

# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 06/27/2019

Location Address: 4151 N 29TH AVENUE  
Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_ Subdivision: SOUTH FL INDUSTRIAL PARK

Folio Number(s): 8142 04 04 0082

Zoning Classification: IM1 Land Use Classification: \_\_\_\_\_

Existing Property Use: VACANT Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes ( ) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: SOCCER FIELD

Number of units/rooms: \_\_\_\_\_ Sq Ft: \_\_\_\_\_

Value of Improvement: 280,000 Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes ( ) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: RAFAEL SALAVES

Address of Property Owner: 4151 N 29TH AV HOLLYWOOD FL

Telephone: (954) 920360 Fax: \_\_\_\_\_ Email Address: SEBASTIAN.AIZ@IMPACT

Name of Consultant/Representative/Tenant (circle one): LEONARDO PEREIRA

Address: 1124 NE 7 ST HATTHAWAY BEACH Telephone: 786 667 2789

Fax: \_\_\_\_\_ Email Address: VOGLIO PIZZA 19 @ Gmail . COM

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

**RECEIVED**

JUN 27 2019



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2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 4/25/19

PRINT NAME: Rafael Salaves

Date: 4/25/19

Signature of Consultant/Representative: \_\_\_\_\_

Date: 4/25/19

PRINT NAME: LEONARDO JOSE PRZEJORKA

Date: 4/25/19

DL#PG21-530-71-347-0

Signature of Tenant: \_\_\_\_\_

Date: 4/25/19

PRINT NAME: LEONARDO PRZEJORKA

Date: 4/25/19

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for 451 N. 29TH AVE to my property, which is hereby made by me or I am hereby authorizing LEONARDO J. PRZEJORKA to be my legal representative before the 4/25/19 (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 25 day of 2019

RECEIVED

JUN 27 2019

Signature of Current Owner

Rafael Salaves

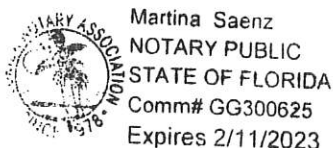
Notary Public

State of Florida

My Commission Expires: 2/23 (Check One) ☐ Personally known to me; OR ☐ Produced Identification DL

CITY OF HOLLYWOOD  
OFFICE OF PLANNING

Print Name



To the city of Hollywood Florida.,

Thank you for the chance of building our Voglio Soccer fields on your city, at 4151 North 29th Avenue, in the city of Hollywood, Florida 33020.

Our team of qualified and experience designers, general construction and sports operations experts have been assembled to capitalize on the specific knowledge, skills and abilities of each firm and individual. As professionals we are passionate about improving communities that promote health of mine, body and spirit.

We have summarized below our goal objectives and expectations for this project for your best understanding:

The plan is to create 3 (three) soccer fields, with half shade roof, fence and lighting to lure and host young and adult soccer leagues, tournaments and other events. The plan will also include 2 (two) restrooms for women and gentlemen, a kid playground and an office of 600 (six hundred) s.f., with an area for drink and snacks, The area in will be built by all aspects of the plan will meet all applicable codes from the city of Hollywood (local, state and federal) and regulations.

Between the fields, as you can see on the sketch, there will be a dividing with meshes each soccer field with benches for the players and visitors. The front and left side of the property will be used and design for parking spaces.

The construction of the project will take approximately 8 months to be completed. It will start as soon as all the city permits are obtained. As we already have our team working on their specific duties. Please find their information below, and feel free to contact them with any concerns that you may have.

General Contractor – AJC Builders  
Enrique Adrian Krauskopf  
Office: (305) 332-0355

Engineering – Ganem Consulting Engineering  
Alioskar Ganem  
Cell: (786)487-4401  
Office: (786)916-6546



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## **DESIGN SOCCER FIELD**

### **4151 N 29<sup>th</sup> AV**

#### **ARQUITECTURAL AND DESIGN COMPONENTS:**

The elements chosen for this project are chosen taking into account the relationship with the existing architectural environment. using traditional materials such as stucco and new materials such as the tile with wood texture, as a contribution of the current architecture.

#### **COMPATIBILITY:**

The use of traditional materials, such as new ones, show respect for the existing architecture as well as for the new one. the architecture proposed in the site combines perfectly with the existing neighboring architecture, since it will handle a geometrical similarity and colors that contrast with the neighbors.

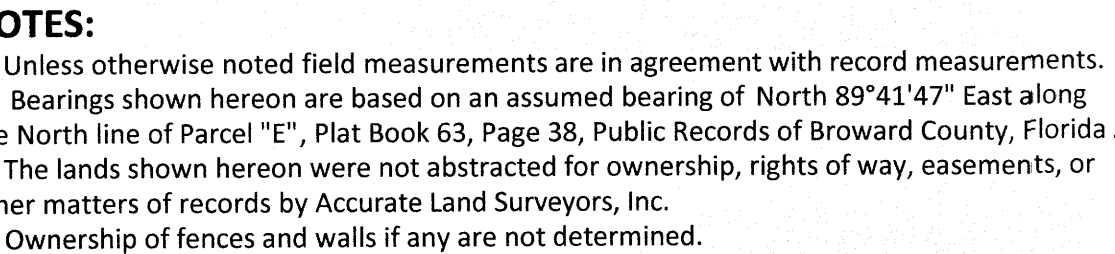
#### **SCALE/MASSING:**

The architecture reflects a simple volumetric mass, similar to the neighboring structures, but unlike these, the volume is a little lower, since the project does not merit a larger size, the volumetric covers less land than required since the project itself develops in the flat area, the roof with a single inclination and eaves give a modern touch, the doors and windows play a simple role in the building.

#### **LANDSCAPING:**

The lot does not have trees, but lends itself to develop an area to plant and give a new environment to the neighborhood.





5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
6. This survey is made for the exclusive use of the certified hereon, to be valid one year from the last date of survey as shown hereon.
7. This survey reflects all obtainable, legible, plottable, recorded matters of survey per Schedule B2 of Westcor Land Title Insurance Company Commitment No: 19-41775, Effective July 10, 2019 @ 8:00am.

8. Perimeter area of the subject property is 110,203 square feet, or 2.5299 acres, more or less.
9. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
10. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.

11. There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.

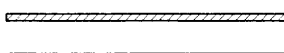
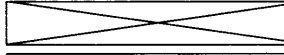
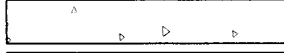

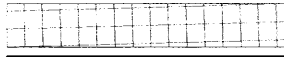
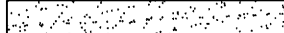
12. There was no evidence of recent street or sidewalk construction or repairs in the process of conducting the fieldwork.

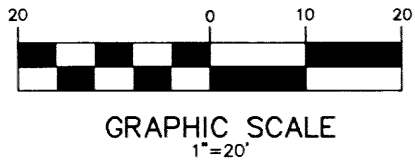
ORIGINAL DATE OF FIELD SURVEY: 11-16-18		DRAWN BY: MLW	
FIELD BOOK: ALS-SU-18-3551		CHECKED BY: MLW	
REVISIONS & SURVEY UPDATES		DATE OF SURVEY & REVISIONS	BY
ALTA/NSPS LAND TITLE SURVEY 19-1839 (NO FIELD VISIT)		08-16-19	MLW
UPDATE SURVEY ADD ADDITIONAL PARCEL 19-1401		06-26-19	MLW

**LEGAL DESCRIPTION:**  
That portion of Parcel "E", South Florida Industrial Park, Plat Book 63, Page 38, Public Records of Broward County, Florida, described as follows;

beginning at the Northwest corner of Parcel "E", run North  $89^{\circ}41'47''$  East along the North line of Parcel "E" 369.69 feet; thence, South  $00^{\circ}18'13''$  East 300.00 feet; thence South  $89^{\circ}41'47''$  West 138.13 feet to a point of curvature; thence Northwest along a curve to the right having a radius of 25 feet and a central angle of  $87^{\circ}21'03''$  an arc distance of 38.11 feet to a Point of Tangency on the West line of Parcel "C"; thence, North  $02^{\circ}57'10''$  West along said West line 48.43 feet to a point of curvature; thence, continue Northerly along said West line on a curve to the right having a radius of 460 feet and a central angle of  $03^{\circ}04'05''$  an arc distance of 24.63 feet to a Point of Tangency; thence North  $00^{\circ}06'55''$  East along said West line 103.25 feet to the Point of Beginning. Said lands containing 2.53 acres.

SYMBOLS & LEGEND OF ABBREVIATIONS:

N.W.N	=	RIGHT OF WAY
N	=	NORTH
S	=	SOUTH
E	=	EAST
W	=	WEST
D.B.	=	DEED BOOK
ENCH.	=	ENCROACH
F.F.	=	FINISHED FLOOR
GAR.	=	GARAGE
C/L	=	CENTERLINE
M/H	=	MANHOLE
(M)	=	MEASURED
P.B.	=	PLAT BOOK
A/C	=	AIR CONDITIONER
P	=	PLAT
*7.00'	=	ELEVATIONS BASED ON N.A.V.D.
SQ. FT.	=	SQUARE FEET
P.B.C.R.	=	PALM BEACH COUNTY RECORDS
M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS
P.O.C.	=	POINT OF COMMENCEMENT
P.O.B.	=	POINT OF BEGINNING
CHATT.	=	CHATTahoochee
F.P.L.	=	FLORIDA POWER & LIGHT
B.C.R.	=	BROWARD COUNTY RECORDS
O.R.B.	=	OFFICIAL RECORDS BOOK
F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION
D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION
D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES
P.R.M.	=	PERMANENT REFERENCE MONUMENT
N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM
⊕	VALVE	⊗ UTILITY BOX
⊙	MANHOLE	⊕ HYDRANT
⊞	BASIN	⊗ UTILITY POLE
⊗	WELL	⊞ VAULT
⊙	WATER METER	⊕ LIGHT
⊙	MONITORING WELL	⊕ BOLLARD
○	PROPERTY CORNER	⊞ AIR CONDITIONER
----		WOOD FENCE
- - - - -		ALUMINUM FENCE
— · — · — · — · —		CHAIN LINK FENCE
=====		PARKING STRIPE
— — — — —		OVERHEAD UTILITY LINES
		6" CONCRETE WALL
		COVERED AREA
		CONCRETE
		BRICK PAVERS
		TILE
		ASPHALT

[illegible]

**SCHEDULE B2 EXCEPTIONS:**

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. (This item is not a matter of survey.)
2. Rights or claims of parties in possession not shown by the Public Records. (This item is not a matter of survey.)
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments on the Land of existing improvements located on the adjoining land. (After upon review of survey to be determined by title examiner.)
4. Easements or claims of easements not shown by the Public Records. (This item is not certifiable.)
5. Taxes or special assessments which are not shown as existing liens by the public records. (This item is not a matter of survey.)
6. Taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable. (This item is not a matter of survey.)
7. Any lien provided by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land. (This item is not a matter of survey.)
8. Restrictions, dedications, reservations, setbacks and easements, if any, as indicated and/or shown on that certain Plat 159, Florida Records in Plat Book 63, at Page(s) 38, of the Public Records of Broward County, Florida. (There are no restrictions, dedications, reservations or setbacks listed on the aforementioned plat. This plat dedicated all thoroughfares and easements shown on said plat to the perpetual use of the public for proper purposes. All other matters of survey are shown hereon.)
9. Easement(s) in favor of Florida Power and Light recorded in Official Records Book 10795, Page 580, of the Public Records of Broward County, Florida. (This item does not affect the subject property.)
10. Existing unrecorded leases and all right thereunder of the lessees and of any person claiming by, through or under lessees. (This item is not a matter of survey.)

### FLOOD INFORMATION:

Community name and number: Hollywood 125113  
Map and panel number: 12011C0566H  
Panel date: 08-18-14  
Index date: 08-18-14  
Flood zone: X(0.2%) & AH  
Base flood elevation: 6' NAVD1988

### BENCHMARK INFORMATION:

City of Hollywood Benchmark Property pipe at Southeast corner of 29th Avenue and Evans Street  
Elevation = 5.95' NAVD1988

**OBSERVED ENCROACHMENTS:**

Driveways in road right of way along the Sotuh and West boundary.

**CERTIFY TO:**  
Gina Sanchez

**CERTIFICATION:**

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes Items 1, 2, 3, 4, 7a, 7b1, 8, 9, 11 (observed evidence) 16 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Florida, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

**ROBERT L. THOMPSON (PRESIDENT)**  
PROFESSIONAL SURVEYOR AND MAPPER No. 3869 - STATE OF FLORIDA

SHEET 1 OF 1	SCALE 1"=20'	SKETCH NUMBER SU-18-3551
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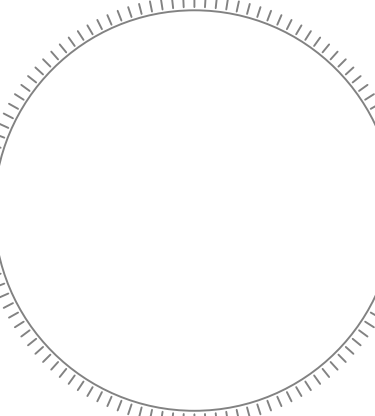
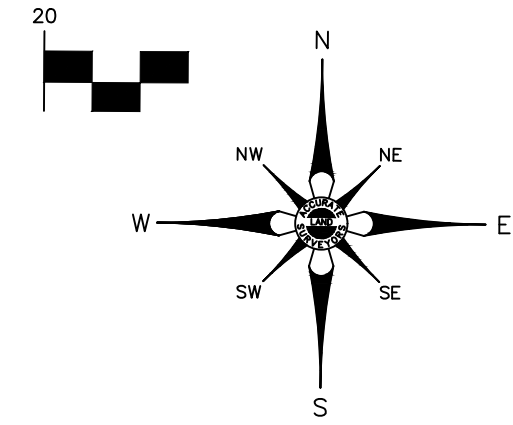




PROJECT ADDRESS: 4151 N 29th AVE,  
HOLLYWOOD, 33020

## Sheet No: OF





## NEW SOCCER FIELD

4151 N 29th AVE  
HOLLYWOOD, FL. 33020

Project No:	AS NOTED
Scale:	02-21-2014
Date:	A.G.
Drawn:	A.G.
Checked:	
CAD File:	

SP-0





PROJECT NAME:  
NEW SOCCER FIELD

REVISIONS

Project No: AS NOTE

Scale: 02-21-201

Date: A.G.

Drawn: A.G.

Checked:


Drawing Title:

Sheet No: 2 OF



1 SITE PLAN  
1/16" = 1'-0"



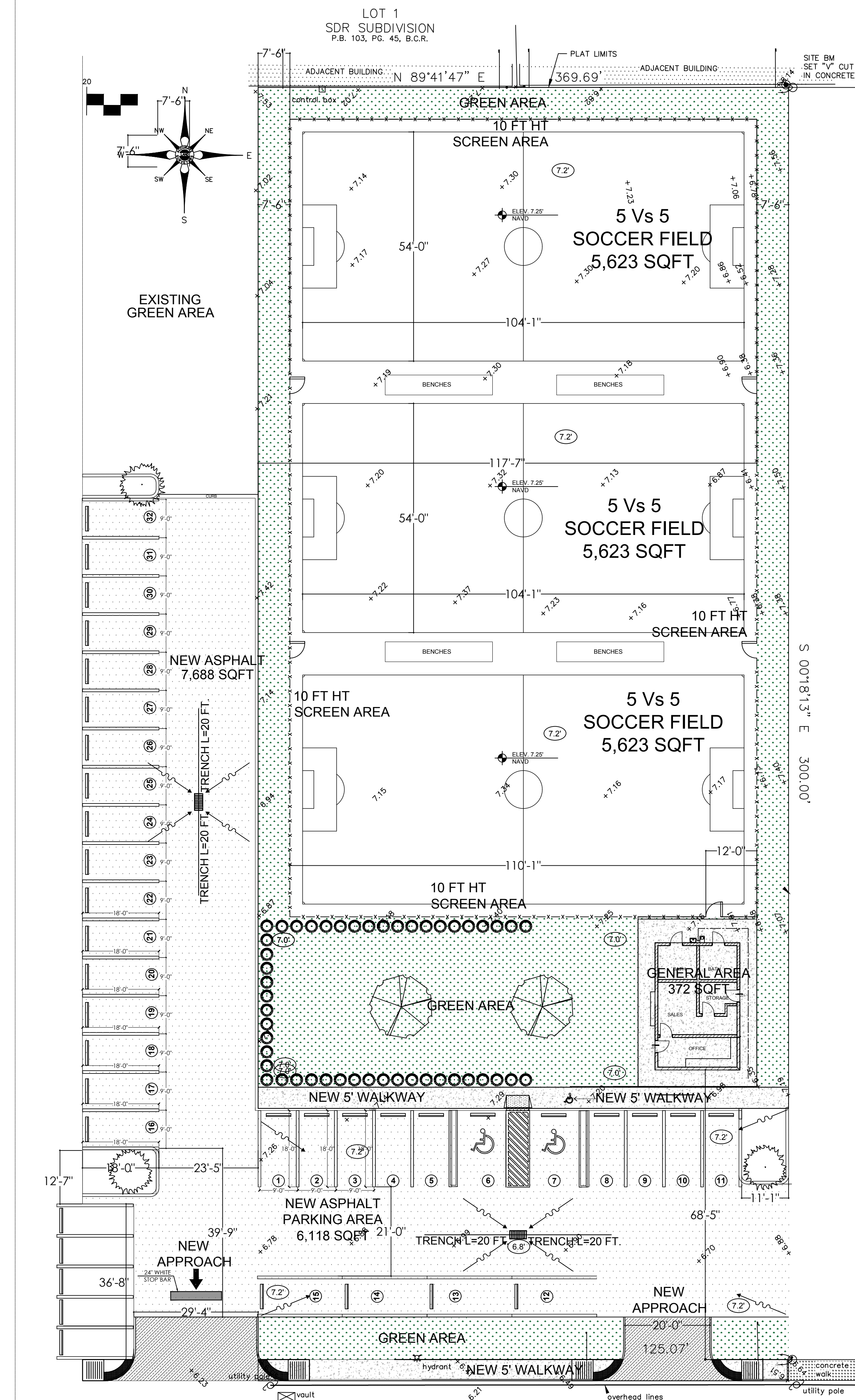



PROJECT ADDRESS:  
4151 N 29th AVE  
OLLYWOOD, FL. 33020

[illegible]

Drawing Title:

Sheet No: 1 OF 3



 **1** SITE PLAN  
1/16" = 1'-0"







1. All mud, peat, peat or sand and clay with high percentage of organic material, and/or existing unsuitable fill material, shall be removed to natural litterrock or sand within the proposed pavement area.
2. Construct 12" stabilized subgrade (CBR 40 at 98% compaction) a minimum of 1 foot beyond the edge of the proposed road.
3. Parking Pavement:
  - 1" asphaltic concrete type III, over 6" well-compacted base (98% compaction) piled, hard.

Before placing any new asphalt, saw-cut the existing pavement a minimum of 1 foot (or wider if it is damaged) at every location where the new asphalt pavement abuts the existing one.

5. The sequence of construction shall be such that all underground installations of any kind that will be damaged under any pavement or within 10 feet of its edges shall be installed prior to construction of the base.

All existing sodded areas within the right of way, must be sodded again if damaged during construction.



