

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 05.21.19

Location Address: 3255 Hollywood Blvd, Suites 1 and 2

Lot(s): _____ Block(s): A Subdivision: ORANGEBROOK GOLF ESTATES

Folio Number(s): 514217020011

Zoning Classification: C-2 Land Use Classification: GBUS

Existing Property Use: COMMERCIAL Sq Ft/Number of Units: 4,500 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 18-DP-34

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: _____

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: \$850,000 Estimated Date of Completion: August 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: WRI JT HOLLYWOOD HILLS I LP, Scott Henson

Address of Property Owner: 5355 TOWN CENTER ROAD, STE 802, BOCA RATON, FL 33486

Telephone: 602-217-8848 Fax: 602-263-8852 Email Address: SHenson@Weingarten.com

Name of Consultant/ Representative/Tenant (circle one): Saltz Michelson Architects

Address: 3501 Griffin Rd, Ft. Lauderdale Telephone: 954-266-2700

Fax: 954-266-2701 Email Address: mazar@saltzmichelson.com

Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 5.22.19

PRINT NAME: STEPHEN F. TROMMSDORFF

Date: 5.22.19

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for CONSTRUCTION to my property, which is hereby made by me or I am hereby authorizing STEPHEN F. TROMMSDORFF to be my legal representative before the PLANNING + DEVELOPMENT (Board and/or Committee) relative to all matters concerning this application.

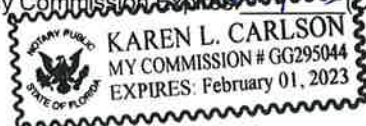
Sworn to and subscribed before me

this 21 day of May 2019

Notary Public

State of Florida

My Commission Expires 2/1/23 (check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

STEPHEN F. TROMMSDORFF

Print Name

WEINGARTEN REALTY

2600 Citadel Plaza Drive
Houston, Texas 77008
800-688-8865
713-866-6049 Fax
www.weingarten.com

October 19, 2018

To: County and City Building Departments: (including)

Cities of: Boca Raton, Clearwater, Clermont, Cooper City, Deerfield Beach, Hollywood, Jacksonville, Kendall, Largo, Miami, Oakland Park, Orlando, Palm Coast, Palm Harbor, Pembroke Pines, Plantation, Sanford, Sea Ranch Lakes, Stuart, St. Augustine, Tampa, Wellington, Winter Park; and

Counties of: Palm Beach, Pinellas, Lake, Broward, Duval, Miami-Dade, Orange, Seminole, Flagler, Martin, St. Johns, Hillsborough

RE: Approval from owner for signature acceptance

Dear City Official:

Please be advised that the following Weingarten personnel are authorized to sign the types of documentation listed below on behalf of the owners listed on Page 2.

Weingarten Personnel:

Mark Schultz – Associate Director of Property Management
Chris Oftedal – Senior Regional Property Manager
Ryan Tufts – Regional Property Manager
John Haggerty – Regional Property Manager
Karl Brinkman – Area Vice President/Leasing
Alexander Evans – Regional Leasing Director
Stephen F. Trommsdorff – Senior Construction Manager
Martin Espejo – Construction Manager
Gina Fongyee – Property Manager

Documentation:

Permit Applications
Sign Approval Letters
Notice of Commencement
Documents required by City Department and Code Enforcement Department (violations)
Documents regarding utility and or refuse service
Waste Water Applications
Development Orders
Development Agreements

Owners:

Weingarten Realty Investors
Weingarten Nostat Inc.
WRI JT Tamiami Trail, LP
WRI JT Pembroke Commons, LP
WRI JT Flamingo Pines LP
WRI Seminole II, LLC
WRI-TC East Lake Woodland LLC
WRI-TC Marketplace at Dr. Phillips LLC
Weingarten I-4 Clermont Landing LLC
Weingarten I-4 Clermont Landing TRS, LLC
WRI Shoppes of South Semoran LLC
Weingarten/Investments Inc.
Weingarten I-4 St. Augustine EV LLC
WRI JT Northridge, LP
WRI JT Hollywood Hills I, LP
WRI JT Hollywood Hills II, LP
WRI Seminole Marketplace, LLC
Pineapple Commons Retail LP
WS Atlantic West, LLC
WS Kernan Village, LLC
WRI Wellington Green, LLC

Sincerely,

Weingarten Realty Investors,
a Texas real estate investment trust

By:



Mark D. Stout
Senior Vice President/General Counsel

STATE OF TEXAS

§

§

COUNTY OF HARRIS

§

The foregoing instrument was acknowledged before me this 19 day of October, 2018, by Mark D. Stout, Senior Vice President/General Counsel of Weingarten Realty Investors, a Texas real estate investment trust, on behalf of the trust. He is personally known to me.



NOTARY STAMP



May 21st, 2019

City of Hollywood
Development Services Planning Division
2600 Hollywood Boulevard
Hollywood, Florida 33020
Attn: Planning and Development Board

**RE: Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building
3255 Hollywood Blvd, Suites 1 & 2
Hollywood, Florida
File # 18-DP-34**

Project Information

The proposed building is to be located on an outparcel on the Hollywood Hills Plaza. It's designed to be a 4,500 square-foot, one-story concrete block building with a drive-thru.

Legal Description

The land referred to herein below is situated in the County of Broward, state of FL, and is described as follows:

Block "a", Orangebrook golf estates, according to the plat thereof, recorded in plat book 38, page 1, of the public records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida. Less the property described below:

A portion of block "a", Orangebrook golf estates, according to the plat thereof as recorded in plat book 38, page 1 of the public records of Broward County, Florida, being more particularly described as follows:

Commence at the southeast corner of said block "a"; thence on the south line of said block a, south 90°00'00" west 103.34 feet; thence north 00°00'00" east, 44.37 feet to the point of beginning; thence continue north 00°00'00" east, a distance of 147.32 feet to a point on the arc of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 12.00 feet, a central angle of 90°05'08" and a arc distance of 18.87 feet to a point of tangency; thence south 89°54'52" east 43.90 feet; thence south 00°00'00" west 156.76 feet to the beginning of a tangent curve concave to the north; thence southwesterly, westerly and northwesterly on the arc of said curve having a radius of 2.50 feet, a central angle of 180°00'00" and an arc distance of 7.85 feet to a point of tangency; thence north 00°00'00" east 16.50 feet; thence south 90°00'00" west 29.00 feet; thence south 00°00'00" west 15.04 feet to the beginning of a tangent curve concave to the northwest; thence southwesterly on the arc of said curve having

a radius of 3.96 feet, a central angle of 90°00'00" and an arc distance of 6.22 feet to a point of tangency; thence south 90°00'00" west 17.96 feet to the point of beginning.

And including also:

A portion of block "a", Orangebrook golf estates, according to the plat thereof as recorded in plat book 38, page 1 of the public records of Broward County, Florida, being more particularly described as follows:

Commence at the southeast corner of said block "a"; thence on the south line of said block "a", south 90°00'00" west 103.34 feet; thence north 00°00'00" west 1.40 feet to the point of beginning; thence north 89°54'52" west 86.87 feet; thence north 00°27'02" east 18.91 feet; thence north 89°48'08" west 8.69 feet; thence north 00°09'03" east 39.56 feet to the beginning of a tangent curve concave to the southwest; thence south westerly on the arc of said curve having a radius of 9.33 feet, a central angle of 30°09'03" and an arc distance of 4.91 feet to a point of tangency; thence north 30°00'00" west 8.69 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 30°00'00" and an arc distance of 5.59 feet to a point of tangency; thence north 00°00'00" west a distance of 66.45 feet to the beginning of a tangent curve concave to the southwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 45°00'00" and an arc distance of 7.33 feet to a point of tangency; thence north 45°00'00" west 7.35 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence north 00°00'00" east 36.00 feet to the beginning of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence north 45°00'00" east 4.41 feet to the beginning of a tangent curve concave to the northwest; thence northeasterly on the arc of said curve having a radius of 9.33 feet, a central angle of 39°14'23" and an arc distance of 6.39 feet to an intersection with a non-tangent line; thence south 90°00'00" east 104.46 feet; thence south 00°00'00" west 214.30 feet to the point of beginning.

And including also:

A portion of block "a", Orangebrook golf estates, according to the plat thereof as recorded in plat book 38, page 1 of the public records of Broward County, Florida, being more particularly described as follows:

Commencing at the southernmost southwest corner of block "a"; thence east, along the south line of said block "a", for a distance of 390.24 feet to the point of beginning; thence north, for a distance of 258.71 feet; thence east, for a distance of 166.46 feet; thence south, for a distance of 258.71 feet to a point on said south line of block "a"; thence west, along said south line, for a distance of 166.46 feet to the point of beginning.

The above described lands are the same as described within the first American Title Insurance Company commitment no. NCS-490213A-HOU1 bearing an effective date of July 19, 2011 @ 8:00 a.m.



May 23rd, 2019

City of Hollywood
Development Services Planning Division
2600 Hollywood Boulevard
Hollywood, Florida 33020
Attn: Planning and Development Board

RE: **Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building**
3255 Hollywood Blvd, Suites 1 & 2
Hollywood, Florida
File # 18-DP-34

To Whom It May Concern:

This letter is to confirm that this project is not requesting any Variances or Special Exceptions as described in Article 5 of the City of Hollywood's Zoning and Land Development Regulations Code.

To the best of our understanding, the proposed project complies with the Design Criteria outlined in the Zoning and Land Development Regulations Code, Article 5, Section 5.3.I.4.a.1-4, as follows:

- (1) *Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.*
The proposed building provides decorative detailing on all four elevations considering its location in the Hollywood Hills Plaza. The intent is to build the structure of concrete block with a stucco and paint finish, varying parapet heights and floor to ceiling windows in an aluminum frame. A sidewalk connects the public sidewalk to the project and a metal awning will provide shade and shelter to pedestrians.
- (2) *Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding*

neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

Detailing is provided with stucco banding, EIFS trim, premanufactured stone veneer at similar intervals to provide scale and interest to the building, similar to the structure to the west of the outparcel. The design also includes a metal awning inspired by the gas station to the east.

- (3) *Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.*

The design intent of the project is to fit seamlessly with the existing commercial buildings on the property. Similar to its neighbors, the proposed building is a one-story structure, of moderate scale. It is intended for commercial use similar to the buildings surrounding it.

- (4) *Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.*

An effort has been made to keep as many of the existing trees as possible. In addition, new trees and landscape areas have been incorporated into the design. Native species are proposed above and beyond what's required.

If you have any questions regarding the above, please do not hesitate to contact me.

Very truly yours,
Saltz Michelson Architects

Maday Gutierrez

Maday Gutierrez
Project Manager







HOLLYWOOD HILLS PLAZA OUTPARCEL
FINAL TAC SUBMITTAL

MEETING DATE – APRIL 1ST, 2019
N.E. CORNER OF HOLLYWOOD BLVD AND S. PARK ROAD
HOLLYWOOD, FLORIDA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FL, AND IS DESCRIBED AS FOLLOWS:

BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND A ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

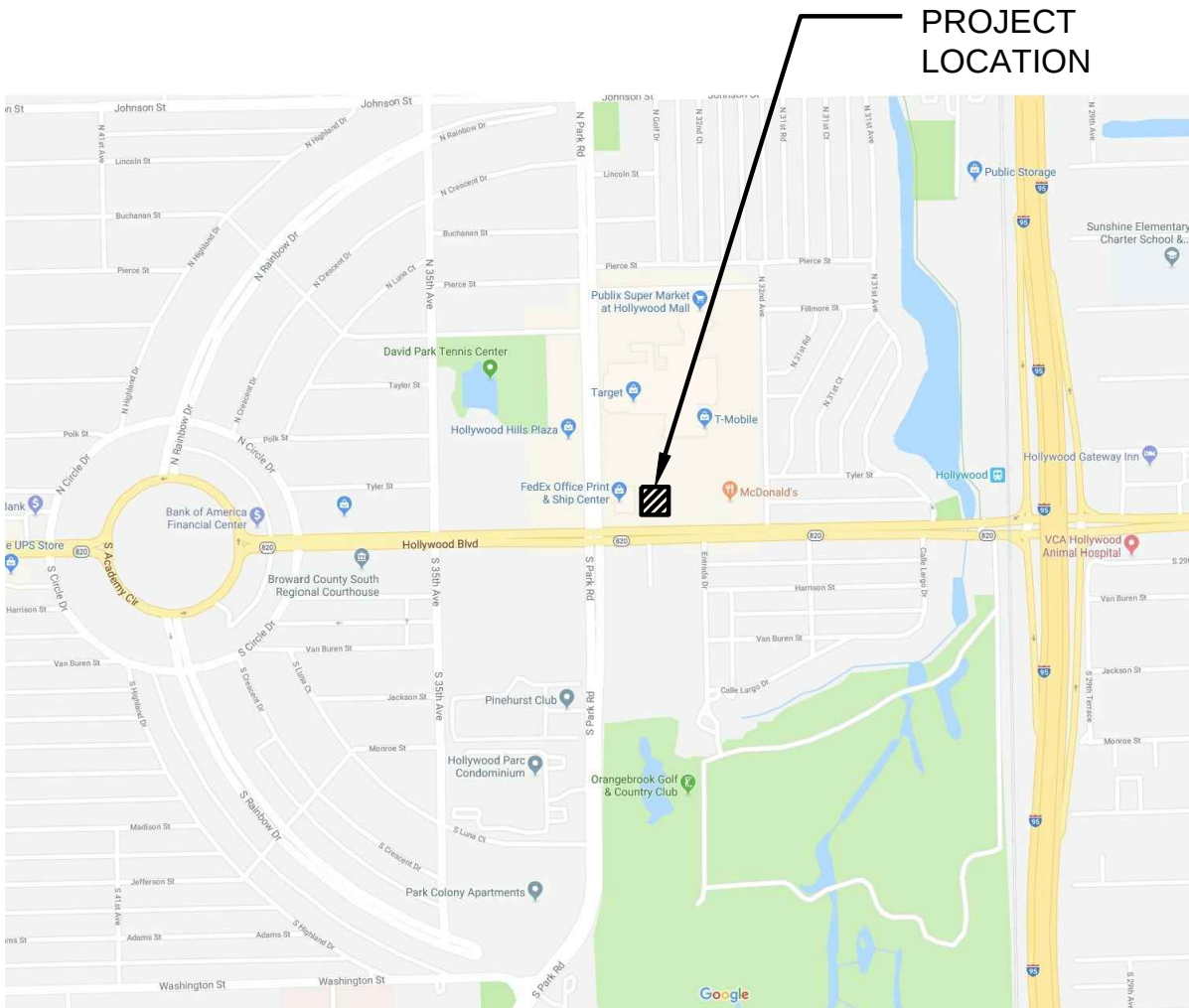
COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTH WESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

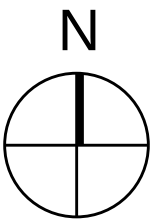
COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LANDS ARE THE SAME AS DESCRIBED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-490213A-HOU1 BEARING AN EFFECTIVE DATE OF JULY 19, 2011 @ 8:00 A.M.



LOCATION MAP

SCALE: N.T.S.



INDEX OF DRAWINGS

ARCHITECTURE	
A0.0	COVER SHEET
SHEET 1 OF 4	OVERALL PARCEL SURVEY
SHEET 2 OF 4	OVERALL PARCEL SURVEY
SHEET 3 OF 4	OVERALL PARCEL SURVEY
SHEET 4 OF 4	OVERALL PARCEL SURVEY
SHEET 1 OF 2	OUTPARCEL SURVEY
SHEET 2 OF 2	OUTPARCEL SURVEY
SP1.0	OVERALL SITE PLAN
	PROPOSED SITE PLAN
	DETAILS
SP1.1	TABULAR INFORMATION
A1.0	SITE DETAILS
A1.1	FLOOR PLAN, ELEVATIONS
	COLOR ELEVATIONS
CIVIL	
C-1	PAVING, GRADING AND DRAINAGE PLAN
C-2	WATER AND SEWER PLAN
C-3	PAVEMENT MARKING AND SIGNAGE PLAN
C-4	STORMWATER POLLUTION PREVENTION PLAN
C-5	CIVIL DETAILS
C-6	UTILITY DETAILS
LANDSCAPE	
L-1	EXISTING TREE PLAN
L-2	PLANTING PLAN
L-3	SPECIFICATIONS
PHOTOMETRICS	
SHEET 1 OF 1 PHOTOMETRICS PLAN	

TEAM

OWNER / DEVELOPER:

WEINGARTEN REALTY
5355 TOWN CENTER ROAD, STE 802
BOCA RATON, FL 33486
TELEPHONE: (954) 938-2583

ARCHITECT:

SALTZ MICHELSON ARCHITECTS
3501 GRIFFIN ROAD FORT
LAUDERDALE, FL 33312
TELEPHONE: (954) 266-2700

CIVIL ENGINEER:

HOLLAND ENGINEERING
3900 HOLLYWOOD BLVD, STE 303
HOLLYWOOD FL 33021
TELEPHONE: (954) 367-0371

LANDSCAPE ARCHITECT:

DAVE BODKER LANDSCAPE ARCHITECTURE, INC
601 NORTH CONGRESS AVENUE, STE 105-A
DELRAY BEACH, FL 33445
TELEPHONE: (561) 276-6311

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
3255 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA

SALTZ MICHELSON
ARCHITECTS

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:
2016-109
Drawn By:
MG
Checked By:
MA
Date:
03/30/18

REVISIONS

1	TAC COMM. 01.07.19
2	TAC COMM. 03.18.19

Drawn by: S:\Projects\2016\2016-109\Drawings\01.1 TAC Submittal\01.16-109_001.dwg
Plotted on: Mar 18, 2019 - 8:45am
Plotted by: mgdanz
Layed Name: Layout1

A0.0

RECORD DESCRIPTION

TITLE DESCRIPTION
The land referred to herein below is situated in the County of Broward, State of Florida, and is described as follows: PARCEL 1: BLACK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW: A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 00°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND AN ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.95 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 00°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 00°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING. AND INCLUDING ALSO: A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 00°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 35.66 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 00°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING. AND INCLUDING ALSO: A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 156.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

RECORD DESCRIPTION

P

PARCEL 2:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ADDITIONAL LANDS DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.32 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND AN ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 189°08'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.82 FEET; THENCE NORTH 00°27'02" EAST 19.91 FEET; THENCE NORTH 00°00'00" WEST 8.69 FEET; THENCE NORTH 00°00'00" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

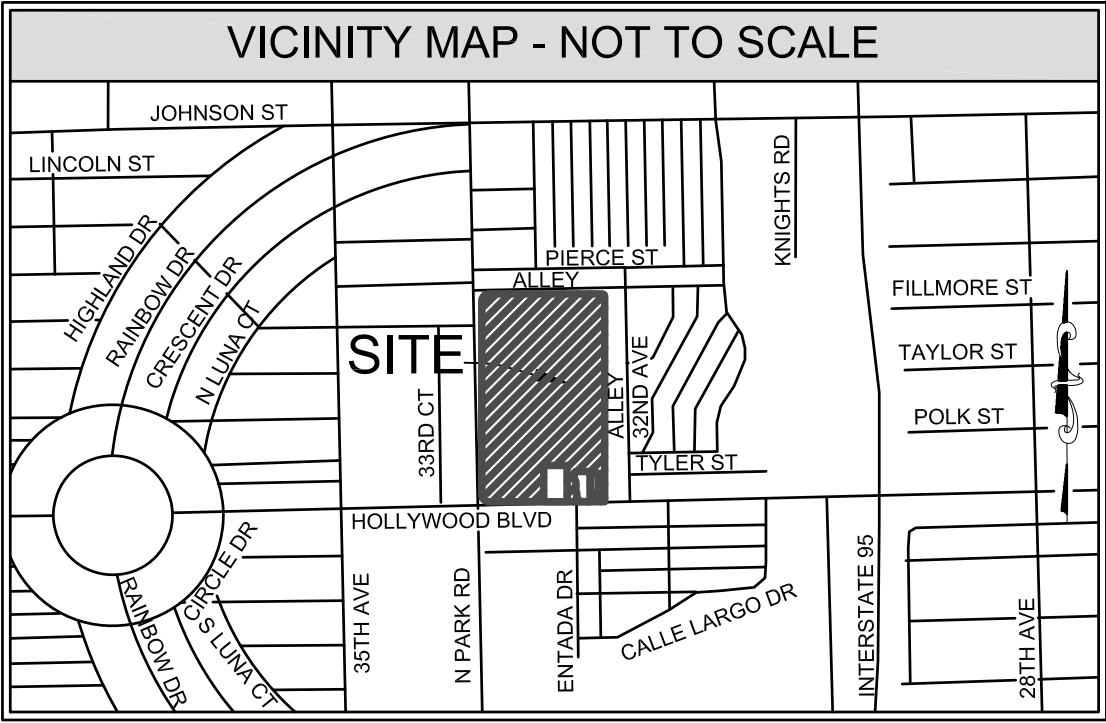
P

PARCEL 3:

EASEMENTS CREATED IN RECIPROCAL ACCESS EASEMENT AGREEMENT RECORDED IN O.R. BOOK 34995, PAGE 1 FOR THE BENEFIT OF THAT PORTION OF PARCEL 2 DESCRIBED BELOW:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-490213A-HOUI, DATED JULY 19, 2011 AND PROPERTY INFORMATION REPORT NO. NCS-547303-A-HOUI OF FIRST AMERICAN TITLE INSURANCE COMPANY, DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019.



MEASURED DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being Block "A", Orangebrook Golf Estates, according to the plat thereof, recorded in Plat Book 83, Page 1, of the public records of Broward county, Florida and being more particularly described as follows:

Beginning at a 1/2" rebar set at the intersection of the northerly right-of-way line of Hollywood Boulevard (having a 120' R/W) and the westerly right-of-way of a public alley (having a 15' R/W), thence proceed North 90 degrees 00 minutes 00 seconds West for a distance of 268.30 feet to a PK nail found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 258.71 feet to a PK nail found; thence North 90 degrees 00 minutes 00 seconds West for a distance of 166.46 feet to a PK nail found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 258.71 feet to a rebar found with cap; thence South 90 degrees 00 minutes 00 seconds West for a distance of 390.24 feet to a rebar found with cap; thence along a curve to the right having a radius of 50.00 feet and an arc length of 78.54 feet, said arc being subtended by a chord with a bearing of North 45 degrees 00 minutes 00 seconds West and a length of 70.71 feet, to a 1/2" rebar found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 1430.00 feet to a rebar found with cap; thence North 90 degrees 00 minutes 00 seconds East for a distance of 655.00 feet to a 1/2" rebar set; thence along a curve to the right having a radius of 20.00 feet and an arc length of 31.42 feet, said arc being subtended by a chord with a bearing of South 45 degrees 00 minutes 00 seconds East and a length of 28.26 feet, to a 1/2" rebar found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 1460.00 feet to a 1/2" rebar set and THE TRUE POINT OF BEGINNING.

Containing within said bounds 28.726 acres (1,251,313 square feet) more or less.

LESS AND EXCEPT PARCEL A:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block "A", South 90°00'00" West 103.34 feet; thence North 00°00'00" East 44.37 feet to THE POINT OF BEGINNING; thence continue North 00°00'00" East, a distance of 147.32 feet to a point on the arc of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 12.00 feet, a central angle of 90°05'08" and a distance of 18.87 feet to a point of tangency; thence South 89°54'52" East 43.90 feet; thence South 00°00'00" West 156.76 feet to the beginning of a tangent curve concave to the north; thence southwesterly, westerly and northwesterly on the arc of said curve having a radius of 2.50 feet, a central angle of 180°00'00" and an arc distance of 7.85 feet to a point of tangency; thence North 00°00'00" East 16.50 feet; thence South 90°00'00" West 22.00 feet; thence South 00°00'00" West 15.04 feet to the beginning of a tangent curve concave to the northwest; thence southwesterly on the arc of said curve having a radius of 3.96 feet, a central angle of 90°00'00" and an arc distance of 6.22 feet to a point of tangency; thence South 00°00'00" West 17.96 feet to the point of beginning.

Containing within said bounds 0.191 acres (8,320 square feet) more or less.

AND ALSO:

LESS AND EXCEPT PARCEL B:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block "A", South 90°00'00" West 103.34 feet; thence North 00°00'00" West 1.40 feet to the point of beginning; thence North 89°54'52" West 86.87 feet; thence North 00°27'02" East 18.91 feet; thence North 89°48'08" West 8.69 feet; thence North 00°09'03" East 35.56 feet to the beginning of a tangent curve concave to the southeast; thence south westerly on the arc of said curve having a radius of 9.33 feet, a central angle of 30°09'03" and an arc distance of 4.91 feet to a point of tangency; thence North 30°00'00" West 8.69 feet to the beginning of a tangent curve concave to the northeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 30°00'00" and an arc distance of 5.59 feet to a point of tangency; thence North 00°00'00" West a distance of 66.45 feet to the beginning of a tangent curve concave to the southwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 45°00'00" and an arc distance of 7.33 feet to a point of tangency; thence North 45°00'00" West 7.35 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 9.38 feet to a point of tangency; thence North 00°00'00" East 36.00 feet to the beginning of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 45°00'00" East 4.41 feet to the beginning of a tangent curve concave to the northwest; thence northeasterly on the arc of said curve having a radius of 9.33 feet, a central angle of 39°14'23" and an arc distance of 6.39 feet to an intersection with a non-tangent line; thence South 00°00'00" East 104.46 feet; thence South 00°00'00" West 214.30 feet to the point of beginning.

Containing within said bounds 0.503 acres (21,913 square feet) more or less.

MISCELLANEOUS NOTES

ZONING INFORMATION

AREA

FLOOD NOTE

PROJECT REVISION RECORD			
DATE	DESCRIPTION	DATE	DESCRIPTION
03/07/2019	FIRST DRAFT		
XXXXX/2019	NETWORK COMMENTS		
FIELD WORK:	DRAFTED: CLC	CHECKED BY: RJJ	FB & PG:

SIGNIFICANT OBSERVATIONS

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY.
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THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plans, or other instruments which created the parcel or parcels are stated herein. **RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION.** THE PLAT IS PREPARED IN ACCORDANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

ALTA/NSPS LAND TITLE SURVEY

for
HOLLYWOOD HILLS
NV5 PROJECT NO. 201900496-1
HOLLYWOOD BOULEVARD AT NORTH PARK ROAD, HOLLYWOOD, FL
33021

BASED UPON TITLE COMMITMENT NO. NCS-490213A-HOU1
 OF FIRST AMERICAN TITLE INSURANCE COMPANY
 BEARING AN EFFECTIVE DATE OF JULY 19, 2011
 AND
 PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1
 OF FIRST AMERICAN TITLE INSURANCE COMPANY
 DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019

Surveyor's Certification

To: Weingarten Realty; First American Title Insurance Company and Bock & Clark Corporation, an NV5 Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, 18, and 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 15, 2019.

