

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 3/19/2019

Location Address: 1650 N. State Road 7 Hollywood FL

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5141-12-07-0010

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: Setback Variance

Number of units/rooms: _____ Sq Ft: _____

Value of Improvement: _____ Estimated Date of Completion: _____

Will Project be Phased? () Yes () No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: MS Auto Sales LLC

Address of Property Owner: 4033 NW 85th Dr. Cooper City FL

Telephone: 305-879-1527 Fax: _____ Email Address: mizunflorida@gmail.com

Name of Consultant/Representative/Tenant (circle one): Design-Max Engineering

Address: 10400 Griffin Road Suite 304B Cooper City, FL 33328 Telephone: 954-988-1317

Fax: _____ Email Address: info@design-max.us

Date of Purchase: 08/14/2014 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Syed Zaman CEO

DMEC Address: 10400 Griffin Rd Suite 304B Cooper City, FL 33328

Email Address: info@design-max.us

Cell: 954-988-1317

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 3/19/19

PRINT NAME: Mr. M. Rahman (MS Auto Sales) Date: 3/19/19

Signature of Consultant/Representative: _____ Date: 03/19/2019

PRINT NAME: SYED A. ZAMAN Date: 03/19/2019

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

RECEIVED

Sworn to and subscribed before me
this _____ day of _____

MAR 25 2019

Signature of Current Owner

Notary Public
State of Florida

CITY OF HOLLYWOOD
OFFICE OF PLANNING

Print Name

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☐ Produced Identification _____



MARTY KIARD
BROWARD COUNTY
PROPERTY APPRAISER

Site Address	1650 N STATE ROAD 7, HOLLYWOOD FL 33024	ID #	5141 12 07 0010
Property Owner	MS AUTO SALES LLC	Millage	0513
Mailing Address	4033 NW 85 DR COOPER CITY FL 33024	Use	10
Abbr Legal Description	HOLLYWOOD SUBURBS 4-22 B LOT 1 LESS 25 FOR ST RD 7 LOT 2 LESS 25 FOR ST RD 7 BLK 1 LESS POR OF LOT 1 & 2, BLK 1, DESC AS COMM W1/4 COR OF 12-51-41, E 2668.53, S 24.81, W 50, W 13.83 TO POB, W 61.51, S 9.68, E 26.44, SE 47.22, S 46.18, E 6.20, N 93.09 TO POB		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2019	\$67,080		\$67,080	\$67,080	
2018	\$67,080		\$67,080	\$67,080	\$1,390.33
2017	\$67,080		\$67,080	\$67,080	\$1,401.15

2019 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$67,080	\$67,080	\$67,080	\$67,080
Portability	0	0	0	0
Assessed/SOH	\$67,080	\$67,080	\$67,080	\$67,080
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$67,080	\$67,080	\$67,080	\$67,080

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
8/14/2014	WD-Q	\$155,000	112474629	\$16.35	4,103	SF
2/27/1996	WD	\$265,000	24540 / 159			
3/1/1988	PRD	\$100	15422 / 360			
10/1/1984	SWD	\$100				
				Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								

LEGAL DESCRIPTION:

EXHIBIT A

Lots 1 and 2, Block 1, HOLLYWOOD SUBURBS, a subdivision according to the Plat thereof, recorded in Plat Book 4, Page 22 of the Public Records of Broward County, Florida. Less there from the East 25 feet for road right-of-way. Together with the East 7.5 feet of that certain 15 foot alley as shown said plat of HOLLYWOOD SUBURBS (now vacated) lying West of and adjacent to the above described property.

Less and except portion conveyed to the State of Florida Department of Transportation in Official Records Book 50363, Page 1630 of the Public Records of Broward County, Florida, described as follows;

A portion of Lots 1 and 2, Block 1, HOLLYWOOD SUBURBS, a subdivision according to the plat thereof, as recorded in Plat Book 4, Page 22 of the Public Records of Broward County, Florida, lying in Section 12, Township 51 South, Range 41 East, as shown on the Florida Department of Transportation Right of Way Map of State Road 7 (U.S. 441), Item/Segment No. 2277751, Section 86100-2528 and being more particularly described as follows:

Commence at a Broward County Engineering Department bronze disk in concrete, found marking the West ¼ Corner of said Section 12; thence North 88 Degrees 12 Minutes 13 Seconds East along the North line of the SW ¼ of said Section 12 and the Baseline of Survey of Taft Street as shown on said map, a distance of 2,668.53 feet to a point on the East line of the SW ¼ of said Section 12 and the Baseline of Survey of State Road 7 (U.S. 441) as shown on said map; thence South 02 Degrees 00 Minutes 57 Seconds East along said East line of the SW 1/4 and said Baseline of Survey, a distance of 24.81 feet; thence South 87 Degrees 59 Minutes 03 Seconds West along a line at a right angle to the last described course, a distance of 50.00 feet to a point on the Westerly Existing Right of Way line of said State Road 7 (U.S. 441) and the Southerly Existing Right of Way line of Taft Street, as shown on said map; thence South 88 Degrees 12 Minutes 13 Seconds West along the North line of said Lot 1 and said Southerly Existing Right of Way line, a distance of 13.83 feet to the POINT OF BEGINNING; thence continue South 88 Degrees 12 Minutes 13 Seconds West along said North line of Lot 1 and said Southerly Existing Right of Way line, a distance of 61.51 feet; thence South 02 Degrees 01 Minutes 41 Seconds East, a distance of 9.68 feet; thence North 88 Degrees 12 Minutes 13 Seconds East, a distance of 26.44 feet; thence South 39 Degrees 45 Minutes 16 Seconds East, a distance of 47.22 feet; thence South 02 Degrees 00 Minutes 57 Seconds East, a distance of 46.18 feet to a point on the South line of said Lot 2; thence North 88 Degrees 12 Minutes 13 Seconds East along said South line of Lot 2, a distance of 6.20 feet; thence North 02 Degrees 01 Minutes 58 Seconds West, a distance of 93.09 feet to the POINT OF BEGINNING.

PROJECT DESCRIPTION:

The project is proposing a locksmith business development on the empty land located at 1650 N State Road 7, Hollywood, Florida 33024. The proposed projects is proposing Two new buildings, on site drainage, and landscape work. The use of the buildings will be commercial, specifically a locksmith business. One building will be dedicated to sales and the other building will be for service.

The requested variance is to reduce setbacks on the North and East side of the property and gain some square footage on both buildings to make a better work and customer service environment.

TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD

Ownership and Encumbrance Report

File No. 1650 N. STATE ROAD 7, HOLLYWOOD, FL 33024

Effective Date: March 11, 2019

Description of the Real Property Situated in Broward County, Florida:

LOTS 1 AND 2, BLOCK 1, HOLLYWOOD SUBURBS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 4, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. LESS THERE FROM THE EAST 25 FEET FOR ROAD RIGHT-OF-WAY. TOGETHER WITH THE EAST 7.5 FEET OF THAT CERTAIN 15 FOOT ALLEY AS SHOWN SAID PLAT OF HOLLYWOOD SUBURBS (NOW VACATED) LYING WEST OF AND ADJACENT TO THE ABOVE DESCRIBED PROPERTY.

LESS AND EXCEPT PORTION CONVEYED TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION IN OFFICIAL RECORDS BOOK 50363, PAGE 1630 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS;

A PORTION OF LOTS 1 AND 2, BLOCK 1, HOLLYWOOD SUBURBS, A SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING IN SECTION 12, TOWNSHIP 51 SOUTH, RANGE 41 EAST AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP OF STATE ROAD 7 (U.S. 441), ITEM/SEGMENT NO. 2277751, SECTION 86100-2528 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A BROWARD COUNTY ENGINEERING DEPARTMENT BRONZE DISK IN CONCRETE, FOUND MARKING THE WEST 1/4 CORNER OF SAID SECTION 12; THENCE NORTH 88 DEGREES 12 MINUTES 13 SECONDS EAST ALONG THE NORTH LINE OF THE SW 1/4 OF SAID SECTION 12 AND THE BASELINE OF SURVEY OF TAFT STREET AS SHOWN ON SAID MAP, A DISTANCE OF 2,668.53 FEET TO A POINT ON THE EAST LINE OF THE SW 1/4 OF SAID SECTION 12 AND THE BASELINE OF SURVEY OF STATE ROAD 7 (U.S. 441) AS SHOWN ON SAID MAP; THENCE SOUTH 02 DEGREES 00 MINUTES 57 SECONDS EAST ALONG SAID EAST LINE OF THE SW 1/4 AND SAID BASELINE OF SURVEY, A DISTANCE OF 24.81 FEET; THENCE SOUTH 87 DEGREES 59 MINUTES 03 SECONDS WEST ALONG A LINE AT A RIGHT ANGLE TO THE LAST DESCRIBED COURSE, A DISTANCE OF 50.00 FEET TO A POINT ON THE WESTERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 7 (U.S. 441) AND THE SOUTHERLY EXISTING RIGHT OF WAY LINE OF TAFT STREET, AS SHOWN ON SAID MAP; THENCE SOUTH 88 DEGREES 12 MINUTES 13 SECONDS WEST ALONG THE NORTH LINE OF SAID LOT 1 AND SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 13.83 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88 DEGREES 12 MINUTES 13 SECONDS WEST ALONG SAID NORTH LINE OF LOT 1 AND SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 61.51 FEET; THENCE SOUTH 02 DEGREES 01 MINUTES 41 SECONDS EAST, A DISTANCE OF 9.68 FEET; THENCE NORTH 88 DEGREES 12 MINUTES 13 SECONDS EAST, A DISTANCE OF 26.44 FEET; THENCE SOUTH 39 DEGREES 45 MINUTES 16 SECONDS EAST, A DISTANCE OF 47.22 FEET; THENCE SOUTH 02 DEGREES 00 MINUTES 57 SECONDS EAST, A DISTANCE OF 46.18 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 2; THENCE NORTH 88 DEGREES 12 MINUTES 13 SECONDS EAST ALONG SAID SOUTH LINE OF LOT 2, A DISTANCE OF 6.20 FEET; THENCE NORTH 02 DEGREES 01 MINUTES 58 SECONDS WEST, A DISTANCE OF 93.09 FEET TO THE POINT OF BEGINNING.