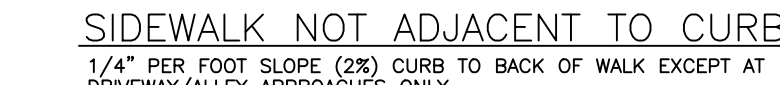
N.T.S



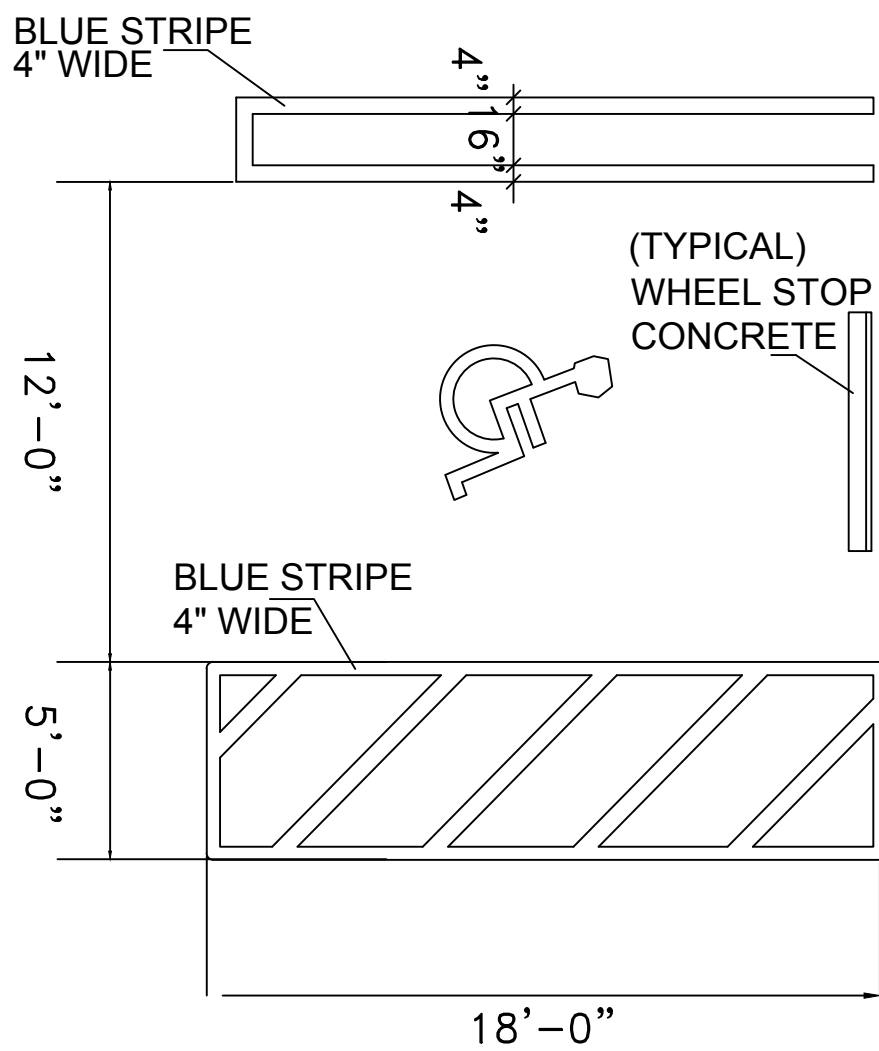
SIGN SHALL COMPLY WITH  
FLORIDA ACCESSIBILITY CODE  
FOR BUILDING CONSTRUCTION,  
1994 EDITION. AND WITH THE  
LATEST REQUIREMENTS OF  
GOVERNING BODIES HAVING  
JURISDICTION



## SCALE:NTS



## SCALE:NTS



The diagram illustrates a cross-section of a driveway. It shows a transition from a 2% slope to a 1/4 inch per foot slope over a 3-foot distance. The top of the driveway curve is indicated, along with the back of the sidewalk, the lip of the gutter, and the flow line of the gutter. The slope varies from 2% to 1/4 inch per foot over a distance of 3 feet.

## SCALE:NTS



- 1.-WORKS PERFORMED SHALL COMPLY WITH THE FOLLOWING
  - A) ALL NOTES WRITTEN ON ALL SHEETS AND / OR PLANS OF THE PRESENT PROJECT.
  - B) ALL APPLICABLE LOCAL, COUNTY OR STATE ORDINANCE.
- 2.- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- 3.- IT SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY WITH THE ENGINEER IN WRITING ANY OMISSIONS OR DISCREPANCIES ARISING FROM THE INFORMATION CONTAINED WITHIN THESE SPECIFICATIONS AND DRAWINGS.
- 4.- CONTRACTOR AND SUBCONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS AND VERIFY THE LOCATION AND AVAILABILITY OF ALL UTILITIES PRIOR TO SUBMITTING BID.
- 5.- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE FORMWORK.
- 6.- IF ANY DISCREPANCIES ARE FOUND, STOP WORKING AND CONTACT THE OWNER & THE ENGINEER.

## KEY PLAN

CONSULTING ENGINEER

ALIOSKAR GANEM P.E.  
L. LIC. No. 74745

PROJECT NAME:

NEW SOCCER FIELD

PROJECT ADDRESS:

4151 N 29th AVE  
OLLYWOOD, FL. 33020

[illegible]

Project No: AS NOTED

02-21-2014

Date: \_\_\_\_\_ AC \_\_\_\_\_

Drawn: A.G.

hecked:

AD File:

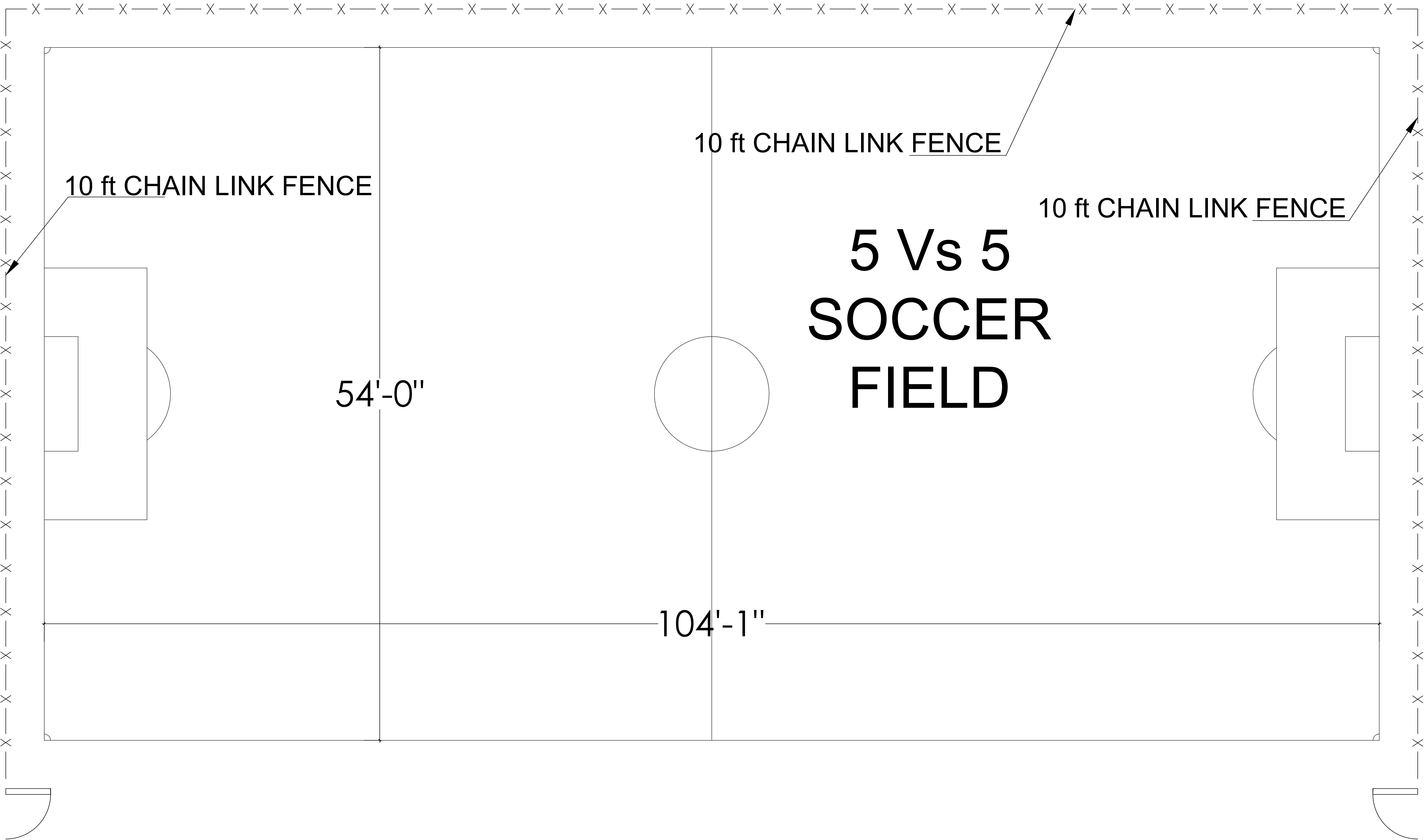
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REVISIONS	DATE

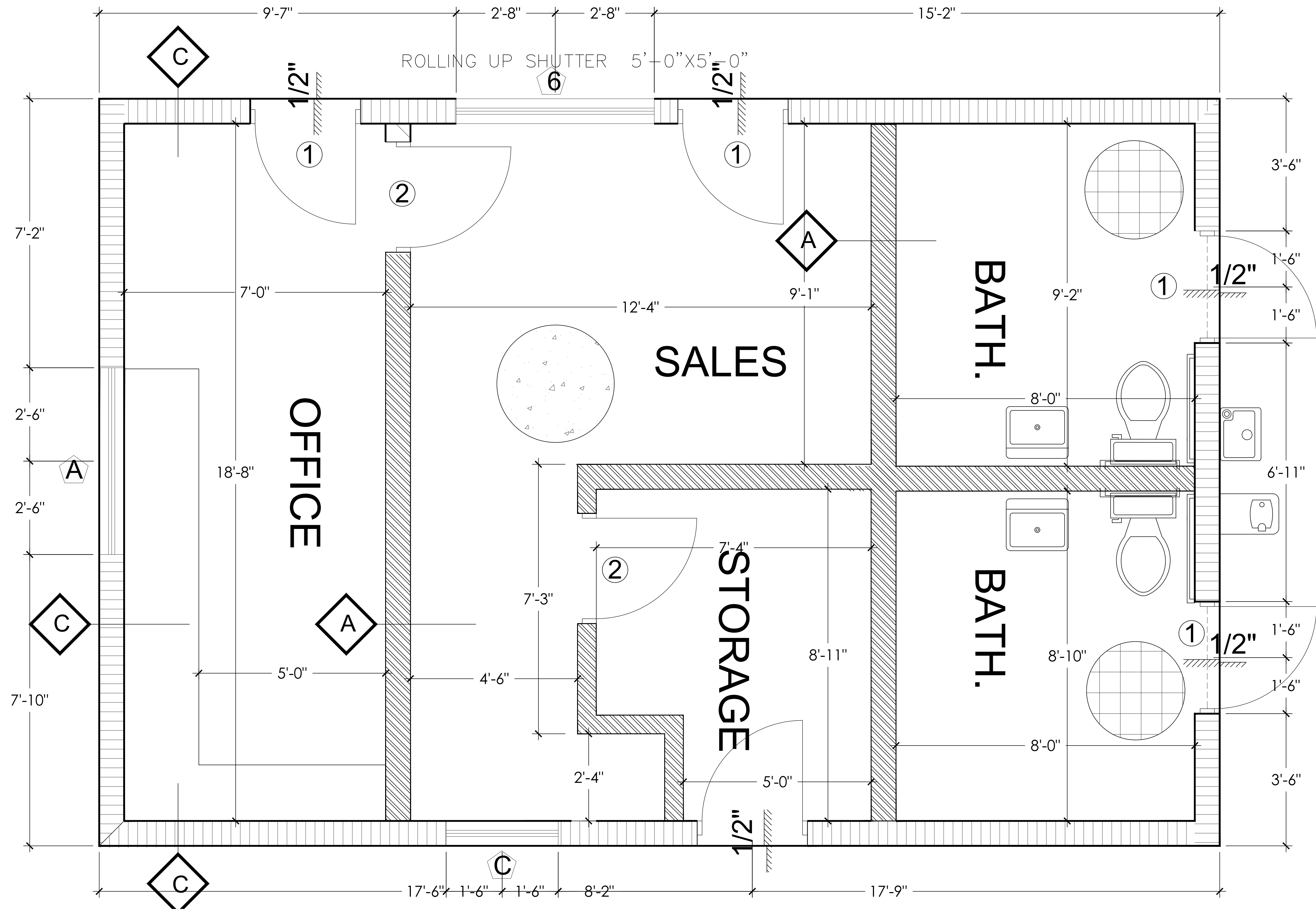
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Scale: 02-21-2014  
Date: A.G.  
Drawn: A.G.  
Checked:  
CAD File:

Drawing Title:

A-1



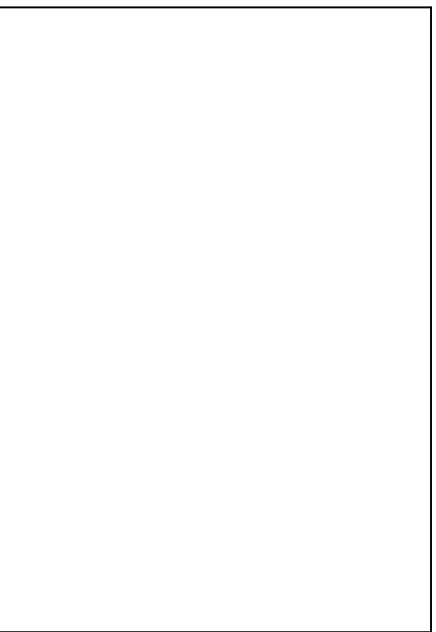




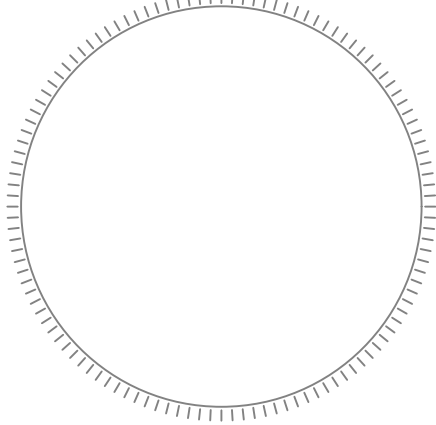
**LEGEND**

MASONRY WALL

PARTITION WALL



CONSULTING ENGINEER



ALIOSKAR GANEM P.E.  
FL. LIC. No. 74745

PROJECT NAME:  
NEW SOCCER FIELD

PROJECT ADDRESS:  
4151 N 29th AVE  
HOLLYWOOD, FL. 33020

REVISIONS	DATE

Project No: AS NOTED  
Scale: 02-21-2014  
Date: A.G.  
Drawn: A.G.  
Checked:  
CAD File:

Drawing Title:

A-2







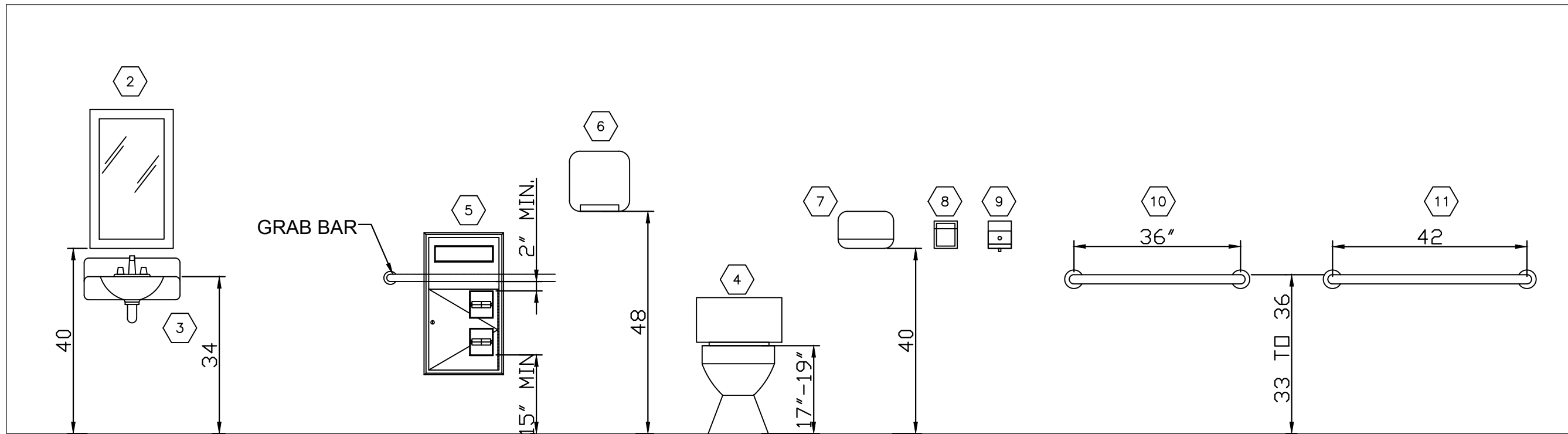
GENERAL NOTES:

1. COMPARTMENT DOORS SHALL BE SELF CLOSING AND HAVE TO BE PROVIDED WITH:
- PRIVACY HARDWARE OPERABLE WITH CLOSED FIST. 34" MIN. AND 48" MAX. HIGH A.F.F.
  - PULL HARDWARE. 34" MIN. AND 48" MAX. HIGH A.F.F.
  - HOOK COAT AT INTERIOR FACE OF STALL'S DOORS. 48" HIGH A.F.F.

2. WALL FIXTURES AND GRAB BARS: PROVIDE 2(2"x4") BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE/GRAB BARS, WALL BE PROVIDED TO WITHSTAND 250 LBS FORCE APPLIED IN ALL DIRECTIONS (OR SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S REQUIREMENT)

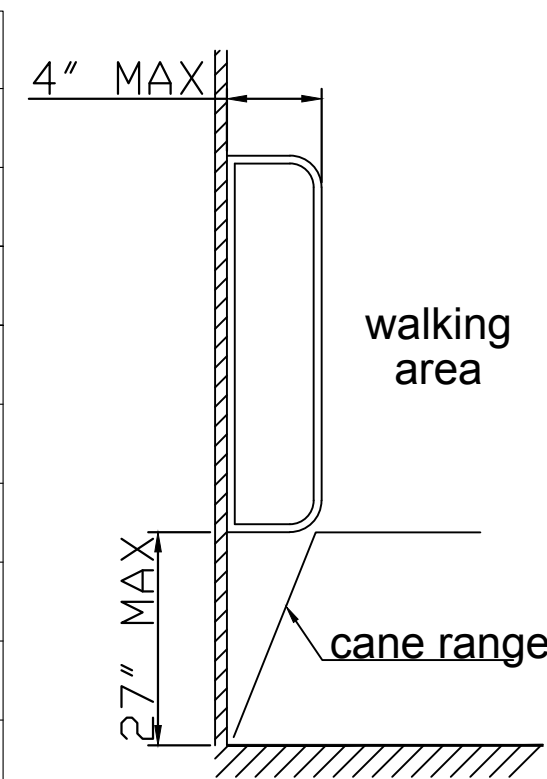
609.3 SPACING. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2 INCHES (38 MM). THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1 1/2 INCHES (38 MM) MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12 INCHES (305 MM) MINIMUM.

