PLANNING DIVISION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CITY OF Hollywood FLORIDA

Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/DocumentCenter/Home/View/21

APPLICATION TYPE (CHECK ONE):

☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 2/1/2019

Location Address: 2870 Stirling Road

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142 04 00 300 & 5142 04 00 310

Zoning Classification: IM-2 Land Use Classification: Commerce

Existing Property Use: Office / Stor./ Vacant Sq Ft/Number of Units: 35,831SF exist'g

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s): PACO Application

☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: New Storage building for current Owner's expansion space to expand the building area to a total of 51,344 SF.

Number of units/rooms: N/A Sq Ft: 15,513 SF new

Value of Improvement: 1,500,000 Estimated Date of Completion: February 2020

Will Project be Phased? ( ) Yes (X)No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: DMJ Properties, LLC , Mr. Donald Marshall Jr.

Address of Property Owner: 2870 Stirling Road, Hollywood FL 33020

Telephone: 954-843-0991 Fax: 954-843-0989 Email Address: dmjr@air-marshall.com

Name of Consultant/~~Representative/Agent~~ (circle one): Perez and Associates, Architects

Address: 3045 N. Federal Hwy., Ste. 46, FTL 33306 Telephone: 954-567-2062

Fax: 954-567-2063 Email Address: frank@perezandassociates.com

Date of Purchase: 1972 Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Tony Gondola, VE Management, Inc. Address: 3499 NE 12th Terrace, Oakland Pk. FL 33334 Email Address: tony@vemgt.com

PLANNING DIVISION

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 1/28/2019

PRINT NAME: Donald Marshall Jr Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: Frank Perez Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: N/A Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan approval to my property, which is hereby made by me or I am hereby authorizing Frank Perez, Architect to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 28th day of January 2019

Notary Public
State of Florida

JOHN-MICHAEL A. RUDDY
MY COMMISSION EXPIRES MAR 01, 2022
#GG191470
Bonded through 1st State Insurance
NOTARY PUBLIC, STATE OF FLORIDA

Signature of Current Owner

Donald Marshall Jr
Print Name

My Commission Expires: 03/1/22 (Check One) X Personally known to me; OR ___ Produced Identification _____

CITY OF Hollywood
DEVELOPMENT SERVICES
PLANNING DIVISION

PRELIMINARY TECHNICAL ADVISORY COMMITTEE REPORT

February 19, 2019

DMJ Properties, LLC, Mr. Donald Marshal Jr.
2870 Stirling Road
Hollywood FL 33020

FILE NUMBER: 19-DP-06

SUBJECT: Site Plan review for an approximate 16,000 sq ft expansion of an existing warehouse. (2870 Stirling).

SITE DATA

Owner/Applicant:	DMJ Properties, LLC, Mr. Donald Marshall Jr.
Address/Location:	2870 Stirling Road
Net Size of Property:	127,677 sq. ft. (2.93 acres)
Size of Scope of Work:	53,812 sq. ft. (1.24 acres)
Land Use:	Industrial (IND)
Zoning:	Low/Medium Intensity Industrial and Manufacturing (IM-2) Light Intensity Commercial District (C-1)
Present Use of Land:	Office / Storage
Year Built:	2013 (Broward County Property Appraiser)

ADJACENT LAND USE

North:	Commercial (C) – Dania Beach
South:	Industrial (IND)
East:	Industrial (IND)
West:	Industrial (IND)

ADJACENT ZONING

North:	Commercial (C-2) – Dania Beach Industrial (IROC) – Dania Beach
South:	Low Intensity Industrial and Manufacturing (IM-1)
East:	Low/Medium Intensity Industrial and Manufacturing (IM-2) Light Intensity Commercial District (C-1)
West:	Low Intensity Industrial and Manufacturing (IM-1)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

A. APPLICATION SUBMITTAL

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Work with Engineering Division to ensure the O&E is accurate and all easements and dedications are indicated accurately on survey. ***Survey modified to include requested information.***

2. Alta Survey:

    a. Provide all widths and of internal streets. ***Survey modified to include requested information.***
    b. Provide net property size. ***Survey modified to include requested information.***

3. Site Plan:

    a. Include the ground floor plan on the site plan. ***Floorplan revised to include requested information.***

    b. Provide dimensions of existing dumpster enclosure. Ensure dumpster enclose is adequate for the existing and proposed structure. ***Site Plan revised to include requested information.***

    c. Provide location of noted utility easements. ***Site Plan revised to include requested information.***

    d. Provide dimensions for all parking spaces. ***Site Plan revised to include requested information. Please refer to Parking space sizes added on Parking Table.***

    e. Identify "D" or "F" curbing for all vehicular impact points. ***Site Plan and Civil plans revised to include type "D" concrete curbing.***

4. Site Data:

    a. Land Use Category specified is incorrect. Revise accordingly. ***Site Plan revised to include requested information.***

    b. Property contains multiple zoning districts. As such Site Data should include requirements applicable to each zoning where applicable. Revise table accordingly. ***Site Plan revised to include requested information, see Site Data table.***

5. Land Use category specified is incorrect. Revise accordingly throughout application. ***Site Plan revised to include requested information.***

6. Work with the Engineering Division to ensure the survey includes the appropriate elements such as, abutting and internal streets and their widths, including existing curb-cuts/driveways to surrounding properties within 100 feet are included. ***Survey modified to include requested information.***

7. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area. ***Existing access is not changed. Head on***

approach maintained.

8. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal. ***N/A***

9. Additional comments may be forthcoming.

10. Provide written responses to all comments with next submittal.

B. <u>ZONING</u>

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Application does not meet the minimum vehicular use area. Revise accordingly. Provide a diagram depicting what is being accounted for in the vehicular use area. ***Site Plan revised to include requested information. Please refer to new VUA Landscaping table included and appropriate shaded areas labeled on Site Plan.***

2. Dimension all terminal islands and provide square footage. Each island shall contain a minimum of 190 sq. ft. of pervious area and shall measure (back of curb to back of curb) the same length as the adjacent parking stall. ***Site Plan revised to include requested information. Please refer to new VUA Landscaping table included which covers the terminal island areas.***

3. Minimum parking stall dimension is 8.5 feet by 19 feet. Revise accordingly. ***Site Plan revised to include requested information.***

4. Wheel stops not recommended in parking area. Provide continuous curb at parking area with a two foot overhang and 17 foot parking space. ***Site Plan revised to include requested information.***

5. Provide dimensions for loading space. ***Site Plan revised to include requested information.***

6. Identifying any required area for office use and provide adequate parking at 1 per 250 for office. ***Building to be Storage shell, any required parking for future uses shall be in compliance with all Vehicular areas as required.***

7. Ensure that enough storage is provided to eliminate shipping container storage currently on site. ***Currently shipping containers comprise approximately 3,850 SF in area, new building is more than adequate to provide area for existing container storage.***

C. <u>ARCHITECTURE AND URBAN DESIGN</u>

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations. ***Wall mounted light fixtures indicated on Site Plan and elevations.***

2. Revise outswing doors into sidewalk. On east elevations. ***Plans have been revised.***

3. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

D. SIGNAGE

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Application is substantially compliant.

E. LIGHTING

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 allowed). ***New Photometric plan is part of the submittal and Site Plan includes requested information, refer to VUA illumination note.***

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Submittal shall indicate compliance with Green Building Ordinance (O-2011-06). Include a list with a minimum of ten (10) green building practices. ***Site Plan revised to include requested information. Please refer to Green Building Practices table added to Site Plan.***
2. Installation of electric vehicle infrastructure required. Show the location of equipment on Site Plan. ***Site Plan revised to include requested information.***

Elaine Franklin, Environmental Sustainability Coordinator (efranklin@hollywoodfl.org) 954-921-3201

1. As per the Green Building ordinance, the project must include at least ten green building practices since this project has less than 20,000 square feet of total floor area. Include this list on the site plan. ***Site Plan revised to include requested information. Please refer to Green Building Practices table added to Site Plan.***

2. New commercial and residential structures are required to construct the infrastructure necessary for future installation of an electric vehicle-charging station. Minimally, the following shall be installed: an empty three-quarter-inch raceway from the branch circuit panel board to a location in the parking area with a two-gang junction box with a blank plate, or a fully functional electric vehicle-charging station. Include this on the site plan. ***Site Plan revised to include requested information.***

3. Recycle waste materials from demolition and construction to the greatest extent possible. Florida's goal is a 75% recycling rate by 2020, which includes construction and demolition debris. ***Site Plan revised to include requested information.***

4. If there is a dumpster on this property, ensure the space also accommodates a recycling bin. ***Site Plan revised to include requested information.***

5. Use sustainable building materials. ***Please refer to Green Building Practices table.***

6. Use low VOC materials. ***Please refer to Green Building Practices table.***

7. Provide a bike rack on site, ideally under the covered area. ***Please refer to Green Building Practices table.***

8. Install energy efficient light fixtures, Energy Star or water sense certified appliances, and programmable thermostats. ***Please refer to Green Building Practices table, LED exterior light fixtures.***

9. Install an Energy Star certified or Cool Roof Council rated roof. ***Please refer to Green Building Practices table.***

10. All external lighting should be fully shielded and meet the requirements of the International Dark Sky Association. ***Exterior lighting is full cut off style, shielded and directed downwards and restricted at property lines.***

11. Retain rainwater on site for irrigation and non-potable water uses in the building. ***N/A***

12. Install permeable pavement to reduce stormwater runoff from the property and reduce pressure on stormwater infrastructure. ***N/A***

13. Coconut palms (Cocos nucifera) are included on the Florida Exotic Pest Plant Council's 2017 List of Invasive Plant Species as a Category II invasive species. Thus, instead of relocating the one, replace it with a native palm or native shade tree. ***Replaced with a Native Shade Tree***

14. Surinam cherry (Eugenia uniflora) is a Category I invasive species. Replace them with native shrubs such as myrcine (Rapanea punctata) dwarf lantana (Lantana depressa), coontie (Zamia floridana), and tropical sage (Salvia coccinea). ***Surinam Cherry replaced with a couple different species of non-invasive shrubs.***

G. <u>ENGINEERING</u>

Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251
Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915
Rick Mitinger, Transportation Engineer (rmitinger@hollywoodfl.org) 954-921-3990

1. Provide dimension of the loading area. Minimum dimension is 10'x25' with minimum of 14' vertical clearance. Provide vertical clearance for the new covered area. Label location of the second loading area. ***Site Plan revised to include requested information.***

2. Broward County Highway Construction and Engineering Division review and approval is required. ***Noted***

3. For 45 degrees parking stalls, minimum stall depth is 19.8', 19.1' was provided. ***Site Plan revised to include parking spaces to be 8.5ft x 19 ft min (most are 9 ft min.) as discussed in Prelim TAC meeting.***

4. Minimum 5 handicapped accessible parking spaces are required, four provided. ***Site Plan revised to include requested information.***

5. Indicate length of the parallel parking along the south side of the proposed building. ***Site Plan revised to include requested information.***

6. Plans do not reflect the modifications/work necessary for the area on the south side of the existing storage building and at the drive access adjacent to the south property line. Provide separate demolition plan for better clarity.

7. Existing parking will be temporarily out of service during construction of the proposed new

work/proposed building. How will parking needs be addressed for uninterrupted operation of the existing warehouse and office building? ***Existing parking areas in area of work are not utilizedand remain unused for most of the time. Owner does not anticipate an issue with parking on site.***

8. On the survey and plans, show limits for the 10' Utility Easement, Official Record Book 11897, Page 454, Broward County Record. ***Survey and Site Plan revised to include requested information.***

9. Will an additional dumpster or additional capacity to the existing dumpster be required? ***No, existing capacity is adequate.***

10. On-site one-way vehicular traffic circulation is not efficient resulting in traffic utilizing North 29th Avenue to re-enter the site creating added volume impeding through traffic flow. Review site configuration to eliminate traffic using North 29th Avenue to circle back onto the site. ***Site Plan revised to include requested modification.***

11. Include on civil plans items such as but not limited, curbing, all vehicle turning radii, vehicular sight triangles, separate pavement marking and signage plans and details. Indicate and show all change in elevations to show how ADA accessibility has been met. Also, provide civil details. ***Civil details are shown on plan sheet C-5 and the pavement markings, signage, sight triangles and turning radii are shown on plan sheet C-3.***

12. Provide plan to show truck path, truck maneuverability and accessibility. Include all vehicle turning radii on plan and indicate the truck type and maximum size that the site can support. ***The turning radii shown on sheet C-3 will accommodate a semi-trailer with a 50 ft wheelbase. This will meet the requirements of this facility.***

13. Unity of Title will be required at the time of City Building Permit review. ***Shall be provided as requested at appropriate time.***

14. Broward County's review and approval will be required. ***Shall be provided as requested at appropriate time.***

15. All outside agency permits must be obtained prior to issuance of building permit. ***Shall be provided as requested at appropriate time.***

16. More comments may follow upon review of the requested information.

H. <u>LANDSCAPING</u>

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. As per L1 tree disposition plan a total of 319 inches of DBH and two (2) palms are been removed on site clarify on L2 how this is been mitigated as part of proposed trees/palms list with trees of minimum 12' HT and 2" DBh and palms of minimum 8' CT. ***Mitigation chart shown on Sheet L-2. Per L-1 a total 159 inches of DBH removed and 3 Palms. Calculations based upon ISA Guide for Plant Appraisal, 9th Edition.***

2. As per submitted L-2 tree mitigation provided needs to be clarified and re-calculated as needed as per

provided a revised L2 landscape plan will be needed showing clearly which trees account for fifty seven (57) code required trees whether as part of existing trees on site to remain list or under proposed new trees. Clearly mark with an asterisk which ones from the list are code required trees and which account towards mitigation correct street trees for a total of sixteen (16) trees per existing 842 lf of frontage from both streets Stirling and N 29th Av. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree unless from approved city of Hollywood 1:1 single trunk list. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarkia, Foxtail and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT. As per submitted L2 plan substitute all multi-trunk tree species to be single trunk minimum 2"DBH 12' trees on Crape Myrtles and Silver buttonwood trees as provided those two proposed tree species and quantity of trees will only account for 22" of DBH as per L2 and will need to be a single trunk tree. Consider incrementing amount of trees on site increasing DBH trunk on all trees or providing a clear defined tree trust fund contribution total amount as per city requirements at $350 per 2" DBH unable to be planted on site. As per submitted there is a deficiency on mitigation trees on site that will have to be calculated as per comments. As per provided trees to be planted on site list on L-2 a total of 96 inches of DBH has been provided and a total of 14 palm trees have been provided leaving a mitigation deficiency of two hundred and twenty three (223) inches of DBH equal to one hundred and twelve (112) 2" DBH and 12' Ht to be provided on site or contributed to tree trust fund. ***Plan has been updated to provide additional trees/palms and increased DBH.***

3. Several trees seem to be remaining during construction activities and some relocated on site clearly identify all trees on site with a circle of protection as part of landscape plan and show tree protection barrier details as per ANSI A300 standards as guided by a certified arborist to include Tree protection TPZ and Critical Root Zone as needed tree protection and pruning recommendations. ***Protection area shown on L-2.***

4. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes. ***Irrigation Plan included in the new submittal.***

5. No tree removals without a tree removal sub- permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit at building permit time along with landscape plans to be submitted. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal requirements. ***Advisory Comment-No Action.***

6. Additional comments may be forthcoming at Building permit submittal.

   Courtesy comment: Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org or at (954) 921-3997

I. UTILITIES

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985
Alicia Verea-Feria, Engineer (averea-feria@hollywoodfl.org) 954-921-3302

1. Elevations shown on Sheet C-1 do not match those indicated on Survey provided. Discrepancy may exist between NAVD 88 and NGVD 29 datum. ***The survey provided has been updated so that the***

civil plans match the survey elevation.

2. Provide preliminary proposed elevations for the proposed catch basins. ***Preliminary elevations are provided.***

3. Existing gravity sewer main and forcemain shown in the ROW along N 29th Ave on Sheet C-2 are not indicated in the correct location. Field verify manhole locations. ***The manhole location was field verified and the plans have been revised accordingly.***

4. Provide water and sewer demands table on Sheet C-2. ***Water & sewer demands are shown on C-2.***

5. Indicate a cleanout for sewer lateral connection. ***A cleanout has been added***

6. Contractor to verify condition and size of water service and sewer lateral prior to connection. ***On C-2, note #2 states that the contractor is to verify depth & condition of existing pipes.***

7. Provide swales and cross sections for each property side to ensure onsite retention of stormwater runoff. ***Cross sections are provided on C-5.***

8. Indicate how roof drainage will be collected and retained. ***The roof drains will be connected to the drainage system. This information will be shown on future plans, once the roof plan is finalized.***

9. Provide drainage calculations. ***Preliminary drainage calculations are provided.***

10. Finished floor elevations (FFE) of 9.30' NAVD 88 is acceptable. ***Per the drainage calculations, the FFE has been revised to 8.30' NAVD.***

11. Broward County Surface Water Management License may be required. Please provide modified Surface Water Management license, or communication with the County saying that one is not required. ***This will be provided during permitting.***

J. <u>BUILDING</u>

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Application is substantially compliant.

K. <u>FIRE</u>

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

This review is limited to fire dept. access and water supply. A full review will be completed at time of building permit application using the 6th edition FFPC and Broward Amendments although other items are noted at this time to assist planning.

1. Water supply must meet NFPA 1, 18.4.5.3. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements for the building. ***A flow test has been completed and is provided.***

2. As a result of that test, show any existing and new fire hydrants on civil drawings. A new hydrant is noted on pg. SP-1.0 but without the results of the fire flow test, undetermined at this time if that is all that is required. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.3) ***The fire flow calculations are shown on C-2 and the flow test is provided as a separate attachment***

3. Show the size of the fire main line on pg. C-2. ***The proposed fire service is estimated to be 6 inch.***

4. Provide a note on civil drawings that underground fire main work will be completed by a contractor holding a Class I, II, or V license per FS 633.102. ***A note has been added to C-2.***

L.

M. PUBLIC WORKS
Charles Lassiter, Assistant Public Works Director (classiter@hollywoodfl.org) 954-967-4207

1. Existing dumpster dimensions not present. Need dimensions to determine if existing enclosure can accommodate appropriate dumpster size. ***Site Plan revised to include requested information.***

N. PARKS, RECREATION AND CULTURAL ARTS
David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Application is substantially compliant.

O. COMMUNITY DEVELOPMENT
Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Application is substantially compliant.

2. Note that there is no nearby civic association to inform about the proposed project.

P. ECONOMIC DEVELOPMENT
Herbert Conde-Parlato, Economic Development Manager (hconde-parlato@hollywoodfl.org) 954-924-2922

1. Application is substantially compliant.

Q. POLICE DEPARTMENT
Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371
Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500
Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371

1. Application is substantially compliant.

   Note: Crime Prevention Recommendations: The following are the reviews and recommendations for the CPTED review of the blueprints for "2870 Stirling Road, Hollywood, Florida - Preliminary."

   Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

CPTED Strategies

2. Provide clear border definition of controlled space is defined by the described landscaping. Examples of border definition may include fences, shrubbery of signs in exterior areas.

External Lighting

3. Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

a.	Parking Lots	3-5	foot candles
b.	Walking Surfaces	3	foot candles
c.	Recreational Areas	2-3	foot candles
d.	Building Entryways	5	foot candles

   e. These levels may be subject to reduction in specific circumstances where after hours use is restricted.

   f. The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.

   g. Exterior lighting should be controlled by automatic devices (preferably by photocell).

   h. Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.

   i. Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.

   j. Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).

   k. If exterior lights are not being used at night, exterior motion detection lighting should be installed to detect the presence of intruders.

   l. All entrance & exit ways should be well-lit, well-defined and visible.

