

Plan Reviews & Approvals Status
B18-106069 ANTENNAE-TOWER-STRUCTURAL

Owner: BROWARD COUNTY, BOARD OF COUNTY COMMISSIONERS
Site Address: 4950 SW 40 CT
HOLLYWOOD, FL 33312

Status Dates

Applied: 07/30/2018
Due Date: 08/14/2018
Ready for Issue:
Issued:
Partial C/O Issued:
TEMP C/O Issued:
C/O Issued:
C/C Issued:
Cancelled:
Closed:
Expired:
Last Reopened:

Plan Reviews & Approvals Status

B18-106069 ANTENNAE-TOWER-STRUCTURAL

<u>Reviews</u>	<u>Approved</u>	<u>Date Entered</u>	<u>User Name</u>
ENGINEERING-LANDSCAPE REVIEW	CA	1/3/2019	GUILLERMO SALAZAR
LANDSCAPE REVIEW	CA	1/3/2019	GUILLERMO SALAZAR
LANDSCAPE REVIEW	CA	1/3/2019	GUILLERMO SALAZAR
LANDSCAPE REVIEW	CA	1/3/2019	GUILLERMO SALAZAR
UTILITIES-DRAINAGE-PLAN REVIEW	NO	8/20/2018	WILFORD ZEPHYR
BLDG-STRUCTURAL-PLAN REVIEW	NO	8/21/2018	DOMENICO I DE LISO
BLDG-STRUCTURAL-PLAN REVIEW	NO	8/21/2018	Domenico De Liso
ENGINEERING-PLAN REVIEW	NO	8/21/2018	CLARISSA IP
ENGINEERING-PLAN REVIEW	NO	8/21/2018	Clarissa Ip
ZONING-PLAN REVIEW	NO	8/21/2018	CARMEN DIAZ
BLDG-STRUCTURAL-PLAN REVIEW	NO	1/18/2019	DOMENICO I DE LISO
BLDG-STRUCTURAL-PLAN REVIEW	NO	1/18/2019	Domenico De Liso
ZONING-PLAN REVIEW	NO	1/22/2019	FITZ MURPHY
ENGINEERING-PLAN REVIEW	NO	1/23/2019	CLARISSA IP
ENGINEERING-PLAN REVIEW	NO	1/23/2019	Clarissa Ip
BLDG-ELECTRICAL-PLAN REVIEW	YES	8/21/2018	ED WEIDLICH
BLDG-ELECTRICAL-PLAN REVIEW	YES	8/21/2018	Ed Weidlich
BLDG-ELECTRICAL-PLAN REVIEW	YES	8/21/2018	ED WEIDLICH
BLDG-ELECTRICAL-PLAN REVIEW	YES	8/21/2018	Ed Weidlich

<u>Approvals & Certifications</u>	<u>Approved</u>	<u>Date</u>	<u>Performed By</u>
Broward County Notice of Commencement		7/30/2018	
County Impact Fee Satisfied Trans Concurrency Certificate	NA	1/18/2019	DDELISO

<u>Inspection Description</u>	<u>Inspection Discipline</u>	<u>Result</u>	<u>Result Date</u>
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Inspection Results:

Plan Reviews & Approvals Status

B18-106069 CLEARING AND GRUBBING

PermitScreen Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
		8/21/2018	EWEIDLICH
	Approved 8/21/18 submittal and created electrical sub permit Weezer electric Tom Jeffers EC-0001360 954 444 2561 Modular cell site with 400 amp generator. Prewired trailer. Connections to generator and FP&L only. 10000		

PlanReview Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
BLDG-ELECTRICAL-PLAN REVIEW		8/21/2018	EWEIDLICH
	Approved 8/21/18 submittal and created electrical sub permit Weezer electric Tom Jeffers EC-0001360 954 444 2561 Modular cell site with 400 amp generator. Prewired trailer. Connections to generator and FP&L only.		
BLDG-STRUCTURAL-PLAN REVIEW		8/16/2018	EWEIDLICH
	You have received a C/A. C/A--Conditional Approval, which means your electrical plan is o/k but you will still need an electrical contractor to submit a notarized permit application. You will be able to obtain your master permit with this approval, and you can also obtain your sub-electric permit, when you pick up your master permit or later when needed as long as you have a fully executed permit application in the file from the electrical contractor and he is up to date with licenses and required insurances. Conditional Approvals never hold up the issuance of a Master Permit.		
BLDG-STRUCTURAL-PLAN REVIEW		8/16/2018	EWEIDLICH
	Approved 7/30/18 submittal with CA for EC application. Modular cell site with 400 amp generator. Prewired trailer. Connections to generator and FP&L only. 8000 ug , ec r f		
BLDG-STRUCTURAL-PLAN REVIEW		8/20/2018	DDELISO

Plan Reviews & Approvals Status

B18-106069 CLEARING AND GRUBBING

PlanReview Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
	1) Provide the Tower and tower Foundation design signed and sealed by an engineer 2) Provide a subsoil investigation report by a geotechnical engineer, clearly identifying the allowable in-place bearing capacity of the building pad for the proposed structure and verify the existing soil conditions - The certified in-place bearing capacity shall meet or exceed the design bearing capacity - FBC 1803 3) Provide a filled in Permit Application, including the contractor's license and the job value 4) Provide a Special Inspector Form signed by the owner and the contractor, and filled in, signed, dated and sealed by the special inspector for Building Structure of unusual size, height, design and critical structural connections. 5) Provide subpermit applications for: <ul style="list-style-type: none"> - Generator - Equipment storage shelter - Fence 		
BLDG-STRUCTURAL-PLAN REVIEW		8/21/2018	FJOSEPH
	submit elect and struct app		
BLDG-STRUCTURAL-PLAN REVIEW		8/21/2018	DDELISO
	Permit application is on file: 1) Provide the Tower and tower Foundation design signed and sealed by an engineer 2) Provide a subsoil investigation report by a geotechnical engineer, clearly identifying the allowable in-place bearing capacity of the building pad for the proposed structure and verify the existing soil conditions - The certified in-place bearing capacity shall meet or exceed the design bearing capacity - FBC 1803 3) Provide a Special Inspector Form signed by the owner and the contractor, and filled in, signed, dated and sealed by the special inspector for Building Structure of unusual size, height, design and critical structural connections. 4) Provide subpermit applications for: <ul style="list-style-type: none"> - Generator - Equipment storage shelter - Fence 		
BLDG-STRUCTURAL-PLAN REVIEW		1/18/2019	DDELISO
	A Survey showing the Tower location is on file; The following comments of 8/21/18 have not been addressed: 1) Provide the Tower and tower Foundation design signed and sealed by an engineer 2) Provide a subsoil investigation report by a geotechnical engineer, clearly identifying the allowable in-place bearing capacity of the building pad for the proposed structure and verify the existing soil conditions - The certified in-place bearing capacity shall meet or exceed the design bearing capacity - FBC 1803 3) Provide a Special Inspector Form signed by the owner and the contractor, and filled in, signed, dated and sealed by the special inspector for Building Structure of unusual size, height, design and critical structural connections. 4) Provide subpermit applications for: <ul style="list-style-type: none"> - Generator - Equipment storage shelter - Fence 		

ENGINEERING-LANDSCAPE REVIEW

12/11/2018 GSALAZAR

Plan Reviews & Approvals Status

B18-106069 CLEARING AND GRUBBING

PlanReview Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
	<p>Re-submit tree removal application and landscape planting subpermit broward county uniform applications for both sub-permits created in the system in separate along with both cost estimates associated as per landscape plans one for tree removals and one for new landscape tree planting.</p> <p>For clarification please contact Landscape Plan reviewer Guillermo Salazar at gsalazar@hollywoodfl.org or call directly (954)921-3997</p>		
ENGINEERING-PLAN REVIEW		8/21/2018	CIP
	<p>1. Indicate location of any proposed driveway for vehicular access to the new equipment.</p> <p>2. Provide signed and sealed engineer's estimate for civil engineering related work.</p>		
ENGINEERING-PLAN REVIEW		1/23/2019	CIP
	<p>1. Indicate location of any proposed driveway for vehicular access to the new equipment.</p> <p>2. Provide signed and sealed engineer's estimate for civil engineering related work.</p> <p>3. Provide wetlands determination letter or environmental permit from Broward County.</p>		
LANDSCAPE REVIEW		8/21/2018	GSALAZAR

Plan Reviews & Approvals Status

B18-106069 CLEARING AND GRUBBING

PlanReview Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
	<p>In prior to move forward with Landscape plan review process applicant to submit a landscape plan and documents as follows:</p> <ol style="list-style-type: none">1. Provide information updated tree survey not older than 6 months for existing trees on site on a separate table include: location, species, estimated ht./spread, and /DBH diameter of trunks in inches.2. Provide a detailed tree disposition plan and landscape plan on separate sheets by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Provide tabular data chart on plan that identifies City of Hollywood landscape requirements and how they are being met for Perimeter landscape, Species diversity requirements, Interior landscape for at grade parking lots and vehicular use areas, open space, view triangle, planning and development board and historic preservation board and irrigation. Landscape plan should comply with all the requirements according to City of Hollywood Landscape manual, chapter 155.52, Article 9 LDR. Landscape plan set to include and clarify what is been provided as per city code requirements for landscape for project type. As per submitted clarity is required in terms of amount of inches of DBH for trees proposed to be removed and trees not meeting City of Hollywood minimum height or DBH requirements at planting.3. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.4. Additional comments may be forthcoming at Building permit submittal. <p>According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual. Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarkia, and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT.</p> <p>No tree removals without a tree removal sub- permit. Supplemental arborist report might be required as needed to approve any tree removal permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal</p> <p>Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org</p>		

LANDSCAPE REVIEW

12/6/2018 DSHOATS

2 sub app for removal & planting trees

LANDSCAPE REVIEW

12/17/2018 AWEAVER

Plan Reviews & Approvals Status

B18-106069 CLEARING AND GRUBBING

PlanReview Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
	SUBMITTED TREE REMOVAL & TREE PLANTING SUB APP		
	-LANDSCAPE PLAN		
	-COST ESTIMATE		
	-SURVEY		
UTILITIES-DRAINAGE-PLAN REVIEW	Survey show property in flood zone AH5, with Base Flood Elevation (BFE) of 5' NAVD88. Finished floor elevation of the proposed storage building has to be set at 6' NAVD. Revise plan accordingly.	8/20/2018	WZEPHYR
ZONING-PLAN REVIEW	1. Pending approval from Commission meeting.	8/21/2018	CDIAZ
ZONING-PLAN REVIEW	Commission approval 12/7/2018 (O-2018-19) (R-2018-358)	1/22/2019	FMURPHY
	1. Provide elevations showing height of proposed tower and accessory structures.		
	2. Provide dimensions (setbacks) to property lines and adjacent residential buildings.		
	3. Provide a Certificate of Use. Please contact the Planning Division at 954-921-3471 for more information on how to obtain a Certificate of Use.		
	4. Additional comments may be forthcoming.		
	5. Planning Staff is available to discuss the below comments on Tuesday and Thursday between the hours of 7:30 a.m. to 10:30 a.m. The Planning Division is located in room 315 of City Hall and may be contacted by phone at (954) 921-3471.		

System Comments

<u>Description</u>	<u>Comments</u>	<u>Date</u>	<u>Entered By</u>
	Permit Type Change from CLEARING AND GRUBBING	8/21/2018	
	Permit Type Change from ANTENNAE-TOWER-STRUCTURAL	8/21/2018	

Plan Reviews & Approvals Status
B18-106069 CLEARING AND GRUBBING

<u>Linked Permits</u>	<u>Status</u>
B18-109433	CREATED
B18-109434	CREATED
E18-102088	CREATED



Letter of Transmittal

To: City of Hollywood
 P.O. Box 229045
 Hollywood, FL, 33022-9045
 Phone: (954)921-3335 • Fax (954)921-3037

Date 12/3/18
 Permit Number: 818106069
 E-Mail Address: wcw@teamplaninc.com
 Project/ Reference: 4950 SW 40th Ave, Hollywood

For Review By: (check all applicable spaces)

☐ Planning ☐ Zoning ☐ Engineering ☐ Fire ☐ Water / Sewer ☐ Drainage ☒ Landscape ☐ CRA
Discipline: ☐ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Changes

From: The W Group Inc
 Address: 1409 SW Albatross Way
Palm City, FL 34990
 E-Mail Address: tom.flynn@twgcontractors.com
 Contact: Tom Flynn
 Phone: (772) 727 423 1390
 Fax: ()

PLANS SUBMITTED: (CHECK ☐)

<input type="checkbox"/> Architectural Sheet # _____	<input type="checkbox"/> Fire Sheet # _____
<input type="checkbox"/> Structural Sheet # _____	<input type="checkbox"/> Zoning Sheet # _____
<input type="checkbox"/> Electrical Sheet # _____	<input type="checkbox"/> Engineering Sheet # _____
<input type="checkbox"/> Mechanical Sheet # _____	<input type="checkbox"/> RCC Sheet # _____
<input type="checkbox"/> Plumbing Sheet # _____	<input type="checkbox"/> Drainage Sheet # _____
<input type="checkbox"/> Water Sheet # _____	<input type="checkbox"/> Sewer Sheet # _____
<input type="checkbox"/> CRA Sheet # _____	<input checked="" type="checkbox"/> Landscape Sheet # _____

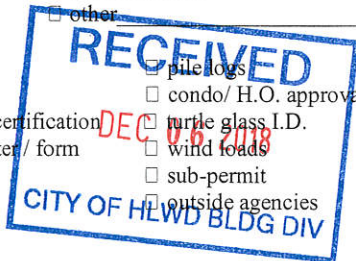
WE ARE SUBMITTING TO YOU (CHECK ☐)

Via ☒ hand delivery ☐ postal delivery ☐ drop box
☐ special delivery ☐ fax copy

- ☐ Email
- ☐ initial (original) set of plans
- ☐ corrected (non-permitted) plans
- ☐ revised (permitted) plans
- ☐ shop drawings:

- ☐ structural steel
- ☐ wood trusses
- ☐ glass/glazing
- ☐ product approvals
- ☐ fire protection
- ☐ other _____

- ☐ spot survey
- ☐ final survey
- ☐ energy (insulation) certification
- ☐ special inspector letter / form
- ☐ soil reports
- ☐ inspection reports
- ☐ energy calcs
- ☐ site plans
- ☐ other _____



For Departmental Use Only:

Received by: JS Date: / /

Special Instructions

Tree Removal Re-planting Sub
permit application
Tree Removal application

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Select One Trade: ☐ Building ☐ Electrical ☐ Plumbing ☐ Mechanical ☒ Other Tree Removal

Application Number: _____

Application Date: _____

1	Job Address: <u>SW 49th Court</u>	Unit: _____	City: <u>Hollywood</u>	
	Tax Folio No.: _____	Flood Zn: _____	BFE: _____	Job Value: <u>\$22,600</u>
	Building Use: _____	Construction Type: _____	Occupancy Group: _____	
	Present Use: _____	Proposed Used: _____		
	Description of Work: <u>Tree Removal</u>			
	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Revision <input type="checkbox"/> Other: _____			
	Legal Description: _____			<input type="checkbox"/> Attachment
2	Property Owner: <u>Broward City Board of County Commissioners</u>		Phone: _____	Email: _____
	Owner's Address: _____		City: _____	State: _____ Zip: _____
3	Contracting Co.: <u>W Group</u>		Phone: _____	Email: _____
	Company Address: <u>1409 SW ALBATROSS WAY</u>		City: <u>PALEMBURY</u>	State: <u>FL</u> Zip: <u>34990</u>
	Qualifier's Name: <u>THOMAS FLYNN</u>		Owner-Builder: <input type="checkbox"/>	License Number: <u>CGE 1505177</u>
	Architect/Engineer's Name: _____		Phone: _____	Email: _____
	Architect/Engineer's Address: _____		City: _____	State: _____ Zip: _____
	Bonding Company: _____			
4	Bonding Company Address: _____		City: _____	State: _____ Zip: _____
	Fee Simple Titleholder's name (if other than owner): _____			
	Fee Simple Titleholder's Address (if other than owner): _____		City: _____	State: _____ Zip: _____
	Mortgage Lender's Name: _____			
	Mortgage Lender's Address: _____		City: _____	State: _____ Zip: _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.


WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.


X [Signature]
 STATE OF FLORIDA
 COUNTY OF BROWARD
 Signature of Property Owner or Agent

X [Signature]
 STATE OF FLORIDA
 COUNTY OF BROWARD
 Signature of Qualifier

Sworn to (or affirmed) and subscribed before me this 13th day of December, 2018 by _____

Sworn to (or affirmed) and subscribed before me this 12th day of December, 2018 by _____


 Notary Public State of Florida
 Lisa T. Bolden
 My Commission FF 976892
 Expires 03/30/2020
 NOTARY'S SIGNATURE as to Owner or Agent's Signature
 Notary Name Lisa T. Bolden
 (Print, Type or Stamp Notary's Name)
 Personally Known _____ or Produced Identification ✓
 Type of Identification Produced Driver's License


 NOTARY'S SIGNATURE as to Qualifier's Signature
 Notary Name NICOLE MULLINGS-SQUIRE
 (Print, Type or Stamp Notary's Name)
 Personally Known _____ or Produced Identification X
 Type of Identification Produced FL DRIVERS LIC

APPROVED BY: _____ Permit Officer Issue Date: _____ Code in Effect: _____

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please inquire.

Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.

PROPOSAL

DATE
11/13/18

PROJECT/SITE
BROWARD COUNTY WEST HOLLYWOOD SITE

This Proposal is good for 30 days from the date above. All Material is Guaranteed as Specified to be Completed in a Workmanlike Manor According to Standard Practices. Any Alterations or Deviations from above Specifications Involving Extra Costs will be Executed only upon Written Orders and will become an Extra Charge over and above the Proposal. Our Workers are Fully Covered by Workers Compensation Insurance.



CITY OF HOLLYWOOD, FLORIDA
DEPARTMENT OF DEVELOPMENT SERVICES

TREE REMOVAL/RELOCATION PERMIT APPLICATION

PERMIT # TR

PLEASE FOLLOW THE INSTRUCTIONS BELOW FOR FASTEST PROCESSING:

1. Provide Complete Information On Form And Return To City Hall Rm308. Applications that do not provide all of the required information herein may cause a delay or cessation in application processing.
2. Provide Number Of Trees, Species Of Tree Or Palm, Where Tree Is Located On Property, And Photograph(s) Of The Tree(s) You Are Applying For. If this information is not provided complete it may be difficult to determine which tree or palm to inspect resulting in delay. A site plan or scaled tree survey may be required at the tree inspector's discretion.
3. Return Completed Application To City Hall Rm308. City staff will then inspect the tree to determine if it meets the criteria for removal established by Chapter 106 of the Hollywood Code of Ordinances. As a proud Tree City USA since 1979, relocation on site may be approved instead of removal. This document does **NOT** become a valid permit until **ALL** of the following have occurred:
 - City staff have inspected trees and determined criteria and valid reason for tree removal exists
 - Applicant has been contacted and advised of application approval and paid all fees
 - A permit number has been assigned by the City of Hollywood at time of payment

1. Request for: ☒ Removal ☐ Relocation
2. Total number of trees applying for: 16
3. Reason for removal or relocation request (if part of a Building Permit provide permit number): Trees are located in close proximity to a communication tower enclosure and pose a potential hazard to the tower and emergency communication equipment. Trees are a combination of hardwoods, invasive, and exotic species. Hardwoods will be mitigated.
4. Address of requested tree relocation/removal: SW 49th Court.
5. Tree species and location(s) on the property: See attached tree survey.
6. Type of property: ☐ Single Family House (existing)
 ☒ All Others (Any property that is **NOT** a single family house such as condominiums, duplexes, commercial businesses, apartments, institutions, parking lots and facilities, etc.)
7. Name of Applicant & Property Owner: Broward County Board of County Commissioners (owner) / Motorola Solutions (applicant)

Address of Property Owner: 115 S. Andrews Ave., Fort Lauderdale, FL 33301
(provide only if different from the address of tree location)

Telephone Contact for Applicant & Owner: Dr. Bill Whiteford, AICP, Team Plan Inc. / 561-706-2100

E-mail Contact for Applicant & Owner: wcw@teamplaninc.com

Miguel Castillo Arbor Services

6411 Harding Street
Hollywood, FL 33024
954-849-1700
miguelcastillo2012@att.net

Tree Survey Report for Motorola West Hollywood Site Project (Folio 504231010242)

This report is intended to disclose the findings and the recommendations for the disposition of the 10 specimen trees, under story vegetation, including saplings and exotic invasive trees found at this site.


The tree data collected has been included with an accompanying survey legend. It is to be used in conjunction with the site plan, showing corresponding numbered tree locations on the proposed site construction plan, (provided by others). It includes the disposition of individual trees and other information relevant to the cause and effect of this report.

The locations of the 10 trees are mostly within, or in close proximity to the proposed tower and shelter structures shown on the proposed site plan. The remaining smaller trees are not viable to retain for the following reasons:

- 1) these category 1 trees have been growing too close together through-out their life span, more than 30 years for most, competing for sunlight and space in a confined population of trees.
- 2) proper and adequate canopy development and growth has been prohibited because of the relatively close distance to each other.
- 3) over time, these sustained conditions have forced the trees to develop into long lever arms with minimal canopies. Very poorly developed and damaged canopy structures are present on all the specimens recorded. Most have 20'-25' of clear trunk main stems up to where the lower canopy structure parts originate many of which have been damaged and in advanced decay.
- 4) the canopies are too small for their species and if left unprotected by the current population of neighboring trees, they would most likely fail in strong wind events.
- 5) they have no aesthetic value.
- 6) the apparent elevation changes required for the site's development will have an adverse effect on the root systems, depriving them of oxygen exchange, which is critical for the survival of each tree. They will most likely die.

The under story vegetation and young sapling/seedlings are of no significant value, because the majority are invasive, exotic or nuisance species. Mostly Brazilian pepper, (Florida holly)..

Signed and delivered by;

 9-20-18

Miguel Castillo
ISA Certified Arborist
FL6284A

Miguel Castillo Arbor Services
6411 Harding Street
Hollywood, FL 33024
954-849-1700

West Hollywood site tree survey legend
(Folio 504231010242)

<u>Tree no.</u>	<u>Species</u>	<u>D. B. H.</u>	<u>Overall Height</u>	<u>Canopy Spread.</u>	<u>Tree Disposition</u>
1	quercus virginiana (live oak)	14'	30'	10'	remove
2	Syzyglum cumini (Java plum)	9"	42'	18'	remove
3	Syzyglum cumini (Java plum)	5 c.d.s.=27"	50'	25'	remove
4	quercus virginiana (live oak)	20'	38"	22'	remove
5	quercus virginiana (live oak)	13"	40'	15'	remove
6	quercus virginiana (live oak)	10"	35'	15'	remove
7	quercus virginiana (live oak)	8"	12'	15'	remove
8	quercus virginiana (live oak)	9"	30'	10'	remove
9	quercus virginiana (live oak)	6"	13'	10'	remove
10	Brazilian pepper	na	na	na	remove
11	quercus virginiana (live oak)	4"	12'	4'	remove
12	Brazilian pepper	na	na	na	remove
13	Roystonea elata royal palm	18"	40'	18'	remain
14	Syzyglum cumini (Java plum)	9"	35'	15'	remove
15	syzyglum cumini (Java plum)	15"	40'	10'	remove
16	syzyglum cumini (Java plum)	11"	40'	15'	remove
17	Syzyglum cumini (Java plum)	10"	35'	20'	remain

Each tree is numbered and tagged with orange ribbon to correspond with this legend and site survey respectively. OAH and canopy spread sizes are within 5' of actual size.



Environmental Protection and Growth Management Department
PLANNING AND DEVELOPMENT MANAGEMENT DIVISION
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Environmental Review Approval Certificate

Issue Date: 11/28/2018

ER Review #: 000418771

Title of Drawings: MOTOROLA SOLUTIONS - BROWARD CO.- WEST HOLLYWOOD

Project#: 6166-17-XXXX

Plan Last Revision Date: 5/21/18

Bldg Dept Jurisdiction: Hollywood

Legal Description: Plat Name: REED LAND CO SUB Lot: 9 Block:

Address: 4950 sw 40th AVE, Hollywood, Fl. 33312

Construction Type: New Construction

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval, any changes in footprint, Lot #, or bedrooms or use will require a new approval.

APPROVED

- ☒ **WARNING** NOTIFICATION TO THE PLANNING AND DEVELOPMENT MANAGEMENT DIVISION IS REQUIRED WITHIN TEN (10) WORKING DAYS AFTER ISSUANCE OF A BUILDING PERMIT, A CERTIFICATE OF OCCUPANCY, A TEMPORARY CERTIFICATE OF OCCUPANCY, CERTIFICATE OF COMPLETION, FINAL INSPECTION OR ANY OTHER ACTION THAT ALLOWS OCCUPANCY OF THE BUILDING OR FACILITY. THE BUILDING DEPARTMENT IS REQUIRED TO ELECTRONICALLY UPDATE BUILDING PERMIT AND CO DATA ONLINE AT [HTTPS://DMDWEB.BROWARD.ORG/DMDWEB/LOGIN.ASPX](https://DMDWEB.BROWARD.ORG/DMDWEB/LOGIN.ASPX)
- ☒ **COMMENTS** NEW TELECOMMUNICATION EQUIPMENT SHELTER WITH ICE BRIDGE, SELF-SUPPORT TOWER, FENCE, AND GENERATOR WITH DIESEL TANK.
- ☒ **INDUSTRIAL REVIEW CONDITIONS**
 - A Hazardous Material license will be required upon operation of the facility.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Development Management Division for re-evaluation.

Environmental Reviewer Name: Greg Whitaker



Letter of Transmittal

To: City of Hollywood
P.O. Box 229045
Hollywood, FL, 33022-9045
Phone: (954)921-3335 • Fax (954)921-3037

Date 12/17/18
Permit Number: B-18-106069
E-Mail Address: _____
Project/ Reference: _____

For Review By: (check all applicable spaces)

☐ Planning ☐ Zoning ☒ Engineering ☐ Fire ☐ Water / Sewer ☐ Drainage ☒ Landscape ☐ CRA
Discipline: ☐ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Changes

From: THOMAS BRADLEY
Address: 2811 W. W. Road
Mt. Dora, FL 32757
E-Mail Address: thom@hicans.com
Contact: _____
Phone: (804) 314-8650
Fax: () _____

PLANS SUBMITTED: (CHECK ☐)

<input type="checkbox"/> Architectural Sheet # _____	<input type="checkbox"/> Fire Sheet # _____
<input type="checkbox"/> Structural Sheet # _____	<input type="checkbox"/> Zoning Sheet # _____
<input type="checkbox"/> Electrical Sheet # _____	<input type="checkbox"/> Engineering Sheet # _____
<input type="checkbox"/> Mechanical Sheet # _____	<input type="checkbox"/> RCC Sheet # _____
<input type="checkbox"/> Plumbing Sheet # _____	<input type="checkbox"/> Drainage Sheet # _____
<input type="checkbox"/> Water Sheet # _____	<input type="checkbox"/> Sewer Sheet # _____
<input type="checkbox"/> CRA Sheet # _____	<input type="checkbox"/> Landscape Sheet # _____

WE ARE SUBMITTING TO YOU (CHECK ☐)

Via ☒ hand delivery ☐ postal delivery ☐ drop box
☐ special delivery ☐ fax copy

☐ Email
☐ initial (original) set of plans
☐ corrected (non-permitted) plans
☐ revised (permitted) plans
☐ shop drawings:
☐ structural steel
☐ wood trusses
☐ glass/glazing
☐ product approvals
☐ fire protection
☐ other _____

☐ spot survey ☐ pile logs
☐ final survey ☐ condo/ H.O. approval
☐ energy (insulation) certification ☐ turtle glass I.D.
☐ special inspector letter / form ☐ wind loads
☐ soil reports ☐ sub-permit
☐ inspection reports ☐ outside agencies
☐ energy calcs
☐ site plans
☐ other _____

For Departmental Use Only:

Received by: _____ Date: ____/____/____

Special Instructions

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Select One Trade: ☒ Building ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Other

Application Number: _____

Application Date: _____

Job Address: : <u>4950 SW 40 AVE</u>	Unit: _____	City: <u>Hollywood</u>
Tax Folio No.: _____	Flood Zn: _____	BFE: _____
Floor Area: _____		Job Value: \$ 100,000
Building Use: Public Safety Communications		Construction Type: _____
Occupancy Group: _____		
1 Present Use: vacant		Proposed Used: Public Safety Communications
Description of Work: Construct 300' Self Supporting tower, foundations for 24'x32' shelter and 100 kW Diesel Generator		
<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Revision <input type="checkbox"/> Other:		
Legal Description: Section 34, Township 49 South, Range 37 East		<input type="checkbox"/> Attachment

2 Property Owner: Broward County	Phone: 954-205-9779	Email: jdezayas@broward.org
Owner's Address: 115 S. Andrews Avenue	City: Fort Lauderdale	State: FL Zip: 33301

3 Contracting Co.: The W Group	Phone: 772-421-3523	Email: TomFlynn@twgcontractors.com
Company Address: 1409 SW Albatross Way	City: Palm City	State: FL Zip: 34990
Qualifier's Name: Tom Flynn	Owner-Builder: <input checked="" type="checkbox"/>	License Number: CGC 1505177

Architect/Engineer's Name: David Shiver	Phone: 770-421-3400	Email: David.Shiver@woodplc.com
Architect/Engineer's Address: 1075 Big Shanty Road NW	City: Kennesaw	State: GA Zip: 30144
Bonding Company: n/a		
4 Bonding Company Address:	City:	State: Zip:
Fee Simple Titleholder's name (if other than owner): n/a		
Fee Simple Titleholder's Address (If other than owner):	City:	State: Zip:
Mortgage Lender's Name: n/a		
Mortgage Lender's Address:	City:	State: Zip:

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
 STATE OF FLORIDA
 COUNTY OF BROWARD
 Signature of Property Owner or Agent

[Signature]
 STATE OF FLORIDA
 COUNTY OF BROWARD
 Signature of Qualifier

Sworn to (or affirmed) and subscribed before me this 31st day of July, 20 18 by _____

Sworn to (or affirmed) and subscribed before me this 3rd day of August, 20 18 by _____

Notary Public State of Florida
 Lisa T Bolden
 My Commission FF 978892
 Expires 03/30/2020
 NOTARY'S SIGNATURE as to Owner or Agent's Signature
 Notary Name Lisa T. Bolden
 (Print, Type or Stamp Notary's Name)
 Personally Known _____ or Produced Identification ✓
 Type of Identification Produced Driver's License

Tom Flynn
 (Type / Print Qualifier's Name)
 NOTARY'S SIGNATURE as to Qualifier's Signature
 Notary Name Lisa T. Bolden
 (Print, Type or Stamp Notary's Name)
 Personally Known _____ or Produced Identification ✓
 Type of Identification Produced Driver's License

APPROVED BY: _____ Permit Officer Issue Date: _____ Code in Effect: _____

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please inquire.

Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Select One Trade: ☐ Building ☒ Electrical ☐ Plumbing ☐ Mechanical ☐ Other _____

Application Number: _____

Application Date: _____

Job Address:	4950 SW. 40 AVENUE			Unit:	City:	Hollywood	
Tax Folio No.:	Flood Zn:	BFE:	Floor Area:	Job Value: \$ 10,000			
Building Use: Public Safety Communications			Construction Type:		Occupancy Group:		
1 Present Use:	vacant			Proposed Used: Public Safety Communications			
Description of Work: Electrical connection to FP&L, back up generator and site grounding							
<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Revision <input type="checkbox"/> Other:							
Legal Description: Section 34, Township 49 South, Range 37 East							<input type="checkbox"/> Attachment
2 Property Owner:	Broward County			Phone:	954-205-9779 Email: jdezas@broward.org		
Owner's Address:	115 S. Andrews Avenue			City:	Fort Lauderdale		State: FL Zip: 33301
Contracting Co.:	Weezer Electric			Phone:	954-444-2561 Email: weezelectric@att.net		
3 Company Address:	271 NW 16th St			City:	Pompano Beach		State: FL Zip: 33060
Qualifier's Name:	Tom Jeffers			Owner-Builder:	<input checked="" type="checkbox"/> License Number: EC-0001360		
Architect/Engineer's Name:	Jason D Page			Phone:	770-421-3400 Email: Jason.Page@woodplc.com		
Architect/Engineer's Address:	1075 Big Shanty Road NW			City:	Kennesaw		State: GA Zip: 30144
Bonding Company:	n/a						
4 Bonding Company Address:				City:			State: Zip:
Fee Simple Titleholder's name (if other than owner):	n/a						
Fee Simple Titleholder's Address (if other than owner):				City:			State: Zip:
Mortgage Lender's Name:	n/a						
Mortgage Lender's Address:				City:			State: Zip:

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
 STATE OF FLORIDA
 COUNTY OF BROWARD
 Signature of Property Owner or Agent

X [Signature]
 STATE OF FLORIDA
 COUNTY OF BROWARD
 Signature of Qualifier

Sworn to (or affirmed) and subscribed before me this 31st day of July, 2018 by

Sworn to (or affirmed) and subscribed before me this 2nd day of August, 2018 by

Notary Public State of Florida
 Lisa T Bolden
 My Commission FF 976892
 Expires 03/30/2020
[Signature]
 Notary Name Lisa T. Bolden
 Personally Known _____ or Produced Identification ✓
 Type of Identification Produced Driver's License

Notary Public State of Florida
 Lisa T Bolden
 My Commission FF 976892
 Expires 03/30/2020
[Signature]
 Notary Name Lisa T. Bolden
 Personally Known _____ or Produced Identification ✓
 Type of Identification Produced Driver's License

APPROVED BY: _____ Permit Officer Issue Date: _____ Code in Effect: _____

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please inquire.
 Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.



Letter of Transmittal

To: City of Hollywood
P.O. Box 229045
Hollywood, FL, 33022-9045
Phone: (954)921-3335 • Fax (954)921-3037

Date 8/15/2018
Permit Number: B18-106069
E-Mail Address: Mikael Isaac
Project/ Reference: _____

For Review By: (check all applicable spaces)

☐ Planning ☐ Zoning ☐ Engineering ☐ Fire ☐ Water / Sewer ☐ Drainage ☐ Landscape ☐ CRA
Discipline: ☐ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Changes

From: Mikael Isaac

Address: 12101 NW 4 STREET
PLANTATION, FLA 33325

E-Mail Address: _____

Contact: Mikael Isaac

Phone: (305) 796-9695

Fax: () _____

PLANS SUBMITTED: (CHECK ☐)

☐ Architectural Sheet # _____ ☐ Fire Sheet # _____

☐ Structural Sheet # _____ ☐ Zoning Sheet # _____

☐ Electrical Sheet # _____ ☐ Engineering Sheet # _____

☐ Mechanical Sheet # _____ ☐ RCC Sheet # _____

☐ Plumbing Sheet # _____ ☐ Drainage Sheet # _____

☐ Water Sheet # _____ ☐ Sewer Sheet # _____

☐ CRA Sheet # _____ ☐ Landscape Sheet # _____

WE ARE SUBMITTING TO YOU (CHECK ☐)

Via ☒ hand delivery ☐ postal delivery ☐ drop box
☐ special delivery ☐ fax copy

☐ Email
☒ initial (original) set of plans
☐ corrected (non-permitted) plans
☐ revised (permitted) plans
☐ shop drawings:

☐ structural steel
☐ wood trusses
☐ glass/glazing
☐ product approvals
☐ fire protection
☐ other _____

☐ spot survey ☐ pile logs
☐ final survey ☐ condo/ H.O. approval
☐ energy (insulation) certification ☐ turtle glass I.D.
☐ special inspector letter / form ☐ wind loads
☐ soil reports ☐ sub-permit
☐ inspection reports ☐ outside agencies
☐ energy calcs
☐ site plans
☐ other _____

Special Instructions

For Departmental Use Only:

Received by: _____ Date: ____/____/____

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Select One Trade: ☐ Building ☐ Electrical ☐ Plumbing ☐ Mechanical ☒ Other Tree Planting

Application Number:

Application Date:

Job Address: <u>SW 49th Court</u>	Unit:	City: <u>Hollywood</u>
Tax Folio No.:	Flood Zn:	BFE:
Building Use:	Construction Type:	Occupancy Group:
1 Present Use:	Proposed Used:	
Description of Work: <u>TREE PLANTING</u>		
<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Demolition <input type="checkbox"/> Revision <input type="checkbox"/> Other:		
Legal Description:		<input type="checkbox"/> Attachment
2 Property Owner: <u>Broward County</u>	Phone:	Email:
Owner's Address: <u>Board of County Commissioners</u>	City:	State: <u>FL</u> Zip: <u></u>
Contracting Co.: <u>W Group</u>	Phone:	Email:
3 Company Address: <u>1409 SW ALBATROSS WAY</u>	City: <u>PALM CITY</u>	State: <u>FL</u> Zip: <u>34910</u>
Qualifier's Name: <u>Thomas J. Flynn</u>	Owner-Builder: <input type="checkbox"/>	License Number: <u>CGC 1505177</u>
Architect/Engineer's Name:	Phone:	Email:
Architect/Engineer's Address:	City:	State: Zip:
Bonding Company:		
4 Bonding Company Address:	City:	State: Zip:
Fee Simple Titleholder's name (if other than owner):		
Fee Simple Titleholder's Address (if other than owner):	City:	State: Zip:
Mortgage Lender's Name:		
Mortgage Lender's Address:	City:	State: Zip:

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

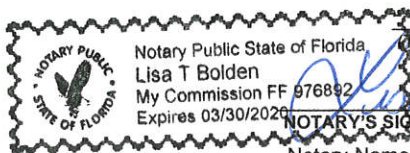
OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
Signature of Property Owner or Agent

STATE OF FLORIDA
COUNTY OF BROWARD

Sworn to (or affirmed) and subscribed before me this 13th day of December, 20 18 by



Notary Public State of Florida
Lisa T. Bolden
My Commission FF 976842
Expires 03/30/2020

NOTARY'S SIGNATURE as to Owner or Agent's Signature
Notary Name Lisa T. Bolden
(Print, Type or Stamp Notary's Name)

Personally Known ☒ or Produced Identification ☒

Type of Identification Produced Driver's License

X [Signature]
Signature of Qualifier

STATE OF FLORIDA
COUNTY OF BROWARD

Sworn to (or affirmed) and subscribed before me this 12th day of December, 20 18 by



THOMAS J. FLYNN
(Type / Print Qualifier's Name)
NOTARY'S SIGNATURE as to Qualifier's Signature
Notary Name NICOLE MULLINGS-SQUIRE
(Print, Type or Stamp Notary's Name)

Personally Known ☒ or Produced Identification ☒

Type of Identification Produced FL DRIVERS LIC

APPROVED BY: _____ Permit Officer Issue Date: _____ Code in Effect: _____

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please inquire.

Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.



Environmental Protection and Growth Management Department
PLANNING AND DEVELOPMENT MANAGEMENT DIVISION
1 North University Drive, Building A, Suite 102 Plantation, Florida 33324 954-357-6666 FAX 954-357-6521

Broward County Transportation Concurrency Satisfaction Certificate

*** Please note that this approval does not constitute Environmental Review Approval. You will still need the Environmental Approval Certificate to submit to the Building Department.**

Issue Date: 11/28/2018

DR Review #: 0063563

Application Number: 000418771

Title of Drawings: MOTOROLA SOLUTIONS - BROWARD CO.- WEST HOLLYWOOD

Project#: 6166-17-XXXX

Plan Last Revision Date: 5/21/18

Bldg Dept Jurisdiction: Hollywood

Legal Description: Plat Name: REED LAND CO SUB

Plat Number: Book: 2 Page: 32

Lot: 9

Block:

Address: 4950 sw 40th AVE, Hollywood, Fl. 33312

Construction Type: New Construction

This approval is issued in accordance with Sec. 27.66 of the Broward County Natural Resource Protection Code. This approval is specific for the plans and description described on this approval. Any changes in footprint, Lot #, or bedrooms or use will require a new approval.

Development Review

☒ **BUILDING OFFICIAL:** No Impact/Concurrency Fees Due to Broward County Planning & Development Management Division
THE CONSTRUCTION OF AN UNMANNED TELECOMMUNICATIONS TOWER AND EQUIPMENT SHELTER.
- MOTOROLA SOLUTIONS
Receipt# 0063563

☒ **TRANSPORTATION CONCURRENCY SATISFACTION:** Certificate is hereby issued

*Any revision to these plans requires a new development review by the division.

If a building permit is not applied for within 30 days of the Environmental Review Approval, plans must be re-submitted to the Planning and Development Management Division for re-evaluation.

Development Reviewer Name: Christian Dumay

Landmark Landscape and Maintenance Services

PROPERTY MANAGEMENT & MAINTENANCE

1941 N W 150TH Avenue

Pembroke Pines, FL 33028

Broward (954) 392-6000

Dade (305) 558-5844

FAX (954) 392-6692

Proposal LANDSCAPE DIVISION

BILL: Moto Team NLT

RE: West Hollywood Site

Date: 12/16/2018

1 Description of work: Install trees, palms and plants at new tower site in W. Hollywood, FL.
Land clearing and finish grading to be completed by others.

2 Material:

Description	Size	Qty.	Price/Unit	Price
Gumbo limbo	b&b 12'X6' w 3" ca	8	\$380.00	\$3,040.00
Pigeon plum	b&b 12'X6' w 3" ca	5	\$425.00	\$2,125.00
Green buttonwood	b&b 12'X6' w 3" ca	11	\$360.00	\$3,960.00
Red cedar	b&b 12'X6' w 3" ca	4	\$675.00	\$2,700.00
Sabal palm	18' oa	5	\$250.00	\$1,250.00
Sabal palm	14' oa	5	\$250.00	\$1,250.00
Sabal palm	10' oa	2	\$200.00	\$400.00
Cocoplum	3 gl.	86	\$12.00	\$1,032.00
Myrsine	3 gl.	42	\$15.00	\$630.00
Walters Vibernum	3 gl.	35	\$14.00	\$490.00
Soil 50/50	cu. Yd.	5	\$80.00	\$400.00
mulch	bag	120	\$3.50	\$420.00

3 Price:

Material	<u>\$17,697.00</u>
Labor	<u>included</u>
Total Cost	<u>\$17,697.00</u>

Requested By: Jay Hammack
Approved By: _____

Date: 12/14/2018
Date: _____



Broward County Commission Regular Meeting

Meeting Date: 04/09/2019

Department: Finance & Administrative Services

Information

Requested Action

MEETING/WORKSHOP NOTICES

WORKSHOP: PRESENTATION CIRC HOTEL ENGINEERING STUDY

Tuesday, April 9th, in Room 430 at 12:30 p.m. or immediately following Commission Meeting

What Action Accomplishes

Is this Action Goal Related

Previous Action Taken

Source of Additional Information

Fiscal Impact

Attachments

No file(s) attached.


MOTOROLA SOLUTIONS

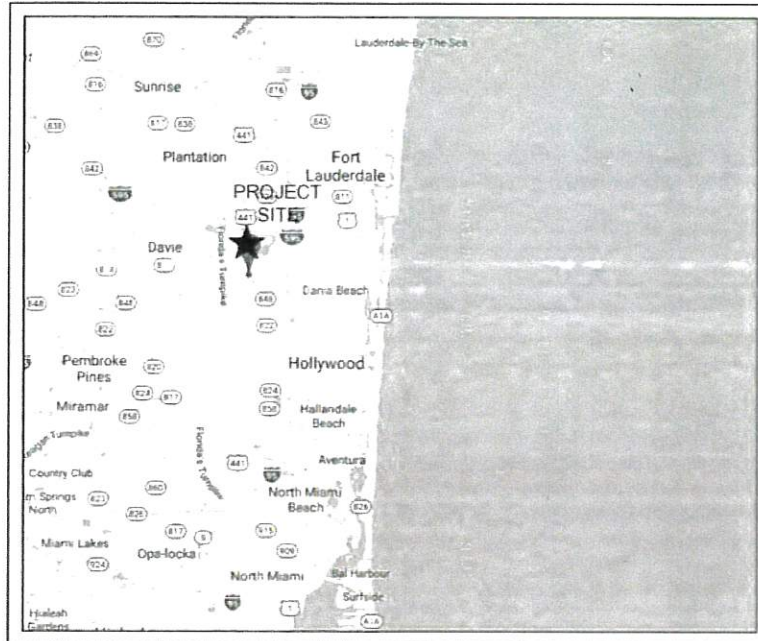
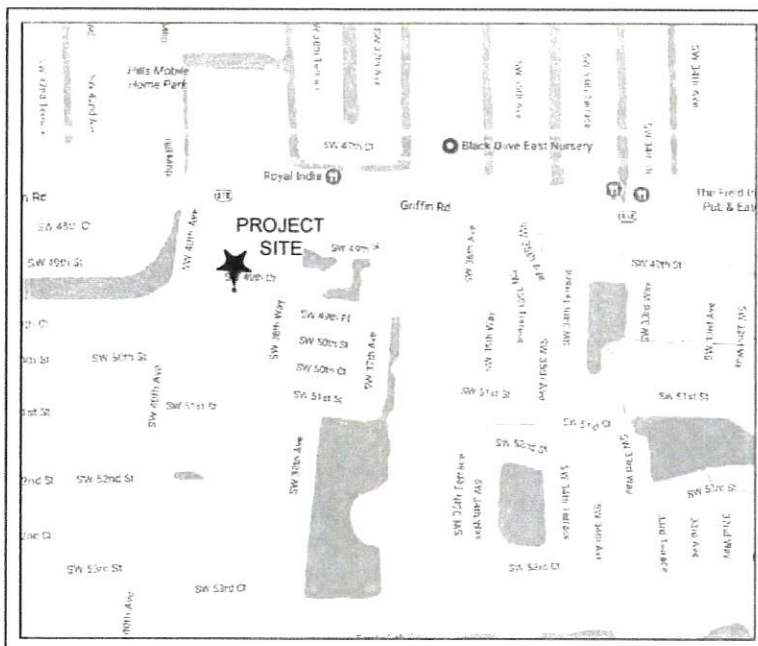
BROWARD COUNTY - WEST HOLLYWOOD

 SW 49TH COURT
 FT. LAUDERDALE, FL 33312

 LAT: 26° 03' 39.51" N
 LONG: 80° 11' 55.80" W

PROJECT CONTACTS:
PROJECT MANAGER:

 BUSTER LERNER
 MOTOROLA SOLUTIONS, INC.
 (954) 790-8441

PROPOSED 300' SELF SUPPORT TOWER SITE

SITE VICINITY MAP

LOCAL MAP
USE:

UNMANNED TELECOMMUNICATIONS RELAY EQUIPMENT IN A PROPOSED UNMANNED FACILITY.

NOTES:

CONTRACTOR SHALL NOTIFY OWNER FOR ACCESS TO SITE.

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

INDEX OF DRAWINGS

T1	COVER SHEET
T2	GENERAL NOTES
T3	GENERAL NOTES
SR1	SITE TOPOGRAPHICAL SURVEY
C1	SITE LAYOUT PLAN
C2	NOT USED
C3	ICE BRIDGE DETAILS
C4	EROSION CONTROL DETAILS
C5	EROSION CONTROL PLAN
C6	FENCE DETAILS
E1	ELECTRICAL SITE PLAN
E2	GROUNDING PLAN
E3	GROUNDING DETAILS
E4	GROUNDING DETAILS
E5	GROUNDING DETAILS
E6	ELECTRICAL SINGLE LINE DIAGRAM


MOTOROLA

 8000 W. SUNRISE BLVD
 PLANTATION, FL 33322

PHONE: (954) 723-5000

 BROWARD COUNTY -
 WEST HOLLYWOOD
 SW 49TH COURT
 FT LAUDERDALE, FL 33312

AMEC FOSTER WHEELER PROJECT NO: 6166-17-XXXX

DRAWN: J.B. GILMER CHECKED: F.D. SHIVER

APPROVED: F.D. SHIVER DATE: 06/01/17


 amec
 foster
 wheeler

 AMEC FOSTER WHEELER
 ENVIRONMENT AND INFRASTRUCTURE, INC.
 1075 BIG SHANTY DRIVE, N.W., SUITE 100
 KENNESAW, GA 30144
 PHONE: (770) 421-3400 FAX: (770) 421-3496

NO.	DATE	REVISION
A	07/17/17	LEASE EXHIBIT
B	09/28/17	ISSUED FOR PRELIMINARY
C	02/05/18	RE-ISSUED FOR PRELIMINARY
D	02/28/18	RE-ISSUED FOR PRELIMINARY
E	05/21/18	ISSUED FOR PERMITTING



SHEET NO. & NAME

 T1
 COVER SHEET

GENERAL REQUIREMENTS

1. GENERAL

1.1. SUMMARY OF WORK

A. THE WORK SHALL CONSIST OF, BUT NOT BE LIMITED TO, THE INSTALLATION OF SHELTER, GENERATOR, ANTENNAS AND LINES, GROUNDING, ELECTRICAL WORK, ETC., ASSOCIATED WITH THE MOTOROLA EQUIPMENT AS INDICATED ON DRAWINGS AND AS SPECIFIED HEREIN. CONTRACTOR SHALL SUPPLY ALL PERMANENT MATERIALS/EQUIPMENT REQUIRED AND ALL LABOR, EQUIPMENT, TOOLS, UTILITIES, MINOR HARDWARE/MATERIALS, TRANSPORTATION AND FACILITIES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF SERVICES AND INSTALL WORK, WHETHER TEMPORARY OR PERMANENT. CONTRACTOR SHALL BE OBLIGATED TO PERFORM ALL THE WORK OUTLINED IN THESE DRAWINGS IN ACCORDANCE WITH THE CONTRACT AGREEMENT, FEDERAL REGULATIONS, STATE REQUIREMENTS, LOCAL CODES, COMMERCIAL/INDUSTRY STANDARDS, DETAILED SCOPE OF WORK AND THE DOCUMENTS IDENTIFIED BELOW. IN CASE OF A CONFLICT BETWEEN THE ABOVE LISTED DOCUMENTS REGARDING STANDARDS OF WORK, THE MORE STRINGENT CRITERIA SHALL APPLY. ANY ADDITIONAL COSTS OR DELAYS RESULTING FROM CORRECTION OF THE WORK TO COMPLY WITH THE ABOVE REQUIREMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1.2. SITE VISIT

CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE ITSELF WITH THE SCOPE OF WORK REQUIRED PER THE DRAWINGS AND ALL LOCAL CONDITIONS AND LAWS AND REGULATIONS THAT MAY IN ANY MANNER AFFECT THE PRICE, PROGRESS AND PERFORMANCE OF WORK, INCLUDING ANY COSTS ASSOCIATED WITH IT. THE CONTRACTOR SHALL ALSO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND NOTIFY THE MOTOROLA REPRESENTATIVE OF ANY DISCREPANCIES OR INTERFERENCES WHICH AFFECT THE WORK OF THIS CONTRACT.

1.3. STANDARDS AND CODES

THE FOLLOWING DOCUMENTS (LATEST REVISION) SHALL BE CONSIDERED TO BE SPECIFICATION AND ARE INCORPORATED HEREIN BY REFERENCE. IN THE EVENT OF CONFLICT BETWEEN THE REQUIREMENTS OF THIS SPECIFICATION AND THE REQUIREMENTS OF THE REFERENCED DOCUMENTS, THE STRICTER SPECIFICATION SHALL GOVERN. WHERE PROVISIONS OF THE CODES AND STANDARDS ARE IN CONFLICT WITH THE BUILDING CODE IN FORCE FOR THIS PROJECT, THE BUILDING CODE SHALL GOVERN.

A. AMERICAN CONCRETE INSTITUTE:

- * ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
- * ACI 305 "HOT WEATHER CONCRETING".
- * ACI 306 "COLD WEATHER CONCRETING".
- * ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- * ACI 614 "RECOMMENDED PRACTICE FOR MEASURING, MIXING AND PLACING CONCRETE".
- * ACI 311 "RECOMMENDED PRACTICE FOR CONCRETE INSPECTION".
- * ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
- * ACI 613 "RECOMMENDED PRACTICE FOR SELECTING PROPORTIONS FOR CONCRETE".

B. AMERICAN NATIONAL STANDARDS INSTITUTE:

- * ANSI Z359 REQUIREMENTS FOR PERSONAL FALL ARREST SYSTEMS, SUBSYSTEMS AND COMPONENTS
- * ANSI Z87.1 OCCUPATIONAL AND EDUCATIONAL EYE AND FACE PROTECTION
- * ANSI Z89.1 PROTECTIVE HEADWEAR FOR INDUSTRIAL WORKERS - REQUIREMENTS
- * ANSI/IEEE C95.1 SAFETY LEVELS WITH RESPECT TO HUMAN EXPOSURE TO RADIO FREQUENCY ENERGY
- * ANSI/TLA/EA STANDARD 222: STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.

C. AMERICAN INSTITUTE OF STEEL CONSTRUCTION

- * AISC MANUAL OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION: LATEST EDITION

D. AMERICAN SOCIETY FOR TESTING AND MATERIALS:

- * ASTM A615 - "SPECIFICATION FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT".
- * ASTM C94-80 - "SPECIFICATION FOR READY-MIX CONCRETE".
- * ASTM C39-77 - "SPECIFICATION FOR TEST FOR COMPREHENSIVE STRENGTH OF CYLINDRICAL CONCRETE SPECIMEN".
- * ASTM C33 - "SPECIFICATION FOR CONCRETE AGGREGATES".
- * ASTM C150 - "SPECIFICATION FOR PORTLAND CEMENT".
- * ASTM C172 - "SAMPLING FRESH CONCRETE".
- * ASTM C143 - "SLUMP OF PORTLAND CEMENT CONCRETE".
- * ASTM D698-91 - "TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT".
- * ASTM D1556-64 - "DENSITY OF SOIL IN PLACE BY THE SAND-CONE METHOD".
- * ASTM D1557 - "TEST FOR MOISTURE-UNIT WEIGHT RELATIONS OF SOILS AND SOIL-AGGREGATE MIXTURES USING 10-LB. HAMMER AND 18-IN. DROP". (PROCEDURE C)
- * ASTM D2487 - "STANDARD CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES (UNIFIED SOIL CLASSIFICATION SYSTEM)".
- * ASTM D2922 - "DENSITY OF SOIL AND SOIL AGGREGATE IN PLACE BY NUCLEAR METHODS SHALLOW DEPTH".
- * ASTM D2940 - "STANDARD SPECIFICATION FOR GRADED AGGREGATE MATERIAL FOR BASES OR SUB-BASES FOR HIGHWAYS OR AIRPORTS"

E. AMERICAN WELDING SOCIETY:

- * AWS D12.1 - "RECOMMENDED PRACTICES FOR WELDING REINFORCING STEEL, METAL INSERTS AND CONNECTIONS IN REINFORCED CONCRETE CONSTRUCTION".

F. CONCRETE REINFORCING STEEL INSTITUTE:

- * "MANUAL OF STANDARD PRACTICE"

G. FEDERAL AVIATION ADMINISTRATION:

- * DEPARTMENT OF TRANSPORTATION - FEDERAL AVIATION ADMINISTRATION ADVISORY CIRCULAR, AC 70/7460-10: OBSTRUCTION MARKING AND LIGHTING.
- * DEPARTMENT OF TRANSPORTATION - FEDERAL AVIATION ADMINISTRATION ADVISORY CIRCULAR, 150-5345-43, FAA/DOD SPECIFICATION L-856: HIGH INTENSITY OBSTRUCTION LIGHTING SYSTEMS.

H. FEDERAL COMMUNICATIONS COMMISSION:

- * FEDERAL COMMUNICATIONS COMMISSION - RULES AND REGULATIONS PART 17: CONSTRUCTION, MARKING AND LIGHTING OF ANTENNA STRUCTURES.

I. STRUCTURAL STEEL PAINTING COUNCIL:

- * SSPC-SP-1-63: SPECIFICATION FOR PAINTING STEEL STRUCTURES.

J. MOTOROLA R&B STANDARDS AND GUIDELINES FOR COMMUNICATIONS SITES (B VERSION 2005).

K. MOTOROLA'S CIVIL WORKS BID SPECIFICATIONS

L. NATIONAL FIRE PROTECTION ASSOCIATION:

- * NFPA 1 - FIRE PREVENTION CODE
- * NFPA 70 - NATIONAL ELECTRICAL CODE
- * NFPA 101 - LIFE SAFETY CODE
- * NFPA 111 - STANDARD ON STORED ELECTRICAL ENERGY, EMERGENCY AND STANDBY POWER SYSTEMS
- * NFPA 780 - STANDARD FOR THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS

M. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION:

- * OSHA 1926
- * OSHA DIRECTIVES CPL 2-129 - INTERIM INSPECTION PROCEDURES DURING COMMUNICATION TOWER CONSTRUCTION ACTIVITIES.

N. LOCAL BUILDING CODES

- * 2017 FLORIDA BUILDING CODE 8TH EDITION
- * 2014 NEC
- * FLORIDA ACCESSIBILITY CODE
- * ASHRAE 90-1-2004

1.4. NOTICE TO PROCEED

WHEN THE SITE IS READY FOR INSTALLATION, MOTOROLA SHALL ISSUE A NOTICE TO PROCEED TO THE CONTRACTOR. UPON RECEIPT OF THE NOTICE OF PROCEED, THE CONTRACTOR SHALL SUBMIT TO MOTOROLA A SCHEDULE REFLECTING THE WORK PLAN. THE CONTRACTOR SHALL ADVISE THE MOTOROLA REPRESENTATIVE IMMEDIATELY OF ANY SCHEDULE CHANGES. THE CONTRACTOR SHALL ADJUST HIS WORK, AS REQUIRED, TO COORDINATE WITH THE MOTOROLA INSTALLATION TEAM IF THE SCHEDULES OVERLAP.

