS FORCE APPLIED IN ALL DIRECTIONS (OR SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S

THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2 INCHES (38 MM). THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1 1/2 INCHES (38 MM) MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12 INCHES (305 MM) MINIMUM.

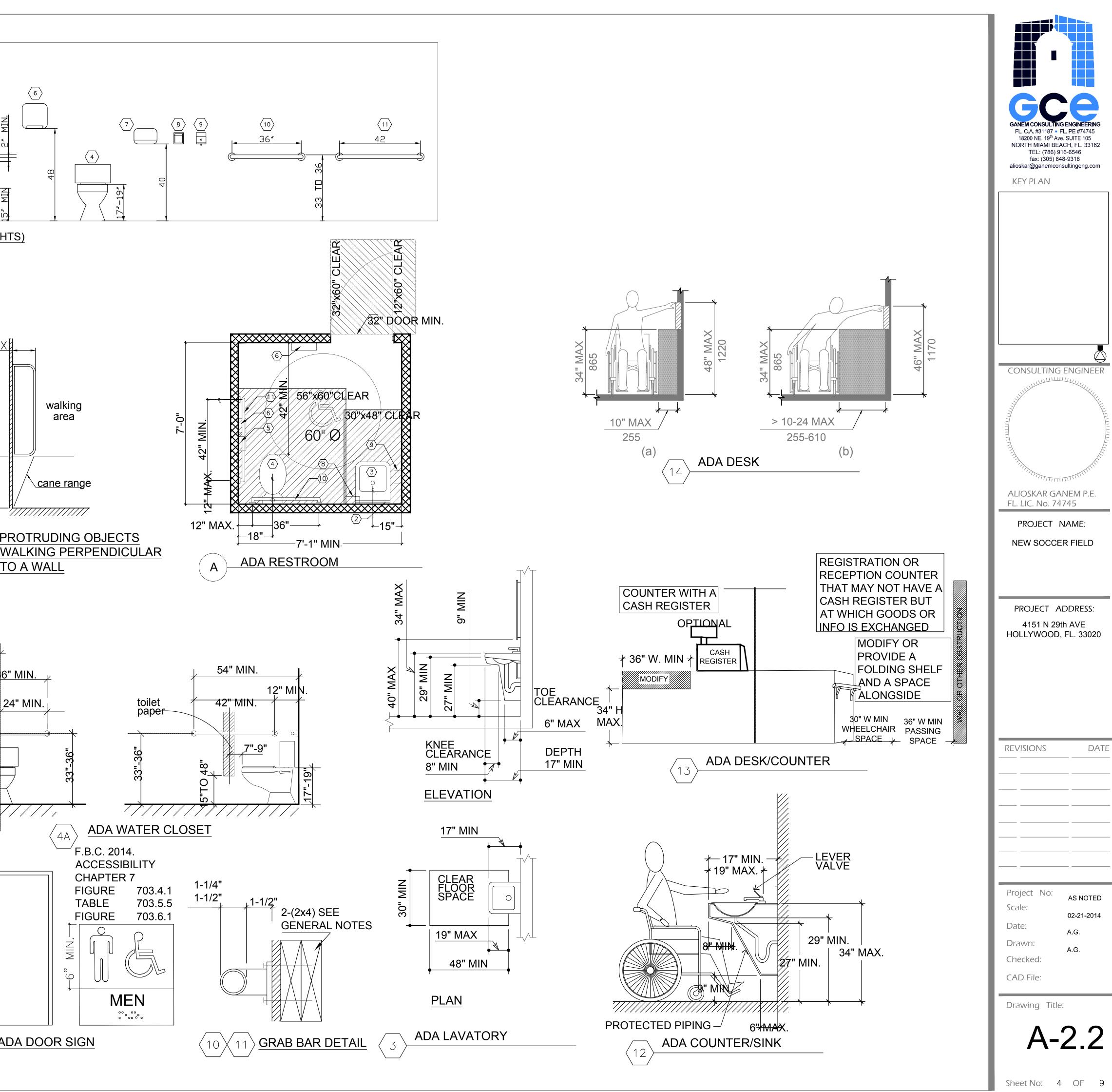
BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE WALL BE PROVIDED TO WITHSTAND 250 LBS FORCE **BE PROVIDED AS PER FIXTURE** MANUFACTURER'S REQUIREMENT)





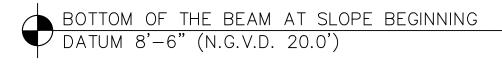
minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum.



