

# ATTACHMENT A

## Application Package

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: Feb 08, 2019

Location Address: 1321 Tyler St, Hollywood FL, 33019

Lot(s): 10, 11 Block(s): 10 Subdivision: Hollywood Lakes

Folio Number(s): 5142-14-01-1900 Section \_\_\_\_\_

Zoning Classification: RS-6 Land Use Classification: Single Family

Existing Property Use: Residential Sq Ft/Number of Units: 2131 / 1

Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: 1 unit / 3 rooms Sq Ft: 1317

Value of Improvement: \$ 164,600 Estimated Date of Completion: April, 2020

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Bush, Guy/ Bush, Luz Elena

Address of Property Owner: 1321 Tyler St, Hollywood FL, 33019

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email Address: gksbush@msn.com

Name of Consultant/Representative/Tenant (circle one): \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ☒

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: 3 Design Architecture

Address: 3260 NW 7 ST, Miami FL, 33125

Email Address: 3demir@bellsouth.net

# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Guy K. Bush / Luz Elena Bush Date: 2/8/2019

PRINT NAME: Guy K. Bush Luz Elena Bush Date: 2/8/2019

Signature of Consultant/Representative: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 8th day of February, 2019

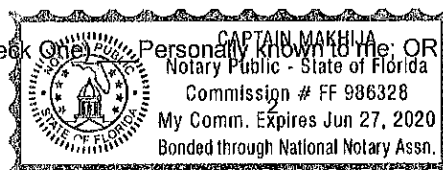
Captain Makly  
Notary Public

State of Florida

My Commission Expires: 6/27/2020

Luz Elena Bush / Guy K. Bush  
Signature of Current Owner

Luz Elena Bush Guy K. Bush  
Print Name



Produced Identification FL DL Valid

Feb 12, 2019  
City of Hollywood  
Department of Planning  
Historic Preservation Board  
2600 Hollywood Boulevard, Suite 315  
Hollywood, FL 33020

Re: 1321 Tyler Residence renovation/ addition  
1321 Tyler St, Hollywood Fl. 33019

**Dear Board Member,**

Our office has been retained to design an expansion to the existing left and right wing of the residence referenced above, with minimal interior remodeling to the existing conditions. The additions are as follows:

- Master bedroom suite/ master bathroom/ his and her w.i.c. = 854 sq ft.
- New kitchen/ quest bath = 463 sq. ft.
- Exterior covered area = 20 sq. ft.

Total addition area = 1,337 sq. ft.

The front façade will not be affected within the scope of this project. The overall intent of this project is to improve the functionality of the home to adapt to new standards of living, while retaining historic significant elements and architectural style, in color, materials and key features.

Existing landscape will only be affected in the areas of construction where it shall apply, which in turn will be replaced. No garage exists, and none will be provided. The existing 105 ft. long driveway on the east side of the house shall remain.

Our compliance with the City of Hollywood Design Guidelines for Historic Preservation and District is as follows:

**Legal Description:**

Lot 10 and 11, block 10 of subdivision "Hollywood Lakes Section", as recorded in plat book 1, page 32, of the public records of broward county, Florida.



**Integrity of location:**

The project is located in the “Hollywood Lakes Section”, and it was built originally in 1940, since then, the record shows it has had permits issued. The recorded issued permits are as follows:

- 1998 a/c – central – replacement
- 2000 a/c – central – replacement
- 2007 roofing tile
- 2007 electrical work

**Design:**

The general design intent follow key architectural elements to integrate the new addition as pas part of the existing. Same materials, textures and style have purposefully chosen to match existing conditions.

**Setting:**

This residence does not face any pertinent feature or landmark. New addition shall comply with building and zoning codes pertaining to this zone. The proposed height is within compliance and surrounding buildings.

**Material:**

Materials have been chosen to match existing condition.

**Association:**

The house was built in 1940. Since then it has gone thru some remodeling, mainly as repairs. These repairs did not in any way affect the integrity or originality of the house. As result of our research, we did not find any historic event in relevance with the property.

Our intent is to combine our client’s needs, while maintaining the historic originality of the neighborhood.

Anthony Leon  
**Principal**

NAME OF OWNER Nagelbush

71-1269

ADDRESS 1321 Tyler

LEGAL DESCRIPTION Lots 10 &amp; 11 B-10 Howard Lakes Sea

DESCRIPTION OF CONST.

FEE 29.30

ARCHITECT:

EVAL. 6567.00

~~Plumbing~~  
~~Gas~~

Add'n

PERMIT TYPE

NO.

DATE

TO WHOM

FIXT. or OUT.

BLOG.

7394

3-23-71

Scott McPherson

ROOF GOOD

8420

5-11-71

Zinck

ELECTRICAL

3768

5-5-71

Mellor Elec.

17 FV RISOAS

PLUMBING

1583

4-20-71

Nagelbush

GAS

SEPTIC, SEWER

A/C DUCTS

4258

5-26-69

Johns A/C

1 ton

SCREEN ENCL.

POOL

DRIVEWAY

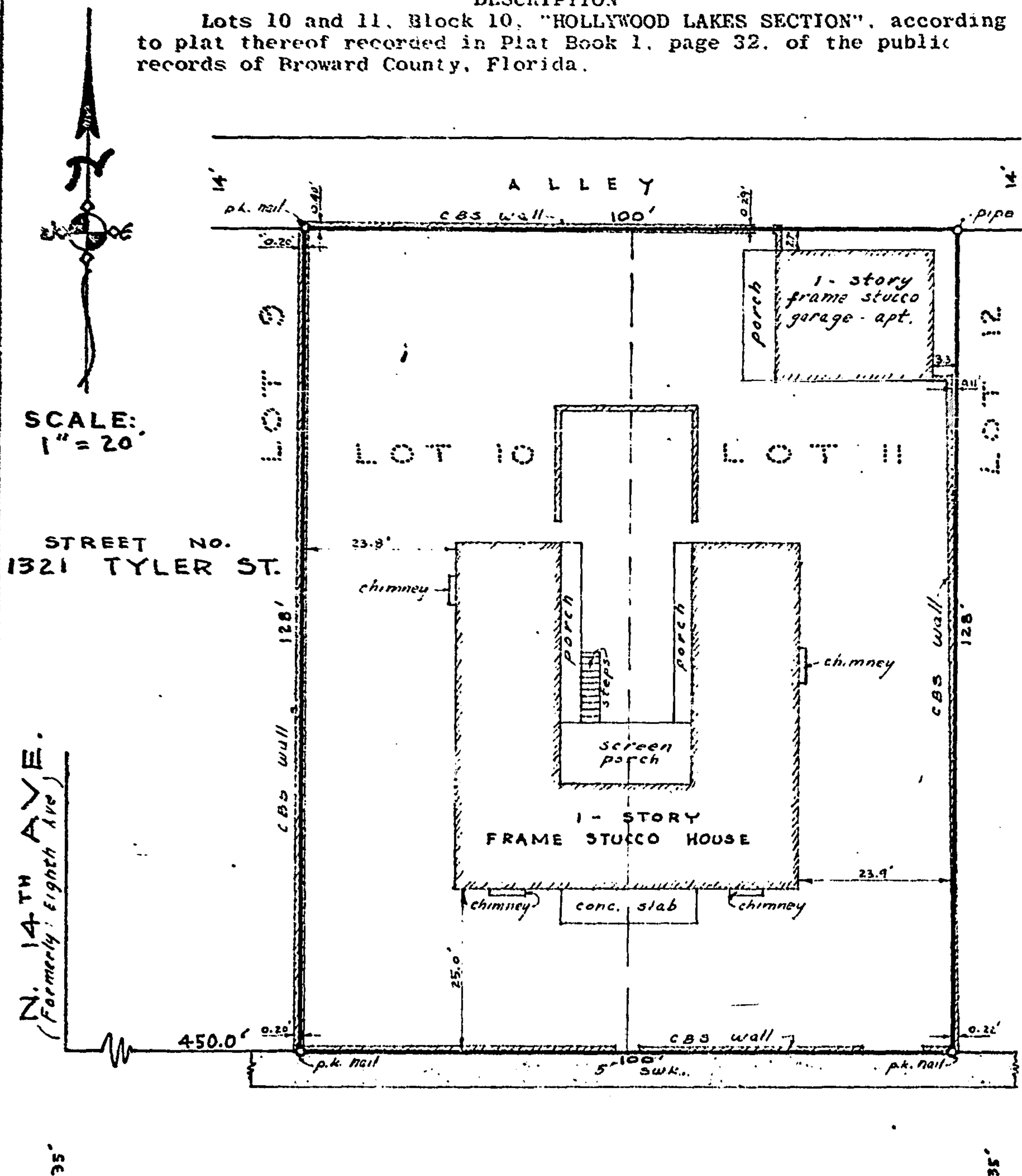
FENCE

# SURVEY FOR JEROME NAGELBUSH

HOLLYWOOD, FLA.

## DESCRIPTION

Lots 10 and 11, Block 10, "HOLLYWOOD LAKES SECTION", according to plat thereof recorded in Plat Book 1, page 32, of the public records of Broward County, Florida.



## TYLER ST.

TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I, MAURICE E. BERRY, hereby certify that I have made a recent survey of the above described property as indicated, and that there are no above-ground encroachments except as shown on above plat, and that said plat is true and correct to the best of my knowledge and belief.

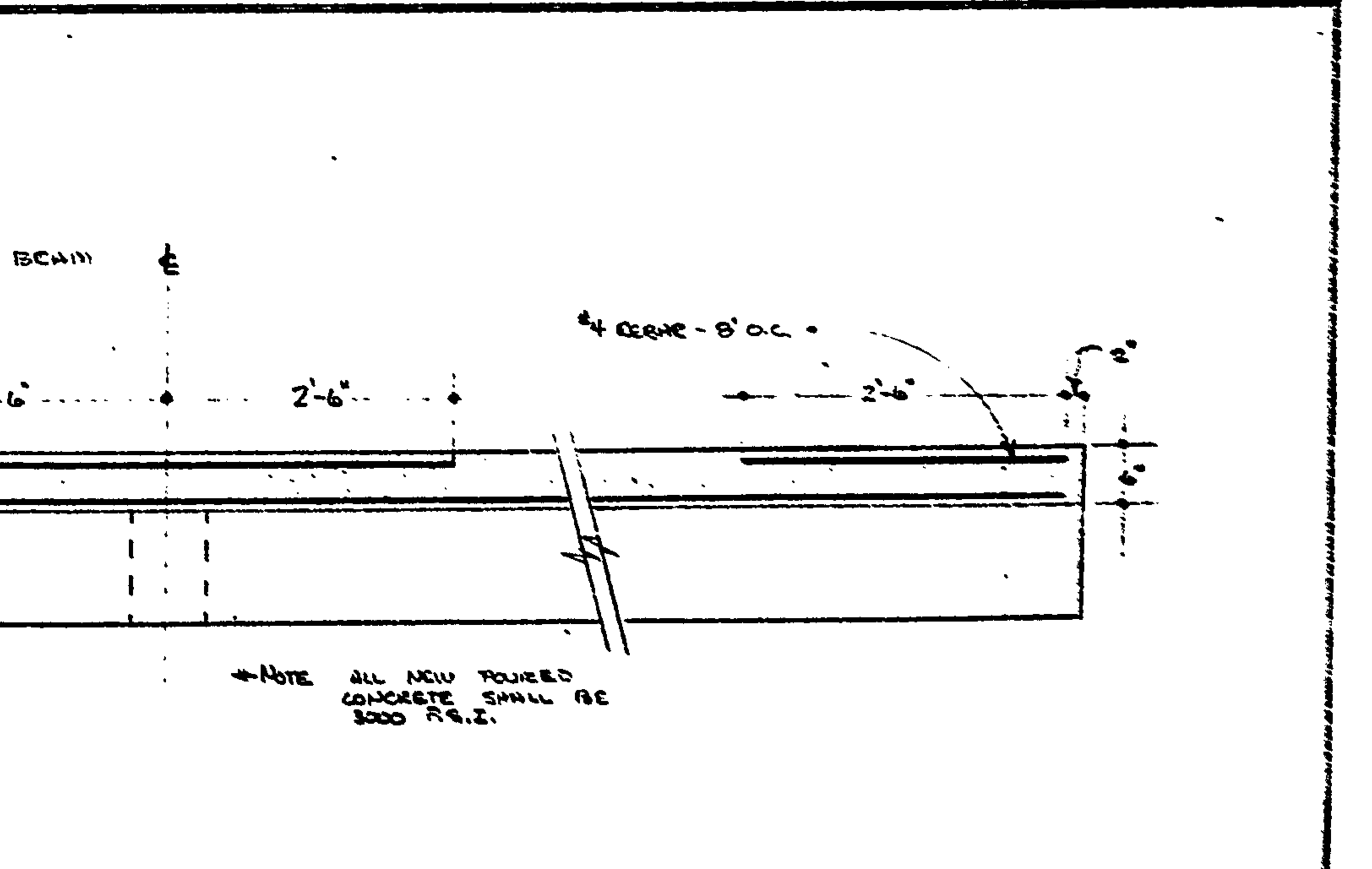
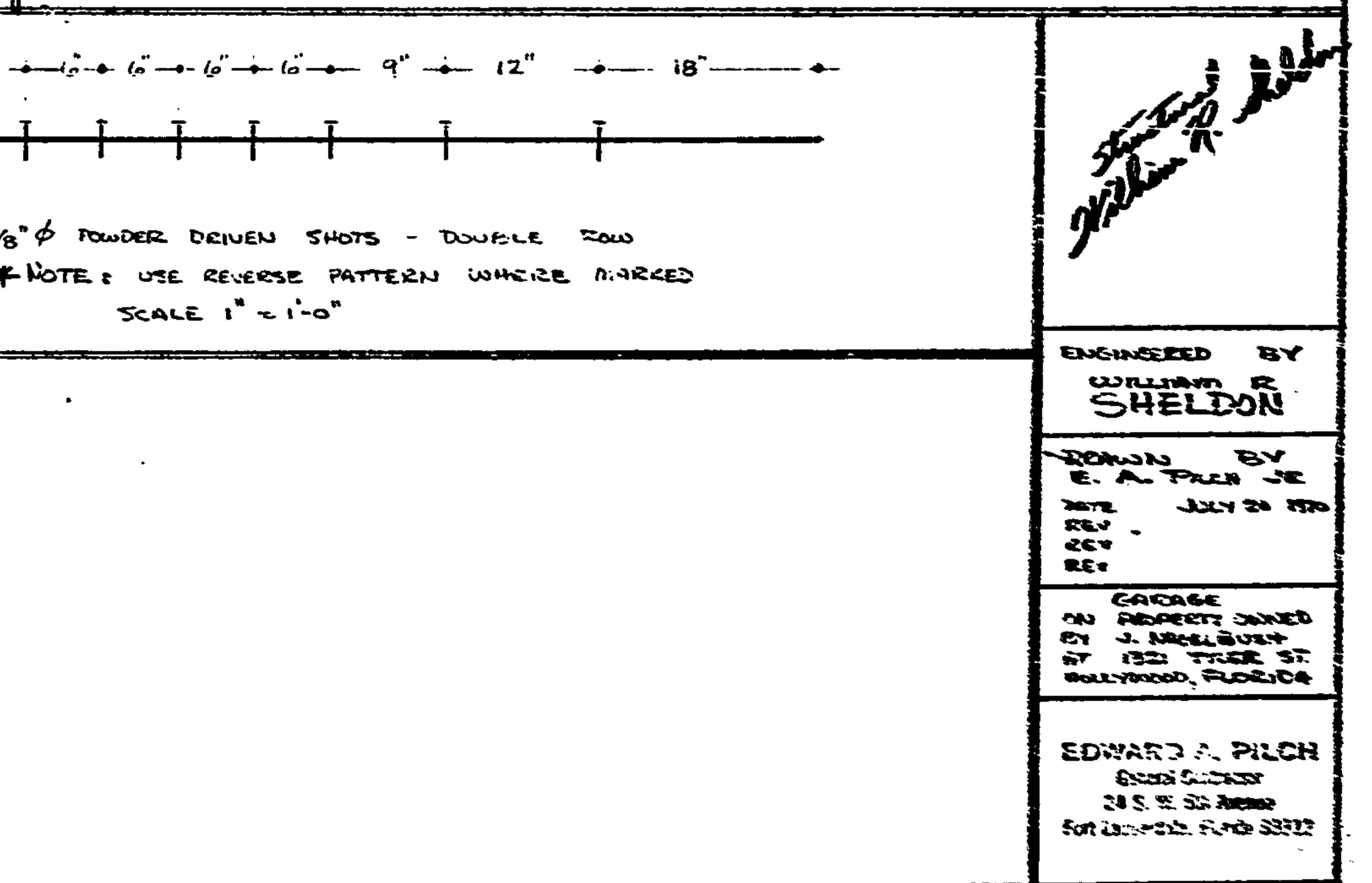
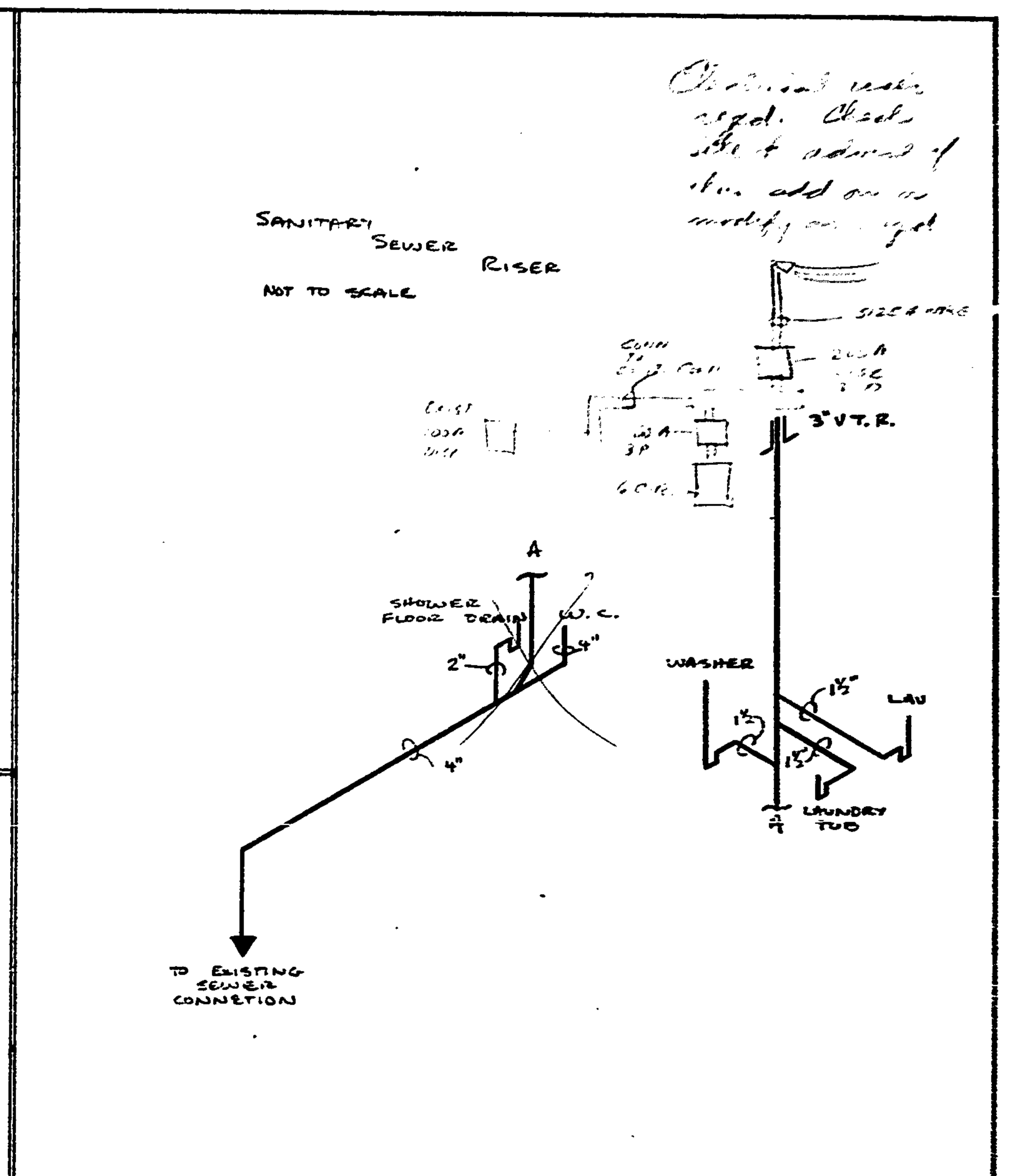
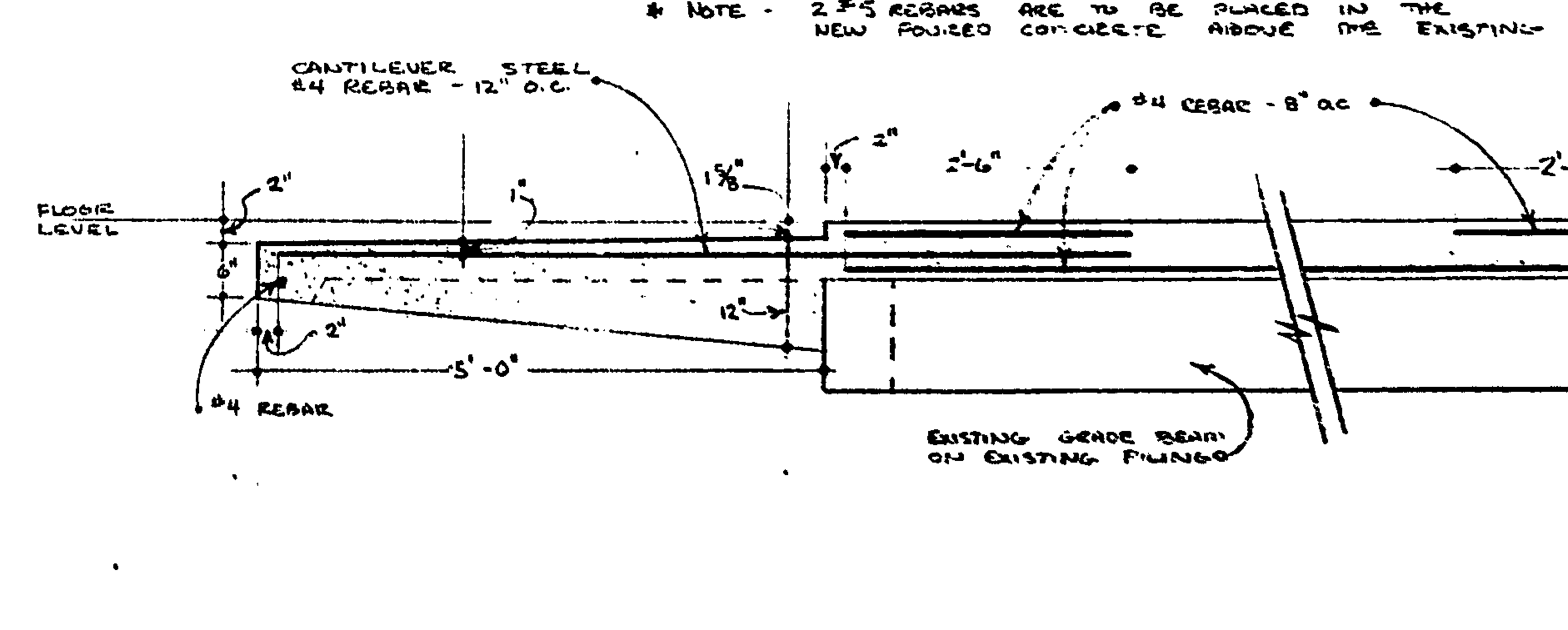
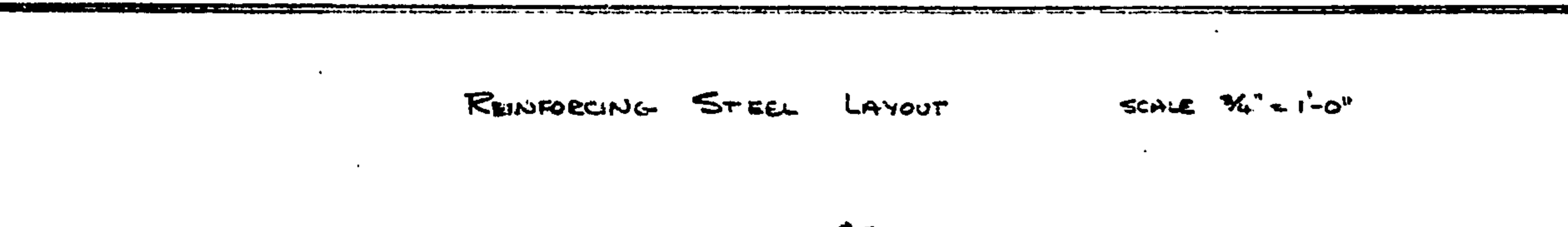
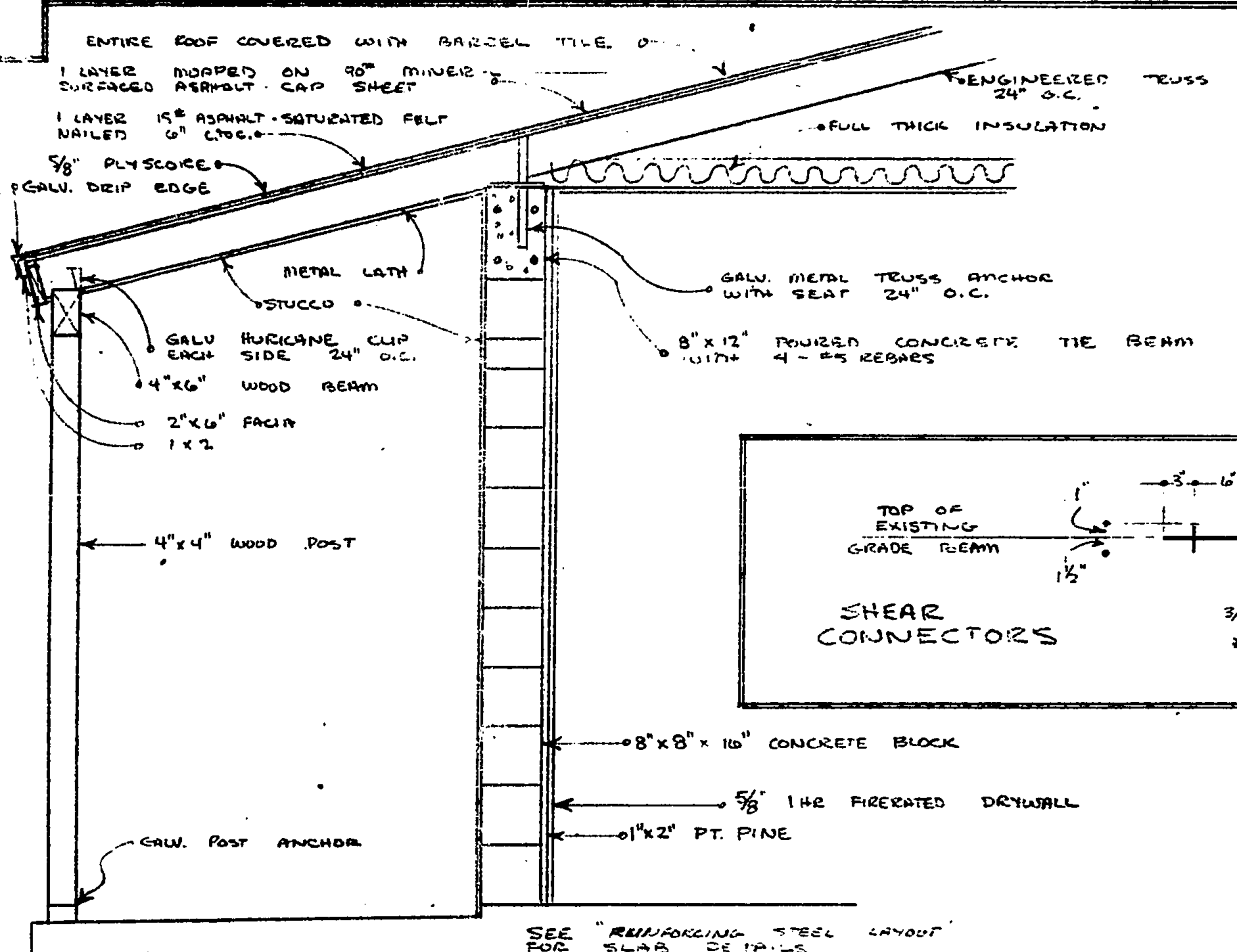
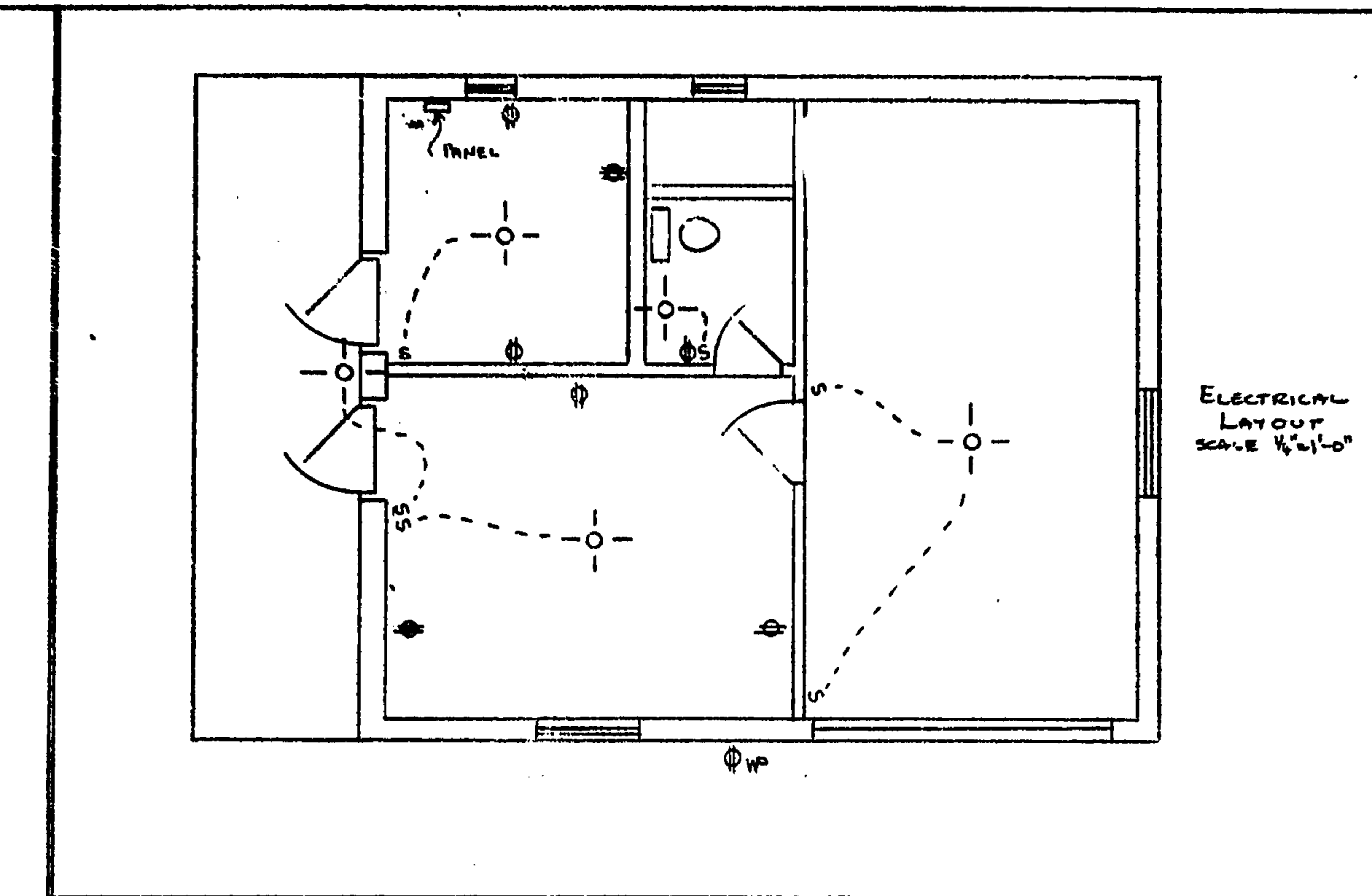
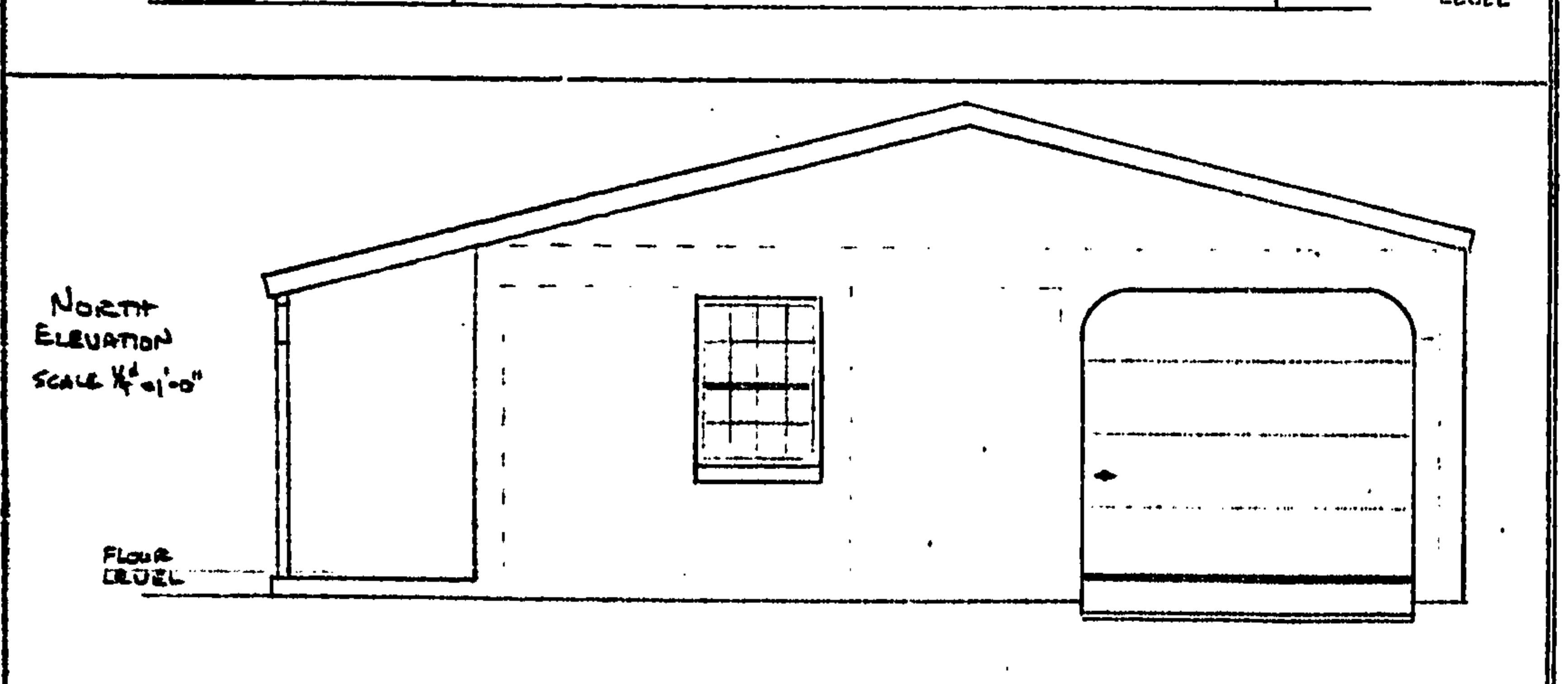
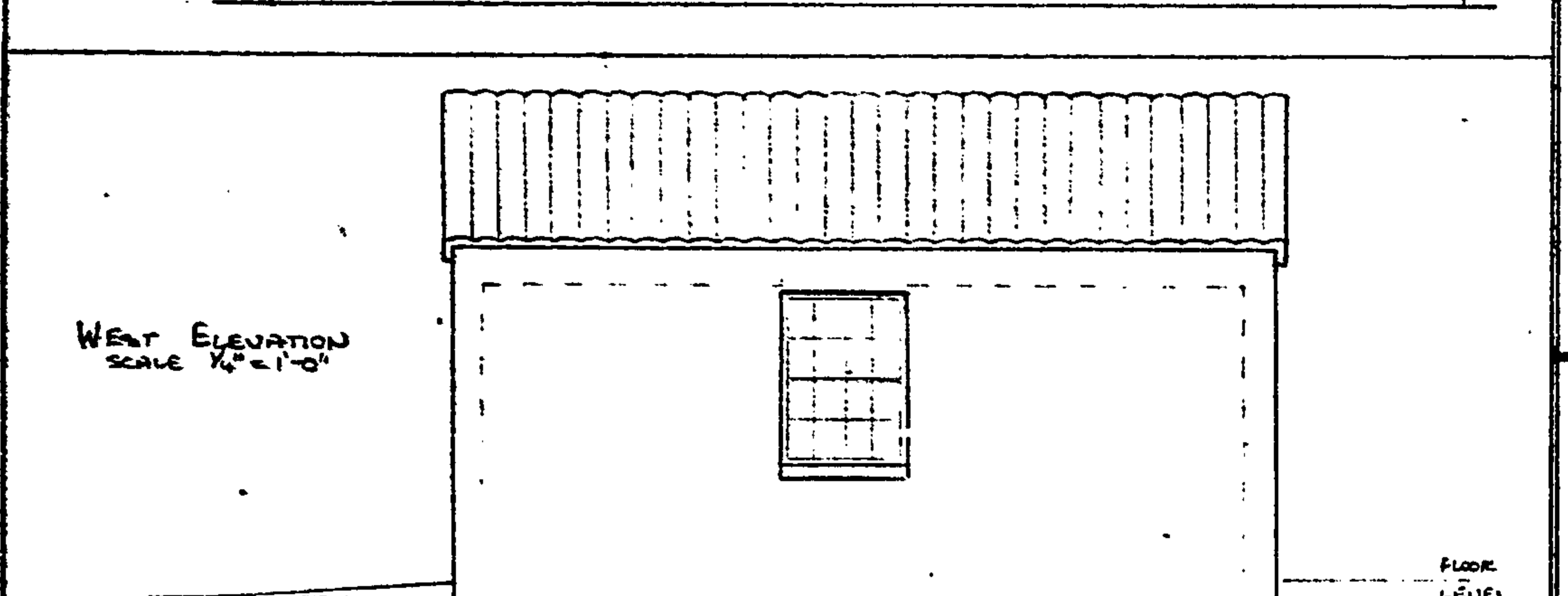
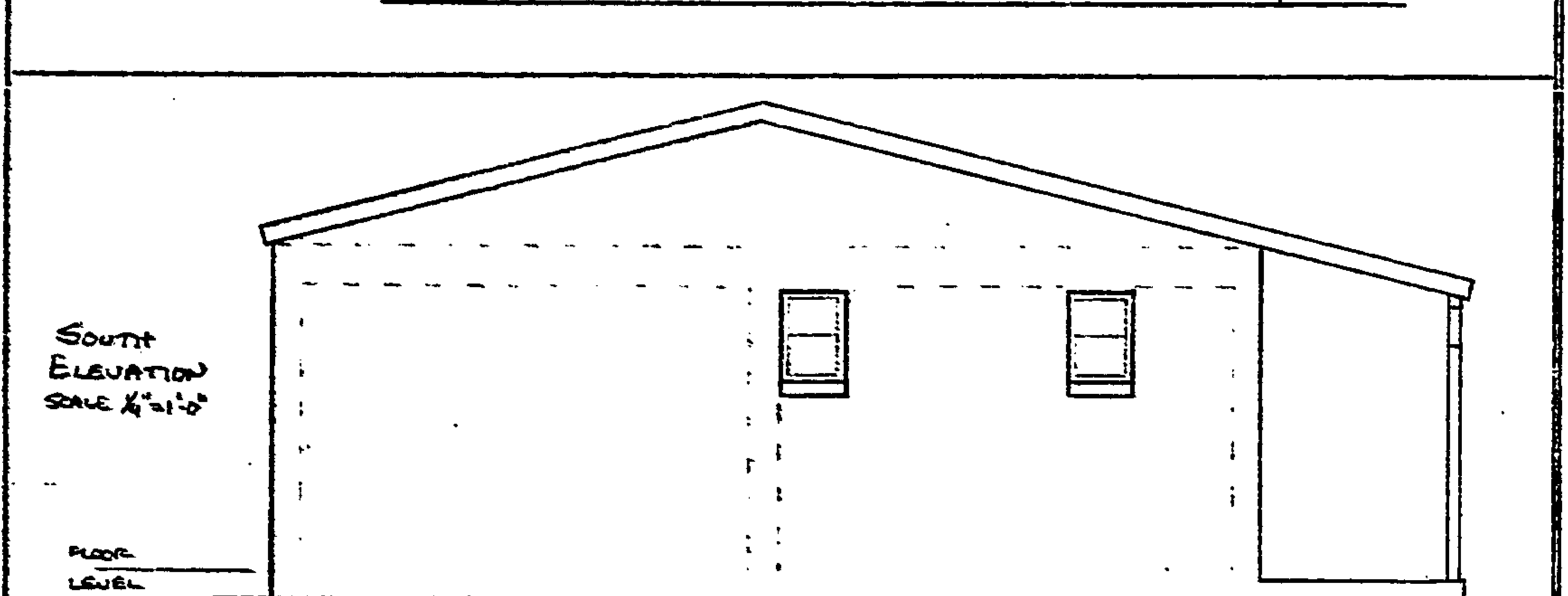
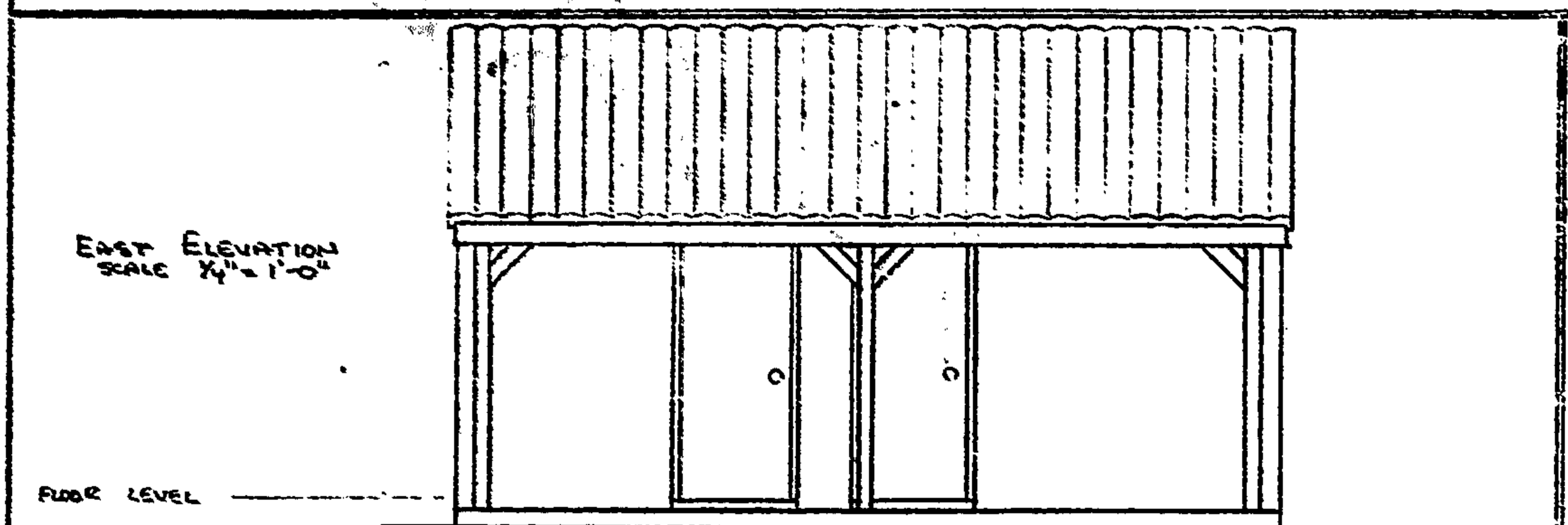
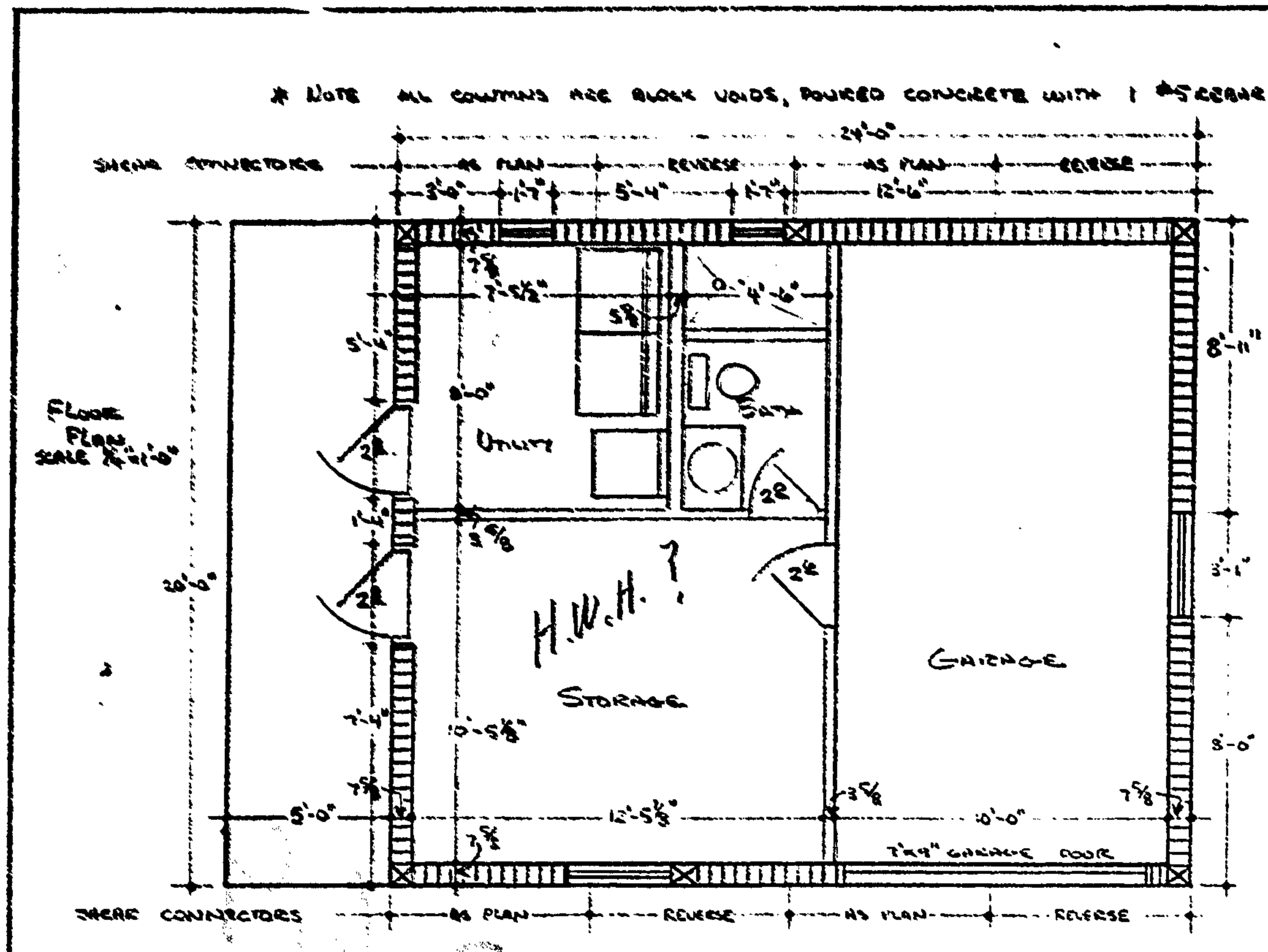
Dated at Hollywood, Broward County, Florida, this 22<sup>nd</sup> day of