1.5. MOTOROLA REPRESENTATIVE

MOTOROLA SHALL DESIGNATE A REPRESENTATIVE. THIS PERSON IS THE ONLY CONTACT POINT AUTHORIZED TO MAKE ANY CHANGES TO THE CONTRACT PROVISIONS OR THE PLANS AND SPECIFICATIONS. ANY CHANGES MADE BY THE CONTRACTOR ARE AT THE CONTRACTOR'S RESPONSIBILITY AND RISK.

1.6. CONTRACTORS FIELD REPRESENTATIVE

CONTRACTOR SHALL ASSIGN A FIELD REPRESENTATIVE WHO IS FAMILIAR WITH THESE SPECIFICATIONS AND WILL REPRESENT THE CONTRACTOR AND HAVE THE AUTHORITY TO ACT FOR THE CONTRACTOR AND SUPERVISE ALL CONSTRUCTION ACTIVITIES. THE FIELD REPRESENTATIVE SHALL BE AVAILABLE WHEN CONSTRUCTION ACTIVITIES BEGIN. THE FIELD REPRESENTATIVE SHALL BE THE PRIMARY POINT OF CONTACT FOR MOTOROLA DURING THE CONSTRUCTION PHASE OF THE WORK.

1.7. PROJECT MEETINGS

THE CONTRACTOR SHALL CONDUCT THE INITIAL (PRE-CONSTRUCTION) MEETING (INCLUDING ALL SUB-CONTRACTORS) WITH THE MOTOROLA REPRESENTATIVE WITHIN TWO WEEKS AFTER AWARD OF THE CONTRACT. SUBSEQUENTLY, THE CONTRACTOR SHALL PROVIDE PROGRESS SCHEDULE UPDATES TO MOTOROLA ON A WEEKLY BASIS.

1.8. MATERIALS

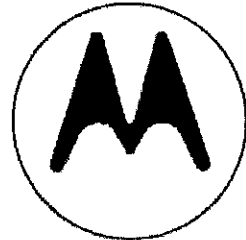
CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AS REQUIRED FOR COMPLETE SYSTEMS INCLUDING: ALL PARTS OBVIOUSLY OR REASONABLY INCIDENTAL TO A COMPLETE INSTALLATION, WHETHER SPECIFICALLY INDICATED OR NOT. ALL SYSTEMS SHALL BE COMPLETELY ASSEMBLED, TESTED, ADJUSTED AND DEMONSTRATED TO BE READY FOR OPERATION PRIOR TO MOTOROLA'S ACCEPTANCE.

MATERIALS AND WORKMANSHIP SHALL BE THE BEST OF THEIR RESPECTIVE KINDS (AS DEFINED BY INDUSTRY STANDARDS), FREE OF DEFECTS AND ALL MATERIALS SHALL BE NEW AND UNUSED IN ALL CASES, UNLESS OTHERWISE SPECIFIED. WHERE THE NAME OF A CONCERN OR MANUFACTURER IS MENTIONED ON DRAWINGS OR IN SPECIFICATIONS IN REFERENCE TO A REQUIRED SERVICE OR PRODUCT, AND NO QUALIFICATIONS OR SPECIFICATION OF SUCH IS INCLUDED, THEN THE MATERIAL SPECIFICATIONS, DETAILS OF MANUFACTURE, FINISH, ETC., SHALL BE IN ACCORDANCE WITH MANUFACTURER'S STANDARD PRACTICE, DIRECTION OR SPECIFICATIONS. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.

1.9. VERIFICATION OF EXISTING CONDITIONS

BEFORE STARTING ANY OPERATION, THE CONTRACTOR SHALL EXAMINE EXISTING WORK, OR WORK PERFORMED BY OTHERS, TO WHICH ITS WORK IS TO ADJOIN OR BE APPLIED, AND SHALL REPORT TO MOTOROLA PROJECT MANAGER ANY CONDITIONS THAT WILL PREVENT SATISFACTORY ACCOMPLISHMENT OF HIS WORK. PRIOR TO COMMENCING ANY EXCAVATION OR GRADING, THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SURVEY DATA AS INDICATED IN THE PLANS AND SPECIFICATIONS AND/OR AS PROVIDED BY MOTOROLA. SHOULD THE CONTRACTOR DISCOVER ANY INACCURACIES, ERRORS, OR OMISSIONS IN THE SURVEY DATA, HE SHALL IMMEDIATELY NOTIFY THE MOTOROLA REPRESENTATIVE IN ORDER THAT PROPER ADJUSTMENTS CAN BE ANTICIPATED AND ORDERED. FAILURE TO NOTIFY THE MOTOROLA REPRESENTATIVE OF DEFICIENCIES, ERRORS OR FAULTS PRIOR TO COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE THEREOF AND WAIVER OF ANY CLAIMS OF UNSUITABILITY, ERRORS, OMISSIONS OR INACCURACIES.

THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PRESERVING ALL ESTABLISHED SURVEY CONTROL POINTS. IF THE CONTRACTOR OR ANY OF HIS SUB-CONTRACTORS MOVE OR DESTROY ANY SURVEY CONTROL POINTS, THE COST INCURRED BY THE LAND OWNER OR MOTOROLA TO RE-ESTABLISH THEM WILL BE BORNE BY THE CONTRACTOR.



MOTOROLA

8000 W. SUNRISE BLVD
PLANTATION, FL 33322

PHONE: (954) 723-5000

BROWARD COUNTY -
WEST HOLLYWOOD
SW 49TH COURT
FT LAUDERDALE, FL 33312

AMEC FOSTER WHEELER PROJECT NO: 6166-17-XXXX

DRAWN: J.B. GILMER CHECKED: F.D. SHIVER

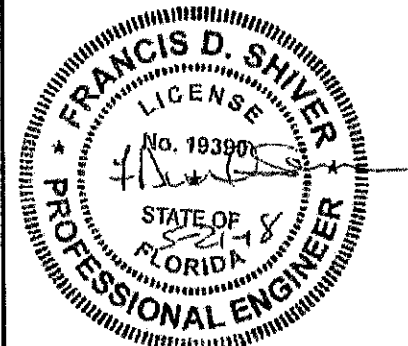
APPROVED: F.D. SHIVER DATE: 06/01/17



amec
foster
wheeler

AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE, INC.
1076 BIG SHANTY DRIVE, N.W. SUITE 100
KENNESAW, GA 30144
PHONE: (770) 421-3400 FAX: (770) 421-3406

NO.	DATE	REVISION
A	07/17/17	LEASE EXHIBIT
B	08/28/17	ISSUED FOR PRELIMINARY
C	02/05/18	RE-ISSUED FOR PRELIMINARY
D	02/28/18	RE-ISSUED FOR PRELIMINARY
E	05/21/18	ISSUED FOR PERMITTING



SHEET NO. & NAME

T2
GENERAL NOTES

1.10. PERMITS

THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. THE CONTRACTOR SHALL MEET ALL OF THE REGULATORY REQUIREMENTS OF THE JURISDICTION GOVERNING CONSTRUCTION.

1.11. SITE INSPECTION BY MOTOROLA

THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR ARRANGING WITH MOTOROLA FOR AN INSPECTION PRIOR TO COVERING UP ALL WORK THAT WILL BE COVERED IN FINISHED CONDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MANAGE THE SEQUENCE OF WORK AND REQUEST THE INSPECTIONS IN A TIMELY MANNER. THE CONTRACTOR SHALL NOT REQUEST AN INSPECTION UNLESS ALL OF THE RELATED WORK HAS BEEN COMPLETED. WORK SHALL NOT PROCEED TO THE NEXT STEP UNTIL THE PREVIOUS STEP HAS BEEN INSPECTED AND APPROVED BY THE LOCAL INSPECTORS AND THE MOTOROLA REPRESENTATIVE. THE PRESENCE OF THE OWNER OR MOTOROLA REPRESENTATIVE ON THE JOB SITE IN NO WAY RELIEVES THE CONTRACTOR OF THE ASSOCIATED RESPONSIBILITIES OF THE JOB. ANY WORK WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE CORRECTED OR REMOVED SOLELY AT THE CONTRACTOR'S EXPENSE.

THE FOLLOWING INFORMATION IS INCLUDED AS A GUIDE TO THE CONTRACTOR TO ASSIST IN DETERMINING THE TYPE AND FREQUENCY OF INSPECTIONS. THE LISTED INSPECTIONS REPRESENT THOSE REQUIRED FOR SMALL OR SIMPLE PROJECTS. LARGE OR COMPLEX PROJECTS MAY REQUIRE ADDITIONAL INSPECTIONS DEPENDING ON THE SEQUENCE OF WORK.

- * FOUNDATIONS EXCAVATION AND REBAR: TO BE MADE AFTER TRENCHES ARE EXCAVATED AND FORMS ERECTED, REINFORCEMENT PLACED, COMPACTION TESTED, SOIL TREATED, VAPOR BARRIER PLACED, AND ESSENTIALLY READY FOR CONCRETE PLACEMENT
- * GROUNDING: TO BE MADE AFTER THE BELOW GROUND CADWELD CONNECTIONS HAVE BEEN COMPLETED, PRIOR TO COVERING UP THE TRENCHES
- * ELECTRICAL WORK WITHIN WALLS: TO BE MADE AFTER THE ROOF, FRAMING, FIREBLOCKING AND BRACING IS IN PLACE PRIOR TO THE INSTALLATION OF INSULATION OR WALL/CEILING MEMBRANES.

AS A GENERAL RULE, THE CONTRACTOR SHALL PROVIDE ADVANCE NOTICE TO MOTOROLA FOR INSPECTION OF ALL WORK PRIOR TO CONCEALMENT. THE CONTRACTOR HAS RESPONSIBILITIES RELATIVE TO ALL TYPES OF INSPECTIONS AND IS RESPONSIBLE FOR CONTACTING ALL OF THE INSPECTING ENTITIES TO DETERMINE HIS RESPONSIBILITIES. ALL OF THESE INSPECTING ENTITIES HAVE UNIQUE AND SEPARATE RESPONSIBILITIES. ONE INSPECTION FROM AN ENTITY WILL NOT SUBSTITUTE FOR AN INSPECTION FROM ANOTHER ENTITY.

1.12. SAFETY

THE CONTRACTOR, HIS EMPLOYEES, ANY SUB-CONTRACTORS, VENDORS, THEIR RESPECTIVE EMPLOYEES AND CONTRACTOR'S VISITORS SHALL COMPLY WITH ALL SAFETY STANDARDS, ACCIDENT PREVENTION REGULATIONS AND ENVIRONMENTAL REGULATIONS PROMULGATED BY FEDERAL, STATE OR LOCAL AUTHORITIES HAVING JURISDICTION AND SHALL AT ALL TIMES CONDUCT ALL OPERATIONS UNDER THE CONTRACT IN A MANNER TO AVOID THE RISK OF BODILY HARM TO ANY PERSONS AND THE RISK OF DAMAGE TO ANY PROPERTY, EQUIPMENT OR MATERIAL. SUCH PARTIES SHALL ALSO COMPLY WITH ANY SAFETY PROGRAMS AND/OR RULES PROMULGATED BY OWNER AND/OR MOTOROLA.

1.13. ELECTRO MAGNETIC EMISSIONS

THE CONTRACTOR SHALL ACKNOWLEDGE ALL OR PORTIONS OF THE WORK MAY INVOLVE POSSIBLE EXPOSURE OF CONTRACTOR, SUB-CONTRACTORS, AND THEIR RESPECTIVE EMPLOYEES, AGENTS, INVITEES, LICENSEES AND OTHER VISITORS TO THE JOBSITE AND/OR MOTOROLA PREMISES TO ELECTRO-MAGNETIC ENERGY ("EME") WHILE PERFORMING WORK UNDER THIS CONTRACT, ESPECIALLY IF WORK IS PERFORMED ON EXISTING ANTENNA TOWERS OR BUILDING TOPS WHERE ANTENNAS ARE LOCATED. THE CONTRACTOR REPRESENTS THAT CONTRACTOR, SUBCONTRACTORS, AND ALL OF THEIR RESPECTIVE EMPLOYEES, AGENTS, INVITEES, LICENSEES, AND OTHER AUTHORIZED REPRESENTATIVES WHO ARE PERFORMING SERVICES UNDER THIS AGREEMENT WILL COMPLY WITH ALL ANSI AND ANY OTHER APPLICABLE EME STANDARDS, RULES OR REGULATIONS, INCLUDING, BUT NOT LIMITED TO THOSE RULES OR REGULATIONS IMPOSED OR SUGGESTED BY MOTOROLA, IF ANY.

THE CONTRACTOR SHALL ADHERE TO ALL OSHA RULES, REGULATIONS AND ADOPTED POLICIES. ALL CONTRACTOR PERSONNEL SHALL HAVE UNDERGONE ELECTROMAGNETIC ENERGY (EME) TRAINING FOR PERSONNEL WORKING IN THE VICINITY OF ACTIVE ANTENNAS. AS SUCH IT IS RECOMMENDED THAT RF MONITORS BE USED BY THE TOWER PERSONNEL TO MONITOR EXPOSURE LEVELS. IF EME LEVELS AT THE SITE EXCEED THE MAXIMUM PERMISSIBLE EXPOSURE LIMITS, THE CONTRACTOR SHALL COORDINATE WITH THE INDIVIDUALS RESPONSIBLE FOR USE OF THE TRANSMITTER TO MAKE SURE THAT THE EQUIPMENT IS DEACTIVATED BEFORE WORK CAN BE RESUMED, WITHOUT CAUSING A SERIOUS DISRUPTION OF THE SERVICE.

1.14. SITE CLEANUP

THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, VEGETATION, AND RUBBISH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. WHENEVER THE WORK-SITE IS LEFT UNATTENDED, THE CONTRACTOR SHALL BLOCK THE OPENING WITH WARNING TAPE TO DISCOURAGE TRESPASSING. THE PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE AT THE CONCLUSION OF SITE WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE GRADING AND SEEDING OF THE DISTURBED SOIL. THE CONTRACTOR SHALL USE LOCAL GRASS SEED TO STABILIZE SOIL AND SHALL COVER DISTURBED AREAS WITH HAY MULCH TO REDUCE RUNOFF OF SEDIMENT TO DOWNSTREAM AREAS. THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION. ALL SLOPES AND DISTURBED AREAS NOT RECEIVING AGGREGATE SURFACING ARE TO BE PREPARED AND BROADCAST SEEDED AND FERTILIZED FOR EROSION PROTECTION. SEEDING FOR AREAS DISTURBED SHALL BE ESTABLISHED SEASONALLY AS REQUIRED BY LOCAL CODES.

THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE OR INTERRUPTION OF EXISTING UNDERGROUND OR OVERHEAD ELECTRIC SERVICES, UNDERGROUND GROUNDING AND FUEL LINES, EQUIPMENT AND BUILDINGS ON THE SITE, PLUS OFF SITE SERVICES, BURIED OR OVERHEAD, SURROUNDING THE EXISTING OR EXPANDED COMPOUND. ANY PROPERTY DAMAGE CAUSED BY THE CONTRACTOR OR HIS OPERATIONS SHALL BE CORRECTED AND/OR RESTORED TO THE SATISFACTION OF THE PROPERTY OWNER(S) AND MOTOROLA AT NO ADDITIONAL COST TO THE PROPERTY OWNER OR MOTOROLA.

1.15. FACILITY STARTUP & COMMISSIONING

THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL DEMONSTRATE TO MOTOROLA THAT ALL SYSTEMS AND SUB-SYSTEMS INSTALLED UNDER THIS CONTRACT, OPERATE PROPERLY PRIOR TO THE FINAL ACCEPTANCE INSPECTION. PROVIDE THE OPERATIONS AND MAINTENANCE MANUALS AT THIS TIME.

1.16. AS-BUILT DRAWINGS

THE CONTRACTOR SHALL KEEP UP-TO-DATE MARKED-UP PRINTS OF THE PROJECT DRAWINGS. UPON COMPLETION OF WORK AT THE SITE, THE CONTRACTOR SHALL REVIEW THE COMPLETED AS-BUILT DRAWINGS, AND ASCERTAIN THAT ALL DATA FURNISHED ON THE DRAWINGS IS ACCURATE AND TRULY REPRESENTS THE WORK AS ACTUALLY INSTALLED. MARKINGS INDICATING CHANGES TO THE DRAWINGS SHALL BE RED OR GREEN AND CLEARLY VISIBLE. TWO (2) SETS OF "AS-BUILT" DRAWINGS SHALL BE FURNISHED TO THE MOTOROLA REPRESENTATIVE AT THE COMPLETION OF THE PROJECT. THESE DRAWINGS SHALL ALSO SHOW THE FOLLOWING:

- * MODIFICATIONS TO SITE LAYOUT.
- * GROUNDING SYSTEM LAYOUT.
- * UNDERGROUND FUEL LINE RUN.
- * UNDERGROUND TELCO CABLE RUN.
- * UNDERGROUND ELECTRICAL RUN.

WHERE THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING THE SITE EQUIPMENT (SHELTER, ISOLATION TRANSFORMER, GENERATOR, ETC.) THAT REQUIRES PERIODIC MAINTENANCE, THE CONTRACTOR SHALL INCLUDE ALL OPERATION AND MAINTENANCE MANUALS AND ALL AS-BUILT DRAWINGS WHICH FULLY DESCRIBE THE ACTUAL INSTALLED EQUIPMENT.

1.17. TEST PROCEDURES AND RESULTS

THE CONTRACTOR IS REQUIRED TO SUBMIT THE RESULTS OF ALL TESTS REQUIRED BY THE PROJECT SPECIFICATIONS AND DRAWINGS THAT FALL WITHIN HIS SCOPE OF WORK TO THE MOTOROLA REPRESENTATIVE WITHIN FIVE (5) DAYS OF THE TEST. THE CONTRACTOR IS REQUIRED TO SUBMIT TEST PROCEDURES NINETY (90) DAYS PRIOR TO THE TESTS BEING CONDUCTED. IN GENERAL, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TEST RESULTS:

- * CONCRETE COMPRESSION TEST FOR ALL CONCRETE WORK.
- * TIME DOMAIN REFLECTOMETER (TDR) / SWEEP TEST FOR ANTENNA AND TRANSMISSION LINE INSTALLATION WORK.
- * FUEL LINE LEAKAGE TEST FOR FUEL TANK AND PIPING INSTALLATION WORK.
- * SLUMP TEST FOR CONCRETE WORK.
- * GROUNDING RESISTANCE TEST FOR GROUNDING WORK.
- * ANY OTHER TEST THAT MAY BE REQUIRED.

1.18. CONTRACT CLOSEOUT

THE MOTOROLA REPRESENTATIVE WILL PROVIDE A CERTIFICATE OF COMPLETION AND APPROVE FINAL PAYMENT WHEN ALL PUNCH-LIST ITEMS HAVE BEEN CORRECTED AND ALL SYSTEMS ARE ACCEPTABLE. AFTER FINAL PAYMENT, CONTRACTOR WILL SIGN A RELEASE OF LIEN.

1.19. WARRANTY

ALL WORK PERFORMED BY THE CONTRACTOR IN COMPLETING THE SCOPE IDENTIFIED ON THE DRAWINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION OF THE PROJECT. THIS GUARANTEE SHALL COVER ALL MATERIALS, EQUIPMENT OR WORKMANSHIP WHICH IN THE OPINION OF MOTOROLA IS RENDERED DEFECTIVE OR INFERIOR OR NOT IN ACCORDANCE WITH THE TERMS OF THE CONTRACT DURING THE GUARANTEE PERIOD. IF, WITHIN THE GUARANTEE PERIOD, REPAIRS OR CHANGES ARE REQUIRED TO CORRECT THE GUARANTEE WORK, THEN UPON RECEIPT OF NOTICE, THE CONTRACTOR SHALL PROMPTLY AND WITHOUT EXPENSE TO MOTOROLA OR COUNTY, PROCEED TO:

- * PLACE IN SATISFACTORY CONDITION ALL OF SUCH GUARANTEED WORK AND CORRECT ALL DEFECTS THEREIN.
- * MAKE GOOD ALL DAMAGES TO THE STRUCTURE OR SITE OR EQUIPMENT OR CONTENTS THEREOF, WHICH, IN THE OPINION OF THE MOTOROLA, IS THE RESULT OF THE USE OF MATERIALS, EQUIPMENT, OR WORKMANSHIP WHICH ARE INFERIOR, DEFECTIVE, OR NOT IN ACCORDANCE WITH THE TERMS OF THE CONTRACT;
- * MAKE GOOD ANY WORK, MATERIALS OR EQUIPMENT, AND ADJACENT STRUCTURES DISTURBED IN FULFILLING THE GUARANTEE.



MOTOROLA

8000 W. SUNRISE BLVD
PLANTATION, FL 33322

PHONE: (954) 723-6000

BROWARD COUNTY -
WEST HOLLYWOOD
SW 49TH COURT
FT LAUDERDALE, FL 33312

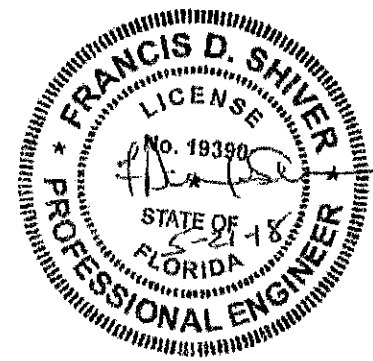
AMEC FOSTER WHEELER PROJECT NO: 6166-17-XXXX
DRAWN: J.B. GILMER CHECKED: F.D. SHIVER
APPROVED: F.D. SHIVER DATE: 06/01/17



amec
foster
wheeler

AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE INC
1075 BIG SHANTY DRIVE N.W. SUITE 100
KENNESAW, GA 30144
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D	02/28/18	RE-ISSUED FOR PRELIMINARY
E	05/21/18	ISSUED FOR PERMITTING



SHEET NO. & NAME

T3
GENERAL NOTES

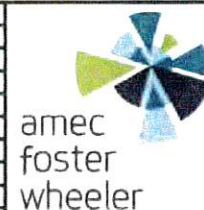
\\6374\2017\6166170536 - Motorola Broward Co\00 Civil 3D 2016\16.WEST_HOLLYWOOD.dwg, 10/30/2017 5:46:37 PM, AutoCAD PDF (Smallest File).pc3, 1:1

P:\6374\2017\6166170536 - MOTOROLA BROWARD CO\00 CIVIL 3D 2016\16.WEST_HOLLYWOOD.DWG

Description Lease Area

A PORTION OF TRACT 9, BLOCK 2 OF THE SUBDIVISION OF SECTION 31, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2 PAGE 32 OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF PARCEL "A" OF "BROWARD COUNTY UTILITIES PLANT NO 3A SITE" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 114, PAGE 35 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, THENCE NORTH 89°05'01" WEST ALONG THE NORTH LINE OF SAID PARCEL "A" A DISTANCE OF 239.00 FEET;
THENCE NORTH 00°54'59" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING THENCE NORTH 89°05'01" WEST, A DISTANCE OF 80.00 FEET;
THENCE NORTH 89°05'01" WEST, A DISTANCE OF 60.00 FEET;
THENCE SOUTH 89°05'01" EAST, A DISTANCE OF 80.00 FEET;
THENCE SOUTH 89°05'01" EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA; CONTAINING 4,800 SQUARE FEET OR 0.1102 ACRES MORE OR LESS.

NO.	DATE	REVISION
1	10/25/2017	Added Note # 8 and sheet # 2, updated site address



AMEC FOSTER WHEELER
ENVIRONMENT & INFRASTRUCTURE INC.
75 East Amelia Street, Suite 200
Orlando, FL 32801 USA
Phone: (407) 522-7570
Fax: (407) 522-7576
Certificate of Authorization Number LB-0007532

CLIENT:



MOTOROLA SOLUTIONS

8000 WEST SUNRISE BLVD.
PLANTATION, FLORIDA 33322

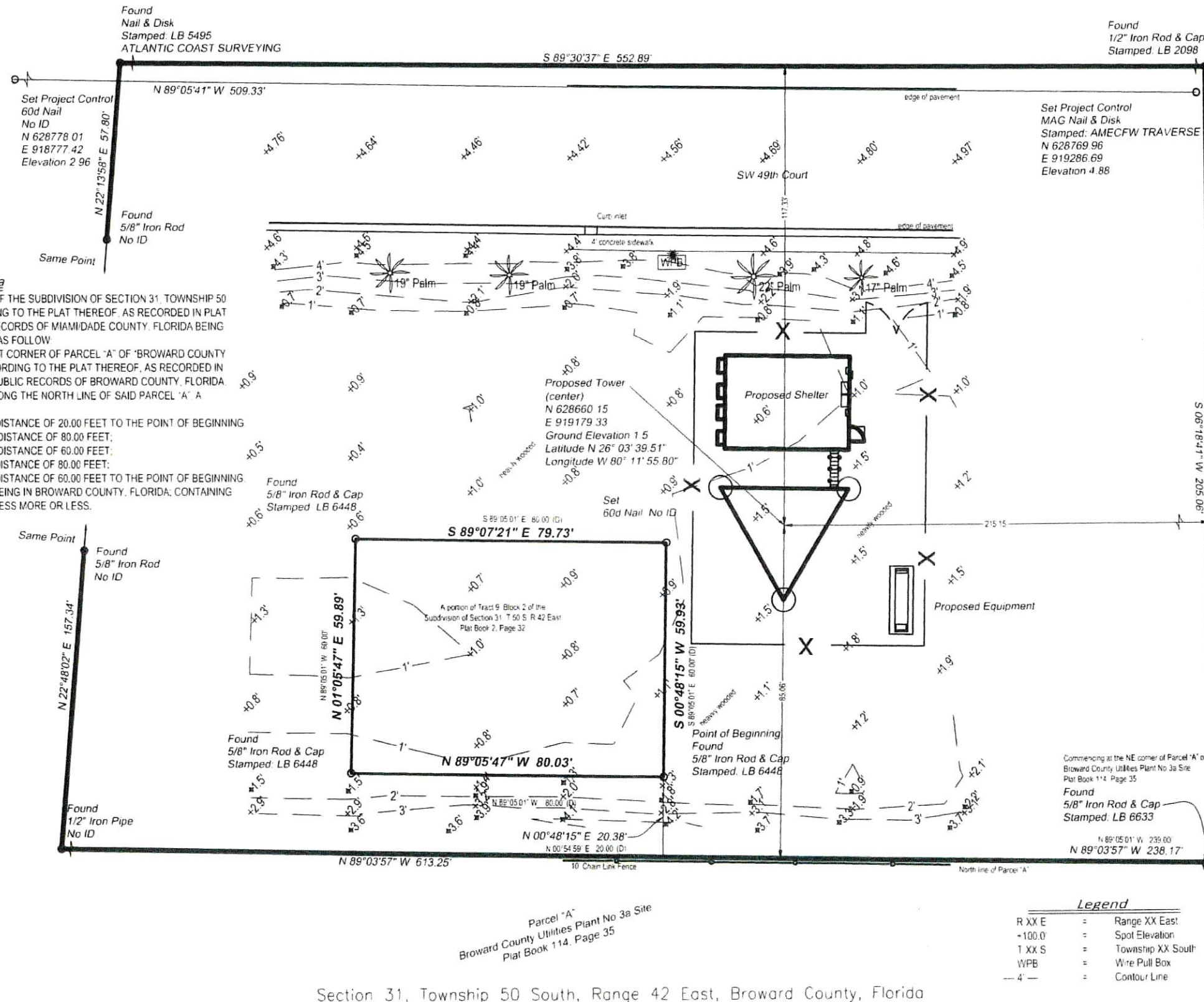
PHONE: (954) 723-5000

BROWARD COUNTY - WEST HOLLYWOOD
SW 49TH COURT
FT. LAUDERDALE, FL 33312

AMEC PROJECT NO: 6166 17 0536
DRAWN BY: M. RAMOS
CHECKED BY: C.B. GARDINER
APPROVED BY: DATE: 01/18/2017

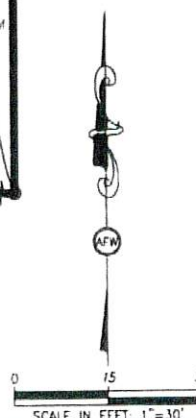
Map of
Boundary and Topographic
Survey

Sheet 1 of 2



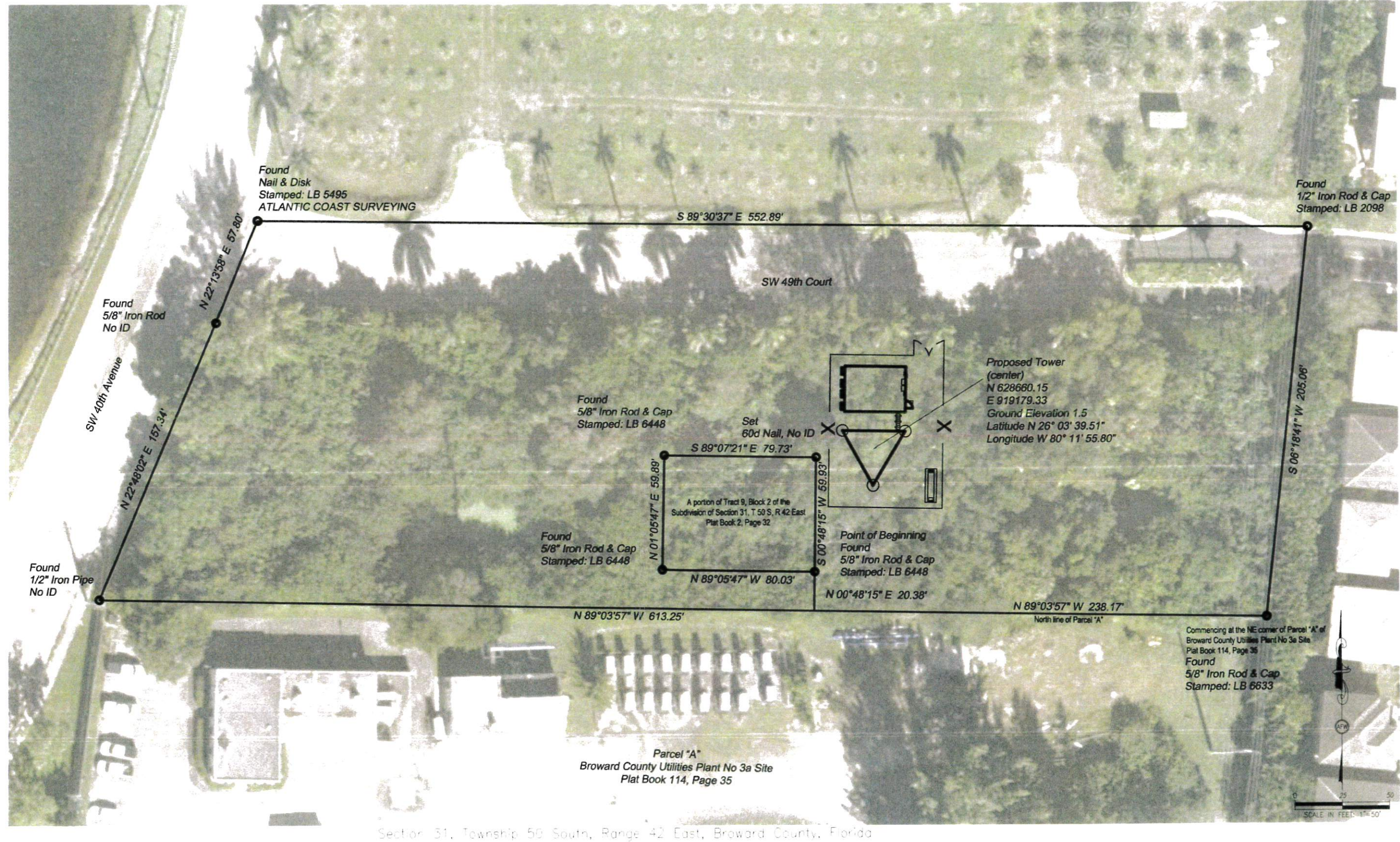
SURVEYOR'S NOTES

- This map of survey is not valid without the signature and the original raised seal of the signing Florida licensed surveyor and mapper.
- This map of survey identifies the boundary of the lease parcel, features within the survey limits shown hereon, as specified by the client.
- Bearings, coordinates and elevations shown hereon are relative to the Florida State Plane Coordinate System, East Zone (0901), North American Datum of 1983, 2011 adjustment and, the North American Vertical Datum of 1988 (NAVD 88) based on Global Positioning System (GPS) measurements to National Geodetic Survey (NGS) Continuously Operating Reference Stations (CORS) network.
- Dimensions shown hereon contain horizontal grid distances and are based upon field measurements utilizing the United States Survey Foot, unless indicated otherwise.
- Lands shown hereon were not abstracted by this firm for matters of record, such as easements, right of way, ownership or other instruments of record.
- The field data acquisition phase of this survey was completed on June 13, 2017, as documented in AmecFW field book 1328, Pages 56-61, 76-77.
- This survey does not address the identification or location of jurisdictional wetlands or sovereign lands that may or may not lie within or adjacent to the lands surveyed.
- According to Federal Emergency Management Agency Flood Insurance Rate Map, Broward County Florida, Map Number 12011 B 0562H, Effective date: August 18, 2014, the property described hereon is located in Zone AH (EL5) - Flood depths of 1 to 3 feet (usually areas of ponding) Base Flood Elevations determined.
- Certified to and for the exclusive use of MOTOROLA.



Charles B. Gardiner
CHARLES B. GARDINER
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
LICENSE NO. LS 5046

P:\6374\2017\6166170536 - MOTOROLA BROWARD CO\00 CIVIL 3D 2016\16.WEST_HOLLYWOOD.DWG



NO.	DATE	REVISION
1	10/25/2017	Added Note # 6 and sheet # 2, updated site address



AMEC FOSTER WHEELER
ENVIRONMENT & INFRASTRUCTURE, INC.
75 East Amelia Street, Suite 200
Orlando, FL 32801 USA
Phone: (407) 522-7570
Fax: (407) 522-7576
Certificate of Authorization Number LB-0007932



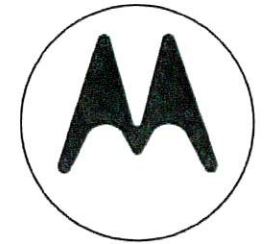
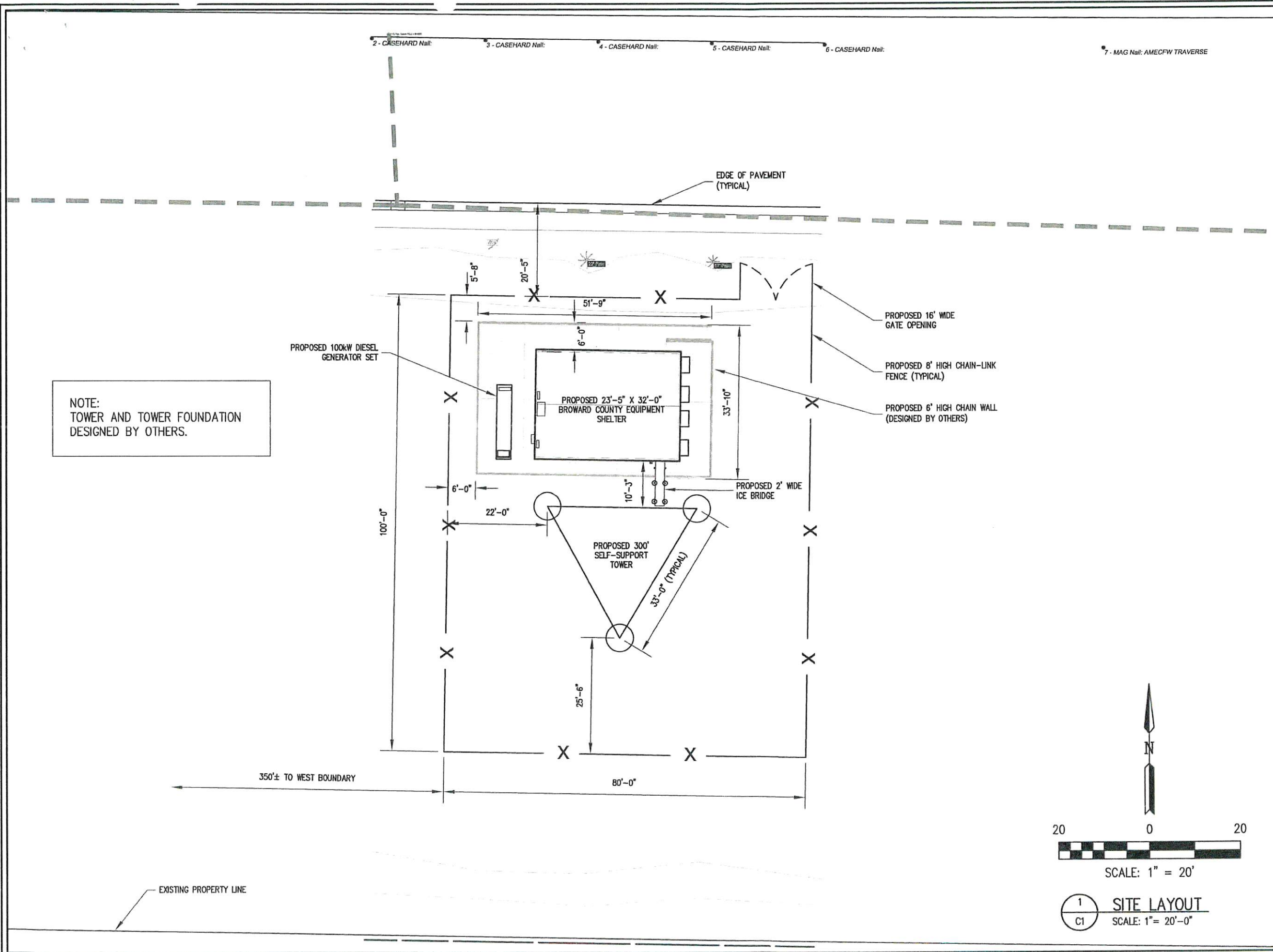
CLIENT:
MOTOROLA SOLUTIONS
8000 WEST SUNRISE BLVD.
PLANTATION, FLORIDA 33332
PHONE: (954) 723-5000

BROWARD COUNTY - WEST HOLLYWOOD
SW 49TH COURT
FT. LAUDERDALE, FL 33312

AMEC PROJECT NO: 6166 17 0536
DRAWN BY: M. RAMOS
APPROVED BY:
CHECKED BY: C.B. GARDINER
DATE: 01/18/2017

Map of
Boundary and Topographic
Survey

Sheet 2 of 2



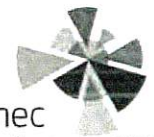
MOTOROLA

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AMEC FOSTER WHEELER PROJECT NO: 6166-17-XXXX
DRAWN: J.B. GILMER CHECKED: F.D. SHIVER
APPROVED: F.D. SHIVER DATE: 06/01/17



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foster
wheeler

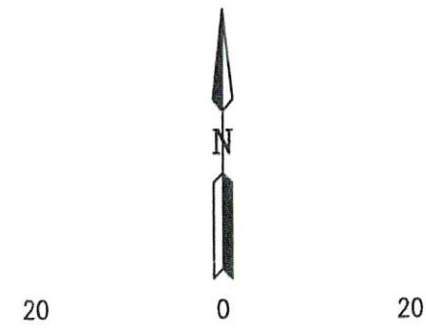
AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE, INC.
1075 BIG SHANTY DRIVE, N.W. SUITE 100
KENNESAW, GA 30144
PHONE (770) 421-3400 FAX (770) 421-3455

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E	05/21/18	ISSUED FOR PERMITTING



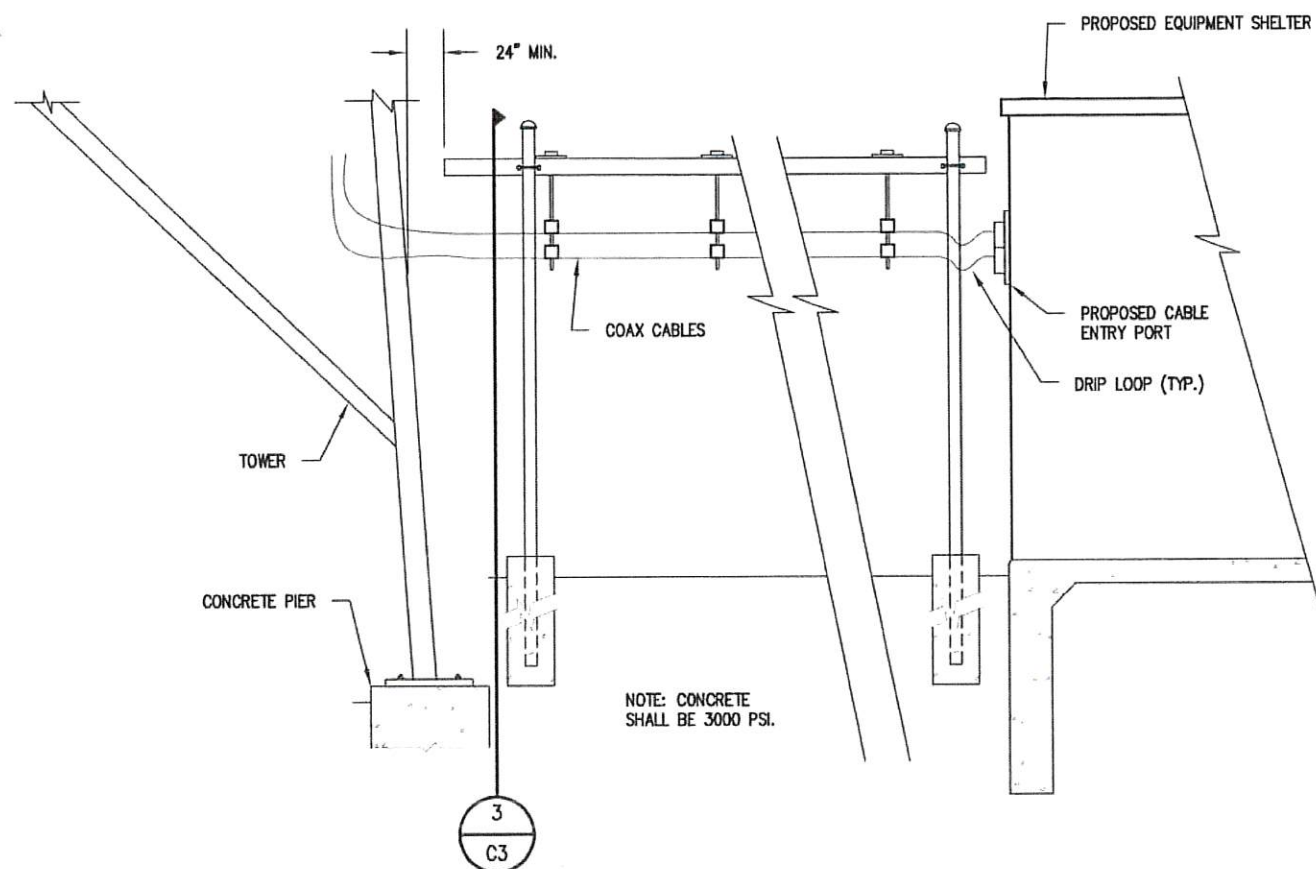
SHEET NO. & NAME

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SITE LAYOUT

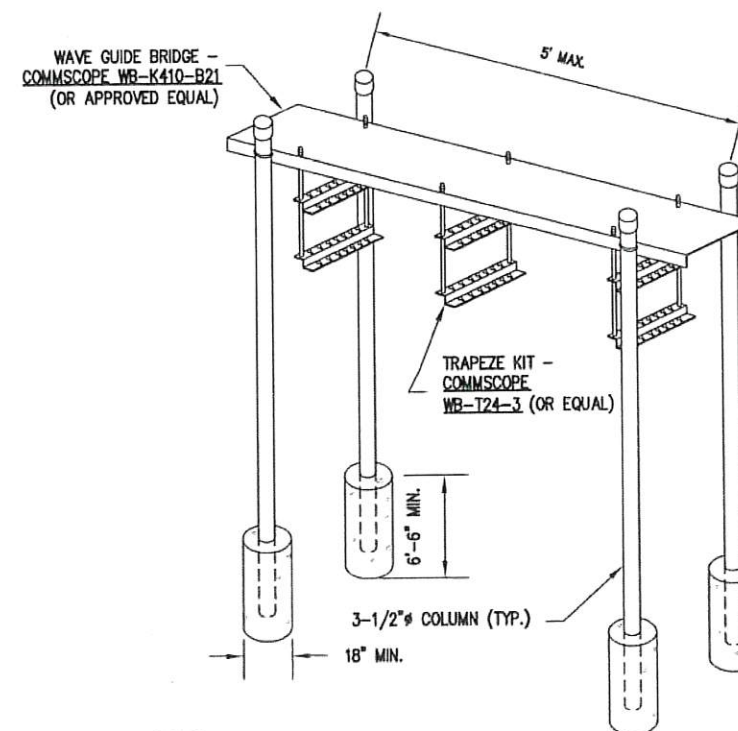


SCALE: 1" = 20'

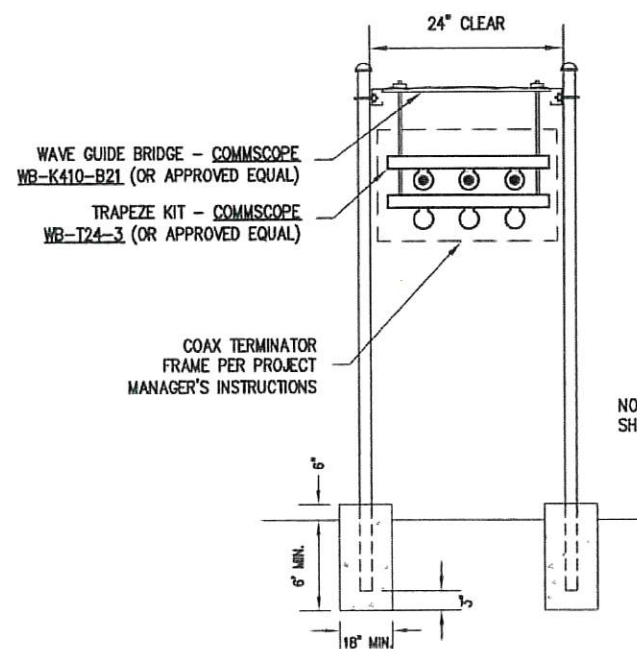
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C1 SCALE: 1" = 20'-0"



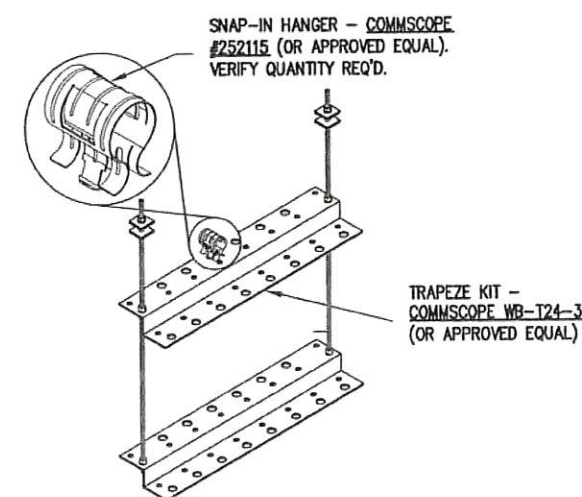
1 ICE BRIDGE ELEVATION (SIDE)
SCALE: N.T.S.



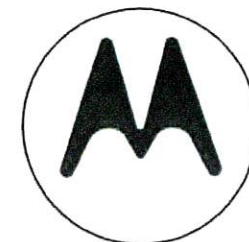
2 ICE BRIDGE DETAIL
SCALE: N.T.S.



3 ICE BRIDGE ELEVATION (FRONT)
SCALE: N.T.S.



4 TRAPEZE KIT DETAIL
SCALE: N.T.S.



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DRAWN: J.B. GILMER CHECKED: F.D. SHIVER

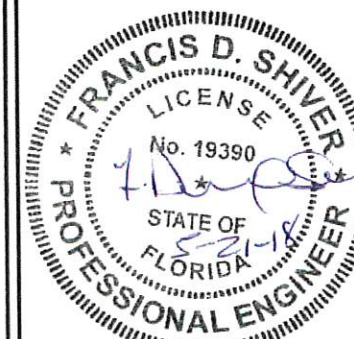
APPROVED: F.D. SHIVER DATE: 06/01/17



amec
foster
wheeler

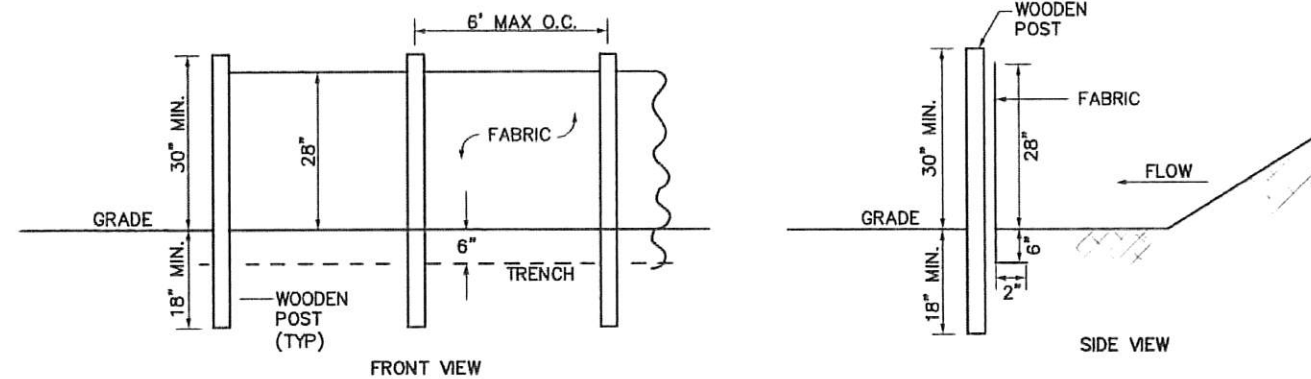
AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE, INC.
1075 BIG SHANTY DRIVE, N.W., SUITE 100
KENNESAW, GA 30144
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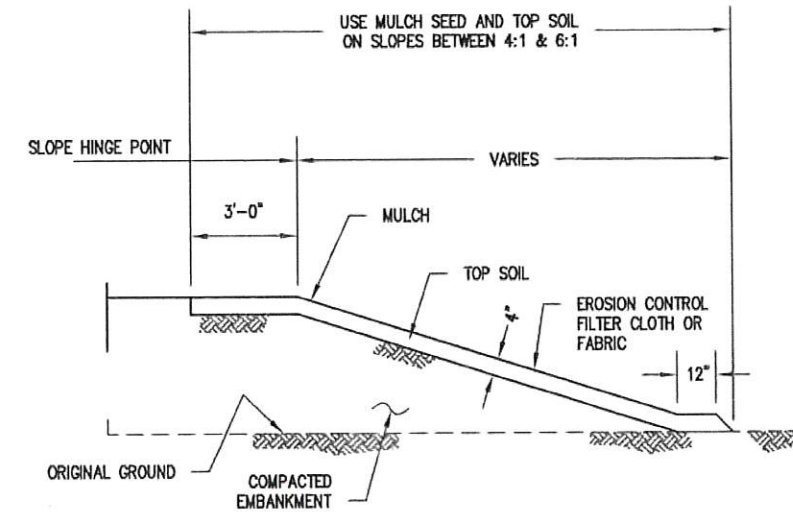


SHEET NO. & NAME

C3
ICE BRIDGE DETAILS



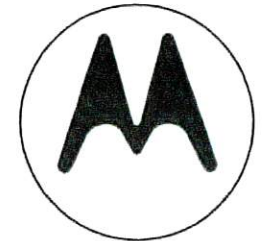
1 SILT FENCE DETAIL - Sd1 TYPE A
C4 SCALE: N.T.S.



2 SLOPE EROSION CONTROL (SEED)
C4 SCALE: N.T.S.

SOIL EROSION CONTROL NOTES:

- ALL UNDERGROUND UTILITY STRUCTURES SHALL BE PROTECTED BY HAY BALE FILTERS, UNTIL GRAVEL/PAVEMENT HAS BEEN INSTALLED, OR UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- CONTRACTOR SHALL INSPECT THE SILTATION FENCES AND DIVERSION DITCHES PERIODICALLY AND MAINTAIN OR REPLACE AS NECESSARY, OR AS DIRECTED BY ENGINEER.
- ALL OTHER SOIL EROSION CONTROL DEVICES AND MEASURES DEEMED NECESSARY BY THE ENGINEER SHALL BE IMPLEMENTED IMMEDIATELY UPON NOTIFICATION OF THE CONTRACTOR.
- INSTALL STONE/GRAVEL CONSTRUCTION ENTRANCE TO THE SITE, WITH MINIMUM THICKNESS OF 6 INCHES PRIOR TO ANY WORK ON THE SITE. PERFORM PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, OR AS DIRECTED BY ENGINEER.
- MUD SHALL BE CLEANED OFF OF THE STREET DAILY OR AS DIRECTED BY THE ENGINEER.
- INSPECTION OF THE SITE SHALL BE AT LEAST ONCE A WEEK AND AFTER ANY SIGNIFICANT RAINFALL TO INSURE THE SOIL EROSION CONTROL MEASURES ARE WORKING PROPERLY.
- IF ANY STOCKPILES ARE CONSTRUCTED, THEY SHALL HAVE AN 18-INCH DEEP TRENCH AROUND THE PERIMETER TO ACT AS A SEDIMENT TRAP, WITH SAID TRAP TO BE CLEANED PERIODICALLY AS REQUIRED.
- STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
- MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SEEDDED OR SODDED AS SOON AS IS PRACTICABLE.
- WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
- ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF SAND BAGS, INTERCEPTOR DIKES OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS AND DRAINAGE STRUCTURES.



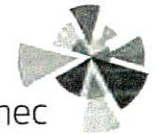
MOTOROLA

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PHONE: (954) 723-5000

BROWARD COUNTY -
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FT LAUDERDALE, FL 33312

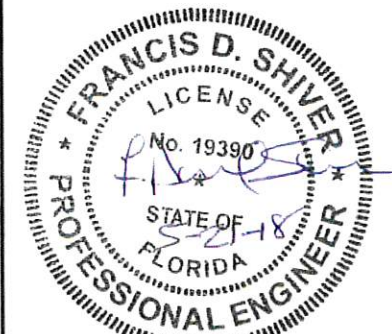
AMEC FOSTER WHEELER PROJECT NO: 6166-17-XXXX
DRAWN: J.B. GILMER CHECKED: F.D. SHIVER
APPROVED: F.D. SHIVER DATE: 06/01/17



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wheeler

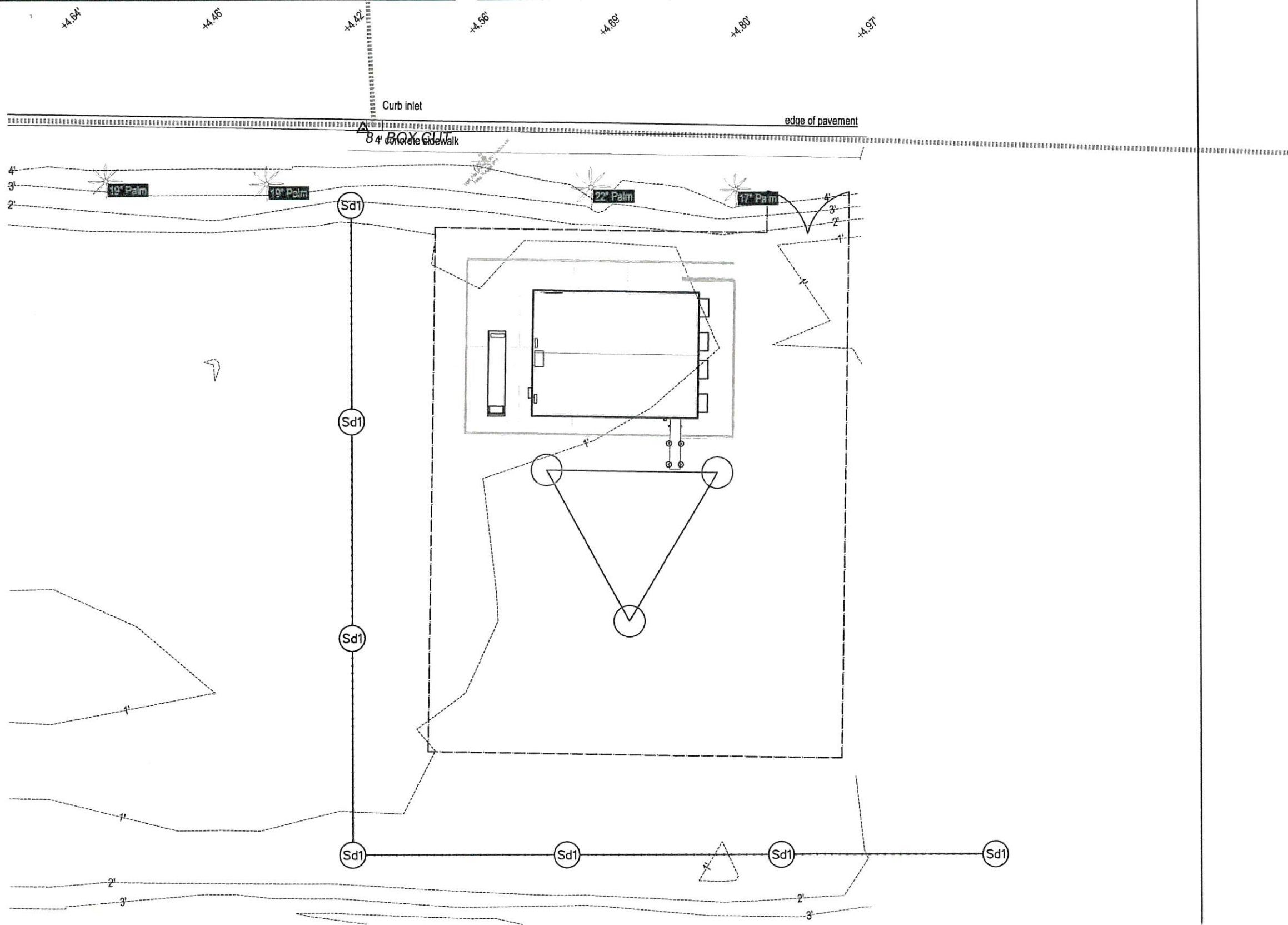
AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE, INC.
1075 BIG SHANTY DRIVE, N.W., SUITE 100
KENNESAW, GA 30144
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SHEET NO. & NAME

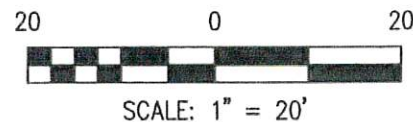
C4
EROSION CONTROL
DETAILS



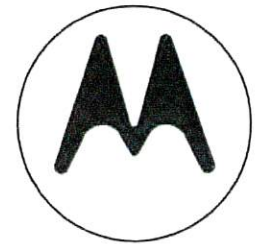
1
C5

EROSION CONTROL PLAN

SCALE: 1" = 20'-0"



Sd1 SEDIMENT BARRIER - TO PREVENT SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS. SEE DETAIL 1, SHEET C4.