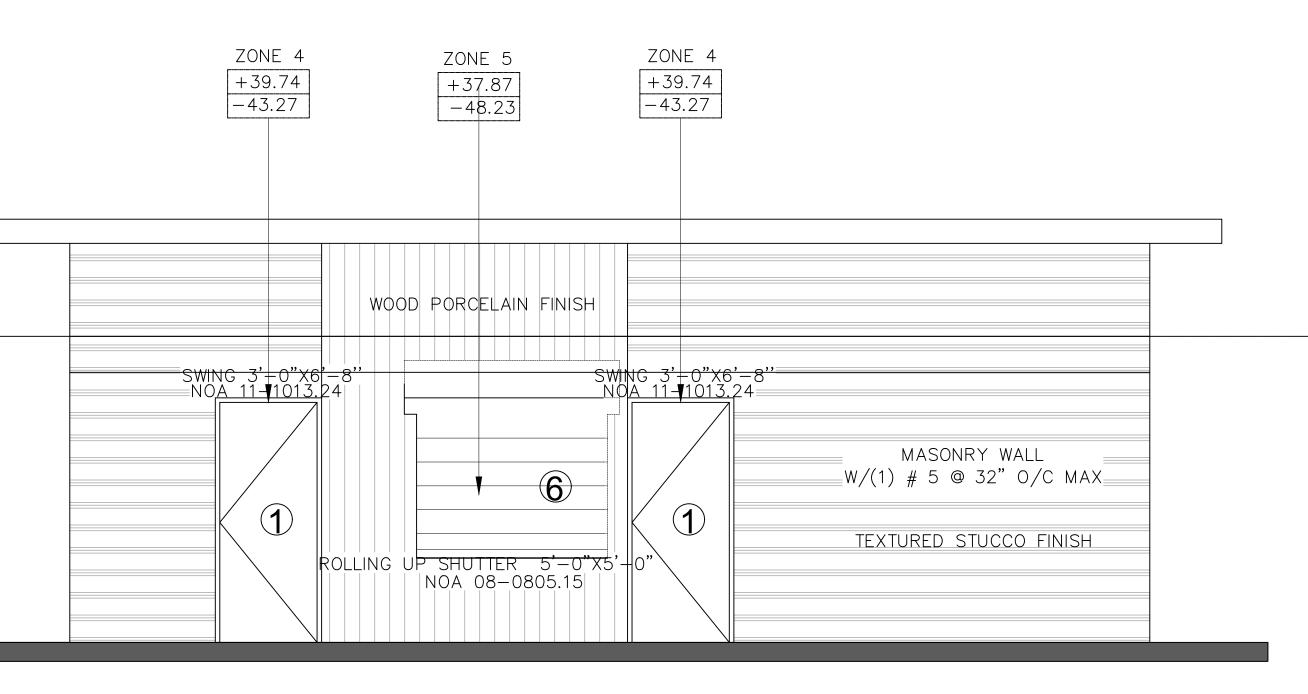


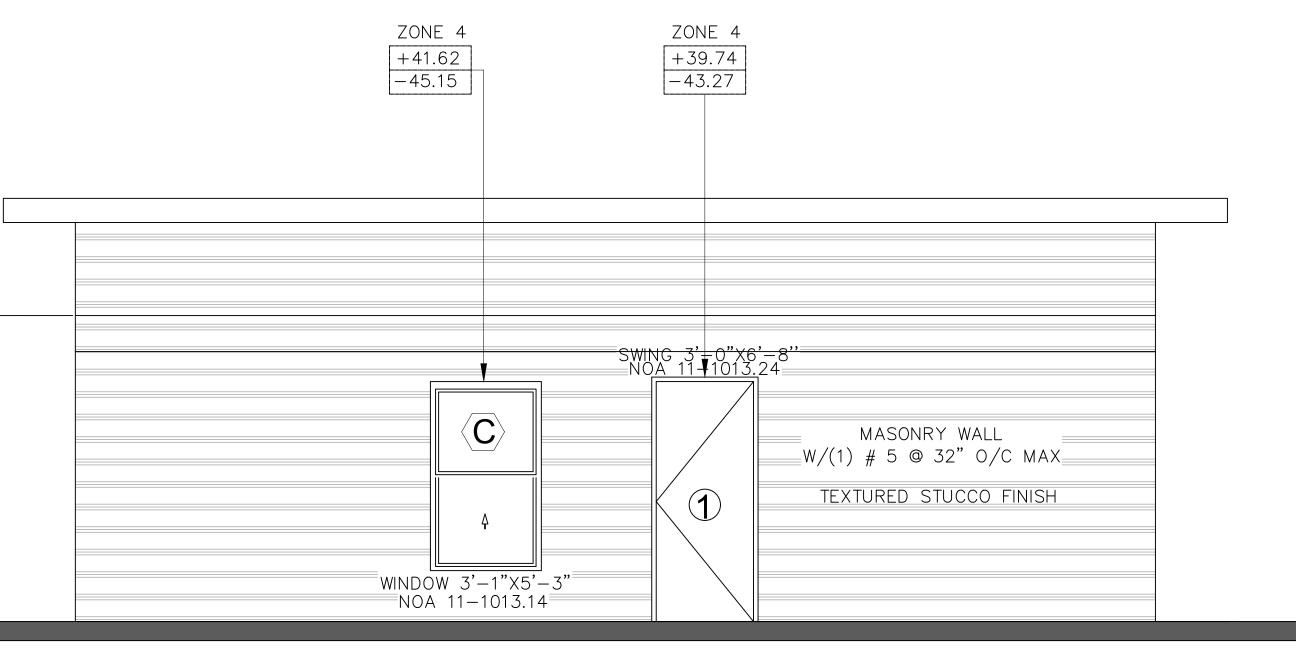


TOP OF PROPOSED FIRST FLOOR DATUM O' = O'' (N G V D 115')



TOP OF PROPOSED FIRST FLOOR DATUM 0'-0" (N.G.V.D 11.5')



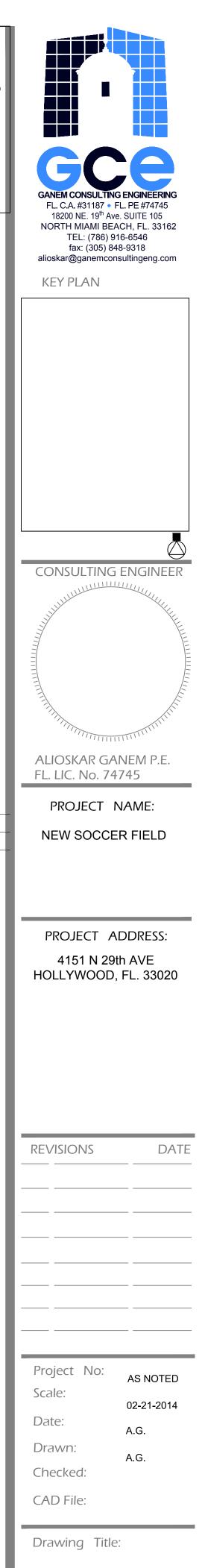


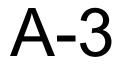
PROVIDE SHOP DRAWINGS FOR NEW WINDOWS AND DOORS ALL NEW WINDOWS AND DOORS MUST BE HIGH AND SMALL MISSILE IMPACT

