

RECEIVED

PLANNING DIVISION



File No. (internal use only):

AUG 14 2019

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CITY OF HOLLYWOOD
PLANNING DIVISION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 07.01.19

Location Address: 1748 Taft Street

Lot(s): A-6 Block(s): Subdivision: Chattanooga Park

Folio Number(s): 5142 10 12 0011

Zoning Classification: FH2 Land Use Classification: TOD

Existing Property Use: Multi Family Sq Ft/Number of Units: 10

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request:

Number of units/rooms: 80 Sq Ft: 94,070 (Includes garage)

Value of Improvement: 7,500,000 Estimated Date of Completion: December 2020

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: MANESH PATEL

Address of Property Owner: 1500 SE 5th Ave, Dania Beach, Florida 33304

Telephone: 954-771-4800 Fax: 954-771-5800 Email Address: danpatel61@gmail.com

Name of Consultant/Representative/Tenant (circle one): Eric Anderson

Address: 399 Camino Gardens Blvd. #202 Telephone: 561-362-0220

Fax: 561-362-0224 Email Address: eric@andersonarchitecture.com

Date of Purchase: 2017 Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing:

Address:

Email Address:

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 06.28.19

PRINT NAME: _____

MANESH PATEL

Date: 06.28.19

Signature of Consultant/Representative: _____

Eric Anderson

Date: 06.28.19

PRINT NAME: Eric Anderson

Date: 06.28.19

Signature of Tenant: _____

N/A

Date: _____

PRINT NAME: _____

N/A

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan Approval to my property, which is hereby made by me or I am hereby authorizing Eric Anderson to be my legal representative before the TRC (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 28 day of June 2019

Sheri M. Galante

Notary Public

State of Florida

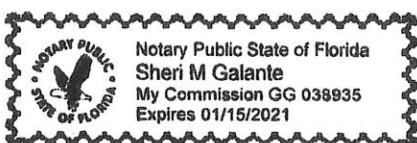
My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Manesh Patel

Signature of Current Owner

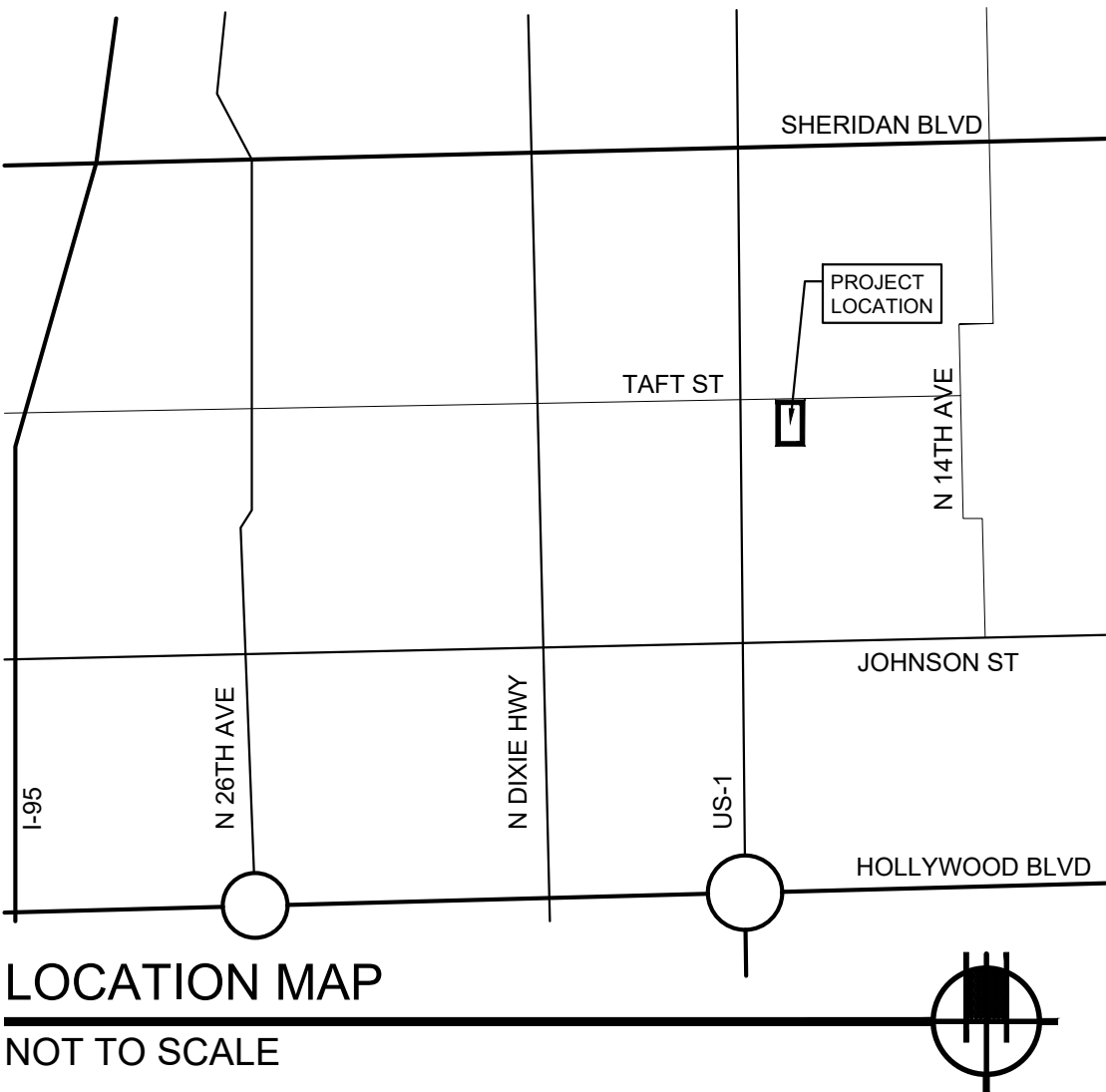
Dan Patel

Print Name



A Site Plan Approval for: Holiday Inn Express

1748 Taft Street
Hollywood, Florida



PROJECT TEAM:

OWNER / DEVELOPER:

DP HOTELS

1500 SE 5TH AVENUE
DANIA BEACH, FLORIDA 33004
CONTACT: DAN PATEL
PHONE: 954.874.1800
EMAIL: DANPATE61@GMAIL.COM

ARCHITECTURE:

ANDERSON ARCHITECTURE, INC.

399 CAMINO GARDENS BOULEVARD, SUITE 202
BOCA RATON, FLORIDA 33432
CONTACT: ERIC ANDERSON
PHONE: 561.362.0220 FAX: 561.362.0224
EMAIL: ERIC@ANDERSONARCHITECTURE.COM

SURVEYOR:

ACCURATE LAND SURVEYORS, INC.

1150 E. ATLANTIC BLVD
POMPANO BEACH, FLORIDA 33064
PHONE: 954.782-1441
E-MAIL: LYNN@ACCURATELANDSURVEYORS.COM

CIVIL ENGINEERING:

HOLLAND ENGINEERING, INC.

1120 SE 3RD AVENUE
FORT LAUDERDALE, FLORIDA 33316
CONTACT: SUSAN HOLLAND
PHONE: 954.367.0371
PHONF: E-MAIL: SUSAN@HOLLANDENGINEERING.NET

LANDSCAPE:

JBC PLANNING & DESIGN

1312 MAJESTY TERRACE
WESTON, FLORIDA 33327
CONTACT: JILL COHEN
PHONE: 954-802-6292
E-MAIL: JILL@JBCPLANNING.COM

PROJECT SCOPE:

THE PROPOSED PROJECT INVOLVES THE CONSTRUCTION OF A NEW 8-STORY, 80-ROOM HOTEL (HOLIDAY INN EXPRESS A IHG BRAND) WITH 52 PARKING SPACES.

THE PROJECT WILL BE BUILT AS ONE PHASE.

UNIT TYPES BREAKDOWN:
• 30 KING GUESTROOMS (38%)
• 45 DOUBLE QUEEN GUESTROOMS (6%)
• 05 ADA MOBILITY KING GUESTROOMS (56%)

REQUIRED & PROVIDED:
(5) ACCESSIBLE MOBILITY ROOMS AND (9) COMMUNICATION ROOMS.

SITE TABULATIONS:

LAND USE:	GROUP R - HOTEL
ZONING DISTRICT:	FH-2
TOTAL SITE AREA:	20,944 SF - 0.48 ACRES
BUILDING FOOTPRINT COVERAGE: (FIRST FLOOR FOOTPRINT / UPPER FLOORS OVERHANG)	15,700 SF
SITE AREAS:	
GROUND FLOOR: LOBBY / BOH / STAIR	4,514 SF
GARAGE	8,961 SF
DUMPSTER	155 SF
UPPER FLOORS OVERHANG	2,070 SF
SIDEWALKS / PAVED AREAS:	1,476 SF
LANDSCAPED SPACE	3,817 SF
FLOOR RATIO AREA (FAR): (49,647 SF / 20,944 SF)	2.37
(GARAGE, DUMPSTER, POOL DECK & ELEVATOR SHAFTS FROM SECOND FLOOR UP AREAS EXCLUDED)	
BUILDING HEIGHT:	84'-0"
(SEE EXTERIOR ELEVATIONS FOR ALL PARAPET HEIGHTS)	
REQUIRED BUILDING SETBACKS:	PROVIDED
10 FT AT FRONTAGE	10'-0"
0 FT AT SIDE INTERIOR	4'-11"
5 FT ALLEY	5'-0"
60 FT AT SIDE ABOVE 55FT WHEN ADJACENT TO FH-1	60'-0"

BUILDING AREAS:

PROPOSED HOTEL FLOOR AREAS:			
FIRST FLOOR:	13,630 SF	LOBBY / BOH / STAIR / GARAGE / DUMPSTER	
SECOND FLOOR:	15,201 SF	GARAGE	
THIRD FLOOR:	15,201 SF	GARAGE	
FOURTH FLOOR:	15,675 SF	16 ROOMS / COMMON AREAS / POOL DECK	
FIFTH FLOOR:	8,572 SF	16 ROOMS	
SIXTH FLOOR:	8,572 SF	16 ROOMS	
SEVENTH FLOOR:	8,572 SF	16 ROOMS	
EIGHTH FLOOR:	8,572 SF	16 ROOMS	
TOTAL:	94,070 SF	80 ROOMS	

PARKING:

PARKING REQUIRED:	28
(1 SPACE FOR THE FIRST 10 ROOMS, PLUS .25 PER ROOM FOR EACH ADDITIONAL ROOM)	
ADA PARKING REQUIRED:	3
(FBC - ADA 2017 - TABLE 208.2: 51 TO 75 PARKING PROVIDED)	
PARKING PROVIDED:	
FIRST FLOOR:	11
SECOND FLOOR:	24
THIRD FLOOR:	17
TOTAL PARKING PROVIDED:	52
STANDARD PARKING:	49
ADA PARKING:	3

SHEET INDEX :

G-001 COVER SHEET

SURVEY:

BOUNDARY, TOPOGRAPHIC & TREE SURVEY

ARCHITECTURAL:

- A-111 DEMOLITION SITE PLAN
- A-121 FIRST FLOOR PLAN
- A-122 SECOND FLOOR PLAN
- A-123 THIRD FLOOR PLAN
- A-124 FOURTH FLOOR PLAN
- A-125-8 TYPICAL FLOOR PLAN
- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS

CIVIL:

- C-1 GRADING & DRAINAGE PLAN
- C-2 WATER & SEWER PLAN

LANDSCAPE:

- LP-1 LANDSCAPE PLAN
- LP-2 LANDSCAPE DETAILS

anderson
architecture, inc.