PRELIMINARY 03-07-2019

RONNIE JOINER
REGISTRATION NO. 6852
IN THE STATE OF FLORIDA
DATE OF FIELD SURVEY: FEBRUARY 15, 2019
DATE OF LAST REVISION: XXXXXXXX XX, 2019
NETWORK PROJECT NO. 201900496-1 AAC

NETWORK PROJECT NO. 201900496-1 AAC SHEET 1 OF 4

Bock & Clark Corporation
an NV5 Company

Transaction Services 1-800-SURVEYS (787-8397)

3550 W. Market Street, Suite 200, Akron, Ohio 44333

www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

ITEMS CORRESPONDING TO SCHEDULE B-II

- 3
- Restrictions, dedications, conditions, reservations, easements and other matters shown on the Plat of Orangebrook Golf Estates, as recorded in Plat Book 38, Page 1. (Refers to the subject property, General survey matters, not plotted)
- 4
- Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 2880, Page 797. (As to Parcel 1) (As shown on drawing)
- 5
- Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 2946, Page 681. (As to Parcel 1) (As shown on drawing)
- 6
- Easement for Water, Sewer and Storm Drainage system reserved in Quit Claim Deed from Hollywood, Inc., a Florida corporation and Hollywood Mall, Inc., a Florida corporation to City of Hollywood, a municipal corporation of the State of Florida, recorded in Official Records Book 3379, Page 330 . (As to Parcel 1) (Blanket in Nature)
- 7
- Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 14452, Page 916. (As to Parcel 1) (As shown on drawing)
- 8
- All of the terms and provisions set forth and contained in that certain Memorandum of Lease recorded in O.R. Book 29395, Page 417. (As to Parcel 1) (Approximate area is shown on drawing)
- 9
- All of the terms and provisions set forth and contained in that certain Short Form of Lease between recorded in O.R. Book 20330, Page 453; as affected by: O.R. Book 29177, Page 852 and O.R. Book 30291, Page 914. (As to Parcel 1) (Approximate area is shown on drawing)
- 10
- The Terms, provisions and conditions contained in that certain Operation and Easement Agreement recorded in O.R. Book 20330, Page 460; as affected by: O.R. Book 29177, Page 827; O.R. Book 29860, Page 1574; and O.R. Book 30291, Page 900. (As to Parcel 1) (Approximate area is shown on drawing)
- 11
- Easements contained in that certain Memorandum of Lease(Shopping Center) recorded in O.R. Book 21399, Page 663. (As to Parcels 1 and 2) (As shown on drawing)
- 12
- The terms, provisions and conditions contained in that certain Covenant Not to Compete recorded in O.R. Book 21399, Page 668. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
- 13
- Declaration of Restrictive Covenant recorded on O.R. Book 28423, Page 946. (Refers to subject property, no plottable survey items)
- 14
- The terms, provisions and conditions contained in that certain Notice Regarding Liens recorded in O.R. Book 29745, Page 1200. (As to Parcels 1 and 2) (Blanket in Nature)
- 15
- Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 30062, Page 810. (As to Parcel 1) (As shown on drawing)
- 16
- Easements contained in that certain Memorandum of Lease recorded in O.R. Book 30799, Page 1923. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
- 17
- Reciprocal Access Easement Agreement recorded in O.R. Book 32538, Page 1560. (As to Parcels 1 and 2) (Blanket in Nature)
- 18
- Notice of Lien Prohibition recorded in O.R. Book 33289, Page 1844. (As to Parcel 1) (Blanket in Nature)
- 19
- Notice(s) of Non-Responsibility recorded in Official Records Book 39162, Page 931 and O.R. Book 39162, Page 934. (As to Parcels 1 and 2) (Blanket in Nature)

LEGEND OF SYMBOLS & ABBREVIATIONS

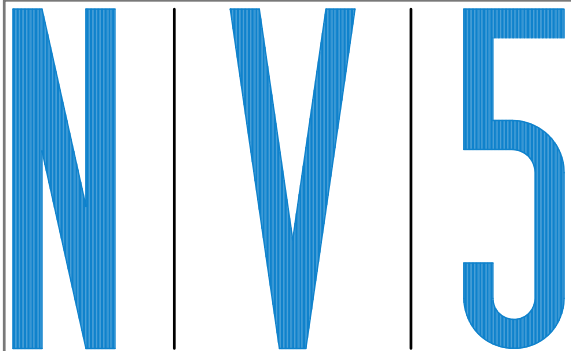
DIST	Disturbed		Fire department connection
EP	Edge of pavement		Drop inlet
IE	Invert Elevation		Storm sewer manhole
IPS	Iron pin set		Parking spaces
NIF	Now or formerly		Handicap (hc)
PB	Plat book		Clean out
PG	Page		Sanitary sewer manhole
POB	Point of Beginning		Fire hydrant
POC	Point of Commencement		Electric box
PVC	Polyvinyl chloride pipe		Grease trap
R/W	Right of way		Nail found
RBF	Rebar found		Iron pin found
RCP	Reinforced concrete pipe		Electric manhole
	Water valve		Capped 1/2\"/>
☆	Light pole		Flood line
			Building overhang/canopy
			Fence
-S	S	-S	Sanitary sewer line
-W	W	-W	Water pipe
			Adjoiner property line
			Parcel
			Right-of-way
			Easement

CURVE TABLE

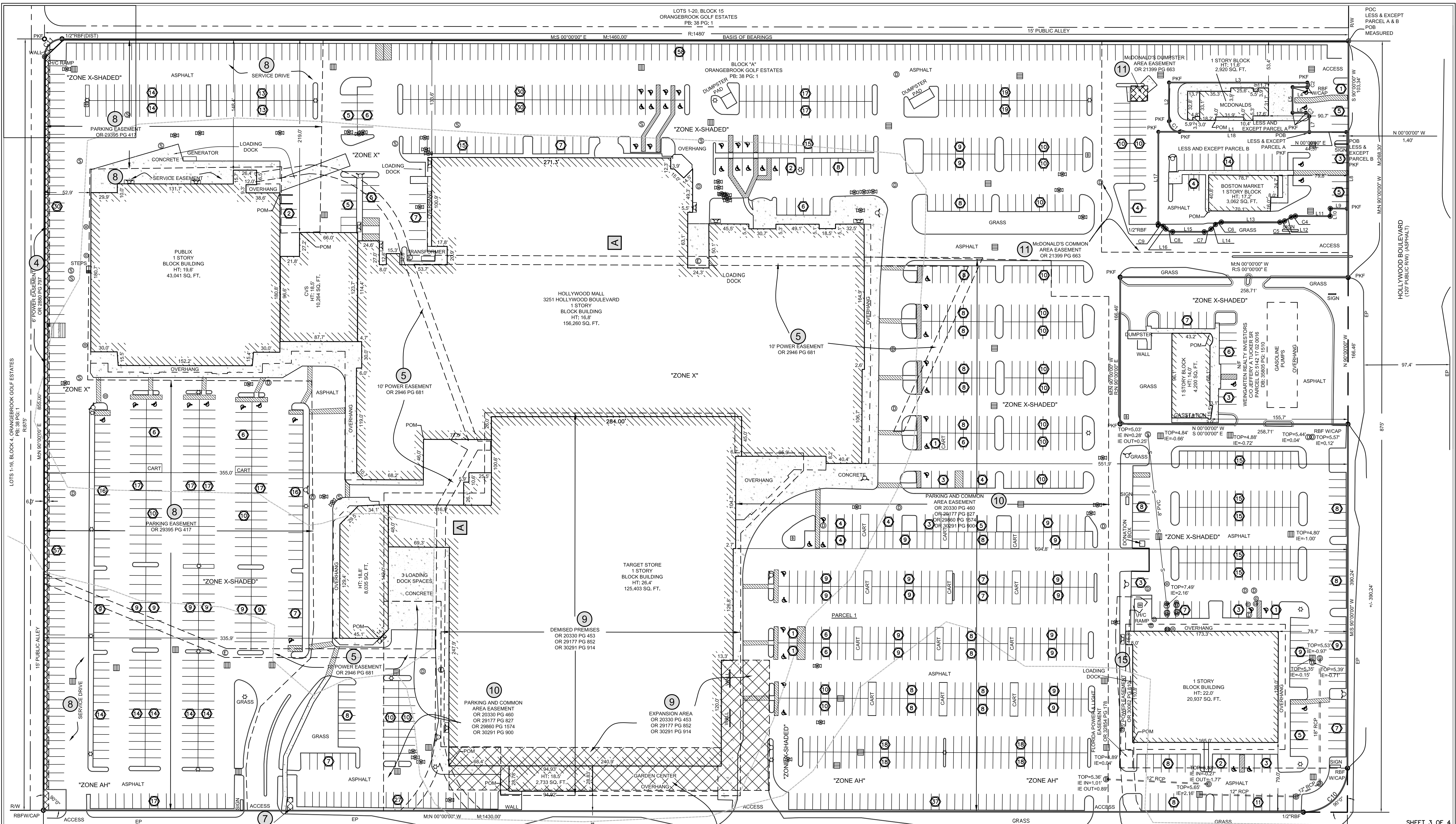
CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE
C1	18.87'	12.00'	N 45°02'34" E	16.98'	90°05'08"
C2	7.85'	2.50'	S 90°00'00" W	4.99'	180°00'00"
C3	6.22'	3.96'	S 45°00'00" W	5.60'	90°00'00"
C4	4.91'	9.33'	N 14°55'28" W	4.85'	30°09'03"
C5	5.59'	10.67'	N 15°00'00" W	5.52'	30°00'00"
C6	7.33'	9.33'	N 22°30'00" W	7.14'	45°00'00"
C7	8.38'	10.67'	N 22°30'00" W	8.17'	45°00'00"
C8	8.38'	10.67'	N 22°30'00" E	8.17'	45°00'00"
C9	6.39'	9.33'	N 25°22'49" E	6.27'	39°14'23"
C10	78.54'	50.00'	N 45°00'00" W	70.71'	90°00'00"
C11	31.42'	20.00'	S 45°00'00" E	28.28'	90°00'00"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°00'00" E	147.32'
L2	S 89°54'52" E	43.90'
L3	S 00°00'00" W	156.76'
L4	N 00°00'00" E	16.50'
L5	S 90°00'00" W	29.00'
L6	S 00°00'00" W	15.04'
L7	S 90°00'00" W	17.96'
L8	N 89°54'52" W	86.87'
L9	N 00°27'02" E	18.91'
L10	N 89°48'08" W	8.69'
L11	N 00°09'03" E	39.56'
L12	N 30°00'00" W	8.69'
L13	N 00°00'00" W	66.45'
L14	N 45°00'00" W	7.35'
L15	N 00°00'00" E	36.00'
L16	N 45°00'00" E	4.41'
L17	S 90°00'00" E	104.46'
L18	S 00°00'00" W	214.30'

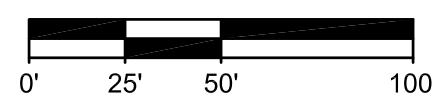


ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
HOLLYWOOD HILLS
DATE OF FIELD SURVEY: FEBRUARY 15, 2019
NETWORK PROJECT NUMBER: 20190000-00
1-(800)-SURVEYS (787-8397)
TRANSACTION SERVICES
www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com



SHEET 3 OF 4

SCALE : 1" = 50'



N V 5

ALTA/NSPS LAND TITLE SURVEY

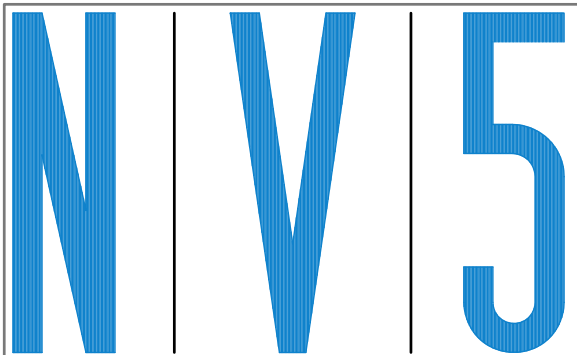
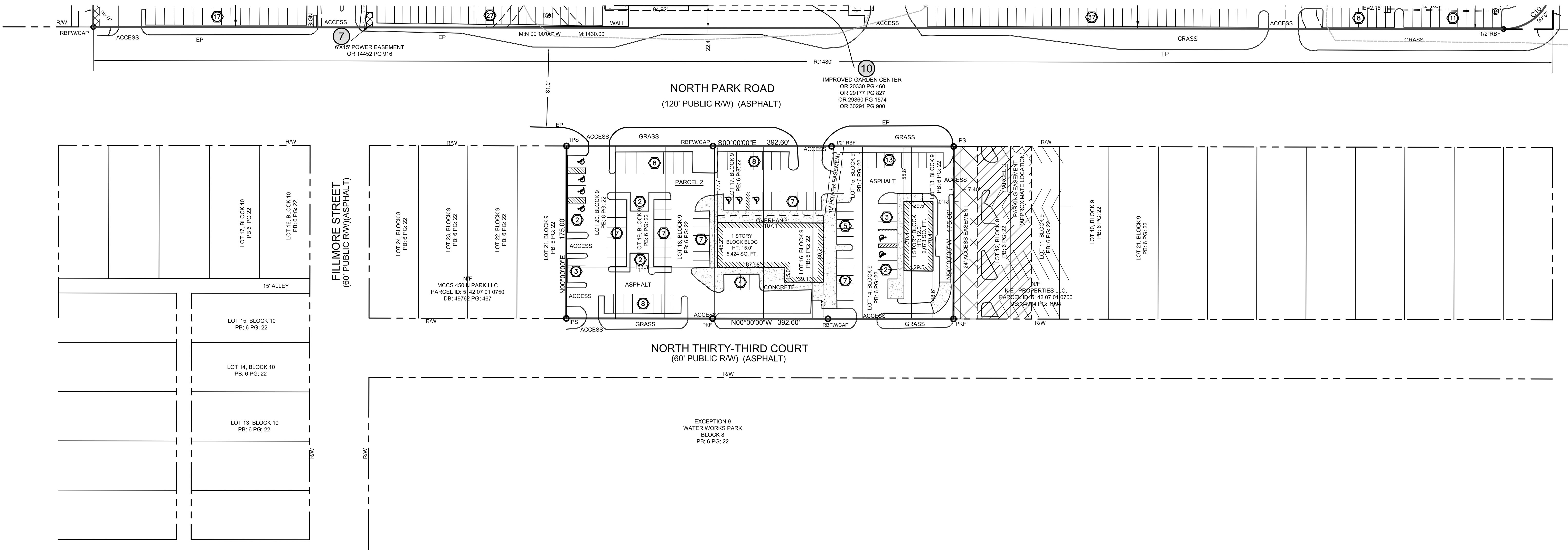
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SCALE : 1" = 50'



ALTA/NSPS LAND TITLE SURVEY
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DATE OF FIELD SURVEY: FEBRUARY 15, 2019
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ALTA/NSPS

LAND TITLE SURVEY

LEGAL DESCRIPTION:

A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK 'A'; THENCE EAST (ASSUMED BEARING), ALONG THE SOUTH LINE OF SAID BLOCK 'A' AND THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD, A DISTANCE OF 163.24 FEET TO THE POINT OF BEGINNING;

THENCE NORTH, A DISTANCE OF 258.71 FEET;
THENCE EAST, A DISTANCE OF 227.00 FEET;
THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK 'A';
THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 58,727 SQUARE FEET (1.35 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.



LOCATION MAP
NOT TO SCALE

SURVEYOR'S REPORT:

- THE LAND DESCRIPTION SHOWN HEREON WAS COMPOSED BY THE UNDERSIGNED. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON.
- THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, (NAVD88)
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BENCHMARK REFERENCE: BROWARD COUNTY ENGINEERING DEPT. BM # 2059: BRASS DISC STAMPED BM 191 1978 ON HOLLYWOOD BLVD, 278 FEET WEST OF THE WEST RR TRACK OF THE SEABOARD COASTLINE RAILROAD IN THE NORTH SIDEWALK AT THE NW CORNER OF BRIDGE OVER CANAL, 57 FEET NORTH OF ROAD CENTERLINE. ELEVATION = 5.25 (NAVD88 DATUM)
- THIS ALTA/NSPS LAND TITLE SURVEY IS A BOUNDARY SURVEY. THE EXPECTED USE OF THIS SURVEY IS:
A) LEASE PARCEL CREATION AND RECORDATION
B) CIVIL ENGINEERING DESIGN
- THIS SURVEY HAS BEEN PERFORMED ACCORDING TO THE STANDARD OF CARE TO ACHIEVE AN ACCURACY OF 1 : 10,000 (COMMERCIAL HIGH RISK) FOR MAPPED FEATURES SHOWN HEREON.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD IN FEET.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF OWNERSHIP AND ENCUMBRANCE REPORT ISSUED BY PARAMOUNT TITLE SERVICES - SEARCH NO. 18-837-5 CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR PREPSENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OR INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WESTLANDS, ROADWAYS, STREETS, PROPOSED USES, HISTORICALLY OR ARCHEOLOGICALLY SENSITIVE LANDS OR RIGHT OF ACCESS.
- NO WETLAND MARKERS WERE OBSERVED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
- WITH REGARD TO TABLE A, ITEM 11 (REFERENCED IN THE SURVEYOR'S CERTIFICATION): THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- FEMA FLOOD INSURANCE RATE MAP:
FANEL NUMBER 12011C0568 H
CITY OF HOLLYWOOD 125113
FLOOD ZONE FOR THIS PROPERTY: ZONE X
MAP DATE: 8-18-2014
- GROSS AREA (TO CENTERLINE) = 72,347 SQ. FT., 1.66 ACRES (+/-)
- NET AREA (LESS RIGHT-OF-WAY) = 58,727 SQ. FT., 1.35 ACRES (+/-)
- ALL MEASUREMENTS, ELEVATIONS AND FEATURES SHOWN WERE SURVEYED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
- THE WORD "CERTIFY" ON THIS SURVEY IS REPRESENTED TO BE A PROFESSIONAL OPINION OF THE UNDERSIGNED, AND NOT AN EXPRESSION OF WARRANTY OR GUARANTEE.

CERTIFICATION:

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11 (LIMITED), 13, 14, 16 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2018

SUMMARY TABLE OF ENCUMBRANCES

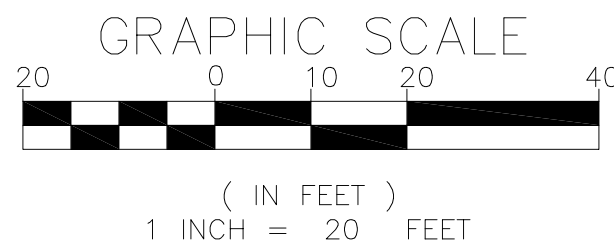
FROM OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PARAMOUNT TITLE SERVICES, INC. - SEARCH NO. 18-837-5

CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018

- EASEMENTS, RESTRICTIONS - PLAT OF ORANGEBROOK GOLF ESTATES P.B.38, PG. 1, B.C.R.
COMMENT: PLAT CONDITIONS SHOWN HEREON.
- EASEMENT: HOLLYWOOD MALL TO F.P.L. - ORB 2946, PG. 681
COMMENT: DOES NOT AFFECT THIS PROPERTY
- QUIT CLAIM DEED - HOLLYWOOD, INC. TO CITY - SEWER, WATER & DRAINAGE SYSTEMS - ORB 3379, PG. 330, B.C.R.
COMMENT: AFFECTS THIS PROPERTY* *(THIS SURVEY)
- OPERATION/EASEMENT AGREEMENT - ORB 20330, PG. 460, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE REGARDING LIENS: ORB 29745, PG. 1200, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- FIRST AMENDMENT TO OPERATION & EASEMENT AGREEMENT - ORB 29860, PG. 827, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*
- EASEMENT - SREG HOLLYWOOD HILLS TO F.P.L. - ORB 30062, PG. 810, B.C.R.
COMMENT: AFFECTS THIS PROPERTY* - SHOWN HEREON
- SECOND AMENDMENT TO OPERATION AND EASEMENT AGREEMENT - ORB 30291, PG. 900, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*
- RECIPROCAL ACCESS EASEMENT AGREEMENT - ORB 32538, PG. 1560
COMMENT: DOES NOT AFFECT THIS PROPERTY*
- NOTICE OF LIEN PROHIBITION - ORB 33289 PG. 1844, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE OF NON-RESPONSIBILITY - ORB 39162 PG.934, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE OF NON-RESPONSIBILITY - ORB 47013 PG. 782, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- NOTICE OF NON-RESPONSIBILITY - ORB 47013, PG. 785, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- MORTGAGE/SECURITY AGREEMENT - CFN 113602460, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- ASSIGNMENT OF RENTS - CFN 113602461, B.C.R.
COMMENT: AFFECTS THIS PROPERTY*
- SUBORDINATION, NONDISTURBANCE AGREEMENT - CFN 113873331, B.C.R.
COMMENT: DOES NOT AFFECT THIS PROPERTY*

		REVISION	DATE	BY	ALTA/NSPS LAND TITLE SURVEY			STEPHEN K. SEELEY, FOR THE FIRM PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 4574	GIBBS LAND SURVEYORS 2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018
					JOB #:RN8823	DATE:08-30-18	DRAWN BY:CM		
					SCALE: 1"=20'	SHEET 1 OF 2	CHECKED BY: SKS		
					NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER				

ALTA/NSPS LAND TITLE SURVEY



LEGAL DESCRIPTION:

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BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.

ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE & SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK OPERATIONS

Call 48 hours
before you dig

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LEGEND

- | | |
|--|-----------------------|
| | ELECTRIC BOX |
| | BACKFLOW PREVENTOR |
| | SIAMESE CONNECTION |
| | BOLLARD |
| | METAL LIGHT POLE |
| | GATE VALVE |
| | WATER METER |
| | FIRE HYDRANT ASSEMBLY |
| | MANHOLE - SEE SURVEY |
| | CATCH BASIN |
| | WOOD POWER POLE |
| | CONCRETE POWER POLE |
| | ANCHOR/GUY WIRE |
| | CONCRETE LIGHT POLE |
| | TRAFFIC SIGN POST |
| | CLEANOUT |
| | WOOD FENCE |
| | METAL HAND RAIL |
| | CONCRETE WALL |
| | BURIED TELEPHONE |
| | WATER LINE |
| | SANITARY SEWER |
| | CENTERLINE |
| | RIGHT-OF-WAY LINE |
| | TREE |
| | BUSH |
| | HEDGE |
| | PALM |

NOTES

- 1) THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
- 2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- 4) NORTH ARROW RELATIVE IS RELATIVE TO GRID BEARINGS.
- 5) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

A PORTION OF
BLOCK "A"
ORANGEBROOK GOLF ESTATES
PLAT BOOK 38, PAGE 1
BROWARD COUNTY RECORDS

NOT A PART OF THIS SURVEY

POINT OF COMMENCEMENT
SOUTHERNMOST SOUTHWEST CORNER
OF BLOCK 'A'
ORANGEBROOK GOLF ESTATES
PLAT BOOK 38, PG. 1, B.C.R.

FOUND 5/8"
IRON ROD
CAP NO I.D.

POINT OF
BEGINNING

MAHOLE DRAINAGE
RIM ELEVATION=5.41
FULL OF DEBRIS
MAHOLE DRAINAGE
RIM ELEVATION=5.55
NORTH INVERT=NOT ACCESSIBLE BAFFLE
WEST INVERT=NOT ACCESSIBLE BAFFLE

CATCH BASIN
RIM ELEVATION=5.37
EAST INVERT (12")=1.47
SOUTH INVERT (18")=1.47

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RIM ELEVATION=5.41
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REVISION

DATE

BY

ALTA/NSPS
LAND TITLE SURVEY

JOB #:RN8823

DATE:08-30-18

DRAWN BY:CM

SCALE: 1"=20'

SHEET 2 OF 2

CHECKED BY: SKS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN K. SEELEY, FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4574

GIBBS LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018

3253 HOLLYWOOD BLVD
FOLIO# 514217020016

A PORTION OF BLOCK "A"

ONE STORY BUILDING
FIRST FLOOR=6.15

SOUTH 258.71'