day of OCT

, A. D., 1955.

**M. E. BERRY & ASSOCIATES**  
SURVEYS - MAPS  
**LAND DEVELOPMENT**  
HOLLYWOOD      2613 BLVD.

*Maurice E. Berry*  
**MAURICE E. BERRY**  
Registered Land Surveyor No. 371  
STATE OF FLORIDA



ENGINEERED BY  
WILLIAM R. SHELDON  
JULY 24, 1970  
EDWARD A. PILCH  
285 E. 30th AVE  
FOR L.P.C. 33372

NAME-OF OWNER J. NAGLEBUSH

ADDRESS 1321 TYLER ST.

LEGAL DESCRIPTION Lot 10-11 blk 11 COST 195.00

DESCRIPTION OF CONST. HND LAKES SEC

ARCHITECT:

DEMOLITION

(1) STORY FRAME STUFFO

PERMIT TYPE	NO.	DATE	TO WHOM	FIXT. or OUT.
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BLDG.	76880	2-13-68	BIG CHIEF DEMOLITION	
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ROOF				
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ELECTRICAL				
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PLUMBING				
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GAS				
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SEPTIC, SEWER				
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A/C DUCTS				
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SCREEN ENCL.				
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POOL				
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DRIVEWAY				
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FENCE				
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NAME OF OWNER JEROME NAGELBUSH

ADDRESS 1321 TYLER ST

LEGAL DESCRIPTION LOT 14 BLK 10. HND LKE SECT COST \$ 200.00

DESCRIPTION OF CONST.

ARCHITECT:

DEMOLITION (BLDG IN REAR)

PERMIT TYPE	NO.	DATE	TO WHOM	FIXT. or CUT.
BLDG.	69727	12-28-66	OWNER	OK BY LINDSEY
ROOF				
ELECTRICAL	37787	6-9-67	Mohr	JP
PLUMBING				
GAS	31289	2-15-68	People	31
SEPTIC, SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

# JOB CARD

OWNER Navelbush		JOB ADDRESS 1321 Tyler Street	
LEGAL DESCRIPTION	LOT NUMBER 10-11	BLOCK 10	SUBDIVISION OR ADDITION Hollywood Lakes Sec.- 514214011900
MICROFILM NO. <i>No plans</i>	ARCHITECT none	FEE \$57.00	VALUATION \$2,800.00

DESCRIPTION OF CONSTRUCTION Repair 2 valleys - spanish tile	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING 1500	112747	10-1-87	C. Ragan & Son Roofing	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: County surcharge: \$1.05

# JOB CARD

OWNER Jerome Nagelbush	JOB ADDRESS 1321 Tyler St.
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LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 18.70	VALUATION \$ 1100.00
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DESCRIPTION OF CONSTRUCTION 1050 Sq.Ft. Concrete Driveway	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY	54180	5/9/79	Owner
FENCE				PATIO or WALK			

NOTES:	County Surcharge \$.39
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# JOB CARD

OWNER J. Nagelbush		JOB ADDRESS 1321 Tyler St.	
LEGAL DESCRIPTION	LOT NUMBER 10-11	BLOCK 11	SUBDIVISION OR ADDITION Hwd. Lakes
MICROFILM NO.	ARCHITECT	FEE \$ 1770	VALUATION \$ 2500.00
DESCRIPTION OF CONSTRUCTION re-roof tile			<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 2800	53342	3-29-79	Plantation	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES: county surcharge \$.88

# JOB CARD

OWNER <b>JEROME NAGELBUSH</b>		JOB ADDRESS <b>1321 Tyler St.</b>	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ no fee	VALUATION \$ 200

DESCRIPTION OF CONSTRUCTION <b>Repalce a City Sidewalk</b>	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
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TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK	46791	4/10/78	Owner

NOTES:

## Permit Details

<b>Process #:</b>	<b>Permit #:</b> B18-108916	<b>Master Permit:</b> B18-108916
<b>Status:</b> ISSUED		
<a href="#">List All Subpermits</a>		

Site Information	
<b>Address:</b> 1321 TYLER ST <b>Sub-division:</b> HOLLYWOOD LAKES SECTION 1-32 B , <b>Lot:</b> 10,11 <b>Block:</b> 10	<b>Folio#:</b> 514214011900 <b>Value:</b> \$46,750.00 <b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> REPAIRS-STRUCTURAL - CONCRETE REPAIRS <b>Job Name:</b> BUSH,GUY K BUSH,LUZ ELENA <b>Film Number:</b>	<b>Application Date:</b> 11/19/2018 <b>Permit Date:</b> 12/28/2018 <b>CO/CC Date:</b> N/A <b>Total Fees:</b> \$1,224.40 <b>Recorded Payments:</b> \$1,224.40 <b>Balance:</b> \$0.00

Applicant / Contact Information
<b>Name:</b> SNAPP INDUSTRIES INC <b>Address:</b> 2902 NW 22 ST MIAMI, FL

Property Owner Information
<b>Name:</b> BUSH,GUY K BUSH,LUZ ELENA <b>Address:</b> 1321 TYLER ST HOLLYWOOD FL 33019

Contractor Information
<b>Name:</b> SNAPP INDUSTRIES INC ( <a href="#">Permits + Details</a> ) <b>Address:</b> 2902 NW 22 ST MIAMI, FL

## Permit Details

<b>Process #:</b>	<b>Permit #:</b> B18-100967	<b>Master Permit:</b> B18-100967
<b>Status:</b> CANCELLED		
<a href="#"><u>List All Subpermits</u></a>		

Site Information	
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION 1-32 B ,	<b>Value:</b> \$2,165.80
<b>Lot:</b> 10,11	<b>Sq Ft:</b> 0
<b>Block:</b> 10	

Permit Information	
<b>Application Type:</b> WINDOW &/OR DOOR REPLACEMENT - WINDOWS REPLACEMENT IMPACT	<b>Application Date:</b> 2/8/2018
<b>Job Name:</b> OULIE, BERNARD & NEMITZ, RITA	<b>Permit Date:</b> 3/7/2018
<b>Film Number:</b>	<b>CO/CC Date:</b> N/A
	<b>Total Fees:</b> \$156.22
	<b>Recorded Payments:</b> \$156.22
	<b>Balance:</b> \$0.00

Applicant / Contact Information
<b>Name:</b> THE HOME DEPOT USA INC
<b>Address:</b> 2455 PACES PERRY RD ATLANTA, GA

Property Owner Information
<b>Name:</b> OULIE, BERNARD & NEMITZ, RITA
<b>Address:</b> 1321 TYLER ST HOLLYWOOD FL 33019

Contractor Information
<b>Name:</b> THE HOME DEPOT USA INC ( <a href="#"><u>Permits + Details</u></a> )
<b>Address:</b> 2455 PACES PERRY RD ATLANTA, GA

## Permit Details

<b>Process #:</b>	<b>Permit #:</b> B07-100472	<b>Master Permit:</b> B07-100224
<b>Status:</b> CLOSED		
<a href="#"><u>Show Master Permit</u></a>		

Site Information		
<b>Address:</b> 1321 TYLER ST		<b>Folio#:</b> 514214011900
<b>Sub-division:</b>		<b>Value:</b> \$4,743.00
<b>Lot:</b>	<b>Block:</b>	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> ROOFING TILE	<b>Application Date:</b> 5/29/2007
<b>Job Name:</b>	<b>Permit Date:</b> 5/29/2007
<b>Film Number:</b>	<b>CO/CC Date:</b> N/A
	<b>Total Fees:</b> \$121.61
	<b>Recorded Payments:</b> \$121.61
	<b>Balance:</b> \$0.00

Applicant / Contact Information
<b>Name:</b> BEST FLORIDIAN ROOFING
<b>Address:</b> 5645 RODMAN ST HOLLYWOOD, FL

Property Owner Information
<b>Name:</b> OULIE, BERNARD & NEMITZ, RITA
<b>Address:</b>

Contractor Information
<b>Name:</b> BEST FLORIDIAN ROOFING ( <a href="#"><u>Permits + Details</u></a> )
<b>Address:</b> 5645 RODMAN ST HOLLYWOOD, FL



## Permit Details

<b>Process #:</b>	<b>Permit #:</b> B07-100224	<b>Master Permit:</b> B07-100224
<b>Status:</b> CLOSED		
<a href="#"><u>List All Subpermits</u></a>		

Site Information	
<b>Address:</b> 1321 TYLER ST <b>Sub-division:</b> HOLLYWOOD LAKES SECTION 1-32 B , <b>Lot:</b> 10,11 <b>Block:</b> 10	<b>Folio#:</b> 514214011900 <b>Value:</b> \$25,600.00 <b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> ROOFING TILE <b>Job Name:</b> <b>Film Number:</b>	<b>Application Date:</b> 5/16/2007 <b>Permit Date:</b> 5/22/2007 <b>CO/CC Date:</b> 10/29/2007 <b>Total Fees:</b> \$681.90 <b>Recorded Payments:</b> \$681.90 <b>Balance:</b> \$0.00

Applicant / Contact Information
<b>Name:</b> BEST FLORIDIAN ROOFING <b>Address:</b> 5645 RODMAN ST HOLLYWOOD, FL

Property Owner Information
<b>Name:</b> OULIE, BERNARD & NEMITZ, RITA <b>Address:</b> 1321 TYLER ST

Contractor Information
<b>Name:</b> BEST FLORIDIAN ROOFING ( <a href="#">Permits + Details</a> ) <b>Address:</b> 5645 RODMAN ST HOLLYWOOD, FL



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045  
Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_  
Process Number: B07100224  
E-Mail Address: \_\_\_\_\_  
Project/Reference: \_\_\_\_\_

**For Review By: (check ☒ all applicable spaces)**

Division: ☐ Building ☐ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage  
Discipline: ☒ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Charges

From: Best Floridian Roofing

Address: 4720 Sheridan St  
Hollywood, FL 33021

E-Mail Address: \_\_\_\_\_

Contact: GINO  
Phone: 954-608-5974 Fax: (\_\_\_\_) \_\_\_\_\_

**PLANS SUBMITTED: (check ☒)**

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

**WE ARE SUBMITTING TO YOU (check ☒)**

Via ☒ hand delivery ☐ Postal delivery  
☐ special delivery ☐ fax copy

☐ E-mail  
☒ initial (original) sets of plans  
☐ corrected (non-permitted) plans  
☐ revised (permitted) plans  
☐ shop drawings: ☐ structural steel  
☐ wood trusses  
☐ glass/glazing  
☐ product approvals  
☐ fire protection

☐ spot survey  
☐ final survey  
☐ energy (insulation) certification  
☐ special inspector letter  
☐ soil report  
☐ inspection reports  
☐ energy calcs  
☐ site plans  
☐ other \_\_\_\_\_

**Special Instructions:**

**For Departmental Use Only:**

Received by: \_\_\_\_\_

Date: 1/10/07



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045  
Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_  
Process Number: B07100224  
E-Mail Address: \_\_\_\_\_  
Project/Reference: \_\_\_\_\_

### For Review By: (check ☒ all applicable spaces)

Division: ☐ Building ☐ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage  
Discipline: ☒ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Charges

From: Best Floridian Roofing

Address: 4720 Sheridan St.  
Hollywood

E-Mail Address: \_\_\_\_\_  
Contact: Antonio Gino  
Phone: 954 608 5974 Fax: ( ) \_\_\_\_\_

### PLANS SUBMITTED: (check ☒)

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

### WE ARE SUBMITTING TO YOU (check ☒)

Via ☒ hand delivery ☐ Postal delivery  
☐ special delivery ☐ fax copy

☐ E-mail  
☐ initial (original) sets of plans  
☒ corrected (non-permitted) plans  
☐ revised (permitted) plans  
☐ shop drawings: ☐ structural steel  
☐ wood trusses  
☐ glass/glazing  
☐ product approvals  
☐ fire protection

☐ spot survey  
☐ final survey  
☐ energy (insulation) certification  
☐ special inspector letter  
☐ soil report  
☐ inspection reports  
☐ energy calcs  
☐ site plans  
☐ other \_\_\_\_\_

### Special Instructions:

### For Departmental Use Only:

Received by: E. Davis Date: 5/22/07





# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045  
Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: 5/29/07  
Process Number: B07100224  
E-Mail Address: \_\_\_\_\_  
Project/Reference: \_\_\_\_\_

### For Review By: (check ☒ all applicable spaces)

Division: ☐ Building ☐ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage  
Discipline: ☒ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Charges

From: Best Floridian Roofing

Address: 1552 SW 13CT  
Pompano Bch FL

E-Mail Address: 33069

Contact: Gino

Phone: 954 6085974 Fax: ( ) \_\_\_\_\_

### PLANS SUBMITTED: (check ☒)

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

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☐ special delivery ☐ fax copy

- ☐ E-mail  
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☐ shop drawings: ☐ structural steel  
☐ wood trusses  
☐ glass/glazing  
☐ product approvals  
☐ fire protection

- ☐ spot survey  
☐ final survey  
☐ energy (insulation) certification  
☐ special inspector letter  
☐ soil report  
☐ inspection reports  
☐ energy calcs  
☐ site plans  
☐ other \_\_\_\_\_

### Special Instructions:

Pictures of roofs

### For Departmental Use Only:

Received by: Sanya Elvey Date: 5/29/07



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF BUILDING & ENGINEERING SERVICES

## Letter of Transmittal

To: City of Hollywood  
P.O. Box 229045  
Hollywood, FL 33022-9045  
Phone: (954) 921-3335 • Fax: (954) 921-3037

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_  
Process Number: B07-100224  
E-Mail Address: \_\_\_\_\_  
Project/Reference: \_\_\_\_\_

### For Review By: (check ☒ all applicable spaces)

Division: ☒ Building ☐ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage  
Discipline: ☒ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Charges

From: Best Floridian Roofing  
Address: 1552 SW 13 CT  
Pompano Bch 33062  
E-Mail Address: \_\_\_\_\_  
Contact: GINO  
Phone: 954 608-5974 Fax: (\_\_\_\_) \_\_\_\_\_

### PLANS SUBMITTED: (check ☒)

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

### WE ARE SUBMITTING TO YOU (check ☒)

Via ☒ hand delivery ☐ Postal delivery  
☐ special delivery ☐ fax copy

☐ E-mail  
☐ initial (original) sets of plans  
☐ corrected (non-permitted) plans  
☒ revised (permitted) plans  
☐ shop drawings: ☐ structural steel  
☐ wood trusses  
☐ glass/glazing  
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☐ spot survey  
☐ final survey  
☐ energy (insulation) certification  
☐ special inspector letter  
☐ soil report  
☐ inspection reports  
☐ energy calcs  
☐ site plans  
☐ other \_\_\_\_\_

### Special Instructions:

assign sub  
permit  
for Garage  
Roof.  
(on original plan)

### For Departmental Use Only:

Received by: E. Davis Date: 5/23/07



**CITY OF HOLLYWOOD, FLORIDA**  
**PERMIT APPLICATION**

**507100224**  
MASTER PROCESS # \_\_\_\_\_  
MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☒ STRUC, ☐ FIRE, ☐ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE 5-14-07 TAX FOLIO No. 5142 1401 1900

LEGAL DESCRIPTION: HOLLYWOOD LAKES 1-323 Lot 10, 11 BLK 10

JOB NAME RITA NEWITZ PHONE # \_\_\_\_\_

JOB ADDRESS 1321 TYLER ST Hollywood HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME OLIE BERNARD R NEWITZ

Owners Address 1321 TYLER ST City Hollywood State FL Zip 33019

WORK DESCRIPTION Re Roof TILE

USE/OCCUPANCY \_\_\_\_\_ Sq. Ft. 3800 Value of Proposed Work: \$ 25,600

CONTRACTOR'S NAME Best Floridian Roofing PHONE # 754-2241421 Fax # \_\_\_\_\_

CONTRACTOR'S ADDRESS 4720 Sheridan Street CITY Hollywood STATE FL ZIP 33021

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: CCC 1325749 EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME \_\_\_\_\_ PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME \_\_\_\_\_

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Rita Newitz Date: 05/14/07  
Owner or \*\*Agent

Sworn to (or affirmed) and subscribed before me this 14 day of

May, 2007

Signature Monica M. Marquis  
NOTARY as to Owner/Agent

Personally Known, Identification Provided: (FLO)

Signature Trena Thompson Date: 05/14/07  
Prime Contractor

Sworn to (or affirmed) and subscribed before me this 14 day of

May, 2007

Signature Trena Thompson  
NOTARY PUBLIC STATE OF FLORIDA

Commission # DD401805  
Expires: MAR. 01, 2009  
Personally Known, I.D. Provided: \_\_\_\_\_

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: [Signature] Permit Officer

Effective Code: 20\_\_ Florida Building Code



# CITY OF HOLLYWOOD, FLORIDA

## PERMIT APPLICATION

MASTER PROCESS # B07-100224  
MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☒ STRUC, ☐ FIRE, ☐ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE 05/23/07 TAX FOLIO No. \_\_\_\_\_

LEGAL DESCRIPTION: HOLLYWOOD LAKES LOT 10, 11 BLK 10.

JOB NAME RITA NEMITZ PHONE # \_\_\_\_\_

JOB ADDRESS 1321 TYLOR ST HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME RITA NEMITZ

Owners Address 1321 TYLOR ST City HOLLYWOOD State FL Zip 33019

WORK DESCRIPTION PEROOF

USE/OCCUPANCY GARAGE Sq. Ft. 600 Value of Proposed Work: \$ 3000

CONTRACTOR'S NAME BEST FLORIDIAN ROOFING PHONE # 954-668-6433 Fax # \_\_\_\_\_

CONTRACTOR'S ADDRESS 4552 SW 13 CT CITY POMPANO BEACH STATE FL ZIP 33069

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: CCC 1325749 EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME N/A PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME N/A

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME N/A

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME N/A

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature Rita Nemitz Date: 5-23-07 Signature Rigina Ben Date: 05/23/07  
Owner or \*\*Agent Prime Contractor

Sworn to (or affirmed) and subscribed before me this 23 day of May, 2007. Sworn to (or affirmed) and subscribed before me this 23 day of May, 2007.

Signature Trena Thompson Signature Trena Thompson  
NOTARY as to Owner/Agent NOTARY as to Contractor

Personally Known, Identification Provided: Personally Known, I.D. Provided:

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: ED Permit Officer Effective Code: 20 Florida Building Code

NOTARY PUBLIC - STATE OF FLORIDA  
Trena Thompson  
Commission # DD401805  
Expires: MAR. 01, 2009  
Bonds thru Atlantic Bonding Co., Inc.



## STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS

IF YOU ARE PLANNING TO DEMOLISH OR RENOVATE ANY EXISTING STRUCTURE, YOU MAY BE SUBJECT TO FEDERAL AND COUNTY RULES RELATING TO THE HANDLING OF ASBESTOS CONTAINING MATERIAL. PLEASE FILL OUT THIS FORM TO DETERMINE IF THE ASBESTOS RULES APPLY TO YOU. SEE REVERSE SIDE FOR ADDITIONAL INFORMATION.

### I. PROJECT INFORMATION:

Facility Owner: ROTA NEALITE Phone: \_\_\_\_\_  
Mailing Address: 1321 TYLER STREET City: MILFORD Zip: 30134  
Project Description: Roof 1st flr to 1st flr  
Project Address: 1321 TYLER STREET City: MILFORD Zip: 30134  
Contractor Performing Work: East Florida Roofing Phone: 904 289-0711  
Estimated Start Date: 5/2/07 Estimated Finish Date: 5/2/07  
Building Department Jurisdiction: \_\_\_\_\_

### II. PLEASE MARK THE APPROPRIATE BOX(ES) IF APPLICABLE:

#### 1. FACILITY: (Check One)

- ☐ Commercial, industrial, or public building
- ☐ One residential building of more than four dwelling units
- ☐ Any residential property being demolished for commercial purpose or by government order
- ☐ School/College/University
- ☐ Two or more residential structures at the same site
- ☐ Single-family residential home (not for commercial purpose)
- ☐ Unsafe structure
- ☐ Emergency

#### 2. ACTIVITY: (Check all that apply)

**Demolition:** ☐ Total ☐ Partial (Wrecking/dismantling any load-supporting structural member)  
**Renovations:** ☐ Exterior alteration ☐ Interior alteration ☒ Built-up roofing removal (5580 sq. ft. or greater)

### III. IF ANY BOX IS MARKED UNDER FACILITY AND ACTIVITY THEN THE FOLLOWING ITEMS ARE REQUIRED:

1. An original **Notice of Asbestos Renovation or Demolition\*** DEP form 62-257.900(1) must be filled out and submitted at least ten (10) working-days before start of project, for:
  - all demolitions
  - all renovations involving at least 160 sq. ft. or 260 linear ft. or 35 cubic ft. of regulated asbestos containing material
2. The **Notice of Asbestos Renovation or Demolition\*** form must be accompanied by an asbestos survey report to indicate the presence or absence of asbestos containing material. **The asbestos survey report must be done in accordance with Broward County Code Chapter 27, Section 180.**

I have received information regarding the use of a Florida licensed asbestos professional (See reverse side) and understand that I may be subject to the ten (10) working-day advanced notification requirement under the Federal Law regarding demolitions or renovations (**See reverse side**).

Owner (Print): Nita Nealite  
-or-  
Authorized Agent (Print): William J. Nealite Title: TREASURER  
Signature: William J. Nealite Date: 5/2/07

\*Notice of Asbestos Renovation or Demolition form is available at:



## STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS

IF YOU ARE PLANNING TO DEMOLISH OR RENOVATE ANY EXISTING STRUCTURE, YOU MAY BE SUBJECT TO FEDERAL AND COUNTY RULES RELATING TO THE HANDLING OF ASBESTOS CONTAINING MATERIAL. PLEASE FILL OUT THIS FORM TO DETERMINE IF THE ASBESTOS RULES APPLY TO YOU. SEE REVERSE SIDE FOR ADDITIONAL INFORMATION.