399 CAMINO GARDENS BLVD.
SUITE 202
BOCA RATON, FLORIDA 33432
V: 561.362.0220

www.andersonarchitecture.com

consultant:

seal:

ERIC ANDERSON

A Site Plan Approval for:
Holiday Inn Express
1748 Taft Street
Hollywood, FL

revision:

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date:

--	--	--	--	--	--	--	--	--	--

commission:

18-061

principal:

ERIC ANDERSON

project manager:

FRCB

file name:

8061-G-001-CS

date:

08-12-2019

title:

COVER SHEET

CS

of:

9 | A

AA C001997

SYMBOLS & LEGEND OF ABBREVIATIONS:							
R/W	=	RIGHT OF WAY	X 7.00'	=	ELEVATIONS BASED ON N.A.V.D.		
N	=	NORTH	SQ. FT.	=	SQUARE FEET		
S	=	SOUTH	P.B.C.R.	=	PALM BEACH COUNTY RECORDS		
E	=	EAST	M.D.C.R.	=	MIAMI-DADE COUNTY RECORDS		
W	=	WEST	P.O.C.	=	POINT OF COMMENCEMENT		
D.B.	=	DEED BOOK	P.O.B.	=	POINT OF BEGINNING		
ENCH.	=	ENCHROACH	CHATT.	=	CHATTAHOOCHEE		
F.F.	=	FINISHED FLOOR	F.P.L.	=	FLORIDA POWER & LIGHT		
GAR.	=	GARAGE	B.C.R.	=	BROWARD COUNTY RECORDS		
C/L	=	CENTERLINE	O.R.B.	=	OFFICIAL RECORDS BOOK		
MH	=	MANHOLE	F.D.O.T.	=	FLORIDA DEPARTMENT OF TRANSPORTATION		
(M)	=	MEASURED	D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION		
P.B.	=	PLAT BOOK	D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES		
A/C	=	AIR CONDITIONER	P.R.M.	=	PERMANENT REFERENCE MONUMENT		
P	=	PLAT	N.A.V.D.	=	NORTH AMERICAN VERTICAL DATUM		
⊕	VALVE	⊕	WELL	⊕	UTILITY BOX	⊕	VAULT
⊕	MANHOLE	⊕	METER	⊕	HYDRANT	⊕	LIGHT
⊕	BASIN	⊕	MONITORING WELL	⊕	UTILITY POLE	⊕	58 TREE

STREET ADDRESS:
1748 Taft Street, Hollywood, Florida 33020

LEGAL DESCRIPTION:
Lots 4, 5 and 6, Chattanooga Park, according to the Plat thereof, as recorded in Plat Book 2, page 39, of the Public Records of Broward County, Florida.

- NOTES:**
1. Unless otherwise noted field measurements are in agreement with record measurements.
 2. Bearings shown hereon are based on a bearing of N/A.
 3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of records by Accurate Land Surveyors, Inc.
 4. Ownership of fences and walls if any are not determined.
 5. This survey is the property of Accurate Land Surveyors, Inc. and shall not be used or reproduced in whole or in part without written authorization.
 6. This survey is made for the exclusive use of the certified hereon, to be valid one year from the last date of survey as shown hereon.
 7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
 8. The location of overhead utility lines are approximate in nature due to their proximity above ground. size, type and quantity must be verified prior to design or construction.
 9. Tree note: Surveyors responsibility is to show size & location of all trees, common and scientific name to be verified by certified arborist.
 10. There was no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
 11. There was no evidence of recent street or sidewalk construction or repairs in the process of conducting the fieldwork.
 12. Perimeter area of the subject property is 20,943 square feet, or 0.4808 acres, more or less.
 13. This survey reflects all obtainable, legible, plottable, recorded matters of survey per Chicago Title Insurance Company O and E report file number 7751623, dated 07-08-19.

FLOOD INFORMATION:
Community name and number: Hollywood 125113
Map and panel number: 12011C0569H
County: Broward
Revised: 08/18/2014
Flood zone: X(0.2%)

BENCHMARK INFORMATION:
City of Hollywood benchmark location nail and tab intersection of Taft Street and 17th Court
elevation = 6.35'NAVD1988

CERTIFY TO:
Dan Patel

CERTIFICATION:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes Items 1, 2, 3, 4, 7a, 7b1, 8, 9, 11(observed evidence), 13, 14, 16 and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Florida, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.
(Date of survey 07-03-19)

Robert L. Thompson

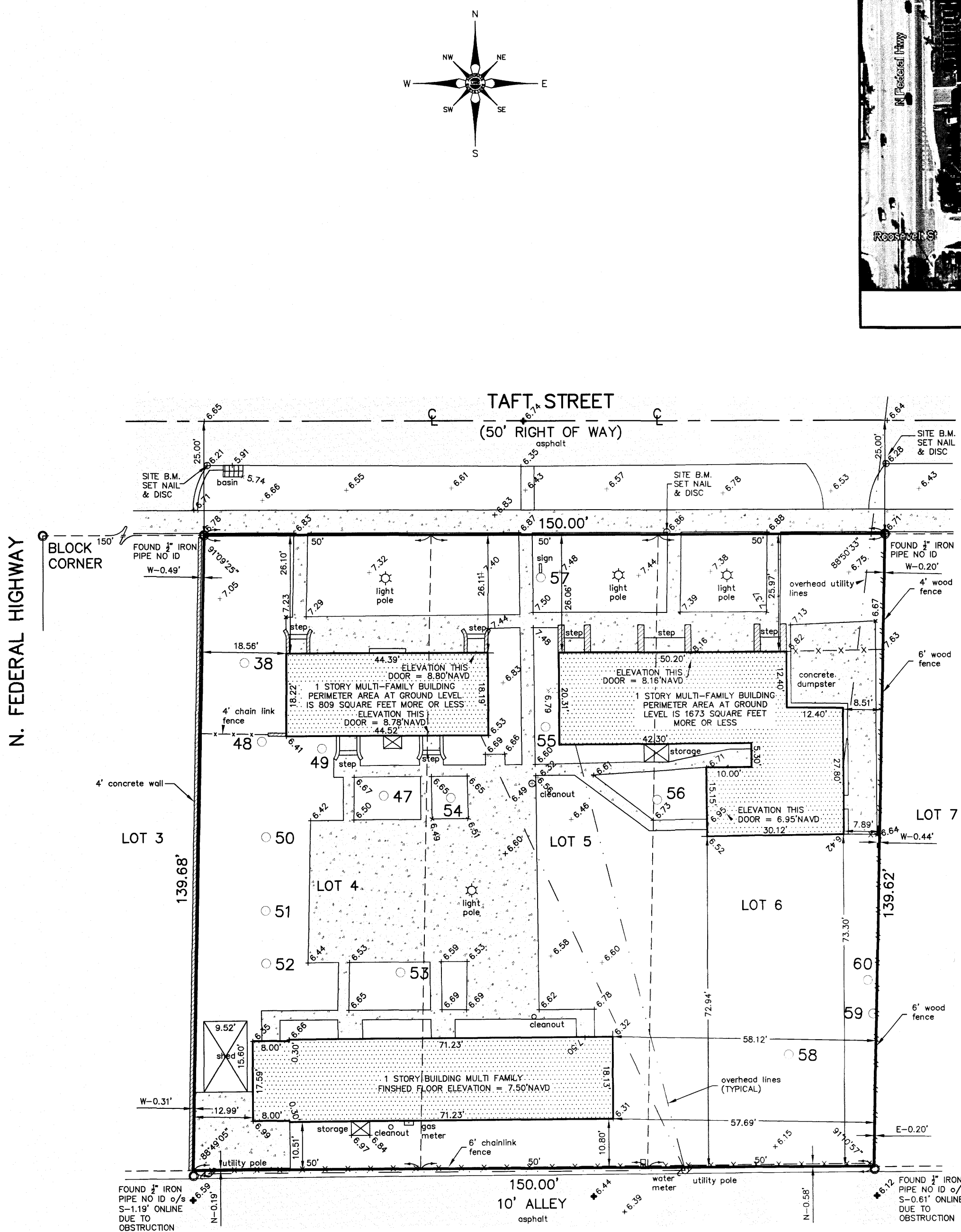
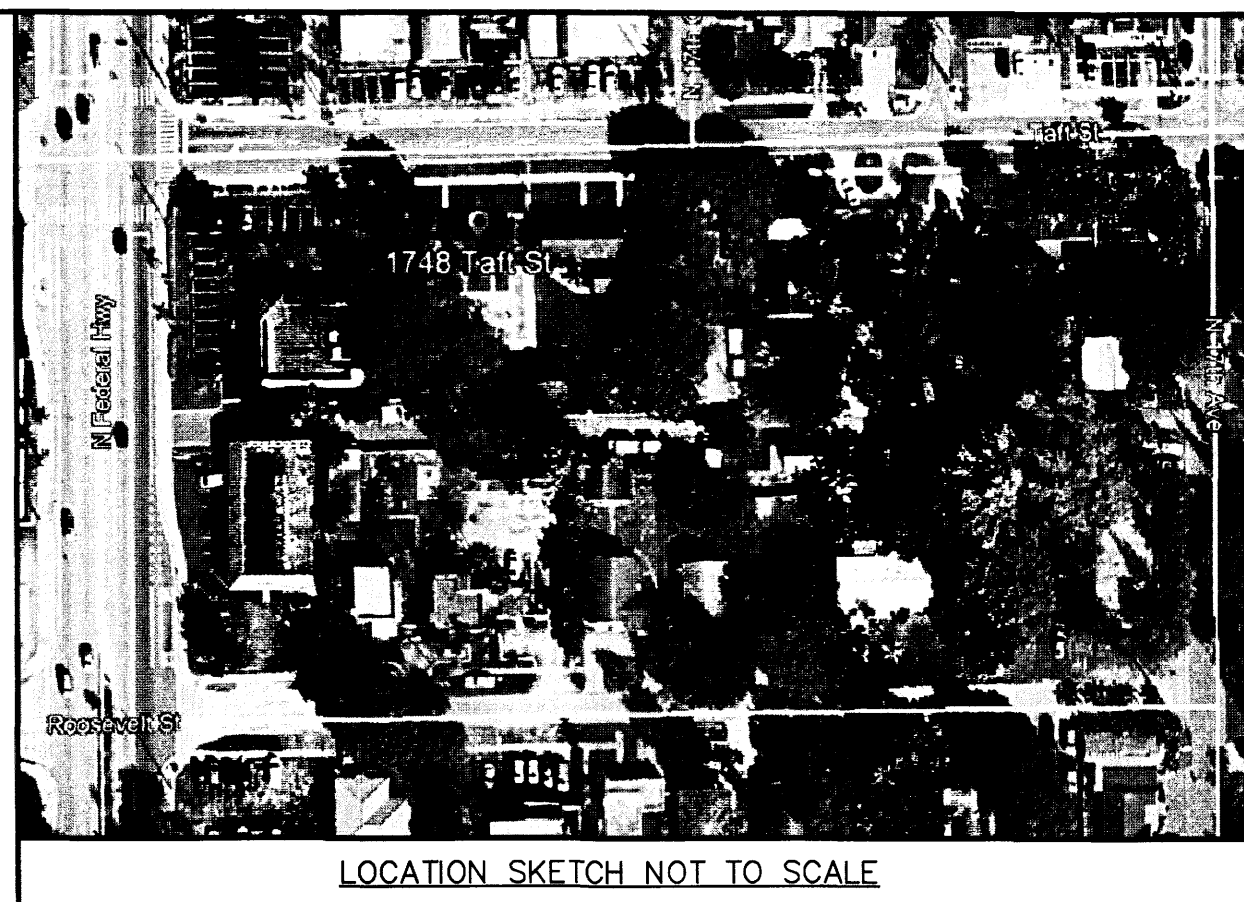
8-5-19

ROBERT L. THOMPSON (PRESIDENT)

PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

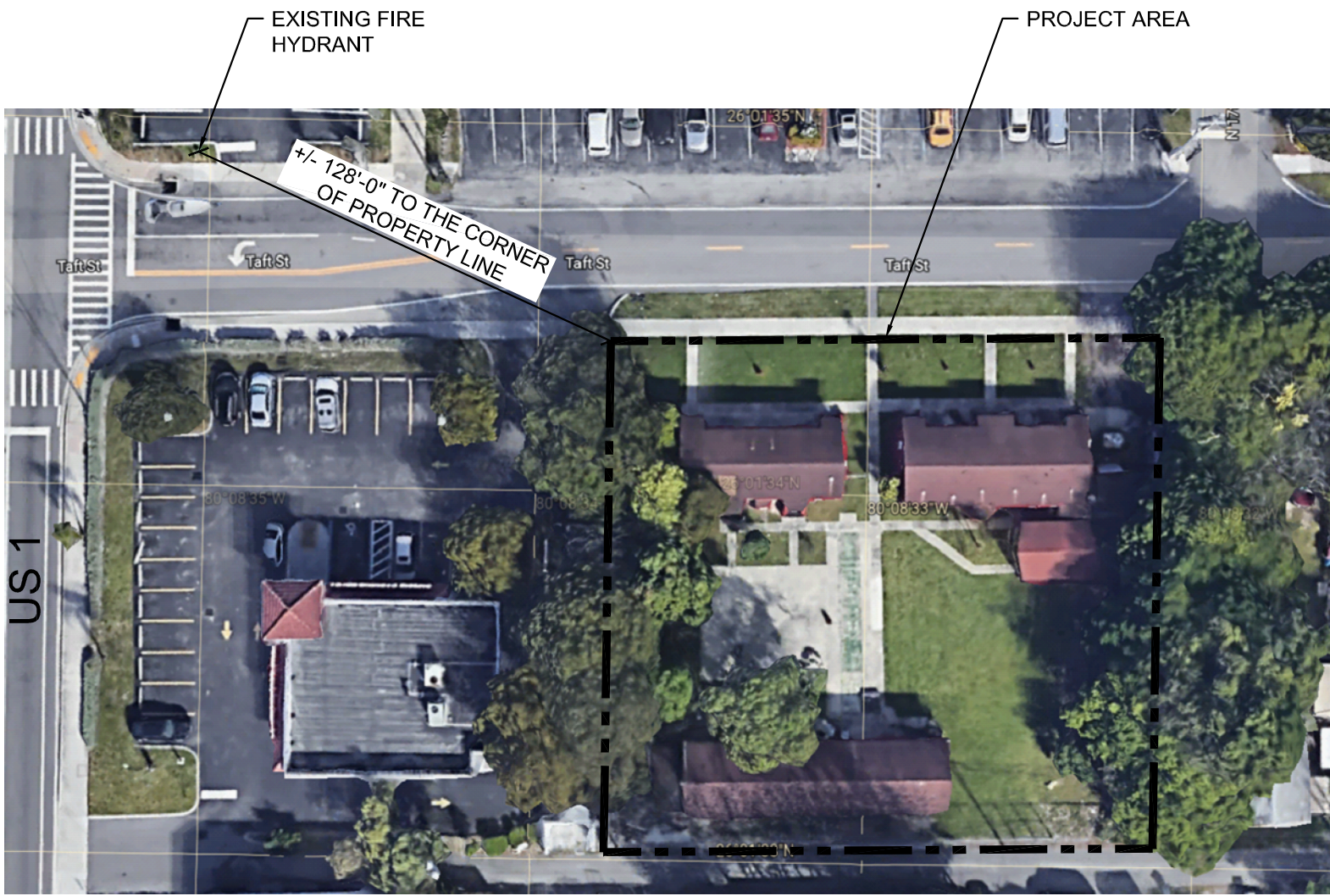
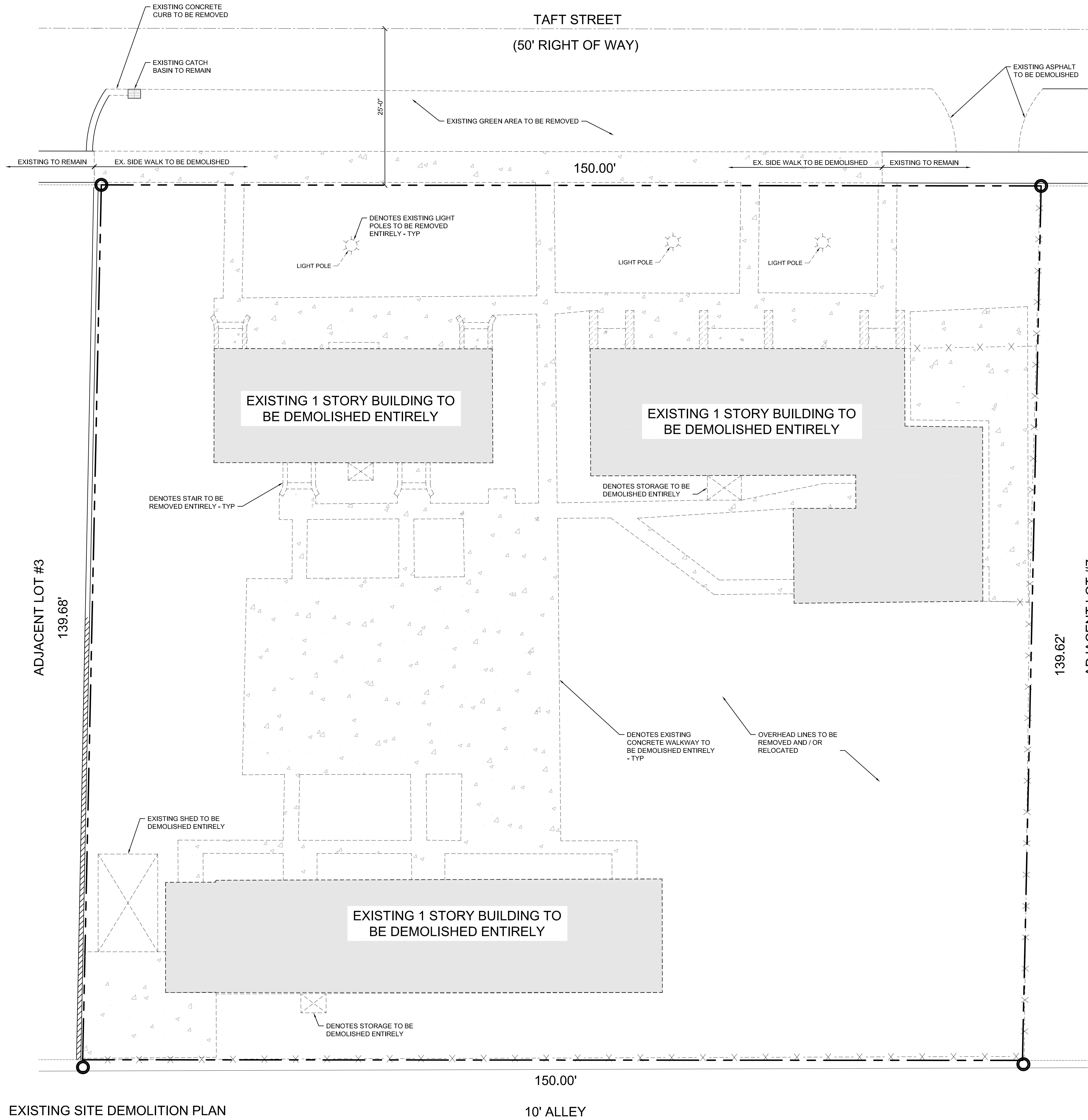
SEAL
Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

SHEET 1 OF 1	SCALE 1"=20'	SKETCH NUMBER SU-08-1678
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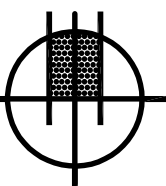


TREE #	DIAMETER & TYPE
38	0.50' DIAMTER UNKNOWN TREE
47	0.80' DIAMTER MANGO TREE
48	1' DIAMTER UNKNOWN TREE
49	1' DIAMTER UNKNOWN TREE
50	1.2' DIAMTER MANGO TREE
51	0.40' DIAMTER UNKNOWN TREE
52	0.50' DIAMTER MANGO TREE
53	1.50' DIAMTER UNKNOWN MANGO
54	0.40' DIAMTER UNKNOWN TREE
55	0.40' DIAMTER UNKNOWN TREE
56	0.80' DIAMTER PALM TREE
57	0.40' DIAMTER PALM TREE
58	0.50' DIAMTER MANGO TREE
59	2' DIAMTER FICUS TREE
60	0.40' DIAMTER UNKNOWN TREE

DATE OF FIELD SURVEY: 06-21-08		DRAWN BY: MLW	
FIELD BOOK: 2605-35		CHECKED BY: MLW	
REVISIONS & SURVEY UPDATES		DATE OF SURVEY & REVISIONS	BY
ALTA/NSPS LAND TITLE SURVEY 19-1672		07-03-19	MLW
UPDATE/TOPO/TREE SURVEY SU-18-3495		11-16-18	AL/RLT



SITE AERIAL VIEW - FIRE HYDRANT
N.T.S.



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consultant:

ERIC ANDERSON

A Site Plan Approval for:

Holiday Inn Express

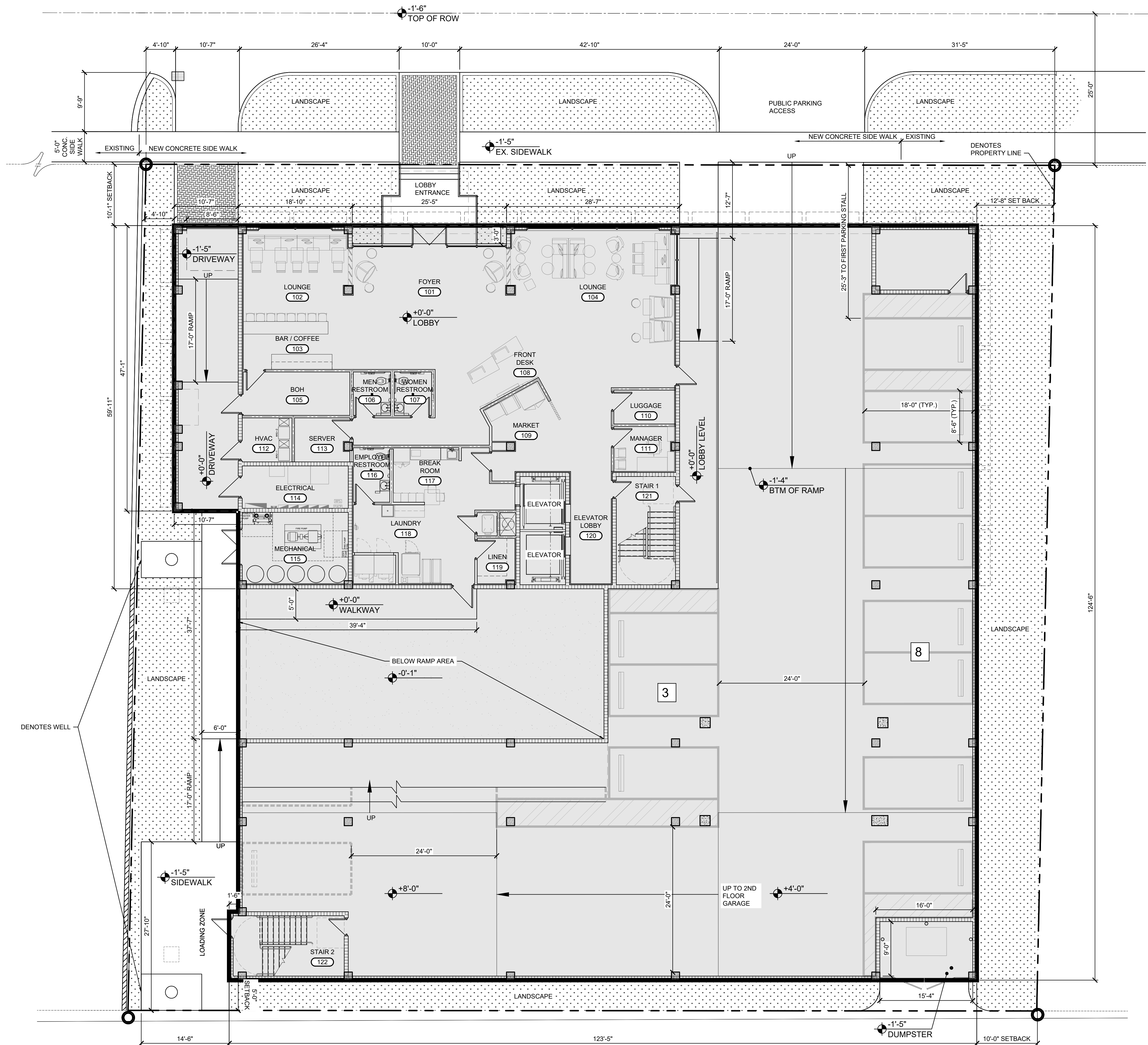
1748 Taft Street
Hollywood, FL

revision:	
date:	
commission:	18-061
principal:	ERIC ANDERSON
project manager:	FRCB
file name:	8061-A-111-DP1
date:	08-12-2019
title:	EXISTING SITE DEMOLITION PLAN