CONCRETE WALK

CONCRETE PARKING

CONCRETE DRIVEWAY

ASPHALT DRIVEWAY

NO PARKING

10' OAK

10' OAK

10' OAK

10' OAK

10' OAK

10' OAK

10' OAK

10' OAK

10' OAK

10' OAK

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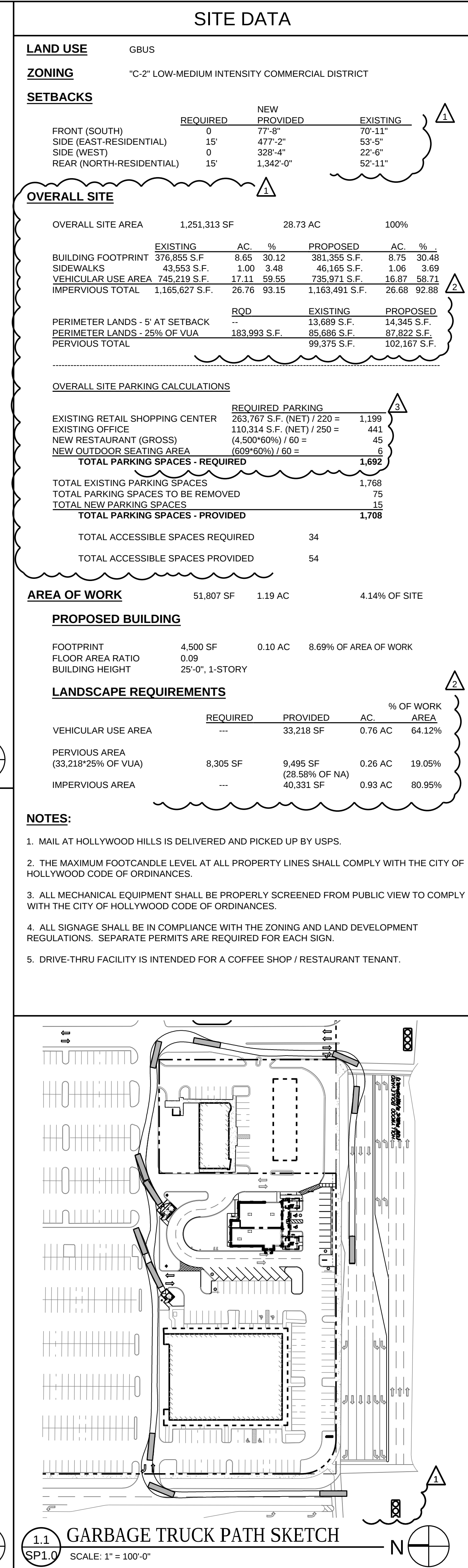
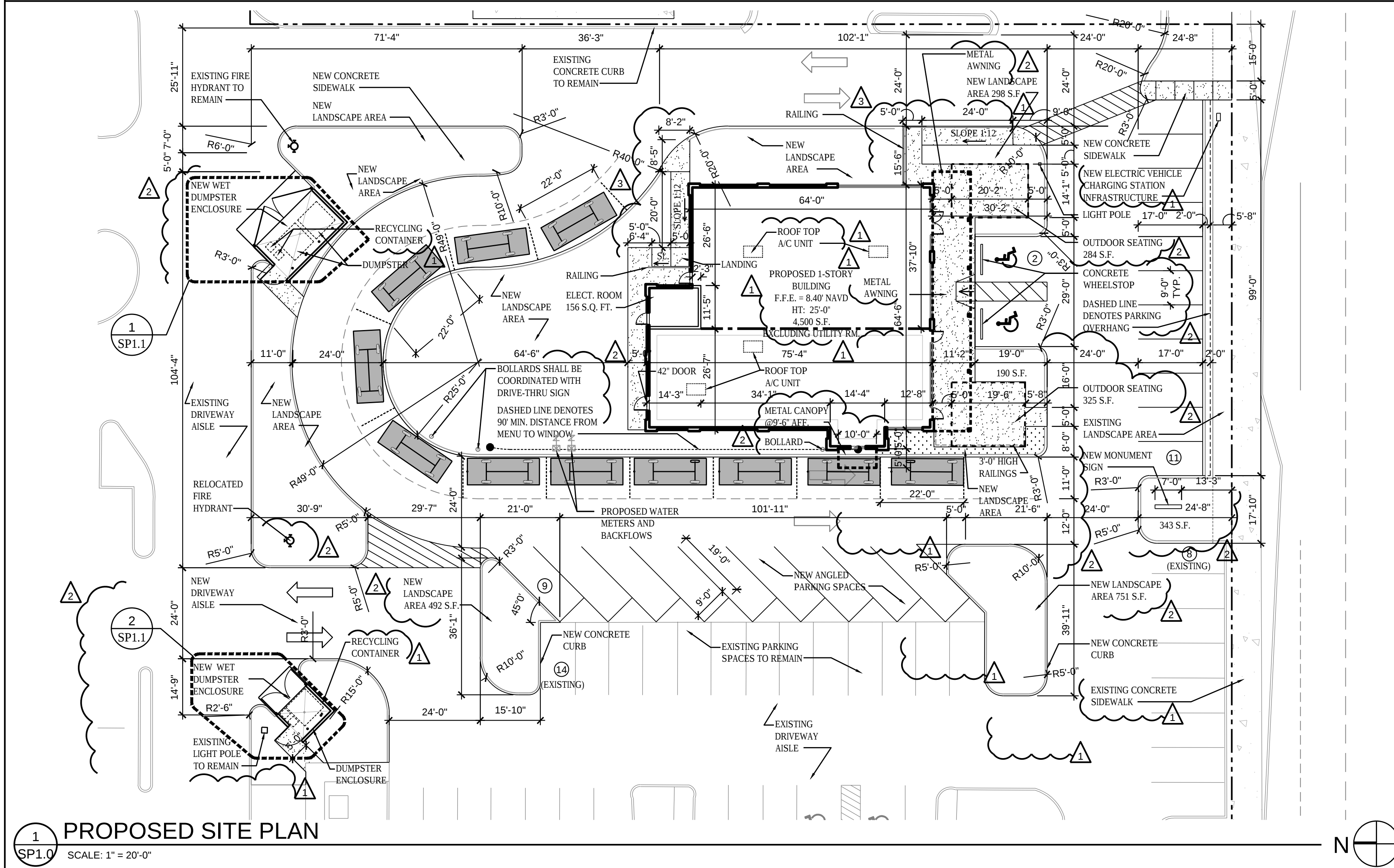
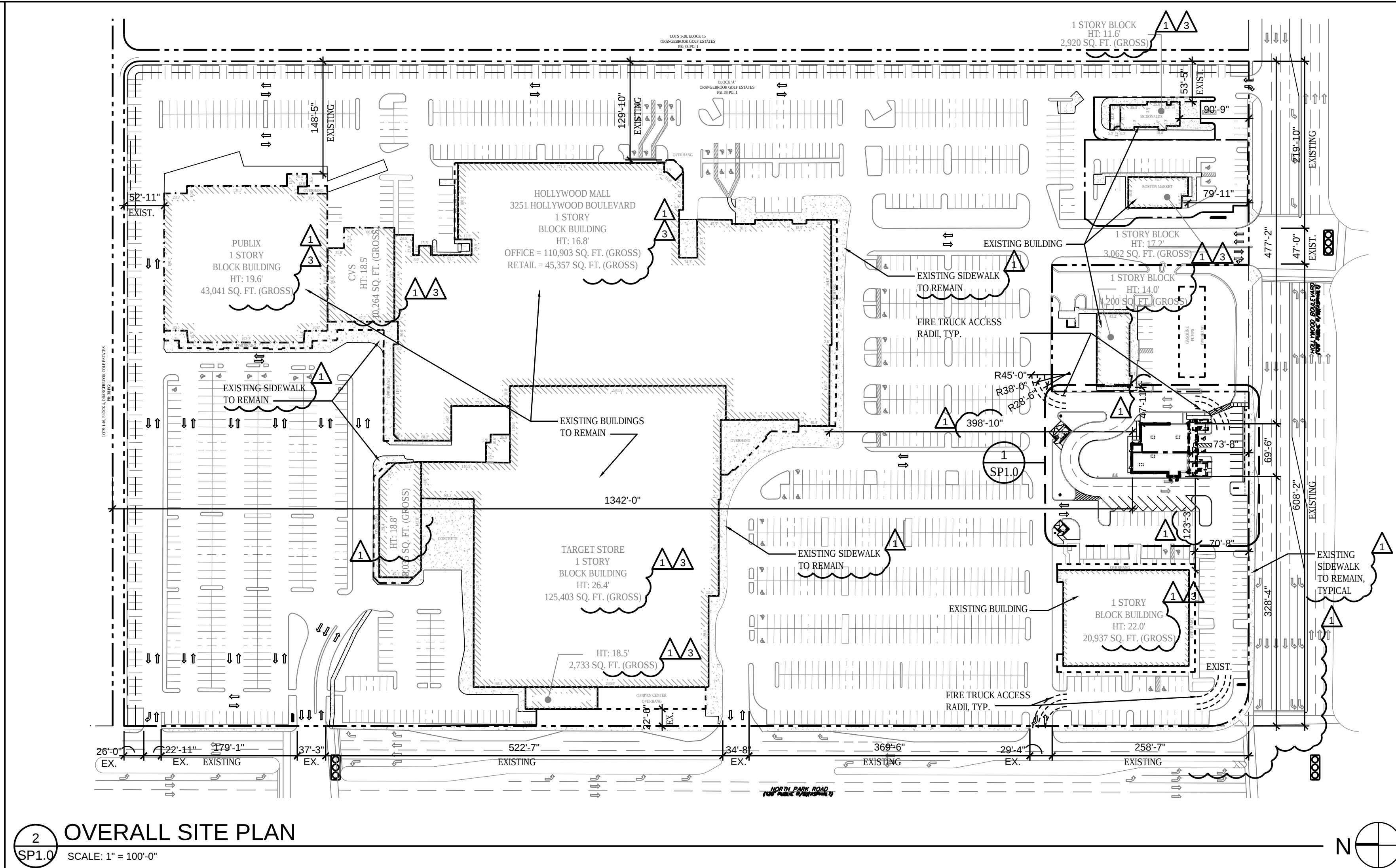
10' OAK

10' OAK

10' OAK

10' OAK

10' OAK



SITE DATA

LAND USE	GBUS				
ZONING "C-2" LOW-MEDIUM INTENSITY COMMERCIAL DISTRICT					
SETBACKS					
	REQUIRED	NEW PROVIDED	EXISTING		
FRONT (SOUTH)	0	77'-8"	70'-11"		
SIDE (EAST-RESIDENTIAL)	15'	477'-2"	53'-5"		
SIDE (WEST)	0	328'-4"	22'-8"		
REAR (NORTH-RESIDENTIAL)	15'	1,342'-0"	52'-11"		

OVERALL SITE

OVERALL SITE AREA	1,251,313 SF	28.73 AC	100%			
BUILDING FOOTPRINT	376,855 S.F.	8.65	30.12	381,355 S.F.	8.75	30.48
SIDEWALKS	43,553 S.F.	1.00	3.48	46,165 S.F.	1.06	3.69
VEHICULAR USE AREA	745,219 S.F.	17.11	59.55	735,971 S.F.	16.87	59.71
IMPERVIOUS TOTAL	1,165,627 S.F.	26.76	93.15	1,163,491 S.F.	26.68	92.88
		RQD		EXISTING		PROPOSED
PERIMETER LANDS - 5' AT SETBACK	--	--		13,689 S.F.	14,345 S.F.	
PERIMETER LANDS - 25% OF VUA	183,993 S.F.			85,686 S.F.	87,822 S.F.	
PERVIOUS TOTAL				99,375 S.F.	102,167 S.F.	

OVERALL SITE PARKING CALCULATIONS

	REQUIRED PARKING	
EXISTING RETAIL SHOPPING CENTER	253,767 S.F. (NET) / 220 =	1,199
EXISTING OFFICE	110,314 S.F. (NET) / 250 =	441
NEW RESTAURANT (GROSS)	(4,500'60%) / 60 =	45
NEW OUTDOOR SEATING AREA	(609'60%) / 60 =	6
TOTAL PARKING SPACES - REQUIRED		1,692
TOTAL EXISTING PARKING SPACES		1,768
TOTAL PARKING SPACES TO BE REMOVED		75
TOTAL NEW PARKING SPACES		15
TOTAL PARKING SPACES - PROVIDED		1,708
TOTAL ACCESSIBLE SPACES REQUIRED		34
TOTAL ACCESSIBLE SPACES PROVIDED		54

AREA OF WORK

51.80 SF 1.19 AC 4.14% OF SITE

PROPOSED BUILDING

FLOORPRINT	4,500 SF	0.10 AC	8.69% OF AREA OF WORK
FLOOR AREA RATIO	0.09		
BUILDING HEIGHT	25'-0", 1-STORY		

LANDSCAPE REQUIREMENTS

	REQUIRED	PROVIDED	AC.	% OF WORK AREA
VEHICULAR USE AREA	---	33,218 SF	0.76 AC	64.12%
PERVIOUS AREA (33.218'25% OF VUA)	8,305 SF	9,495 SF (28.58% OF NA)	0.26 AC	19.05%
IMPERVIOUS AREA	---	40,331 SE	0.93 AC	80.95%

**HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
3255 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA**

3255 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA

SALTZ MICHELSON
ARCHITECTS

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:
2016-109
Drawn By:
MG
Checked By:
MA
Date:
03/30/18

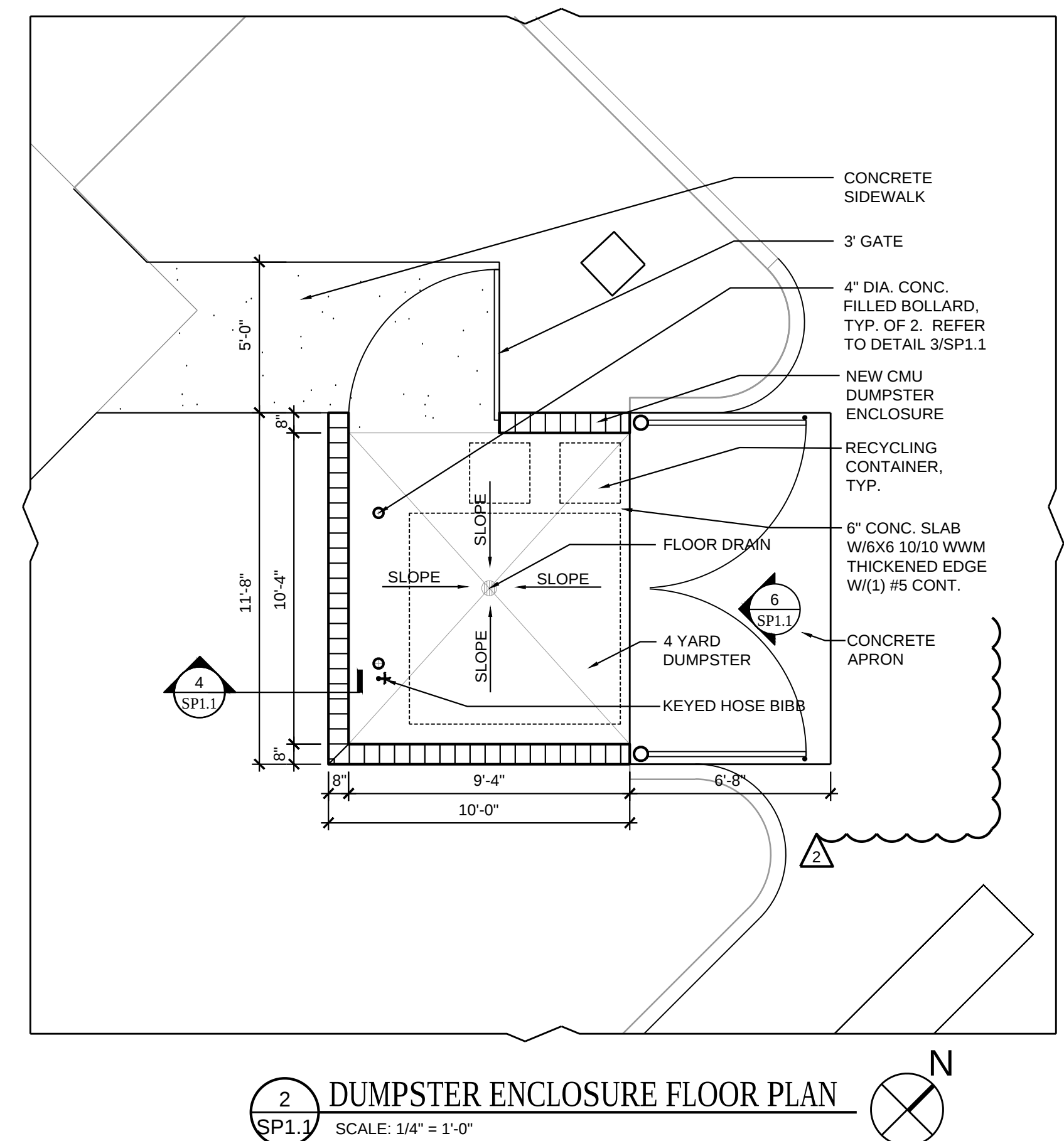
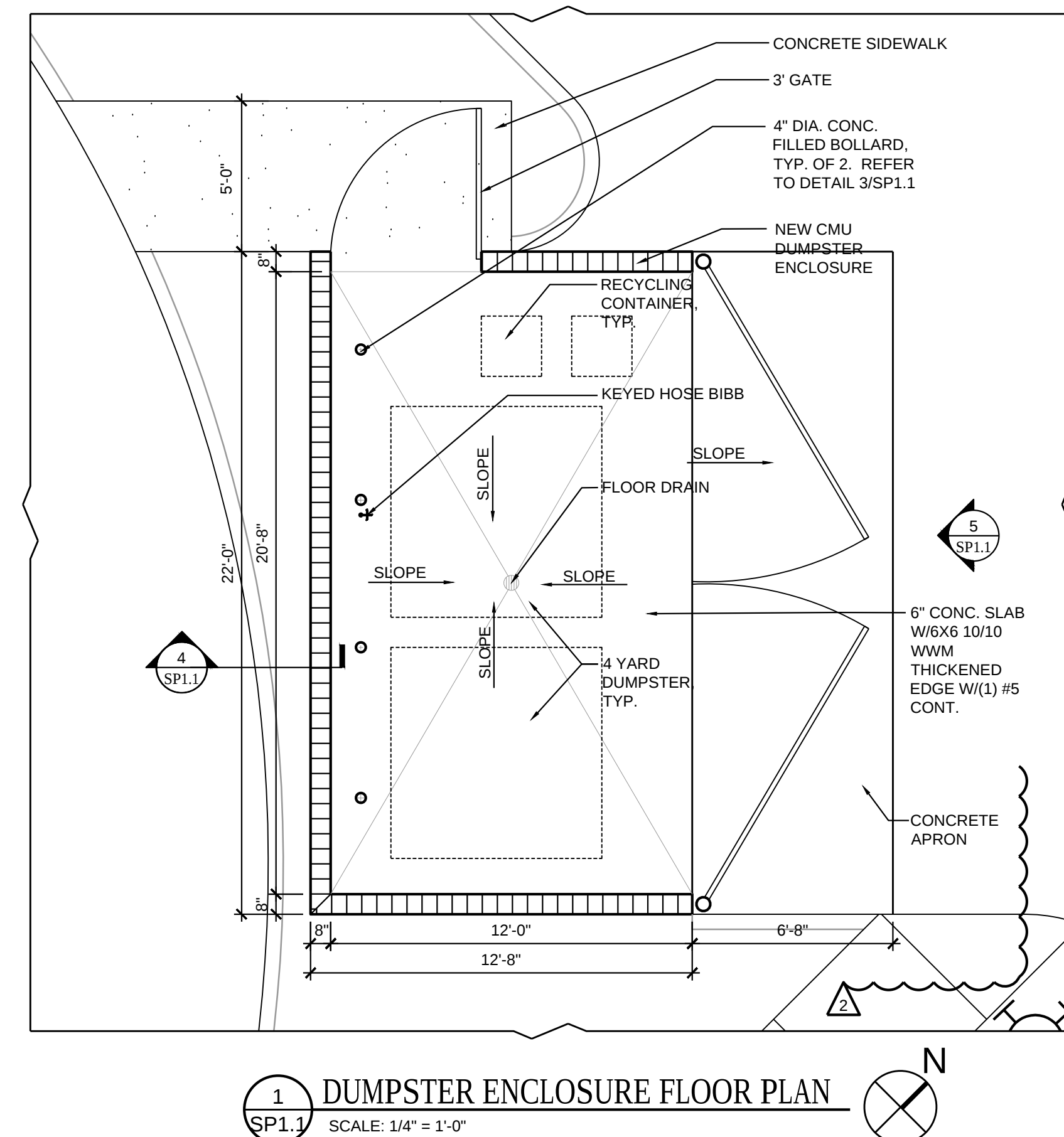
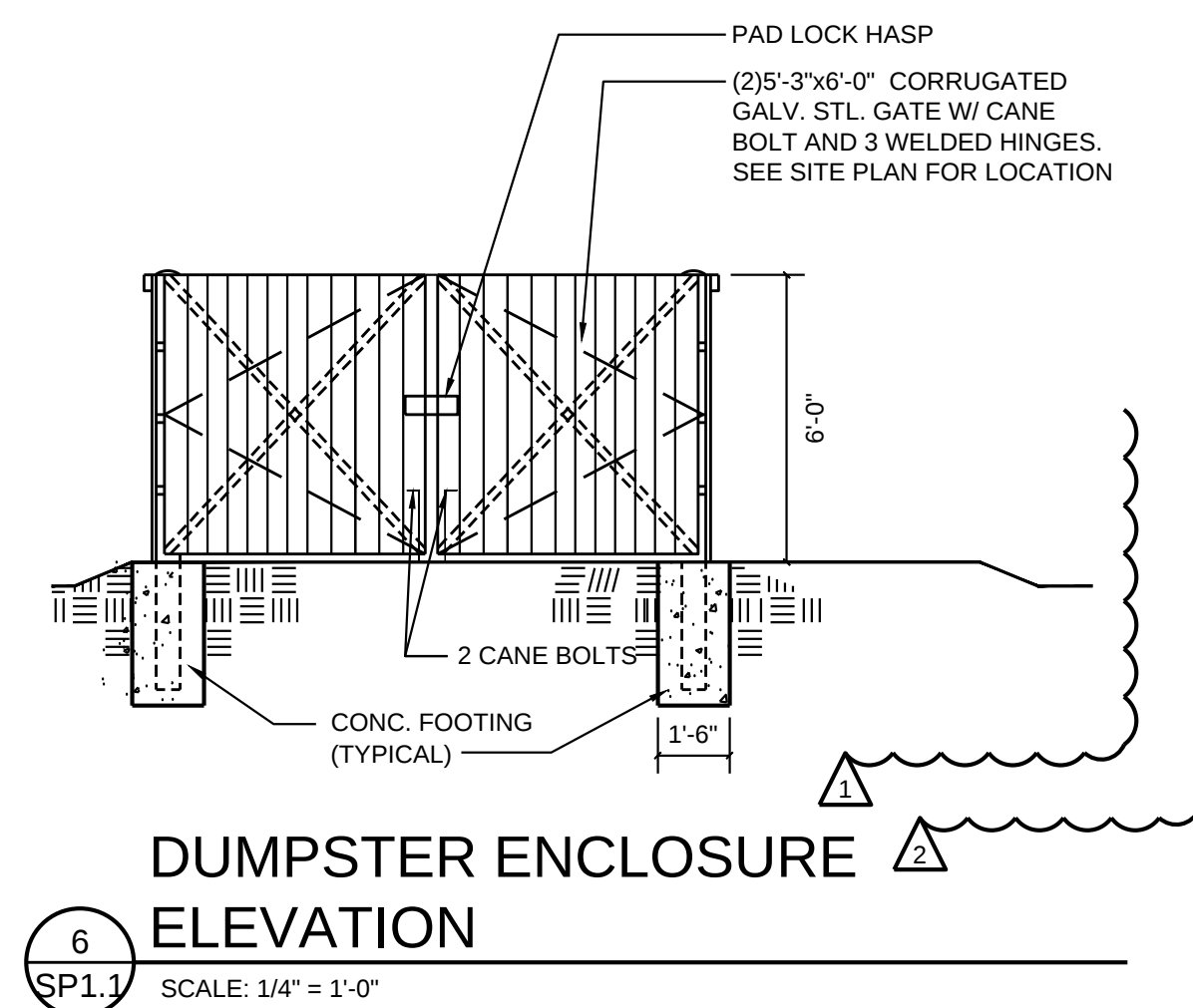
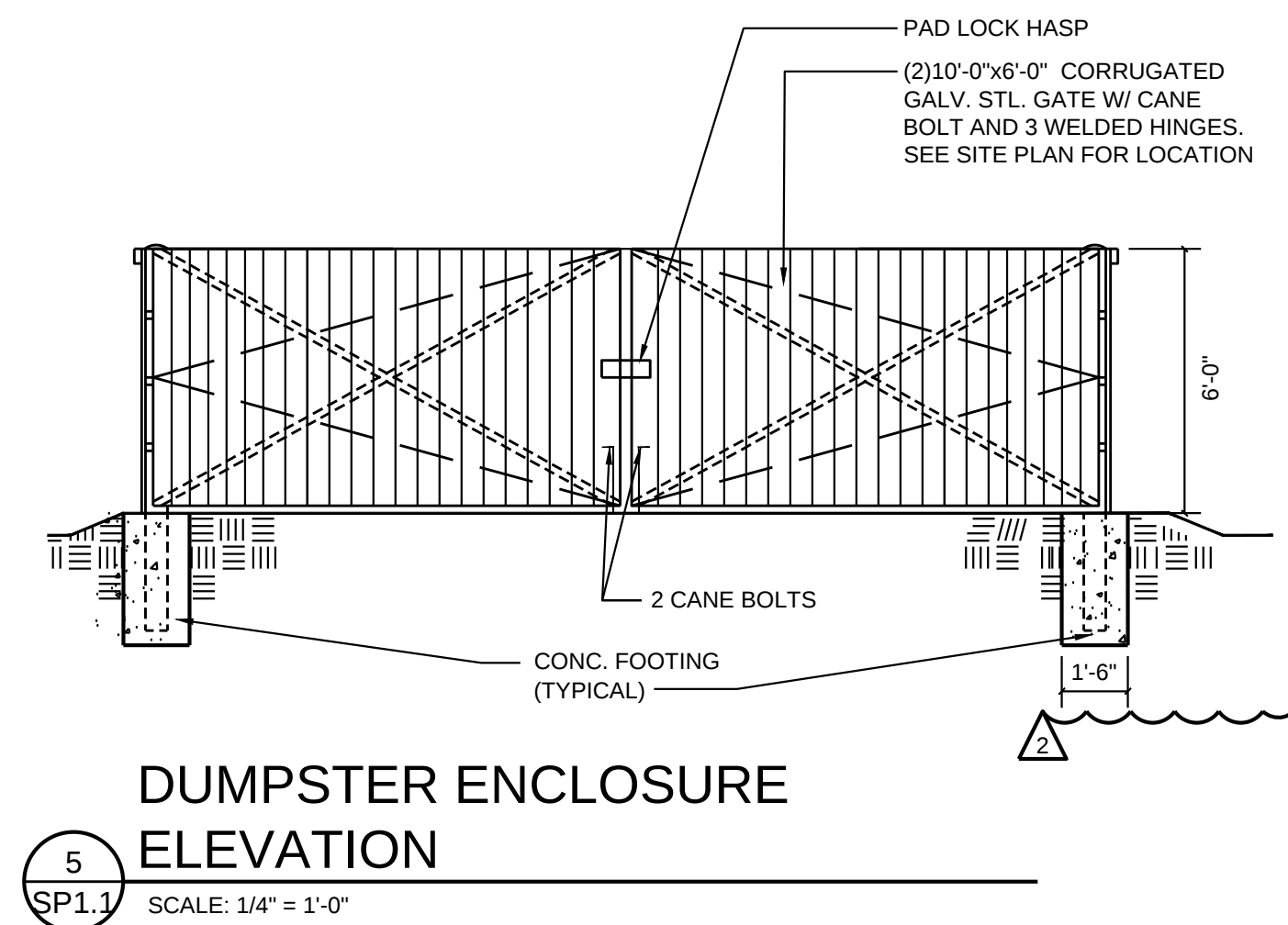
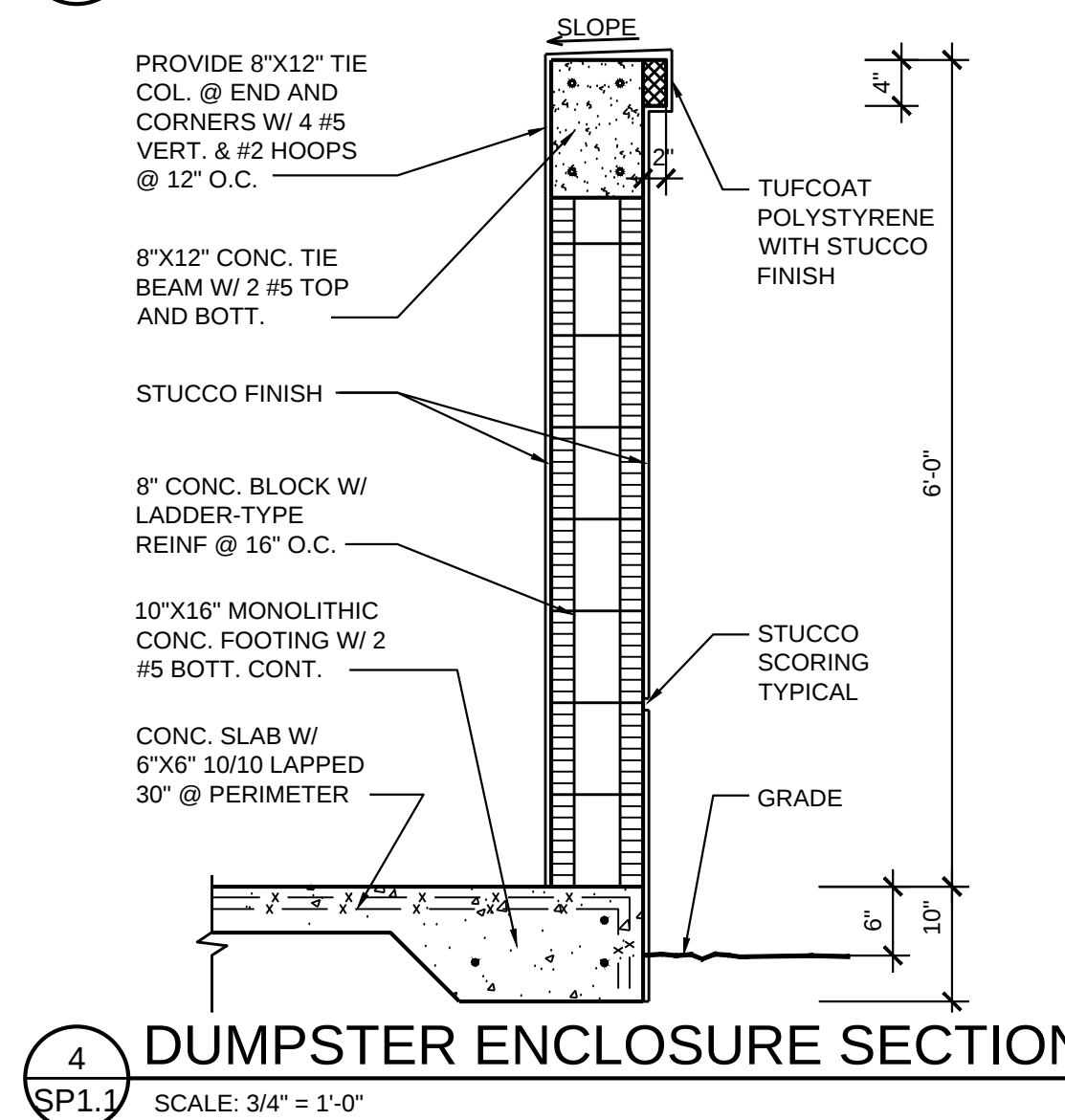
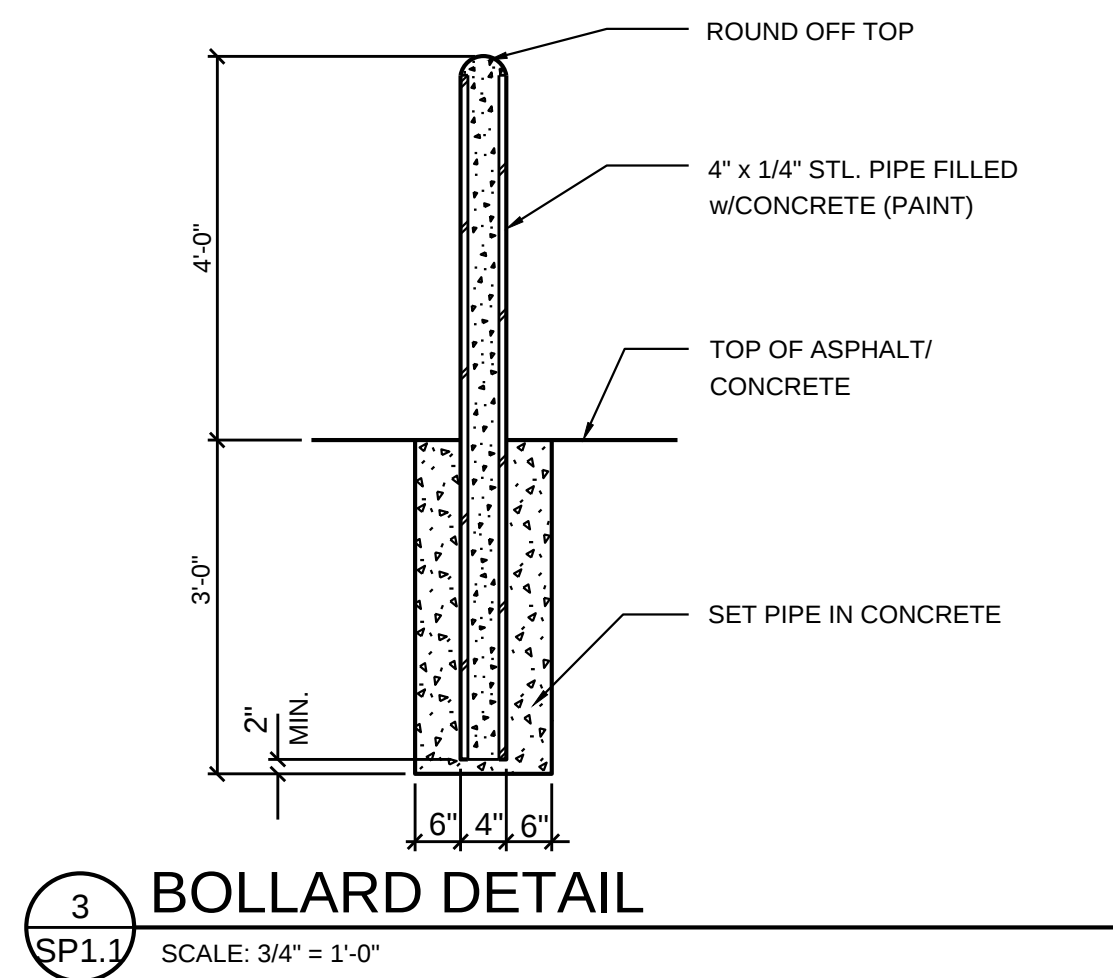
REVISIONS