PROPOSED MAIN ELEVATION

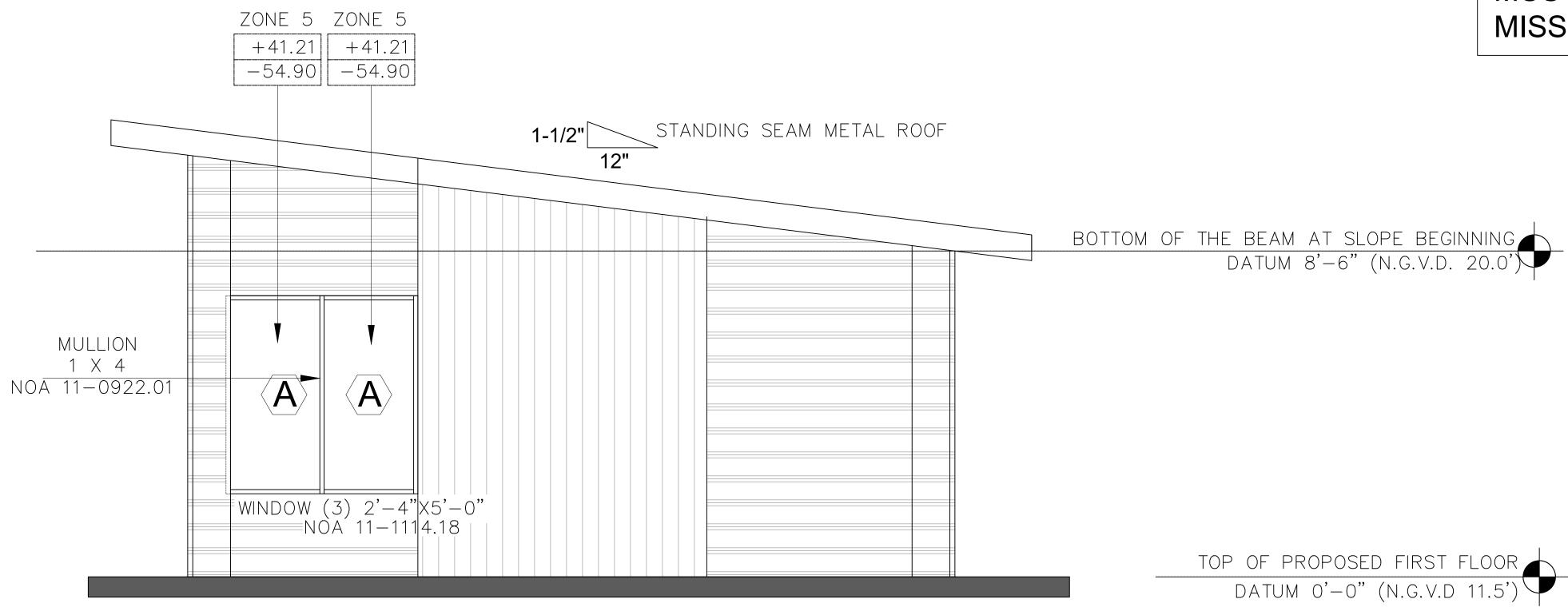
1/4" = 1'-0"

01



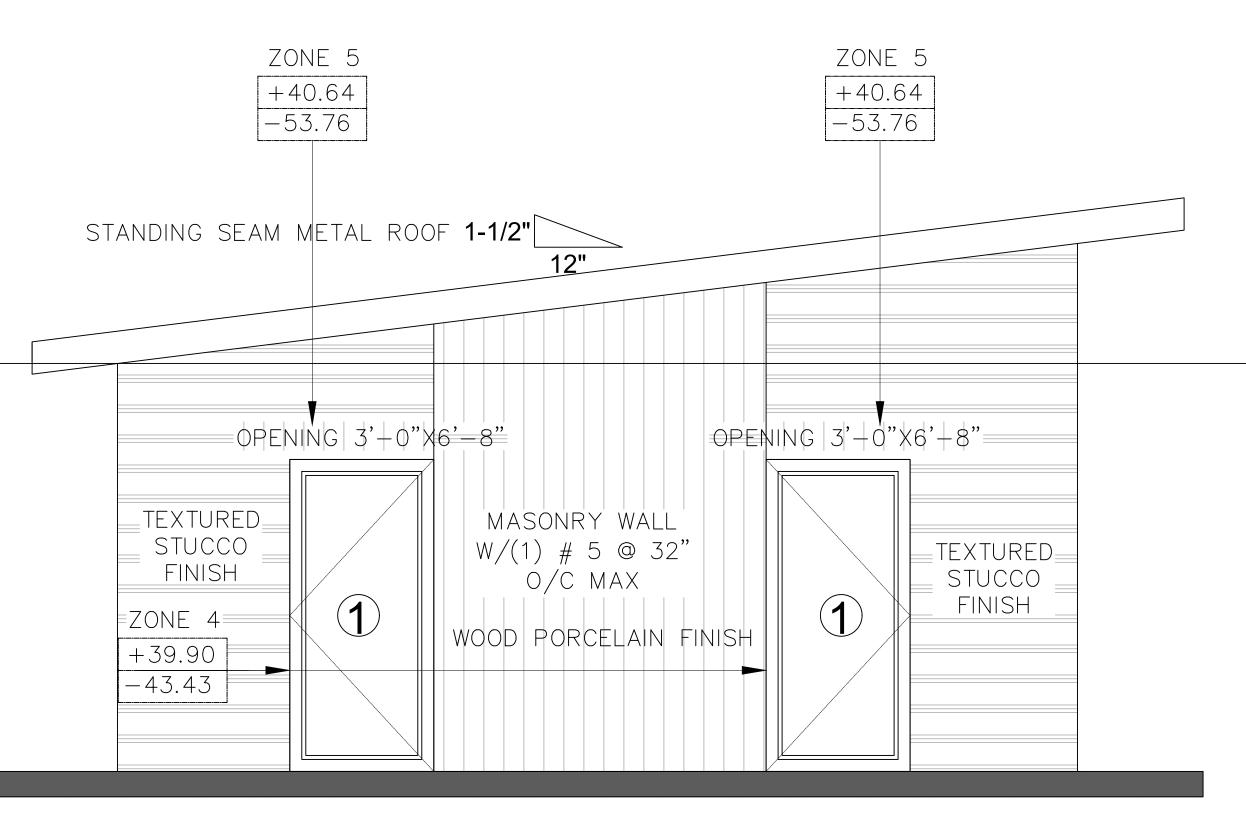






BOTTOM OF THE BEAM AT SLOPE BEGINNING DATUM 8'-6" (N.G.V.D. 20.0')

TOP OF PROPOSED FIRST FLOOR ♥ DATUM 0'−0" (N.G.V.D 11.5')



PROVIDE SHOP DRAWINGS FOR NEW WINDOWS AND DOORS ALL NEW WINDOWS AND DOORS MUST BE HIGH AND SMALL MISSILE IMPACT

PROPOSED FRONT ELEVATION 01 1/4" = 1'-0"