WALL-HUNG FIXTURES: PROVIDED, 2(2"x4") WOOD OR 20 GA METAL BRACING BETWEEN STUDS, AT POINT OF ATTACHMENT OF FIXTURE WALL BE PROVIDED TO WITHSTAND 250 LBS FORCE APPLIED IN ALL DIRECTIONS (OR SUPPORTS BE PROVIDED AS PER FIXTURE MANUFACTURER'S REQUIREMENT)

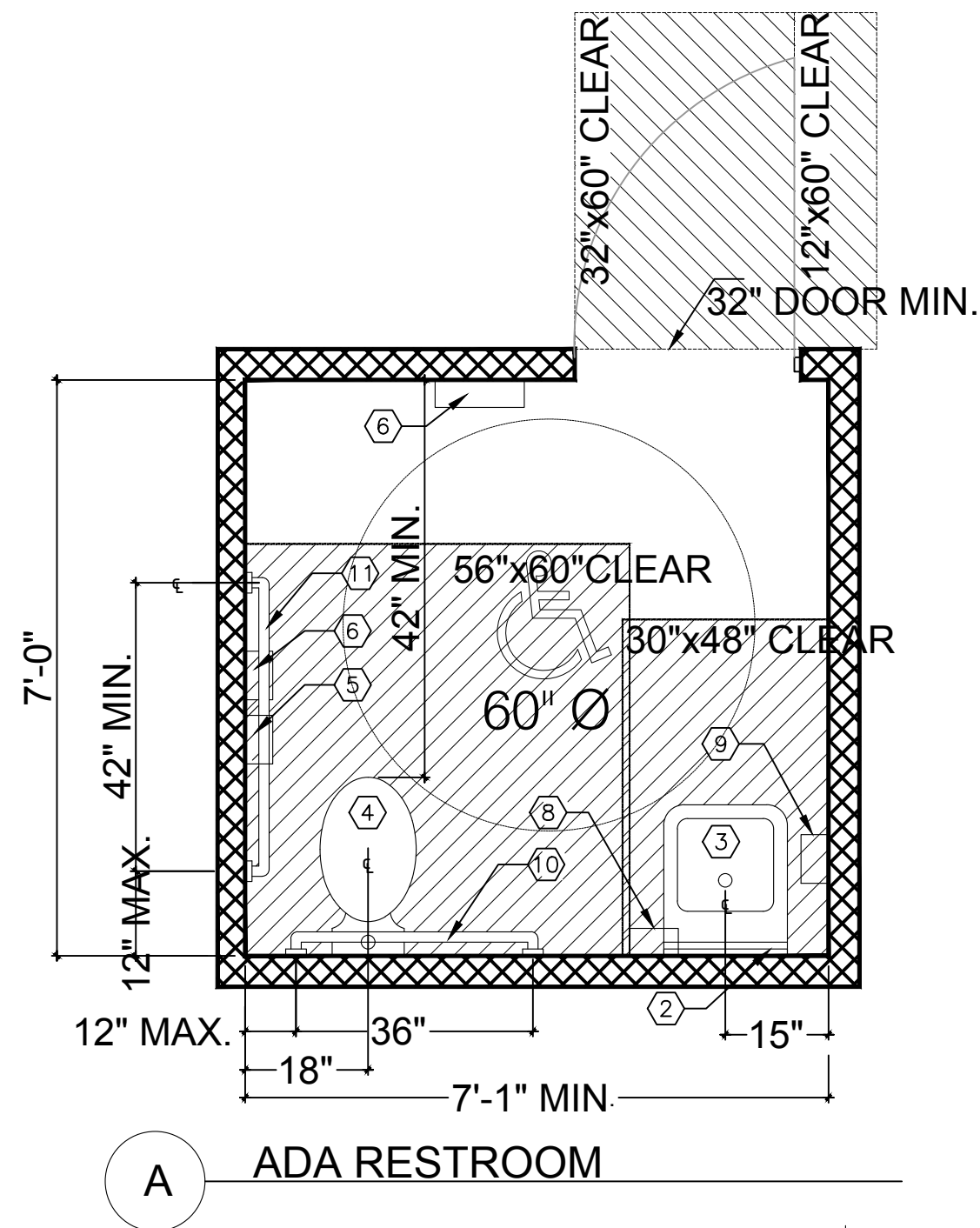


TOILET ACCESSORIES (STANDARD HEIGHTS)

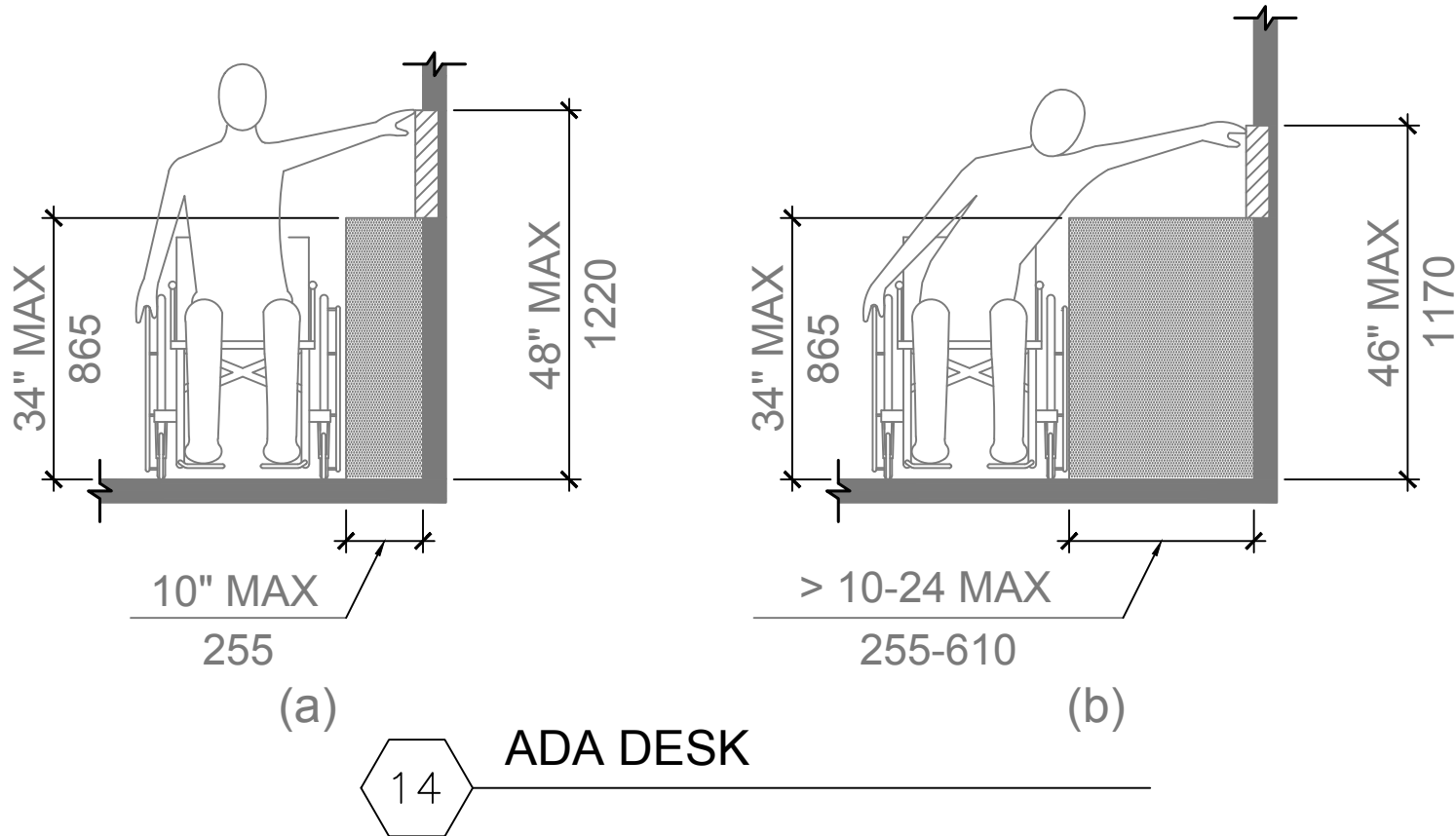
LEGEND	
1	TOILET PARTITION
2	1'-6 x 2'-6" MIRROR
3	ADA LAVATORY
4	ADA TOILET DUAL FLUSH
5	RECESSED TOILET-SEAT-COVER AND TOILET TISSUE DISPENSER
6	HAND DRYER (4" PROTRUDING MAXIMUM)
7	DRYER
8	SANITARY TOWEL DISPENSER
9	SOAP DISPENSER
10	36" GRAB BAR
11	42" GRAB BAR
12	URINAL
13	16 WIDE X 36 HIGH DIVIDER PANEL



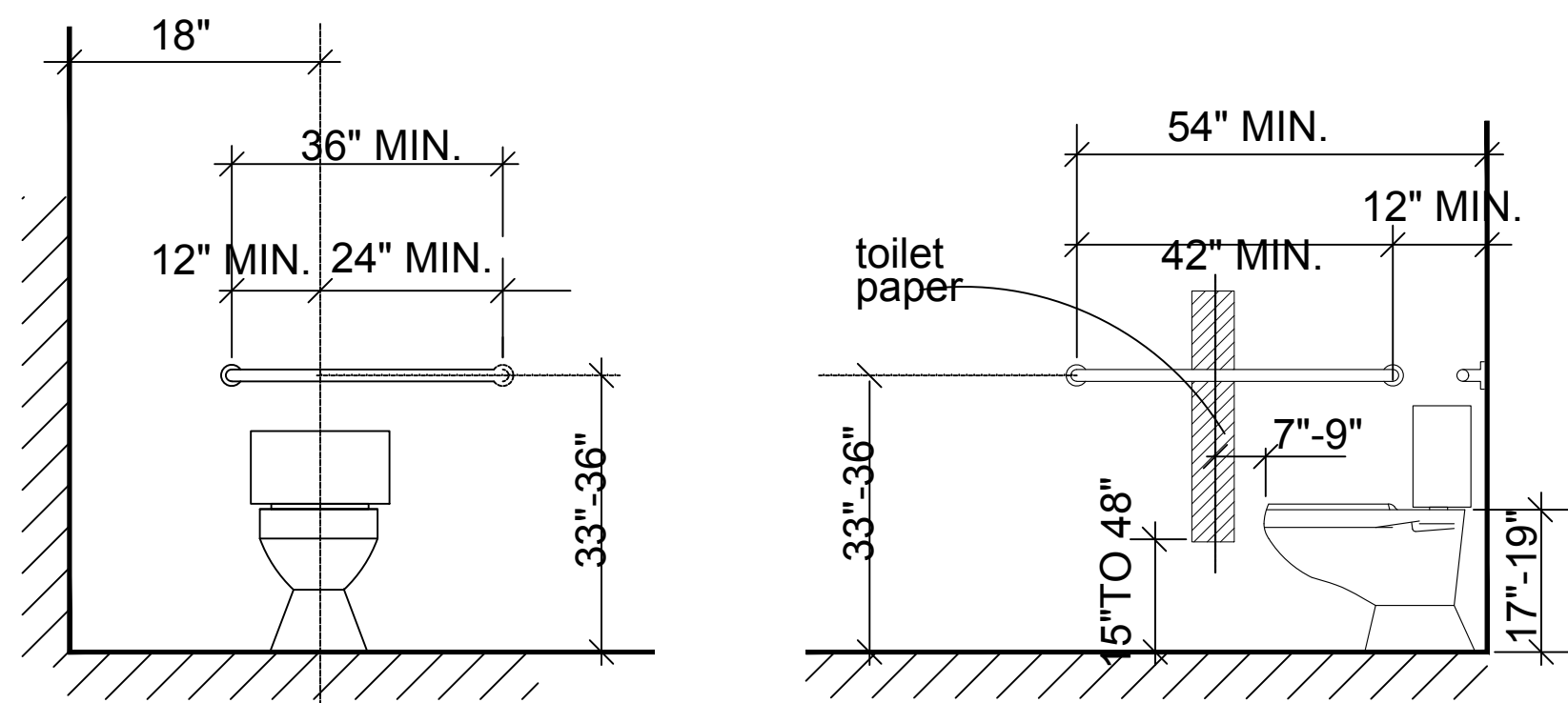
PROTRUDING OBJECTS WALKING PERPENDICULAR TO A WALL



ADA RESTROOM

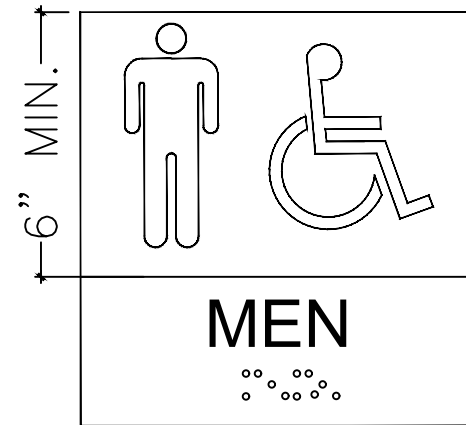


ADA DESK

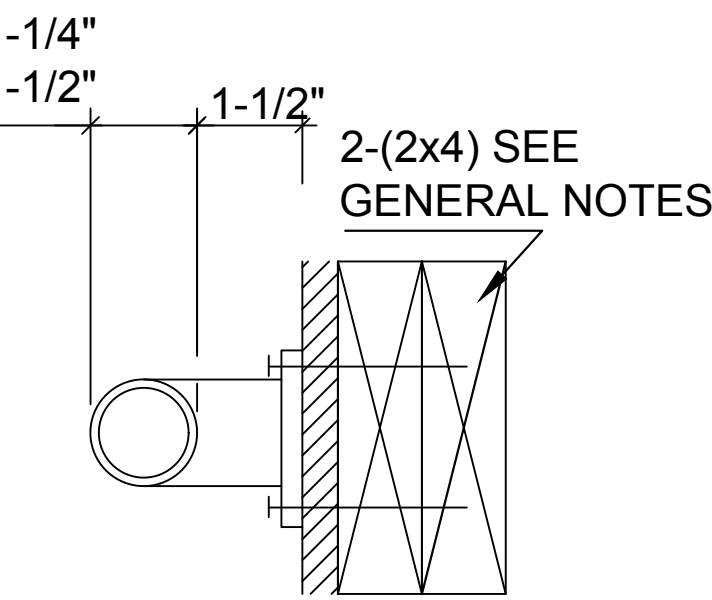


ADA WATER CLOSET

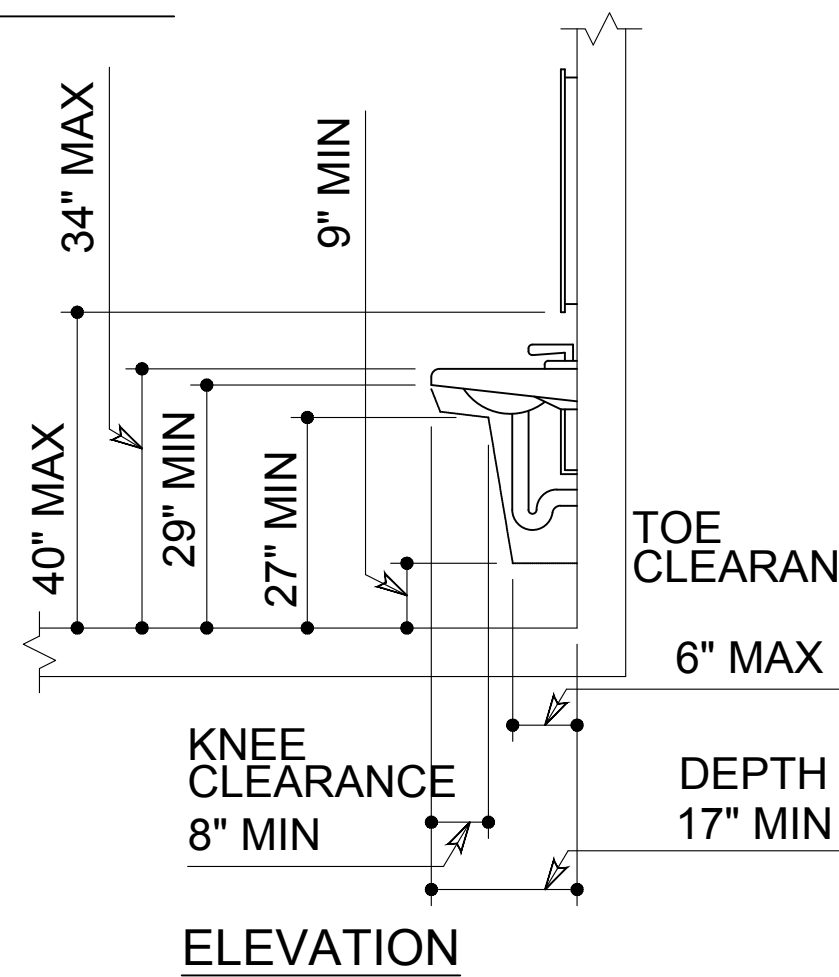
F.B.C. 2014. ACCESSIBILITY CHAPTER 7  
FIGURE 703.4.1  
TABLE 703.5.5  
FIGURE 703.6.1