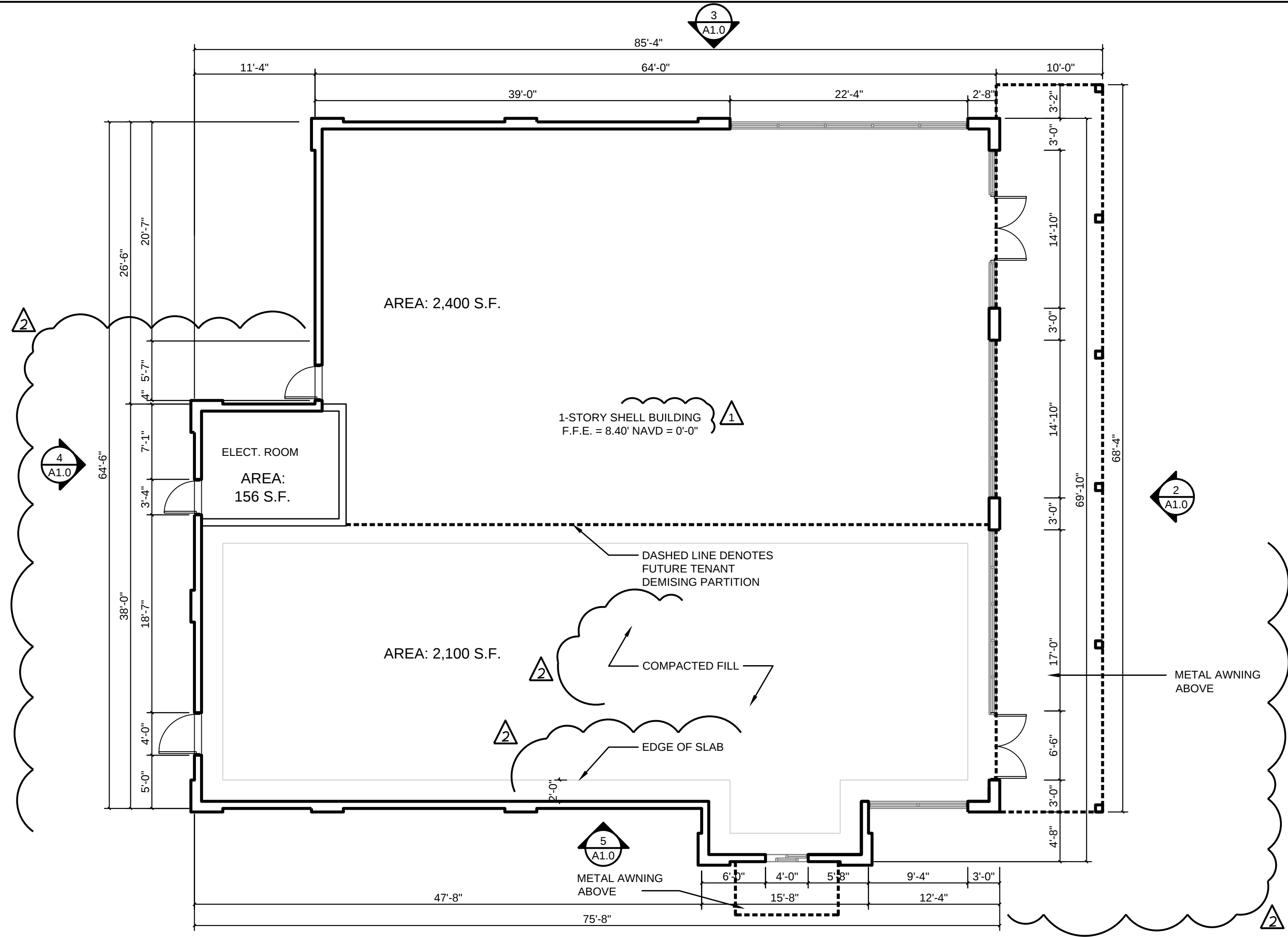
- 1 TAC COMM 01.07.19
- 2 TAC COMM 03.18.19

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NEW SHEET

SP1.1





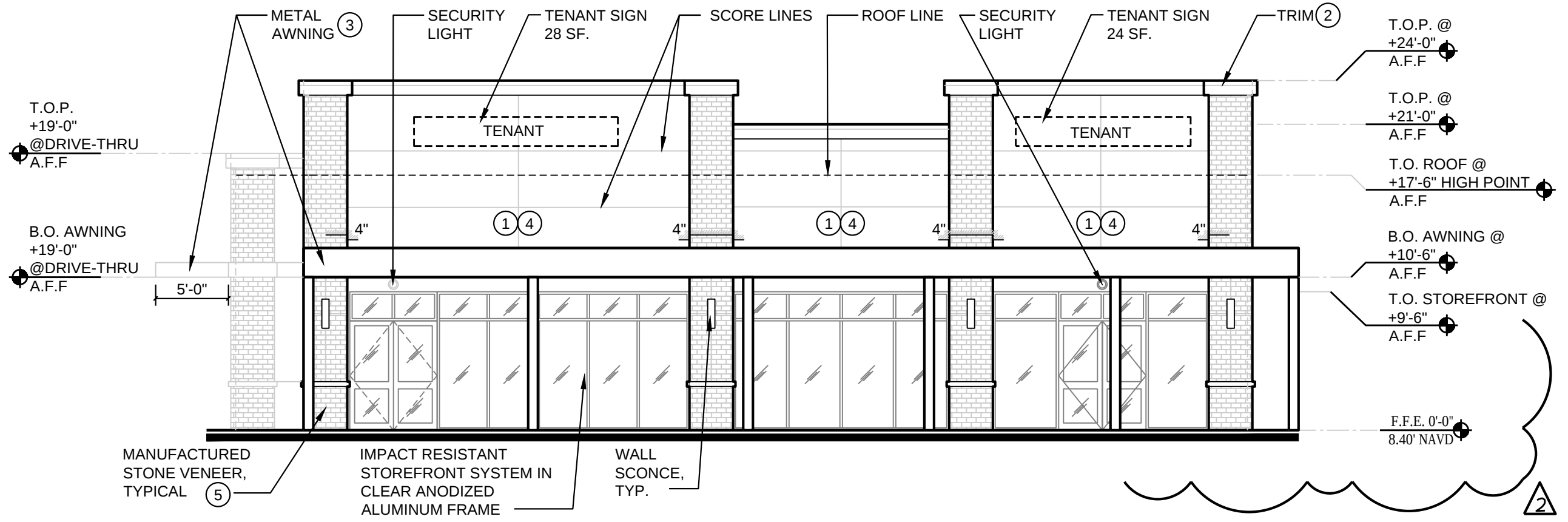
NOTE: SIGN AREA IS BASED ON 1 S.F. PER 1 L.F. OF TENANT'S FRONTAGE PER THE CITY OF HOLLYWOOD SIGN ORDINANCE, AND ONLY ONE SIGN IS ALLOWED PER STREET SIDE.

COLOR AND FINISHES LEGEND		
①	MANUFACTURER: NAME: COLOR:	SHERWIN WILLIAMS IVORY LACE SW 7013
②	MANUFACTURER: NAME: COLOR:	SHERWIN WILLIAMS LATTE SW 6108
③	METAL AWNING	COLOR TO MATCH CLEAR ANODIZED ALUMINUM
④	LIGHT LACE STUCCO FINISH	
⑤	MANUFACTURER: NAME: COLOR:	CORONADO STONE OLD WORLD LEDGE BURNT OAK

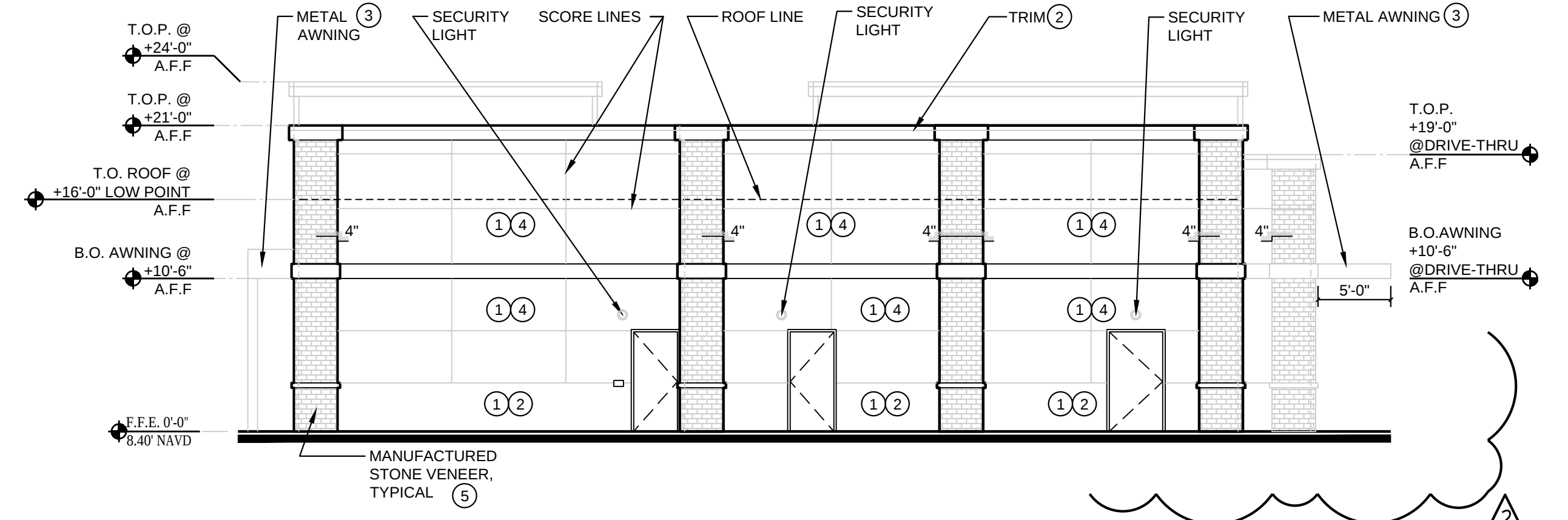
GREEN BUILDING INITIATIVES NOTES

1. RECYCLE MATERIALS FROM DEMOLITION OF THE PARKING AREA AND CONSTRUCTION WASTE TO THE GREATEST EXTENT POSSIBLE.
2. USE LOW VOC MATERIALS.
3. AN EFFORT WILL BE MADE TO INCORPORATE SUSTAINABLE BUILDING MATERIALS TO THE PROJECT
4. BUILDING SHALL COMPLY WITH THE GREEN BUILDING ORDINANCE BY INCORPORATING THE FOLLOWING GREEN BUILDING PRACTICES: 1. BIKE RACK; 2. INFRASTRUCTURE FOR ELECTRIC VEHICLE; 3. RECYCLING BINS; 4. WHITE TPO ROOF; 5. CENTRAL A/C 18 SEER MINIMUM; 6. ENERGY EFFICIENT WINDOWS; 7. ENERGY EFFICIENT DOORS; 8. PROGRAMMABLE THERMOSTATS; 9. OCCUPANCY / VACANCY SENSORS; 10. ALL ENERGY EFFICIENT OUTDOOR LIGHTING

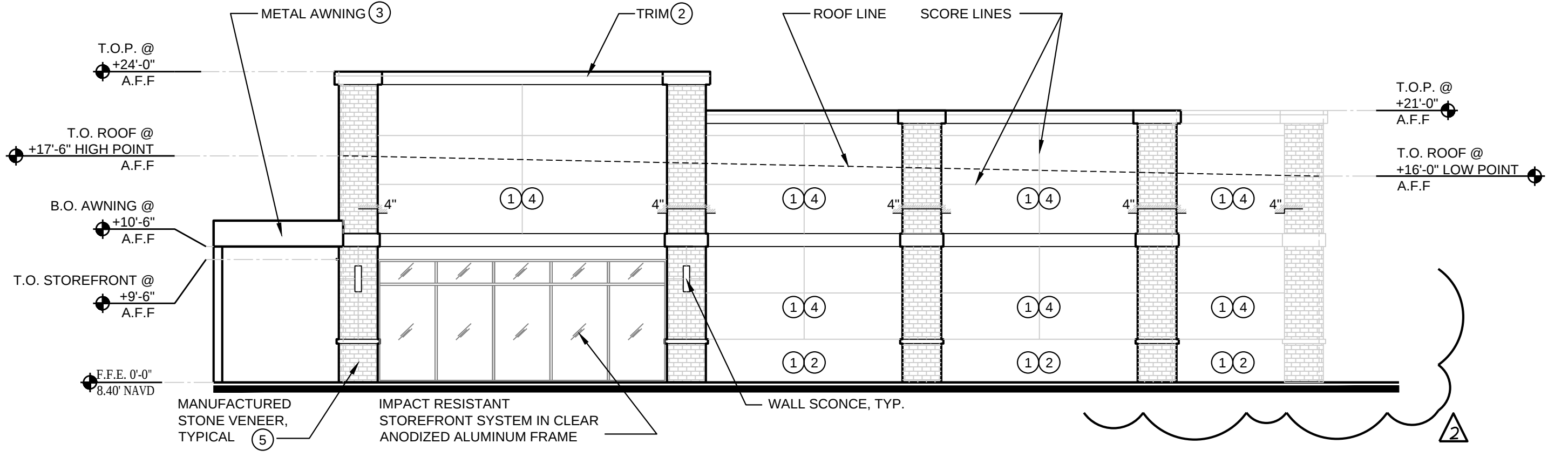
① FLOOR PLAN
A1.0 SCALE: 1/8" = 1'-0"



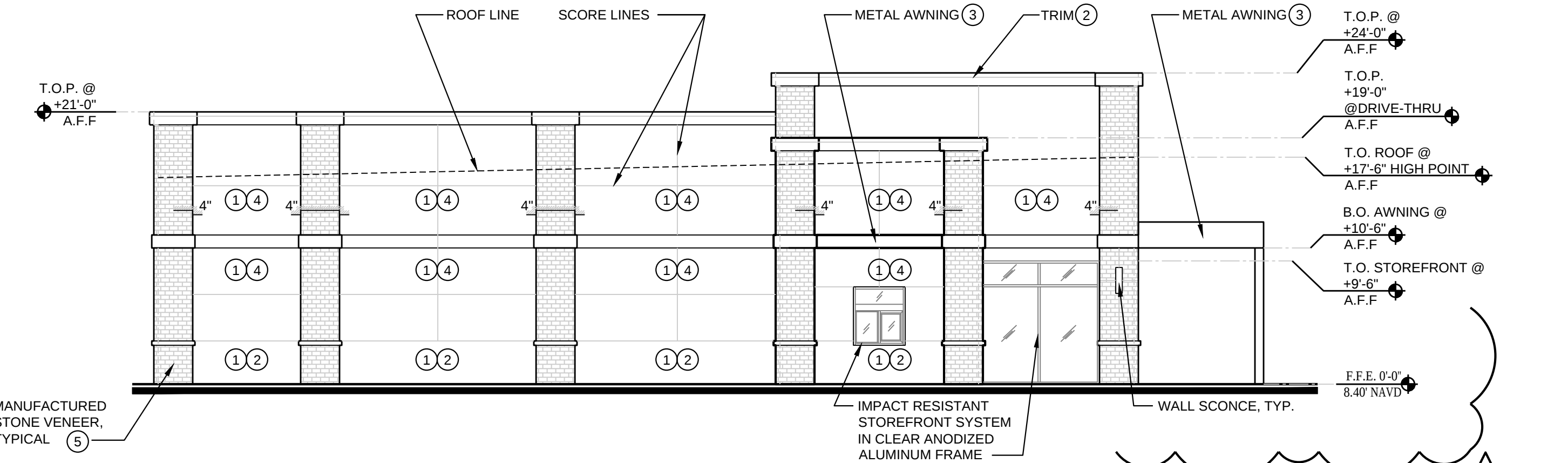
② SOUTH ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



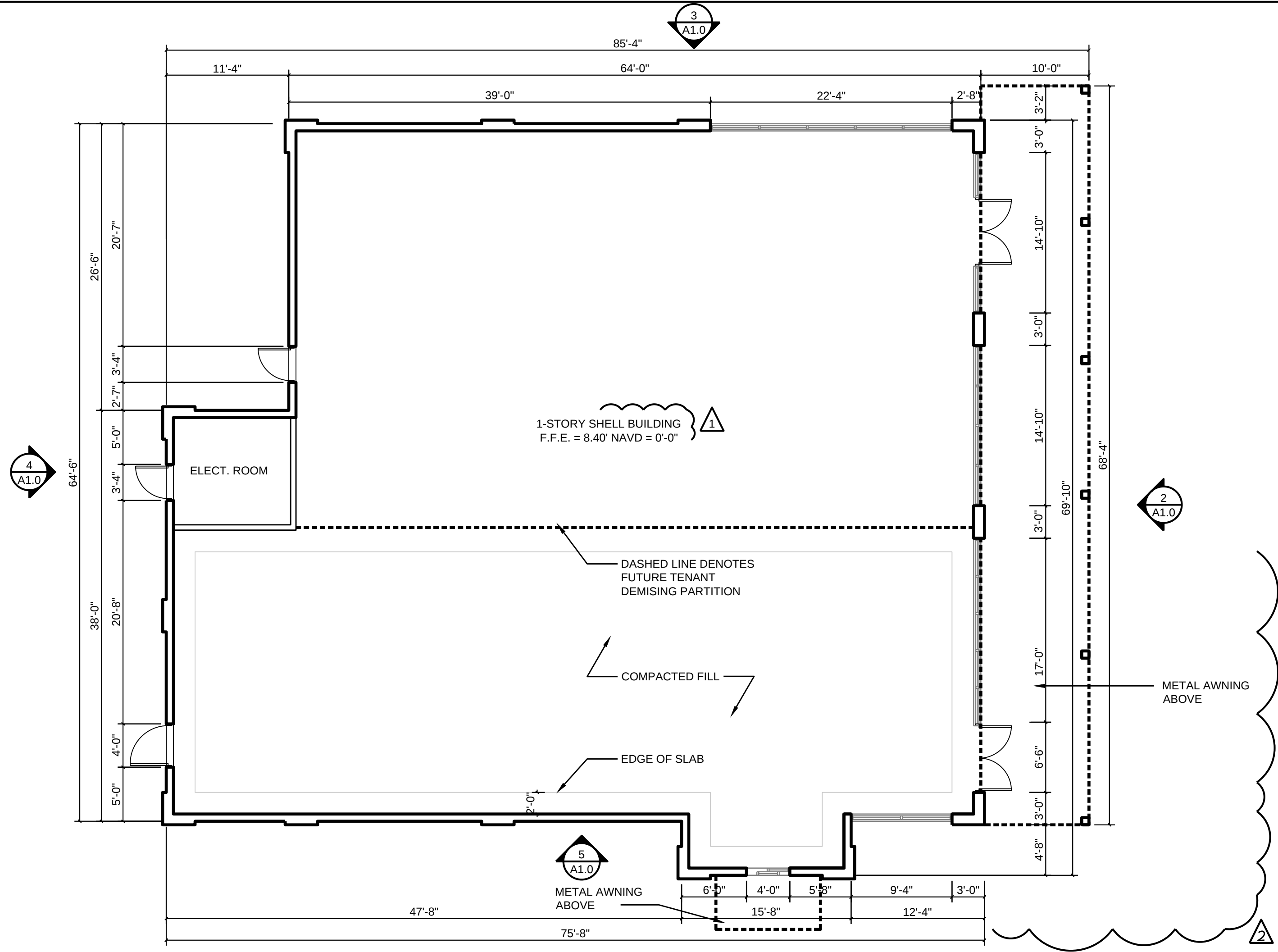
④ NORTH ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



③ EAST ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



⑤ WEST ELEVATION
A1.0 SCALE: 1/8" = 1'-0"



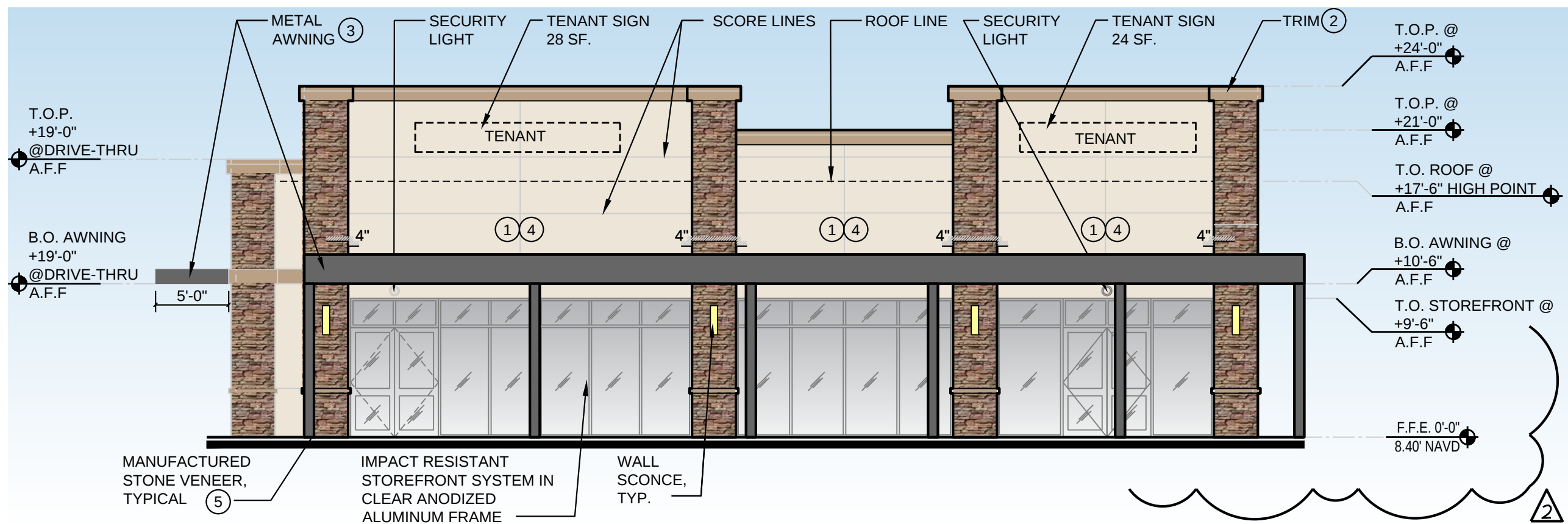
NOTE: SIGN AREA IS BASED ON 1 S.F. PER 1 L.F. OF TENANT'S FRONTAGE PER THE CITY OF HOLLYWOOD SIGN ORDINANCE, AND ONLY ONE SIGN IS ALLOWED PER STREET SIDE.

