ATTACHMENT A
Application Package

PLANNING DIVISION

File No. (internal use only): _____

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at http://www.hollywoodfl.org/DocumentCenter/Home/View/21

APPLICATION TYPE (CHECK ONE):

☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☑ Planning and Development Board

Date of Application: 5-23-2019

Location Address: 2324 JOHNSON STREET
Lot(s): 13 Block(s): 12 Subdivision: Hollywood LITTLE RANCHES
Folio Number(s): 5142 1601 4610
Zoning Classification: DH-2 Land Use Classification: RAC
Existing Property Use: SF Sq Ft/Number of Units: 1000 sqFt
Is the request the result of a violation notice? ( ) Yes (✓) No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): _____

☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☑ Planning and Development

Explanation of Request: _____

Number of units/rooms: 12/22 Sq Ft: ≅ 8000 sqFt.
Value of Improvement: 900,000 Estimated Date of Completion: 6-2020
Will Project be Phased? ( ) Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Y & Y H CONSTRUCTION INC.
Address of Property Owner: 890 ALFONSO AVE CORAL GABLES FL
Telephone: 4195091015 Fax: _____ Email Address: HADDAD HOMES@YAHOO.COM
Name of Consultant/Representative/Tenant (circle one): MIGUEL DE DIEGO
Address: 1657 TYLER St. Suite 107 Telephone: 9549263358
Fax: 9549262021 Email Address: DEDIEGO ARCH@AOL.COM
Date of Purchase: 8-21-2017 Is there an option to purchase the Property? Yes ( ) No ( )
If Yes, Attach Copy of the Contract.
List Anyone Else Who Should Receive Notice of the Hearing: SALIM HADDAD
Address: _____
Email Address: HADDAD HOMES@YAHOO.COM

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PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only):_____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 5-23-2019

PRINT NAME: SALIM HADDAD Date: 5-23-2019

Signature of Consultant/Representative: _____ Date: 5-23-2019

PRINT NAME: Miguel De diego Date: 5-23 2019

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

_____
Signature of Current Owner

_____
Notary Public
State of Florida

_____
Print Name

My Commission Expires: _____ (Check One) ___ Personally known to me; OR ___ Produced Identification _____

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LUXURY HADDAD APARTMENTS
2324 JOHNSON STREET
TAC #18-DP-33

PROJECT INFORMATION:

TWO STORY MULTIFAMILY RESIDENTIAL BUILDING.

-

LEGAL DESCRIPTION:

LOT 13,LESS THE SOUTH 60 FEET THEREOF, BLOCK 12, "AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES" ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 1,PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY , FLORIDA.

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CRITERIA STATEMENTS
LUXURY HADDAD APARTMENTS
2324 JOHNSON STREET
HOLLYWOOD FL.
TAC #18-DP-33

Description of Architectural Styles.This building represent the typical method of construction used by the pioneers , it uses available materials to create a functional building. Buildings are mostly rectangular, single mass structures where simplicity induced these to adapt well to the subtropical climate where it's located.

Mediterranean Style. This often sophisticated style was a strong influence for Joseph Young in the planning of early Hollywood. This was the first academic style to be seen in the formative years of the city. Characteristic features of this style include metal work on balconies and stairs railings . Low pitched gabled and hipped roof with columns, pilasters, stone or tile. Arches are a common feature. Balconies and patios extend living space to the outdoors. Stucco, tile are materials most frequently used .The indoor/outdoor condition was a main focus of design consideration. .New construction methods allowed extended cantilevers which took the form of covered exterior space.

All Materials choices and construction methods will be done using the Green buildings Practices which are designed to reduce the overall impact of the built environment on human health and the natural environment by:

- Efficiently using energy, water, and other resources
- Protecting occupant health and improving employee productivity
- Reducing waste, pollution and environmental degradation

For example, green buildings may incorporate sustainble materials in their construction (e.g., reused, recycled-content, or made from renewable resources); create healthy indoor environments with minimal pollutants (e.g., reduced product emissions); and/or feature landscaping that reduces water usage (e.g., by using native plants that survive without extra watering).

The proposed project is two -story multifamily residential building with 29' high located on johnson street just east of N 24th Ave. Consists of 12 units 10 units two bedrooms , one unit one bedroom and one efficiency.All units have open floor between kitchen and living area.

In the neighborhood where the proposed project located is a mix of single family houses , two-story apartments building and some townhouses. All have mix Architectural styles such as asphalt shingles, tile and flat roofs, texture and smooth stucco finishes, tile and stone veneer and Mediterranean revival buildings are introduced in the surrounding area. Most all the existing buildings have mix paint colors some darks and some lights.

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With all this Architectural styles and variation we related our design to all of them such as roof style, stone tile veneer, arches and columns, balconies and railings and cool light exterior colors.

So our design will upgrade the neighborhood to the best and increase the real estate value.

This project falls in the zoning distrct (DH2) which allows us to have more units therefore

will have more people that will bring more business to the surrouding area.

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CITY OF Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

TECHNICAL ADVISORY COMMITTEE REPORT

RECEIVED
MAY 22 2019
CITY OF HOLLYWOOD
OFFICE OF PLANNING

September 17, 2018

Salim Haddad
890 Alfonso Avenue
Coral Gables, FL 33146

FILE NUMBER: 18-DP-33

SUBJECT: Site Plan Review for a 12 unit residential development (Haddad Luxury Apartments).

SITE DATA

Owner/Applicant:	Y & Y H Construction
Address/Location:	2324 Johnson Street
Gross Area of Property:	Unspecified
Net Area of Property:	14,480 sq. ft. (0.33 acres)
Land Use:	Regional Activity Center
Zoning:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
Existing Use of Land:	Single Family Home

ADJACENT LAND USE

North:	Regional Activity Center
South:	Regional Activity Center
East:	Regional Activity Center
West:	Regional Activity Center

ADJACENT ZONING

North:	Dixie Highway Low Intensity Multi-Family District (DH-1)
South:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
East:	Dixie Highway Medium Intensity Multi-Family District (DH-2)
West:	Dixie Highway Medium Intensity Multi-Family District (DH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

RECEIVED
DEC 17 2018
CITY OF HOLLYWOOD
PLANNING DIVISION

A. APPLICATION SUBMITTAL

Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471 5/22/19

1. Cover Sheet:

    a. Page Index lists photometric plan which was not included with submittal.

    b. Location map shall be placed on cover sheet.

2. Indicate meeting dates (not submittal dates), and subsequent revision dates on *Cover Sheet* and Title Blocks on all sheets (2nd request).

3. Cover sheet shall be placed as the first document in the set (prior to survey) for all future submittals

4. ALTA Survey

    a. Provided Survey is dated prior to O&E Report. Survey shall be based on the current title work (O&E), dated within 30 days of submittal. Such date shall be noted on the survey document. ***Second request.***

5. Site Data:

    a. Provide the Net & Gross property area in square feet and acres, calculations of acreage provided are inconsistent with square footage provided.

    b. Indicate number of required and provided parking spaces, including required guest parking in calculation.

    c. Indicate required and provided amounts for pervious and impervious area in square footage, acreage, and percentage for total parcel. ***Second Request***

    d. Provide cumulative average square footage for dwelling units and confirm calculations are correct.

6. Indicate width of concrete walkway minus width of columns on site plan to ensure appropriate accessibility.

7. Indicate where concrete walk is flush for wheelchair access on site plan.

8. Ensure that directional arrows accurately reflect north. Invert project location graphic so that north arrow is oriented towards top of page. Not addressed, ***Second Request.***

9. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

10. Provide details and height of all proposed walls, fences, and gates. All fencing shall be decorative. Is there a proposed fence around the property line?

11. Complete and submit to Broward County School Board impact fee application prior to submitting for Board consideration. Required prior to sign off. ***Second Request***. Website: http://www.broward.k12.fl.us/propertymgmt/new/growthmanagement/docs.html

12. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.

13. Provide note on site plan acknowledging any changes to design, including material changes, may require Planning and Development Board Approval prior to construction.

14. Indicate on site plan and elevations proposed location for exterior plumbing, mechanical equipment, electric equipment, etc. as to ensure proposed locations do not negatively impact the overall design.

15. Provide written responses to all comments with next submittal.

B. ZONING

Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471 5/22/19

1. Project is required to install electric vehicle charging station infrastructure, please see Ordinance O-2016-02. Proposed location is not feasible. How will vehicles access charging station without blocking drive aisle? Note on site plan references a garage? Clarify.

2. Required parking stall dimensions are 8.5' x 18' (including overhang). Site plan indicates stall width as 8'.

3. Consider utilizing excess two feet of landscape buffer along eastern edge of property line to provide a landscape feature along concrete walkway to enhance the pedestrian experience along the eastern façade. ***Second Request.***

4. Clarify calculations utilized for Buffer Zone on site plan.

5. Concrete slab for dumpster requires a 3 foot rear setback.

6. Unit type "C" may not meet minimum unit size requirements based on dimensions provided on floor plan. Double check that calculations are accurate.

C. ARCHITECTURE AND URBAN DESIGN

Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471 5/22/19

1. Consider utilizing a darker stone material to create contrast between stone and stuccoed wall.

2. Provide sample of stone material prior to sign off.

Terrence Comiskey A.I.A., Architect (tcomiskey@hollywoodfl.org) 954-921-3900 14 JAN 2019

1. Sheet 1: How is recycling being handled in the dumpster area? The dumpster location on Sheet C-1 does not match the architectural plans. No details on the dumpster enclosure were included for review.

2. I do not see a janitorial room with a mop sink. How is the building maintained?

D. SIGNAGE

Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471

1. Substantially compliant.

E. **LIGHTING**
Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471

1. Photometric Plan indicated on cover sheet but not included with submittal.

F. **GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY**
Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471

5/22/19

1. Submittal shall indicate compliance with Green Building Ordinance (O-2011-06). Include a list with a minimum of ten (10) green building practices.

2. Ensure initiatives provided to meet the Green Building Requirements are not duplicated. ***Second Request.***

3. Work with Building Department to ensure compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

G. **ENGINEERING**
Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251
Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915 1/15/19.

1. No indicate distance between vehicular travel lanes to columns. No column shall be within 3 feet of the entrance to a parking space. **Complied.**

2. Provide dimension for the two-way drive aisle width adjacent to parking stalls. Minimum drive aisle width adjacent to the parking stalls in the Regional Activity Center District is 22 feet.

3. Discrepancies exist between Site Plan, Sheet 1 of 5, and civil plan, Sheet C-1. Site Plan shows drive opening of 22' and civil plan shows 20'.

4. Work with Public Utilities to minimize the number of water service lines and taps on Johnson Street. **Comment not addressed.**

5. Will screening be provided for the lift station? Please indicate the referenced fencing and landscape in the comment response on plans.

6. On civil plans, provide the following:
   a. Indicate curb type. **Complied.**
   b. All vehicle turning radii. Please provide.
   c. Cross-section at property lines. **Complied.**
   d. Civil plan detail for asphalt pavement and parking. **Complied.**

7. For work within City rights-of-way, include sidewalk realignment to the west of the project site, limits of asphalt pavement restoration and north rights-of-way limit of Johnson Street. **Comment not addressed.**

8. Provide pedestrian level light fixtures on poles along Johnson Street between the building and the sidewalk. **Complied.**

9. Indicate width of the driveway access to the dumpster. **Complied.**

10. Unity of Title will be required prior to issuance of building permit. To be provided.

11. Park impact fees will be required prior to issuance of Building Permit. To be provided.

12. All outside agency permits must be obtained prior to issuance of City building permit. To be provided.

13. More comments may follow upon review of the requested information.

14. New Comments:
    a. Discrepancy exists for dumpster location shown on Site Plan, Sheet 1 of 5, and civil plan, Sheet C-1.
    b. Review the dumpster gate as shown on Site Plan, Sheet 1 of 5, can gate be fully opened and functional with the proposed continuous curbing?

H. **LANDSCAPING** GS 2/20/19

Guillermo Salazar, Landscape Architect (gsalazar@hollywoodfl.org) 954-921-3900

1. As per submitted landscape planting plan L-200 please provide further clarification in regard to tree mitigation total inches of DBH in lieu of hardwoods and thirty one (31) palm trees removed

2. Clarity is still needed to define code required ten (10) trees and separate owed 31 palms and 66" DBH broadleaf tree mitigation please provide a plant list table that clearly defines both with a symbol or within description area of proposed landscape table.

I. **UTILITIES**

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985 W.Z. 1-15-19

Alicia Verea-Feria, Engineer (averea-feria@hollywoodfl.org) 954-921-3302

1. Update survey to include FEMA flood zone info. Comment addressed.

2. Provide preliminary drainage calculations. Comment not satisfactorily addressed. Drainage calculation is inconsistent with plans.

3. Provide typical cross-sections across all four property lines showing that stormwater will not runoff unto adjacent properties. Comment partially addressed. Clearly show on the plan view what each section pertains to. Contact Wilford Zephyr at (954)921-3994 to discuss grading plan.

4. Provide water and sewer flow demand calculations on Sheet C1. – PARTIALLY ADDRESSED. 12 UNITS @ 250 Gals/Unit = 3,000 GPD.

5. Revise sections to revise conflict between "6"DP swale" in section versus "8"DP swale" in plan view.

6. Indicate how roof drainage will be collected and retained.

7. Finished floor elevations (FFE) and equipment shall be at 14.15-feet minimum of 18-inches above the highest adjacent crown of road elevation equal to 12.65-feet to comply with Chapter 154.50 of the City's Code of Ordinances.

8. Landscape architect should coordinate with civil plans to accommodate for drainage swales and retention areas accordingly. Trees are proposed within swales. Furthermore, there appears to be conflict between proposed trees and pipe connecting to catch basin #4.

W.Z. 1-15-19

J. **BUILDING**

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Minimum habitable room must be at least 70 sq. ft.

2. Doors must swing inside on 2nd floor, or provide alcove. Cannot hinder walkway to stairs with outward swinging doors.

K. **FIRE** 2-7-19

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

1. The fire flow calculation worksheet that was submitted is confusing and not consistent with NFPA 1, table 18, 4.5.2.1. Code references are incorrect at the bottom of the page. The minimum fire flow for fire resistive construction is 1500 gpm for 2 hours. A 75% reduction may be taken for fire sprinklers using quick response which results in 375 gpm. However, NFPA 1, 18.4.5.3.3 requires a minimum of 600 gpm using QR fire sprinklers. The other data included on the calculations page is not needed and is confusing. Per results of the fire flow test, the minimum is met.

2. Pg. C-1 does not show existing or new fire hydrants as was requested in prior comment #2.

3. Prior comments #3 and 4 not addressed on the plan.

L. **PUBLIC WORKS**

Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. **PARKS, RECREATION AND CULTURAL ARTS** 1405 S 28 AVE

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Park Impact Fee application is required. - 01-23-2019

1/22/19

N. **COMMUNITY DEVELOPMENT**

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Do rents meet HUD's criteria for Fair Market Rent in local area ($1,080 – 1 bedroom; $1,370 – 2 bedroom)? yes. the smallest units.

2. Notify North Central Civic Asso., meetings 4th Tues at 7:00 p.m., 2030 Polk St., Clifford Germano – President at cgermano@bellsouth.net We Do

O. **ECONOMIC DEVELOPMENT** 1-22-19

Raelin Storey, Director of Communications, Marketing, and Economic Development (rstorey@hollywoodfl.org) 954-921-3260

1. Any idea about anticipated asking rents for one and two bedroom units?

2. How many bikes can proposed rack accommodate?

3. Can dumpster be fully accessed?

CRA 1948 HRISON 924-2880

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371
Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500
Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371 4371

1. No comments received.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980
Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. Not applicable.

R. PARKING AND INTERGOVERNMENTAL AFFAIRS

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549
Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Substantially compliant.

S. ADDITIONAL COMMENTS

Julian Gdaniec, Assistant Planner (jgdaniec@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee does not find this application substantially compliant with the requirements of Final Review; therefore the Applicant must obtain the signature of any members with outstanding comments.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations. Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Deandrea Moise
Planning Administrator

C: Salim Haddad (haddadhomes@yahoo.com)
Miguel De Diego (dediegoarch@aol.com)

Miguel de Diego Architect P.A.

1657 Tyler Street . Suite 107 . Hollywood, Florida 33020 . Phone (954) 926-3358
Fax (954) 926-2021 . dediegoarch@aol.com . AA-26001641

November 8, 2018 17-198

Response to building department comments
Luxury Haddad apartments (12 units)
2324 Johnson Street, Hollywood, Florida
File no. 18-DP-33

A) Application submittal:
1-A) See revised index for removed photometric drawings.
B) See revised index sheet for location plan.
2-See revised index sheet for meeting dates.
3-Ok
4-See enclosed alta survey.
5-A) See revised sheet-1 for net & gross acres.
B) See sheet-1 for parking calculations.
C) See sheet-1 for previous
D) See sheet-1 for cumulative average s.f.
6-See sheet-1 for walkway dimensions.
7-See sheet-1 for level indication at walkway.
8-See revised north arrow designation.
9-Ok
10-there are no walls, fences or gates.
11-Ok
12-Ok
13-See sheet-1 for acknowledgement note.
14-See sheet-1 (site plan for location of utilities)

B) Zoning:
1-See site plan sheet-1 for electrical car charger.
2-Parking provided are 8'-6" wide X 19'-0" long, 17'-0" plus 2'-0" bumper overhang.
3-See landscape plan.
4-See revised buffer zone calculations on sheet-1.
5-See revised site plan for dumpster setback.
6-See revised sheet-2 for unit "C" 400 s.f.

C) urban design:
1-Ok
2-Ok
1-See revised sheet-1 for dumpster details.

14 JAN 2019

2-Unit "C" will be for the building manager, he will be responsible for building Maintenance.

D) No signage on this project.
E) Photometrics on cover sheet has been removed.
F) 1-Seesheet-1 for green building requirements.
G) 1-See site plan for dimension.
2-See site plan for drive isle dimension.
3-Drive isle are 22 feet.
4-Ok
5-See landscape plan.
6-See civil plans.
7-See civil plans.
8-Ok
9-Ok
10-Ok
11-Ok
12-Ok
13-Ok
14-See revised site plan for dumpster gate opening & curbing.

J) Building:
1-Smallest bedroom is 8'-7" X 9'-2" = 78.5 s.f.
2-See revised second floor for exterior doors swinging in.