Apparent Title vested in: MS Auto Sales, LLC, a Florida limited liability company

This title search does not cover matters other than those recorded in the Official Records Book of the County. Current and/or delinquent (if any) ad valorem tax information is not provided.

Encumbrances:

Outstanding Mortgages, Mechanic's Liens, Financing Statements:

- Mortgage in favor of 1650 N 441 Office, Inc., a Florida corporation recorded in O.R. Book 51022, Page 1246, of the Public Records of Broward County, Florida.

Unsatisfied judgments and Tax Liens (State and Federal and Other Liens for the recovery of money):

- NONE

Other (easements, Restrictions, Leases, Agreements for Deed, etc.) Recorded Subsequent to the Beginning Date of this Search:

- NONE

A 10-year name search has been performed on all record owners and mortgagees acquiring an interest within the time period covered by this search.

This Title Search is prepared and furnished for information only. It is not an opinion of title and is not intended for use as a title base for the issuance of a title insurance commitment and/or policy, nor should it be used for the preparation of foreclosure proceedings or other litigation. The liability assumed by the Company for the information contained in the Search is limited to the cost of the search.

Signed this 15th day of MARCH, 2019

Town & Country Title Guaranty of Hollywood, Inc.

By: 

Prepared by and return to:

David Weisman, Esquire
Attorney at Law
GREENSPOON MARDER, P.A.
200 E. Broward Blvd. Suite 1800
Fort Lauderdale, FL 33301
954-491-1120
File Number: 03763.0014

Parcel Identification No. 5141 1207 0010

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 14th day of August, 2014 between 1650 N. 441 OFFICE, INC., a Florida corporation whose post office address is 6001 N Ocean Drive, #1202, Hollywood, FL 33019 of the County of Broward, State of Florida, grantor*, and MS AUTO SALES LLC, a Florida limited liability company whose post office address is 4033 NW 85th Drive, Cooper City, FL 33024 of the County of Broward, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

See Exhibit "A" attached hereto

Subject to taxes for the current calendar year and subsequent years; zoning and/or restrictions and prohibitions imposed by governmental authority; restrictions and other matters appearing on the plat and/or common to the subdivision; utility easements of record; and also SUBJECT TO a Purchase Money First Mortgage, given by Grantor to Grantee, securing the original principal sum of \$55,000.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

LOTS 142
BLK 1
P4-22

DoubleTime®

(3)

Signed, sealed and delivered in our presence:

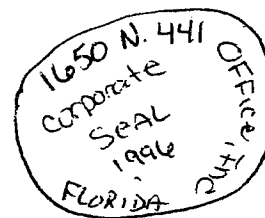
Misty Brannon
Witness Name: Misty Brannon
Catherine F. Aiello
Witness Name: CATHERINE F. AIELLO

1650 N. 441 OFFICE, INC., a Florida corporation

By: Mark J. Panciera

Mark J. Panciera, President

(Corporate Seal)



State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 14th day of August, 2014 by Mark J. Panciera, President of 1650 N. 441 OFFICE, INC., a Florida corporation, on behalf of the corporation. He ☐ is personally known to me or ☒ has produced FL DL as identification.

[Notary Seal]

Catherine F. Aiello
Notary Public

Printed Name: CATHERINE F. AIELLO

My Commission Expires: _____

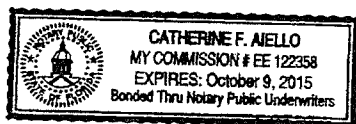


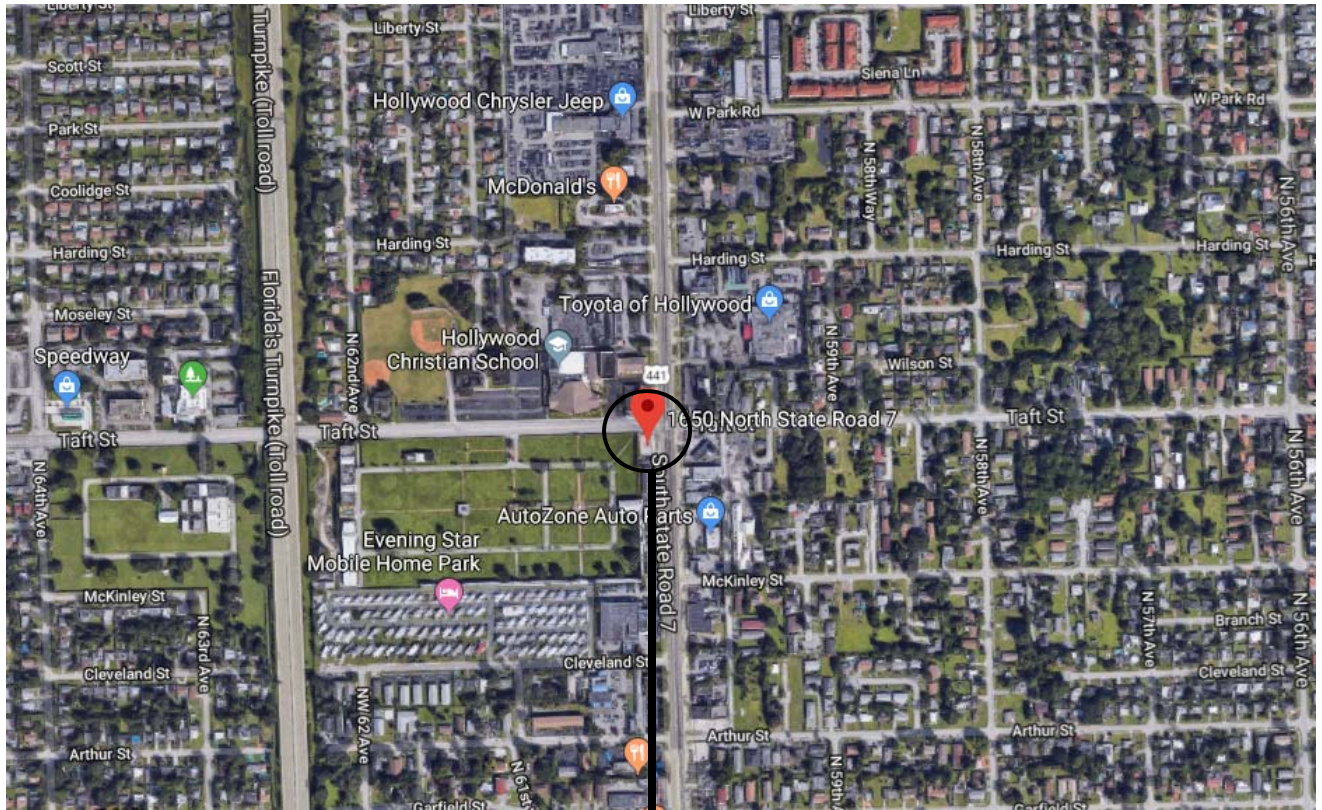
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Less and except portion conveyed to the State of Florida Department of Transportation in Official Records Book 50363, Page 1630 of the Public Records of Broward County, Florida, described as follows;

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Commence at a Broward County Engineering Department bronze disk in concrete, found marking the West ¼ Corner of said Section 12; thence North 88 Degrees 12 Minutes 13 Seconds East along the North line of the SW ¼ of said Section 12 and the Baseline of Survey of Taft Street as shown on said map, a distance of 2,668.53 feet to a point on the East line of the SW ¼ of said Section 12 and the Baseline of Survey of State Road 7 (U.S. 441) as shown on said map; thence South 02 Degrees 00 Minutes 57 Seconds East along said East line of the SW ¼ and said Baseline of Survey, a distance of 24.81 feet; thence South 87 Degrees 59 Minutes 03 Seconds West along a line at a right angle to the last described course, a distance of 50.00 feet to a point on the Westerly Existing Right of Way line of said State Road 7 (U.S. 441) and the Southerly Existing Right of Way line of Taft Street, as shown on said map; thence South 88 Degrees 12 Minutes 13 Seconds West along the North line of said Lot 1 and said Southerly Existing Right of Way line, a distance of 13.83 feet to the POINT OF BEGINNING; thence continue South 88 Degrees 12 Minutes 13 Seconds West along said North line of Lot 1 and said Southerly Existing Right of Way line, a distance of 61.51 feet; thence South 02 Degrees 01 Minutes 41 Seconds East, a distance of 9.68 feet; thence North 88 Degrees 12 Minutes 13 Seconds East, a distance of 26.44 feet; thence South 39 Degrees 45 Minutes 16 Seconds East, a distance of 47.22 feet; thence South 02 Degrees 00 Minutes 57 Seconds East, a distance of 46.18 feet to a point on the South line of said Lot 2; thence North 88 Degrees 12 Minutes 13 Seconds East along said South line of Lot 2, a distance of 6.20 feet; thence North 02 Degrees 01 Minutes 58 Seconds West, a distance of 93.09 feet to the POINT OF BEGINNING.



