

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 4/15/19

Location Address: 5740 Hollywood BLVD.

Lot(s): 1,2,3 & 4 Block(s): 7 Subdivision: _____

Folio Number(s): 514113231470

Zoning Classification: OM Land Use Classification: OFF

Existing Property Use: Office Building Sq Ft/Number of Units: 13,769 sf

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: The existing property has an open parking lot at entire ground floor. The security at night is difficult.

Vandalism and sexual acts are taking place. New building owner is requesting a variance to allow for an enclosed lobby and covered central located air-conditioned stair from that lobby. the proposed stairway will require front front setback to be reduced from 20'-00" to 10'-3".

Number of units/rooms: N/A Sq Ft: 15,298 sf

Value of Improvement: _____ Estimated Date of Completion: 8/1/2019

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: 5740 Hollywood Boulevard, LLC

Address of Property Owner: 5740 Hollywood BLVD. Suite 200 Hollywood, FL

Telephone: (954)518.7179 Fax: (954)518.9701 Email Address: simon.weiss@sweissmd.com

Name of Consultant/Representative/Tenant (circle one): Eduardo Vazquez RA

Address: 8425 Biscayne BLVD. Suite 103 Miami, FL Telephone: (305)758.4566

Fax: (305)758.4567 Email Address: eavarchitect@gmail.com

Date of Purchase: 02/28/2019 Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 4/17/2019

PRINT NAME: SIMON WEISS

Date: 4/17/2019

Signature of Consultant/Representative: _____

Date: 4/17/2019

PRINT NAME: EDUARDO VAZQUEZ

Date: 4/17/2019

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 17 day of April

Signature of Current Owner

Print Name

Notary Public
State of Florida

My Commission Expires: 6/28/2020 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____





March 7, 2019

Hollywood Stair Addition
5740 Hollywood Blvd.
Hollywood, FL

Legal Description:

Lots 1,2,3 and 4 in Block 7 of "Lawn Acres" according to the plat thereof as recorded in Plat Book 36 at Page 3 of the public records of Broward County, Florida.

Project Description:

The existing property has an open parking lot at entire ground floor. The only enclosure is 2 exterior stairs and elevator. The security at evenings and night is difficult and vandalism and sexual acts are taking place. The New building owner requesting a Variance to allow for an enclosed lobby and centrally location covered air-conditioned stair from that lobby. The proposed stairway will require front setback to be reduced from 20'-0" to 10'-3".



March 7, 2019

Hollywood Stair Addition
5740 Hollywood Blvd.
Hollywood, FL

VARIANCE CRITERIA

The Variance is being requested is as follows:

a. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city; and

The Variance being requested for front setback from 20'-0" to 10'-3" along Hollywood Boulevard. The request maintains the basic intent and purpose of subject regulations and fits within the requirements as the stairway width along Hollywood Boulevard is 6% of the lot frontage. The stair is placed at the entrance to the parking area and at the lobby. The design gives importance to the center of the building and reinforces the entry point.

b. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community; and

The existing building land use and occupancy is unchanged, and the security enhancement will benefit greatly the community.

c. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city; and

The existing building land use and occupancy is unchanged, and the security enhancement will benefit greatly the goals, objectives and policies of the Comprehensive Plan.



d. That the need for the requested Variance is not economically based or self-imposed;
or

The requested Variance is not economically based or self-imposed. In fact the additional cost to build the stair and lobby is being provided by owner at no additional benefit or increase to the building rentable square footage.

e. That the variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

No State or Federal Laws are affected by this Variance request.



Building Perspective



East of the building



East of the building 1



East of the building 2



West of the building



West of the building 2



West of the building 2



East of the building 3



ABBREVIATIONS:

CONC. CONCRETE
C.B.S. CONCRETE BLOCK & STUCCO
(TYP) TYPICAL
A/C AIR CONDITION

SKETCH OF SURVEY

PREPARED BY:
GUNTER GROUP, INC.
LAND SURVEYING - LAND PLANNING
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 4507
9350 S.W. 22nd TERRACE
MIAMI, FLORIDA 33165
(305) 220-0073

LEGEND:

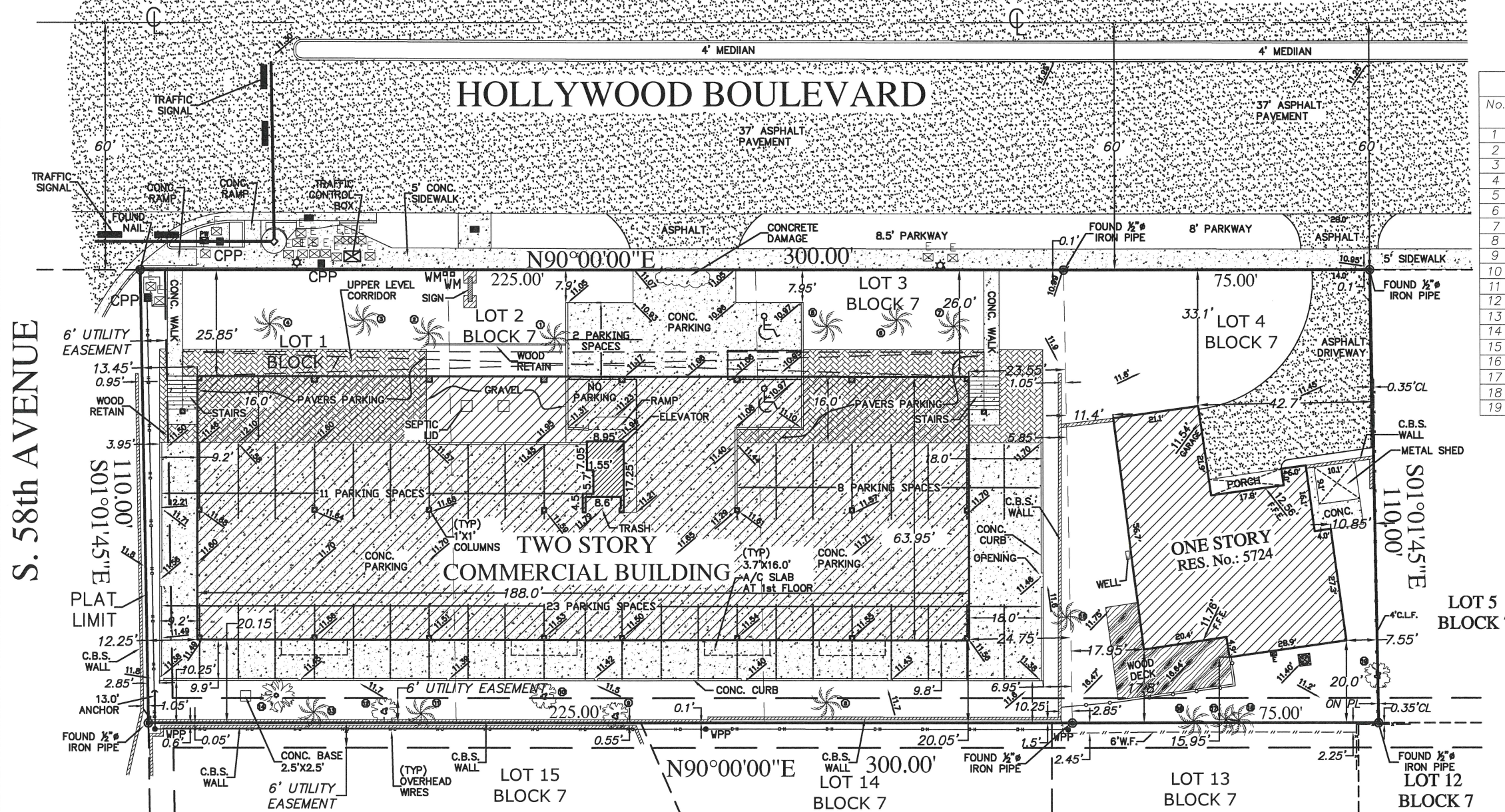
■ - CATCH BASIN
WM - WATER METER
VPP - WOOD POWER POLE
CPP - CONCRETE POWER POLE
- EXISTING ELEVATION
- CENTER LINE
CLP - CONCRETE LIGHT POLE
E - ELECTRIC BOX
★ - STREET LAMP

TREE TABLE

No.	Common Name	Diameter inches	Height feet	Spread feet
1	Palm	18	14	6
2	Palm	12	18	7
3	Palm	13	18	6
4	Palm	10	10	6
5	Palm	15	16	8
6	Palm	17	16	8
7	Palm	16	16	8
8	Palm	15	14	8
9	Oak	11	18	9
10	Oak	8	14	10
11	Palm	17	26	8
12	Oak	11	17	12
13	Palm	16	18	6
14	Areca (cluster)	53	12	6
15	Palm	18	14	10
16	Palm(3-trunks)	15	14	8
17	Palm(2-trunks)	12	14	7
18	Palm(2-trunks)	18	16	10
19	Oak	10	30	25

TREE NOTE:

THERE ARE OTHER SHRUBS ON THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY. ONLY TREES WITH A MINIMUM OF 4 INCHES IN DIAMETER OF THE TRUNK AT 4 FEET FROM THE GROUND ARE SHOWN ON THIS SURVEY. TREES SHOWN HEREIN ARE FOR INFORMATIONAL PURPOSE ONLY. CONSULT A BOTANIST, ARBORIST AND/OR LANDSCAPE ARCHITECT FOR MORE SPECIFIC INFORMATION ON THE TREES SPECIES.



SURVEYOR'S NOTES:

- 1) This survey was conducted for the purpose of a "Topography Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Standards of Practice requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 5J-17, Florida Administrative Code.
- 3) Bearings shown hereon are based on an assumed meridian of N90°00'00"E along the front boundary line of the subject property.
- 4) The North arrow direction shown herein is based on an assumed Meridian.
- 5) In some cases graphic representation have exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 6) Legal description was provided by the client and is subject to any dedications, limitations, restrictions reservations or easements of record.
- 7) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any affecting the property; search of Public Records not performed by this office.
- 8) No effort was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 9) This survey has been prepared for the exclusive use of the entities named hereon only and the certifications hereon do not extend to any unnamed parties.
- 10) Elevations shown referred to N.G.V. Datum 1929, City of Hollywood benchmark located at Harrison Street and 57th Avenue, box cut on South end of curb - North side of Harrison Street and 57th Avenue, elevation 11.39 feet.
- 11) According to the National Flood Insurance Program the subject property falls in Community No. 125113, Panel No. 0564, Suffix H, Date of FIRM 08-18-2014, Flood Zone: X.
- 12) Contact the appropriate authorities prior to any design work on the hereon-described parcel for Building and Zoning information.
- 13) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LS 4312, State of Florida.
- 14) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

PROPERTY ADDRESS:

5724 and 5740 Hollywood Boulevard, Hollywood, Florida 33021.

LEGAL DESCRIPTION:

Lots 1, 2, 3 and 4 in Block 7 of "LAWN ACRES" according to the plat thereof as recorded in Plat Book 36 at Page 3 of the public records of Broward County, Florida.

FOR:

5740 Hollywood Boulevard, LLC.

I hereby certify to 1) 5740 Hollywood Boulevard, LLC; that the Sketch of Topography Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and platted under my direction; also that meets the Standards of Practice set in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

Up-Date: 03-29-2019
Up-Date: 03-22-2019
Up-Date: 07-27-2017
Date: 01-28-2013
Job No.: 12-28919
Sketch No. 26223

By: Rolando Ortiz LS 4312
Professional Land Surveyor
& Mapper, State of Florida.