111

of:	9	A
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AA C001997



FIRST FLOOR PLAN

1/8"=1'-0"

TOTAL PARKING
1ST FLOOR: 11

resident:	
date:	

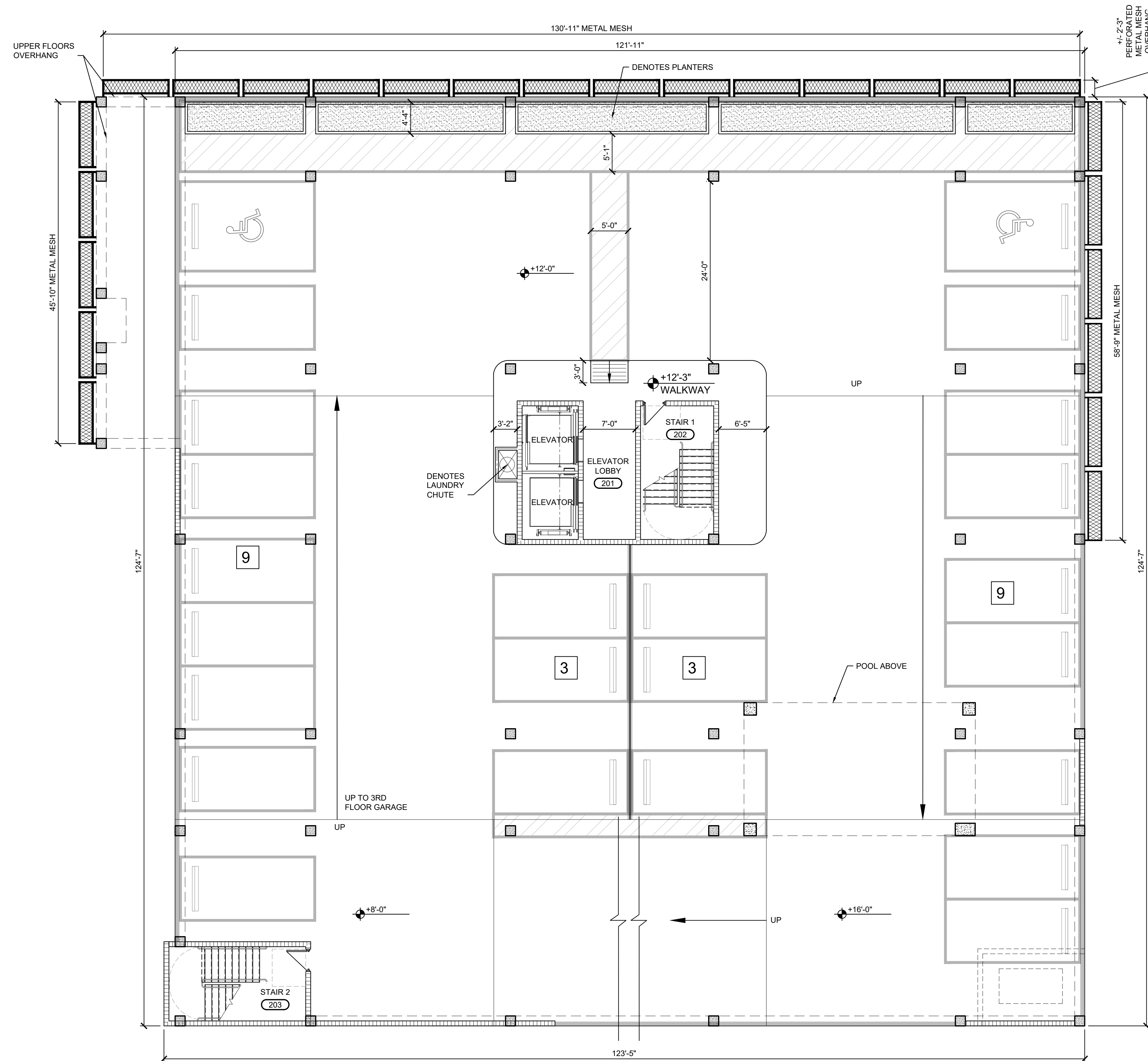
commission: 18-061
principal: ERIC ANDERSON
project manager: FRCB

file name: 8061-A-121-FP1
date: 08-12-2019
title:

FIRST
FLOOR PLAN

121

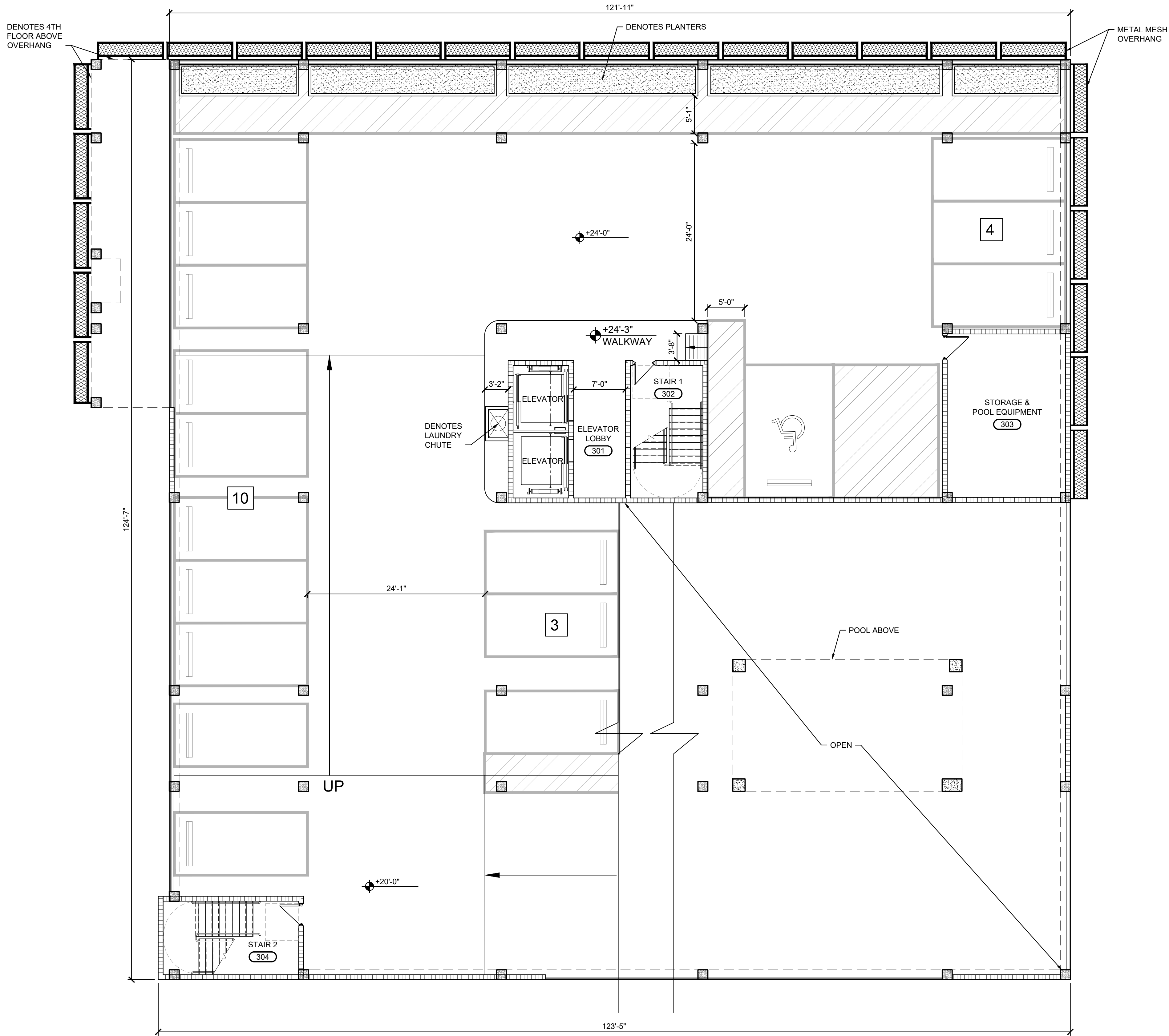
of: 9 A



SECOND FLOOR PLAN

1/8"=1'-0"

TOTAL PARKING
2ND FLOOR: 24



THIRD FLOOR PLAN
1/8"=1'-0"

TOTAL PARKING
3RD FLOOR: 17

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consultant:

seal:

ERIC ANDERSON

A Site Plan Approval for:
Holiday Inn Express
1748 Taft Street
Hollywood, FL

revision:

date:

commission: 18-061

principal: ERIC ANDERSON

project manager: FRCB

file name: 8061-A-123-FP3

date: 08-12-2019

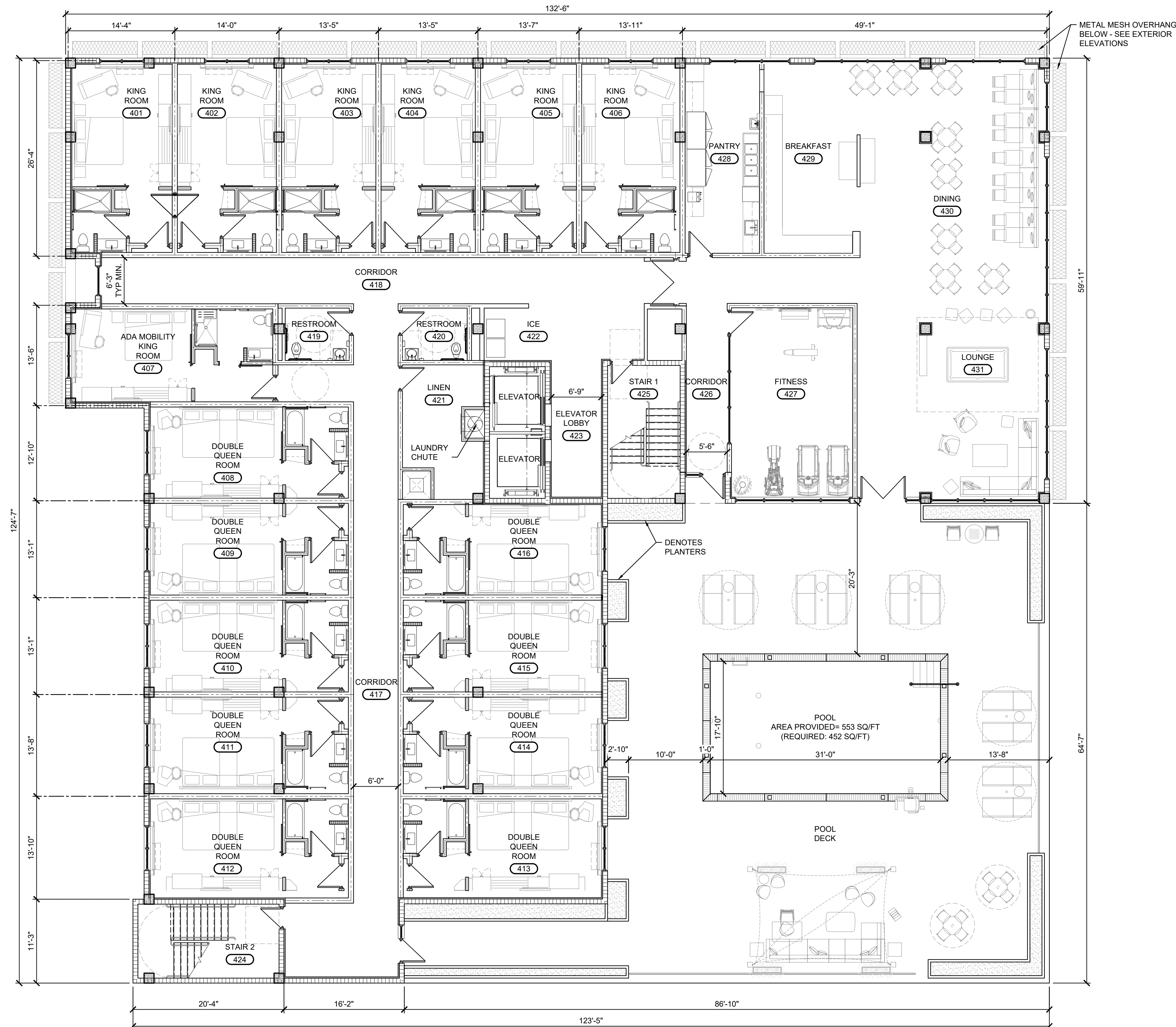
title: THIRD FLOOR PLAN

123

of: 9

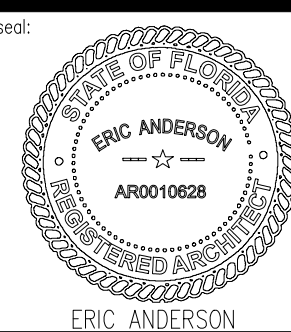
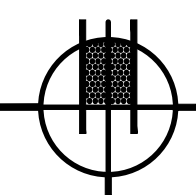
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AA C001997