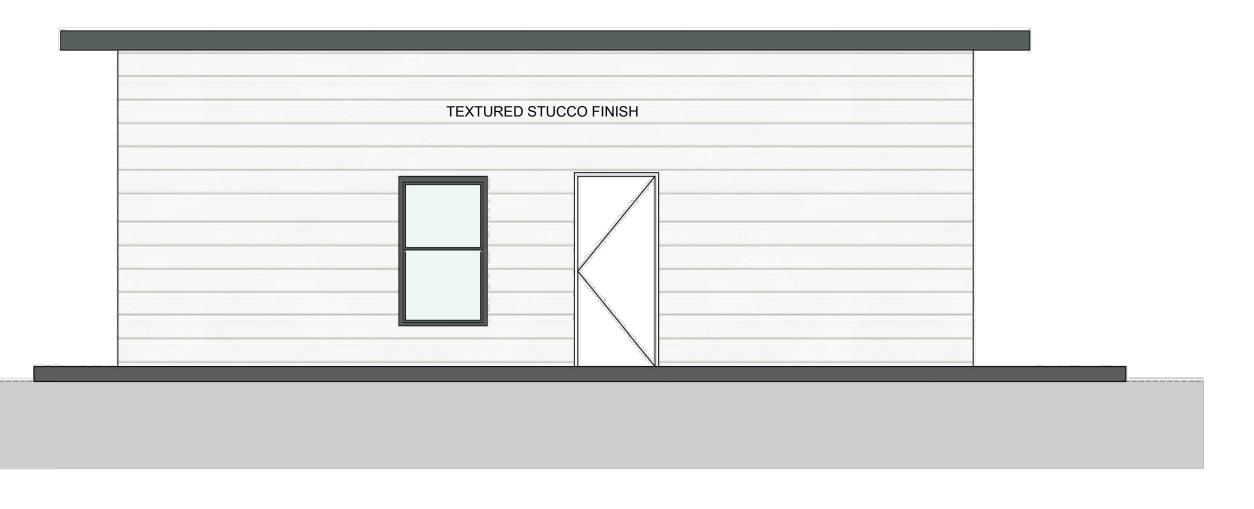
GANEM CONSULTIN FL. C.A. #31187 • 18200 NE. 19 th AN NORTH MIAMI BEI TEL: (786) S fax: (305) 8 alioskar@ganemco KEY PLAN	FL.PE #74745 ve.SUITE 105 ACH, FL. 33162 916-6546 48-9318
CONSULTING	E ENGINEER
ALIOSKAR GA FL. LIC. No. 74 PROJECT NEW SOCCE	ANEM P.E. 4745
PROJECT A 4151 N 29 HOLLYWOOD	oth AVE
	DATE
Project No: Scale: Date: Drawn: Checked: CAD File: Drawing Title	AS NOTED 02-21-2014 A.G. A.G.











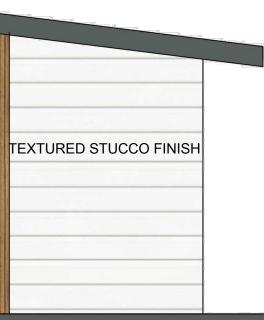




1 COLOR MAIN ELEVATION



COLOR SIDE/REAR ELEVATION







2 COLOR SIDE ELEVATION

G	
	 FL. PE #74745 Ave. SUITE 105 EACH, FL. 33162
TEL: (786) fax: (305) alioskar@ganemc KEY PLAN	848-9318
CONSULTIN	G ENGINEER
2 Million Construction	G ENGINEER
ALIOSKAR G FL. LIC. No. 7 PROJECT	ANEW P.E. 4745
NEW SOCC	
PROJECT 4151 N 2	
HOLLYWOOI	
REVISIONS	Date
Project No:	AS NOTED
Scale: Date:	02-21-2014
Drawn:	A.G.
Checked:	A.G.
CAD File:	
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³ PROPOSED SOCCER FIELD VIEW N.T.S.



4 PROPOSED SOCCER FIELD VIEW N.T.S.



Drawing Title:



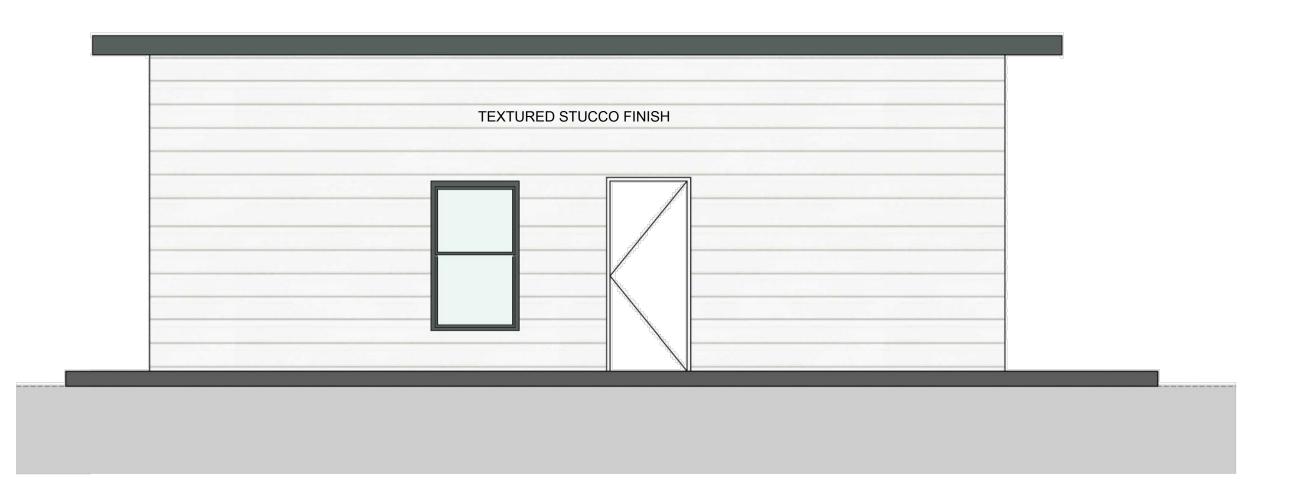




GANEM CONS ENGINEERIN FL. C.A. #31187 • FL. PE #74745 18200 NE. 19th Ave. SUITE 105 NORTH MIAMI BEACH, FL. 33162 TEL: (786) 916-6546 fax: (305) 848-9318 alioskar@ganemconsultingeng.com KEY PLAN CONSULTING ENGINEER ALIOSKAR GANEM P.E. FL. LIC. No. 74745 PROJECT NAME: NEW SOCCER FIELD PROJECT ADDRESS: 4151 N 29th AVE HOLLYWOOD, FL. 33020 REVISIONS DATE Project No: AS NOTED Scale: 02-21-2014 Date: A.G. Drawn: A.G. Checked: CAD File: Drawing Title: A-7