LUXURY HADDAD APARTMENTS
2324 JOHNSON STREET
HOLLYWOOD , FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641 AR-13378
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CHARLES BUCKALEW
CIVIL ENGINEER
(954) 927-0561

GREEN EARTH
LANDSCAPE ARCHITECT
(954) 638-9825

DRAWING INDEX

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A-2 GROUND FLOOR PLAN
A-3 SECOND FLOOR PLAN
A-4 SOUTH AND NORTH ELEVATIONS
A-5 EAST AND WEST ELEVATIONS

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L-200 LANDSCAPE PLANTING PLAN
L-201 LANDSCAPE DETAILS
L-300 IRRIGATION PLAN
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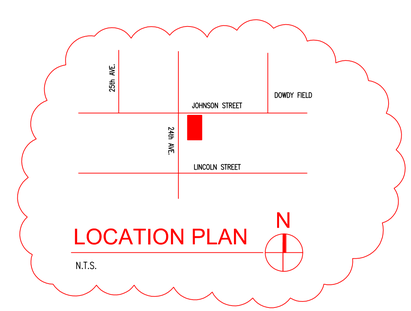
C-1 PAVING AND GRADING PLAN
C-2 EROSION CONTRO PLAN
C-3 CONSTRUCTION DETAILS
C-4 CONSTRUCTION DETAILS
C-5 CONSTRUCTION DETAILS
C-6 CONSTRUCTION DETAILS

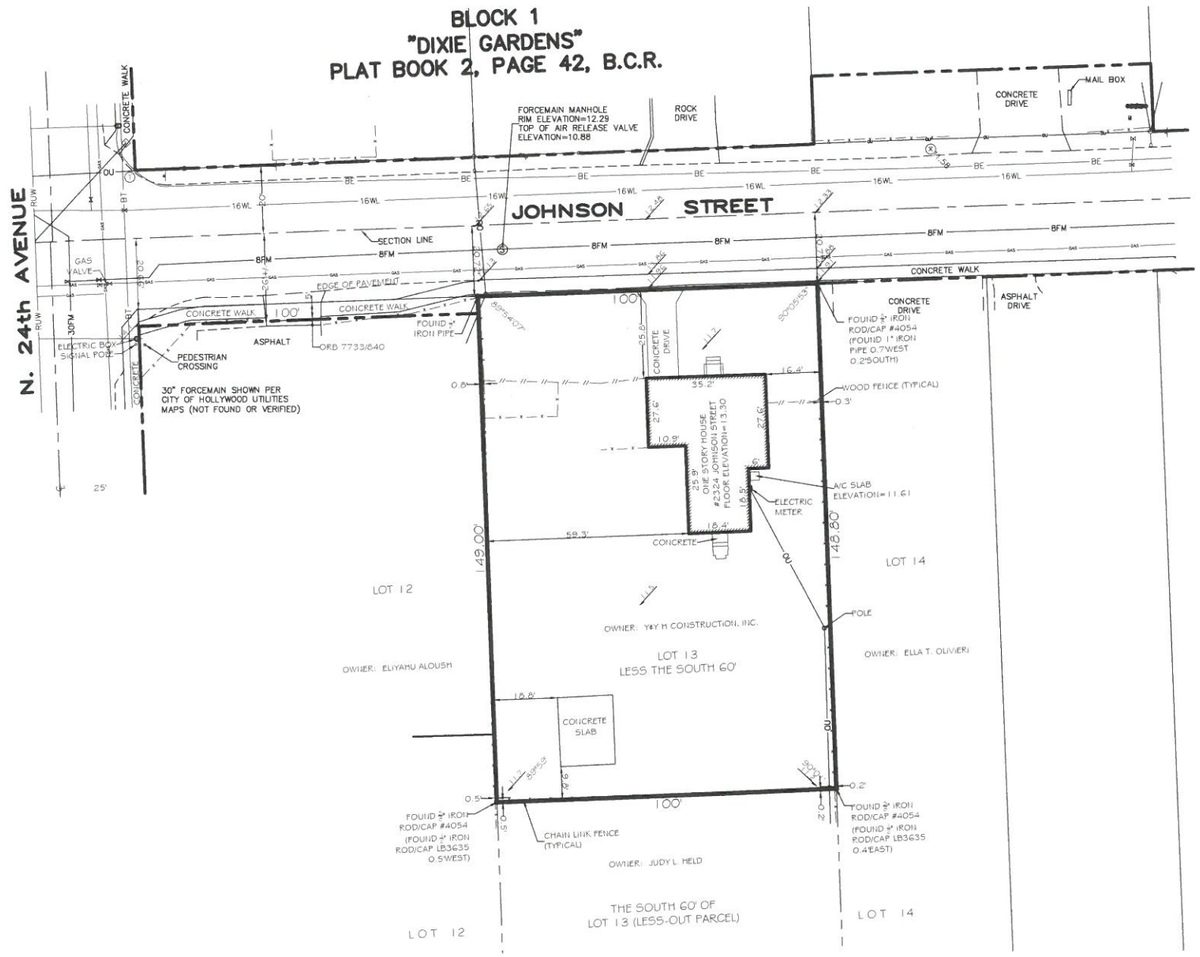


LOCATION PLAN
N.T.S.

PACO:	JAN. 22 2018
PRELM. TAC:	MAY 14 2018
FINAL TAC:	SEPT 4 2018

ALTA/NSPS LAND TITLE SURVEY

LOCATION MAP
NOT TO SCALE



DESCRIPTION:

LOT 13, LESS THE SOUTH 60 FEET THEREOF, BLOCK 12, "AMENDED PLAT OF HOLLYWOOD LITTLE RANCHES", ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

SURVEYOR'S NOTES:

1). THE BOUNDARY SURVEY OF THE REAL PROPERTY DEPICTED ON THIS SURVEY REPRESENTS THE PROFESSIONAL OPINION OF THE UNDERSIGNED, BASED ON THE DESCRIPTION ATTACHED HEREON.
2.) THE USE OF THE WORD "CERTIFY" AS USED HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSITUTE A WARRANTY OR GUARANTEE.
3.) EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR REPRESENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OF INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WETLANDS,PROPOSED USES, HISTORICALLY SENSITIVE LAND,ARCHEOLOGICALLY SENSITIVE LANDS, OR RIGHT OF ACCESS.
5.) NO WETLAND MARKERS WERE OBSERVED BY THE UNDERSIGNED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
6.) ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
7.) BENCHMARK REFERENCE: NATIONAL GEODETIC SURVEY MONUMENT M-312
8.) WITH REGARD TO TABLE A, ITEM 11 REFERENCED IN THE SURVEYOR'S CERTIFICATION:
THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.

SURVEY CERTIFICATION:

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11(LIMITED), 13, 14, 16 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 27, 2018

GROSS AREA = 16,962.00 SQUARE FEET, 0.39 ACRES (+/-)
NET AREA = 14,890.00 SQUARE FEET, 0.34 ACRES (+/-)

OWNERSHIP AND ENCUMBRANCE REPORT

PREPARED BY: PRINCE A. DONNAHOE IV, ESQ.

LAW OFFICE OF PRINCE A. DONNAHOE IV, P.A.
1401 N. UNIVERSITY DRIVE, SUITE 401
CORAL SPRINGS, FL 33071

DATED: AUGUST 17, 2018
OWNERSHIP & ENCUMBRANCE SEARCH OF:
2324 JOHNSON STREET, HOLLYWOOD, FL 33020

DESCRIPTION:
LOT 13, LESS THE SOUTH 60 FEET THEREOF, IN BLOCK 12, OF HOLLYWOOD LITTLE RANCHES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

1.) PROPERTY OWNED BY Y&Y H CONSTRUCTION, INC.
WARRANTY DEED DATED AUGUST 31, 2017 INSTRUMENT NUMBER 114732786
BROWARD COUNTY RECORDS.

2.) THIS REPORT CONFIRMS - NO ENCUMBRANCES AFFECTING THIS PROPERTY RECORDED IN THE PUBLIC RECORDS, NO CURRENT MORTGAGES OR LIENS.

3.) THIS PROPERTY ABUTS JOHNSON STREET AND DOES NOT REQUIRE LEGAL ACCESS ACROSS ANY NEIGHBORING PROPERTIES.

LEGEND

CBL	CABLE TV RISER
TEL	TELEPHONE RISER
ELB	ELECTRIC BOX
	BACKFLOW PREVENTOR
	SIAMESE CONNECTION
	BOLLARD
	METAL LIGHT POLE
	GATE VALVE
	WATER METER
	FIRE HYDRANT ASSEMBLY
	MANHOLE - SEE SURVEY
	CB
	WOOD POWER POLE
	CONCRETE POWER POLE
	ANCHOR/GUY WIRE
	CONCRETE LIGHT POLE
	TRAFFIC SIGN POST
	CLEANOUT
— x — x — x — x —	CHAIN/LINK FENCE
— // — // — // — // —	WOOD FENCE
	CONCRETE WALL
BT	BURIED TELEPHONE
FM	BURIED FORCE MAIN
W	BURIED WATER LINE
RW	REUSE WATERLINE
CATV	BURIED CABLE TV
E	BURIED ELECTRIC
GAS	BURIED GAS LINE
OU	OVERHEAD UTILITY
	CENTERLINE
CONC	CONCRETE
O.R.B.	OFFICIAL RECORD BOOK
B.C.R.	BROWARD COUNTY RECORDS

GRAPHIC SCALE
10 0 5 10 20
(IN FEET)
1 INCH = 20 FEET

THIS COPY MAY NOT BE TO SCALE - DIMENSIONS SUPERCEDE SCALE

BENCHMARK REFERENCE:
NGS MONUMENT "M 312" PID AD2500 ELEVATION = 13.44 (NAVD88)

NOTES
1) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
4) NORTH ARROW RELATIVE TO ASSUMED EAST ALONG THE CENTERLINE OF JOHNSON STREET.
5) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

FEMA FLOOD INSURANCE RATE MAP
CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA
COMMUNITY NO. 125113

PANEL NO.	SUFFIX	ZONE	FIRM DATE	BASE ELEV.
0569	H	X	8-18-14	N/A

REVISION	DATE	BY
ADD O & E REPORT	2-15-18	SKS
UPDATE SURVEY	08-27-18	SKS

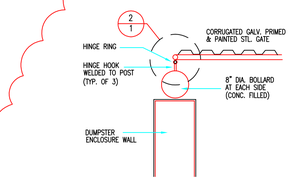
ALTA/NSPS
LAND TITLE SURVEY

JOB #:8806	DATE: 11-14-17	DRAWN BY:CM
SCALE: 1"=20'	SHEET	CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

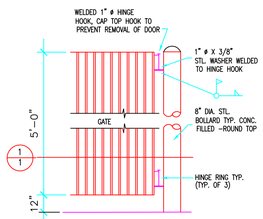
STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018



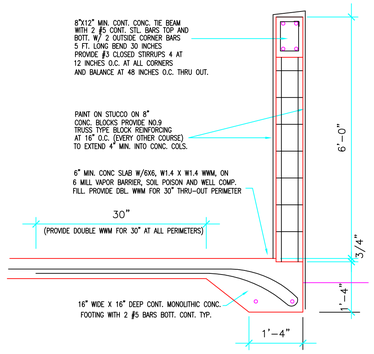
1/1 SECTION

N.T.S.



HINGE / GATE DETAIL

N.T.S.



DUMPSTER ENCLOSURE SECTION

SCALE: 3/4"=1'-0"

GROUND FLOOR

A/C AREA	3,800.00 S.F.
ROOFED TERRACE	178.00 S.F.
STAIRS	125.00 S.F.
WALKWAYS	372.00 S.F.

SECOND FLOOR

A/C AREA	3,990.00 S.F.
STAIRS	125.00 S.F.
WALKWAYS	372.00 S.F.
BALCONIES	64.00 S.F.

NOTE:

6 UNITS PROVIDED AT THE GROUND FLOOR

3 UNITS–A (2 BEDRMS EACH) TOTAL 6 BEDRMS
2 UNITS–B (2 BEDRMS EACH) TOTAL 4 BEDRMS
1 UNIT–C (STUDIO)

TOTAL BEDROOM AT GROUND FLOOR = 11 BEDRMS

6 UNITS PROVIDED AT THE SECOND FLOOR

3 UNITS–A (2 BEDRMS EACH) TOTAL 6 BEDRMS
2 UNITS–B (2 BEDRMS EACH) TOTAL 4 BEDRMS
1 UNIT–D (1 BEDRM)

TOTAL BEDROOM AT GROUND FLOOR = 11 BEDRMS

TOTAL 18 BEDROOM PROVIDED

PARKING CALCULATIONS:

REQUIRED ONE SPACE FOR EACH UNIT
12 UNITS = 12 PARKING SPACE REQUIRED
1 GUEST SPACE PROVIDED
13 TOTAL PARKING SPACES PROVIDED

2

CUMULATIVE AVERAGE SQ. FT.

TOTAL UNDER AIR S.T. = 7,790 S.F.
7790 / 12 = 649 S.F. CUMULATIVE AVERAGE

BUFFER ZONE CALCULATIONS

48 X 149.10 = 7,156
GRASS ARE = 1,883
1883 / 7156 = 26.31 % GRADER THAN 25%

SITE CALCULATIONS

SITE: 14,890.00 S.F. .34 ACRES NET
SITE: 16,962.00 S.F. .39 ACRES GROSS

BUILDING FOOTPRINT	4,053.00 S.F.	28.00 %	NET
PARKING	5,200.00 S.F.	35.91 %	NET
WALKS AND STAIRS	800.00 S.F.	5.52 %	NET
LANDSCAPE	4,427.00 S.F.	30.57 %	NET

PERVIUS	4,427.00 S.F.	0.10 ACRES	23.42 %
IMPERVIUS	10,053.00 S.F.	0.23 ACRES	67.51 %

NOTE:
ANY CHANGES TO DESIGN INCLUDING MATERIAL CHANGES MAY REQUIRE PLANNING AND DEVELOPMENT BOARD APPROVAL PRIOR TO CONSTRUCTION.

GREEN BUILDING REQUIREMENTS (151.153)

1. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA
2. PROVIDE PROGRAMABLE THERMOSTATS
3. PROVIDE DUAL FLUSH TOILETS. VERIFY TO USE LESS THAN ONE GALLON TO FLUSH LIQUIDS AND 1.6 GALLONS OR LESS FOR SOLIDS.
4. PROVIDE MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTIMICROBIAL AGENT. MERV OF AT LEAST 8 SHALL BE VERIFIED BY THE MECHANICAL INSPECTOR ON SITE AT FINAL INSPECTION.
5. ALL OUTDOORS LIGHTS INCLUDING FLUORECENT BULBS AND FIXTURES WITH ELECTRONIC BALLAST LOW PRESSURE SODIUM OR MERCURY VAPOR, PHOTOVOLTAIC SYSTEM, LED LIGHTING AND LOW VOLTAGE LANDSCAPE LIGHTS THAT RUN ON TIMER. ALL ENERGY EFFICIENT OUTDOOR LIGHTING SHALL BE VERIFIED BY THE ELECTRICAL INSPECTOR AT FINAL INSPECTION.
6. AT LEAST 80% OF PLANTS, TREES AND GRASSES PER SO. FL. WATER MANAGEMENT DISTRICT RECOMMENDATIONS
7. ALL WINDOWS TO BE IMPACT LOW E RATED
8. ALL HOT WATER PIPES TO BE INSULATED
9. ALL UNITS TO HAVE TANKLESS WATER HEATERS
10. ROOF MATERIAL TO BE ENERGY STAR COMPLIANCE

NOTE:

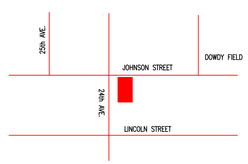
1. ALL SIGNAGE SHALL COMPLY WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS
2. ROOF MATERIAL TO BE HIGH ALBEDO (TO BE DETERMINED BY THE OWNER)
3. 7,790 TOTAL S.F. /12 = 650 AVERAGE CUMULATIVE SQ. FT. FOR DWELING UNITS
4. FOOT CANDLE LEVEL AT PROPERTY LINE TO BE 0.5 MAX.
5. 5 FT DEDICATION AT THE NORTH PROPERTY LINE, AS PER ENG. DEPT.
6. RAILINGS AT BALCONIES TO BE ALUM. AND SLAB TO BE CONCRETE

ELECTRIC VEHICLE CHARGING

PROVIDE TWO EMPTY 3/4" COND. TO A DBL. TWO GANG JUNCTION BOX WITH BLANK PLATE. PROVIDE AS PER N.E.C. AND SAE J1772 TO A TWO GANG JUNCTION BOX WITH BLANK PLATE

SETBACKS

	REQUIRED	PROVIDED
FRONT	15'-0"	20'-0"
REAR	20'-0"	20'-5"
INTERIOR SIDE	10'-0"	10'-0"
PARKING	5'-0"	7'-0"
BLDG HEIGHT	45'-0"	28'-8"



LOCATION PLAN

N

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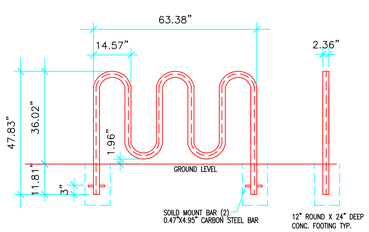


BICYCLE RACK DETAIL

N.T.S.

SITE PLAN

N

SCALE: 1/8"=1'-0"

LAND USE CLASIFICATION IS RAC

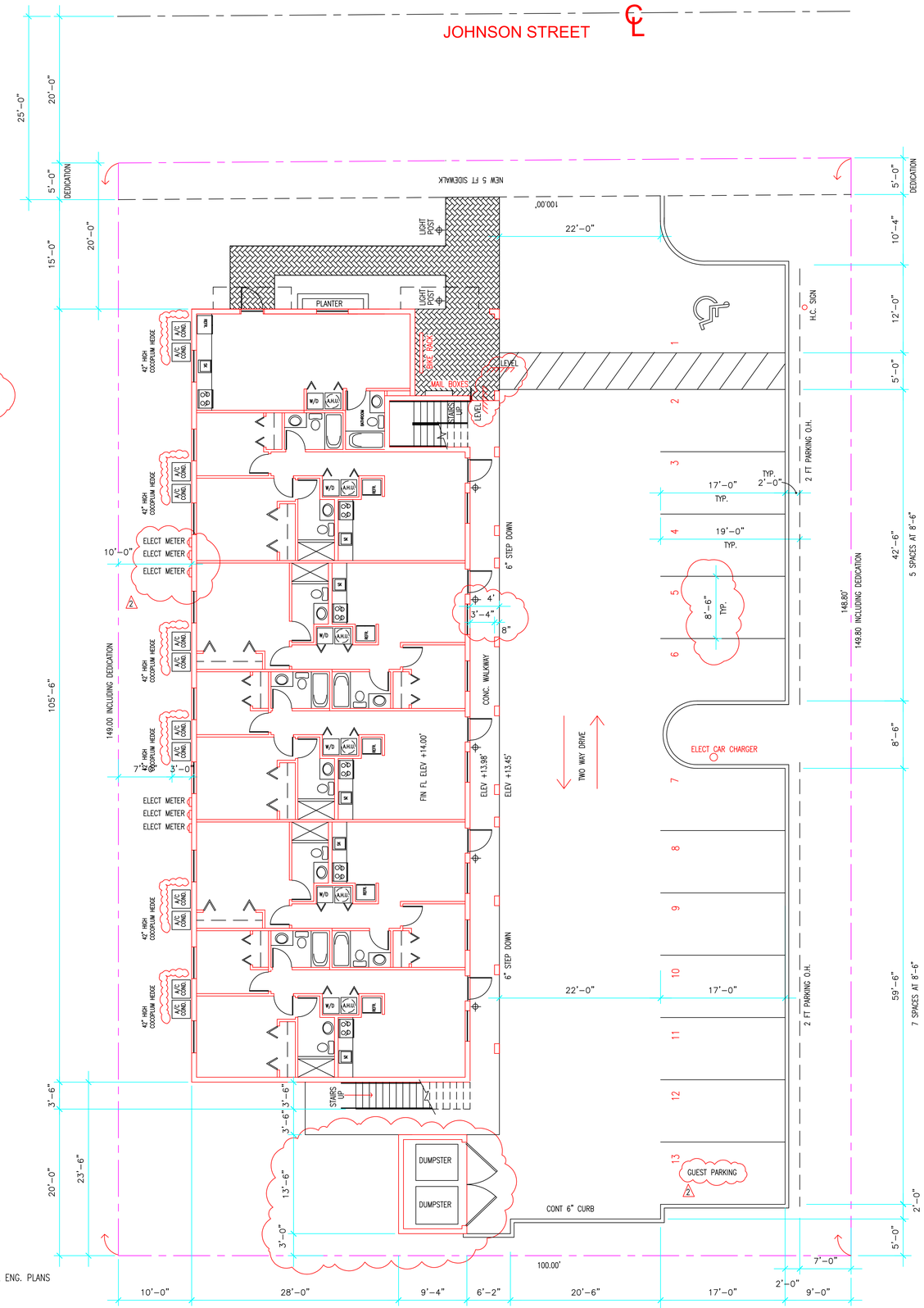
ZONING DH-2

F.A.R. = 1.75 MAX

NOTE: ALL ELEVATIONS INDICATED ARE AS PER CIVIL ENG. PLANS

LEGAL DESCRIPTION

LOT 13 LESS THE SOUTH 60 FEET THERE OF BLOCK 12
AMENDED PLAT OF "HOLLYWOOD LITTLE RANCHES"
PLAT BOOK 1 PAGE 26 BROWARD COUNTY FLORIDA



ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR USED IN WHOLE OR IN PART FOR ANY PURPOSE TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE ASSIGNED TO ANY THIRD PARTY. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS IN THE DOCUMENTS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION
1	9-10-2018	TAC COMMENTS
2	11-2-2018	TAC COMMENTS