- TOTAL GUESTROOMS AT 4TH FLOOR: 16
- 6 KING GUESTROOM
 - 1 ADA MOBILITY KING GUESTROOM
 - 9 DOUBLE QUEEN GUESTROOM

FOURTH FLOOR PLAN
1/8"=1'-0"



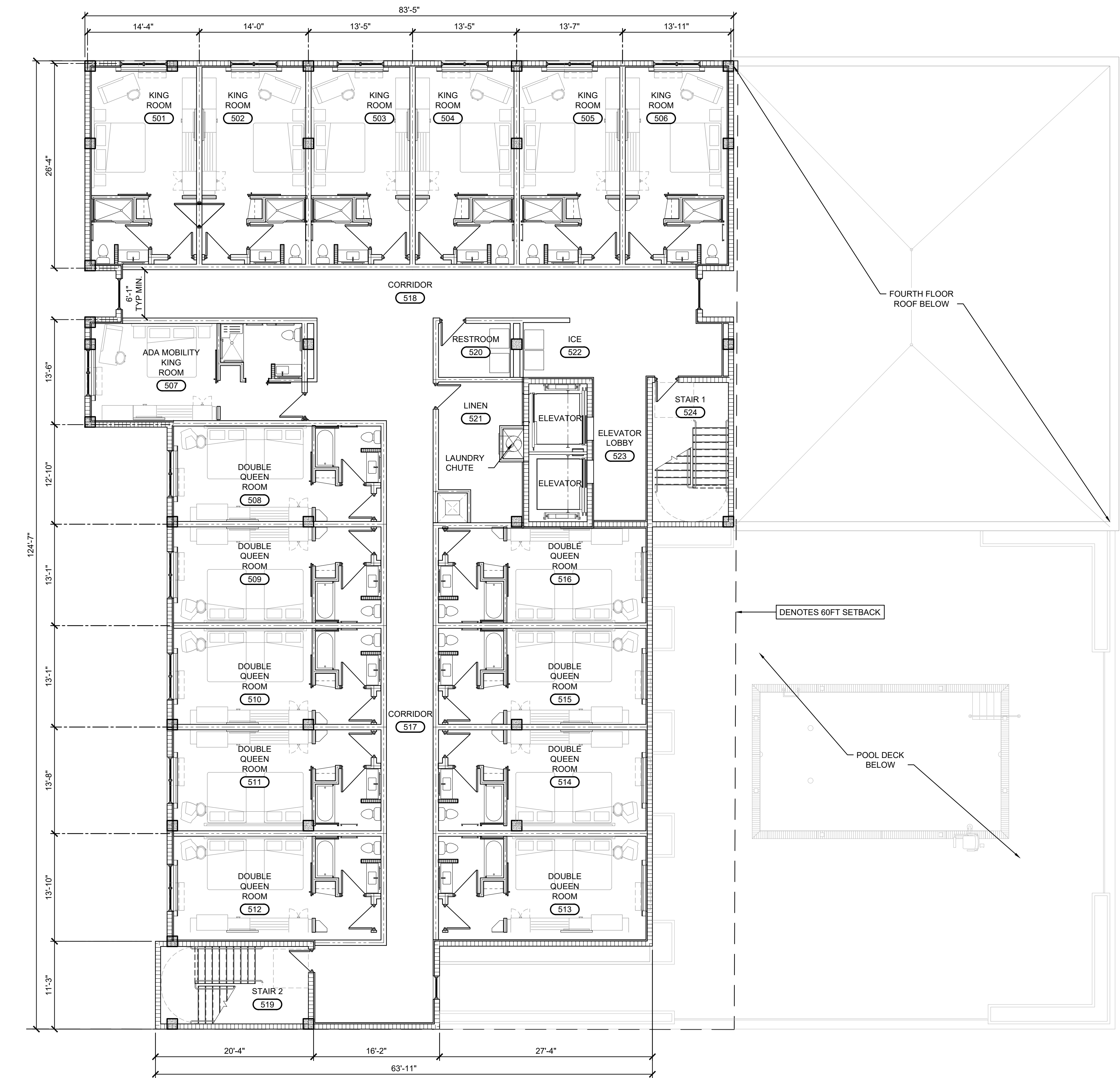
A Site Plan Approval for:
Holiday Inn Express
1748 Taft Street
Hollywood, FL

revision:	
date:	

commission: 18-061
principal: ERIC ANDERSON
project manager: FRCB

file name: 8061-A-124-FP4
date: 08-12-2019
title:

FOURTH
FLOOR PLAN



TOTAL GUESTROOMS AT TYP. FLOOR: 16

- 6 KING GUESTROOM
- 1 ADA MOBILITY KING GUESTROOM
- 9 DOUBLE QUEEN GUESTROOM

TOTAL GUESTROOMS PER FLOOR:

4TH FLOOR: 16
5TH FLOOR: 16
6TH FLOOR: 16
7TH FLOOR: 16
8TH FLOOR: 16

TOTAL: 80 ROOMS

FIFTH TO EIGHTH FLOOR PLAN
1/8"=1'-0"



anderson
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www.andersonarchitecture.com

consultant:

seal:

ERIC ANDERSON
AR0010628
ERIC ANDERSON

A Site Plan Approval for:
Holiday Inn Express
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Hollywood, FL

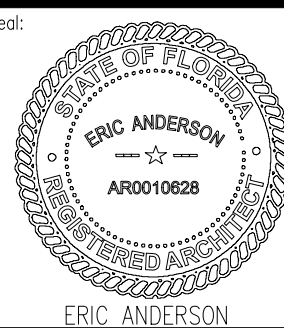
revision:	
date:	

commission:	18-061
principal:	ERIC ANDERSON
project manager:	FRCB
file name:	8061-A-125-FP5
date:	08-12-2019
title:	FIFTH TO EIGHTH FLOOR PLAN

125-8

of:	9	A
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AA C001997



A Site Plan Approval for:
Holiday Inn Express
1748 Taft Street
Hollywood, FL

revision:

date:

commission: 18-061

principal: ERIC ANDERSON

project manager: FRCB

file name: 8061-A-201-EE

date: 08-12-2019

title:

EXTERIOR
ELEVATIONS

201

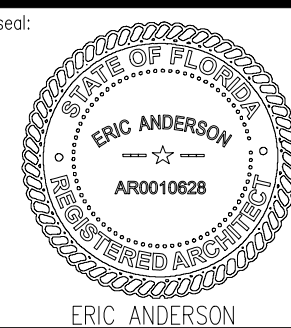
of: 9 A

AA C001997





consultant:



A Site Plan Approval for:
Holiday Inn Express
1748 Taft Street
Hollywood, FL

date	revision

commission: 18-061
principal: ERIC ANDERSON
project manager: FRCE

File name: 8061-A-202-EE

Date: 08-12-2019

Title:

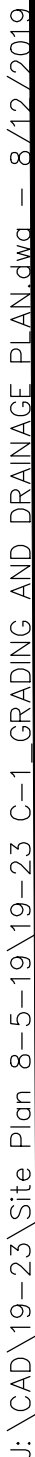
EXTERIOR ELEVATIONS

202

9	A
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AA C001997





LEGAL DESCRIPTION:
Lots 4, 5 and 6, Chattanooga Park, according to the
Plat thereof, as recorded in Plat Book 2, page 39,
of the Public Records of Broward County, Florida.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER. THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

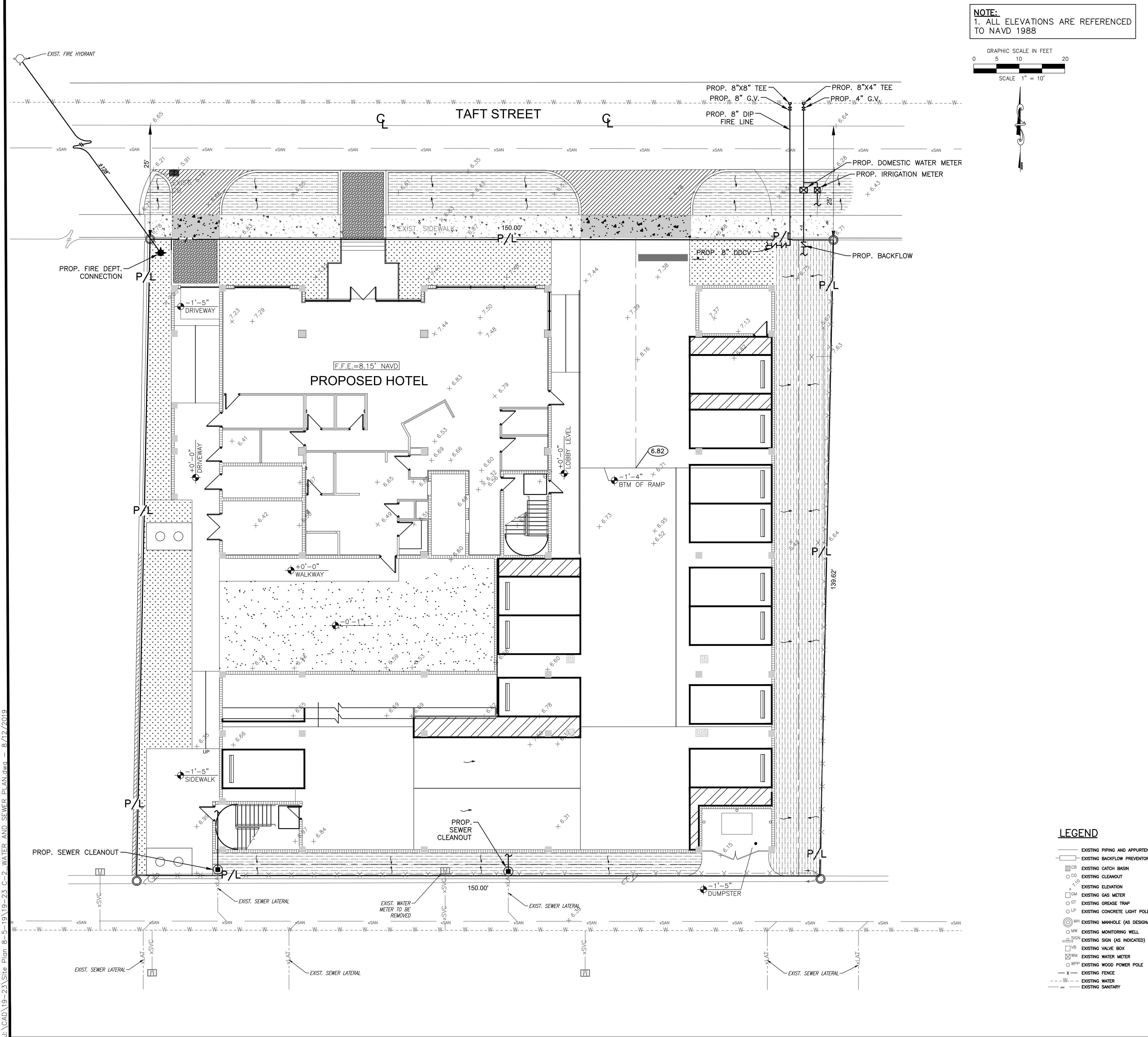
- NOTES:
1. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
 2. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
 3. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
 4. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD REQUIREMENTS.
 5. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
 6. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
 7. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
 8. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
 9. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
 10. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
 11. FEMA FLOOD ZONE X.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