### I. PROJECT INFORMATION:

Facility Owner: \_\_\_\_\_ Phone: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Project Description: \_\_\_\_\_  
Project Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Contractor Performing Work: \_\_\_\_\_ Phone: \_\_\_\_\_  
Estimated Start Date: \_\_\_\_\_ Estimated Finish Date: \_\_\_\_\_  
Building Department Jurisdiction: \_\_\_\_\_

### II. PLEASE MARK THE APPROPRIATE BOX(ES) IF APPLICABLE:

#### 1. FACILITY: (Check One)

- ☐ Commercial, industrial, or public building
- ☐ One residential building of more than four dwelling units
- ☐ Any residential property being demolished for commercial purpose or by government order
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- ☒ Single-family residential home (not for commercial purpose)
- ☐ Unsafe structure
- ☐ Emergency

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Owner (Print): \_\_\_\_\_

-or-  
Authorized Agent (Print): \_\_\_\_\_ Title: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

\*Notice of Asbestos Renovation or Demolition form is available at:

This instrument prepared by:

Name: DEANIS SANU  
Address: 6200 SW 58 CT DAVIDE  
Permit #: \_\_\_\_\_ Folio #: \_\_\_\_\_

### NOTICE OF COMMENCEMENT

State of Florida

County of Broward

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Property Legal Description: Lot 10, Block 10, Bldg 10, Subdivision/Condominium, HOLLYWOOD LAKES, 5142 14 01 1900.  
(Lengthy Legal, please see description attached hereto)

space above reserved for use of recording office

2. General Description of Improvement: REEROOF.

3. Property Owner Name: OULIF, BERNARD & NEMITZ, RITA  
Mailing Address: \_\_\_\_\_  
and interest in property: 1321 TYLER ST HOLLYWOOD FL 33019-1004  
Name/mailing address of fee simple title holder if other than owner: \_\_\_\_\_

4. Contractor name: BEST FLORIDIAN ROOFING  
Address: 1552 SW 13 CT DORTCHANO BCH FL 33069  
Phone Number: 954-668-6433 Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

5. If Surety Bond, Name: N/A  
and address of Surety: \_\_\_\_\_  
and amount of Bond: \$ \_\_\_\_\_ (Copy of bond must be attached to this Notice at time of recording)  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

6. Lender name: N/A  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

7. Persons within the State of Florida (names and addresses) designated by property owner upon whom Notices or other documents may be served as provided by Section 713.13(1)(A)7., Florida Statutes:

Name: N/A  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided by Section 713.13(1)(B), Florida Statutes:

Name: N/A  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

9. Expiration date of this \_\_\_\_\_ (Expires one year from date recorded unless a different date is specified)

Owner signature: Rita Nemitz Owner signature: \_\_\_\_\_  
Printed name: Rita Nemitz Printed name: \_\_\_\_\_

SWORN TO AND SUBSCRIBED before me this \_\_\_\_\_ day of \_\_\_\_\_, 2007 by:

personally known to me or produced \_\_\_\_\_ as identification.

Notary signature: Trena Thompson My commission expires: \_\_\_\_\_  
Printed name: Trena Thompson  
seal: \_\_\_\_\_

NOTARY PUBLIC-STATE OF FLORIDA  
Trena Thompson  
Commission # DD401805  
Expires: MAR. 01, 2009  
Bonded Thru Atlantic Bonding Co., Inc.

space above this line reserved for use of the recording office

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Return recorded document to: \_\_\_\_\_



I hereby certify this document to be a true, correct and complete copy of the record filed in my office. Dated this 14th day of MAY 2007.  
By Janette Simpkins  
Deputy Clerk

Permit# Be7-100472  
D.B.



7450 Griffin Road, Suite # 140, DAVIE, FL. 33314  
Phone: (954) 581-7115, (954) 581-2614; Fax: (954) 581-2415  
INSPECTION, STUDIES, DESIGN & TESTING SERVICES  
www.cebb.net

May 31, 2007

To: **City of Hollywood**  
**Building Division**  
2600 Hollywood Boulevard, Room # 320  
Hollywood, FL 33020-4807

### Roof Tile Uplift Test Report

Test Date:	May 30, 2007	ASTER
Permit #:	SUB-100472	507-100224
Address:	Existing Residence 1321 Taylor Street, Hollywood, FL.	
Contractor:	Best Floridian Roofing	
Roof Pitch:	5:12	
Attachment method:	Two Component Polyurethane Foam Adhesive – PolyPro AH 160 (NOA 06-0201.02)	
Tile Type:	Monier Spanish "S" Concrete Roof Tile (NOA 02-1205.07)	
Device Used:	"IMADA" DPS 110 force gauge (Serial # 199579E)	
Total Sloped Roof Area:	6.20 squares	

All Testing is in strict accordance with the Florida Building Code, 2004 Edition, High Velocity Hurricane Zone – Testing Application Standard (TAS) 106.

Roof Area: 6.20 squares	Total Number of Tests	Number of tests Passed	% Passed
Field Area (1): 2.00 squares	2	2	100%
Perimeter Area (2): 4.20 squares	5	5	100%
No. of Corner Areas (3): 8	8	8	100%
Ridge/Hip Areas:	2	2	100%

Based upon the field tests, I certify that 100% of the static up-lift tests **"PASSED"** the testing criteria of 35.0 lbf loads, and meet the attachment resistance for adhesive Set Systems, as specified in the NOA.

Should you have any questions regarding the above, or if require additional information, please do not hesitate to contact this office.

Sincerely,  
**CeBB, Corp.**  
(NOA 06-0320.14 revises NOA 03-1112.02)  
MAY 31 2007  
**Eduard C. Badilla P.E.**  
Fla. Reg. No: 59997

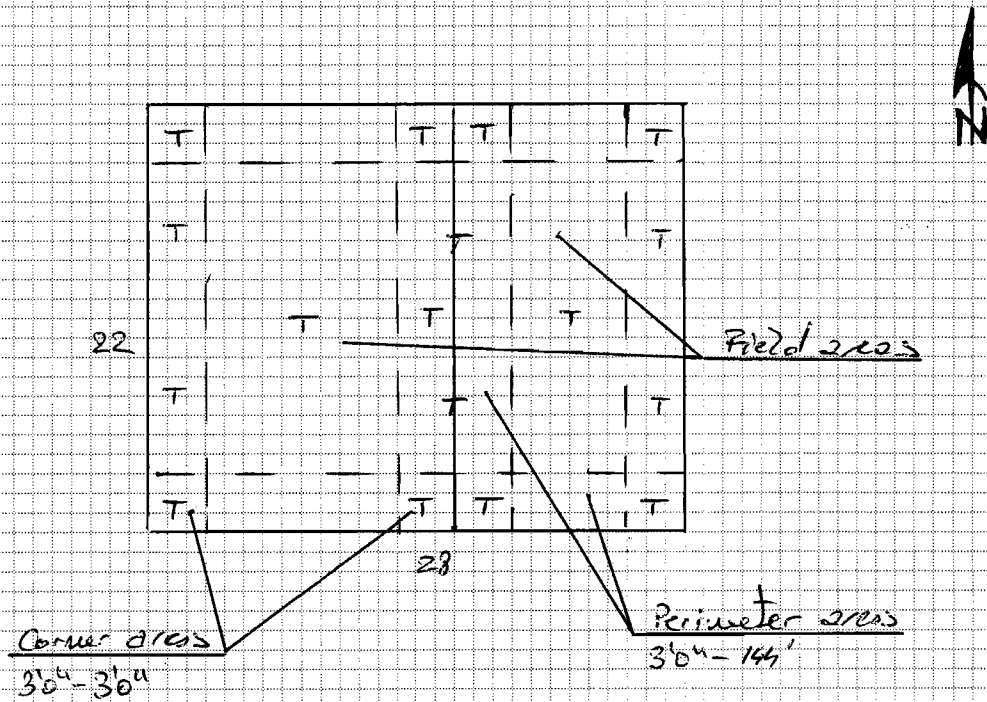


Cc: Best Floridian Roofing  
Enc. Location Sketch  
Calibration Certificate



HANDLIFT RESULTS: Passed the protocol criteria of less than 3% loose. We performed the up-lift test.

T - Tested tiles and Passed;	Total Area:	6.20 squares	No. of tested Tiles:	
F - Tested tiles and Failed;	- Field Area (1):	2.00 squares	- Field Area:	2
M - Missing Tiles;	- Perimeter Area (2):	4.20 squares	- Perimeter Area:	5
B - Broken Tiles;	- No. of Corner area (3):	8	- Corner areas:	8
			- Ridge/Hip areas:	2



TAS 106  
TESTS LOCATION SKETCH  
Permit # SUB-100472  
Existing Residence  
1321 Taylor Street,  
Hollywood, FL.



FORCE & TORQUE MEASUREMENT  
ISO 9001 REGISTERED  
ISO/IEC 17025 ACCREDITED

IMADA, Incorporated  
3100 Dundee Rd., Suite 707, Northbrook, IL 60062-2442  
Tel: 847-562-0834 Fax: 847-562-0839  
www.imada.com E-mail: imada@imada.com

QMF-11-NIST-F-S

## CALIBRATION CERTIFICATE

Date: April 3, 2007  
Model Number: DPS-110  
Capacity: 110.2 lbf  
Accuracy: 0.2% F.S.  $\pm$  1LSD  
Resolution: 0.1 lbf  
Serial Number: 199579E

### CONDITIONS

Temperature: 71°F  
Humidity: 35%RH

This document certifies that the above instrument has been calibrated and tested in accordance with factory calibration procedures conducted under the conditions noted using standards which are traceable to the National Institute of Standards and Technology (NIST). This document not to be reproduced without written authorization from IMADA INC. Report#040307-199579


### TEST RESULTS

#### AS FOUND

TEST POINT (lbf)	ACTUAL (lbf)
1)	
2)	
3)	

#### AS LEFT

TEST POINT (lbf)	ACTUAL (lbf)
1) -110.0	-110.1
2) 0.0	0.0
3) 110.0	110.0

Signed by: 



7450 Griffin Road, Suite # 140, DAVIE, FL. 33314  
Phone: (954) 581-7115, (954) 581-2614; Fax: (954) 581-2415  
INSPECTION, STUDIES, DESIGN & TESTING SERVICES  
www.cebb.net

May 31, 2007

To: **City of Hollywood**  
**Building Division**  
2600 Hollywood Boulevard, Room # 320  
Hollywood, FL 33020-4807



### Roof Tile Uplift Test Report

Test Date:	May 30, 2007
Permit #:	B07-100224
Address:	Existing Residence 1321 Taylor Street, Hollywood, FL. (Tyler Street)
Contractor:	Best Floridian Roofing
Roof Pitch:	5:12
Attachment method:	Two Component Polyurethane Foam Adhesive – PolyPro AH 160 (NOA 06-0201.02)
Tile Type:	Monier Spanish "S" Concrete Roof Tile (NOA 02-1205.07)
Device Used:	"IMADA" DPS 110 force gauge (Serial # 199579E)
Total Sloped Roof Area:	35.00 squares

All Testing is in strict accordance with the Florida Building Code, 2004 Edition, High Velocity Hurricane Zone – Testing Application Standard (TAS) 106.

Roof Area: 35.00 squares	Total Number of Tests	Number of tests Passed	% Passed
Field Area (1): 15.00 squares	15	15	100%
Perimeter Area (2): 20.00 squares	20	20	100%
No. of Corner Areas (3): 16	16	16	100%
Ridge/Hip Areas:	10	10	100%

Based upon the field tests, I certify that 100% of the static up-lift tests **"PASSED"** the testing criteria of 35.0 lbf loads, and meet the attachment resistance for adhesive Set Systems, as specified in the NOA.

Should you have any questions regarding the above, or if require additional information, please do not hesitate to contact this office.

Sincerely,

**CeBB, Corp.**

(NOA 06-0320.18 revises NOA 03-1112.02)

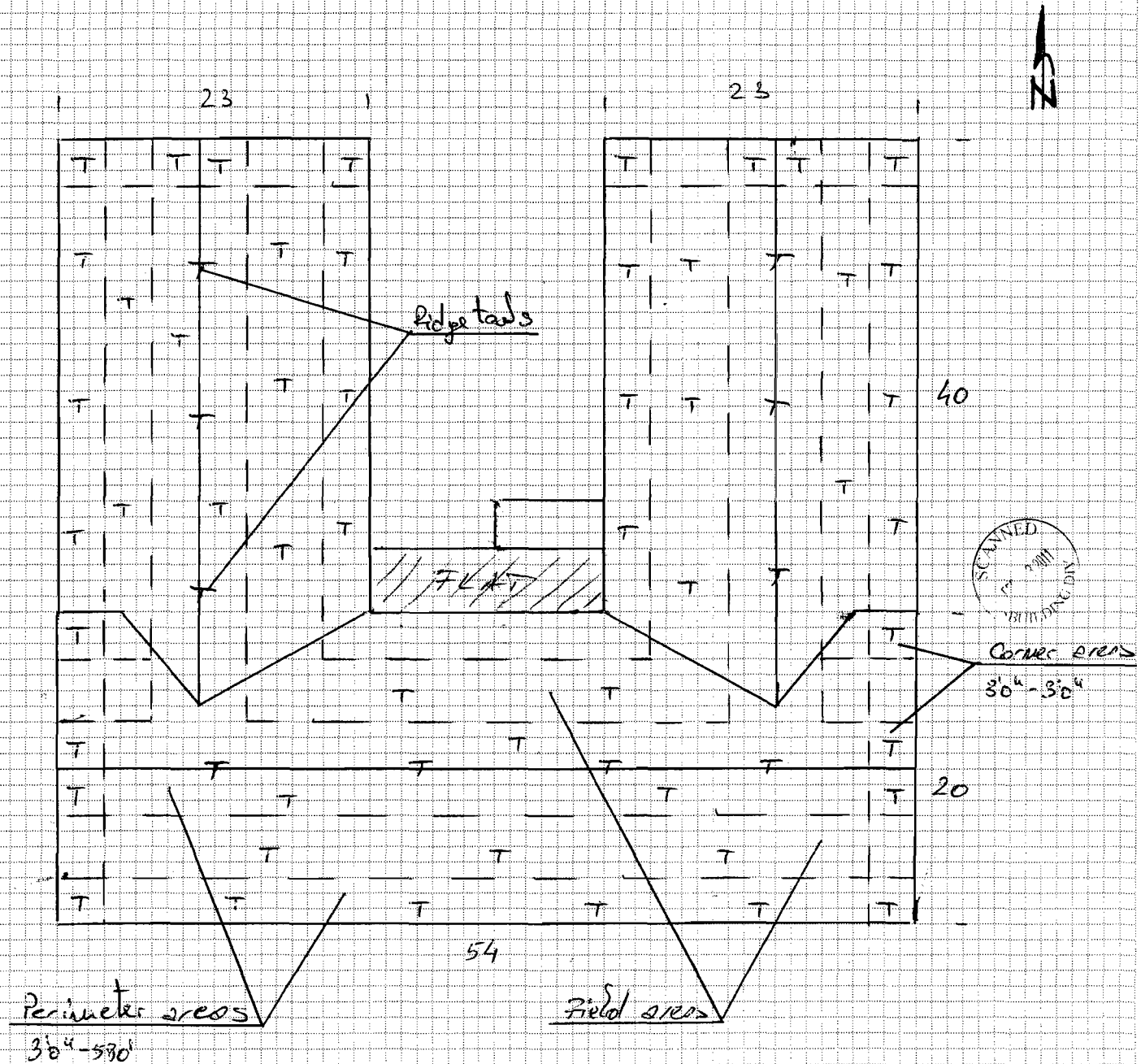
MAY 31 2007  
**Eduard C. Badia, P.E.**

Fla. Reg. No: 59997

Cc: Best Floridian Roofing  
Enc. Location Sketch  
Calibration Certificate

HANDLIFT RESULTS: Passed the protocol criteria of less than 3% loose. We performed the up-lift test.

T - Tested tiles and Passed;	Total Area:	35.00 squares	No. of tested Tiles:	
F - Tested tiles and Failed;	- Field Area (1):	15.00 squares	- Field Area:	15
M - Missing Tiles;	- Perimeter Area (2):	20.00 squares	- Perimeter Area:	20
B - Broken Tiles;	- No. of Corner area (3):	16	- Corner areas:	16
			- Ridge/Hip areas:	10



TAS 106  
TESTS LOCATION SKETCH  
Permit # B07-100224  
Existing Residence  
1321 Taylor Street,  
Hollywood, FL.



FORCE & TORQUE MEASUREMENT  
ISO 9001 REGISTERED  
ISO/IEC 17025 ACCREDITED

IMADA, Incorporated  
3100 Dundee Rd., Suite 707, Northbrook, IL 60062-2442  
Tel: 847-562-0834 Fax: 847-562-0839  
www.imada.com E-mail: imada@imada.com

QMF-11-NIST-F-S

## CALIBRATION CERTIFICATE

Date: April 3, 2007

Model Number: DPS-110

Capacity: 110.2 lbf

Accuracy: 0.2% F.S.  $\pm$  1LSD

Resolution: 0.1 lbf

Serial Number: 199579E

### CONDITIONS

Temperature: 71°F

Humidity: 35%RH

This document certifies that the above instrument has been calibrated and tested in accordance with factory calibration procedures conducted under the conditions noted using standards which are traceable to the National Institute of Standards and Technology (NIST). This document not to be reproduced without written authorization from IMADA INC. Report#040307-199579


### TEST RESULTS

#### AS FOUND

TEST POINT (lbf)	ACTUAL (lbf)
1)	
2)	
3)	

#### AS LEFT

TEST POINT (lbf)	ACTUAL (lbf)
1) -110.0	-110.1
2) 0.0	0.0
3) 110.0	110.0

Signed by: 

**SECTION 1525**  
**HIGH-VELOCITY HURRICANE ZONES UNIFORM PERMIT APPLICATION**  
**Florida Building Code Edition 2004**  
 High-Velocity Hurricane Zone Uniform Permit Application Form.

**INSTRUCTION PAGE**

**COMPLETE THE NECESSARY SECTIONS OF  
 THE UNIFORM ROOFING PERMIT  
 APPLICATION FORM AND ATTACH THE  
 REQUIRED DOCUMENTS AS NOTED BELOW:**

Roof System	Required Sections of the Permit Application Form	Attachments Required See List Below
Low Slope Application	A,B,C	1,2,3,4,5,6,7
Prescriptive BUR-RAS 150	A,B,C	4,5,6,7
Asphaltic Shingles	A,B,D	1,2,4,5,6,7
Concrete or Clay Tile	A,B,D,E	1,2,3,4,5,6,7
Metal Roofs	A,B,D	1,2,3,4,5,6,7
Wood Shingles and Shakes	A,B,D	1,2,4,5,6,7
Other	As Applicable	1,2,3,4,5,6,7



**ATTACHMENTS REQUIRED:**

1.	Fire Directory Listing Page
2.	From Product Approval: Front Page Specific System Description Specific System Limitations General Limitations Applicable Detail Drawings
3.	Design Calculations per Chapter 16, or If Applicable, RAS 127 or RAS 128
4.	Other Component of Product Approval
5.	Municipal Permit Application
6.	Owners Notification for Roofing Considerations (Reroofing Only)
7.	Any Required Roof Testing/Calculation Documentation

Florida Building Code Edition 2004  
High-Velocity Hurricane Zone Uniform Permit Application Form.

Section A (General Information)

Master Permit No. B 07-100224 Process No. \_\_\_\_\_  
Contractor's Name Best Floridian Roofing  
Job Address 1321 TYLER ST

ROOF CATEGORY

- ☐ Low Slope
- ☐ Mechanically Fastened Tile
- ☐ Mortar/Adhesive Set Tile
- ☐ Asphaltic Shingles
- ☐ Metal Panel/Shingles
- ☐ Wood Shingles/Shakes
- ☐ Prescriptive BUR-RAS 150

ROOF TYPE

- ☐ New Roof
- ☐ Reroofing
- ☐ Recovering
- ☐ Repair
- ☐ Maintenance

ROOF SYSTEM INFORMATION

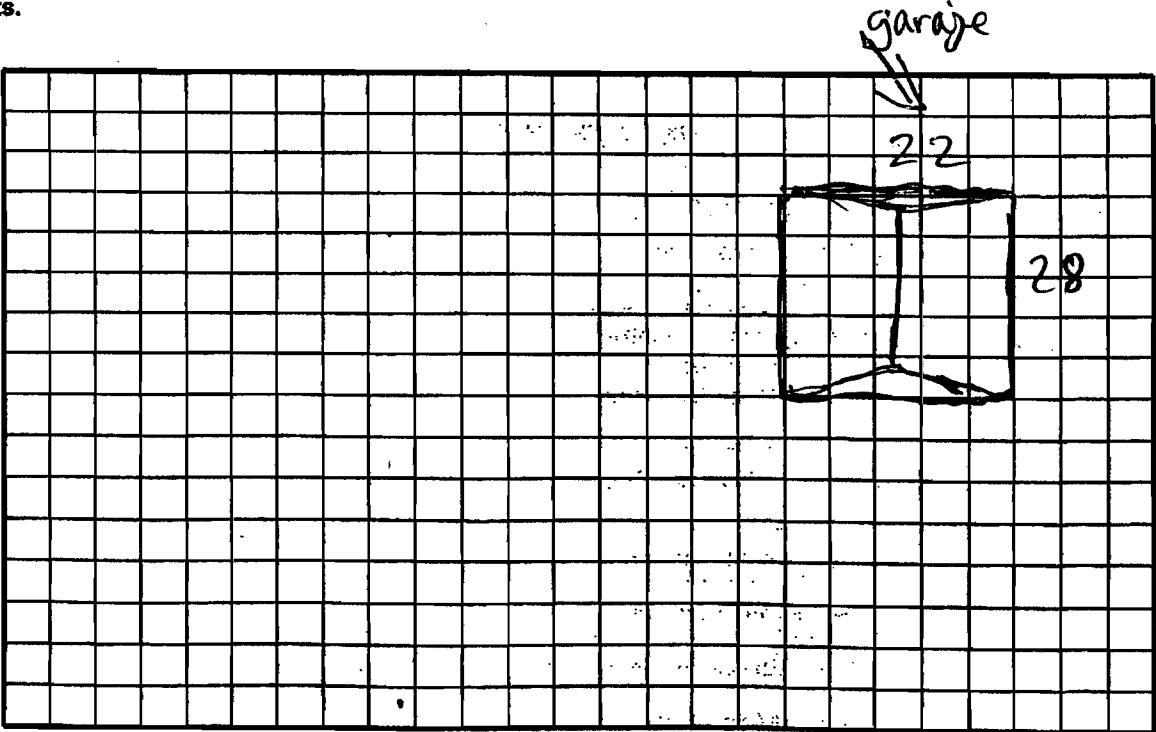
Low Slope Roof Area (SF)

Steep Sloped Roof Area (SF)  
3800

Total (SF) 3800  
674

Section B (Roof Plan)

Sketch Roof Plan: Illustrate all levels and sections, roof drains, scuppers, overflow scuppers and overflow drains. Include dimensions of sections and levels, clearly identify dimensions of elevated pressure zones and location of parapets.



**Florida Building Code Edition 2004**  
**High-Velocity Hurricane Zone Uniform Permit Application Form.**

**Section D. (Steep Sloped Roof System)**


<b>Roof System Manufacturer:</b> <u>MONIER LIFETILE</u>
<b>Notice of Acceptance Number:</b> <u>02-1205.07</u>
<b>Minimum Design Wind Pressures, If Applicable (From RAS 127 or Calculations):</b> P1: _____ P2: _____ P3: _____
<b>Maximum Design Pressure (From the Product Approval Specific System):</b> _____

**Steep Sloped Roof System Description**

**Roof Slope:**  
4 : 12

**Ridge Ventilation?**  
N/A

**Mean Roof Height:** 10



**Deck Type:** 5/8 PLYWOOD

**Type Underlayment:** ASTM 30#

**Insulation:** N/A

**Fire Barrier:** N/A

**Fastener Type & Spacing:** 1 1/4 RS NAILS 651 mps 2 Rows 12 PRy

**Adhesive Type:** ASPHALT

**Type Cap Sheet:** 90#

**Roof Covering:** Monier Span 15 HS

**Type & Size Drip Edge:** 3x3 copper



**Florida Building Code Edition 2004**  
**High-Velocity Hurricane Zone Uniform Permit Application Form.**  
**Section E (Tile Calculations)**

For Moment based tile systems, choose either Method 1 or 2. Compare the values for  $M_r$  with the values from  $M_p$ . If the  $M_r$  values are greater than or equal to the  $M_p$  values, for each area of the roof, then the tile attachment method is acceptable.

**Method 1 "Moment Based Tile Calculations Per RAS 127"**

$$\begin{aligned} (P_1: \text{_____} \times \lambda \text{_____} = \text{_____}) - Mg: \text{_____} &= M_{r1} \text{_____} && \text{Product Approval } M_r \text{_____} \\ (P_2: \text{_____} \times \lambda \text{_____} = \text{_____}) - Mg: \text{_____} &= M_{r2} \text{_____} && \text{Product Approval } M_r \text{_____} \\ (P_3: \text{_____} \times \lambda \text{_____} = \text{_____}) - Mg: \text{_____} &= M_{r3} \text{_____} && \text{Product Approval } M_r \text{_____} \end{aligned}$$

**Method 2 "Simplified Tile Calculations Per Table Below"**

Required Moment of Resistance ( $M_r$ ) From Table Below 304 Product Approval  $M_r$  38.7

<b><math>M_r</math> required Moment Resistance*</b>					
Mean Roof Height → Roof Slope ↓	15'	20'	25'	30'	40'
2:12	34.4	36.5	38.2	39.7	42.2
3:12	32.2	34.4	36.0	37.4	39.8
<u>4:12</u>	<u>30.4</u>	32.2	33.8	35.1	37.3
5:12	28.4	30.1	31.8	32.8	34.9
6:12	26.4	28.0	29.4	30.5	32.4
7:12	24.4	26.0	27.1	28.2	30.0

\*Must be used in conjunction with a list of moment based tile systems endorsed by the Broward County Board of Rules and Appeals.

For Uplift based tile systems use Method 3. Compared the values for  $F'$  with the values for  $F_r$ . If the  $F'$  values are greater than or equal to the  $F_r$  values, for each area of the roof, then the tile attachment method is acceptable.

**Method 3 "Moment Based Tile Calculations Per RAS 127"**

$$\begin{aligned} (P_1: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r1} \text{_____} && \text{Product Approval } F' \text{_____} \\ (P_2: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r2} \text{_____} && \text{Product Approval } F' \text{_____} \\ (P_3: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r3} \text{_____} && \text{Product Approval } F' \text{_____} \end{aligned}$$

<b>Where to Obtain Information</b>		
Description	Symbol	Where to find
Design Pressure	P1 or P2 or P3	RAS 127 Table 1 or by an engineering analysis prepared by PE based on ASCE 7
Mean Roof Height	H	Job Site
Roof Slope	$\theta$	Job Site
Aerodynamic Multiplier	$\lambda$	Product Approval
Restoring Moment due to Gravity	$M_g$	Product Approval
Attachment Resistance	$M_r$	Product Approval
Required Moment Resistance	$M_p$	Calculated
Minimum Attachment Resistance	$F'$	Product Approval
Required Uplift Resistance	$F_r$	Calculated
Average Tile Weight	W	Product Approval
Tile Dimensions	L = length W = width	Product Approval

All calculations must be submitted to the building official at the time of permit application.



**SECTION 1524**  
**HIGH-VELOCITY HURRICANE ZONES—**  
**REQUIRED OWNERS NOTIFICATION FOR**  
**ROOFING CONSIDERATIONS**

**1524.1 Scope.** As it pertains to this section, it is the responsibility of the roofing contractor to provide the owner with the required roofing permit, and to explain to the owner the content of this section. The provisions of Chapter 15 of the *Florida Building Code, Building* govern the minimum requirements and standards of the industry for roofing system installations. Additionally, the following items should be addressed as part of the agreement between the owner and the contractor. The owner's initial in the designated space indicates that the item has been explained.

*W*1. **Aesthetics-workmanship:** The workmanship provisions of Chapter 15 (High-Velocity Hurricane Zone) are for the purpose of providing that the roofing system meets the wind resistance and water intrusion performance standards. Aesthetics (appearance) are not a consideration with respect to workmanship provisions. Aesthetic issues such as color or architectural appearance, that are not part of a zoning code, should be addressed as part of the agreement between the owner and the contractor.

*W*2. **Renailing wood decks:** When replacing roofing, the existing wood roof deck may have to be renailed in accordance with the current provisions of Chapter 16 (High-Velocity Hurricane Zones) of the. (The roof deck is usually concealed prior to removing the existing roof system.)

*W*3. **Common roofs:** Common roofs are those which have no visible delineation between neighboring units (i.e., townhouses, condominiums, etc.). In buildings with common roofs, the roofing contractor and/or owner should notify the occupants of adjacent units of roofing work to be performed.

*W*4. **Exposed ceilings:** Exposed, open beam ceilings are where the underside of the roof decking can be viewed from below. The owner may wish to maintain the architectural appearance; therefore, roofing nail penetrations of the underside of the decking may not be acceptable. The owner provides the option of maintaining this appearance.

*W*5. **Ponding water:** The current roof system and/or deck of the building may not drain well and may cause water to pond (accumulate) in low-lying areas of the roof. Ponding can be an indication of structural distress and may require the review of a professional structural engineer. Ponding may shorten the life expectancy and performance of the new roofing system. Ponding conditions may not be evident until the original roofing system is removed. Ponding conditions should be corrected.

*W*6. **Overflow scuppers (wall outlets):** It is required that rainwater flow off so that the roof is not overloaded from a buildup of water. Perimeter/edge walls or other roof extensions may block this discharge if overflow scuppers (wall outlets) are not provided. It may be necessary to install overflow scuppers in accordance with the requirements of: Chapter 15 and 16 herein and the *Florida Building Code, Plumbing*.

*W*7. **Ventilation:** Most roof structures should have some ability to vent natural airflow through the interior of the structural assembly (the building itself). The existing amount of attic ventilation shall not be reduced. It may be beneficial to consider additional venting which can result in extending the service life of the roof.

*Rite Veritas*  
Owner's/Agent's Signature

5-23-07  
Date

*Christian Serrano*  
Contractor's Signature



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

## NOTICE OF ACCEPTANCE (NOA)

Monier Lifetile, LLC  
135 NW 20<sup>th</sup> Street  
Boca Raton, FL 33431

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Spanish 'S' Concrete Roof Tile

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 02-1205.07  
Expiration Date: 01/02/08  
Approval Date: 01/02/03  
Page 1 of 5

## ROOFING ASSEMBLY APPROVAL

Category: Roofing  
Sub-Category: High Profile Roofing Tiles  
Material: Concrete

### 1. SCOPE

This renews a system using Monier Lifetile Spanish 'S' Concrete Roof Tile, as manufactured Monier Lifetile LLC and described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code does not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

### 2. PRODUCT DESCRIPTION

<u>Manufactured by</u> <u>Applicant</u>	<u>Dimensions</u>	<u>Test</u> <u>Specifications</u>	<u>Product</u> <u>Description</u>
Monier Lifetile Spanish 'S' Tile	l = 18" w = 10 <sup>3</sup> / <sub>8</sub> " min. 3/4" thick	PA 112	High profile, interlocking, one-piece, 'S' shaped, high-pressure extruded concrete roof tile equipped with two nail holes. For direct deck nail-on, mortar set or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	PA 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

#### 2.1 SUBMITTED EVIDENCE:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Redland Technologies	7161-03 Appendix III	Static Uplift Testing PA 102 & PA 102(A)	Dec. 1991
Redland Technologies	7161-03 Appendix II	Wind Tunnel Testing PA 108 (Nail-On)	Dec. 1991
Redland Technologies	P0647-01	Wind Tunnel Testing PA 108 (Mortar Set)	Aug. 1994
Redland Technologies	P0402	Withdrawal Resistance Testing of screw vs. smooth shank nails	Sept. 1993
The Center for Applied Engineering, Inc.	94-084	Static Uplift Testing PA 101 (Mortar Set)	May 1994
The Center for Applied Engineering, Inc.	94-083	Static Uplift Testing PA 101 (Adhesive Set)	April 1994
The Center for Applied Engineering, Inc.	25-7183-4	Static Uplift Testing PA 102 (2 Quik-Drive Screws, Direct Deck)	Feb. 1995



<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Center for Applied Engineering, Inc.	25-7214-3	Static Uplift Testing PA 102 (1 Quik-Drive Screw, Direct Deck)	March, 1995
Redland Technologies	Letter Dated Aug. 1, 1994	Wind Tunnel Testing PA 108 (Nail-On)	Aug. 1994
The Center for Applied Engineering, Inc.	Project No. 307025	Wind Driven Rain	Oct. 1994
Professional Service Industries, Inc.	Test #MDC-78 224-47099	PA 100 Physical Properties	Sept. 1994
Celotex Corporation Testing Service	520111-3	PA 112 Static Uplift Testing	Dec. 1998
Walker Engineering, Inc.	520191-2-1	PA 101	March 1999
Walker Engineering, Inc.	Calculations	Aerodynamic Multiplier	March 1999
Walker Engineering, Inc.	Evaluation Calculations	25-7094	February 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7496	April 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7584 25-7804b-8 25-7804-4 & 5 25-7848-6	December 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7183	March 1995
Walker Engineering, Inc.	Evaluation Calculations	Aerodynamic Multipliers	April 1999
Walker Engineering, Inc.	Calculations	Two Patty Adhesive Set System	April 1999

### 3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.
- 3.7 May be installed on slopes 7:12 and greater.

### 4. INSTALLATION

- 4.1 Monier Lifetile Spanish 'S' Concrete Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, RAS 119, and RAS 120.
- 4.2 Data For Attachment Calculations



Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Monier Lifetile Spanish 'S' Tile	9.64	1.5	0.865

Table 2: Aerodynamic Multipliers - $\lambda$ (ft <sup>3</sup> )	
Tile Profile	$\lambda$ (ft <sup>3</sup> ) Direct Deck Application
Monier Lifetile Spanish 'S' Tile	0.259

Table 3: Restoring Moments due to Gravity - $M_g$ (ft-lbf)										
Tile Profile	3":12"		4":12"		5":12"		6":12"		7":12" or greater	
Monier Lifetile Spanish 'S' Tile	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
	N/A	8.51	N/A	8.44	N/A	8.27	N/A	8.07	N/A	7.87

Table 4: Attachment Resistance Expressed as a Moment - $M_r$ (ft-lbf) for Nail-On Systems			
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)
Monier Lifetile Spanish 'S' Tile	2-10d Ring Shank Nails	28.6	41.2
	1-10d Smooth or Screw Shank Nail	5.1	6.8
	2-10d Smooth or Screw Shank Nails	6.9	9.2
	1 #8 Screw	20.7	20.7
	2 #8 Screws	43.2	43.2
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1
	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1

Table 5: Attachment Resistance Expressed as a Moment $M_r$ (ft-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Monier Lifetile Spanish 'S' Tile	Adhesive	29.3 <sup>2</sup>
1 See manufactures component approval for installation requirements.		
2 Flexible Products Company TileBond Average weight per patty 10.7 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		



Table 5A: Attachment Resistance Expressed as a Moment - $M_t$ (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Monier Lifetile Spanish 'S' Tile	Polyfoam PolyPro™	66.5 <sup>3</sup>
	Polyfoam PolyPro™	38.7 <sup>4</sup>
3 Large paddy placement of 63grams of PolyPro™.		
4 Medium paddy placement of 24grams of PolyPro™.		

