ATTACHMENT A

Application Package

PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CITY OF Hollywood FLORIDA

Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/DocumentCenter/Home/View/21

APPLICATION TYPE (CHECK ONE):

☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 05.21.19

Location Address: 3255 Hollywood Blvd, Suites 1 and 2

Lot(s): _____ Block(s): A Subdivision: ORANGEBROOK GOLF ESTATES

Folio Number(s): 514217020011

Zoning Classification: C-2 Land Use Classification: GBUS

Existing Property Use: COMMERCIAL Sq Ft/Number of Units: 4,500 SF

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): 18-DP-34

☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: _____

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: $850,000 Estimated Date of Completion: August 2020

Will Project be Phased? ( ) Yes (X)No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: WRI JT HOLLYWOOD HILLS I LP, Scott Henson

Address of Property Owner: 5355 TOWN CENTER ROAD, STE 802, BOCA RATON, FL 33486

Telephone: 602-217-8848 Fax: 602-263-8852 Email Address: SHenson@Weingarten.com

Name of Consultant/Representative/Tenant (circle one): Saltz Michelson Architects

Address: 3501 Griffin Rd, Ft. Lauderdale Telephone: 954-266-2700

Fax: 954-266-2701 Email Address: mazar@saltzmichelson.com

Date of Purchase: N/A Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

_____ Address: _____

_____ Email Address: _____

PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only):_____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 5.22.19

PRINT NAME: STEPHEN F. TROMMSDORFF Date: 5.22.19

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for CONSTRUCTION to my property, which is hereby made by me or I am hereby authorizing STEPHEN F. TROMMSDORFF to be my legal representative before the PLANNING + DEVELOPMENT (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 21 day of May 2019

Signature of Current Owner

STEPHEN F. TROMMSDORFF
Print Name

Notary Public
State of Florida
My Commission Expires: 2/1/23 (Check One) ✓ Personally known to me; OR ___ Produced Identification _____

KAREN L. CARLSON
MY COMMISSION # GG295044
EXPIRES: February 01, 2023

WEINGARTEN REALTY

2600 Citadel Plaza Drive
Houston, Texas 77008
800-688-8865
713-866-6049 Fax
www.weingarten.com

October 19, 2018

To: County and City Building Departments: (including)

Cities of: Boca Raton, Clearwater, Clermont, Cooper City, Deerfield Beach, Hollywood, Jacksonville, Kendall, Largo, Miami, Oakland Park, Orlando, Palm Coast, Palm Harbor, Pembroke Pines, Plantation, Sanford, Sea Ranch Lakes, Stuart, St. Augustine, Tampa, Wellington, Winter Park; and

Counties of: Palm Beach, Pinellas, Lake, Broward, Duval, Miami-Dade, Orange, Seminole, Flagler, Martin, St. Johns, Hillsborough

RE: Approval from owner for signature acceptance

Dear City Official:

Please be advised that the following Weingarten personnel are authorized to sign the types of documentation listed below on behalf of the owners listed on Page 2.

Weingarten Personnel:
Mark Schultz – Associate Director of Property Management
Chris Oftedal – Senior Regional Property Manager
Ryan Tufts – Regional Property Manager
John Haggerty – Regional Property Manager
Karl Brinkman – Area Vice President/Leasing
Alexander Evans – Regional Leasing Director
Stephen F. Trommsdorff – Senior Construction Manager
Martin Espejo – Construction Manager
Gina Fongyee – Property Manager

Documentation:
Permit Applications
Sign Approval Letters
Notice of Commencement
Documents required by City Department and Code Enforcement Department (violations)
Documents regarding utility and or refuse service
Waste Water Applications
Development Orders
Development Agreements

Owners:
Weingarten Realty Investors
Weingarten Nostat Inc.
WRI JT Tamiami Trail, LP
WRI JT Pembroke Commons, LP
WRI JT Flamingo Pines LP
WRI Seminole II, LLC
WRI-TC East Lake Woodland LLC
WRI-TC Marketplace at Dr. Phillips LLC
Weingarten I-4 Clermont Landing LLC
Weingarten I-4 Clermont Landing TRS, LLC
WRI Shoppes of South Semoran LLC
Weingarten/Investments Inc.
Weingarten I-4 St. Augustine EV LLC
WRI JT Northridge, LP
WRI JT Hollywood Hills I, LP
WRI JT Hollywood Hills II, LP
WRI Seminole Marketplace, LLC
Pineapple Commons Retail LP
WS Atlantic West, LLC
WS Kernan Village, LLC
WRI Wellington Green, LLC

Sincerely,

Weingarten Realty Investors,
a Texas real estate investment trust

By:
Mark D. Stout
Senior Vice President/General Counsel

STATE OF TEXAS §
§
COUNTY OF HARRIS §

The foregoing instrument was acknowledged before me this 19 day of October, 2018, by Mark D. Stout, Senior Vice President/General Counsel of Weingarten Realty Investors, a Texas real estate investment trust, on behalf of the trust. He is personally known to me.

Barbara McKinney
NOTARY PUBLIC SIGNATURE

BARBARA MCKINNEY
Notary Public, State of Texas
Comm. Expires 05-15-2021
Notary ID 405958-3

NOTARY STAMP

L:\Legal\Leasing\MDS\MISC-CORP&SUB INFO\FL SIGNATURE APPROVAL LTR\FL Agent Authority Letter 101918.docx

SALTZ MICHELSON
ARCHITECTS

May 21st, 2019

City of Hollywood
Development Services Planning Division
2600 Hollywood Boulevard
Hollywood, Florida 33020
Attn: Planning and Development Board

RE: **Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building**
3255 Hollywood Blvd, Suites 1 & 2
Hollywood, Florida
File # 18-DP-34

Project Information

The proposed building is to be located on an outparcel on the Hollywood Hills Plaza. It's designed to be a 4,500 square-foot, one-story concrete block building with a drive-thru.

Legal Description

The land referred to herein below is situated in the County of Broward, state of FL, and is described as follows:

Block "a", Orangebrook golf estates, according to the plat thereof, recorded in plat book 38, page 1, of the public records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida. Less the property described below:

A portion of block "a", Orangebrook golf estates, according to the plat thereof as recorded in plat book 38, page 1 of the public records of Broward County, Florida, being more particularly described as follows:

Commence at the southeast corner of said block "a"; thence on the south line of said block a, south 90°00'00" west 103.34 feet; thence north 00°00'00" east, 44.37 feet to the point of beginning; thence continue north 00°00'00" east, a distance of 147.32 feet to a point on the arc of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 12.00 feet, a central angle of 90°05'08" and a arc distance of 18.87 feet to a point of tangency; thence south 89°54'52" east 43.90 feet; thence south 00°00'00" west 156.76 feet to the beginning of a tangent curve concave to the north; thence southwesterly, westerly and northwesterly on the arc of said curve having a radius of 2.50 feet, a central angle of 180°00'00" and an arc distance of 7.85 feet to a point of tangency; thence north 00°00'00" east 16.50 feet; thence south 90°00'00" west 29.00 feet; thence south 00°00'00" west 15.04 feet to the beginning of a tangent curve concave to the northwest; thence southwesterly on the arc of said curve having

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AA-0002897

a radius of 3.96 feet, a central angle of 90°00'00" and an arc distance of 6.22 feet to a point of tangency; thence south 90°00'00" west 17.96 feet to the point of beginning.

And including also:

A portion of block "a", Orangebrook golf estates, according to the plat thereof as recorded in plat book 38, page 1 of the public records of Broward County, Florida, being more particularly described as follows:

Commence at the southeast corner of said block "a"; thence on the south line of said block "a", south 90°00'00" west 103.34 feet; thence north 00°00'00" west 1.40 feet to the point of beginning; thence north 89°54'52" west 86.87 feet; thence north 00°27'02" east 18.91 feet; thence north 89°48'08" west 8.69 feet; thence north 00°09'03" east 39.56 feet to the beginning of a tangent curve concave to the southwest; thence south westerly on the arc of said curve having a radius of 9.33 feet, a central angle of 30°09'03" and an arc distance of 4.91 feet to a point of tangency; thence north 30°00'00" west 8.69 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 30°00'00" and an arc distance of 5.59 feet to a point of tangency; thence north 00°00'00" west a distance of 66.45 feet to the beginning of a tangent curve concave to the southwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 45°00'00" and an arc distance of 7.33 feet to a point of tangency; thence north 45°00'00" west 7.35 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence north 00°00'00" east 36.00 feet to the beginning of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence north 45°00'00" east 4.41 feet to the beginning of a tangent curve concave to the northwest; thence northeasterly on the arc of said curve having a radius of 9.33 feet, a central angle of 39°14'23" and an arc distance of 6.39 feet to an intersection with a non-tangent line; thence south 90°00'00" east 104.46 feet; thence south 00°00'00" west 214.30 feet to the point of beginning.

And including also:

A portion of block "a", Orangebrook golf estates, according to the plat thereof as recorded in plat book 38, page 1 of the public records of Broward County, Florida, being more particularly described as follows:

Commencing at the southernmost southwest corner of block "a"; thence east, along the south line of said block "a", for a distance of 390.24 feet to the point of beginning; thence north, for a distance of 258.71 feet; thence east, for a distance of 166.46 feet; thence south, for a distance of 258.71 feet to a point on said south line of block "a"; thence west, along said south line, for a distance of 166.46 feet to the point of beginning.

The above described lands are the same as described within the first American Title Insurance Company commitment no. NCS-490213A-HOU1 bearing an effective date of July 19, 2011 @ 8:00 a.m.

SALTZ MICHELSON
ARCHITECTS

May 23rd, 2019

City of Hollywood
Development Services Planning Division
2600 Hollywood Boulevard
Hollywood, Florida 33020
Attn: Planning and Development Board

RE: **Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building**
3255 Hollywood Blvd, Suites 1 & 2
Hollywood, Florida
File # 18-DP-34

To Whom It May Concern:

This letter is to confirm that this project is not requesting any Variances or Special Exceptions as described in Article 5 of the City of Hollywood's Zoning and Land Development Regulations Code.

To the best of our understanding, the proposed project complies with the Design Criteria outlined in the Zoning and Land Development Regulations Code, Article 5, Section 5.3.I.4.a.1-4, as follows:

(1) *Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.*
The proposed building provides decorative detailing on all four elevations considering its location in the Hollywood Hills Plaza. The intent is to build the structure of concrete block with a stucco and paint finish, varying parapet heights and floor to ceiling windows in an aluminum frame. A sidewalk connects the public sidewalk to the project and a metal awning will provide shade and shelter to pedestrians.

(2) *Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding*

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neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.
Detailing is provided with stucco banding, EIFS trim, premanufactured stone veneer at similar intervals to provide scale and interest to the building, similar to the structure to the west of the outparcel. The design also includes a metal awning inspired by the gas station to the east.

(3) *Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.*
The design intent of the project is to fit seamlessly with the existing commercial buildings on the property. Similar to its neighbors, the proposed building is a one-story structure, of moderate scale. It is intended for commercial use similar to the buildings surrounding it.

(4) *Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.*
An effort has been made to keep as many of the existing trees as possible. In addition, new trees and landscape areas have been incorporated into the design. Native species are proposed above and beyond what's required.

If you have any questions regarding the above, please do not hesitate to contact me.

Very truly yours,
Saltz Michelson Architects

Maday Gutierrez

Maday Gutierrez
Project Manager

3325
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INSURANCE
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HOLLYWOOD BLVD

HOLLYWOOD HILLS PLAZA OUTPARCEL
FINAL TAC SUBMITTAL

MEETING DATE – APRIL 1ST, 2019
N.E. CORNER OF HOLLYWOOD BLVD AND S. PARK ROAD
HOLLYWOOD, FLORIDA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FL, AND IS DESCRIBED AS FOLLOWS:

BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND A ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTH WESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

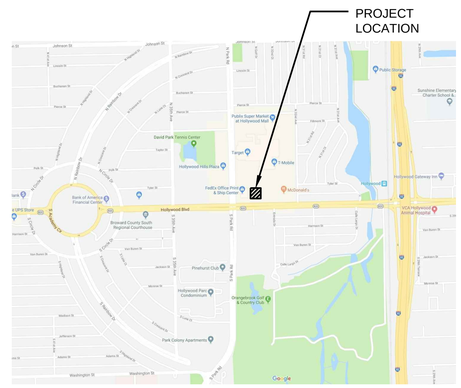
AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LANDS ARE THE SAME AS DESCRIBED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-490213A-HOU1 BEARING AN EFFECTIVE DATE OF JULY 19, 2011 @ 8:00 A.M.

1



LOCATION MAP

SCALE: N.T.S.

N

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ARCHITECTURE

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SHEET 3 OF 4	OVERALL PARCEL SURVEY
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SHEET 1 OF 2	OUTPARCEL SURVEY
SHEET 2 OF 2	OUTPARCEL SURVEY
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	PROPOSED SITE PLAN
	DETAILS
	TABULAR INFORMATION
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1 2 1

TEAM

OWNER / DEVELOPER:

WEINGARTEN REALTY
5355 TOWN CENTER ROAD, STE 802
BOCA RATON, FL 33486
TELEPHONE: (954) 938-2583

ARCHITECT:

SALTZ MICHELSON ARCHITECTS
3501 GRIFFIN ROAD FORT
LAUDERDALE, FL 33312
TELEPHONE: (954) 266-2700

CIVIL ENGINEER:

HOLLAND ENGINEERING
3900 HOLLYWOOD BLVD, STE 303
HOLLYWOOD FL 33021
TELEPHONE: (954) 367-0371

LANDSCAPE ARCHITECT:

DAVE BODKER LANDSCAPE ARCHITECTURE, INC
601 NORTH CONGRESS AVENUE, STE 105-A
DELRAY BEACH, FL 33445
TELEPHONE: (561) 276-6311

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
3255 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 03/30/18

REVISIONS
1 TAC COMM. 01.07.19
2 TAC COMM. 03.18.19

Drawing name: S:\Projects\2016\2016-109\Drawings\02-2 TAC Submittal\16-109 A0.0.dwg Layout Name: Layout1 Plotted by: mgutierrez Plotted on: Mar 18, 2019 - 8:45am

A0.0

MEASURED DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being Block "A", Orangebrook Golf Estates, according to the plat thereof, recorded in Plat Book 83, Page 1, of the public records of Broward county, Florida and being more particularly described as follows:

Beginning at a 1/2" rebar set at the intersection of the northerly right-of-way line of Hollywood Boulevard (having a 120' R/W) and the westerly right-of-way of a public alley (having a 15' R/W), thence proceed North 90 degrees 00 minutes 00 seconds West for a distance of 268.30 feet to a PK nall found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 258.71 feet to a PK nall found; thence North 90 degrees 00 minutes 00 seconds West for a distance of 166.46 feet to a PK nall found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 258.71 feet to a rebar found with cap; thence South 90 degrees 00 minutes 00 seconds West for a distance of 390.24 feet to a rebar found with cap; thence along a curve to the right having a radius of 50.00 feet and an arc length of 78.54 feet, said arc being subtended by a chord with a bearing of North 45 degrees 00 minutes 00 seconds West and a length of 70.71 feet, to a 1/2" rebar found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 1430.00 feet to a rebar found with cap; thence North 90 degrees 00 minutes 00 seconds East for a distance of 855.00 feet to a 1/2" rebar set; thence along a curve to the right having a radius of 20.00 feet and an arc length of 31.42 feet, said arc being subtended by a chord with a bearing of South 45 degrees 00 minutes 00 seconds East and a length of 28.28 feet, to a 1/2" rebar found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 1460.00 feet to a 1/2" rebar set and THE TRUE POINT OF BEGINNING.

Containing within said bounds 28.726 acres (1,251,313 square feet) more or less.

LESS AND EXCEPT PARCEL A:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block A, South 90°00'00" West 103.34 feet; thence North 00°00'00" East, 44.37 feet to THE POINT OF BEGINNING; thence continue North 00°00'00" East, a distance of 147.32 feet to a point on the arc of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 12.00 feet, a central angle of 90°05'08" and a arc distance of 18.87 feet to a point of tangency; thence South 89°54'52" East 43.90 feet; thence South 00°00'00" West 156.76 feet to the beginning of a tangent curve concave to the north; thence southwesterly, westerly and northwesterly on the arc of said curve having a radius of 2.50 feet, a central angle of 180°00'00" and an arc distance of 7.85 feet to a point of tangency; thence North 00°00'00" East 16.50 feet; thence South 90°00'00" West 29.00 feet; thence South 00°00'00" West 15.04 feet to the beginning of a tangent curve concave to the northwest; thence southwesterly on the arc of said curve having a radius of 3.96 feet, a central angle of 90°00'00" and an arc distance of 6.22 feet to a point of tangency; thence South 90°00'00" West 17.96 feet to the point of beginning.

Containing within said bounds 0.191 acres (8,320 square feet) more or less.

AND ALSO:

LESS AND EXCEPT PARCEL B:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block "A", South 90°00'00" West 103.34 feet; thence North 00°00'00" West 1.40 feet to the point of beginning; thence North 89°54'52" West 86.87 feet; thence North 00°27'02" East 18.91 feet; thence North 89°48'08" West 8.69 feet; thence North 00°09'03" East 39.56 feet to the beginning of a tangent curve concave to the southwest; thence southwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 30°09'03" and an arc distance of 4.91 feet to a point of tangency; thence North 30°00'00" West 8.69 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 30°00'00" and an arc distance of 5.59 feet to a point of tangency; thence North 00°00'00" West a distance of 66.45 feet to the beginning of a tangent curve concave to the southwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 45°00'00" and an arc distance of 7.33 feet to a point of tangency; thence North 45°00'00" West 7.35 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 00°00'00" East 36.00 feet to the beginning of a tangent curve concave to the northwest; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 45°00'00" East 4.41 feet to the beginning of a tangent curve concave to the northwest; thence northeasterly on the arc of said curve having a radius of 9.33 feet, a central angle of 39°14'23" and an arc distance of 6.39 feet to an intersection with a non-tangent line; thence South 90°00'00" East 104.46 feet; thence South 00°00'00" West 214.30 feet to the point of beginning.

Containing within said bounds 0.503 acres (21,913 square feet) more or less.

ZONING INFORMATION

The surveyor was not provided with zoning information pursuant to Table A Item 6a and 6b.

AREA

Area of subject property is approximately 28.032 acres (1,221,080 square feet).

FLOOD NOTE

By graphic plotting only, this property is in Zones "X", "X-SHADED" and "AH" of the Flood Insurance Rate Map No. 12011C0568H, Community Panel No. **125113**, which bears an effective date of **August 18, 2014** and **is partially** in a Special Flood Hazard Area. **As shown on the FEMA website (http://msc.fema.gov) by FIRMette created on February 12, 2019** we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

ZONE AH - Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
X-SHADED - Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1 % annual chance flood.
ZONE X - Areas determined to be outside the 0.2% annual chance floodplain.

RECORD DESCRIPTION

TITLE DESCRIPTION

The land referred to herein below is situated in the County of Broward, State of Florida, and is described as follows:

PARCEL 1:

BLOCK "A". ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND AN ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

MISCELLANEOUS NOTES

MN1 Prepared by: Moreland Altobelli Associates LLC; 2450 Commerce Ave. Ste 100, Duluth, GA 30096-8910
Phone: 770-263-5945; Fax: 770-263-0166
Email: rjoiner@maal.net; Surveyor's Project No. 19220

MN2 A Topcon GTS-313 Total Station with EDM (electronic distance meter) was used to obtain the angular and linear measurements for this survey.

MN3 The field data upon which this plat is based has a closure precision of one foot in 970,154 feet, an angular error of 1 second per angle point, and was adjusted using least squares.

MN4 This plat has been calculated for closure and found to be accurate within one foot in 1,446,476 feet.

MN5 There is no evidence of earth moving work.

MN6 There is no evidence of currently ongoing building construction and building additions.

MN7 There is no evidence of any changes in street right of ways or recent street or sidewalk construction or repairs.

MN8 There are 1739 parking spaces on the site, including 1678 regular, 7 loading dock spaces and 54 handicapped spaces.