8425 BISCAYNE BLV.
UNIT 103
MIAMI, FLORIDA 33138
phone: (786) 277-4512
eavarchitect@gmail.com
Eduardo Vazquez, ra
14369

ENGINEERING CONSULTANT

PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

PROJECT No.
REVISIONS

COVER

SCALE: AS SHOWN

DATE: APRIL 15, 2019

PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

PROJECT No.
REVISIONS

COVER

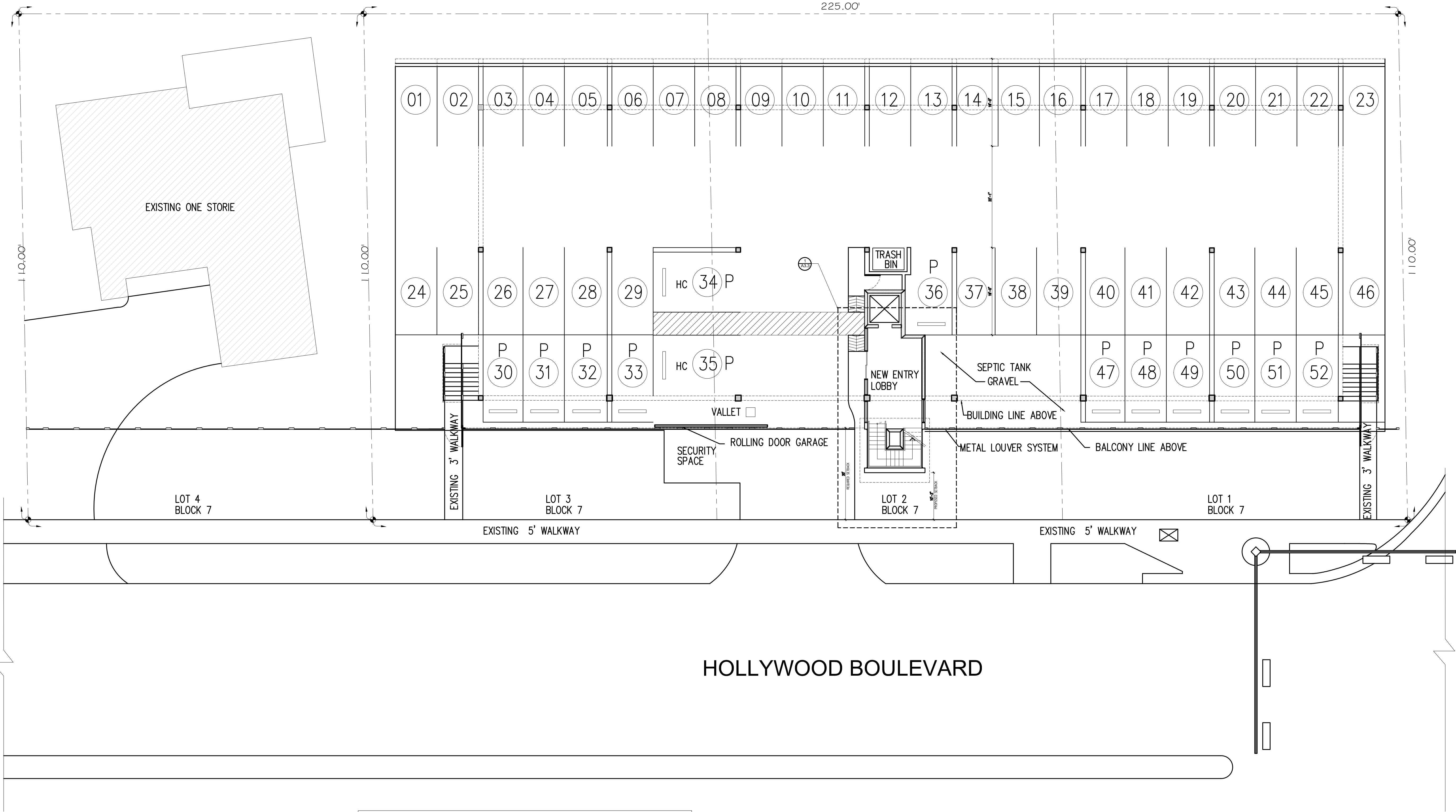


PROPOSED FOR:
**FACADE AND
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5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

PROJECT No.
REVISIONS

SITE PLAN

SCALE: AS SHOWN
DATE: APRIL 15, 2019



LEGAL DESCRIPTION
Lots 1,2,3 and 4 IN Block 7of "Lawn Acres" according to the plat thereof as recorded in Plat Book 36 at Page 3 of the public records of Broward County, Florida.

P PROPOSED PARKING

SITE DATA TABLE		
Land use:.....OFF	REQUIRED	PROPOSED
Zoning District:.....OM		
Gross property size:51,010 SF		
Net property size:33,012 SF		
Existing building area:13,769 SF		
New area:1,529 SF		
Total building area:15,298 SF		
Lot coverage:..... 60% (19,807sf)	46.3% (15,298sf)	
Building heights:..... 4 Stories-50'	2 Stories-25'	
Setbacks:Front..... 20'	2 Stories-25'	
Sides:..... 20'	15'&7'-6"Exist.	
Rear:..... 20'	20' Exist.	
Parking spaces:..... 46	52	
Landscape buffer:..... Refer to landscape plan		
Variance: Proposing new center enclosed stair and lobby for security/control. Stairway will require front setback to be reduced from 20'-00" to 10'-3"		
The maximum foot-candle all property lines is maximum 0.5		

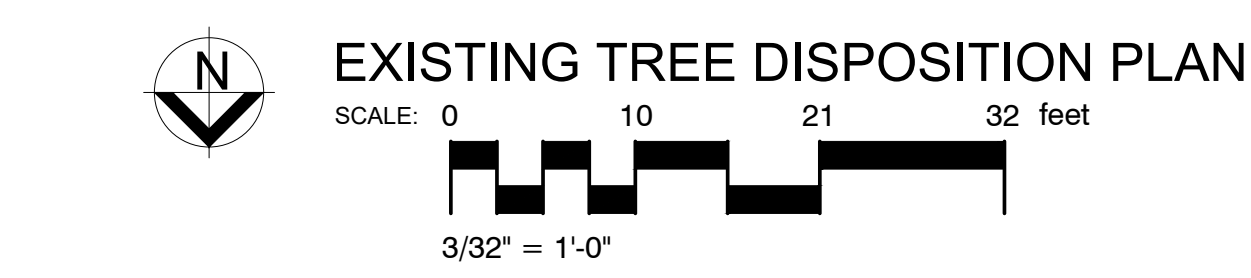
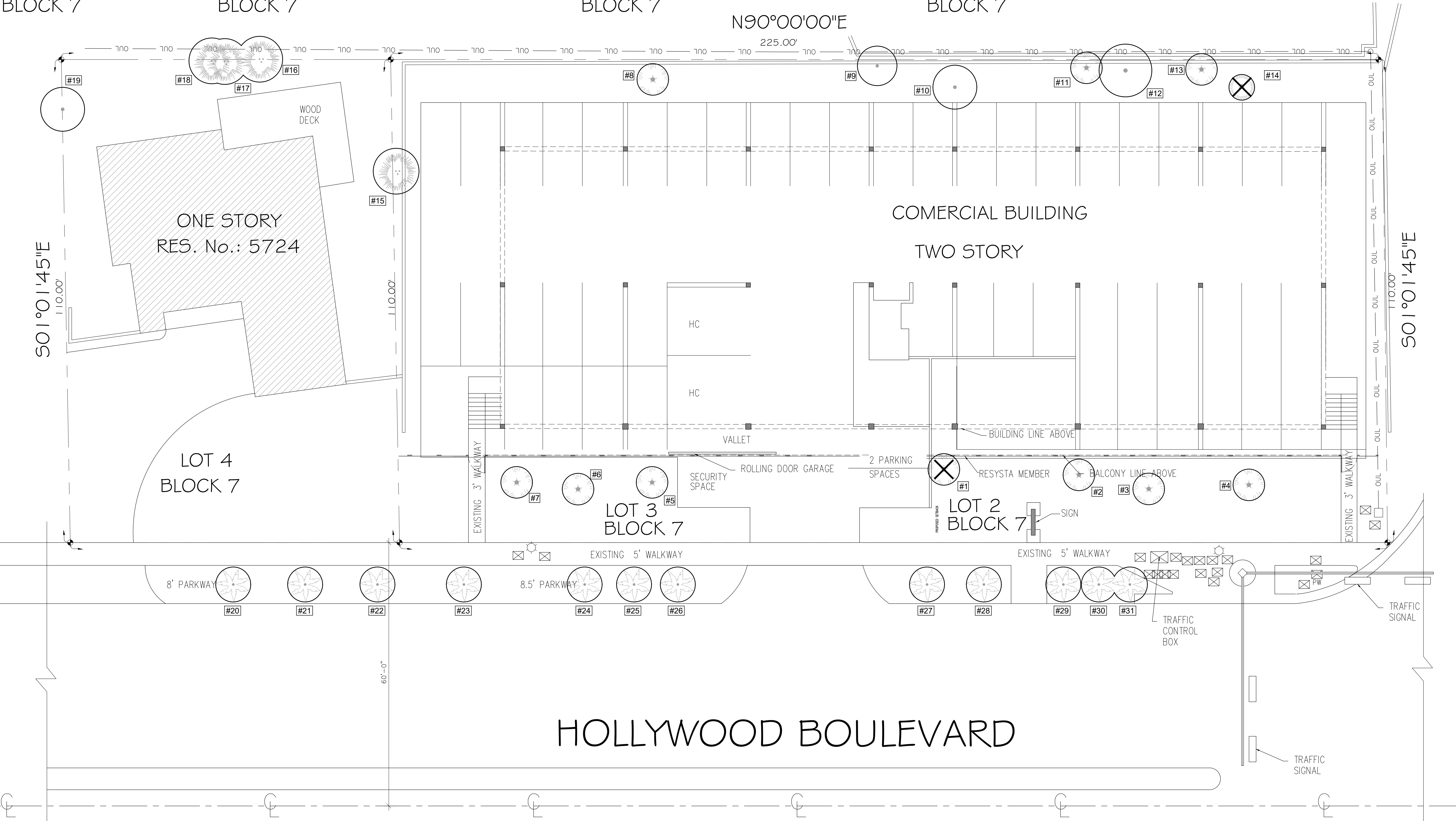
SITE PLAN
SCALE: 3/32"=1'-0"

LOT 12
BLOCK 7

LOT 13
BLOCK 7

LOT 14
BLOCK 7

LOT 15
BLOCK 7



TREE DISPOSITION LEGEND	
	Existing tree or palm to be transplanted
	Existing tree or palm to be removed
	Existing tree and palm to remain in their existing location and be protected, no construction or excavation shall be permitted within the dripline of the trees.
	LIMITS OF EXISTING TREE & PALM PROTECTION ZONE
Symbols do not show the actual canopy of the trees, for clarity, always cross check with Existing Tree Disposition List for sizes and disposition status. Contact landscape architect	

NOTE:
For information about each existing tree refer to
"EXISTING TREE DISPOSITION LIST" on page L1.1

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REVISIONS

8425 BISCAYNE BLV.
UNIT 103
MIAMI, FLORIDA 33138
phone: (786) 277-4512
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HOLLYWOOD
Florida

PROJECT No.

REVISIONS

EXISTING TREE
DISPOSITION
LIST, NOTES &
DETAILS

SCALE: AS SHOWN

DATE: APRIL 04, 2019

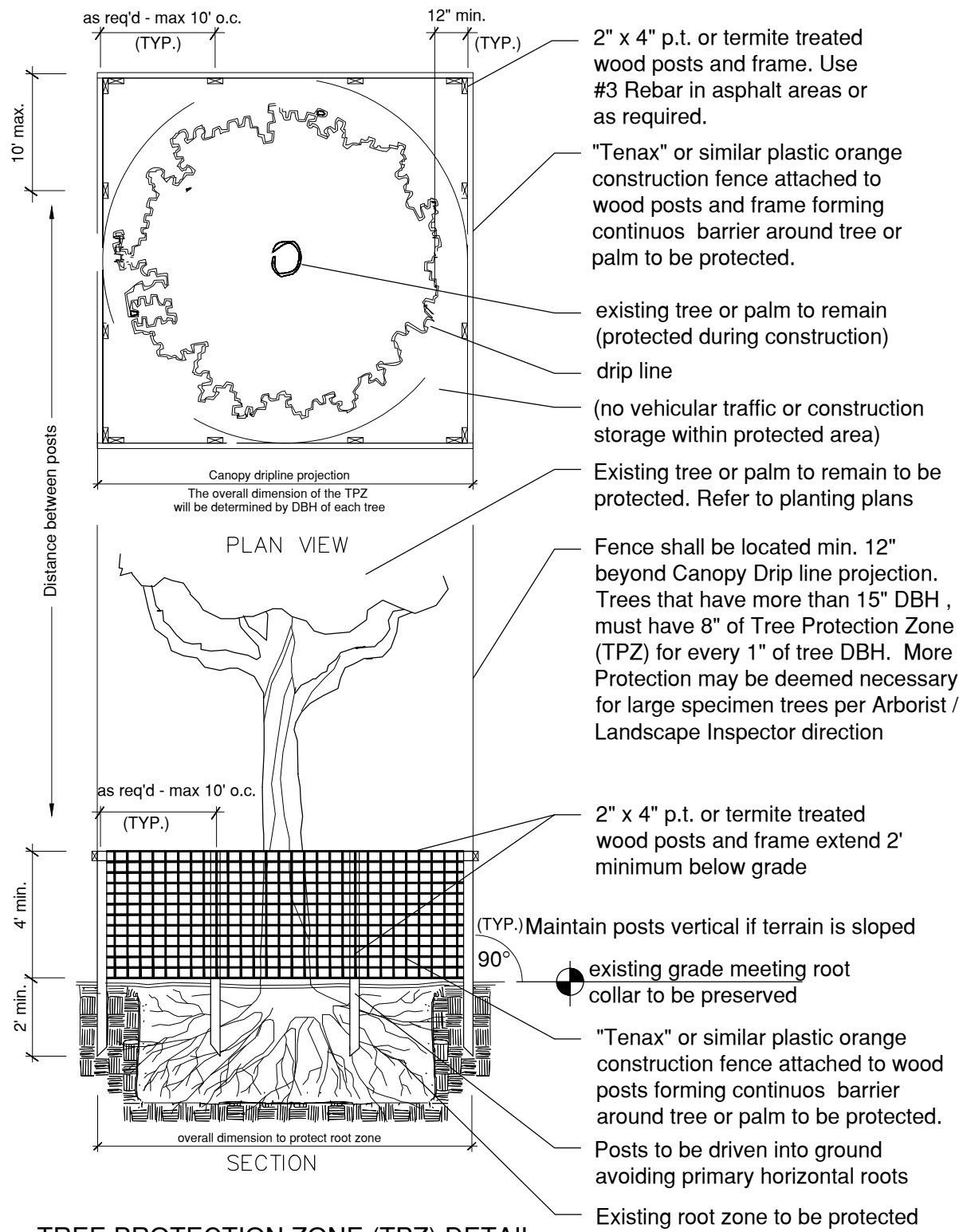
L-1.1

- Before beginning work, the Contractor is required to meet with the Landscape Architect at the site to review all work procedures, access routes, storage areas, and tree protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. THE TRIMMING SHALL BE AS PER ANSI A300 STANDARDS.
- Fences shall be erected to protect trees to be preserved. Fences define a specific Tree Protection Zone (TPZ) for each tree or group of trees. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect. Refer to TREE PROTECTION ZONE (TPZ) DETAIL.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for clearance during construction must be performed by a ISA qualified arborist AS PER ANSI A300 STANDARDS, and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Landscape Contractor and the Landscape Architect should be notified immediately.
- Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Contractor.
- All trees shall be irrigated three times a week. Each irrigation procedure shall wet the soil within the tree protection zone, 2-3 GALLONS OF WATER PER INCH OF TRUNK CALIPER.
- All trees to remain on-site shall be fertilized three times per year using a granular 8-12-12 "Palm Special" product at standard rates. Fertilizer shall be broadcast on the ground beneath the canopy of each tree and watered in.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent site erosion and siltation situations and/or erosion within the tree protection zones.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

EXISTING TREE PROTECTION NOTES

SCALE: N.T.S.