12 UNITS

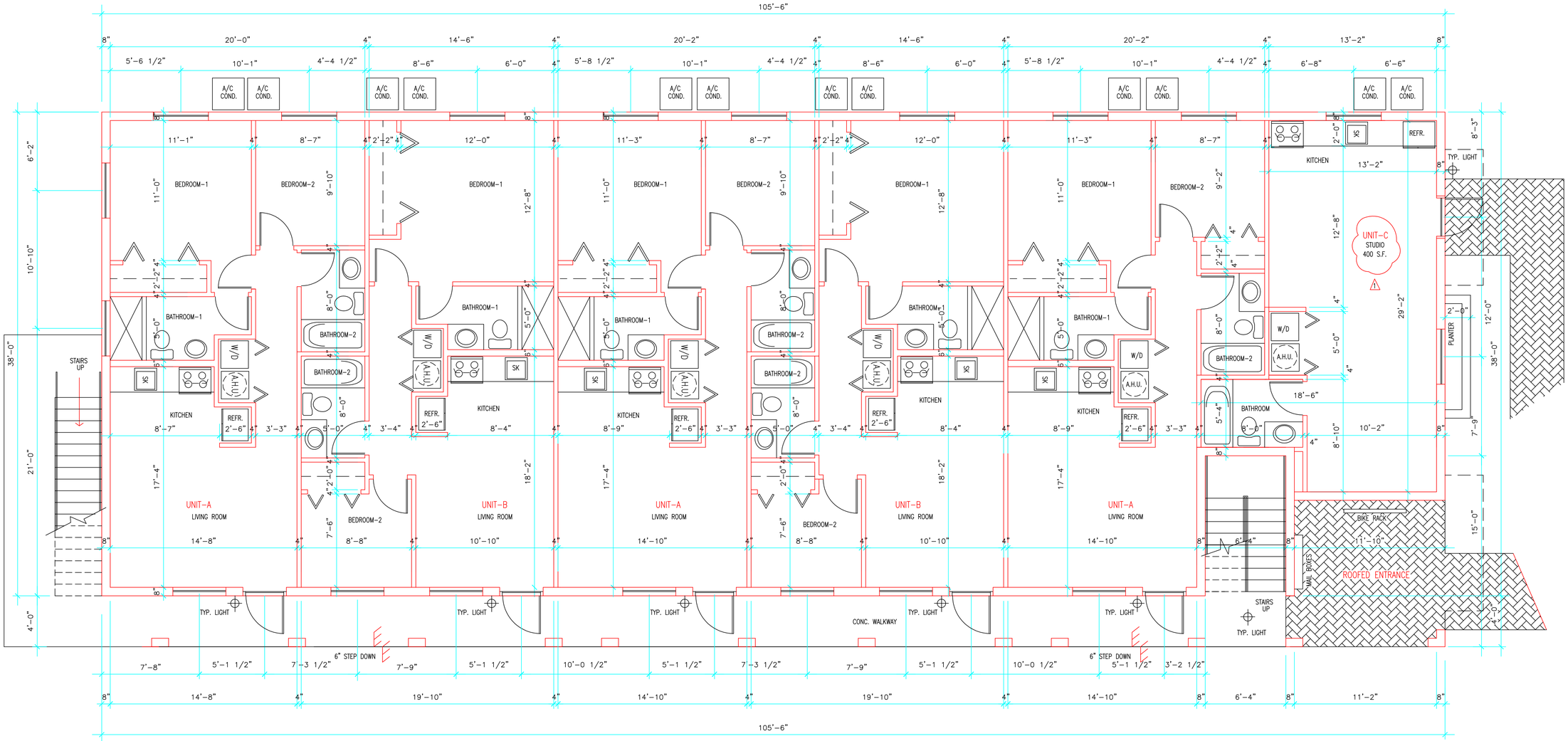
LUXURY HADDAD APARTMENTS
2324 JOHNSON STREET
HOLLYWOOD , FLORIDA

Miguel de Diego
ARCHITECT P.A.
AA-26001641
1657 TYLER STREET SUITE 107 HOLLYWOOD, FLORIDA 33020
PH. (954) 926-3358 FAX (954) 926-2021

CHECKED
DRAWN
DATE 3-9-2018
COMM. NO. 17-198

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

1/5



GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

N

UNIT-A = 700.00 SQ. FT.
UNIT-B = 680.00 SQ. FT.
UNIT-C = 400.00 SQ. FT.

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR USED IN WHOLE OR IN PART EXCEPT FOR USE TO BE ISSUED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE ASSIGNED TO ANY OTHER PROJECT OR SITE. ALL RIGHTS ARE RESERVED BY THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED PROPERTY RIGHTS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION
1	11-2-2018	TAC COMMENTS

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HOLLYWOOD , FLORIDA

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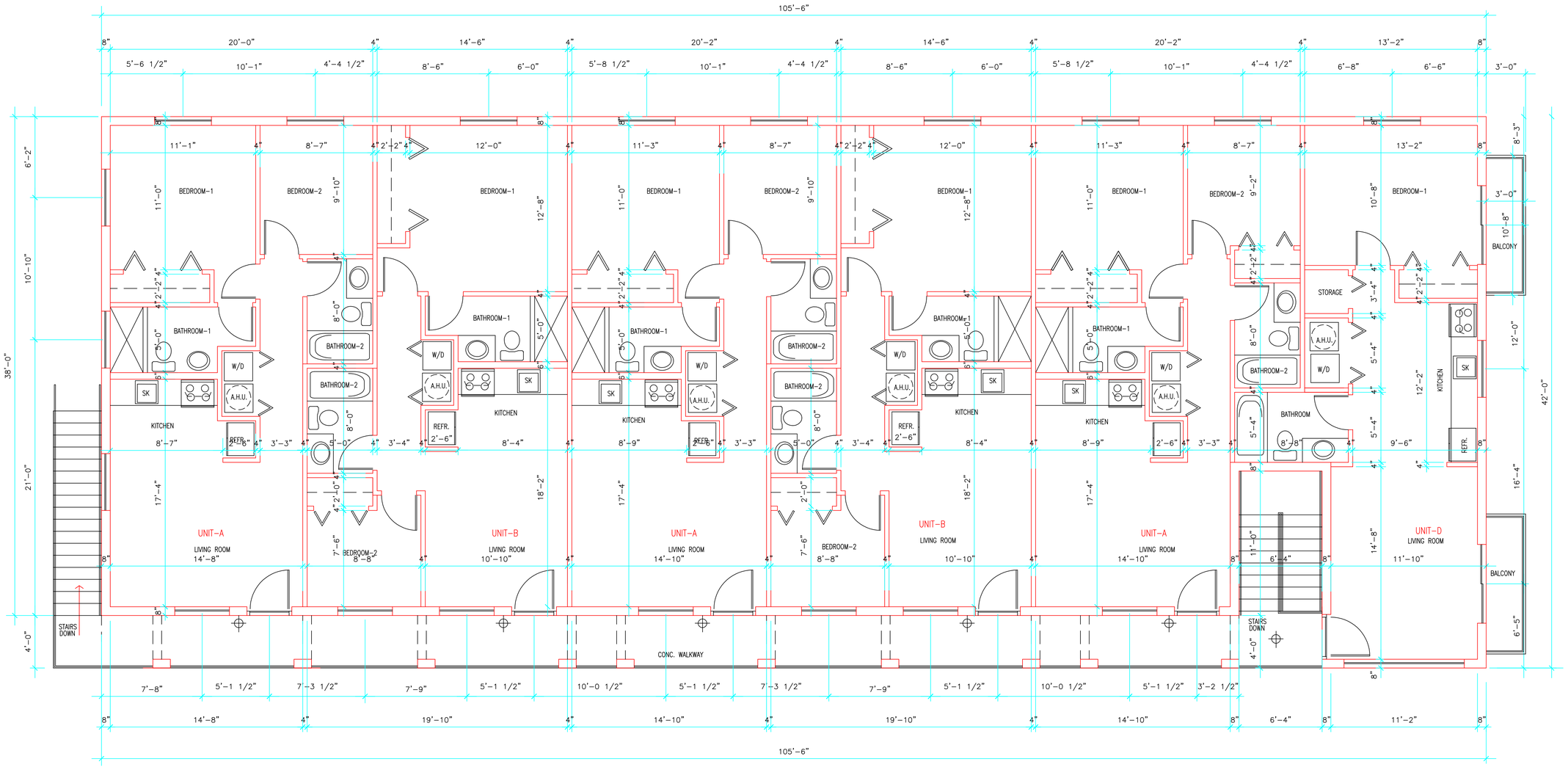

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

N

UNIT-A = 700.00 SQ. FT.
UNIT-B = 680.00 SQ. FT.
UNIT-D = 600.00 SQ. FT.

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR USED EXCEPT WITH THE WRITTEN CONSENT TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS SUBJECT TO LIEN AND OTHER RIGHTS OF THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS UNDER STATUTE.
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION

LUXURY HADDAD APARTMENTS
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HOLLYWOOD , FLORIDA

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DATE	3-9-2018
COMM. NO.	17-198

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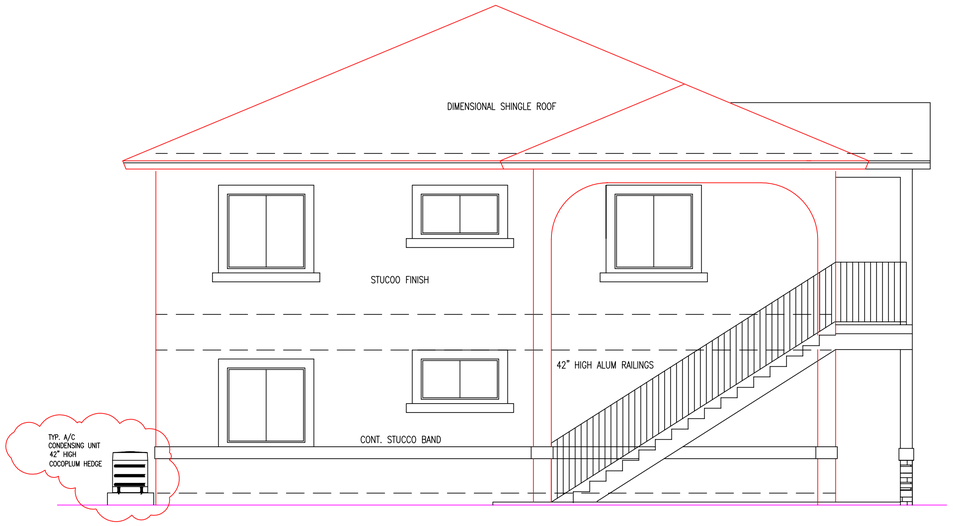
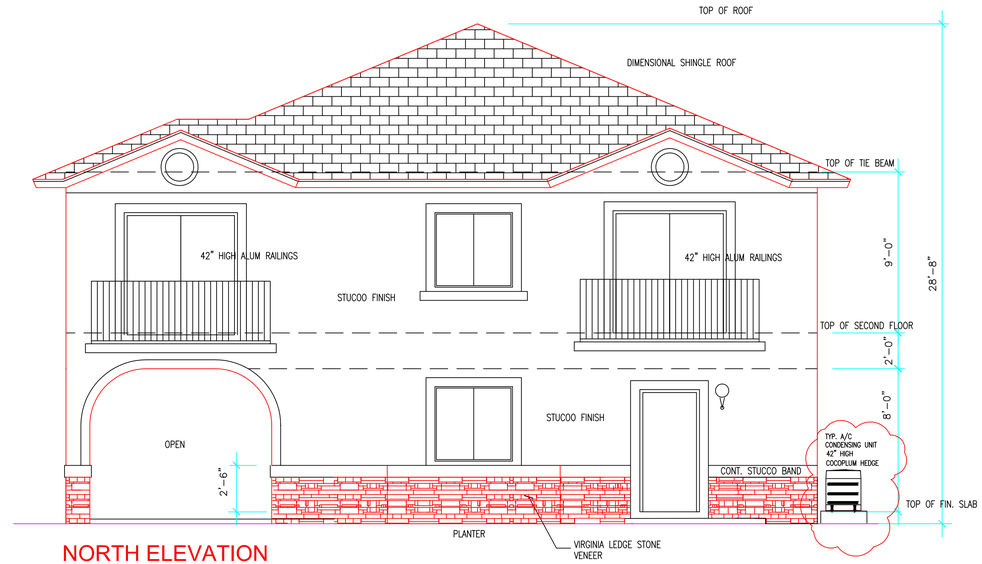


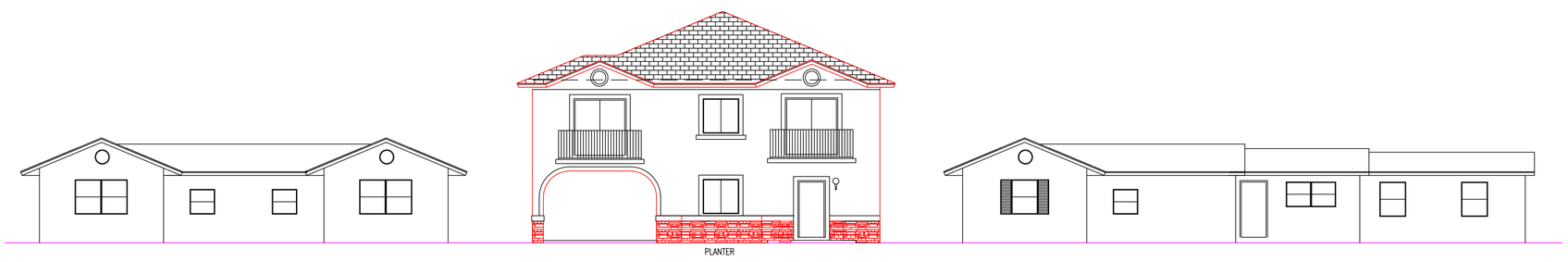
SOUTH ELEVATION

SCALE: 1/4"=1'-0" REAR



NORTH ELEVATION

SCALE: 1/4"=1'-0" FRONT



NORTH ELEVATION (STREET PROFILE)

SCALE: 1/8"=1'-0" FRONT

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR ASSIGNED TO ANY PERSON OR ENTITY ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS SUBJECT TO LICENSE AND PAYMENT TO THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION
1	9-10-2018	TAC COMMENTS

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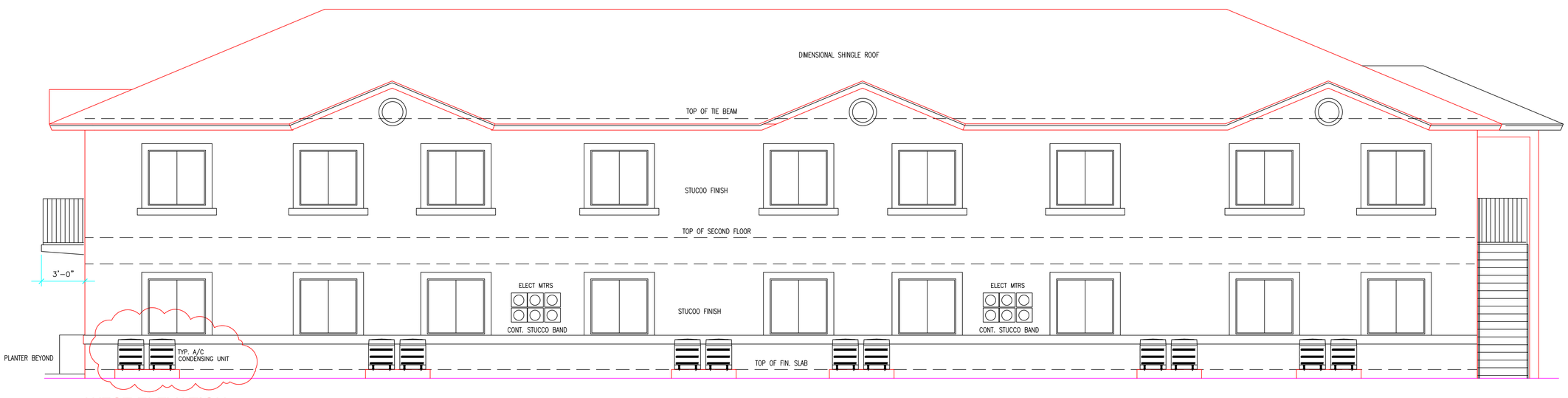
CHECKED
DRAWN
DATE 3-9-2018
COMM. NO. 17-198

EAST ELEVATION

SCALE: 1/4"=1'-0" LEFT SIDE



WEST ELEVATION

SCALE: 1/4"=1'-0" RIGHT SIDE

ALL DESIGN, DRAWINGS, REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR ALTERED IN WHOLE OR IN PART IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW COPYRIGHT AND OTHER RESERVED RIGHTS IN THE PROJECT.
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE.

NO.	DATE	REVISION
1	9-10-2018	TAC COMMENTS

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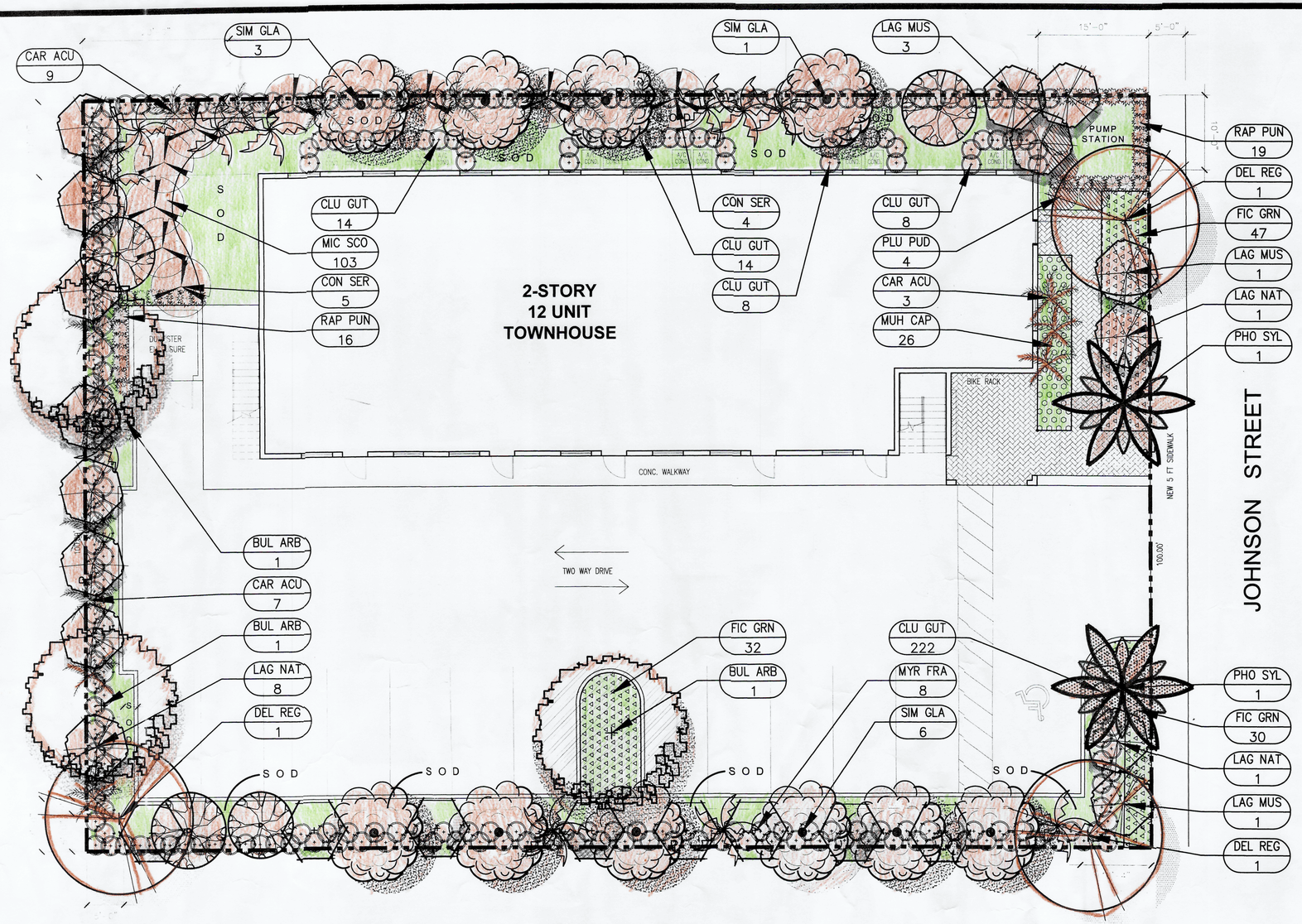


LANDSCAPE PLANTING PLAN

SCALE: 1/8"=1'- 0"

N

TABULAR DATA CODE CHART

REGULATING DOCUMENT: ARTICLE 9 LAND DEVELOPMENT & ZONING REGULATIONS		
ZONING: RM-12		
SECTION ARTICLE 9 LDR	REQUIRED	PROVIDED
STREET TREE REQUIREMENTS JOHNSON STREET - 100LF STREET FRONTAGE	2 TREES	2 TREES
VEHICULAR USE AREAS 25% OF PARKING AREA TO BE LANDSCAPED - 5,490 SF 3 TERMINAL/PENINSULAR PARKING ISLANDS	1,373 SF LANDSCAPED AREA 3 TREES + LANDSCAPING	1,387 SF LANDSCAPED AREA 3TREES + LANDSCAPING
OPEN SPACE TREE REQUIREMENTS 4,137 SF PERVIOUS OPEN SPACE	5 TREES	5 TREES
AT-GRADE PARKING LOT	24" CONTINUOUS HEDGE	24" CONTINUOUS HEDGE
TREE MITIGATION 31 PALMS REMOVED 66" DBH DICOTS REMOVED	31 PALMS OR 11 TREES 66" DBH BROADLEAF TREES	30 PALMS & 1 TREE 82" DBH BROADLEAF TREES
NATIVE TREE AND SHRUB REQUIREMENT	60% NATIVE TREES/50% SHRUBS	60% NATIVE TREES/52% SHRUBS