MN9 The property has direct access to Hollywood Boulevard and North Park Road which are accepted public streets or highways.

MN10 There is no evidence of cemeteries or burial grounds.

MN11 No substantial areas of refuse were observed during field survey.

MN12 All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.

MN13 Bearings are based on a rebars found with cap in the northwest of property corner and a 1/2" rebar found at the southwest corner of the property. Forming a bearing of S 00°00'00" W.

MN14 Property as shown creates a mathematically closed figure without any gores, gaps, or overlaps.

MN15 By observed above ground evidence, no undisturbed stream buffers were found on the property.

MN16 The address of Hollywood Boulevard at North Park Road was taken from record documents.

MN17 No wetlands were delineated by appropriate authorities at the time of the survey.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
03/07/2019	FIRST DRAFT		
XX/XX/2019	NETWORK COMMENTS		
FIELD WORK:	DRAFTED: CLC	CHECKED BY: RJJ	FB & PG:

SIGNIFICANT OBSERVATIONS

A BUILDINGS ARE LOCATED OVER 10' POWER EASEMENTS.

RECORD DESCRIPTION

PARCEL 2:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ADDITIONAL LANDS DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND AN ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

EASEMENTS CREATED IN RECIPROCAL ACCESS EASEMENT AGREEMENT RECORDED IN O.R. BOOK 34995, PAGE 1 FOR THE BENEFIT OF THAT PORTION OF PARCEL 2 DESCRIBED BELOW:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-490213A-HOU1, DATED JULY 19, 2011 AND PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY, DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. **RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND.** Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY.
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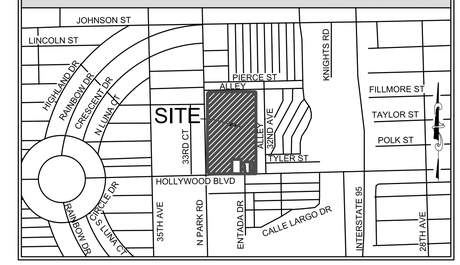
THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

VICINITY MAP - NOT TO SCALE



ALTA/NSPS LAND TITLE SURVEY

for

HOLLYWOOD HILLS

NV5 PROJECT NO. 201900496-1
HOLLYWOOD BOULEVARD AT NORTH PARK ROAD, HOLLYWOOD, FL 33021

BASED UPON TITLE COMMITMENT NO. NCS-490213A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY BEARING AN EFFECTIVE DATE OF JULY 19, 2011 AND PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019

Surveyor's Certification

To: Weingarten Realty; First American Title Insurance Company and Bock & Clark Corporation, an NV5 Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, 18, and 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 15, 2019.

PRELIMINARY 03-07-2019
RONNIE JOINER DATE
REGISTRATION NO. 6852
IN THE STATE OF FLORIDA
DATE OF FIELD SURVEY: FEBRUARY 15, 2019
DATE OF LAST REVISION: XXXXXXXX XX, 2019
NETWORK PROJECT NO. 201900496-1 AAC

SHEET 1 OF 4

Bock & Clark Corporation
an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333
www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

ITEMS CORRESPONDING TO SCHEDULE B-II

3. Restrictions, dedications, conditions, reservations, easements and other matters shown on the Plat of Orangebrook Golf Estates, as recorded in Plat Book 38, Page 1. (Refers to the subject property, General survey matters, not plotted)
4. Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 2880, Page 797. (As to Parcel 1) (As shown on drawing)
5. Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 2946, Page 681. (As to Parcel 1) (As shown on drawing)
6. Easement for Water, Sewer and Storm Drainage system reserved in Quit Claim Deed from Hollywood, Inc., a Florida corporation and Hollywood Mall, Inc., a Florida corporation to City of Hollywood, a municipal corporation of the State of Florida, recorded in Official Records Book 3379, Page 330 . (As to Parcel 1) (Blanket in Nature)
7. Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 14452, Page 916. (As to Parcel 1) (As shown on drawing)
8. All of the terms and provisions set forth and contained in that certain Memorandum of Lease recorded in O.R. Book 29395, Page 417. (As to Parcel 1) (Approximate area is shown on drawing)
9. All of the terms and provisions set forth and contained in that certain Short Form of Lease between recorded in O.R. Book 20330, Page 453; as affected by: O.R. Book 29177, Page 852 and O.R. Book 30291, Page 914. (As to Parcel 1) (Approximate area is shown on drawing)
10. The Terms, provisions and conditions contained in that certain Operation and Easement Agreement recorded in O.R. Book 20330, Page 460; as affected by: O.R. Book 29177, Page 827; O.R. Book 29860, Page 1574; and O.R. Book 30291, Page 900. (As to Parcel 1) (Approximate area is shown on drawing)
11. Easements contained in that certain Memorandum of Lease(Shopping Center) recorded in O.R. Book 21399, Page 663. (As to Parcels 1 and 2) (As shown on drawing)
12. The terms, provisions and conditions contained in that certain Covenant Not to Compete recorded in O.R. Book 21399, Page 668. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
13. Declaration of Restrictive Covenant recorded on O.R. Book 28423, Page 946. (Refers to subject property, no plottable survey items)
14. The terms, provisions and conditions contained in that certain Notice Regarding Liens recorded in O.R. Book 29745, Page 1200. (As to Parcels 1 and 2) (Blanket in Nature)
15. Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 30062, Page 810. (As to Parcel 1) (As shown on drawing)
16. Easements contained in that certain Memorandum of Lease recorded in O.R. Book 30799, Page 1923. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
17. Reciprocal Access Easement Agreement recorded in O.R. Book 32538, Page 1560. (As to Parcels 1 and 2) (Blanket in Nature)
18. Notice of Lien Prohibition recorded in O.R. Book 33289, Page 1844. (As to Parcel 1) (Blanket in Nature)
19. Notice(s) of Non-Responsibility recorded in Official Records Book 39162, Page 931 and O.R. Book 39162, Page 934. (As to Parcels 1 and 2) (Blanket in Nature)

LEGEND OF SYMBOLS & ABBREVIATIONS

DIST	Disturbed
EP	Edge of pavement
IE	Invert elevation
IPS	Iron pin set
N/F	Now or formerly
PB	Plat book
PG	Page
POB	Point of Beginning
POC	Point of Commencement
PVC	Polyvinyl chloride pipe
R/W	Right of way
RBF	Rebar found
RCP	Reinforced concrete pipe
	Water valve
	Light pole
	Fire department connection
	Drop inlet
	Storm sewer manhole
	Parking spaces
	Handicap (hc)
	Clean out
	Sanitary sewer manhole
	Fire hydrant
	Electric box
	Grease trap
	Nail found
	Iron pin found
	Electric manhole
	Capped 1/2" rebar set
	Flood limit
	Building overhang/canopy
	Fence
	Sanitary sewer line
	Water pipe
	Adjoiner property line
	Parcel
	Right-of-way
	Easement

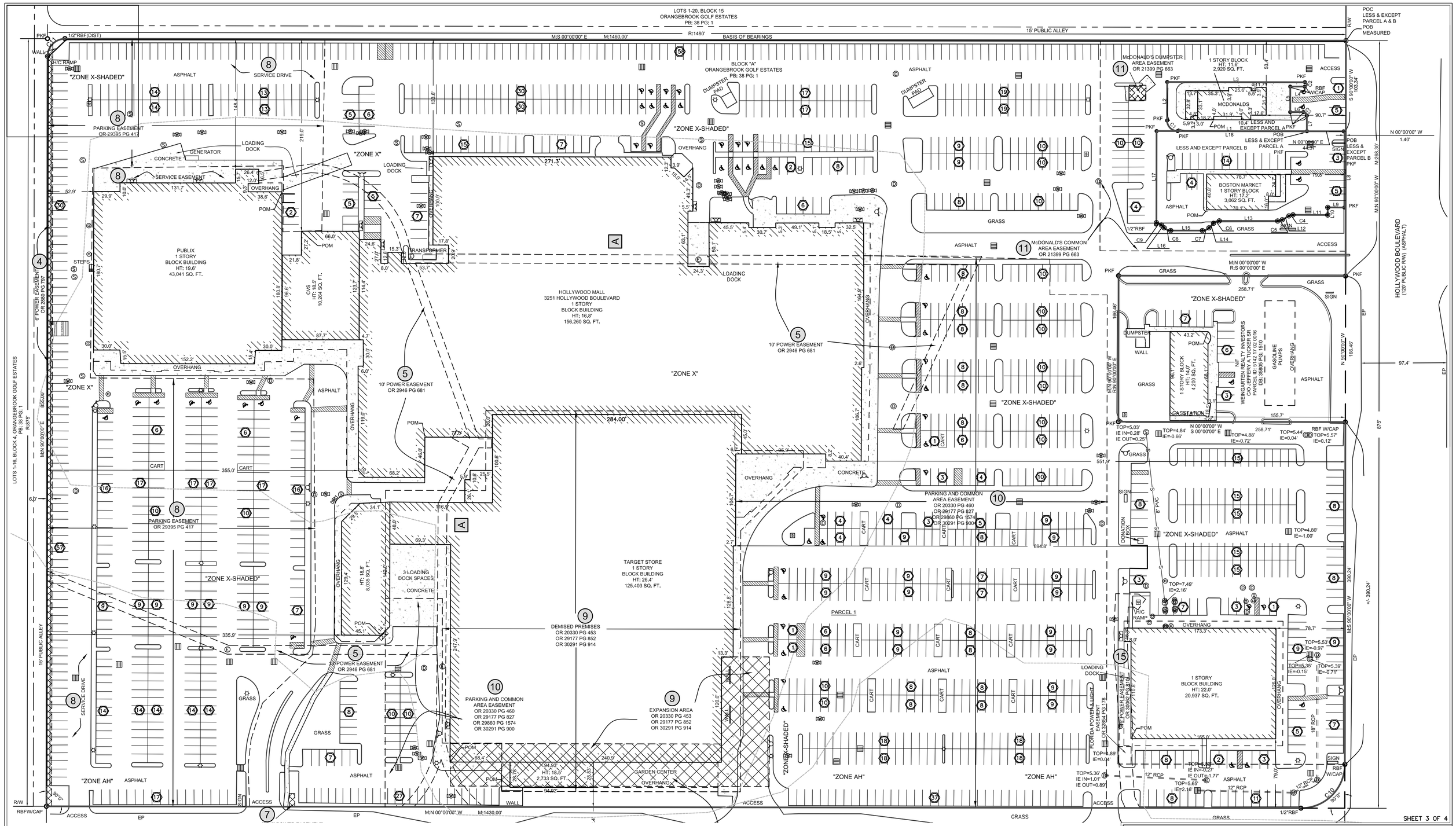
CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE
C1	18.87'	12.00'	N 45°02'34" E	16.98'	90°05'08"
C2	7.85'	2.50'	S 90°00'00" W	4.99'	180°00'00"
C3	6.22'	3.96'	S 45°00'00" W	5.60'	90°00'00"
C4	4.91'	9.33'	N 14°55'28" W	4.85'	30°09'03"
C5	5.59'	10.67'	N 15°00'00" W	5.52'	30°00'00"
C6	7.33'	9.33'	N 22°30'00" W	7.14'	45°00'00"
C7	8.38'	10.67'	N 22°30'00" W	8.17'	45°00'00"
C8	8.38'	10.67'	N 22°30'00" E	8.17'	45°00'00"
C9	6.39'	9.33'	N 25°22'49" E	6.27'	39°14'23"
C10	78.54'	50.00'	N 45°00'00" W	70.71'	90°00'00"
C11	31.42'	20.00'	S 45°00'00" E	28.28'	90°00'00"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°00'00" E	147.32'
L2	S 89°54'52" E	43.90'
L3	S 00°00'00" W	156.76'
L4	N 00°00'00" E	16.50'
L5	S 90°00'00" W	29.00'
L6	S 00°00'00" W	15.04'
L7	S 90°00'00" W	17.96'
L8	N 89°54'52" W	86.87'
L9	N 00°27'02" E	18.91'
L10	N 89°48'08" W	8.69'
L11	N 00°09'03" E	39.56'
L12	N 30°00'00" W	8.69'
L13	N 00°00'00" W	66.45'
L14	N 45°00'00" W	7.35'
L15	N 00°00'00" E	36.00'
L16	N 45°00'00" E	4.41'
L17	S 90°00'00" E	104.46'
L18	S 00°00'00" W	214.30'

NV5
ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
HOLLLYWOOD HILLS
DATE OF FIELD SURVEY: FEBRUARY 15, 2019
NETWORK PROJECT NUMBER. 20190000-00
1-(800)-SURVEYS (787-8397)
TRANSACTION SERVICES
www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com
SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT



SHEET 3 OF 4

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

HOLLYWOOD HILLS

DATE OF FIELD SURVEY: FEBRUARY 15, 2019

NETWORK PROJECT NUMBER. 20190000-00

1-(800)-SURVEYS (787-8397)

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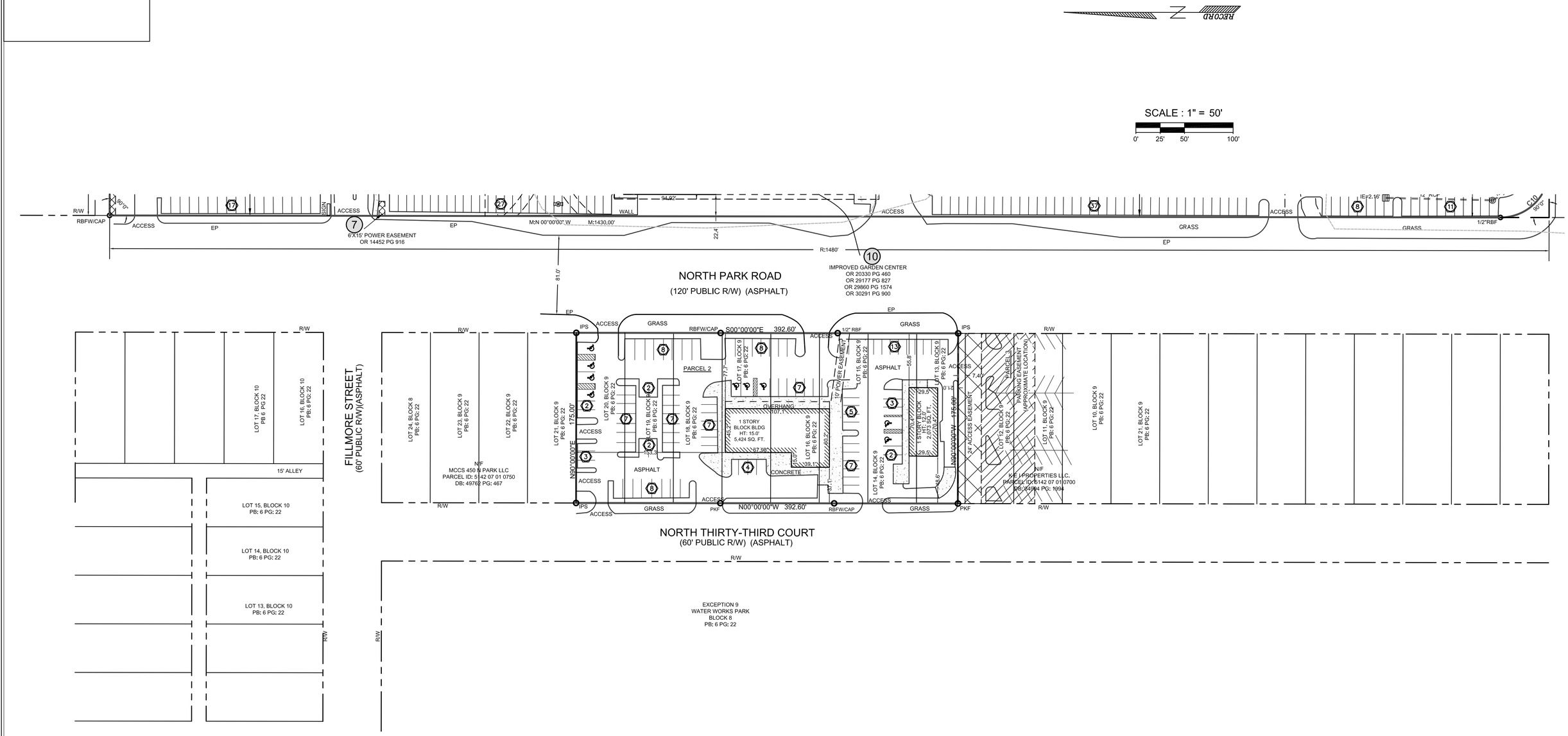

SHEET 4 OF 4

NV5

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

HOLLLYWOOD HILLS

DATE OF FIELD SURVEY: FEBRUARY 15, 2019

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SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

ALTA/NSPS
LAND TITLE SURVEY

LEGAL DESCRIPTION:

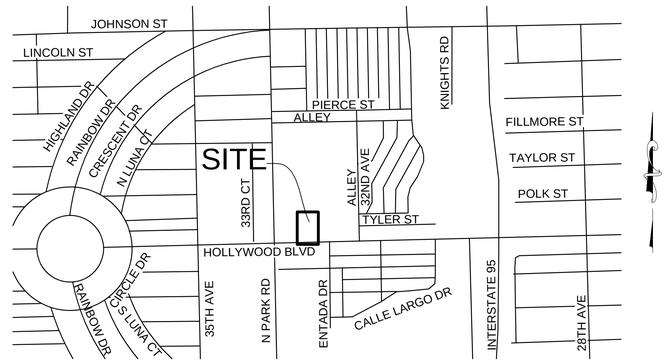
A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK 'A'; THENCE EAST (ASSUMED BEARING), ALONG THE SOUTH LINE OF SAID BLOCK 'A' AND THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD, A DISTANCE OF 163.24 FEET TO THE POINT OF BEGINNING;

THENCE NORTH, A DISTANCE OF 258.71 FEET;
THENCE EAST, A DISTANCE OF 227.00 FEET;
THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK 'A';
THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 58,727 SQUARE FEET (1.35 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.



LOCATION MAP
NOT TO SCALE

SURVEYOR'S REPORT:

1) THE LAND DESCRIPTION SHOWN HEREON WAS COMPOSED BY THE UNDERSIGNED. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON.
2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD88)
4) BEARINGS SHOWN HEREON ARE BASED ON AS ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.
5) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6) BENCHMARK REFERENCE: BROWARD COUNTY ENGINEERING DEPT. BM # 2059:
BRASS DISC STAMPED BM 191 1978
ON HOLLYWOOD BLVD, 278 FEET WEST OF THE WEST RR TRACK OF THE SEABOARD COASTLINE RAILROAD IN THE NORTH SIDEWALK AT THE NW CORNER OF BRIDGE OVER CANAL, 57 FEET NORTH OF ROAD CENTERLINE.
ELEVATION = 5.25 (NAVD88 DATUM)
7) THIS ALTA/NSPS LAND TITLE SURVEY IS A BOUNDARY SURVEY. THE EXPECTED USE OF THIS SURVEY IS:
A) LEASE PARCEL CREATION AND RECORDATION
B) CIVIL ENGINEERING DESIGN
8) THIS SURVEY HAS BEEN PERFORMED ACCORDING TO THE STANDARD OF CARE TO ACHIEVE AN ACCURACY OF 1 : 10,000 (COMMERCIAL HIGH RISK) FOR MAPPED FEATURES SHOWN HEREON.
9) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
10) ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD IN FEET.
11) THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF OWNERSHIP AND ENCUMBRANCE REPORT ISSUED BY PARAMOUNT TITLE SERVICES - SEARCH NO. 18-837-5 CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018.
12) EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR PREPRESENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OR INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS , BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WESTLANDS, ROADWAYS, STREETS, PROPOSED USES, HISTORICALLY OR ARCHEOLOGICALLY SENSITIVE LANDS OR RIGHT OF ACCESS.
13) NO WETLAND MARKERS WERE OBSERVED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
14) WITH REGARD TO TABLE A, ITEM 11 (REFERENCED IN THE SURVEYOR'S CERTIFICATION):
THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
15) FEMA FLOOD INSURANCE RATE MAP:
PANEL NUMBER 12011C0568 H
CITY OF HOLLYWOOD 125113
FLOOD ZONE FOR THIS PROPERTY: ZONE X
MAP DATE: 8-18-2014
16) GROSS AREA (TO CENTERLINE) = 72,347 SQ. FT., 1.66 ACRES (+/-)
17) NET AREA (LESS RIGHT-OF-WAY) = 58,727 SQ. FT., 1.35 ACRES (+/-)
18) ALL MEASUREMENTS, ELEVATIONS AND FEATURES SHOWN WERE SURVEYED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
19) THE WORD "CERTIFY" ON THIS SURVEY IS REPRESENTED TO BE A PROFESSIONAL OPINION OF THE UNDERSIGNED, AND NOT AN EXPRESSION OF WARRANTY OR GUARANTEE.