EXISTING TREE DISPOSITION LIST							
No.	Common Name	Scientific Name	Diameter (in)	Height (ft)	Spread (ft)	Condition	Disposition
1	Sabal Palm	<i>Sabal palmetto</i>	18	14	6	Fair-good	Remove
2	Sabal Palm	<i>Sabal palmetto</i>	12	18	7	Fair-good	Remain
3	Sabal Palm	<i>Sabal palmetto</i>	13	18	6	Fair-good	Remain
4	Sabal Palm	<i>Sabal palmetto</i>	10	10	6	Fair-good	Remain
5	Sabal Palm	<i>Sabal palmetto</i>	15	16	8	Fair-good	Remain
6	Sabal Palm	<i>Sabal palmetto</i>	17	16	8	Fair-good	Remain
7	Sabal Palm	<i>Sabal palmetto</i>	16	16	8	Fair-good	Remain
8	Sabal Palm	<i>Sabal palmetto</i>	15	14	8	Fair-good	Remain
9	Live Oak	<i>Quercus virginiana</i>	11	18	9	Fair-good	Remain
10	Live Oak	<i>Quercus virginiana</i>	8	14	10	Fair-good	Remain
11	Sabal Palm	<i>Sabal palmetto</i>	17	26	8	Fair-good	Remain
12	Live Oak	<i>Quercus virginiana</i>	11	17	12	Fair-good	Remain
13	Sabal Palm	<i>Sabal palmetto</i>	16	18	6	Fair-good	Remain
14	Areca Palm	<i>Dypsis lutescens</i>	53	12	6	Fair	Remove
15	Double Christmas Palm	<i>Veitchia merillii</i>	18	14	10	Fair	Remain
16	Triple Christmas Palm	<i>Veitchia merillii</i>	15	14	8	Fair	Remain
17	Double Christmas Palm	<i>Veitchia merillii</i>	2	14	7	Fair	Remain
18	Double Christmas Palm	<i>Veitchia merillii</i>	18	16	10	Fair	Remain
19	Live Oak	<i>Quercus virginiana</i>	10	30	25	Fair	Remain
20	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
21	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
22	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
23	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
24	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
25	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
26	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
27	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
28	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
29	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
30	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
31	Solitaire Palm	<i>Ptychosperma elegans</i>	4	18	7	Fair-good	Remain
(2) palms will be removed and mitigated at a mitigation rate of one per one, total mitigation required (2) palms, total mitigation provided (2) Sabal Palms							



TREE PROTECTION ZONE (TPZ) DETAIL
For existing trees to remain. Scale: NTS



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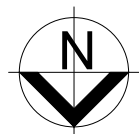
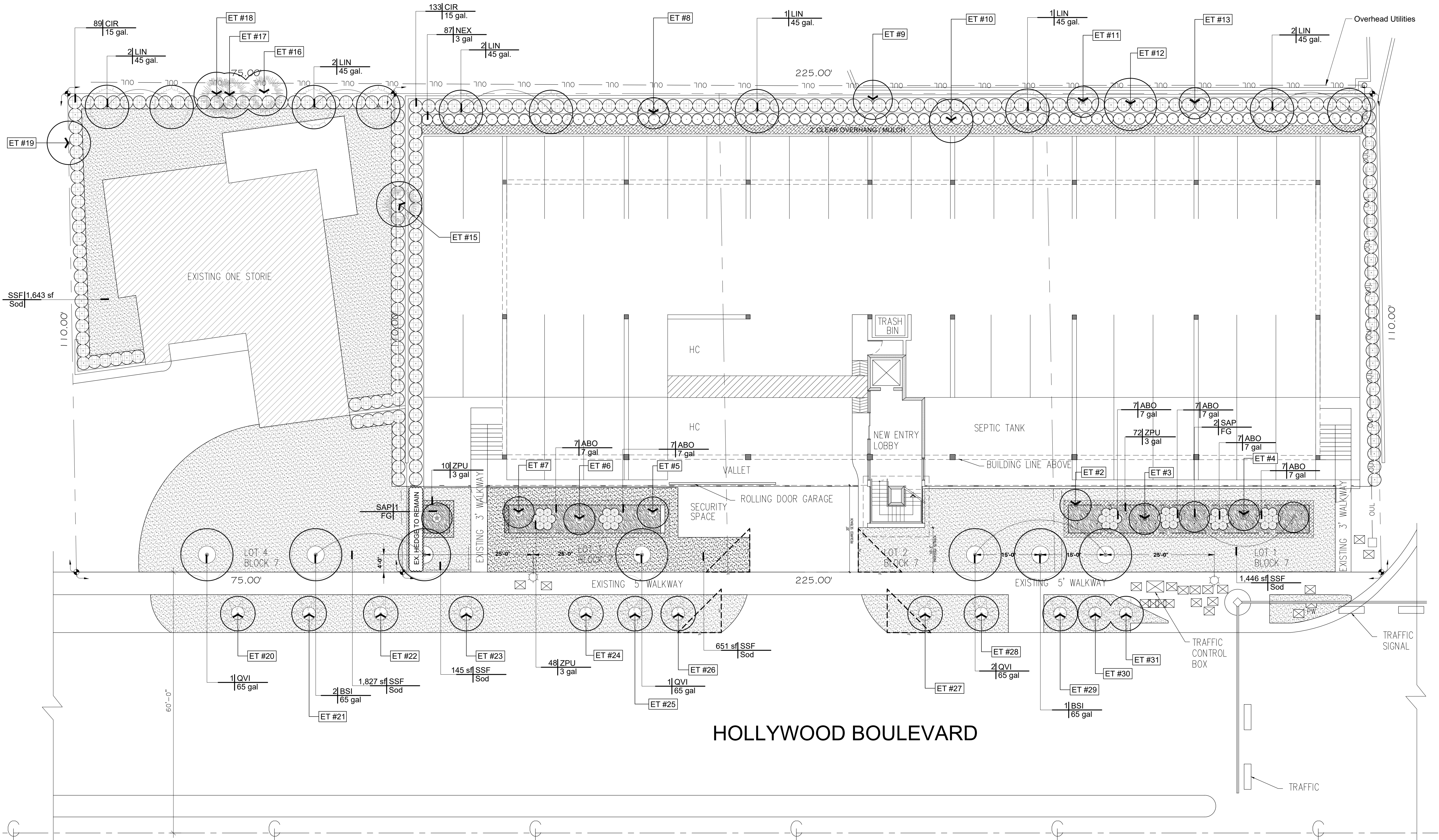
REVISIONS

**LANDSCAPE
PLAN**

SCALE: AS SHOWN

DATE: APRIL 04, 2019

L-2.0



LANDSCAPE PLAN

SCALE: 0 10 21 32 feet



3/32" = 1'-0"



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

PLANT SCHEDULE

<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>DBH</u>	<u>HGT</u>	<u>SRD</u>	<u>DETAIL</u>	<u>REMARKS</u>
LIN	10	Lagerstroemia fauriei 'Natchez'	Crape Myrtle	45 gal.	2"	12' OA	5'		Hollywood Landscape Manual - Drought Tolerant
<u>PALMS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>DBH</u>	<u>HGT</u>	<u>SRD</u>	<u>DETAIL</u>	<u>REMARKS</u>
SAP	3	Sabal palmetto	Cabbage Palmetto	FG	12"	8' CT	7'		Florida Native - Hollywood Landscape Manual
<u>STREET TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>DBH</u>	<u>HGT</u>	<u>SRD</u>	<u>DETAIL</u>	<u>REMARKS</u>
BSI	3	Bursera simaruba	Gumbo Limbo	65 gal	3"	12' OA	6'-8'		Florida Native - Hollywood Landscape Manual - Drought Tolerant
QVI	4	Quercus virginiana	Live Oak	65 gal	3"	12' OA	6'-8'		Florida Native - Hollywood Landscape Manual - Drought Tolerant
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONTAINER</u>	<u>HEIGHT</u>	<u>SPREAD</u>		<u>DETAIL</u>	<u>REMARKS</u>
ABO	42	Aechmea blanchetiana 'Orange'	Blanchetiana Bromeliad	7 gal	24" OA	2'			Drought Tolerant
CIR	222	Chrysobalanus icaco	Cocoplum	15 gal.	4' OA	3'			Florida Native - Hollywood Landscape Manual
NEX	87	Nephrolepis exaltata	Sword Fern	3 gal	2"	2.5'			Florida Native - Hollywood Landscape Manual
<u>SHRUB AREAS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONTAINER</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>	<u>DETAIL</u>	<u>REMARKS</u>
ZPU	130	Zamia floridana	Coontie	3 gal	18" - 24" OA	18" - 24"	24" o.c.		Florida Native - Hollywood Landscape Manual
<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONTAINER</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>	<u>DETAIL</u>	<u>REMARKS</u>
SSF	5,712 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Sod	Sod					Sun / Shade

**CITY OF HOLLYWOOD
LANDSCAPE LEGEND**

ZONING DISTRICT:	OM	NET LAND	0.75 ACRES	33,012 S.F.
		REQUIRED	PROVIDED	
MINIMUM TOTAL OF LANDSCAPE AREA				
25% OF THE PAVED AREA USE				
PAVED AREA 22,376 SF X 25%				
(25%) 5,594 S.F.				
TREES:				
A. NO. TREES REQUIRED				
1 TREE X 1,000 SF OF PERVIOUS AREA OF PROPERTY				
10,682 SF / 1,000 SF =				
11 TREES				
19 TREES				
B. STREET TREES (MAXIMUM AVERAGE SPACING 50' O.C.)				
LINEAR FEET ALONG STREET/50 - HOLLYWOOD BOULEVARD (300'/50) =				
6 TREES				
7 TREES				
TOTAL NUMBER OF TREES REQUIRED				
17 TREES				
26 TREES				
SHRUBS:				
A. # SHRUBS ALLOWED =				
170				
351				
50 % OF THE REQUIRED SHRUBS MUST BE NATIVES				
85				
309				