COLOR AND FINISHES LEGEND	
① MANUFACTURER:	SHERWIN WILLIAMS
NAME:	IVORY LACE
COLOR:	SW 7013
② MANUFACTURER:	SHERWIN WILLIAMS
NAME:	LATTE
COLOR:	SW 6108
③ METAL AWNING	COLOR TO MATCH CLEAR ANODIZED ALUMINUM
④ LIGHT LACE STUCCO FINISH	
⑤ MANUFACTURER:	CORONADO STONE
NAME:	OLD WORLD LEDGE
COLOR:	BURNT OAK

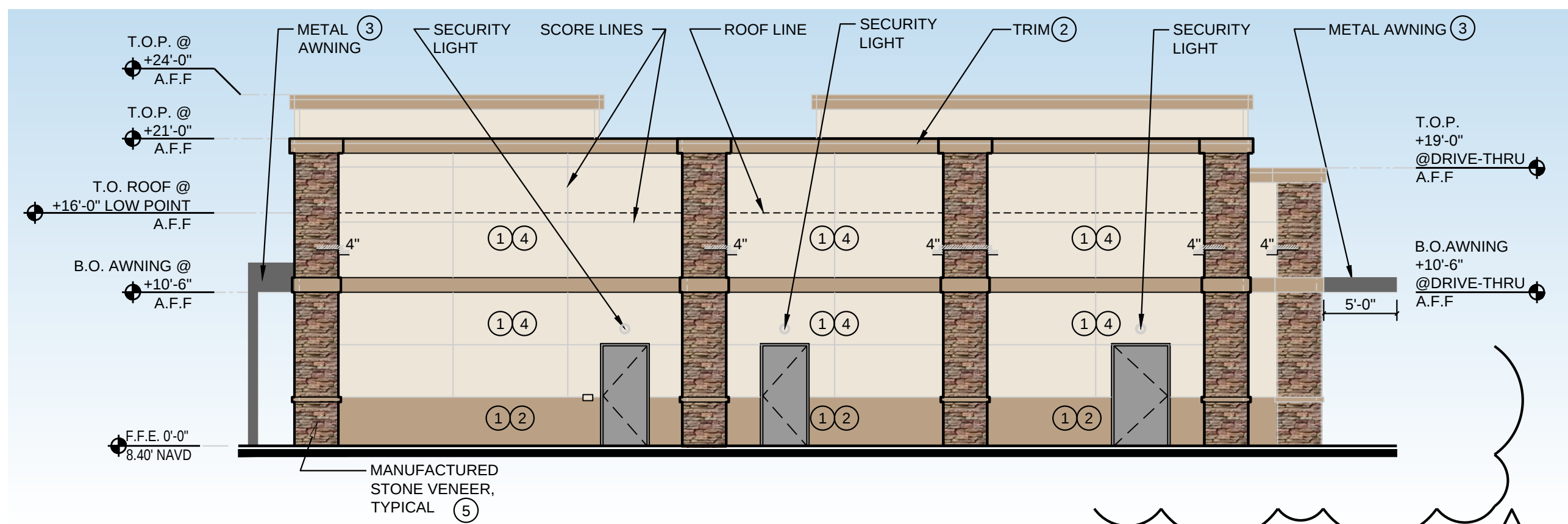
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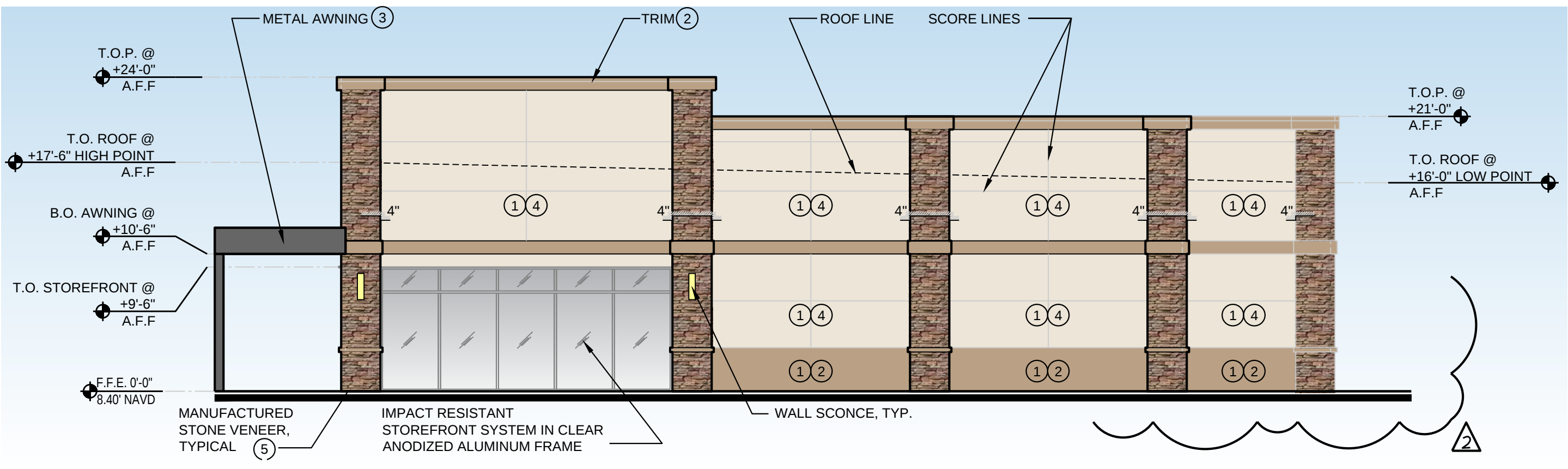
① FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"



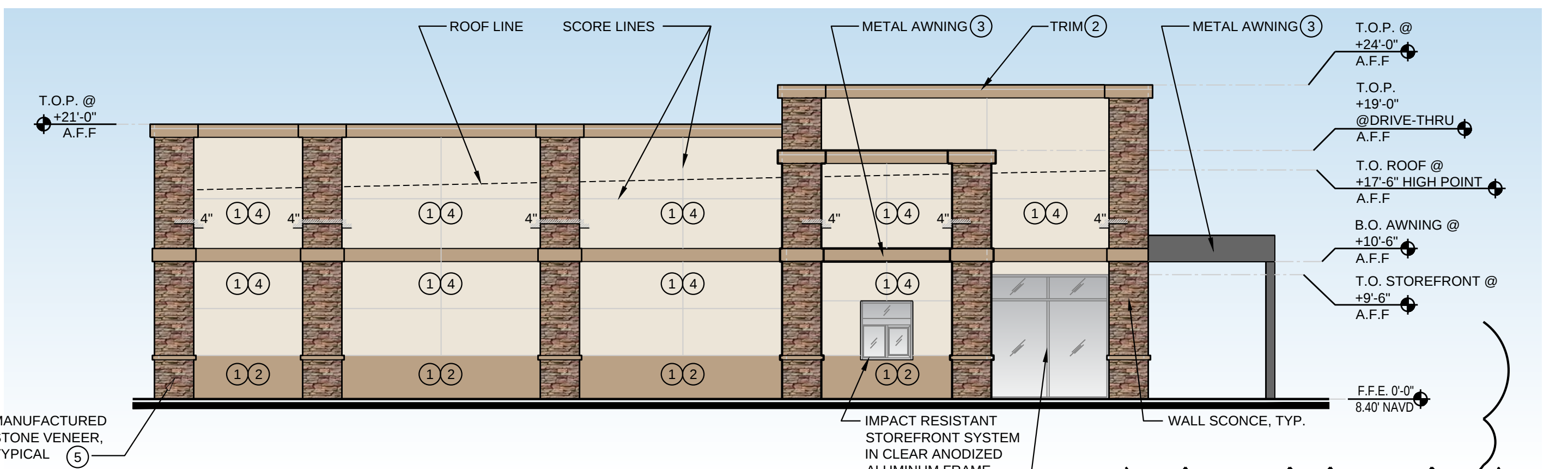
② SOUTH ELEVATION
A1.1 SCALE: 1/8" = 1'-0"



④ NORTH ELEVATION
A1.1 SCALE: 1/8" = 1'-0"



③ EAST ELEVATION
A1.1 SCALE: 1/8" = 1'-0"



⑤ WEST ELEVATION
A1.1 SCALE: 1/8" = 1'-0"

HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
325 HOLLYWOOD BLVD, SUITES 1 & 2
HOLLYWOOD, FLORIDA

SALTZ MICHELSON
ARCHITECTS

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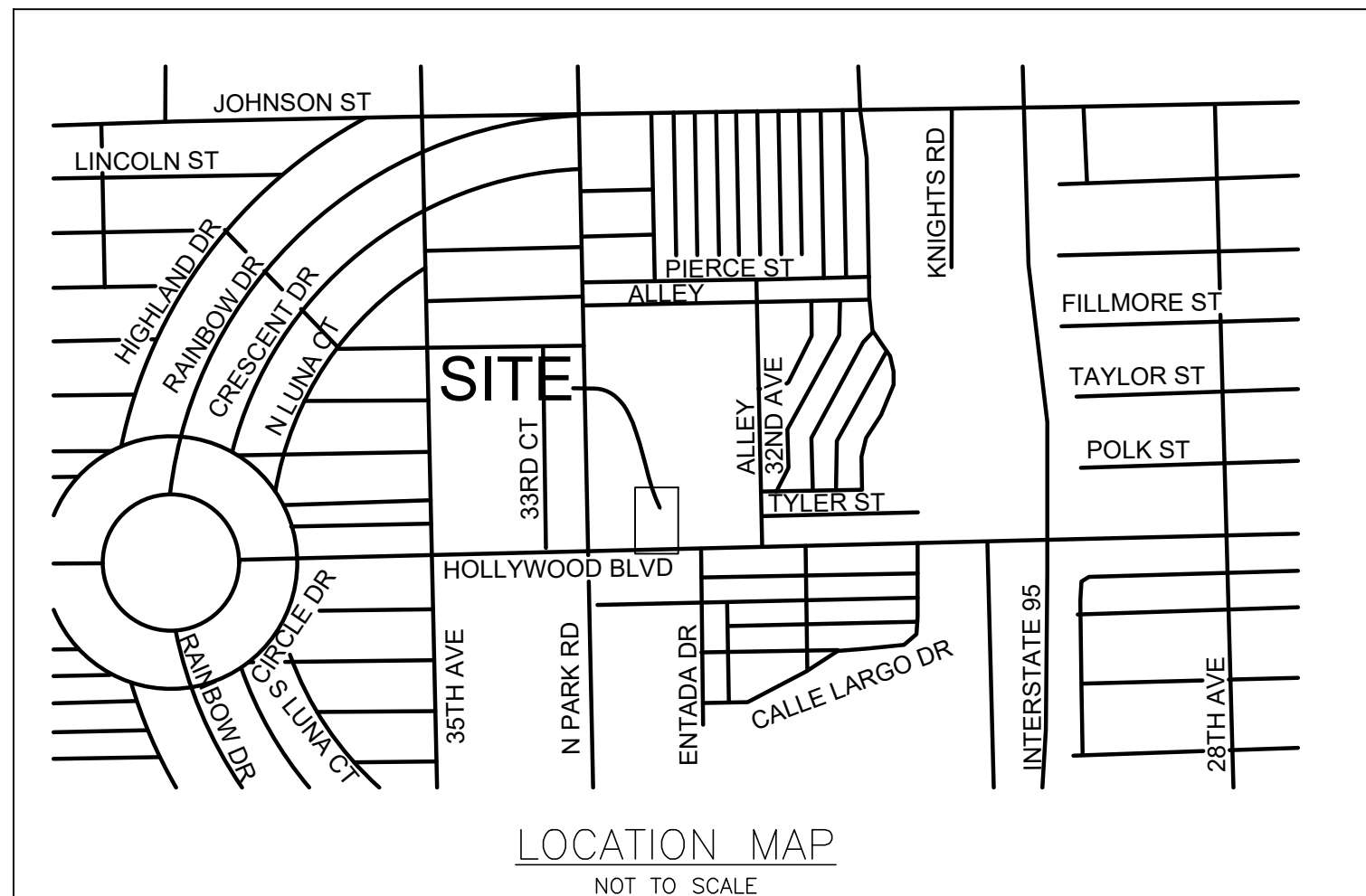
REVISIONS

① TAC COMM.
01.07.19
② TAC COMM.
03.18.19

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A1.1

ELEVATIONS ARE BASED UPON N.A.V.D. 1988



HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
HOLLYWOOD, FLORIDA

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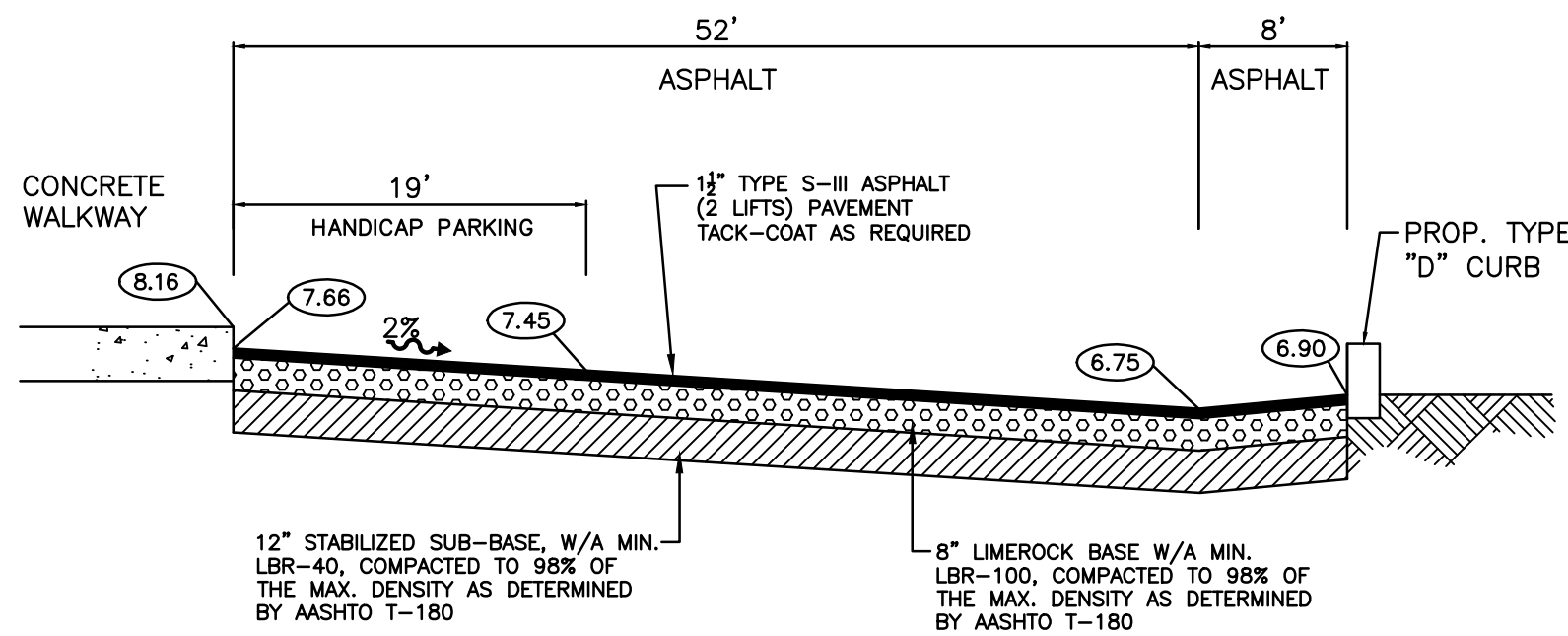
Mark L. Saltz AR007171

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Drawn By:
MG
Checked By:
MA
Date:
01/07/19

REVISIONS
REV. 1 TAC COMMENTS 01.07.19
REV. 2 TAC COMMENTS 03.18.19

NOTES:

1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
2. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
13. FEMA FLOOD ZONE X.



SECTION A-A
N.T.S.

LEGEND

	PROPOSED ASPHALT		EXISTING CATCH BASIN
	PROPOSED CONCRETE		EXISTING ELEVATION
	PROPOSED ELEVATION		EXISTING WOOD POWER POLE
	PROPOSED SURFACE FLOW		EXISTING MANHOLE (AS DESIGNATED)
	PROPOSED WATER METER		EXISTING WATER METER
	PROPOSED CATCH BASIN		EXISTING FENCE
	PROPOSED SIGN (AS INDICATED)		
	PROPOSED CLEANOUT		
	PROPOSED RPZ BACKFLOW PREVENTER		
	PROPOSED PIPING		

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civil engineers
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(954) 367-0371

CA 7325

SUSAN C. HOLLAND, PE
Lic. no. 41831

C-1

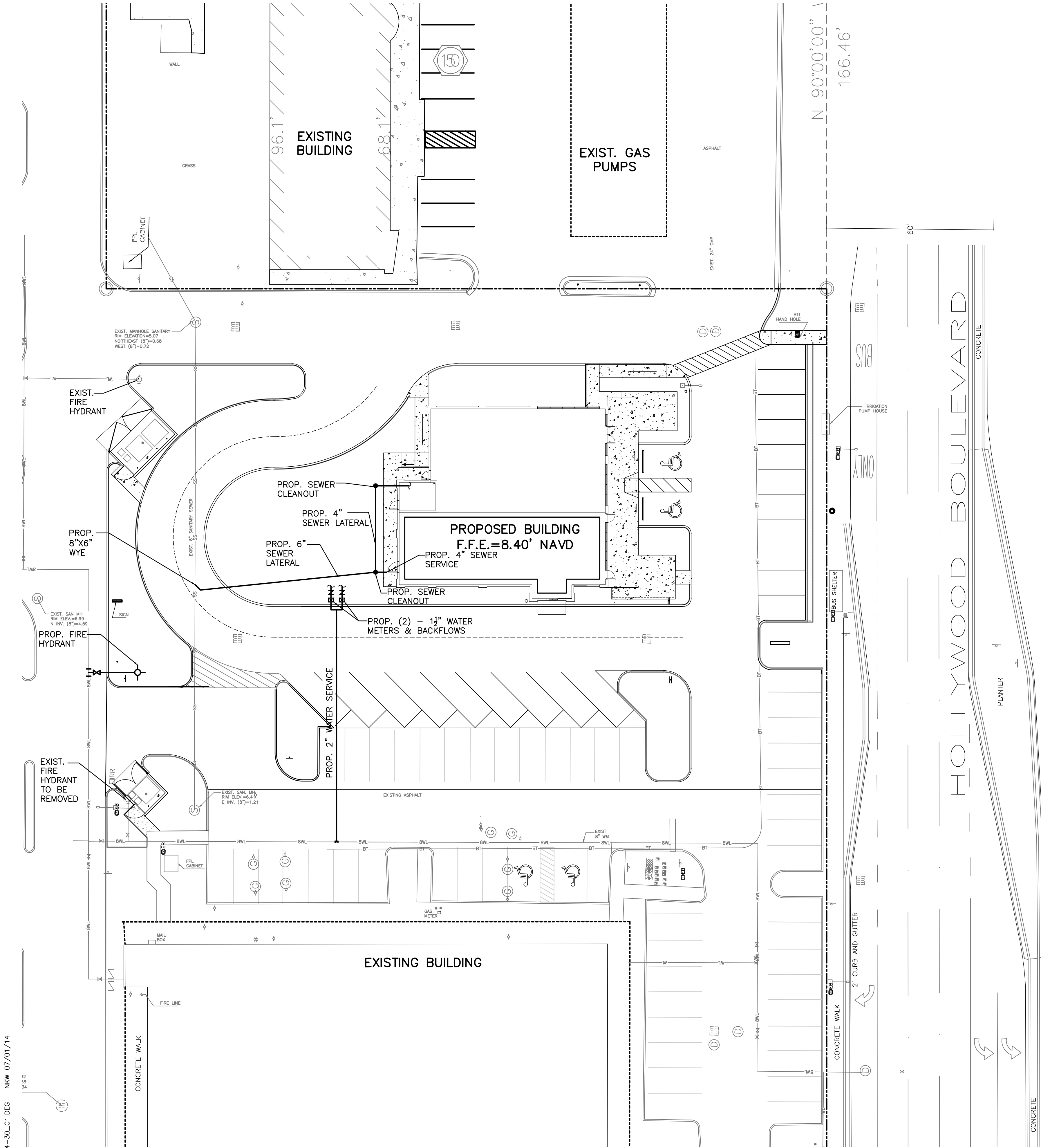
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PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=20'

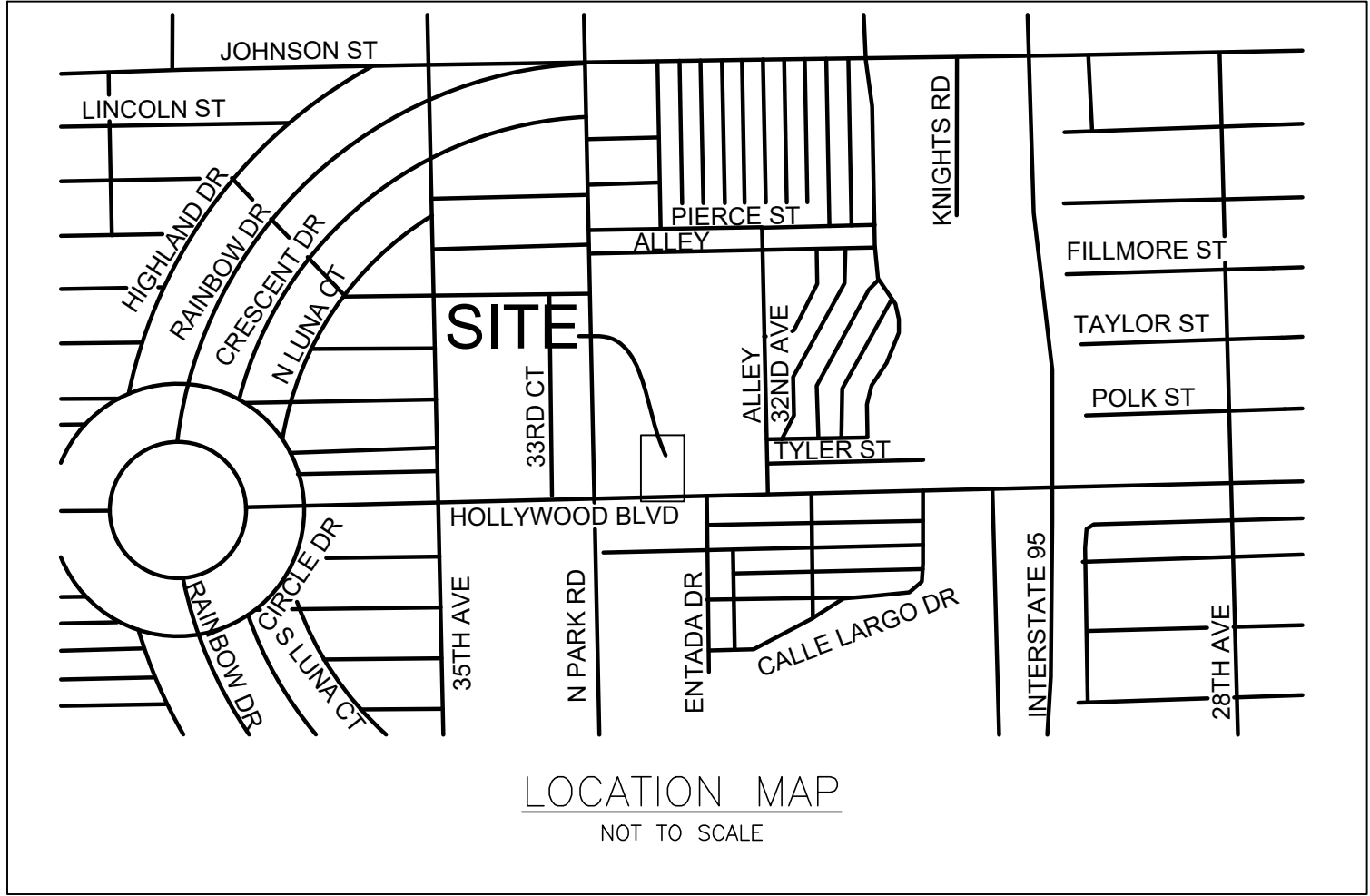
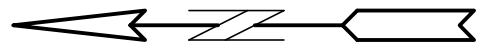
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

1/040:14=30/14=30_C1.DES INKW 07/01/14



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ELEVATIONS ARE BASED UPON N.A.V.D. 1988



WATER AND SEWER DEMAND

150 SEAT RESTAURANT WITH DRIVE-THRU
150 SEATS X 35 GPD/SEAT = 5,250 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

- NOTES:**
1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
 2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER MAIN AND CONFIRM DEPTH OF PIPE.
 3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
 4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND

- | | | | |
|--|---------------------------------|--|----------------------------------|
| | PROPOSED ASPHALT | | EXISTING CATCH BASIN |
| | PROPOSED CONCRETE | | EXISTING ELEVATION |
| | PROPOSED ELEVATION | | EXISTING WOOD POWER POLE |
| | PROPOSED SURFACE FLOW | | EXISTING MANHOLE (AS DESIGNATED) |
| | PROPOSED WATER METER | | EXISTING WATER METER |
| | PROPOSED CATCH BASIN | | EXISTING FENCE |
| | PROPOSED SIGN (AS INDICATED) | | |
| | PROPOSED CLEANOUT | | |
| | PROPOSED RPZ BACKFLOW PREVENTER | | |
| | PROPOSED PIPING | | |

WATER AND SEWER PLAN

SCALE: 1"=20'