1







COLOR MAIN ELEVATION



COLOR SIDE/REAR ELEVATION

TEXTURED STUCCO FINISH			Geoc Ganen consulting FL. C.A. #31187 • F 18200 NE. 19 th Ave NORTH MIAMI BEA TEL: (786) 91 fax: (305) 84 alioskar@ganemcons KEY PLAN	EL PE #74745 e. SUITE 105 ACH, FL. 33162 16-6546 8-9318
2 COLOR FRONT ELEVATION			CONSULTING	
			ALIOSKAR GA FL. LIC. No. 74 PROJECT N NEW SOCCE	NEM P.E. 745 NAME:
			PROJECT A 4151 N 29t HOLLYWOOD,	h AVE
			REVISIONS	DATE
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2 COLOR SIDE ELEVATION	Shape:624HDShade:65407	offee wood 1PR PPU26-09	Scale: Date: Drawn: Checked: CAD File: Drawing Title	AS NOTED 02-21-2014 A.G. A.G. THE DOWNTON 190
				5 Na deb N 1311-1

Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.

- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.

- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.

- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

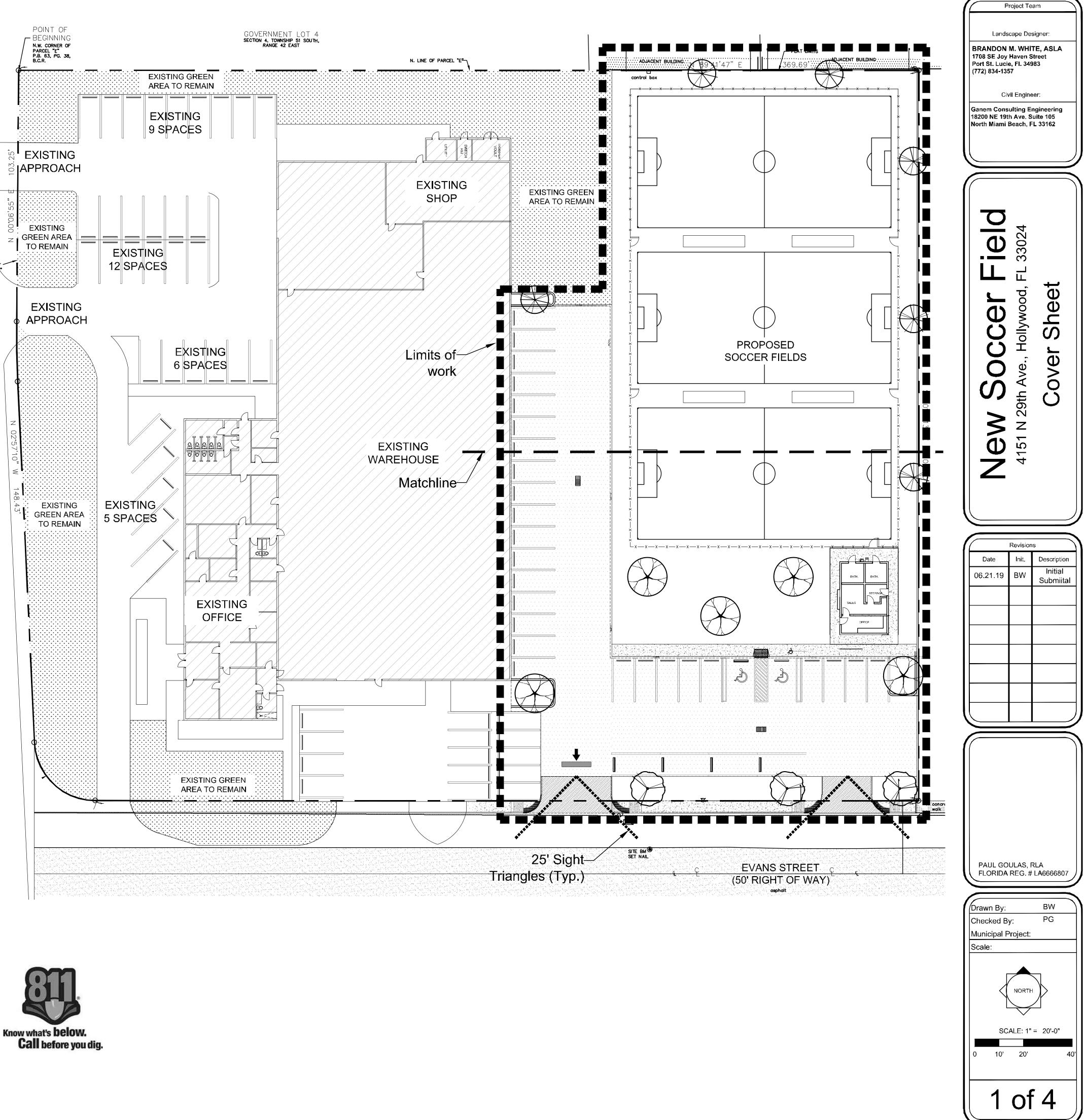
Landscape Data:

IM-1 Low Intensity Industrial and Manufacturing District	Required	Provided	
Perimeter Landscape One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	3 Trees (104'/50')	3 Trees	
Perimeter Hedge: One shrub for every 24 inches in landscape buffer abutting property line. 461' / 2' = 230.5.	230.5 Shrubs (461'/2')	231 Shrubs	
Open Space A minimum of 1 tree per 1,000 s.f. of pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs. 7560 s.f. / 1,000 s.f. = 7.56.	8 Trees (7560 SF/ 1,000 SF)	8 Trees	
Interior Vehicular Use Area Minimum 15% of VUA shall be landscaped. Each island shall contain at least one tree. VUA: 2,071 s.f. x .15 = 311 s.f. Islands: 3	3 Trees 311 s.f.	3 Trees 311 s.f.	
Minimum Tree Sizes Shade trees:2" DBH/ 12' height. Palm trees: 8' of GW or CT.		1	
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	8 Trees 116 Shrubs	14 Trees 231 Shrubs	