14 EX. PALMS / 3 = 4 + 4 EX. TREES
+ 3 PROP. PALMS / 3 = 1 + 10 PROPOSED TREES

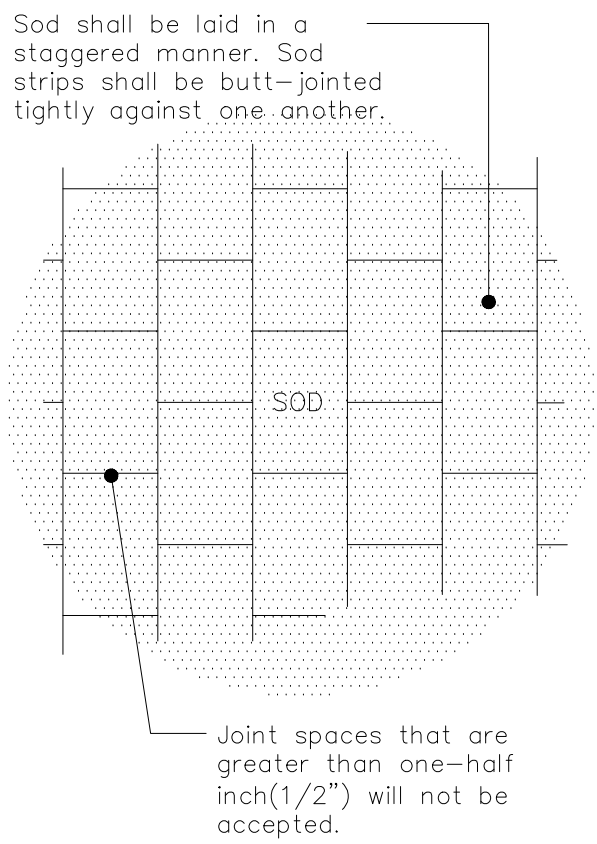
GENERAL NOTES

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

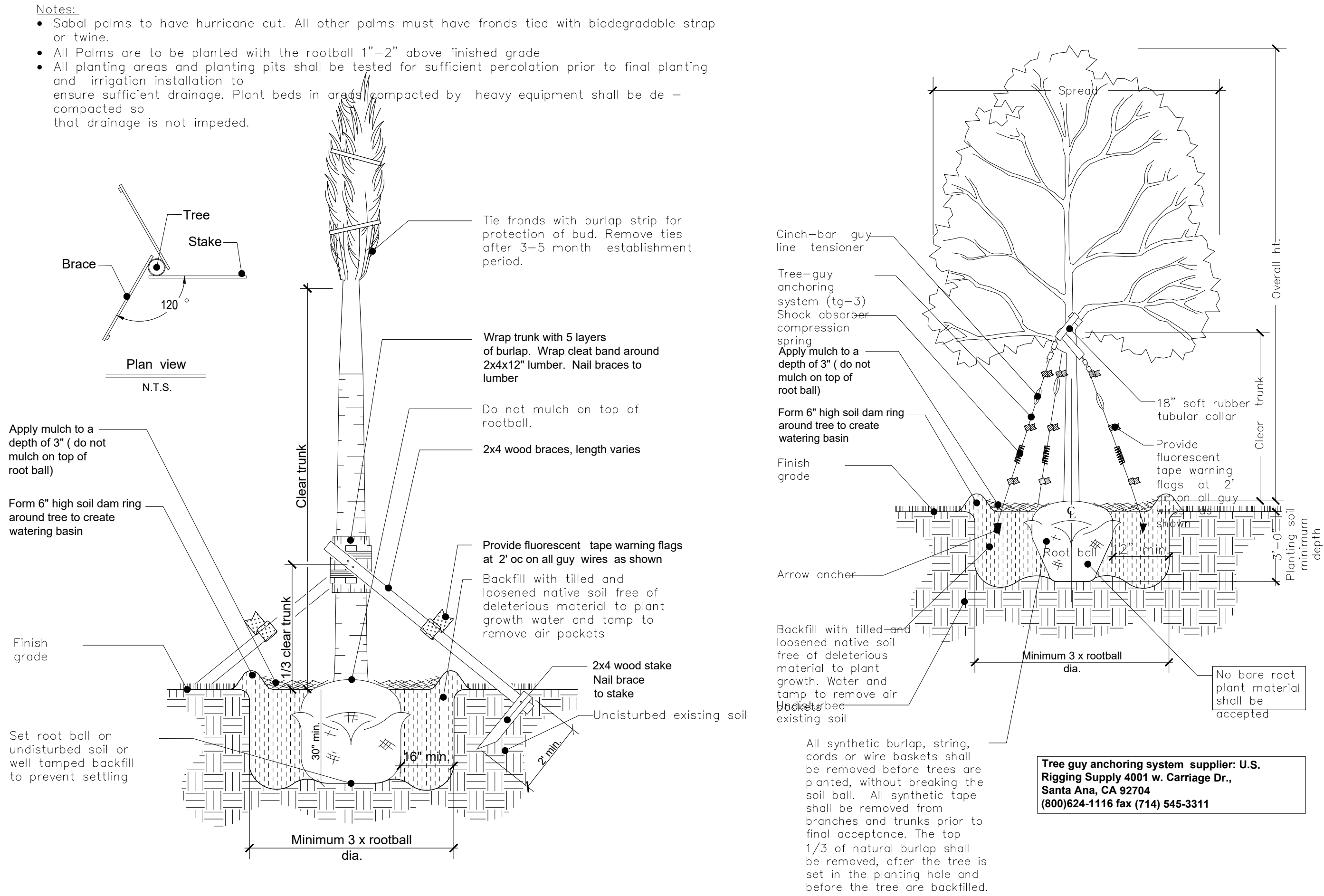
PLANTING NOTES

- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviromulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine 'Floratum' sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floratum' sod.
- St. Augustine 'Floratum' - Contractor's responsibility to verify quantity.
- Install rootbarrier as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building, as shown on details page.
- Root barrier shall be Vespro Inc. or approved equal.

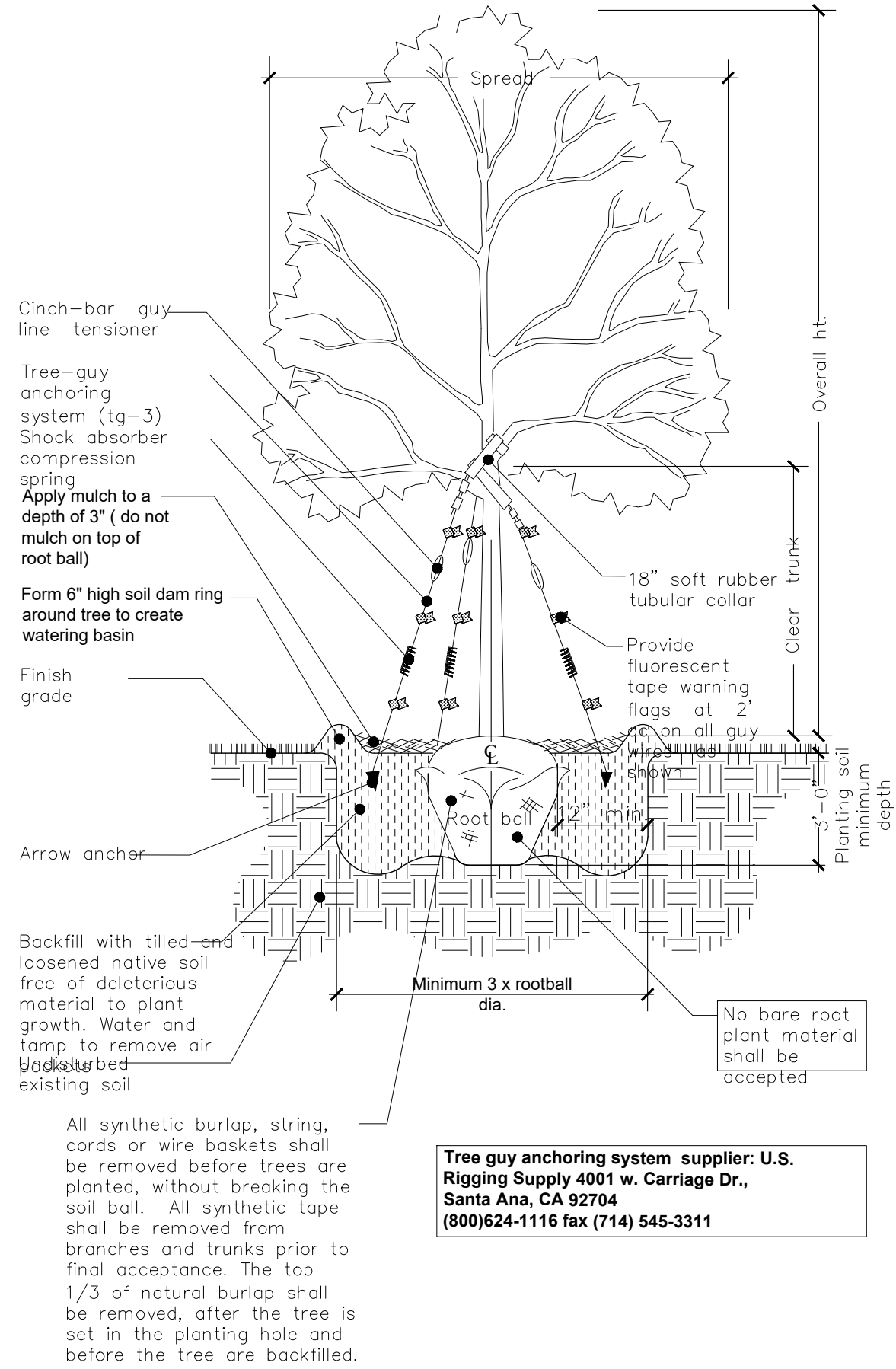
1 Tree/Palm General Planting Notes
SCALE: N.T.S.



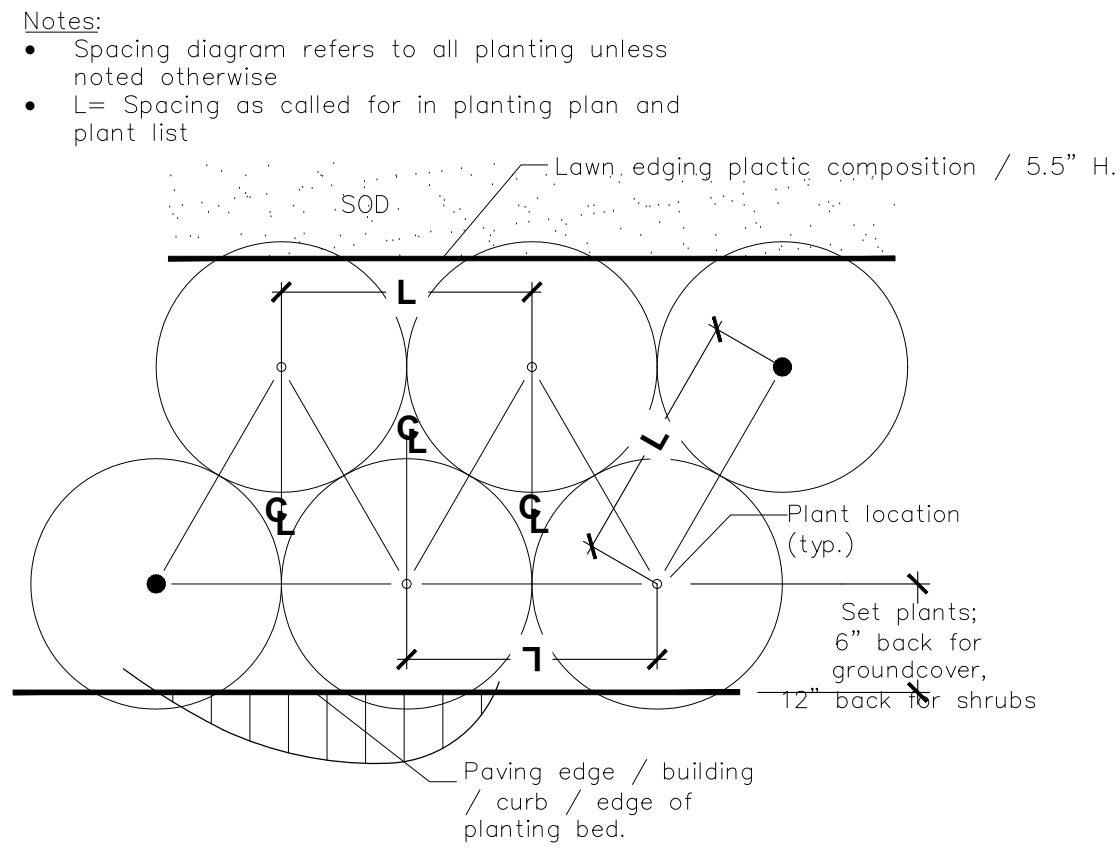
2 Sod Planting Detail
SCALE: N.T.S.



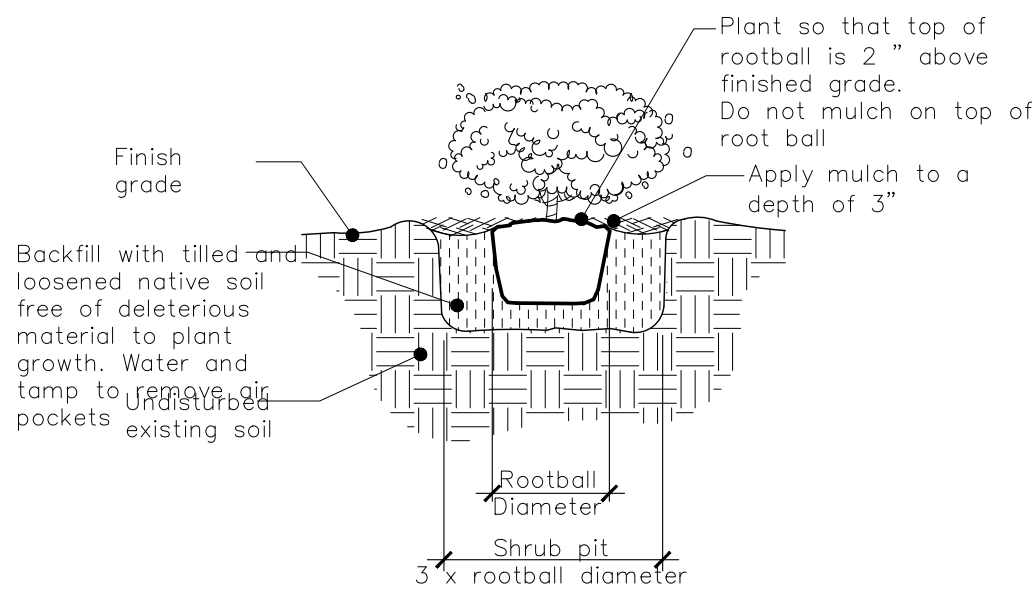
3 Palm Planting Detail
SCALE: N.T.S.



4 Tree Planting Detail
SCALE: N.T.S.



5 Shrubs Planting Detail
SCALE: N.T.S.



6 Shrubs Planting Detail
SCALE: N.T.S.

TREES:	PALMS:	STREET TREES:	SHRUBS:
LIN - Crape Myrtle	SAP - Cabbage Palmetto	BSI - Gumbo Limbo	QVI - Live Oak
ABO - Bromeliad Blanchetiana	NEX - Sword Fern	CIR - Cocoplum	ZPU - Coontie

LANDSCAPE NOTES & DETAILS

SCALE: AS SHOWN

DATE: APRIL 04, 2019

L-2.1



ENGINEERING CONSULTANT



PROPOSED FOR:
**FACADE AND
 STAIR REMODELING**
 5740 HOLLYWOOD BLVD
 HOLLYWOOD
 Florida

PROJECT No.

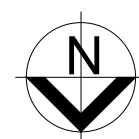
REVISIONS

IRRIGATION PLAN

SCALE: AS SHOWN

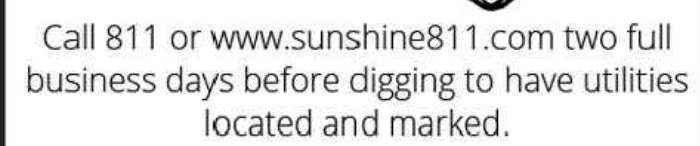
DATE: APRIL 04, 2019

L-3.0



IRRIGATION PLAN

SCALE: 0 10 21 32 feet


$$3/32'' = 1'-0''$$


Check positive response codes before you dig!