MOTOROLA

8000 W. SUNRISE BLVD
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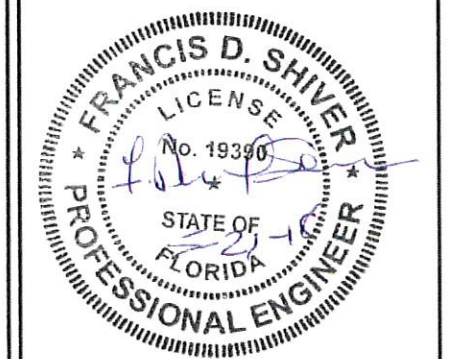
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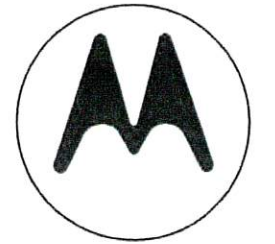


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SHEET NO. & NAME

C5
EROSION CONTROL
PLAN



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BROWARD COUNTY -
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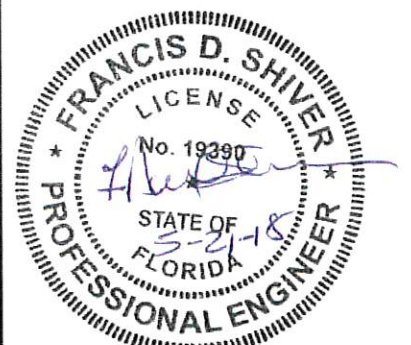
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wheeler

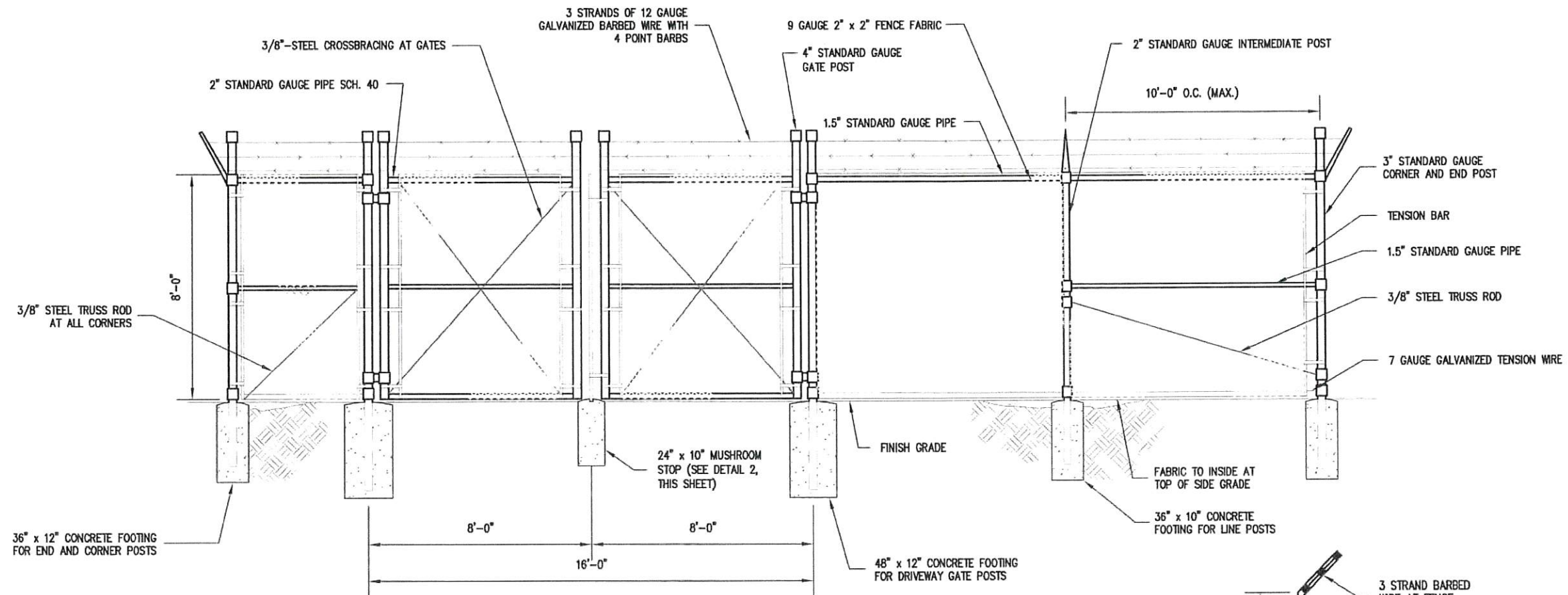
AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE, INC.
1075 BIG SHANTY DRIVE, N.W., SUITE 100
KENNESAW, GA 30144
PHONE: (770) 421-3400 FAX: (770) 421-3486

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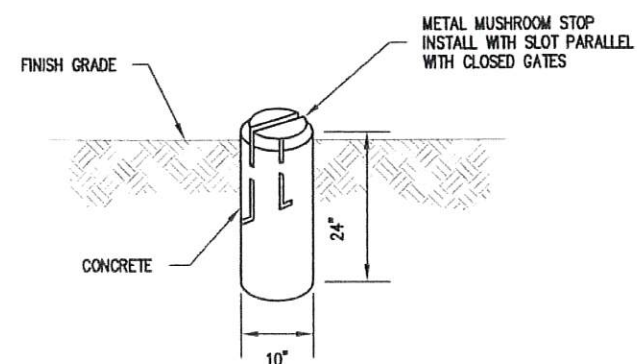
SHEET NO. & NAME

C6
FENCE DETAILS

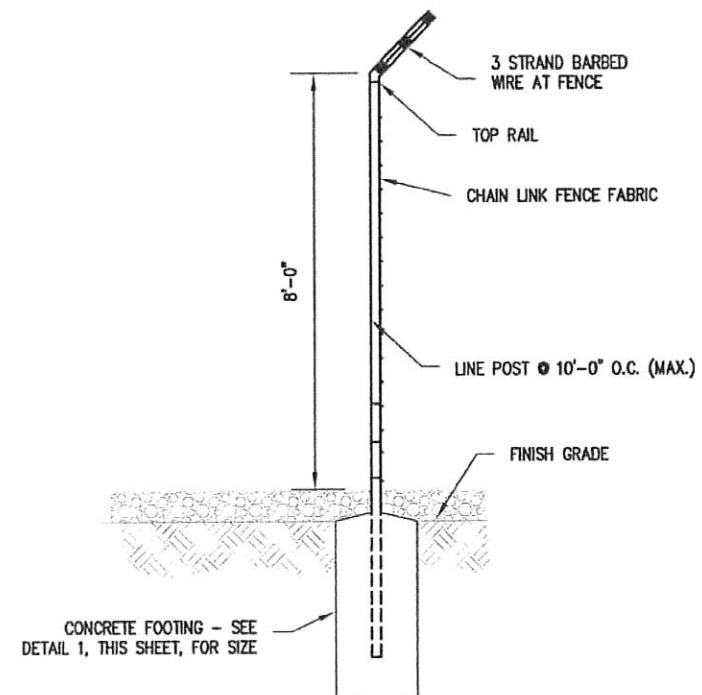


NOTE:
CHAIN LINK FENCE DETAILS ARE MINIMUM REQUIREMENT.
CONTRACTOR SHALL INSURE THAT THE FENCE INSTALLATION
COMPLIES WITH THE FLORIDA BUILDING CODE (FBC) 2017,
6TH EDITION.

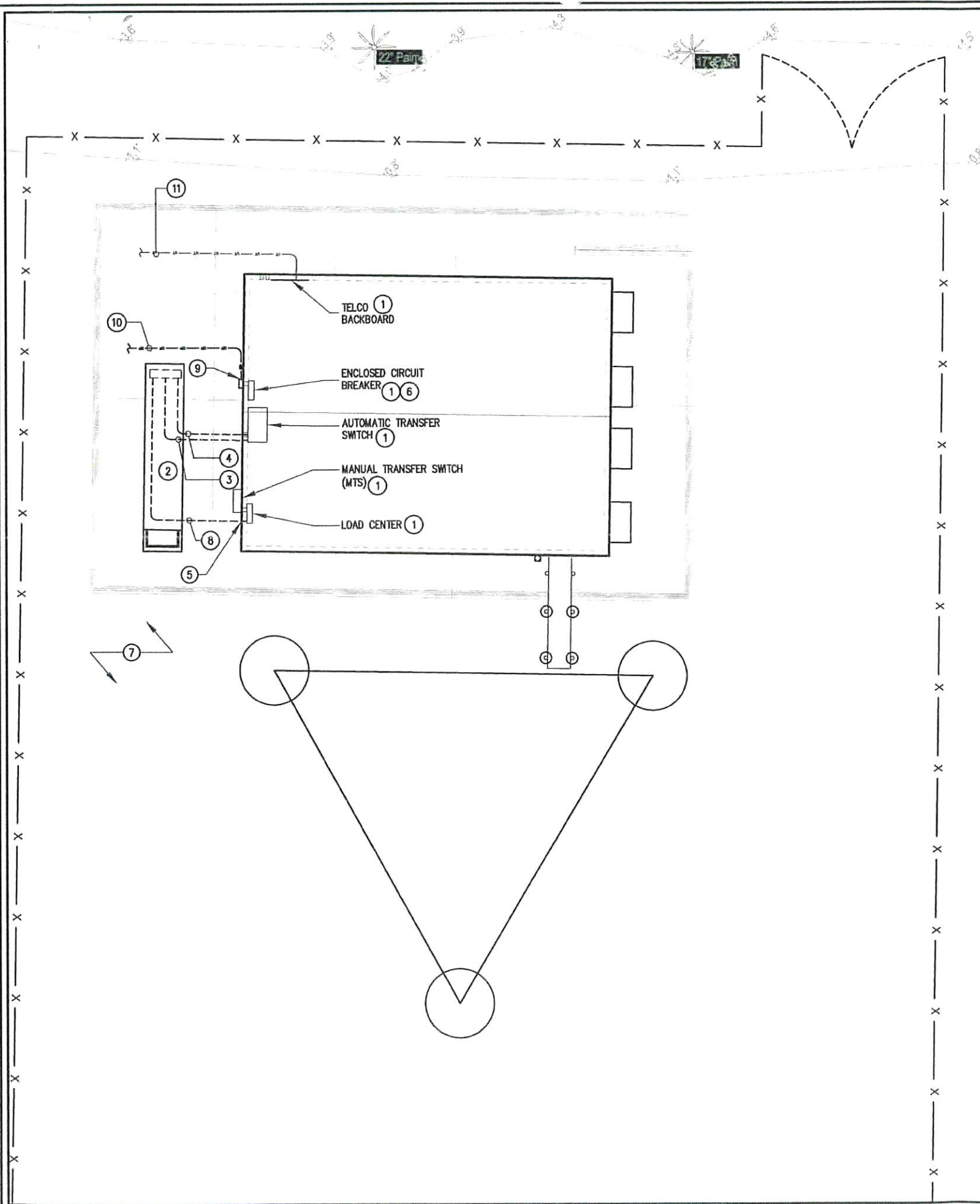
1 CHAIN LINK FENCE AND GATE ELEVATION
SCALE: N.T.S.



2 MUSHROOM STOP
SCALE: N.T.S.



3 FENCE/BARBED WIRE ARM DETAIL
SCALE: N.T.S.



FLAG NOTES THIS SHEET: (XX)

1. ELECTRICAL/TELCO DISTRIBUTION EQUIPMENT PROVIDED WITH EQUIPMENT SHELTER.
2. CLIENT SPECIFIED AND PROVIDED GENERATOR AND SUB-BASE FUEL TANK. COORDINATE OVERCURRENT PROTECTION WITH MANUFACTURER. REFER TO SHEET E6 FOR ADDITIONAL INFORMATION.
3. PROVIDE AND EXTEND (1) 1" RGS CONDUIT FROM PROPOSED GENERATOR TO PROPOSED MOTOROLA EQUIPMENT SHELTER ATS FOR EXTENSION OF GENERATOR CONTROL/ALARM SIGNAL WIRING. COORDINATE THE QUANTITY/SIZE OF CONTROL WIRING WITH ACTUAL DEVICES FURNISHED WITH THE GENERATOR.
4. PROVIDE CONDUIT AND CONDUCTORS FOR GENERATOR SERVICE FROM PROPOSED GENERATOR TO AUTOMATIC TRANSFER SWITCH IN PROPOSED EQUIPMENT SHELTER VIA 4" EQUIPMENT SHELTER PENETRATION. FIELD VERIFY AND COORDINATE EXACT LOCATION OF SHELTER PENETRATION. REFER TO SHEET E6 FOR ADDITIONAL INFORMATION.
5. PROVIDE A 12" SQUARE WEATHERPROOF JUNCTION BOX, HOFFMAN #A-12126GSC (OR APPROVED EQUAL), MOUNTED ON THE EXTERIOR OF THE SHELTER OVER THE 2" CONDUIT PENETRATION (COORDINATE EXACT LOCATION WITH SHELTER) FOR ROUTING OF BATTERY CHARGER/WATER JACKET HEATER WIRING INTO THE PANELBOARD.
6. SERVICE ENTRANCE RATED ENCLOSED CIRCUIT BREAKER (FURNISHED WITH SHELTER). REFER TO SHEET E6 FOR ADDITIONAL INFORMATION.
7. ANY DEVIATIONS FROM THE WIRING/CONDUIT WORK SHOWN DUE TO A PARTICULAR MANUFACTURER'S REQUIREMENTS SHALL BE MADE AT NO COST TO MOTOROLA. COORDINATE WITH SHELTER MANUFACTURER PRIOR TO SEALING ALL UNUSED EQUIPMENT SHELTER PENETRATIONS.
8. PROVIDE AND EXTEND CONDUIT FROM PROPOSED GENERATOR TO PROPOSED EQUIPMENT SHELTER LOADCENTER VIA WEATHERPROOF JUNCTION BOX FOR EXTENSION OF WATER JACKET HEATER AND BATTERY CHARGER CIRCUIT WIRING. COORDINATE THE EXACT QUANTITY/SIZE OF CONDUCTORS WITH GENERATOR SUPPLIER. REFER TO SHEET E6 FOR ADDITIONAL INFORMATION.
9. PROPOSED UTILITY METER; ELECTRIC UTILITY METER PROVIDED BY UTILITY COMPANY. COORDINATE WITH UTILITY COMPANY. SEE SHEET E6.
10. CONTRACTOR TO PROVIDE AND EXTEND CONDUIT BELOW FINISHED GRADE BETWEEN PROPOSED UTILITY METER MOUNTED ON EXTERIOR OF PROPOSED EQUIPMENT SHELTER AND UTILITY DEMARCATION POINT. COORDINATE CONNECTION REQUIREMENTS WITH UTILITY COMPANY. FIELD VERIFY EXACT LOCATION OF PAD-MOUNTED TRANSFORMER. SEE DETAIL 2/E3.
11. PROVIDE (2) 3" EMPTY PVC CONDUITS WITH NYLON PULL STRING AND ENDCAP BELOW FINISHED GRADE BETWEEN PROPOSED TELCO BACKBOARD (FURNISHED WITH SHELTER) AND TELCO PULLBOX. COORDINATE CONNECTION REQUIREMENTS WITH LOCAL TELCO PROVIDER. SEE DETAIL 2/E3.

APPROVED
AUG 16 2018
CITY OF HOLLYWOOD FL.
ELECTRICAL

1 ELECTRICAL PLAN
E1 SCALE: 1" = 10'-0"

10 0 10
SCALE: 1" = 10'-0"



MOTOROLA

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PLANTATION, FL 33322

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DRAWN: J. GILMER CHECKED: J.D. PAGE
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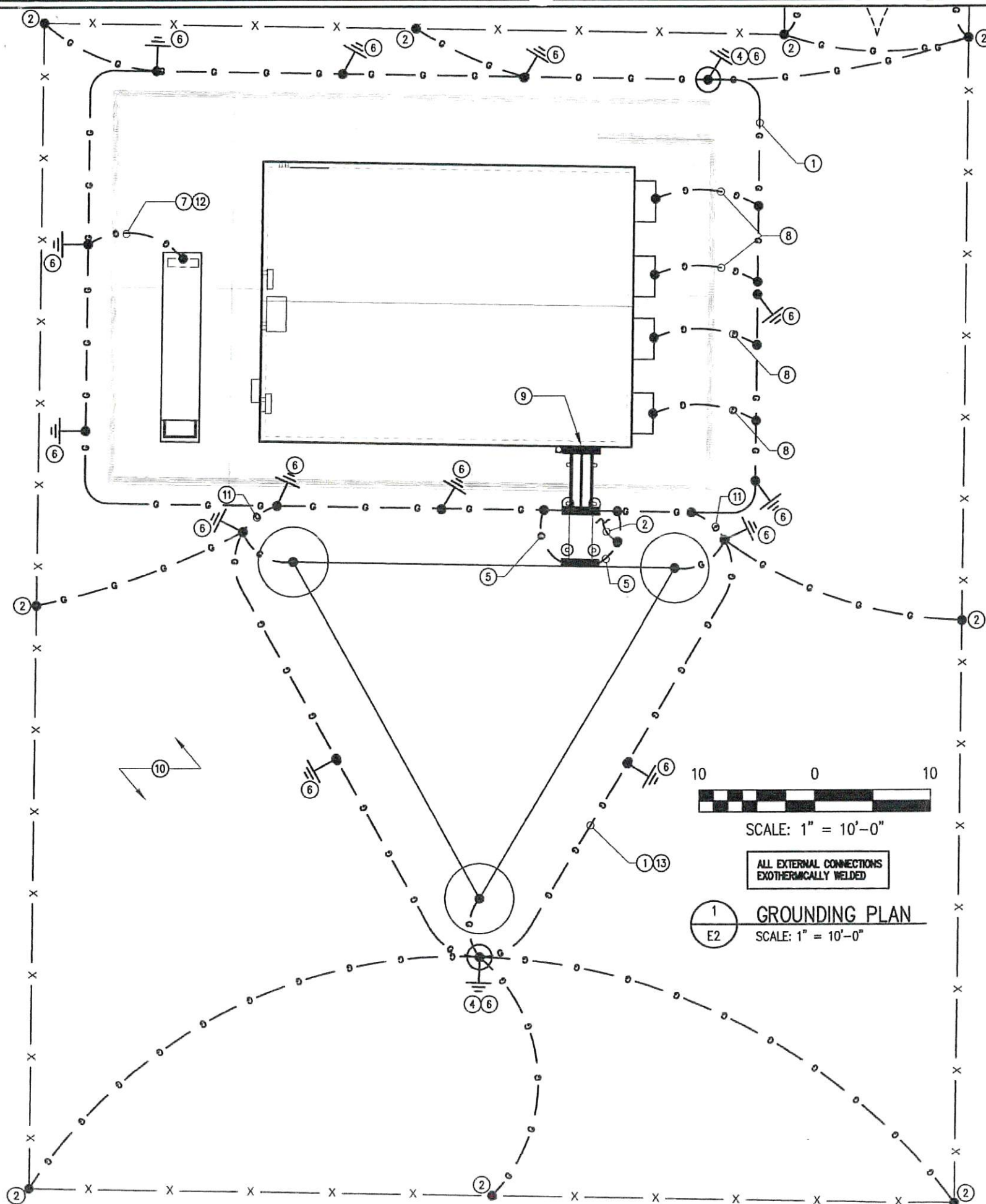
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SHEET NO. & NAME

E1
ELECTRICAL PLAN
AND NOTES

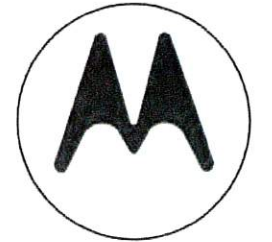


FLAG NOTES THIS SHEET: (XX)

1. PROVIDE A #2/0 AWG STRANDED, BARE, TINNED COPPER GROUND RING. ALL EXTERIOR GROUNDING CONDUCTORS SHALL BE BURIED A MINIMUM OF 30" BELOW GRADE (OR 6" BELOW FROST LINE, WHICHEVER IS GREATER). THE GROUND RING SHALL BE INSTALLED 3'-0" AWAY FROM FOUNDATIONS (MINIMUM UNLESS SHOWN OTHERWISE ON DRAWINGS). WHERE REQUIRED DUE TO SOIL CONDITIONS AND THE PRESENCE OF ROCK, THE ROUTING OF THE GROUND RING MAY BE ADJUSTED (WITH APPROVAL FROM THE MOTOROLA REPRESENTATIVE). ALL BONDS TO THE BURIED GROUND RING SHALL BE WITH EXOTHERMIC WELDS.
2. BOND FENCE AND WAVEGUIDE POSTS TO BURIED GROUND RING. EXOTHERMICALLY WELD A #2/0 AWG STRANDED, BARE, TINNED COPPER GROUND CONDUCTOR TO THE EXISTING FENCE POST AT 12" ABOVE GRADE AND BOND TO THE BURIED GROUND RING. PROVIDE CONDUCTOR LENGTH AS REQUIRED TO MAKE CONNECTION. BOND FENCE POST TO FENCE GATE AS SHOWN USING A WELDING CABLE GROUNDING STRAP (IF APPLICABLE). SEE DETAILS 1/E5 AND 2/E5.
3. NOT USED.
4. PROVIDE 6" DIAMETER PVC INSPECTION SLEEVE WITH WATERTIGHT REMOVABLE COVER IN LOCATION SHOWN. SEE GROUND ROD INSPECTION WELL DETAIL 1/E3, FOR TYPICAL GROUND RING INSPECTION SLEEVE. NOTE: INSPECTION SLEEVE CAN BE USED AS A TEST WELL FOR GROUND WATER LEVEL INSPECTION AND GROUND RESISTANCE TESTING.
5. INSTALL GROUNDING CONDUCTOR(S) FROM THE BURIED GROUND RING FOR CONNECTION TO THE GROUND BAR AT BOTTOM OF TOWER. VERIFY EXACT LOCATION OF GROUNDING BAR AND PROPER CONDUCTOR LENGTH. EXOTHERMICALLY WELD (2) #2/0 AWG STRANDED, BARE, TINNED COPPER GROUNDING CONDUCTOR (LENGTH AS REQUIRED) TO THE GROUND BAR. GROUNDING CONDUCTORS MUST BE HELD AWAY FROM TOWER BY USING STAND-OFFS OR ROUTING THE CONDUCTORS IN FLEXIBLE PVC CONDUIT. COORDINATE LOCATION WITH MOTOROLA CONSTRUCTION MANAGER. SEE GROUND BAR DETAIL 2/E4.
6. INSTALL 3/4" x 10'-0" LONG COPPERCLAD STEEL GROUND RODS. SPACING BETWEEN RODS NOT TO EXCEED 20'-0" (NON-LINEAR). TYPICAL FOR ALL GROUND RODS SHOWN, UNLESS NOTED OTHERWISE. IF ROCK IS ENCOUNTERED, GROUND ROD MAY BE INSTALLED WITH A MAXIMUM VARIATION OF 30" FROM VERTICAL AND CONTRACTOR SHALL BE PREPARED TO CORE DRILL TO INSTALL GROUND RODS AND BACKFILL WITH GROUND ENHANCEMENT MATERIAL.
7. BOND NEW GENERATOR FRAME GROUND CONDUCTOR TO EQUIPMENT SHELTER EXTERIOR GROUND RING. EXOTHERMICALLY WELD A #2/0 AWG STRANDED BARE TINNED COPPER TO GROUND RING AND ATTACH TO GENERATOR FRAME USING COMPRESSION LUG.
8. EXOTHERMICALLY WELD #2/0 AWG STRANDED, BARE, TINNED COPPER GROUND CONDUCTORS FOR A/C UNITS (PROVIDED WITH SHELTER) TO EQUIPMENT SHELTER GROUND RING.
9. BOND SHELTER GROUNDING SYSTEM (SEE DETAIL 4/E3 & 1/E4) TO SHELTER BURIED GROUND RING.
10. A FALL-OFF-POTENTIAL TEST SHALL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH MOTOROLA SPECIFICATION R56.
 - A.) PERFORM THREE TESTS AT EACH SITE.
 - B.) CONTRACTOR SHALL PROVIDE A WRITTEN REPORT ON FORMS PROVIDED WITHIN THE MOTOROLA SPECIFICATION R56 CONSISTING OF THE FOLLOWING: SITE NAME, ADDRESS AND IDENTIFICATION NUMBER, DESCRIPTION OF SITE SOIL AND MOISTURE CONDITION, DESCRIPTION OF WEATHER, MODEL NUMBER OF TESTING EQUIPMENT, DATE OF LAST CALIBRATION, SITE SKETCH SHOWING LOCATION OF TEST PROBES, AND ALL FIELD DATA COLLECTED (READINGS, RANGE, TEST, MILLIAMPS, ETC.).
 - C.) CONTRACTOR SHALL NOTIFY THE NFRRSA REPRESENTATIVE IF THERE ARE ANY DIFFICULTIES PERFORMING SYSTEM RESISTANCE TESTS OR IF MEASUREMENTS ARE ABOVE 10 OHMS. THE NFRRSA REPRESENTATIVE SHALL PROVIDE INSTRUCTION TO THE CONTRACTOR TO INSTALL ADDITIONAL GROUNDING MEASURES TO MEET THE 10 OHM REQUIREMENT.
11. BOND EQUIPMENT SHELTER GROUND RING TO PROPOSED TOWER GROUND RING WITH #2/0 AWG STRANDED BARE TINNED COPPER GROUND CONDUCTOR. TYPICAL FOR TWO LOCATIONS.
12. FUEL TANKS INSTALLED OUTSIDE OF THE BUILDING, WITHIN 6'-0" OF THE BUILDING, SHALL BE BONDED TO THE NEAREST PRACTICAL LOCATION ON THE GROUNDING ELECTRODE SYSTEM. FUEL TANKS INSTALLED MORE THAN 6'-0" AWAY FROM THE BUILDING, SHELTER, EQUIPMENT HOUSING, OR CABINET GROUNDING ELECTRODE SYSTEM SHALL BE BONDED TO THE SHELTER GROUND RING AND HAVE AN ADDITIONAL GROUND ROD INSTALLED NEAR THE GENERATOR AND BONDED TO THE GENERATOR FRAME.
13. PROPOSED TOWER GROUND RING. IF TOWER BASE WIDTH IS SUCH THAT THE SPACING BETWEEN GROUND RODS IS GREATER THAN 20'-0", THEN ADDITIONAL GROUND RODS SHALL BE USED TO REDUCE THE SPACING OF GROUND RODS TO 20'-0". A #2/0 AWG BARE STRANDED TINNED COPPER CONDUCTOR SHALL BE BROUGHT FROM EACH GROUND ROD (WHICH IS ADJACENT TO THE TOWER LEG) TO THE TOWER PLATE AND/OR LEG ITSELF AND ATTACHED VIA AN EXOTHERMIC PROCESS (CADWELD OR EQUIVALENT), UNLESS MANUFACTURER SPECIFICATIONS WILL NOT PERMIT. IN SUCH CASES, ALTERNATE PLANS SHALL BE RESEARCHED AND IMPLEMENTED.