Landscaping

4. Plant growth within three feet of any walking surface (including informal pathways), parking lots or areas, recreation areas or building entryways should not exceed two foot in height.

5. Ground cover plant materials, low planters and forms of hostile landscape should be used to discourage persons from standing near windows, small alcoves, corners of buildings, and the edges of parking lots.

6. Trees should be trimmed at least seven foot from the lowest foliage to the ground.

7. Protection against graffiti can be obtained by planting vines and thorny bushes next to the sides of buildings, walls, and other design elements that could be vandalized.

Territorial Reinforcement

8. A gateway effect or formal entrance should be created with planting, fencing, gates, etc.

9. All public or semi-private should be well maintained to convey pride ownership and discourage negative activity.

10. Vehicle entrance/exit ways should be defined by different paving materials and signage.

11. Design and maintain the site to maximize visibility day and night.

12. All exterior doors should have an easily recognizable number on the outside to assist possible emergency personnel.

13. Graffiti-resistant paint or anti-graffiti coatings should be used on the sides of the building, walls, and any other design elements that could be vandalized.

Natural Access Control

14. Site entrances should be easily securable.

15. Entrances to parking areas should be controlled by a fence or gate.

16. Access to roofs via dumpsters, loading docks, poles, stacked items and the like, should be restricted.

17. Delivery entrances should be separate, well-marked and monitored.

18. If deliveries are made, they should be made during the daytime hours only.

19. Employee entrances should be close to employee parking and work areas.

20. CCTV provides surveillance that can detect criminal activities and record the camera footage. Conspicuous CCTV can be a deterrent to a criminal.

Building(s) Perimeter Doors

21. Signs posted at all building perimeter entry points, should provide clear direction for employees and others, for example, for deliveries.

22. Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.

23. Ideally, exterior doors should be equipped with electronic propped door alarms, which annunciate either locally and/or at the security office.

24. Perimeter doors should be designed for “heavy duty” (ANSI Grade III) applications.

General Locations

25. Mechanical, Electrical, HVAC or other equipment located outside the property should be surrounded by a protective enclosure.

Non-Pedestrian Building Entry Points

26. Sturdy fencing should enclose locations where gas and electric utilities enter buildings.

27. Locations where gas and electric utilities enter buildings should be well lighted.

28. Electrical service disconnects and gas valves should be equipped with locking devices.

Fencing

29. (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

Signage

30. Please ensure there is proper signage throughout the property.

R. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980
Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. Not applicable.

S. PARKING

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549
Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Application is substantially compliant.

T. ADDITIONAL COMMENTS

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

Sincerely,

Alexandra Guerrero
Principal Planner

C: DMJ Properties, LLC, Mr Donald Marshall Jr. via email dmjr@air-marshall.com
Perez and Associates, Architects via email frank@perezandassociates.com
Tony Gondola, VE Management, Inc via email tony@vemgt.com

Hydrant Flow Test Procedure

Procedure For One & Two Flow Hydrant Test:

- Establish hydrants closest to location and associated water main(s).
- Static/Residual hydrant (**P**) should be located close to location (preferably off same main as to provide future water source).
- Flow hydrant(s) (**F**) should be located off same main up and down stream from mid-point test (static/residual) hydrant.
- Note static system pressure off **P** hydrant before opening any other (note any unusual or remarkable anomalies such as high demand sources, construction, etc.)
- Flow **F1** hydrant and record GPM and residual off **P** hydrant.
- Flow **F2** hydrant and record GPM and residual off **P** hydrant.
- Flow **F1** & **F2** simultaneously and record GPM separately from **F1** and **F2** and record **P** hydrant residual.

Legend:

F1 & F2	**Designation shall represent first and second flowed hydrants respectively**
P	**Designation shall represent test hydrant for static and residual distribution system pressures.**

2870 Stirling Rd

Date: 03/28/2019	**Time: 8:55 AM**	**Static Pressure -**	**61**
Residual/Static Hydrant	**Address/Location**	**Residual Pressures**	
P - Hydrant **FH001401**	2870 Stirling	**F-1 Only** **60**	**F-2 Only** **60**
		F-1& F-2 Both	**58**
Flow Hydrants	**Address/Location**	**Flow Rate**	
F-1 Hydrant (Individual) **FH001402**	4150 N 29 AVE.	**GPM** **1150**	
F-2 Hydrant (Individual) **FH001399**	2832 Stirling.	**GPM** **1130**	
F-1 Hydrant (Both Flowing)		**GPM** **1130**	
F-2 Hydrant (Both Flowing)		**GPM** **1130**	

HOLLAND ENGINEERING
CIVIL ENGINEERING SOLUTIONS

Holland Engineering, Inc
Civil Engineering Solutions
1120 SE 3rd Avenue, Ft. Lauderdale, FL 33316
(954) 367-0371 office
CA0007325 www.hei-heis.com

May 21, 2019

Preliminary Drainage Calculations for
Proposed Storage Facility
2870 Stirling Road, Hollywood

This project consists of the development of a 15,513 square foot storage facility to be located on the south side of an existing storage facility. The development will be provided with a new drainage system that will provide water quality and quantity for the development.

The project site of 1.18 acres was analyzed for pre and post development conditions for the 25-year, 3-day and the 100-year, 3-day storm events. The post development conditions allow for the required stormwater storage and the finished floor elevation has been set above the 100-year, 3-day stage.

Pre and Post Development Calculations are attached.

SUSAN C HOLLAND
LICENSE
No 41831
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

5-21-19

Susan C. Holland, P.E., LEED AP
President, Holland Engineering Inc.
FL License 41831

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021

05/03/19

Proj. No. 18-43
Elevations are referenced to NAVD 1988
Preliminary Pre-Development Calculations

Prepared by Susan C Holland, P.E.
Lic. No. 41831

General Information

Total Project Area =	1.18 Acres	
Paved Area =	0.46 Acres	
Building Area =	0.00 Acres	
Lake Area =	0.00 Acres	
Recreation Area =	0.00 Acres	
Landscape Area =	0.72 Acres	
Total Impervious Area =	0.46 Acres	(39.0%)
Total Pervious Area (TPA) =	0.72 Acres	(61.0%)

Exist. Min. Floor Elevation =	NA
Exist. Min. Crown of Road =	0.00 '
Exist. Average Finished Grade=	7.50 '
Lake Control Stage =	0.00 '
Flood Criteria (Dade County only) =	0.00 '
October Water Table = *(Wet season water table)*	1.50 '
Credit (Dade County only) =	0.00 "
Discharge Off-site =	

Storm Event Information

Finished Floor Elevation

100 year 3 day event =	16.31 "
100 Year 1 day event =	12.00 "

Perimeter Grade Elevation

25 year 1 day event =	10.00 "
25 year 3 day event =	13.59 "

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Pre-Development

5/3/2019

SCS Curve Number

Design Water Table Elevation = 1.5 '
Average Finished Grade = 7.5 '
Average Depth Water Table = 6.0 '

Compacted Water Storage - (CWS) = 6.75 "
(From Table at right for Flatwoods type)

Ground Storage Under Pervious Area
(CWS/12 in/ft) x (TMPA) = 0.41 AC-FT

Soil Storage (S) = 4.12 "

SCS Curv Number (CN) = 70.83

Cumulative Soil Moisture Storage
S.F.W.M.D Vol. IV,
pg C-III-3, figure C-III-1

DWT=Depth to Water Table
NAS=Natural Available Storage
DAS=Developed Available Storage

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Pre-Development

5/3/2019

Stage / Storage

Area of Developed Site Grading = 1.18 Acres

Stage	*Lake*	*(Linear from 7'-8') Surface Storage*	**Existing** *Trench Storage*	*Total*
1.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
2.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
2.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
3.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
3.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
4.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
4.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
5.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
5.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
6.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
6.50 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
7.00 '	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT	0.00 AC-FT
7.50 '	0.00 AC-FT	0.30 AC-FT	0.00 AC-FT	0.30 AC-FT
8.00 '	0.00 AC-FT	0.59 AC-FT	0.00 AC-FT	0.59 AC-FT
8.50 '	0.00 AC-FT	1.18 AC-FT	0.00 AC-FT	1.18 AC-FT
9.00 '	0.00 AC-FT	1.77 AC-FT	0.00 AC-FT	1.77 AC-FT

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Pre-Development

5/3/2019

Finished Floor Elevation

100 Year - 1 Day Event = 12.00 "
(from SFWMD Manual)

100 year - 3 day event = 12.00 " x (1.359) = 16.31 "

$$Q = \frac{[\,16.31 \quad -- \; 0.20 \qquad (\,4.12\,)]^2}{16.31 \quad + \; 0.80 \qquad (\,4.12\,)} = 12.23\,''$$

12.23 " - 0.00 " *(Dade Co. Credit)* = 12.23 "

$$\text{Volume} = \frac{12.23\,''}{12\ \text{in/ft}}(1.18) = 1.20\ \text{AC-FT}$$

Corresponding Stage = 8.52 '

Perimeter Grade Elevation

25 Year - 1 Day Event = 10.00 "
(from SFWMD Manual)

25 - year - 3 day event = 10.00 " x (1.359) = 13.59 "

$$Q = \frac{[\,13.59 \quad -- \; 0.20 \qquad (\,4.12\,)]^2}{13.59 \quad + \; 0.80 \qquad (\,4.12\,)} = 9.65\,''$$

9.65 " - 0.00 " *(Dade Co. Credit)* = 9.65 "

$$\text{Volume} = \frac{9.65\,''}{12\ \text{in/ft}}(1.18) = 0.95\ \text{AC-FT}$$

Corresponding Stage = 8.30 '

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021

05/03/19

Proj. No. 18-43
Elevations are referenced to NAVD 1988
Preliminary Post-Development Calculations

Prepared by Susan C Holland, P.E.
Lic. No. 41831

General Information

Total Project Area =	1.18 Acres	
Paved Area =	0.53 Acres	
Building Area =	0.36 Acres	
Lake Area =	0.00 Acres	
Recreation Area =	0.00 Acres	
Landscape Area =	0.29 Acres	
Total Impervious Area =	0.89 Acres	(75.4%)
Total Pervious Area (TPA) =	0.29 Acres	(24.6%)

Prop. Min. Floor Elevation =	NA
Prop. Min. Crown of Road =	0.00 '
Prop. Average Finished Grade=	6.75 '
Lake Control Stage =	0.00 '
Flood Criteria (Dade County only) =	0.00 '
October Water Table =	1.50 '
(Wet season water table)	
Credit (Dade County only) =	0.00 "
Discharge Off-site =	

Storm Event Information

Finished Floor Elevation

100 year 3 day event =	16.31 "
100 Year 1 day event =	12.00 "

Perimeter Grade Elevation

25 year 1 day event =	10.00 "
25 year 3 day event =	13.59 "

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43

5/3/2019

Prposed Exfiltration Trench Data

Proposed Trench Length = 270.0 '
Trench Width = 6.0 '
Trench Depth = 4.0 '
Pipe Diameter = 1.50 '
K = 0.0001 (estimated)

Existing Exfiltration Trench Length

storm event = 2.50 "

H2 (depth to water table) = 5.0 '

Du (non-saturated trench depth) = 3.5 '

Ds (saturated trench depth) = 0.5 '

C Factor

Pervious = 0.6
Impervious = 0.9
Weighted C Factor = **0.83**

$$\frac{(0.29) \times (0.60) + (0.89) \times (0.90)}{1.18} = \mathbf{0.83}$$

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Post-Development

5/3/2019

SCS Curve Number

Design Water Table Elevation = 1.5 '
Average Finished Grade = 6.75 '
Average Depth Water Table = 5.25 '

Compacted Water Storage - (CWS) = 6.75 "
(From Table at right for Flatwoods type)

Ground Storage Under Pervious Area
(CWS/12 in/ft) x (TMPA) = 0.16 AC-FT

Soil Storage (S) = 1.66 "

SCS Curv Number (CN) = 85.77

Cumulative Soil Moisture Storage
S.F.W.M.D Vol. IV,
pg C-III-3, figure C-III-1

DWT=Depth to Water Table
NAS=Natural Available Storage
DAS=Developed Available Storage

DWT	NAS	DAS
1.0 '	0.60 "	0.45 "
2.0 '	2.50 "	1.88 "
3.0 '	5.40 "	4.05 "
4.0 '	9.00 "	6.75 "

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Post-Development

5/3/2019

Stage / Storage

Area of Developed Site Grading = 0.82 Acres

Stage	Lake	*(Linear from 6.5'-7.0')* Surface Storage	Trench Storage	Total
1.50 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
2.00 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
2.50 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
3.00 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
3.50 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
4.00 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
4.50 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.00 AC-FT
5.00 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.16 AC-FT
5.50 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.16 AC-FT
6.00 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.16 AC-FT
6.50 '	0.00 AC-FT	0.00 AC-FT	0.16 AC-FT	0.16 AC-FT
7.00 '	0.00 AC-FT	0.21 AC-FT	0.16 AC-FT	0.37 AC-FT
7.50 '	0.00 AC-FT	0.62 AC-FT	0.16 AC-FT	0.78 AC-FT
8.00 '	0.00 AC-FT	1.03 AC-FT	0.16 AC-FT	1.19 AC-FT
8.50 '	0.00 AC-FT	1.44 AC-FT	0.16 AC-FT	1.60 AC-FT

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Post Development

5/3/2019

Retention / Detention Requirements for Water Quality

First 1" of runoff

Volume = 1" x 1ft/12" x 1.18 Acres = 0.10 AC-FT

3 Year - 1 Hour event = 2.5"

Total project area - roof area = 1.18 acres - 0.36 acres = 0.82 acres
0.82 acres - 0.29 acres (pervious area) = 0.53 acres (impervious)
0.53 acres / 0.82 acres X 100% = 65% impervious
2.5" X 0.65 = 1.63" to be treated
1.63" X 1.18 acres = 1.92 acre-inches (0.16 acre-feet)
Water quality provided in exfiltration trench.

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Post-Development

5/3/2019

Finished Floor Elevation

100 Year - 1 Day Event = 12.00 "
(from SFWMD Manual)

100 year - 3 day event = 12.00 " x (1.359) = 16.31 "

$$Q = \frac{[\,16.31 \quad -- 0.20 \quad (1.66)]^2}{16.31 \quad + 0.80 \quad (1.66)} = 14.47\,''$$

14.47 " - 0.00 " *(Dade Co. Credit)* = 14.47 "

$$\text{Volume} = \frac{14.47\,''}{12\ \text{in/ft}}(1.18) = 1.42\ \text{AC-FT}$$

Corresponding Stage = 8.27 '

Set FFE of proposed building to 8.30'

Perimeter Grade Elevation

25 Year - 1 Day Event = 10.00 "
(from SFWMD Manual)

25 - year - 3 day event = 10.00 " x (1.359) = 13.59 "

$$Q = \frac{[\,13.59 \quad -- 0.20 \quad (1.66)]^2}{13.59 \quad + 0.80 \quad (1.66)} = 11.78\,''$$

11.78 " - 0.00 " *(Dade Co. Credit)* = 11.78 "

$$\text{Volume} = \frac{11.78\,''}{12\ \text{in/ft}}(1.18) = 1.16\ \text{AC-FT}$$

Corresponding Stage = 7.92 '

Proposed Storage Facility
2870 Stirling Rd., Hollywood, FL 33021
Proj. No. 18-43
Post-Development

5/3/2019

Exfiltration Trench Length - Existing

C Pervious =	0.60
C Impervious =	0.90
Weighted C Factor =	0.83
storm event =	2.50
Trench width =	6.00
H2 (depth to water table) =	5.00
Du (non-saturated trench depth) =	3.50
Ds (saturated trench depth) =	0.50

Capacity of proposed system = 1.92 AC-IN (0.16 AC-FT)

$$L = \frac{1.92}{0.0001 \times [(5 \times 6) + (2 \times 5 \times 3.5) - (3.5)^2 + (2 \times 5 \times 0.5)] + [(.000139 \times 6 \times 3.5]}$$

L = 220.84 '

Length of proposed exfiltration system = 270 feet

FINAL TECHNICAL ADVISORY COMMITTEE SUBMITTAL

FINAL T A C MEETING DATE : JUNE. 13, 2019

PROPOSED STORAGE FACILITY for:

D M J PROPERTIES, LLC,

2870 STIRLING ROAD HOLLYWOOD, FLORIDA

PROJECT TEAM

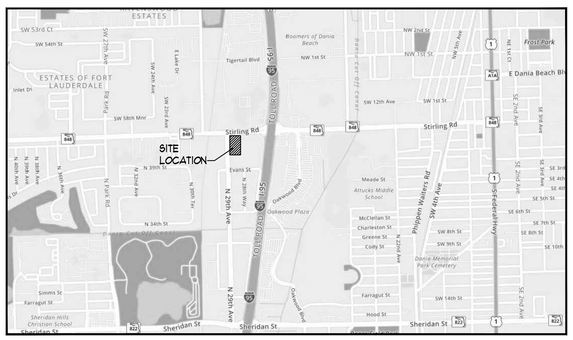
OWNER: DMJ PROPERTIRS, LLC
2870 STIRLING ROAD
HOLLYWOOD, FL 33020
954 843 0991

OWNERS REPRESENTATIVE: V. E. MANAGEMENT, INC.
MR. TONY GONDOLA
3499 NE 12th TERRACE
OAKLAND PARK, FL 33334
954 401 0069

ARCHITECT: PEREZ and ASSOCIATES
FRANK PEREZ, ARCHITECT
3045 NORTH FEDERAL HIGHWAY, SUITE 46
FORT LAUDERDALE, FL 33306
954 567 2062

CIVIL ENGINEER: HOLLAND ENGINEERING, INC.
SUSAN HOLLAND, P. E.
1120 SE 2nd AVENUE
FORT LAUDERDALE, FL 33316
PH: 954 367 0371

LANDSCAPE ARCHITECT: THOMAS WHITE, ASLA
THOMAS WHITE, L. A.
2600 NE 27thSTREET
FORT LAUDERDALE, FL 33306
954 253 2265



LOCATION MAP

SHEET INDEX

COV-	COVER SHEET
	SURVEY
SP-1	SITE PLAN
PH-1	PHOTOMETRIC PLAN
L-1	TREE SURVEY
L-2	LANDSCAPE PLAN
L-3	IRRIGATION PLAN, NEW AREA
C-1	PAVING AND GRADING PLAN
C-2	WATER AND SEWER PLAN
C-3	PAVEMENT MARKINGS, SIGNAGE
C-4	STORMWATER TAC SUBMITTAL
C-5	CIVIL DETAILS, TAC SUBMITTAL
A-1.0	FLOORPLAN
A-2.0	ELEVATIONS
A-2.1	SITE CONTEXT ELEVATION
A-2.2	COLOR ELEVATIONS
A-2.3	RENDERINGS

REVISIONS

PEREZ ASSOCIATES
ARCHITECTURE & PLANNING

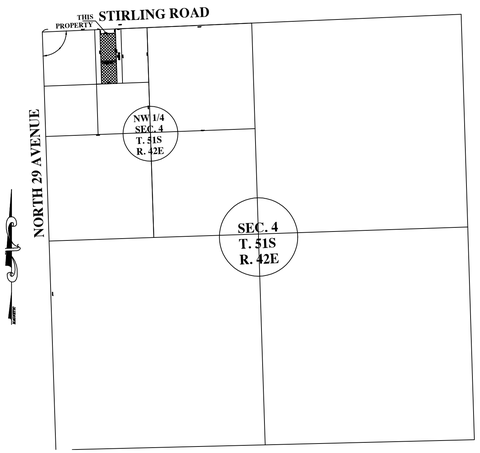
3045 N. FEDERAL HIGHWAY
SUITE 46
FORT LAUDERDALE, FL 33306
TELEPHONE (954) 567-2062
FAX (954) 567-2063
EMAIL:
info@perezandassociates.com

REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for:
D M J PROPERTIES, LLC
2870 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE	1/25/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	COV

ALTA/ ACSM
LAND TITLE SURVEY



LOCATION MAP
N.T.S.