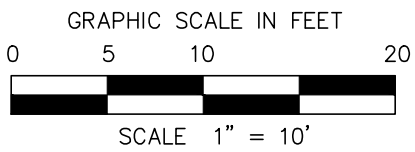
- ## LEGEND
- | | | | |
|--|-----------------------------------|--|-------------------------------|
| | EXISTING PIPING AND APPURTENANCES | | PROPOSED SWALE |
| | EXISTING BACKFLOW PREVENTOR | | PROPOSED ASPHALT PAVEMENT |
| | EXISTING CATCH BASIN | | PROPOSED 4" CONCRETE SIDEWALK |
| | EXISTING CLEANOUT | | PROPOSED 6" CONCRETE SIDEWALK |
| | EXISTING ELEVATION | | PROPOSED ELEVATION |
| | EXISTING GAS METER | | PROPOSED DRAINAGE MANHOLE |
| | EXISTING GREASE TRAP | | PROPOSED EXFILTRATION TRENCH |
| | EXISTING CONCRETE LIGHT POLE | | |
| | EXISTING MANHOLE (AS DESIGNATED) | | PROPOSED PIPING |
| | EXISTING MONITORING WELL | | PROPOSED CATCH BASIN |
| | EXISTING SIGN (AS INDICATED) | | PROPOSED WATER METER |
| | EXISTING VALVE BOX | | PROPOSED SURFACE FLOW |
| | EXISTING WATER METER | | |
| | EXISTING WOOD POWER POLE | | |
| | EXISTING FENCE | | |
| | EXISTING WATER | | |
| | EXISTING SANITARY | | |

NO. OF SHEETS: 2		 HOLLAND ENGINEERING INC. engineers civil 1120 SE 3RD AVENUE - FORT LAUDERDALE - FL 33316 (954)367-0371 CA 7325		SCALE: 1" = 10'		FINAL APPROVAL	
SHEET NO.: C-1				DRAWN BY: HS		DESIGNED BY: SCH	
CAD FILE NO. 19-23				CHECKED BY: SCH		DATE: 08/12/19	
CONCEPTUAL PLANS				FIELD BOOK: N/A			

J:\CAD\19-23\Site Plan 8-5-19\19-23 C-2 WATER AND SEWER PLAN.dwg - 8/12/2019



NOTE:
1. ALL ELEVATIONS ARE REFERENCED
TO NAVD 1988



LEGAL DESCRIPTION:
Lots 4, 5 and 6, Chattanooga Park, according to the
Plat thereof, as recorded in Plat Book 2, page 39,
of the Public Records of Broward County, Florida.

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN
SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION
ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK
ON SITE PER NFPA 1, 16.4.3.1.1.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE
PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE
INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN
ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY
ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN
COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING
ANY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL NOTIFY THE
ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK.
ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED
IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE
UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL
TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE
ALLOWED.

- NOTES:
1. REFER TO PLUMBING PLANS FOR COORDINATION WITH
BUILDING WATER, SEWER AND FIRE SERVICES.
 2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERAL
AND CONFIRM DEPTH OF PIPE.
 3. CONTRACTOR TO FIELD LOCATE ALL EXISTING
UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO
CONSTRUCTION.
 4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO
PREVENT PIPE CONFLICTS.

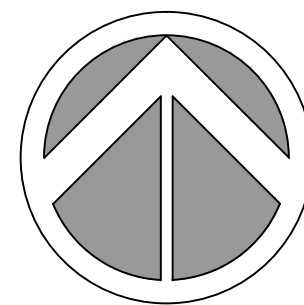
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE
CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY
DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE
ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY
ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO
THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS
NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE
CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY
DISCREPANCIES, ERRORS OR OMISSIONS.

WATER AND SEWER DEMAND
80 HOTEL ROOMS X 150 GPD/ROOM=12,000 GPD

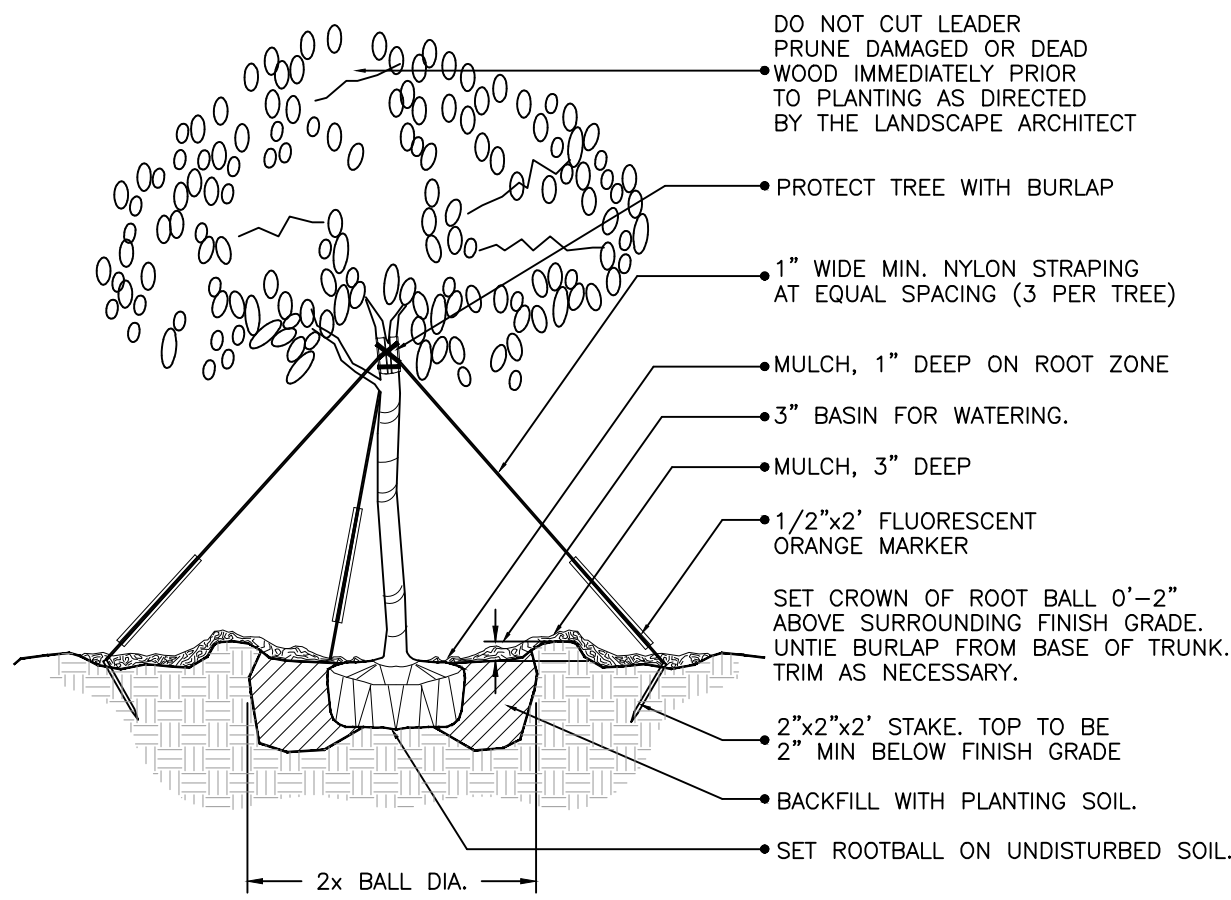
- LEGEND
- EXISTING PIPING AND APPURTENANCES
 - EXISTING BACKFLOW PREVENTOR
 - CB EXISTING CATCH BASIN
 - CO EXISTING CLEANOUT
 - EXISTING ELEVATION
 - GM EXISTING GAS METER
 - GT EXISTING GREASE TRAP
 - LP EXISTING CONCRETE LIGHT POLE
 - MH EXISTING MANHOLE (AS DESIGNATED)
 - MW EXISTING MONITORING WELL
 - SGN EXISTING SIGN (AS INDICATED)
 - VB EXISTING VALVE BOX
 - WM EXISTING WATER METER
 - WPP EXISTING WOOD POWER POLE
 - X EXISTING FENCE
 - W- - - EXISTING WATER
 - S- - - EXISTING SANITARY

- PROPOSED SWALE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED 6" CONCRETE SIDEWALK
- PROPOSED ELEVATION
- PROPOSED PIPING
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED TEE
- PROPOSED DDCV
- PROPOSED VALVE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED CLEANOUT
- PROPOSED CATCH BASIN
- PROPOSED SURFACE FLOW

FINAL APPROVAL		SCALE: 1"=10'		DESIGNED BY: HS		DATE: 08/12/19		FIELD BOOK: N/A	
SUSAN C. HOLLAND STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 1681		DRAWN BY: HS		DESIGNED BY: SCH		CHECKED BY: SCH			
HOLLAND ENGINEERING INC. civil engineers 1120 SE 3RD AVENUE - FORT LAUDERDALE - FL 33316 (954)367-0371									
CA 7325									
NO. OF SHEETS: 2		SHEET NO.: C-2		CAD FILE NO.: 19-23		CONCEPTUAL PLANS			