LANDSCAPE NOTES & SPECIFICATIONS

1. CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY AND ALL DISCREPANCIES, CONFLICTS, SHORTAGES, OR OTHER SCOPE/QUANTITY/ TIME RELATED ISSUES, INCOMPLETENESS OR CONSISTENCY WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL OR BASING A PROPOSAL ON THE SCOPE OF WORK.
2. THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN AND AS PROVIDED. ALL FINAL PLANS SHALL BE COORDINATED WITH FINAL APPROVED SITE PLAN.
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
4. SEE TREE PROTECTION DETAIL ON LANDSCAPE DETAILS SHEET FOR TREE PROTECTION TO BE ERECTED BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN FOR TREES AND PALMS TO REMAIN, AND TO REMAIN INTACT AS ERECTED UNTIL FINAL COMPLETION OF PROJECT.
5. IN THE EVENT OF DISPUTE, THE LANDSCAPE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
6. ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ADJUST IF NECESSARY TO AVOID CONFLICTS OR SAFETY HAZARDS.
7. ALL WORK TO BE PERFORMED IN A PROFESSIONAL, WORKMANLIKE MANNER AND ONLY DURING THOSE TIMES PERMITTED BY THE CITY OF HOLLYWOOD. PROTECT THE PUBLIC AND GENERAL PASSERSBY AT ALL TIMES AND PROTECT ALL TREES SPECIFIED TO REMAIN.
8. ALL NEW PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER ACCORDING TO "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLICATION BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES. ALL TREES OR PLANTS NOT MEETING THIS MINIMUM SPECIFICATION AS DEFINED IN THE PUBLICATION WILL BE REJECTED.
9. ALL TREES AND PALMS MUST BE PLANTED SO THE TOP OF THE ROOT BALL, ROOT FLARE, AND FIRST ORDER ROOTS ARE SLIGHTLY ABOVE THE FINAL GRADE (ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS).
10. ALL SYNTHETIC BURLAP, SYNTHETIC STRING, CORDS OR OTHER NON-BIODRADABLE MATERIALS SHALL BE **COMPLETELY, REMOVED IN, THEIR, ENTIRETY** FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED.
11. FOR BIODEGRADABLE BURLAP ROOTBALL CONTAINMENT THE TOP PORTION OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE REMOVED, THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
12. ALL SYRTHETIC TAPE (I.E., TAGGING TAPE, NURSERY TAPE) SHALL BE REMOVED FROM TRUNKS, BRANCHED, ETC. BEFORE INSPECTION. REMOVE ALL BAMBOO AND METAL STAKES FROM THE TREES.
13. TREES SHALL HAVE A MULCH RING WITH A MINIMUM DIAMETER OF 4'. MULCH WILL BE A GRADE B SHREDDED WOOD HARVESTED FROM EXISTING MELALEUCA OR EUCALYPTUS STANDS (STERILIZED TO DESTROY ANY SEEDS) OVER HEAVY WEED BARRIER FABRIC, SECURED IN PLACE USING METAL SOD STAPLES, AND APPROXIMATELY 3" DEPTH WHEN SETTLED. USE COMMERCIAL GRADE BLACK PLASTIC EDGING FOR SHAPE AND CONTAINMENT OF SHRUB & GROUNDCOVER LANDSCAPE PLANTING AREAS, STAKED IN PLACE.
14. ALL TREES AND PALMS SHALL BE GUYED WITH PROPER HORTICULTURAL AND ARBORICULTURAL TECHNQUES. DO NOT USE WIRE, BLACK STRAPPING, OR OTHER SYNTHETIC MATERIAL FOR THE DIRECT STAKING OF TREES. PLEASE USE BIODEGRADABLE MATERIAL FOR STAKING DIRECTLY AROUND TRUNKS SUCH AS SISAL TWINE. NAILING INTO TREES AND PALMS FOR ANY REASON IS PROHIBITED. ALL STAKING MATERIAL SHALL BE REMOVED ONCE TREES ARE ESTABLISHED.
15. ALL PERVIOUS LANDSCAPED AREAS SHALL RECEIVE 100% IRRIGATION COVERAGE, AS DEFINED BY CITY OF HOLLYWOOD, SFWMD AND INDUSTRY STANDARDS (BEING 'HEAD-TO-HEAD' ARC THROW WITH 50% OVERLAP), BY MEANS OF AN AUTOMATIC, FULLY PROGRAMMABLE UNDERGROUND IRRIGATION SYSTEM UTILIZING PVC PIPE, RAINBIRD 1800 SERIES POP-UP SPRAY TYPE HEADS,REMOTE ELECTRONIC ZONE VALVES, A PROGRAMMABLE AUTOMATIC CONTROLLER WITH INTEGRATED RAIN SENSOR, BACKFLOW PREVENTION DEVICE, SCHEDULE 80 PVC SLEEVES FOR PIPING BENEATH PAVEMENT, ETC. ADDITIONALLY, ALL NEWLY PLANTED TREES AND PALMS WILL RECEIVE A MINIMUM OF ONE (1) BUBBLER NOZZLE TO WATER THE ROOT SYSTEMS FOR ESTABLISHMENT. ADJUST SET SCREW TO EMIT NO MORE THAN .25 GPM FLOW EACH. THIS PLAN IS NOT COMPLETE WITHOUT IRRIGATION PLAN AND IRRIGATION DETAILS SHEETS L-300 AND L-301. IRRIGATION CONTRACTOR TO INSURE THAT FINAL SYSTEM AND ANY REQUIRED ADJUSTMENTS PROVIDE 100% COVERAGE AND ADDITIONAL ZONES OR HEADS MAY NEED TO BE ADDED TO ACHIEVE THIS. ALL WORK SHALL COMPLY WITH MUNICIPAL AND COUNTY ORDINANCES, SFWMD REGULATIONS AND RESTRICTIONS AND THE STATE OF FLORIDA.
16. FOLLOW APPROVED LANDSCAPE PLANS FOR SPECIES, SIZES, LOCATIONS, QUANTITIES, QUALITY, ETC. IF CONTRACTOR IS UNABLE TO LOCATE PLANT MATERIAL AT REQUIRED SPECIFICATIONS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO ANY CHANGES OR SUBSTITUTIONS BEING ASSUMED, ORDERED, OR MADE.
17. PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IF DISCREPANCIES EXIST BETWEEN PLANT TABLE AND PLAN, PLAN DRAWING AND ON-CENTER SPACING SHALL TAKE PRECEDENCE.
18. ALL TREES ARE TO HAVE PROTECTIVE LAYER OF BURLAP OR SIMILAR HEAVY WOVEN PROTECTIVE FABRIC AROUND THE TRUNKS WHEN LOADING AND UNLOADING WITH MACHINE EQUIPMENT. NO SCARRING OF TRUNKS WILL BE ACCEPTED AND MATERIALS THAT ARE SCARRED WILL BE REJECTED.
19. ALL MATERIALS AND WORKMANSHIP WILL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE FROM FAILURE, DEATH, TERMINAL DECLINE, ETC. THE WARRANTY PERIOD MAY BE EXTENDED BEYOND THAT TIMEFRAME IF, AT THE END OF ONE YEAR, ANY PLANTS ARE NOT IN A THRIVING STATE, INDICATIVE OF HEALTHY PLANTS OF EACH SPECIES.
20. BEGIN WATERING ALL PLANT MATERIALS IMMEDIATELY AFTER INSTALLATION OR RELOCATION. FOR RELOCATIONS SEE CARE AND WATERING SCHEDULE ABOVE. FOR ALL NEW PLANTS, WATER ACCORDING TO SFWMD, BROWARD COUNTY AND CITY OF HOLLYWOOD REGULATIONS FOR NEW LANDSCAPE INSTALLATIONS UP TO 90 DAYS AND BEGIN PHASE II WATER RESTRICTION SCHEDULE FOLLOWING THAT. A SUMMARY IS: LANDSCAPING FROM 0-30 DAYS AFTER INSTALLATION WATERING CAN OCCUR ON ALL DAYS EXCEPT ON FRIDAYS. FROM 30-90 DAYS, WATERING FOR NEW LANDSCAPING CAN OCCUR ON MONDAY, WEDNESDAY, THURSDAY, AND SATURDAY. FOR BOTH ESTABLISHMENT WATERING PERIODS AND FINAL ESTABLISHED PERIOD, NO WATERING SHALL OCCUR BETWEEN 10 A.M. IN THE MORNING AND 4 P.M. IN THE AFTERNOON.
21. ALL WORK WITHIN THESE PLANS TO BE DONE IN A SOUND, WORKMANLIKE MANNER, INDICATIVE OF THE PROFESSIONAL STANDARDS REGULATING EACH DISCIPLINE AND THE PERTINENT DIVISION OF THE CONSTRUCTION SPECIFICATIONS INSTITUTE, THE CITY OF HOLLYWOOD, AND ANY OTHER REGULATING OR GOVERNING AUTHORITY. WORK WILL ONLY OCCUR WITHIN THE DAYS AND HOURS SPECIFIED WITHIN THE CODE OF ORDINANCES AND CONTRACTORS AND SUB-CONTRACTORS SHALL PERFORM WORK IN A SAFE, PROFESSIONAL MANNER WITHOUT UNNECESSARY DISTURBANCE TO THE SURROUNDING COMMUNITY, OTHER ON-SITE WORKERS OR PASSERSBY.
22. ANY DAMAGE TO EXISTING CONDITIONS INCLUDING EXISTING LAWN AREA WILL BE RESTORED TO A CONDITION EQUAL TO OR EXCEEDING THE CONDITION AT TIME OF WORK COMMENCEMENT. EXISTING LAWNREPAIR WILL BE DONE COMPLETE FOR ANY AND ALL DAMAGED AREAS AFFECTED BY WORK. THIS INCLUDES MATCHING OF EXISTING GRASS SPECIES WITH WHOLE, CERTIFIED SOD LAID OVER 2" BLANKET OF HAND-RAKED, FINELY-GRADED TOPSOIL AFTER ANY NECESSARY EXCAVATION REQUIRED SO THAT NEW SOD MATCHES EXISTING OR PREVIOUS SOD IN APPEARANCE, ELEVATION, EXTENT, WITH CLEAN AND TIGHT JOINTS AND CUT IN PROPERLY SO THAT NEW AND EXISTING EDGES MEET SEAMLESSLY. STAGGER JOINTS OF ALL NEW SOD. SPECIES SHALL BE ST. AUGUSTINE 'FLORATAM' VARIETY CERTIFIED TRUE TO NOMENCLATURE BY THE SUPPLIER ON RECEIPT. IF EXISTING PLANTING BEDS ARE DAMAGED, RESTORE TO SAME CONDITION WITH SAME MATERIALS.
23. ANY REFERENCE, MENTION OR INFERENCE OF 'PLANTING SOIL', 'AMENDED SOIL', 'SOIL MIX' OR THE LIKE, SHALL MEAN A SPECIFIC SOIL MIX AS FOLLOWS: 50-50 PERCENTAGE-BY-VOLUME RATIO, PRE-MIXED OFF SITE, AND COMPRISED OF 50% CLEAN, SCREENED SILICA SAND, AND 50% PULVERIZED FLORIDA MUCK, ALSO REFERRED TO AS TOPSOIL, FREE FROM ANY WEEDS, NEMATODES, SEEDS, AGGREGATE (OTHER THAN SPECIFIED SAND) OR OTHER DELETERIOUS MATERIALS AND PREPARED SPECIFICALLY FOR USE AS A SOIL AMENDMENT IN LANDSCAPING APPLICATIONS. AN AMENDED ORGANIC OF COW MANURE OR ORGANIC PEAT IS ACCEPTABLE UP TO 10% OF THE TOTAL VOLUME OF THE MIX.
24. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK BASED ON THESE PLANS.
25. ALL BEDLINES FOR SHRUBS AND GROUNDCOVER TO HAVE FLOWING ARCS AS SHOWN CREATING AN ATTRACTIVE, ORGANIC AESTHETIC. MULCHED BEDLINE EDGES WITH FLAT OR 'DEAD' AREAS THAT BREAK FROM THE CURVILINEAR NATURE WILL BE REJECTED.

PLANT LIST & SPECIFICATIONS

	SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	DESCRIPTION	USE ON PLAN
	TREE AND PALMS						
*N	BUL ARB	3	Bulnesia arborea	VERAWOOD	2" DBH/12' HT.	STRAIGHT TRUNK, FULL RADIAL BRANCHING	VUA LANDSCAPE ISLANDS = 3 REQ'D
	CAR ACU	19	Carpentaria acuminata	CARPENTARIA PALM	12'/16' CT HTS.	STRAIGHT EVEN, ALTERNATE CLEAR TRUNK HEIGHTS, FULL CROWNS	PALM MITIGATION = 19 OF 31 PALMS
*N	CON SER	8	Conocarpus erectus 'Sericeus'	SILVER BUTTONWOOD	2" DBH/12' HT.	MULTI-LEADER, DENSE, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 16"
	DEL REG	3	Delonix regia	ROYAL POINCIANA	3" DBH/14' HT.	STRAIGHT TRUNK, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 9"
	LAG MUS	5	Lagerstroemia fauriei 'Muskogee'	MUSKOGEE CRAPE MYRTLE	2" DBH/12' HT.	SINGLE LEADER TREE FORM, FULL RADIAL BRANCHING	PALM MITIGATION (5 TREES = 15 PALMS @ 3:1) = 15 OF 31PALMS
	LAG NAT	10	Lagerstroemia fauriei 'Natchez'	NATCHEZ CRAPE MYRTLE	2" DBH/12' HT.	SINGLE LEADER TREE FORM, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 20"
*N	MYR FRA	8	Myrcianthes fragrans	SIMPSON'S STOPPER	12' HT./2" DBH CMBND	MULTI-LEADER, DENSE, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 16"
	PHO DAC	2	Phoenix dactylifera	SYLVESTER DATE PALM	12' CLEAR WOOD	STRAIGHT EVEN TRUNKS WITH DIAMOND PATTERN FINISH, FULL CROWN	STREET TREES = 2 REQ'D
*N	SIM GLA	10	Simaruba glauca	PARADISE TREE	2" DBH/12' HT.	STRAIGHT TRUNK, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 20"
*N	SYMBOL LEGEND	1	Magnolia grandiflora (existing)	EXISTING MAGNOLIA	8" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 1 OF 5
	SYMBOL LEGEND	1	Cananga odorata (existing)	EXISTING YLANG-YLANG	10" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 2 OF 5
*N	SYMBOL LEGEND	1	Guaiacum officinale (existing)	EXISTING TREE OF LIFE	5" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 3 OF 5
*N	SYMBOL LEGEND	1	Ilex vomitoria (existing)	EXISTING YAUPON HOLLY	6" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 4 OF 5
	SYMBOL LEGEND	11	Palm Species - Varies	SEE SHEET L-100 FOR SPECIES	VARIES	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 5 OF 5 (@ 3:1) + EXTRAS
	SHRUBS AND GROUNDCOVER						
*N	CLU GUT	266	Clusia guttifera	LITTLELEAF CLUSIA	24" X 24"	FULL, SPACE 24" ON CENTER	LANDSCAPE - CONTINUOUS HEDGE
	FIC GRN	109	Ficus microcarpa 'Green Island'	GREEN ISLAND FICUS	18" X 18"	FULL, SPACE 24" ON CENTER	LANDSCAPE - GROUNDCOVER
	MIC SCO	103	Microsorum scolopendria	WART FERN	16" X 16"	FULL, SPACE 18" ON CENTER	LANDSCAPE - GROUNDCOVER
*N	MUH CAP	26	Muhlenbergia capillaris	MUHLY GRASS	24" X 22"	FULL, SPACE 24" ON CENTER	LANDSCAPE - GROUNDCOVER
	PLU PUD	4	Plumeria pudica	BRIDAL BOUQUET	6' HT.	FULL, SPACE 48" ON CENTER	LANDSCAPE - ORNAMENTAL ACCENTS
*N	RAP PUN	35	Rapanea punctata	MYRSINE	36" X 24"	FULL, SPACE 24" ON CENTER	LANDSCAPE - SCREENING HEDGE

*N - DENOTES FLORIDA NATIVE SPECIES

2

EXISTING TREE SYMBOL LEGEND

- EXISTING PALM TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD

- EXISTING TREE TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD

RECEIVED
FEB 20 2019
CITY OF HOLLYWOOD
OFFICE OF PLANNING

No.	REVISIONS	DATE	BY
2	REVISIONS TO CLARIFY MITIGATION REQUIRED	02-07-19	WDB
1	SCREENING ADDED AROUND AC AND PUMP STATION	07-25-18	WDB

GREEN EARTH
LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
E-MAIL: dale.bryant@greenearthla.com PHONE: 954-535-9825

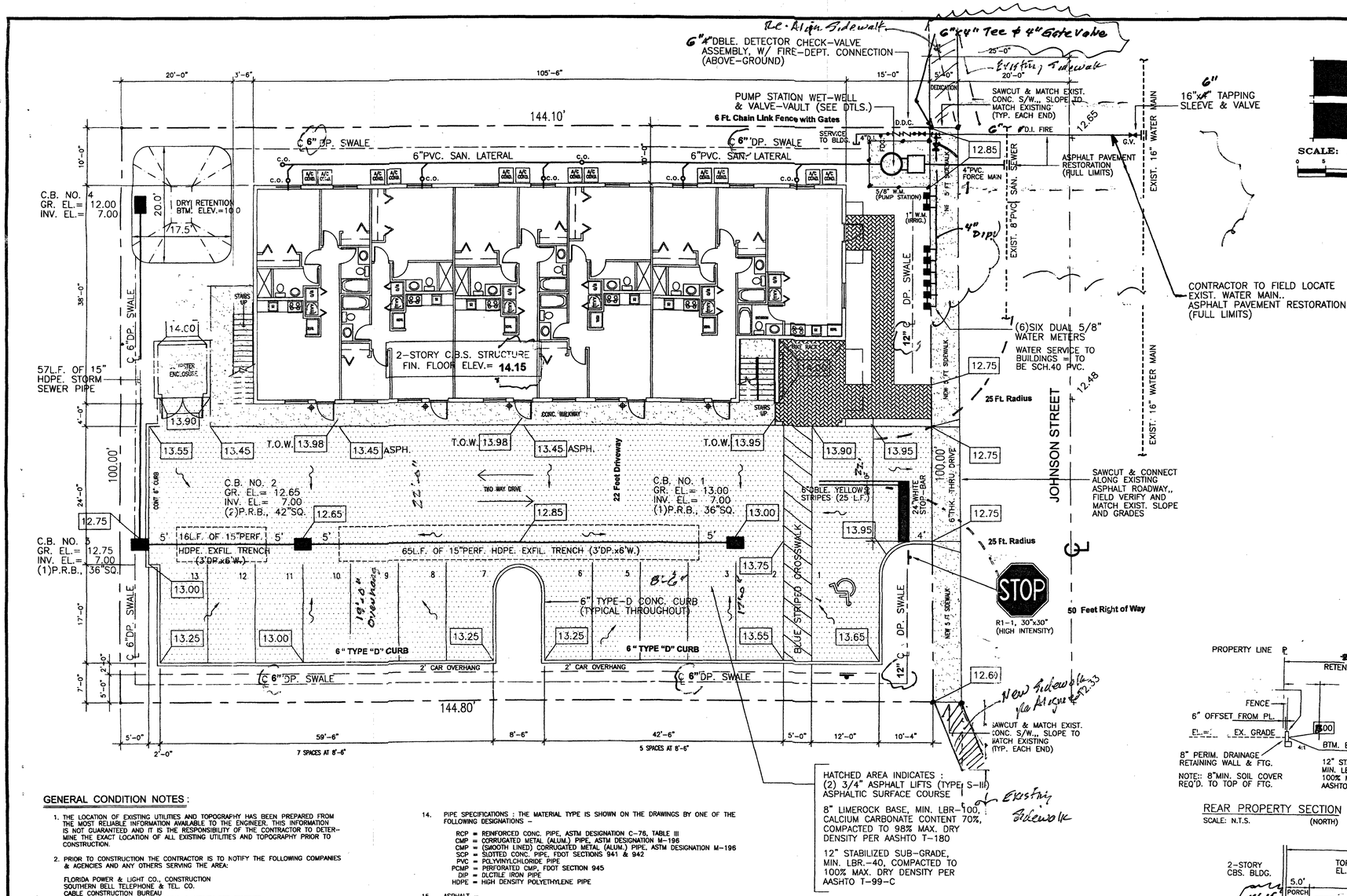
LICENSED PROFESSIONAL
WILLIAM DALE BRYANT
FL LICENSE NUMBER LA6666943
2-19-19

PROJECT # 18-110
DATE 03-09-2018
SCALE AS SHOWN
DESIGNED BY WDB
DRAWN BY WDB
CHECKED BY WDB

12 UNIT APARTMENT BUILDING
2324 JOHNSON STREET
HOLLYWOOD, FL
BROWARD

LANDSCAPE PLANTING PLAN

SHEET NUMBER
L-200



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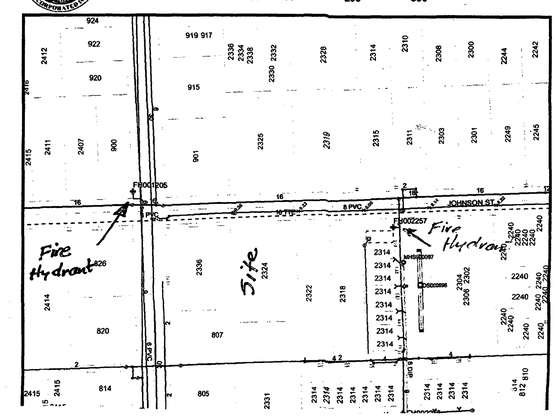
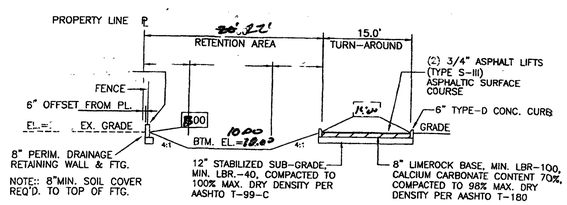
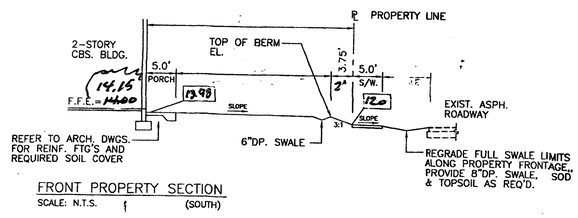
UTILITY ATLAS MAPLET