SUMMARY TABLE OF ENCUMBRANCES
FROM OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PARAMOUNT TITLE SERVICES,INC. - SEARCH NO. 18-837-5

CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018

1. EASEMENTS, RESTRICTIONS - PLAT OF ORANGEBROOK GOLF ESTATES P.B.38, PG. 1, B.C.R
COMMENT: PLAT CONDITIONS SHOWN HEREON.
2. EASEMENT: HOLLYWOOD MALL TO F.P.L. - ORB 2946, PG. 681
COMMENT: DOES NOT AFFECT THIS PROPERTY
3. QUIT CLAIM DEED - HOLLYWOOD, INC. TO CITY - SEWER, WATER & DRAINAGE SYSTEMS - ORB 3379, PG. 330, B.C.R.
COMMENT: AFFECTS THIS PROPERTY* * (THIS SURVEY)
4. OPERATION/EASEMENT AGREEMENT - ORB 20330, PG. 460, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
5. NOTICE REGARDING LIENS: ORB 29745, PG. 1200, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
6. FIRST AMENDMENT TO OPERATION & EASEMENT AGREEMENT - ORB 29860,PG. 827, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*
7. EASEMENT - SREG HOLLYWOOD HILLS TO F.P.L. - ORB 30062, PG. 810, B.C.R.
COMMENT: AFFECTS THIS PROPERTY* - SHOWN HEREON
8. SECOND AMENDMENT TO OPERATION AND EASEMENT AGREEMENT - ORB 30291, PG. 900, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*
9. RECIPROCAL ACCESS EASEMENT AGREEMENT - ORB 32538, PG. 1560
COMMENT: DOES NOT AFFECT THIS PROPERTY*
10. NOTICE OF LIEN PROHIBITION - ORB 33289 PG. 1844, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
11. NOTICE OF NON-RESPONSIBILITY - ORB 39162 PG.934, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
12. NOTICE OF NON-RESPONSIBILITY - ORB 47013 PG. 782, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
13. NOTICE OF NON-RESPONSIBILITY - ORB 47013, PG. 785, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
14. MORTGAGE/SECURITY AGREEMENT - CFN 113602460, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
15. ASSIGNMENT OF RENTS - CFN 113602461, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
16. SUBORDINATION, NONDISTURBANCE AGREEMENT - CFN 113873331, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*

CERTIFICATION:

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), 13, 14, 16 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2018

REVISION	DATE	BY

ALTA/NSPS
LAND TITLE SURVEY

JOB #:RN8823	DATE:08-30-18	DRAWN BY:CM
SCALE: 1"=20'	SHEET 1 OF 2	CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

ALTA/NSPS

LAND TITLE SURVEY

GRAPHIC SCALE

20 0 10 20 40

(IN FEET)
1 INCH = 20 FEET

LEGAL DESCRIPTION:

A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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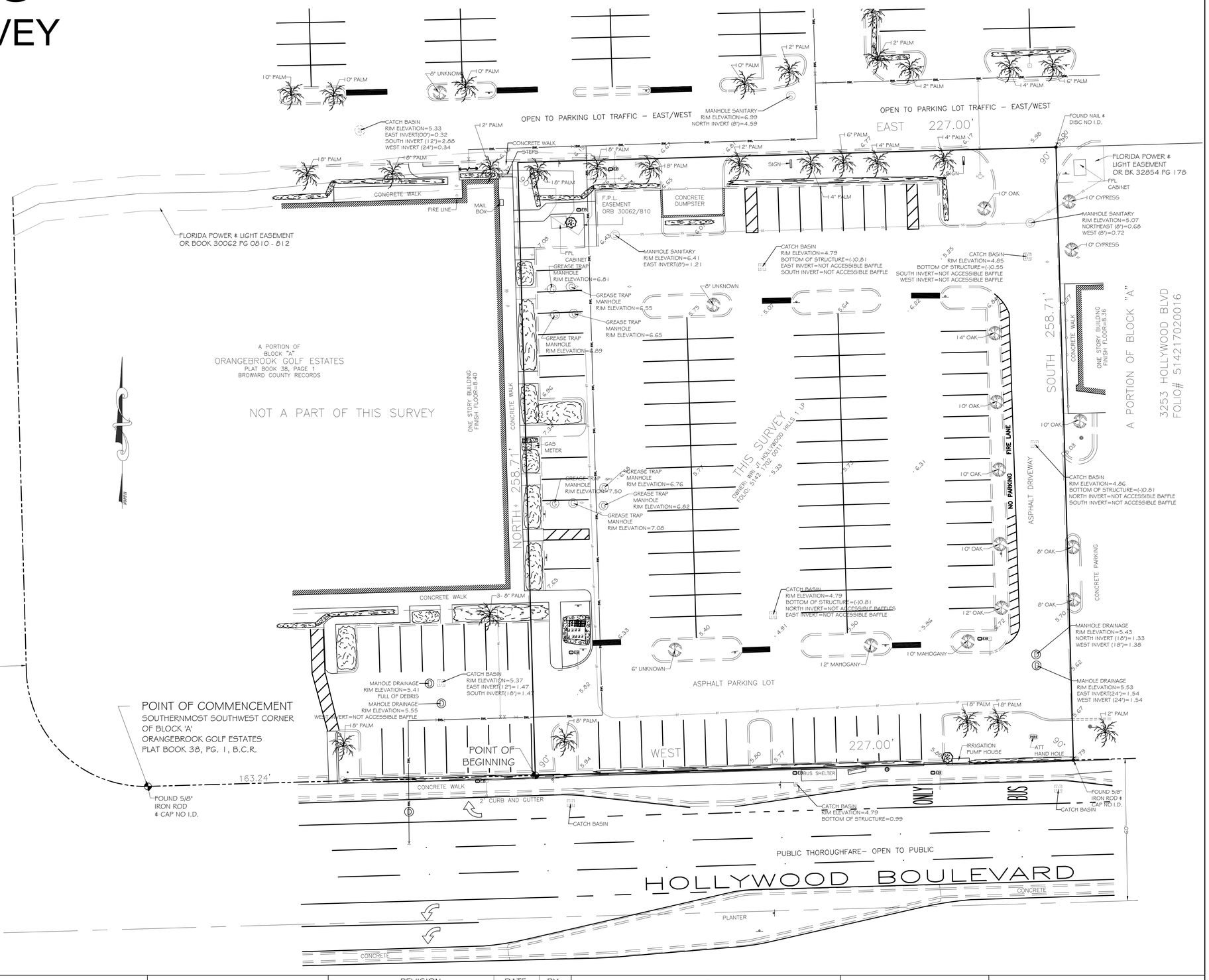
BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.

ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE & SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK OPERATIONS

Call 48 hours before you dig
It's the Law!
1-800-432-4770
Sunshine State One Call of Florida, Inc.



LEGEND

EB	ELECTRIC BOX
	BACKFLOW PREVENTOR
	SIAMESE CONNECTION
	BOLLARD
	METAL LIGHT POLE
	GATE VALVE
	WATER METER
	FIRE HYDRANT ASSEMBLY
	MANHOLE – SEE SURVEY
	CB
	WOOD POWER POLE
	CONCRETE POWER POLE
	ANCHOR/GUY WIRE
	CONCRETE LIGHT POLE
	TRAFFIC SIGN POST
	CLEANOUT
	WOOD FENCE
	METAL HAND RAIL
	CONCRETE WALL
	BURIED TELEPHONE
	WATER LINE
	SANITARY SEWER
	CENTERLINE
	RIGHT–OF–WAY LINE
	TREE
	BUSH
	HEDGE
	PALM

NOTES
1) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
4) NORTH ARROW RELATIVE IS RELATIVE TO GRID BEARINGS .
5) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

REVISION	DATE	BY

ALTA/NSPS
LAND TITLE SURVEY

JOB #:RN8823	DATE:08-30-18	DRAWN BY:CM
SCALE: 1"=20'	SHEET 2 OF 2	CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

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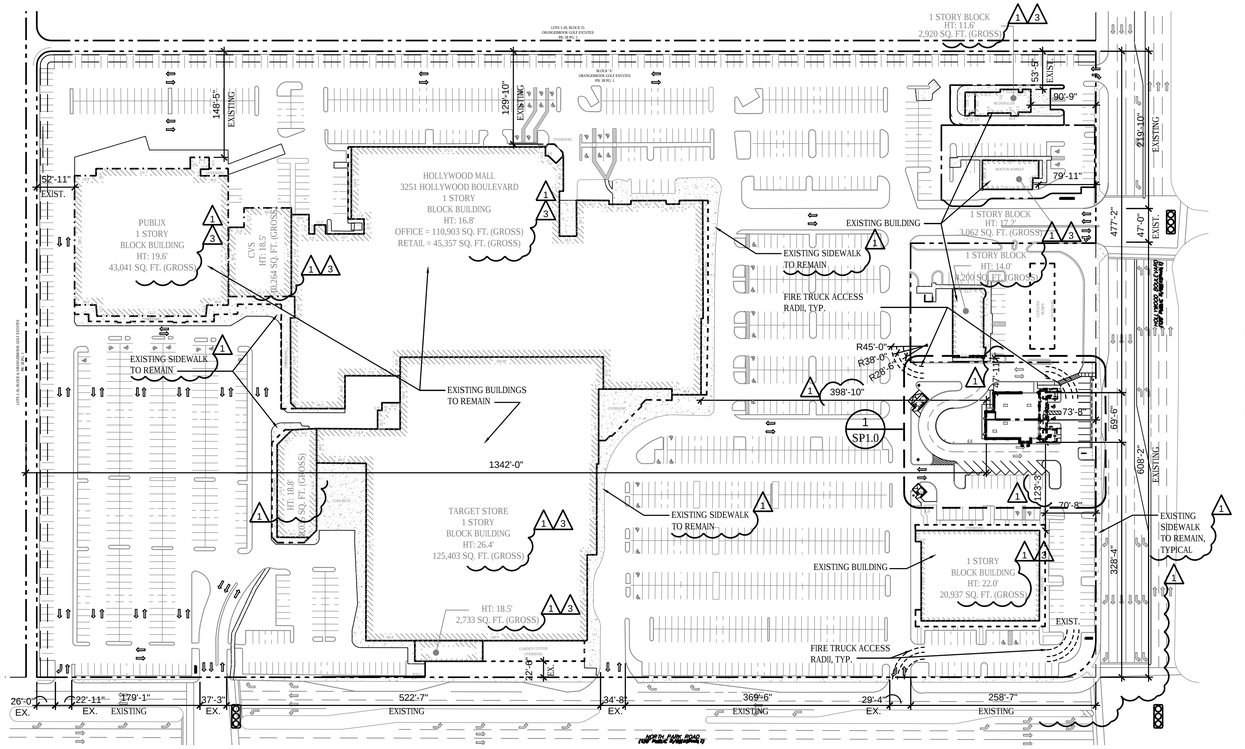
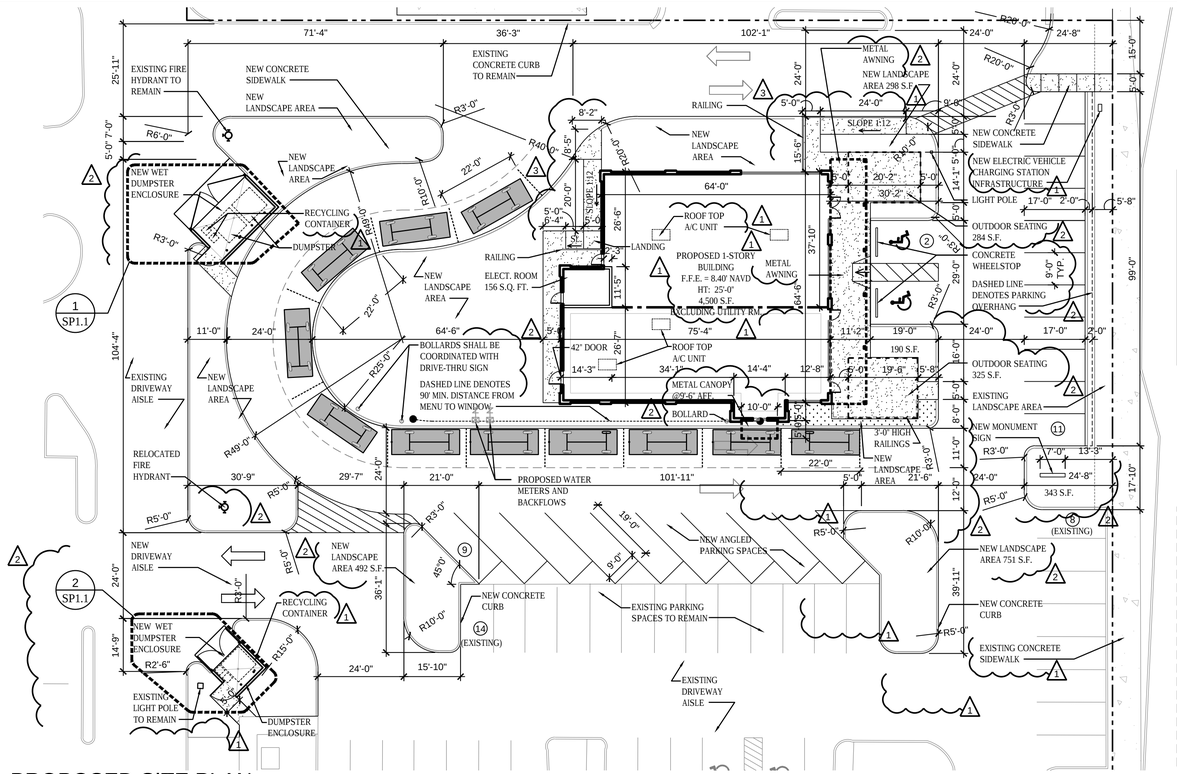


2 SP1.0 OVERALL SITE PLAN

SCALE: 1" = 100'-0"



1 SP1.0 PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

SITE DATA

LAND USE GBUS

ZONING "C-2" LOW-MEDIUM INTENSITY COMMERCIAL DISTRICT

SETBACKS

	REQUIRED	NEW PROVIDED	EXISTING
FRONT (SOUTH)	0	77'-8"	70'-11"
SIDE (EAST-RESIDENTIAL)	15'	477'-2"	53'-5"
SIDE (WEST)	0	328'-4"	22'-6"
REAR (NORTH-RESIDENTIAL)	15'	1,342'-0"	52'-11"

OVERALL SITE

OVERALL SITE AREA 1,251,313 SF 28.73 AC 100%

	EXISTING	AC.	%	PROPOSED	AC.	%
BUILDING FOOTPRINT	376,855 S.F	8.65	30.12	381,355 S.F.	8.75	30.48
SIDEWALKS	43,553 S.F.	1.00	3.48	46,165 S.F.	1.06	3.69
VEHICULAR USE AREA	745,219 S.F.	17.11	59.55	735,971 S.F.	16.87	58.71
IMPERVIOUS TOTAL	1,165,627 S.F.	26.76	93.15	1,163,491 S.F.	26.68	92.88

	ROD	EXISTING	PROPOSED
PERIMETER LANDS - 5' AT SETBACK	--	13,689 S.F.	14,345 S.F.
PERIMETER LANDS - 25% OF VUA	183,993 S.F.	85,686 S.F.	87,822 S.F.
PERVIOUS TOTAL		99,375 S.F.	102,167 S.F.

OVERALL SITE PARKING CALCULATIONS

	REQUIRED PARKING	
EXISTING RETAIL SHOPPING CENTER	263,767 S.F. (NET) / 220 =	1,199
EXISTING OFFICE	110,314 S.F. (NET) / 250 =	441
NEW RESTAURANT (GROSS)	(4,500*60%) / 60 =	45
NEW OUTDOOR SEATING AREA	(609*60%) / 60 =	6
TOTAL PARKING SPACES - REQUIRED		**1,692**
TOTAL EXISTING PARKING SPACES		1,768
TOTAL PARKING SPACES TO BE REMOVED		75
TOTAL NEW PARKING SPACES		15
TOTAL PARKING SPACES - PROVIDED		**1,708**
TOTAL ACCESSIBLE SPACES REQUIRED	34	
TOTAL ACCESSIBLE SPACES PROVIDED	54	

AREA OF WORK 51,807 SF 1.19 AC 4.14% OF SITE

PROPOSED BUILDING

FOOTPRINT	4,500 SF	0.10 AC	8.69% OF AREA OF WORK
FLOOR AREA RATIO	0.09		
BUILDING HEIGHT	25'-0", 1-STORY		

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED	AC.	% OF WORK AREA
VEHICULAR USE AREA	---	33,218 SF	0.76 AC	64.12%
PERVIOUS AREA (33,218*25% OF VUA)	8,305 SF	9,495 SF (28.58% OF NA)	0.26 AC	19.05%
IMPERVIOUS AREA	---	40,331 SF	0.93 AC	80.95%

NOTES:

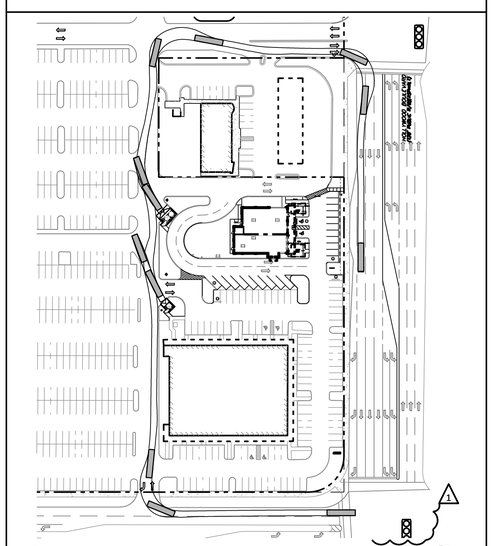
1. MAIL AT HOLLYWOOD HILLS IS DELIVERED AND PICKED UP BY USPS.

2. THE MAXIMUM FOOTCANDLE LEVEL AT ALL PROPERTY LINES SHALL COMPLY WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES.

3. ALL MECHANICAL EQUIPMENT SHALL BE PROPERLY SCREENED FROM PUBLIC VIEW TO COMPLY WITH THE CITY OF HOLLYWOOD CODE OF ORDINANCES.

4. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

5. DRIVE-THRU FACILITY IS INTENDED FOR A COFFEE SHOP / RESTAURANT TENANT.



1.1 SP1.0 GARBAGE TRUCK PATH SKETCH

SCALE: 1" = 100'-0"

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
3251 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA

SALTZ MICHELSON
ARCHITECTS
3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com
AA-0002897

Mark L. Saltz AR007171

Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 03/30/18

REVISIONS
1 TAC COMM. 01.07.19
2 TAC COMM. 03.18.19
3 TAC/OWNER COMM. 04.12.19

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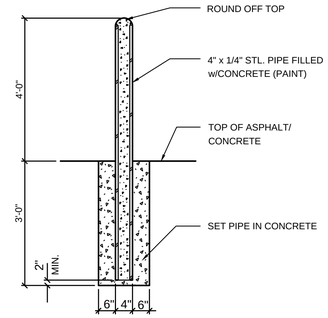

3 SP1.1 BOLLARD DETAIL

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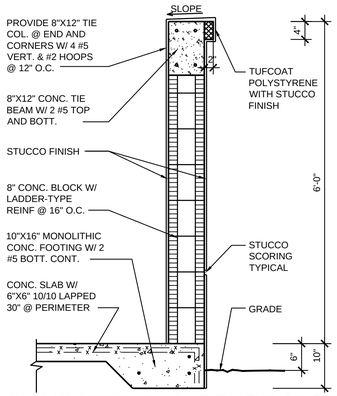

4 SP1.1 DUMPSTER ENCLOSURE SECTION

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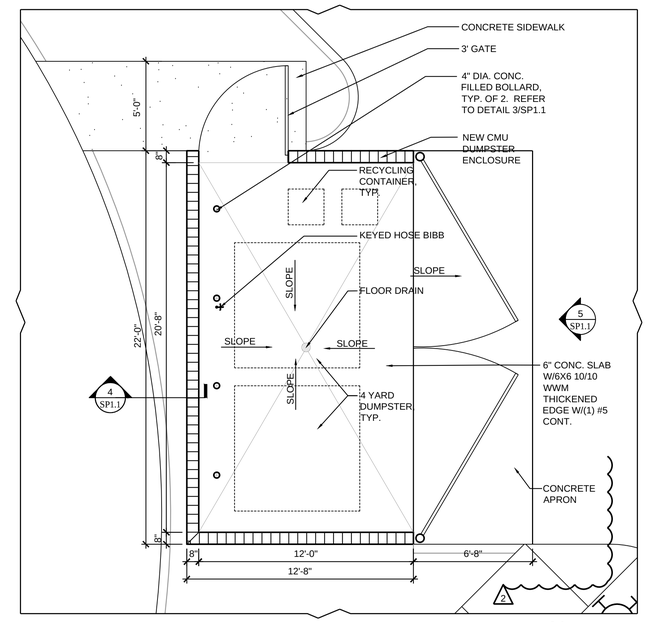

1 SP1.1 DUMPSTER ENCLOSURE FLOOR PLAN

SCALE: 1/4" = 1'-0"

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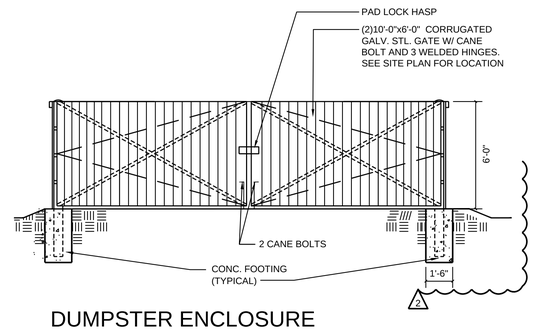
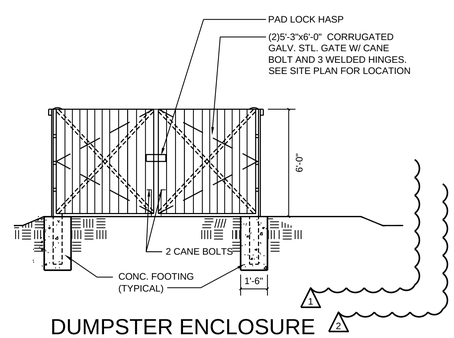


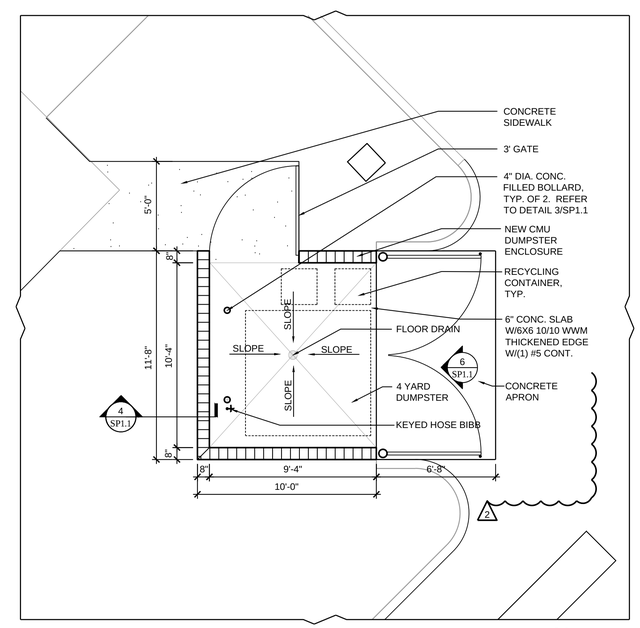
5 SP1.1 DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



6 SP1.1 DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



2 SP1.1 DUMPSTER ENCLOSURE FLOOR PLAN

SCALE: 1/4" = 1'-0"

N

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
3255 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA

SALTZ MICHELSON
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(954) 266-2700 Fx: (954) 266-2701
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AA-0002897
Mark L. Saltz AR007171

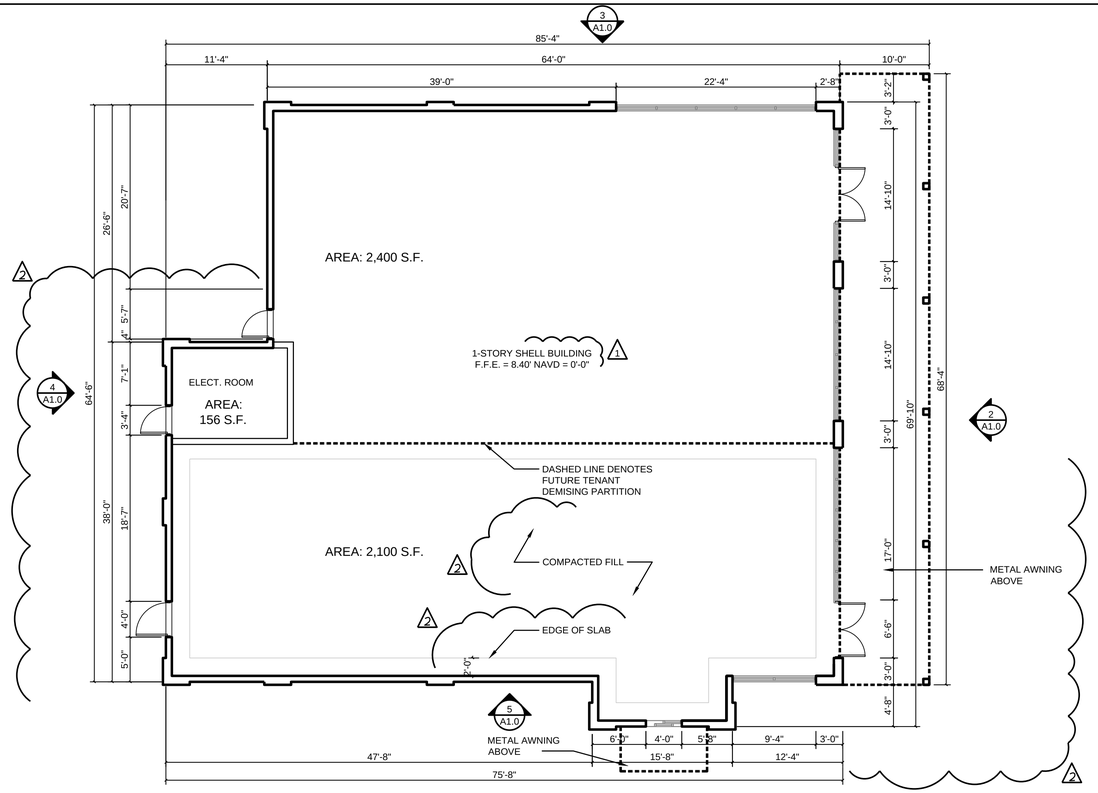
Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 03/30/18

REVISIONS
1 TAC COMM. 01.07.19
2 TAC COMM. 03.18.19

Drawing name: S:\Projects\2016\2016-0PRD\Drawing\02-2 TAC Submittal\16-04 SP1.dwg Layout Name: SP1 Plotted by: gdiaz Plotted on: Mar 5, 2019 - 3:50pm

NEW SHEET 2

SP1.1



1 A1.0 FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE: SIGN AREA IS BASED ON 1 S.F. PER 1 L.F. OF TENANT'S FRONTAGE PER THE CITY OF HOLLYWOOD SIGN ORDINANCE, AND ONLY ONE SIGN IS ALLOWED PER STREET SIDE.

COLOR AND FINISHES LEGEND

1	MANUFACTURER: NAME: COLOR:	SHERWIN WILLIAMS IVORY LACE SW 7013
2	MANUFACTURER: NAME: COLOR:	SHERWIN WILLIAMS LATTE SW 6108
3	METAL AWNING	COLOR TO MATCH CLEAR ANODIZED ALUMINUM
4	LIGHT LACE STUCCO FINISH	
5	MANUFACTURER: NAME: COLOR:	CORONADO STONE OLD WORLD LEDGE BURNT OAK

GREEN BUILDING INITIATIVES NOTES

1. RECYCLE MATERIALS FROM DEMOLITION OF THE PARKING AREA AND CONSTRUCTION WASTE TO THE GREATEST EXTEND POSSIBLE.
2. USE LOW VOC MATERIALS.
3. AN EFFORT WILL BE MADE TO INCORPORATE SUSTAINABLE BUILDING MATERIALS TO THE PROJECT
4. BUILDING SHALL COMPLY WITH THE GREEN BUILDING ORDINANCE BY INCORPORATING THE FOLLOWING GREEN BUILDING PRACTICES: 1. BIKE RACK; 2. INFRASTRUCTURE FOR ELECTRIC VEHICLE; 3. RECYCLING BINS; 4. WHITE TPO ROOF; 5. CENTRAL A/C 18 SEER MINIMUM; 6. ENERGY EFFICIENT WINDOWS; 7. ENERGY EFFICIENT DOORS; 8. PROGRAMMABLE THERMOSTATS; 9. OCCUPANCY / VACANCY SENSORS; 10. ALL ENERGY EFFICIENT OUTDOOR LIGHTING

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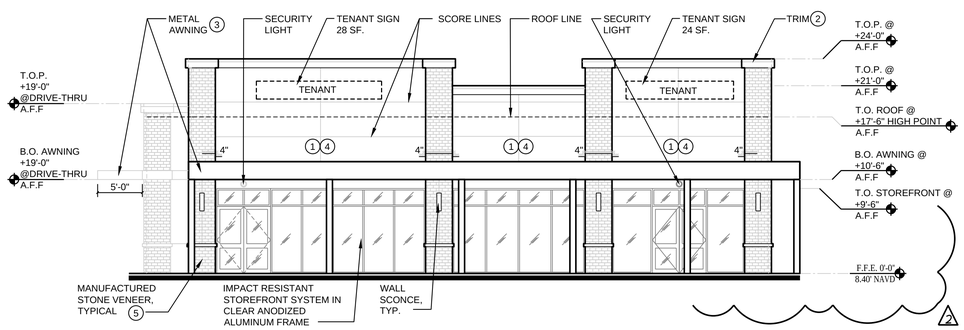
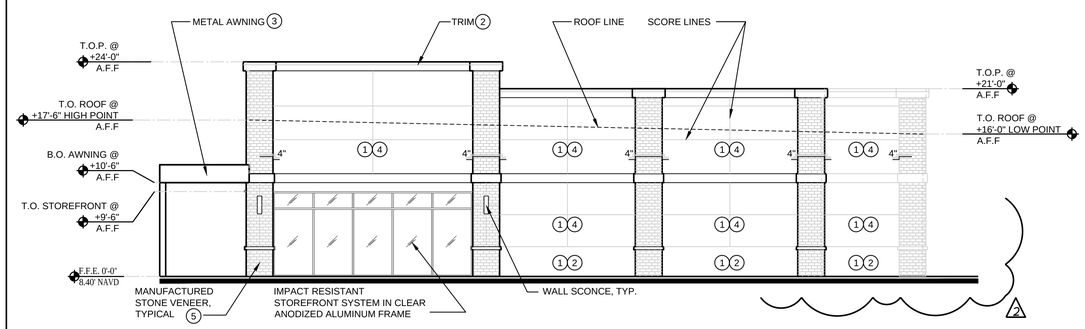


2 A1.0 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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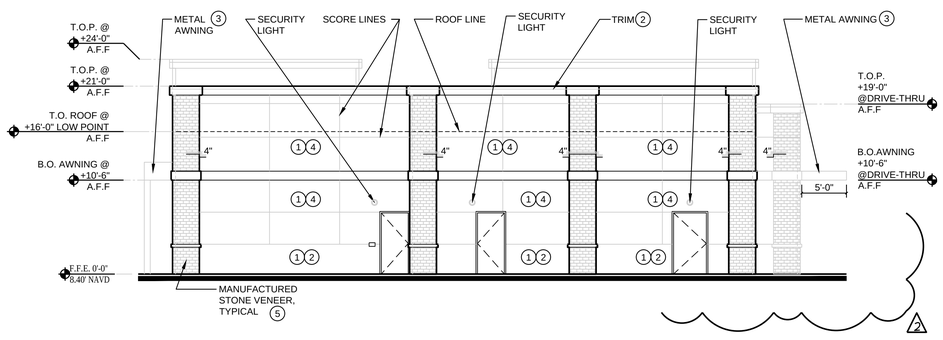
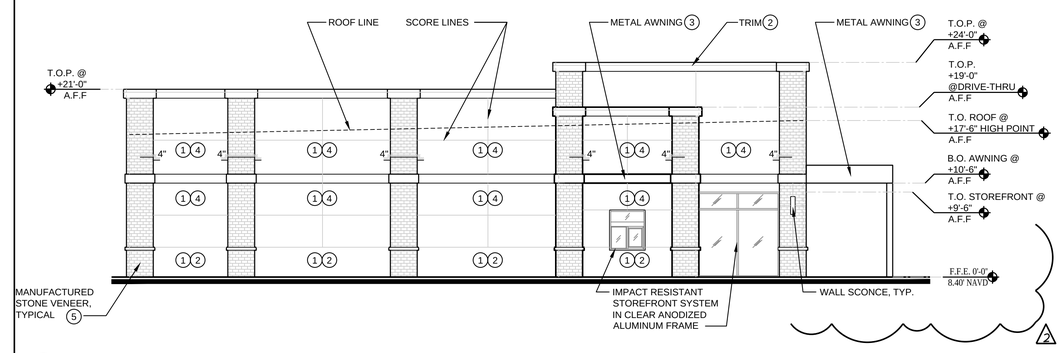
SCALE: 1/8" = 1'-0"



4 A1.0 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 A1.0 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 03/30/18

REVISIONS
1 TAC COMM. 01.07.19
2 TAC COMM. 03.18.19

Drawing name: S:\Projects\2016\2016-109\Drawings\02-2 TAC Submittal\A-01 A1.0.dwg Layout Name: A1.0 Plotted by: gchin Plotted on: Mar 18, 2019 - 5:28pm

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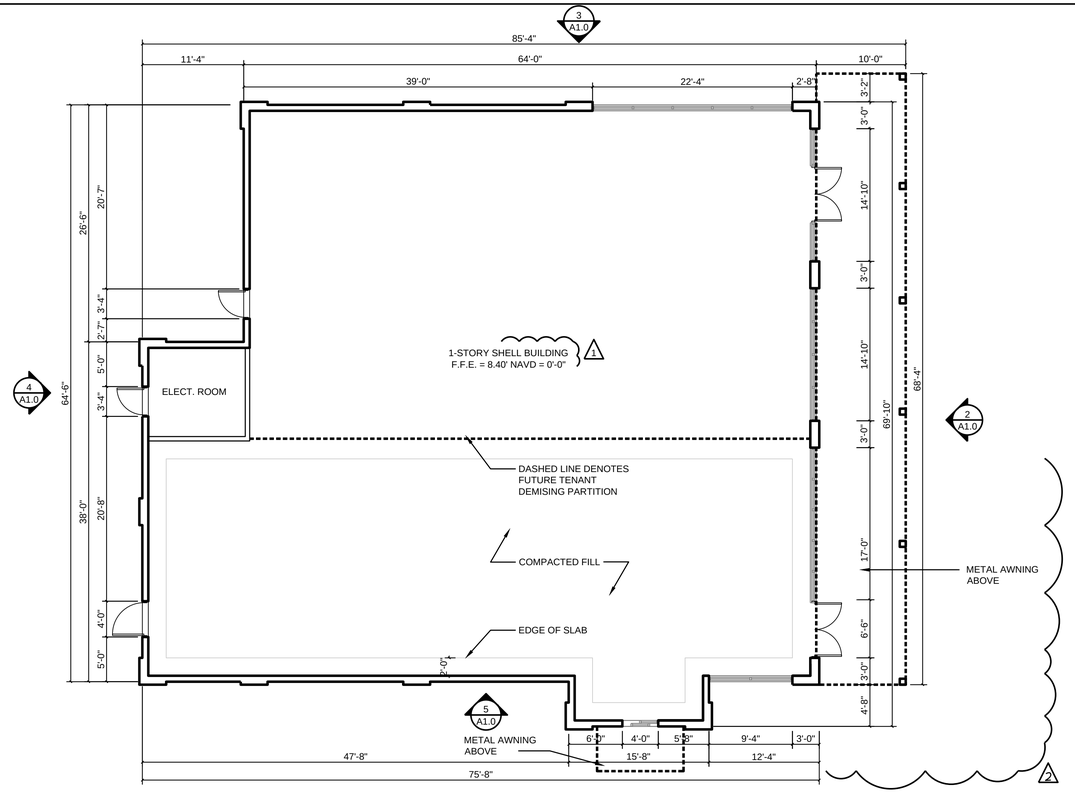

1 A1.1 FLOOR PLAN

SCALE: 1/8" = 1'-0"

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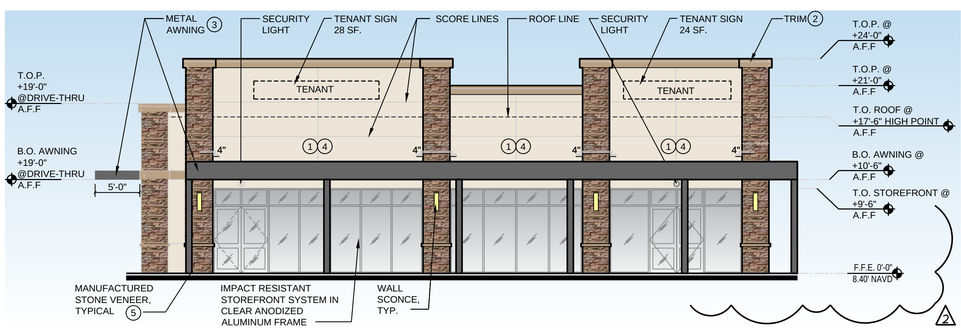
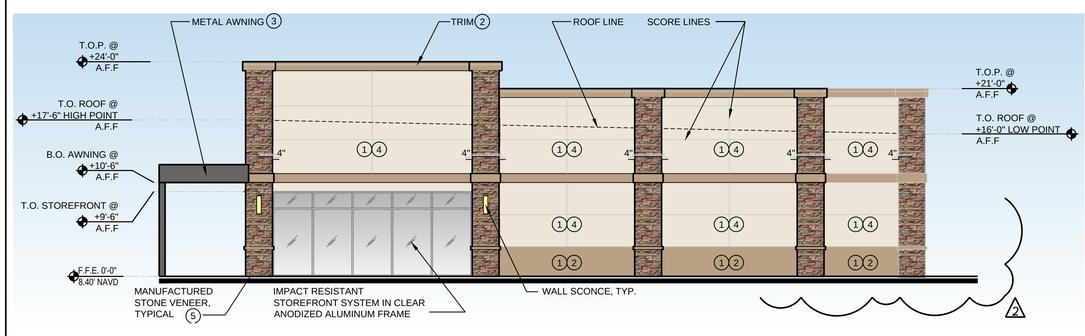