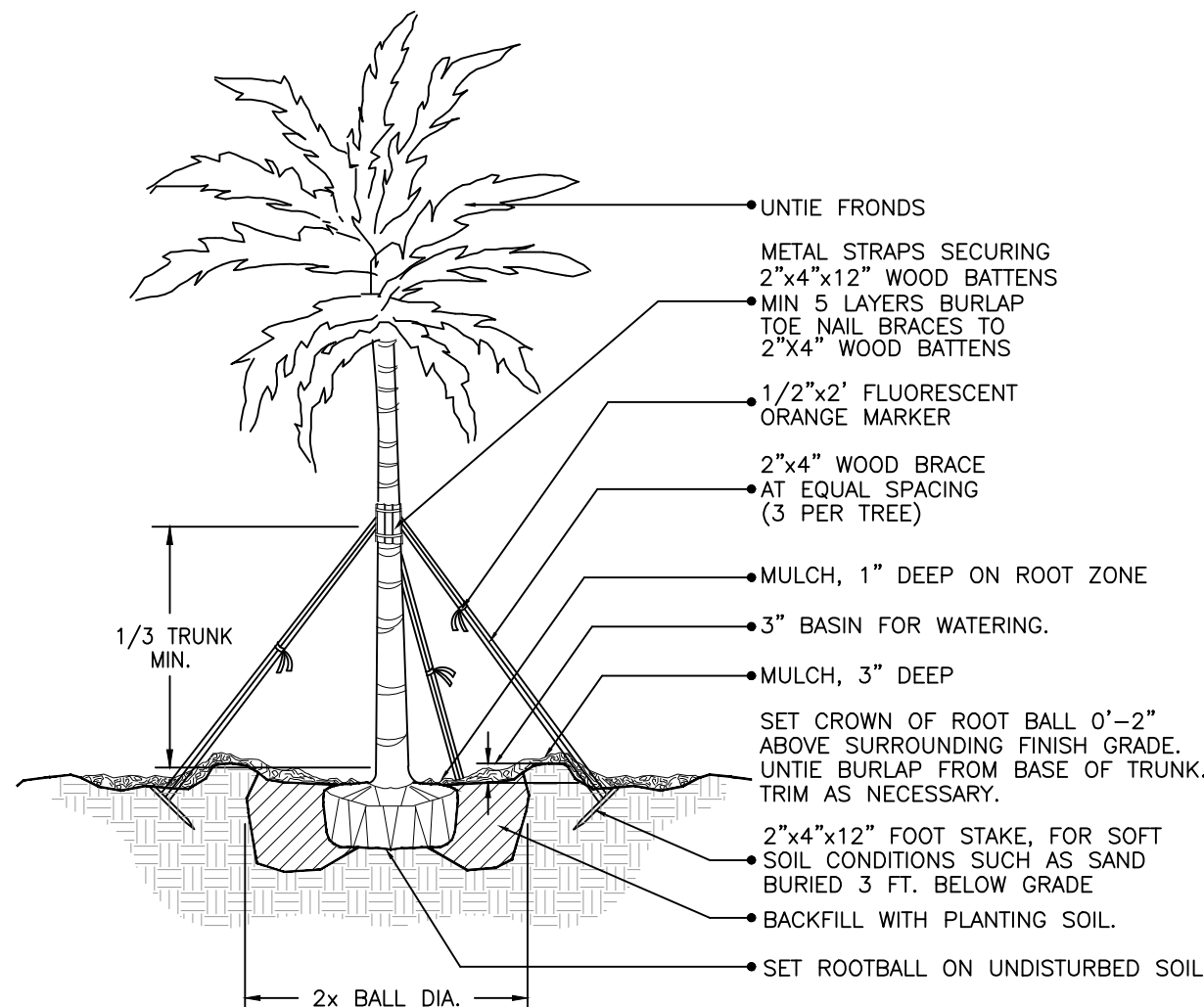


P:\19-0626 TAFT STREET HOLIDAY INN\19-0626 TAFT ST HOLIDAY INN LNP.DWG 8/9/19 by JILL



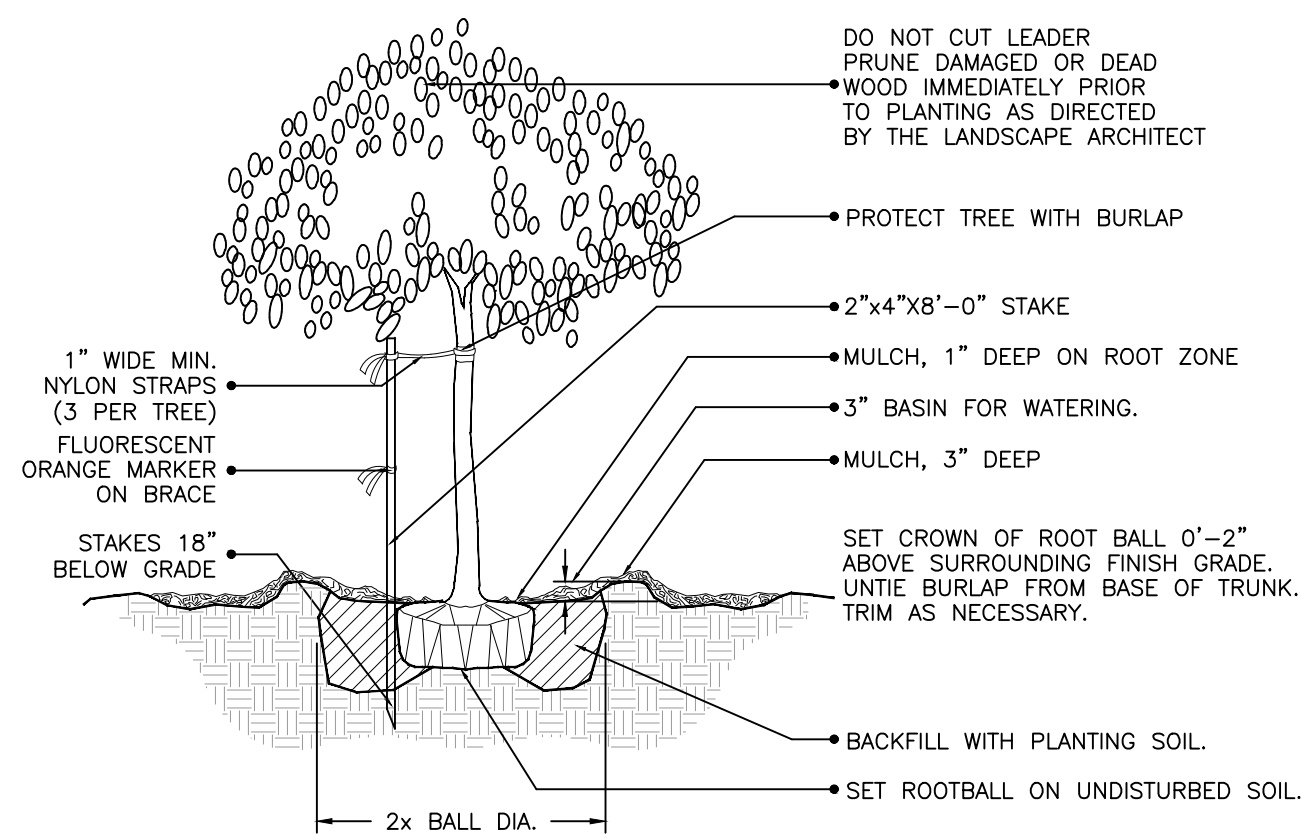
(2" cal. and over)
LARGE TREE PLANTING DETAIL

NTS.



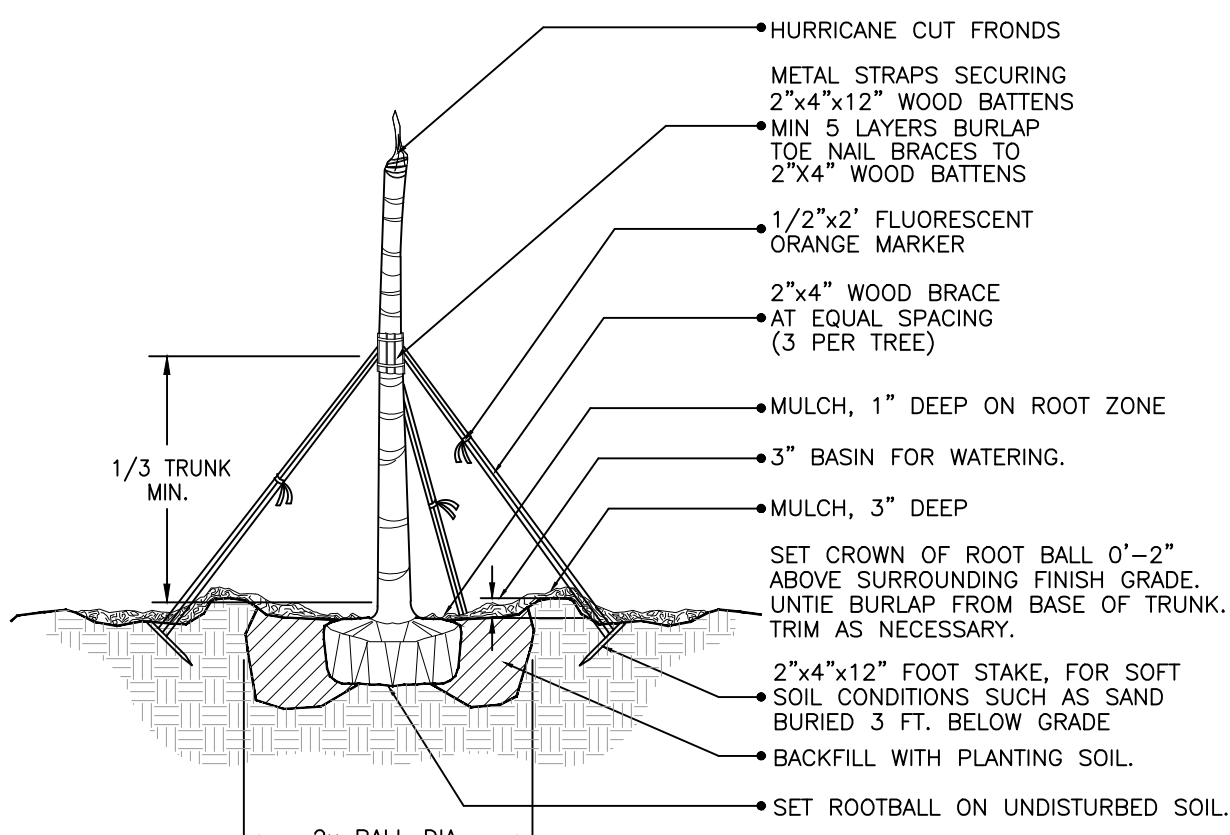
LARGE PALM PLANTING DETAIL

NTS.



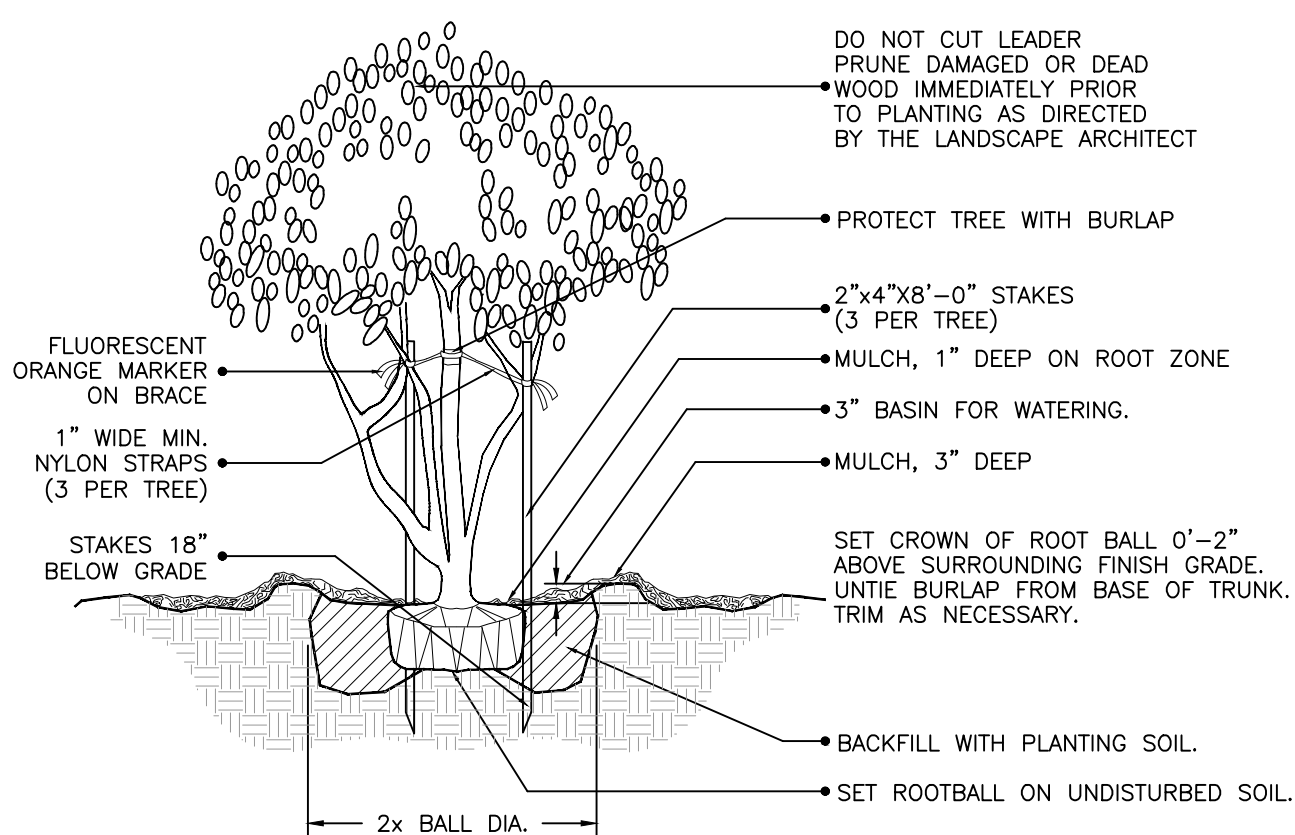
(2" cal. and under)
SMALL TREE PLANTING DETAIL

NTS.