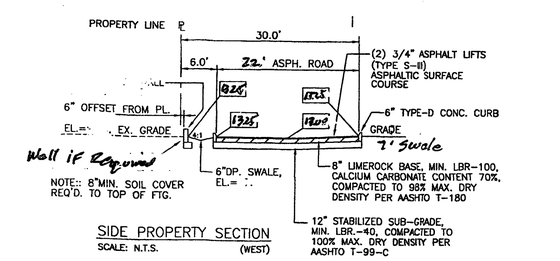




REAR PROPERTY SECTION
SCALE: N.T.S. (NORTH)



FRONT PROPERTY SECTION
SCALE: N.T.S. (SOUTH)



SIDE PROPERTY SECTION
SCALE: N.T.S. (WEST)

GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

   FLORIDA POWER & LIGHT CO., CONSTRUCTION
   SOUTHERN BELL TELEPHONE & TEL. CO.
   CABLE CONSTRUCTION BUREAU
   LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
   FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
   UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES :

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL, NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC...
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO FINISHED GRADES (SEE PLAN DWG.)
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS –

    RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
    CMP = CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
    CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
    SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
    PVC = POLYVINYLCHLORIDE PIPE
    PCMP = PERFORATED CMP, FDOT SECTION 945
    DIP = DUCTILE IRON PIPE
    HDPE = HIGH DENSITY POLYETHYLENE PIPE
15. ASPHALT –

    BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.

    PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE – 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE – 0.02 TO 0.08 GALS/S.Y.

    DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

PAVEMENT MARKING & SIGNING STANDARD NOTES :

1. PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS SPECIFIED OTHERWISE.

LEGEND :

- LIMITS OF CONC. SIDEWALKS, PORCHES & PADS
- LIMITS OF ASPH. PAVEMENT, LIMEROCK BASE & SUBGRADE
- EXIST. PROPERTY LINE, SITE BOUNDARY
- CENTERLINE
- EXIST. EDGE OF PAVEMENT
- 8.10 — EXIST. GRADE ELEVATION
- 10.40 — PROPOSED ELEVATIONS
- SURFACE DRAINAGE FLOW ARROW

UTILITY NOTES :

1. CONTRACTOR TO VERIFY LOCATION & ELEVATIONS OF EXIST. UTILITIES PRIOR TO CONNECTIONS BEING MADE .
2. CONTRACTOR TO ADJUST ALL EXIST. MANHOLE FRAME & COVERS, CATCH BASIN FRAME & GRATES, CLEANOUTS, ETC... TO FINISHED GRADE W/IN ASPHALT LIMITS.

ELEVATION NOTE :
ELEVATIONS AS SHOWN ARE BASED ON NAVD. DATUM, 1988

Water and Sewer Demand:

12 Units @ 250 Gallons per Day = 3,000 Gallons Per Day

FIRE DEPARTMENT NOTES:

1. ALL UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENSE PER FS 633.102.

2. A FIRE ALARM SYSTEM IS REQUIRED PER NFPA 101,30.3.3.1.1

SITE CALCULATIONS

SITE:	14,480.00 S.F.	.33 ACRES	
BUILDING FOOTPRINT	4,053.00 S.F.		28.00 %
PARKING	5,490.00 S.F.		37.91 %
WALKS AND STAIRS	800.00 S.F.		5.52 %
LANDSCAPE	4,137.00 S.F.		28.58 %

LEGAL DESCRIPTION

LOT 13 LESS THE SOUTH 60 FEET THERE OF BLOCK 12
AMENDED PLAT OF "HOLLYWOOD LITHE RANCHES"
PLAT BOOK 1 PAGE 26 BROWARD COUNTY FLORIDA

NOTE:
ALL ELEVATIONS SHOWN ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988.

RECEIVED
DEC 17 2018
CITY OF HOLLYWOOD
PLANNING DIVISION

CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24842

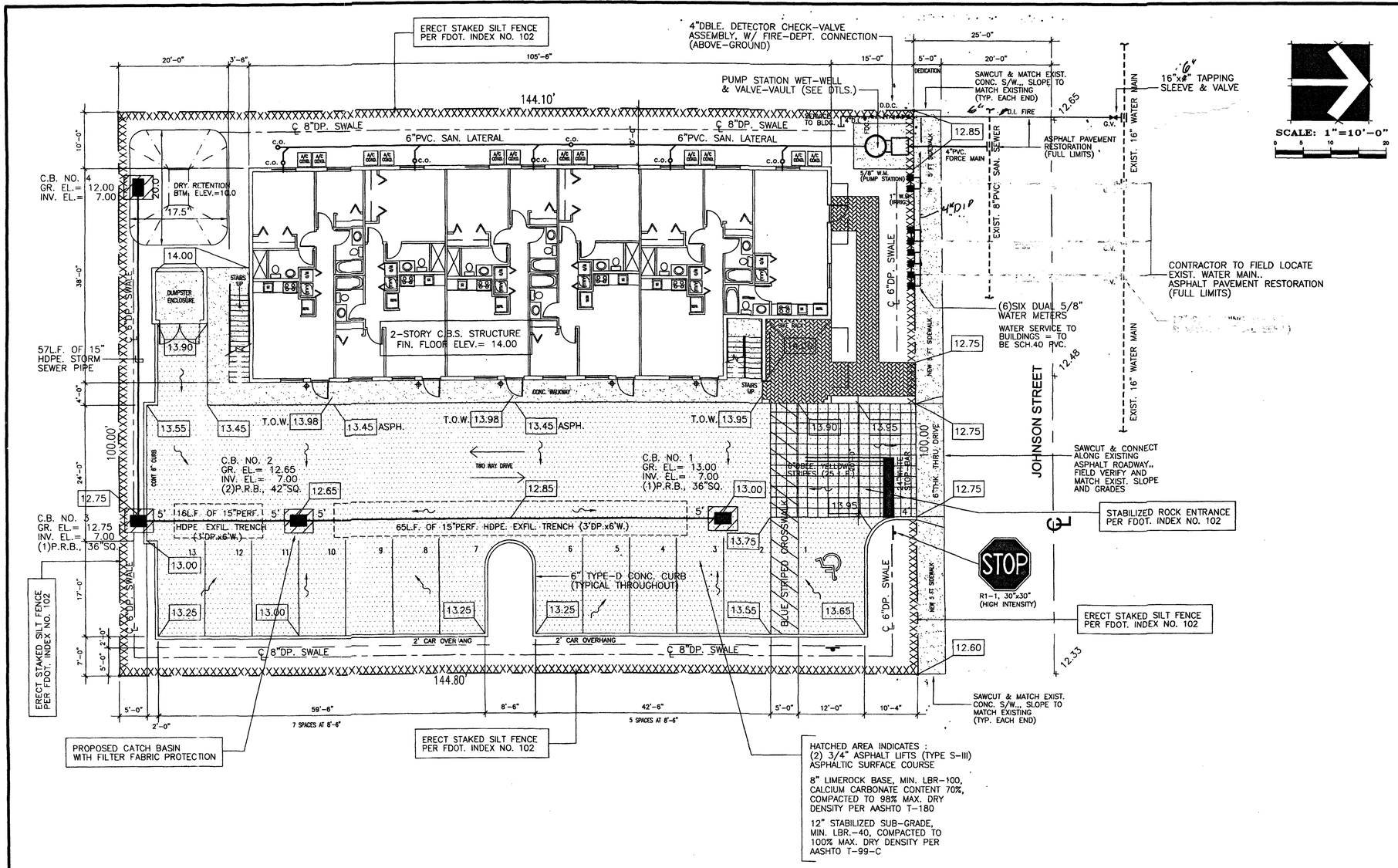
REVISIONS :
REVISED 6-20-18
City Comments

Charles O. Buckalew
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C.O.A. Number: 6255
Tele. : (954) 927-0561 / 558-1189

PROJECT : 12 UNIT APARTMENTS
2324 JOHNSON STREET
FOLIO NO. :: 5142-16-01-4610, HOLLYWOOD FLORIDA 33020

DRWG. TITLE : PAVING, GRADING & DRAINAGE PLAN
WATER - SEWER PLAN

DATE:	APRIL, 2018
SCALE:	1"=10'-0"
DWG. BY:	C.R.W.
CHK'D. BY:	C.O.B.
JOB NO.:	18-083
SHEET NO.	C-1



SYMBOL LEGEND ::

XXXXXXXXXXXXXX	PERIMETER STAKED SILT FENCE PER FDOT INDEX NO. 102
	TYPICAL PROPOSED CATCH BASIN WITH FILTER FABRIC (SEE NOTE 3)
	TYPICAL STABILIZED ROCK ENTRY DRIVE PER FDOT INDEX NO. 102

SEDIMENT & EROSION CONTROL NOTES ::

1. CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL. GUIDELINES)
2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
3. CATCH BASIN, INLETS AND STORM SEWER MANHOLES, STRUCTURES WITHIN THE SITE WILL BE PROTECTED DURING FILLING OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES, DURING FILLING OPERATIONS., BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE COUNTY/MUNICIPAL ENGINEER OR DESIGN ENGINEER OF RECORD.

LEGEND :

	LIMITS OF CONC. SIDEWALKS, PORCHES & PADS
	LIMITS OF ASPH. PAVEMENT, LIMEROCK BASE & SUBGRADE
	EXIST. PROPERTY LINE, SITE BOUNDARY
	CENTERLINE
	EXIST. EDGE OF PAVEMENT
x 9.10	EXIST. GRADE ELEVATION
10.40	PROPOSED ELEVATIONS
	SURFACE DRAINAGE FLOW ARROW

UTILITY NOTES :

1. CONTRACTOR TO VERIFY LOCATION & ELEVATIONS OF EXIST. UTILITIES PRIOR TO CONNECTIONS BEING MADE .
2. CONTRACTOR TO ADJUST ALL EXIST. MANHOLE FRAME & COVERS, CATCH BASIN FRAME & GRATES, CLEANOUTS, ETC.., TO FINISHED GRADE W/IN ASPHALT LIMITS.

ELEVATION NOTE ::
ELEVATIONS AS SHOWN ARE BASED ON NAVD. DATUM, 1988

SITE CALCULATIONS

SITE:	14,480.00 S.F.	.33 ACRES	
BUILDING FOOTPRINT	4,053.00 S.F.		28.00 %
PARKING	5,490.00 S.F.		37.91 %
WALKS AND STAIRS	800.00 S.F.		5.52 %
LANDSCAPE	4,137.00 S.F.		28.58 %

LEGAL DESCRIPTION

LOT 13 LESS THE SOUTH 60 FEET THERE OF BLOCK 12 AMENDED PLAT OF "HOLLYWOOD LITHE RANCHES" PLAT BOOK 1 PAGE 26 BROWARD COUNTY FLORIDA

RECEIVED
DEC 17 2018
CITY OF HOLLYWOOD
PLANNING DIVISION

CHARLES O. BUCKALEW, P.E.
FLORIDA REG. NO. 24842

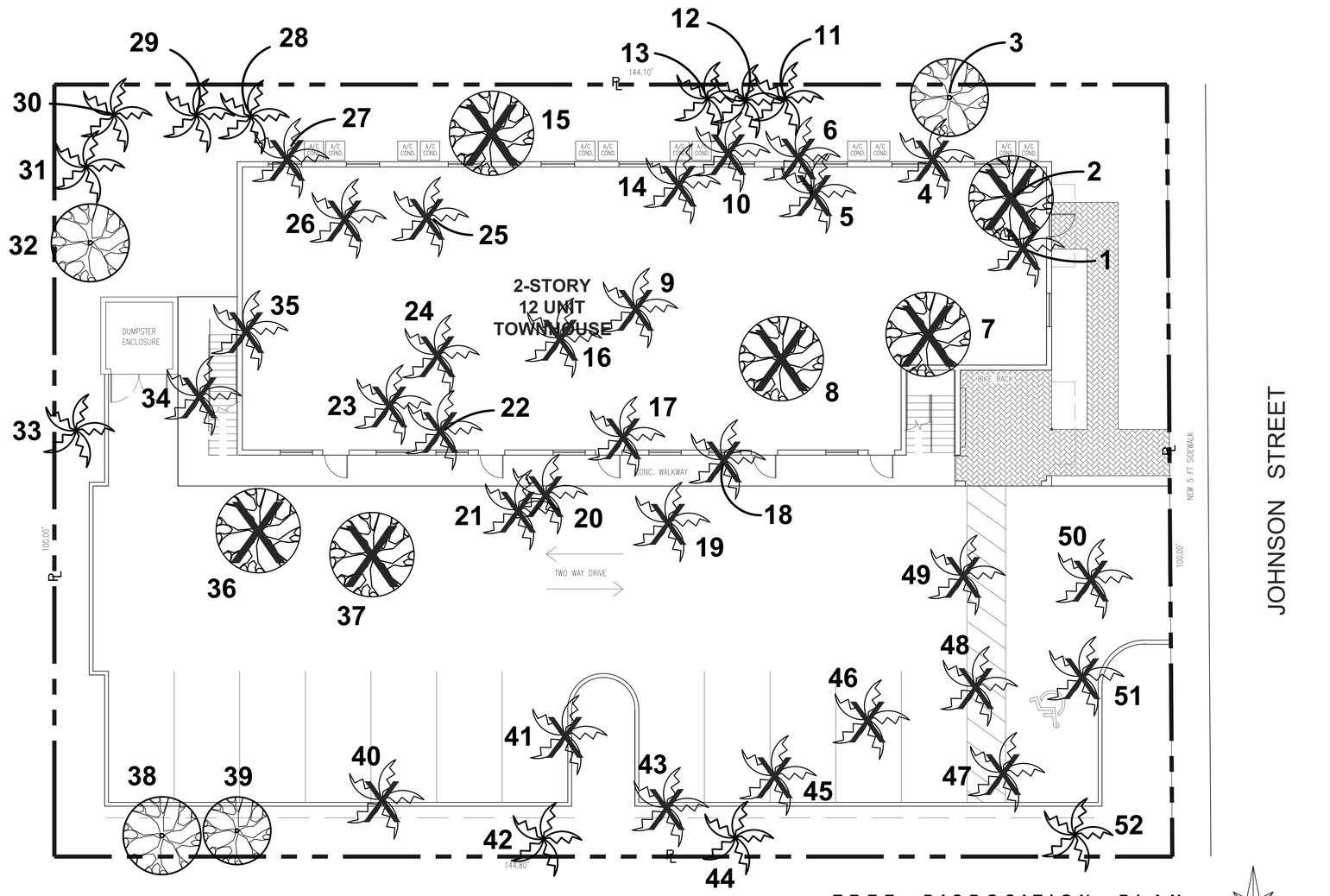
REVISIONS :

Charles O. Buckalew
Consulting Engineering Services, Inc.
801 South Ocean Drive, Suite 201
Hollywood, Florida 33019
C.O.A. Number 6255
Tele. : (954) 927-0561 / 558-1189

PROJECT : 12 UNIT APARTMENTS
2324 JOHNSON STREET
FOLIO NO. :: 5142-16-01-4610, HOLLYWOOD FLORIDA 33020

DRWG. TITLE : EROSION CONTROL PLAN

DATE:	APRIL, 2018
SCALE:	1"=10'-0"
DWG. BY:	C.R.W.
CHK'D. BY:	C.O.B.
JOB NO.:	18-083
SHEET NO.	C-2



TREE DISPOSITION PLAN

SCALE: 1/8" = 1'-0"

TREE DISPOSITION TABLE

No.	LATIN NAME	COMMON NAME	DBH	SIZE (HxW)	DISPOSITION
1	Thrinax radiata	Florida Thatch Palm	n/a	25' X 8'	REMOVE
2	Mangifera indica	Mango	8"	28' X 32'	REMOVE
3	Magnolia grandiflora	Southern Magnolia	8"	28' X 18'	REMAIN
4	Syagrus romanzoffiana	Queen Palm	n/a	30' X 18'	REMOVE
5	Sabal palmetto	Sabal Palm	n/a	28' X 16'	REMOVE
6	Carpentaria acuminata	Carpentaria Palm	n/a	28' X 8'	REMOVE
7	Persea americana	Avocado	5"	15' X 12'	REMOVE
8	Persea americana	Avocado	12"	30' X 32'	REMOVE
9	Veitchia montgomeryana	Montgomery Palm	n/a	24' X 12'	REMOVE
10	Veitchia montgomeryana	Montgomery Palm	n/a	28' X 12'	REMOVE
11	Carpentaria acuminata	Carpentaria Palm	n/a	20' X 8'	REMAIN
12	Carpentaria acuminata	Carpentaria Palm	n/a	20' X 8'	REMAIN
13	Carpentaria acuminata	Carpentaria Palm	n/a	20' X 8'	REMAIN
14	Veitchia merrillii	Christmas Palm	n/a	18' X 8'	REMOVE
15	Schinus terebinthifolia	Brazilian Pepper	18"	18' X 30'	REMOVE
16	Veitchia montgomeryana	Montgomery Palm	n/a	24' X 10'	REMOVE
17	Carpentaria acuminata	Carpentaria Palm	n/a	27' X 8'	REMOVE
18	Carpentaria acuminata	Carpentaria Palm	n/a	25' X 8'	REMOVE
19	Carpentaria acuminata	Carpentaria Palm	n/a	23' X 8'	REMOVE
20	Thrinax radiata	Florida Thatch Palm	n/a	18' X 10'	REMOVE
21	Carpentaria acuminata	Carpentaria Palm	n/a	30' X 8'	REMOVE
22	Veitchia montgomeryana	Montgomery Palm	n/a	28' X 12'	REMOVE
23	Sabal palmetto	Sabal Palm	n/a	28' X 10'	REMOVE
24	Areca catechu	Betel-nut Palm	n/a	14' X 10'	REMOVE
25	Carpentaria acuminata	Triple Carpentaria Palm	n/a	25' X 16'	REMOVE
26	Oncosperma horridum	Mountain Nibong Palm	n/a	25' X 10'	REMOVE
27	Carpentaria acuminata	Carpentaria Palm	n/a	25' X 8'	REMOVE
28	Carpentaria acuminata	Carpentaria Palm	n/a	25' X 8'	REMAIN
29	Carpentaria acuminata	Carpentaria Palm	n/a	30' X 8'	REMAIN
30	Carpentaria acuminata	Carpentaria Palm	n/a	20' X 8'	REMAIN
31	Syagrus romanzoffiana	Queen Palm	n/a	28' X 12'	REMAIN
32	Guaiacum officinale	Tree of Life	5"	18' X20'	REMAIN
33	Carpentaria acuminata	Triple Carpentaria Palm	n/a	28' X 14'	REMAIN
34	Carpentaria acuminata	Carpentaria Palm	n/a	25' X 8'	REMOVE
35	Trachycarpus fortuneii	Windmill Palm	n/a	23' X 12'	REMOVE
36	Ficus rubiginosa	Rusty Leaf Fig	9"	20' X 22'	REMOVE
37	Mangifera indica	Mango	10"	24' X 18'	REMOVE
38	Cananga odorata	Ylang Ylang	10"	27' X 20'	REMAIN
39	Ilex vomitoria	Yaupon Holly	6"	20' X 12'	REMAIN
40	Carpentaria acuminata	Carpentaria Palm	n/a	23' X 8'	REMOVE
41	Veitchia montgomeryana	Montgomery Palm	n/a	35' X 12'	REMOVE
42	Dypsis decaryi	Triangle Palm	n/a	35' X 18'	REMAIN
43	Veitchia montgomeryana	Montgomery Palm	n/a	32' X 12'	REMOVE
44	Cocos nucifera	Coconut Palm	n/a	35' X 18'	REMAIN
45	Veitchia montgomeryana	Montgomery Palm	n/a	32' X 12'	REMOVE
46	Carpentaria acuminata	Triple Carpentaria Palm	n/a	25' X 16'	REMOVE
47	Wodyetia bifurcata	Foxtail Palm	n/a	20' X 14'	REMOVE
48	Carpentaria acuminata	Carpentaria Palm Cluster	n/a	25' X 14'	REMOVE
49	Carpentaria acuminata	Carpentaria Palm	n/a	16' X 8'	REMOVE
50	Dypsis decaryi	Triangle Palm	n/a	18' X 14'	REMOVE
51	Cocos n. 'Golden Malayan'	Golden Malayan Coco Palm	n/a	32' X 18'	REMOVE
52	Dictyosperma album	Hurricane Palm	n/a	10' X 8'	REMAIN
	Total Palms (Monocots) Removed			31	
	Total Dicot DBH Removed			66"	
	Total Mitigation Required			66" DBH Dicots & 31 Palms (combination may vary)	