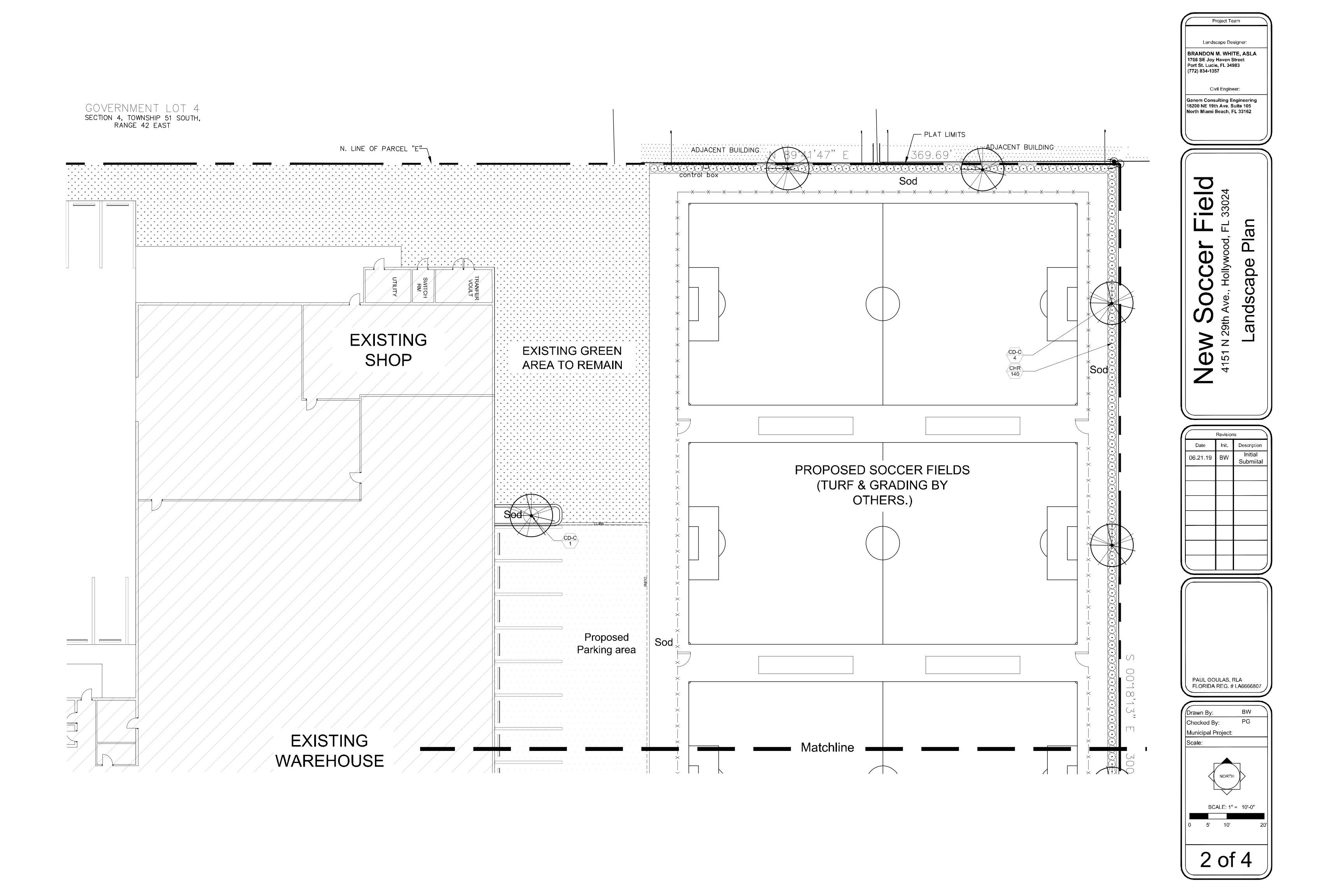
PLANT SCHEDULE NEW SOCCER FIELD

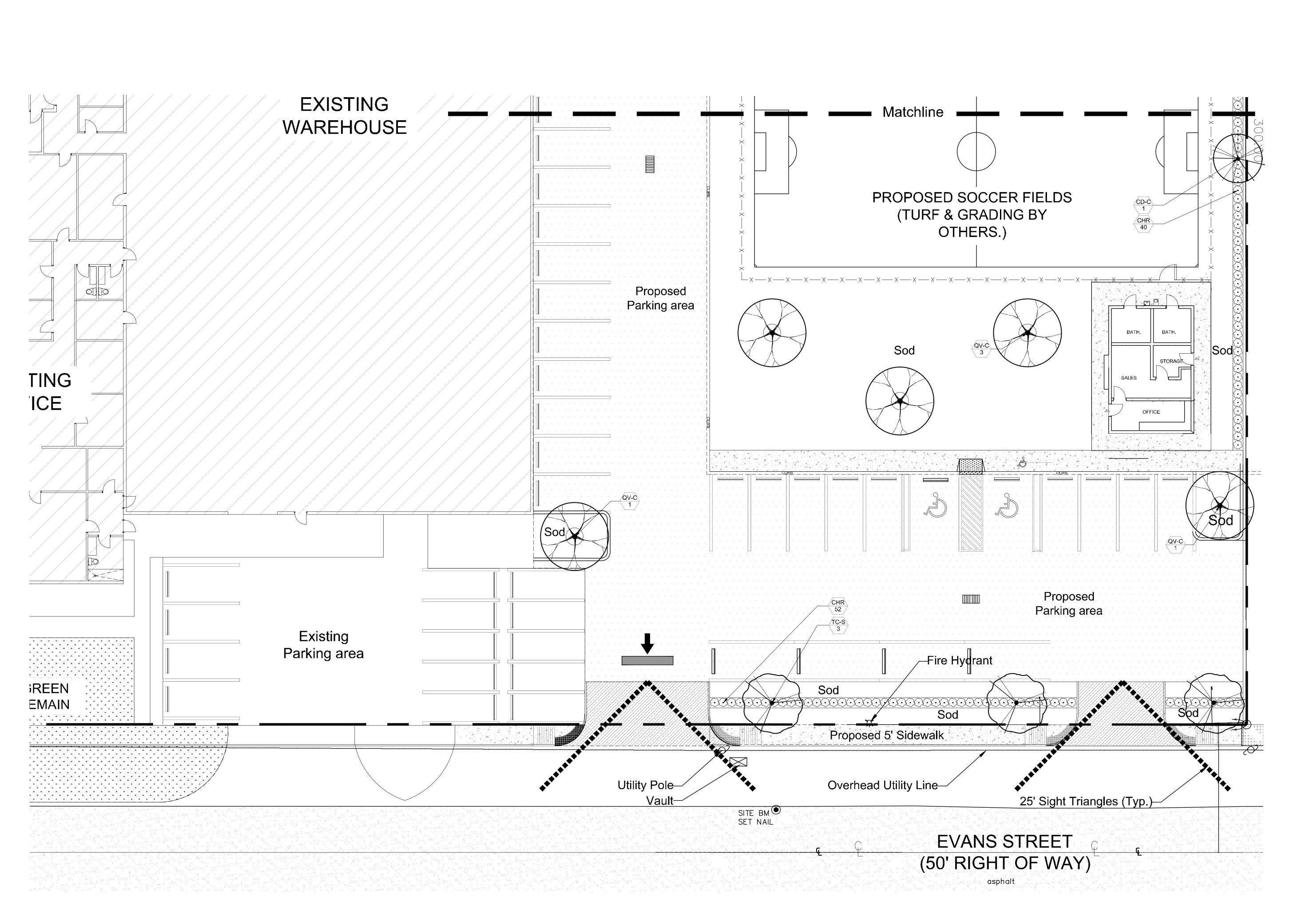
STREET TREES	<u>CODE</u>	BOTANICAL NAME	COMMON NAME	SIZE	<u>QTY</u>	DETAIL
\bigcirc	TC-S	Tabebuia caraiba	Silver Trumpet	FG, 12` HT, 2" DBH MIN, STD, SP	3	
CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	<u>QTY</u>	DETAIL
	CD-C QV-C	Coccoloba diversifolia Quercus virginiana	Pigeon Plum Southern Live Oak	FG, 12` HT, 2" DBH MIN, STD, SP CG, 12` HT x 6` SPR, 2" DBH MIN, SP	6 5	
	CODE	BOTANICAL NAME	COMMON NAME	SIZE	<u>QTY</u>	DETAIL
\bigcirc	CHR	Chrysobalanus icaco `Redtip`	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	232	

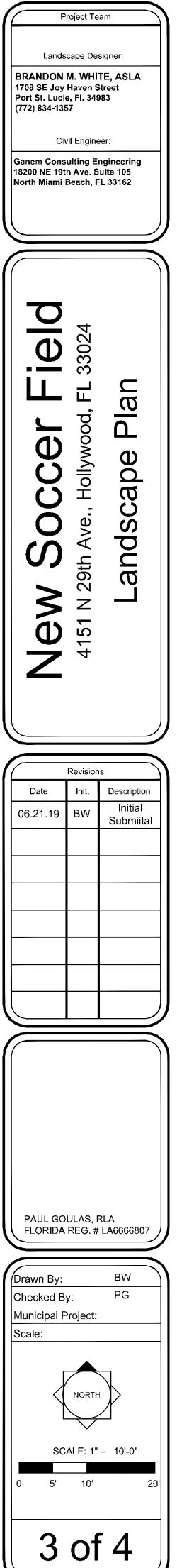
W. LINE OF PARCEL "E"











LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

1.01 SCOPE:

A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

1.02 AGENCY STANDARDS:

A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION: A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be

1.04 ERRORS AND OMISSIONS:

1.05 EXECUTION OF THE WORK:

encountered in the execution or maintenance of any portion of the work. A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the

name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

specifications or contract drawings. Full instruction will be given if such errors are

B. The Landscape Contractor shall not take advantage of errors or omissions in the discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or

documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape

Foreman well versed in plant materials, planting methods, reading blueprints, and coordination

Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding

between job and nursery in order to execute installation correctly and in a timely manner.

the Plans, Specifications and other Contract Documents. If the Superintendent is deemed

C. The Landscape Contractor shall be available for any meetings with the Owner and/or

incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

Landscape Architect during implementation of the job. Any additional work or changes required

A. The Landscape Contractor shall protect all materials and work against injury from any cause and

or negligence in the execution of the work, i.e. damage to underground pipes or cables.