GROUNDING LEGEND

- EXOTHERMICALLY WELDED CONNECTION
- ⊙ INSPECTION SLEEVE/TEST WELL
- ⚡ GROUND ROD
- BCW BARE COPPER WIRE
- AWG AMERICAN WIRE GAUGE



MOTOROLA

8000 W. SUNRISE BLVD
PLANTATION, FL 33322

PHONE: (954) 723-5000

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AMEC FOSTER WHEELER PROJECT NO: 6166-17-XXXX
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**amec
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wheeler**

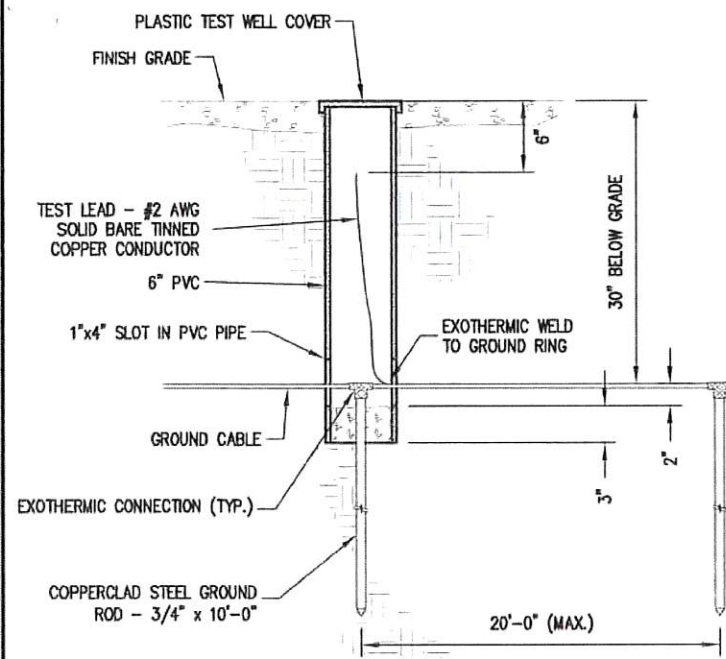
AMEC FOSTER WHEELER
ENVIRONMENT AND INFRASTRUCTURE, INC.
1075 BIG SHANTY DRIVE, N.W. SUITE 100
KENNESAW, GA 30144
PHONE (770) 421-2400 FAX (770) 421-3486

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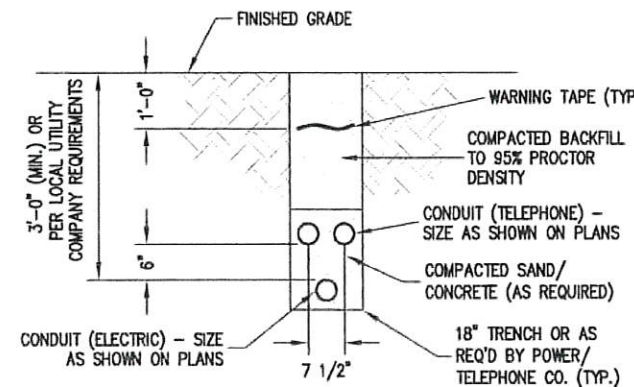
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SHEET NO. & NAME

AUG 16 2018 E2
GROUNDING
PLAN AND NOTES
CITY OF HOLLYWOOD
ELECTRICAL



NOTE: ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES. DEPTH MAY VARY.

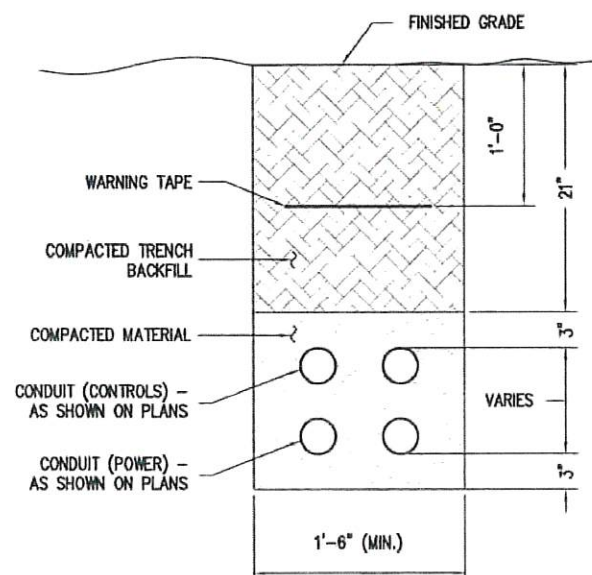
1 GROUND ROD INSPECTION WELL DETAIL
E3 SCALE: N.T.S.



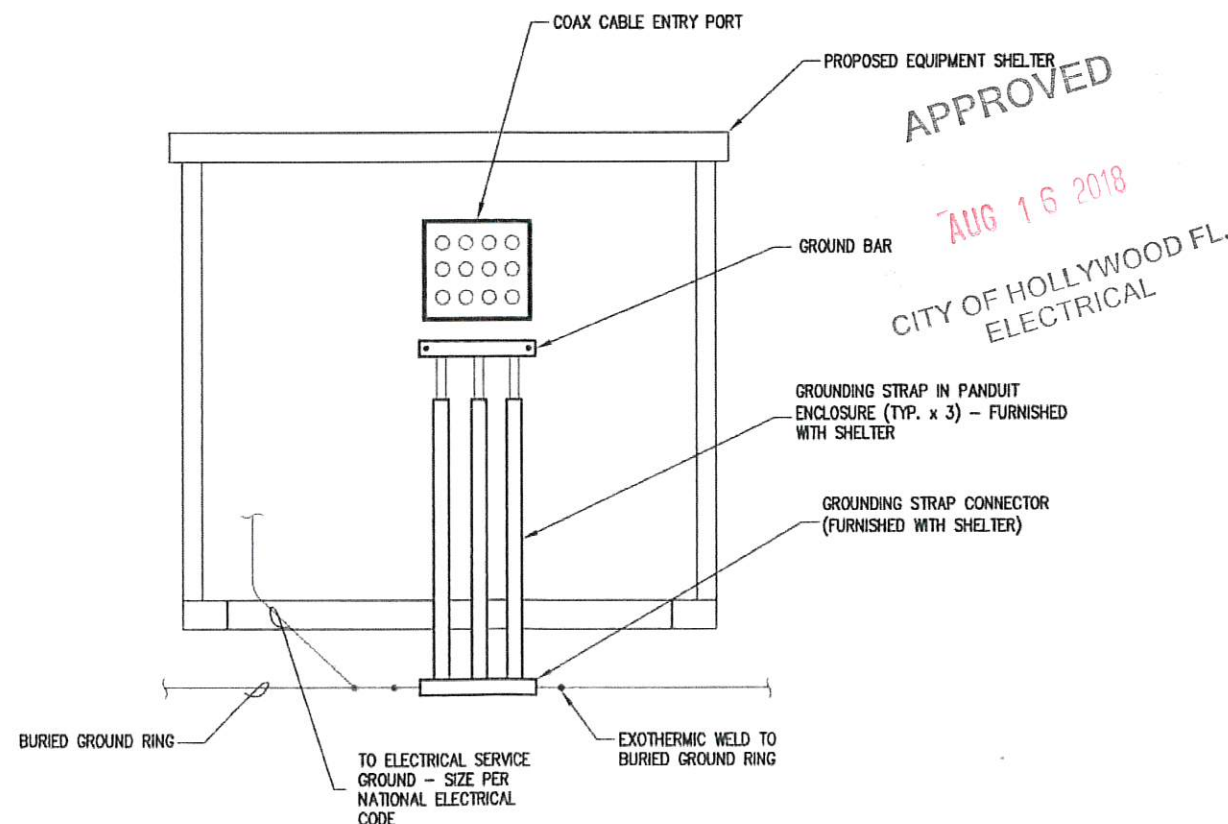
2 UTILITIES TRENCHING DETAIL
E3 SCALE: N.T.S.

GENERAL GROUNDING NOTES:

1. ALL GROUNDING CABLE IN CONCRETE OR THROUGH WALL SHALL BE IN 3/4" PVC CONDUIT. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTOR SLEEVES.
2. THE CONTRACTOR SHALL NOTIFY THE MOTOROLA SOLUTIONS REPRESENTATIVE WHEN THE GROUND RING IS INSTALLED SO THAT THE REPRESENTATIVE CAN INSPECT GROUND RING BEFORE IT IS CONCEALED.
3. ALL EXTERIOR GROUNDING CONDUCTORS INCLUDING GROUND RING SHALL BE #2/0 AWG STRANDED BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE INCLUSIVE ANGLE OF ANY BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
4. ALL BELOW GROUND EXTERNAL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO BURIED GROUND RING SHALL BE THE PARALLEL-TYPE, EXCEPT FOR THE GROUND RODS WHICH ARE TEE-TYPE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZED SUCH AS HULUB LECTROSQL #15-501.
5. WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF A CONDUCTIVE ANTI-OXIDE COMPOUND ON ALL CONNECTORS. PROVIDE LOCK WASHERS ON ALL MECHANICAL CONNECTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTORS, REPAINT TO MATCH EXISTING AFTER CONNECTION IS MADE TO MAINTAIN CORROSION RESISTANCE. ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE TYPES OF METALS BEING ATTACHED TO.
6. THE CONTRACTOR SHALL COORDINATE AS REQUIRED TO HAVE A UTILITY COMPANY REPRESENTATIVE AT THE SITE TO DISCONNECT THE UTILITY NEUTRAL FROM GROUNDING SYSTEM DURING FINAL INSPECTION SO THAT REQUIRED TESTING ON THE GROUND SYSTEM CAN BE PERFORMED. THE CONTRACTOR SHALL PROVIDE NOTICE TO THE MOTOROLA SOLUTIONS REPRESENTATIVE (TWO) DAYS PRIOR TO FINAL TESTING. IF THE CONTRACTOR FAILS TO MAKE UTILITY COMPANY REPRESENTATIVE AVAILABLE DURING THE FINAL TESTING, THE CONTRACTOR SHALL PAY THE COST FOR AN INDEPENDENT GROUNDING CONSULTANT TO PERFORM THE GROUND RESISTANCE TEST. GROUNDING CONSULTANT SHALL BE SELECTED BY THE MOTOROLA SOLUTIONS REPRESENTATIVE. IF THE UTILITY COMPANY REPRESENTATIVE FAILS TO APPEAR DUE TO NO FAULT OF THE CONTRACTOR, NO PENALTY SHALL APPLY.
7. A RESISTANCE TO GROUND OF (10) OHMS OR LESS IS REQUIRED FOR ALL MOTOROLA SOLUTIONS SITES. THE CONTRACTOR SHOULD RETAIN HIS OWN TESTER AT HIS OWN EXPENSE. SCHEDULE FINAL FALL-OF-POTENTIAL TEST SUCH THAT THE MOTOROLA SOLUTIONS REPRESENTATIVE CAN BE PRESENT FOR FIELD VERIFICATION. REFER TO THE MOTOROLA SOLUTIONS MASTER SPECIFICATION FOR FALL-OF-POTENTIAL TESTING PROCEDURES. IF THE FINAL GROUNDING RESISTANCE MEASUREMENT EXCEEDS 10 (TEN) OHMS, THE CONTRACTOR SHALL NOTIFY THE MOTOROLA SOLUTIONS REPRESENTATIVE.
8. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL.
9. THE GROUND WIRES SHALL BE RUN STRAIGHT FOR MINIMUM INDUCTANCE AND VOLTAGE DROP. SINCE CABLE BENDS INCREASE INDUCTANCE, THE MINIMUM REQUIRED BENDING RADIUS IS 8 INCHES WHEN BENDS ARE UNAVOIDABLE. ALL METAL WORK WITHIN 10 FEET OF THE GROUND RING SHALL BE DIRECTLY BONDED TO THIS GROUND SYSTEM, WITHOUT USING SERIES OR DAISY CHAIN CONNECTION ARRANGEMENTS.
10. PAINT, ENAMEL, LACQUER AND OTHER ELECTRICALLY NON-CONDUCTIVE COATINGS SHALL BE REMOVED FROM THREADS AND SURFACE AREAS WHERE CONNECTIONS ARE MADE TO ENSURE GOOD ELECTRICAL CONTINUITY.
11. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL NOT BE MADE UNLESS THE CONDUCTORS ARE SEPARATED BY A SUITABLE MATERIAL THAT IS A PART OF THE ATTACHMENT DEVICE. ONLY ATTACHMENT DEVICES LISTED AND APPROVED FOR USE WITH THE SPECIFIC DISSIMILAR METALS MAY BE USED FOR THIS PURPOSE.
12. ALL BELOW GRADE GROUND SYSTEM CONDUCTORS SHALL BE A MINIMUM DEPTH OF 30" (OR 6" BELOW THE FROST LINE, WHICHEVER IS GREATER).



3 TYPICAL ELECTRICAL COMM./CONTROLS TRENCH
E3 SCALE: N.T.S.

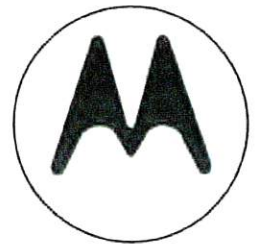


4 SHELTER GROUNDING DETAIL
E3 SCALE: N.T.S.

NOTE:
SYSTEM GROUND RESISTANCE SHALL NOT EXCEED 10 OHMS. A FALL-OF-POTENTIAL TEST SHALL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH MOTOROLA SOLUTIONS SPECIFICATION R56.
A.) PERFORM THREE TESTS AT EACH SITE.

B.) CONTRACTOR SHALL PROVIDE A WRITTEN REPORT ON FORMS PROVIDED WITHIN THE MOTOROLA SOLUTIONS SPECIFICATION R56 CONSISTING OF THE FOLLOWING:
SITE NAME, ADDRESS AND IDENTIFICATION NUMBER, DESCRIPTION OF SITE SOIL AND MOISTURE CONDITION, DESCRIPTION OF WEATHER, MODELNUMBER OF TESTING EQUIPMENT, DATE OF LAST CALIBRATION, SITE SKETCH SHOWING LOCATION OF TEST PROBES, AND ALL FIELD DATA COLLECTED (READINGS, RANGE, TEST, MILLIAMPS, ETC.).

C.) CONTRACTOR SHALL NOTIFY THE MOTOROLA SOLUTIONS CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES PERFORMING SYSTEM RESISTANCE TESTS OR IF MEASUREMENTS ARE ABOVE 10 OHMS. THE MOTOROLA SOLUTIONS CONSTRUCTION MANAGER SHALL PROVIDE INSTRUCTION TO THE CONTRACTOR TO INSTALL ADDITIONAL GROUNDING MEASURES TO MEET THE 10 OHM REQUIREMENT.



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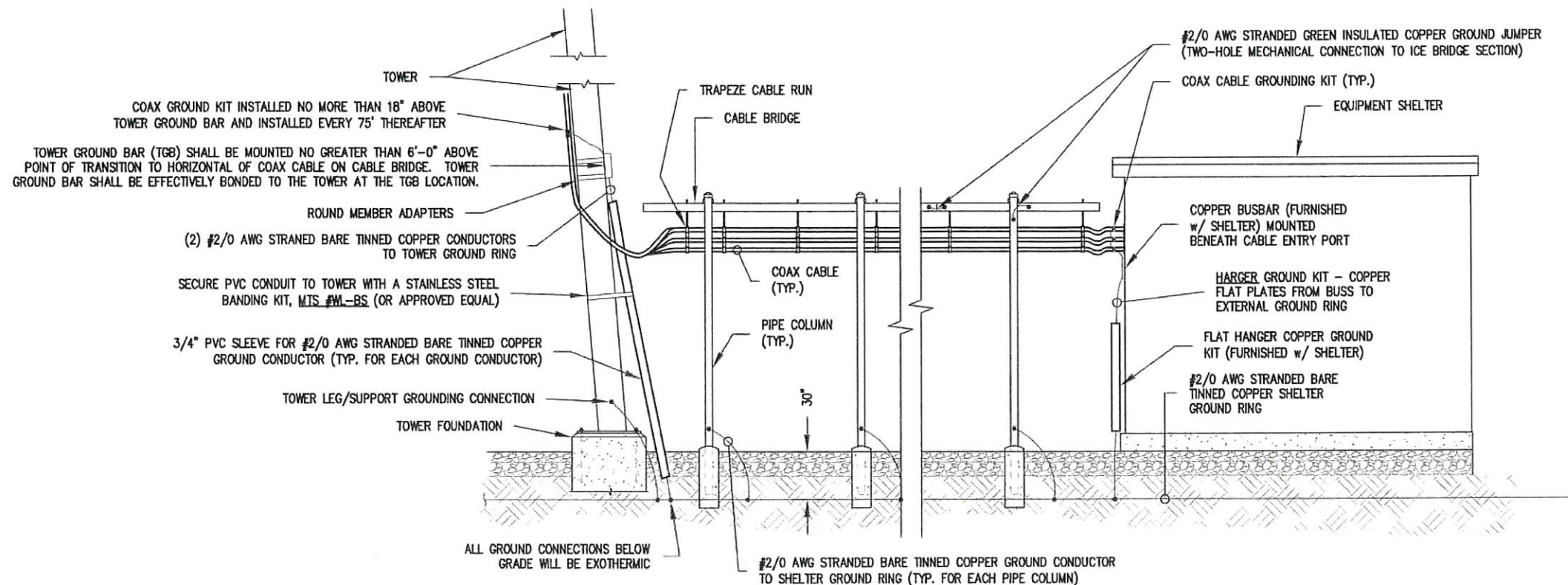
AMEC FOSTER WHEELER
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1075 BIG SHANTY DRIVE, N.W. SUITE 100
KENNESAW, GA 30144
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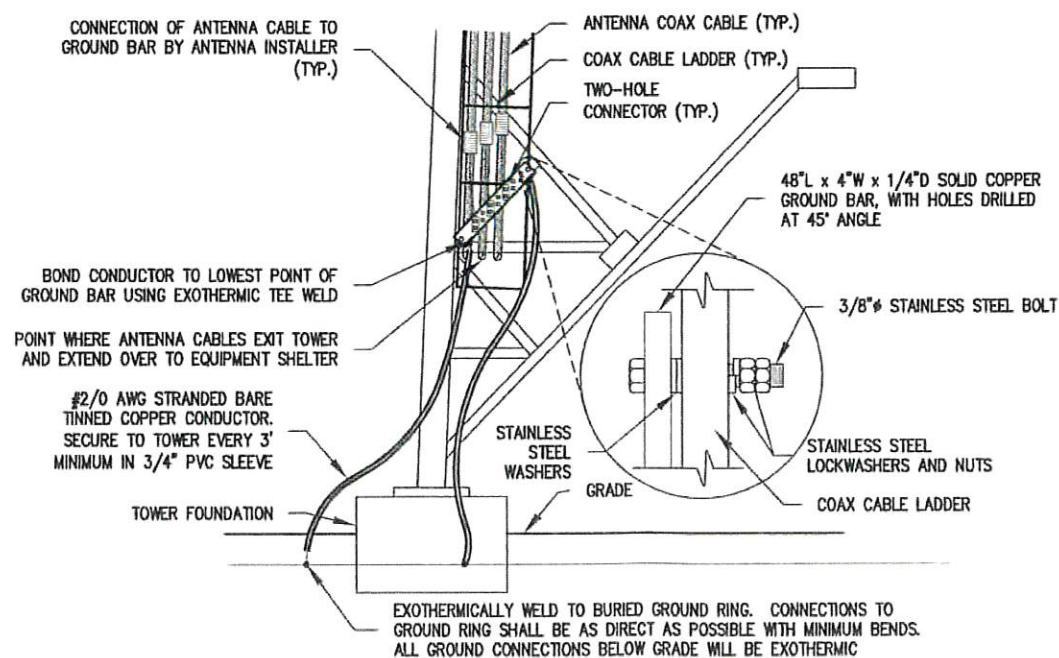


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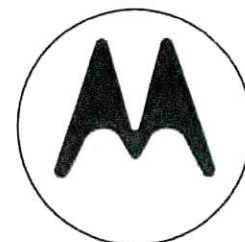
E3
GROUNDING DETAILS



1
E4
TOWER GROUNDING DETAIL
SCALE: N.T.S.



2
E4
TOWER BOTTOM GROUND BAR MOUNTING DETAIL
SCALE: N.T.S.



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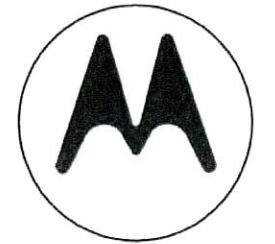
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SHEET NO. & NAME

E4
GROUNDING DETAILS



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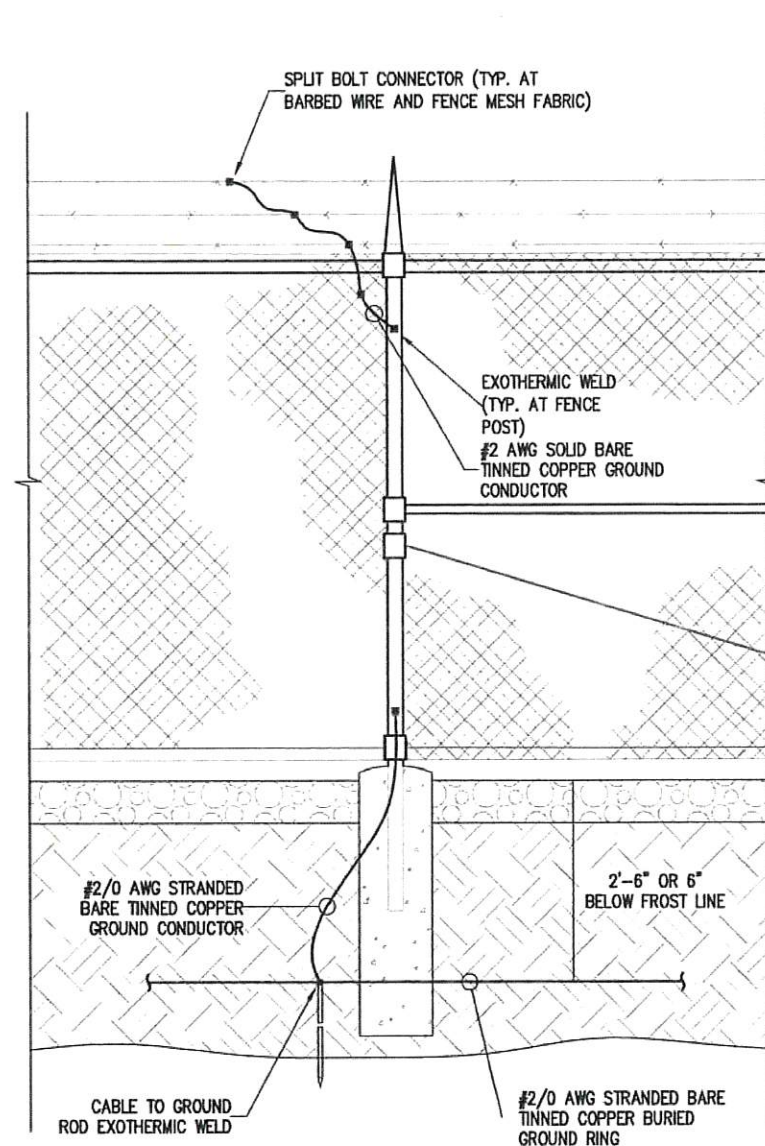
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SHEET NO. & NAME

E5
GROUNDING DETAILS

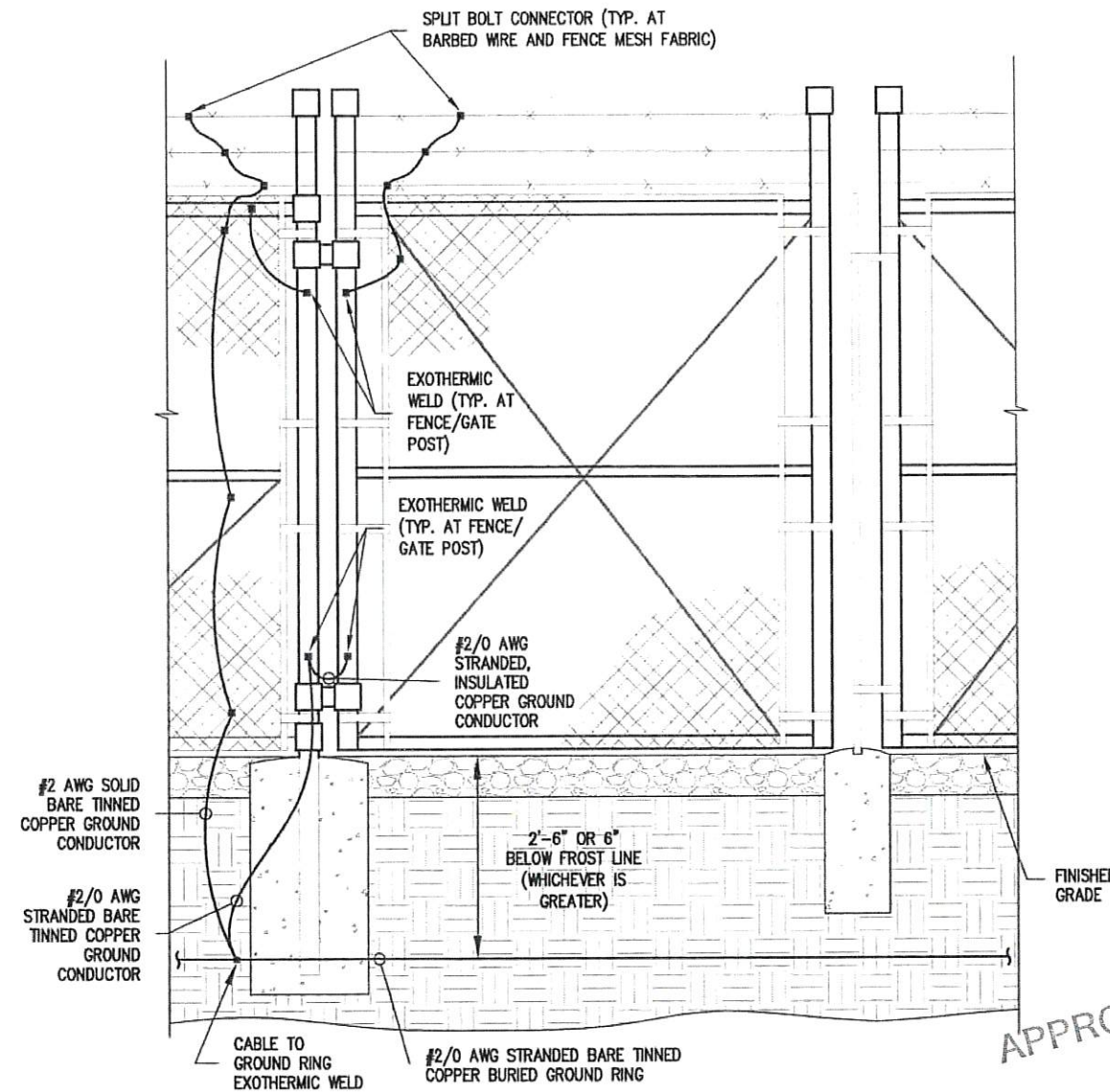


VERTICAL POST CONNECTED TO RING

NOTES:

1. EACH CORNER FENCE POST SHALL BE BONDED TO THE NEAREST LOCATION OF THE BUILDING GROUND RING USING #2/0 AWG OR LARGER BARE, TINNED COPPER CONDUCTORS. THE GROUNDING CONDUCTORS SHALL BE BURIED TO THE SAME DEPTH AS THE BUILDING GROUND RING.
2. THE FENCE FABRIC NEAR EACH CORNER BONDING POINT SHALL BE BONDED TO THE BUILDING GROUND RING. THE FENCE FABRIC SHALL BE MADE IN AT LEAST THREE POINT DOWN THE FENCE FABRIC.