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HOLLYWOOD HILLS PLAZA OUTPARCEL
TAC SUBMITTAL
HOLLYWOOD, FLORIDA

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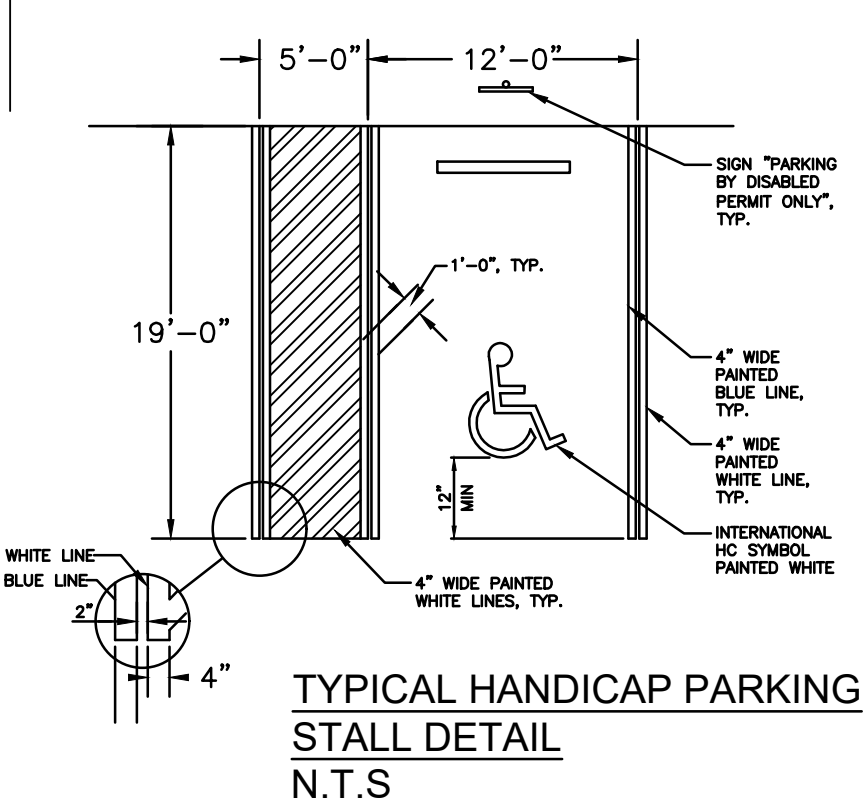
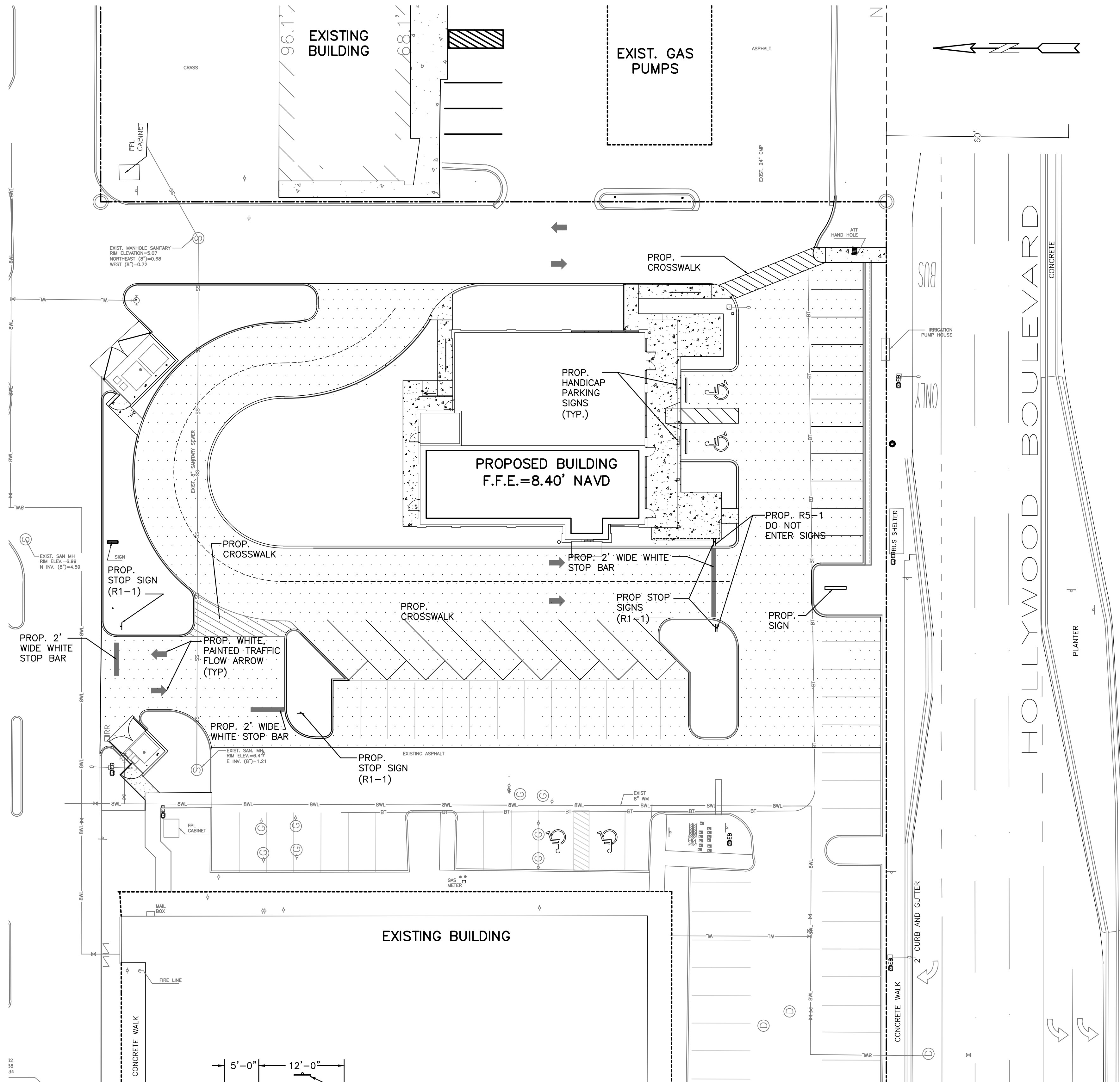
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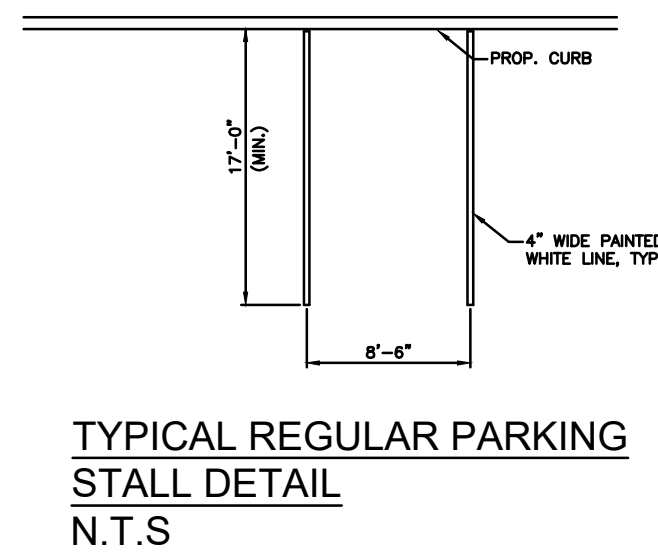
REVISIONS

REV. 1 TAC COMMENTS 01.07.19
REV. 2 TAC COMMENTS 03.18.19

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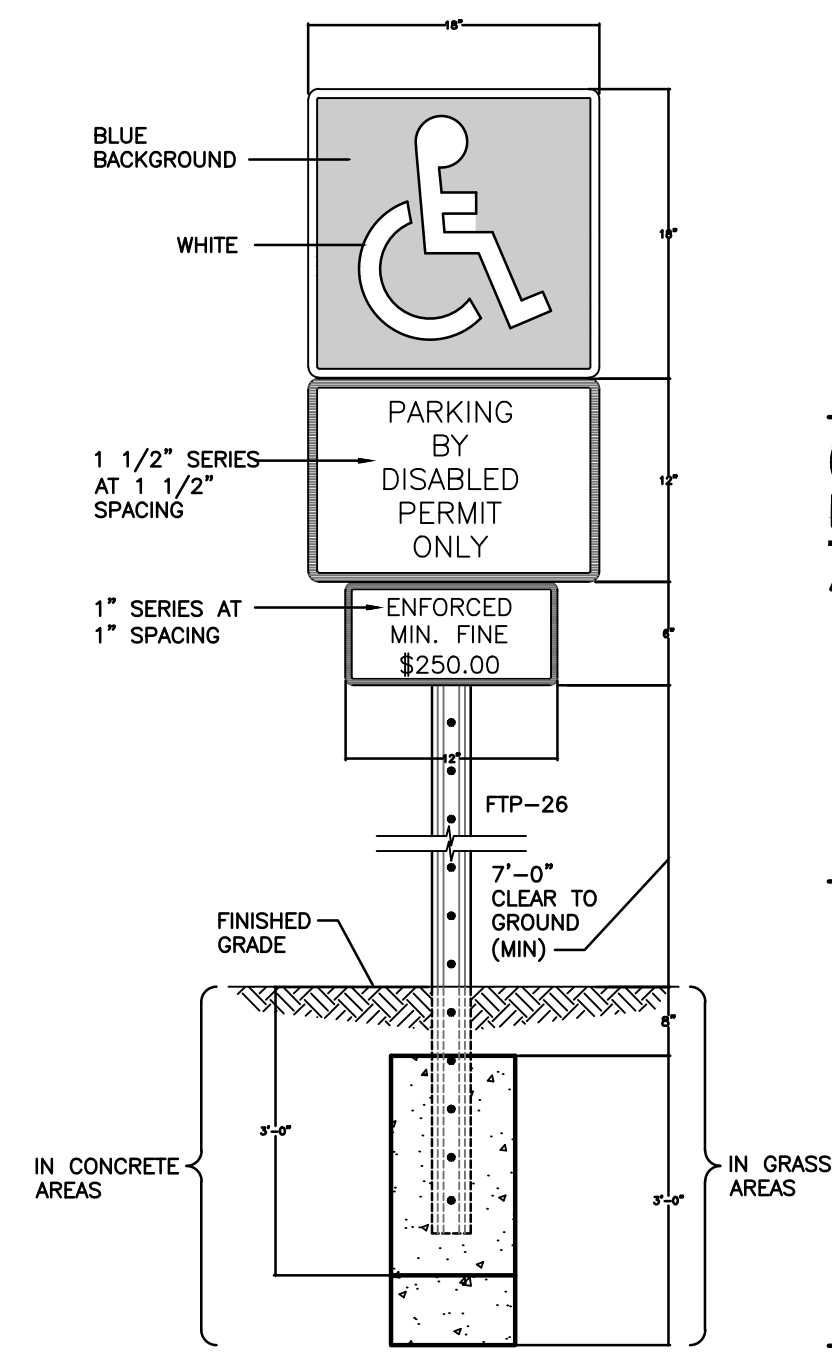
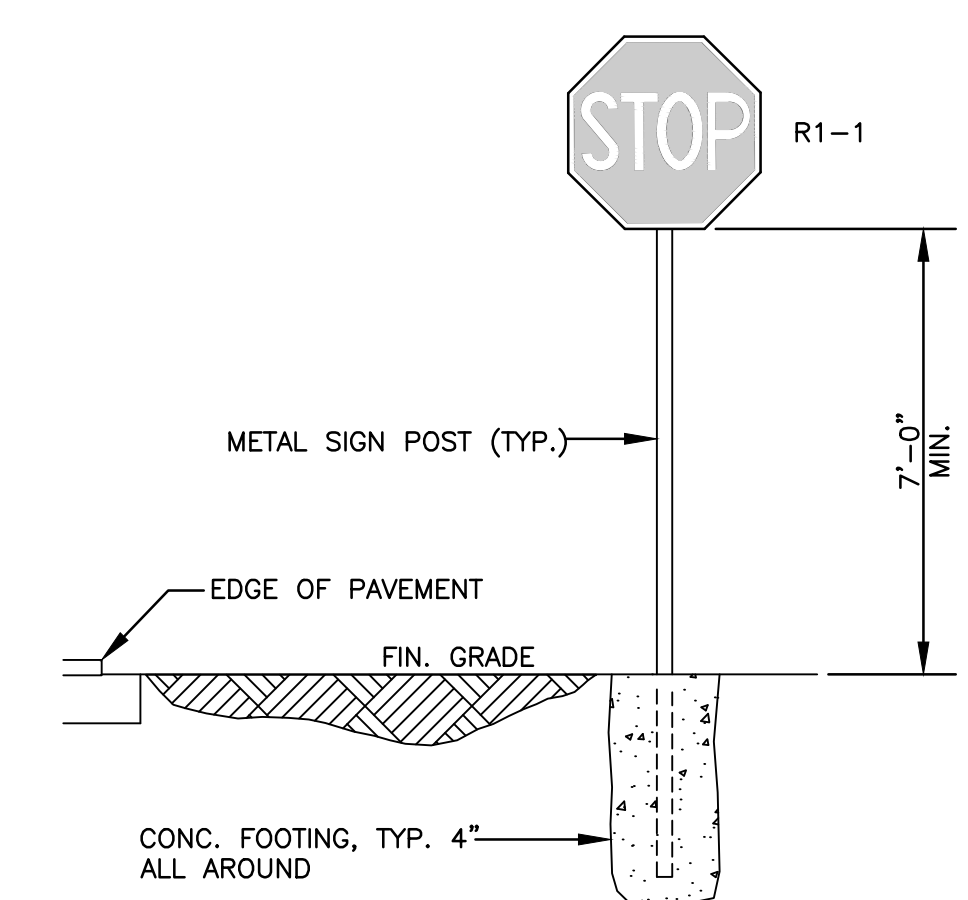
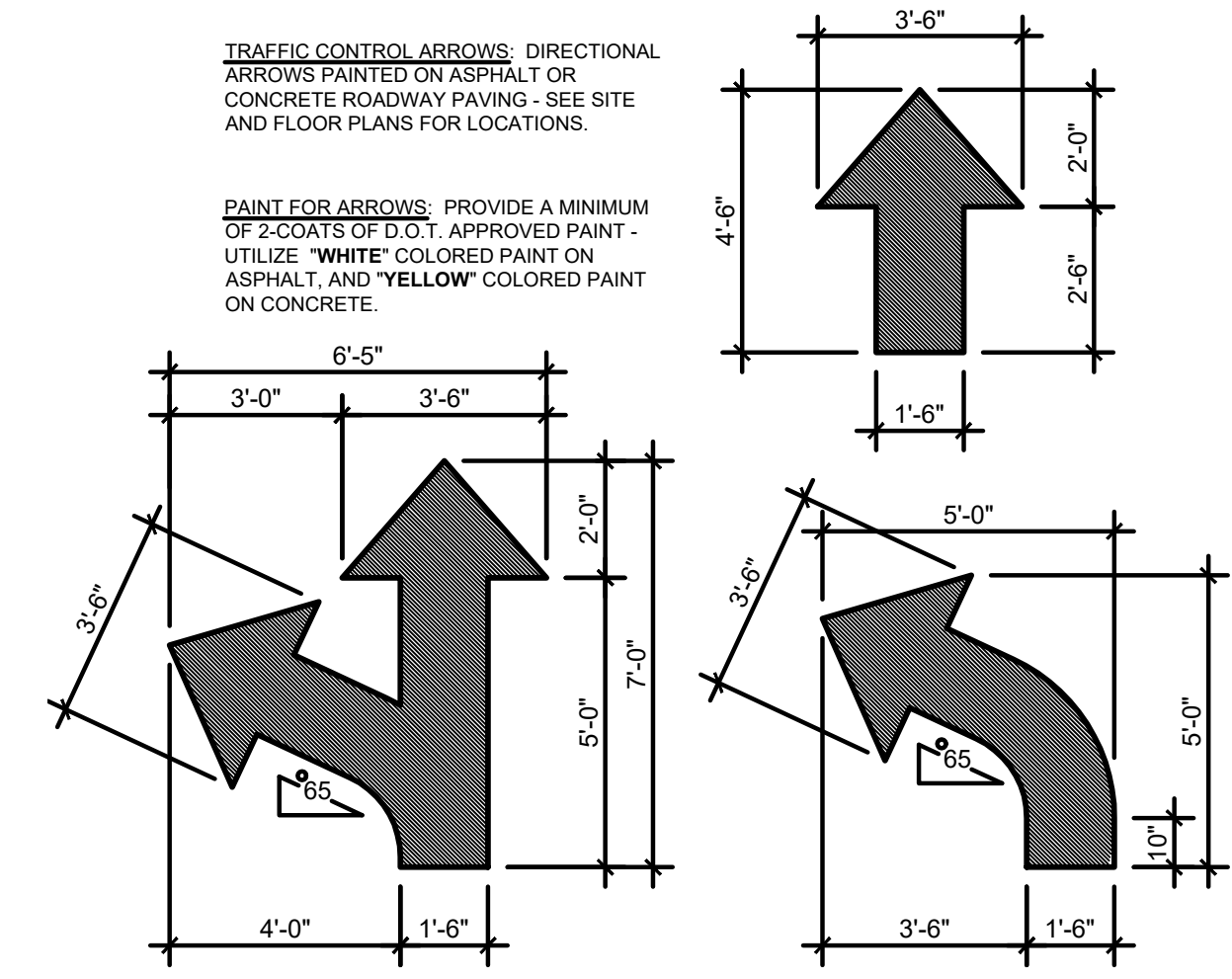
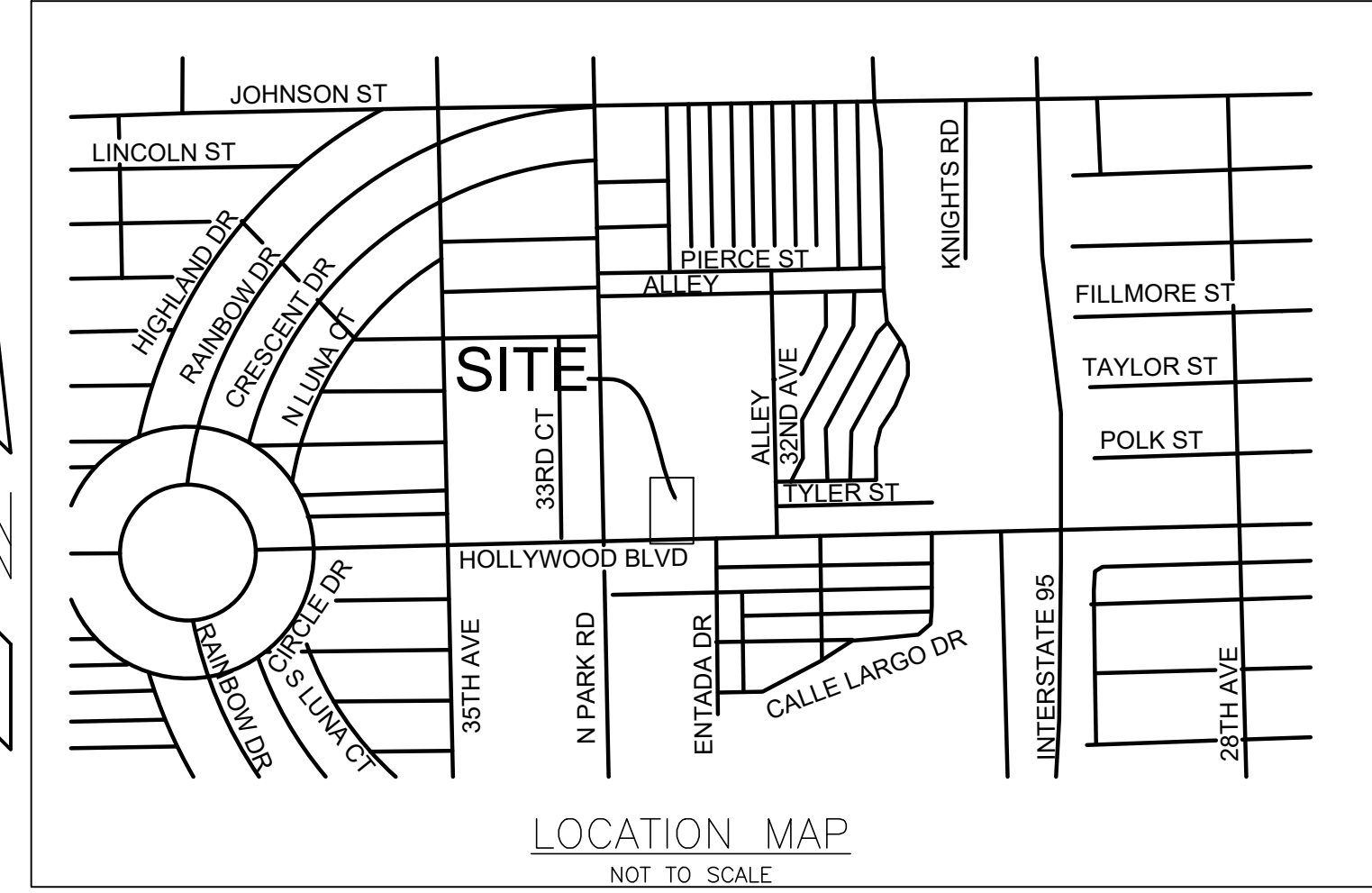
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| | PROPOSED ELEVATION | | EXISTING WOOD POWER POLE |
| | PROPOSED SURFACE FLOW | | EXISTING MANHOLE (AS DESIGNATED) |
| | PROPOSED WATER METER | | EXISTING WATER METER |
| | PROPOSED CATCH BASIN | | EXISTING FENCE |
| | PROPOSED SIGN (AS INDICATED) | | |
| | PROPOSED CLEANOUT | | |
| | PROPOSED RPZ BACKFLOW PREVENTER | | |
| | PROPOSED PIPING | | |

PAVEMENT MARKING & SIGNAGE PLAN

SCALE: 1"=20'



- NOTES:
- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
 - SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3'-FEET.

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HOLLYWOOD HILLS PLAZA OUTPARCEL TAC SUBMITTAL HOLLYWOOD, FLORIDA

SALTZ MICHELSON ARCHITECTS

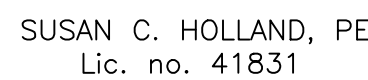
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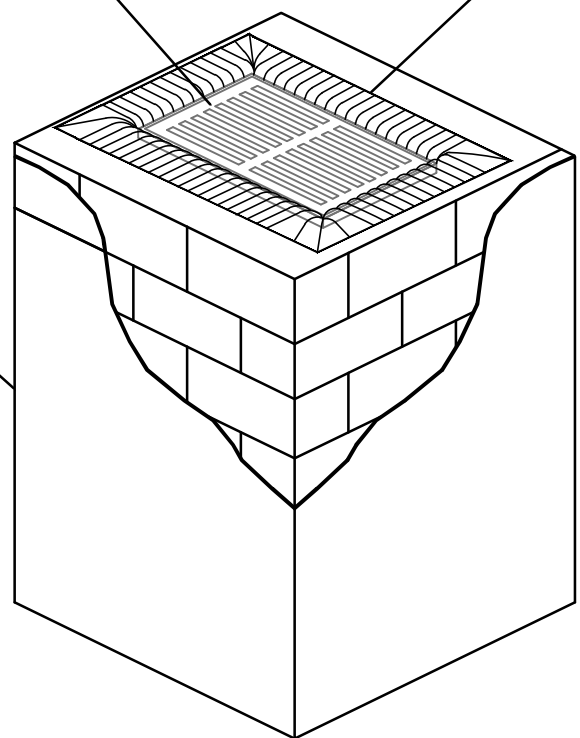
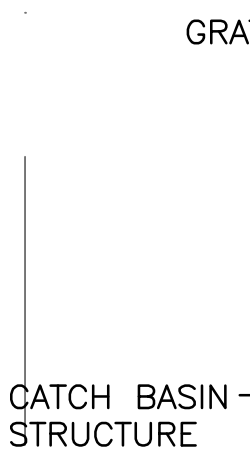
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REVISIONS
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REV. 2 TAC COMMENTS 03.18.19



SCALE: 1"=20'



N.T.S.