GRAPHIC SCALE
30 0 15 30
(IN FEET)
1 inch = 30 ft.

SURVEY NOTES:
1 THE SURVEY , AS SHOWN HEREON, HAS BEEN PREPARED FOR DMJ PROPERTIES A FLORIDA LIMITED LIABILITY COMPANY , HEREINAFTER KNOWN AS THE CLIENT.

2. THE LEGAL DESCRIPTION, AS SHOWN HEREON, IS BASED ON THE DESCRIPTION SHOWN AS PARCEL 1 AND PARCEL 2, OF THE OWNERSHIP & ENCUMBRANCE REPORT , AS PREPARED BY NEAL R. KALIS, ESQ. OF KALIS KLEIMAN & WOLF , WHICH HAS AN EFFECTIVE DATE OF JANUARY 14, 2019

3. THE LANDS AS SHOWN HEREON ARE ONE AND THE SAME AS THAT WHICH IS DESCRIBED AS PARCEL 1 AND PARCEL 2, IN THE OWNERSHIP & ENCUMBRANCE REPORT , AS PREPARED BY NEAL R. KALIS, ESQ. OF KALIS KLEIMAN & WOLF , WHICH HAS AN EFFECTIVE DATE OF JANUARY 14, 2019

4. BENCH MARK REFERENCE:
BROWARD COUNTY B.M. No. 2358, ELEVATION 7.100 N.G.V.D. 1929, CONVERTED TO NAVD88, APPLYING THE CONVERSION FACTOR OF (-) 1.604

5. THE ELEVATION AS SHOWN HEREON, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

6. NO UNDERGROUND IMPROVEMENTS, UTILITIES OR FOUNDATIONS WERE LOCATED, OTHER THAN THOSE SHOWN THEREON..

7. FLOOD INFORMATION:
MAP NUMBER/COMMUNITY NUMBER-12011C/125113 CITY OF HOLLYWOOD
PANEL NUMBER/SUFFIX- 0566 H
FLOOD ZONE /BASE ELEVATION- X/ BASE FLOOD ELEVATION N/A

8. CITY OF HOLLYWOOD ZONE CODE:C1 & IM2

9. BUILDING HEIGHTS HAVE NOT BEEN MEASURED.

10. PARKING SPACES:
93 PARKING SPACES ARE MARKED UP ON THE PAVEMENT.

11. DATE OF LAST FIELD WORK: December 20 & 21, 2018

12. FRONTIER ENGINEERING DEVELOPMENT LLC & FRANCISCO A. AGUIRRE, P.L.S., HAVE REVIEWED THE OWNERSHIP & ENCUMBRANCE REPORT , AS PREPARED BY NEAL R. KALIS, ESQ. OF KALIS KLEIMAN & WOLF , WHICH HAS AN EFFECTIVE DATE OF JANUARY 14, 2019 (BASE TITLE INFORMATION- ATTORNEYS' TITLE FUND SERVICES, LLC'S TITLE SEARCH REPORT UNDER FUND FILE NUMBER 681486 AND PROVIDED TO ME BY THE CLIENT AND RELATING TO RESTRICTIONS/EASEMENTS , ITEMS NUMBERS 1 THROUGH 5 INCLUSIVE.

1) APPLICABLE - NOT DESPICTABLE
2) APPLICABLE & DEPICTED ON THIS SURVEY MAP
3) APPLICABLE & DEPICTED ON THIS SURVEY MAP
4) NOT APPLICABLE TO THIS PROPERTY
5) APPLICABLE -NOT DEPICTABLE

LIST OF TREES

Number	Name	Diameter	Height	Canopy
P-1	Palm	1'	18'	10'
P-2	Palm	1'	18'	10'
P-3	Palm	1'	18'	10'
P-4	Palm	1.2'	22'	10'
P-5	Palm	1.2'	22'	12'
P-6	Palm	1'	18'	10'
P-7	Palm	1'	18'	10'
P-8	Palm	1'	8'	12'
P-9	Palm	0.40'	6'	6'
P-10	Palm	0.80'	6'	8'
P-11	Palm	0.40'	22'	10'
P-12	Palm	0.40'	22'	10'
P-14	Palm	0.40'	12'	10'
P-15	Palm	0.40'	22'	10'
P-16	Palm	0.40'	22'	10'
P-17	Palm	0.40'	22'	10'
P-18	Palm	1.2'	7'	14'
P-19	Palm	0.40'	6'	6'
P-20	Palm	0.30'	4'	3'
P-21	Palm	2"	3'	3'
P-22	Palm	3"	6'	8'
P-23	Palm	1.60'	30'	20'
P-24	2-Palm	5"	10'	12'
P-25	Palm	5"	11'	14'
P-26	Palm	5"	11'	14'
P-27	Palm	0.4'	4'	8'
P-28	Palm	0.4'	4	6'

LIST OF TREES

Number	Name	Diameter	Height	Canopy
T-1	Pigeon plum	8"	10'	15'
T-2	Pigeon plum	6"	10'	15'
T-3	Oak	1.8'	22'	28'
T-4	Oak	1.8'	25'	32'
T-5	Oak	2.1'	35'	40'
T-6	Oak	1.6'	30'	20'
T-8	Oak	1.2'	25'	20'
T-9	Oak	5'	40'	60'
T-10	Oak	1.2'	26'	25'
T-11	Oak	1.3'	18'	35'
T-12	Oak	2.5'	25'	40'
T-13	Pigeon	7"	10'	8'
T-14	Oak	1.2'	28'	18'
T-15	Oak	1.4'	28'	26'
T-16	Oak	1.4'	26'	20'
T-17	Oak	1.4'	28'	30'
T-18	Oak	7"	23'	18'
T-19	Oak	1.6'	30'	28'
T-20	Pigeon	10"	16'	18'
T-21	Pigeon	8"	22'	20'
T-22	Oak	1.6'	28'	30'
T-23	Oak	1.8'	26'	30'
T-24	Pigeon	0.8'	18'	16'
T-25	Pigeon	0.6'	20'	18'
T-26	Pigeon	0.8'	20'	18'
T-27	Oak	1.4'	24'	20'
T-28	Oak	1.6'	24'	24'

List of manholes and catch basin

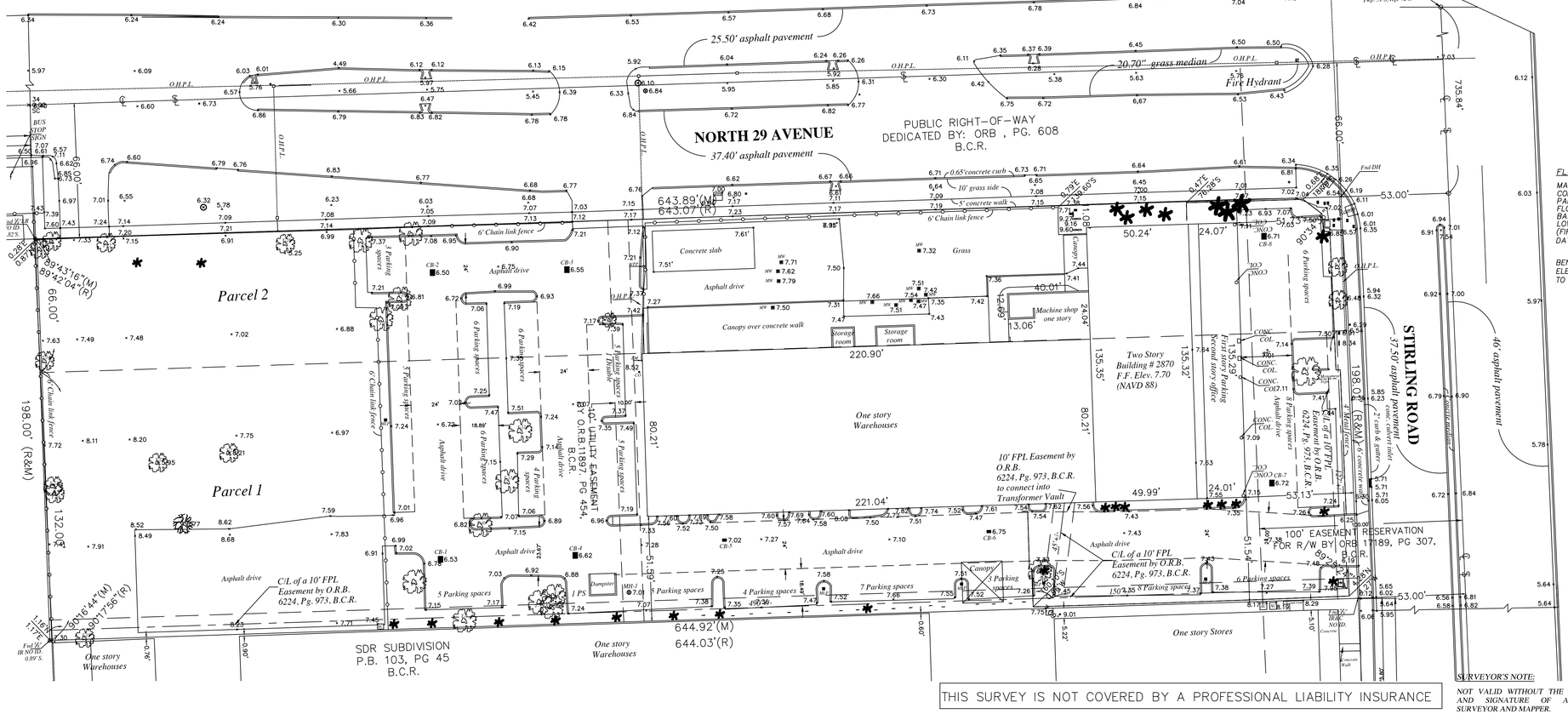
Type	Top of reem elevation	Inverted and direction North	East	South	West
CB-1	6.57'	1.93'	-	-	1.65'
Diameter		18"			18"
Material	u				
u					
u					
	GS		GS		
CB-2	6.54'	1.84'	1.49'	-	-
Diameter		18"	18"		
Material		GS	GS		
CB-3	6.59'	-	-	1.49'	-
Diameter				18"	
Material				GS	
CB-4	6.57'	-	-	2.30'	-
Diameter				18"	
Material				GS	
CB-5	7.06'	5.03'	-	-	-
Diameter		4"			
Material		PVC			
CB-6	6.79'	4.71'	-	4.79'	-
Diameter		6"		6"	
Material		PVC		PVC	
CB-7	6.76'	-	-	1.30'	1.32'
Diameter				8"	18"
Material				PVC	GS
CB-8	6.75'	-	1.55'	2.01'	-
Diameter			18"	8"	
Material			GS	PVC	
MH-1	7.05'	-	2.32'	-	2.11'
Diameter			8"		8"
Material			PVC		PVC

Legend

Fnd IR&C : Found iron rod & cap
Fnd IP : Found iron pipe
Fnd DH : Found drill hole
SMN : Set Mag nail
MH : Man hole
CB : Catch basin
CO : Clean out
WM : Water meter
WV : Water valve
WV FC : Water valve flow control
MW : Monitoring well
HH : Hand hole
x 7.77 : Elevation
P-1 : Palm tree
T-1 : Tree
AC : Air condition
FPL : Florida power & light transf.
C/L : Center line
S/L : Section line
EM : Electric meter
WPP : Wooden power pole
MLP : Metal light pole
GS : Galvanised steel
PVC : Plastic pipe

℄ = Center Line
⅊ = Section Line
NW = North West
R/W = RIGHT OF WAY
= METAL FENCE
= CHAIN LINK FENCE
O.H.P.L. = OVERHEAD POWER LINE

ELEVATIONS SHOWN ARE NAVD 88



THIS SURVEY IS NOT COVERED BY A PROFESSIONAL LIABILITY INSURANCE

FLOOD ZONE INFORMATION:

MAP # = 12011-C
COMMUNITY # = CITY OF HOLLYWOOD #125113
PANEL # & SUFFIX: = 0566-H
FLOOD ZONE = X
BASE FLOOD EL. = N/A
LOWEST FLOOR EL. = 7.70 BLDG. (NAVD 88)
(FIRST FLOOR OF TWO-STORY BLDG.)
DATE OF FIRM = 08-18-2014

BENCHMARK REFERENCED = BCE B.M. #2358
ELEVATION NGVD 1929 = 7.10 (NGVD 1929) CONVERTED TO 5.496 NAVD 88 USING A CONVERSION FACTOR OF (-) 1.604

LEGAL DESCRIPTION:

PARCEL 1
The East 132 feet of the West 264 feet of the West one-half ($\frac{1}{2}$) of the Northeast one-quarter ($\frac{1}{4}$) of the Northwest one-quarter ($\frac{1}{4}$) of the Northwest one-quarter ($\frac{1}{4}$) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof;

PARCEL 2
The East 66 feet of the West 132 feet of the West one-half ($\frac{1}{2}$) of the Northeast one-quarter ($\frac{1}{4}$) of the Northwest one-quarter ($\frac{1}{4}$) of the Northwest one-quarter (1/4) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof, said lands situated, lying in and being in Broward, County Florida.

The total Net area of Parcel 1 and Parcel 2, combined, is of 127,592 Square Feet or 2.93 Acres, more or less

CERTIFICATION::

TO: DMJ PROPERTIES, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYSJOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1,2,3,4,5,6,7,8,9,10,11,12,13,14 OF TABLE A THEREOF, THE FIELD WORK WAS COMPLETED ON 12/ 21/ 2018.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FRANCISCO A. AGUIRRE, P.L.S.
REGISTERED LAND SURVEYOR No.3354
STATE OF FLORIDA

PROPERTY ADDRESS
2870 STIRLING ROAD, HOLLYWOOD, FL. 33020:

SURVEYOR'S NOTE:
NOT VALID WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FRONTIER
ENGINEERING | DEVELOPMENT
2418-A HOLLYWOOD BLVD- HOLLYWOOD,FLORIDA, 33020
PHONE (954) 678-2030 FL. L.B. CERTIFICATE No. 8042
email: info@myfloridaengineering.com

PROJECT: *ALTA/ ACSM LAND TITLE SURVEY 2870 STIRLING ROAD HOLLYWOOD, FLORIDA 33020*

CLIENT: *DMJ PROPERTIES, LLC*

LAST DAY OF FIELD SURVEY: 12-21-2018

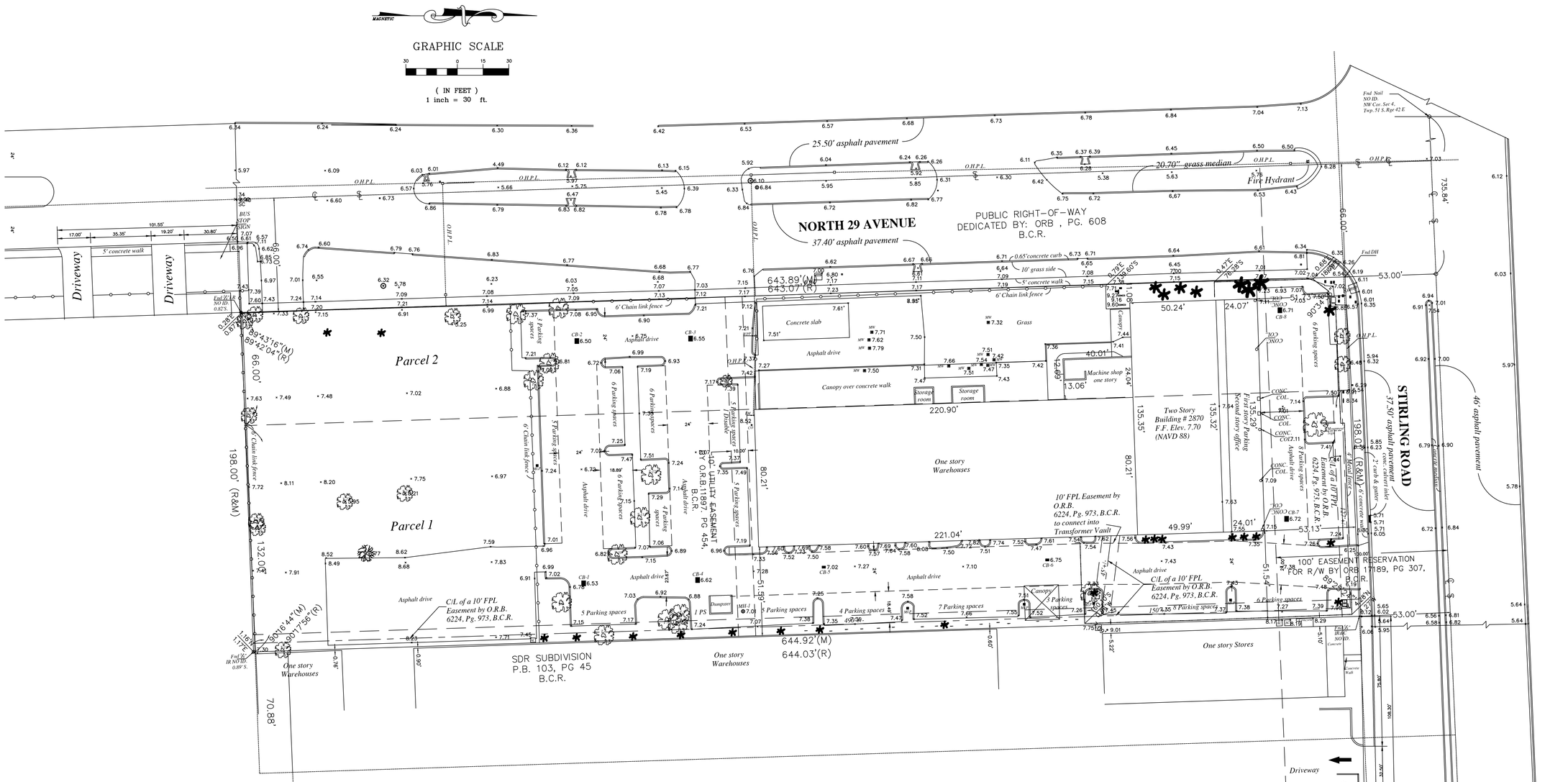
REVISIONS:

No	DATE:	
2	4-12-19	Revised as per City comments
1	2-26-19	ADD FPL EASEMENT OF RECORD

SCALE: *1" = 30.0'*

SHEET 1 OF 2

PROJECT NO: *19-103*



THIS SURVEY IS NOT COVERED BY A PROFESSIONAL LIABILITY INSURANCE

FRONTIER

ENGINEERING DEVELOPMENT

2418-A HOLLYWOOD BLVD- HOLLYWOOD,FLORIDA, 33020
PHONE (954) 678-2030 FL. L.B. CERTIFICATE No. 8042
email: info@myfloridaengineering.com

PROJECT: ALTA/ ACSM
LAND TITLE SURVEY
2870 STIRLING ROAD
HOLLYWOOD, FLORIDA 33020

CLIENT: DMJ PROPERTIES, LLC

LAST DAY OF FIELD SURVEY: 12-21-2018

SCALE: 1" = 30.0'

SHEET 2 OF 2:

PROJECT NO: 19-103

REVISIONS:

No	DATE:	
1	2-26-19	ADD CURB CUTS & DRIVEWAYS ADJACENT TO AND UP TO 100 FT. ON THE SOUTH AND EAST SIDE OF THE PROPERTY AS PER CITY REQUEST

FIRE / EMERGENCY EQUIPMENT ACCESS

DENOTES 45' OUTSIDE AND 28'-5" INSIDE RADIUS FOR FIRE VEHICLE ACCESS

NEW BUILDING TO HAVE FIRE PROTECTION

GATE NOTES:
PROVIDE A KNOX LOCK FOR MANUAL GATES.
AUTOMATIC GATES (IF PROVIDED) MUST FAIL IN THE OPEN POSITION DURING LOSS OF POWER.