1 FENCE GROUNDING DETAIL
E5 SCALE: N.T.S.



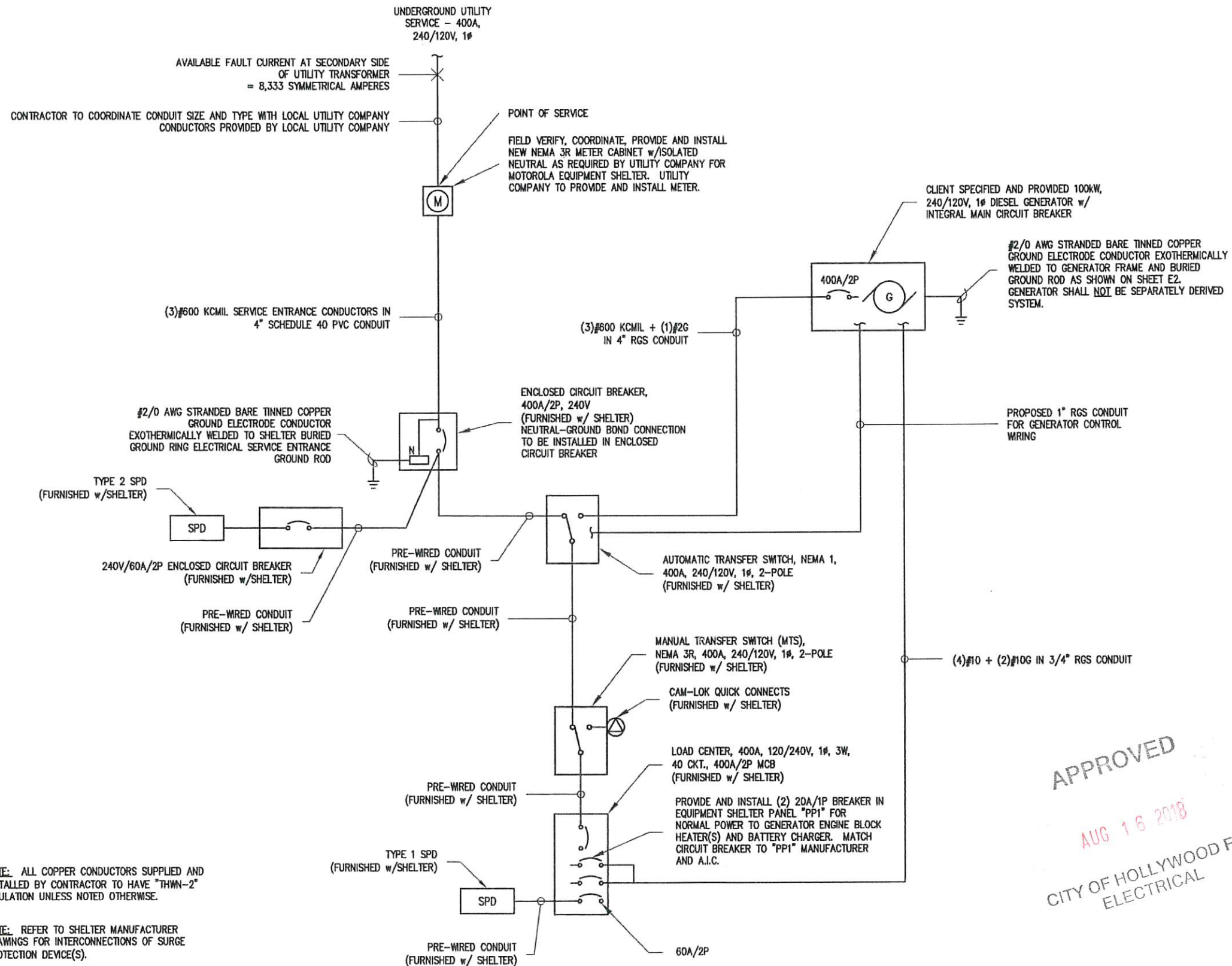
VERTICAL FENCE/GATE POST BONDED TO GROUND RING

NOTES:

1. EACH CORNER FENCE POST SHALL BE BONDED TO THE NEAREST LOCATION OF THE BUILDING GROUND RING USING #2/0 AWG OR LARGER BARE, TINNED COPPER CONDUCTORS. THE GROUNDING CONDUCTORS SHALL BE BURIED TO THE SAME DEPTH AS THE BUILDING GROUND RING.
2. THE FENCE FABRIC NEAR EACH CORNER BONDING POINT SHALL BE BONDED TO THE BUILDING GROUND RING. THE FENCE FABRIC SHALL BE MADE IN AT LEAST THREE POINT DOWN THE FENCE FABRIC.
3. ALL GATE POSTS SHALL BE BONDED TO THE NEAREST LOCATION OF THE BUILDING GROUND RING USING #2 AWG OR LARGER BARE, TINNED COPPER CONDUCTORS.

2 GATE GROUNDING DETAIL
E5 SCALE: N.T.S.

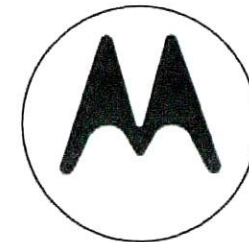
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CITY OF HOLLYWOOD FL.
ELECTRICAL



NOTE: ALL COPPER CONDUCTORS SUPPLIED AND INSTALLED BY CONTRACTOR TO HAVE "THWN-2" INSULATION UNLESS NOTED OTHERWISE.

NOTE: REFER TO SHELTER MANUFACTURER DRAWINGS FOR INTERCONNECTIONS OF SURGE PROTECTION DEVICE(S).

1
E6 ELECTRICAL SINGLE LINE DIAGRAM
SCALE: N.T.S.



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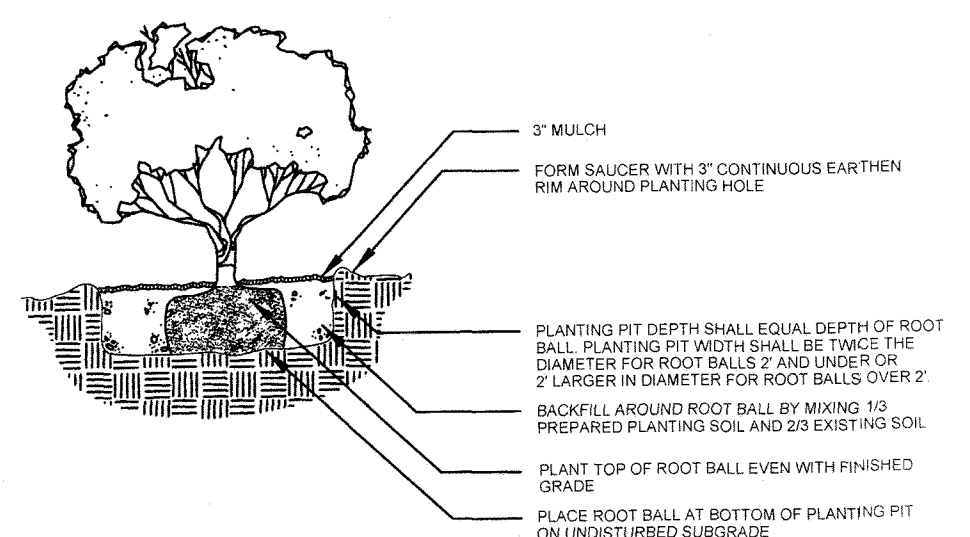
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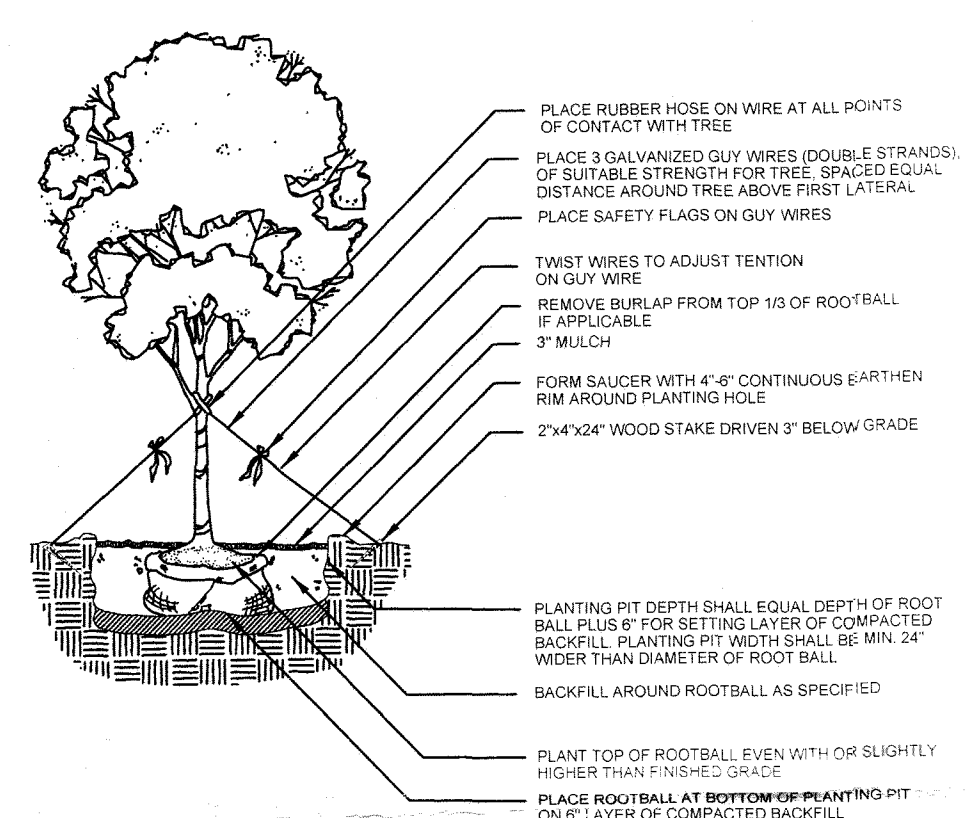
E6
ELECTRICAL SINGLE
LINE DIAGRAM

B18-106069



SHRUB/GROUND COVER PLANTING DETAIL

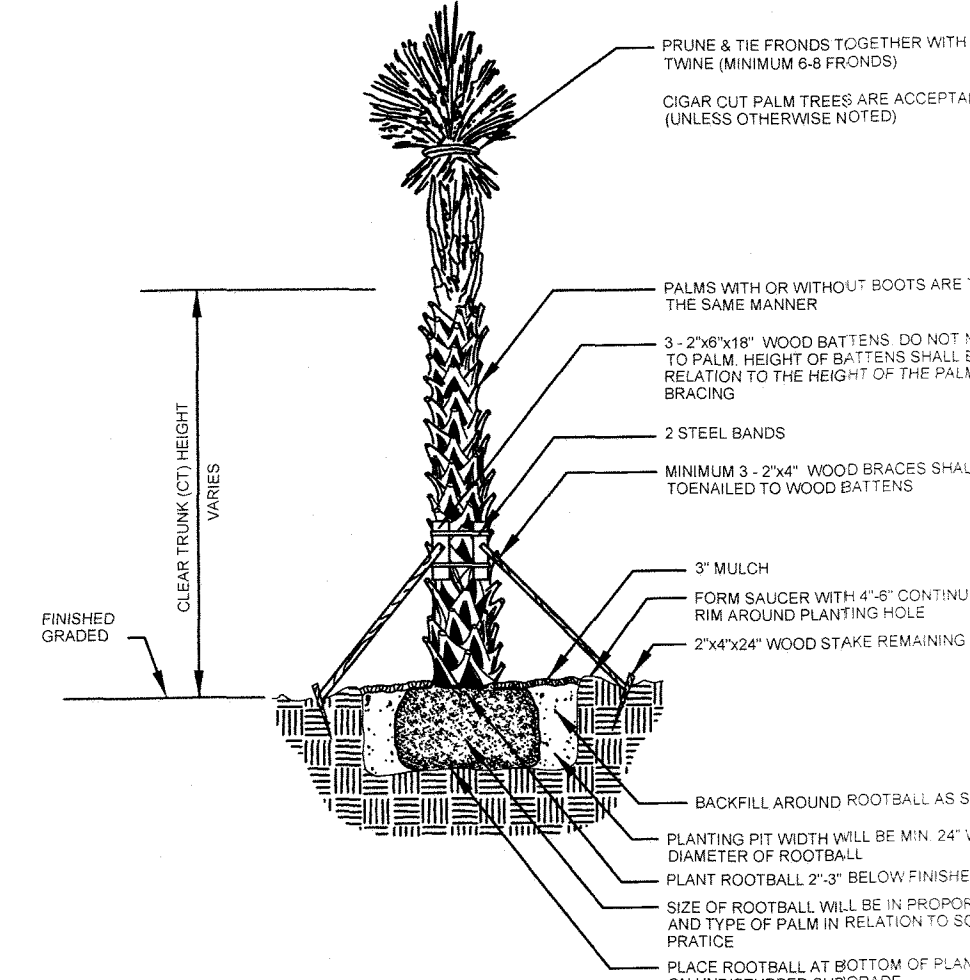
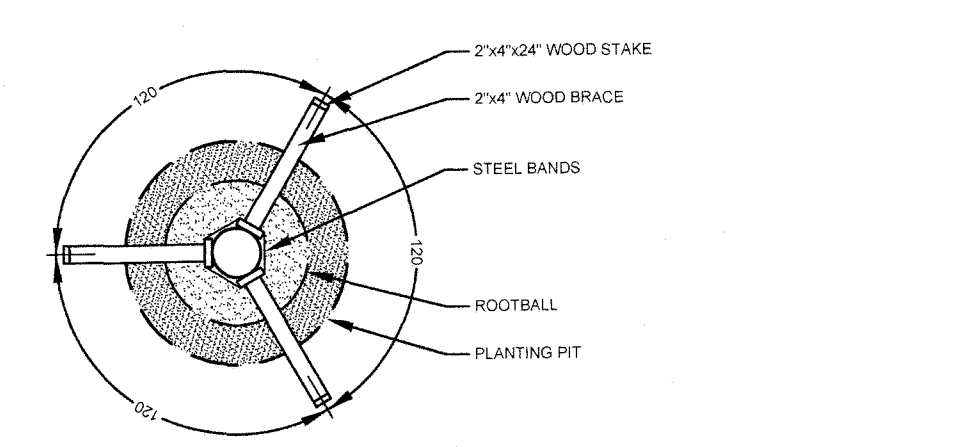
N.T.S.



LARGE TREE PLANTING/GUY DETAIL

N.T.S.

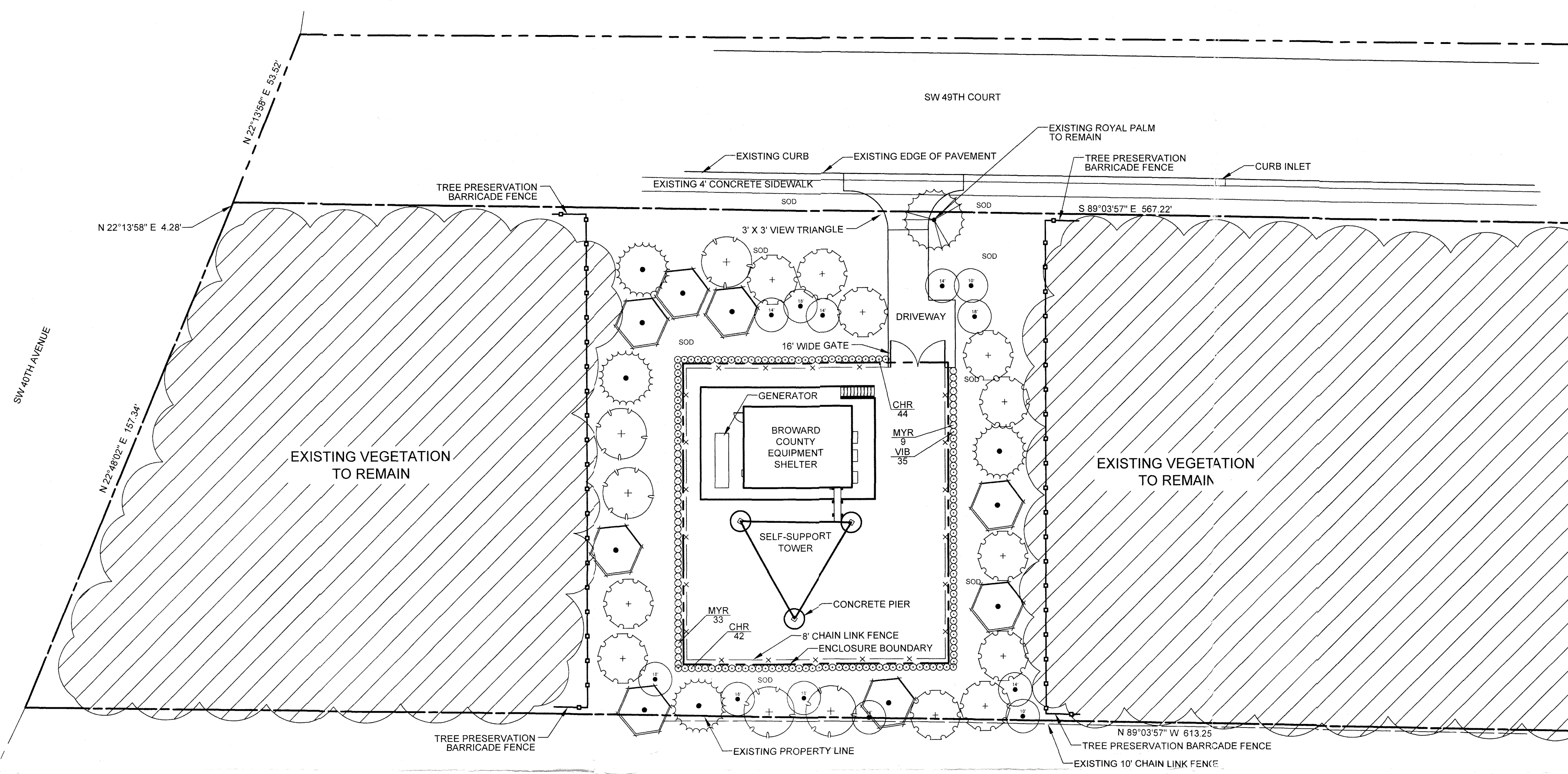
*FOR TREES ONLY OVER 3" CAL. D.B.H. AT TIME OF PLANTING



SINGLE TRUNK PALM STAKING DETAIL

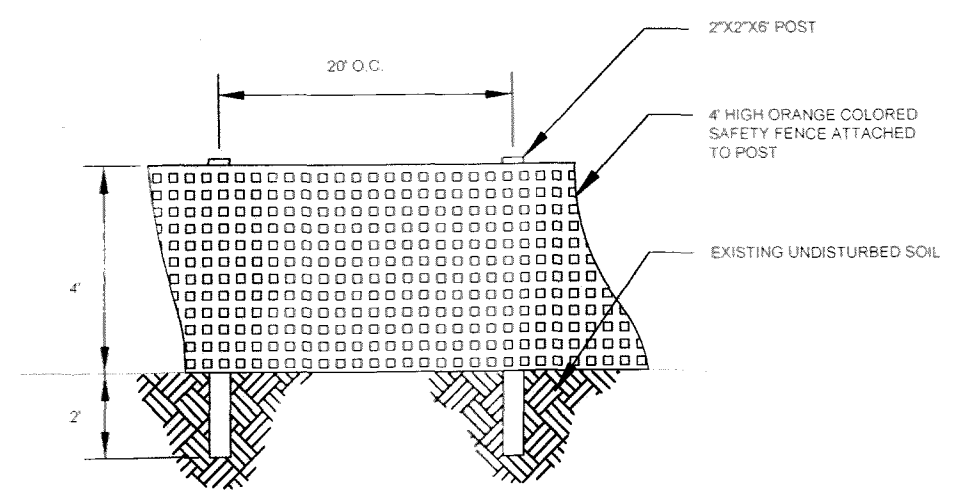
N.T.S.

*PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED



TREE & PALM LEGEND

- BS - GUMBO LIMBO
- CD - PIGEON PLUM
- CE - GREEN BUTTWOOD
- JS - SOUTHERN RED CEDAR
- SP - CABBAGE PALM (18' CT)
- SP - CABBAGE PALM (14' CT)
- SP - CABBAGE PALM (10' CT)



TREE PRESERVATION BARRICADE FENCING DETAIL

N.T.S.

LANDSCAPE PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
Trees				
8	BS	Busera simaruba	Gumbo Limbo	B&B, 12ht. x 6'spr., 3" DBH
5	CD	Coccoloba diversifolia	Pigeon Plum	B&B, 12ht. x 6'spr., 3" DBH
11	CE	Conocarpus erectus	Green Buttonwood	B&B, 12ht. x 6'spr., 3" DBH
4	JS	Juniperus silicicola	Southern Red Cedar	B&B, 12ht. x 6'spr., 3" DBH, Full to Ground
Palms				
5	SP18	Sabal palmetto	Cabbage Palm	18'ct, w/boots, hurricane cut
5	SP14	Sabal palmetto	Cabbage Palm	14'ct, w/boots, hurricane cut
2	SP10	Sabal palmetto	Cabbage Palm	10'ct, w/boots, hurricane cut
Shrubs				
86	CHR	Chrysobalanus icaco	Green Cocoplum	3 gal., 24"ht. x 18"spr., 24" o.c.
42	MYR	Myrsine guianensis	Myrsine	3 gal., 24"ht. x 18"spr., 24" o.c.
35	VIB	Viburnum obtusum	Walter's Viburnum	3 gal., 24"ht. x 18"spr., 24" o.c.
Ground Cover				
as req'd	SOD	Paspalum notatum	Bahia grass	solid sod (SF)

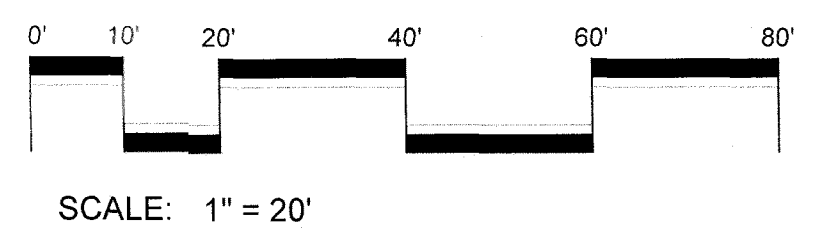
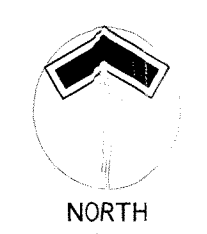
TREE SPECIES REQUIREMENTS			
REQUIRED TREES	MIN. NO. OF SPECIES	NO. OF SPECIES PROVIDED	
33	4	6	

TREE DATA SURVEY LEGEND				
Tree no.	Species	D. B. H.	Overall Height	Canopy Spread
1	Quercus virginiana (Live Oak)	14"	30'	10'
2	Syzygium cumini (Java Plum)	9"	42'	18'
3	Syzygium cumini (Java Plum)	5 c.d.s. = 27"	50'	25'
4	Quercus virginiana (Live Oak)	20"	38'	22'
5	Quercus virginiana (Live Oak)	13"	40'	15'
6	Quercus virginiana (Live Oak)	10"	35'	15'
7	Quercus virginiana (Live Oak)	8"	12'	15'
8	Quercus virginiana (Live Oak)	9"	30'	10'
9	Quercus virginiana (Live Oak)	6"	13'	10'
10	Brazilian Pepper	na	na	na
11	Quercus virginiana (Live Oak)	4"	12'	4'
12	Brazilian Pepper	na	na	na
13	Roystonea elata (Royal Palm)	18"	40'	18'
14	Syzygium cumini (Java Plum)	9"	35'	15'
15	Syzygium cumini (Java Plum)	15"	40'	10'
16	Syzygium cumini (Java Plum)	11"	40'	15'
17	Syzygium cumini (Java Plum)	10"	35'	20'

CITY OF HOLLYWOOD LANDSCAPE MANUAL
7.6: PROTECTING TREES DURING CONSTRUCTION OR LAND DEVELOPMENT
DURING LAND DEVELOPMENT, CONSTRUCTION, AND REPAIRS, EVERY EFFORT MUST BE MADE TO AVOID DAMAGING TREES WHICH WILL REMAIN ON THE SITE OR BE RELOCATED. TREES MUST BE PROTECTED AND BUILDING FOOTPRINTS SHOULD BE RELOCATED TO PROTECT TREES WHEN POSSIBLE. PLACE PROTECTIVE BARRIERS AT THE DRIP LINE AROUND TREES TO PREVENT DAMAGE (I.E. RETAINING WALLS, DRY WELL AND STEM WALL CONSTRUCTION). DO NOT USE OR STORE CONSTRUCTION MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF TREES. DO NOT CONTAMINATE THE SOIL WITHIN THIS AREA WITH PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC.

CITY OF HOLLYWOOD FLORIDA			
LANDSCAPE MANUAL			
2.4 Commercial Districts			
A. Commercial Districts C-1 through C-5			
Perimeter Landscape	REQUIREMENTS	LF	REQUIRED PROVIDED
	North (C-3) 1 Shrub per 2 LF	60	30 31
	East (C-3) 1 Shrub per 2 LF	89	45 45
	South (Broward County Utilities) 1 Shrub per 2 LF	79	40 42
	West (C-3) 1 Shrub per 1 LF	89	45 45
Interior Landscape for Vehicular Use Area	REQUIREMENTS	SF	REQUIRED PROVIDED
	Lots with a width of more than 50 ft.: 25% of the total square footage of the paved vehicular use area shall be landscaped (% excludes perimeter landscape area).	715	179 179
Open Space	REQUIREMENTS	SF	REQUIRED PROVIDED
	Minimum 1 tree per 1,00 s.f. of previous area of property	5175	5 5
Tree Disposition List	REQUIREMENTS	DBH	REQUIRED PROVIDED
	Equivalent diameter replacement shall be planted on or off site		Trees with 3" DBH
	Tree No. 1 - Quercus virginiana (Live Oak)	14	
	Tree No. 4 - Quercus virginiana (Live Oak)	20	
	Tree No. 5 - Quercus virginiana (Live Oak)	13	
	Tree No. 6 - Quercus virginiana (Live Oak)	10	
	Tree No. 7 - Quercus virginiana (Live Oak)	8	
	Tree No. 8 - Quercus virginiana (Live Oak)	9	
	Tree No. 9 - Quercus virginiana (Live Oak)	6	
	Tree No. 11 - Quercus virginiana (Live Oak)	4	
	TOTAL DBH	84	28 28
	REQUIREMENTS	TREES	28
	PALMS	1	(1/1=1)
	PALMS	4	(12/3=4)
	TOTAL TREES	33	33
	TOTAL SHRUBS	160	163

12/15/18



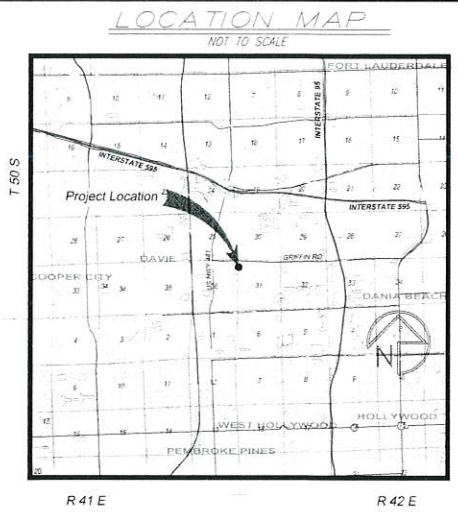
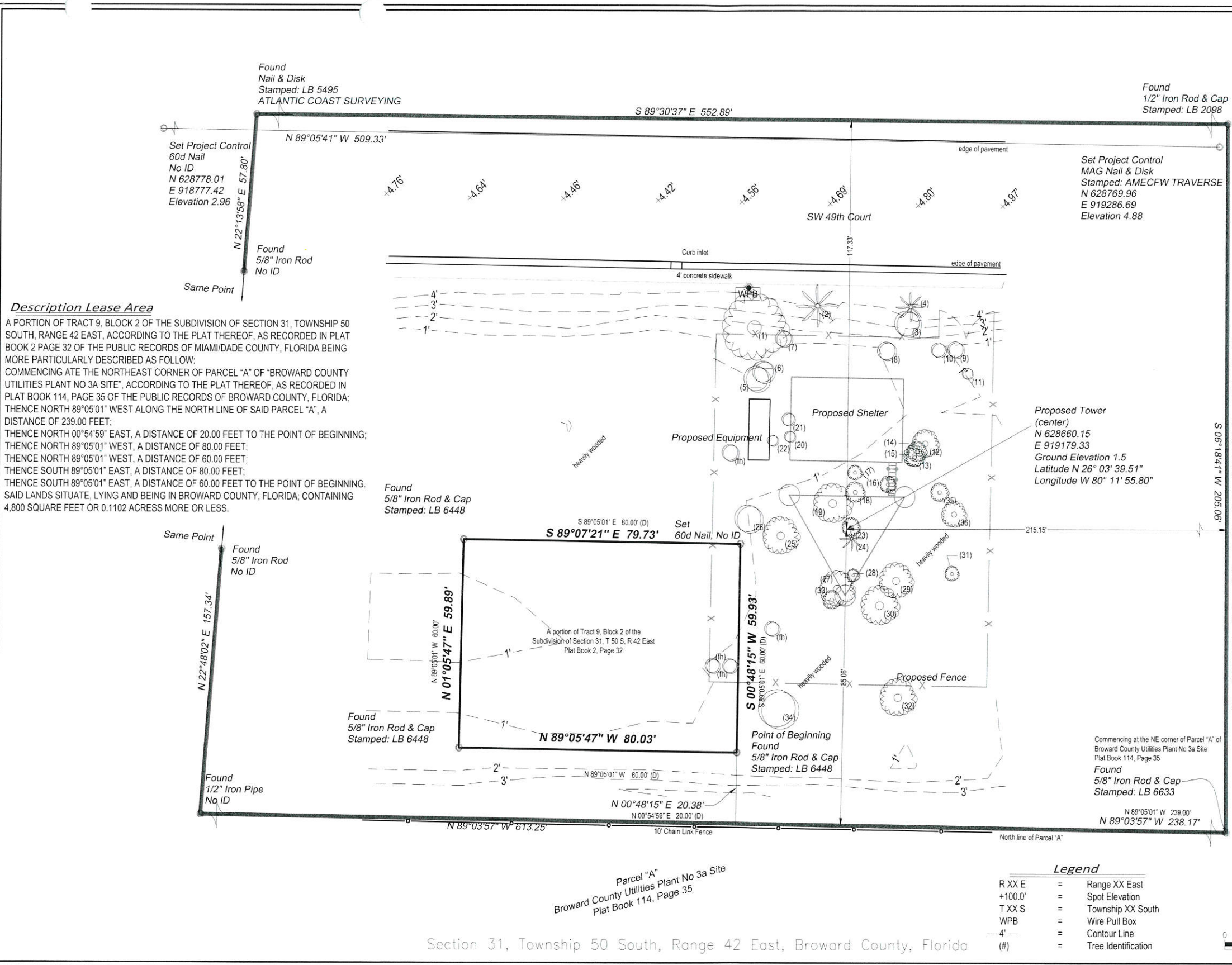
SCALE: 1" = 20'

BROWARD COUNTY - WEST HOLLYWOOD

SW 49TH COURT

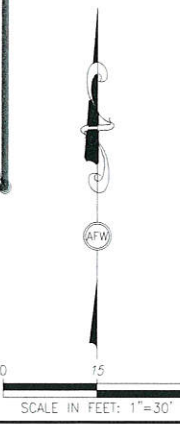
HOLLYWOOD, FLORIDA

\\000-FS\PROJECTS\6374\2017\6166170575-260 - MOTOROLA BROWARD CO. A&E\WEST HOLLYWOOD\00 CIVIL 3D 2016\16 WEST HOLLYWOOD_V3.DWG



SURVEYOR'S NOTES

1. This map of survey is not valid without the signature and the original raised seal of the signing Florida licensed surveyor and mapper.
2. This map of survey identifies the boundary of the lease parcel, features within the survey limits shown hereon, as specified by the client.
3. Bearings, coordinates and elevations shown hereon are relative to the Florida State Plane Coordinate System, East Zone (0901), North American Datum of 1983, 2011 adjustment and; the North American Vertical Datum of 1988 (NAVD 88) based on Global Positioning System (GPS) measurements to National Geodetic Survey (NGS) Continuously Operating Reference Stations (CORS) network.
4. Dimensions shown hereon contain horizontal grid distances and are based upon field measurements utilizing the United States Survey Foot, unless indicated otherwise.
5. Lands shown hereon were not abstracted by this firm for matters of record, such as easements, right of way, ownership or other instruments of record.
6. The field data acquisition phase of this survey was completed on June 13, 2017, as documented in AmecFW field book 1328, Pages 56-61, 76-77.
7. This survey does not address the identification or location of jurisdictional wetlands or sovereign lands that may or may not lie within or adjacent to the lands surveyed.
8. According to Federal Emergency Management Agency Flood Insurance Rate Map, Broward County Florida, Map Number 12011 B 0562H; Effective date: August 18, 2014, the property described hereon is located in Zone AH (EL5) - Flood depths of 1 to 3 feet (usually areas of ponding) Base Flood Elevations determined.
9. Certified to and for the exclusive use of MOTOROLA.