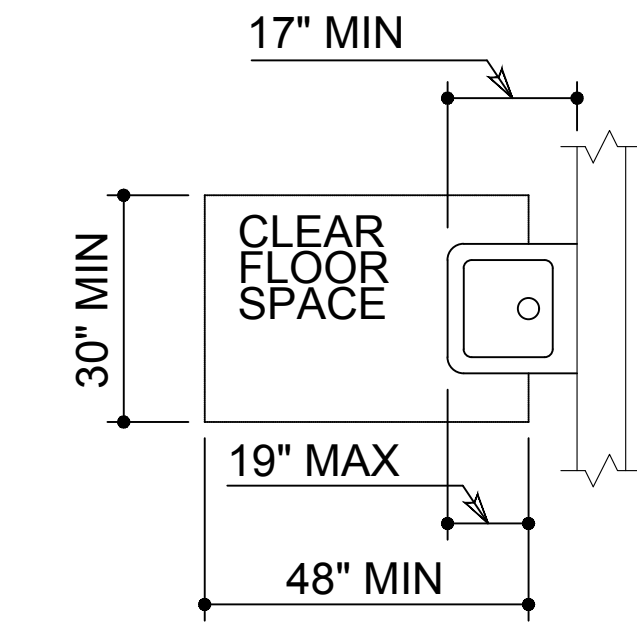
ADA DOOR SIGN



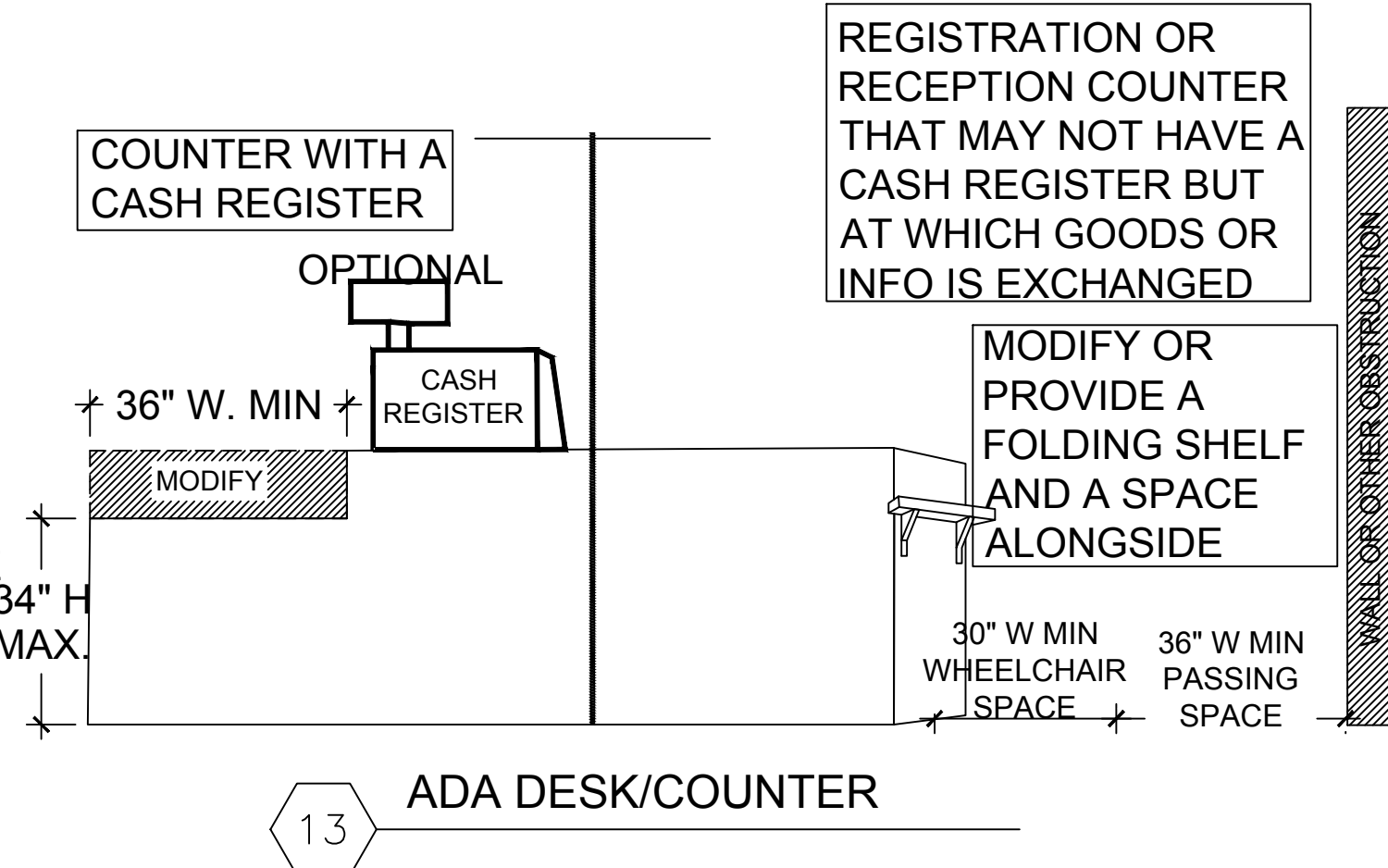
GRAB BAR DETAIL



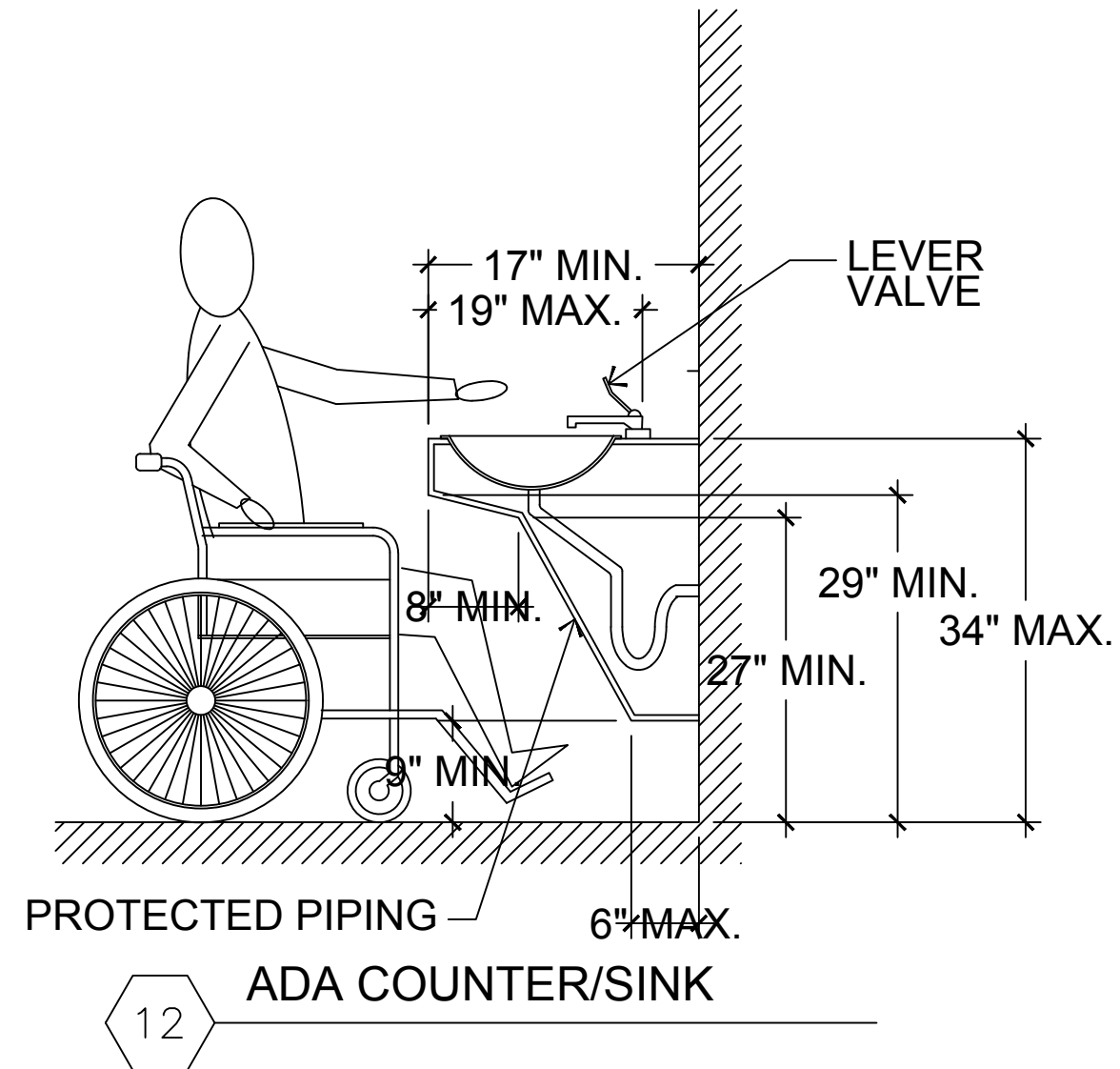
ELEVATION



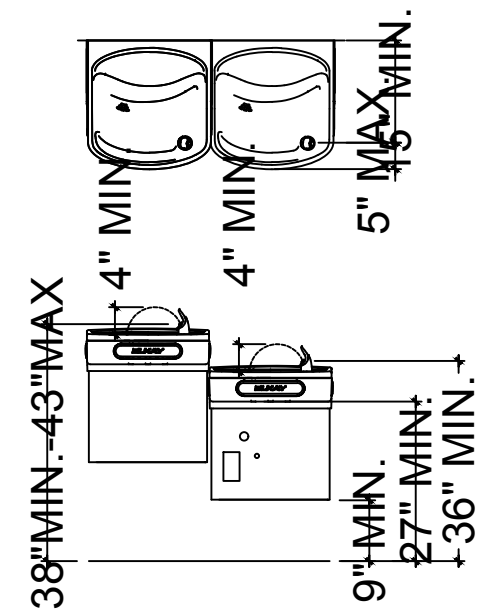
PLAN



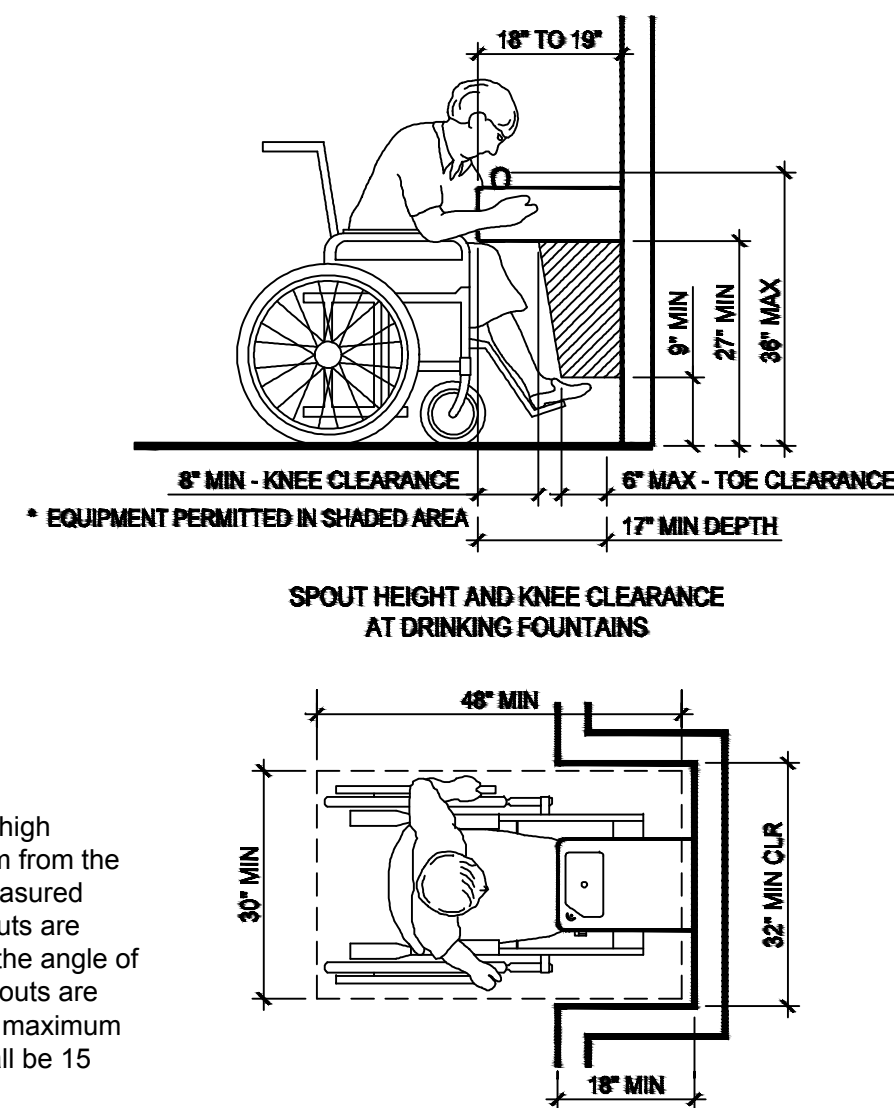
ADA DESK/COUNTER



ADA COUNTER/SINK



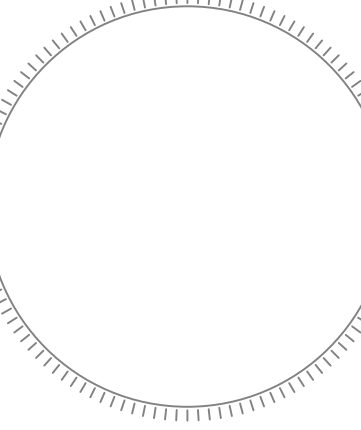
ADA DRINKING FOUNTAIN DET.  
SCALE: N.T.S.



F.B.C.A. 602.6 Water Flow. The spout shall provide a flow of water 4 inches (100 mm) high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum.

KEY PLAN

CONSULTING ENGINEER



ALIOSKAR GANEM P.E.  
FL. LIC. No. 74745

PROJECT NAME:  
NEW SOCCER FIELD

PROJECT ADDRESS:  
4151 N 29th AVE  
HOLLYWOOD, FL. 33020

REVISIONS	DATE

Project No: AS NOTED  
Scale: 02-21-2014  
Date: A.G.  
Drawn: A.G.  
Checked:  
CAD File:

Drawing Title:

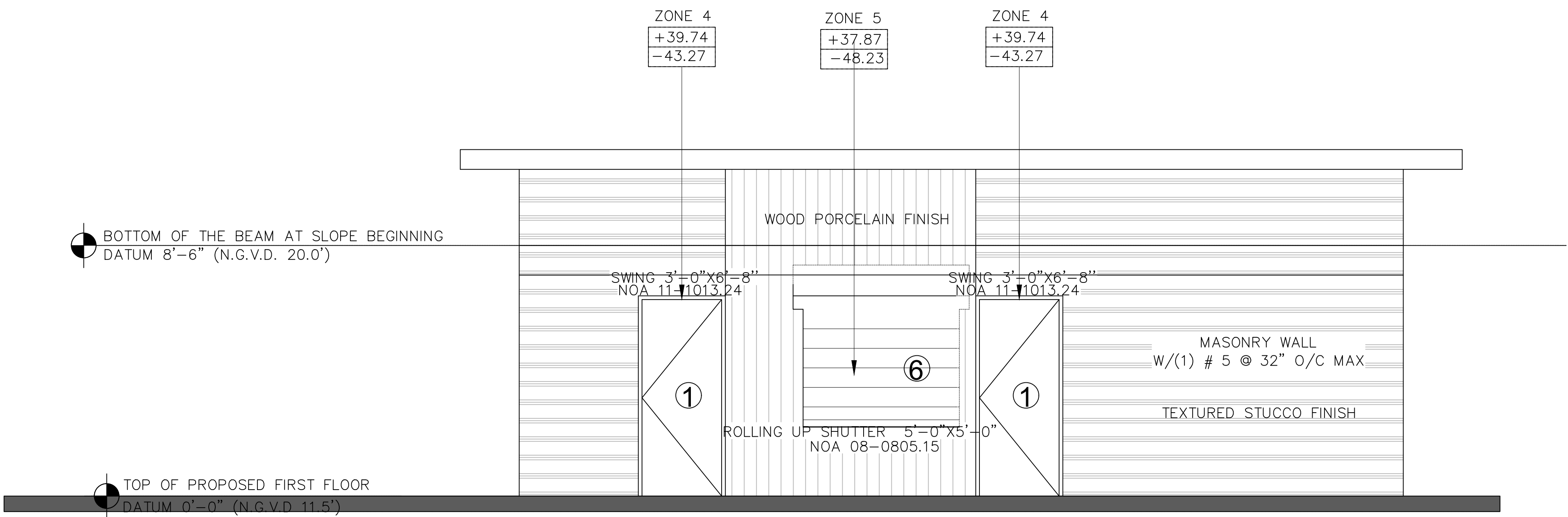
A-2.2

PROVIDE SHOP DRAWINGS  
FOR NEW WINDOWS AND DOORS  
ALL NEW WINDOWS AND DOORS  
MUST BE HIGH AND SMALL  
MISSILE IMPACT

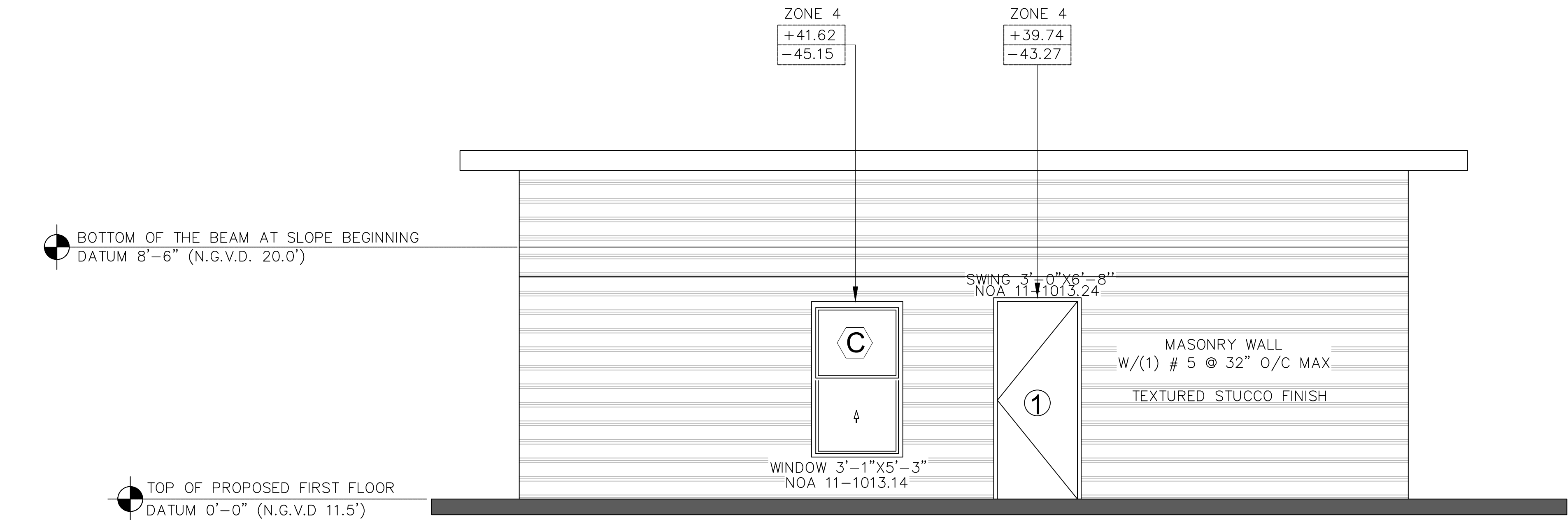


**GCE**  
GANEM CONSULTING ENGINEERING  
FL. C.A. #31187 • FL. PE. #74745  
18200 NE. 19th Ave. SUITE 105  
NORTH MIAMI BEACH, FL. 33162  
TEL: (786) 916-6546  
fax: (305) 848-9318  
alioskar@ganemconsultingeng.com

KEY PLAN

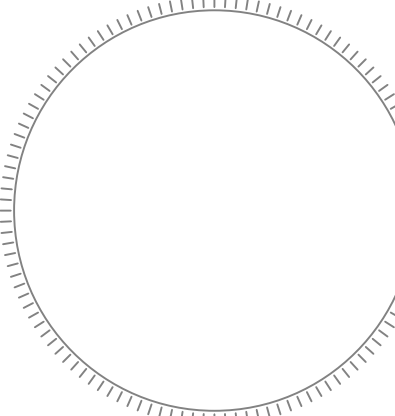


01 PROPOSED MAIN ELEVATION  
1/4" = 1'-0"



02 PROPOSED REAR/SIDE ELEVATION  
1/4" = 1'-0"

CONSULTING ENGINEER



ALIOSKAR GANEM P.E.  
FL. LIC. No. 74745

PROJECT NAME:  
NEW SOCCER FIELD

PROJECT ADDRESS:  
4151 N 29th AVE  
HOLLYWOOD, FL. 33020

REVISIONS	DATE

Project No: AS NOTED  
Scale: 02-21-2014  
Date: A.G.  
Drawn: A.G.  
Checked:  
CAD File:

Drawing Title:

A-3

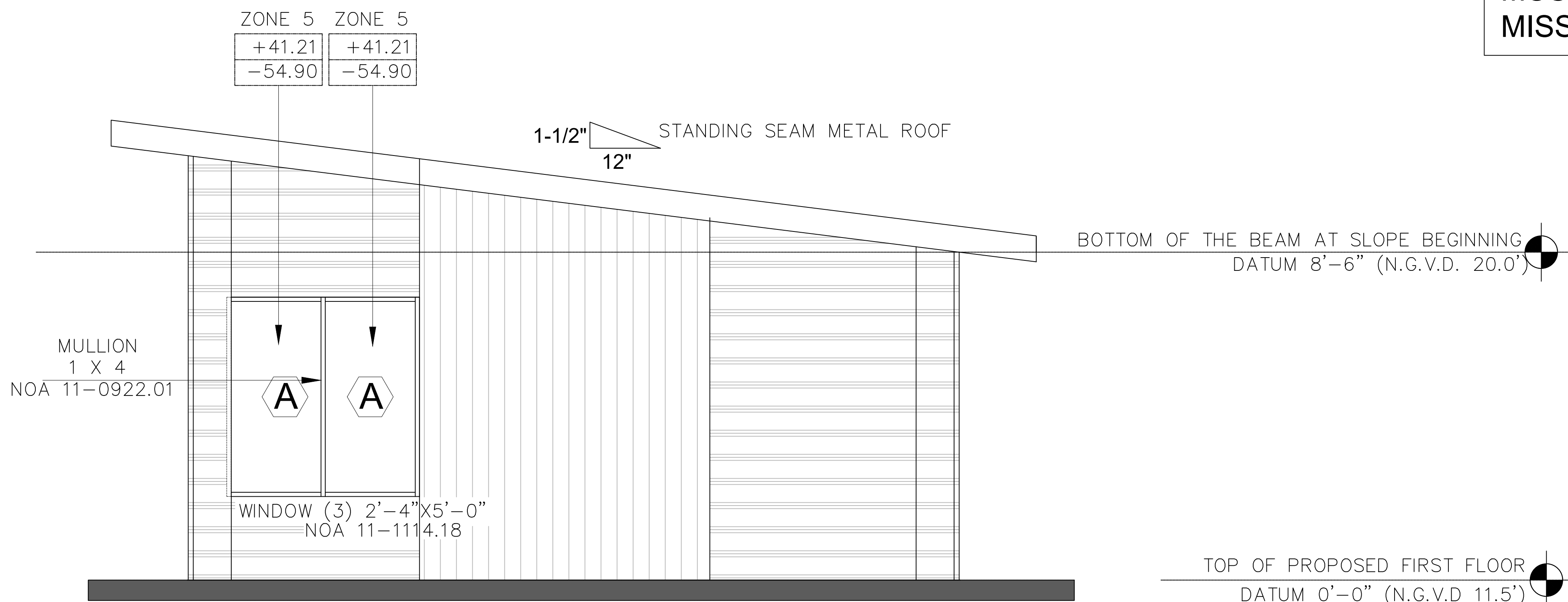


PROVIDE SHOP DRAWINGS  
FOR NEW WINDOWS AND DOORS  
ALL NEW WINDOWS AND DOORS  
MUST BE HIGH AND SMALL  
MISSILE IMPACT

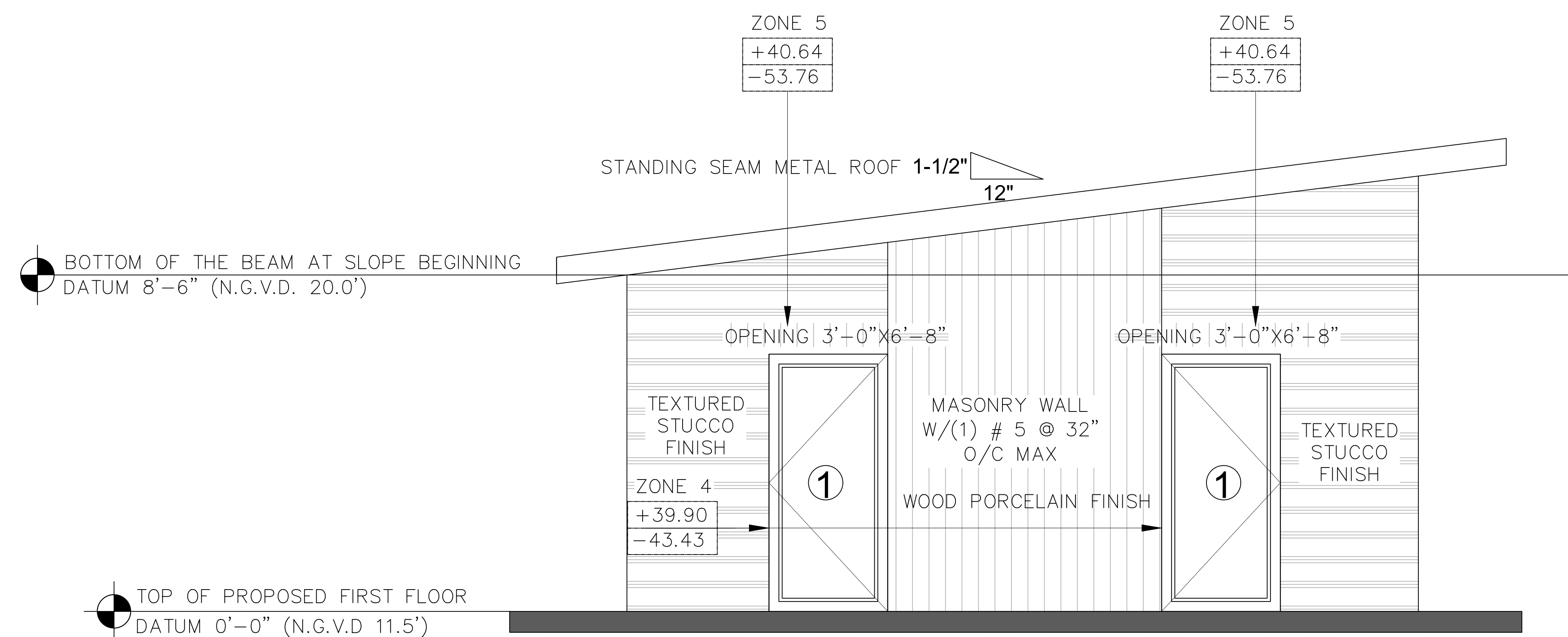


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GANEM CONSULTING ENGINEERING  
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18200 NE 19th Ave, SUITE 105  
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KEY PLAN

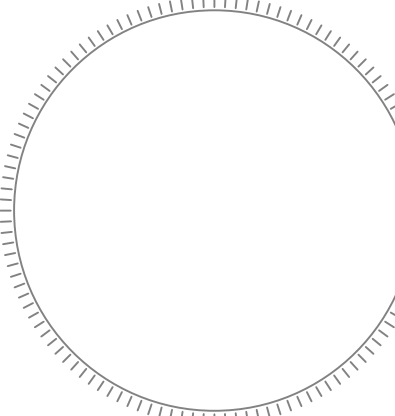


01 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



02 PROPOSED SIDE ELEVATION  
1/4" = 1'-0"

CONSULTING ENGINEER



ALIOSKAR GANEM P.E.  
FL. LIC. No. 74745

PROJECT NAME:  
NEW SOCCER FIELD

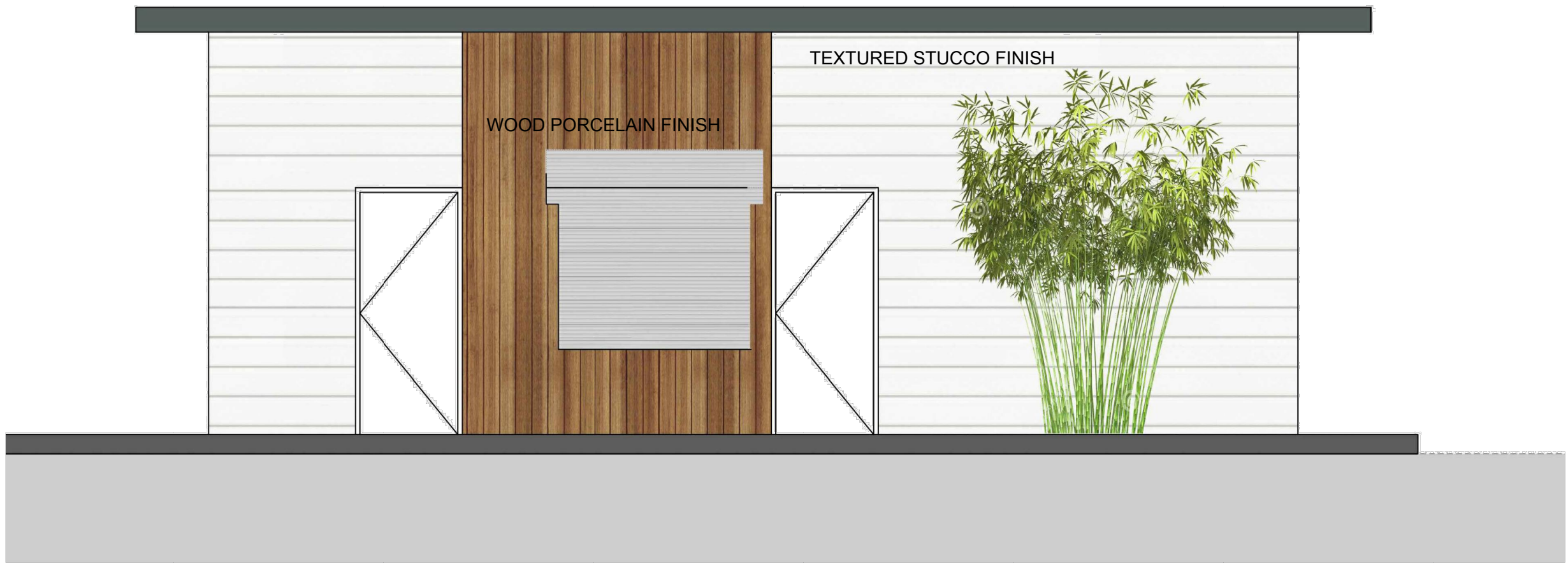
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4151 N 29th AVE  
HOLLYWOOD, FL. 33020

REVISIONS	DATE

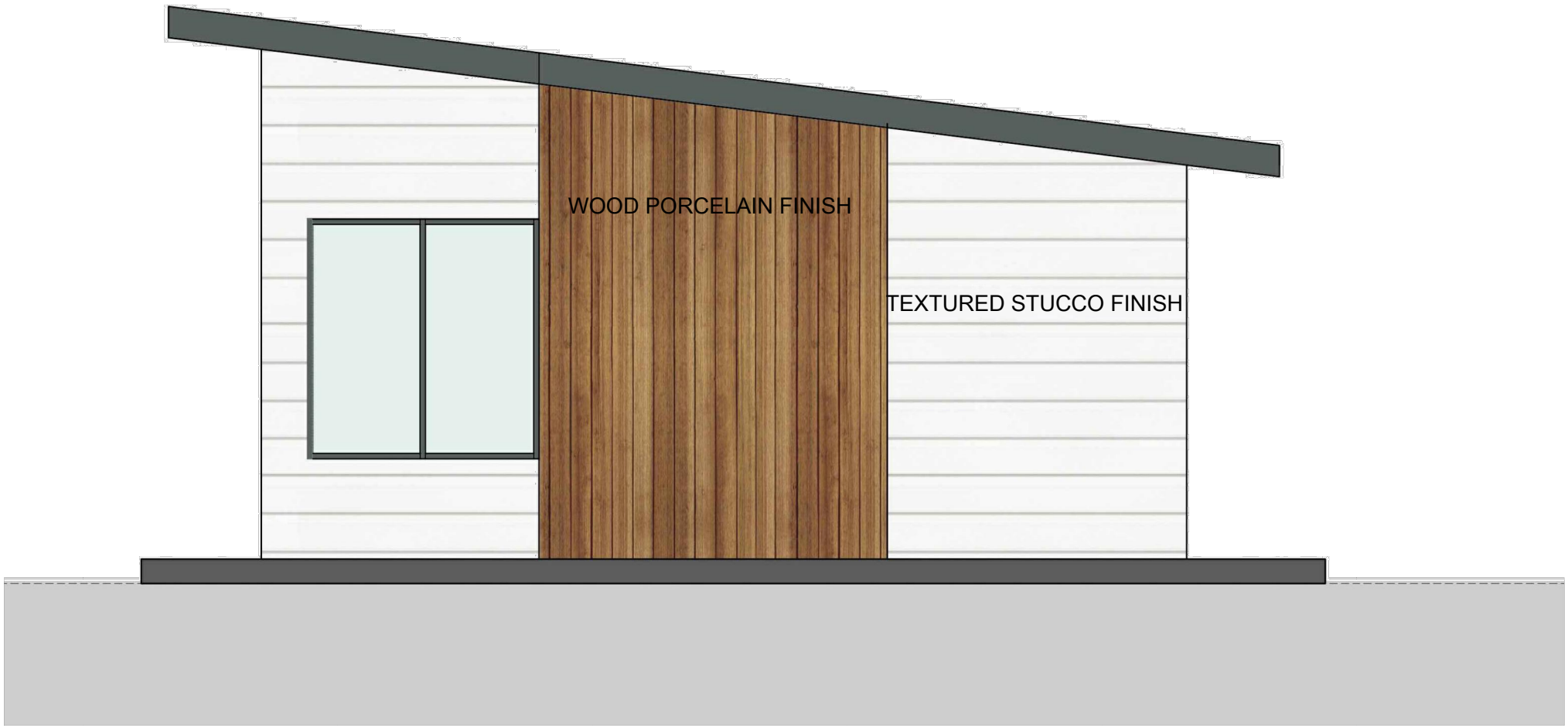
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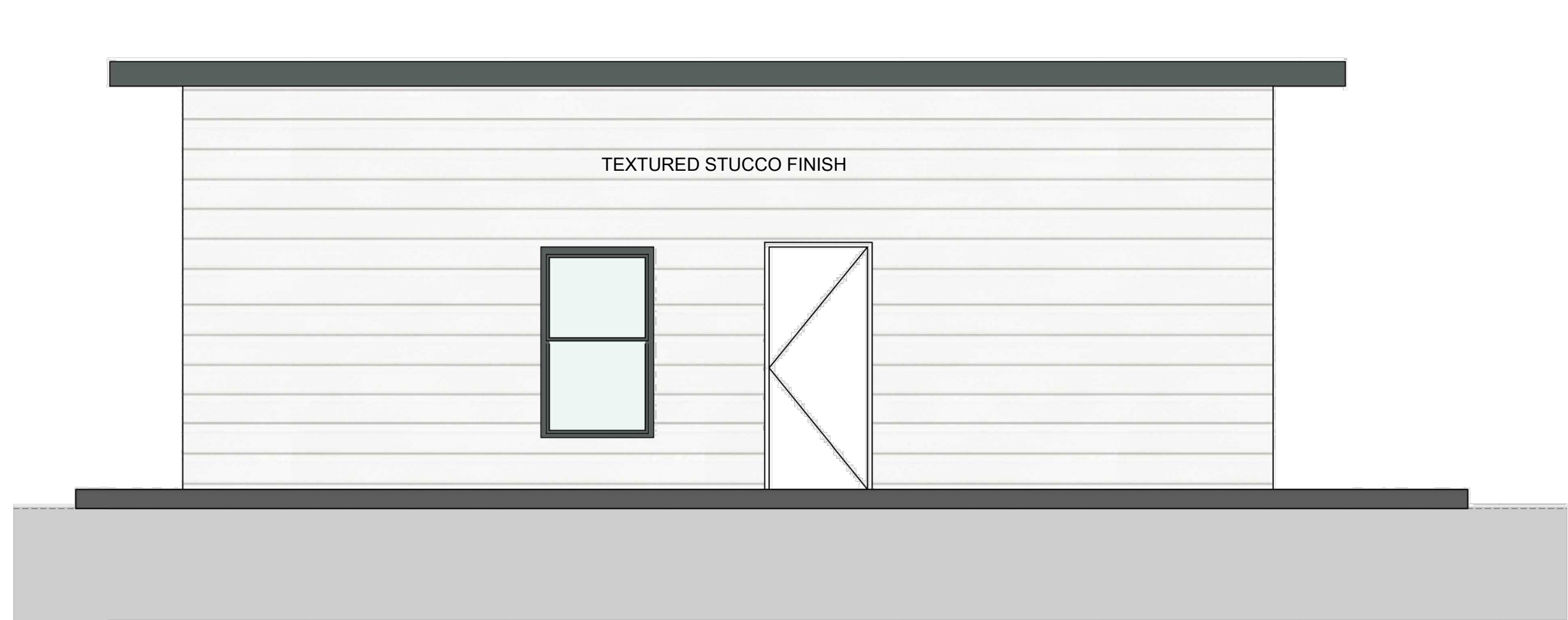
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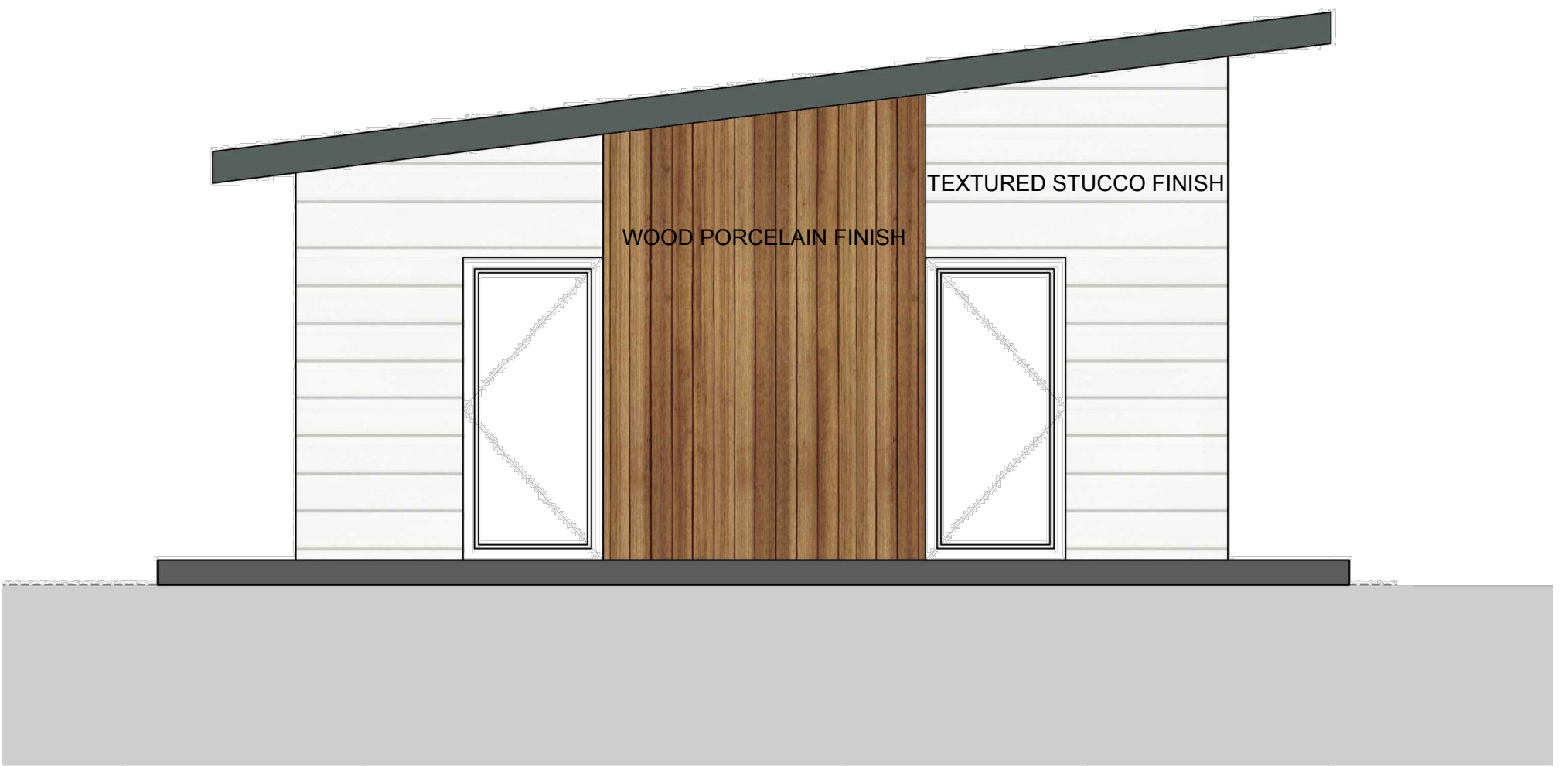
1 COLOR MAIN ELEVATION



2 COLOR FRONT ELEVATION



1 COLOR SIDE/REAR ELEVATION



2 COLOR SIDE ELEVATION

REVISIONS	DATE

Project No: AS NOTED  
Scale: 02-21-2014  
Date: A.G.  
Drawn: A.G.  
Checked:  
CAD File:

Drawing Title:

A-5





1 PROPOSED SOCCER FIELD VIEW  
N.T.S.



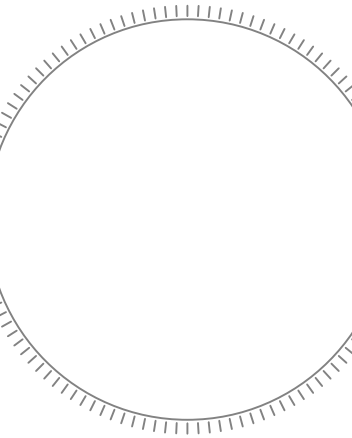
2 PROPOSED SOCCER FIELD VIEW  
N.T.S.