SUBJECT PROPERTY LOCATION
1650 N. STATE ROAD 7
HOLLYWOOD, FLORIDA



PROPERTY ON THE EAST SIDE



PROPERTY ON THE WEST SIDE



PROPERTY ON THE NORTH SIDE



PROPERTY ON THE SOUTH SIDE



SUBJECT PROPERTY

VARIANCE CRITERIA:

The Variance is being requested is as follows:

That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city;

The variance being requested for the front setback from 10'-0" to 0'-0" along State Road -7 and Taft Street. The property is about 4771 square feet in area. Due to the parking, driveway, sidewalk, drainage and rear and side setbacks and landscape requirements we can built only build 20% of the land as customers care and service area. The requested variance will allow us to us build 24% of the land (1155 Square feet) as sales and service area. We can serve better service to the customers.

- a) That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and

The proposed building land use and occupancy will allow us to serve the community of City of Hollywood. We believe better customer service will bring good reputation to the City of Hollywood.

- b) That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and

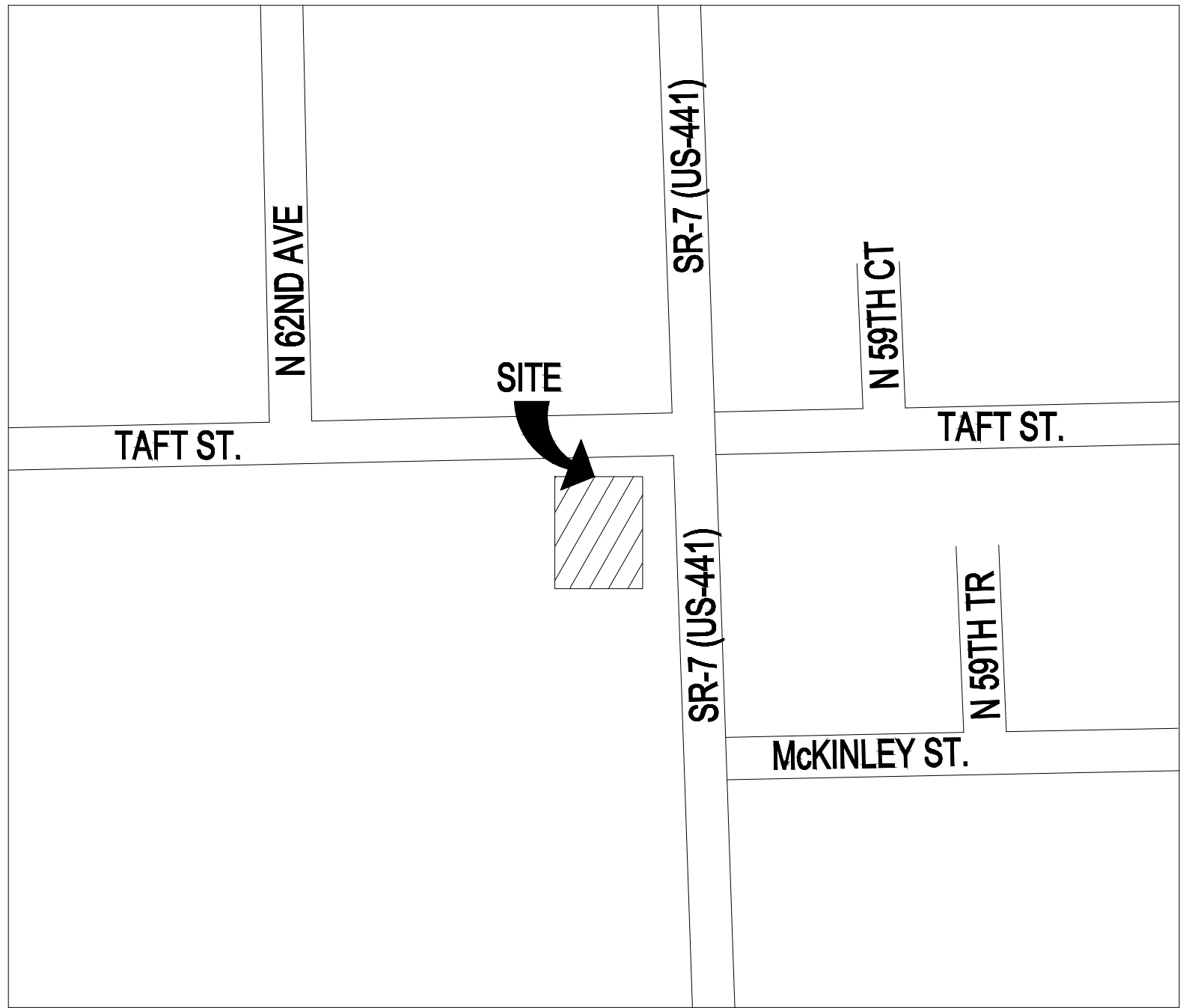
The proposed building land use and occupancy will benefit greatly and goals, objectives and policies of the comprehensive plan.

- c) That the need for the requested Variance is not economically based or self-imposed; or

The requested variance is not economically based or self-imposed but rather necessary because of the City's Zoning setback requirement changes.

- d) That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

No State or Federal laws are affected by this variance request.



LOCATION SKETCH

N.T.S.

ZONING CODE : SR-1 CCD LHC
ZONING DESCRIPTION : COMMERCIAL CORRIDOR DISTRICT - LOW
HYBRID SUB-AREA
MAIN USES : LOCK SMITH

LAND DEVELOPMENT INFORMATION

SET BACK : PER CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATION SECTION 4.20

DEPTH	SIDE OR REAR YARD SET BACK		FRONT SET BACK	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
MORE THAN 50 FT BUT 100 FT	5 FT	5 FT	10 FT	0 FT 100% VARIANCE

PARKING : PER CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATION SECTION 1.2

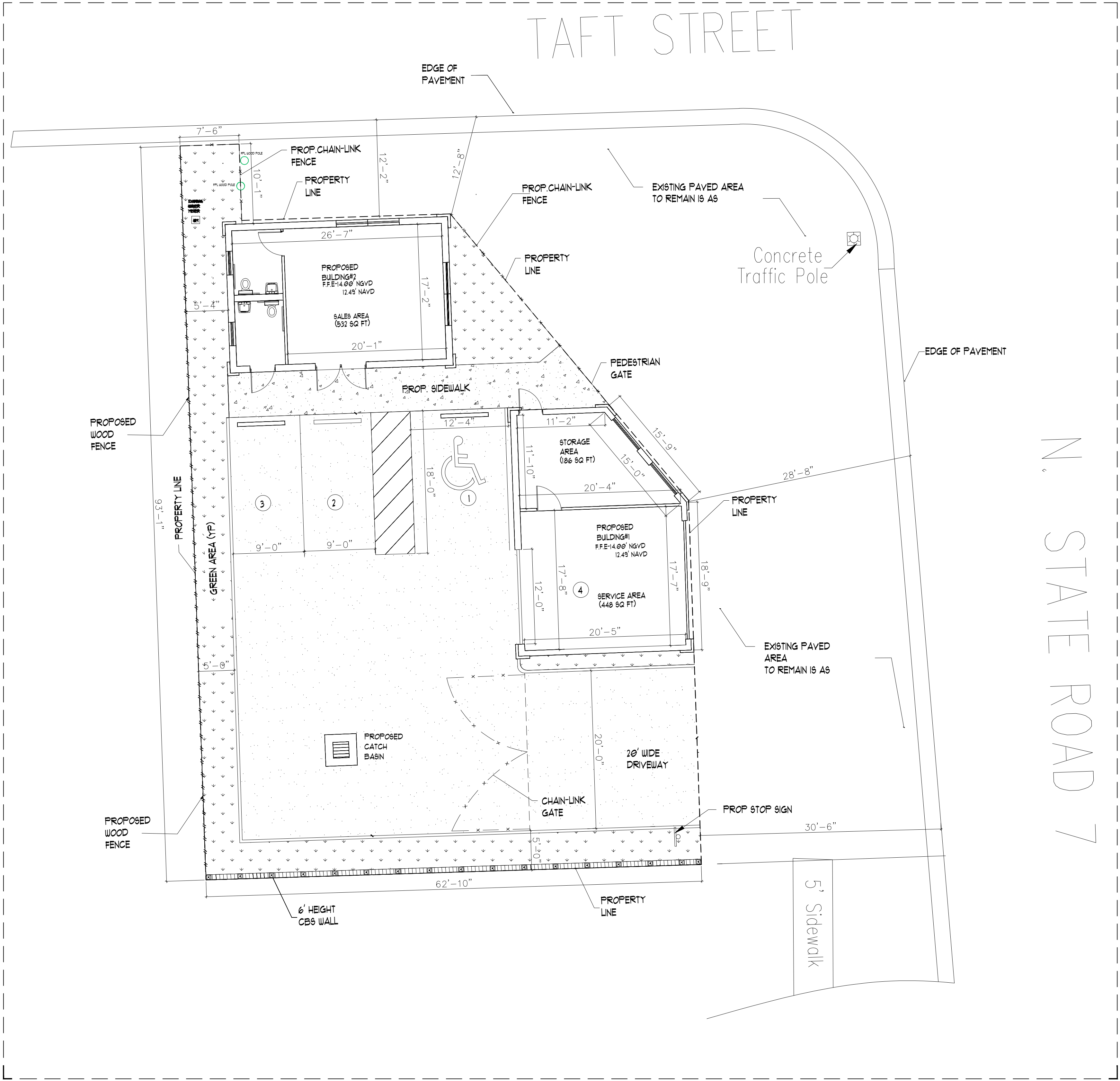
REQUIRED	PROVIDED
SALES AREA(1 PER / 250 SQ.FT.)= 532/250 = 2 SPACES STORAGE AREA (1 PER /1000 SQ. FT.) = 186/100= 1 SPACE SERVICE AREA WILL HAVE ONE CAR PARK FOR SERVICING	4 (2 REG. + 1 H.C.+ 1 SERVICE PARKING)