A. The Contractor shall not start work on any changes or "extras" in the project until a written

as a result of failure to communicate with the Owner or Landscape Architect during implementation

shall provide and maintain all necessary safeguards for the protection of the public. He shall be held

responsible for any damage or injury to persons or property which may occur as a result of his fault

agreement setting forth the adjusted prices has been executed by the Owner and the Contractor.

Any work performed on changes or "extras" prior to execution of a written agreement may or may

A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship

and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and

after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in

replacement with plant material of the same variety, type, size, quality and grade as that of the

responsibility to immediately replace any dead or unhealthy material as determined by the

originally specified material. During the guarantee period it shall be the Landscape Contractor's

Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

At the end of the specified guarantee period, any plant required under this contract that is dead or

not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The

Landscape Contractor shall be responsible for the full replacement cost of plant materials for the

A. The Landscape Contractor shall be responsible for the care and maintenance of all

B. The Owner agrees to execute the instructions for such care and maintenance.

codes including the Federal Occupational Safety And Health Act (O.S.H.A.) .

be a responsible entity by furnishing any or all of the following documentary data:

4. The number of regular employees of the organization and length of time the

The successful bidder shall be required to have this coverage in effect before

B. The Owner shall have the right to require the Contractor to furnish bonds covering

stipulated in bidding requirements or specifically required in the Contract

A. A complete list of plants is shown on the drawings, including a schedule of

no additional cost to the Owner, to meet the intent of the drawings.

position. Any necessary pruning shall be done at the time of planting.

and Grades and Standards for Nursery Plants, most current addition.