IRRIGATION NOTES

GENERAL

IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, CONTRACT DRAWINGS, CONTRACT SPECIFICATIONS, AND APPENDIX "F" OF THE FLORIDA BUILDING CODE.

IRRIGATION DESIGN BASED ON "GREEN AREAS PLAN". CONTRACTOR SHALL REFER TO THIS PLAN TO COORDINATE SPRINKLER LOCATIONS AND PIPE ROUTING WITH NEW AND EXISTING PLANT LOCATIONS.

THIS PLAN SHALL BE USED AS A GUIDE ONLY. IRRIGATION SHALL BE INSTALLED TO MATCH ON SITE CONDITIONS AND TO OVERCOME THE INHERENT INACCURACIES THAT RESULT WHEN DESIGNING FROM BASE PLANS.

THIS IRRIGATION HAS BEEN DESIGNED AS A TYPICAL BLOCK VALVE TYPE USING TORO SPRINKLERS, IN-LINE VALVES AND CONTROL SYSTEM. A RAIN SENSOR SHALL BE INSTALLED TO CONSERVE WATER.

IRRIGATION SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE UNDESIRABLE OVERTHROW ONTO PAVEMENT, SIDEWALKS, AND BUILDINGS.

CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH SITE CONDITIONS, AND SHALL REFER TO THE PLANS FOR ADDITIONAL INFORMATION.

TO ENSURE PROPER OPERATION, SOURCE SIZE, VALVE SIZES, ZONE CAPACITIES, AND SPRINKLER, PIPE AND WIRE AND INSTALLATION NOTES AND DETAILS SHALL BE FOLLOWED AS SHOWN.

CONTRACTOR IS TO PROVIDE AN AS-BUILT DRAWING OF THE IRRIGATION SYSTEM TO THE OWNER AND LANDSCAPE ARCHITECT.

PIPING

PIPE ROUTING IS SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON SITE CONDITIONS.

PIPE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, SECTION "F" OF THE FLORIDA BUILDING CODE, AND PIPE MANUFACTURER'S INSTRUCTIONS.

PIPE ROUTED UNDER HARDSCAPED AREAS SHALL BE SLEEVED IN SCH 40 PVC. EACH SLEEVE SHALL BE: (1) BURIED TO A MINIMUM DEPTH OF 24", (2) TWO PIPE SIZES LARGER THAN CARRIER PIPE, AND (3) EXTENDED 3' BEYOND HARDSCAPED AREA ON EACH END. CONTRACTOR SHALL REFER TO LOCATION OF EXISTING SLEEVES.

PIPE SIZED TO LIMIT FLOW VELOCITIES TO 5 FEET/SECOND AND TO LIMIT FRICTION LOSS IN THE PIPING NETWORK.

PIPE SHALL BE INSTALLED AT SUFFICIENT DEPTH BELOW GROUND TO PROTECT IT FROM HAZARD SUCH AS VEHICULAR TRAFFIC OR ROUTINE OCCURRENCES WHICH OCCUR IN THE NORMAL USE AND MAINTENANCE OF THE PROPERTY. DEPTHS OF COVER SHALL MEET OR EXCEED SCS CODE 430-DD. REFER TO THE APPLICABLE DETAIL FOR ADDITIONAL INFORMATION.

BACKFILL SHALL BE OF SUITABLE MATERIAL, FREE OF ROCKS, STONES, AND OTHER DEBRIS THAT WOULD DAMAGE IRRIGATION SYSTEM COMPONENTS.

A GATE VALVE SHALL BE INSTALLED FOR ISOLATION. THIS VALVE SHALL BE TO LINE SIZE AND INSTALLED IN A VALVE BOX. POROUS MATERIAL SHALL BE INSTALLED PER BOX TO PROMOTE DRAINAGE.



PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida










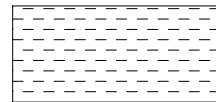









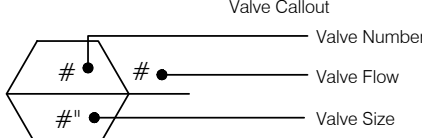
PROJECT No.

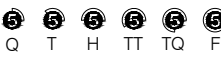


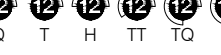


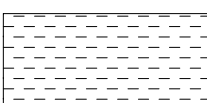









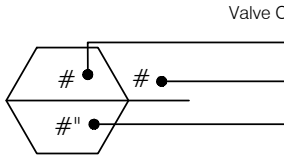
REVISIONS

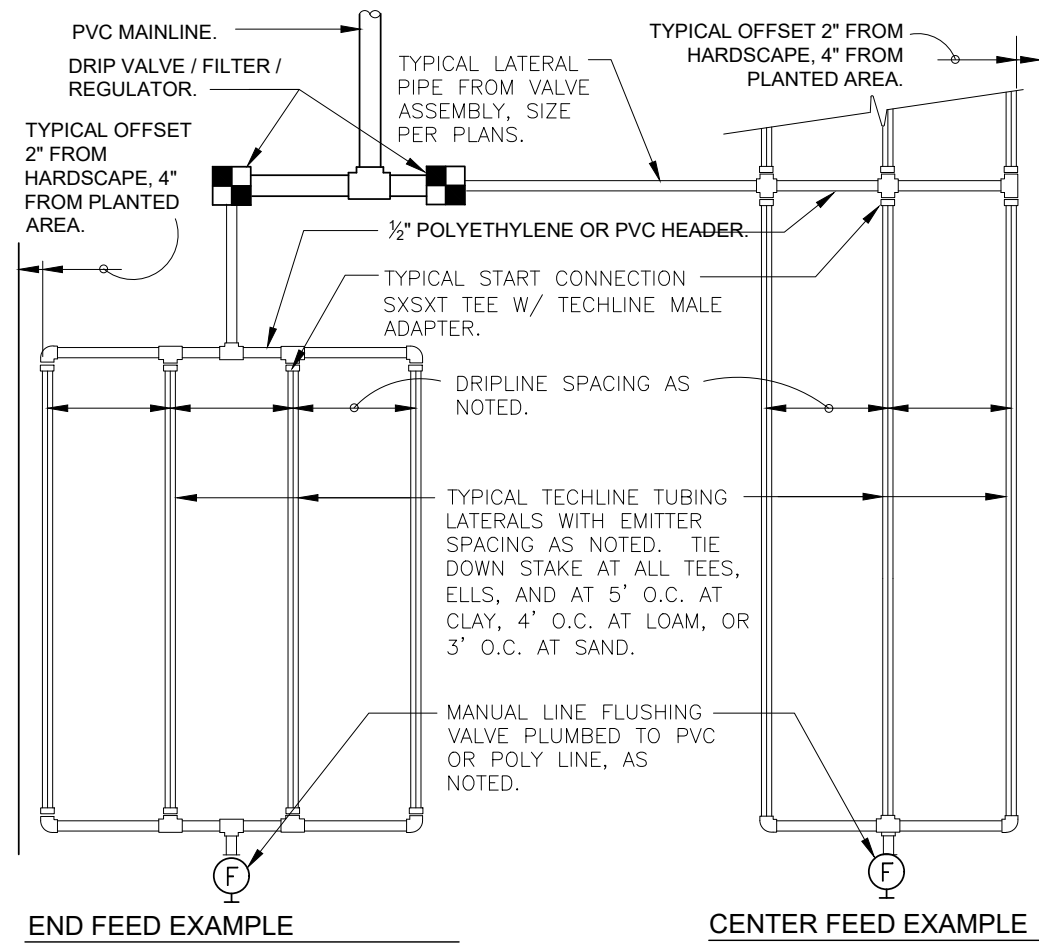
IRRIGATION
SCHEDULES

SCALE: AS SHOWN

DATE: APRIL 04, 2019

POC 1									
IRRIGATION SCHEDULE									
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	PSI	DETAIL				
	Toro 570Z-6LP-PC 5 Series Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		8	30					
	Toro 570Z-6LP-PC 8" radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		17	30					
	Toro 570Z-6LP-PC 12" radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		3	30					
	Toro 570Z-6LP-PC 15" radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		2	30					
	Toro 570Z-6LP-PC ADJ Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		19	30					
	Toro 570Z-12LP-PC Shrub Strip Spray Shrub Spray, 12" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		5	30					
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	PSI	GPM	RADIUS	DETAIL		
	Toro 300-00 3.0" turf popup multi-stream rotor with nine fixed arcs from 90 to 360. 01, 02, 03 nozzles have radius from 16" to 30", and 63 and 93 nozzles are low flow.		3	50	1.26	17'			
	Toro 300-00 3.0" turf popup multi-stream rotor with nine fixed arcs from 90 to 360. 01, 02, 03 nozzles have radius from 16" to 30", and 63 and 93 nozzles are low flow.		6	50	2.56	22'			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	DETAIL					
	Rain Bird XCZ-100-PRF 1" Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3gpm - 15gpm.		1	/					
	Area to Receive Dripline Netafim TLCV-09-12 (12) Techline Pressure Compensating Landscape Dripline with Check Valve. 0.9GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern. 17mm.		844.5 s.f.	/					
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	DETAIL					
	Toro P220-27-0 GLOBE 1-1/2" Electric, 1", 1-1/2", 2" and 3" Plastic In-Line Remote Control Valve. Equipped to withstand pressure up to 220 PSI. Filter screen on 2" and 3" models. Standard Solenoid. Globe Body Style. With EZ Reg Pressure Regulator.		2						
	Febco 765 1-1/2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.		1						
	Water Meter 1-1/2"		1						
	Irrigation Lateral Line: PVC Schedule 40 1/2"		267.0 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 3/4"		86.1 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 1"		122.3 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 1 1/4"		98.2 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"		1.9 l.f.						
	Irrigation Mainline: PVC Schedule 40 1 1/2"		60.3 l.f.						
									
VALVE SCHEDULE									
NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP	
6	Toro P220-27-0 GLOBE	1-1/2"	Turf Rotor	18.93		57.10	60.83	0.84 in/h	
7	Toro P220-27-0 GLOBE	1-1/2"	Turf Spray	27.08		37.27	42.40	1.59 in/h	
8	Rain Bird XCZ-100-PRF	1"	Area for Dripline	13.34		33.22	36.35	1.52 in/h	

POC 2									
IRRIGATION SCHEDULE									
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	PSI	DETAIL				
	Toro 570Z-6LP-PC 5 Series Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		33	30					
	Toro 570Z-6LP-PC 8" radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		34	30					
	Toro 570Z-6LP-PC 10" radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		21	30					
	Toro 570Z-6LP-PC 12" radius Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		9	30					
	Toro 570Z-6LP-PC ADJ Turf Spray, 6" Pop-Up, with a Zero Flush Seal. Low Pressure Sealing, allowing for pop-up and retraction at lower pressures. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.		5	30					
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	DETAIL					
	Rain Bird XCZ-100-PRF 1" Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3gpm - 15gpm.		3	/					
	Area to Receive Dripline Netafim TLCV-09-12 (12) Techline Pressure Compensating Landscape Dripline with Check Valve. 0.9GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern. 17mm.		3,289 s.f.	/					
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		QTY	DETAIL					
	Toro P220-27-0 GLOBE 1-1/2" Electric, 1", 1-1/2", 2" and 3" Plastic In-Line Remote Control Valve. Equipped to withstand pressure up to 220 PSI. Filter screen on 2" and 3" models. Standard Solenoid. Globe Body Style. With EZ Reg Pressure Regulator.		2						
	Febco 765 1-1/2" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.		1						
	Water Meter 1-1/2"		1						
	Irrigation Lateral Line: PVC Schedule 40 1/2"		510.9 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 3/4"		102.5 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 1"		174.1 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 1 1/4"		90.8 l.f.						
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"		27.1 l.f.						
	Irrigation Mainline: PVC Schedule 40 1 1/2"		435.7 l.f.						
									
VALVE SCHEDULE									
NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP	
1	Toro P220-27-0 GLOBE	1-1/2"	Turf Spray	17.68		36.23	39.74	1.01 in/h	
2	Toro P220-27-0 GLOBE	1-1/2"	Turf Spray	23.20		37.21	42.49	1.00 in/h	
3	Rain Bird XCZ-100-PRF	1"	Area for Dripline	13.62		35.51	38.58	1.52 in/h	
4	Rain Bird XCZ-100-PRF	1"	Area for Dripline	19.25		35.56	41.52	1.52 in/h	
5	Rain Bird XCZ-100-PRF	1"	Area for Dripline	19.10		35.55	43.69	1.52 in/h	



TECHLINE CV MAXIMUM LENGTH OF SINGLE LATERAL (FEET)													
DRIPPER SPACING			12"				18"				24"		
DRIPPER FLOW RATE (GPH)			0.26	0.4	0.6	0.9	0.26	0.4	0.6	0.9	0.6	0.9	
INLET PRESSURE (PSI)			15	127	109	86	65	177	151	120	91	152	116
			25	427	325	256	194	604	459	361	274	458	348
			35	539	409	322	244	763	579	456	346	580	440
			45	618	469	369	280	877	664	523	397	666	506
TECHLINE CV FLOW PER 100 FEET													
DRIPPER SPACING		0.26 GPH DRIPPER		0.4 GPH DRIPPER		0.6 GPH DRIPPER		0.9 GPH DRIPPER					
		GPH	GPM	GPH	GPM	GPH	GPM	GPH	GPM				
12"		26.40	0.44	40.00	0.67	61.00	1.02	92.00	1.53				
18"		17.58	0.29	26.67	0.44	41.00	0.68	61.00	1.02				
24"		N/A	N/A	N/A	N/A	31.00	0.51	46.00	0.77				

S. 58th AVENUE

PROPOSED FOR:
FACADE AND
STAIR REMODELING
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

PROJECT No.