1

GENERAL DISPOSITION NOTES

1. CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.
2. THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN. ALL FINAL PLANS SHALL BE COORDINATED WITH FINAL APPROVED SITE PLAN.
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
4. THE TREE REMOVAL WORK HEREIN WILL REQUIRE MITIGATION IN ACCORDANCE WITH CITY OF HOLLYWOOD ARTICLE 9 TREE MITIGATION REQUIREMENTS.
5. CONTRACTOR TO COMPLETELY REMOVE ALL PARTS OF TREES SPECIFIED FOR REMOVAL ON THE TREE DISPOSITION PLAN. GRIND ALL TRUNKS/ROOT SYSTEMS OR TREES TO BE REMOVED A MINIMUM OF 18" DEPTH IN THEIR ENTIRETY AND FILL AND COMPACT WITH SUITABLE CLEAN SOIL TO FINAL GRADE.
6. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE CHANGES IN MATERIAL, QUANTITIES AND PROJECT SCOPE TO CONTRACTED WORK.
7. IN THE EVENT OF DISPUTE, THE LANDSCAPE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
8. ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
9. CONTRACTOR TO LEAVE SITE COMPLETELY CLEAN, RESTORED, AND FREE OF DEBRIS. CONTRACTOR TO REPAIR IN FULL ANY DAMAGE CAUSED BY WORK OR MOBILIZATION.
10. FOR ALL TREES TO BE REMOVED, CONTRACTOR TO TAKE PROPER CARE IN REMOVAL TO NOT CAUSE DAMAGE TO EXISTING SITE FEATURES, CONDITIONS, INFRASTRUCTURE, OR THE GENERAL PUBLIC AND PASSERSBY. COMPLETELY REMOVE TREES AND PROPERLY DISPOSE OF REMAINS OFF-SITE.
11. NO TREES SHALL BE REMOVED OR RELOCATED UNTIL A CITY OF HOLLYWOOD TREE REMOVAL PERMIT IS ISSUED. APPLICATIONS ARE AVAILABLE IN ROOM 308 OF CITY HALL OR VIA WEBSITE DOWNLOAD AT WWW.HOLLYWOODFL.ORG > DEPARTMENTS > ENGINEERING > ENGINEERING SERVICES
12. ALL TREES TO REMAIN SHALL BE PROTECTED IN PLACE BY A TREE PROTECTION BARRIER FENCE ERECTED TO THE EXTENTS OF THE CANOPY DRIPLINES. SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL INFORMATION. FAILURE TO MAINTAIN THE BARRIERS MAY RESULT IN DAMAGE TO TREES SPECIFIED TO REMAIN, ESPECIALLY ONES CLOSE TO ACTIVE CONSTRUCTION, WHICH MAY RESULT IN TREE MITIGATION COSTS, ADDITIONAL PERMITTING TIME AND COSTS, OR REJECTION OF TREES AT TIME OF FINAL INSPECTION. TREE PROTECTION BARRIERS ARE TO REMAIN IN PLACE, TO THE EXTENTS OF THE TREE DRIPLINES, FOR THE ENTIRE DURATION OF CONSTRUCTION.

TREE SYMBOL LEGEND

- **EXISTING PALM TO REMAIN** — SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD
- **EXISTING PALM TO BE REMOVED** — REMOVE ENTIRE ROOT SYSTEMS AND FILL/LIGHTLY COMPACT/GRADE WITH SUITABLE SOIL
- **EXISTING TREE TO REMAIN** — SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD
- **EXISTING TREE TO BE REMOVED** — REMOVE ENTIRE ROOT SYSTEMS AND FILL/LIGHTLY COMPACT/GRADE WITH SUITABLE SOIL

No.	REVISIONS	DATE	BY
1	REVISIONS TO CLARIFY MITIGATION REQUIRED	02-07-19	WDB

GREEN EARTH
LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
E-MAIL: dale.bryant@greenearthla.com PHONE: 954-938-9825

LICENSED PROFESSIONAL
WILLIAM DALE BRYANT
FL LICENSE NUMBER
LA6666943
DATE:

PROJECT # 18-110
DATE 03-09-2018
SCALE AS SHOWN
DESIGNED BY WDB
DRAWN BY WDB
CHECKED BY WDB

12 UNIT APARTMENT BUILDING
2324 JOHNSON STREET
HOLLYWOOD, FL
BROWARD

TREE DISPOSITION PLAN

SHEET NUMBER
L-100

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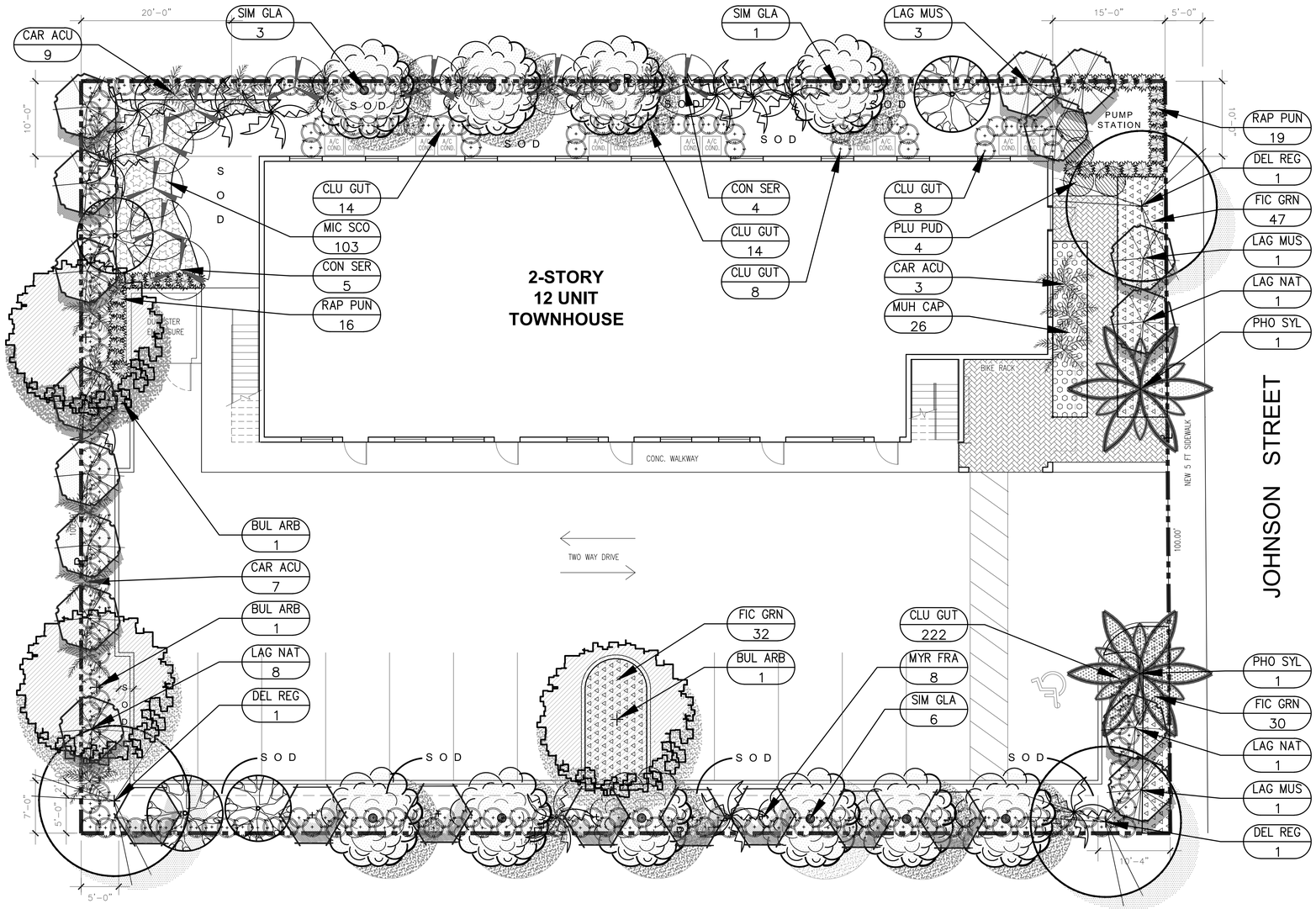

LANDSCAPE PLANTING PLAN

SCALE: 1/8" = 1'- 0"

N

TABULAR DATA CODE CHART

REGULATING DOCUMENT: ARTICLE 9 LAND DEVELOPMENT & ZONING REGULATIONS		
ZONING: RM-12		
SECTION ARTICLE 9 LDR	REQUIRED	PROVIDED
STREET TREE REQUIREMENTS JOHNSON STREET - 100LF STREET FRONTAGE	2 TREES	2 TREES
VEHICULAR USE AREAS 25% OF PARKING AREA TO BE LANDSCAPED - 5,490 SF 3 TERMINAL/PENINSULAR PARKING ISLANDS	1,373 SF LANDSCAPED AREA 3 TREES + LANDSCAPING	1,387 SF LANDSCAPED AREA 3TREES + LANDSCAPING
OPEN SPACE TREE REQUIREMENTS 4,137 SF PERVIOUS OPEN SPACE	5 TREES	5 TREES
AT-GRADE PARKING LOT	24" CONTINUOUS HEDGE	24" CONTINUOUS HEDGE
TREE MITIGATION 31 PALMS REMOVED 66" DBH DICOTS REMOVED	31 PALMS OR 11 TREES 66" DBH BROADLEAF TREES	30 PALMS & 1 TREE 82" DBH BROADLEAF TREES
NATIVE TREE AND SHRUB REQUIREMENT	60% NATIVE TREES/50% SHRUBS	60% NATIVE TREES/52% SHRUBS

LANDSCAPE NOTES & SPECIFICATIONS

1. CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY AND ALL DISCREPANCIES, CONFLICTS, SHORTAGES, OR OTHER SCOPE/QUANTITY/ TIME RELATED ISSUES, INCOMPLETENESS OR CONSISTENCY WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL OR BASING A PROPOSAL ON THE SCOPE OF WORK.
2. THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN AND AS PROVIDED. ALL FINAL PLANS SHALL BE COORDINATED WITH FINAL APPROVED SITE PLAN.
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
4. SEE TREE PROTECTION DETAIL ON LANDSCAPE DETAILS SHEET FOR TREE PROTECTION TO BE ERECTED BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN FOR TREES AND PALMS TO REMAIN, AND TO REMAIN INTACT AS ERECTED UNTIL FINAL COMPLETION OF PROJECT.
5. IN THE EVENT OF DISPUTE, THE LANDSCAPE ARCHITECT'S INTERPRETATION SHALL BE FINAL.
6. ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ADJUST IF NECESSARY TO AVOID CONFLICTS OR SAFETY HAZARDS.
7. ALL WORK TO BE PERFORMED IN A PROFESSIONAL, WORKMANLIKE MANNER AND ONLY DURING THOSE TIMES PERMITTED BY THE CITY OF HOLLYWOOD. PROTECT THE PUBLIC AND GENERAL PASSERSBY AT ALL TIMES AND PROTECT ALL TREES SPECIFIED TO REMAIN.
8. ALL NEW PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER ACCORDING TO "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLICATION BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES. ALL TREES OR PLANTS NOT MEETING THIS MINIMUM SPECIFICATION AS DEFINED IN THE PUBLICATION WILL BE REJECTED.
9. ALL TREES AND PALMS MUST BE PLANTED SO THE TOP OF THE ROOT BALL, ROOT FLARE, AND FIRST ORDER ROOTS ARE SLIGHTLY ABOVE THE FINAL GRADE (ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS).
10. ALL SYNTHETIC BURLAP, SYNTHETIC STRING, CORDS OR OTHER NON-BIODRADABLE MATERIALS SHALL BE **COMPLETELY REMOVED IN THEIR ENTIRETY** FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED.
11. FOR BIODEGRADABLE BURLAP ROOTBALL CONTAINMENT THE TOP PORTION OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE REMOVED, THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
12. ALL SYNTHETIC TAPE (I.E., TAGGING TAPE, NURSERY TAPE) SHALL BE REMOVED FROM TRUNKS, BRANCHED, ETC. BEFORE INSPECTION. REMOVE ALL BAMBOO AND METAL STAKES FROM THE TREES.
13. TREES SHALL HAVE A MULCH RING WITH A MINIMUM DIAMETER OF 4'. MULCH WILL BE A GRADE B SHREDDED WOOD HARVESTED FROM EXISTING MELALEUCA OR EUCALYPTUS STANDS (STERILIZED TO DESTROY ANY SEEDS) OVER HEAVY WEED BARRIER FABRIC, SECURED IN PLACE USING METAL SOD STAPLES, AND APPROXIMATELY 3" DEPTH WHEN SETTLED. USE COMMERCIAL GRADE BLACK PLASTIC EDGING FOR SHAPE AND CONTAINMENT OF SHRUB & GROUNDCOVER LANDSCAPE PLANTING AREAS, STAKED IN PLACE.
14. ALL TREES AND PALMS SHALL BE GUYED WITH PROPER HORTICULTURAL AND ARBORICULTURAL TECHNIQUES. DO NOT USE WIRE, BLACK STRAPPING, OR OTHER SYNTHETIC MATERIAL FOR THE DIRECT STAKING OF TREES. PLEASE USE BIODEGRADABLE MATERIAL FOR STAKING DIRECTLY AROUND TRUNKS SUCH AS SISAL TWINE. NAILING INTO TREES AND PALMS FOR ANY REASON IS PROHIBITED. ALL STAKING MATERIAL SHALL BE REMOVED ONCE TREES ARE ESTABLISHED.
15. ALL PERVIOUS LANDSCAPED AREAS SHALL RECEIVE 100% IRRIGATION COVERAGE, AS DEFINED BY CITY OF HOLLYWOOD, SFWMD AND INDUSTRY STANDARDS (BEING 'HEAD-TO-HEAD' ARC THROW WITH 50% OVERLAP), BY MEANS OF AN AUTOMATIC, FULLY PROGRAMMABLE UNDERGROUND IRRIGATION SYSTEM UTILIZING PVC PIPE, RAINBIRD 1800 SERIES POP-UP SPRAY TYPE HEADS,REMOTE ELECTRONIC ZONE VALVES, A PROGRAMMABLE AUTOMATIC CONTROLLER WITH INTEGRATED RAIN SENSOR, BACKFLOW PREVENTION DEVICE. SCHEDULE 80 PVC SLEEVES FOR PIPING BENEATH PAVEMENT, ETC., ADDITIONALLY, ALL NEWLY PLANTED TREES AND PALMS WILL RECEIVE A MINIMUM OF ONE (1) BUBBLER NOZZLE TO WATER THE ROOT SYSTEMS FOR ESTABLISHMENT. ADJUST SET SCREW TO EMIT NO MORE THAN .25 GPM FLOW EACH. THIS PLAN IS NOT COMPLETE WITHOUT IRRIGATION PLAN AND IRRIGATION DETAILS SHEETS L-300 AND L-301. IRRIGATION CONTRACTOR TO INSURE THAT FINAL SYSTEM AND ANY REQUIRED ADJUSTMENTS PROVIDE 100% COVERAGE AND ADDITIONAL ZONES OR HEADS MAY NEED TO BE ADDED TO ACHIEVE THIS. ALL WORK SHALL COMPLY WITH MUNICIPAL AND COUNTY ORDINANCES, SFWMD REGULATIONS AND RESTRICTIONS AND THE STATE OF FLORIDA.
16. FOLLOW APPROVED LANDSCAPE PLANS FOR SPECIES, SIZES, LOCATIONS, QUANTITIES, QUALITY, ETC. IF CONTRACTOR IS UNABLE TO LOCATE PLANT MATERIAL AT REQUIRED SPECIFICATIONS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO ANY CHANGES OR SUBSTITUTIONS BEING ASSUMED, ORDERED, OR MADE.
17. PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IF DISCREPANCIES EXIST BETWEEN PLANT TABLE AND PLAN, PLAN DRAWING AND ON-CENTER SPACING SHALL TAKE PRECEDENCE.
18. ALL TREES ARE TO HAVE PROTECTIVE LAYER OF BURLAP OR SIMILAR HEAVY WOVEN PROTECTIVE FABRIC AROUND THE TRUNKS WHEN LOADING AND UNLOADING WITH MACHINE EQUIPMENT. NO SCARRING OF TRUNKS WILL BE ACCEPTED AND MATERIALS THAT ARE SCARRED WILL BE REJECTED.
19. ALL MATERIALS AND WORKMANSHIP WILL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE FROM FAILURE, DEATH, TERMINAL DECLINE, ETC.. THE WARRANTY PERIOD MAY BE EXTENDED BEYOND THAT TIMEFRAME IF, AT THE END OF ONE YEAR, ANY PLANTS ARE NOT IN A THRIVING STATE, INDICATIVE OF HEALTHY PLANTS OF EACH SPECIES.
20. BEGIN WATERING ALL PLANT MATERIALS IMMEDIATELY AFTER INSTALLATION OR RELOCATION. FOR RELOCATIONS SEE CARE AND WATERING SCHEDULE ABOVE. FOR ALL NEW PLANTS, WATER ACCORDING TO SFWMD, BROWARD COUNTY AND CITY OF HOLLYWOOD REGULATIONS FOR NEW LANDSCAPE INSTALLATIONS UP TO 90 DAYS AND BEGIN PHASE II WATER RESTRICTION SCHEDULE FOLLOWING THAT. A SUMMARY IS: LANDSCAPING FROM 0-30 DAYS AFTER INSTALLATION WATERING CAN OCCUR ON ALL DAYS EXCEPT ON FRIDAYS. FROM 30-90 DAYS, WATERING FOR NEW LANDSCAPING CAN OCCUR ON MONDAY, WEDNESDAY, THURSDAY, AND SATURDAY. FOR BOTH ESTABLISHMENT WATERING PERIODS AND FINAL ESTABLISHED PERIOD, NO WATERING SHALL OCCUR BETWEEN 10 A.M. IN THE MORNING AND 4 P.M. IN THE AFTERNOON.
21. ALL WORK WITHIN THESE PLANS TO BE DONE IN A SOUND, WORKMANLIKE MANNER, INDICATIVE OF THE PROFESSIONAL STANDARDS REGULATING EACH DISCIPLINE AND THE PERTINENT DIVISION OF THE CONSTRUCTION SPECIFICATIONS INSTITUTE, THE CITY OF HOLLYWOOD, AND ANY OTHER REGULATING OR GOVERNING AUTHORITY. WORK WILL ONLY OCCUR WITHIN THE DAYS AND HOURS SPECIFIED WITHIN THE CODE OF ORDINANCES AND SUB-CONTRACTORS AND SUB-CONTRACTORS SHALL PERFORM WORK IN A SAFE, PROFESSIONAL MANNER WITHOUT UNNECESSARY DISTURBANCE TO THE SURROUNDING COMMUNITY, OTHER ON-SITE WORKERS OR PASSERSBY.
22. ANY DAMAGE TO EXISTING CONDITIONS INCLUDING EXISTING LAWN AREA WILL BE RESTORED TO A CONDITION EQUAL TO OR EXCEEDING THE CONDITION AT TIME OF WORK COMMENCEMENT. EXISTING LAWN REPAIR WILL BE DONE COMPLETE FOR ANY AND ALL DAMAGED AREAS AFFECTED BY WORK. THIS INCLUDES MATCHING OF EXISTING GRASS SPECIES WITH WHOLE, CERTIFIED SOD LAID OVER 2" BLANKET OF HAND-RAKED, FINELY-GRADED TOPSOIL AFTER ANY NECESSARY EXCAVATION REQUIRED SO THAT NEW SOD MATCHES EXISTING OR PREVIOUS SOD IN APPEARANCE, ELEVATION, EXTENT, WITH CLEAN AND TIGHT JOINTS AND CUT IN PROPERLY SO THAT NEW AND EXISTING EDGES MEET SEAMLESSLY. STAGGER JOINTS OF ALL NEW SOD. SPECIES SHALL BE ST. AUGUSTINE 'FLORATAM' VARIETY CERTIFIED TRUE TO NOMENCLATURE BY THE SUPPLIER ON RECEIPT. IF EXISTING PLANTING BEDS ARE DAMAGED, RESTORE TO SAME CONDITION WITH SAME MATERIALS.
23. ANY REFERENCE, MENTION OR INFERENCE OF 'PLANTING SOIL', 'AMENDED SOIL', 'SOIL MIX' OR THE LIKE SHALL MEAN A SPECIFIC SOIL MIX AS FOLLOWS: 50-50 PERCENTAGE-BY-VOLUME RATIO, PRE-MIXED OFF SITE, AND COMPRISED OF 50% CLEAN, SCREENED SILICA SAND, AND 50% PULVERIZED FLORIDA MUCK, ALSO REFERRED TO AS TOPSOIL. FREE FROM ANY WEEDS, NEMATODES, SEEDS, AGGREGATE (OTHER THAN SPECIFIED SAND) OR OTHER DELETERIOUS MATERIALS AND PREPARED SPECIFICALLY FOR USE AS A SOIL AMENDMENT IN LANDSCAPING APPLICATIONS. AN AMENDED ORGANIC OF COW MANURE OR ORGANIC PEAT IS ACCEPTABLE UP TO 10% OF THE TOTAL VOLUME OF THE MIX.
24. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK BASED ON THESE PLANS.
25. ALL BEDLINES FOR SHRUBS AND GROUNDCOVER TO HAVE FLOWING ARCS AS SHOWN CREATING AN ATTRACTIVE, ORGANIC AESTHETIC. MULCHED BEDLINE EDGES WITH FLAT OR 'DEAD' AREAS THAT BREAK FROM THE CURVILINEAR NATURE WILL BE REJECTED.