Table 5B: Attachment Resistance Expressed as a Moment - $M_t$ (ft-lbf) for Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Monier Lifetile Spanish 'S' Tile	Mortar Set	24.5

## 5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

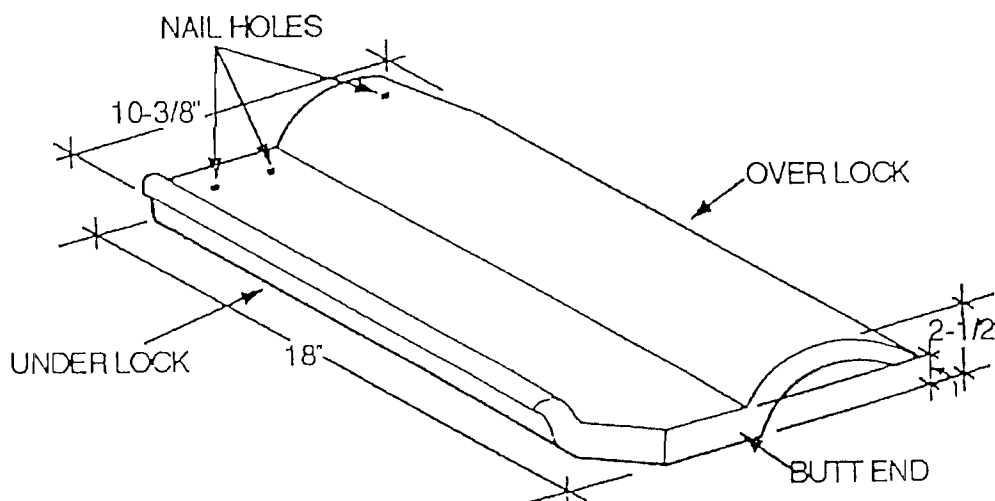
## 6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

## PROFILE DRAWINGS



MONIER LIFETILE SPANISH 'S' CONCRETE ROOF TILE

END OF THIS ACCEPTANCE







BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2903

## NOTICE OF ACCEPTANCE (NOA)

Polyfoam Products, Inc.  
11715 Boudreaux Road  
Tomball, TX 77375

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Polypro® AH160

**RENEWAL:** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No.01-0521.02 and consists of pages 1 through 7  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06  
Page 1 of 7



## ROOFING ASSEMBLY APPROVAL:

Category: Roofing  
Sub Category: Roof tile adhesive  
Materials: Polyurethane

### SCOPE:

This approves Polypro® AH160 as manufactured by Polyfoam Products, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

### PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

### PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

### PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. <sup>3</sup>
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./ft. <sup>2</sup>
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @ 155° F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06  
Page 2 of 7

# **EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
	25-7492	SSTD 11-93	12/12/95
Miles Laboratories Polymers Division	NB-589-631	ASTM D 1623	02/01/94
Rantech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
	01-6739-062b[1]	ASTM E 84	01/16/95
Trinity Engineering	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
	520109-2-1		

## **LIMITATIONS:**

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

F' = 2. W  
MS



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06  
Page 3 of 7

## INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA.
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

Table 1: Adhesive Placement For Each Generic Tile Profile

Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

## LABELING:

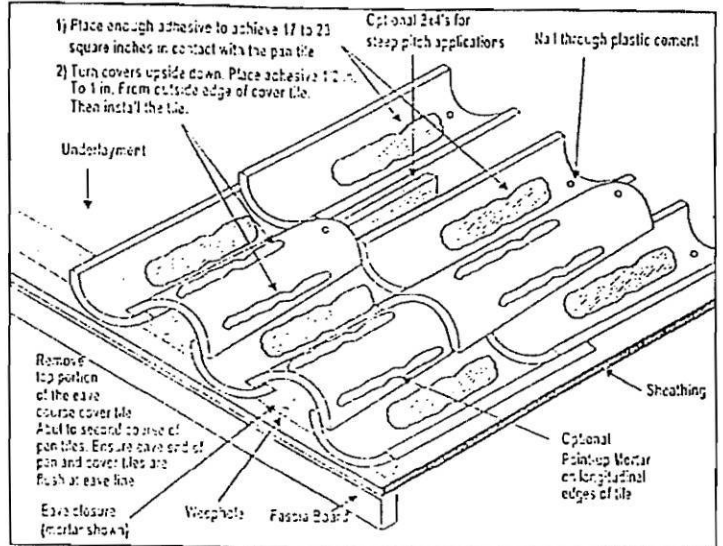
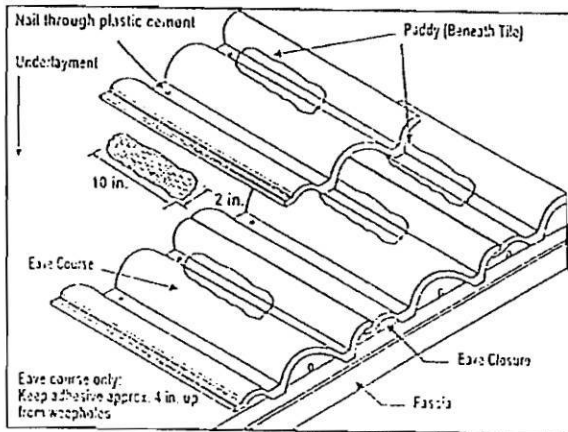
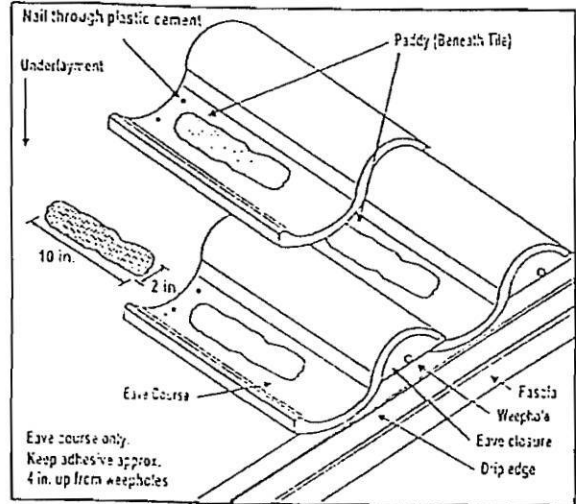
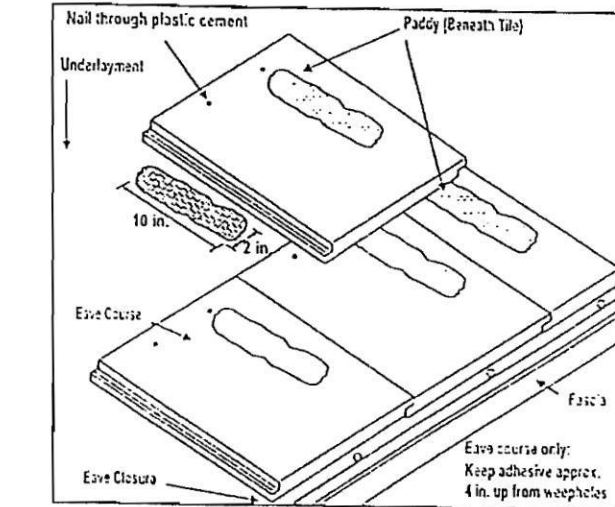
All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

## BUILDING PERMIT REQUIREMENTS:

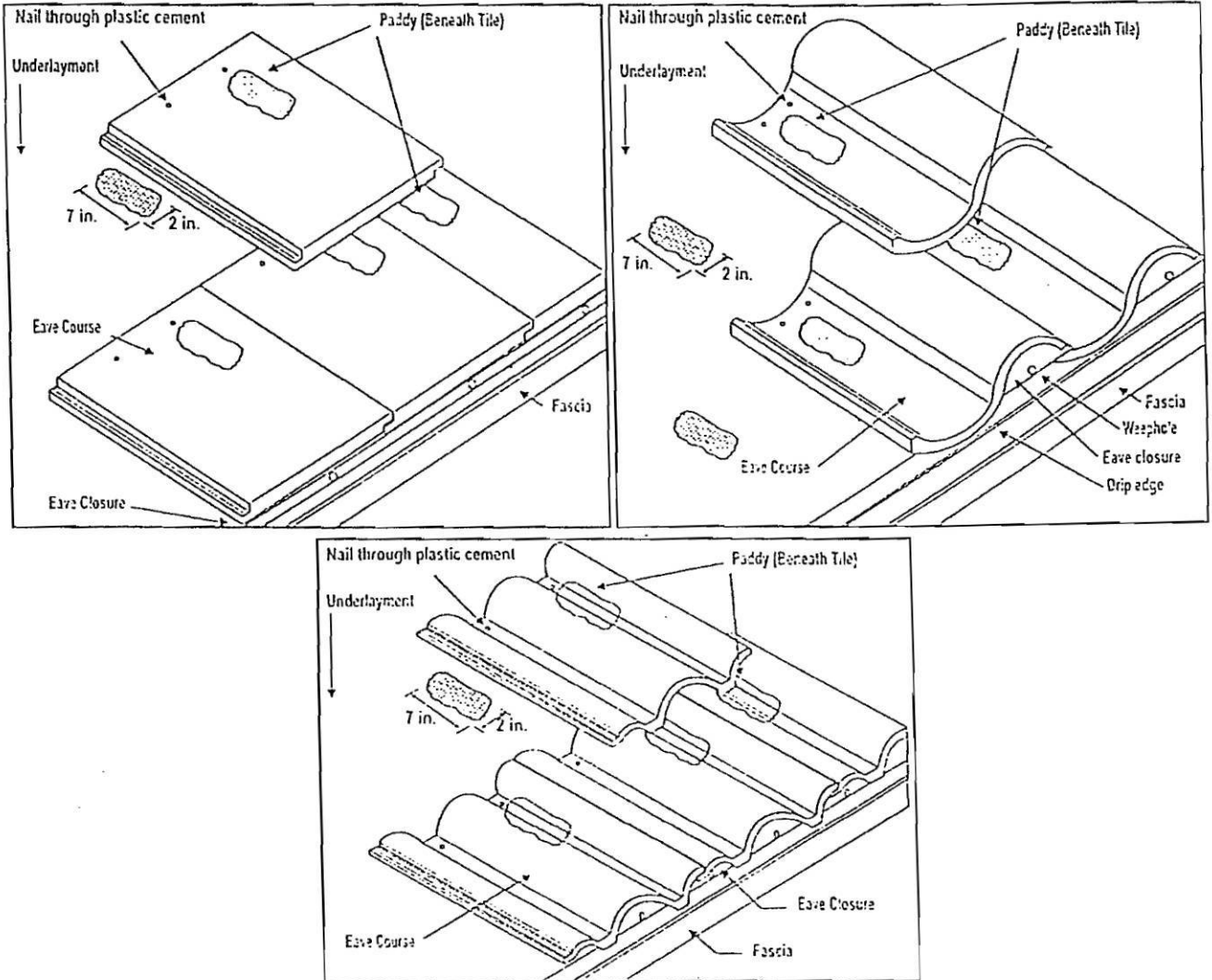
As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



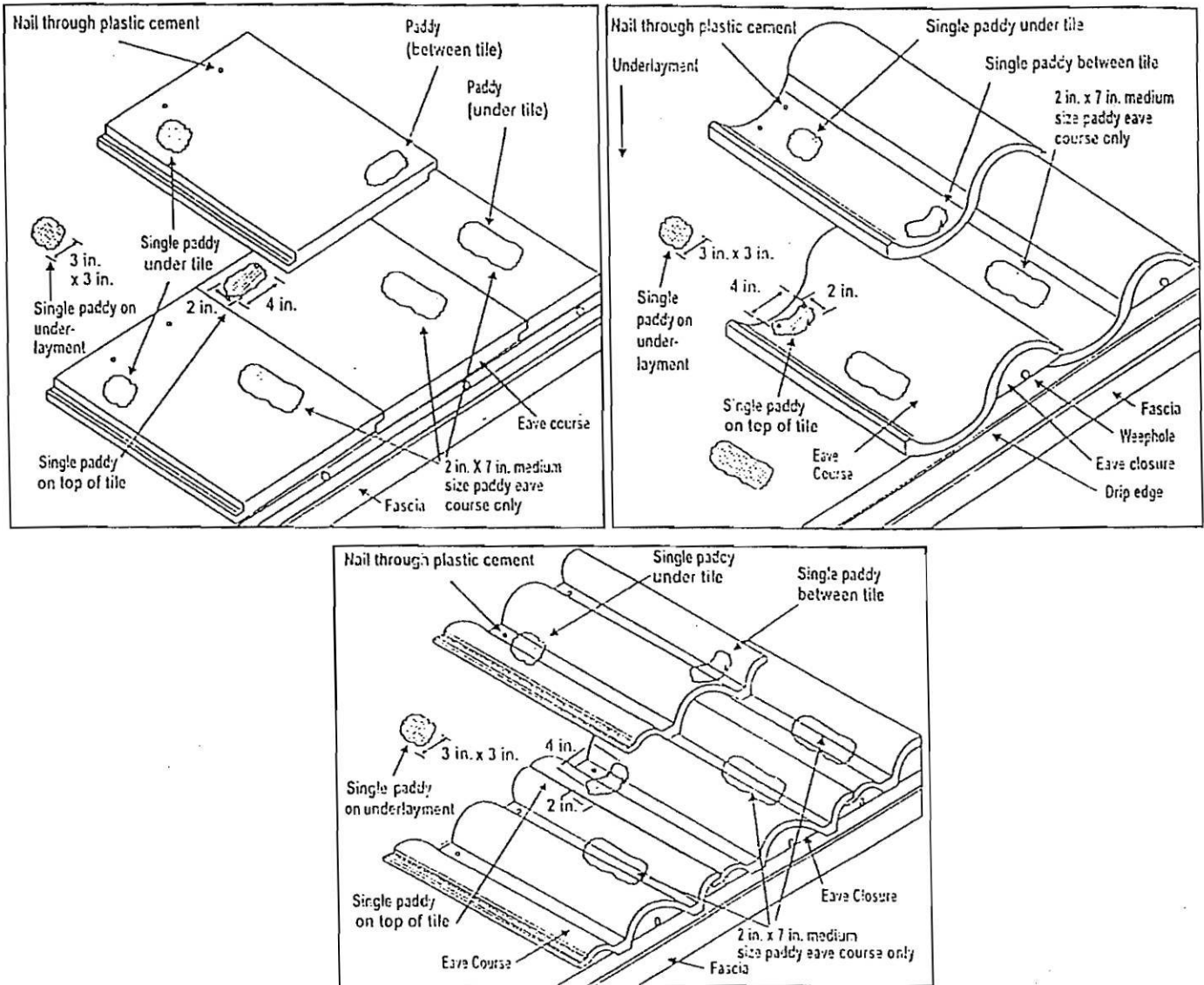
# ADHESIVE PLACEMENT DETAIL 1 SINGLE PATTY



## ADHESIVE PLACEMENT DETAIL 2 SINGLE PATTY



# ADHESIVE PLACEMENT DETAIL 3 DOUBLE PATTY



END OF THIS ACCEPTANCE





[www.polyfoam.cc](http://www.polyfoam.cc)

## **POLYFOAM PRODUCTS, INC.**

### **Corporate Office**

P.O. Box 1539  
Tomball, TX 77375-1539

Tel: 800 774-3626  
281 350-8888  
Fax: 281 516-3074

### **Roofing Division**

10798 NW 53rd Street  
Sunrise, FL 33351

Tel: 888 774-1099  
954 578-1559  
Fax: 954 578-1042

### **Western Region**

P.O. Box 54165  
Irvine, CA 92619-4165

Tel: 866 774-9378  
949 262-9748  
Fax: 949 262-9749

## **POLYPRO® AH -160 ROOF TILE ADHESIVE INSTALLATION INSTRUCTIONS**

### **UNDERLAYMENTS**

POLYPRO® AH -160 Roof Tile Adhesive will adhere to various types of asphalt saturated or coated underlayments, from smooth surface ASTM No. 30 to granulated mineral surfaced roll roofing ASTM D249. The adhesive will also adhere to modified bitumen products. These types of products are usually more critical when determining resistance values, due to the percentage of modifiers and the effect the modifiers contribute to the softening of the top surface when exposed to elevated temperatures. Products surfaced with polypropylene or silicone based surfaces are not recommended.

### **UNDERLAYMENT ATTACHMENT**

Since the roof components are being adhered to the top surface of the underlayment system, consideration must be made for the attachment of the underlayment to the substrate. Polyfoam Products, Inc. lists the most commonly used attachment systems in our evaluation or compliance reports. Contact Polyfoam Products, Inc. for attachment recommendations in your area.

**NAILABLE WOOD DECKS** - Attachment of the underlayment system to nailable decks can be calculated mathematically and is dependent on various factors which range from the type of fastener, the diameter of the fastener, the type of substrate, fastener density, pull over value of the fastener head through the underlayment, mean roof height, basic wind speed etc.

**NON - NAILABLE DECKS** - Typically these types of decks are usually primed, and the waterproofing is accomplished with self-adhered membranes, cold process systems or applied with hot asphalt, modified acrylics, Elastomeric type products or to raw concrete.

### **FLASHINGS**

Apply the flashing material according to the tile manufacturers recommendations, Roof Tile Institute (RTI)/ Western States Roofing Contractors Association (WSRCA) "Concrete and Clay Roof Tile Installation Manual for Moderate Climate Regions, FRSA/RTI "Concrete and Clay Roof Tile Installation Manual" (System 4), Florida Building Code RAS 120 or local code requirements.

## **CONCRETE AND CLAY ROOF TILES**

POLYPRO® AH -160 will adhere to both clay and concrete roof tile as well as other roof components.

## **TOTAL RESISTANCE VALUES**

Polyfoam Products, Inc. provides five different paddy placements to meet the wind design pressures for various mean roof heights as well as, basic wind speeds. Polyfoam Products has the highest total resistance values than any currently approved attachment system including mortar, nails, nails and hurricane clips and/or screws with no (or minimal, depending on the pitch of the roof) penetrations through the waterproofing underlayment. Our attachment resistance values are included in our evaluation or compliance reports. For specialty jobs please contact Polyfoam Products, Inc.

## **ADDITIONAL ATTACHMENT REQUIREMENTS**

Additional fastening may be necessary on steep pitches to hold the tiles in place until the adhesive has a chance to cure. The fastening requirements are as follows:

For pitches up to and including 6:12, POLYPRO® AH -160 Roof Tile Adhesive can be installed without the use of any additional tile fasteners. Some contractors may elect to fasten the eave course for alignment purposes only. For pitches above 6:12, the eave course shall be fastened with one nail in addition to the POLYPRO® AH -160 Roof Tile Adhesive. For pitches above 6:12 up to and including 7:12, every third tile in every fifth course shall be fastened with one nail in addition to the adhesive. For pitches above 7:12 nail every tile shall receive one nail in addition to the adhesive.

As an alternate to nailing every tile, for tiles designed with batten lugs only, tiles may be engaged over 4 ft. long, minimum, nominal 1" x 2" pressure treated, decay resistant battens or galvanized metal batten. Battens shall be fastened to the sheathing with 3 - 8d ring shank (0.120 inch diameter) nails or screws per each 4 ft. long batten. When utilizing battens, tile headlap shall be 3" inches unless restricted by product design and preformed flashings with metal edge returns shall be used.

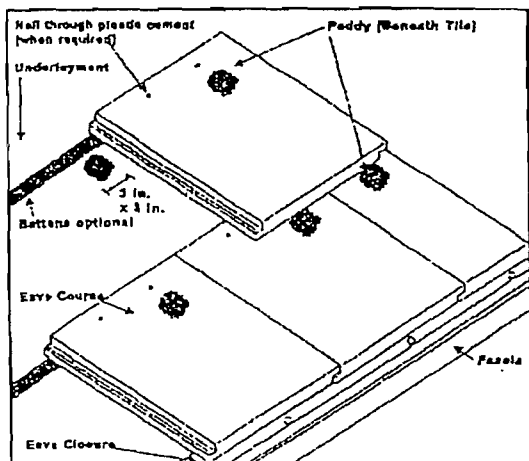
For two piece barrel tiles only, at pitches above 6:12, the pan tiles of the eave course shall be fastened with one nail in addition to the POLYPRO® AH -160 Roof Tile Adhesive. For pitches above 6:12 up to and including 7:12, every pan tile in every fifth course shall be fastened with one nail in addition to the adhesive. For pitches above 7:12 nail every tile (cover and pan tile) shall receive one nail in addition to the adhesive. For the attachment of cover tiles, on pitches above 7:12, the use of wood stringers under the cover tile are optional. As an alternative, the use of a galvanized, stainless steel or copper wire and/ or compatible nail or a straw nail (gutter spike) is also an acceptable option.

Nails shall be corrosion-resistant, (ASTM A 641, class 1 or approved equal), of sufficient length to penetrate the deck a minimum of 3/4" or through the thickness of the deck, whichever is less. Compatible plastic cement shall be applied to seal all nail penetrations, when using underlayment products that do not seal nail penetrations. Some modified bitumen self-adhered membranes, have sealing capabilities. Contact the underlayment manufacturer for sealing capabilities of the specific waterproofing membrane

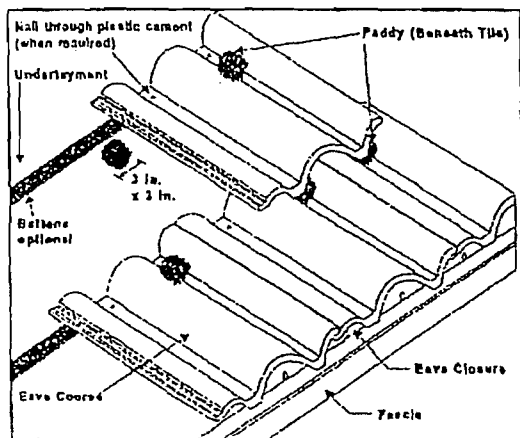


## COMMENTS AND LIMITATIONS

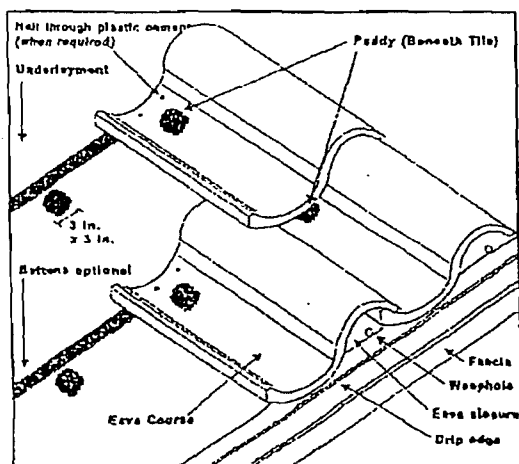
1. POLYPRO® AH -160 Roof Tile Adhesive shall be applied over a underlayment installed in compliance with the underlayment fastening tables as listed in our evaluation or compliance reports. (Call Polyfoam for underlayment recommendations.)
2. Installation must be by a factory trained "Qualified Applicator" approved and licensed by Polyfoam Products, Inc.
3. Calibration of the FOAMPRO® dispensing equipment is required before application of any adhesive, except for PROPAC® dispensing systems. The mix ratio of the "A" component and the "B" component shall be maintained between 1.0 -1.15 (A) to (B). For Ratio Calibration: Take the net weight of the "A" chemical and divide it by the net weight of the "B" chemical.
4. Adhesive shall be placed in accordance with our "paddy placement details" as mentioned in our evaluation or compliance reports.
5. Adhere tile directly in freshly applied adhesive. Tile must be set prior to adhesive "skinning over" usually 1 - 2 minutes depending on the ambient temperature.
6. POLYPRO® AH -160 Roof Tile Adhesive shall not be exposed permanently to ultra-violet rays (sunlight). Any exposed foam may be cut away and covered with mortar or coated with a good quality acrylic paint or a paint designed for the application to polyurethane foam.
7. POLYPRO® AH -160 Roof Tile Adhesive shall be applied with Polyfoam Products dispensing equipment only.



Flat/Low Profile



Medium Profile



High Profile

## Small Paddy Placement

### Flat / Low Profile Tile

- 1) Starting at the eave course, apply a minimum 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the strengthening rib closest to the overlock of the tile being set.

- 2) Continue in same manner. Insure approximately 8 (51.6 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Medium Profile Tile (Double Pan Tile)

- 1) Starting at the eave course, apply a minimum 3" (76.2mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.

- 2) Continue in same manner. Insure approximately 8 (51.6 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### High Profile Tile (Single Pan Tile)

- 1) Starting at the eave course, apply a minimum 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.

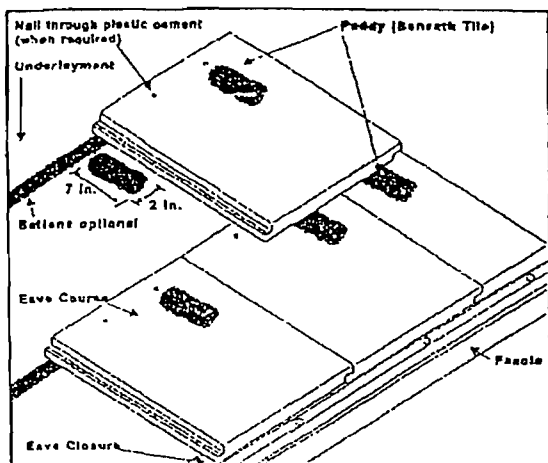
- 2) Continue in same manner. Insure approximately 8 (51.6 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.



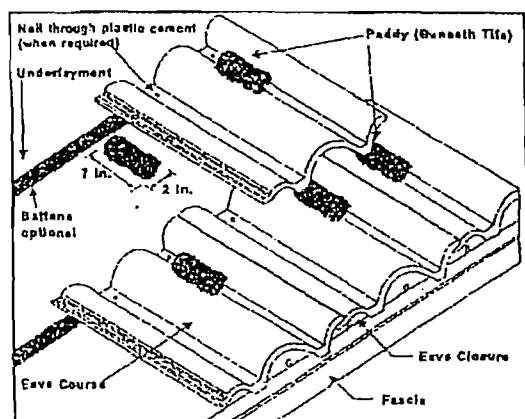
## Medium Paddy Placement

### Flat / Low Profile Tile

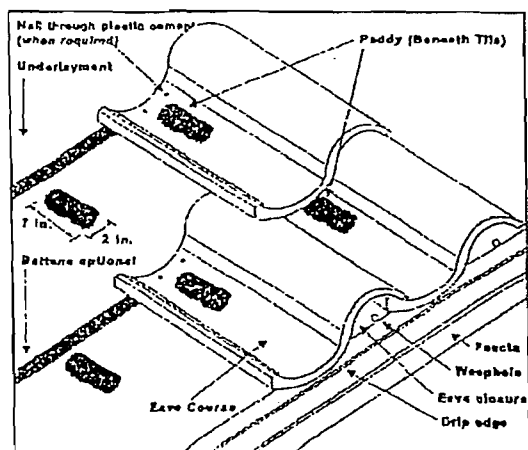
- 1) Starting at the eave course, apply a minimum 2" (50.8mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 10" (64.5 cm<sup>2</sup>) - 12 (77.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.



Flat/Low Profile



Medium Profile



High Profile

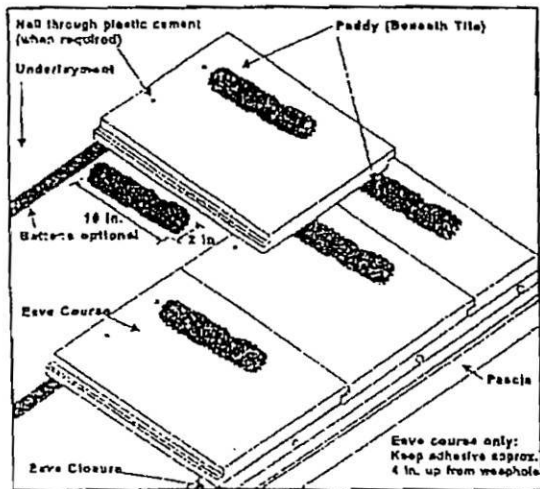
### Medium Profile Tile (Double Pan Tile)

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 12 (77.4 cm<sup>2</sup>) - 12 (90.3 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

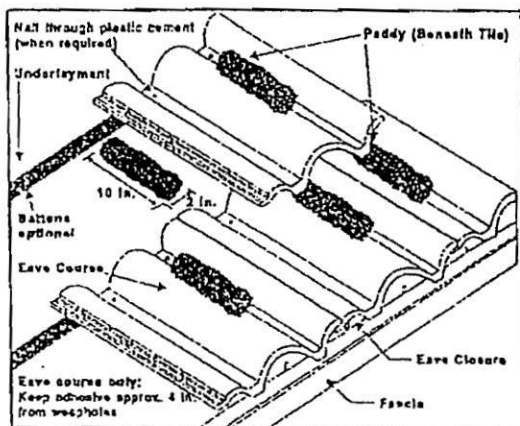
### High Profile Tile (Single Pan Tile)

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) - 19 (122.6 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

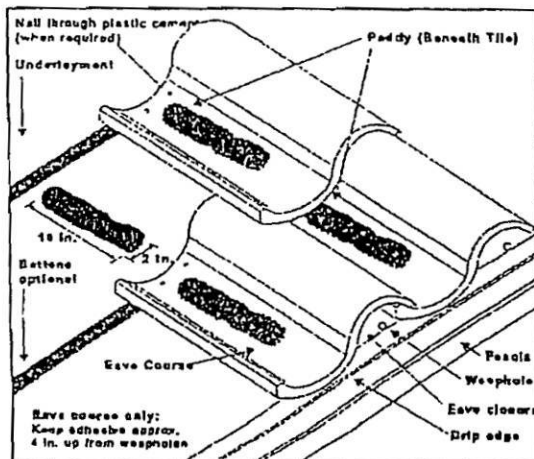




Flat/Low Profile



Medium Profile



High Profile

## Large Paddy Placement

### Flat / Low Profile Tile

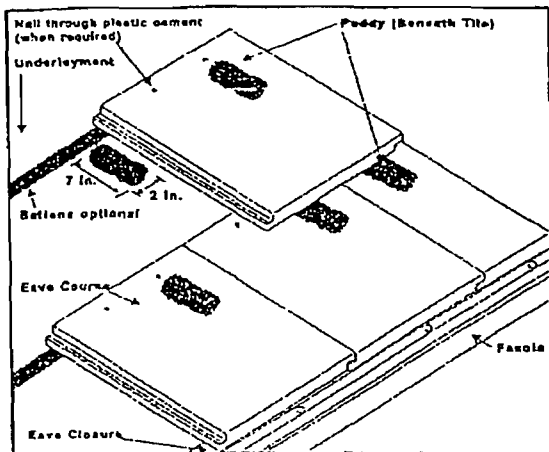
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19mm) foam paddy onto the underlayment positioned as shown, under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) – 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Medium Profile Tile (Double Pan Tile)

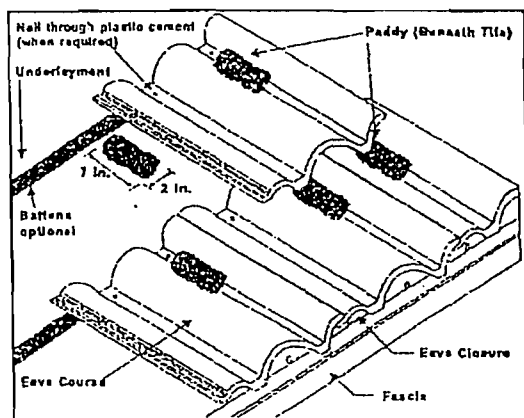
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) – 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### High Profile Tile (Single Pan Tile)

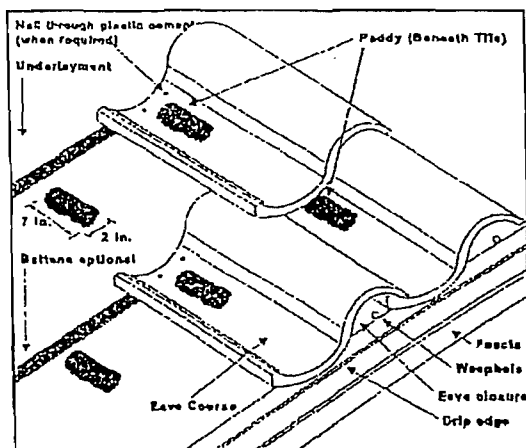
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) – 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.



Flat/Low Profile



Medium Profile



High Profile

## Medium Paddy Placement

### Flat / Low Profile Tile

- 1) Starting at the eave course, apply a minimum 2" (50.8mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 10" (64.5 cm<sup>2</sup>) - 12 (77.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Medium Profile Tile (Double Pan Tile)

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 12 (77.4 cm<sup>2</sup>) - 12 (90.3 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### High Profile Tile (Single Pan Tile)

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) - 19 (122.6 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

**SECTION 1525**  
**HIGH-VELOCITY HURRICANE ZONES UNIFORM PERMIT APPLICATION**  
**Florida Building Code Edition 2004**  
 High-Velocity Hurricane Zone Uniform Permit Application Form.

**INSTRUCTION PAGE**

**COMPLETE THE NECESSARY SECTIONS OF  
 THE UNIFORM ROOFING PERMIT  
 APPLICATION FORM AND ATTACH THE  
 REQUIRED DOCUMENTS AS NOTED BELOW:**

Roof System	Required Sections of the Permit Application Form	Attachments Required See List Below
Low Slope Application	A,B,C	1,2,3,4,5,6,7
Prescriptive BUR-RAS 150	A,B,C	4,5,6,7
Asphaltic Shingles	A,B,D	1,2,4,5,6,7
Concrete or Clay Tile	A,B,D,E	1,2,3,4,5,6,7
Metal Roofs	A,B,D	1,2,3,4,5,6,7
Wood Shingles and Shakes	A,B,D	1,2,4,5,6,7
Other	As Applicable	1,2,3,4,5,6,7

**ATTACHMENTS REQUIRED:**

1.	Fire Directory Listing Page
2.	From Product Approval: Front Page Specific System Description Specific System Limitations General Limitations Applicable Detail Drawings
3.	Design Calculations per Chapter 16, or If Applicable, RAS 127 or RAS 128
4.	Other Component of Product Approval
5.	Municipal Permit Application
6.	Owners Notification for Roofing Considerations (Reroofing Only)
7.	Any Required Roof Testing/Calculation Documentation

Florida Building Code Edition 2004  
High-Velocity Hurricane Zone Uniform Permit Application Form.

Section A (General Information)

Master Permit No. \_\_\_\_\_ Process No. \_\_\_\_\_  
Contractor's Name WEST FLORIDIAN ROOFING.  
Job Address 1321 TYLER ST

ROOF CATEGORY

- ☐ Low Slope
- ☐ Mechanically Fastened Tile
- ☒ Mortar/Adhesive Set Tile
- ☐ Asphaltic Shingles
- ☐ Metal Panel/Shingles
- ☐ Wood Shingles/Shakes
- ☐ Prescriptive BUR-RAS 150

ROOF TYPE

- ☐ New Roof
- ☒ Reroofing
- ☐ Recovering
- ☐ Repair
- ☐ Maintenance

ROOF SYSTEM INFORMATION

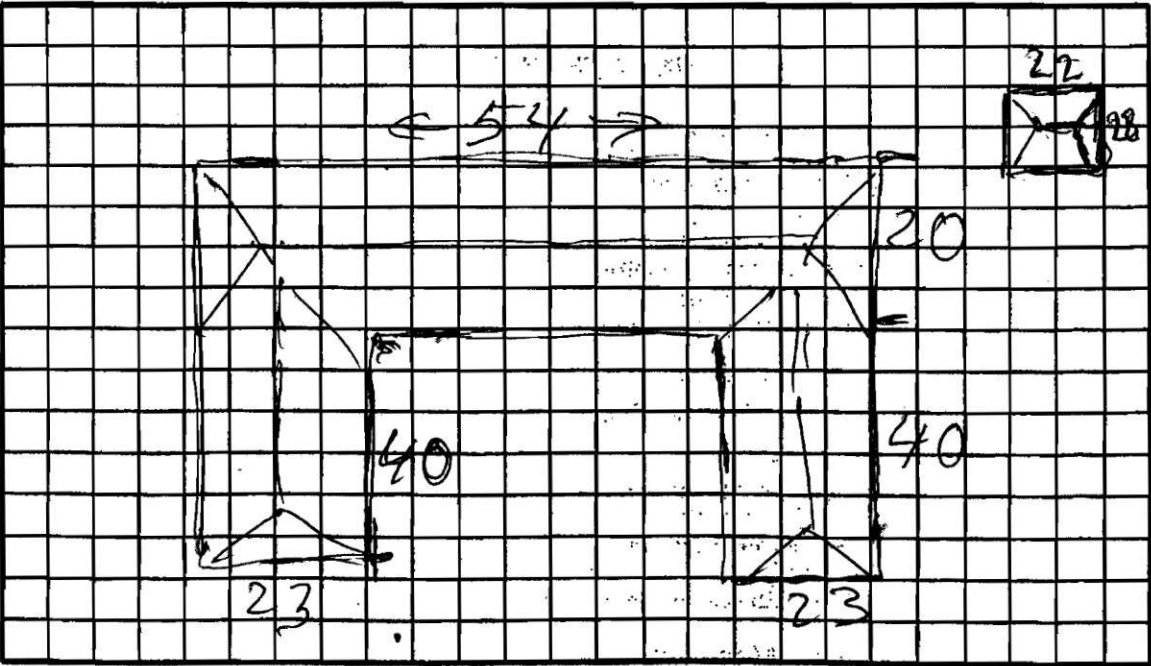
Low Slope Roof Area (SF)

Steep Sloped Roof Area (SF)  
3800

Total (SF) 3850  
3800

Section B (Roof Plan)

Sketch Roof Plan: Illustrate all levels and sections, roof drains, scuppers, overflow scuppers and overflow drains. Include dimensions of sections and levels, clearly identify dimensions of elevated pressure zones and location of parapets.