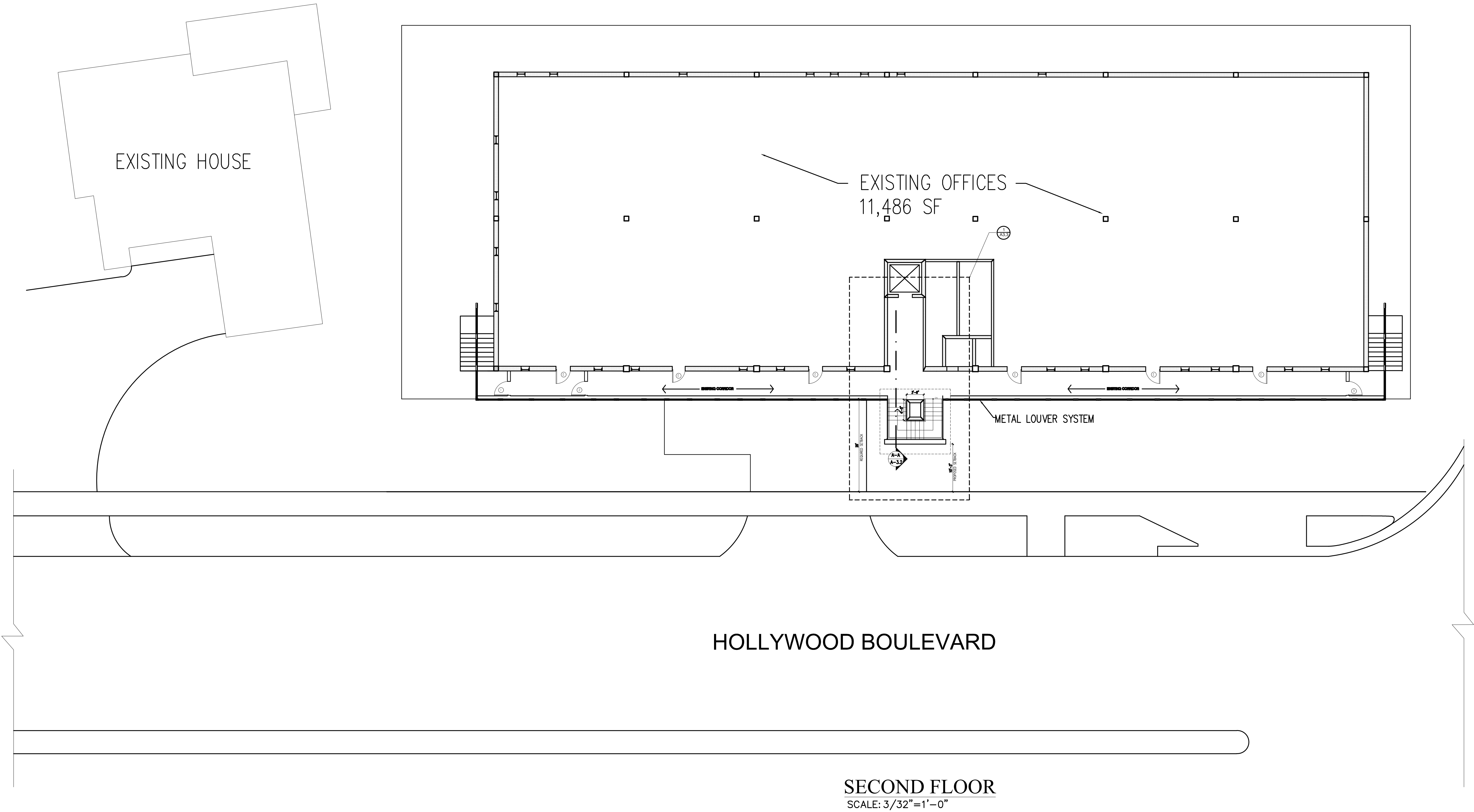
REVISIONS

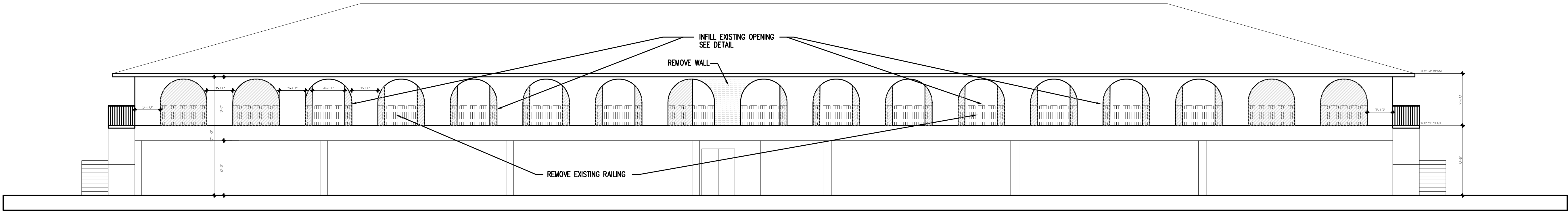
PROPOSED
DOCTOR'S OFFICE

SCALE: AS SHOWN

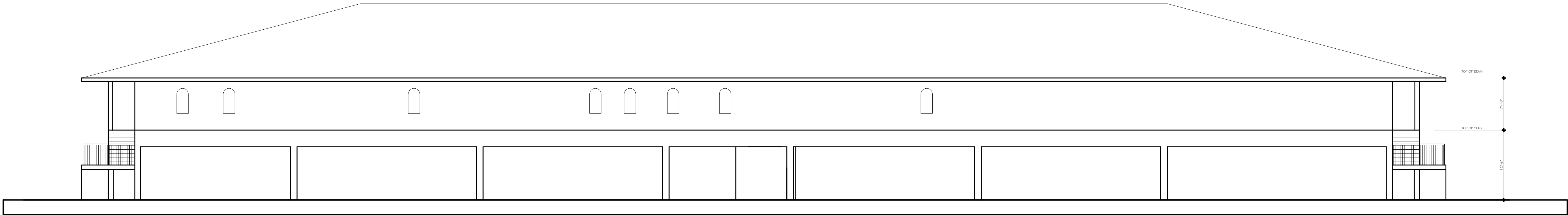
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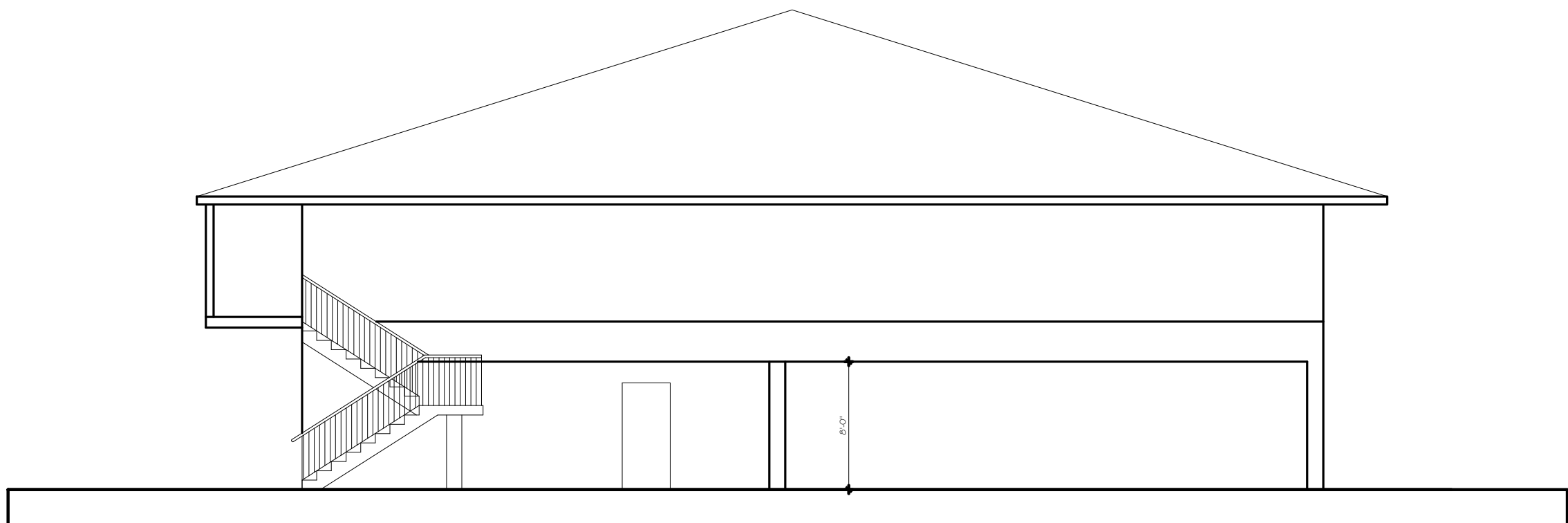




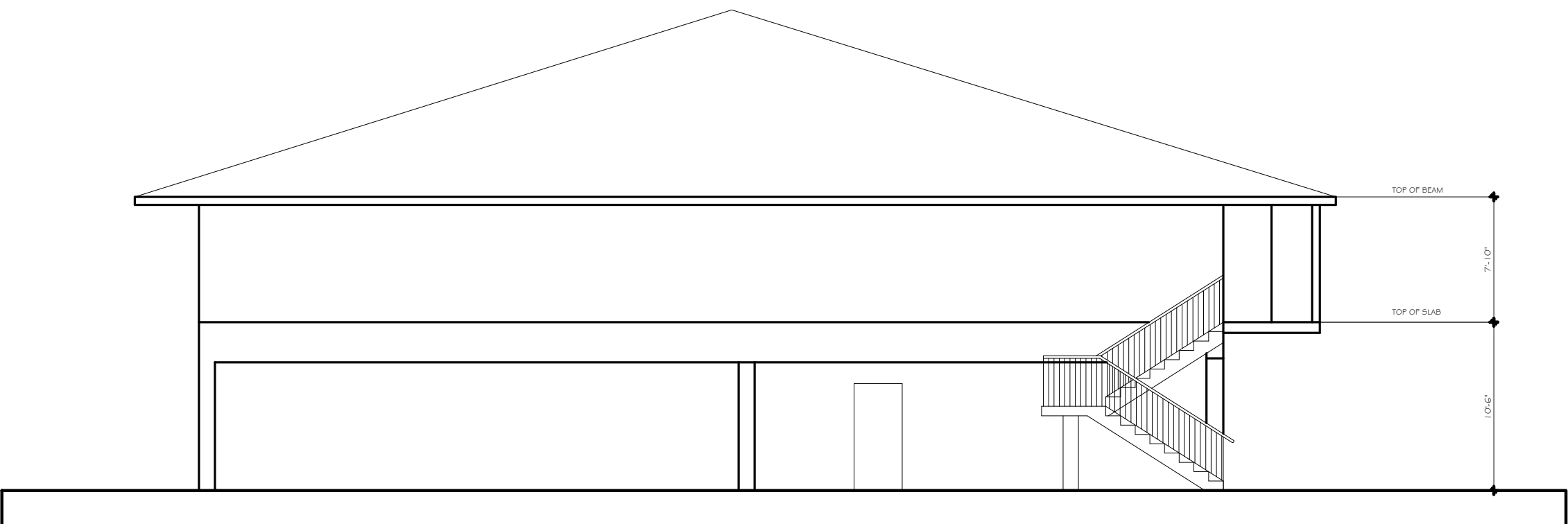
EXISTING/DEMO NORTH ELEVATION
SCALE: 1/8"=1'-0"



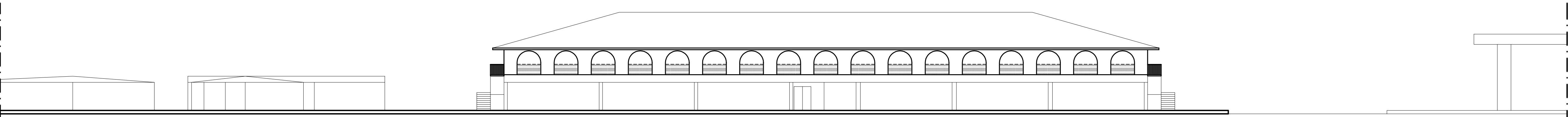
EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0"