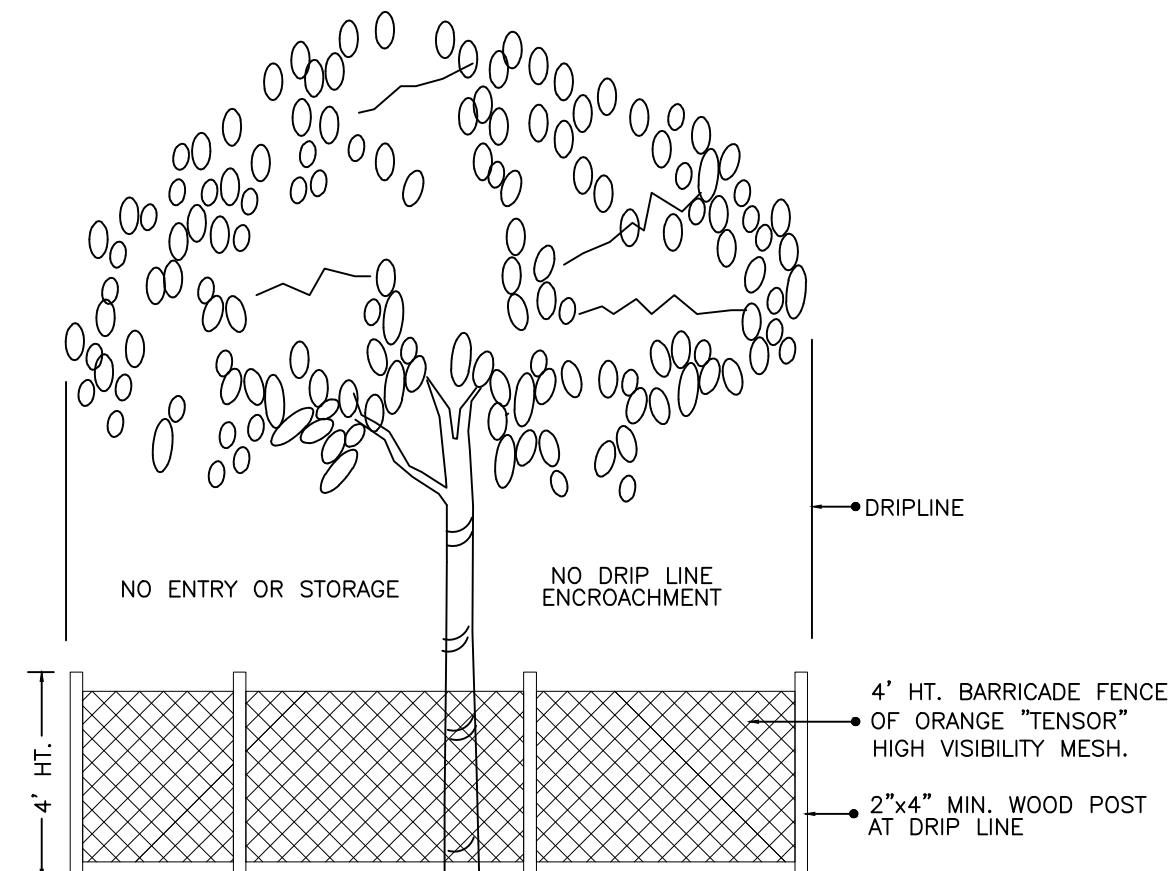
CIGARED SABAL
PALM PLANTING DETAIL

NTS.



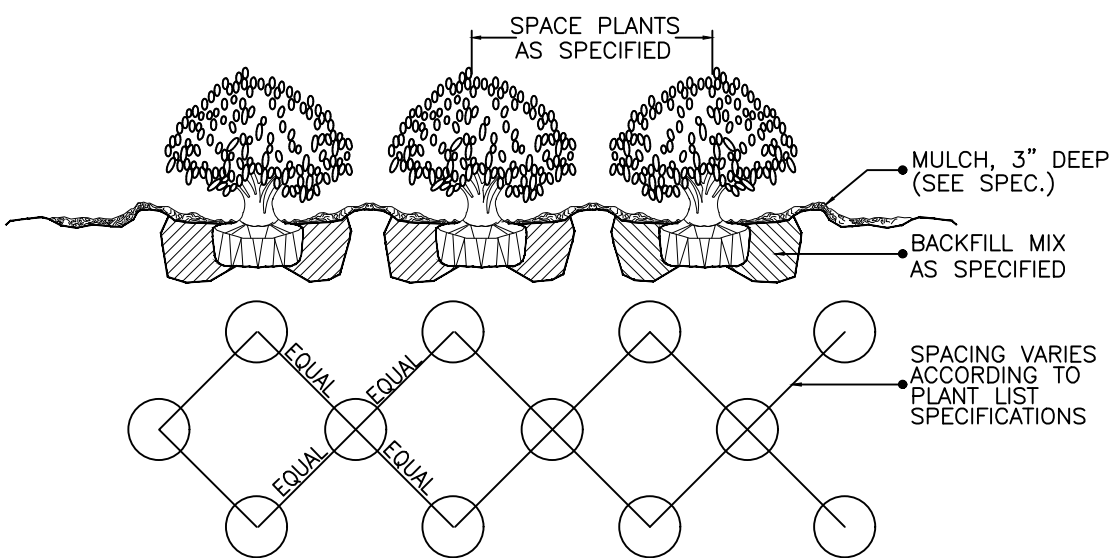
MULTI- TRUNK AND SMALL TREE
(2" cal. and under) PLANTING DETAIL

NTS.



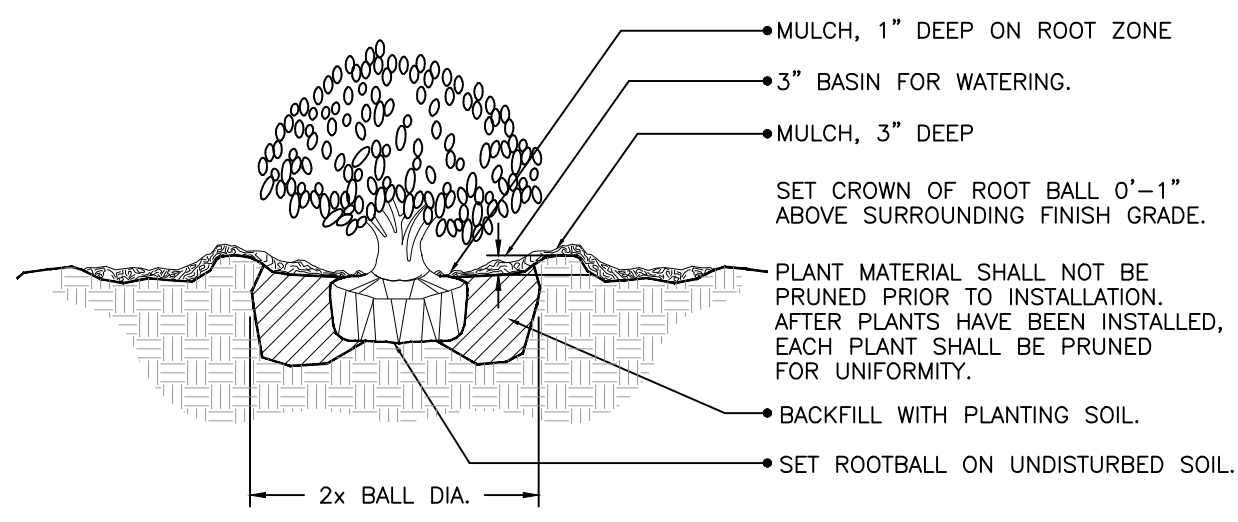
TREE PRESERVATION
BARRICADE FENCING DETAIL

NTS.



SHRUB / GROUNDCOVER
SPACING / PLANTING DETAIL

NTS.



SHRUB PLANTING DETAIL

NTS.

GENERAL NOTES:

1. PLANT MATERIAL: All plant material shall be Florida #1 or better as established by "Grades and Standards for Nursery Plants" of the state of Florida, Department of Agriculture.
2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
3. Quantities listed on the the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.
4. Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or plant list, the plan takes precedence.
5. All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or florimulch grade 'B' or better.
6. The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
7. SOD: All areas not used for buildings, vehicular use areas, walks or planting beds shall be grassed. Grassing shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway.
8. PLANTING SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas and 2" for sodded grass areas.
9. Planting soil to be a weed-free mixture of 50% sand, 40% muck, and 10% Canadian peat. All plant material to receive planting soil as per details.
10. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
11. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4110 Two Full Business Days prior to digging for underground utility locations.
12. Contractor shall be responsible for providing final grading of all associated planting areas.
13. After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 8).
15. No plunging of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
16. Contractor shall stake 4 guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal & disposal of staking after establishment period.
17. Fertilizer for grass areas shall be NPK 16-4-8 @ 12.5 lbs/1000 s.f. or 5-15 lbs/acre. Nitrogen 50% slow release form 4 fertilizer to include secondary micronutrients.
18. SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the owner and governing municipality.

19. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
20. All new plant material shall be guaranteed for 1 year from time of final acceptance of project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10 days of notification. For all replacement plant material, the warranty period shall be extended an additional 45 days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 15 mph, will be re-set and braced by the Contractor at no additional cost to the Owner.
21. The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
22. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
23. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
24. Root-prune all trees a minimum of (8) weeks prior to planting.
25. All landscaped areas will be irrigated by an underground, automatic, rust-free irrigation system providing 100% coverage and 100% spray overlap. The system shall be maintained in good working order and designed to minimize water on impervious surfaces and not overspray walkways. A rain sensor device shall be installed to override the irrigation cycle of the system when adequate rainfall has occurred.
26. All plant material planted within the eight distance triangle areas (see plan) shall provide unobstructed cross-visibility at a horizontal level between 30 inches and 8 feet above adjacent street grade.
27. No canopy trees shall be planted within 12 feet of a light pole. No palm species shall be planted within 6 feet of a light pole.
28. Ground cover plantings shall provide not less than 50 percent coverage immediately upon planting and 100 percent coverage within 6 months after planting.
29. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
30. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.
31. All landscape material shall be setback a minimum of 10' from any Fire Hydrant.

CITY OF HOLLYWOOD LANDSCAPE REQUIREMENTS			
2.4 A.	PERIMETER LANDSCAPE:	REQUIRED	PROVIDED
1.	1 STREET TREE PER 50 LINEAR FEET OF STREET FRONTAGE STREET FRONTAGE = 150 LF	3 TREES	3 TREES
2.	EAST SIDE ABUTTING RESIDENTIAL - ONE TREE EVERY 20 LINEAR FEET PERIMETER= 140 LF	7 TREES	12 UNDERSTORY TREES PLUS EX. OVERHANGING MATURE CANOPY ON ADJ. PROPERTY
3.	ALLEY ABUTTING RESIDENTIAL - ONE TREE EVERY 20 LINEAR FEET PERIMETER= 150 LF	8 TREES	2 PALMS PLUS 15 LARGE SHRUBS DUE TO SITE CONSTRAINTS
INTERIOR LANDSCAPE FOR VUA:		NOT APPLICABLE	GARAGE PARKING
4.	TERMINAL ISLANDS AT END OF ALL ROWS OF PARKING SPACES WITH 1 TREE	NOT APPLICABLE	GARAGE PARKING
5. NOT APPLICABLE			
6.	LOTS WITH WIDTH OF 50 FEET OR MORE, 25% OF SQUARE FOOTAGE OF INTERIOR VUA SHALL BE LANDSCAPED	NOT APPLICABLE	GARAGE PARKING
OPEN SPACE:			
7.	ALL PERVIOUS AREAS MUST BE LANDSCAPED WITH GRASS, GROUNDCOVER OR SHRUBS. 3,757 SF PERVIOUS AREA	3,757 SF LANDSCAPE	3,757 SF LANDSCAPE
8.	MINIMUM OF 1 TREE PER 1,000 SQUARE FOOT PERVIOUS AREA	4 TREES	4 TREES
DESIGN REVIEW BOARD & HISTORIC PRESERVATION BOARD:			
9. NOT APPLICABLE			
10. NOT APPLICABLE			
VIEW TRIANGLE:			
11.	FOR CORNER LOTS, A SIGHT DISTANCE TRIANGLE MUST BE PROVIDED		SEE LP-1
IRRIGATION:			
12.	100% IRRIGATION COVERAGE BY AUTOMATIC SPRINKLER SYSTEM		TO BE PROVIDED IN FUTURE SUBMITTAL
OTHER:			
13.	APPLY XERISCAPE PRINCIPLES		REQUIREMENT MET DROUGHT TOLERANT SPECIES SELECTED

3.2	MINIMUM NUMBER & SPECIES OF TREES	REQUIRED	PROVIDED
1.	REQUIRED TREES= 22	MIN. 4 SPECIES	4 SPECIES
3.4	NATIVE PLANT REQUIREMENT	REQUIRED	PROVIDED
1.	60% OF REQUIRED TREES MUST BE NATIVE SPECIES 22 TREES PROVIDED	14 NATIVE TREES	16 NATIVE & 22 TOTAL DROUGHT TOLERANT TREES
2.	50% OF REQUIRED SHRUBS MUST BE NATIVE SPECIES 479 SHRUBS PROVIDED (SOD & GROUNDCOVER EXCLUDED)	240 NATIVE SHRUBS	407 NATIVE & DROUGHT TOLERANT SHRUBS
3.5	USING PALMS TO FULFILL TREE REQUIREMENTS	REQUIRED	PROVIDED
1.	MAXIMUM OF 50% OF THE REQUIRED TREES MAY BE PALMS	MAX. PALMS= 11 (33 @ 3:1)	7 PALMS