**Florida Building Code Edition 2004**  
**High-Velocity Hurricane Zone Uniform Permit Application Form.**

**Section D (Steep Sloped Roof System)**

<b>Roof System Manufacturer:</b> <u>MONIER LIFETILE</u>
<b>Notice of Acceptance Number:</b> <u>02-1205.07</u>
<b>Minimum Design Wind Pressures, If Applicable (From RAS 127 or Calculations):</b> P1: _____ P2: _____ P3: _____
<b>Maximum Design Pressure (From the Product Approval Specific System):</b> <u>38.75</u>

**Steep Sloped Roof System Description**

<div style="border: 1px solid black; padding: 2px; margin-bottom: 10px;">Roof Slope: <u>4</u> : 12</div> <div style="border: 1px solid black; padding: 2px; margin-bottom: 10px;">Ridge Ventilation? <u>N/A</u></div> <div style="border: 1px solid black; padding: 2px;">Mean Roof Height: <u>12 1/2'</u></div>	<div style="margin-bottom: 10px;">Deck Type: <span style="border: 1px solid black; padding: 2px 20px;"><u>5/8 PLYWOOD</u></span></div> <div style="margin-bottom: 10px;">Type Underlayment: <span style="border: 1px solid black; padding: 2px 20px;"><u>ASTM 30#</u></span></div> <div style="margin-bottom: 10px;">Insulation: <span style="border: 1px solid black; padding: 2px 20px;"><u>N/A</u></span></div> <div style="margin-bottom: 10px;">Fire Barrier: <span style="border: 1px solid black; padding: 2px 20px;"><u>N/A</u></span></div> <div style="margin-bottom: 10px;">Fastener Type &amp; Spacing: <span style="border: 1px solid black; padding: 2px 20px;"><u>1 1/2 RS NAILS, 6" max spacing</u></span></div> <div style="margin-bottom: 10px;">Adhesive Type: <span style="border: 1px solid black; padding: 2px 20px;"><u>ASPHALT.</u></span></div> <div style="margin-bottom: 10px;">Type Cap Sheet: <span style="border: 1px solid black; padding: 2px 20px;"><u>90#</u></span></div> <div style="margin-bottom: 10px;">Roof Covering: <span style="border: 1px solid black; padding: 2px 20px;"><u>MONIER SPANISH</u></span></div> <div style="margin-bottom: 10px;">Type &amp; Size Drip Edge: <span style="border: 1px solid black; padding: 2px 20px;"><u>3X3 copper.</u></span></div>
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**Florida Building Code Edition 2004**  
**High-Velocity Hurricane Zone Uniform Permit Application Form.**

**Section E (Tile Calculations)**

For Moment based tile systems, choose either Method 1 or 2. Compare the values for  $M_r$  with the values from  $M_p$ . If the  $M_r$  values are greater than or equal to the  $M_p$  values, for each area of the roof, then the tile attachment method is acceptable.

**Method 1 "Moment Based Tile Calculations Per RAS 127"**

$$\begin{aligned} (P_1: \text{_____} \times \lambda \text{_____} = \text{_____}) - Mg: \text{_____} &= M_{r1} \text{_____} & \text{Product Approval } M_r & \underline{38.74} \\ (P_2: \text{_____} \times \lambda \text{_____} = \text{_____}) - Mg: \text{_____} &= M_{r2} \text{_____} & \text{Product Approval } M_r & \underline{38.74} \\ (P_3: \text{_____} \times \lambda \text{_____} = \text{_____}) - Mg: \text{_____} &= M_{r3} \text{_____} & \text{Product Approval } M_r & \underline{38.74} \end{aligned}$$

**Method 2 "Simplified Tile Calculations Per Table Below"**

Required Moment of Resistance ( $M_r$ ) From Table Below \_\_\_\_\_ Product Approval  $M_r$  \_\_\_\_\_

<b><math>M_r</math> required Moment Resistance*</b>					
Mean Roof Height → Roof Slope ↓	15°	20°	25°	30°	40°
2:12	34.4	36.5	38.2	39.7	42.2
3:12	32.2	34.4	36.0	37.4	39.8
4:12	30.4	32.2	33.8	35.1	37.3
5:12	28.4	30.1	31.8	32.8	34.9
6:12	26.4	28.0	29.4	30.5	32.4
7:12	24.4	26.0	27.1	28.2	30.0

\*Must be used in conjunction with a list of moment based tile systems endorsed by the Broward County Board of Rules and Appeals.

For Uplift based tile systems use Method 3. Compared the values for  $F'$  with the values for  $F_r$ . If the  $F'$  values are greater than or equal to the  $F_r$  values, for each area of the roof, then the tile attachment method is acceptable.

**Method 3 "Moment Based Tile Calculations Per RAS 127"**

$$\begin{aligned} (P_1: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r1} \text{_____} & \text{Product Approval } F' & \text{_____} \\ (P_2: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r2} \text{_____} & \text{Product Approval } F' & \text{_____} \\ (P_3: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r3} \text{_____} & \text{Product Approval } F' & \text{_____} \end{aligned}$$

<b>Where to Obtain Information</b>		
Description	Symbol	Where to find
Design Pressure	P1 or P2 or P3	RAS 127 Table 1 or by an engineering analysis prepared by PE based on ASCE 7
Mean Roof Height	H	Job Site
Roof Slope	$\theta$	Job Site
Aerodynamic Multiplier	$\lambda$	Product Approval
Restoring Moment due to Gravity	$M_g$	Product Approval
Attachment Resistance	$M_r$	Product Approval
Required Moment Resistance	$M_p$	Calculated
Minimum Attachment Resistance	$F'$	Product Approval
Required Uplift Resistance	$F_r$	Calculated
Average Tile Weight	W	Product Approval
Tile Dimensions	L = length W = width	Product Approval

All calculations must be submitted to the building official at the time of permit application.

**SECTION 1524  
HIGH-VELOCITY HURRICANE ZONES—  
REQUIRED OWNERS NOTIFICATION FOR  
ROOFING CONSIDERATIONS**

**1524.1 Scope.** As it pertains to this section, it is the responsibility of the roofing contractor to provide the owner with the required roofing permit, and to explain to the owner the content of this section. The provisions of Chapter 15 of the *Florida Building Code, Building* govern the minimum requirements and standards of the industry for roofing system installations. Additionally, the following items should be addressed as part of the agreement between the owner and the contractor. The owner's initial in the designated space indicates that the item has been explained.

- We* 1. **Aesthetics-workmanship:** The workmanship provisions of Chapter 15 (High-Velocity Hurricane Zone) are for the purpose of providing that the roofing system meets the wind resistance and water intrusion performance standards. Aesthetics (appearance) are not a consideration with respect to workmanship provisions. Aesthetic issues such as color or architectural appearance, that are not part of a zoning code, should be addressed as part of the agreement between the owner and the contractor.
- We* 2. **Renailing wood decks:** When replacing roofing, the existing wood roof deck may have to be renailed in accordance with the current provisions of Chapter 16 (High-Velocity Hurricane Zones) of the. (The roof deck is usually concealed prior to removing the existing roof system.)
- We* 3. **Common roofs:** Common roofs are those which have no visible delineation between neighboring units (i.e., townhouses, condominiums, etc.). In buildings with common roofs, the roofing contractor and/or owner should notify the occupants of adjacent units of roofing work to be performed.
- We* 4. **Exposed ceilings:** Exposed, open beam ceilings are where the underside of the roof decking can be viewed from below. The owner may wish to maintain the architectural appearance; therefore, roofing nail penetrations of the underside of the decking may not be acceptable. The owner provides the option of maintaining this appearance.
- We* 5. **Ponding water:** The current roof system and/or deck of the building may not drain well and may cause water to pond (accumulate) in low-lying areas of the roof. Ponding can be an indication of structural distress and may require the review of a professional structural engineer. Ponding may shorten the life expectancy and performance of the new roofing system. Ponding conditions may not be evident until the original roofing system is removed. Ponding conditions should be corrected.

*We* 6. **Overflow scuppers (wall outlets):** It is required that rainwater flow off so that the roof is not overloaded from a buildup of water. Perimeter/edge walls or other roof extensions may block this discharge if overflow scuppers (wall outlets) are not provided. It may be necessary to install overflow scuppers in accordance with the requirements of: Chapter 15 and 16 herein and the *Florida Building Code, Plumbing*.

*We* 7. **Ventilation:** Most roof structures should have some ability to vent natural airflow through the interior of the structural assembly (the building itself). The existing amount of attic ventilation shall not be reduced. It may be beneficial to consider additional venting which can result in extending the service life of the roof.

*Rite W. Smith* 5/14/07 *R. D. Smith*  
Owner's/Agent's Signature Date Contractor's Signature



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2903

## NOTICE OF ACCEPTANCE (NOA)

Polyfoam Products, Inc.  
11715 Boudreaux Road  
Tomball, TX 77375

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Polypro® AH160

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No.01-0521.02 and consists of pages 1 through 7  
The submitted documentation was reviewed by Jorge L. Acebo.



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06

## ROOFING ASSEMBLY APPROVAL:

Category: Roofing  
Sub Category: Roof tile adhesive  
Materials: Polyurethane

### SCOPE:

This approves Polypro® AH160 as manufactured by Polyfoam Products, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

### PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

### PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

### PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. <sup>3</sup>
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./ft. <sup>2</sup>
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @ 158° F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06  
Page 2 of 7

## EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
	25-7492	SSTD 11-93	12/12/95
Miles Laboratories Polymers Division	NB-589-631	ASTM D 1623	02/01/94
Ramtech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
	01-6739-062b[1]	ASTM E 84	01/16/95
Trinity Engineering	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
	520109-2-1		

## LIMITATIONS:

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

$$F' = \frac{F}{W}$$

$$F' = \frac{F}{MS}$$



NOA No.: 06-0201.02  
 Expiration Date: 05/10/11  
 Approval Date: 04/13/06  
 Page 3 of 7

## INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA.
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

Table 1: Adhesive Placement For Each Generic Tile Profile

Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

## LABELING:

All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

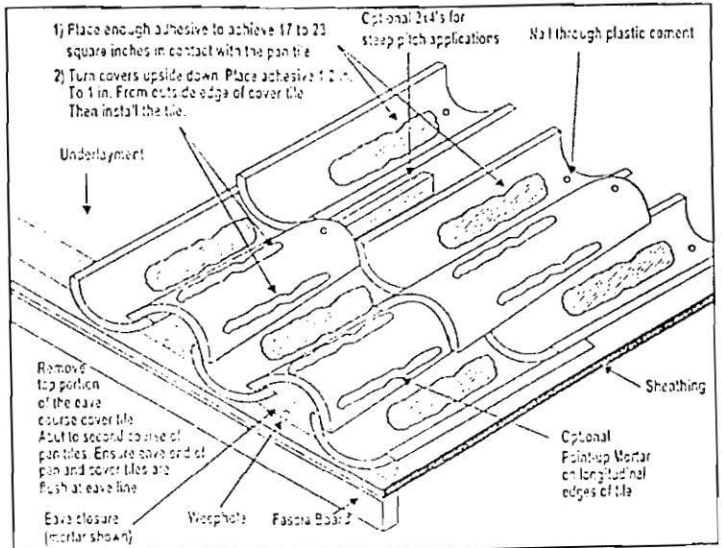
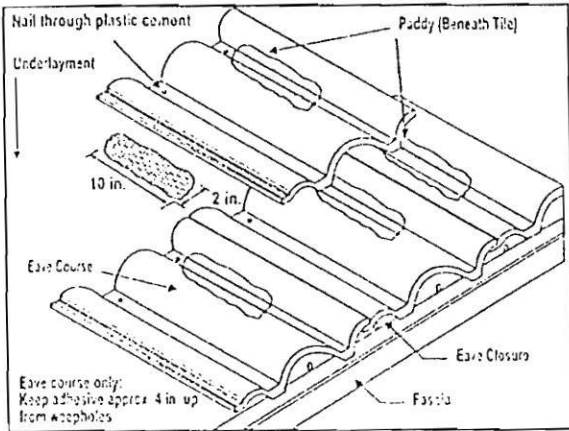
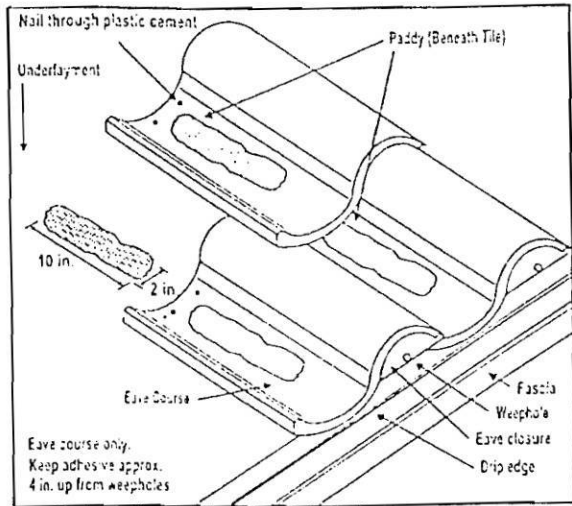
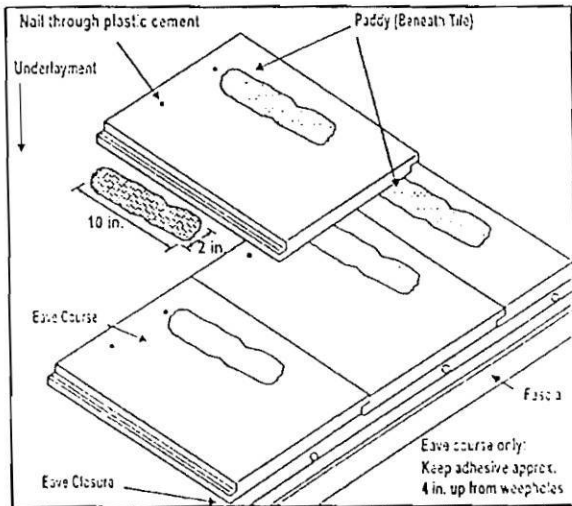
## BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06  
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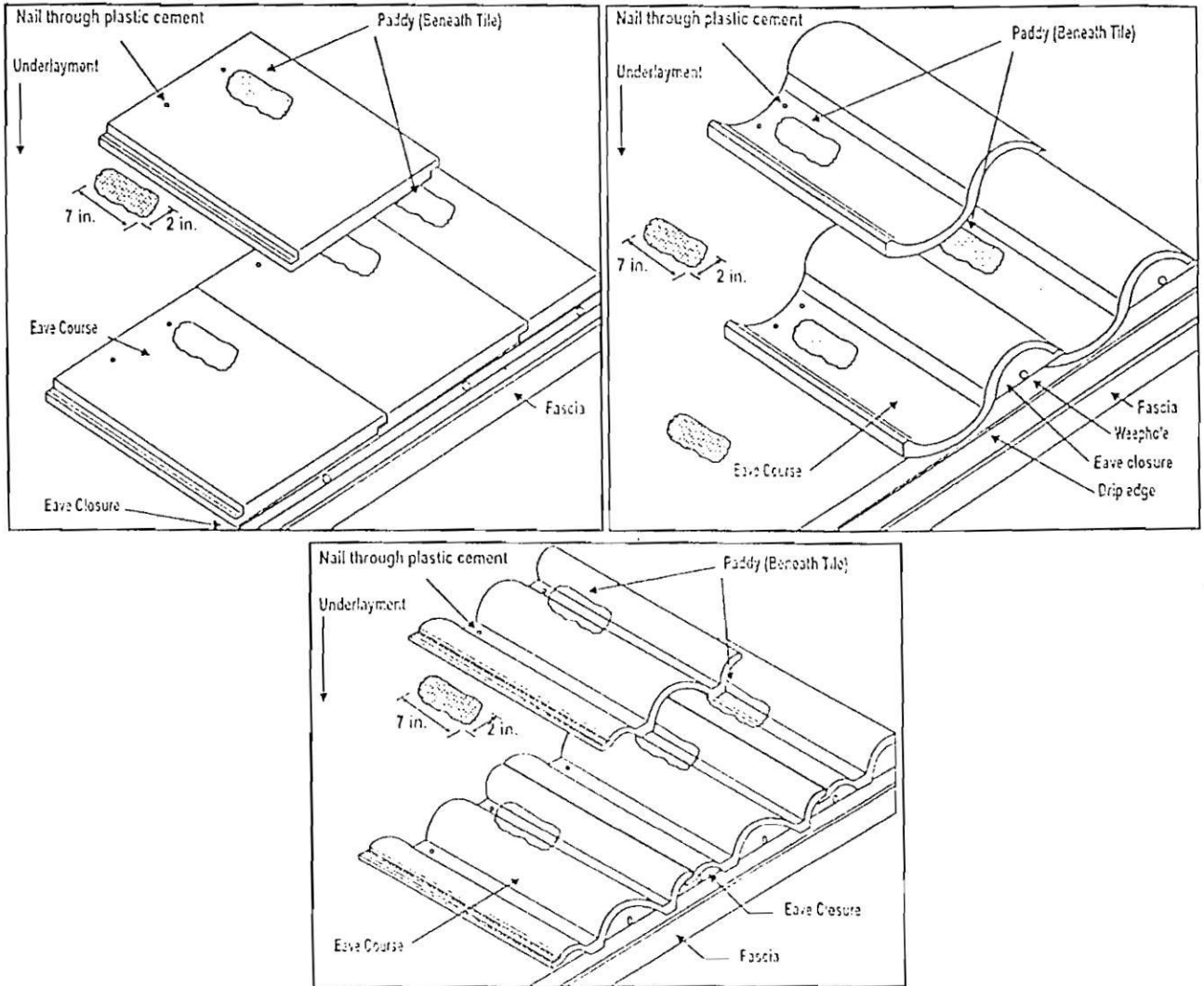
## ADHESIVE PLACEMENT DETAIL 1 SINGLE PATTY



NOA No.: 06-0201.02  
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Page 5 of 7

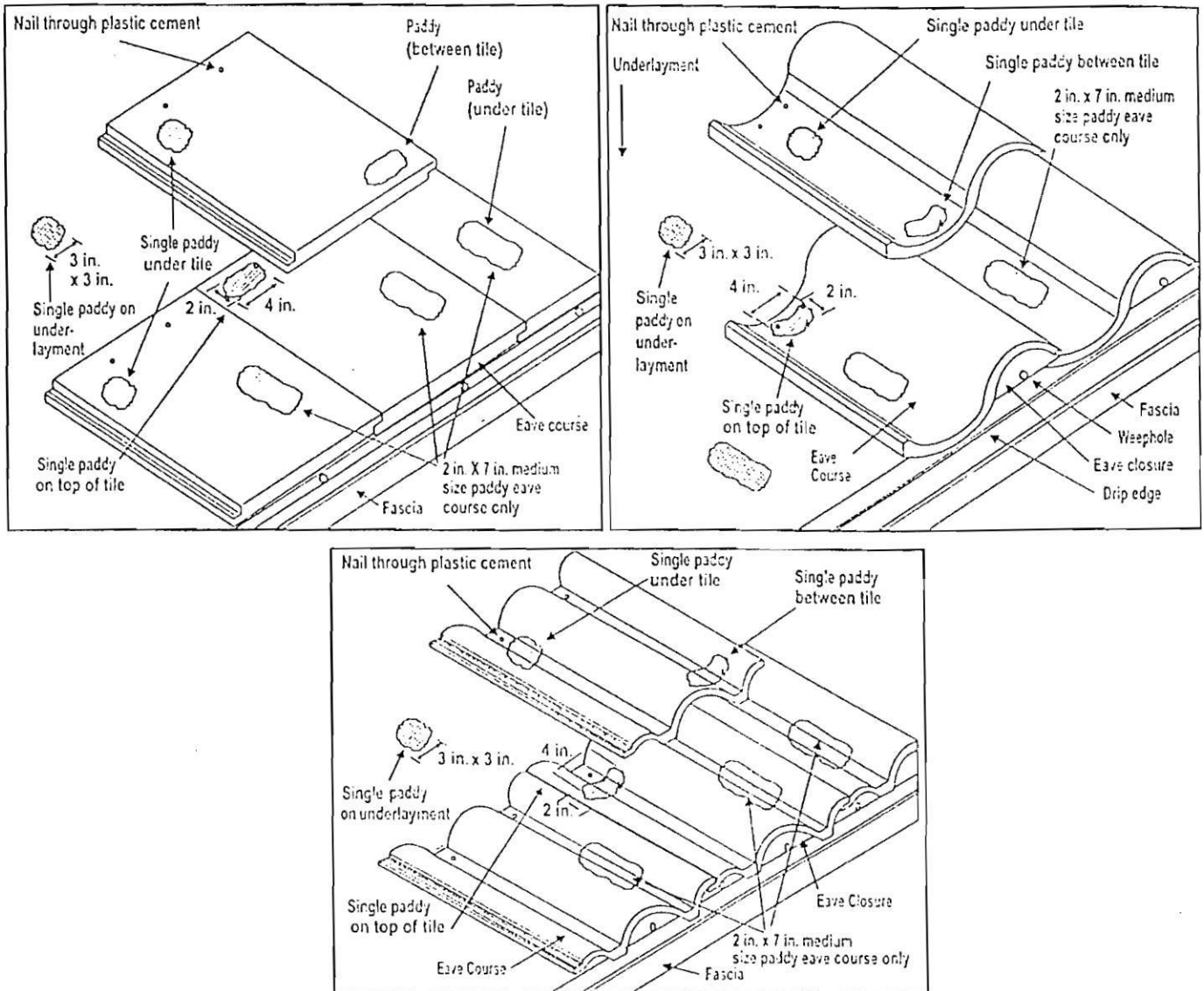


## ADHESIVE PLACEMENT DETAIL 2 SINGLE PATTY





## ADHESIVE PLACEMENT DETAIL 3 DOUBLE PATTY



END OF THIS ACCEPTANCE



NOA No.: 06-0201.02  
Expiration Date: 05/10/11  
Approval Date: 04/13/06  
Page 7 of 7



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

## **NOTICE OF ACCEPTANCE (NOA)**

Monier Lifetile, LLC  
135 NW 20<sup>th</sup> Street  
Boca Raton, FL 33431

### **SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION:** Spanish 'S' Concrete Roof Tile

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 02-1205.07  
Expiration Date: 01/02/08  
Approval Date: 01/02/03  
Page 1 of 5

## ROOFING ASSEMBLY APPROVAL

Category: Roofing  
Sub-Category: High Profile Roofing Tiles  
Material: Concrete

### 1. SCOPE

This renews a system using Monier Lifetile Spanish 'S' Concrete Roof Tile, as manufactured Monier Lifetile LLC and described in Section 2 of this Notice of Acceptance. For locations where the pressure requirements, as determined by applicable Building Code does not exceed the design pressure values obtained by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

### 2. PRODUCT DESCRIPTION

<u>Manufactured by</u> <u>Applicant</u>	<u>Dimensions</u>	<u>Test</u> <u>Specifications</u>	<u>Product</u> <u>Description</u>
Monier Lifetile Spanish 'S' Tile	l = 18" w = 10 <sup>3</sup> / <sub>8</sub> " min. 3/4" thick	PA 112	High profile, interlocking, one-piece, 'S' shaped, high-pressure extruded concrete roof tile equipped with two nail holes. For direct deck nail-on, mortar set or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	PA 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

#### 2.1 SUBMITTED EVIDENCE:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Redland Technologies	7161-03 Appendix III	Static Uplift Testing PA 102 & PA 102(A)	Dec. 1991
Redland Technologies	7161-03 Appendix II	Wind Tunnel Testing PA 108 (Nail-On)	Dec. 1991
Redland Technologies	P0647-01	Wind Tunnel Testing PA 108 (Mortar Set)	Aug. 1994
Redland Technologies	P0402	Withdrawal Resistance Testing of screw vs. smooth shank nails	Sept. 1993
The Center for Applied Engineering, Inc.	94-084	Static Uplift Testing PA 101 (Mortar Set)	May 1994
The Center for Applied Engineering, Inc.	94-083	Static Uplift Testing PA 101 (Adhesive Set)	April 1994
The Center for Applied Engineering, Inc.	25-7183-4	Static Uplift Testing PA 102 (2 Quik-Drive Screws, Direct Deck)	Feb. 1995



NOA No.: 02-1205.07  
Expiration Date: 01/02/08  
Approval Date: 01/02/03  
Page 2 of 5

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
The Center for Applied Engineering, Inc.	25-7214-3	Static Uplift Testing PA 102 (1 Quik-Drive Screw, Direct Deck)	March, 1995
Redland Technologies	Letter Dated Aug. 1, 1994	Wind Tunnel Testing PA 108 (Nail-On)	Aug. 1994
The Center for Applied Engineering, Inc.	Project No. 307025	Wind Driven Rain	Oct. 1994
Professional Service Industries, Inc.	Test #MDC-78 224-47099	PA 100 Physical Properties	Sept. 1994
Celotex Corporation Testing Service	520111-3 520191-2-1	PA 112 Static Uplift Testing PA 101	Dec. 1998 March 1999
Walker Engineering, Inc.	Calculations	Aerodynamic Multiplier	March 1999
Walker Engineering, Inc.	Evaluation Calculations	25-7094	February 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7496	April 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7584 25-7804b-8 25-7804-4 & 5 25-7848-6 25-7183	December 1996   March 1995
Walker Engineering, Inc.	Evaluation Calculations	Aerodynamic Multipliers	April 1999
Walker Engineering, Inc.	Calculations	Two Patty Adhesive Set System	April 1999

### 3. LIMITATIONS

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test shall be performed in accordance with RAS 106.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building Code Compliance Office for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.
- 3.7 May be installed on slopes 7:12 and greater.

### 4. INSTALLATION

- 4.1 Monier Lifetile Spanish 'S' Concrete Roof Tile and its components shall be installed in strict compliance with Roofing Application Standard RAS 118, RAS 119, and RAS 120.
- 4.2 Data For Attachment Calculations



Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Monier Lifetile Spanish 'S' Tile	9.64	1.5	0.865

Table 2: Aerodynamic Multipliers - $\lambda$ (ft <sup>3</sup> )	
Tile Profile	$\lambda$ (ft <sup>3</sup> ) Direct Deck Application
Monier Lifetile Spanish 'S' Tile	0.259

Table 3: Restoring Moments due to Gravity - $M_g$ (ft-lbf)										
Tile Profile	3":12"		4":12"		5":12"		6":12"		7":12" or greater	
	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
Monier Lifetile Spanish 'S' Tile	N/A	8.51	N/A	8.44	N/A	8.27	N/A	8.07	N/A	7.87

Table 4: Attachment Resistance Expressed as a Moment - $M_t$ (ft-lbf) for Nail-On Systems			
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)
Monier Lifetile Spanish 'S' Tile	2-10d Ring Shank Nails	28.6	41.2
	1-10d Smooth or Screw Shank Nail	5.1	6.8
	2-10d Smooth or Screw Shank Nails	6.9	9.2
	1 #8 Screw	20.7	20.7
	2 #8 Screws	43.2	43.2
	1-10d Smooth or Screw Shank Nail (Field Clip)	23.1	23.1
	1-10d Smooth or Screw Shank Nail (Eave Clip)	29.3	29.3
	2-10d Smooth or Screw Shank Nails (Field Clip)	27.6	27.6
	2-10d Smooth or Screw Shank Nails (Eave Clip)	38.1	38.1

Table 5: Attachment Resistance Expressed as a Moment $M_t$ (ft-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Monier Lifetile Spanish 'S' Tile	Adhesive	29.3 <sup>2</sup>
1 See manufactures component approval for installation requirements.		
2 Flexible Products Company TileBond Average weight per patty 10.7 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		



Table 5A: Attachment Resistance Expressed as a Moment - $M_t$ (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Monier Lifetile Spanish 'S' Tile	Polyfoam PolyPro™	66.5 <sup>3</sup>
	Polyfoam PolyPro™	38.7 <sup>4</sup>
3 Large paddy placement of 63grams of PolyPro™.		
4 Medium paddy placement of 24grams of PolyPro™.		

Table 5B: Attachment Resistance Expressed as a Moment - $M_t$ (ft-lbf) for Mortar Set Systems		
Tile Profile	Tile Application	Attachment Resistance
Monier Lifetile Spanish 'S' Tile	Mortar Set	24.5

## 5. LABELING

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo, or following statement: "Miami-Dade County Product Control Approved".

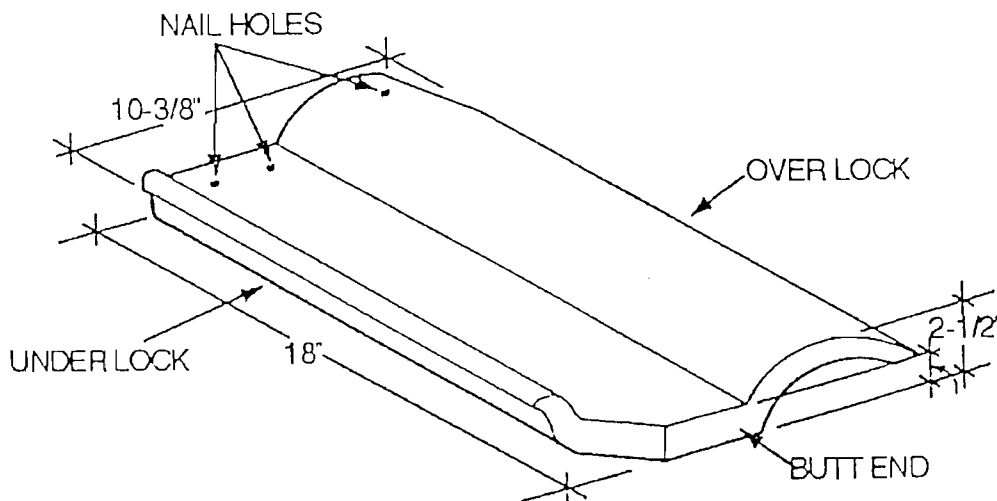
## 6. BUILDING PERMIT REQUIREMENTS

6.1 Application for building permit shall be accompanied by copies of the following:

6.1.1 This Notice of Acceptance.

6.1.2 Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

## PROFILE DRAWINGS



MONIER LIFETILE SPANISH 'S' CONCRETE ROOF TILE

END OF THIS ACCEPTANCE



NOA No.: 02-1205.07  
Expiration Date: 01/02/08  
Approval Date: 01/02/03  
Page 5 of 5



www.polyfoam.cc

## **POLYFOAM PRODUCTS, INC.**

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### **Western Region**

P.O. Box 54165  
Irvine, CA 92619-4165

Tel: 866 774-9378  
949 262-9748

Fax: 949 262-9749

## **POLYPRO® AH -160 ROOF TILE ADHESIVE INSTALLATION INSTRUCTIONS**

### **UNDERLAYMENTS**

POLYPRO® AH -160 Roof Tile Adhesive will adhere to various types of asphalt saturated or coated underlayments, from smooth surface ASTM No. 30 to granulated mineral surfaced roll roofing ASTM D249. The adhesive will also adhere to modified bitumen products. These types of products are usually more critical when determining resistance values, due to the percentage of modifiers and the effect the modifiers contribute to the softening of the top surface when exposed to elevated temperatures. **Products surfaced with polypropylene or silicone based surfaces are not recommended.**

### **UNDERLAYMENT ATTACHMENT**

Since the roof components are being adhered to the top surface of the underlayment system, consideration must be made for the attachment of the underlayment to the substrate. Polyfoam Products, Inc. lists the most commonly used attachment systems in our evaluation or compliance reports. Contact Polyfoam Products, Inc. for attachment recommendations in your area.

**NAILABLE WOOD DECKS** - Attachment of the underlayment system to nailable decks can be calculated mathematically and is dependent on various factors which range from the type of fastener, the diameter of the fastener, the type of substrate, fastener density, pull over value of the fastener head through the underlayment, mean roof height, basic wind speed etc.

**NON - NAILABLE DECKS** - Typically these types of decks are usually primed, and the waterproofing is accomplished with self-adhered membranes, cold process systems or applied with hot asphalt, modified acrylics, Elastomeric type products or to raw concrete.

### **FLASHINGS**

Apply the flashing material according to the tile manufacturers recommendations, Roof Tile Institute (RTI)/ Western States Roofing Contractors Association (WSRCA) "Concrete and Clay Roof Tile Installation Manual for Moderate Climate Regions, FRSA/RTI "Concrete and Clay Roof Tile Installation Manual" (System 4), Florida Building Code RAS 120 or local code requirements.

## CONCRETE AND CLAY ROOF TILES

POLYPRO® AH -160 will adhere to both clay and concrete roof tile as well as other roof components.

## TOTAL RESISTANCE VALUES

Polyfoam Products, Inc. provides five different paddy placements to meet the wind design pressures for various mean roof heights as well as, basic wind speeds. Polyfoam Products has the highest total resistance values than any currently approved attachment system including mortar, nails, nails and hurricane clips and/or screws with no (or minimal, depending on the pitch of the roof) penetrations through the waterproofing underlayment. Our attachment resistance values are included in our evaluation or compliance reports. For specialty jobs please contact Polyfoam Products, Inc.

## ADDITIONAL ATTACHMENT REQUIREMENTS

Additional fastening may be necessary on steep pitches to hold the tiles in place until the adhesive has a chance to cure. The fastening requirements are as follows:

For pitches up to and including 6:12, POLYPRO® AH -160 Roof Tile Adhesive can be installed without the use of any additional tile fasteners. Some contractors may elect to fasten the eave course for alignment purposes only. For pitches above 6:12, the eave course shall be fastened with one nail in addition to the POLYPRO® AH -160 Roof Tile Adhesive. For pitches above 6:12 up to and including 7:12, every third tile in every fifth course shall be fastened with one nail in addition to the adhesive. For pitches above 7:12 nail every tile shall receive one nail in addition to the adhesive.



As an alternate to nailing every tile, for tiles designed with batten lugs only, tiles may be engaged over 4 ft. long, minimum, nominal 1" x 2" pressure treated, decay resistant battens or galvanized metal batten. Battens shall be fastened to the sheathing with 3 - 8d ring shank (0.120 inch diameter) nails or screws per each 4 ft. long batten. When utilizing battens, tile headlap shall be 3" inches unless restricted by product design and preformed flashings with metal edge returns shall be used.