PLANT LIST & SPECIFICATIONS

*N	SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	DESCRIPTION	USE ON PLAN
	TREE AND PALMS						
	BUL ARB	3	Bulnesia arborea	VERAWOOD	2" DBH/12' HT.	STRAIGHT TRUNK, FULL RADIAL BRANCHING	VUA LANDSCAPE ISLANDS = 3 REQ'D
	CAR ACU	19	Carpentaria acuminata	CARPENTARIA PALM	12'/16' CT HTS.	STRAIGHT EVEN, ALTERNATE CLEAR TRUNK HEIGHTS, FULL CROWNS	PALM MITIGATION = 19 OF 31 PALMS
*N	CON SER	8	Conocarpus erectus 'Sericeus'	SILVER BUTTONWOOD	2" DBH/12' HT.	MULTI-LEADER, DENSE, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 16"
	DEL REG	3	Delonix regia	ROYAL POINCIANA	3" DBH/14' HT.	STRAIGHT TRUNK, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 9"
	LAG MUS	5	Lagerstroemia fauriei 'Muskogee'	MUSKOGEE CRAPE MYRTLE	2" DBH/12' HT.	SINGLE LEADER TREE FORM, FULL RADIAL BRANCHING	PALM MITIGATION (5 TREES = 15 PALMS @ 3:1) = 15 OF 31PALMS
	LAG NAT	10	Lagerstroemia fauriei 'Natchez'	NATCHEZ CRAPE MYRTLE	2" DBH/12' HT.	SINGLE LEADER TREE FORM, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 20"
*N	MYR FRA	8	Myrcianthes fragrans	SIMPSON'S STOPPER	12' HT./2" DBH CMBND	MULTI-LEADER, DENSE, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 16"
	PHO DAC	2	Phoenix dactylifera	SYLVESTER DATE PALM	12' CLEAR WOOD	STRAIGHT EVEN TRUNKS WITH DIAMOND PATTERN FINISH, FULL CROWN	STREET TREES = 2 REQ'D
*N	SIM GLA	10	Simaruba glauca	PARADISE TREE	2" DBH/12' HT.	STRAIGHT TRUNK, FULL RADIAL BRANCHING	DICOT MITIGATION REPLACEMENT = 20"
*N	SYMBOL LEGEND	1	Magnolia grandiflora (existing)	EXISTING MAGNOLIA	8" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 1 OF 5
	SYMBOL LEGEND	1	Cananga odorata (existing)	EXISTING YLANG-YLANG	10" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 2 OF 5
*N	SYMBOL LEGEND	1	Guaiacum officinale (existing)	EXISTING TREE OF LIFE	5" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 3 OF 5
*N	SYMBOL LEGEND	1	Ilex vomitoria (existing)	EXISTING YAUPON HOLLY	6" dbh	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 4 OF 5
	SYMBOL LEGEND	11	Palm Species - Varies	SEE SHEET L-100 FOR SPECIES	VARIES	PROTECT PER TREE PROTECTION BARRIER SHEET L-201	OPEN SPACE TREES = 5 OF 5 (@ 3:1) + EXTRAS
	SHRUBS AND GROUNDCOVER						
*N	CLU GUT	266	Clusia guttifera	LITTLELEAF CLUSIA	24" X 24"	FULL, SPACE 24" ON CENTER	LANDSCAPE - CONTINUOUS HEDGE
	FIC GRN	109	Ficus microcarpa 'Green Island'	GREEN ISLAND FICUS	18" X 18"	FULL, SPACE 24" ON CENTER	LANDSCAPE - GROUNDCOVER
	MIC SCO	103	Microsorum scolopendria	WART FERN	16" X 16"	FULL, SPACE 18" ON CENTER	LANDSCAPE - GROUNDCOVER
*N	MUH CAP	26	Muhlenbergia capillaris	MUHLY GRASS	24" X 22"	FULL, SPACE 24" ON CENTER	LANDSCAPE - GROUNDCOVER
	PLU PUD	4	Plumeria pudica	BRIDAL BOUQUET	6' HT.	FULL, SPACE 48" ON CENTER	LANDSCAPE - ORNAMENTAL ACCENTS
*N	RAP PUN	35	Rapanea punctata	MYRSINE	36" X 24"	FULL, SPACE 24" ON CENTER	LANDSCAPE - SCREENING HEDGE

*N - DENOTES FLORIDA NATIVE SPECIES

2

EXISTING TREE SYMBOL LEGEND

- EXISTING PALM TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD

- EXISTING TREE TO REMAIN
SEE TREE PROTECTION FENCING DETAIL FOR FENCING TO BE ERECTED AND MAINTAINED DURING ENTIRE CONSTRUCTION PERIOD

No.	REVISIONS	DATE	BY
2	REVISIONS TO CLARIFY MITIGATION REQUIRED	02-07-19	WDB
1	SCREENING ADDED AROUND AC AND PUMP STATION	07-25-18	WDB

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FL LICENSE NUMBER
LA6666943
DATE:

PROJECT # 18-110
DATE 09-09-2018
SCALE AS SHOWN
DESIGNED BY WDB
DRAWN BY WDB
CHECKED BY WDB

12 UNIT APARTMENT BUILDING
2324 JOHNSON STREET
HOLLYWOOD, FL
BROWARD FL

LANDSCAPE PLANTING PLAN

SHEET NUMBER
L-200

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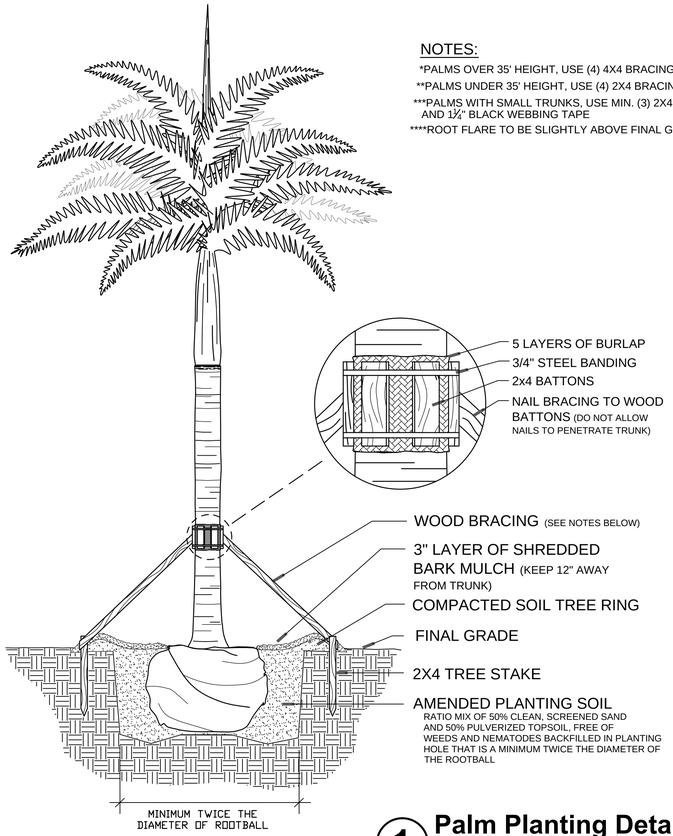


NOTES:

*PALMS OVER 35' HEIGHT, USE (4) 4X4 BRACING AND STAKES

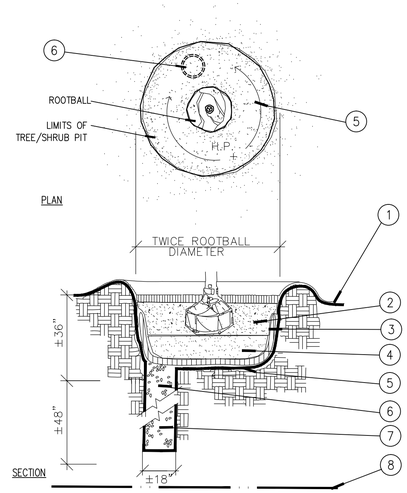
**PALMS UNDER 35' HEIGHT, USE (4) 2X4 BRACING AND STAKES

***PALMS WITH SMALL TRUNKS, USE MIN. (3) 2X4 STAKES AND 1½" BLACK WEBBING TAPE

****ROOT FLARE TO BE SLIGHTLY ABOVE FINAL GRADE

1 Palm Planting Detail

SECTION NTS



1. FINISH GRADE

2. BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.

3. FILTER CLOTH, MIRAFI 500X OR BETTER

4. 12" CLEAN SAND, COMPACTED. ADJUST LAYER THICKNESS SO TOP OF ROOTBALL IS AT LEAST 1" ABOVE FINISHED GRADE.

5. SLOPE BOTTOM TO DRAIN

6. ±18"ø AUGERED HOLE PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION.

7. BACKFILL WITH 1/2" – 3/4" GRAVEL.

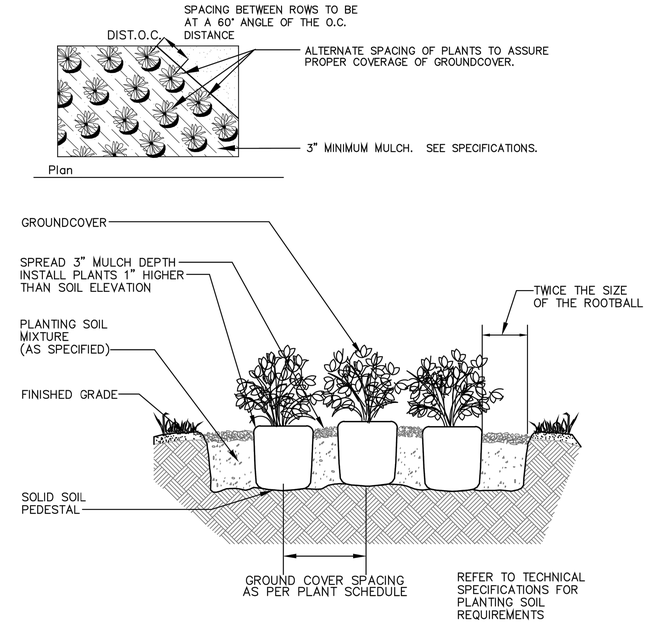
8. WATER TABLE. (DEPTH VARIES)

NOTE:

FOR A PARKING ISLAND PLANTING SITUATION, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6" OF BACK OF CURB OR EDGE OFPAVEMENT.

2 Poor Drainage Detail

SECTION NTS



3 Shrub-Groundcover Planting Detail

SECTION NTS

24" DeepRoot Tree Root Barriers

Specified tree root barriers are a mechanical barrier and root deflector to prevent tree roots from damaging hard–scapes and landscapes. Assembled in 2' long modules to creat varying sizes of cylinders for surrounding root balls (Surround planting style) or for linear applications directly beside a hardscape adjacent to one side of the trees (Linear planting style).

A. Materials

1. The contractor shall furnish and install tree root barriers as specified. The tree root barriers shall be product # UB 24–2 as manufactured by Deep Root Partners, L.P. 345 Lorton Ave. #103, Burlingame, CA (800–458–7668), or approved equal. The barrier shall be Black, Injection Molded Panels, of 0.085" wall thickness in modules 24" long by 24" deep; manufactured with a minimum 50% post consumer recycled polypropylene plastic with added ultraviolet inhibitors; recyclable. Each panel shall have:

Not less than 4 Molded Integral Vertical Root Deflecting Ribs of at least 0.085" thickness protruding 1/2" at 90° from interior of the barrier panel, spaced 6" apart. (See panel drawing below)

A Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel of a minimum 0.085" thickness, 7/16" wide and 1/4" apart with the lower rib attached to the vertical root deflecting ribs. (See detail "A")

A minimum of 9 Anti–Lift Ground Lock Tabs consisting of integral horizontal ridges of a minimum 0.085" thickness in the shape of a segment of a circle, the 2" chord of the segment joining the panel wall and the segment, protruding 3/8" from the panel. The nine ground locks on each panel shall be about equally spaced between each of the vertical root deflecting ribs (3 between each set of ribs, see Detail "B").

An integrated Zipper Joining System providing for instant assembly by sliding one panel into another. (See Detail "C")

2.The basic properties of the material shall be:

Test	ASTM Test Method	Value Copolymer Polypropylene
Tensile stress @ yield	D638	3800 PSI
Elongation @ yield	D638	6.3%
Flexural Modulus	D790B	155,000 PSI
Notched Izod Impact	D256A	7.1
Rockwell Hardness r. scale	D785A	68

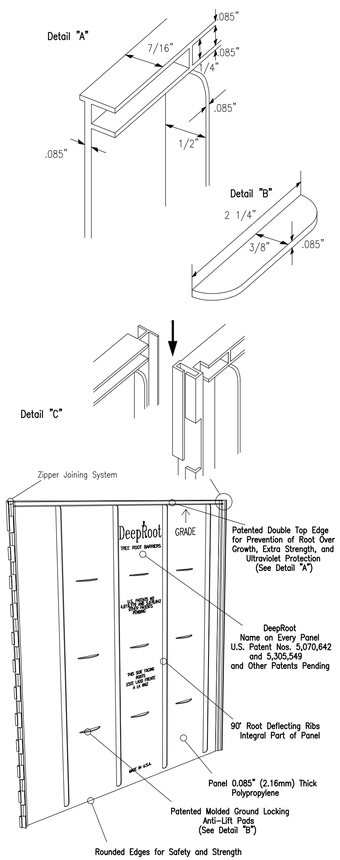
U.S. Patents: 5,305,549 and 5,070,642. Other Patents Pending.

B. Construction and Installation

1. The contractor shall install the tree root barriers with the number of panels and in the manner shown on the Draw–ings. The vertical root deflecting ribs shall be facing inwards to the root ball and the top of the double edge shall be 1/2" above grade. Each of the required number of panels shall be connected to form a circle around the root ball or where specified joined in a linear fashion and placed along the adjacent hardscape.

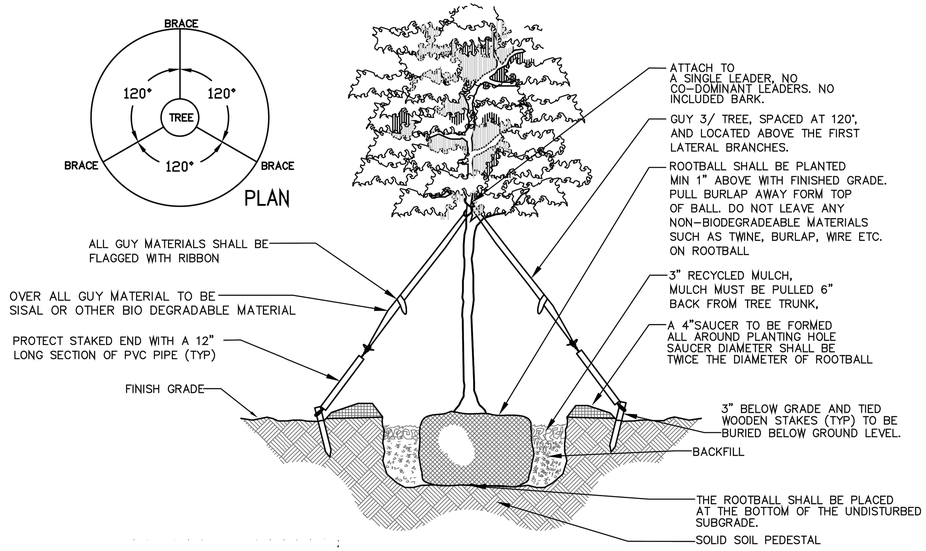
2. Excavation and soil preparation shall conform to the Drawings

3. The tree root barriers shall be backfilled on the outside with 3/4" to 1 1/2" gravel or crushed rock as shown on the Drawings. No gravel backfill is required for a linear planting



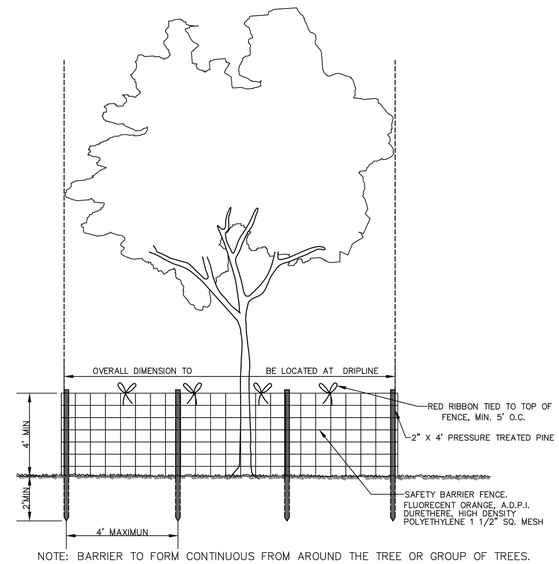
5 Root Barrier Detail

SECTION NTS



4 Tree Planting Detail

SECTION NTS



NOTE: BARRIER TO FORM CONTINUOUS FROM AROUND THE TREE OR GROUP OF TREES. SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN.