ADDRESS NOTE:
BUILDINGS SHALL HAVE ADDRESS NUMBERS 6" MINIMUM HEIGHT, PLAINLY VISIBLE FROM STREET OR INTERIOR DRIVES, TYP.

⚠ GREEN BUILDING PRACTICES

1. INFRASTRUCTURE FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
2. EFFICIENT WATER HEATING (TANKLESS)
3. DUAL FLUSH TOILETS
4. RECYCLING BINS ON SITE AND IN DUMPSTER ENCLOSURE
5. SUSTAINABLE BUILDING MATERIALS USED , STEEL & CONCRETE, NO WOOD
6. INSULATED HOT WATER PIPING
7. RECYCLING OF WASTE MATERIALS DURING THE DEMOLITION AND CONSTRUCTION PROCESSES WILL BE STATED ON PLANS
8. WHITE "COOL" ROOF, ENERGY STAR APPROVED
9. OCCUPANCY / VACANCY SENSORS
10. EXTERIOR LIGHTING SHALL BE ENERGY EFFICIENT LED TYPE
11. 80% OF LANDSCAPING IN COMPLIANCE WITH SFWM RECOMMENDATIONS

REQUIRED - 10
TOTAL PROVIDED - 11

LEGAL DESCRIPTION:

PARCEL 1
THE EAST 132 FEET OF THE WEST 264 FEET OF THE WEST ONE-HALF (½) OF THE NORTHEAST ONE-QUARTER (¼) OF THE NORTHWEST ONE-QUARTER (¼) OF THE NORTHWEST ONE-QUARTER (¼) OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, LESS THE NORTH 53 FEET THEREOF;

PARCEL 2
THE EAST 66 FEET OF THE WEST 132 FEET OF THE WEST ONE-HALF (½) OF THE NORTHEAST ONE-QUARTER (¼) OF THE NORTHWEST ONE-QUARTER (¼) OF THE NORTHWEST ONE QUARTER 1/4) OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, LESS THE NORTH 53 FEET THEREOF, SAID LANDS SITUATED, LYING IN AND BEING IN BROWARD, COUNTY FLORIDA.

FLOOD ZONE INFORMATION:

COMMUNITY #	=	120011-C
PANEL # & SUFFIX:	=	0566-H
FLOOD ZONE	=	X
BASE FLOOD EL.	=	N/A
LOWEST FLOOR EL.	=	9.28' BLDG:
(FIRST FLOOR OF EXISTING TWO-STORY BLDG.)		
DATE OF FIRM	=	08-18-2014

ZONING DATA

4.4 IM INDUSTRIAL AND MANUFACTURING DISTRICTS.

B. IM-2 LOW/MEDIUM INTENSITY INDUSTRIAL AND MANUFACTURING DISTRICT.

THIS DISTRICT IS INTENDED TO PROVIDE SUITABLE STANDARDS FOR DEVELOPMENT AND MAINTENANCE OF OFFICE, HEAVY COMMERCIAL, LIGHT MANUFACTURING, AND INDUSTRIAL USES OF A NON-OBJECTIONABLE NATURE.

MAIN PERMITTED USES
COMMERCIAL, CONSIGNMENT SHOP, HOTELS AND MOTELS, LIGHT INDUSTRIAL AND MANUFACTURING, OFFICES, PAWN SHOP, SELF-STORAGE FACILITY, THRIFT SHOP, WAREHOUSE.

SITE DATA

ZONING: ⚠ IM-2, SOUTH; C-1, NORTH
LAND USE: ⚠ INDUSTRIAL, (IND)

TOTAL SITE AREA = 127,677 SQ.FT.
AFFECTED SITE AREA - +/-51,527 SF (40.3%)
TOTAL SITE AREA - 2.93 ACRES

BUILDING AREAS:
EXISTING BUILDING- 35,831 SF
OFFICE - 16,857 SF (GROUND FLOOR - 6,809 SF; SECOND FLOOR - 10,057 SF)
STORAGE - 18,974 SF

NEW BUILDING - 15,513 SF
STORAGE - 15,513 SF

TOTAL BUILDING AREA - 51,344 SF

NEW BUILDING TO HAVE FIRE PROTECTION
(EXISTING BUILDING HAS FIRE PROTECTION)

LOT COVERAGE: 40.94% (90% ALLOWABLE)

SETBACKS ⚠

	REQUIRED IM-2 / C-1	PROPOSED IM-2 / C-1
FRONT, STIRLING RD	15 FT / 15 FT BUFFER YARD	53'-2" / 53'-2"
STREET (WEST)	10 FT / BUFFER YARD	43'-6" / 11'-1"
SIDE (EAST)	0 FT /	60'-0" / 51'-6"
REAR (SOUTH)	0 FT /	59'-8" / 29'1'

LOT COVERAGE: 40.94% (90% ALLOWABLE)

BUILDING HT.

ALLOWED IM-2 / C-1	PROPOSED IM-2 / C-1
35' / 30'	34'-8" / +/-28'

EXISTING PORTION OF PROPERTY TO BE DEVELOPED IS PARTLY PAVED AS EXISTING VUA AND THE BALANCE HAS BEEN UTILIZED FOR MISCELLANEOUS STORAGE AND EXISTING SOD HAS BEEN MOWED TO MAINTAIN A CLEAN APPEARANCE.

PERVIOUS / IMPERVIOUS AREA CALCS.

EXISTING IMPERVIOUS - 62,924 SF
BUILDING FOOTPRINT - 25,453 SF
COVERED PARKING - 2,509 SF
WALKWAYS, DUMPSTER - 2,667 SF
VUA - 32,295 SF

NEW IMPERVIOUS - 38,736 SF ⚠
BUILDING FOOTPRINT - 15,513 SF
SIDEWALKS - 1,665 SF
VUA - 21,554 SF

TOTAL IMPERVIOUS AREA - 101,660 SF (79.62%)
PERVIOUS AREA - 26,200 SF (20.38%)

VUA LANDSCAPE CALCULATIONS ⚠

(NOT UNDER COVER)

VEHICULAR USE AREA - 51,922 SF
EXISTING - 30,368 SF
NEW - 21,554 SF

REQ'D INT. VUA LANDSCAPING - 12,980 SF (25%)

PROV'D INTERIOR VUA LANDSCAPING - 12,728 SF (24.51%)
EXISTING - 6,839 SF (PROVIDED - 22.52% EXISTING)
NEW - 5,889 SF (PROVIDED - 27.32%)

⚠ PROPOSED NEW DEVELOPMENT AREA IN COMPLIANCE, EXISTING DEVELOPMENT BELOW CURRENT REQUIRED STANDARDS

PERIMETER LANDSCAPE BUFFERS -

FRONT YARD - BUFFER	REQ'D - 15 FT (644.92') PROV'D - 7 FT EXIST'G AVG.
REAR SETBACK	REQUIRED - 10FT PROVIDED EQUIVALENT - 10 FT
SIDE STREET SETBACK	REQUIRED - 9.9FT PROVIDED - 10 FT
SIDE INT. SETBACK	REQUIRED - 10FT PROVIDED EQUIVALENT - 10 FT

VUA LANDSCAPE AREAS ⚠

MARK	AREA OF V.U.A GREEN SPACE NOT INCLUDING BUFFER YARDS
VUA 1	348 SF
VUA 2	1184 SF
VUA 3	220 SF
VUA 4	375 SF
VUA 5	264 SF
VUA 6	355 SF
VUA 7	1003 SF
VUA 8	248 SF
VUA 9	267 SF
VUA 10	192 SF
VUA 11	242 SF
VUA 12	351 SF, 27 SF, 13 SF NET OF VUA GREEN PER SPACE
VUA 13	235 SF
TOTAL	5,889 SF

⚠ PARKING CALCULATIONS:

(IN ACCORDANCE W/ ARTICLE 1, SEC. 1.1.(4), GROSS FLOOR AREA INSIDE EXTERIOR WALLS)

OFFICE - 16,333 SF / 250 = 65.33 SP
STORAGE - 33,703 SF / 1000 = 33.70 SP
TOTAL - 99.03 SP
PARKING REQ'D - 99 SPACES ⚠
PARKING PROVIDED - 108 SPACES
NEW - 41 SPACES
EXISTING - 67 SPACES

ACCESSIBLE SPACES: 5 SPACES ⚠
108 SPACES, 5 REQUIRED

LOADING SPACE REQ'D = 2 SPACES
PROVIDED - 2, 1 SPACE - NEW BUILDING
1 SPACES AT EXISTING BUILDING

PARKING SPACE DIMENSIONS: ⚠

TYPICAL VEHICLE - 9' X 19'
ACCESSIBLE SPACE - 12' X 19', W/ 5' AISLE
PARALLEL SPACE - 9' X 24'
LOADING SPACE - 10' X 25', W/ 14' CLR HT.

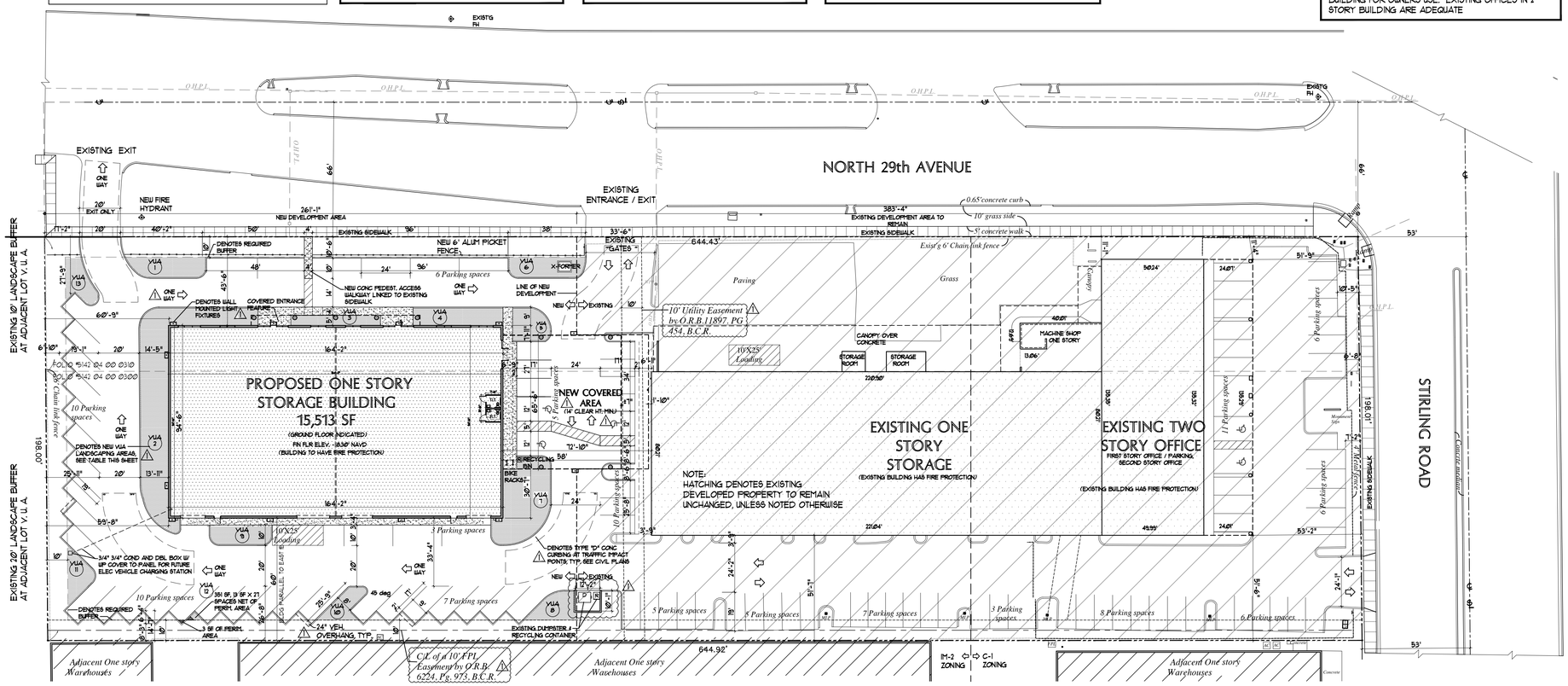
V U A ILLUMINATION NOTE: ⚠

ALL NEW VEHICULAR AREAS SHALL HAVE LIGHTING LEVELS AS REQUIRED AND SHALL NOT EXCEED 0.5 fc AT PERIMETER OF NEW DEVELOPMENT. EXISTING AREAS TO REMAIN UNCHANGED.

NOTE:
SIGNAGE IS NOT PART OF THIS PROPOSAL AND ANY FUTURE SIGNAGE WILL BE BY OTHERS.

EXISTING ON-SITE CONTAINER STORAGE NOTE: ⚠
EXISTING CONTAINER STORAGE AREA IS APPROXIMATELY 3,850 SF AND MINIMUM NEW STORAGE AREA (1/2 BUILDING) IN BUILDING IS 7,756 SF.

NOTE: NO ADDITIONAL OFFICE SPACE IS ANTICIPATED TO BE NEEDED IN NEW STORAGE BUILDING FOR OWNERS USE. EXISTING OFFICES IN 2 STORY BUILDING ARE ADEQUATE ⚠



SITE PLAN

SCALE: 1"=30'-0"

NORTH

30 0 15 30
1 inch = 30 ft.
GRAPHIC SCALE (IN FEET)

REVISIONS
⚠ 4/9/2019 OWNER & TAC REVIEW COMMENTS

PEREZ ASSOCIATES
ARCHITECTURE & PLANNING
3045 N. FEDERAL HIGHWAY
SUITE 46
FORT LAUDERDALE, FL 33306
TELEPHONE (954) 567-2062
FAX (954) 567-2063
EMAIL:
info@perezandassociates.com
REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for.

D M J PROPERTIES, LLC

2810 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE	1/25/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	SP-1.0

W | W1 LITHONIA, DSXW2
(WALL SURFACE)

C LITHONIA, VCPG
(CLG SURFACE)

D LITHONIA, LDN6
(CLG RECESSED)

FIXTURE IMAGES

Calculation Summary

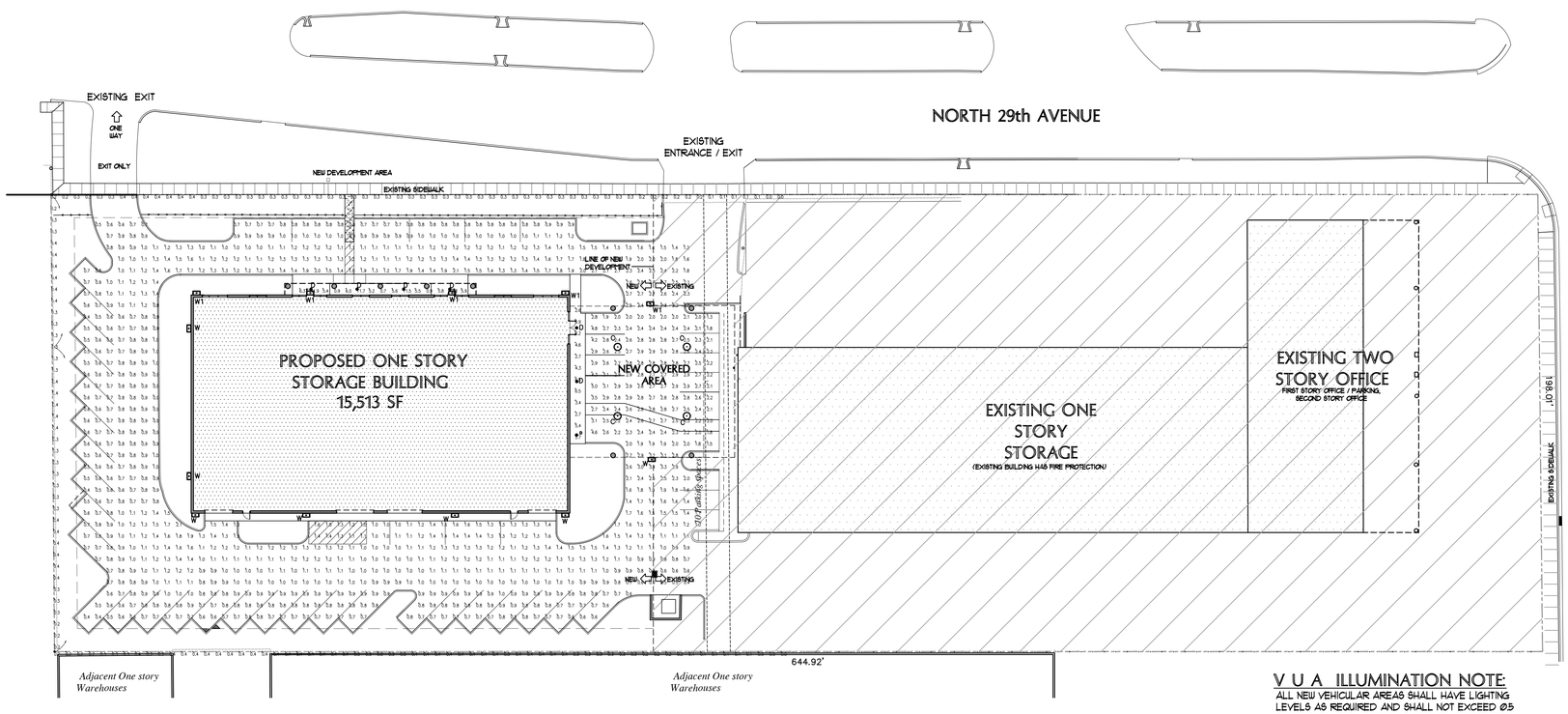
Project: DMJ PROPERTIES - SITE_REV 1 HOLLYWOOD, FL 04/18/2019

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
COVERED ENTRY WALKWAY	Illuminance	Fc	6.34	11.9	0.7	9.06	17.00
PROPERTY LINE EAST	Illuminance	Fc	0.16	0.5	0.0	N.A.	N.A.
PROPERTY LINE SOUTH	Illuminance	Fc	0.33	0.4	0.2	1.65	2.00
PROPERTY LINE WEST	Illuminance	Fc	0.14	0.4	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.10	3.4	0.4	2.75	8.50
UNDER CANOPY	Illuminance	Fc	2.76	6.5	1.3	2.12	5.00
UNDER CANOPY WALKWAY	Illuminance	Fc	4.71	6.5	2.6	1.81	2.50

Luminaire Schedule

Project: DMJ PROPERTIES - SITE_REV 1 HOLLYWOOD, FL 04/18/2019

Symbol	Qty	Label	Arrangement	Manufacturer	Description	Luminaire Lumens	LLF	Luminaire Watts	Assembly Watts
	4	C	SINGLE	Lithonia Lighting	VCPG LED P1 40K T5M MVOLT MH: 14'-8" SURFACE MOUNT A.F.F.	3856	0.855	26.57	26.57
	7	D	SINGLE	Lithonia Lighting	LDN6 40/15 LO6AR LD MH: 9'-6" SURFACE MOUNT A.F.F.	1401	0.855	20.48	20.48
	7	W	SINGLE	Lithonia Lighting	DSXW2 LED 20C 700 40K T4M MVOLT MH: 17' & 24' WALL MOUNT A.F.	5455	0.855	47	47
	5	W1	SINGLE	Lithonia Lighting	DSXW2 LED 20C 530 40K T2M MVOLT MH: 17' & 24' WALL MOUNT A.F.	4210	0.855	36	36



V U A ILLUMINATION NOTE:

ALL NEW VEHICULAR AREAS SHALL HAVE LIGHTING LEVELS AS REQUIRED AND SHALL NOT EXCEED Ø.5 fc AT PERIMETER OF NEW DEVELOPMENT. EXISTING AREAS TO REMAIN UNCHANGED.