CHARLES B. GARDINER
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
LICENSE NO. LS 5046

NO.	DATE	REVISION
1	10/25/2017	Added Note # 8 and sheet # 2, updated site address
2	07/05/2018	Located trees marked and identified by client's arborist in the vicinity of the proposed compound area
3	07/18/2018	Updated proposed compound limits

AMEC FOSTER WHEELER
ENVIRONMENT & INFRASTRUCTURE, INC.
75 East Amelia Street, Suite 200
Orlando, FL 32801 USA
Phone: (407) 522-7570
Fax: (407) 522-7576
Certificate of Authorization Number LB-0007932

CLIENT:

MOTOROLA SOLUTIONS
8000 WEST SUNRISE BLVD.
PLANTATION, FLORIDA 33322
PHONE: (954) 723-5000

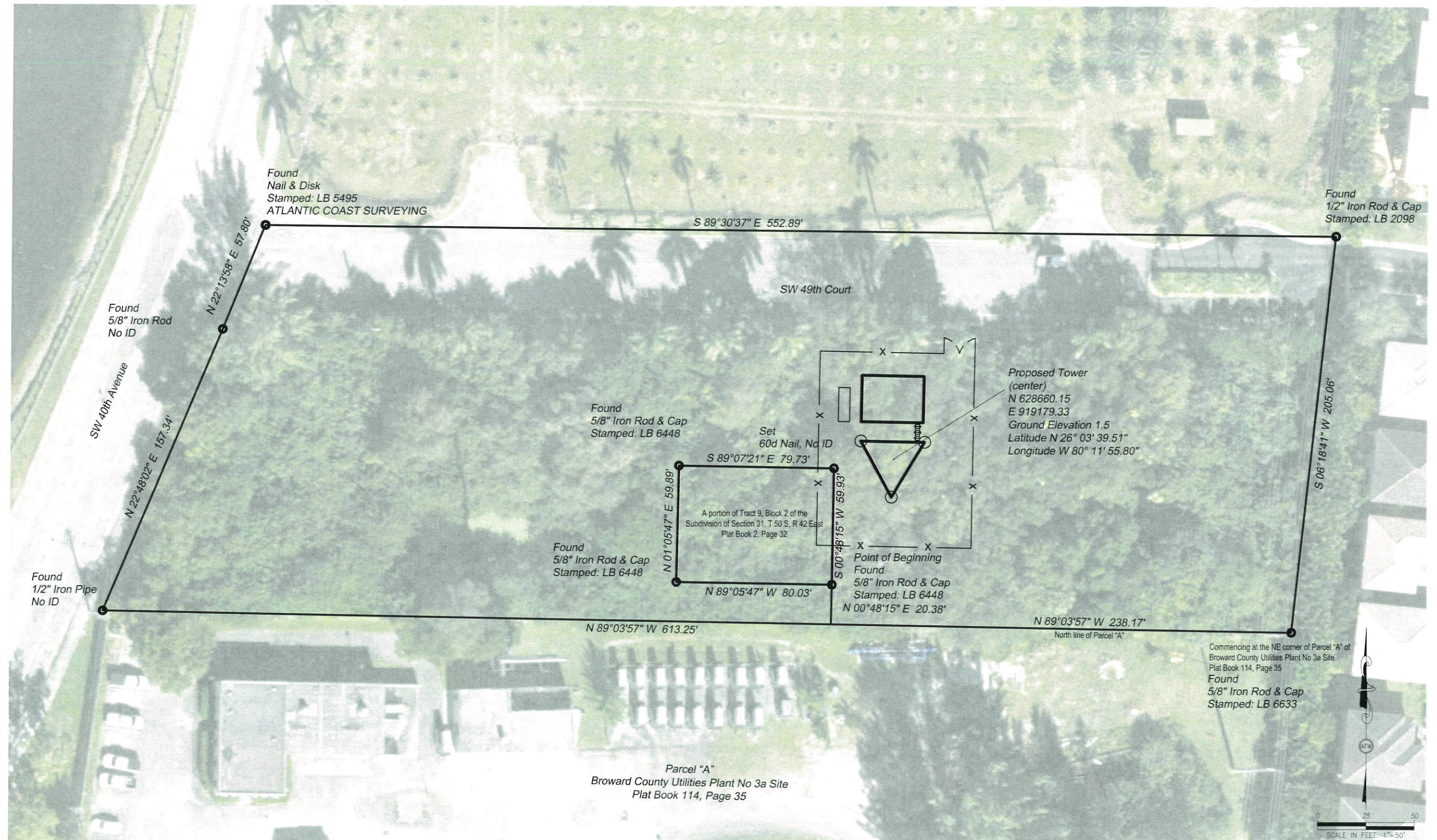
BROWARD COUNTY - WEST HOLLYWOOD
SW 49TH COURT
FT. LAUDERDALE, FL 33312

AMEC PROJECT NO: 6166 17 0536
DRAWN BY: M. RAMOS
APPROVED BY: C.B. GARDINER
CHECKED BY: C.B. GARDINER
DATE: 01/18/2017

Map of Boundary and Topographic Survey

Sheet 1 of 2

\\D00-FS\PROJECTS\37420176\66170575-260 - MOTOROLA BROWARD CO. A&E\WEST HOLLYWOOD\00 CIVIL 3D 2016\16 WEST_HOLLYWOOD_V3.DWG



Section 31, Township 50 South, Range 42 East, Broward County, Florida

NO.	DATE	REVISION
1	10/25/2017	Added Note # 8 and sheet # 2, updated site address
2	07/18/2018	Updated proposed compound limits



AMEC FOSTER WHEELER
ENVIRONMENT & INFRASTRUCTURE, INC.
75 East Amelia Street, Suite 200
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PHONE: (954) 723-5000

BROWARD COUNTY - WEST HOLLYWOOD
SW 49TH COURT
FT. LAUDERDALE, FL 33312

AMEC PROJECT NO: 6166 17 0536

DRAWN BY: M. RAMOS CHECKED BY: C.B. GARDINER

APPROVED BY: DATE: 01/18/2017

Map of
Boundary and Topographic
Survey

Sheet 2 of 2


Map of ALTA / NSPS Land Title Survey
of
West Hollywood - Tower Site
Section 31, Township 50 South, Range 42 East
Broward County, Florida

SURVEYOR'S NOTES

1. This map of survey is not valid without the signature and the original raised seal of the signing Florida licensed surveyor and mapper.
2. The Legal Description shown hereon was prepared by this firm at the client's request. This map of survey identifies the boundary of the lease parcel, features within the survey limits shown hereon, as specified by the client.
3. Bearings, coordinates and elevations shown hereon are relative to the Florida State Plane Coordinate System, East Zone (0901), North American Datum of 1983, 2011 adjustment and; the North American Vertical Datum of 1988 (NAVD 88) based on Global Positioning System (GPS) measurements to National Geodetic Survey (NGS) Continuously Operating Reference Stations (CORS) network.
4. Dimensions shown hereon contain horizontal grid distances and are based upon field measurements utilizing the United States Survey Foot, unless indicated otherwise.
5. The initial field data acquisition phase of this survey was completed on June 13, 2017, as documented in AmecFW field book 1328, Pages 56-61, 76-77. Additional topographic locations were acquired on September, 2018. Updates have been completed as identified below.
6. This survey does not address the identification or location of jurisdictional wetlands or sovereign lands that may or may not lie within or adjacent to the lands surveyed.
7. According to Federal Emergency Management Agency Flood Insurance Rate Map, Broward County Florida, Map Number 12011 B 0562H; Effective date: August 18, 2014, the property described hereon is located in Zone AH (EL5) - Flood depths of 1 to 3 feet (usually areas of ponding) Base Flood Elevations determined.
8. Lands shown hereon were not abstracted by this firm for matters of record, such as easements, right of way, ownership or other instruments of record. Non-surveyed lines, references to ownership, parcel identification numbers, and instruments of record shown hereon are based upon information provided by the Broward County Property Appraiser's Office.
9. I have reviewed the Ownership and Encumbrance Report, file number 5042 3101 0242, certified through: June 30, 2018 and the encumbrances, except liens, that affect the land, identified in the report have been shown or noted on this survey. Plottable items have been labeled with a hexagon containing the item number. Numbers listed below match the encumbrance numbers listed in the report. All referenced documents are filed in the Public Records of Broward County, Florida.

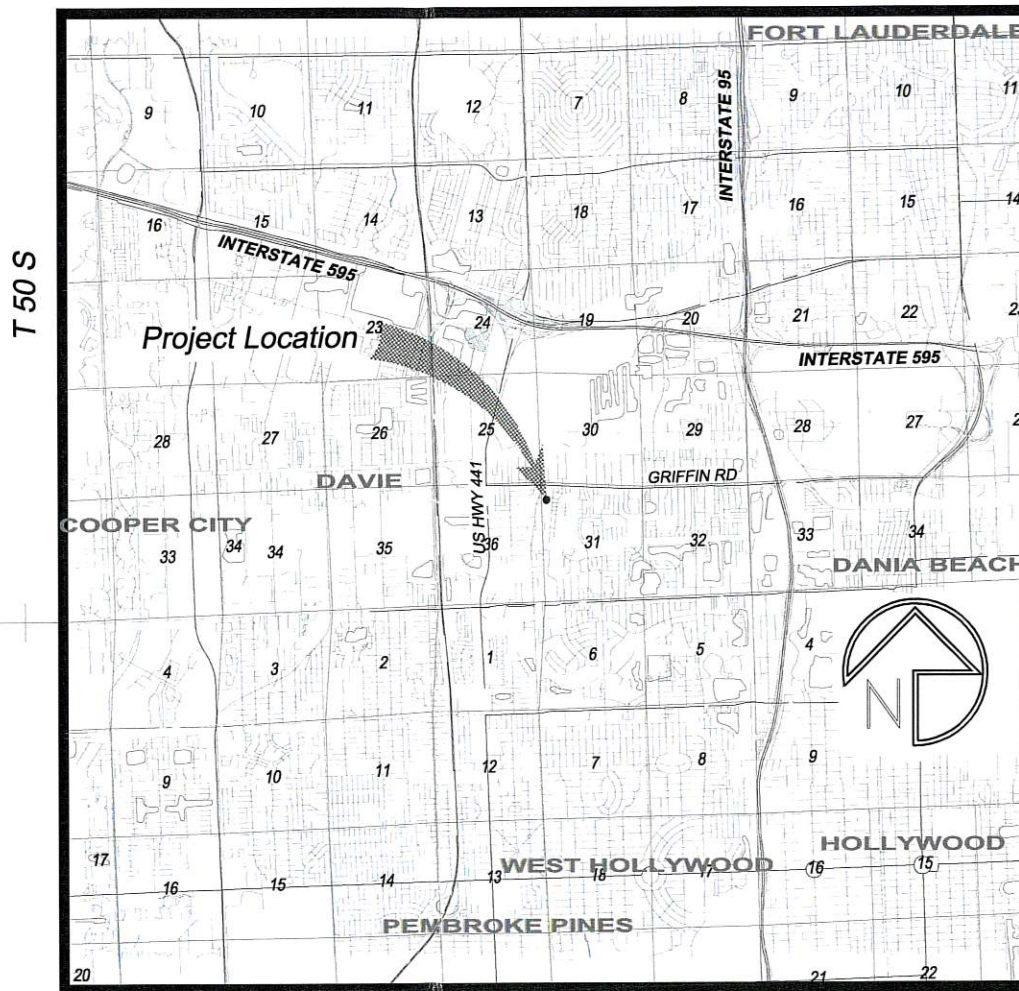
1. Matters contained in the REED LAND Plat as recorded in Plat Book 2, Page 32.
2. Natural Resource Area Resolution recorded December 21, 1989 in Official Records Book 17022, Page 838 (SEE Item 106, PAGE 10 AND 66).
3. Courtesy Notice of Super Priority Status of City of Dania Beach Code Enforcement Liens recorded May 13, 2010 in Official Records Book 47083, Page 1671.

Legend

- = Break Line (Not to Scale)
— 4' = Contour Line
R XX E = Range XX East
+100.0' = Spot Elevation
① = Title Insurance Commitment Schedule BII item
T XX S = Township XX South
 (13) = Trees (Various) as marked and identified by client's arborist
WPB = Wire Pull Box

LOCATION MAP

NOT TO SCALE



2-C Letter Certification

I certify that the proposed tower position of Latitude 26° 03' 39.18" North, Longitude 80° 11' 57.74" West is accurate to within 50+ feet horizontally and, that the ground at the proposed tower is at elevation 2. feet and is accurate to within 20+ feet vertically. The horizontal datum is relative to the North American Datum of 1983 (NAD 83) and expressed as degrees, minutes and seconds, to the nearest hundredth of a second. The vertical datum is relative to the North American Vertical Datum of 1988 (NAVD 88) and is expressed to the nearest one foot.

Description Lease Area

A portion of Tract 9, Block 2 of the Subdivision of Section 31, Township 50 South, Range 42 East, according to the plat thereof, as recorded in Pat Book 2, Page 32 of the Public Records of Miami/Dade County, Florida being more particularly described as follow:

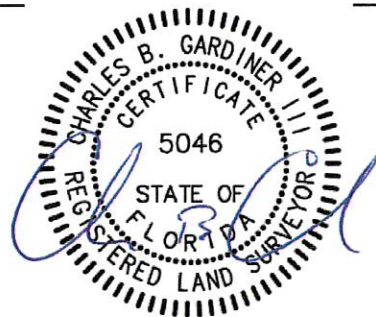
Commencing at the Northeast Corner of Parcel "A" of "BROWARD COUNTY UTILITIES PLANT NO 3A SITE", according to the plat thereof, as recorded in Plat Book 114, Page 35 of the Public Records of Broward County, Florida; thence run North 89°03'57" West along the North line of said parcel "A", for a distance of 337.49 feet; thence run North 00°00'00" West, for a distance of 16.50 feet to the Point of Beginning; thence run North 90°00'00" West, for a distance of 79.00 feet; thence run North 00°00'00" East, for a distance of 89.00 feet; thence run North 90°00'00" East, for a distance of 79.00 feet; thence run South 00°00'00" East, for a distance of 89.00 feet to the Point of Beginning.

Said lands situate, lying and being in Broward County, Florida and containing 7031. Square Feet or 0.161 Acres more or less.

Certification:

To MOTOROLA:
This is to certify that this map and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8 and 13 of Table A thereof. The field work was completed on June 13, 2017.

For the Company,
Wood Environment & Infrastructure Solutions, Inc.



CHARLES B. GARDINER
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
LICENSE NO. LS 5046

NO.	DATE	REVISION
1	10/25/2017	Added Note # 8 and sheet # 2, updated site address
2	07/05/2018	Located trees marked and identified by client's arborist in the vicinity of the proposed compound area
3	07/18/2018	Updated proposed compound limits
4	07/31/2018	Updated to meet ALTA / NSPS requirements
5	10/01/2018	Updated tower and shelter location
6	11/28/2018	Added Tree Data Provided by Client's Arborist

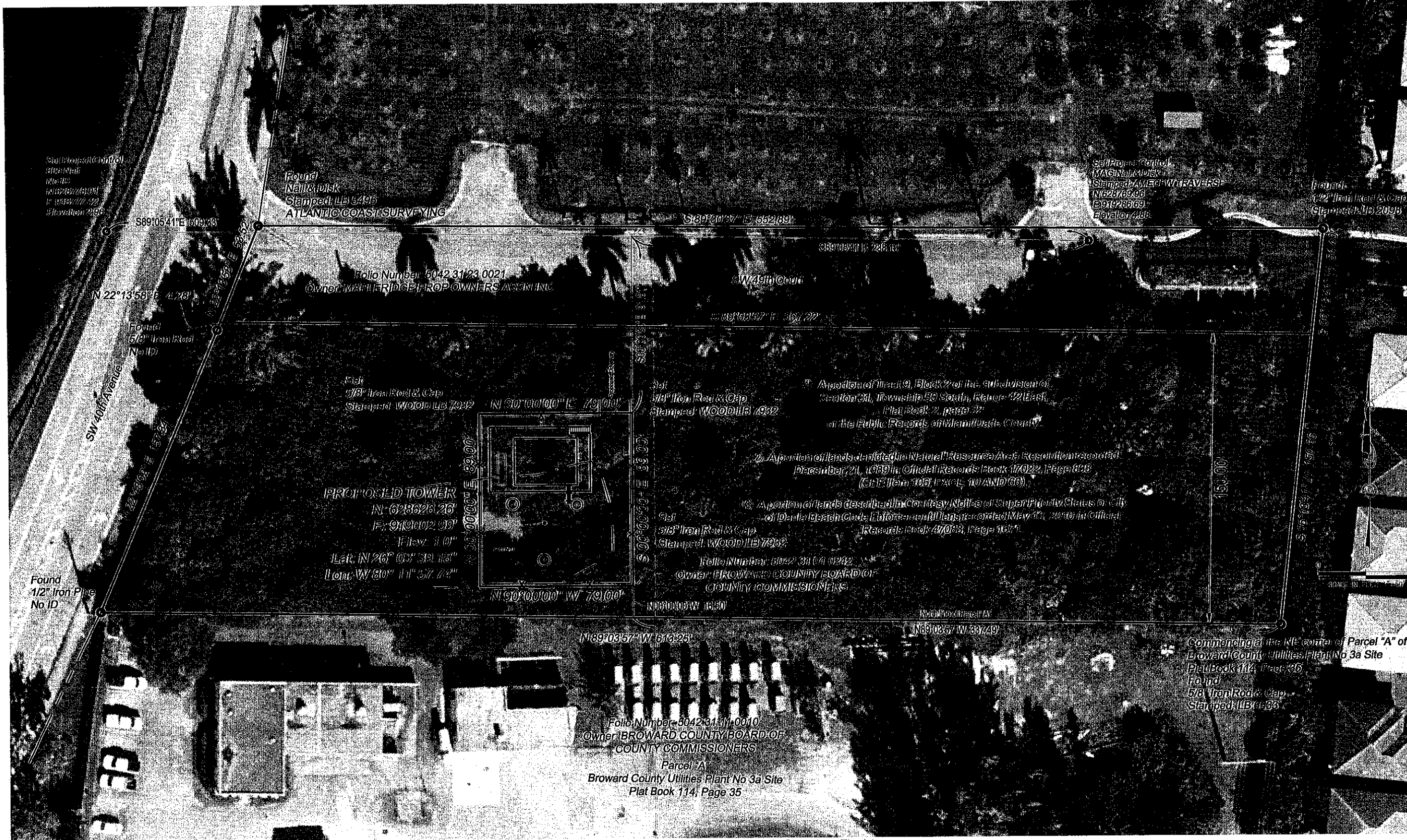
Wood Environment & Infrastructure Solutions, Inc.
550 Northlake Blvd., Suite 1000
Altamonte Springs, FL 32701 USA
Phone: (407) 522-7570
Fax: (407) 522-7576
Certificate of Authorization Number LB-0007932

CLIENT:
MOTOROLA SOLUTIONS
8000 WEST SUNRISE BLVD.
PLANTATION, FLORIDA 33322
PHONE: (954) 723-5000

BROWARD COUNTY - WEST HOLLYWOOD
SW 49TH COURT
FT. LAUDERDALE, FL 33312

AMEC PROJECT NO: 6166 17 0575.260
DRAWN BY: M. RAMOS
APPROVED BY: C.B. GARDINER
CHECKED BY: C.B. GARDINER
DATE: 01/18/2017

Map of ALTA / NSPS Land Title
and
Topographic Survey



Section 31, Township 50 South, Range 42 East, Broward County, Florida

NO.	DATE	REVISION

Wood Environment & Infrastructure Solutions, Inc.
550 Northlake Blvd., Suite 1000
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Map of ALTA / NSPS Land Title
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Tree Data Provided by Client's Arborist

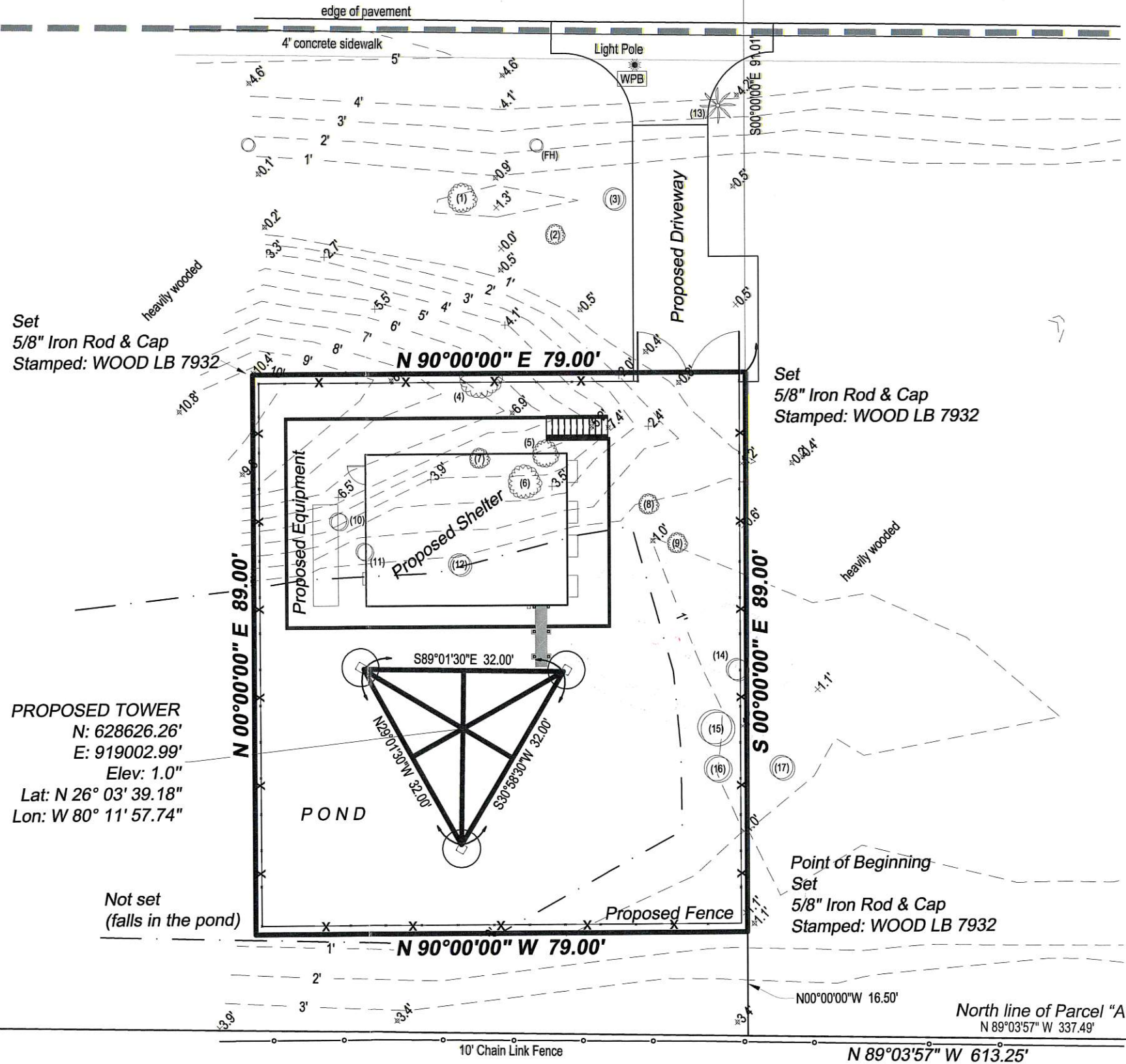
Miguel Castillo Arbor Services
6411 Harding Street
Hollywood, FL 33024
954-849-1700

Current Motorola West Hollywood site tree survey legend
(Folio 504231010242)

Tree no.	Species	D. B. H.	Overall Height	Canopy Sprea	Tree Disposition
1	quercus virginiana (live oak)	14"	30'	10'	remove
2	Syzyglum cumini (Java plum)	9"	42'	18'	remove
3	Syzyglum cumini (Java plum)	5 c.d.s.=27"	50'	25'	remove
4	quercus virginiana (live oak)	20"	38"	22'	remove
5	quercus virginiana (live oak)	13"	40'	15'	remove
6	quercus virginiana (live oak)	10"	35'	15'	remove
7	quercus virginiana (live oak)	8"	12'	15'	remove
8	quercus virginiana (live oak)	9"	30'	10'	remove
9	quercus virginiana (live oak)	6"	13'	10'	remove
10	Brazilian pepper	na	na	na	remove
11	quercus virginiana (live oak)	4"	12'	4'	remove
12	Brazilian pepper	na	na	na	remove
13	Roystonea elata royal palm	18"	40'	18'	remain
14	Syzyglum cumini (Java plum)	9"	35'	15'	remove
15	syzyglum cumini (Java plum)	15"	40'	10'	remove
16	syzyglum cumini (Java plum)	11"	40'	15'	remove
17	Syzyglum cumini (Java plum)	10"	35'	20'	remain

Each tree is numbered and tagged with orange ribbon to correspond with this legend and site survey respectively. OAH and canopy spread sizes are within 5' of actual size.

Tree Survey and Disposition Plan



Section 31, Township 50 South, Range 42 East, Broward County, Florida

NO.	DATE	REVISION

Wood Environment & Infrastructure Solutions, Inc.
550 Northlake Blvd., Suite 1000
Altamonte Springs, FL 32701 USA
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Map of ALTA / NSPS Land Title
and
Topographic Survey

Sheet 3 of 3