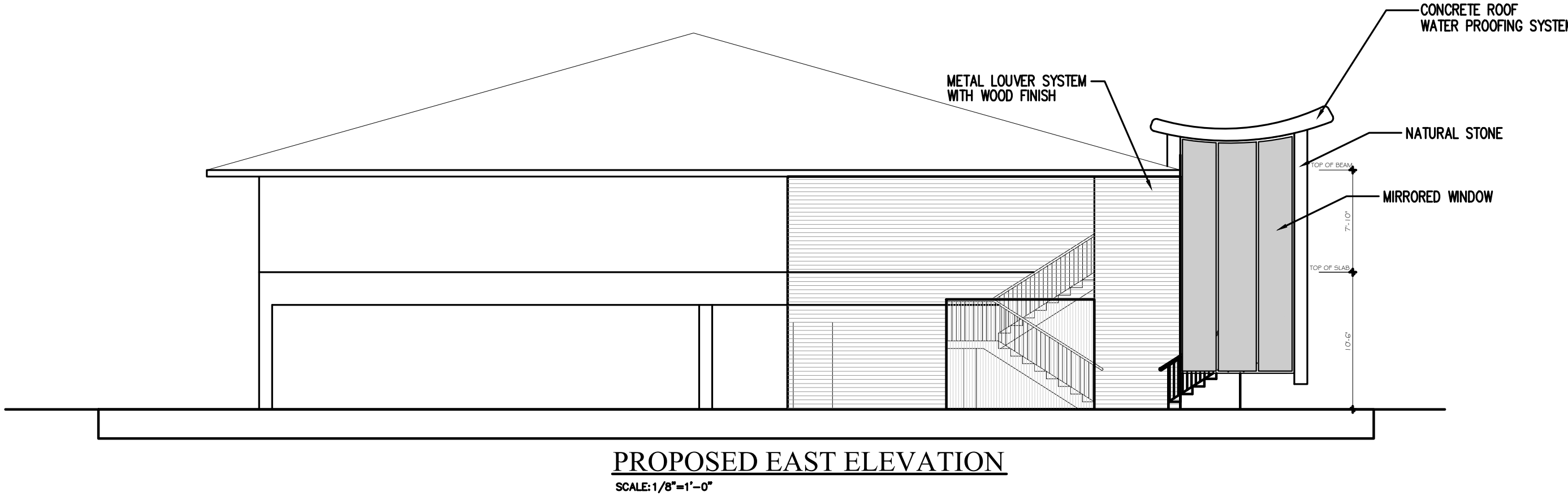
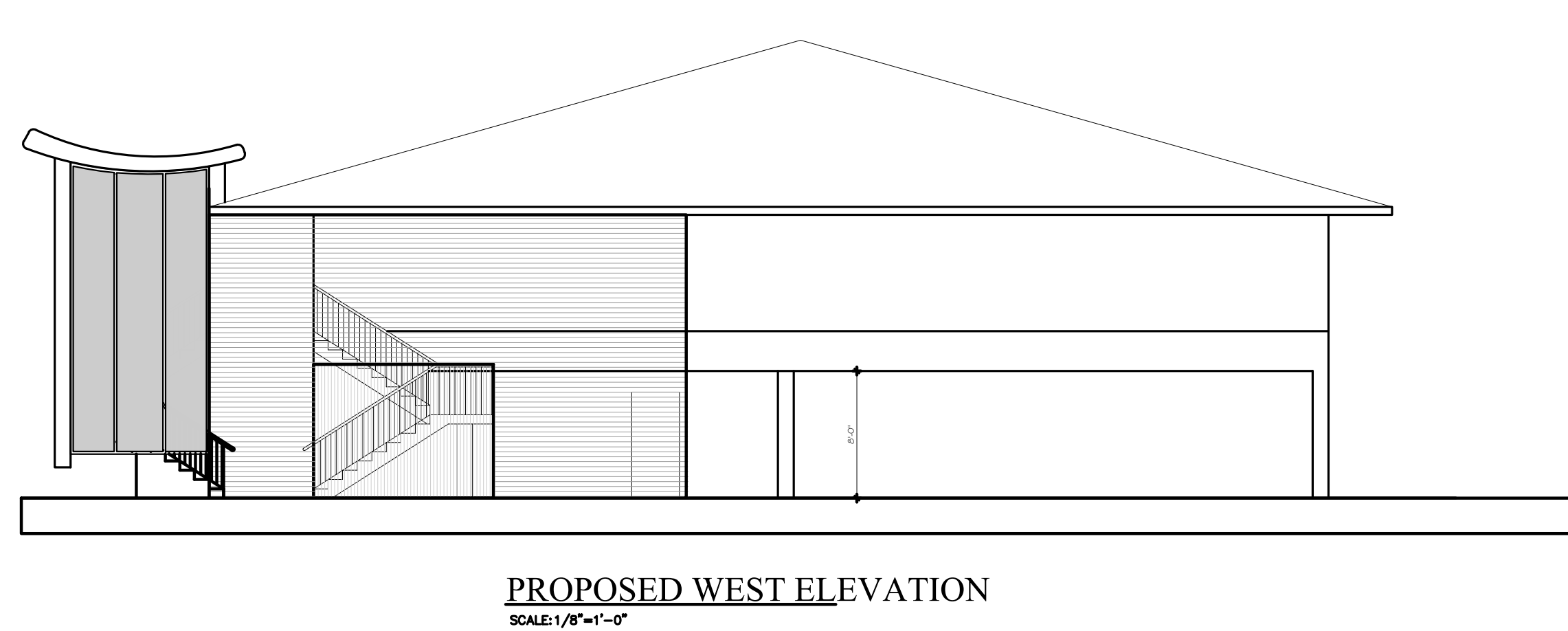
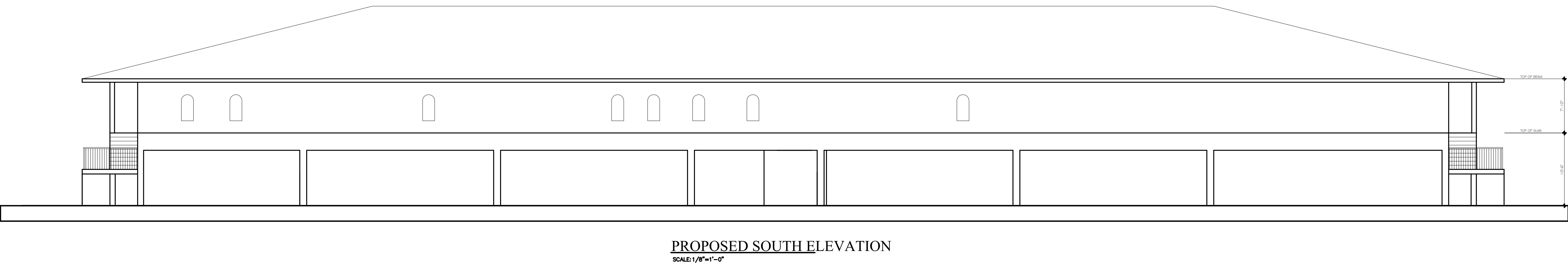
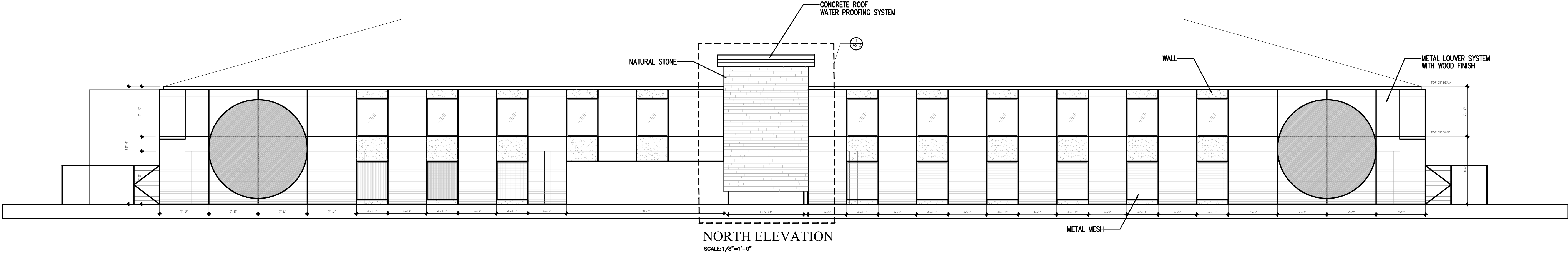
EXISTING CONTEXT ELEVATION
SCALE: 1/16"=1'-0"

PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

PROJECT No.
REVISIONS

EXISTING ELEVATION
DOCTOR'S OFFICE

SCALE: AS SHOWN
DATE: APRIL 15, 2019



PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

PROJECT No.
REVISIONS

PROPOSED
ELEVATION
DOCTOR'S OFFICE

SCALE: AS SHOWN
DATE: APRIL 15, 2019

PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

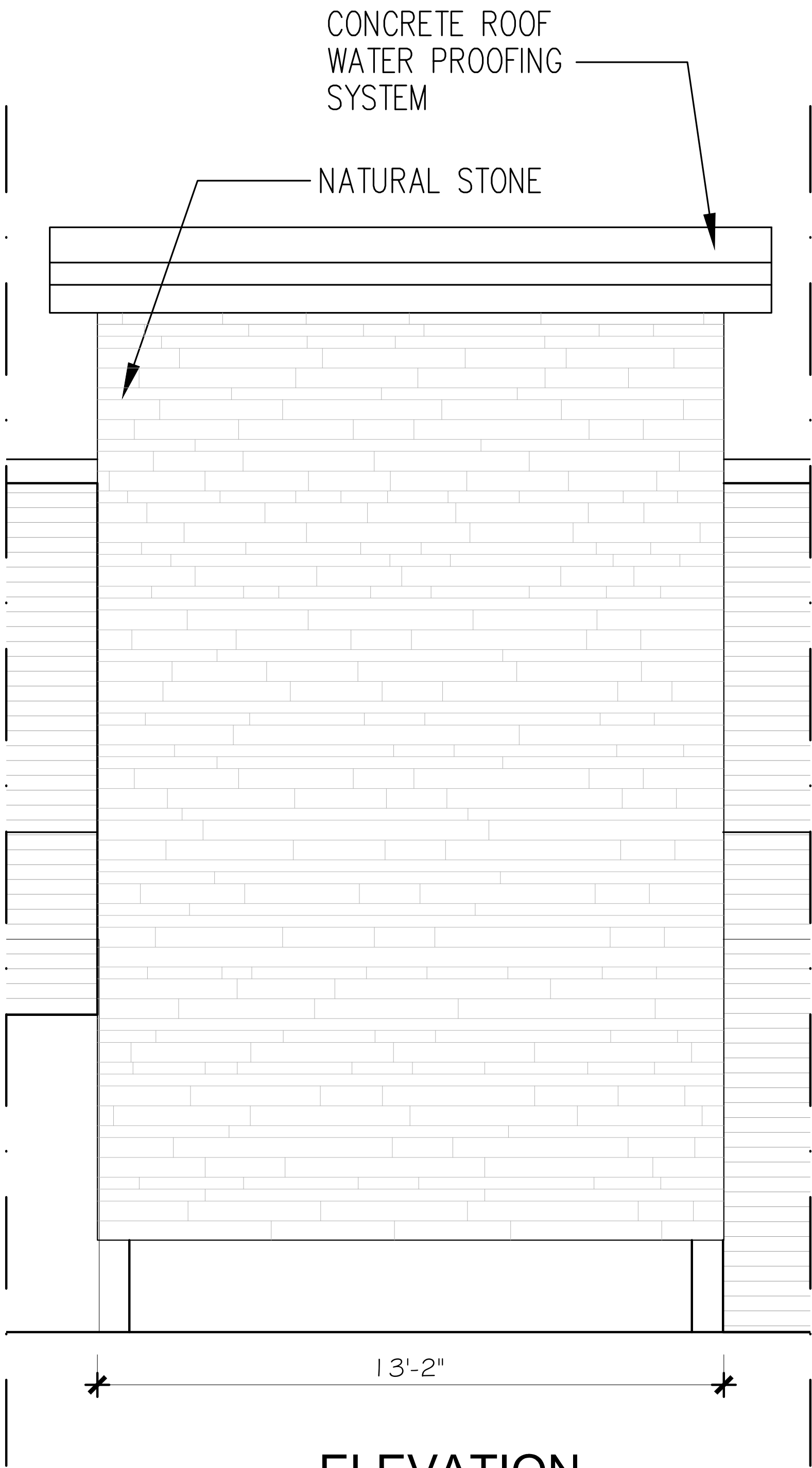
PROJECT No.