EXISTING BUILDING

PROPOSED BUILDING
F.F.E.=8.40' NAVD

4. DURING CONSTRUCTION, CONTRACTOR TO PROVIDE GRATE LINER TO PREVENT INFILTRATION OF SEDIMENTS INTO DRAINAGE STRUCTURES, SEE DETAIL THIS SHEET

BEFORE CONSTRUCTION STARTUP
CONTRACTOR TO INSTALL AND
MAINTAIN A SILT FENCE ALONG
PERIMETER OF THE PROPERTY,
SEE DETAIL THIS SHEET

IN-4

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GENERAL CONDITION NOTES :

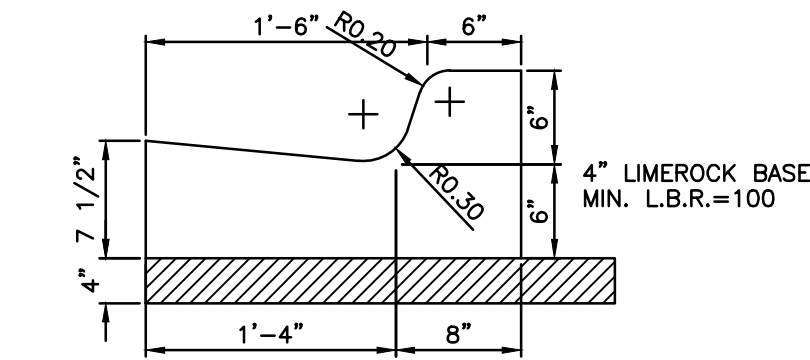
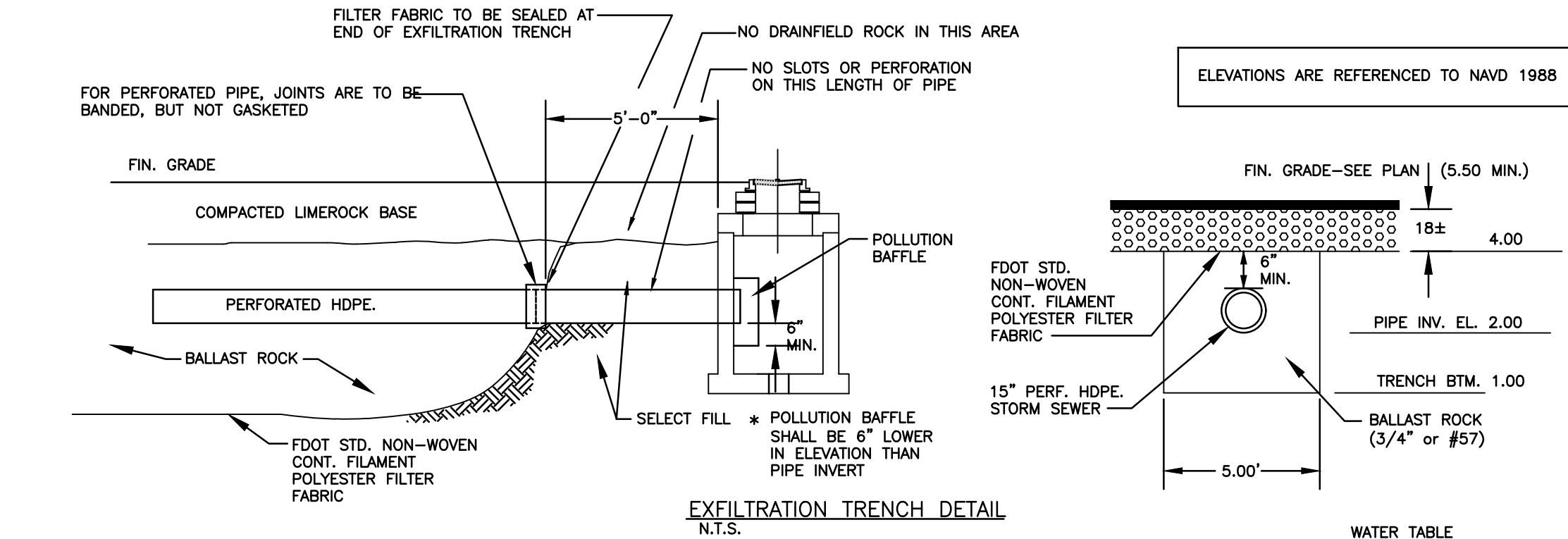
1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:
FLORIDA POWER & LIGHT CO., CONSTRUCTION
SOUTHERN BELL TELEPHONE & TEL. CO.
CABLE CONSTRUCTION BUREAU
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

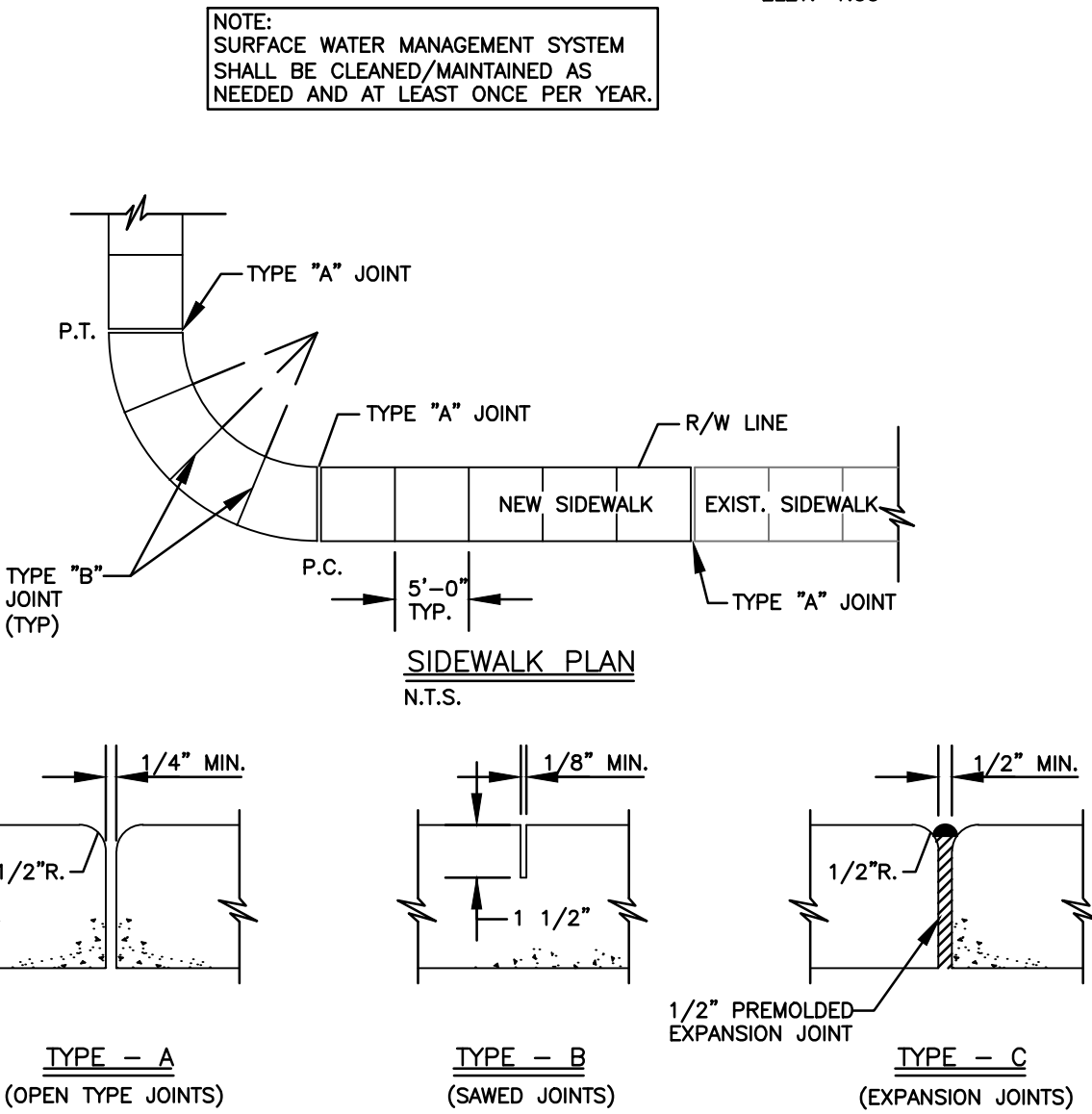
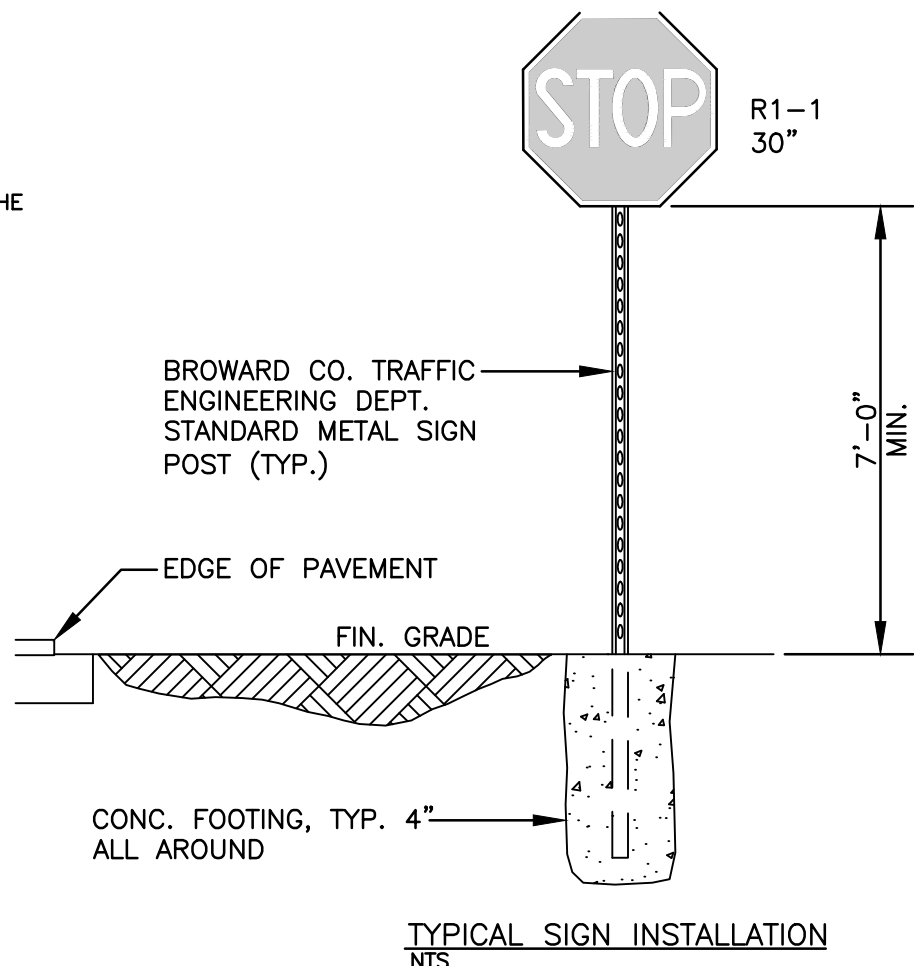
1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC..
5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180.
10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS --
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
SOP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
PVC = POLYVINYLCHLORIDE PIPE
PCMP = PERFORATED CMP, FDOT SECTION 945
DIP = DUCTILE IRON PIPE
HDPE = HIGH DENSITY POLYETHYLENE PIPE.

PAVEMENT MARKING & SIGNING STANDARD NOTES

1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
3. STOP BARS SHALL BE 24" WHITE.
4. ALL SITE PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCLUDING PARKING STALL STRIPING.
5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PEC TYPICAL T-P-06-001.



TYPE "F" CONCRETE CURB AND GUTTER
DETAIL



TYPICAL SIDEWALK
THICKNESS (T)

LOCATION :	T
PEDESTRIAN AREAS	4"
DRIVEWAYS & OTHER	6"

NOTES:

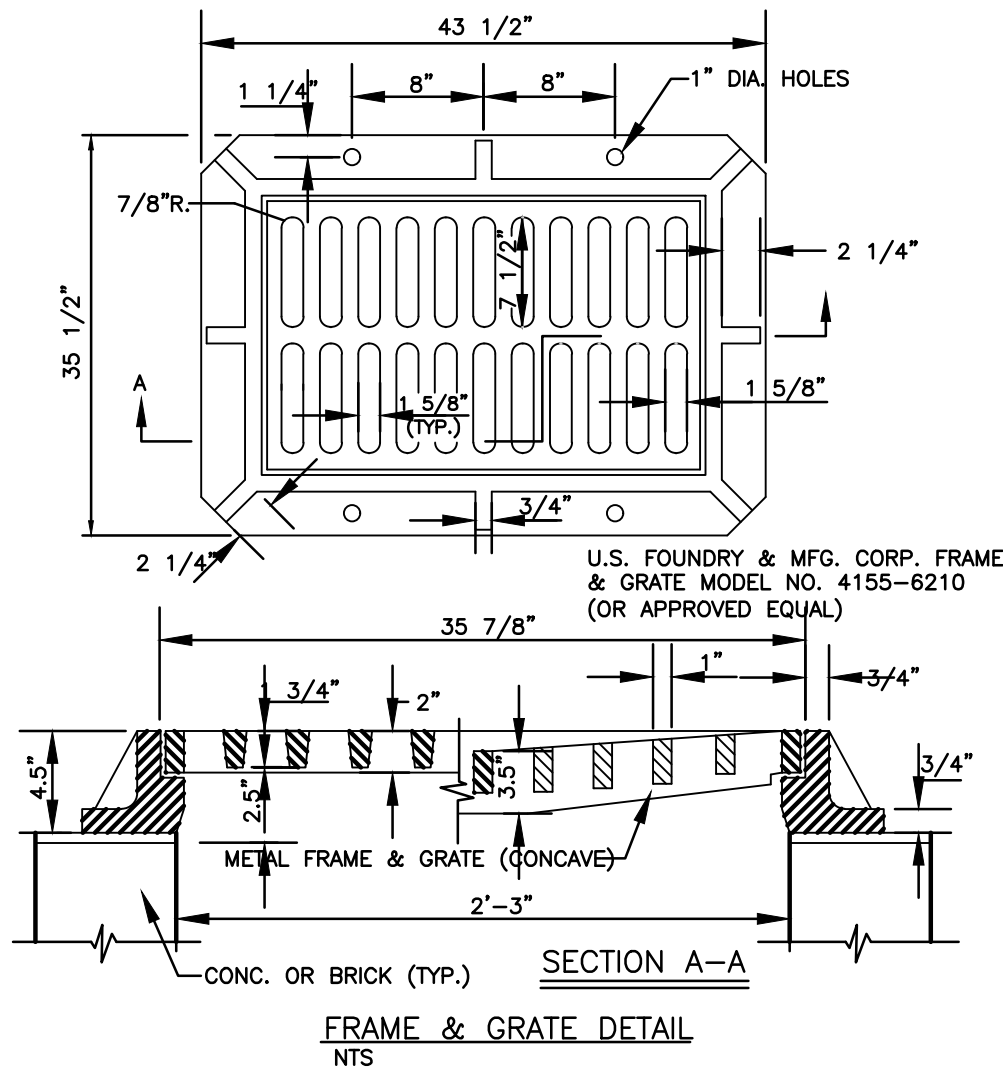
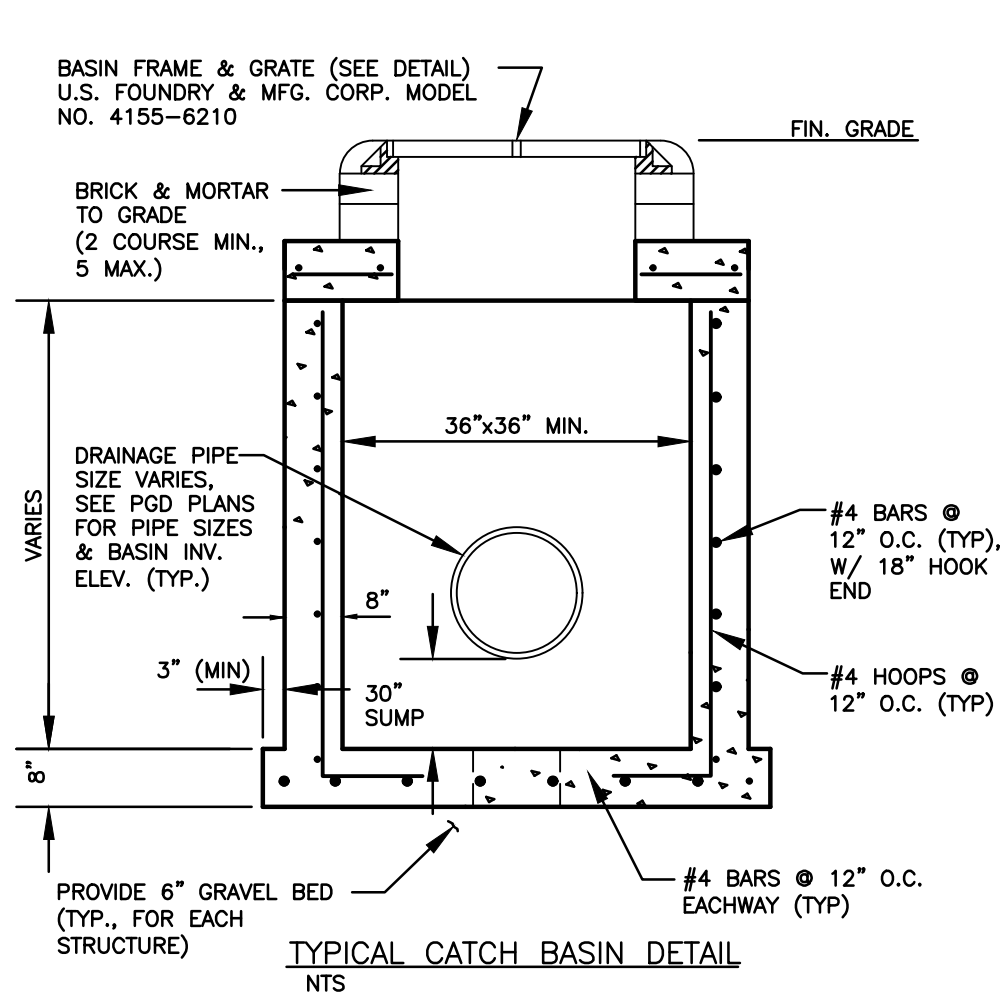
1. EXPANSION JOINTS EVERY 50' O.C.
2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
3. 6" THK. SIDEWALK ACROSS DRIVEWAYS

SIDEWALK DETAIL
NTS

SIDEWALK JOINTS
N.T.S.

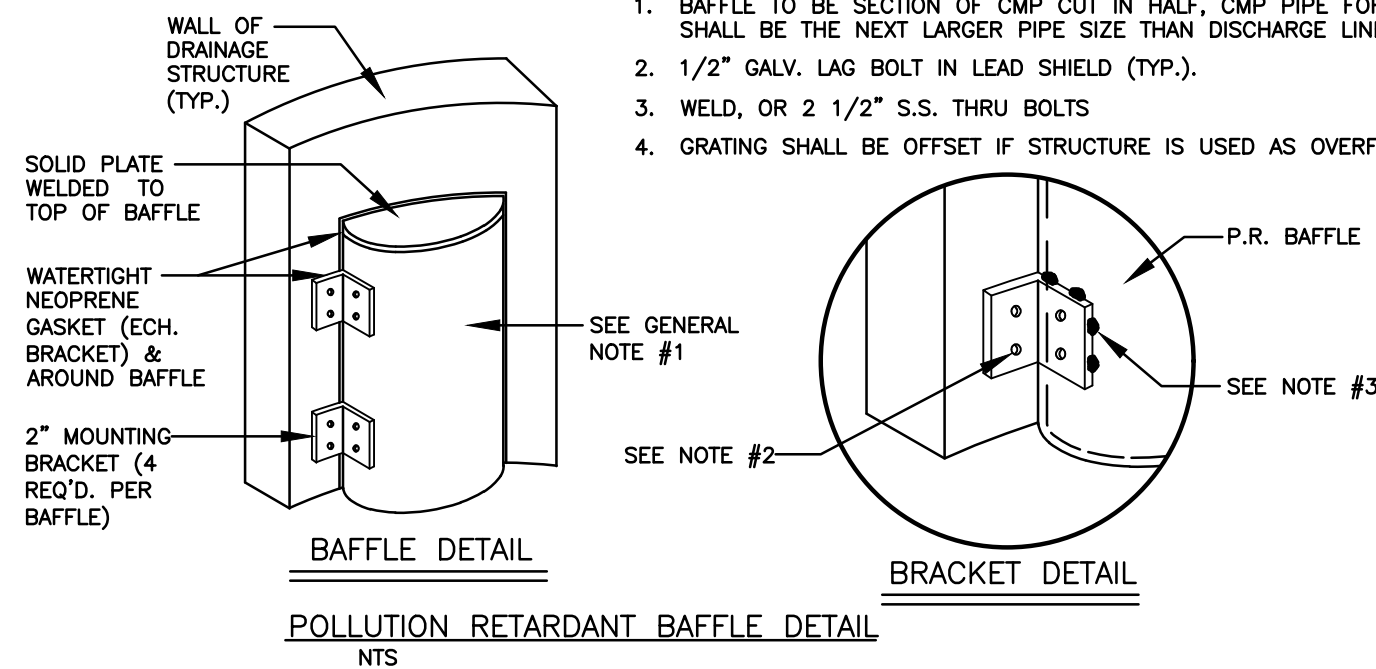
TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

* INSTALLED AT THE DISCRETION OF THE ENGINEER



GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.

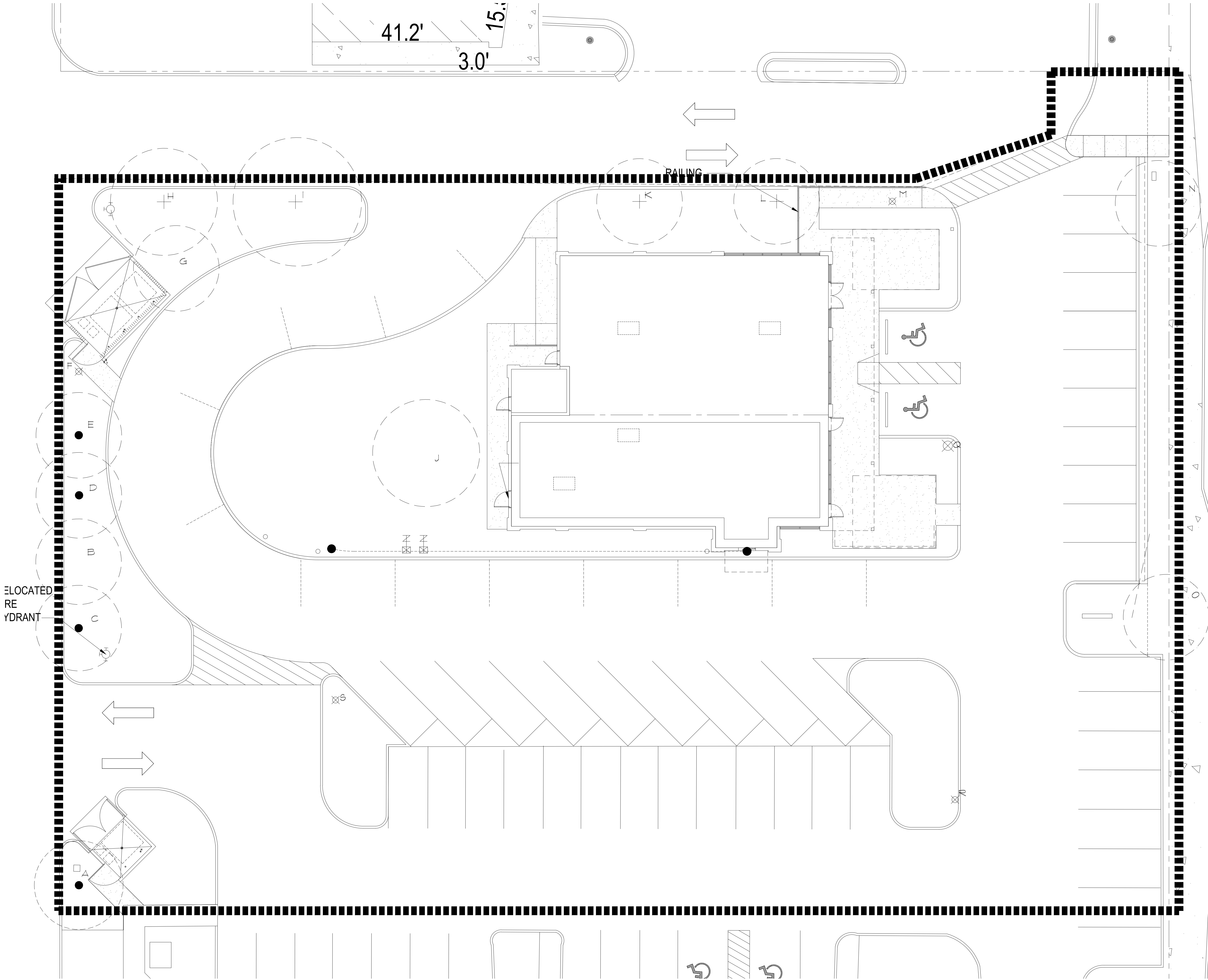


BAFFLE DETAIL
NTS

BRACKET DETAIL

POLLUTION RETARDANT BAFFLE DETAIL
NTS

HOLLAND ENGINEERING INC.
civil engineers
1120 SE 3RD AVENUE - FORT LAUDERDALE - FL 33316
(954)367-0371
CA 7325
SUSAN C. HOLLAND, PE
Lic. no. 41831



LEGEND

-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO REMAIN
-  EXISTING PALMS TO REMAIN
-  EXISTING TREES TO BE RELOCATED
-  NEW LOCATION OF RELOCATED TREES
-  PROPOSED PALMS
-  PROPOSED TREES

EXISTING TREE LIST

SYM	BOTANICAL/COMMON TREE NAME	DESCRIPTION	DBH	CONDITION	STATUS
A	Royaltonia regia/Royal Palm	40' o.a. ht.	24"	Rotted Trk	remain
B	Royaltonia regia/Royal Palm	40' o.a. ht.	30"	Good	relocate
C	Royaltonia regia/Royal Palm	40' o.a. ht.	24"	Good	remain
D	Royaltonia regia/Royal Palm	40' o.a. ht.	30"	Good	remain
E	Royaltonia regia/Royal Palm	40' o.a. ht.	28"	Good	remain
F	Royaltonia regia/Royal Palm	40' o.a. ht.	30"	Good	remove
G	Royaltonia regia/Royal Palm	40' o.a. ht.	24"	Good	relocate
H	Quercus virginiana/Live Oak	25' ht. x 25' spr.	15"	Good	remain
I	Quercus virginiana/Live Oak	30' ht. x 30' spr.	18"	Good	relocate
J	Quercus virginiana/Live Oak	25' ht. x 25' spr.	13"	Good	relocate
K	Quercus virginiana/Live Oak	20' ht. x 20' spr.	14"	Good	remain
L	Quercus virginiana/Live Oak	20' ht. x 20' spr.	10"	Good	remain
M	Quercus virginiana/Live Oak	20' ht. x 20' spr.	14"	Good	remove
N	Royaltonia regia/Royal Palm	40' o.a. ht.	36"	Good	relocate
O	Royaltonia regia/Royal Palm	40' o.a. ht.	30"	Good	relocate
P	Suaeda maritima/Mahogany	20' ht. x 20' spr.	12"	Good	remove
Q	Suaeda maritima/Mahogany	35' ht. x 35' spr.	24"	Good	remove
R	Lycium carolinense/Lila Tamarind	20' ht. x 15' spr.	6"	Good	remove
S	Lycium carolinense/Lila Tamarind	20' ht. x 15' spr.	6"	Damaged Trk	remove

Hollywood Blvd

project:
hollywood hills plaza
out parcel
hollywood, fl

dave bodker
landscape architecture/planning inc.