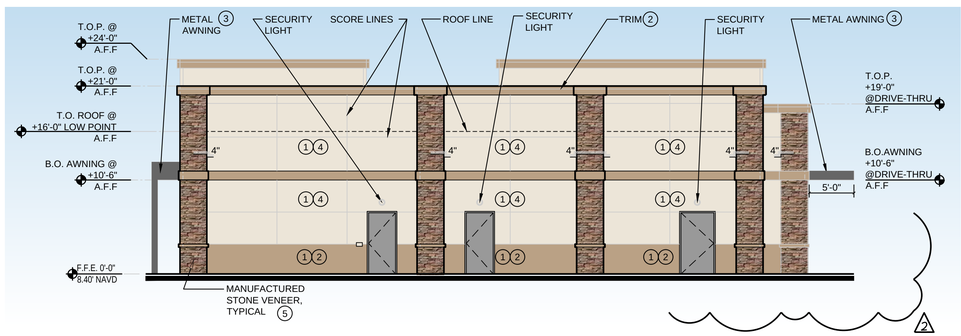
2 A1.1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 A1.1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



4 A1.1 NORTH ELEVATION

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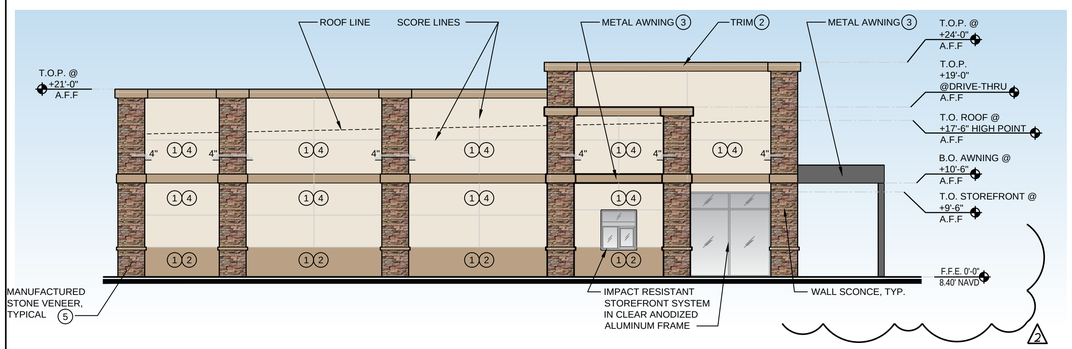


5 A1.1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

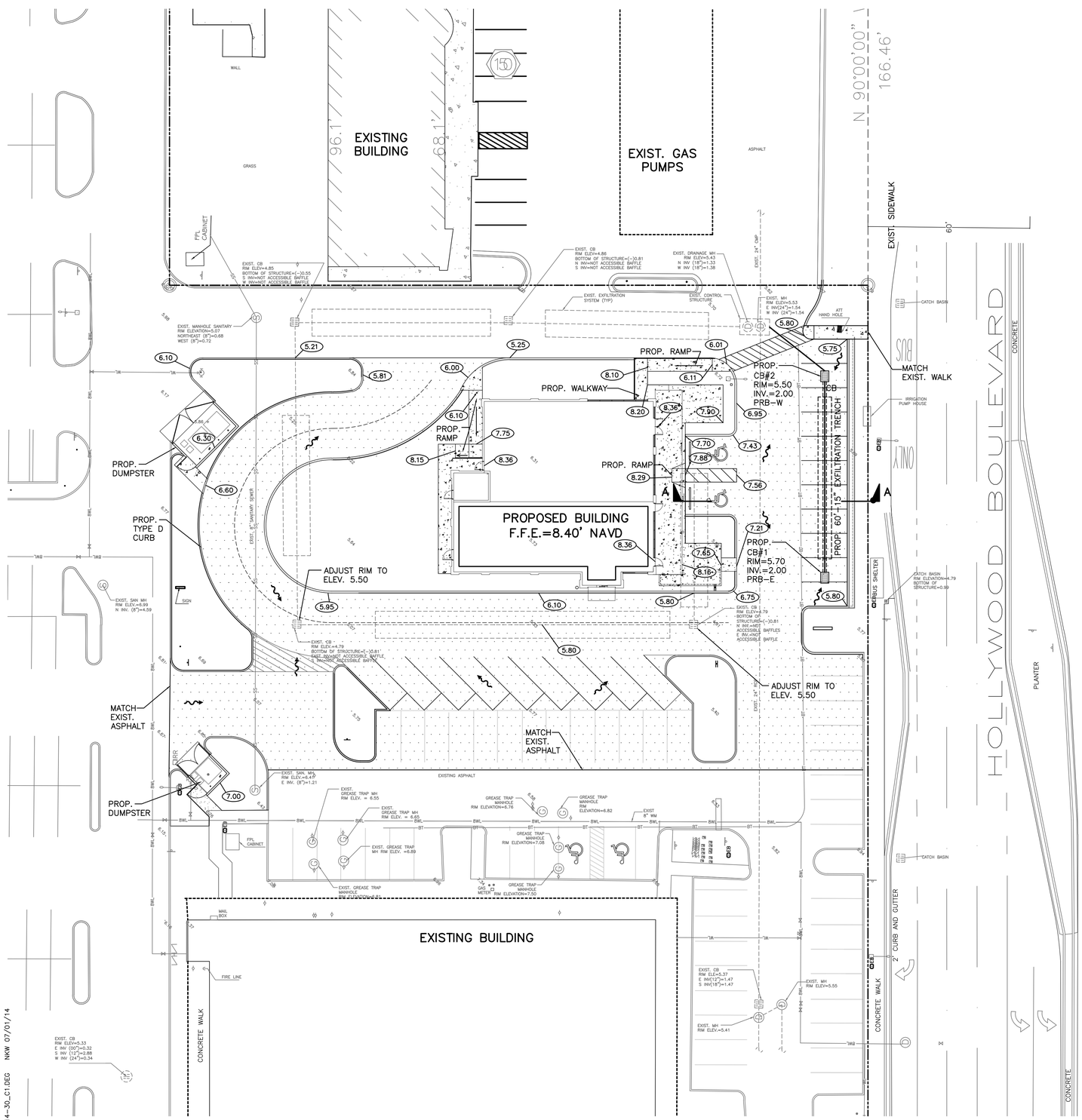
Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 03/30/18

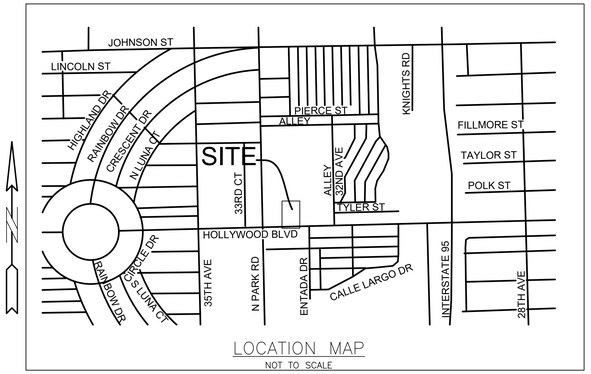
REVISIONS
1 TAC COMM. 01.07.19
2 TAC COMM. 03.18.19

Drawing name: S:\Projects\2016\2016-109\Drawings\02 TAC Submittal\A1-01.dwg Layout Name: A1.1 FOR COLOR Plotted by: gnfox Plotted on: Apr 5, 2019 - 11:50am

A1.1

ELEVATIONS ARE BASED UPON N.A.V.D. 1988

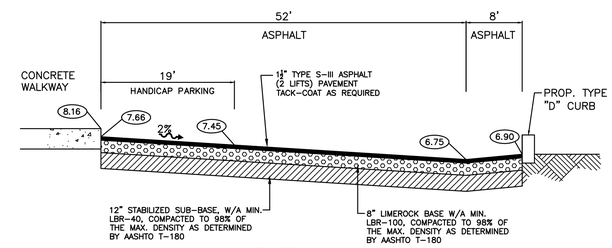




THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

NOTES:

1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
2. 2.MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
13. FEMA FLOOD ZONE X.



SECTION A-A

N.T.S.

LEGEND

	PROPOSED ASPHALT
	PROPOSED CONCRETE
8.60	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
WM	PROPOSED WATER METER
CB	PROPOSED CATCH BASIN
SIGN	PROPOSED SIGN (AS INDICATED)
CO	PROPOSED CLEANOUT
	PROPOSED RPZ BACKFLOW PREVENTER
	PROPOSED PIPING
	EXISTING PIPING AND APPURTENANCES
CB	EXISTING CATCH BASIN
+ 7.10	EXISTING ELEVATION
WPP	EXISTING WOOD POWER POLE
MH	EXISTING MANHOLE (AS DESIGNATED)
WM	EXISTING WATER METER
— X —	EXISTING FENCE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=20'

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civil engineers
1120 SE 3RD AVENUE – FORT LAUDERDALE – FL 33316
(954)367-0371
CA 7325
SUSAN C. HOLLAND, PE
Lic. no. 41831

HOLLYWOOD HILLS PLAZA OUTPARCEL TAC SUBMITTAL

HOLLYWOOD, FLORIDA

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Mark L. Saltz AR007171

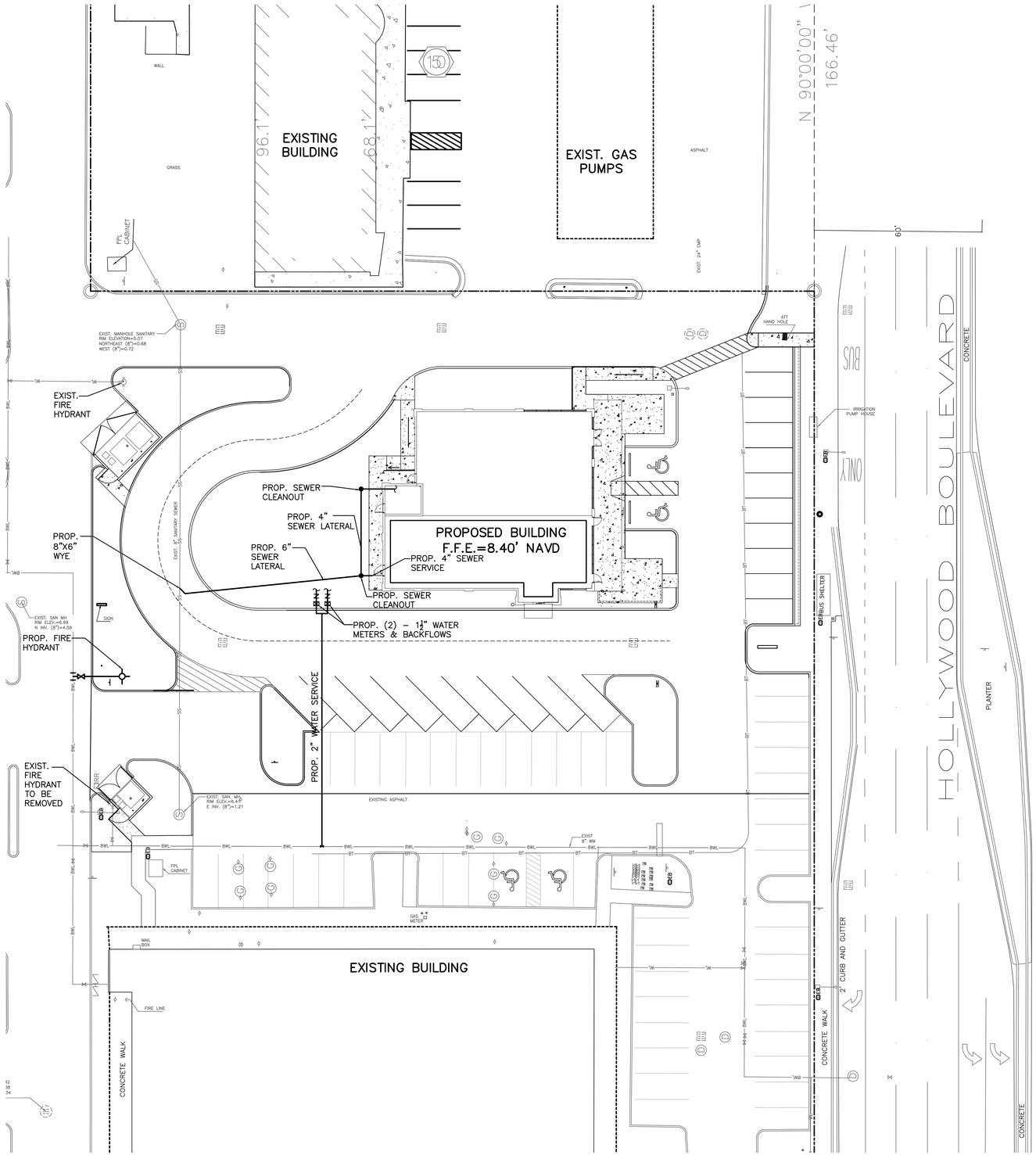
Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 01/07/19

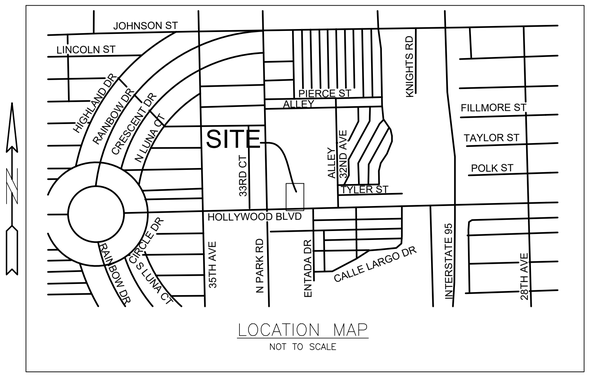
REVISIONS
REV. 1 TAC COMMENTS 01.07.19
REV. 2 TAC COMMENTS 03.18.19

C-1
17-39

I:/CAD/14-30/14-30_C1.DEG NKW 07/01/14

ELEVATIONS ARE BASED UPON N.A.V.D. 1988





LOCATION MAP
NOT TO SCALE

WATER AND SEWER DEMAND

150 SEAT RESTAURANT WITH DRIVE–THRU
150 SEATS X 35 GPD/SEAT = 5,250 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

NOTES:

1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.

2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER MAIN AND CONFIRM DEPTH OF PIPE.

3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.

4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

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Mark L. Saltz AR007171

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Drawn By: MG
Checked By: MA
Date: 01/07/19

REVISIONS
REV. 1 TAC COMMENTS 01.07.19
REV. 2 TAC COMMENTS 03.18.19

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LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- WM PROPOSED WATER METER
- CB PROPOSED CATCH BASIN
- SIGN PROPOSED SIGN (AS INDICATED)
- CO PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- CB EXISTING CATCH BASIN
- + 7.10 EXISTING ELEVATION
- WPP EXISTING WOOD POWER POLE
- MH EXISTING MANHOLE (AS DESIGNATED)
- WM EXISTING WATER METER
- X EXISTING FENCE

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WATER AND SEWER PLAN
SCALE: 1"=20'

C-2
17–39

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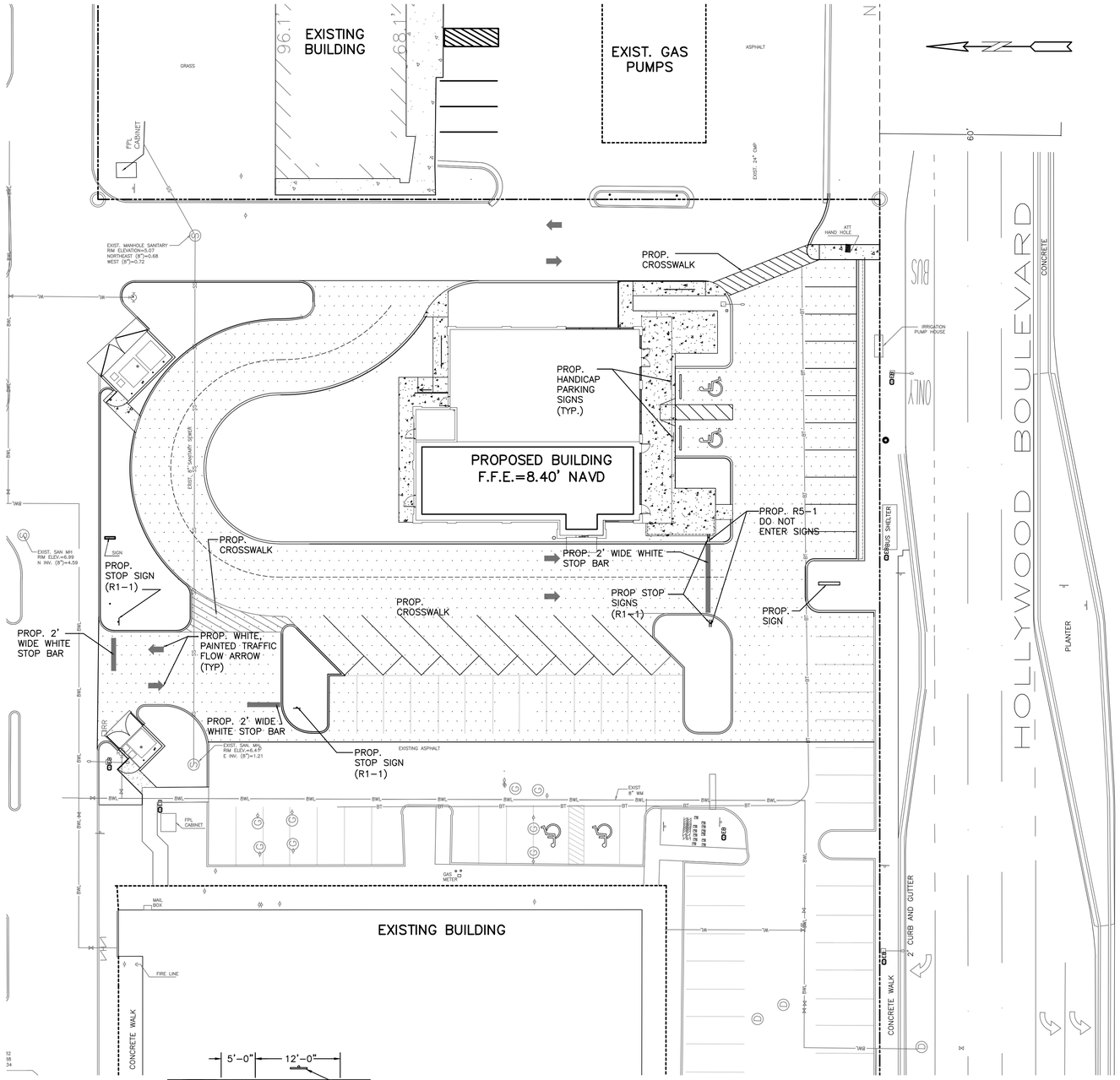
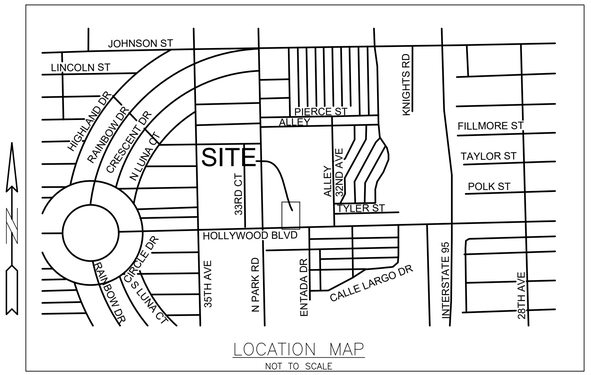
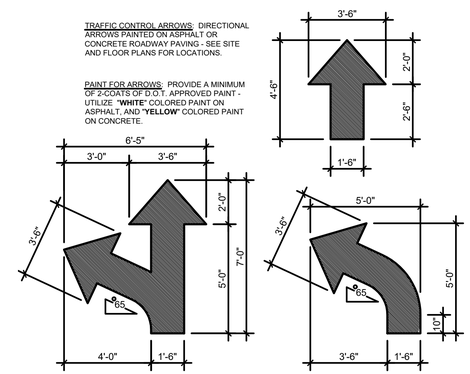
I:/CAD/14-30/14-30_C1.DEG NKW 07/01/14

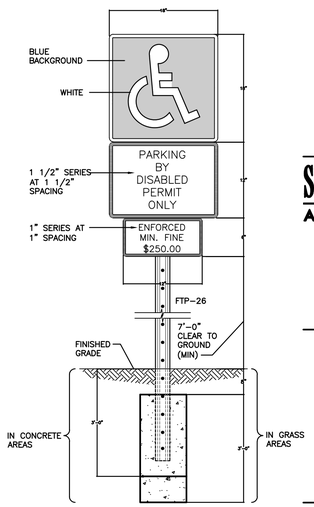




TRAFFIC CONTROL ARROWS: DIRECTIONAL ARROWS PAINTED ON ASPHALT OR CONCRETE ROADWAY PAVING - SEE SITE AND FLOOR PLANS FOR LOCATIONS.