3 PROPOSED SOCCER FIELD VIEW  
N.T.S.



4 PROPOSED SOCCER FIELD VIEW  
N.T.S.



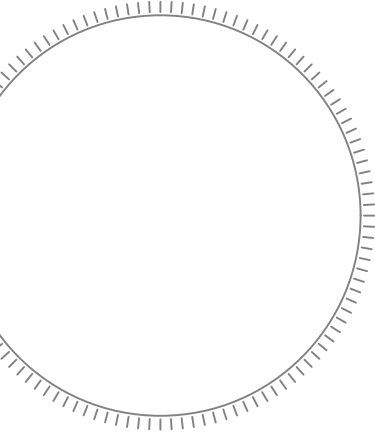




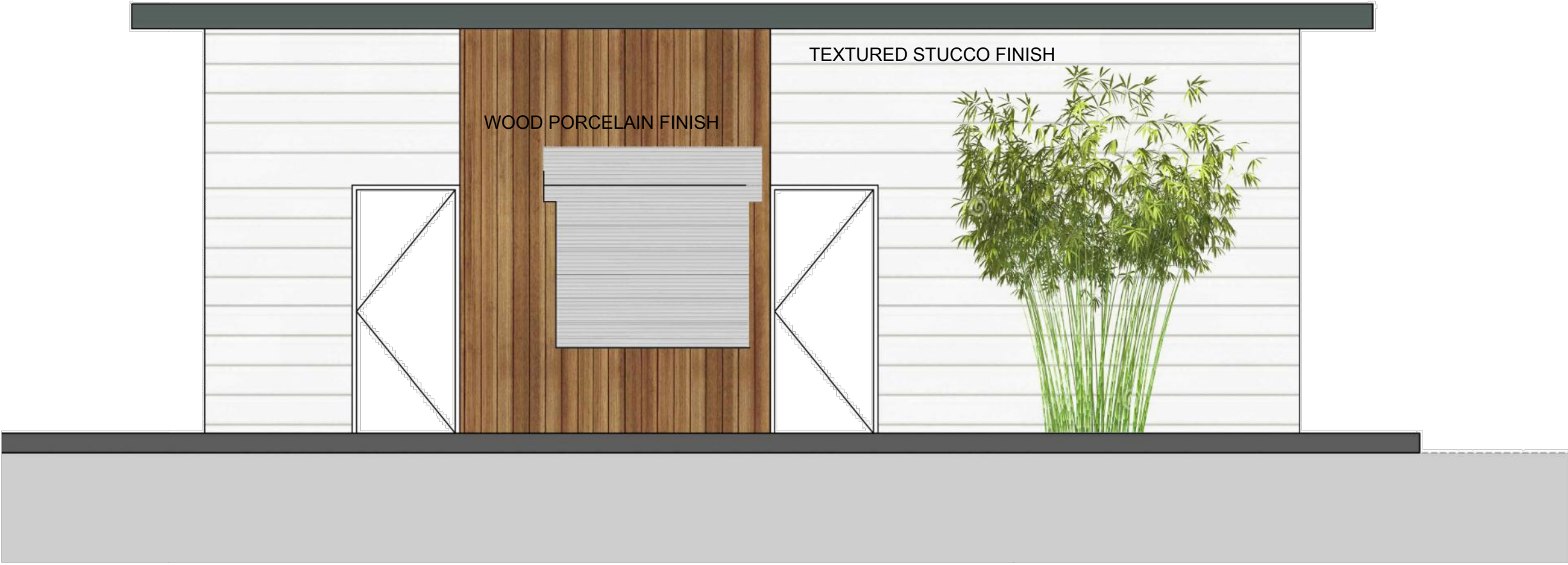
1 PROPOSED SOCCER FIELD VIEW



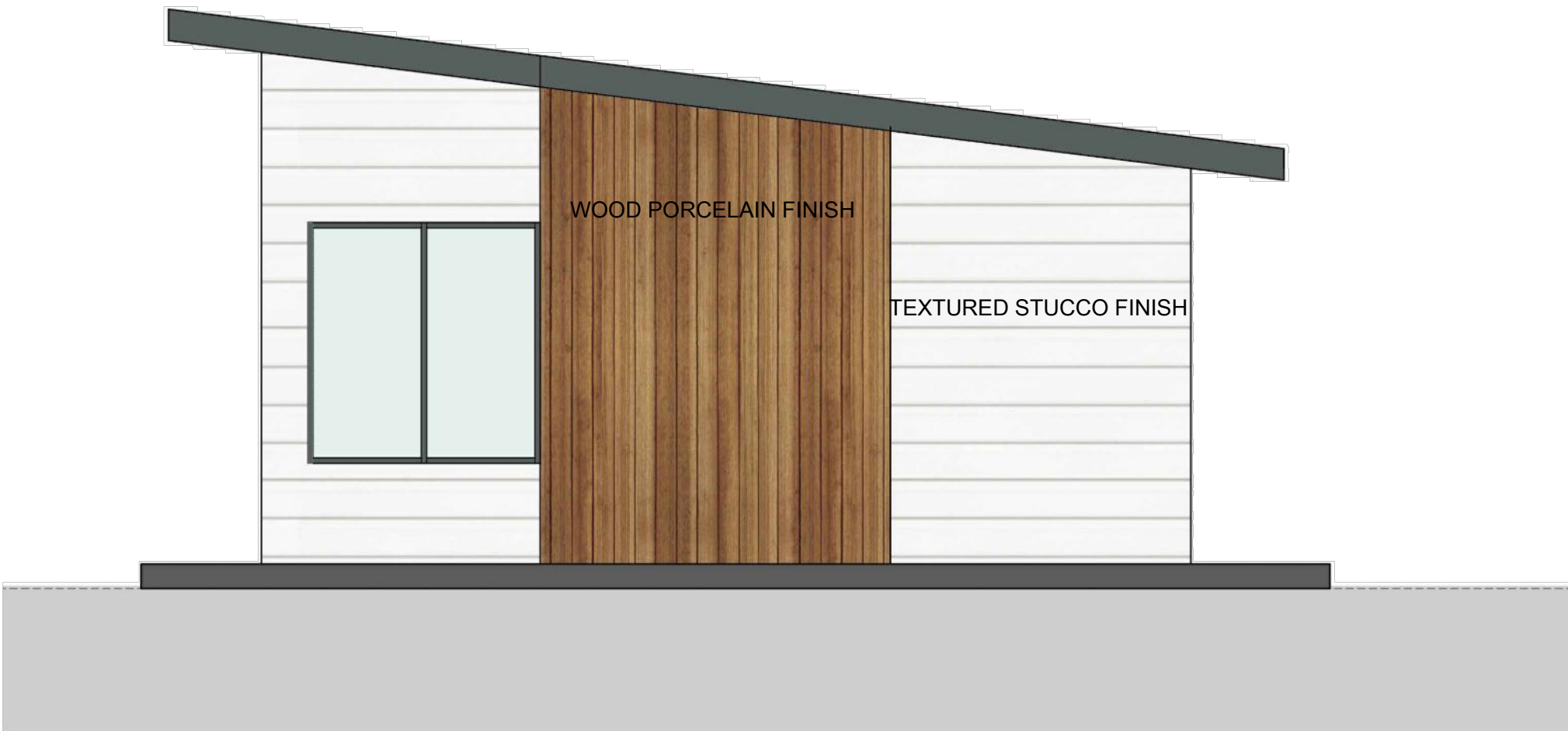
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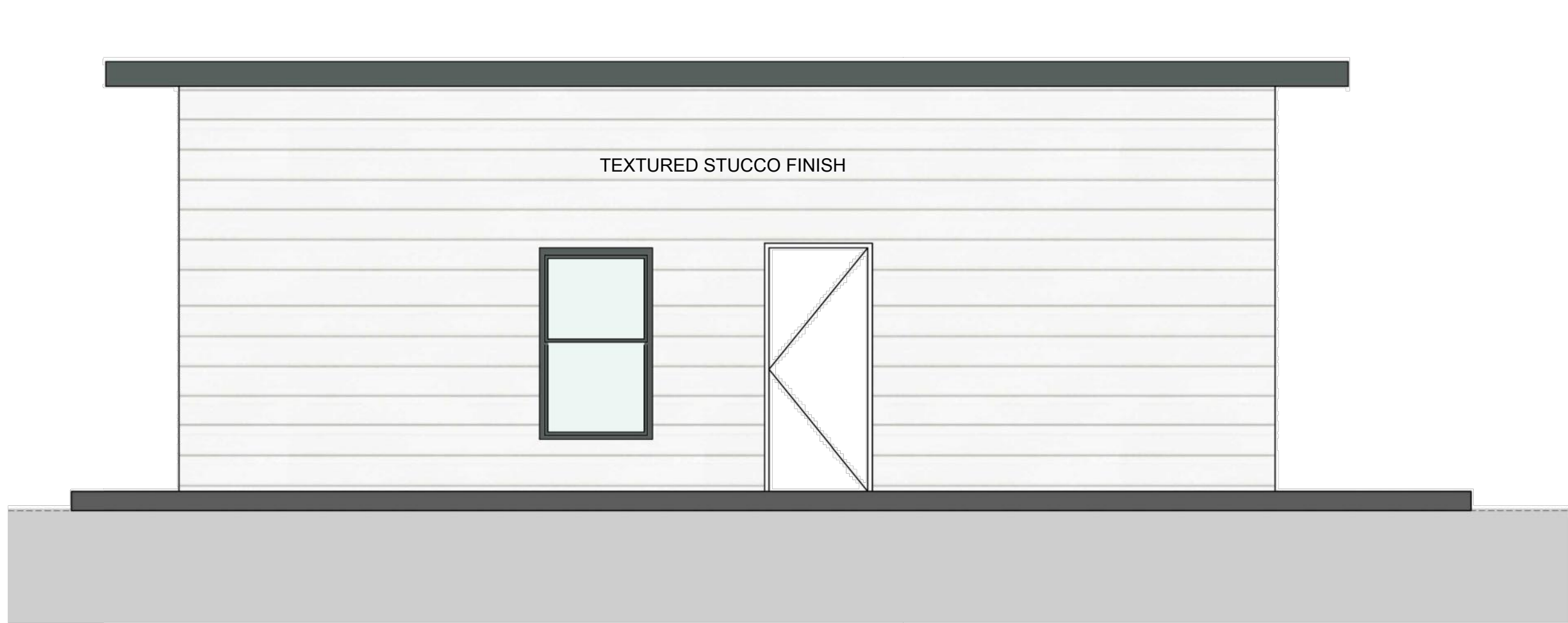


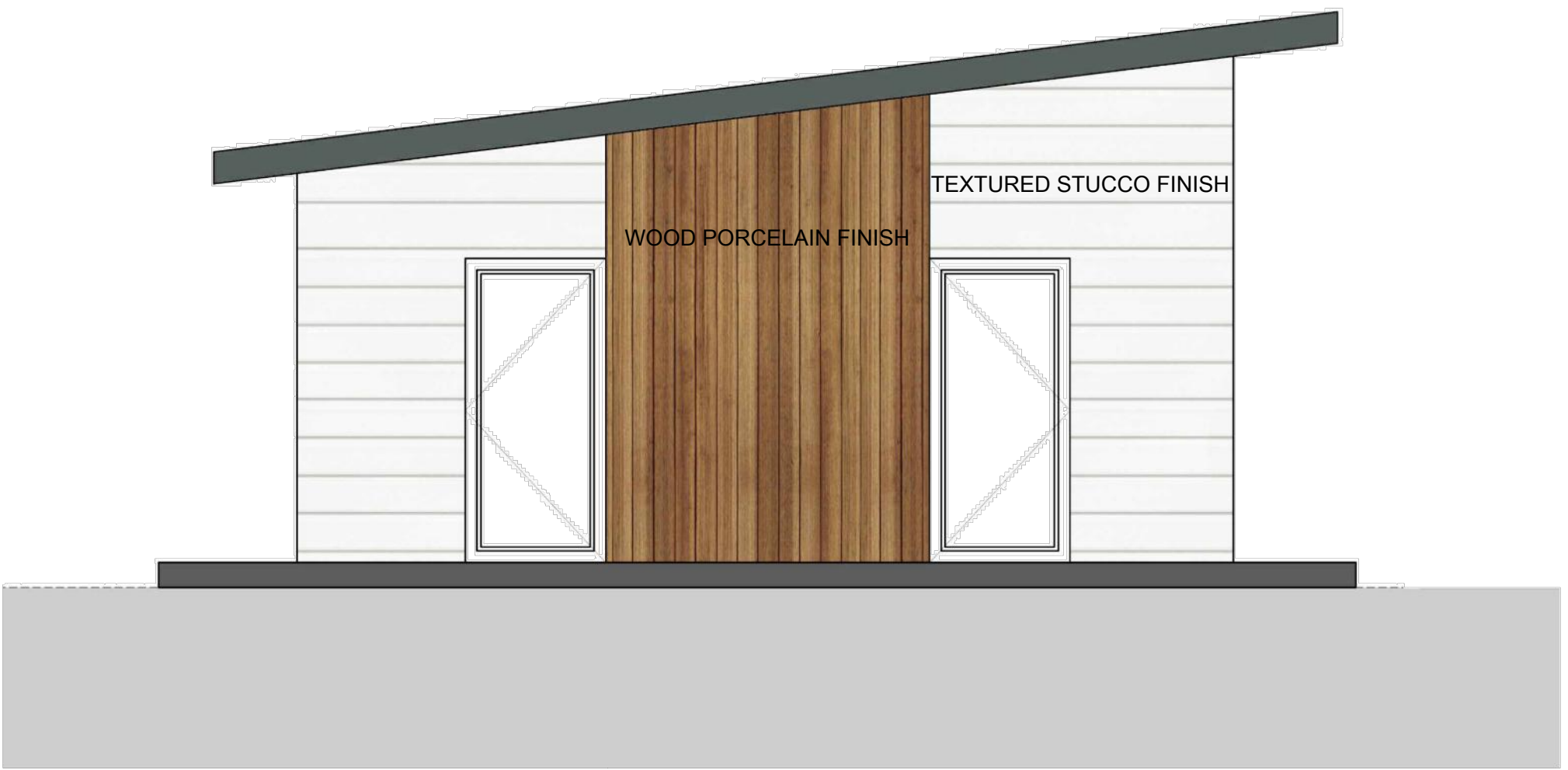
1 COLOR MAIN ELEVATION



2 COLOR FRONT ELEVATION

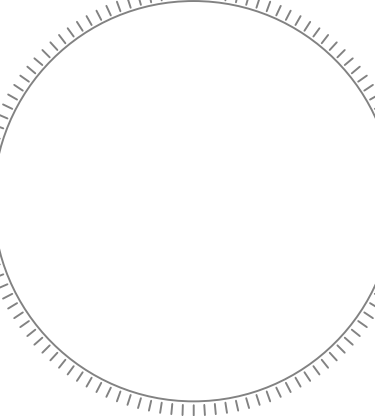


1 COLOR SIDE/REAR ELEVATION



2 COLOR SIDE ELEVATION

LEGEND:	
Porcelain Wall tile:	
Color:	LP39 coffee wood
Shape:	624HD1PR
Shade:	65407
Exterior Paint:	BEHR PPU26-09



REVISIONS	DATE

Project No:	AS NOTED
Scale:	02-21-2014
Date:	A.G.
Drawn:	A.G.
Checked:	
CAD File:	



Landscape Notes:

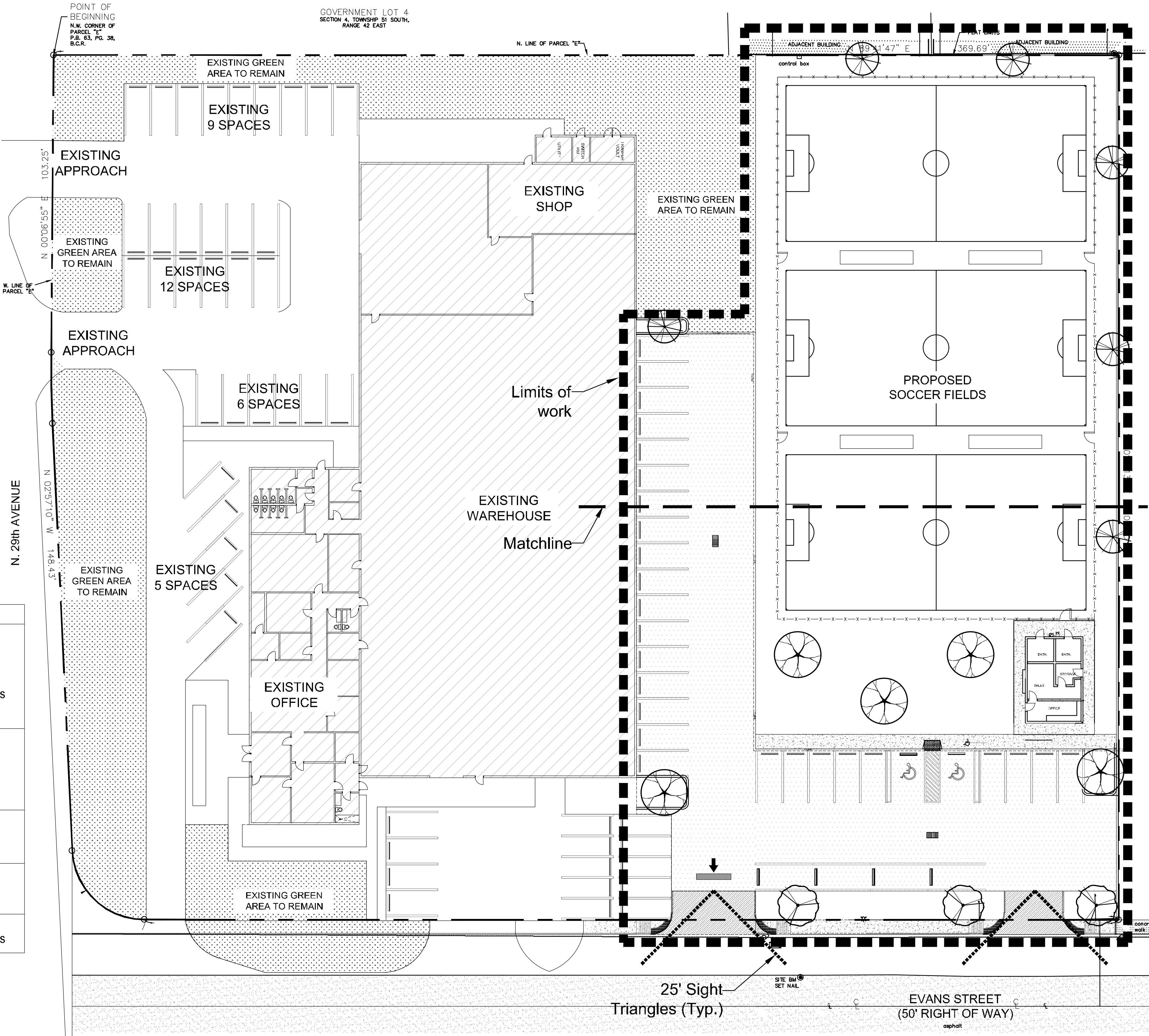
- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.
- All site drainage by others.
- City assumes liability and maintenance of trees placed outside of property line.
- Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