PHOTOMETRIC PLAN

SCALE: 1"=30'-Ø"

REVISIONS

PEREZ ASSOCIATES
ARCHITECTURE & PLANNING

3045 N. FEDERAL HIGHWAY
SUITE 46
FORT LAUDERDALE, FL 33306
TELEPHONE (954) 567-2062
FAX (954) 567-2063
EMAIL:
info@perezandassociates.com

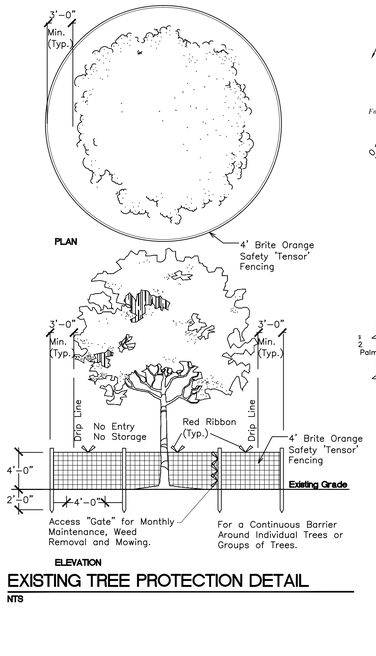
REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for:

D M J PROPERTIES, LLC

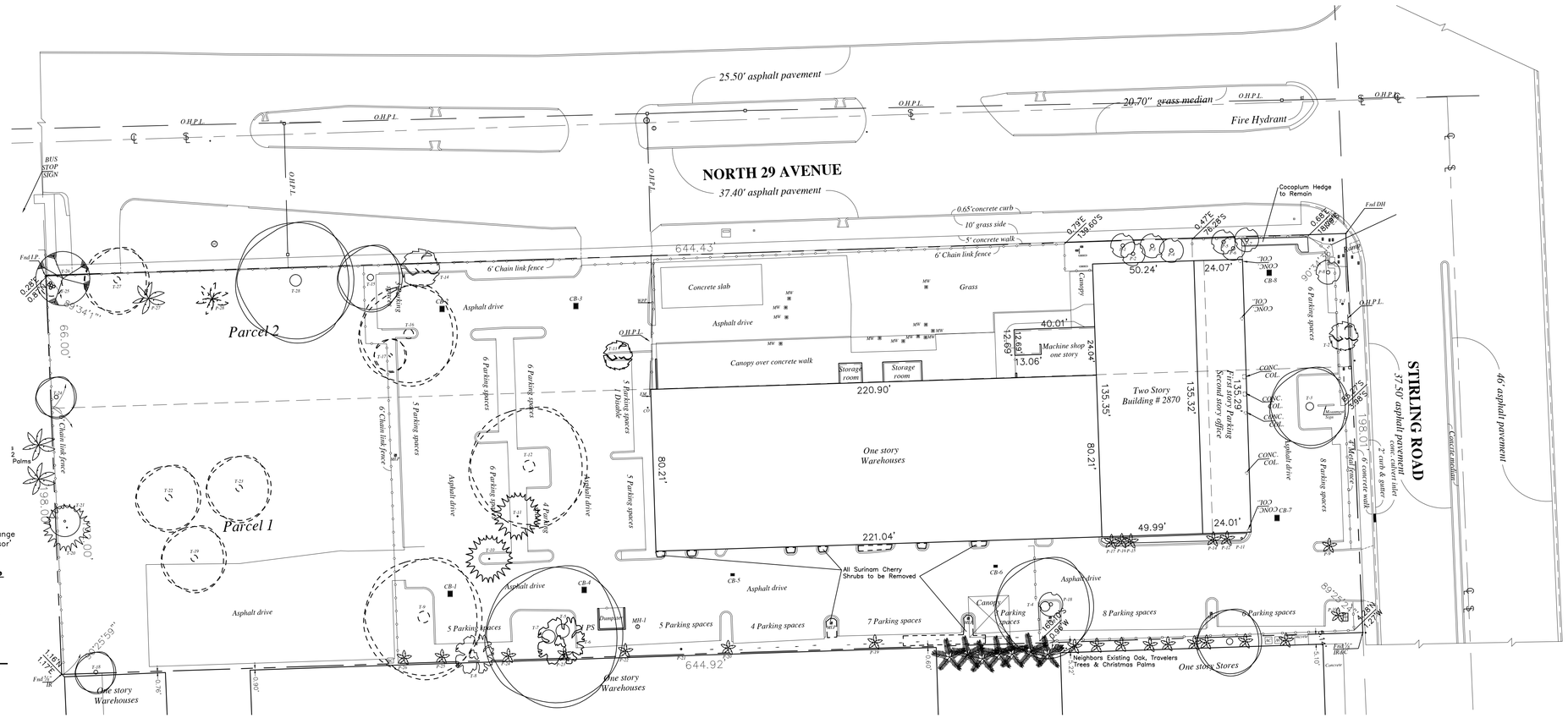
2810 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE	4/25/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	PH-1.0



EXISTING TREE PROTECTION DETAIL

NTS



Existing Tree List

Case/Location: 901 N. State Road 7, Hollywood, FL
Date: 1/22/2019
Appraiser: Thomas White, ASLA-ISA.
ISA Arborist FL-5248A

Tree #	Species (Botanical Name / Common Name)	Ht. (In Ft.)	Spr. (In Ft.)	Category	DBH Caliper (In Inches)	(Condition)	Caliper Removed (In Inches)	Caliper To Remain (In Inches)	Recommendation
1	Stump	0	0	N/A	0	Dead	0		Removed Before Project Start
2	Coccoloba diversifolia / Pigeon Plum	20	15	B	7	Good		7	To Remain
3	Quercus virginiana / Live Oak	30	40	A	55	Good		55	To Remain
4	Quercus virginiana / Live Oak	40	40	A	28	Fair		28	To Remain
5	Quercus virginiana / Live Oak	45	70	A	33	Good		33	To Remain
6	Bauhinia blakeana / Hong Kong Orchid	40	25	C	12	Dead	12		To Be Removed
7	Quercus virginiana / Live Oak	45	70	A	26	Good		26	To Remain
8	Bucida buceras / Black Olive	30	18	A	19	Very Poor		19	To Remain
9	Quercus virginiana / Live Oak	40	60	A	72	Good-Fair	72		To Be Removed
10	Swietenia mahogani / Mahogany	40	20	A	14	Very Poor	14		To Be Removed
11	Swietenia mahogani / Mahogany	40	20	A	20	Very Poor	20		To Be Removed
12	Quercus virginiana / Live Oak	40	60	A	38	Good	38		To Be Removed
13	Coccoloba diversifolia / Pigeon Plum	14	6	B	10	Very Poor	10		To Be Removed
14	Coccoloba diversifolia / Pigeon Plum	35	20	B	22	Fair		22	To Remain
15	Quercus virginiana / Live Oak	35	35	A	28	Fair		28	To Remain
16	Quercus virginiana / Live Oak	40	50	A	32	Good	32		To Be Removed
17	Quercus virginiana / Live Oak	25	15	A	15	Poor	15		To Be Removed
18	Quercus virginiana / Live Oak	25	20	A	9	Fair		9	To Remain
19	Quercus virginiana / Live Oak	40	30	A	32	Good	32		To Be Removed
20	Swietenia mahogani / Mahogany	25	20	A	22	Fair		22	To Remain
21	Jacaranda mimosifolia / Jacaranda	25	20	A	8	Poor		8	To Remain
22	Quercus virginiana / Live Oak	40	35	A	36	Good	36		To Be Removed
23	Quercus virginiana / Live Oak	40	35	A	22	Good	22		To Be Removed
24	Quercus virginiana / Live Oak	20	25	A	10	Good		10	To Remain
25	Schefflera actinophylla / Umbrella Tree	20	15	F	12	Poor	12		To Be Removed
26	Busera simaruba / Gumbo Limbo	25	25	A	20	Fair		20	To Remain
27	Quercus virginiana / Live Oak	35	40	A	14	Fair	14		To Be Removed
28	Quercus virginiana / Live Oak	40	70	A	56	Good		56	To Remain
						TOTALS	319	343	

Existing Palm List

Palm #	Species (Botanical Name / Common Name)	Class	Rating %	=	Height-OA (In Feet)	CT (In Feet)	Palm Replacement	Recommendation
1	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
2	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
3	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
4	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
5	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
6	Sabal palmetto / Cabbage Palm	C	60	0.60	16	20		To Remain
7	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
8	Sabal palmetto / Cabbage Palm	C	60	0.60	16	8		To Remain
9	Adonidia merrillii / Christmas Palm	D	40	0.40	16	8		To Remain
10	Adonidia merrillii / Christmas Palm	D	40	0.40	16	6		To Remain
11	Ptychosperma elegans / Solitaire Palm	NA	0	0.00	0	0	1 Palm	Dead-To Be Removed
12	Ptychosperma elegans / Solitaire Palm	E	20	0.20	16	12		To Remain
13	This Space Left Blank							
14	Ptychosperma elegans / Solitaire Palm	E	20	0.20	16	12		To Remain
15	Ptychosperma elegans / Solitaire Palm	E	20	0.20	16	12		To Remain
16	Ptychosperma elegans / Solitaire Palm	E	20	0.20	16	12		To Remain
17	Ptychosperma elegans / Solitaire Palm	E	20	0.20	16	12		To Remain
18	Sabal palmetto / Cabbage Palm	C	60	0.60	16	12		To Remain
19	Adonidia merrillii / Christmas Palm	D	40	0.40	16	8		To Remain
20	Adonidia merrillii / Christmas Palm	D	40	0.40	16	6		To Remain
21	Stump						1 Palm	Removed Before Project Start
22	Adonidia merrillii / Christmas Palm	D	40	0.40	16	12		To Remain
23	Adonidia merrillii / Christmas Palm	D	40	0.40	16	15		To Remain
24	Adonidia merrillii / Christmas Palm	D	40	0.40	16	15		To Remain
25	Adonidia merrillii / Christmas Palm	D	40	0.40	16	18		To Remain
26	Adonidia merrillii / Christmas Palm	D	40	0.40	16	20		To Remain
27	Cocos nucifera / Coconut Palm	C	60	0.60	16	4		To Remain
28	Cocos nucifera / Coconut Palm	C	60	0.60	16	4	1 Palm	To Be Removed per City
							3 Palms	

Condition:			
	Specimen	100-80	%
	Good-Healthy	79-60	%
	Fair	59-40	%
	Poor	39-20	%
	Very Poor	19-1	%
	Dead-Cull	0	
Category	A	100%	
	B	80%	
	C	60%	
	D	40%	
	E	20%	
	F	0%	

GRAPHIC SCALE

30 0 15 30

(IN FEET)
1 inch = 30 ft.

THOMAS WHITE, ASLA-ISA
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Seal

2-1-2019: Per City Comments
5-17-2019: Per City Comments

Revision Dates

Tree Survey

DMJ Properties, LLC

2870 Stirling Road
Hollywood, Florida 33020

Sheet Description

Tree Survey

Release Date

2-1-2019

Project Number

Drawing Number

L-1

SHEET 1 OF 3

GENERAL PLANTING REQUIREMENTS

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1–800–432–4770 Sunshine State One Call of Florida, Inc. Notification Center. For City of Fort Lauderdale Utilities call 1–954–828–8000. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. **All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations..**

General site and berm grading to +/– 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co–dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks ½" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5–2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

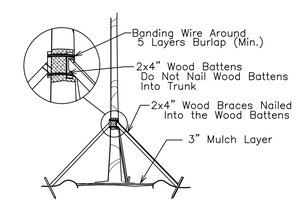
All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4' diameter mulch ring. The 5–6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

All open areas not covered by trees, palms, shrubs, vines or ground covers shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All noted s.f. shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

Please refer to the planting details for a graphic representation of the above notes.

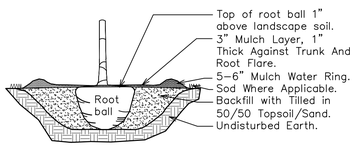
All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of the Thomas White, ASLA–ISA.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.



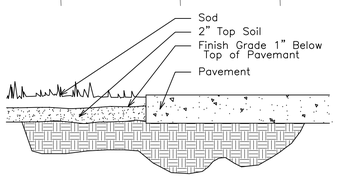
TREE/PALM BRACING DETAIL

NTS



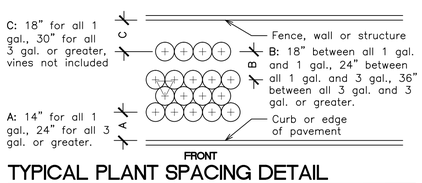
TREE/PALM PLANTING DETAIL

NTS



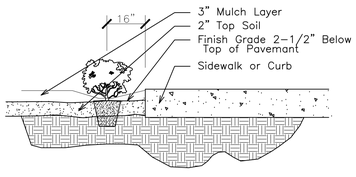
SOD INSTALLATION DETAIL

NTS



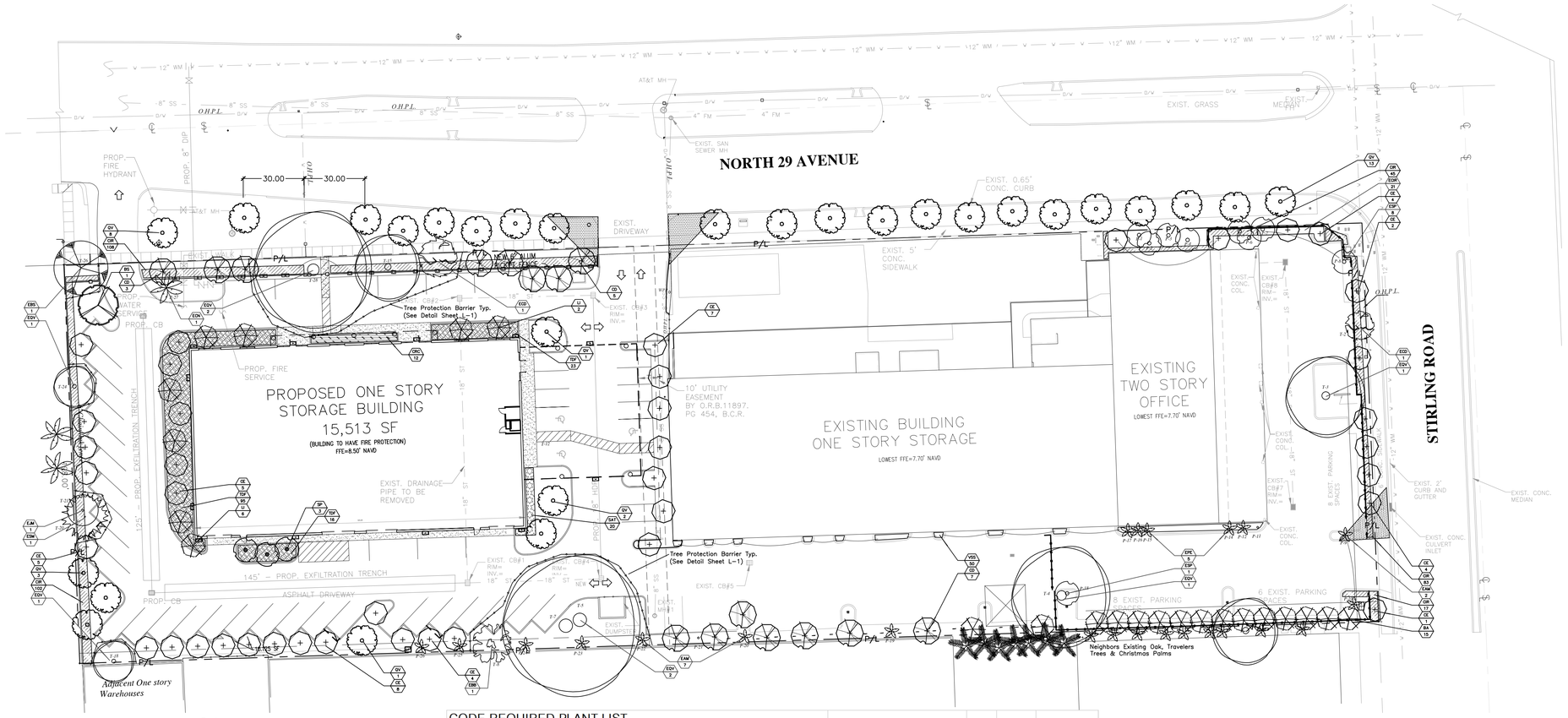
TYPICAL PLANT SPACING DETAIL

NTS



SHRUB INSTALLATION DETAIL

NTS



CODE REQUIRED PLANT LIST

Code		Drought	QTY.	Botanical Name / Common Name	Specifications		Caliper Added (In Inches)	Caliper Removed (In Inches)
EXISTING TREES/PALMS								
EAM		V	9	Adonidia merrillii / Christmas Palm	16' CT			
EBB		V	1	Bucida buceras / Black Olive	30'x18'			
EBS	(N)	V	1	Bursera simarubra / Gumbo Limbo	25'x25'			
ECD	(N)	V	2	Coccoloba diversifolia / Pigeon Plum	14'-30' OA Ht.			
ECN		V	1	Cocos nucifera / Coconut Palm	8' CT			
EJM		V	1	Jacaranda mimosifolia / Jacaranda	25'x20'			
EPE		V	5	Ptychosperma elegans / Solitaire Palm	12' CT			
EQV	(N)	V	8	Quercus virginiana / Live Oak	25'-40'x15'-70'			
ESM	(N)	V	1	Swietenia mahogani / Mahogany	25'x20'			
ESP	(N)	V	9	Sabal palmetto / Cabbage Palm	12-20' CT			
			23	**Total Trees / Palms (AM, PE, SP Counted 3:1)**				
			15	**Native Trees / Palms (SP Counted 3:1)**				
			66%	**Native Trees / Palms**				
PROPOSED TREES/PALMS								
BS	(N)	V	1	Bursera simarubra / Gumbo Limbo	12'x6-7', 3' Cal. DBH	3	3	
CD	(N)	V	15	Coccoloba diversifolia / Pigeon Plum	10'x5-6', 2' Cal. DBH	2	30	
CE	(N)	V	3	Conocarpus erectus sericeus / Silver Buttonwood (Street Trees)	12'x5-6', 3' Cal. DBH, Sng. Trunk	3	9	
CE	(N)	V	2	Conocarpus erectus sericeus / Silver Buttonwood	12'x5-6', 3' Cal. DBH, Sng. Trunk	3	6	
QV	(N)	V	13	Quercus virginiana / Live Oak (Street Trees)	18-20' x 6-7', 4' Cal. DBH	4	52	
			34	**Total Trees / Palms (AM, PE, SP Counted 3:1)**			**97**	
			34	**Native Trees**	**Caliper Required (34 Trees x 2")**	**2**	**68**	
			100%	**Native Trees**	**Caliper Added to Mitigation Total**		**29**	
			57	**Total Trees / Palms (AM, PE, SP Counted 3:1)**				
			49	**Native Trees / Palms (SP Counted 3:1)**				
			86%	**Native Trees / Palms**				
ACCENTS / SHRUBS / GROUND COVERS								
CIR	(N)	V	355	Chrysobalanus icaco 'Red Tip' / Cocoplum	24"x 24", 24" OC			
CIRC	(N)	V	12	Clusia rosea / Small Leaf Clusia	36"x 24", 30" OC			
ECIR	(N)	V	21	Existing Chrysobalanus icaco 'Red Tip' / Cocoplum	5-6' OA Ht.			
SAT		V	20	Schefflera arboricola 'Trinette' / Variegated Arboricola	24"x 24", 24" OC			
TDF	(N)	V	134	Tripsacum dactyloides / Fakahatchee Grass	36"x 24", 42-48" OC			
VSS		V	50	Viburnum suspensum / Sandankwa Viburnum	24"x 24", 24" OC			
			592	**Total Shrubs**				
			522	**Native Shrubs**				
			88%	**Native Shrubs**				
SOD								
Sod		M	By GC	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps between seams			