PAINT FOR ARROWS: PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE **"WHITE"** COLORED PAINT ON ASPHALT, AND **"YELLOW"** COLORED PAINT ON CONCRETE.



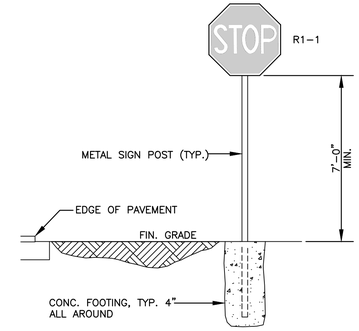


FTP-26 HANDICAP PARKING SIGN WITH SUPPLEMENTAL 12" x 6" "MINIMUM FINE $250.00" SIGN

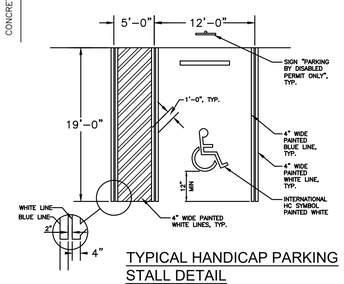
NOTES:

1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
4. SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3-FEET.

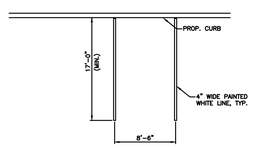
HANDICAP PARKING SIGN



TYPICAL SIGN INSTALLATION



TYPICAL HANDICAP PARKING STALL DETAIL
N.T.S



TYPICAL REGULAR PARKING STALL DETAIL
N.T.S

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- WM PROPOSED WATER METER
- CB PROPOSED CATCH BASIN
- SIGN PROPOSED SIGN (AS INDICATED)
- CO PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- CB EXISTING CATCH BASIN
- + 7.10 EXISTING ELEVATION
- WPP EXISTING WOOD POWER POLE
- MH EXISTING MANHOLE (AS DESIGNATED)
- WM EXISTING WATER METER
- X EXISTING FENCE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1"=20'

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Mark L. Saltz AR007171

Project No.: 2016-109
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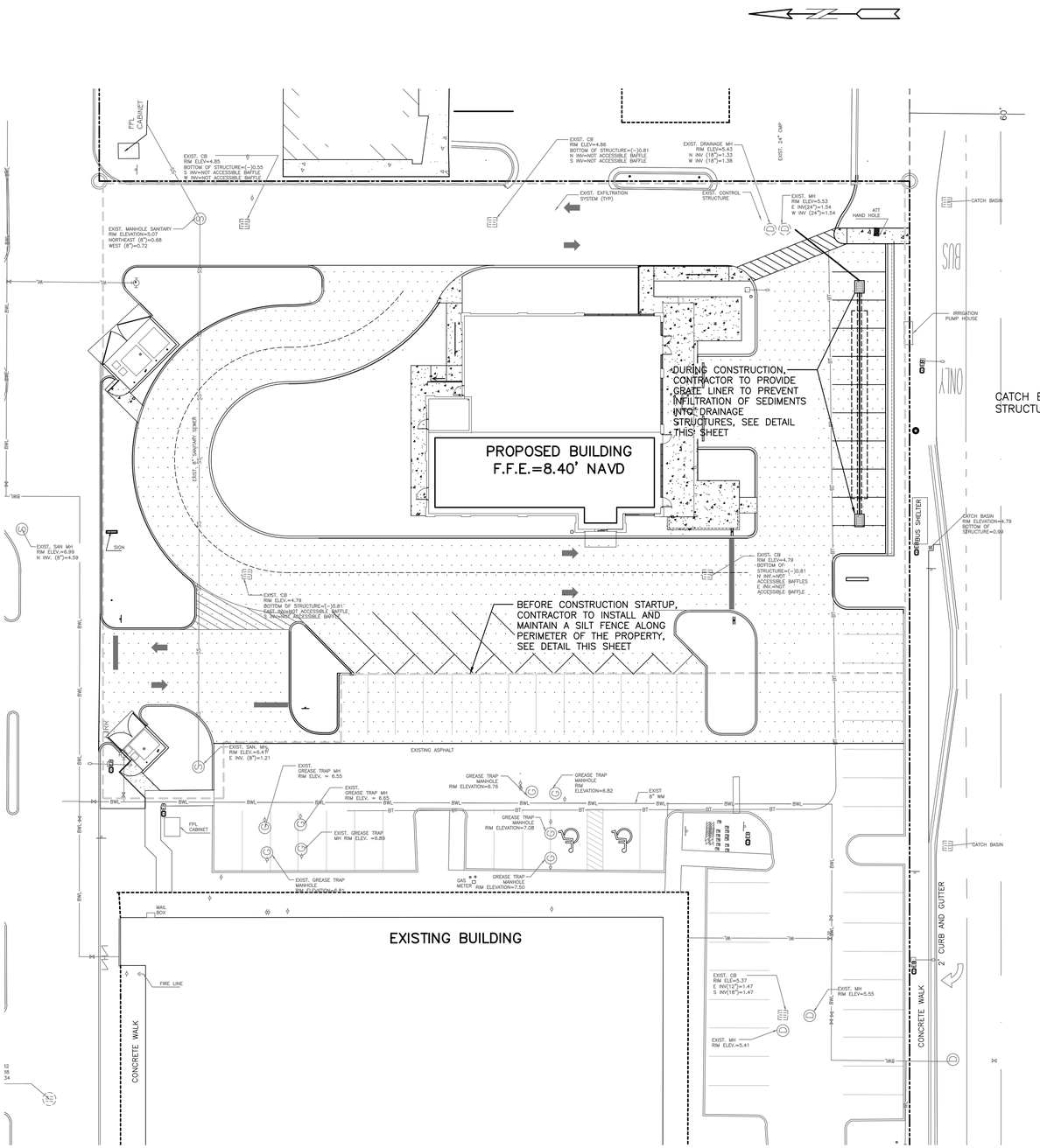
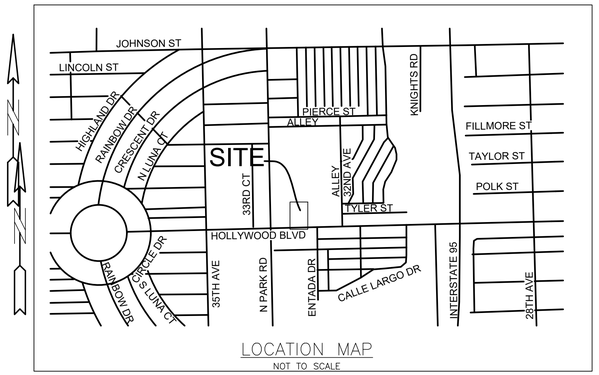
REV. 2 TAC COMMENTS 03.18.19

C-3
17-39

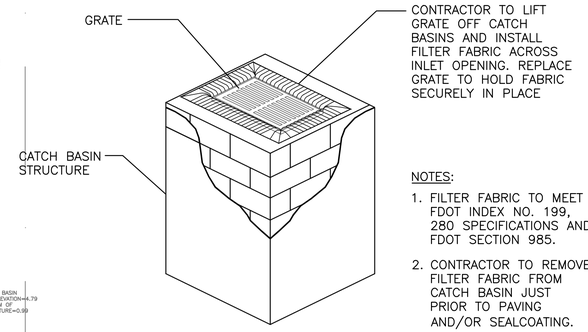
I:/CAD:14-30/14-30_C1.DEG NKW 07/01/14





LOCATION MAP

NOT TO SCALE

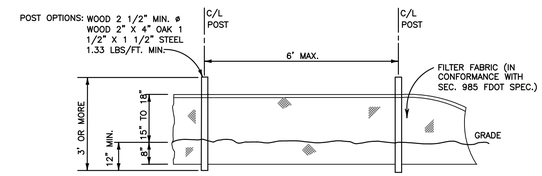


POLLUTION PREVENTION FOR CATCH BASIN

N.T.S.

NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.



TYPE III SILT FENCE

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.

2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.

10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.

LEGEND

PROPOSED ASPHALT	EXISTING PIPING AND APPURTENANCES
PROPOSED CONCRETE	EXISTING CATCH BASIN
PROPOSED ELEVATION	EXISTING ELEVATION
PROPOSED SURFACE FLOW	EXISTING WOOD POWER POLE
PROPOSED WATER METER	EXISTING MANHOLE (AS DESIGNATED)
PROPOSED CATCH BASIN	EXISTING WATER METER
PROPOSED SIGN (AS INDICATED)	EXISTING FENCE
PROPOSED CLEANOUT	
PROPOSED RPZ BACKFLOW PREVENTER	
PROPOSED PIPING	

STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1"=20'

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TAC SUBMITTAL
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GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

   FLORIDA POWER & LIGHT CO., CONSTRUCTION
   SOUTHERN BELL TELEPHONE & TEL. CO.
   CABLE CONSTRUCTION BUREAU
   LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
   FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
   UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA
   (S.U.N.S.H.I.N.E.)

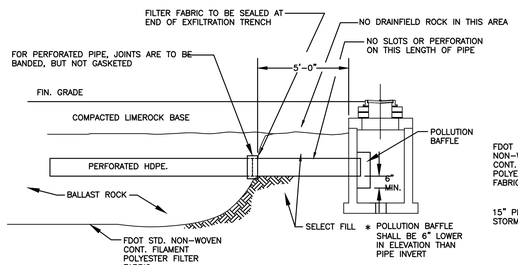
PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS –

    RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
    CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
    CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
    SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
    PVC = POLYVINYLCHLORIDE PIPE
    PCMP = PERFORATED CMP, FDOT SECTION 945
    DIP = DUCTILE IRON PIPE
    HDPE = HIGH DENSITY POLYETHYLENE PIPE.

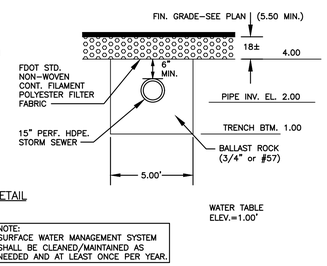
PAVEMENT MARKING & SIGNING STANDARD NOTES

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7', THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCLUDING PARKING STALL STRIPING.
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.

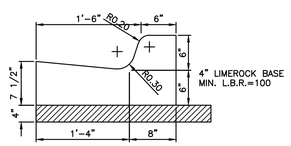


EXFILTRATION TRENCH DETAIL
N.T.S.

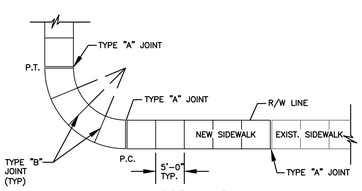
ELEVATIONS ARE REFERENCED TO NAVD 1988



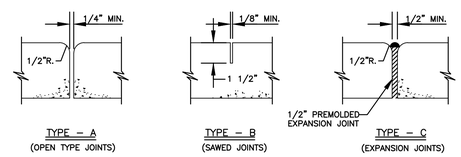
NOTE:
SURFACE WATER MANAGEMENT SYSTEM SHALL BE CLEANED/MAINTAINED AS NEEDED AND AT LEAST ONCE PER YEAR.



TYPE "F" CONCRETE CURB AND GUTTER DETAIL



SIDEWALK PLAN
N.T.S.



TYPE – A (OPEN TYPE JOINTS)
TYPE – B (SAWED JOINTS)
TYPE – C (EXPANSION JOINTS)

SIDEWALK JOINTS
N.T.S.

TYPICAL SIDEWALK THICKNESS (T)

LOCATION :	"T"
PEDESTRIAN AREAS	4"
DRIVEWAYS & OTHER	6"

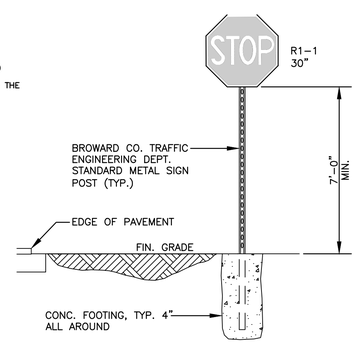
NOTES:
1. EXPANSION JOINTS EVERY 50' O.C.
2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
3. 6" THK. SIDEWALK ACROSS DRIVEWAYS

TABLE OF SIDEWALK JOINTS

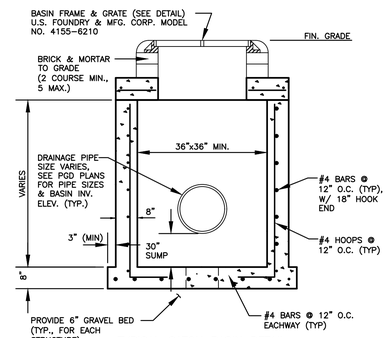
TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILIAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

* INSTALLED AT THE DISCRETION OF THE ENGINEER

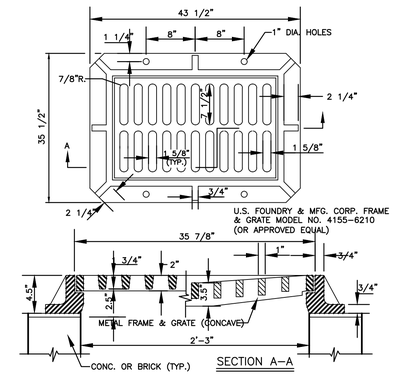
SIDEWALK DETAIL
NTS



TYPICAL SIGN INSTALLATION
NTS



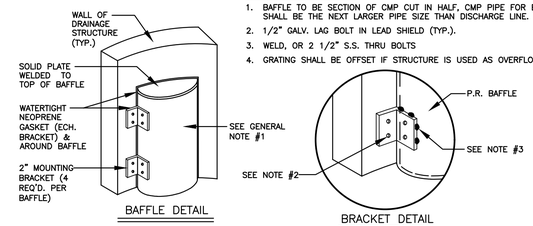
TYPICAL CATCH BASIN DETAIL
NTS



FRAME & GRATE DETAIL
NTS

GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



BAFFLE DETAIL

BRACKET DETAIL

POLLUTION RETARDANT BAFFLE DETAIL
NTS

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
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REVISIONS
REV. 1 TAC COMMENTS 01.07.19
REV. 2 TAC COMMENTS 03.18.19

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civil engineers
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CIVIL DETAILS
SCALE: N.T.S.

C-5
17-39

i:/CAD:14-30/14-30_C1.DEG NKW 07/01/14

WATER SYSTEM NOTES:

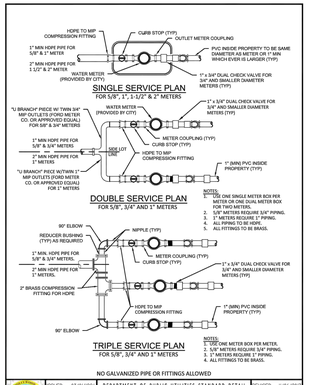
1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE laID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR DIGITAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL.
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO.
APPROVED: XXX		W-01

WATER SYSTEM NOTES (CONTINUED):

11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
17. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
18. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'.
19. MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
21. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
22. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	WATER SYSTEM NOTES	DRAWING NO.
APPROVED: XXX		W-02

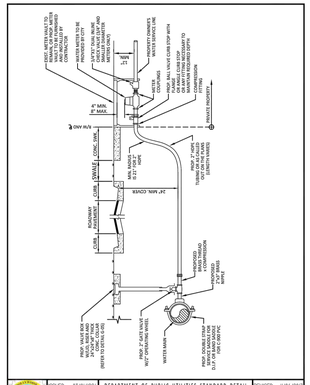


ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/06/2017
DRAWN: EAM	TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION	DRAWING NO.
APPROVED: XXX		W-06

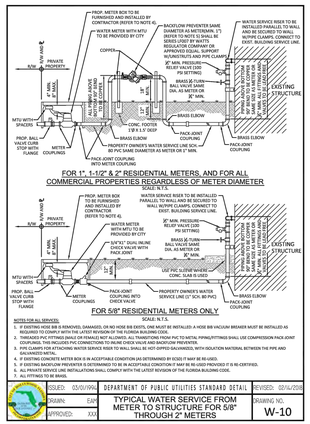
WATER METER SERVICE NOTES:

1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER.
2. P.E. TUBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C901, "POLYETHYLENE (PE) PRESSURE PIPE AND TUBING, 1/2 IN. (13mm) THROUGH 3 IN. (76 mm), FOR WATER SERVICE".
3. MINIMUM SERVICE PIPE DIAMETER SHALL BE 1" FOR SINGLE OR DUAL ¾" OR SINGLE 1" DIAMETER METERS.
4. MINIMUM SERVICE PIPE DIAMETER SHALL BE 2" FOR SINGLE OR DUAL 1-½" OR SINGLE 2" DIAMETER METERS.
5. FOR METER DIAMETERS LARGER THAN 2", THE MINIMUM SERVICE PIPE DIAMETER SHALL BE THE SAME AS THE METER DIAMETER.
6. APPROVED COPPER TUBING MAY BE USED AT THE CITY'S DISCRETION.
7. FOR NEW METER INSTALLATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS,CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE WATER METERS WILL BE PROVIDED AND INSTALLED BY THE CITY OF HOLLYWOOD (NEW ACCOUNTS).
8. FOR METER RELOCATIONS, ALL SADDLES, VALVES, PIPING, FITTINGS, CURB STOPS, METER VALVES, METER COUPLINGS, METER VAULTS AND COVERS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE EXISTING WATER METER TO BE RELOCATED AND INSTALLED BY CONTRACTOR.
9. FOR EXISTING METERS ABUTTING THE RIGHT-OF-WAY THAT ARE BEING DISCONNECTED FROM EXISTING MAINS AND RECONNECTED TO NEW MAINS, THE CONTRACTOR SHALL:
   a. CUT AND PLUG THE EXISTING SERVICE LINE AT THE MAIN AND AT THE METER, AND REMOVE THE EXISTING BALL VALVE CURB STOP.
   b. FURNISH AND INSTALL SERVICE SADDLE, CORPORATION STOP OR SERVICE VALVE AND VALVE BOX, PIPING AND FITTINGS UP TO AND INCLUDING THE BALL VALVE CURB STOP.
12. THE ELEVATION AT THE TOP OF THE METER BOX SHALL MATCH THE ELEVATION OF THE BACK OF SIDEWALK, WHENEVER PRACTICAL.
13. AS PART OF THE SERVICE INSTALLATION, THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY TO MATCH EXISTING CONDITIONS, INCLUDING ROADWAY PAVEMENT, PAVEMENT MARKINGS AND RPMs, CONCRETE CURBS, SIDEWALKS, RAMPS (INCLUDING DETECTABLE WARNING SURFACE), SODDING, AND ALL OTHER IMPROVEMENTS REMOVED OR DAMAGED DURING THE SERVICE INSTALLATION.
14. FOR UNPAVED AREAS, THE MINIMUM GROUND COVER ACCEPTED BY THE CITY IS SODDING.