Landscape Data:

IM-1 Low Intensity Industrial and Manufacturing District	Required	Provided
<b>Perimeter Landscape</b> One 12" street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	3 Trees (104/50')	3 Trees
Perimeter Hedge: One shrub for every 24 inches in landscape buffer abutting property line. 461' / 2' = 230.5.	230.5 Shrubs (461/2')	231 Shrubs
<b>Open Space</b> A minimum of 1 tree per 1,000 s.f. of pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs.  7560 s.f. / 1,000 s.f. = 7.56.	8 Trees  (7560 SF/ 1,000 SF)	8 Trees
<b>Interior Vehicular Use Area</b> Minimum 15% of VUA shall be landscaped. Each island shall contain at least one tree. VUA: 2,071 s.f. x .15 = 311 s.f.    Islands: 3	3 Trees 311 s.f.	3 Trees 311 s.f.
<b>Minimum Tree Sizes</b> Shade trees:2" DBH/ 12' height. Palm trees: 8" of GW or CT.		
<b>Native Requirements</b> A minimum of 60% of required trees and 50% of required shrubs must be native species.	8 Trees 116 Shrubs	14 Trees 231 Shrubs



PLANT SCHEDULE NEW SOCCER FIELD

STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	TC-S	Tabebuia caraiba	Silver Trumpet	FG, 12" HT, 2" DBH MIN, STD, SP	3	
CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	CD-C	Coccoloba diversifolia	Pigeon Plum	FG, 12" HT, 2" DBH MIN, STD, SP	6	
	QV-C	Quercus virginiana	Southern Live Oak	CG, 12" HT x 6" SPR, 2" DBH MIN, SP	5	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	DETAIL
	CHR	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	3G, 24" HT x 18" SPR, F, 30" OC	232	



Project Team

Landscape Designer:  
**BRANDON M. WHITE, ASLA**  
1708 SE Joy Haven Street  
Port St. Lucie, FL 34983  
(772) 834-1357

Civil Engineer:  
**Ganem Consulting Engineering**  
18200 NE 19th Ave, Suite 105  
North Miami Beach, FL 33162

New Soccer Field

4151 N 29th Ave., Hollywood, FL 33024

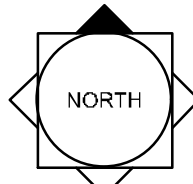
Cover Sheet

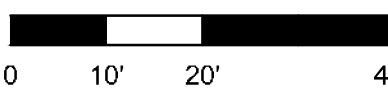
Revisions		
Date	Init.	Description
06.21.19	BW	Initial Submittal

PAUL GOULAS, RLA  
FLORIDA REG. #1A6666807

Drawn By: BW  
Checked By: PG  
Municipal Project:

Scale:

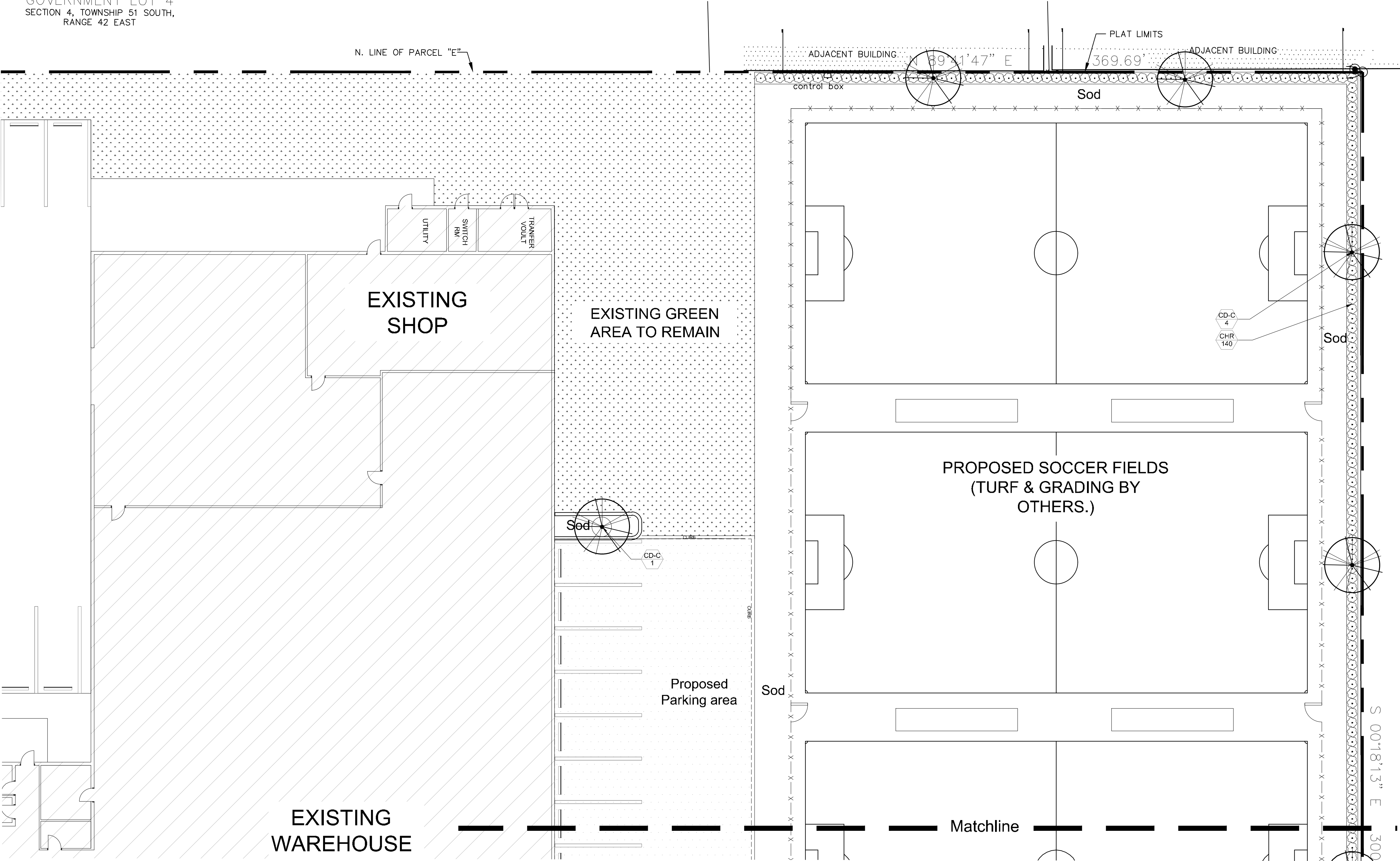
  
NORTH

  
SCALE: 1" = 20'-0"

1 of 4



GOVERNMENT LOT 4  
SECTION 4, TOWNSHIP 51 SOUTH,  
RANGE 42 EAST



Project Team

Landscape Designer:

**BRANDON M. WHITE, ASLA**  
1708 SE Joy Haven Street  
Port St. Lucie, FL 34983  
(772) 834-1357

Civil Engineer:

**Ganem Consulting Engineering**  
18200 NE 19th Ave, Suite 105  
North Miami Beach, FL 33162

# New Soccer Field

4151 N 29th Ave., Hollywood, FL 33024

## Landscape Plan

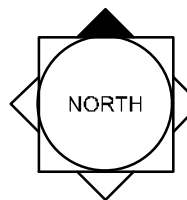
### Revisions

Date	Init.	Description
06.21.19	BW	Initial Submittal

PAUL GOULAS, RLA  
FLORIDA REG. #1A6666807

Drawn By: BW  
Checked By: PG  
Municipal Project:

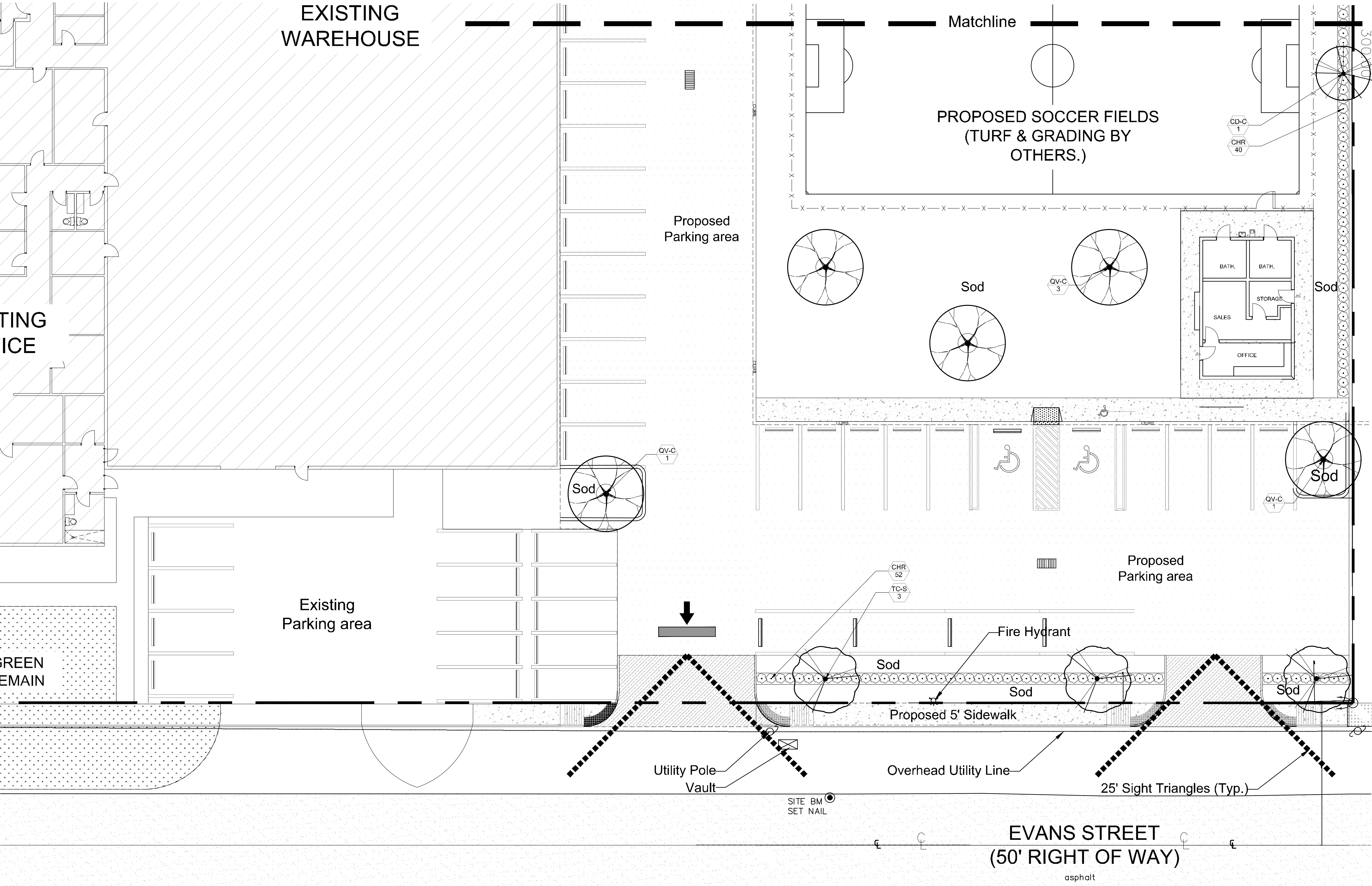
Scale:



SCALE: 1" = 10'-0"

0 5' 10' 20'





Project Team

Landscape Designer:  
**BRANDON M. WHITE, ASLA**  
1708 SE Joy Haven Street  
Port St. Lucie, FL 34983  
(772) 834-1357

Civil Engineer:  
Ganem Consulting Engineering  
18200 NE 19th Ave, Suite 105  
North Miami Beach, FL 33162

# New Soccer Field

4151 N 29th Ave., Hollywood, FL 33024

## Landscape Plan

Revisions		
Date	Init.	Description
06.21.19	BW	Initial Submittal

PAUL GOULAS, RLA  
FLORIDA REG. #1A6666807

Drawn By: BW  
Checked By: PG  
Municipal Project:  
Scale:

NORTH

SCALE: 1" = 10'-0"

0 5' 10' 20'

3 of 4



LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

1.01 SCOPE:

- A. The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.

1.02 AGENCY STANDARDS:

- A. Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as stated in: Grades and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.

1.03 SITE EXAMINATION:

- A. The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions in order that no mis-understanding may afterwards arise as to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precautions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unusual difficulties which may be encountered in the execution or maintenance of any portion of the work.

1.04 ERRORS AND OMISSIONS:

- A. The plant list is a part of the drawings and is furnished as a convenience. The plant list indicates the name, size and quantities of specific plant materials as called for and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.

- B. The Landscape Contractor shall not take advantage of errors or omissions in the specifications or contract drawings. Full attention will be given if such errors are discovered. Upon the discovery of any discrepancies in, or omissions from the drawings or documents, or should the Landscape Contractor be in doubt as to their meaning, the Landscape Architect shall be notified and will determine the actions necessary to each query.

- C. If plans and specifications are found to disagree after the contract is awarded, the Landscape Architect shall be the judge as to which was intended.

1.05 EXECUTION OF THE WORK:

- A. The Landscape Contractor shall have his labor crews controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute installation correctly and in a timely manner.

- B. The Landscape Contractor shall provide a competent English-speaking Foreman on the project at all times, who shall be fully authorized as the Contractor's agent on the work. The Superintendent shall be capable of reading and thoroughly understanding the Plans, Specifications and other Contract Documents. If the Superintendent is deemed incompetent by the Landscape Architect, he (the superintendent) shall be immediately replaced.

- C. The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape Architect during implementation of the job. Any additional work or changes required as a result of failure to communicate with the Owner or Landscape Architect during implementation will be the responsibility of the Landscape Contractor.

1.06 PROTECTION OF PUBLIC AND PROPERTY:

- A. The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.

1.07 CHANGES AND EXTRAS:

- A. The Contractor shall not start work on changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.

1.08 GUARANTEE:

- A. The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Architect and Owner. Sod shall be guaranteed to 90 calendar days after acceptance by the Landscape Architect and Owner. All plant material shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. The guaranteeing of plant material shall be construed to mean complete and immediate replacement with plant material of the same variety, type, size, quality and grade as that of the originally specified material. During the guarantee period it shall be the Landscape Contractor's responsibility to immediately replace any dead or unhealthy material as determined by the Landscape Architect. The guarantee will be null and void if plant material is damaged by lightning, hurricane force winds, or any other acts of God, as well as vandalism or lack of proper maintenance.

- B. At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Landscape Architect, shall be replaced. The Landscape Contractor shall be responsible for the full replacement cost of plant materials for the first replacement and share subsequent replacement (s) costs equally with the Owner, should the replacement plant fail to survive.

1.09 CARE AND MAINTENANCE:

- A. The Landscape Contractor shall be responsible for the care and maintenance of all plant materials and irrigation when applicable until final acceptance by the Owner or Landscape Architect.

- B. The Owner agrees to execute the instructions for such care and maintenance.

1.10 SAFETY:

- A. It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.

- B. It shall be the contractor's responsibility to conform to all local, state, and federal safety laws and codes including the Federal Occupational Safety And Health Act (O.S.H.A.).

1.11 CONTRACTOR QUALIFICATION:

- A. The Owner may require the apparent contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
1. A financial statement showing assets and liabilities of the company current to date.
  2. A listing of not less than (3) completed projects of similar scope and nature.
  3. Permanent name and address of place of business.
  4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

1.12 INSURANCE AND BONDING:

- A. The contractor (s) shall submit proof of insurance for this job for the time period that the work is done. The minimum amount of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to in the contract. The successful bidder shall be required to have this coverage in effect before beginning work on the site.

- B. The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

1.13 PERMITS AND CERTIFICATES:

- A. All contractors shall secure and pay for all permits and certificates required for his/her class of work.

PART 2: MATERIALS

2.01 PLANT MATERIALS:

- A. A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.

- B. Substitutions: Substitutions of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscape Architect. If plant material is not of sufficient size to meet applicable codes, a letter of variance from the appropriate agency must be obtained by the Contractor prior to issuance of any change order. If material of smaller size is to be accepted, the quantity of material shall be increased, at no additional cost to the Owner, to meet the intent of the drawings.

- C. All plant materials shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal to or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting.

- D. All plant materials shall be nursery grown, unless otherwise noted. Florida #1 or better and shall comply with all required inspections, grading standards and plant regulations as set forth by the Florida Department of Agriculture's Grades and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants, most current addition.

- E. Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.

- F. The Landscape Contractor shall install each plant to display to best side. Adjustments may be required if plants are not installed properly and/or approved by the Landscape Architect at no additional cost to owner.

2.02 INSPECTION

- A. The Landscape Architect and Owner may inspect trees and shrubs at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size and quality. The Landscape Architect and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from project site.

2.03 PROTECTION OF PLANT MATERIALS:

- A. Balled and burlapped plants (S & B) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap similar materials and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.

- B. Plants with broken, damaged or insufficient rootballs will be rejected.

- C. All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent whindburn, drying or damage to plants.

- D. Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch or other protection from the drying of wind and sun. All plants shall be watered as necessary by the Landscape Contractor until planted.

2.04 STORAGE:

- A. All plant materials shall be stored on the site in designated areas, specified by the Landscape Architect or Owner's agent.

- B. No plant material shall be stored longer than seventy-two (72) hours unless approved by the Landscape Architect and/or owner.

- C. The Landscape Architect reserves the right to reject any plant materials not in conformance with these specifications.