F. The Landscape Contractor shall install each plant to display its best side.

E. Plants that do not have the normal balance of height and spread typical for the

Documents on the date of execution of the Contract.

the specifications on the drawings shall govern.

respective plant shall not be acceptable.

Landscape Architect at no additional cost to owner.

faithful performance of the Contract and payment obligations arising thereunder as

A. All contractors shall secure and pay for all permits and certificates required for his/her

Substitutions: Substitutions of plant materials or changes in size or spacing of

A. The Owner may require the apparent contractor (s) to qualify him/herself to

organization has been in business under the present name.

Permanent name and address of place of business

aggregate or as required by owner and agreed to in the contract.

first replacement and share subsequent replacement (s) costs equally with the Owner, should the

plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.

A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to

B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and

A financial statement showing assets and liabilities of the company current to date. A listing of not less than (3) completed projects of similar scope and nature.

A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is

done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per

quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur,

materials will be permitted ONLY upon written authorization by the Owner or the Landscape

C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy,

vigorous and equal to or exceed the measurements specified in the plant list, which are the

minimum acceptable sizes. Plants shall be measured before pruning with branches in normal

D. All plant materials shall be nursery grown, unless otherwise noted, Florida #1 or better and shall

comply with all required inspections, grading standards and plant regulations as set forth by the

Adjustments may be required if plants are not installed properly and/or approved by the

Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition

Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance

from the appropriate agency must be obtained by the Contractor prior to issuance of any change

order. If material of smaller size is to be accepted, the quantity of material shall be increased, at

avoid property damage. Adequate warning devices shall be placed and maintained during the

The guranteeing of plant material shall be construed to mean complete and immediate

acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days

satisfactory condition and growth for each specific kind of plant at the end of the guarantee period.

Architect shall be notified and will determine the actions necessary to each query.

C. If plans and specifications are found to disagree after the contract is awarded, the

A. The Landscape Contractor shall have his labor crews controlled and directed by a

Landscape Architect shall be the judge as to which was intended.

B. The Landscape Contractor shall provide a competent English-speaking

will be the responsibility of the Landscape Contractor.

not be compensated for by the Owner at his discretion.

1.06 PROTECTION OF PUBLIC AND PROPERTY:

1.07 CHANGES AND EXTRAS:

replacement plant fail to survive.

1.09 CARE AND MAINTENANCE:

progress of the work.

1.11 CONTRACTOR QUALIFICATION:

1.12 INSURANCE AND BONDING:

beginning work on the site.

1.13 PERMITS AND CERTIFICATES:

class of work.

PART 2: MATERIALS

2.01 PLANT MATERIALS:

1.10 SAFETY:

1.08 GUARANTEE:

Foreman on the project at all times, who shall be fully authorized as the

A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

A. Balled and burlapped plants (B & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

B. Plants with broken, damaged or insufficient rootballs will be rejected.

2.02 INSPECTION

damage to plants.

2.04 STORAGE:

2.03 PROTECTION OF PLANT MATERIALS:

Landscape Architect or Owner's agent.

conformance with these specifications.

2.05 PROTECTION DURING PLANTING

attached to the tree with nails.

be detrimental to good growth.

accordance with the following rates:

7 gallon

or as required by local jusidiction.

2.06 PLANTING SOIL:

2.07 FERTILIZER:

shall be rejected.

larger shrub material.

thoroughly watered.

caused by his work

provided by others.

PART 3: EXECUTION

3.01 DIGGING:

3.02 GRADING:

3.03 PLANTING:

and requirements.

from hole before filling in.

plant's natural character.

C. Trees shall not be poled or topped.

D. Remove all trimmings from site.

3.04 PRUNING

3 Gallon material (3 gal.): 20" x 20" x 18" min

2.08 MULCH:

C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or

D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

A. All plant materials shall be stored on the site in designated areas, specified by the

B. No plant material shall be stored longer than seventy-two (72) hours unless approved by by Landscape Architect and/or owner.

C. The Landscape Architect reserves the right to reject any plant materials not in

D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be

A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or

A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged

B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic vard of planting soil.

C. Tabletized fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tabletized fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in

> 1 gallon container 1 tablet 3 gallon container 2 tablets 5 gallon container 3 tablets

5 tablets

Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of The Landscape Architect reserves the right to inspect and review the application of fertilizer.

A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited. B. All trees and shrub beds shall receive 3" mulch immediately after planting and

Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks

The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage

A. Grading for drainage, swales, etc. to within 4 inches of the finished grade to be

B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

A. Planting shall take place during favorable weather conditions.

B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods

Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil]; 1 Gallon material (1 gal.): 12" x 12" x 12" min.

Lerio material (7 gal.): 30" x 30" x 24" min. Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

G. No planting or laying of sod shall be initiated until the area has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep. H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed

J. All flagging ribbon shall be removed from trees and shrubs before planting.

Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to

L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be topdressed two (2") inches deep with topsoil raked and left in a neat, clean manner.

Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the

Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

3.05 GUYING:

- A. All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.
- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart. D. Stake & Brace all treess larger than 12' oa. See detail.
- Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
- E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
- 3.06 WATER: A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
- B. See General Notes of Landscape Plan for water source.

3.07 SOD:

- A. The Landscape Contractor shall sod all areas indicated on the drawings.
- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, sticks, stones, and other debris
- C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris
- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
- F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface. G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting walks, paving and wood borders to allow for building turf.
- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

3.08 SEEDING:

- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
- B. Application: Argentine Bahia Grass seed 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions
- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.
- 3.09 CLEANING UP A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.
- 3.10 MAINTENANCE: A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations
- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor. excluding vandalism or damage on the part of others, lighting, or hurricane force winds, until final acceptance.
- D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them
- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.
- 3.11 COMPLETION, INSPECTION AND ACCEPTANCE: A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.
- C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

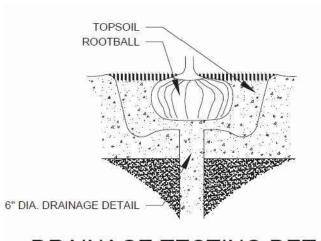
DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

SHALL BE TESTED IN THE FOLLOWING MANNER

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING

- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.
- B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.
- C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL)
- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED. E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE
- TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.





DRAINAGE TESTING DETAIL