TOTAL PROPERTY AREA: 4,114 SQ FT
BUILDING -1(STORAGE & SERVICE):
TOTAL BUILDING - 623 SQ FT.
STORAGE - 186 SQ.FT.
SERVICE - 448 SQ.FT.

BUILDING -2 (SALES AREA): 532 SQ FT.

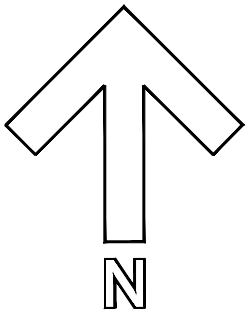
DRIVEWAY & PARKING (ASPHALT): 2356 SQ FT.
SIDEWALK (CONCRETE): 265 SQ FT.
TOTAL IMPERVIOUS AREA:: 3716 SQ FT (79%)
PERVIOUS (GREEN) AREA : 998 SQ FT (21%)

TOTAL LENGTH OF THE CBS PERIMETER WALL- 63 LINEAR FEET.
CHAIN-LINK FENCE WITH GATE- 60 LINEAR FEET.
WOOD FENCE- 93 LINEAR FEET



SITE PLAN

(SCALE: 1/8" = 1'-0")



FBC 2017 6TH-EDITION
OCCUPANCY B
LEVEL OF ALTERATION II
TYPE OF CONSTRUCTION = II B

Call 48 hours
before you dig
It's the Law
Sunshine State One Call Of Florida, Inc.

MAQSOOD M. NASIR
LICENCE NUMBER
63916

PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

REVISION		
NO.	DATE	DESCRIPTION
1	02/02/18	CITY COMMENTS
2		
3		
4		
5		
6		
7		

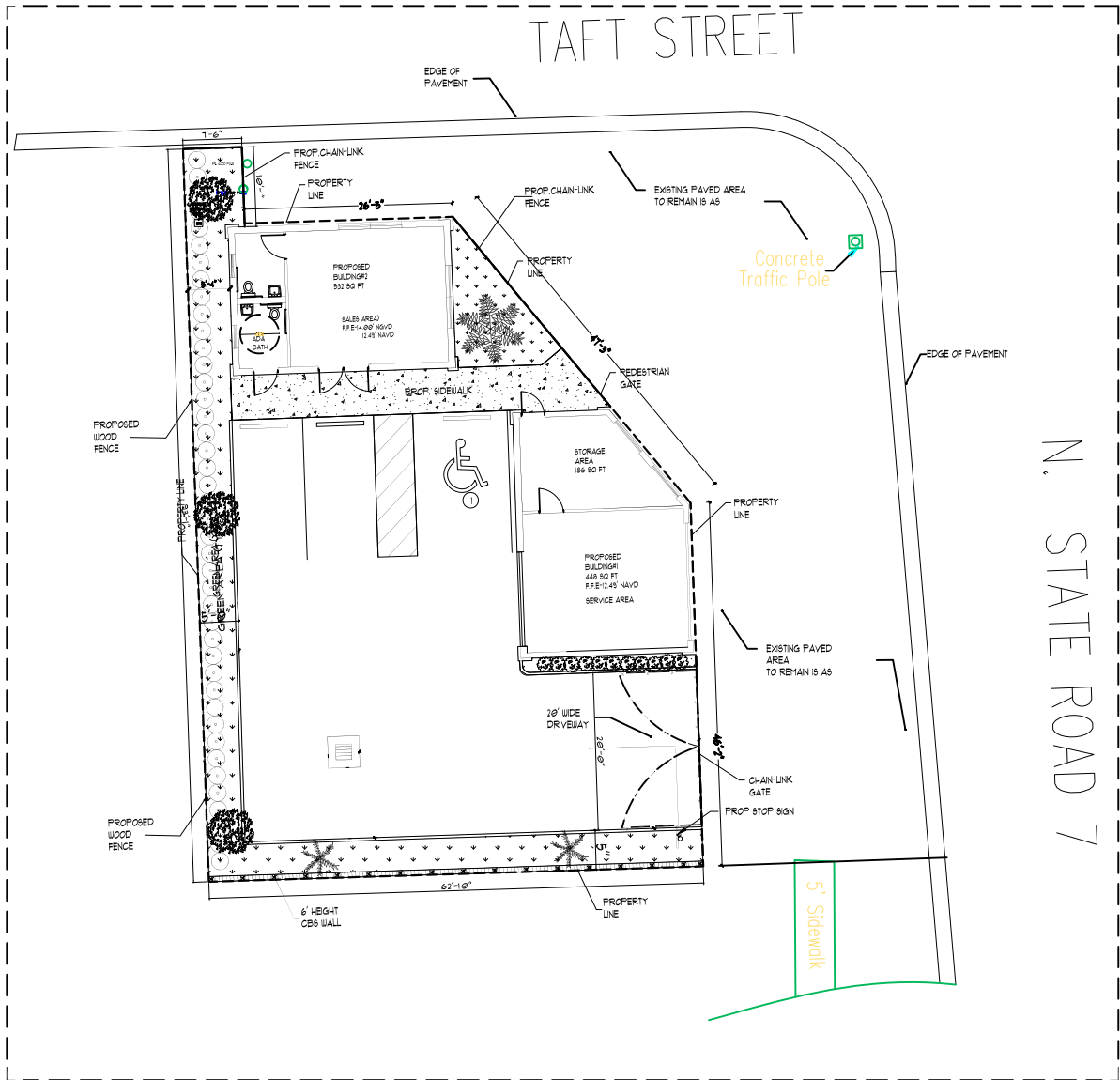
GENERAL CONTRACTOR NOTES
THIS SHEET OF DRAWING AND SPECIFICATIONS
IS A PART OF THE CONTRACT DOCUMENT, PLEASE
VERIFY ALL THE DETAILS WRITTEN ON EACH SHEET
IN ORDER TO COMPLETE THE SCOPE OF WORK
YOU ARE HIRED TO DO. FAILURE BY THE GENERAL
CONTRACTOR TO FOLLOW THE DRAWING PLANS AND
ITS SPECIFICATIONS SHALL NOT BE CAUSE FOR
ADDITIONAL WORK BY THE ENGINEER.COORDINATION
OF THE WORK, AND OF THE SUBCONTRACTORS
IS THE RESPONSIBILITYOF THE GENERAL CONTRACTOR.