MITIGATION TREE/PALM LIST

PROPOSED TREES/PALMS								
CE	(N)	V	35	Conocarpus erectus sericeus / Silver Buttonwood	12'x5-6', 3' Cal. DBH, Sng. Trunk	3	105	
BA		V	15	Bulnesia arborea / Verawood	12'x5-6', 3' Cal. DBH, Sng. Trunk	3	45	
LI		V	8	Lagerstroemia indica / Crape Myrtle 'Muskogee'	12'x5-6', 3' Cal. DBH, Sng. Trunk	3	24	
QV	(N)	V	15	Quercus virginiana / Live Oak	18-20' x 6-7', 6" Cal. DBH	6	90	
SP	(N)	V	3	Sabal palmetto / Cabbage Palm	12-20' CT, Staggered Hts.	**3**	**Palms**	
			74	**Total Trees / Palms (AD, PE, SP Counted 3:1)**	**Total Caliper This List**		**264**	
			51	**Native Trees / Palms**	**Caliper Added per Above Code List**		**29**	
			69%	**Native Trees / Palms**	**Total Caliper Added**		**293**	**319**
								293
		(N)		Florida Native Plant Species	**Caliper Deficiency**			**26**
		M		Moderate Drought Tolerance	**Req. Tree Fund Contribution =**			**$4,550**
		V		Very Drought Tolerant	**($350 per 2" DBH)**			

CITY OF HOLLYWOOD

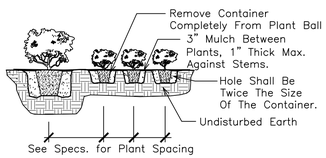
SITE PLAN INFORMATION

Property Use:	Commerce				
Property Zoning:	IM-2				
Gross Site Area:	127,677	Sq. Feet	=	2.93	Acres
Building Area:	53,156	Sq. Feet		41.63%	
Paving Areas:	48,321	Sq. Feet		37.85%	
Total Impervious Areas:	101,477	Sq. Feet		79.48%	
Landscape Area:	26,200	Sq. Feet	=	20.52%	
Total Pervious Areas:	26,200	Sq. Feet			

CITY OF HOLLYWOOD PLANTING CALCULATIONS

LANDSCAPE QUANTITY REQUIREMENTS

Buffer Tree Requirement: One Tree per every 1,000 square feet of pervious area	**Required**	**Provided**
26,200 Square Feet of Pervious (Net Lot) Area.	27	27
Parking: One Tree per 190 S.F. of Terminal Islands	**Required**	**Provided**
	13	13
Street Trees: One Per 50' of Street Frontage	Required	Provided
842 Feet of North 29th Avenue & Stirling Road	17	17
Total Trees:	57	57
Interior Landscape:	**Required**	**Provided**
48,321 25% of the Total S.F. of the Paved VUA Shall be Landscape.	12,080	13,198



SHRUB PLANTING DETAIL

NTS

GRAPHIC SCALE

30 0 15 30

(IN FEET)
1 inch = 30 ft.

THOMAS WHITE, ASLA–ISA
LANDSCAPE ARCHITECT, LEED GREEN ASSOCIATE, CERTIFIED ARBORIST
2600 NE 27th AVENUE
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954–253–2265

THOMAS WHITE, ASLA–ISA
RLA # 1100

Seal

2–1–2019: Per City Comments
5–17–2019: Per City Comments

Revision Dates

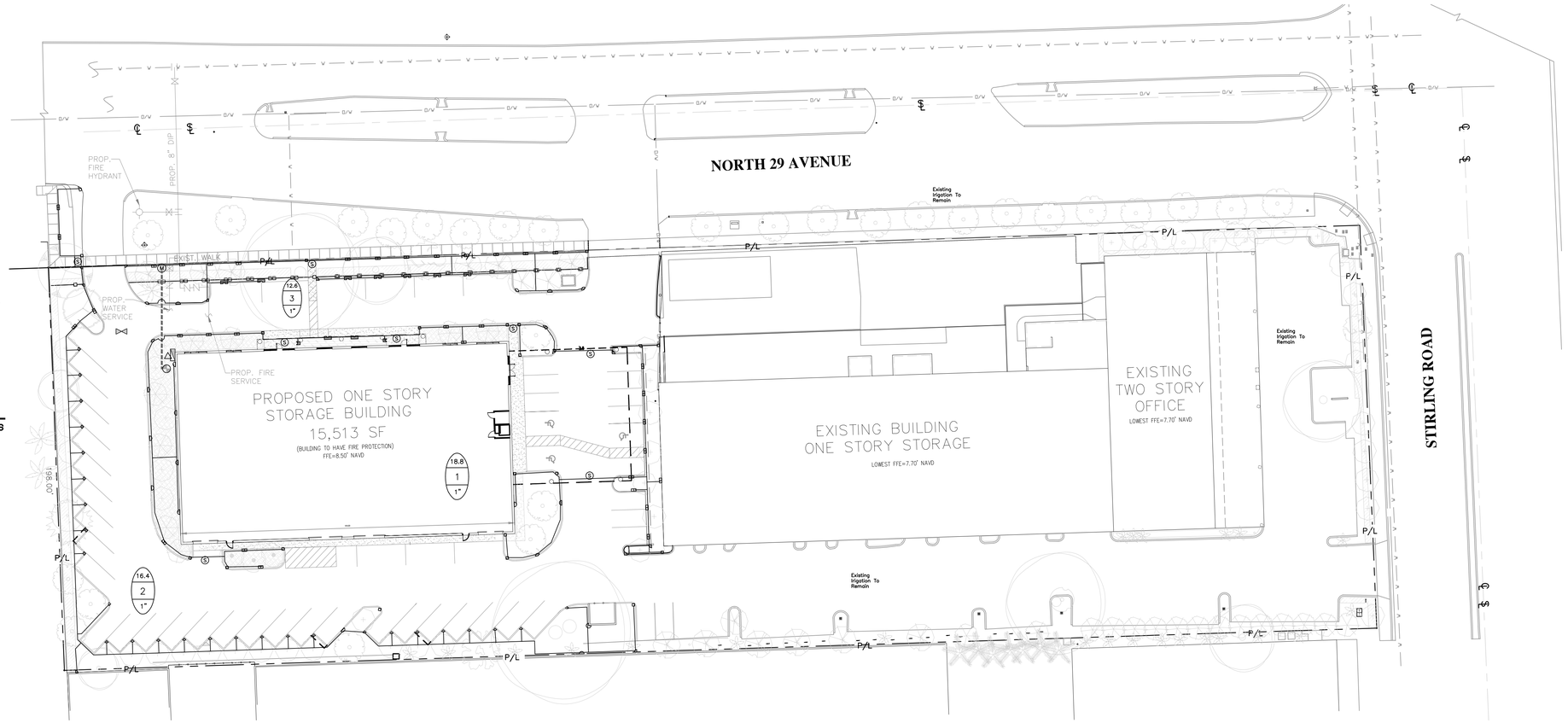
Landscape Plan
DMJ Properties, LLC
2870 Stirling Road
Hollywood, Florida 33020

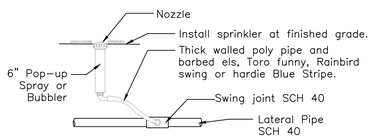
Sheet Description
Landscape Plan

Release Date
1–25–2019

Project Number

Drawing Number
L-2
SHEET 2 OF 3





6" Pop-up Spray / Bubbler Detail

NTS

IRRIGATION LEGEND:

- 1" MAIN LINE
- LATERAL ZONE LINES.
- CONTROLLER – Intermatic Electric 4 station controller.
- Mini Clik automatic rain sensor shutoff switch mounted outside on eave of structure.
- ZONE VALVES – Fimco 4 Station Indexing Valve.
- (M) PROPOSED 1" IRRIGATION ONLY WATER METER.
- (S) SLEEVES – Sch. 40, 2 Sizes Larger. NOTE – Pipe Size Shown is the Lateral Size, NOT the Sleeve Size

6" POP-UP SPRAY –
Hunter MP Rotator Series:
Nozzles as Required.
NOTE – All of the below may not be used

		22–30' Series	13–21' Series	8–15' Series	6–12' Series
90	Q				
120	T				
180	H				
240	TT				
270	TQ				
360	F				

- RCS–515 5 x 15'
- LCS–515 5 x 15'
- SS–530 5 x 30'
- ES–515 5 x 15'

0.0 GPM
1 ZONE #
1" VALVE SIZE

IRRIGATION NOTES:

Piping:
Main Lines: PVC SCH 40 Solvent Weld.
Zone Lines: PVC SCH 40 Solvent Weld. 1/2 in. is not used. Min. pipe is 3/4 in. All end of the line unmarked pipe = 3/4 in. (min.).
Sleeves and suction Line: PVC SCH 40.

Fittings: SCH 40 PVC

Fabrication: To manufacturers specifications. Use blue or grey PVC cement, square cut, clean and prime all joints.

Allow all main lines to cure for 24 hours before pressuring.

All pipe, fittings, and solvents to conform to latest ASTM specs.

Depth of Lines: Main Line and wiring = 18 in. depth, min.
Sleeving under pavement = 24 in. depth, min.
Suction Line = 24 in. depth, nominal.
Zone Lines 1–1/2 in. and smaller = 10 in. depth, min.

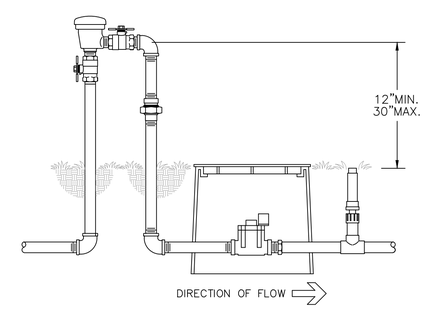
Control Wires: AWG 14 for all hot wires and AWG 12 for common.
Solid copper type UF UL listed for direct burial.
Run wires under main.
Run spares, two min.
Splice wires only in a valve box. All splices shall be moisture proof using Snap tite or DBY UL connectors.
Common shall be white, hot shall be red or color coded
Spare shall be black. Run all wires in Grey Electrical SCH 40 conduit..

Backfill all trenches free of debris, compact to original density, flush all lines, use screens in all heads, adjust heads for proper coverage avoiding excess water on walls, walks, etc.

All details are graphically shown only. All quantities shall be verified by the contractor prior to installation. It shall be the contractors responsibility to assure complete overlapping coverage. Any discrepancies shall be reported to the owner and landscape architect before proceeding. Codes and local regulations shall take precedence over these plans, it is the contractors responsibility to comply. The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzle selection to provide for proper 100% min. coverage.

Provide owner with an accurate as installed plan(s) at completion showing main lines, wiring, valves, crossings, etc. using dimensions from fixed datums.

Contractor shall verify all underground utilities prior to commencement of work.



PRESSURE VACUUM BREAKER ASSEMBLY
OUTDOOR HORIZONTAL INSTALLATION

WILKINS MODEL 720A

NTS

GRAPHIC SCALE
30 0 15 30
(IN FEET)
1 inch = 30 ft.

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RLA # 1100

Seal

Revision Dates

New Construction Area Irrigation Plan
DMJ Properties, LLC
2870 Stirling Road
Hollywood, Florida 33020

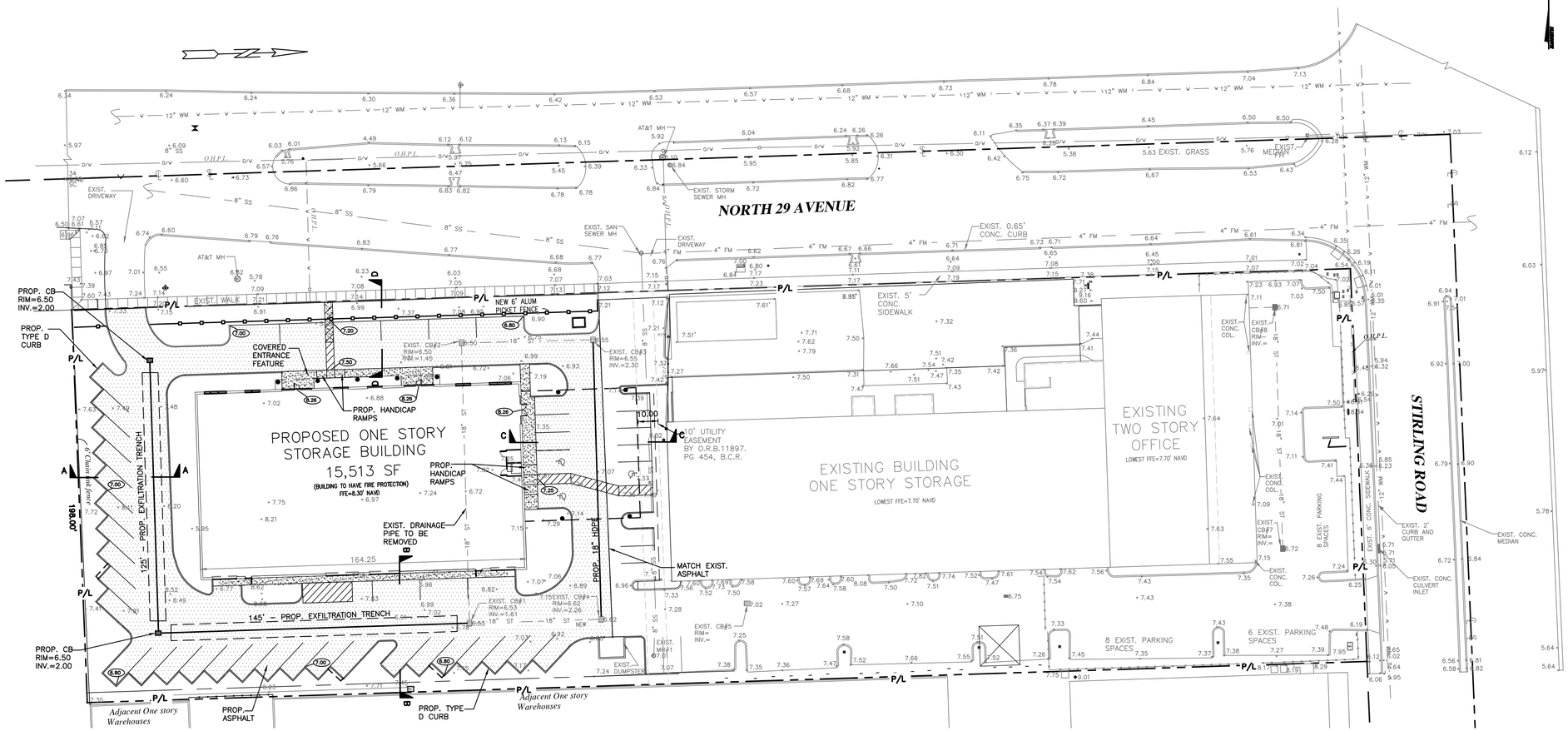
Sheet Description
Irrigation Plan

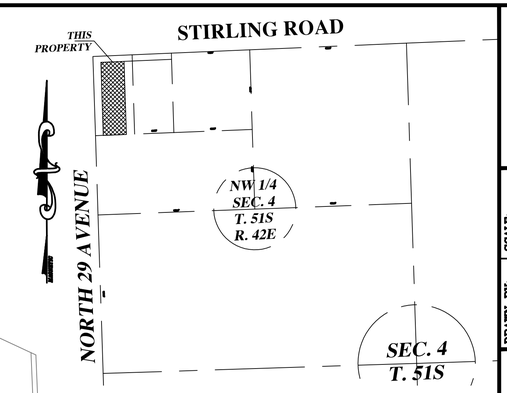
Release Date
1–25–2019

Project Number

Drawing Number
L-3
SHEET 3 OF 3

ELEVATIONS ARE BASED UPON N.A.V.D. 1988





LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 1
The East 132 feet of the West 264 feet of the West one-half (½) of the Northeast one-quarter (¼) of the Northwest one-quarter (¼) of the Northwest one-quarter (¼) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof;

PARCEL 2
The East 66 feet of the West 132 feet of the West one-half (½) of the Northeast one-quarter (¼) of the Northwest one-quarter (¼) of the Northwest one quarter (1/4) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof, said lands situated, lying in and being in Broward, County Florida.

NOTES:

1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
2. 2.MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY TO BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
13. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

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LEGEND

- PROPOSED CONCRETE
- PROPOSED CATCH BASIN
- PROPOSED ASPHALT
- ASPHALT TO BE REMOVED
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- WM PROPOSED WATER METER
- CO PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED DOUBLE DETECTOR CHECK VALVE
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- CB EXISTING CATCH BASIN
- x13.02 EXISTING ELEVATION
- UP EXISTING UTILITY POLE
- MH EXISTING MANHOLE (AS DESIGNATED)
- EXISTING APPURTENANCES (AS INDICATED)
- X EXISTING FENCE

PAVING, GRADING & DRAINAGE PLAN (DRC SUBMITTAL)

SCALE 1" = 30'-0"

FINAL APPROVAL
FLA. REG. ENG. NO. 41831

SCALE: 1"=30'
DATE: 01/15/19
FIELD BOOK: N.A.
DRAWN BY: NKW
DESIGNED BY: SCH
CHECKED BY: SCH

HOLLAND ENGINEERING INC.
civil engineers
1120 SE 2RD AVENUE - FORT LAUDERDALE - FL 33316
(954)367-0571
SUSAN C. HOLLAND, PE
license no. 41831
CA7325

REVISIONS

NO.	DATE	BY	CHK'D	DESCRIPTION

PROPOSED STORAGE FACILITY
FOR
DMJ PROPERTIES LLC
2870 STIRLING ROAD
HOLLYWOOD FL

NO. OF SHEETS: 5
SHEET NO.: C-1
CAD FILE NO. 18-43

j:/CAD/15-45/15-45_C1 NKW 01/15/19

FIRE FLOW CALCULATIONS
Storage Facility
A One Story Commercial Building
2870 Stirling Road, Hollywood

These calculations are for a one (1) story commercial storage building, with a total ground floor square footage of 15,513 SF. The entire building is non-combustible construction.

Fire Flow Area = 18,000 SF
Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total square footage of 15,513 SF.

Per Table 18.4.5.2.1, the fire flow requirement is 1,500 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,500 gpm X 75% = 1,125 gpm (fire flow credit)

1,500 gpm - 1,125 gpm = 375 gpm

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

Per the hydrant flow test, 1,130 gpm is available

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENCE PER FS 633.102.