REVISIONS

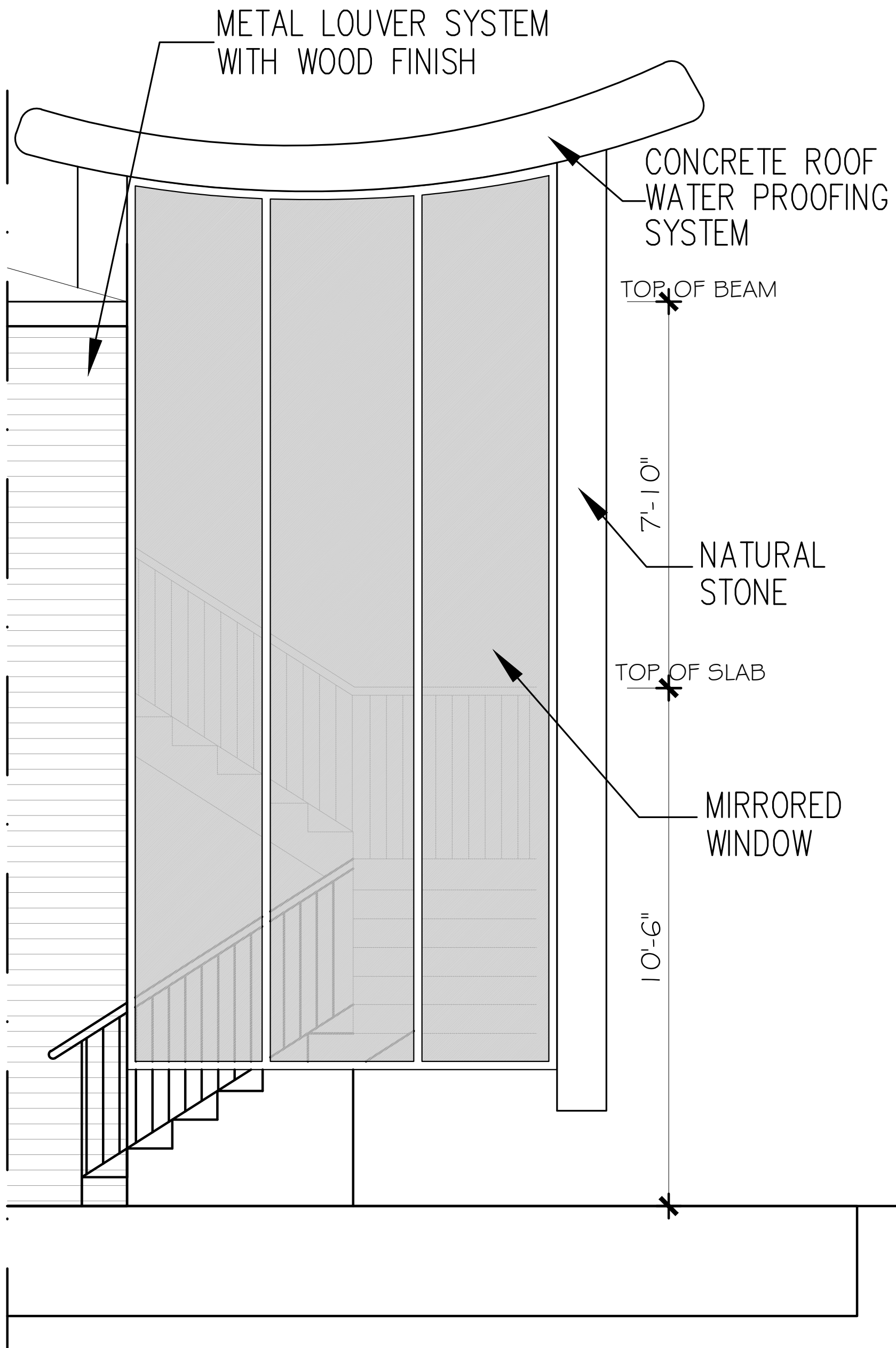
PARTIAL
ELEVATION
DOCTOR'S OFFICE

SCALE: AS SHOWN

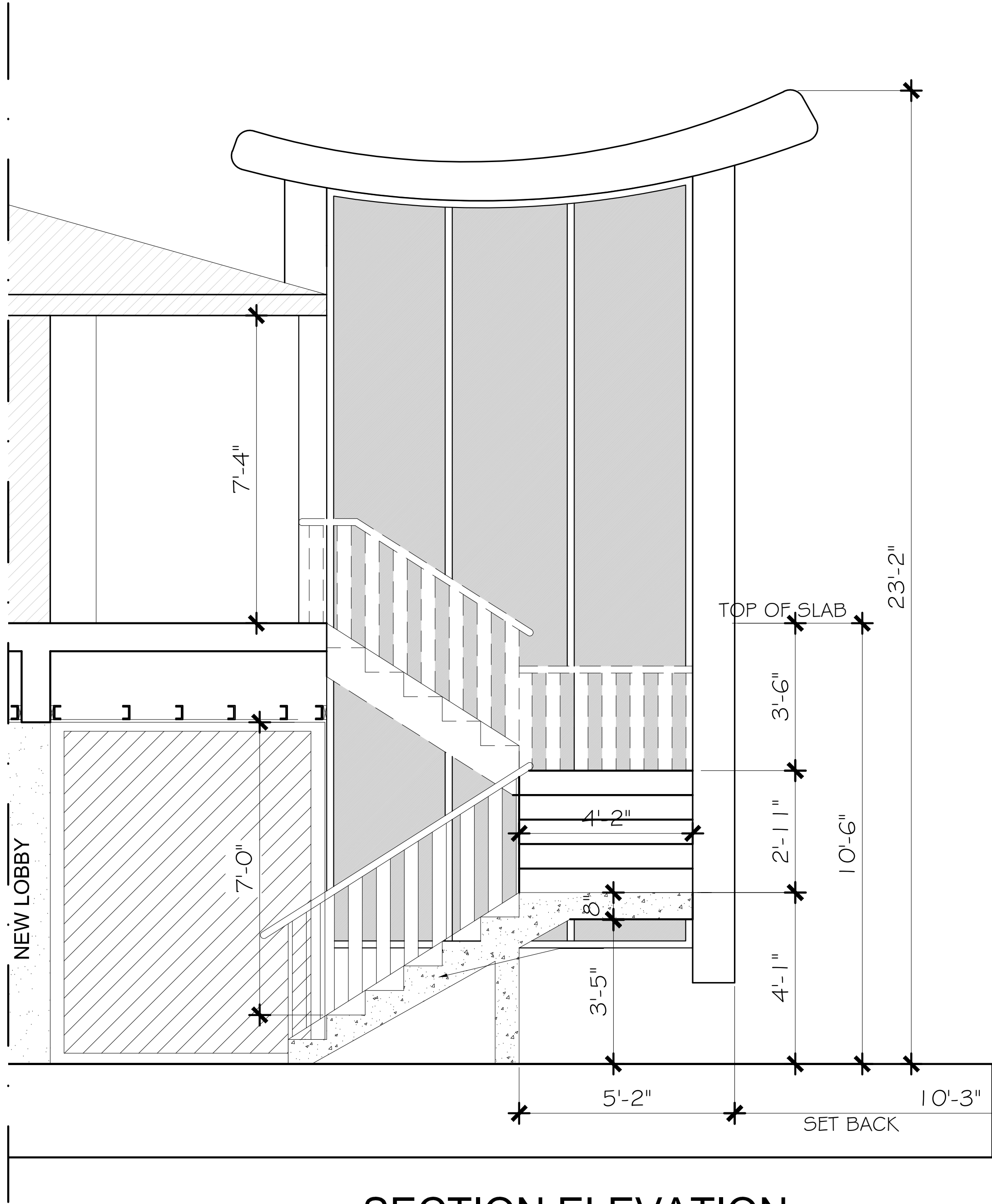
DATE: APRIL 15, 2019



1
A3.2
ELEVATION
SCALE: 1/2"=1'-0"



2
A3.2
ELEVATION
SCALE: 1/2"=1'-0"



A-A
A3.2
SECTION ELEVATION
SCALE: 1/2"=1'-0"

PROPERTY LINE

PROPOSED FOR:
**FACADE AND
STAIR REMODELING**
5740 HOLLYWOOD BLVD
HOLLYWOOD
Florida

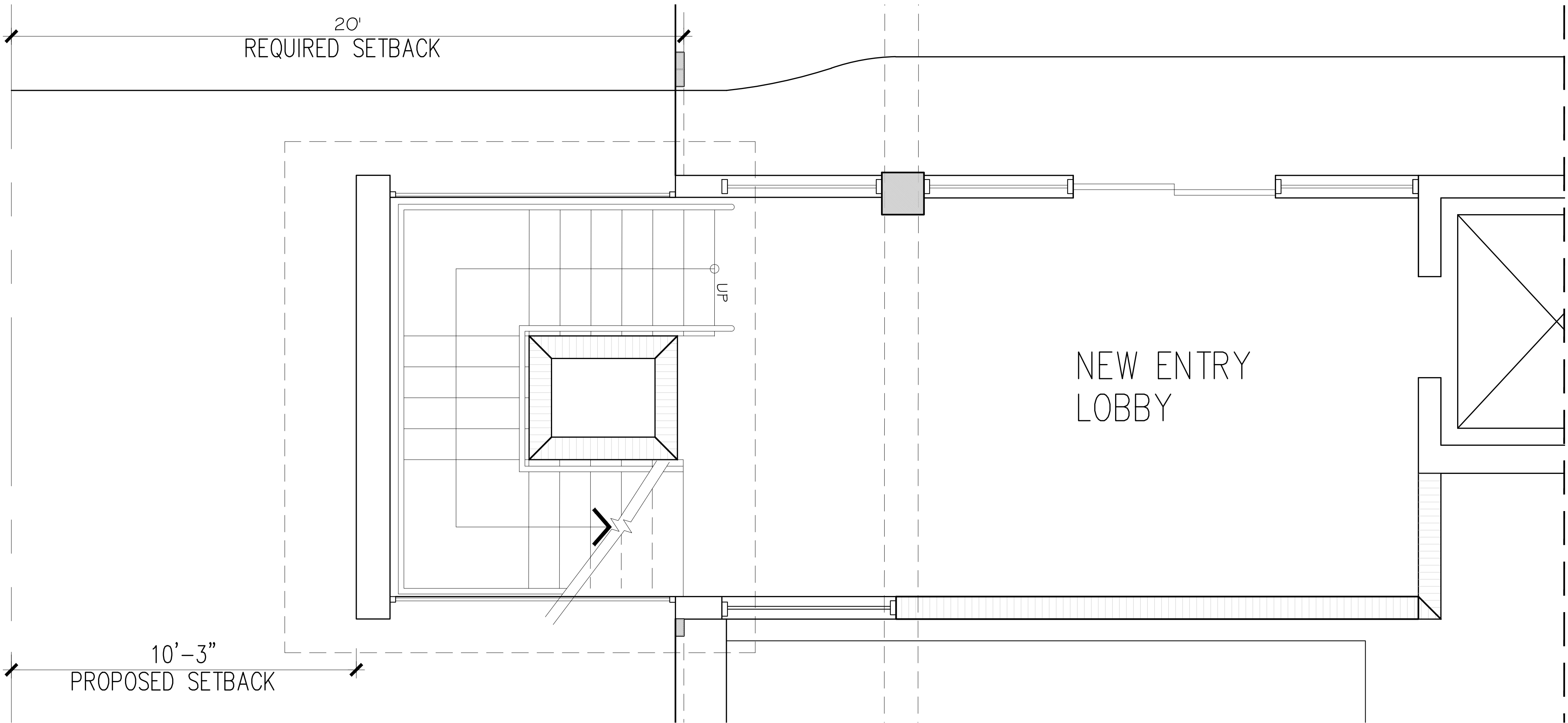
PROJECT No.

REVISIONS

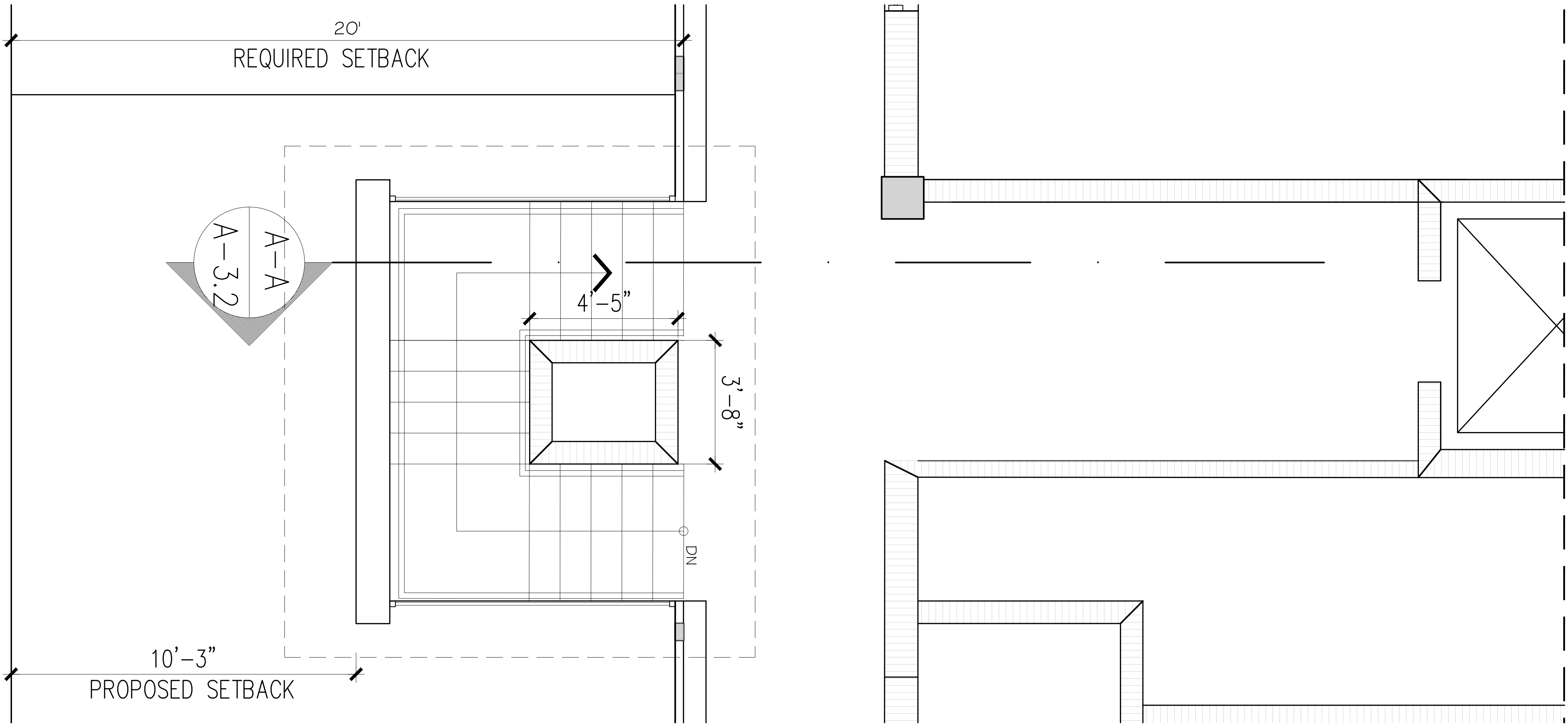
PARTIAL
ELEVATION
DOCTOR'S OFFICE

SCALE: AS SHOWN

DATE: APRIL 15, 2019



GROUND LEVEL STAIR LOBBY
SCALE: 1/2"=1'-0"



SECOND LEVEL STAIR
SCALE: 1/2"=1'-0"