DESIGN-MAX ENGINEERING
CONSULTANT INC. CA-32192
1004 GRIFFIN RD, SUIT #304B
COOPER CITY,FLORIDA-3332
WWW.DESIGN-MAX.US
INFO@DESIGN-MAX.US

PROPOSED LOCKSMITH SHOP
1650 N STATE ROAD 7
HOLLYWOOD, FL 33024

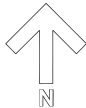
DATE: 05/16/2019
DRAWN BY DM
PROJECT NO. 2019-0089
REVISED BY MN

SHEET NO. **SP-1**



LANDSCAPE PLAN

(3/32" = 1'-0")



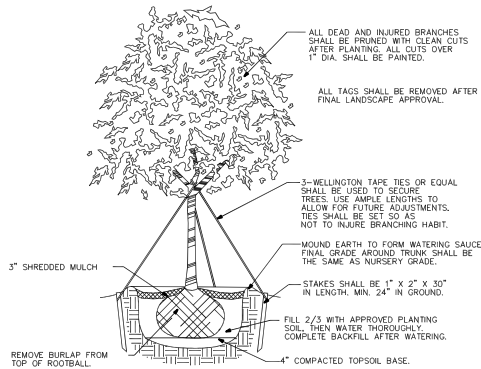
FBC 2011 6TH-EDITION
OCCUPANCY B
LEVEL OF ALTERATION II
TYPE OF CONSTRUCTION = II B

PLANT LIST			
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE @ PLANTING	QTY
SB	BURSERA SIMARUBA GUMBO LIMBO	12" HI 10" Spr. 2.5" CH. DBH.	02
DR	QUERCUS VIRGINIANA WHITE OAK	12" HI 10" Spr. 2.5" CH. DBH.	02
CC-1	CHRYSOBALANUS ICAGO-COCOPLUM	24" HI X 24" Spr. 24" O.C. Spacing	76
CC-2	CHRYSOBALANUS ICAGO-COCOPLUM	30" HI X 24" Spr. 24" O.C. Spacing	13
CP	TUSKEGEE CRAPE MYRTLE	10" HT X 10" 6" PR. 6" O.C. TRUNKS MIN. 1.5" CAL. PER TRUNK	01
SOD	ST. AUGUSTINE GRASS	SOLID SOD RIGHT JOINTS, NEED FREE	AS NEEDED

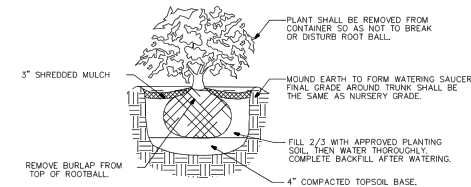
PLANT LEGEND		
SYMBOL	BOTANICAL NAME / COMMON NAME	REMARKS
SB	BURSERA SIMARUBA GUMBO LIMBO	
DR	QUERCUS VIRGINIANA WHITE OAK	
CP	TUSKEGEE CRAPE MYRTLE	
CC-1	CHRYSOBALANUS ICAGO-COCOPLUM	
CC-2	CHRYSOBALANUS ICAGO-COCOPLUM	

LANDSCAPE NOTES:

All plant material to be Florida 1 or better.
Sod to be St. Augustine Floratant, contractor to determine quantity.
All sod and landscape to receive 100 coverage from automatic irrigation system using approved water source with 100 coverage and 50 overlap with rain sensor.
Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.
Mulch, topsoil, and fertilizer to be applied according to specifications.
SPECIFICATIONS
NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards, and shall be Florida Grade 1 or better.
Plants which do not meet specifications will not be accepted.
PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists.
Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant list. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.
SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect.
Any intended substitutions shall be detailed on the bid.
PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material.
Trees and palms shall be planted with a min. of 8" topsoil (50 muck, 50 sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.
FERTILIZER: Micronutrient fertilizer shall be applied after planting and prior to mulching at the manufacturers recommended application rates. In addition, agriform tablets (formula 20-10-5) shall also be applied at the manufacturer's recommended rates to all plants larger than 3 gal. size.
MULCH: All trees shall be mulched with 3" of shredded cypress in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of shredded cypress in beds shown on plan or in beds 3' wide for hedges.
PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown.
Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.
WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.
GUYS: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.
SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 5-4-3 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.
GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project.
Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.



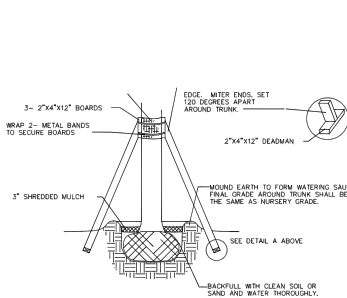
PLANTING AND STAKING DETAIL-UP TO 6" CALIPER



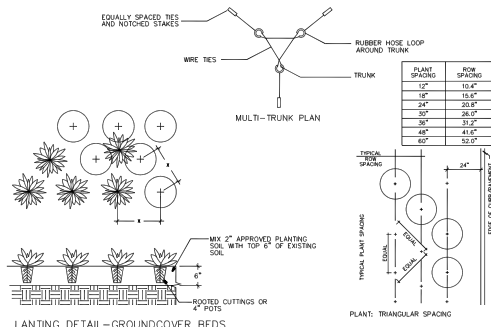
SHRUB PLANTING DETAIL

PLANTING DETAILS

NOTE: STAGING TO BE USED ONLY WHEN GUYING OR BRACING IS NOT POSSIBLE, AS FOR EXAMPLE WHEN PLANTING IS ADJACENT TO PAVEMENT



PLANTING AND STAKING DETAIL-PALMS



PLANTING DETAIL-GROUNDCOVER BEDS

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Sunshine State One Call Of Florida, Inc.

MAQSOOD M. NASIR
LICENCE NUMBER
63916

PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

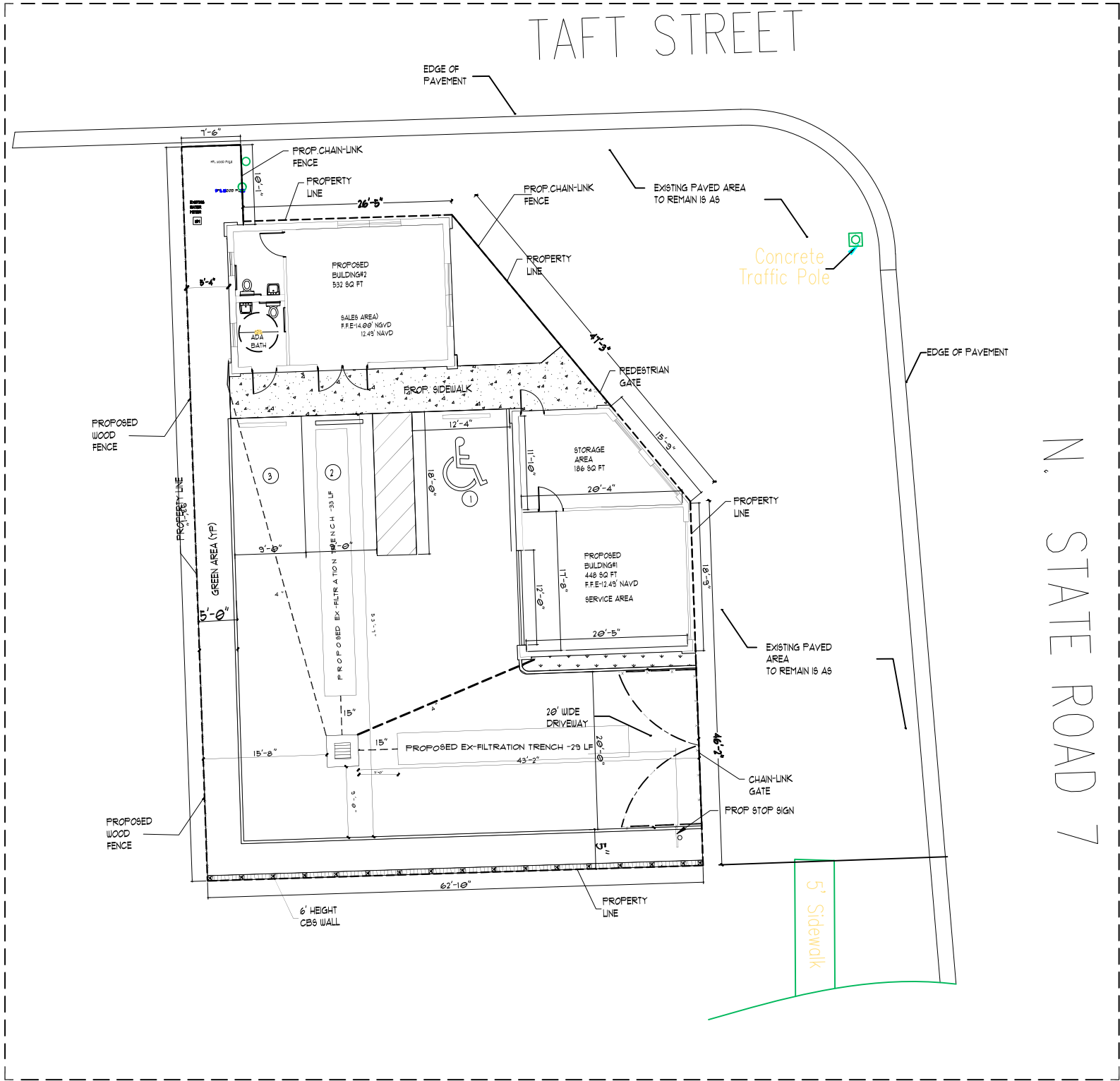
REVISION		
NO.	DATE	DESCRIPTION
1	02/02/18	CITY COMMENTS
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GENERAL CONTRACTOR NOTES
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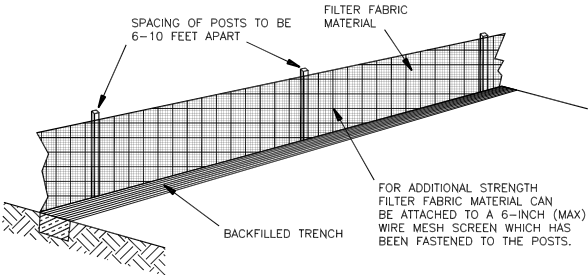
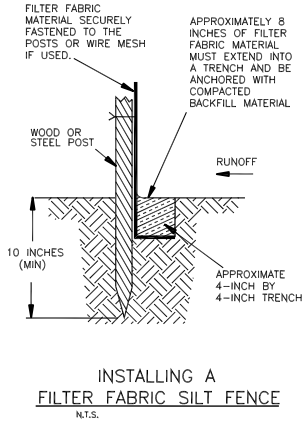
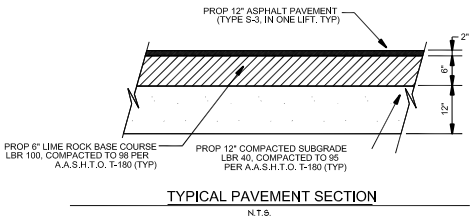
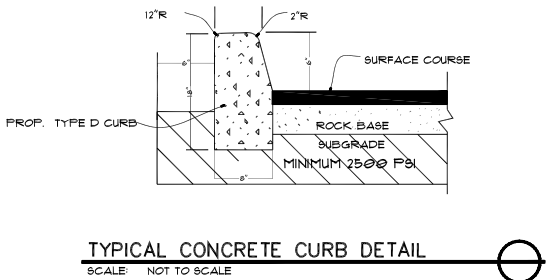
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PROPOSED LOCKSMITH SHOP
1650 N STATE ROAD 7
HOLLYWOOD, FL 33024