For two piece barrel tiles only, at pitches above 6:12, the pan tiles of the eave course shall be fastened with one nail in addition to the POLYPRO® AH -160 Roof Tile Adhesive. For pitches above 6:12 up to and including 7:12, every pan tile in every fifth course shall be fastened with one nail in addition to the adhesive. For pitches above 7:12 nail every tile (cover and pan tile) shall receive one nail in addition to the adhesive. For the attachment of cover tiles, on pitches above 7:12, the use of wood stringers under the cover tile are optional. As an alternative, the use of a galvanized, stainless steel or copper wire and/ or compatible nail or a straw nail (gutter spike) is also an acceptable option.

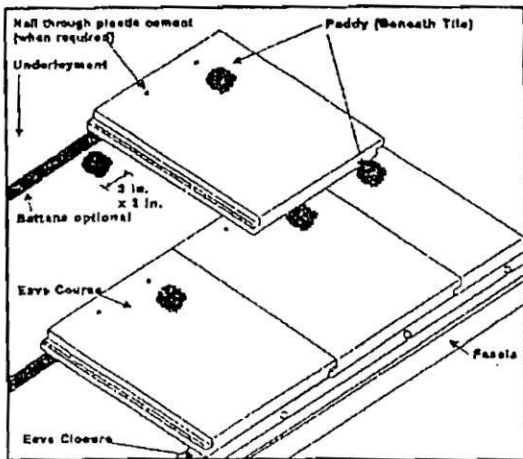
Nails shall be corrosion-resistant, (ASTM A 641, class 1 or approved equal), of sufficient length to penetrate the deck a minimum of 3/4" or through the thickness of the deck, whichever is less. Compatible plastic cement shall be applied to seal all nail penetrations, when using underlayment products that do not seal nail penetrations. Some modified bitumen self-adhered membranes, have sealing capabilities. Contact the underlayment manufacturer for sealing capabilities of the specific waterproofing membrane



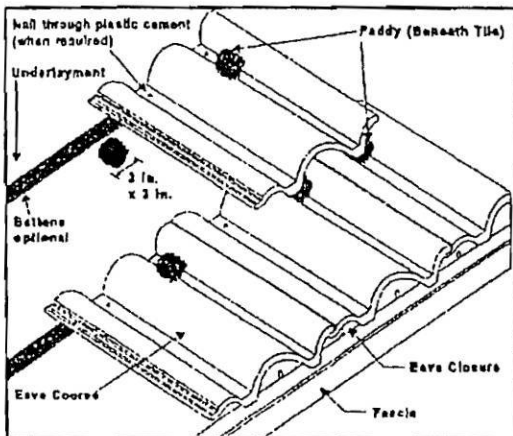
## COMMENTS AND LIMITATIONS

1. POLYPRO® AH -160 Roof Tile Adhesive shall be applied over a underlayment installed in compliance with the underlayment fastening tables as listed in our evaluation or compliance reports. (Call Polyfoam for underlayment recommendations.)
2. Installation must be by a factory trained "Qualified Applicator" approved and licensed by Polyfoam Products, Inc.
3. Calibration of the FOAMPRO® dispensing equipment is required before application of any adhesive, except for PROPACK® dispensing systems. The mix ratio of the "A" component and the "B" component shall be maintained between 1.0 -1.15 (A) to (B). For Ratio Calibration: Take the net weight of the "A" chemical and divide it by the net weight of the "B" chemical.
4. Adhesive shall be placed in accordance with our "paddy placement details" as mentioned in our evaluation or compliance reports.
5. Adhere tile directly in freshly applied adhesive. Tile must be set prior to adhesive "skinning over" usually 1 - 2 minutes depending on the ambient temperature.
6. POLYPRO® AH -160 Roof Tile Adhesive shall not be exposed permanently to ultra-violet rays (sunlight). Any exposed foam may be cut away and covered with mortar or coated with a good quality acrylic paint or a paint designed for the application to polyurethane foam.
7. POLYPRO® AH -160 Roof Tile Adhesive shall be applied with Polyfoam Products dispensing equipment only.

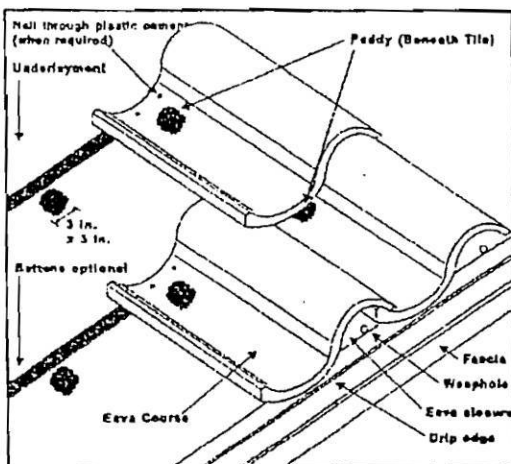




**Flat/Low Profile**



**Medium Profile**



**High Profile**

## Small Paddy Placement

### Flat / Low Profile Tile

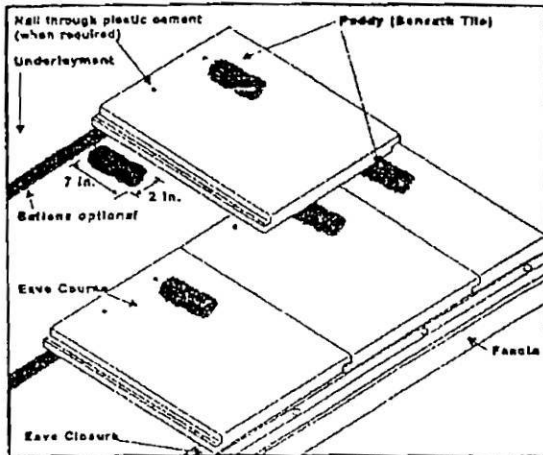
- 1) Starting at the eave course, apply a minimum 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 8 (51.6 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Medium Profile Tile (Double Pan Tile)

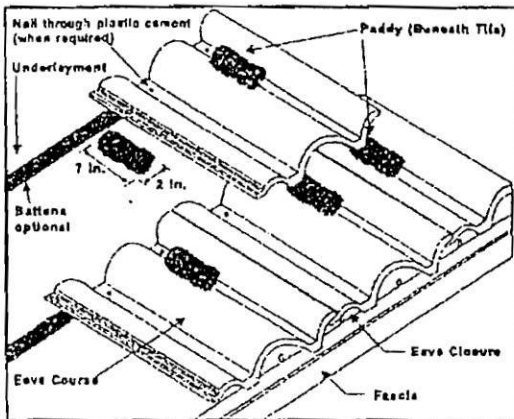
- 1) Starting at the eave course, apply a minimum 3" (76.2mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 8 (51.6 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### High Profile Tile (Single Pan Tile)

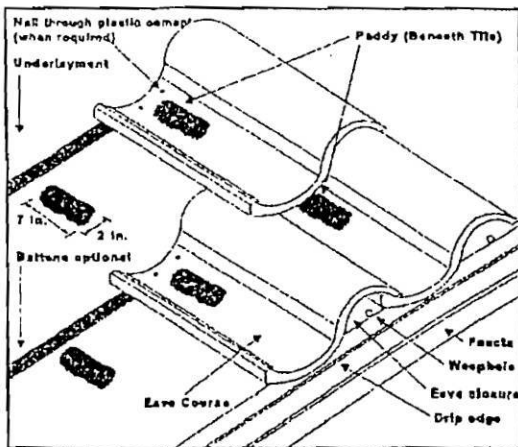
- 1) Starting at the eave course, apply a minimum 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 8 (51.6 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.



**Flat/Low Profile**



**Medium Profile**



**High Profile**

## Medium Paddy Placement

### Flat / Low Profile Tile

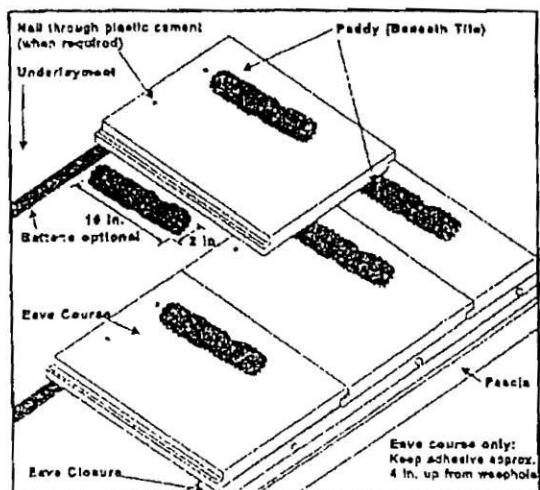
- 1) Starting at the eave course, apply a minimum 2" (50.8mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 10" (64.5 cm<sup>2</sup>) - 12 (77.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Medium Profile Tile (Double Pan Tile)

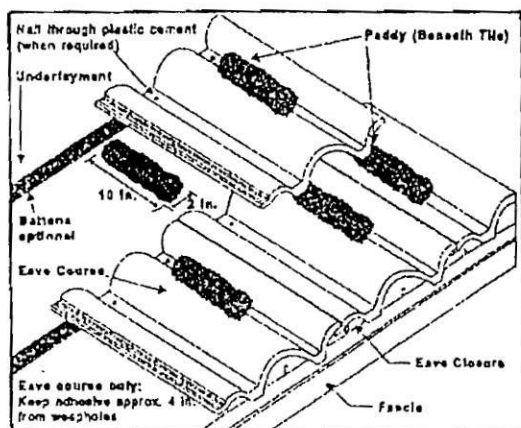
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 12 (77.4 cm<sup>2</sup>) - 12 (90.3 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### High Profile Tile (Single Pan Tile)

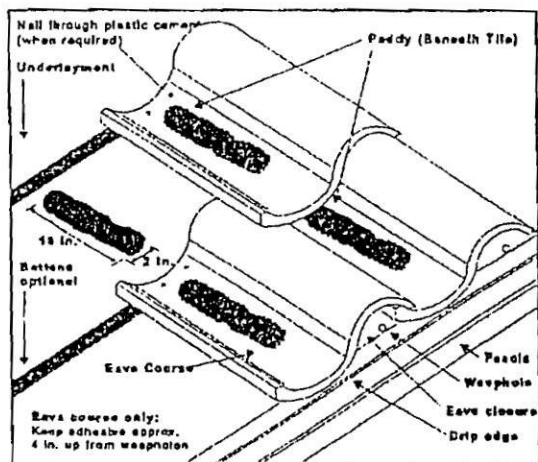
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) - 19 (122.6 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.



Flat/Low Profile



Medium Profile



High Profile

## Large Paddy Placement

### Flat / Low Profile Tile

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19mm) foam paddy onto the underlayment positioned as shown, under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) – 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Medium Profile Tile (Double Pan Tile)

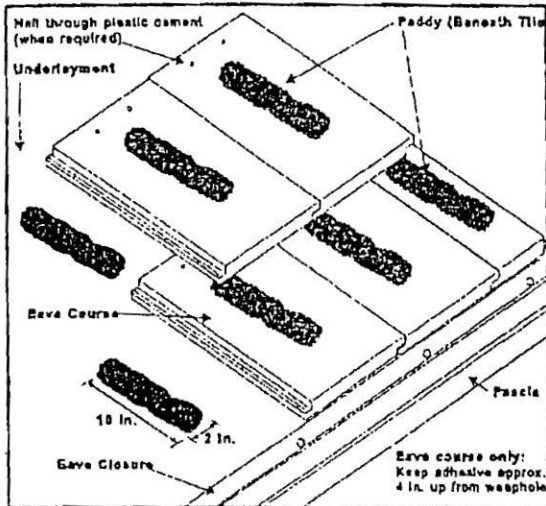
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) – 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### High Profile Tile (Single Pan Tile)

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19mm) foam paddy onto the underlayment positioned as shown under the pan portion of the tile closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.7 cm<sup>2</sup>) – 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

## Large Paddy Placement (Con't)

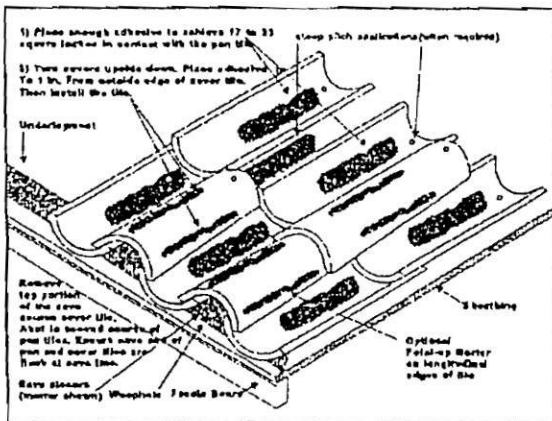
### Small - Flat Tile / Low Profile Tile



Small - Flat/Low Profile

- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under the strengthening rib closest to the overlock of the tile being set.
- 2) Continue in same manner. Insure approximately 17 (109.6 cm<sup>2</sup>) - 23 (148.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile.

### Two Piece Barrel (Cap and Pan Tile)

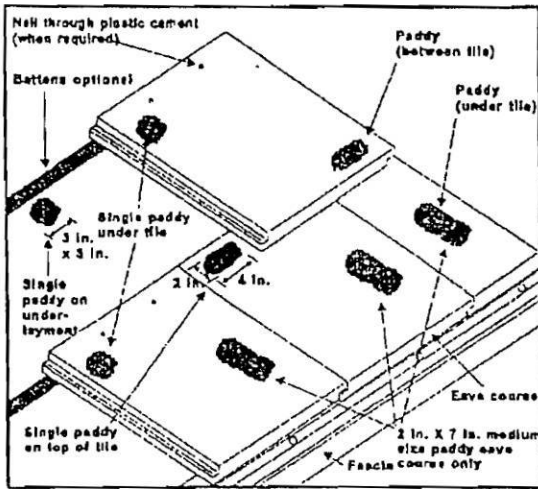


Two Piece Barrel - High Profile

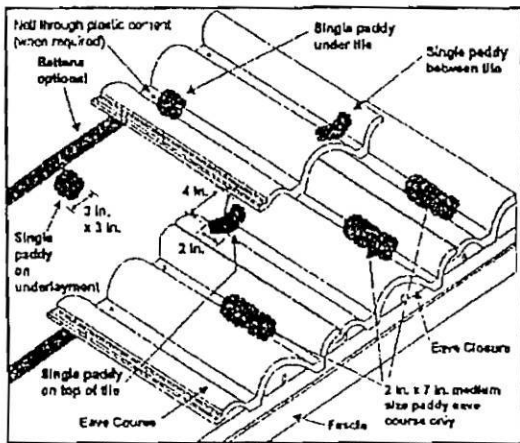
- 1) Starting at the eave course, apply a minimum 2" (50.8 mm) x 10" (254 mm) x 3/4" (19 mm) foam paddy onto the underlayment positioned as shown under two adjacent pan tiles. Support eave tiles from rocking until adhesive has a chance to cure.
- 2) Continue in same manner bringing two pan courses up toward the ridge. Insure approximately 65 (419.4 cm<sup>2</sup>) - 70 (451.6 cm<sup>2</sup>) square inch adhesive contact with the underside of the pan tile.
- 3) Turn covers upside down exposing the underside of the tile. Apply a minimum 1" (25.4 mm) x 10" (254 mm) bead of adhesive directly on the inner edge of each side of the cover tile. Leave approximately 3/4" (19 mm) to 1" (25.4 mm) from the outside edge of the tile, inward, free of foam to allow for expansion.
- 4) Turn cover tile over after foam is applied and place onto pan tile course. Insure a minimum of 20 (129 cm<sup>2</sup>) - 25 (161.3 cm<sup>2</sup>) square inch contact area on each side of the cover tile to the pan tile. Continue in same manner. Trim away any cured exposed foam adhesive. Pointing of longitudinal edges of the cover tiles are considered optional.
- 5) When additional nailing is required, 2" (50.8 mm) x 4" (101.6 mm) nailers or the tie wire system using galvanized, stainless steel, or copper wire and compatible nails may be used.

# Two-Paddy Placement

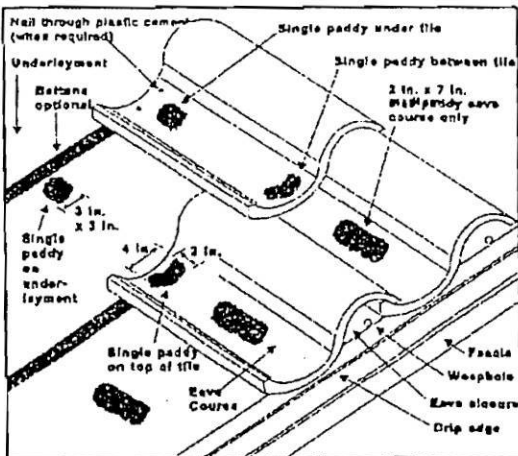
## Flat / Low, Medium and High Profile Tile



Flat/Low Profile



Medium Profile



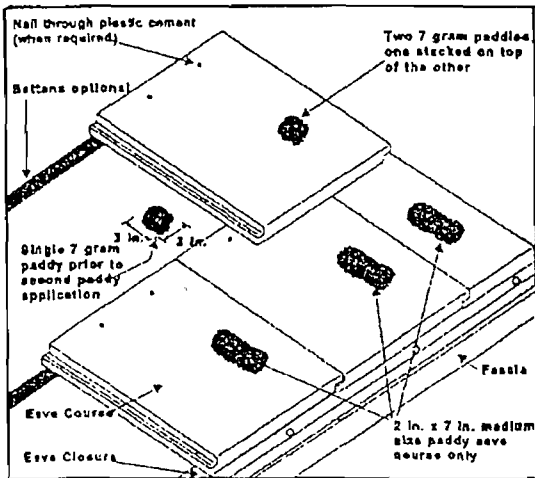
High Profile

- 1) On the eave course only, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam (medium) paddy onto the underlayment positioned as shown under the strengthening rib for flat tile or under the pan portion of the tile for low or high profile tile closest to the overlock of the tile being set. Leave approximately 4" (101.6 mm) up from the eave edge free of foam to prevent the expanded adhesive from blocking the weep holes.
- 2) Apply a 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment just below the first course line, positioned foam paddy under the strengthening rib for flat tile or under the pan portion of the tile, closest to the underlock of the eave tile to be installed. Install eave course of tile. Insure approximately 11 (71 mm<sup>2</sup>) square inch adhesive contact with the underside of the tile for the eave course only.
- 3) Apply a 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment just below the second course line, positioned foam paddy under the strengthening rib for flat tile or under the pan portion of the tile, closest to the underlock for the second course tile to be installed.
- 4) Also apply a 2" (50.8 mm) x 4" (101.6 mm) paddy on top of the eave course tile surface as shown, on top of the strengthening rib for flat tile or on top of the pan portion of the tile, closest to the underlock of the first course of tile. Install second course of tile. It is easier to work in a horizontally however it is not mandatory. Insure approximately 9 (58.1 cm<sup>2</sup>) - 11 (71cm<sup>2</sup>) square inch adhesive contact with the underside of the tile at the overlap and 7 (45.2 cm<sup>2</sup>) - 9 (58.1 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile at the head of the tile. Continue in same manner.

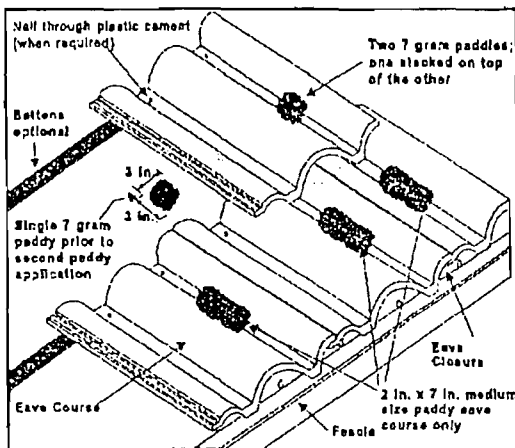


# Dual Stacked Method

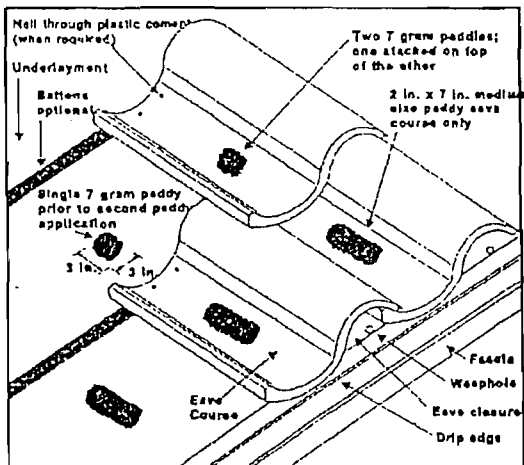
## Flat / Low, Medium and High Profile Tile



Flat/Low Profile



Medium Profile



High Profile

- 1) On the eave course only, apply a minimum 2" (50.8 mm) x 7" (177.8 mm) x 3/4" (19 mm) foam (medium) paddy onto the underlayment positioned as shown. Place paddy under the strengthening rib for flat tile, or under the pan portion of the tile, for low or high profile tile, closest to the overlock of the tile being set. Leave approximately 4" (101.6 mm) up from the eave edge free of foam to prevent the expanded adhesive from blocking the weep holes.
- 2) Also apply a 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment above the eave course line as shown. Place paddy under the strengthening rib for flat tile or under the pan portion of the tile, closest to the overlock, for tile application of the second course. Alternate between eave course and second course paddy application. Set the eave course of tile. Continue in same manner. It is easier to work in a horizontally, however it is not mandatory. Insure approximately 10 (64.5 cm<sup>2</sup>) - 12 (77.4 cm<sup>2</sup>) square inch adhesive contact with the underside of the tile for the eave course only.
- 3) After the 3" x 3" paddy on the second course of tile has cured to touch, apply another 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) paddy directly on top of the cured paddy. At the same time, alternately apply a 3" (76.2 mm) x 3" (76.2 mm) x 3/4" (19 mm) foam paddy onto the underlayment for the application of the third course in the same position as mentioned in number (2) above. Set the tile on the second course and allow the small pad for the third course to skin over.
- 4) Continue in same manner. Insure 5 (32.3 cm<sup>2</sup>) - 7 (45.2 cm<sup>2</sup>) square inches in contact with the underside of the tile for all courses except the eave course.

## GENERAL NOTES:

1. ACCORDION SHUTTER SHOWN ON THIS PRODUCT APPROVAL DOCUMENT HAS BEEN VERIFIED FOR CODE COMPLIANCE IN ACCORDANCE WITH THE 2004 EDITION OF THE FLORIDA BUILDING CODE. DESIGN WIND LOADS SHALL BE DETERMINED AS PER SECTION 1620 OF THE ABOVE MENTIONED CODE. IN ORDER TO VERIFY THAT COMPONENTS AND ANCHORS ON THIS P.A.D. AS TESTED WERE NOT OVER STRESSED, A 33% INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THEIR ANALYSIS. A DURATION FACTOR  $CD=1.60$  WAS USED FOR VERIFICATION OF FASTENERS IN WOOD. ASSA/MID-RISE BERTHA ACCORDION SHUTTER ADEQUACY FOR IMPACT AND FATIGUE RESISTANCE HAS BEEN VERIFIED IN ACCORDANCE WITH SECTION 1609.1.4 OF THE ABOVE MENTIONED CODE AS PER ATL REPORT # 0201.01-96 AND 0701.01-05, PER TAS-201, TAS-202 AND TAS-203 PROTOCOLS.

2. STAINLESS STEEL SHEET METAL SCREWS USED AT LOUVER PIN SHALL BE # 10 x 3", 410-HT MINIMUM SERIES W/135.0 ksi YIELD STRENGTH & 180 ksi TENSILE STRENGTH. SCREWS SHALL BE COATED WITH Xylan 5000 SERIES FLUOROPOLYMER COATINGS AS MANUFACTURED BY WHITFORD Co, BOX 507, WEST CHESTER PA. 19381.

3. ALL ALUMINUM EXTRUSIONS SHALL BE 6063-T6 ALLOY.

4. ALL SCREWS TO BE STAINLESS STEEL 304 OR 316 SERIES W/ 50 ksi YIELD STRENGTH AND 90 ksi TENSILE STRENGTH OR CORROSION RESISTANT COATED CARBON STEEL AS PER DIN 50018.

5. ALL ALUMINUM POP RIVETS TO BE 5052 ALUMINUM ALLOY WITH ALUMINUM MANDREL.

6. BOLTS TO BE A.S.T.M. A-307 GALVANIZED OR AISI 304 SERIES STAINLESS STEEL WITH 35 ksi MINIMUM MINIMUM YIELD STRENGTH.

7. ANCHORS TO WALL SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED)

(A) TO EXISTING POURED CONCRETE:

- 1/4"  $\phi$  TAPCON ANCHORS, AS MANUFACTURED BY I.T.W. BUILDEX.
- 1/4"  $\phi$  ZAMAC NAILIN ANCHORS, AS MANUFACTURED BY POWERS FASTENERS, INC.
- 1/4"  $\phi$  x 7/8" CALK-IN AS MANUFACTURED BY POWERS FASTENERS, INC.

### NOTES:

- A.1) MINIMUM EMBEDMENT OF TAPCON AND ZAMAC NAILIN ANCHORS INTO POURED CONCRETE IS 1 3/4".
- A.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE POURED CONCRETE. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4"  $\phi$ -20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST.
- A.3) IN CASE THAT PRECAST STONE, PRECAST CONCRETE PANELS, OR PAVERS BE FOUND ON THE EXISTING WALL OR FLOOR, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES A.1) & A.2) ABOVE.

(B) TO EXISTING CONCRETE BLOCK WALL:

- 1/4"  $\phi$  TAPCON ANCHORS AS MANUFACTURED BY I.T.W. BUILDEX.
- 1/4"  $\phi$  ZAMAC NAILIN ANCHORS AS MANUFACTURED POWERS FASTENERS, INC.
- 1/4"  $\phi$  x 7/8" CALK-IN AS MANUFACTURED BY POWERS FASTENERS, INC.

### NOTES:

B.1) MINIMUM EMBEDMENT OF TAPCON ANCHORS, AND ZAMAC NAILIN ANCHORS INTO THE CONCRETE BLOCK UNIT SHALL BE 1 1/4".

B.2) 7/8" CALK-IN ANCHORS SHALL BE ENTIRELY EMBEDDED INTO THE CONCRETE BLOCK UNIT. NO EMBEDMENT INTO STUCCO SHALL BE PERMITTED. 1/4"  $\phi$ -20 SCREWS USED SHALL BE 1 1/2" LONG MINIMUM SHOULD STUCCO EXIST.

B.3) IN CASE THAT PRECAST STONE OR PRECAST CONCRETE PANELS BE FOUND ON THE EXISTING WALL, ANCHORS SHALL BE LONG ENOUGH TO REACH THE MAIN STRUCTURE BEHIND SUCH PANELS. ANCHORAGE SHALL BE AS INDICATED ON NOTES B.1) & B.2) ABOVE.

(C) ANCHORS SHALL BE INSTALLED FOLLOWING ALL OF THE RECOMMENDATIONS AND SPECIFICATIONS OF THE ANCHOR'S MANUFACTURER.

8. THIS ASSA/MID-RISE BERTHA ACCORDION SHUTTER SYSTEM IS PATENT PENDING. COMPONENTS OF THIS APPROVAL ARE COVERED IN WHOLE OR PART BY U.S. PATENT ISSUED TO EASTERN METAL SUPPLY, INC.

9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SOUNDNESS OF THE STRUCTURE WHERE SHUTTER IS TO BE ATTACHED TO INSURE PROPER ANCHORAGE.

10. SHUTTER'S MANUFACTURER LABEL SHALL BE PLACED ON THE EXPOSED SURFACE OF THE FEMALE LOCK SLAT (COMPONENT ①).

ONE LABEL SHALL BE PLACED FOR EVERY OPENING. LABEL SHALL READ AS FOLLOWS:

ALUMINUM WORLD, INC.

HIALEAH, FLORIDA

MIAMI-DADE COUNTY PRODUCT CONTROL APPROVED.

11. (a) THIS PRODUCT APPROVAL DOCUMENT (P.A.D.) PREPARED BY THIS ENGINEER IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT; i.e. WHERE THE SITE CONDITIONS DEVIATE FROM THE P.A.D.

(b) CONTRACTOR TO BE RESPONSIBLE FOR THE SELECTION, PURCHASE AND INSTALLATION, INCLUDING LIFE SAFETY OF THIS PRODUCT BASED ON THIS PRODUCT APPROVAL PROVIDED HE/SHE DOES NOT DEVIATE FROM THE CONDITIONS DETAILED ON THIS DOCUMENT. CONSTRUCTION SAFETY AT SITE IS THE CONTRACTOR'S RESPONSIBILITY.


(c) THIS PRODUCT APPROVAL DOCUMENT WILL BE CONSIDERED INVALID IF MODIFIED.

(d) SITE SPECIFIC PROJECTS SHALL BE PREPARED BY A FLORIDA REGISTERED ENGINEER OR ARCHITECT WHICH WILL BECOME THE ENGINEER OF RECORD (E.O.R.) FOR THE PROJECT AND WHO WILL BE RESPONSIBLE FOR THE PROPER USE OF THE P.A.D. ENGINEER OF RECORD, ACTING AS DELEGATED ENGINEER TO THE P.A.D. ENGINEER, SHALL SUBMIT TO THIS LATTER THE SITE SPECIFIC DRAWINGS FOR REVIEW.

(e) THIS P.A.D. SHALL BEAR THE DATE AND ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL ENGINEER THAT PREPARED IT.

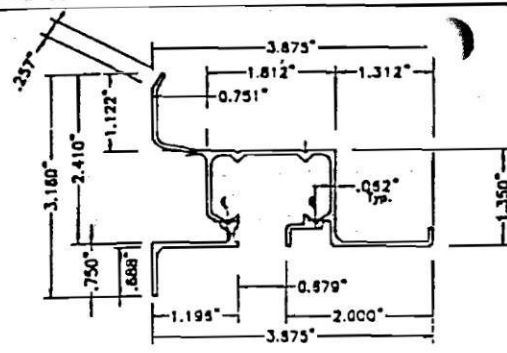
PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 05-0817-08  
Expiration Date 05/10/2018  
By *Walter A. Tillit Jr.*  
Miami Dade Product Control  
Division

F.B.C. (High Velocity Hurricane Zone)

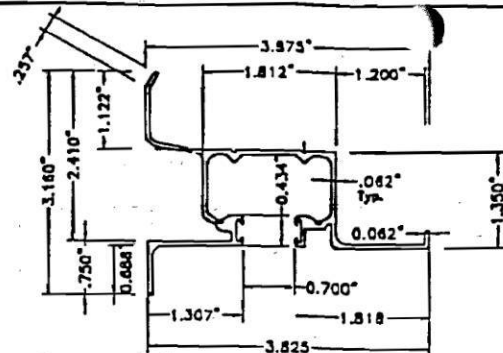
 TILLIT TESTING & ENGINEERING COMPANY 4155 N.W. 38th St., Ste. 303, Virginia Gardens, Florida 33146 Phone: (305) 471-1330 • Fax: (305) 471-1331 EB-0006719 WALTER A. TILLIT Jr., P. E. FLORIDA Lic. # 44167		ASSA/MID-RISE BERTHA ACCORDION SHUTTER		DRAWN BY: J.J.V.	
		ALUMINUM WORLD, INC. (ASSA # 167) 4401 E 10 AVENUE HIALEAH, FLORIDA 33013 PH: (305) 825-1355, FAX: (305) 825-1356		8/8/05 DATE	
REV. NO.		DESCRIPTION		DATE	
1	OLD 03-067	8/8/05		3	-
2	-	-		4	-
				05-234 DRAWING No	
				SHEET 1 OF 9	

AUG 11 2005

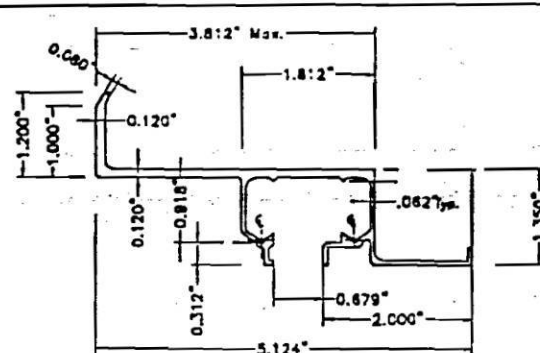




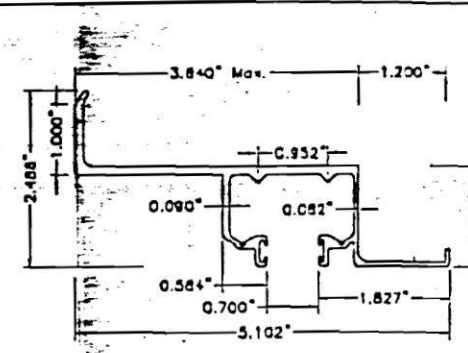
REGULAR



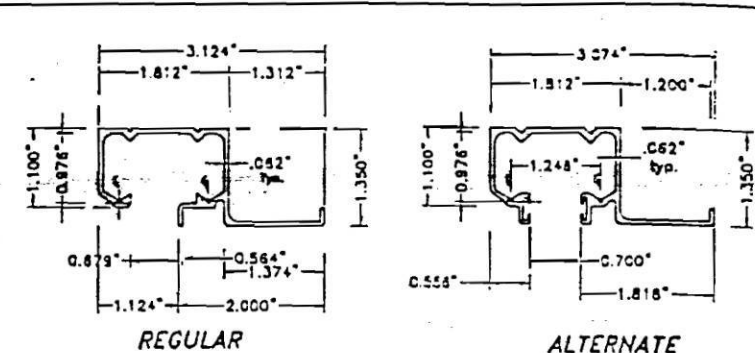
ALTERNATE



REGULAR



ALTERNATE



REGULAR

ALTERNATE

(A) HEADER-WALL MOUNT.

(A) SILL-WALL MOUNT. (INVERTED USE)

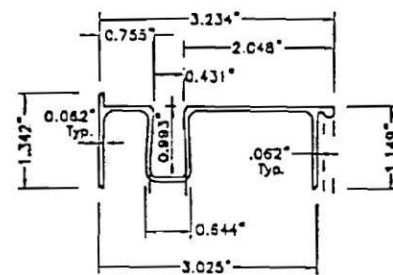
SCALE: 3/8\" = 1\"

(A1) HEADERS-WALL MOUNT.

SCALE: 3/8\" = 1\"

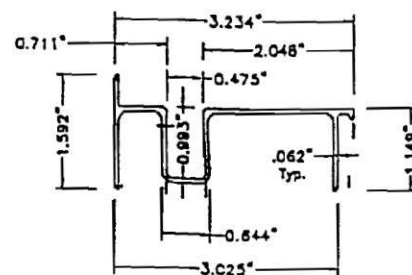
(B) HEADER CEILING MOUNT.