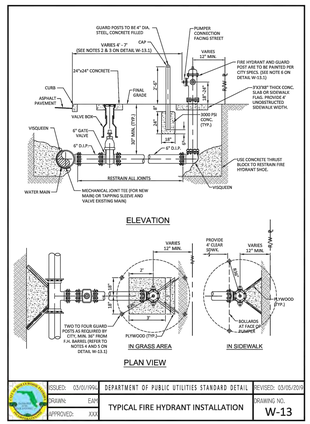
ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	WATER METER SERVICE NOTES FOR 5/8" THROUGH 2" METERS	DRAWING NO.
APPROVED: XXX		W-07



ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 07/06/2017
DRAWN: EAM	TYPICAL 2-INCH HDPE WATER SERVICE FOR SINGLE/DUAL 5/8" TO 1" METERS, AND ANY SINGLE 1-1/2" TO 2" METERS	DRAWING NO.
APPROVED: XXX		W-09



ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 03/14/2018
DRAWN: EAM	TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS	DRAWING NO.
APPROVED: XXX		W-10

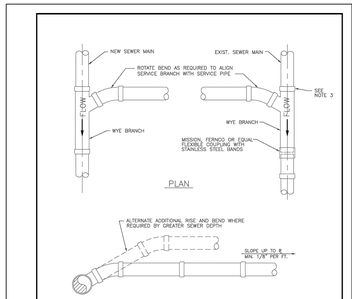


ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 03/05/2014
DRAWN: EAM	TYPICAL FIRE HYDRANT INSTALLATION	DRAWING NO.
APPROVED: XXX		W-13

NOTES:

1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FOOT CLEAR DRIVING ZONE.
4. GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6' LEFT/RIGHT OF ℄ OF THE FIRE HYDRANT. EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
5. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
6. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

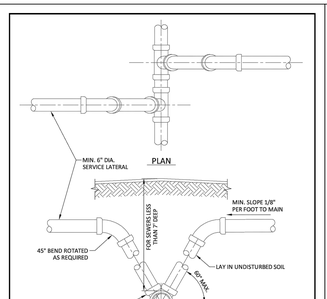
ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	TYPICAL FIRE HYDRANT NOTES	DRAWING NO.
APPROVED: XXX		W-13.1



NOTES:

1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.

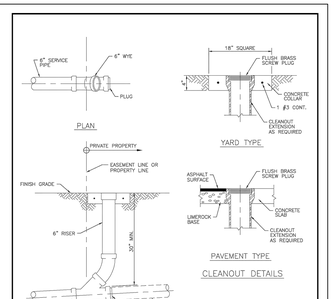
ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	WYE BRANCH CONNECTION	DRAWING NO.
APPROVED: XXX		S-09



NOTES:

1. MODIFIED RISER CONNECTION TO BE USED ONLY WHEN DIRECTED BY THE CITY.
2. NO, 57 ROCK OR ¾" DRAINFIELD LIMEROCK MAY BE USED AS BEDDING OVER UNDISTURBED SOIL WITH PVC PIPE.
3. SINGLE SERVICE CONNECTIONS SHALL USE 6" (MIN.) DIAMETER PIPE AND FITTINGS.

ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	SANITARY SEWER LATERAL MODIFIED RISER	DRAWING NO.
APPROVED: XXX		S-10



SINGLE SERVICE CONNECTION

ISSUED: 03/01/99	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM	SEWER SERVICE CONNECTION AND CLEANOUT AT PROPERTY LINE	DRAWING NO.
APPROVED: XXX		S-12

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
HOLLYWOOD, FLORIDA

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Project No.: 2017-39
Drawn By: MG
Checked By: MA
Date: 01/07/19

REVISIONS
REV. 1 TAC COMMENTS 01.07.19
REV. 2 TAC COMMENTS 03.18.19

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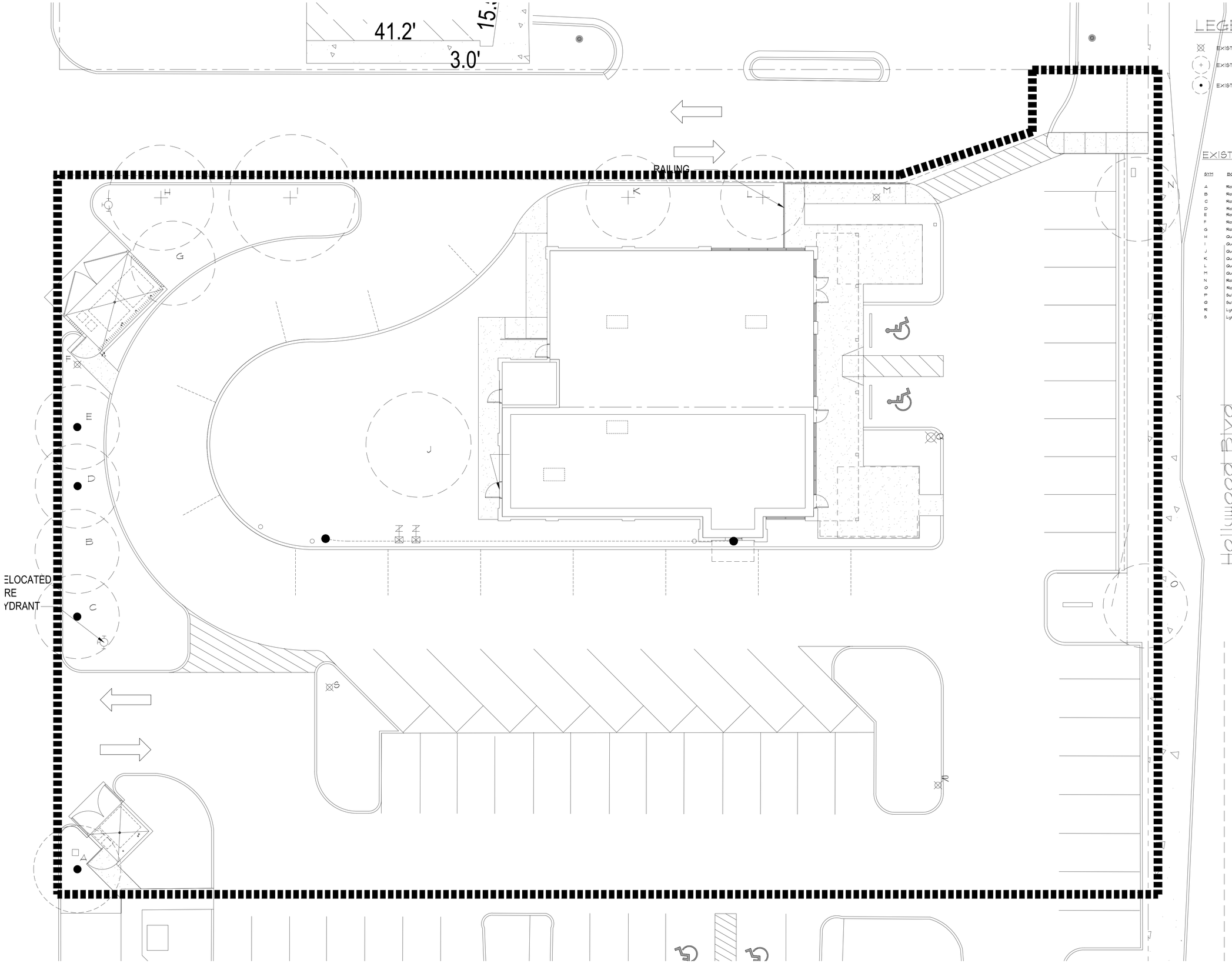
UTILITY DETAILS
SCALE: N.T.S.

C-6
17-39

I:/CAD:14-30/14-30_C1.DEG NKW 07/01/14



LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- EXISTING PALMS TO REMAIN
- EXISTING TREES TO BE RELOCATED
- NEW LOCATION OF RELOCATED TREES
- PROPOSED PALMS
- PROPOSED TREES

EXISTING TREE LIST

SYM	BOTANICAL/COMMON TREE NAME	DESCRIPTION	cal	CONDITION	STATUS
A	Roystonia regia/Royal Palm	40' o.a. ht.	24"	Rolled Trk.	remain
B	Roystonia regia/Royal Palm	40' o.a. ht.	30"	Good	relocate
C	Roystonia regia/Royal Palm	40' o.a. ht.	24"	Good	remain
D	Roystonia regia/Royal Palm	40' o.a. ht.	30"	Good	remain
E	Roystonia regia/Royal Palm	40' o.a. ht.	28"	Good	remain
F	Roystonia regia/Royal Palm	40' o.a. ht.	30"	Good	remove
G	Roystonia regia/Royal Palm	40' o.a. ht.	24"	Good	relocate
H	Quercus virginiana/Live Oak	25' ht. x 25' spr.	15"	Good	remain
I	Quercus virginiana/Live Oak	30' ht. x 30' spr.	18"	Good	relocate
J	Quercus virginiana/Live Oak	25' ht. x 25' spr.	13"	Good	relocate
K	Quercus virginiana/Live Oak	20' ht. x 20' spr.	14"	Good	remain
L	Quercus virginiana/Live Oak	20' ht. x 20' spr.	10"	Good	remain
M	Quercus virginiana/Live Oak	20' ht. x 20' spr.	14"	Good	remove
N	Roystonia regia/Royal Palm	40' o.a. ht.	36"	Good	relocate
O	Roystonia regia/Royal Palm	40' o.a. ht.	30"	Good	relocate
P	Swietenia mahagoni/Mahogany	20' ht. x 20' spr.	12"	Good	remove
Q	Swietenia mahagoni/Mahogany	35' ht. x 35' spr.	24"	Good	remove
R	Lysiloma bahamensis/Wild Tamarind	20' ht. x 15' spr.	6"	Good	remove
S	Lysiloma bahamensis/Wild Tamarind	20' ht. x 15' spr.	6"	Damaged Trk.	remove

project:
hollywood hills plaza
out parcel
hollywood, fl

dave bodker
landscape architecture/planning inc.

601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311

#LA0000999

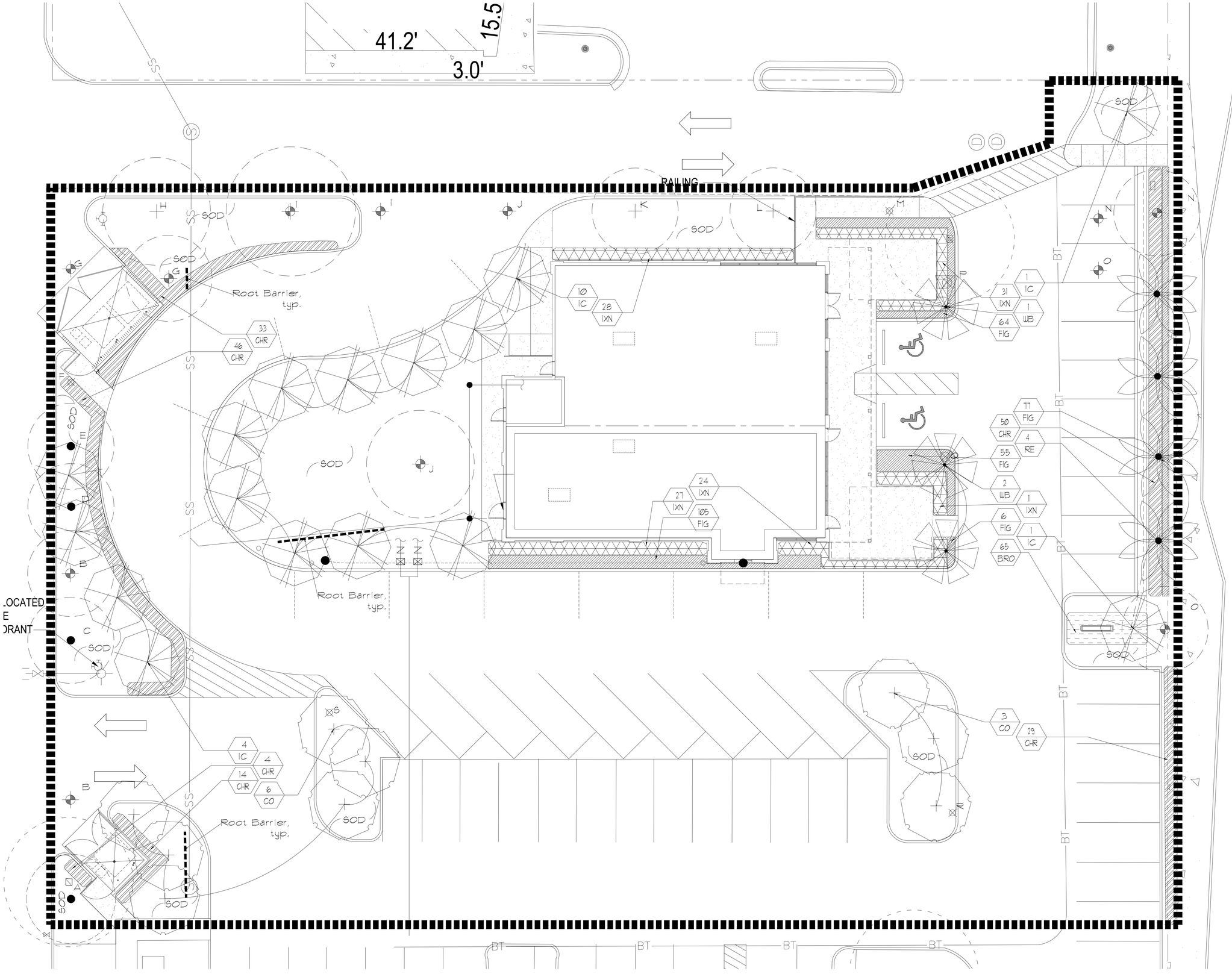
sheet title:
existing tree plan

project number: 118
date: 01/03/2018
scale: 1" = 10'
drawn by: lmb

revisions:
1. TAC Comments, 01.07.19
2. TAC Comments, 03.18.19
3. 4.18.19
4.
5.
6.

NORTH

sheet:
L-1



PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
CO	Chrysophyllum oliviforme Satin Leaf	12' ht. x 5'spr., 2"dbh	9
IC	Ilex cassine Dahoon Holly	12' ht. x 5'spr., 2"dbh	16
RE	Roystonea regia Royal Palm	14-16' c.t.	4
WB	Wodyetia bifurcata Foxtail Palm	8' c.t., matched	3
BRO	Bromeliad 'perfecta' Perfecta Bromeliad	12" ht. x 12" spr., 18" o.c.	65
CHR	Chrysobalanus Icaco Cocoplum	24" ht. x 18" spr., 24" o.c.	176
FIG	Ficus microcarpa 'Green Island' Green Island Ficus	10" ht. x 10" spr., 18" o.c.	238
IXN	Ixora 'Nora Grant' Nora Grant Ixora	24" ht. x 18" spr., 24" o.c.	117
SOD	Stenotaphrum secundatum St. Augustine Floratam Sod	full, fresh sod	as required
▬▬	Root Barrier	36" ht. hung vertically	as required

CODE COMPLIANCE DATA

Perimeter Landscape & Buffer

1. Street trees required 1/50'
Hollywood Blvd:
196' / 50' = 4

4 trees required
4 trees provided
(4 royal palms)

5. Terminal Islands
8 terminal islands

8 trees required
8 trees provided
(2 foxtail palms, 4 satin leaf, 2 dahoon holly)

6. 25% of paved VUA shall be landscape area
(% not to include perimeters)
25,961 SF of VUA x 25 =

6,491 SF required
9,216 SF provided

7. 1 Tree / 1,000 SF of pervious area of property
(This is in addition to VUA)
Total pervious area = 9,216 SF
9,216 SF / 1,000 =

10 trees required
10 trees provided
(5 existing royals,
5 existing live oaks)

22 Total Trees Required
22 Total Trees Provided

Minimum number of species required = 4/5 Provided

Tree and Palm Size Requirements
Trees: 12' ht., 2" dbh
Palms: 8' clear trunk

Native Plant Requirements
60% of required trees must be native
Total trees required = 22 x .60 =

14 native trees required
39 native trees provided

Palms
50% of required trees may be palms
Total Trees required = 22 x .50 =

11 palms allowed
11 palms provided (to fullfill code requirements)

If more than 20% of trees used are palms, all other trees must be shade trees.

Shrub Height
24" ht. except where non-residential abuts residential where the hedge must be 48" ht.

Mitigation

62" of mitigation required
38" mitigation provided (on site)
(19) trees @ 2" = 38"

Mitigation that cannot be met on site will be mitigated via tree trust fund:
Remaining to Mitigate =24"
Public Donation of $4,200.00 based upon 24" of mitigation required.
($350.00 per 2" cal.x
24/2=12x350=4,200.00)

15' RADIUS

LIGHT POLE

project:
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out parcel
hollywood, fl

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landscape architecture/planning inc.
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561-276-6311
#LA0000999

sheet title:
planting plan

project number: 118
date: 01/03/2018
scale: 1" = 10'
drawn by: lmb

revisions:
1 TAC Comments, 01.07.19
2 TAC Comments, 03.18.19
3 4.16.19
4
5
6

NORTH

sheet:
L-2

Applicable Documents:

A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period.

Scope of Work:

A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident thereto.

B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading, fertilizing, mulching, staking and guying where required, watering, pruning where required, sod installation, weeding, cleanup, maintenance and guarantee.

C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary.

D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work. These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this.

E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The contractor's unit prices shall be the basis for said payment. The final amount of payment may or may not be the total sum of the contract depending on the number of units installed.

F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.

G. The Landscape Contractor will coordinate his work with all other trades at the job site.

Quality Assurance:

A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architect retains the right to further inspect trees and shrubs for size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory or defective material at any time during the progress of work. The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site.

B. Responsibility for Assuring Quality Work:

(1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation, coordination with other contracts or service in the project area and coordination between the nursery and the project.

(2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project.

(3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape materials and work.

C. Grade Standards:

(1) Plant material shall be Florida #1 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

(2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plant materials which have been cut back from larger grades to meet certain specification requirements will be rejected.

(3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bark, plant diseases, insect pest eggs, barers, and all forms of infestations or objectionable disfigurements.

Delivery, Handling and Storage:

A. Delivery and Handling:

(1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc.

(2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and protect while stored at the site.

(3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Flats shall be covered to prevent wind damage during transit.

B. Sod

(1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.

Submittals & Approvals

A. Written request for approval to substitute a plant species or a plants designation (B&B, WB&B, CG etc.), type, grade, quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is unavailable.

B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the material is delivered and installed on the project.

C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.

D. If requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.

E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered and installed on the project.
sample and analysis of the mulch for approval by the Landscape
H. If requested by the Owner or Landscape Architect, submit a

Architect before the material is delivered and installed on the project.

I. Submit three prints of shop drawing for all staking and guying methods to be used if the ones indicated in these Specifications and on the Plans are not to be implemented. staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of

project.

J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the guarantee of plant material.

K. Submit in writing any hindrance to the timely completion of the installation.

L. Submit and Certificate of inspection of plant material as may be required by, State , local or Federal Authorities.

Substitutions:

A. When the specifies plant designation (B&B, WB&B, CG etc.), type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along with written, documented proof that the plant designation (B&B, WB&B, CG, etc.), type grade, quality, size, quantity, etc. of material is not available. The Landscape Architect shall approve all substitutions before they are delivered and installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitted in writing and approved as a substitute by the Landscape Architect. Also, ant changes, if any, to the contract amount because of an approved substitute, shall be established in writing between the Owner and the Contractor before the material substitute is delivered and installed on the project.

Guarantee:

A. The guarantee shall not begin until the day final written acceptance is given.

B. All plant material, except sod, shall be guaranteed for a minimum of 1 year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final acceptance.

C. The guarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God".

D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantee period.

Replacement:

A. The guaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material within 3 calendar days if it is:

(1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the Specifications.

(2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in t he Specifications.

(3) It is dead.

B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.

C. Size, Quality, and Grade:

(1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting . The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.

However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally specifies size.

(2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee period shall begin at time of acceptable replacement.

(3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

Plan and Specification Interpretation:

A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision. In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications.

Permits and Codes:

A. The Contractor shall procure all necessary permits to accomplish all of the work.

B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

Changes and Additional Work:

A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for.