DATE: 03/10/2019
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SHEET NO. L-1



CIVIL PLAN
(1/8" = 1'-0")



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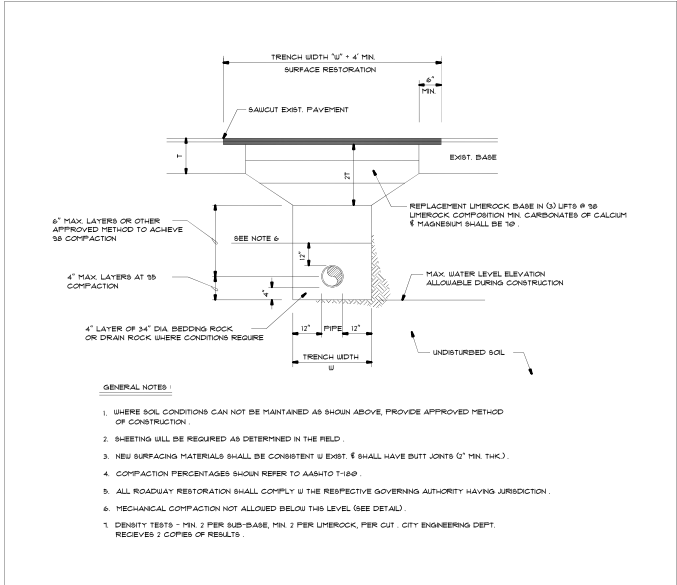
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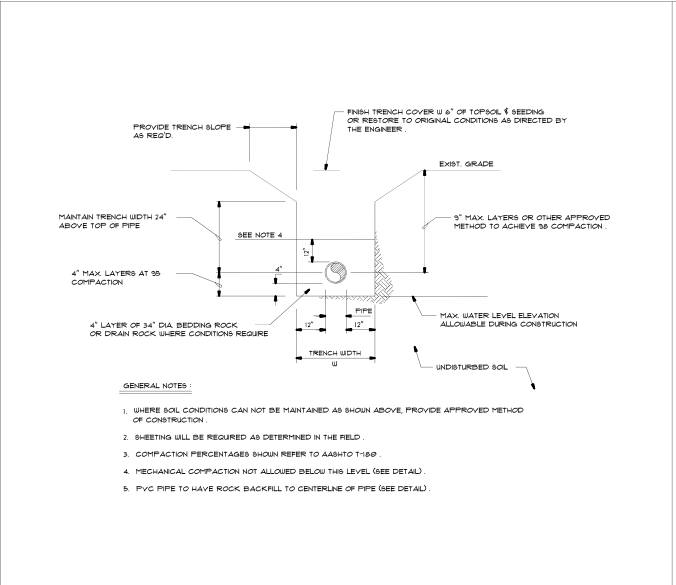
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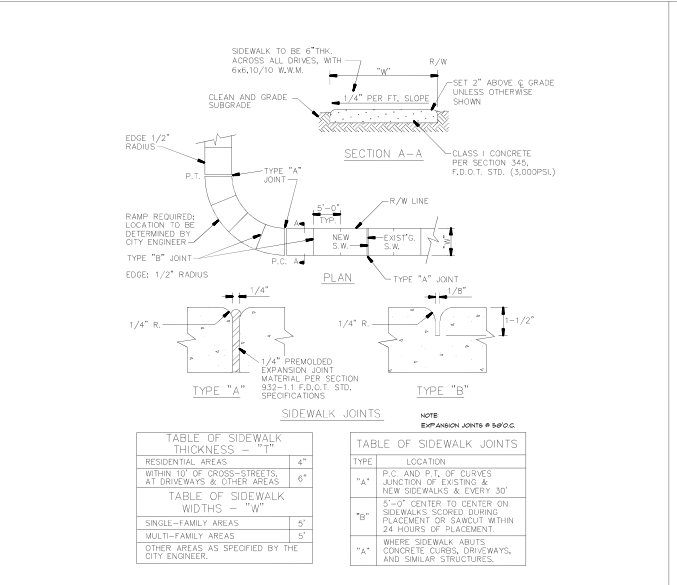
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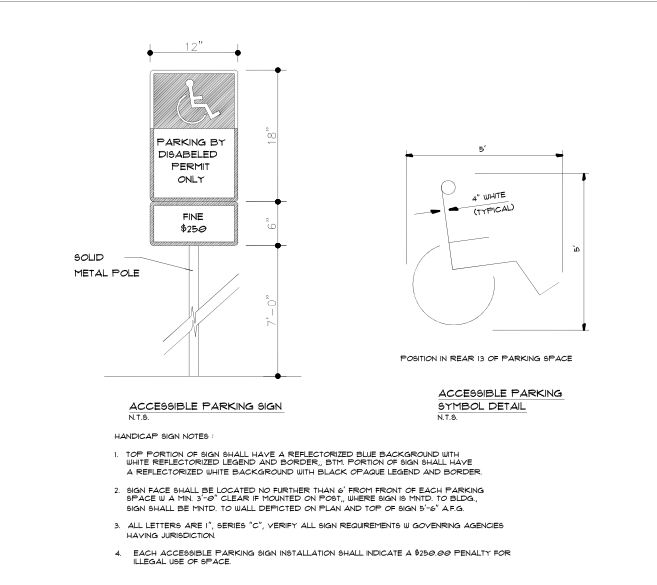
ASPHALT RESTORATION DETAIL