SCALE: 3/8\" = 1\"

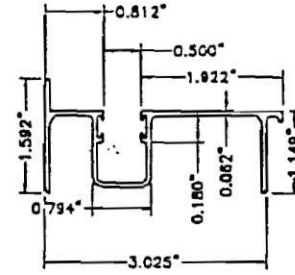


(C) SILL

SCALE: 3/8\" = 1\"



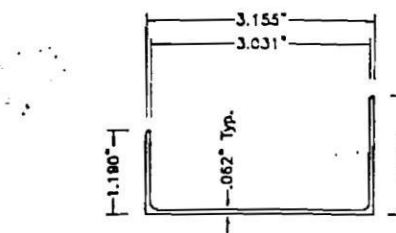
REGULAR



ALTERNATE

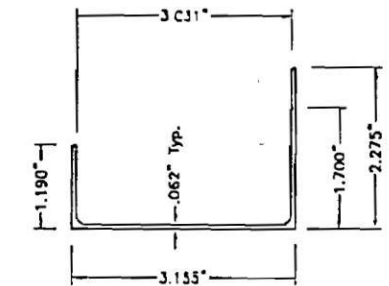
(C1) SILLS

SCALE: 3/8\" = 1\"



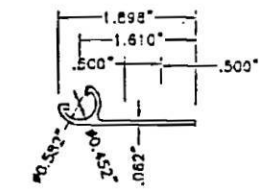
(D) SILL BOTTOM ADAPTER

SCALE: 3/8\" = 1\"



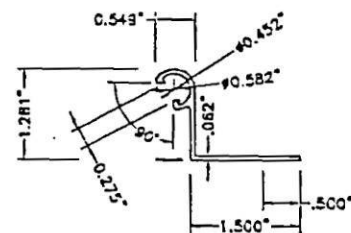
(D1) SILL BOTTOM ADAPTER

SCALE: 3/8\" = 1\"



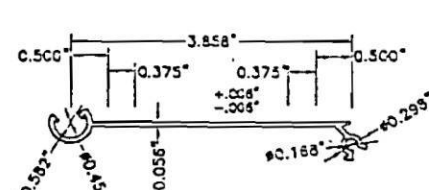
(E) 180° STARTER

SCALE: 3/8\" = 1\"



(E1) 90° STARTER

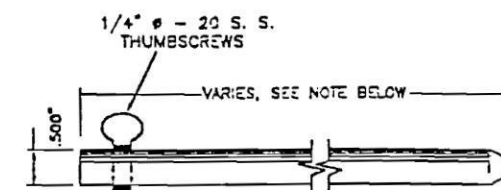
SCALE: 3/8\" = 1\"



(F) LOUVER BLADE

SCALE: 3/8\" = 1\"

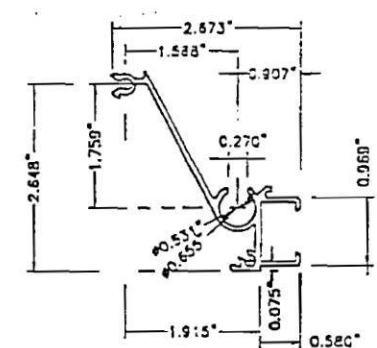
COVERED UNDER US PATENT # 5458179



(G) LOCKING PIN

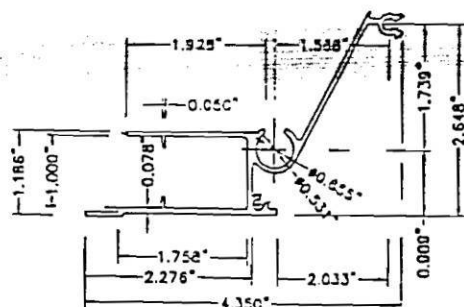
SCALE: 3/8\" = 1\"

12\" MIN. FOR UP TO 9'-0\" SHUTTER  
BLADE LENGTHS AND 24\" MIN. FOR  
SHUTTER BLADE LENGTHS GREATER  
THAN 9'-0\".



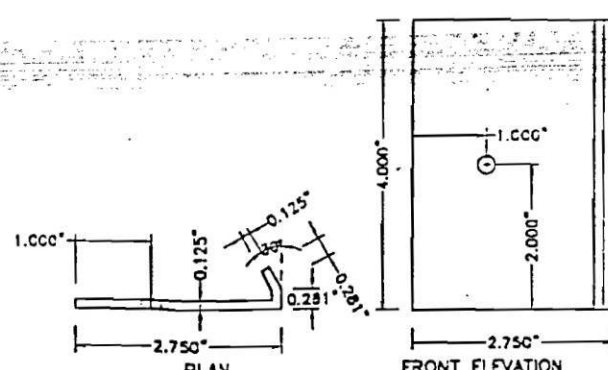
(H) MALE LOCK SLAT

SCALE: 3/8\" = 1\"



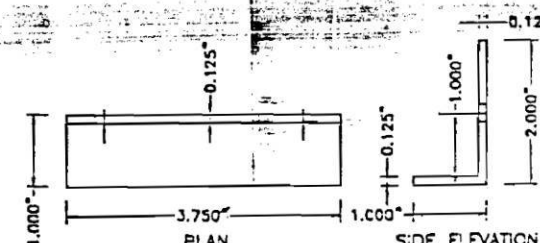
(I) FEMALE LOCK SLAT

SCALE: 3/8\" = 1\"



(J) OUTSIDE LOCKER # 1

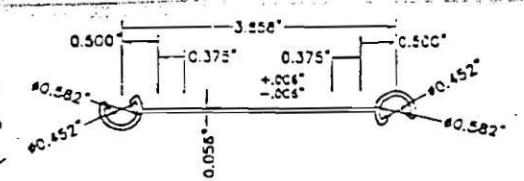
SCALE: 3/8\" = 1\"



(K) INSIDE LOCKER # 2

SCALE: 3/8\" = 1\"

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 05-0817-08  
Expiration Date 05/10/2008  
By *Heather A. Miller*  
Miami Dade Product Control  
Division



(L) FEMALE/FEMALE

ECONO BLADE

SCALE: 3/8\" = 1\"

# COMPONENTS

AUG 11 2005

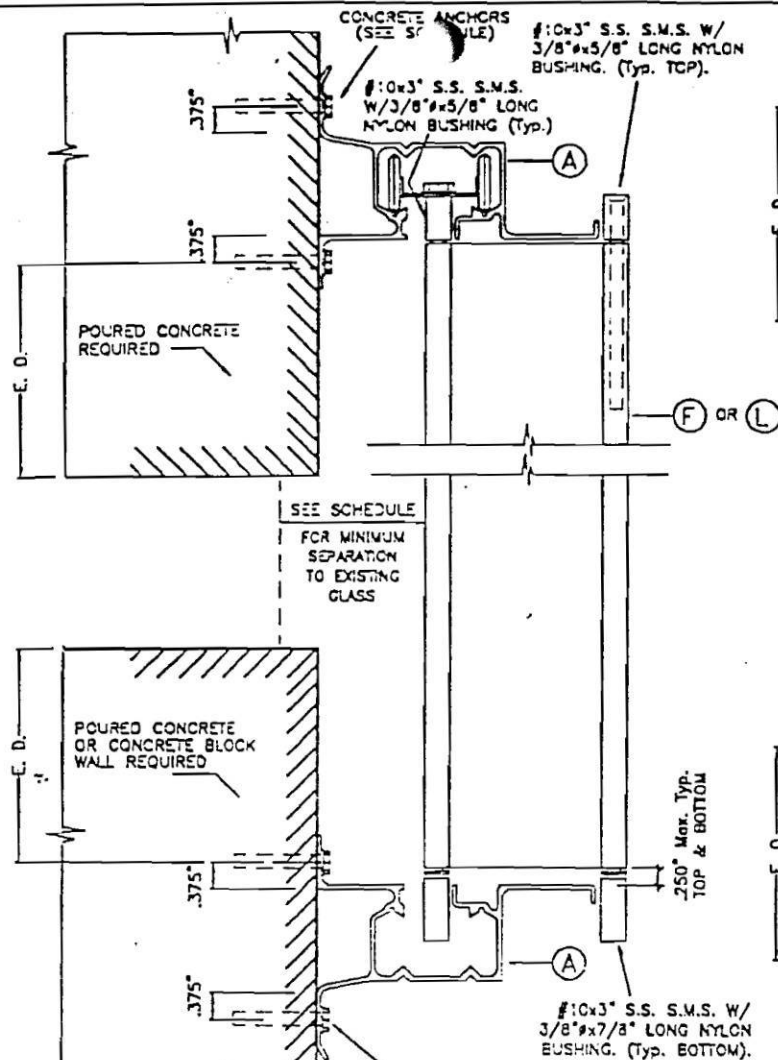
**TILTECO INC.**  
TILIT TESTING & ENGINEERING COMPANY  
6355 N.W. 30th St., Suite 303, MARIETTA, GEORGIA 30146  
Phone: (770) 471-1330, Fax: (770) 471-1331  
E9-0006719  
WALTER A. TILIT Jr., P. E.  
FLORIDA Lic. # 44167

ASSA/MID-RISE BERTHA ACCORDION SHUTTER  
**ALUMINUM WORLD, INC.**  
(ASSA # 167)  
4401 E 10 AVENUE  
HALEAH, FLORIDA 33013  
PH: (305) 825-1355, FAX: (305) 825-1356

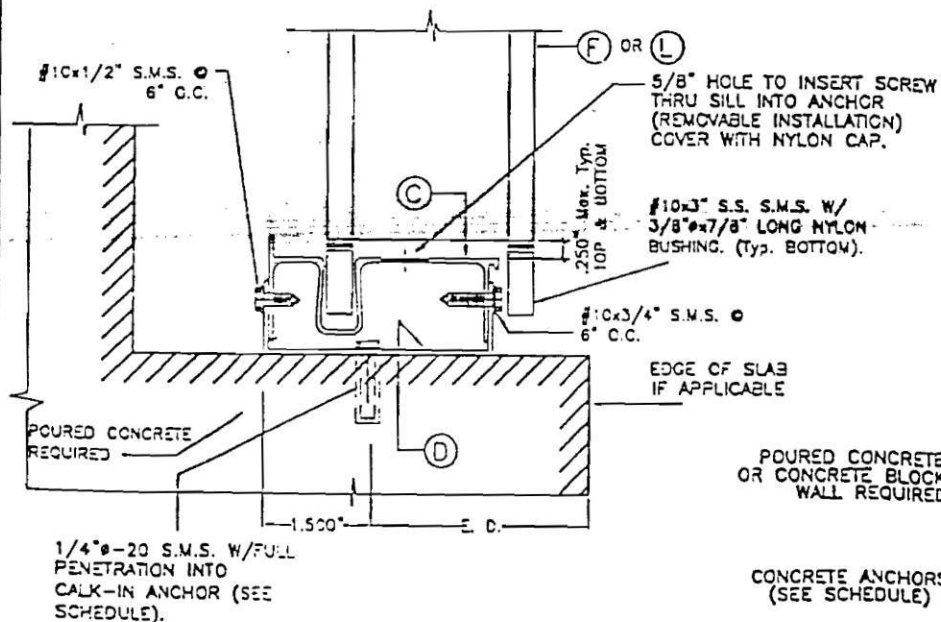
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-067	8/9/06	2	-	-
2	-	-	4	-	-

DRAWN BY:  
J.J.V.  
8/8/05  
DATE  
05-234  
DRAWING No  
SHEET 1A OF 9

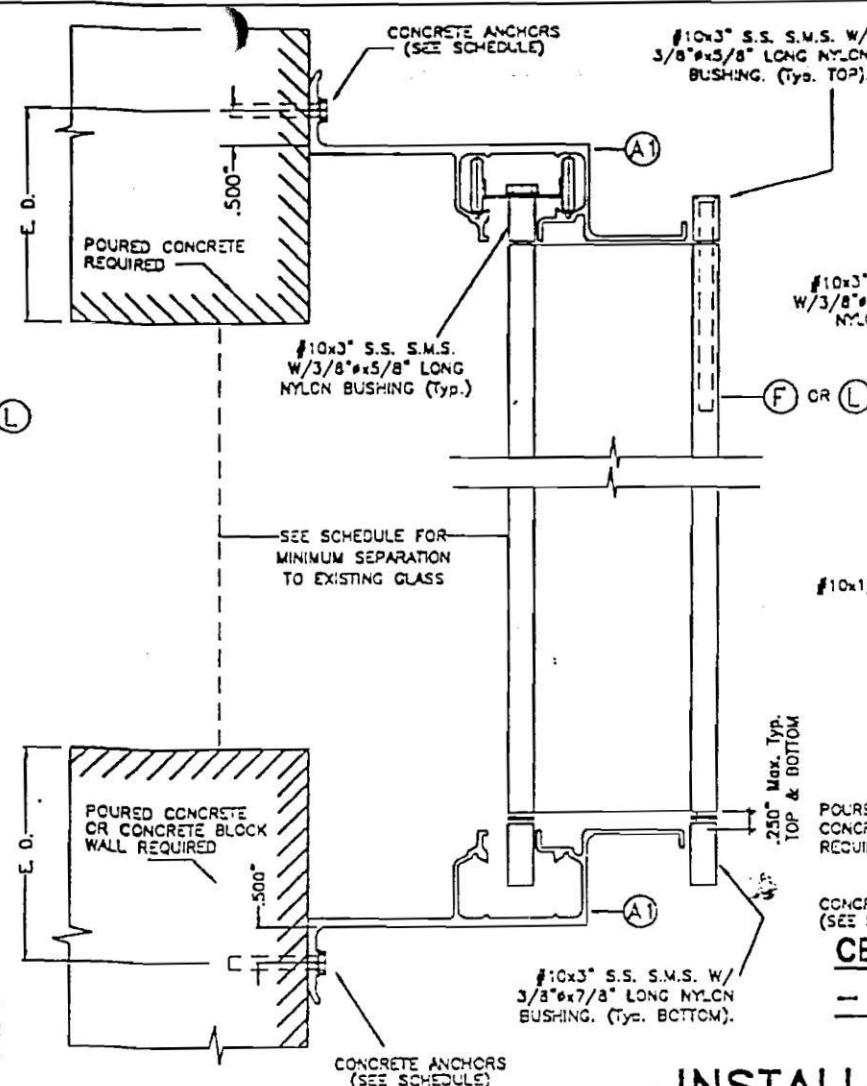
F.B.C. (High Velocity Hurricane Zone)



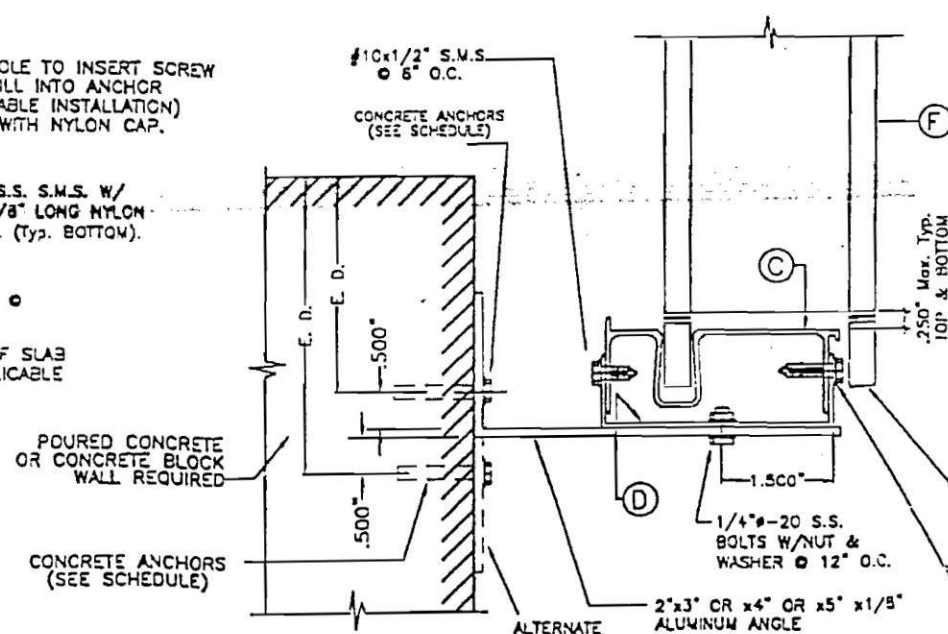
**WALL MOUNTING INSTALLATION**  
- SECTION A SCALE: 3/8" = 1"



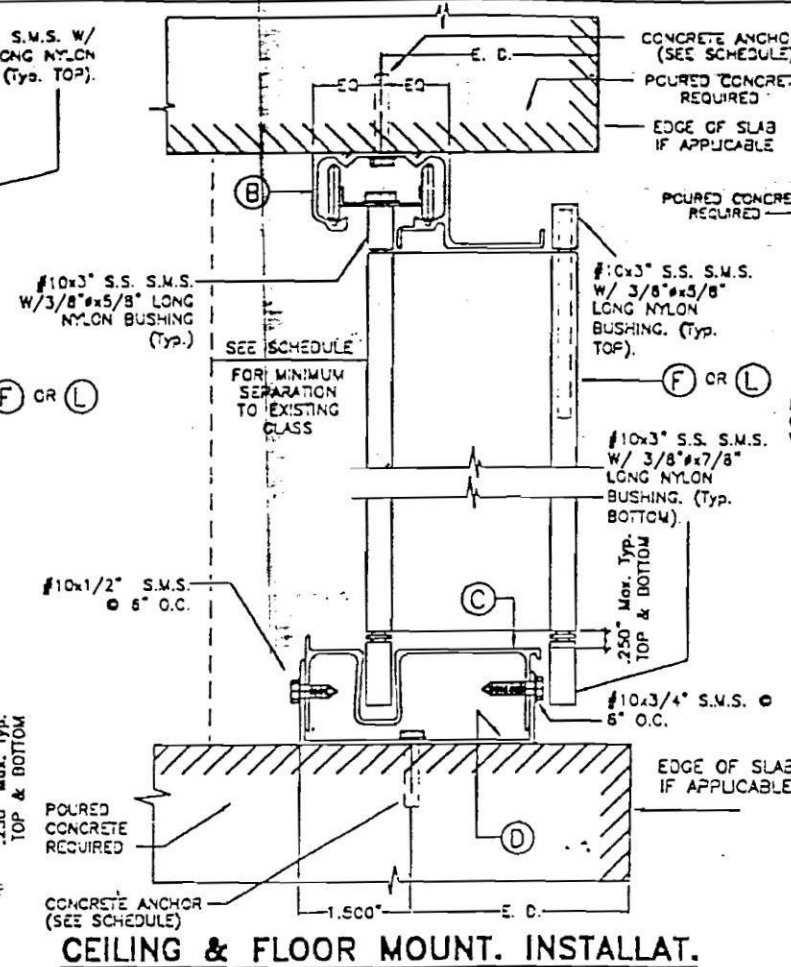
**REMOVABLE FLOOR MOUNTING INSTALLATION**  
- SECTION B1 SCALE: 3/8" = 1"



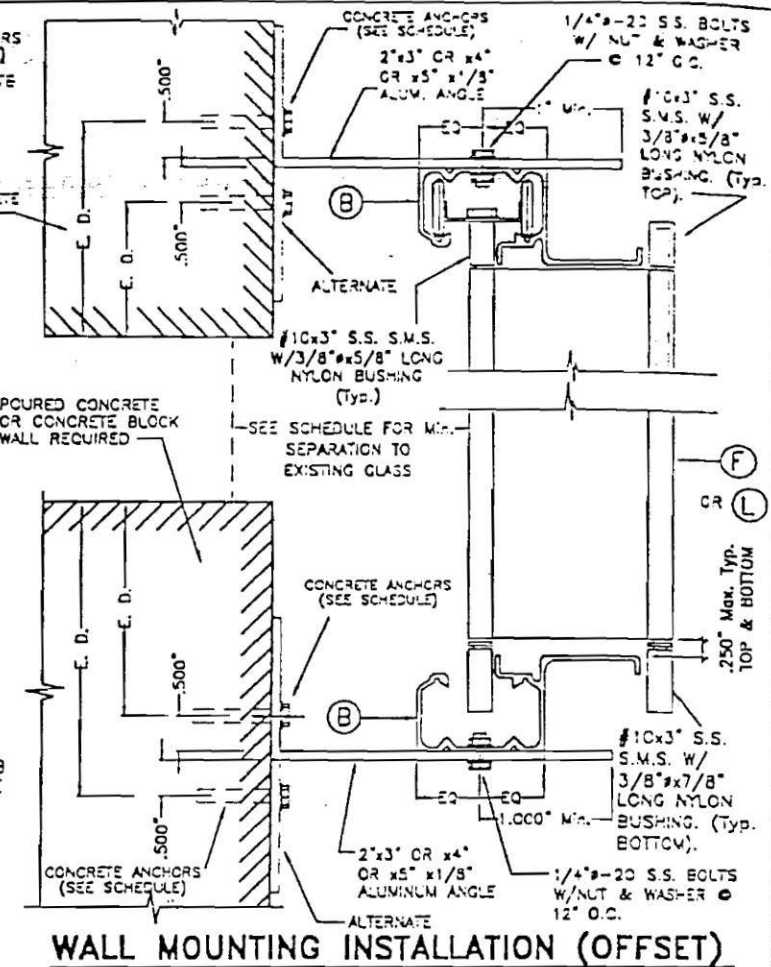
**WALL MOUNTING INSTALLATION**  
- SECTION A1 SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION (OFFSET)**  
- SECTION C1 SCALE: 3/8" = 1"

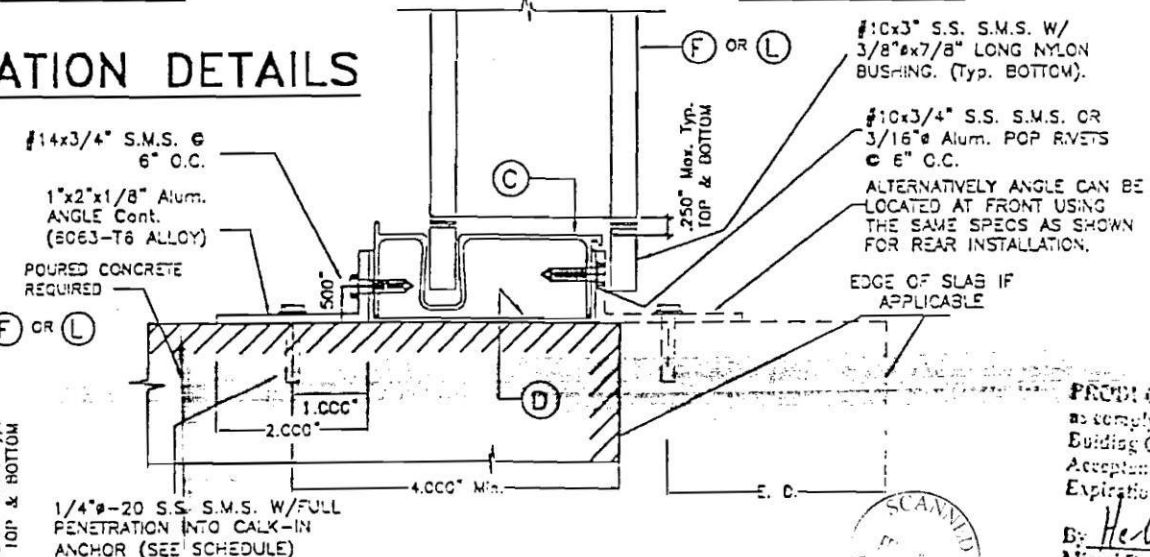


**CEILING & FLOOR MOUNT. INSTALLAT.**  
- SECTION B SCALE: 3/8" = 1"



**WALL MOUNTING INSTALLATION (OFFSET)**  
- SECTION C SCALE: 3/8" = 1

## INSTALLATION DETAILS



**REMOVABLE FLOOR MOUNTING INSTALLATION**  
- SECTION B2 SCALE: 3/8" = 1"

PRODUCT REVISED  
to comply with the Florida  
Building Code  
Acceptance No 05-0817-08  
Expiration Date 05/10/2008  
By: *Helmut A. Heltzer*  
Miami Dade Product Control  
Division

F.B.C. (High Velocity Hurricane Zone)

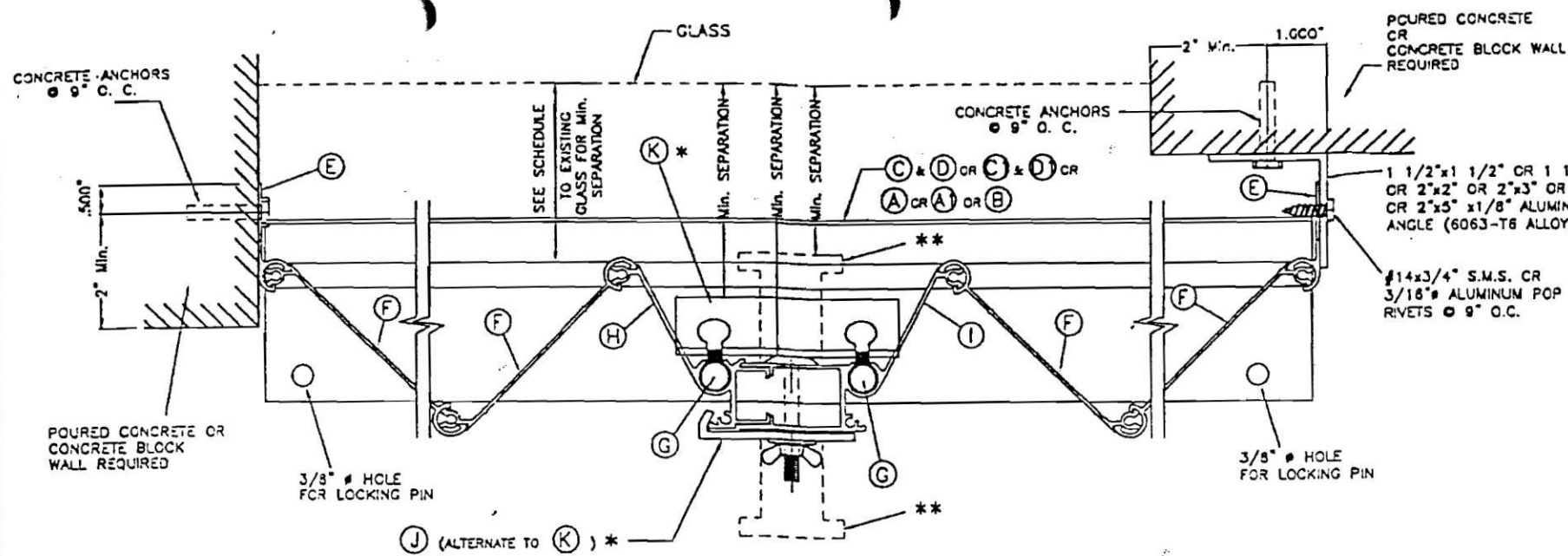
**TILECO Inc.**  
TILLIT TESTING & ENGINEERING COMPANY  
20540 W. 34th St. Suite 303, Miramar, Florida 33181  
Phone: (305) 871-1330 Fax: (305) 871-1331  
E-mail: info@tileco.com  
WALTER A. TILLIT Jr., P. E.  
FLORIDA Lic. # 44167

ASSA/MID-RISE BERTHA ACCORDION SHUTTER					
ALUMINUM WORLD, INC. (ASSA # 167)					
4401 E 10 AVENUE HALEAH, FLORIDA 33013 PH: (305) 825-1355, FAX: (305) 825-1356					
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-087	4/9/05	2		
2			3		
SHEET 2 OF 9					

AUG 11 2005

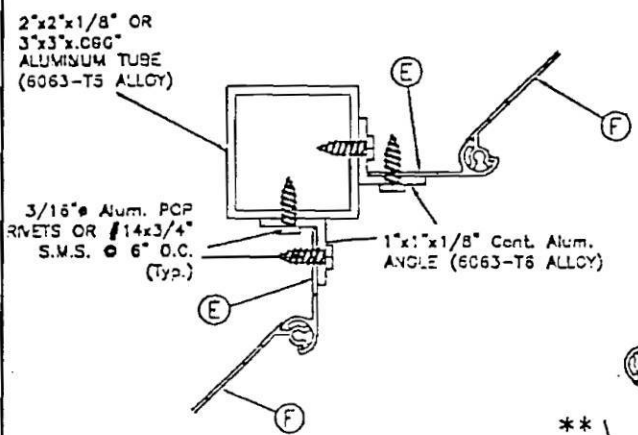
AUG 11 2005





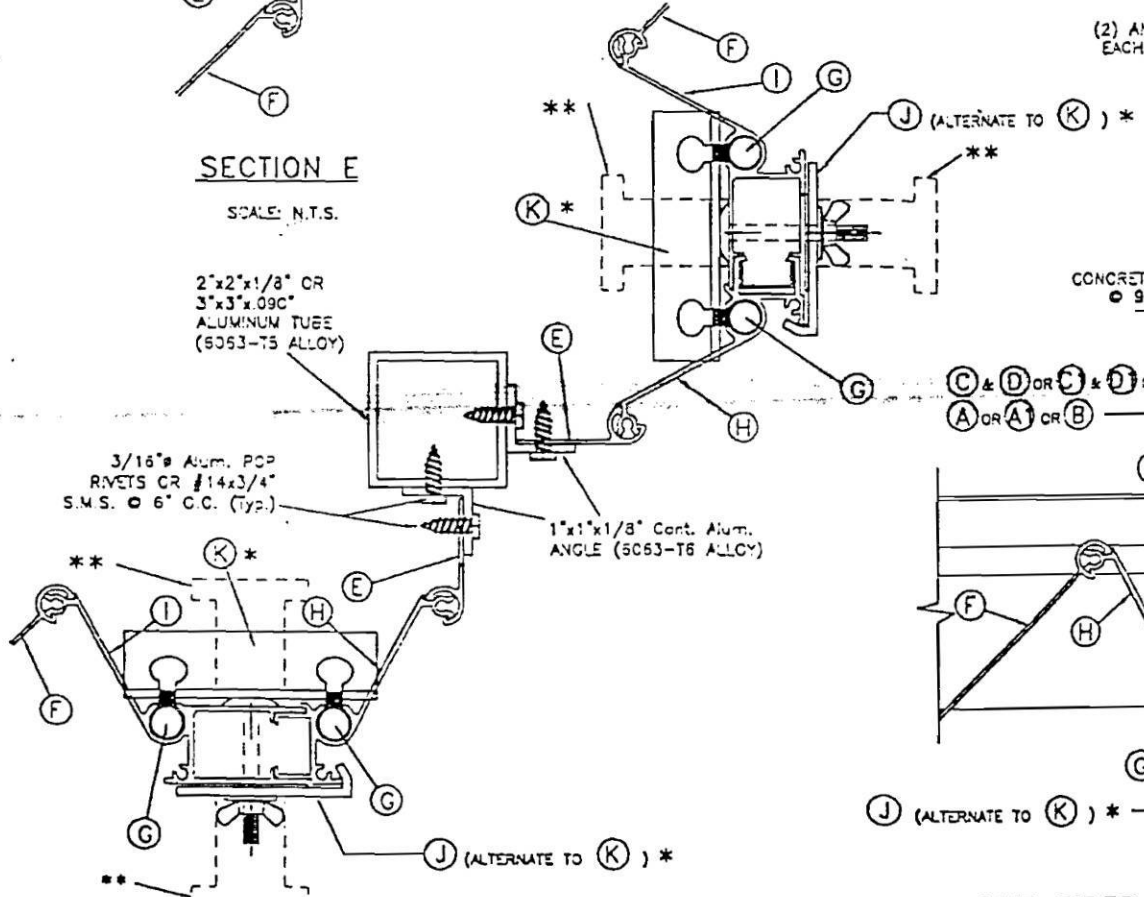
**SECTION D**

NOTE: SEE NOTES ON LOCKS ON THIS SHEET, VALID ALSO FOR SECTION E1 AND ONE SIDED SHUTTER.  
SCALE: N.T.S.



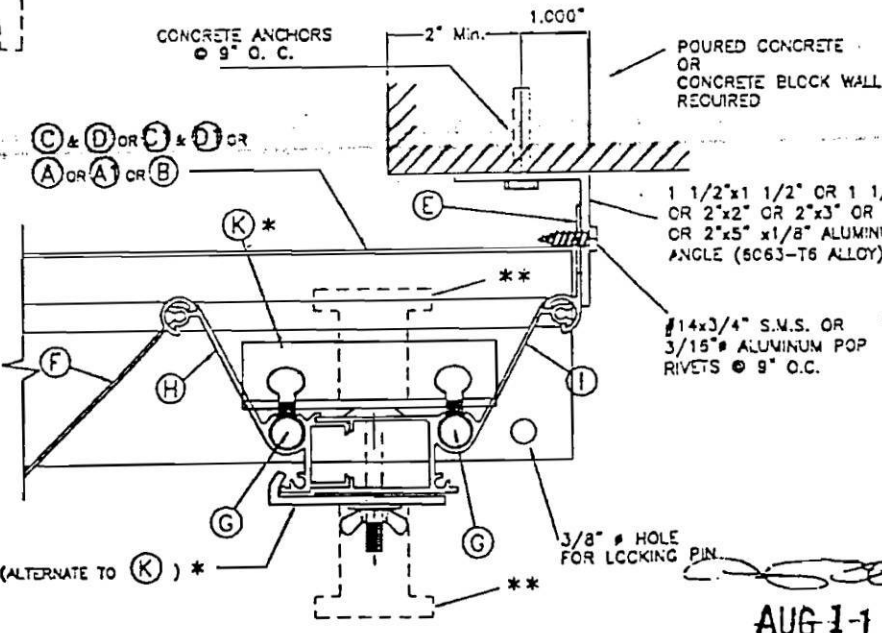
**SECTION E**

SCALE: N.T.S.



**SECTION E1**

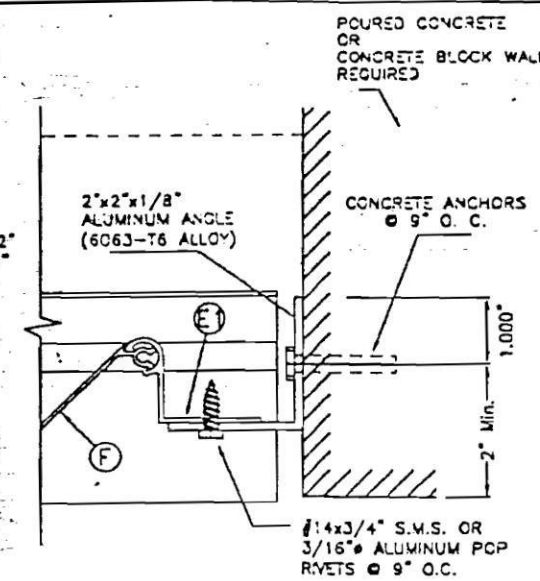
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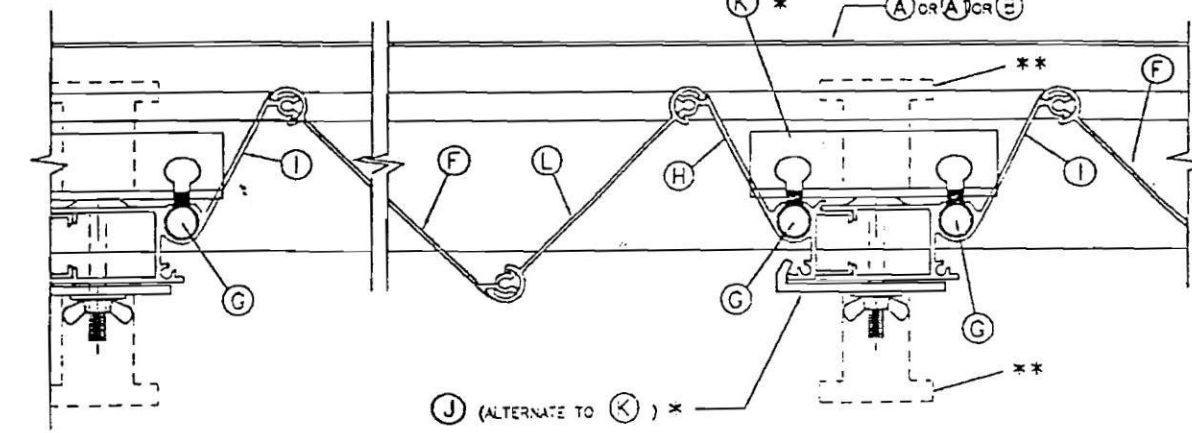
**ONE SIDED SHUTTER: END CONNECTION DETAIL**

SCALE: N.T.S.