6 Tree Protection Barrier Detail

SECTION NTS

No.	REVISIONS	DATE	BY

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FL LICENSE NUMBER LA6666943
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12 UNIT APARTMENT BUILDING
2324 JOHNSON STREET
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BROWARD FL

LANDSCAPE DETAILS

SHEET NUMBER
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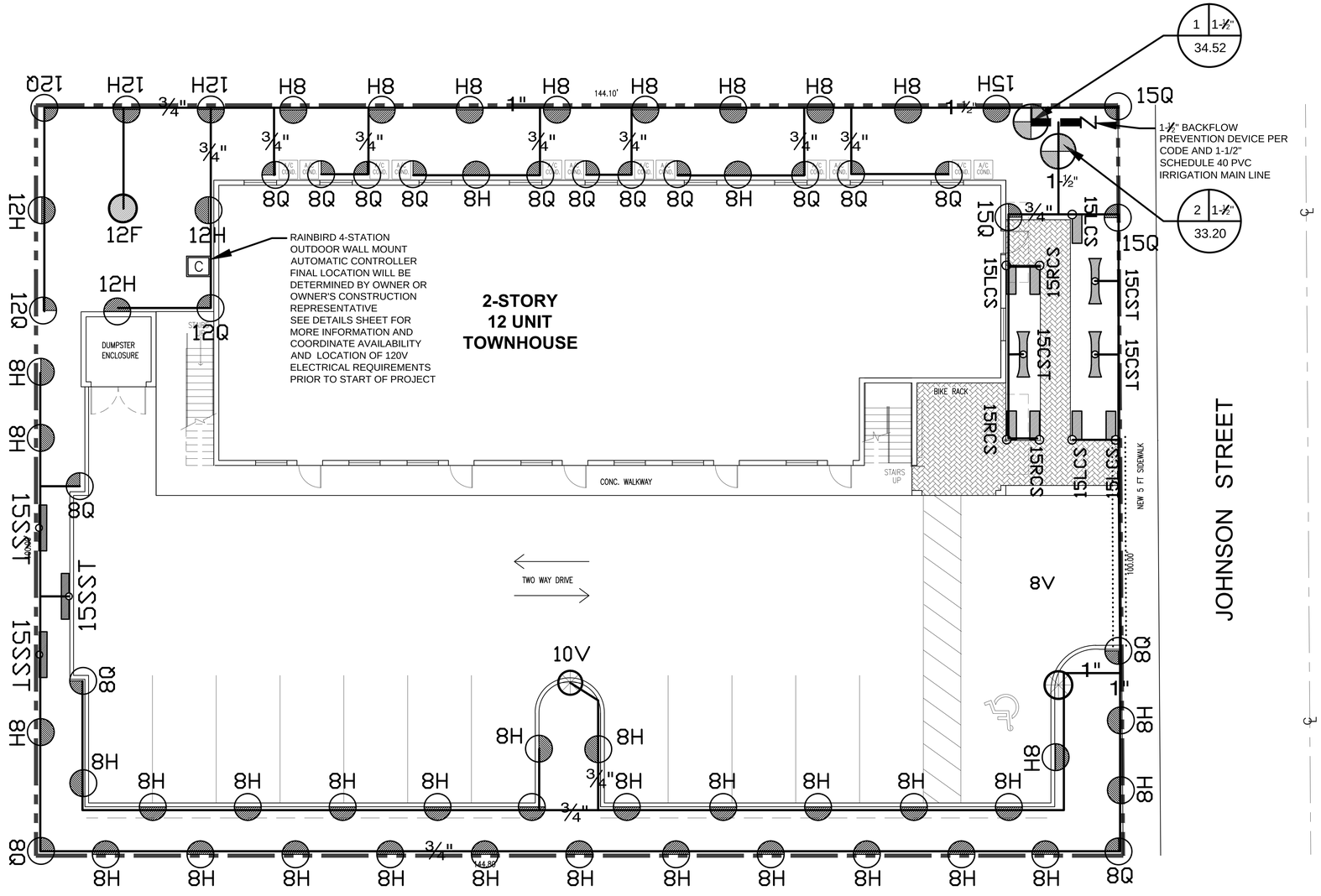

IRRIGATION PLAN

SCALE: 1/8" = 1'-0"

IRRIGATION NOTES

1. CONTRACTOR TO VISIT SITE AND REVIEW PLANS PRIOR TO SUBMITTING A PROPOSAL TO OWNER. CONTRACTOR SHALL VERIFY SITE AND TREE INFORMATION, AND BRING ANY DISCREPANCIES WITHIN THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.
2. THESE PLANS WERE PREPARED BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN.
3. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES BEFORE WORK COMMENCES AND SHALL PROTECT ALL UNDERGROUND/ABOVE GROUND UTILITIES AND EXISTING CONDITIONS-TO-REMAIN DURING CONSTRUCTION.
4. IRRIGATION SYSTEM WATER SOURCE WILL BE A NEW 1" IRRIGATION WATER METERED STATIC PRESSURE SOURCE. SEE CIVIL DRAWINGS FOR TAP AND METER DETAILS.
5. IRRIGATION CONTRACTOR TO COORDINATE WITH MEP ENGINEER AND GENERAL CONTRACTOR TO COORDINATE POWER NEEDS FOR AUTOMATIC CONTROLLER PRIOR TO PROJECT CONSTRUCTION ACTIVITIES. THIS MUST BE DONE BEFORE PROJECT CONSTRUCTION BEGINS SO PROPER CALCULATIONS CAN BE DETERMINED AND PROPER INFRASTRUCTURE FOR IRRIGATION AND ELECTRICAL REQUIREMENTS ARE PROVIDED. AS PART OF THE SCOPE OF THIS WORK, IRRIGATION CONTRACTOR SHALL PROVIDE SYSTEM COMPLETE AS SPECIFIED HEREIN, AND AS REQUIRED FOR PROPER PERFORMANCE TO PROVIDE 100% (HEAD-TO-HEAD) IRRIGATION COVERAGE OF ALL PERVIOUS PLANTED AREAS.
6. THE SCOPE OF WORK INTENDED WHEN BIDDING ON THESE IRRIGATION PLANS IS TO PROVIDE A COMPLETE, COMPLIANT, SAFE, FULLY-OPERATIONAL, INSTALLED IRRIGATION SYSTEM ACCORDING TO THE DESIGNED IRRIGATION SYSTEM HEREIN. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL COMPONENTS, APPROVALS, AND WORKMANSHIP TO MAKE THE SYSTEM FUNCTION PROPERLY AND IN ACCORDANCE WITH REGULATING CODES.
7. CONTRACTOR WILL SECURE ALL NECESSARY PERMITS PRIOR TO SYSTEM INSTALLATION.
8. ALL SLEEVING SHALL BE SCHEDULE 80 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN THE SUPPLY LINE(S) CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 18" BELOW FINISHED GRADE OF PAVEMENT OR AS REQUIRED BY SFWMD.
9. ALL AUTOMATIC RAINBIRD VALVES SHALL BE INSTALLED IN A FIBERGLASS BOX AND SHALL BE ARRANGED FOR EASY ADJUSTMENT AND ACCESS. THE FLOW ADJUSTMENT FEATURE OF EACH VALVE SHALL BE UTILIZED TO BALANCE OPERATING PRESSURES THROUGHOUT THE SYSTEM. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE AND SHALL INSURE PERCOLATION THROUGH THE BOX.
10. WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS OR RESTRICTIONS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED AND SOUTH FLORIDA WATER MANAGEMENT DISTRICT REGULATIONS FOR WATERING, INCLUDING NEW LANDSCAPE INSTALLATIONS, INSTALLATIONS FROM 30-90 DAYS, AND REGULATIONS FOR ESTABLISHED LANDSCAPE PLANTING MATERIALS.
12. IRRIGATION PLAN IS SCHEMATIC AND MAY SHOW COMPONENTS SUCH AS VACUUM BREAKER, MAIN LINE, ZONE VALVES AND LATERAL LINES SLIGHTLY OFF FROM ACTUAL INTENDED LOCATIONS FOR GRAPHICAL CLARITY. IRRIGATION CONTRACTOR TO ADJUST TO FIELD CONDITIONS AND INACCURACIES THAT ARE INHERENT WITH DRAWINGS AT 1:20 SCALE. IRRIGATION CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR ANY SUBSTANTIAL CHANGES THAT WOULD NOT CONFORM TO THE INTENT OF THE IRRIGATION PLANS. NO SUBSTITUTIONS IN MANUFACTURER MATERIALS WILL BE ACCEPTED UNLESS ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO ORDERING, PLANNING, OR INSTALLATION.
13. ALL MAIN AND LATERAL PIPING RUNS TO HAVE SOLVENT WELD JOINTS.
14. USE RAINBIRD EXP-RZX BASIC SERIES 6-STATION OUTDOOR WALL MOUNT CONTROLLER OR APPROVED EQUAL IN A WALL MOUNTABLE STAINLESS STEEL SECURABLE ENCLOSURE. ATTACH A HUNTER MINI-CLIK II RAIN SENSOR DEVICE PER MANUFACTURER'S INSTRUCTIONS.
15. PLAN WAS DESIGNED BASED ON ASSUMPTION OF AT LEAST 40 PSI FROM NEW WATER METER.
16. MAINLINE, LATERAL LINES, ZONE VALVES AND OTHER COMPONENTS ARE SHOWN SCHEMATICALLY TO MAINTAIN GRAPHICAL CLARITY ON THIS PLAN. WHERE POSSIBLE KEEP MAIN LINE CLOSE TO WALL FOOTER, CURBS, AND EDGES OF PAVEMENT TO AVOID OBSTRUCTIONS OF FUTURE ROOT SYSTEMS.
17. NOT SHOWN GRAPHICALLY FOR CLARITY BUT INCLUDED IN ZONE CALCULATIONS, INCLUDE ONE BUBBLER NOZZLE FOR EACH NEW OR RELOCATED TREE ON SITE. SET FLOW TO NO MORE THAN .25 GPM.
18. USE RAINBIRD 1800 SERIES SPRINKLER BODIES WITH NOZZLES AS SPECIFIED. SEE SHEET L-301 FOR SPRINKLER SCHEDULE.
19. RUN A MINIMUM OF TWO SPARE ZONE VALVE WIRES WITH MAIN LINE IN TWO DIFFERENT DIRECTIONS FROM CONTROLLER FOR FUTURE USE AS SPARE WIRES.

IRRIGATION SYMBOL LEGEND

- RAINBIRD PESB REMOTE ELECTRIC ZONE VALVE
- 1-1/2" SCHEDULE 40 PVC MAIN LINE PIPE
- SCHEDULE 200 LATERAL (CIRCUIT) PVC PIPE
- SCHEDULE 80 PVC SLEEVE PIPE (MINIMUM TWICE THE SIZE OF PIPE BEING SLEEVED)
- ZONE / VALVE SIZE / G.P.M. — IRRIGATION ZONE CALLOUT
- 1" — PIPE SIZE INDICATOR
- C — RAINBIRD ESP-RZX 4-ZONE PROGRAMMABLE CONTROLLER IN WALL MOUNT SECURABLE ENCLOSURE WITH ATTACHED RAIN SENSOR

NOTE: INSTALL MANUAL BALL SHUTOFF VALVE DOWNSTREAM FROM POINT OF CONNECTION AND UPSTREAM FROM EACH ZONE VALVE. BALL VALVES NOT SHOWN GRAPHICALLY FOR CLARITY.

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IRRIGATION PLAN

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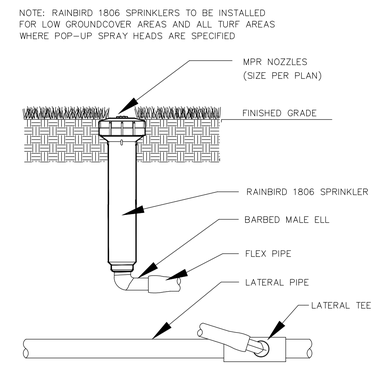
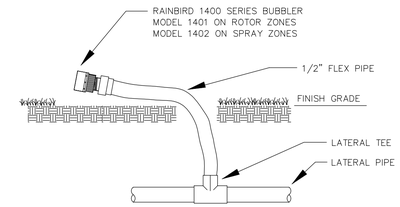
IRRIGATION SPRINKLER AND NOZZLE SCHEDULE

SYMBOL	DESCRIPTION	G.P.M.	SYMBOL
5B	RAINBIRD 5H STREAM BUBBLER NOZZLE ON FLEXIBLE PIPE	1.0	5'
5Q	RAINBIRD 1806 OR 1812 PRS WITH 5Q MPR SPRAY NOZZLE	.10	5'
5H	RAINBIRD 1806 OR 1812 PRS WITH 5H MPR SPRAY NOZZLE	.20	5'
5F	RAINBIRD 1806 OR 1812 PRS WITH 5F MPR SPRAY NOZZLE	.41	5'
6V	RAINBIRD 1806 OR 1812 PRS WITH 6V VARIABLE ARC SPRAY NOZZLE	VARIES	6'
8Q	RAINBIRD 1806 OR 1812 PRS WITH 8Q MPR SPRAY NOZZLE	.26	8'
8H	RAINBIRD 1806 OR 1812 PRS WITH 8H MPR SPRAY NOZZLE	.52	8'
8F	RAINBIRD 1806 OR 1812 PRS WITH 8F MPR SPRAY NOZZLE	1.05	8'
8V	RAINBIRD 1806 OR 1812 PRS WITH 8V VARIABLE ARC SPRAY NOZZLE	VARIES	8'
10Q	RAINBIRD 1806 OR 1812 PRS WITH 10Q MPR SPRAY NOZZLE	.39	10'
10H	RAINBIRD 1806 OR 1812 PRS WITH 10H MPR SPRAY NOZZLE	.79	10'
10F	RAINBIRD 1806 OR 1812 PRS WITH 10F MPR SPRAY NOZZLE	1.58	10'
10V	RAINBIRD 1806 OR 1812 PRS WITH 10V VARIABLE ARC SPRAY NOZZLE	VARIES	10'
12Q	RAINBIRD 1806 OR 1812 PRS WITH 12Q MPR SPRAY NOZZLE	.65	12'
12T	RAINBIRD 1806 OR 1812 PRS WITH 12T MPR SPRAY NOZZLE	.87	12'
12H	RAINBIRD 1806 OR 1812 PRS WITH 12H MPR SPRAY NOZZLE	1.30	12'
12TQ	RAINBIRD 1806 OR 1812 PRS WITH 12TQ MPR SPRAY NOZZLE	1.95	12'
12F	RAINBIRD 1806 OR 1812 PRS WITH 12F MPR SPRAY NOZZLE	2.60	12'
12V	RAINBIRD 1806 OR 1812 PRS WITH 12V VARIABLE ARC SPRAY NOZZLE	VARIES	12'
15Q	RAINBIRD 1806 OR 1812 PRS WITH 15Q MPR SPRAY NOZZLE	.92	15'
15T	RAINBIRD 1806 OR 1812 PRS WITH 15T MPR SPRAY NOZZLE	1.23	15'
15H	RAINBIRD 1806 OR 1812 PRS WITH 15H MPR SPRAY NOZZLE	1.85	15'
15TQ	RAINBIRD 1806 OR 1812 PRS WITH 15TQ MPR SPRAY NOZZLE	2.78	15'
15F	RAINBIRD 1806 OR 1812 PRS WITH 15F MPR SPRAY NOZZLE	3.70	15'
15V	RAINBIRD 1806 OR 1812 PRS WITH 15V VARIABLE ARC SPRAY NOZZLE	VARIES	15'
15EST	RAINBIRD 1806 OR 1812 PRS WITH 15EST MPR STRIP SPRAY NOZZLE	.61	4'X15'
15CST	RAINBIRD 1806 OR 1812 PRS WITH 15CST MPR STRIP SPRAY NOZZLE	1.21	4'X30'
15LCS	RAINBIRD 1806 OR 1812 PRS WITH 15LCS MPR STRIP SPRAY NOZZLE	.49	4'X15'
15RCS	RAINBIRD 1806 OR 1812 PRS WITH 15RCS MPR STRIP SPRAY NOZZLE	.49	4'X15'
15SST	RAINBIRD 1806 OR 1812 PRS WITH 15SST MPR STRIP SPRAY NOZZLE	1.21	4'X30'
9SST	RAINBIRD 1806 OR 1812 PRS WITH 9SST MPR STRIP SPRAY NOZZLE	1.21	9'X18'
PDP-ADJ	HUNTER PDP-ADJ ADJUSTABLE GEAR DRIVE POP-UP ROTOR HEAD	2.5	35'
6504	RAINBIRD 6504 GEAR DRIVE POP-UP ROTOR HEAD WITH STAINLESS STEEL SHAFT	5.5	45'

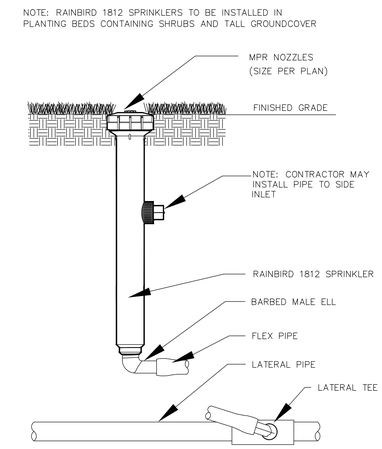
IRRIGATION DETAILS



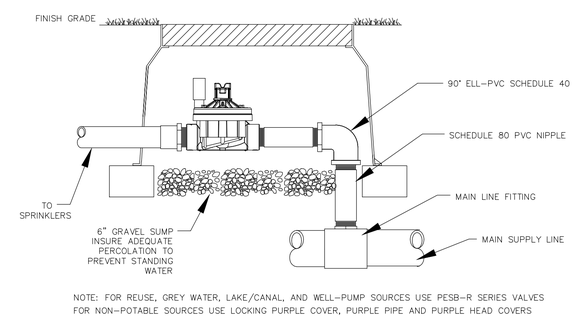
1 RAINBIRD 1806 SPRINKLER
SECTION N.T.S.



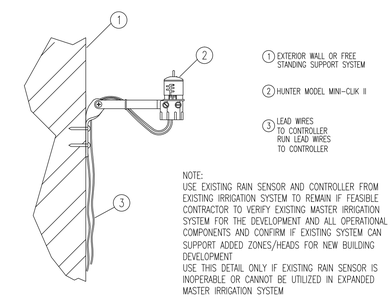
2 RAINBIRD 1400 SERIES BUBBLER
SECTION N.T.S.



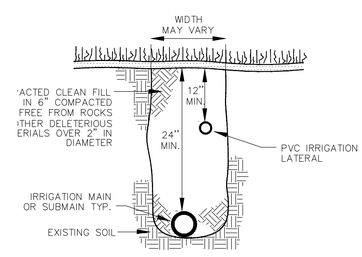
3 RAINBIRD 1812 SPRINKLER
SECTION



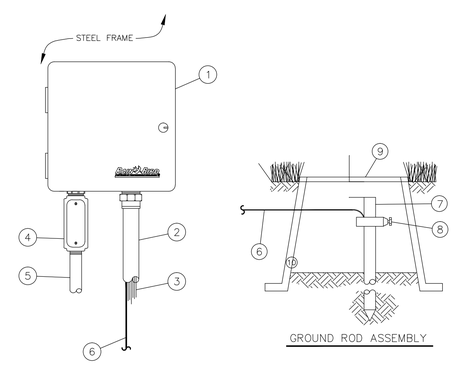
4 RAINBIRD PESB ZONE VALVE
SECTION N.T.S.



5 RAIN SENSOR DISABLING DEVICE
SECTION N.T.S.



6 IRRIGATION TRENCHING DETAIL
SECTION N.T.S.



1. CONTROLLER: RAIN BIRD ESP-RZX 4-STATION CONTROLLER OUTDOOR WALL MOUNT
2. 1.5-INCH PVC SCH 40 CONDUIT AND FITTINGS
3. WIRES TO REMOTE CONTROL VALVES
4. JUNCTION BOX
5. 1-INCH PVC SCH 40 CONDUIT AND FITTINGS TO POWER SUPPLY
6. BARE COPPER WIRE (#10 AWG MIN.): CONNECT TO GROUNDING BUSS IN CONTROLLER CABINET AND ROUTE TO GROUND ROD. PATH TO GROUND ROD SHOULD BE AS STRAIGHT AS POSSIBLE.
7. 5/8-INCH X 8 FT COPPER CLAD GROUNDING ROD OR GROUNDING PLATE.
8. GROUND ROD CLAMP OR WELDS
9. COVER GROUNDING ROD WITH 10-INCH ROUND VALVE BOX AS SHOWN
10. FINISH GRADE

7 RAINBIRD PROGRAMMABLE CONTROLLER
SECTION N.T.S.

No.	REVISIONS	DATE	BY

GREEN EARTH
LANDSCAPE ARCHITECTURE
HOLLYWOOD, FLORIDA
E-MAIL: dale.bryant@greenearthla.com PHONE: 954-438-9825

LICENSED PROFESSIONAL
WILLIAM DALE BRYANT
FL LICENSE NUMBER
LA6666943
DATE:

PROJECT # 18-110
DATE 03-09-2018
SCALE AS SHOWN
DESIGNED BY WDB
DRAWN BY WDB
CHECKED BY WDB

12 UNIT APARTMENT BUILDING
2324 JOHNSON STREET
HOLLYWOOD, FL
BROWARD

IRRIGATION DETAILS

SHEET NUMBER
L-301