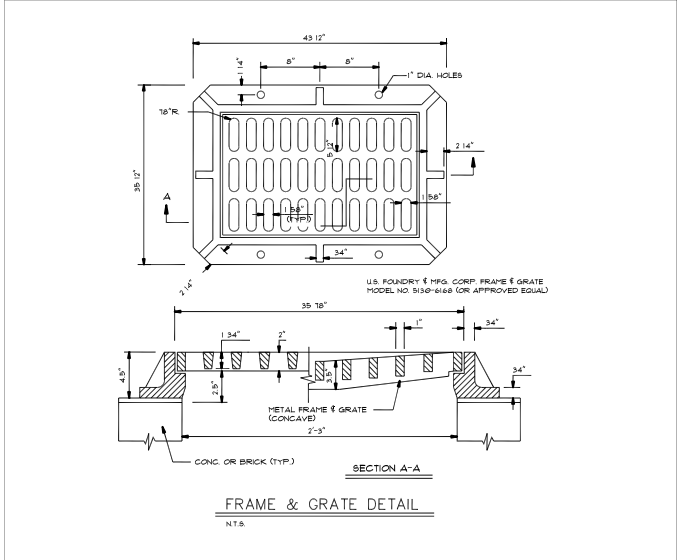
STANDARD TRENCH DETAIL



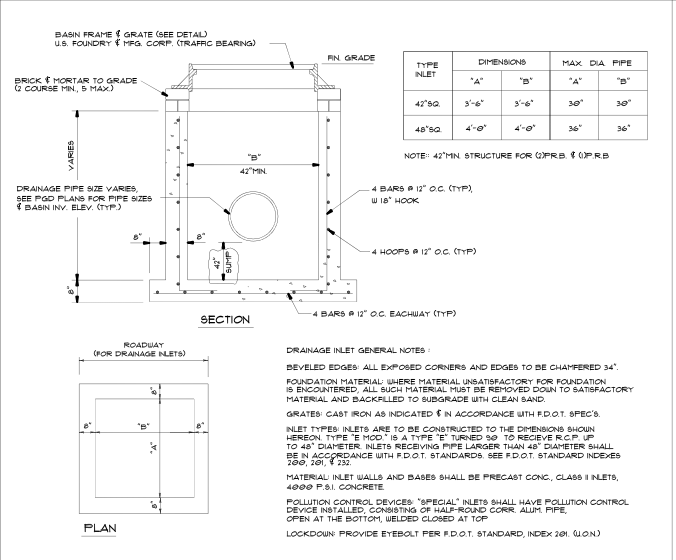
SIDEWALK DETAIL



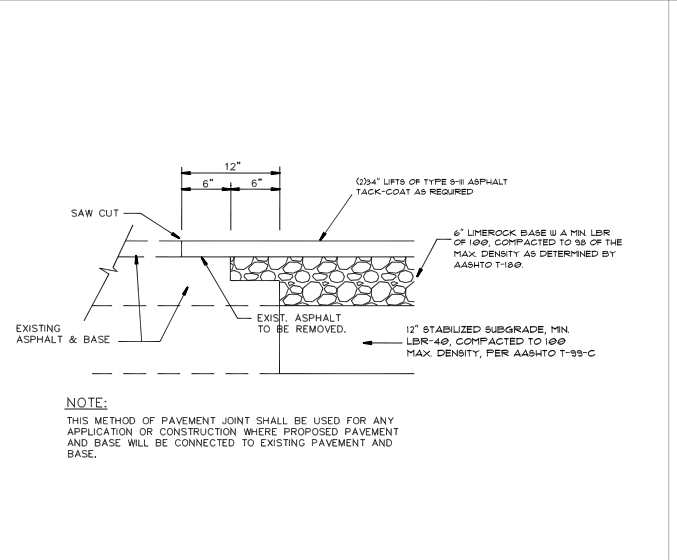
HANDICAP STRIPING DETAIL



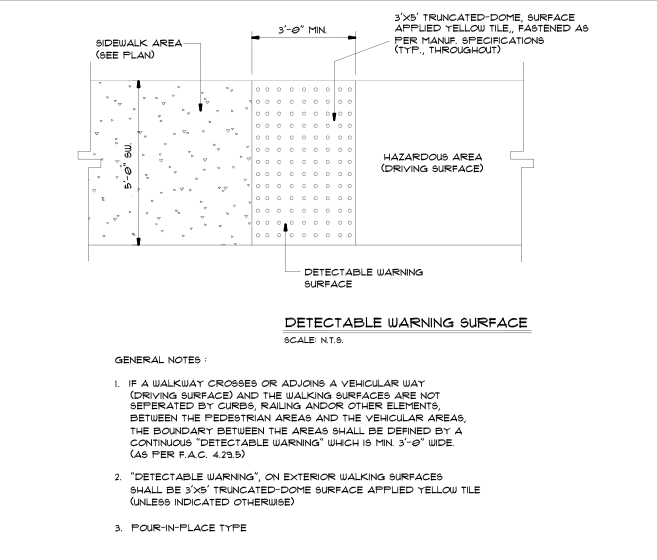
FRAME GRATE DETAIL



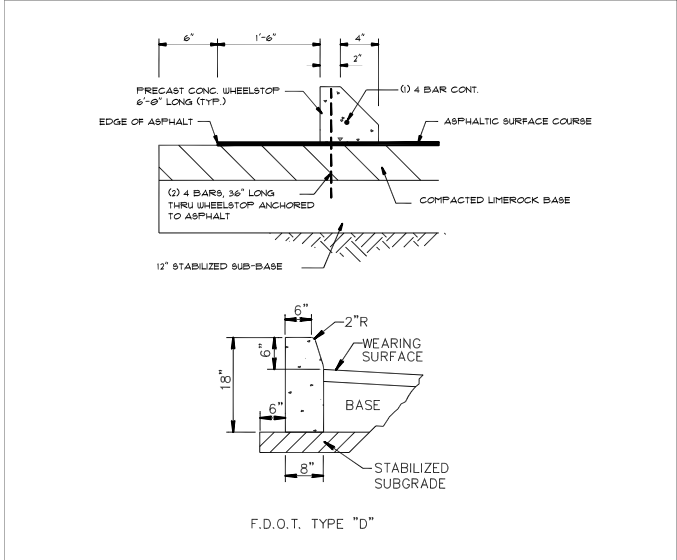
CATCH BASIN DETAIL



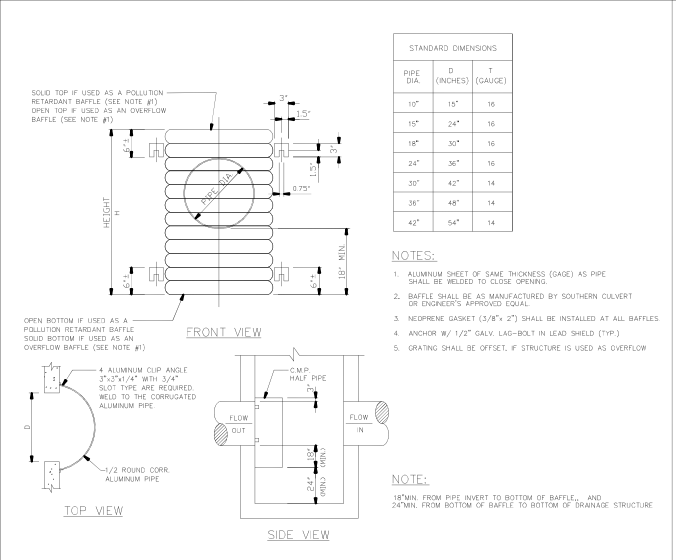
ASPHALT CONNECTION DETAIL



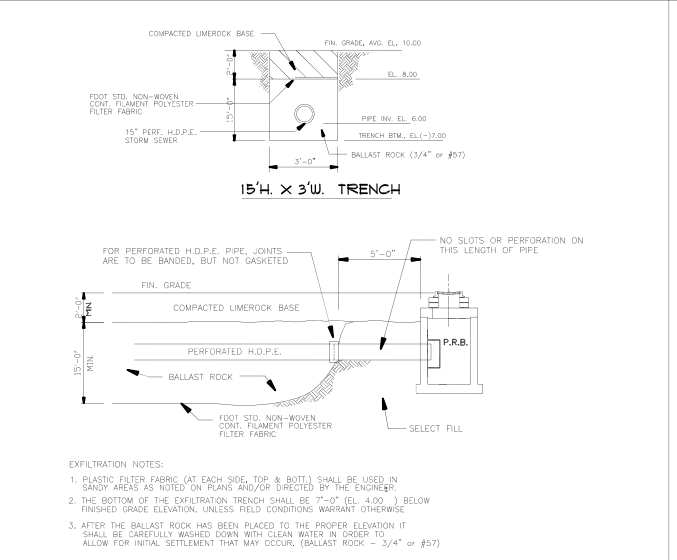
DETECTABLE WARNING DETAIL



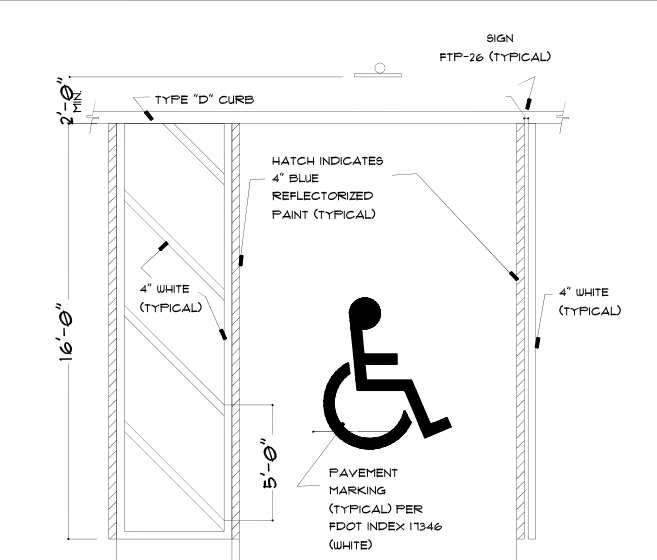
CONC. CURB & WHEELSTOP DETAIL



POLLUTION RETARDANT BAFFLE



EXFILTRATION TRENCH DETAIL



DETECTABLE WARNING DETAIL

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MAQSOOD M. NASIR
LICENCE NUMBER
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PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