- D. All rejected material shall be immediately removed from the site and replaced with acceptable material at no cost to the Owner.

2.05 PROTECTION DURING PLANTING:

- A. Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens or other approved methods. Battens shall NOT be attached to the tree with nails.

2.06 PLANTING SOIL:

- A. Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay, stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.

2.07 FERTILIZER:

- A. Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.

- B. Thoroughly mixed 3 lbs. of commercial fertilizer to each cubic yard of planting soil.

- C. Tableted fertilizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal. All trees and shrubs shall be fertilized with tableted fertilizer as follows. While backfilling plant holes, fertilizer tablets shall be equally spaced and placed adjacent to the ball mid-way in depth in accordance with the following rates:

1 gallon container	1 tablet
3 gallon container	2 tablets
5 gallon container	3 tablets
7 gallon	5 tablets

- Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material.

- The Landscape Architect reserves the right to inspect and review the application of fertilizer.

2.08 MULCH:

- A. Mulch material shall be clean, dry, free of weeds, seeds and pests, moistened at the time of application to prevent wind displacement. Cypress &/or Red mulch is prohibited.

- B. All trees and shrub beds shall receive 3" mulch immediately after planting and thoroughly watered. Apply 2" max on tree & palm rootballs, keep away from tree & palm trunks or as required by local jurisdiction.

PART 3: EXECUTION

3.01 DIGGING:

- A. The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead vires, underground pipes and cables and the pipes and hydrants of watering systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Owner shall be consulted and contractor will adjust the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

3.02 GRADING:

- A. Grading for drainage, swales, etc., to within 4 inches of the finished grade to be provided by others.

- B. It shall be the responsibility of the Landscape Contractor to provide the final grading during the course of landscape installation so as to bring sod and planting areas to their proper elevations in relation to walks, paving, drain structures, and other site conditions. The site grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be modified.

3.03 PLANTING:

- A. Planting shall take place during favorable weather conditions.

- B. The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach on them.

- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.

- D. Excavation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the aforementioned "Tree and Shrub Planting Diagrams".

- E. A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.

- F. Planting pits shall be excavated to the following dimensions and refilled with a mixture of (1/2) planting soil (1/2) existing native soil:
- 1 Gallon material (1 gal.) 12" x 12" x 12" min.
  - 3 Gallon material (3 gal.) 20" x 20" x 18" min.
  - Large material (7 gal.) 30" x 30" x 24" min.
- Field grown material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.

- G. No planting or laying of sod shall be initiated until the area has been cleared of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, with positive drainage away from buildings and towards drain inlets and swales and approved by Landscape Architect or owner's rep.

- H. Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.

- I. All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.

- J. All flagging ribbon shall be removed from trees and shrubs before planting.

- K. Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.

- L. All palms shall be backfilled with sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the base of the trunk for future watering. Saucer areas shall be top-dressed two (2") inches deep with topsoil raked and left in a neat, clean manner.

3.04 PRUNING:

- A. Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.

- B. Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angles to line of growth will not be permitted.

- C. Trees shall not be poled or topped.

- D. Remove all trimmings from site.

3.05 GUYING:

- A. All trees over six (6) feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion. See Detail.

- B. Wires shall not come in direct contact with the tree but shall be covered with an approved protection device at all contact points. Wires shall be fastened in such a manner as to avoid pulling crotches apart.

- D. Stake & Brace all trees larger than 12" oa. See detail. Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.

- E. Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.

3.06 WATER:

- A. Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Architect.
- B. See General Notes of Landscape Plan for water source.

3.07 SOD:

- A. The Landscape Contractor shall sod all areas indicated on the drawings.

- B. It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, slicks, stones, and other debris.

- C. The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds, or any other objectionable vegetation, fungus, insects, or disease. The soil embedded in the sod shall be good clean earth, free from stones and debris.

- D. Before being out and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

- E. 6-6-6 fertilizer with all trace elements is to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.

- F. Solid sod shall be laid with closely abutting, staggered joints with a tamped or rolled, even surface.

- G. The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.

- H. If in the opinion of the Landscape Architect, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly washed in.

3.08 SEEDING

- A. The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.

- B. Application Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulls Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.

- C. Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.

- D. Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

3.09 CLEANING UP:

- A. The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.

- A. MAINTENANCE:
- A. Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead materials, resetting plants to proper grades or upright positions, spraying, restoration of planting saucer and/or any other necessary operations.

- B. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- C. Replacement of plants during the maintenance period shall be the responsibility of the Contractor, excluding vandalism or damage on the part of others, lighting, or hurricanes force winds, until final acceptance.

- D. In the event that weeds or other undesirable vegetation become prevalent, it shall be the Contractor's responsibility to remove them.

- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricane force winds.

3.11 COMPLETION, INSPECTION AND ACCEPTANCE

- A. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Drawings and in the Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.

- B. Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the request of the Landscape Contractor.

- C. All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.

- D. After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER

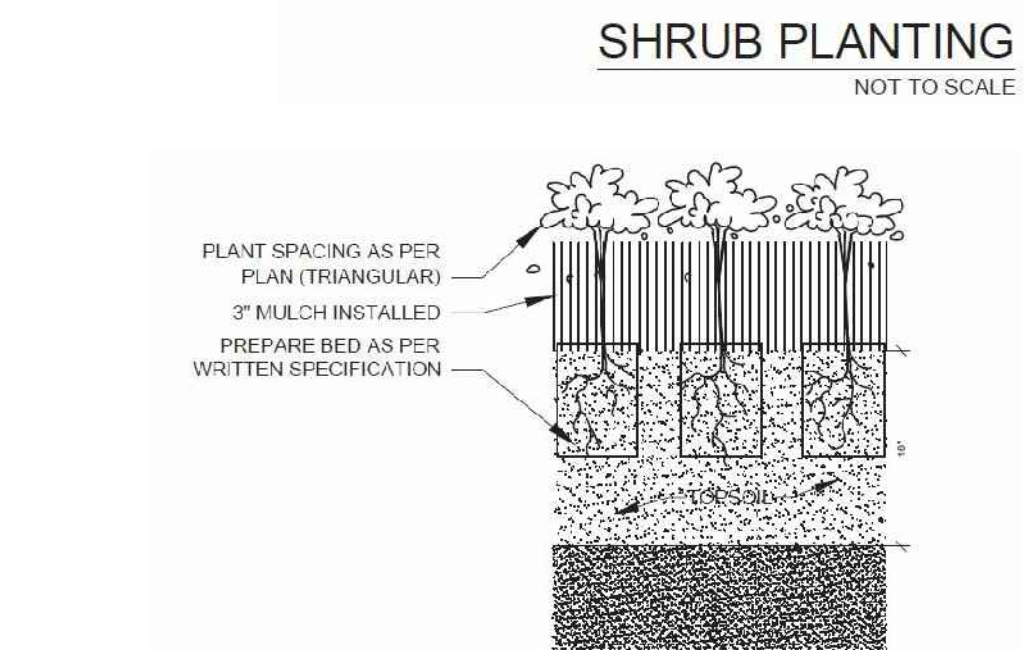
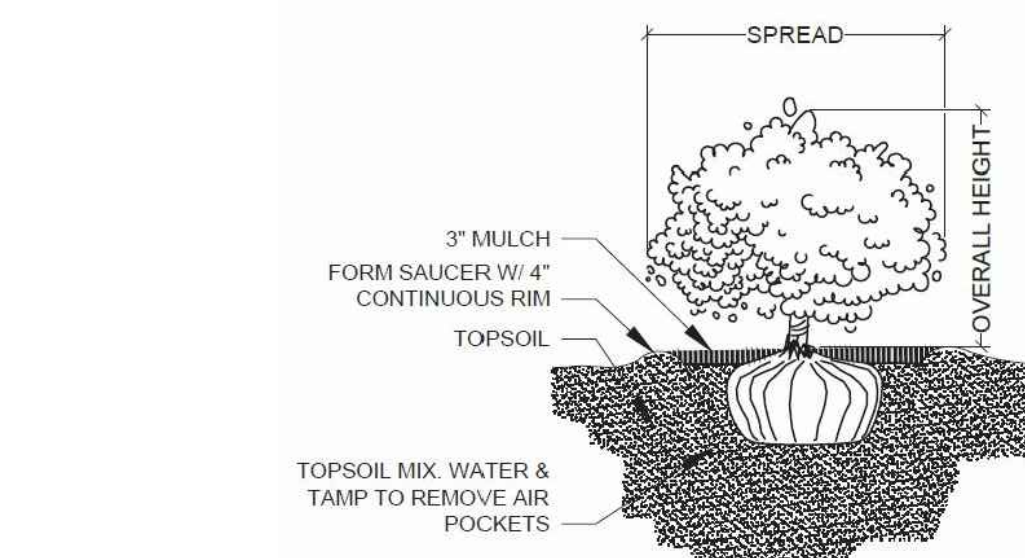
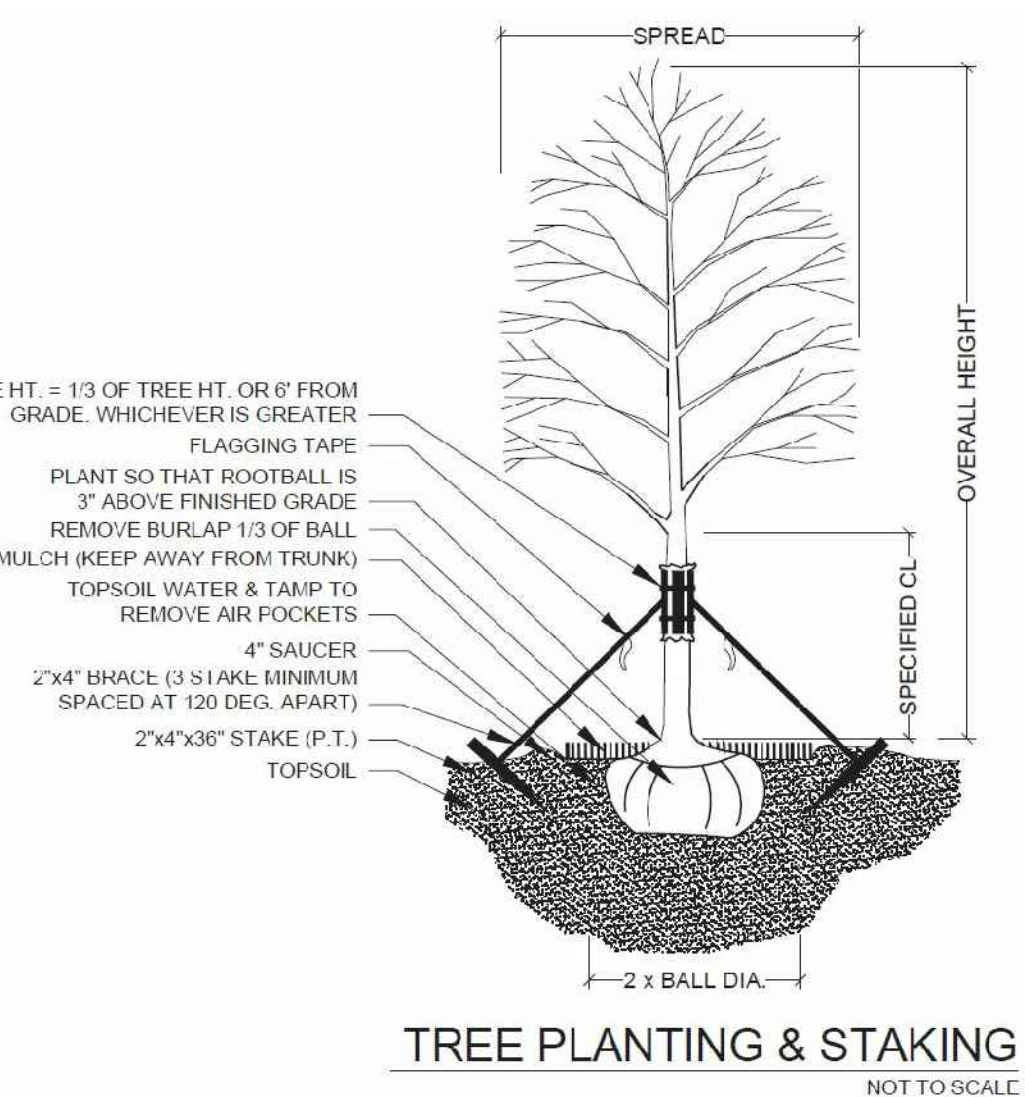
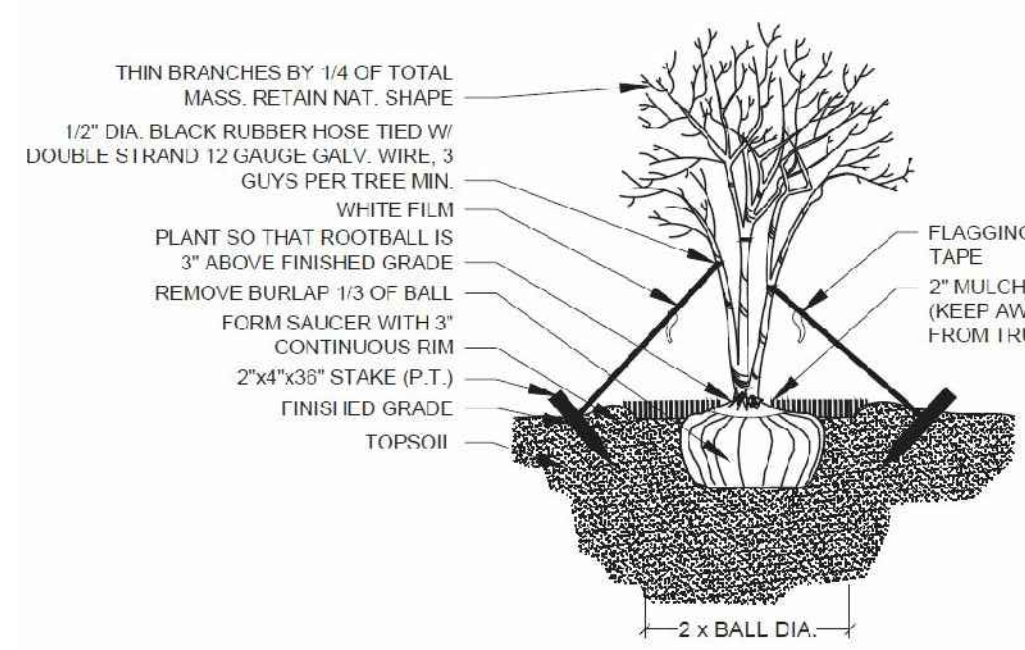
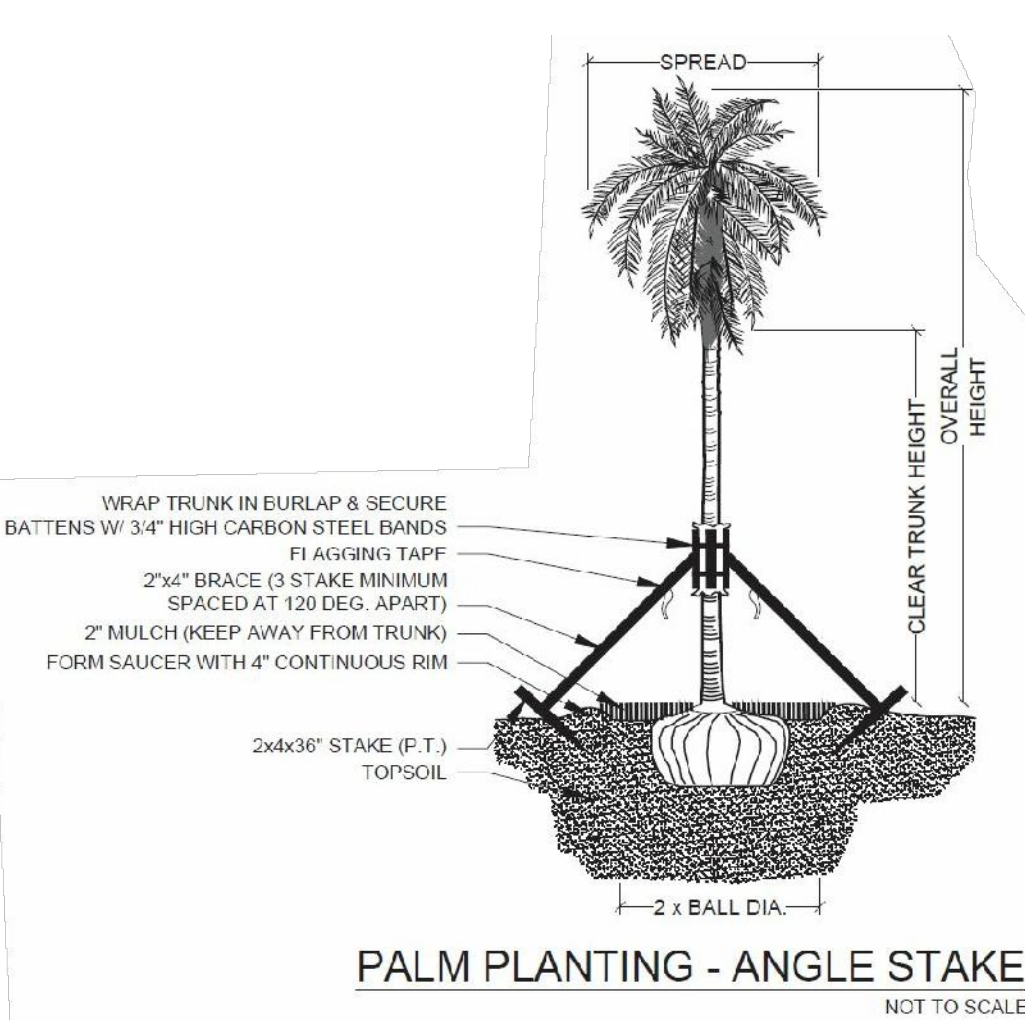
A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE.

- B. FILL PLANTING PIT WITH TWELVE INCHES (12") OF WATER. IF THE WATER LEVEL DROPS FOUR (4") OR MORE WITHIN FOUR (4) HOURS, THE DRAINAGE IS SUFFICIENT AND A DRAINAGE CHANNEL IS NOT REQUIRED. IF THE WATER LEVEL DROPS LESS THAN FOUR INCHES (4") WITHIN THE FOUR (4) HOUR PERIOD, A DRAINAGE CHANNEL IS REQUIRED.

- C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST EXTEND DOWN THROUGH THE NON POROUS SOIL AND INTO POROUS SOIL. (SEE DETAIL.)

- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.

- E. WHEN BACKFILLING PLANTING PITS WITH PLANTING MIXTURE, CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING PIT AND DRAINAGE CHANNEL.



Project Team

Landscape Designer:

**BRANDON M. WHITE, ASLA**  
1708 SE Joy Haven Street  
Port St. Lucie, FL 34983  
(772) 834-1357

Civil Engineer:

**Ganem Consulting Engineering**  
18200 NE 19th Ave, Suite 105  
North Miami Beach, FL 33162

# New Soccer Field

4151 N 29th Ave., Hollywood, FL 33024

## Landscape Details & Specifications

Revisions			
Date	Init.	Description	
06.21.19	BW	Initial Submittal	

PAUL GOULAS, RLA  
FLORIDA REG. #1A6666807

Drawn By: BW

Checked By: PG

Municipal Project:

Scale:

NORTH

SCALE: 1" = 0'

0 0' 0'

4 of 4