601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311

#LA0000999

sheet title:
existing tree
plan

project number:
118

date: 01/03/2018
scale: 1" = 10'
drawn by: lmb

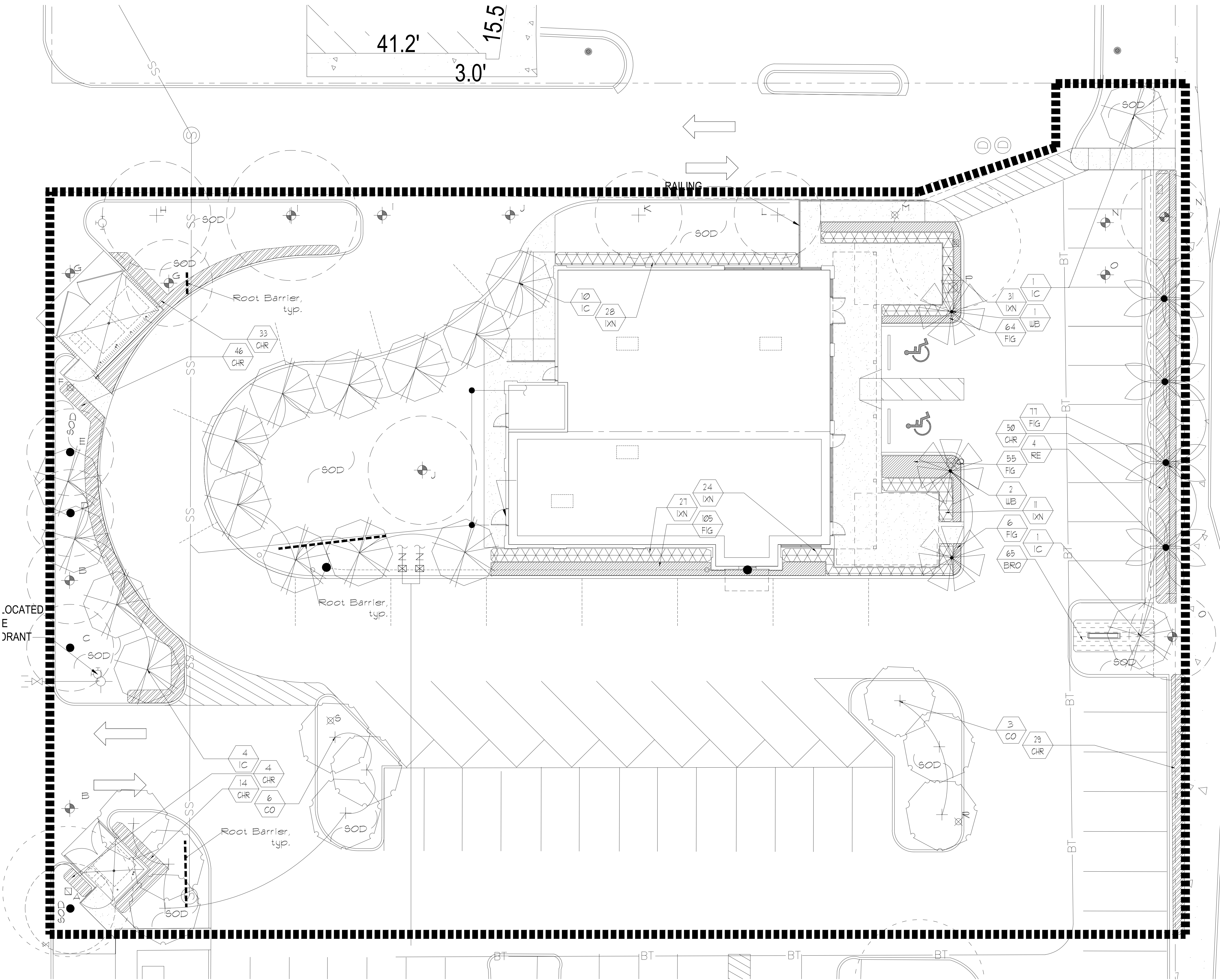
revisions:
TAC Comments, 01.07.19
TAC Comments, 03.18.19
4.18.19
TAC
TAC

sheet:

L-1

1 of 3 sheets





PLANT LIST			
SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
CO	Chrysophyllum oliviforme Satin Leaf	12" ht. x 5" spr., 2" dbh	9
IC	Ilex cassine Dahoon Holly	12" ht. x 5" spr., 2" dbh	16
RE	Roystonea regia Royal Palm	14-16' c.t.	4
WB	Wodyetia bifurcata Foxtail Palm	8' c.t., matched	3
BRO	Bromellad 'perfecta' Perfecta Bromellad	12" ht. x 12" spr., 18" o.c.	65
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr., 24" o.c.	176
FIG	Ficus microcarpa 'Green Island' Green Island Ficus	10" ht. x 10" spr., 18" o.c.	238
IXN	Ixora 'Nora Grant' Nora Grant Ixora	24" ht. x 18" spr., 24" o.c.	117
SOD	Stenotaphrum secundatum St. Augustine Floratam Sod	full, fresh sod	as required
---	Root Barrier	36" ht. hung vertically	as required

CODE COMPLIANCE DATA

Perimeter Landscape 4 Buffer
1. Street trees required 1/50
Hollywood Blvd:
136' / 50' = 4

4 trees required
4 trees provided
(4 royal palms)

5. Terminal Islands
8 terminal islands
(2 foxtail palms, 4 satin leaf, 2 dahoon holly)

8 trees required
8 trees provided

6. 25% of paved VUA shall be landscape area
(% not to include perimeters)
25.561 SF of VUA x 25 =

6.439 SF required
9.216 SF provided

7. 1 Tree / 1,000 SF of pervious area of property
(This is in addition to VUA)
Total pervious area = 9.216 SF
9.216 SF / 1,000 =

10 trees required
10 trees provided
(5 existing royals, 5 existing live oaks)

22 Total Trees Required
22 Total Trees Provided

Minimum number of species required = 4/5 Provided
Tree and Palm Size Requirements
Trees: 12" ht., 2" dbh
Palms: 8' clear trunk

Native Plant Requirements
60% of required trees must be native
Total trees required = 22 x 60 =

14 native trees required
39 native trees provided

Palms
50% of required trees may be palms
Total trees required = 22 x 50 =

11 palms allowed
11 palms provided (to fulfill code requirements)

If more than 20% of trees used are palms, all other trees must be shade trees.

Shrub Height
24" ht. except where non-residential abuts residential where the hedge must be 48" ht.

Mitigation
62" of mitigation required
38" mitigation provided (on site)
(19) trees @ 2" = 38"

Mitigation that cannot be met on site will be mitigated via tree trust fund:
Remaining to Mitigate: 24"
Public Donation of \$4200.00 based upon 24" of mitigation required.
(\$350.00 per 2" cal.)
24/2 = 12 x \$350 = \$4200.00

project:
hollywood hills plaza
out parcel
hollywood, fl

dave bodker
landscape architecture/planning inc.
601 n. congress ave., suite 105-a
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1" = 10'
drawn by:
lmb
revisions:
TAC Comments, 01.07.19
TAC Comments, 03.18.19
4.16.19
sheet:
L-2
2 of 3 sheets

Applicable Documents: A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period. Scope of work: 1. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident thereto. B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading, fertilizing, mulching, staking and guying where required, watering during where required, insulation, weeding, cleanup, maintenance and guarantee. C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary. D. Investigation of Subsurface Condition: The Contractor shall be responsible for making the subsurface investigations and examination as he or she chooses in order to become familiar with the character of the materials and the existing construction conditions under which he or she will work. These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive separate, additional compensation for this. E. The Landscape Contractor shall be paid for only those units which are installed at the time of request for payment. The contractor's unit prices shall be the basis for all payments. The final amount of payment may or may not be the total sum of the contract depending on the number of units installed. F. Ten percent (10%) of the total contract price will be held as retention for 30 days after final unit acceptance. G. The Landscape Contractor will coordinate his work with all other trades at the job site.	Quality Assurance: A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size and quality. The Landscape Architect retains the right to further inspect trees and shrubs for size and condition of balls and root system, insect, injuries, and latent defects, and to reject unsatisfactory or defective material at any time during the progress of work. The Landscape Contractor shall remove rejected trees or shrubs within 7 days from the project site. B. Responsibility for Assuring Quality: Work: (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, and Plan and Specification interpretation, coordination with other contractors or service in the project area and coordination between the nursery and the project. (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the material on the project. (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape materials and work. C. Grade Standards: (1) Plant material shall be Florida "A" or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants. (2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted. Plant materials which have been out back from larger grades to meet certain specification requirements will be rejected. (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, some distilling roots, insect infestation, injury, erosion of the bark, plant diseases, insect pest, eggs, larvae, and all forms of infestations or objectionable disfigurements.	Delivery, Handling and Storage: A. Delivery and Handling: (1) Movement of nursery stock shall comply with all Federal, State, and local laws, regulations, ordinances, codes, etc. (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Men and protect while stored at the site. (3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plans shall be covered to prevent wind uplift during transit. B. Sod: (1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting the sod. Submittals & Approvals A. Written request for approval to substitute a plant species or a plants designation (B&B, U&B, C&B, etc.) type, grade, quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is available. B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the material is delivered and installed on the project. C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project. D. If requested by the Owner or Landscape Architect, submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item, showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted if requested. E. If requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.	Guarantee: A. The guarantee shall not begin until the day final unit acceptance is given. B. All plant material, except sod, shall be guaranteed for a minimum of 1 year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final acceptance. C. The guarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God". D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the guarantee period. Replacement: A. The guaranteeing of a plant material shall be construed to mean the complete and immediate replacement of plant material within 3 calendar days if it is: (1) Not in a healthy growing condition and thus renders it below the minimum quality indicated in the Specifications. (2) There is a question as to the ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications. (3) It is dead. B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time, such as root pruning, etc., only if approved by the Landscape Architect in advance. The contractor's claim shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect. C. Size, Quality, and Grade: (1) Replacement plant material shall be one of the same species, quality and grade as that of the plant to be replaced. The size of the replacement shall not be smaller than the same size as the original specified plant. At its final planting, the replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.	However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally specified size. (2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee period shall begin at time of acceptable replacement. (3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations. Plan and Specification Interpretation: A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision. In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications. Permits and Codes: A. The Contractor shall procure all necessary permits to accomplish all of the work. B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal Jurisdiction the project is located in. Changes and Additional Work: A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for. Job Site ("Project Site Etc.): A. The words "Job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents. Safety On and Off the Job Site: A. In performing the scope of work, all safety on or off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.	The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site. On Site Observations and Inspections: A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect. B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in advance. C. An inspection at the growing site does not preclude the right of rejection at the project site. D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or work omitted or work performed which is not in accordance with the contract requirements shall not bar the Landscape Architect from subsequently rejecting such work at a later time. E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not intended to be things, direct, run or manage the implementation of the Plans and Specifications. The Contractor, organization or manager the Contractor unit performing the scope of work indicated in these Specifications. Plant Material: A. Plant material shall be nursery grown except: (1) Where specified as collected material. (2) Where approved by the Landscape Architect for such plant material which is only available as a collected item from sources such as residences. B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida "A" or better, at the time of installation and final acceptance. Existing plant material to remain or to be relocated shall be excluded from the requirement. C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and injuries. D. Palms: (1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling. (2) Plants shall be uniformly applied to a depth of approximately 3 inches, or greater depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans. F. Watering: (1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and wasting water away from the roots. (2) Provide continuous watering of plant material during the first 30 days after planting. The watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions. It is expected that the watering shall begin after the plant is planted and the plant has been accepted for installation. The watering shall be continued only during this period. Do not rely on the irrigation system. If there is one, to achieve the task, it cannot deliver the volume of water required, until flooding areas beyond where water is needed and/or until watering other landscape materials, shrubs, groundcover and sod may be watered by using the irrigation system. If there is one hand water during the first 30 days. G. Pruning and Thinning: (1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured limbs and branches and to compensate for the loss of roots as a result of transplanting operation. Pruning and thinning shall be done in such a manner as not to change the natural form or shape of a plant. (2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during any pruning and thinning. H. Weeding: (1) In the areas that weeds or other undesirable vegetation becomes prevalent to such an extent that they obscure plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until final acceptance.																									
(2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants." Tying palms shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie palm fronds to accommodate an owner's "grand opening." The Contractor may re-tie the palm after the event. This untieing will not affect the guarantee or represent an additional cost to the owner. (3) To reduce heave volume, Palm fronds may be taper trimmed by not more than one-third. (4) Palms with mechanical damage, such as from cables, chains, equipment, and nails, shall be rejected. Chlorophyll: The allowable level of Chlorophyll in foliage shall be set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants." Plant material shall not be accepted when the ball of earth around and the roots has been cracked, broken or otherwise damaged. K. Root pruning of plant material when necessary shall be done a minimum of 1 week, or for a period as determined by the Landscape Architect, prior to planting at the project. Sod: A. Sod shall be solid sod and shall be standard quality grade. Note: Quality grade shall be based on the standards of sod quality grades (premix, standard or commercial) as established by the Turf Grass Producers Association of Florida Inc. The sod shall be well rooted with enough of firm, tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable graying and broad leaf weeds. Sod shall not exceed 1 1/2" in height. Bermuda Grass: Sod sections shall be strong enough to support their own weight. Sod shall be delivered in the upper 1/2" of the section. Sod shall not be harvested or transplanted when moisture content, excessively dry or wet, may adversely affect its survival. Sod shall be relatively free of trash, up to one half inch allowable (uncompressed). The sod embedded in the sod shall be a clean, even, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being out for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and undamaged at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kept moist from the time it is cut until it is planted.	Planting Soil: A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sand, loam (top sand) and 50% muck (top of the locality). The soil must be taken from ground that has never been exposed, with a slight acid reaction (5.5 to 6.5 pH) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition. Water: 1. Do not use less than one-inch. A. Possible: from municipal water supplies or other sources which are approved by a public health department. Mulch: A. Mulch shall be: (1) "Floraform" or other approved recycled mulch (approved by Landscape Architect or other governing agency). Fertilizer: A. New and existing Trees and Palms: Fertilize with 8-2-2 palm fertilizer with micronutrients per manufacturer's recommendations. B. New and existing Shrubs, and Groundcover: Fertilize with 8-2-2 palm fertilizer with micronutrients at a rate of 1/2 lb. per 1000 sq. ft. C. Annuals: Fertilize with Osmocote - Sierra (slow 14-14-14) or approved equal. D. Composition and Analysis: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags contain labels and shall be fully labeled with the manufacturer's analysis. E. All fertilizer shall comply with the State of Florida fertilizer law.	Staking and Guying: A. Staking and guying shall be the responsibility of the Contractor. Contractors: Staking and guying shall not be attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall require approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the staking, tying, or planting of trees or palms to be done in the ground in order to eliminate the need or requirement of staking or guying. B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in. EXECUTION Inspection: A. Utilities (Above Ground and Underground): (1) The work area may have existing utilities, such as, but not limited to, irrigation phone electrical and storm sewers. The location of some of these existing utilities have been indicated on the Plans. B. Spacing of Groundcover & Shrubs: The location of a planting bed (sod or groundcover) need to be under sod, walkway, structure, etc. shall have the plants along that planting bed spaced so that the plants will be established without growing into the other bed, walkway, structure, etc. C. The responsibility of B&B plants which cannot be planted immediately shall be covered with news cloth or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting. D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing soils such as limestone which may interfere with adequate vertical drainage and/or proper plant survival and growth and therefore removal of the material in the path of the scope of work for the project. The Contractor shall be responsible for having adequate drainage in these areas and shall remove any existing material as required by such means as auguring, drilling or excavating. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to remove proper vertical drainage necessary for plant survival and growth. E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any release of the chemicals which will cause detrimental residual conditions. Care shall also be used so that final grades which have been established are not altered. F. Excavation of Plant Holes: (1) General: a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for anticipated structures or underground factors which are a part of the final grades which have been established are not altered. (2) The Contractor shall not purposefully disrupt or discontinue the type of utility underground without first obtaining the written permission of the Landscape Architect. Because of the depth of the hole, the hole and the location of the plant in the hole shall be maintained in place. (3) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected. (4) Consider group plant material shall be carefully removed from the container so as not to disturb the root system. (5) Sod Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner: a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1000 square feet. b. Remove stones and foreign matter over two inches in diameter from the top two inches of soil. c. Grade the sod area so that the top of the sod will be at finished grade after rolling and tamping.	However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally specified size. (2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee period shall begin at time of acceptable replacement. (3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations. Plan and Specification Interpretation: A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision. In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications. Permits and Codes: A. The Contractor shall procure all necessary permits to accomplish all of the work. B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal Jurisdiction the project is located in. Changes and Additional Work: A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owner and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for. Job Site ("Project Site Etc.): A. The words "Job site", "project site", "job", "project" and "site" shall be synonymous with one another when used in these documents. Safety On and Off the Job Site: A. In performing the scope of work, all safety on or off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or off the job site.	(2) Placing Sod: a. Place sod with staggered joints closely butted. b. Sod shall be laid in rows, staggered in rows and in rows and in rows. Avoid voids, gaps, and any other areas as indicated on the plans. c. Place sod in rows along right line of water flow in gutters. Place sod in rows along right line of water flow. d. Water sod every day for a period of three weeks. e. Fertilize sod three weeks after planting with 10 pounds of 10-10-10 formula fertilizer per 1000 sq. ft. of area. f. Sod shall be used which is not certified as being free of the reported fire ants. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State or Federal Department of Agriculture. (3) Maintenance of Sod: a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition. b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as necessary. D. Planting Beds: (1) Spread six inches of topsoil mixture uniformly over the entire planting area. (2) Spread 50% organic fertilizer at a rate of 4 pounds per 1000 square feet uniformly over the groundcover area. (3) Water mix, or by other approved method, to a depth of twelve inches. (4) Fine grade to remove all trash, rocks, and debris to depth indicated. (5) Regrade to finish grade before adding two inches mulch. (6) Thoroughly water and firm the plants into the soil mixture. E. Mulch: (1) Areas to be mulched shall have existing weeds and vegetation removed, including root systems, before applying mulch. (2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material. (3) In the areas that weeds or other undesirable vegetation becomes prevalent to such an extent that they obscure plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until final acceptance.																										
Removal of Plant Material: (1) All plant material to be removed shall be removed completely, including the rootball, from the job or as directed by the Landscape Architect. The remaining hole shall be filled with suitable material or planting soil as directed by the Landscape Architect. Existing Plant Material to be Relocated: (1) All existing plant material to be relocated shall be removed a minimum of 90 days or for a period as determined by the Landscape Architect prior to the project. (2) Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part I and Part 2," as follows: <table> <tr> <th>CALIPER</th><th>MIN. BALL DIA.</th><th>MIN. BALL DEPTH</th></tr> <tr> <td>1. 15"</td><td>16"</td><td>75% of dia.</td></tr> <tr> <td>15 - 19"</td><td>20"</td><td>65% of dia.</td></tr> <tr> <td>19 - 23"</td><td>22"</td><td>65% of dia.</td></tr> <tr> <td>23 - 25"</td><td>24"</td><td>65% of dia.</td></tr> <tr> <td>25 - 35"</td><td>28"</td><td>65% of dia.</td></tr> <tr> <td>35 - 43"</td><td>28"</td><td>65% of dia.</td></tr> <tr> <td>43 - 45"</td><td>32"</td><td>65% of dia.</td></tr> <tr> <td>45 - 55"</td><td>34"</td><td>65% of dia.</td></tr> <tr> <td>55" or more</td><td>increase in proportion</td><td>up to 48", then decrease in proportion for larger size diameter.</td></tr> </table> (3) Root pruning shall be accomplished by digging a trench around the plant about 12 inches deep. All exposed roots shall be cut off smoothly. (4) A mixture of good organic fertilizer and planting soil will be used to refill the trench. (5) Plant material which is in soil of a loose texture, which does not readily adhere to the root system, especially in the case of large plants or trees, shall have the rootball wrapped in plastic and then the plant shall be placed in the plastic. For fire hog use the plant will be used and it shall be placed around the rootball before the plant is removed from the hole for relocation. The wire shall be loosely and removed until the wrapped ball is loosened and removed. The wire shall be removed and the plant shall be placed in the plastic. The wire shall be removed and the plant shall be placed in the plastic. The wire shall be removed and the plant shall be placed in the plastic. The wire shall be removed and the plant shall be placed in the plastic. The wire shall be removed and the plant shall be placed in the plastic. The wire shall be removed and the plant shall be placed in the plastic. The wire shall be removed and the plant shall be placed in the plastic. 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project:
hollywood hills plaza
out parcel
hollywood, fl

dave bodker
landscape architecture/planning inc.
601 n. congress ave., suite 105-n
delray beach, florida 33481
561-276-6311

#LA0009999
sheet title:
notes, details, specifications

project number:
118
date: 01/03/2018
scale: n.t.s.
drawn by: lmb

revisions:
TAC Comments, 01.07.19
TAC Comments, 03.18.19

sheet:
L-3
3 of 3 sheets

REVISIONS		
REV #	DATE	BY:
1	3/12/19	TO

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpCLr	PtSpCb
OUTPARCEL	Fc	3.0	4.20	1.10	2.7	3.8	15	15

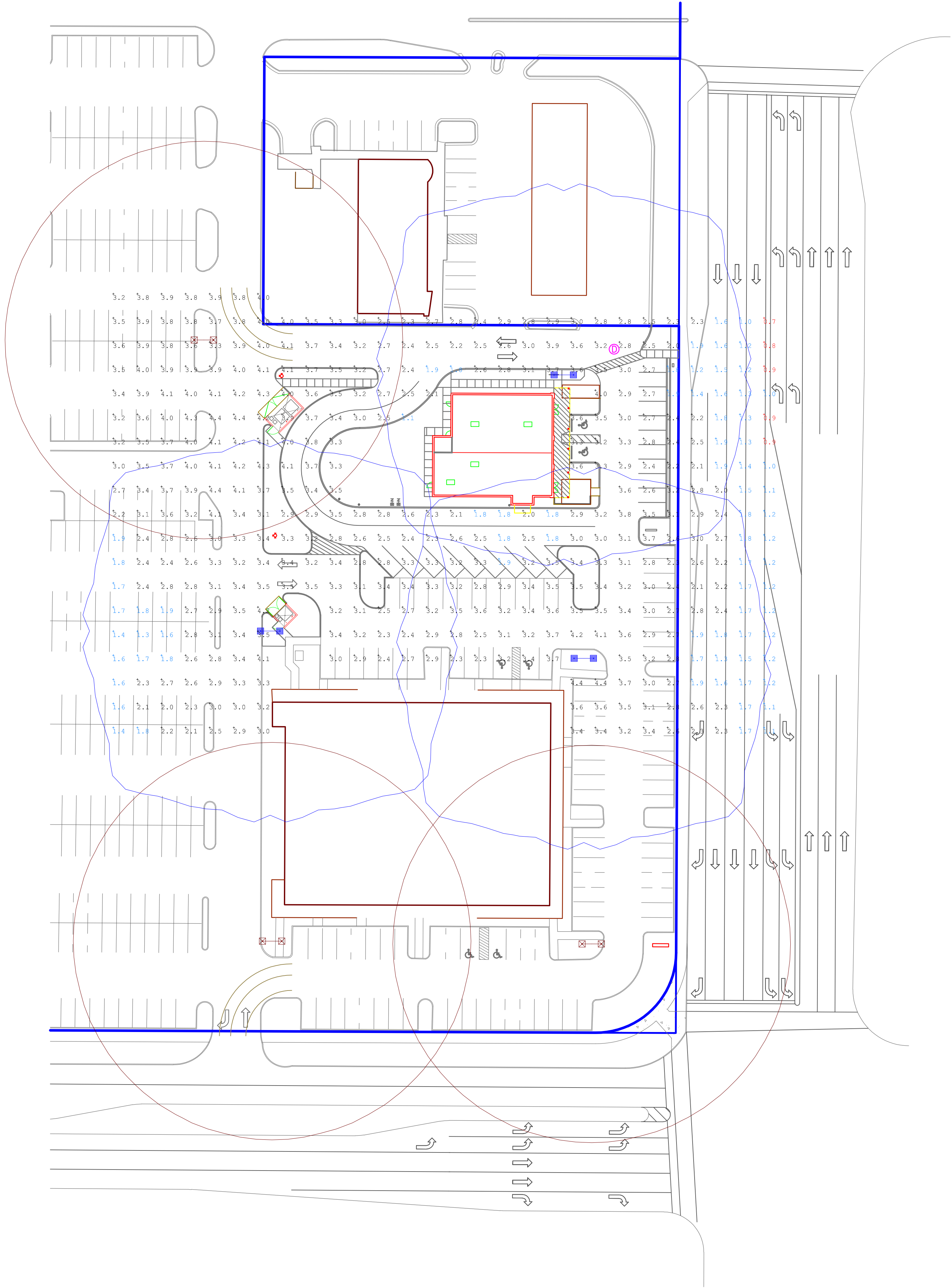
Luminaire Schedule							
WLS14176		HOLLYWOOD HILLS OUTPARCEL	HOLLYWOOD, FL	PM: ROBBY	PLEASE EMAIL ROBBY AT RRUDASILL@WLSLIGHTING.COM FOR PRICING.		
Symbol	Qty	Label	Lumens	LLF	Description	Lum. Watts	
	3	X2	140000	0.700	MCGRAW-GSI-1000-HPS-AR-FG 50' MOUNTING HEIGHT	1080	
	3	A	110000	0.800	WLS-FVR-SR-1000-PSMH-FG 50' MOUNTING HEIGHT	1070	

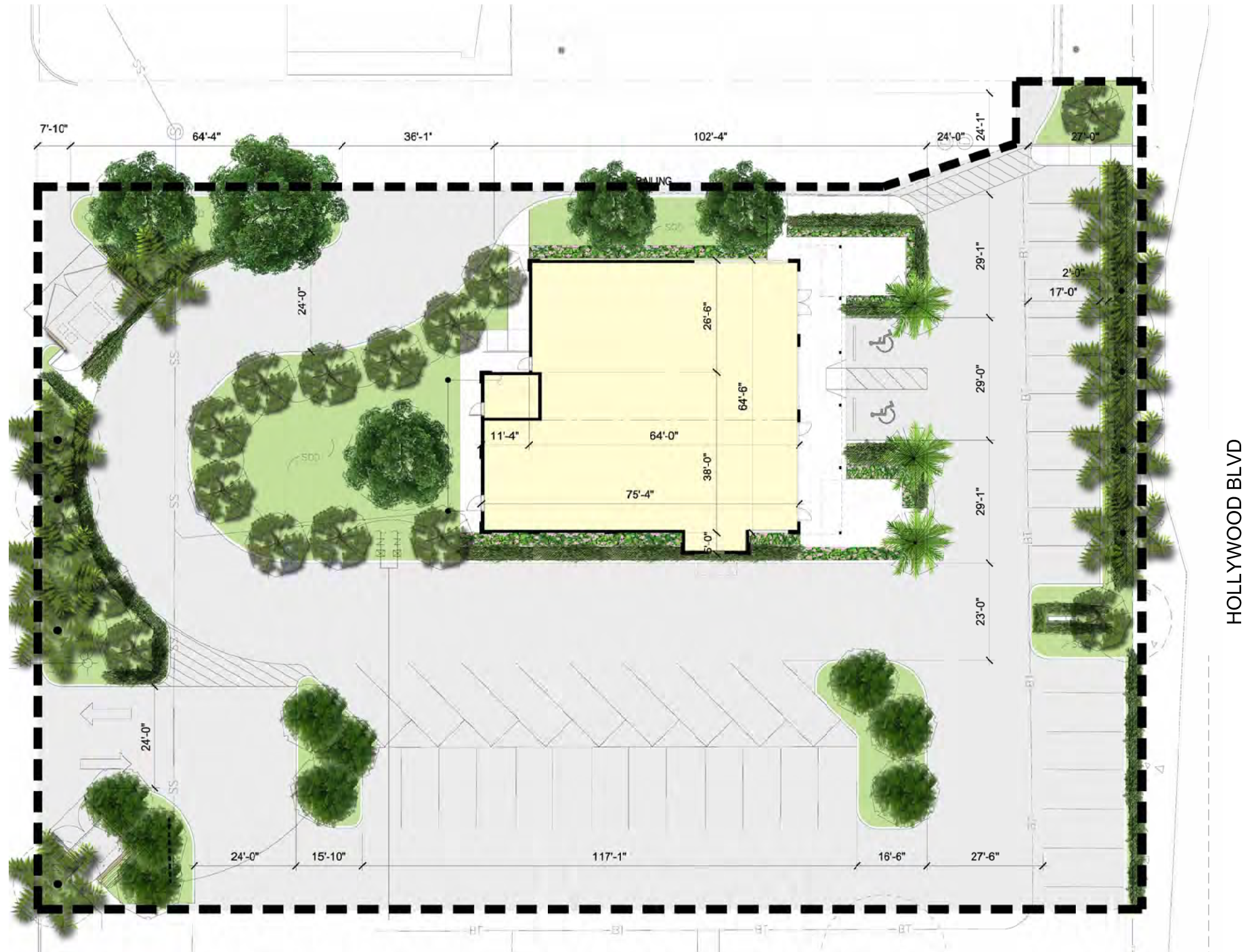


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BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.





SALTZ MICHELSON

ARCHITECTS

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AA-0002897

HOLLYWOOD HILLS COLOR SITE PLAN

SCALE: N.T.S.



Project No.:

2016-109

Drawn By:

MG

Checked By:

MA

Date:

05.22.19

SK1