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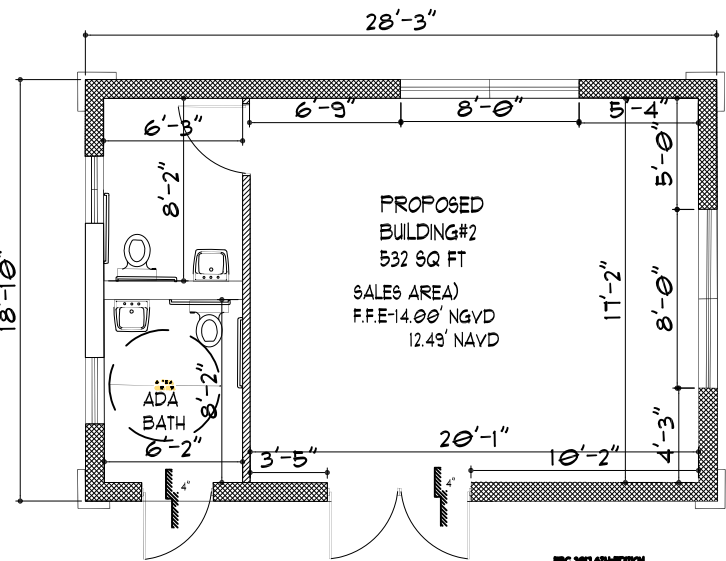
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PROPOSED LOCKSMITH SHOP
1650 N STATE ROAD 7
HOLLYWOOD, FL 33024

DATE: 03/10/2019
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SHEET NO. **C-2**



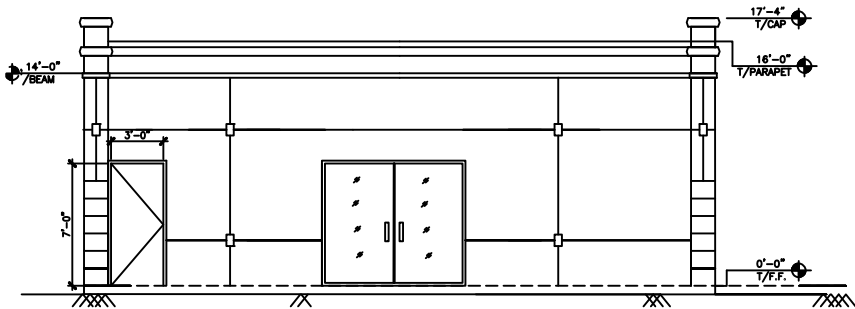
BUILDING -2 FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIG. 2071 6TH EDITION
OCCUPANCY 9
LEVEL OF ALTERATION 1
TYPE OF CONSTRUCTION - 11 B

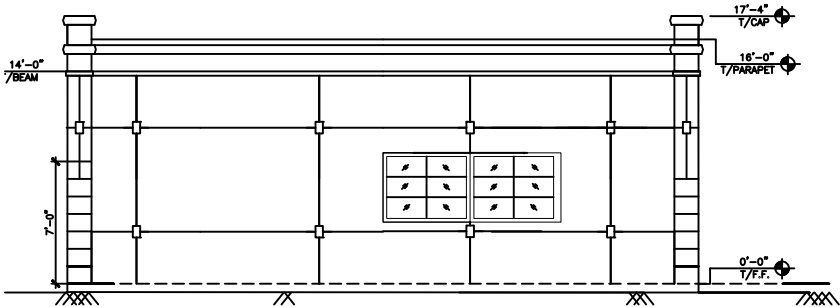
WINDOW SCHEDULE					
NO.	TYPE	SIZE		REMARKS	QUANTITY
		WIDTH	HEIGHT		
W1	SH24	60"	60"	CASEMENT	2
W2	SH24	72"	60"	CASEMENT	2

DOOR SCHEDULE						
NO.	SIZE	THK	TYPE	PRESURE	REMARKS	QUANTITY
D1	3'-0" X 6'-0"		OUT SWING	-45.6 +42.9	EXTERNAL GLASS DOOR	1
D2	3'-0" X 6'-0"		SWING	-	INTERNAL	1
D3	12'-0" X 9'-0"		ROLLING GARAGE DOOR	-42.5 +39.9	EXTERNAL	1
D4	3'-0" X 6'-0"		SWING	-	INTERNAL	2
D5	14'-0" X 9'-0"		ROLLING GARAGE DOOR	-42.5 +39.9	EXTERNAL	1



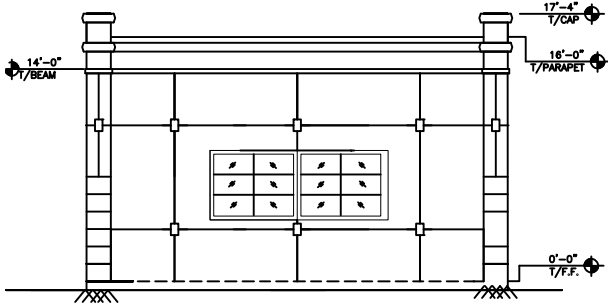
EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



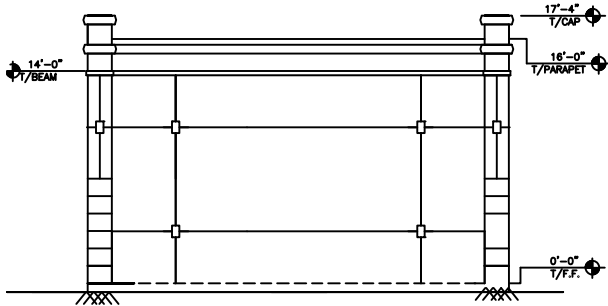
WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



NORTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISION		
NO.	DATE	DESCRIPTION
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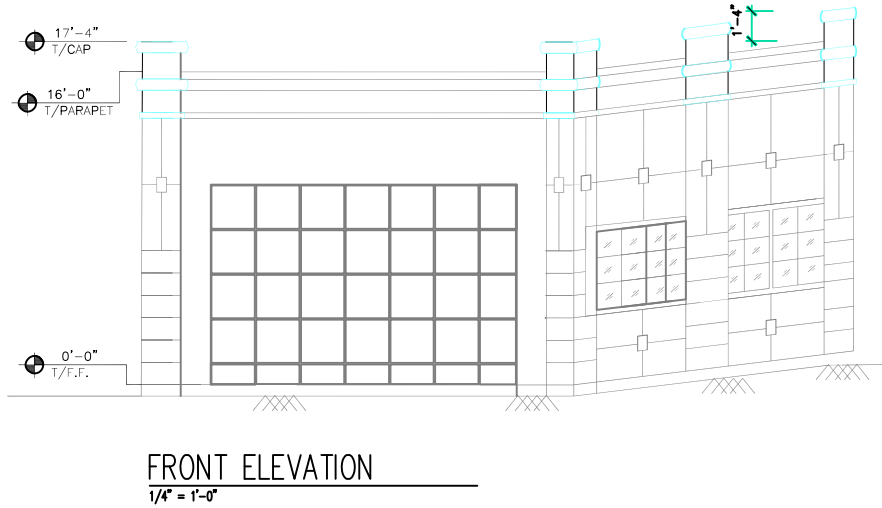
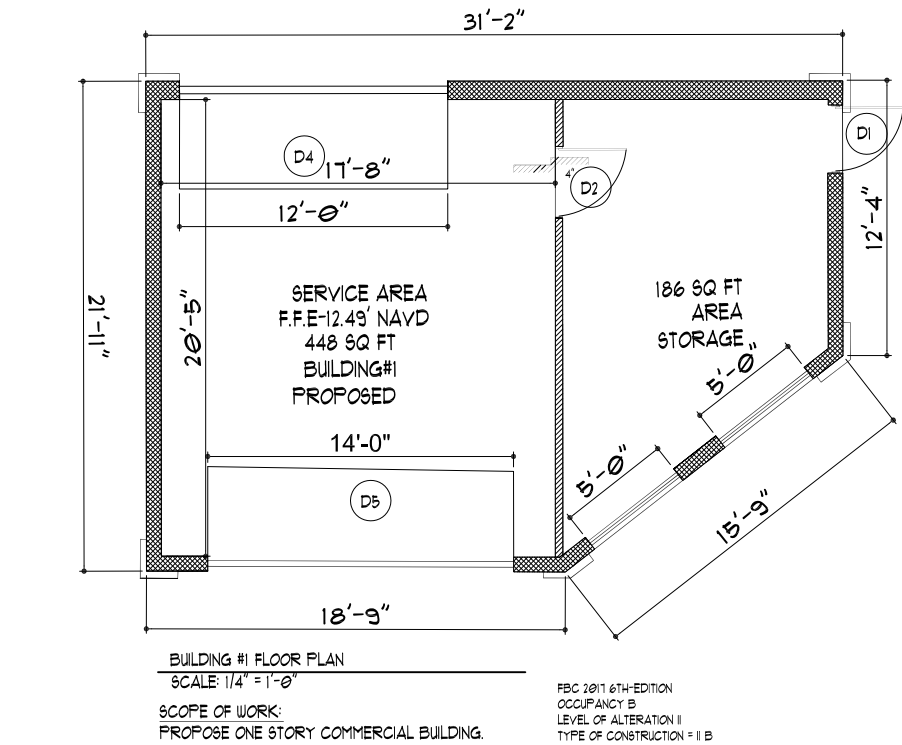
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WINDOW SCHEDULE					
NO.	TYPE	SIZE		REMARKS	QUANTITY
		WIDTH	HEIGHT		
W1	SH24	60"	60"	CASEMENT	2
W2	SH24	72"	60"	CASEMENT	2

DOOR SCHEDULE						
NO.	SIZE	THK	TYPE	PRESURE	REMARKS	QUANTITY
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