"Job Site, "Project Site Etc.":

A. The words "job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents.

Safety On and Off the Job Site:

A. In performing the scope of work, all safety on of off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.

The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

On Site Observations and Inspections:

A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.

B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in advance.

C. An inspections at the growing site does not preclude the right of rejection at the project site.

D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or work omitted, or work performed which is not in accordance with the contract requirements, shall not bar the Landscape Architect from subsequently rejecting such work at a later time.

E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

Plant Material

A. Plant material shall be nursery grown except:

(1) Where specified as collected material

(2) Where approved by the Landscape Architect for such plant material which is only available as a collected item from sources such as residences.

B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida #1, or better, at the time of installation and final acceptance. Existing plant material to remain or to be relocated shall be excluded from this requirement.

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and injuries.

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

(1) Trees, Shrubs, and Groundcover:

a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part 2" as follows:

CALIPER	MIN. BALL DIA.	MIN. BALL DEPTH
1 - 1.5"	16"	75% of dia.
1.5 - 1.75"	20"	65% of dia.
1.75 - 2"	22"	65% of dia.
2 - 2.5"	24"	65% of dia.
2.5 - 3.5"	26"	65% of dia.
3.5 - 4"	28"	65% of dia.
4 - 4.5"	30"	60% of dia.
4.5 - 5"	32"	60% of dia.
5 - 5.5"	34"	60% of dia.
5.5" or more	increase in proportion	60% of dia. up to 48", then decrease in proportion for larger size diameter.

b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, branches, limbs or fronds, which extend out beyond the main mass of the plant.

E. Die-Back and Leaf Drop: plant material showing signs of die-back of leaf-drop will not be accepted and must be removed from the project immediately if so directed by the Landscape Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation

F. Mechanical Destruction of Foliage: Mechanical destruction of foliage resulting from root pruning shall not effect more than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be accepted.

G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists on plant material, it shall be completely removed prior to planting on the project

H. Palms:

(1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palms shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie Palm fronds to accommodate an owners "grand opening". The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an additional cost to the owner.

(3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.

(4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

I. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants".

J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.

K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

Sod:

A. Sod shall be solid sod and shall be standard quality grade. Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf grass Producers Association of Florida Inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, up to one half inch allowable (uncompressed).
the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.

Planting Soil:

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand , and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.

Water:

A. Potable, from municipal water supplies or other sources which are approved by a public health department.

Mulch:

A. Mulch shall be:

(1) "Floramulch" or other approved recycled mulch (approval by Landscape Architect or other governing agency)

Fertilizer:

A. New and existing Trees and Palms:
Fertilize with 8-2-12 palm fertilizer with micronutrients per manufacturer's recommendations.

B. New and existing Shrubs, and Groundcover:
Fertilize with 8-2-12 palm fertilizer with micronutrients at a rate of ½ lb. per 1000 SF of area.

C. Annuals: Fertilize with Osmocote - Sierra blend 14-14-14 or approved equal.

D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's analysis.

E. All fertilizer shall comply with the State of Florida fertilizer laws.

Staking and Guying:

A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or requirement of staking or guying.

B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

EXECUTION

Inspection:

A. Utilities (Above Ground and Underground):

(1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities have been indicated on the Plans.

However, no guarantee is implied that the Plans are accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular location.

(2) The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities or other facilities which are disrupted due to his or her additional outside services which may be necessary to prosecute repairs on a continuous "around the clock" basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.

(3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated.

(4) The Contractor shall not purposefully disrupt or disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

Grades:

A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas conforms to surrounding grades and is at the proper elevation with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans.

B. Plant Area Next to Pavement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads, drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS 1 INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans.

Preparation:

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based on information from the plans.

B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed, walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly without growing into the other bed, walkway, structure, etc.

C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting.

D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerock which may interfere with adequate vertical drainage and/or proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling or rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival and growth.

E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered.

F. Excavation of Plant Holes:

(1) General:

a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.

b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.

Installation:

A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.

B. Setting of Plants:

(1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place. When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots: the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tapped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil mixture.

(2) All sabal and queen palms shall be backfilled with clean thoroughly washed in during the planting operation.

(3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm pit and maintained in place.

(4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks. Girdling, bark slippage, limb breakage and any other damage that might occur by improper handling or negligence.

(5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.

(6) Container grown plant material shall be carefully removed from the container so as not to disturb the root system.

C. Sod:

(1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner:

a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1,000 square feet.

b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil.

c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.

(2) Placing Sod:

a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.

b. Water sod every day for a period of three weeks.

c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1,000 square feet of lawn.

d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State or Federal Department of Agriculture.

(3) Maintenance of Sod:

a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.

b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as necessary.

D. Planting Beds:

(1) Spread six inches of topsoil mixture uniformly over the entire planting area.

(2) Spread 50% organic fertilizer at a rate of 4 pounds per 1,000 square feet uniformly over the groundcover area.

(3) Rotor mix, or by other approved method, to a depth of twelve inches.

(4) Fine grade to remove all trash, rocks, and debris to depth indicated.

(5) Regrade to finish grade before adding two inches mulch.

(6) Thoroughly water and firm the plants into the soil mixture.

E. Mulch:

(1) Areas to be mulched shall have existing weeds and vegetation removed, including root systems, before applying mulch.

(2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

(3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans.

F. Watering:

(1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and washing soil away from the roots.

(2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task. It cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water during this period.

(3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such means as a water truck or tank.

G. Pruning and Thinning:

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant.

(2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during any pruning and thinning.

H. Weeding:

(1) In the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until final acceptance.

I. Removal of Plant Material:

(1) All plant material to be removed shall be removed completely, including the rootball, from the job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting soil as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated:

(1) All existing plant material to be relocated shall be root pruned a minimum of 90 days or for a period as determined by the Landscape Architect prior to relocation.

(2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with requirements as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part 2", as follows:

CALIPER	MIN. BALL DIA.	MIN. BALL DEPTH
1 - 1.5"	16"	75% of dia.
1.5 - 1.75"	20"	65% of dia.
1.75 - 2"	22"	65% of dia.
2 - 2.5"	24"	65% of dia.
2.5 - 3.5"	26"	65% of dia.
3.5 - 4"	28"	65% of dia.
4 - 4.5"	30"	60% of dia.
4.5 - 5"	32"	60% of dia.
5 - 5.5"	34"	60% of dia.
5.5" or more	increase in proportion	60% of dia. up to 48", then decrease in proportion for larger size diameter.

(3) Root pruning shall be accomplished by digging a trench completely around the plant about 18 inches deep. All exposed roots shall be cut off smoothly.

(4) A mixture of good organic fertilizer and planting soil shall be used to refill the trench.

(5) Plant material which is in soil of a loose texture, which does not readily adhere to the root system, especially in the case of large plants or trees, shall have the rootball wrapped in burlap and then wire, if directed by the Landscape Architect. For wire, hog wire shall be used and it shall be placed around the rootball before before the plant is removed from the hole for relocation. The wire shall be looped and tensioned until the burlapped ball is substantially packaged by the tightened wire netting formed by the hog wire, so as to prevent disturbance of the loose soil around the roots during handling.

Cleanup:

A. Disposal of Trash: All debris and other objectionable material created through planting operation and landscape construction shall be removed completely on a daily basis from the job or as directed by the Landscape Architect. Any paved areas including curbs and sidewalks which have been strewn with soil, sod waste, fertilizer or other debris shall be thoroughly swept.

B. Excess Fill: All excess fill which results from the installation of the project shall remain the property of the Owner and remain on the project at the option of the Owner. All excess fill which the Owner does not want shall be removed and disposed of from the project at no additional cost. No excess fill shall be removed or disposed of from the site until approved by the Owner or Landscape Architect. Excess fill shall be disposed of as directed.

Protection:

A. Responsibility for Protection and Restoration of Property: The Contractor shall be responsible for all damage or injury to person or property.

B. Protection Against Mechanical Damage: The Contractor's responsibility for protection against mechanical damage shall include providing protection from vehicles and providing warning signs and barricades as might be necessary and he or she shall repair, restore and replace all property which becomes damaged as a result of any negligence of the Contractor or his or her employees in complying with these requirements.

Completion and Final Acceptance:

A. Upon written notice from the Contractor of the presumptive completion as defined below, of the entire project, the Landscape Architect, along with other appropriate parties, will make an inspection within 48 hours after the written notice. If all construction provided for and compensated by the contract is found to be completed in accordance with the contract Plans and Specifications, such inspection shall constitute the final inspection. The Contractor shall be notified in writing of final acceptance as of the date of the final inspection.

B. If, however, the inspection mentioned in paragraph A, above, discloses any work, in whole or in part, as being unsatisfactory, final acceptance shall not be given and the Owner and/or Landscape Architect will give the Contractor the necessary instructions or "punch lists". Upon correction of work, another inspection will be made which shall constitute the final inspection, provided the work has been satisfactorily completed. In such event, the Owner or their representative shall make the final acceptance and notify the Contractor in writing of this final acceptance as of the sate on this final inspection.

C. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the Plans and Specifications including any and all "punch lists" which may be issued outlining certain items of work which were found unsatisfactory or required completion or corrective action.

D. Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected and found to be completed in accordance with contract Plans and Specifications.

E. Final acceptance shall not be official until acknowledged in writing by the Owner or their representative.

F. The guarantee shall not begin until the day final acceptance is given.

Certain responsibilities prior to Final Acceptance: The following is a partial list of certain responsibilities. It is not a complete list, but only a summary of certain responsibilities.

A. The Contractor is responsible for the entire project prior to written acceptance.

B. The Contractor is responsible for safety on and off the job site.

C. Maintenance Prior to Final Acceptance:

(1) Maintenance shall begin immediately after each plant is planted and continue until final acceptance.

(2) Plant maintenance shall include watering, mowing, edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guys, stakes, braces, etc., replacement of sick or dead plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer, litter removal, and all other care needed for proper growth of the plants.

(3) Immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional requirements.

(4) All plant material shall be weeded once a week. In the event that weeds or other undesirable vegetation becomes prevalent to such as extent that they threaten plant material, the weeds shall be removed as directed by the Landscape Architect. If necessary, the plant material, mulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undesirable vegetation at the expense of the Contractor.

(5) Edge and mow sod once a week.

(6) Edge and weed all shrubs, groundcover and flower beds once a week.

(7) Remove all litter once a week.

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation.

(9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion, gullies, washouts, or other causes shall be repaired by filling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense.

(10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over planting areas or adjacent to plants without proper safeguards and protection.

(11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains.

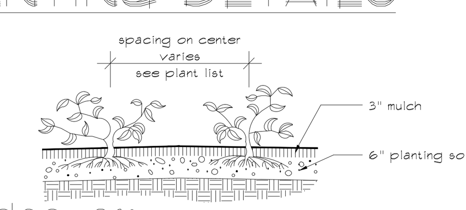
D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.

E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is installed until final acceptance.

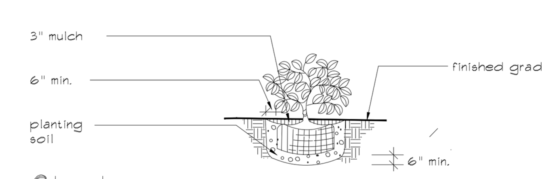
F. Replacement: Replacement of plant material shall be the responsibility of the Contractor including the possible replacement of plant material resulting from removal by theft or vandalism or acts of negligence on the part of others. All plant material shall be alive and in good growing condition for each specific kind of plant at the time of final acceptance.

G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of final acceptance.

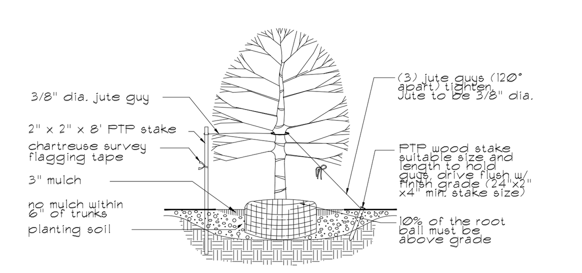
PLANTING DETAILS



Groundcovers

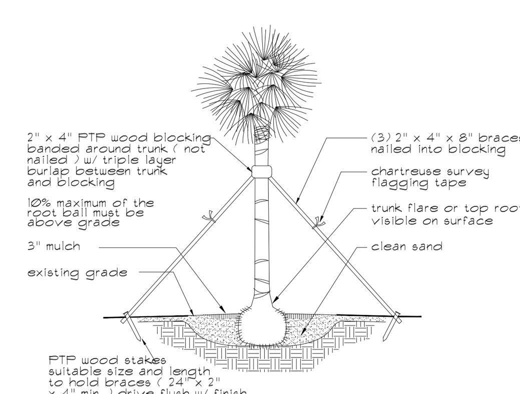


Shrubs



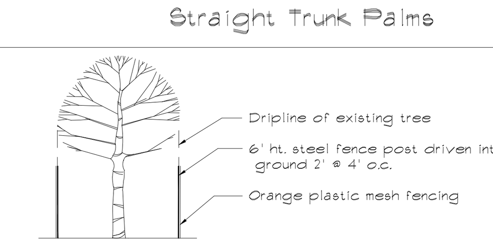
NOTE: Stake all trees up to 2" cal. @ 2 per tree. Guy all trees larger than 2" cal.
All plastic nursery tape / flagging must be removed from all plants.

Trees



Straight Trunk Palms

EXISTING TREE PROTECTION BARRIER DETAIL



GENERAL NOTES

1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM IS NOT POTABLE OR RECLAIM WATER, AND THE WATER STAINS SITE IMPROVEMENTS, SUCH AS BUILDINGS, PAVING, ETC., THE CONTRACTOR WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM.
4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS, WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT' S PLANTING PLANS.
7. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.
8. ALL TREES AND PALMS TO BE STAKED AND GUYED.
9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", TO A DEPTH OF 3".
10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE.
11. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.
12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS. THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
13. TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE.
14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE.
15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY, COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS INCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE.
16. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.
17. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.
18. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING.
19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK, 50% SAND). NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS OR PLANTING AREAS ADJACENT TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS REQUIRED TO SUPPORT THE CURB.

project:
hollywood hills plaza
out parcel
hollywood, fl

dave bodker
landscape architecture/planning inc.
601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311
#LA0000999

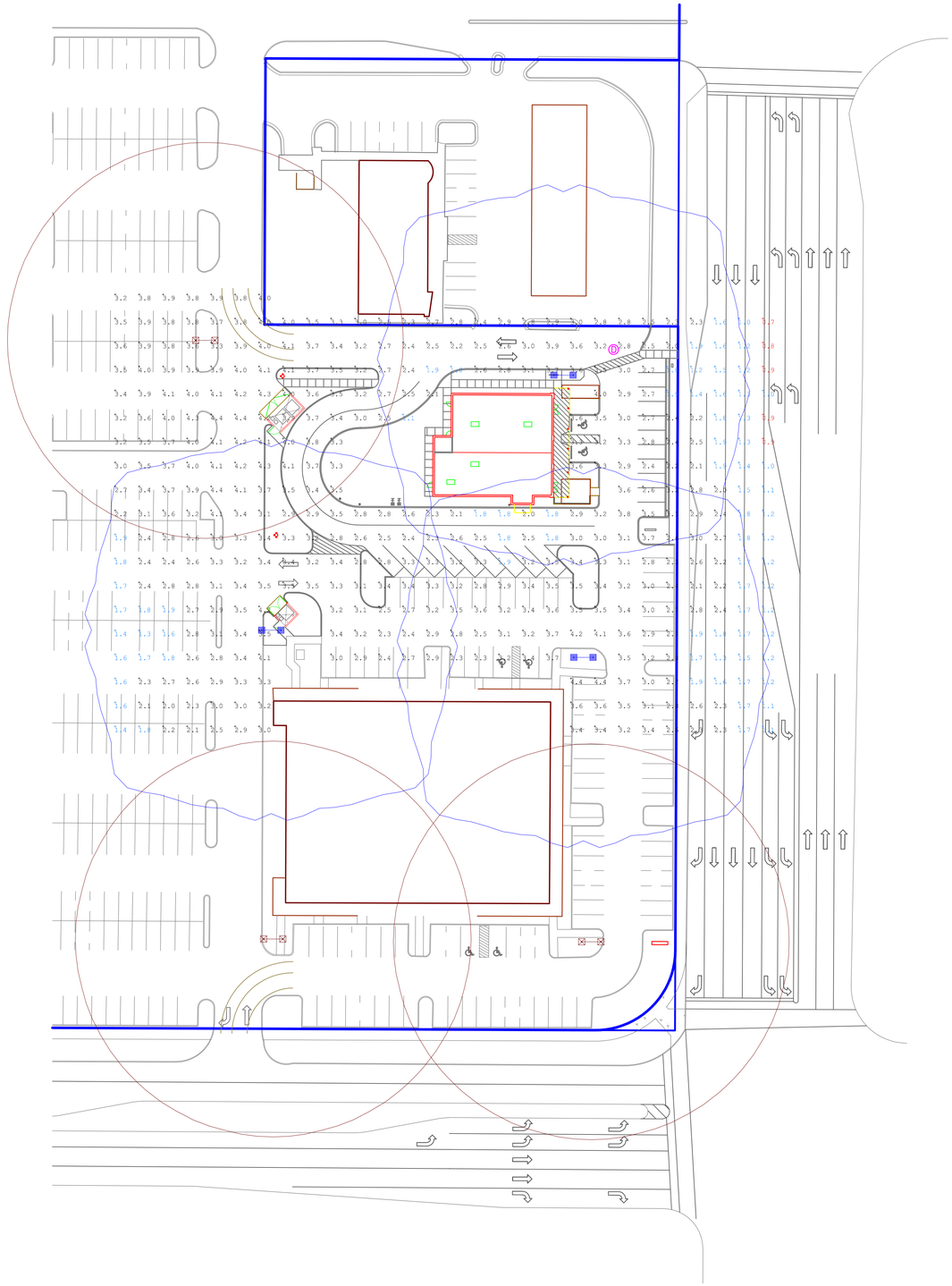
sheet title:
notes, details, specifications

project number: 118
date: 01/03/2018
scale: n.t.s.
drawn by: lmb

revisions:
1 TAC Comments, 01.07.19
2 TAC Comments, 03.18.19

sheet:
L-3

REVISIONS		
Rev #	Date	By:
1	3/12/19	TO



Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
OUTPARCEL	Fc	3.0	4.20	1.10	2.7	3.8	15	15

Luminaire Schedule						
WLS14176 HOLLYWOOD HILLS OUTPARCEL HOLLYWOOD, FL PM: ROBBY PLEASE EMAIL ROBBY AT RRUDASILL@WLSLIGHTING.COM FOR PRICING.						
Symbol	Qty	Label	Lumens	LLF	Description	Lum. Watts
	3	X2	140000	0.700	MCGRAW-GSL-1000-HPS-AR-FG 50' MOUNTING HEIGHT	1080
	3	A	110000	0.800	WLS-FVR-SR-1000-PSMH-FG 50' MOUNTING HEIGHT	1070

ENERGY SERVICES GROUP OF WLS

1-800-633-8711 - WWW.WLSLIGHTING.COM

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

1919 WINDSOR PLACE
FORT WORTH, TX 76110
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WLS LIGHTING SYSTEMS

Consider the Impact!

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PM: ROBBY | BY: TO | SHEET 1 OF 1

HOLLYWOOD HILLS OUTPARCEL
HOLLYWOOD, FL

WLS-14176A | DATE - 3/28/18 | SCALE: 1"=40'

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(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

HOLLYWOOD HILLS COLOR SITE PLAN

SCALE: N.T.S.

N

Project No.: 2016-109
Drawn By: MG
Checked By: MA
Date: 05.22.19

SK1

Drawing name: S:\Projects\2016\2016-109\Drawings\01.2 TAC Submittal\16-109 COLOR SP.dwg Layout Name: Model Plotted by: mgutierrez Plotted on: May 22, 2019 - 1:36pm

Hollywood Blvd
820