NOTES:

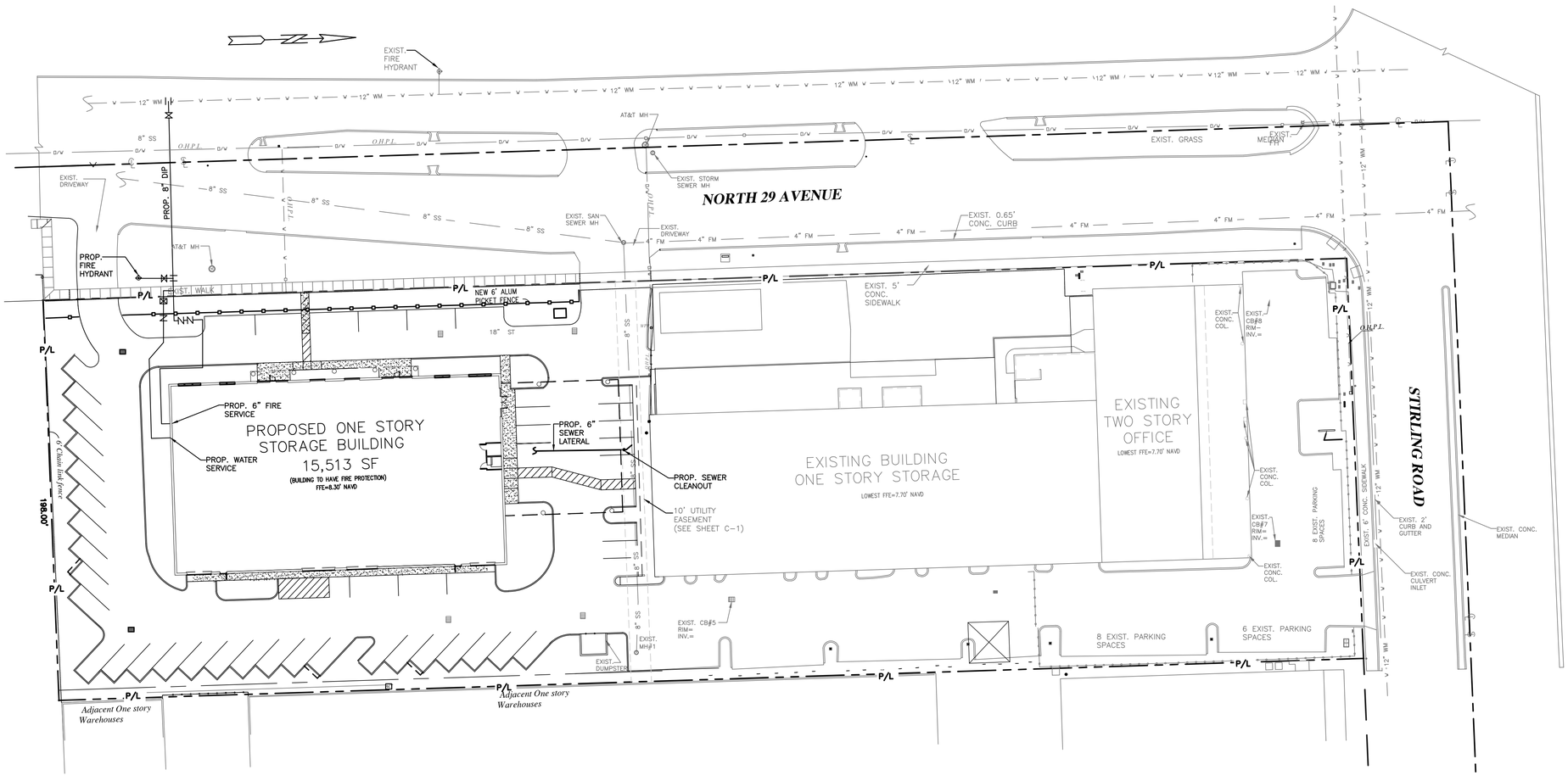
1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.

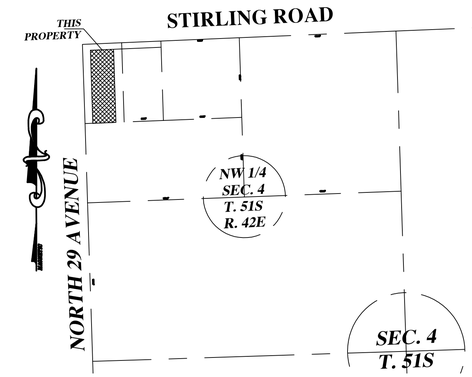
2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER AND WATER MAINS AND CONFIRM DEPTH/CONDITION OF EXISTING PIPES.

3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.

4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

ELEVATIONS ARE BASED UPON N.A.V.D. 1988





LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 1
The East 132 feet of the West 264 feet of the West one-half (½) of the Northeast one-quarter (¼) of the Northwest one-quarter (¼) of the Northwest one-quarter (¼) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof;

PARCEL 2
The East 66 feet of the West 132 feet of the West one-half (½) of the Northeast one-quarter (¼) of the Northwest one-quarter (¼) of the Northwest one quarter (1/4) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof, said lands situated, lying in and being in Broward, County Florida.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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WATER AND SEWER DEMAND

15,513 SF STORAGE BUILDING X 0.10 GPD/SF = 1,551.30 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

LEGEND

- PROPOSED CONCRETE
- PROPOSED CATCH BASIN
- PROPOSED ASPHALT
- ASPHALT TO BE REMOVED
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- WM PROPOSED WATER METER
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- EXISTING APPURTENANCES (AS INDICATED)
- X EXISTING FENCE

WATER AND SEWER PLAN (DRC SUBMITTAL)
SCALE 1" = 30'-0"

FINAL APPROVAL
FLA. REG. ENG. NO. 41831

SCALE: 1"=30'
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REVISIONS

NO.	DATE	BY	CHK'D	DESCRIPTION

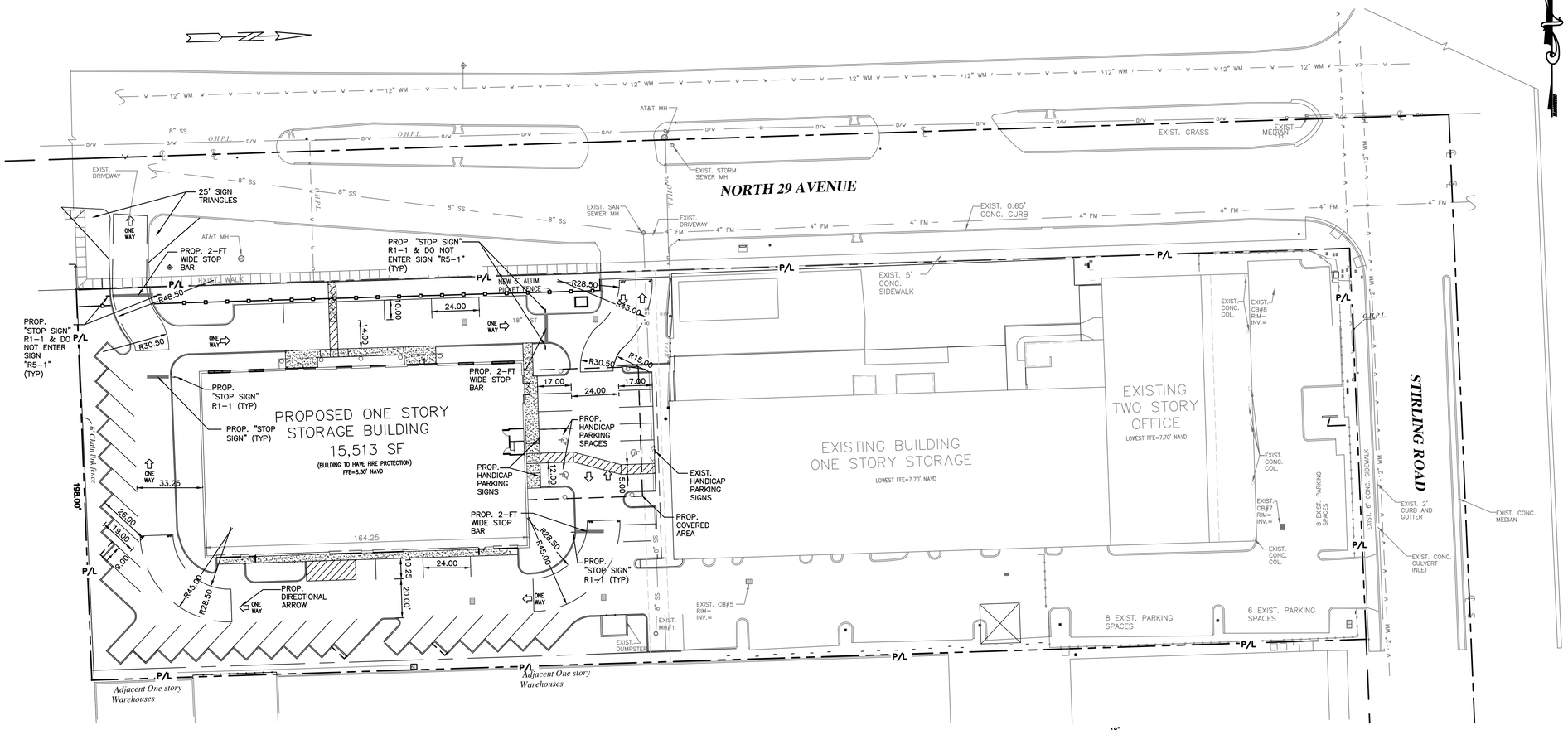
PROPOSED STORAGE FACILITY
FOR
DMJ PROPERTIES LLC
2870 STIRLING ROAD
HOLLYWOOD FL

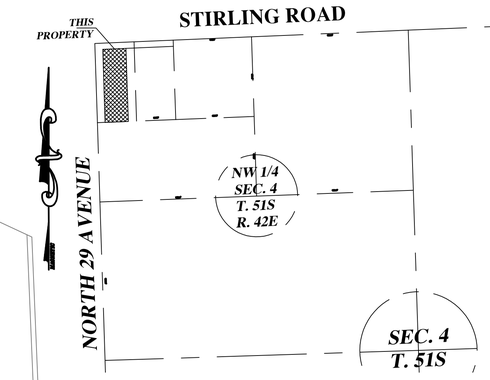
NO. OF SHEETS: 5
SHEET NO.: C-2
CAD FILE NO. 18-43

j:/CAD/15-45/15-45_C1 NKW 01/15/19

ELEVATIONS ARE BASED UPON N.A.V.D. 1988

NOTE:
ALL SIGNAGE WILL COMPLY WITH ZONING & LAND DEVELOPMENT REGULATIONS.





LOCATION MAP

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LEGAL DESCRIPTION:

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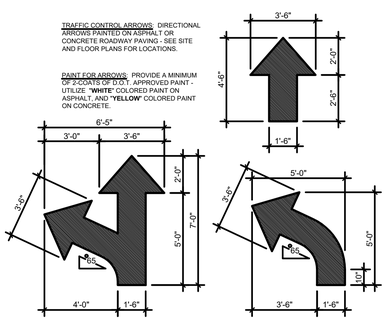
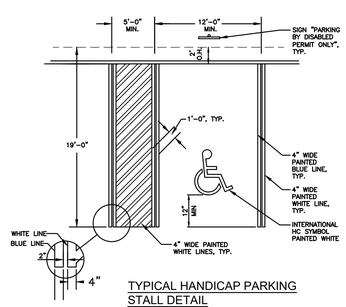
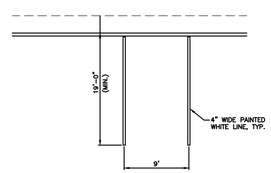


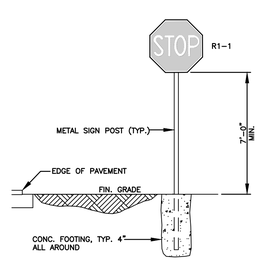
TYPICAL CONTROL ARROWS
N.T.S



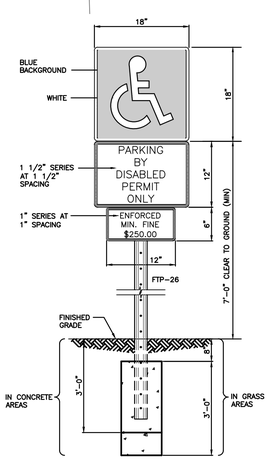
TYPICAL HANDICAP PARKING STALL DETAIL
N.T.S



TYPICAL 90° PARKING STALL DETAIL
N.T.S



TYPICAL SIGN INSTALLATION
NTS

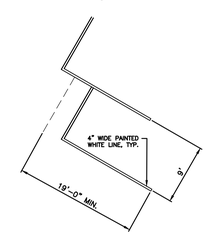


FTP-26 HANDICAP PARKING SIGN WITH SUPPLEMENTAL 12" x 6" "MINIMUM FINE $250.00" SIGN

NOTES:

1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP PARKING STALL, WHERE APPLICABLE.

HANDICAP PARKING SIGN
NTS



TYPICAL ANGLED PARKING STALL DETAIL
NTS

LEGEND

- PROPOSED CONCRETE
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PAVEMENT MARKINGS AND SIGNAGE PLAN (DRC SUBMITTAL)

SCALE 1" = 30'-0"

FINAL APPROVAL
FLA. REG. ENG. NO. 41831

SCALE: 1"=30'	
DRAWN BY: NKW	DESIGNED BY: SCH
DATE: 01/15/19	CHECKED BY: SCH
FIELD BOOK: N.A.	

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REVISIONS

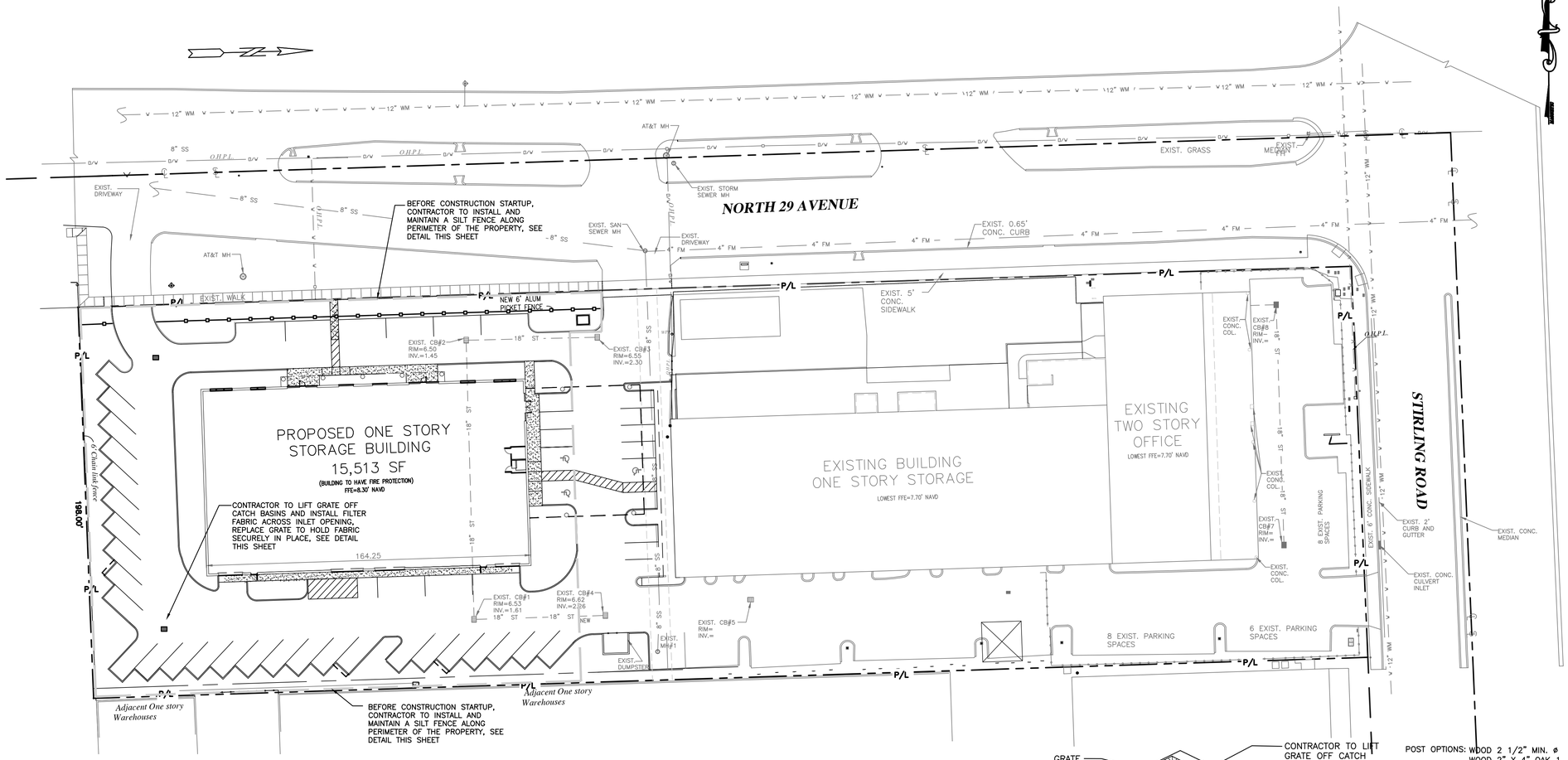
NO.	DATE	BY	CHK'D	DESCRIPTION

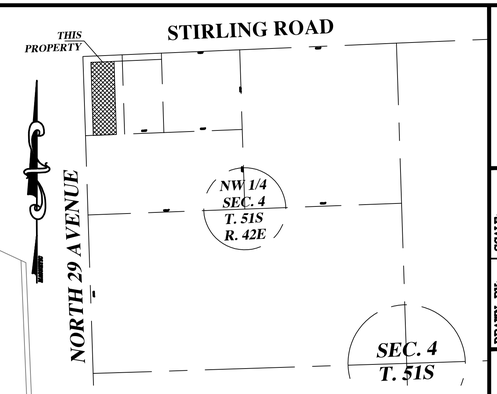
PROPOSED STORAGE FACILITY
FOR
DMJ PROPERTIES LLC
2870 STIRLING ROAD
HOLLYWOOD FL

NO. OF SHEETS: 5
SHEET NO.: C-3
CAD FILE NO. 18-43

i:/CAD/15-45/15-45_C1 NKW 01/15/19

ELEVATIONS ARE BASED UPON N.A.V.D. 1988





LOCATION MAP

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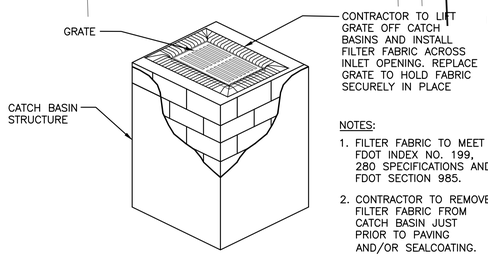
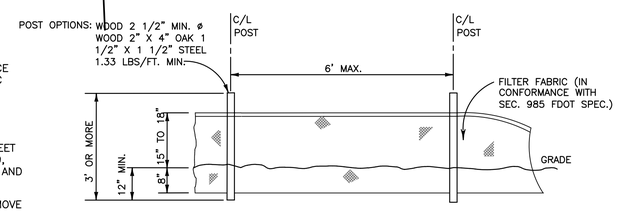


NOTES:

1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.

POLLUTION PREVENTION FOR CATCH BASIN

N.T.S.



TYPE III SILT FENCE

NTS

LEGEND

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- PROPOSED CATCH BASIN
- PROPOSED ASPHALT
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- X EXISTING FENCE

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.

2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.

5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.

6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.

9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.

10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.

11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.

12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY SEWER MAIN.

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STORMWATER POLLUTION PREVENTION PLAN (DRC SUBMITTAL)

SCALE 1" = 30'-0"

j:/CAD/15-45/15-45_C1 NKW 01/15/19

FINAL APPROVAL

FLA. REG. ENG. NO. 41831

SCALE: 1"=30'

DATE: 01/15/19

FIELD BOOK: N.A.

DRAWN BY: NKW

DESIGNED BY: SCH

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REVISIONS

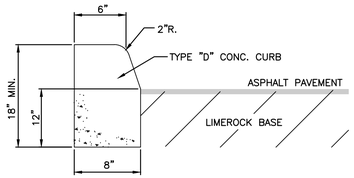
NO.	DATE	BY	CHK'D	DESCRIPTION

PROPOSED STORAGE FACILITY
FOR
DMJ PROPERTIES LLC
2870 STIRLING ROAD
HOLLYWOOD FL

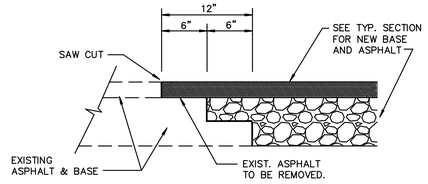
NO. OF SHEETS: 5

SHEET NO.: C-4

CAD FILE NO. 18-43



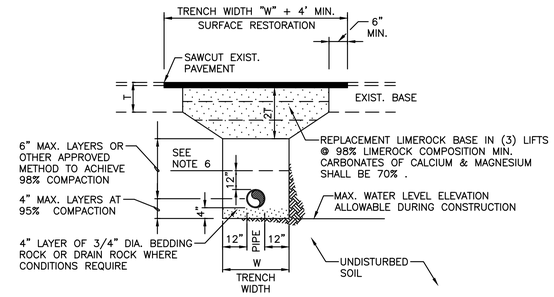
TYPE "D" CONCRETE CURB DETAIL
NTS



NOTE:

THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.

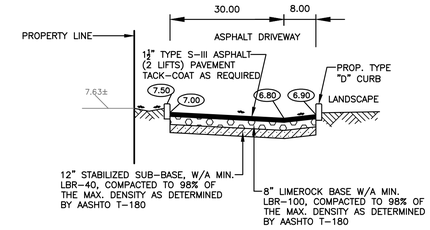
TYPICAL PAVEMENT JOINT DETAIL
NTS



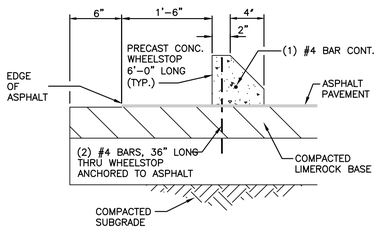
GENERAL NOTES:

1. WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION .
2. SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD .
3. NEW SURFACING MATERIALS SHALL BE CONSISTENT W/ EXIST. & SHALL HAVE BUTT JOINTS (2" MIN. THK.) .
4. COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180 .
5. ALL ROADWAY RESTORATION SHALL COMPLY W/ THE RESPECTIVE GOVERNING AUTHORITY HAVING JURISDICTION .
6. MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL (SEE DETAIL) .
7. DENSITY TESTS – MIN. 2 PER SUB-BASE, MIN. 2 PER LIMEROCK, PER CUT . CITY ENGINEERING DEPT. RECEIVES 2 COPIES OF RESULTS .

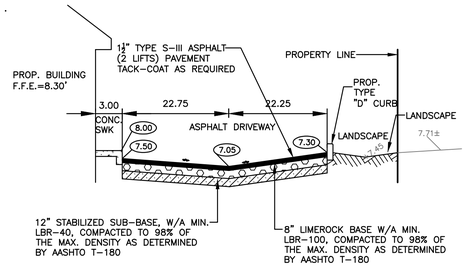
PAVEMENT RESTORATION DETAIL
NTS



SECTION A-A
N.T.S.



CONCRETE WHEELSTOP DETAILS
NTS



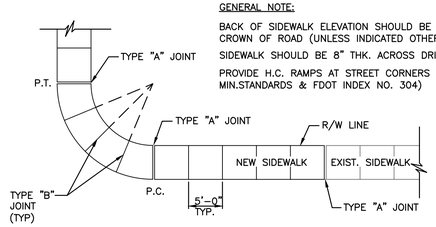
SECTION B-B
N.T.S.

GENERAL NOTE:

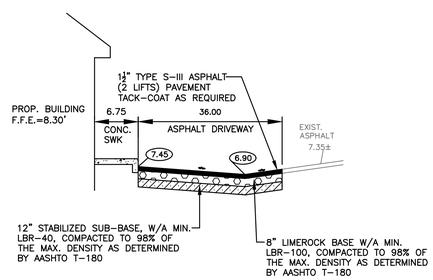
BACK OF SIDEWALK ELEVATION SHOULD BE 0.10' ABOVE CROWN OF ROAD (UNLESS INDICATED OTHERWISE)

SIDEWALK SHOULD BE 8" THK. ACROSS DRIVEWAYS

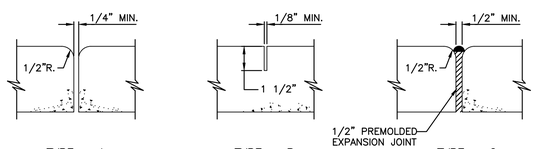
PROVIDE H.C. RAMPS AT STREET CORNERS (PER ADA MIN.STANDARDS & FDOT INDEX NO. 304)



SIDEWALK PLAN
N.T.S.



SECTION C-C
N.T.S.

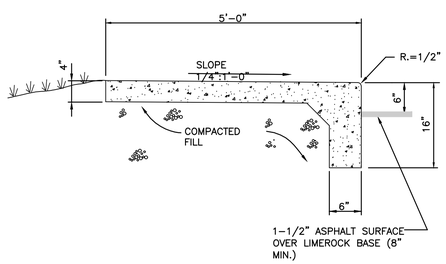


TYPE – A
(OPEN TYPE JOINTS)

TYPE – B
(SAWED JOINTS)

TYPE – C
(EXPANSION JOINTS)

SIDEWALK JOINTS
N.T.S.



SIDEWALK WITH CURB DETAIL
NTS

TYPICAL SIDEWALK THICKNESS (T)

LOCATION :	"T"
RESIDENTIAL AREAS	4"
DRIVEWAYS & OTHER	8"

NOTES:

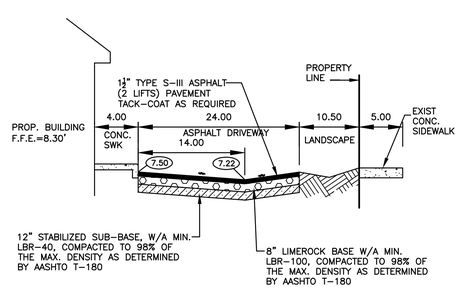
1. EXPANSION JOINTS EVERY 50' O.C.
2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
3. 8" THK. SIDEWALK ACROSS DRIVEWAYS

TABLE OF SIDEWALK JOINTS

TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILIAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

* INSTALLED AT THE DISCRETION OF THE ENGINEER

SIDEWALK DETAIL
NTS



SECTION D-D
N.T.S.

CIVIL DETAILS (DRC SUBMITTAL)
SCALE: NTS

FINAL APPROVAL
FLA. REG. ENG. NO. 41831

SCALE: NTS	DATE: 04/18/19	FIELD BOOK: N.A.
DRAWN BY: NKW	DESIGNED BY: SCH	CHECKED BY: SCH

HOLLAND ENGINEERING INC.
civil engineers
1120 SE 2RD AVENUE – FORT LAUDERDALE – FL 33316
(954)367-0371
SUSAN C. HOLLAND, PE
license no. 41831
CA7325

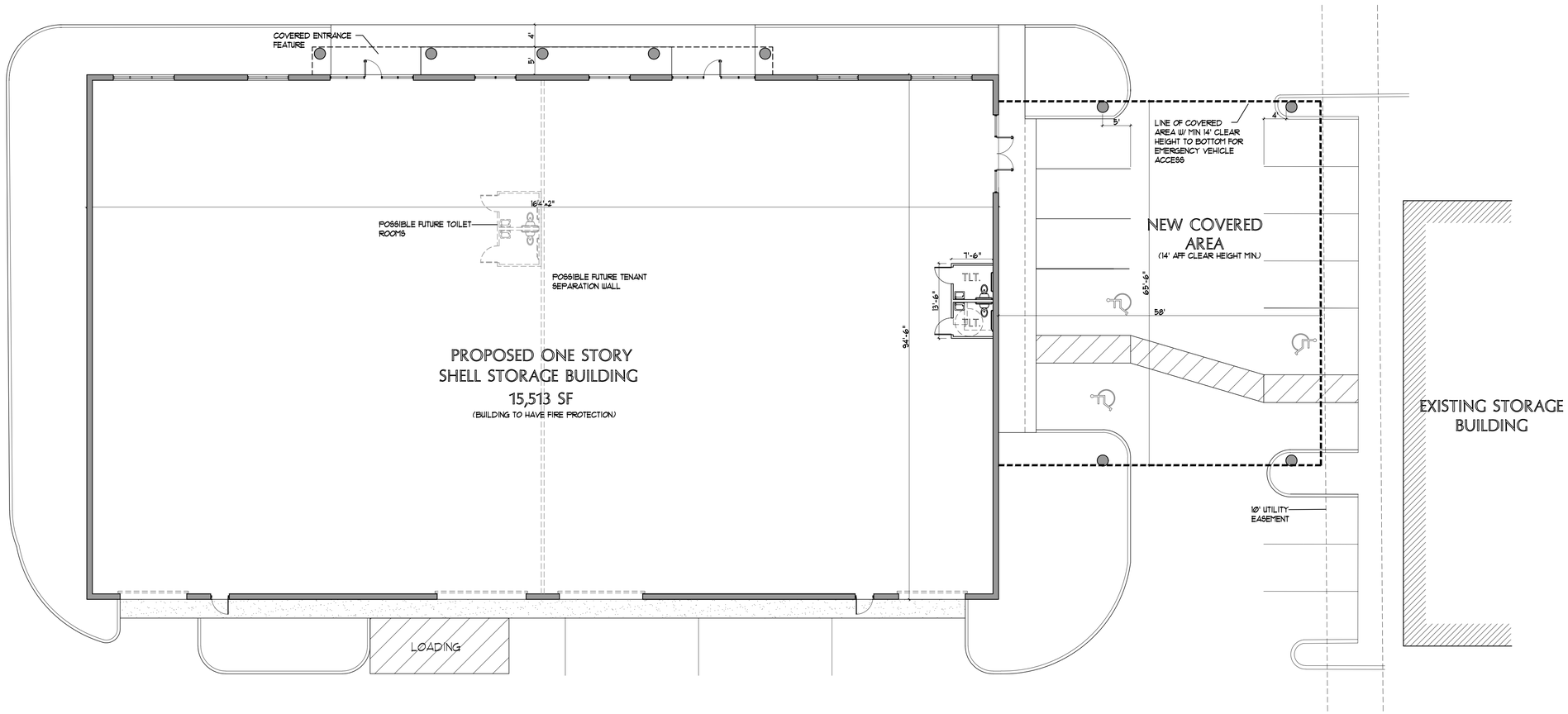
REVISIONS

NO.	DATE	BY	CHK'D	DESCRIPTION

PROPOSED STORAGE FACILITY
FOR
DMJ PROPERTIES LLC
2870 STIRLING ROAD
HOLLYWOOD FL

NO. OF SHEETS: 5
SHEET NO.: C-5
CAD FILE NO. 18-43

j:/CAD/15-45/15-45_C1 NKW 01/15/19



PRELIMINARY FLOOR PLAN

SCALE: 3/32" = 1'-0"

NORTH

REVISIONS

4/9/2015 OWNER & TAC COMMENTS

PEREZ ASSOCIATES
ARCHITECTURE & PLANNING

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SUITE 46
FORT LAUDERDALE, FL 33306
TELEPHONE (954) 567-2062
FAX (954) 567-2063
EMAIL:
info@perezandassociates.com

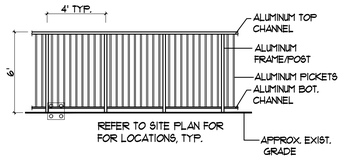
REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for:

D M J PROPERTIES, LLC

2810 STIRLING ROAD
HOLLYWOOD, FLORIDA

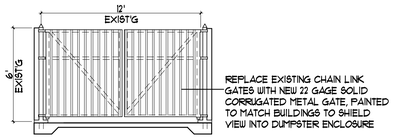
DATE	1/25/2013
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	A-1.0



TYPICAL FENCE

(TO MATCH EXISTING)

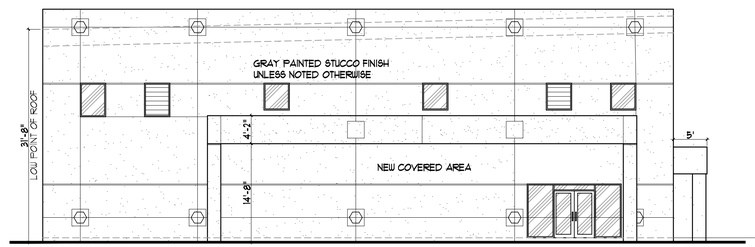
NTS



GATE DETAIL

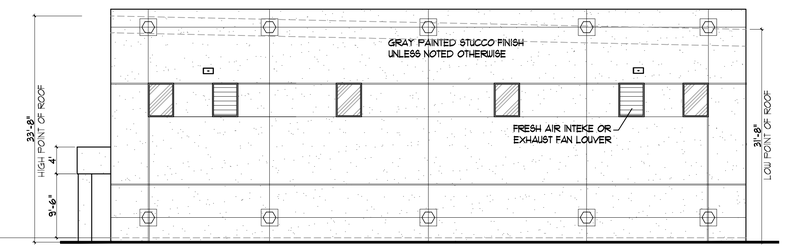
DUMPSTER ENCLOSURE

EXISTING 12' WIDE DUMPSTER TO RECEIVE NEW GATES AND HARDWARE AND PAINTED TO MATCH BUILDING



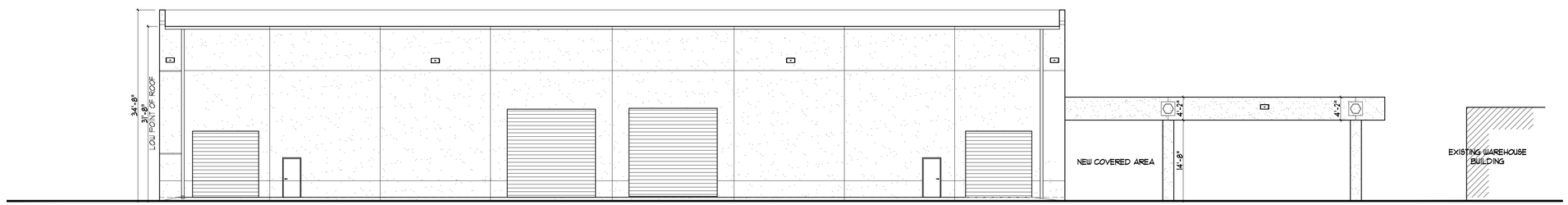
NORTH ELEVATION

SCALE: 3/32" - 1'-0"



SOUTH ELEVATION

SCALE: 3/32" - 1'-0"



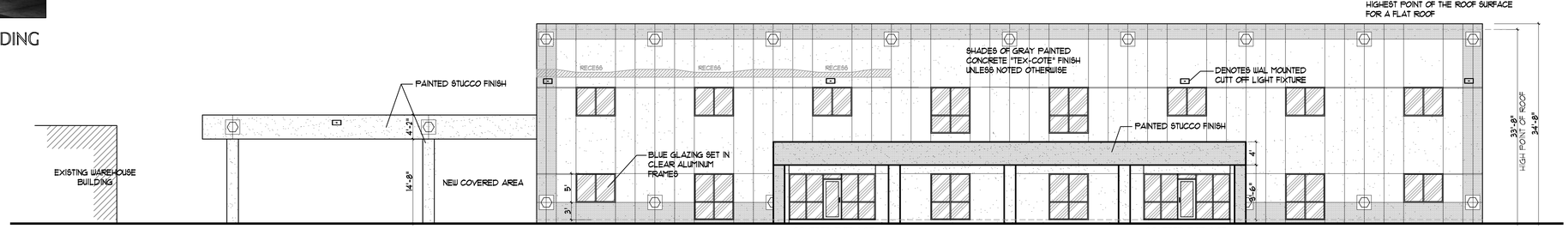
EAST ELEVATION

SCALE: 3/32" - 1'-0"

EXISTING NORTH BUILDING

STIRLING ROAD VIEW

BUILDING HEIGHT: 33'-8" ABOVE GRADE, VERTICAL DISTANCE FROM THE ESTABLISHED GRADE OF THE PLOT UPON WHICH A BUILDING IS LOCATED TO THE HIGHEST POINT OF THE ROOF SURFACE FOR A FLAT ROOF



WEST ELEVATION

SCALE: 3/32" - 1'-0"

REVISIONS

1	4/9/2019 OWNER & TAC COMMENTS

PEREZ & ASSOCIATES
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3045 N. FEDERAL HIGHWAY
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REG. No. AA 26000661
SEAL

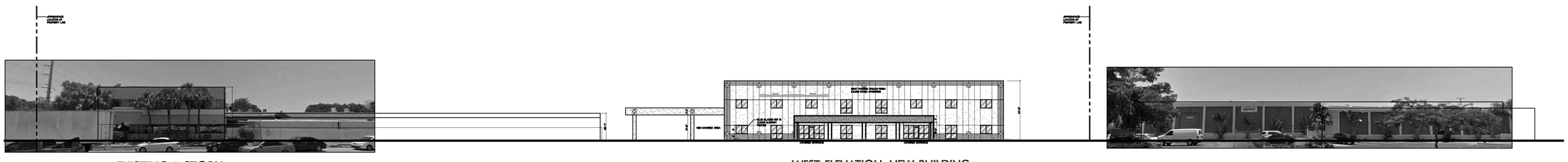
PROPOSED STORAGE FACILITY for

D M J PROPERTIES, LLC

2870 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE	5/28/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	A-2.0

STREET AERIAL VIEW OF GENERAL AREA



EXISTING 2 STORY
OFFICE BUILDING

EXISTING ONE STORY
STORAGE BUILDING

WEST ELEVATION, NEW BUILDING

EXISTING ONE STORY
(HIGH BAY) STORAGE
BUILDING

STREET PROFILE / ELEVATIONS

REVISIONS

⚠

PÉREZ
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PROPOSED STORAGE FACILITY for:

D M J PROPERTIES, LLC

2870 STIRLING ROAD
HOLLYWOOD, FLORIDA

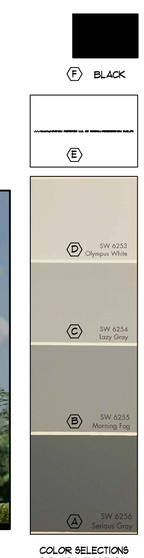
DATE	1/25/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	A-2.1

EAST ELEVATION

SOUTH ELEVATION

NORTH ELEVATION

WEST ELEVATION



COLOR SELECTIONS
SHERWIN WILLIAMS

RENDERED ELEVATIONS

REVISIONS

PÉREZ & ASSOCIATES
ARCHITECTURE & PLANNING

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REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for.

D M J PROPERTIES, LLC

2812 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE	5/28/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	A-2.2

NORTHEAST CORNER

SOUTHEAST CORNER

NORTHWEST CORNER

SOUTHWEST CORNER

RENDERINGS

REVISIONS

PÉREZ ASSOCIATES
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SEAL

PROPOSED STORAGE FACILITY for.

D M J PROPERTIES, LLC

2870 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE	5/28/2019
SCALE	AS NOTED
JOB NO.	2018 37
FILE	DMG PROP
SHEET NO.	A-2.3