**ALTERNATE CLOSURE DETAIL W/ (E1)**

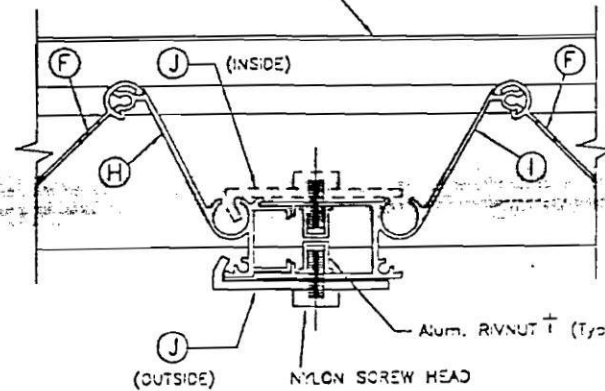


SCALE: 3/4\"/>



**SECTION D1 (MULTIPLE SHUTTERS)**

SCALE: N.T.S.



**ALTERNATE USE OF (J) LOCKER W/ RIVNUT AS INSIDE OR OUTSIDE LOCKER**

SCALE: N.T.S.

F.B.C. (High Velocity Hurricane Zone)

ASSA/MID-RISE BERTHA ACCORDION SHUTTER

ALUMINUM WORLD, INC.  
(ASSA # 167)

4401 E 13 AVENUE  
HIALEAH, FLORIDA 33013  
Ph: (305) 825-1355, FAX: (305) 825-1356

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-087	8/9/05	3	-	-
2	-	-	4	-	-

DRAWN BY:  
J.J.V.  
B/S/OS  
DATE  
05-234  
DRAWING No  
SHEET 4 OF 9

**TILECO INC.**  
TILLIT TESTING & ENGINEERING COMPANY  
6355 N.W. 36th St., Suite 305, VIRGINIA GARDENS, FLORIDA 33189  
Phone: (305) 871-1330, Fax: (305) 871-1331  
E3-0006719  
WALTER A. TILLIT Jr., P. E.  
FLORIDA Lic. # 44187

AUG 1-1 2005

**NOTES ON LOCKS**

- INSIDE LOCKER (C) OR OUTSIDE LOCKER (C1) SHALL ALWAYS BE USED FOR ANY SPAN AT INSTALLATIONS WITHIN THE FIRST 30 FEET OF BUILDING, AND FOR SHUTTER SPANS GREATER THAN 8'-0" FOR INSTALLATIONS ABOVE 30 FEET ELEVATION OF BUILDING MEASURED AT BOTTOM OF SHUTTER.
- INSIDE LOCKER (C) SHALL BE ATTACHED TO (C1) BY MEANS OF 2 THUMB SCREWS ONLY WHEN USING (C) LOCKER.
- OUTSIDE LOCKER (C1) MAY BE USED AS AN INSIDE LOCKER IF ATTACHED TO (C) W/ 1/4"-20x1" LONG S.S. THREADED BOLT W/ 1/4"-20x5/8" INTERNALLY THREADED ALUMINUM RIVNUT. SEE INSTALLATION DETAIL ON THIS SHEET.
- OUTSIDE LOCKER (C1) SHALL BE ATTACHED THRU (C) W/ 1/4"-20 S.S. SIDEWALK BOLT W/ 7/8" WING NUT OR W/ 1/4"-20x1" LONG S.S. THREADED BOLT W/ 1/4"-20x5/8" INTERNALLY THREADED ALUMINUM RIVNUT. SEE INSTALLATION DETAIL ON THIS SHEET.

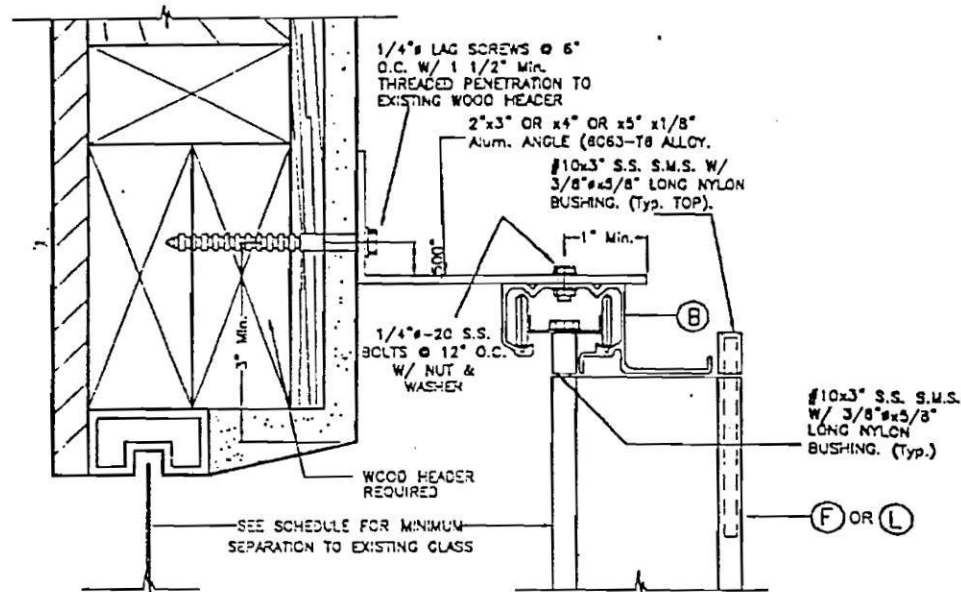
a. FOR INSTALLATIONS WITHIN THE FIRST 30 FEET ELEVATION OF BUILDING MEASURED AT BOTTOM OF SHUTTER AND IN ADDITION TO EITHER (C) OR (C1) USED LOCKERS, A REGULAR T LOCK MAY BE USED FOR SECURITY PURPOSES AT ANY DESIRED LOCATION OF CENTERMATE (INSIDE OR OUTSIDE). WHEN USED INSIDE, MINIMUM SEPARATION TO GLASS SHALL ALSO BE VERIFIED FROM THE TIP OF SUCH T LOCK OR FROM THE OTHER SHUTTER COMPONENTS SHOWN ON SECTION D (WHICHEVER IS MORE CRITICAL).

b. FOR INSTALLATIONS ABOVE 30 FEET ELEVATION OF BUILDING MEASURED AT BOTTOM OF SHUTTER AND SHUTTER SPANS UP TO 8'-0", ONE T LOCK MAY BE USED IN LIEU OF LOCKERS (C) OR (C1) AT MIDSPAN OF CENTERMATE FACING OUTSIDE OR INSIDE. WHEN USED INSIDE, MINIMUM SEPARATION TO GLASS SHALL ALSO BE VERIFIED FROM THE TIP OF SUCH T LOCK OR FROM THE OTHER SHUTTER COMPONENTS SHOWN ON SECTION D (WHICHEVER IS MORE CRITICAL).

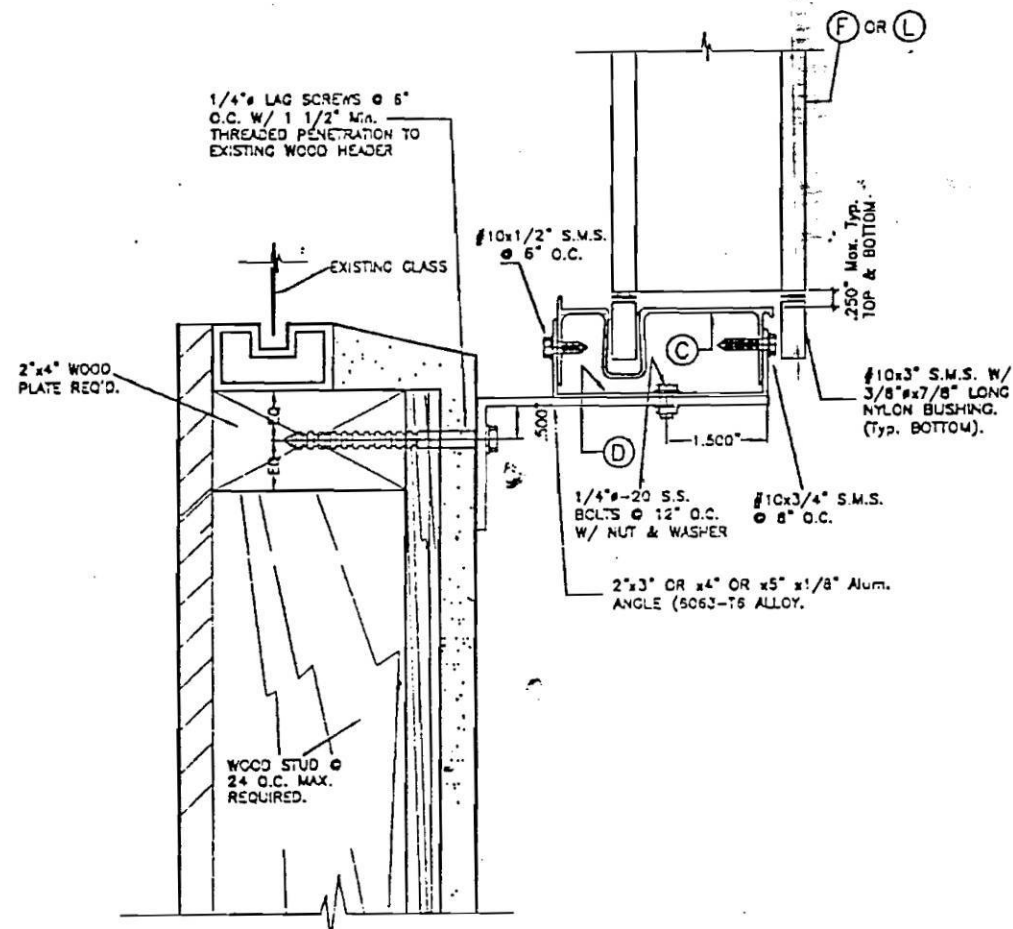
†: SERIES 9444 ALUMINUM (2024-T3 ALLOY) LARGE FLANGE THIN SHEET NUTSERT, PART # 0820, AS MANUFACTURED BY AVELL CHERRY TEXTON, PARSIPPANY, NEW JERSEY 07054 OR EQUAL.

PROJECT REVISED  
Re-complying with the Florida Building Code  
Acceptance No 05-0817-08  
Expiration Date 05/10/2008  
By: *Hedley A. Miller*  
Miami Product Control  
Division

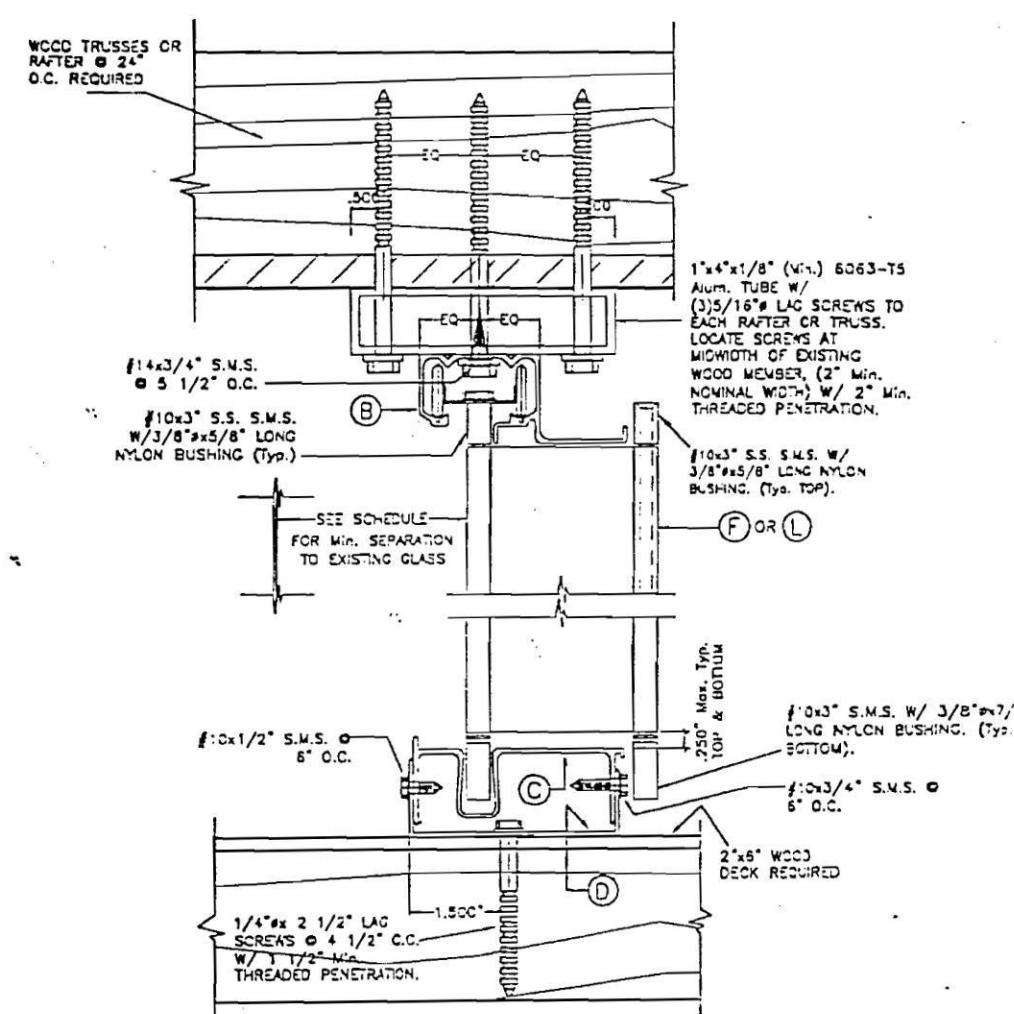
# INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS



ALTERNATIVE 1



ALTERNATIVE 2



CEILING & FLOOR MOUNTING INSTALLATION

SECTION B

SCALE: N.T.S.

- NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR BUILDINGS WITH DESIGN LOAD UP TO 75.3 p.s.f. AND 9'-0" Max. SHUTTER SPAN.
  2. NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 % M. M. C. W/ SPECIFIC DENSITY OF 0.55.
  3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.



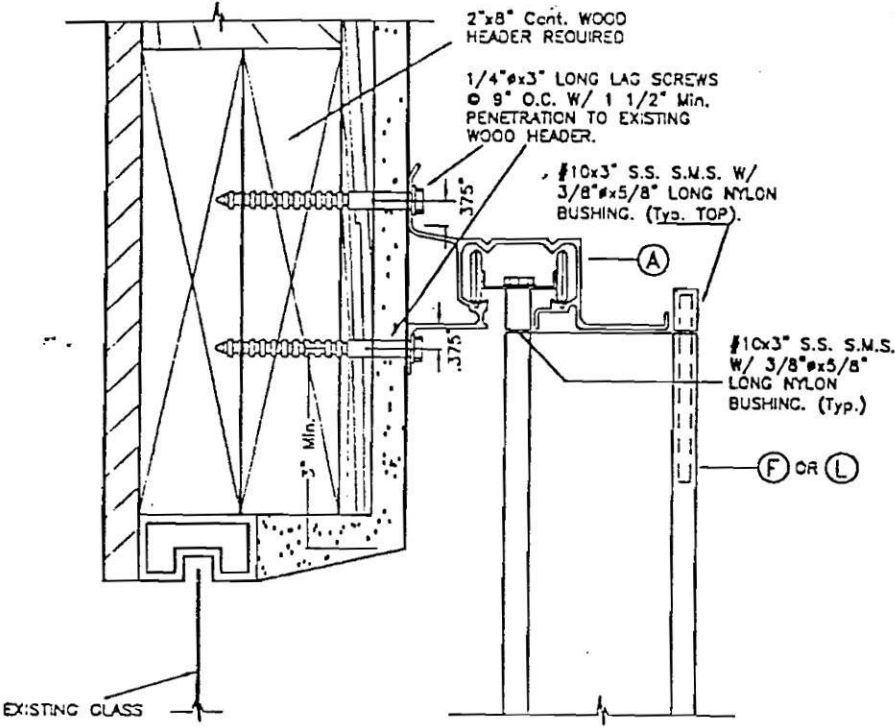
PRODUCT REVISED  
As complying with the Florida  
Building Code  
Acceptance No. 05-0817.08  
Expiration Date 05/10/2008  
By *Halima A. Miller*  
Miami Dade Product Control  
Division

F.B.C. (High Velocity Hurricane Zone)

AUG 11 2005

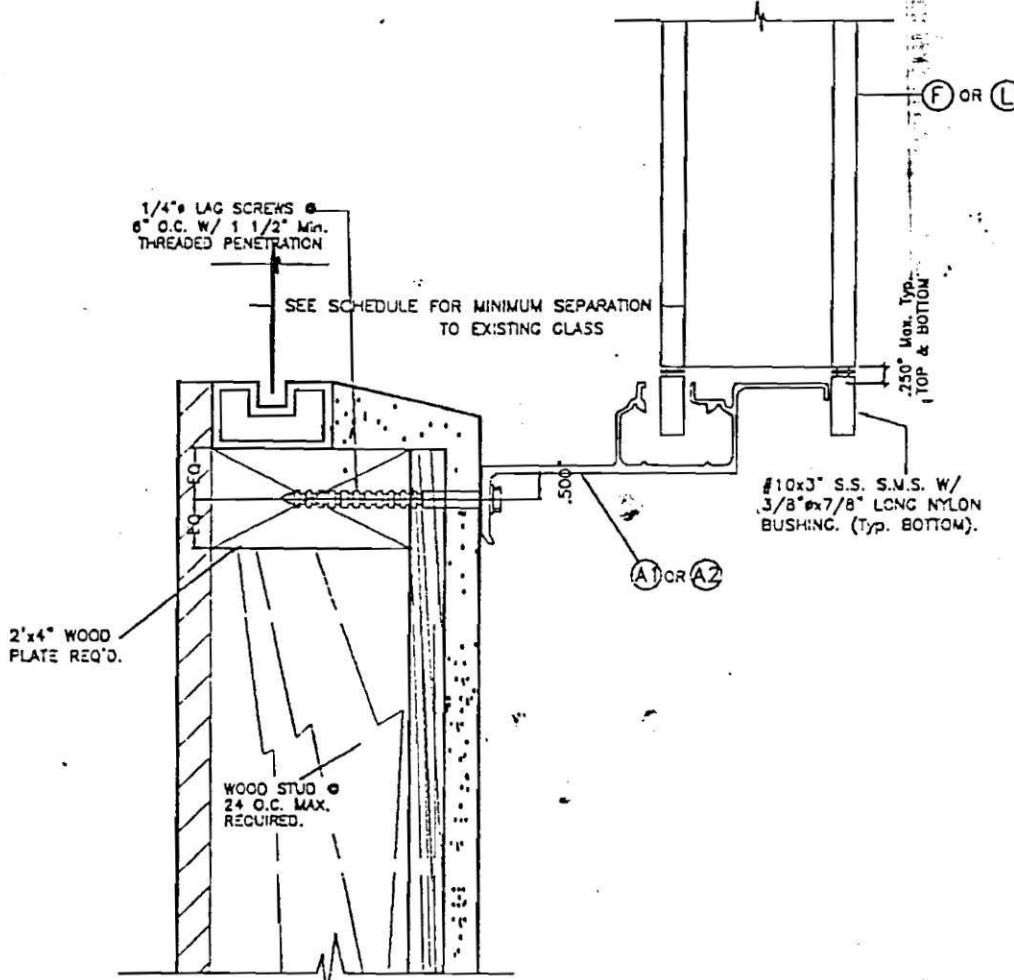
 <b>TILTECO INC.</b> TILLIT TESTING & ENGINEERING COMPANY 3056 N.W. 34th St., Ste. 306, VANDERBILT GARDENS, FLORIDA 33166 Phone: (305) 871-1530, Fax: (305) 871-1531 EB-0006719 WALTER A. TILLIT Jr., P. E. FLORIDA Lic. # 44167		<b>ASSA/MID-RISE BERTHA ACCORDION SHUTTER</b> <b>ALUMINUM WORLD, INC.</b> (ASSA # 157) 4401 E 10 AVENUE MIAMI, FLORIDA 33013 PH: (305) 825-1355, FAX: (305) 825-1356		DRAWN BY: J.J.V. 8/8/05 DATE 05-234 DRAWING NO SHEET 5 OF 9	
REV. NO	DESCRIPTION	DATE	REV. NO	DESCRIPTION	DATE
1	OLD 03-067	8/8/05	3	-	-
2	-	-	4	-	-

INSTALLATION DETAILS ON  
EXISTING WOOD BUILDINGS

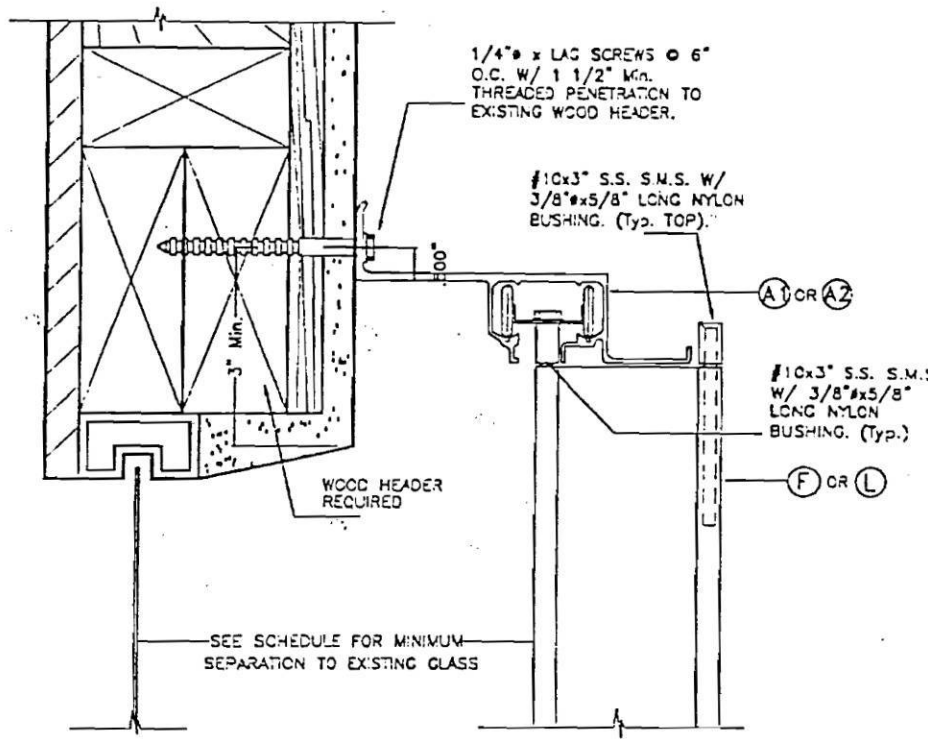


WALL MOUNTING INSTALLATION - SECTION A1

SCALE: N.T.S.



ALTERNATIVE 1



ALTERNATIVE 2

WALL MOUNTING INSTALLATION (OFFSET) - SECTION A2


SCALE: N.T.S.

- NOTES:
1. INSTALLATIONS ARE ONLY VALID FOR BUILDINGS WITH DESIGN LOAD UP TO 75.3 p.s.f. AND 9'-0" Max. SHUTTER SPAN.
  2. NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19 1/2% M. C. W/ SPECIFIC DENSITY OF 0.55.
  3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 05-0817-08  
Expiration Date 05/10/2008  
By: *H. J. V.*  
Miami: Dade Product Control  
Division

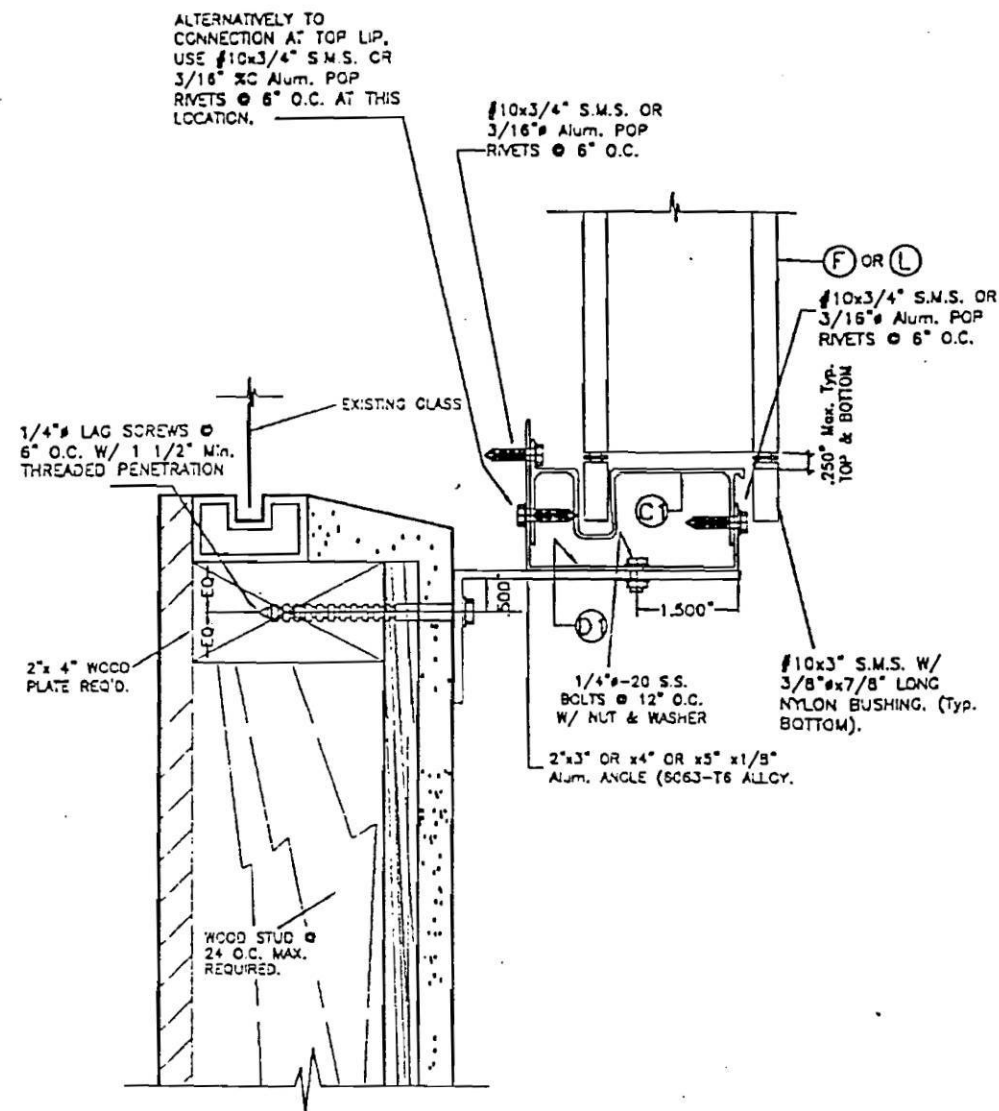


F.B.C. (High Velocity Hurricane Zone)

<div><p><b>TILTECO</b> INC.</p><p>TILLIT TESTING &amp; ENGINEERING COMPANY 2355 W. 34th St., Box 306, MIRAMAR GARDENS, FLORIDA 33166 Phone: (305)871-1130 Fax: (305)871-1131 EB-0006719 WALTER A. TILLIT Jr., P. E. FLORIDA Lic. # 44167</p></div>	ASSA/MID-RISE BERTHA ACCORDION SHUTTER						DRAWN BY: J.J.V.																			
	ALUMINUM WORLD, INC. (ASSA # 157) 4401 E 10 AVENUE HIALEAH, FLORIDA 33013 PH:(305)825-1355, FAX:(305)825-1356						8/8/05 DATE																			
	<table><tr><td>REV. NO</td><td>DESCRIPTION</td><td>DATE</td><td>REV. NO</td><td>DESCRIPTION</td><td>DATE</td></tr><tr><td>1</td><td>OLD 03-087</td><td>8/8/05</td><td>2</td><td>-</td><td>-</td></tr><tr><td>1</td><td>-</td><td>-</td><td>1</td><td>-</td><td>-</td></tr></table>						REV. NO	DESCRIPTION	DATE	REV. NO	DESCRIPTION	DATE	1	OLD 03-087	8/8/05	2	-	-	1	-	-	1	-	-	05-234 DRAWING No	
							REV. NO	DESCRIPTION	DATE	REV. NO	DESCRIPTION	DATE														
1	OLD 03-087	8/8/05	2	-	-																					
1	-	-	1	-	-																					
						SHEET 6 OF 9																				

AUG 11 2005

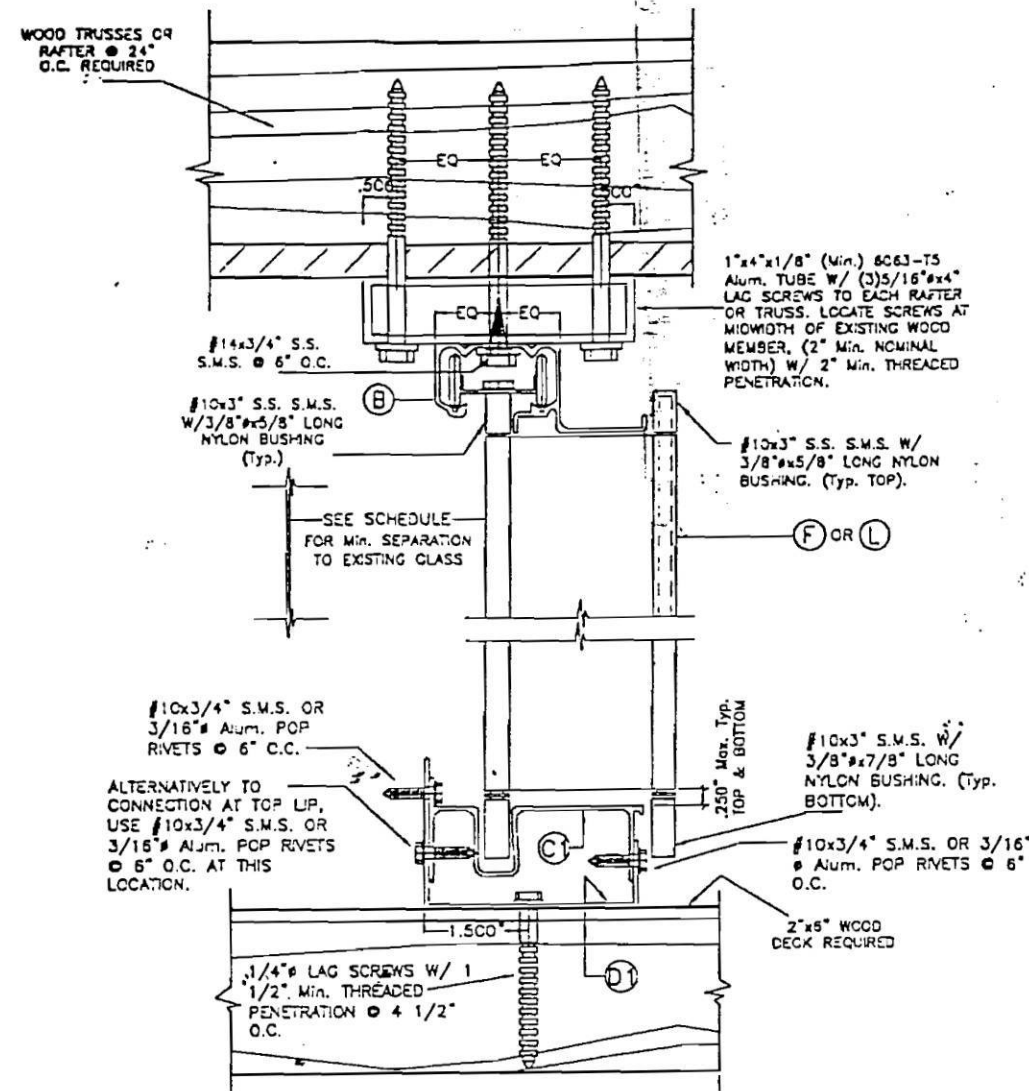




ALTERNATIVE 1

WALL MOUNTING INSTALLATION (OFFSET) - SECTION A'

SCALE: N.T.S.



CEILING & FLOOR MOUNTING INSTALLATION

- SECTION B'

SCALE: N.T.S.

INSTALLATION DETAILS ON EXISTING WOOD BUILDINGS

NOTES:

1. INSTALLATIONS ARE ONLY VALID FOR BUILDINGS WITH DESIGN LOAD UP TO 75.3 p.s.f. AND 9'-0" Max. SHUTTER SPAN.
2. NEW 2" x 6" P. T. TO BE SOUTHERN PINE No. 2, SURFACED DRY WITH 19% M. M. C. W/ SPECIFIC DENSITY OF 0.55.
3. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC DENSITY OF 0.55 OR EQUAL.

PRODUCT REVISED  
as complying with the Florida  
Building Code  
Acceptance No 05-0817-08  
Expiration Date 05/10/2008  
By *Helmut A. Blaker*  
Miami Design Product Control  
Division



F.B.C. (High Velocity Hurricane Zone)

**TILECO Inc.**

TILLIT TESTING & ENGINEERING COMPANY  
8255 W. 30th St., Ste. 303, VIRGINIA GARDENS, FLORIDA 33168  
Phone: (305) 871-1330, Fax: (305) 871-1331  
EB-0008719  
WALTER A. TILLIT Jr., P. E.  
FLORIDA Lic. # 44167

ASSA/MID-RISE BERTHA ACCORDION SHUTTER						DRAWN BY:
ALUMINUM WORLD, INC.						J.J.V.
(ASSA # 187)						8/8/05
4401 E 10 AVENUE						DATE
HALEAH, FLORIDA 33013						05-234
PH: (305) 825-1355, FAX: (305) 825-1355						DRAWING No
REV. NO	DESCRIPTION	DATE	REV. No	DESCRIPTION	DATE	
1	OLD 03-087	8/8/05	3			
						SHEET 7 OF 9

AUG 11 2005

# MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM SPAN SCHEDULE.

(VALID FOR SECTIONS A, A1, B, B1, B2, C & C1 ON SHEET 2 OF 9).

NOTE: DESIGN PRESSURE RATING CORRESPONDS ONLY TO NEGATIVE PRESSURE (SUCTION) LOADS, IN ACCORDANCE WITH ASCE 7-98 CRITERIA FOR A GIVEN OPENING. IF NEGATIVE PRESSURE VALUES COMPLY WITH THE REQUIRED PRESSURE FOR THE OPENING, THE POSITIVE PRESSURE WILL AUTOMATICALLY QUALIFY AND NEED NOT TO BE CHECKED.

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	*	**	*	**
45.1	12'-0"	13'-0"	4"	2 1/2"
47.8	12'-0"	12'-8"	4"	2 1/2"
49.0	12'-0"	12'-6"	4"	2 1/2"
50.5	12'-0"	12'-4"	4"	2 1/2"
52.0	12'-0"	12'-2"	4"	2 1/2"
52.4	12'-0"	12'-1"	4"	2 1/2"
55.0	11'-10"	11'-10"	4"	2 1/4"
55.2	11'-10"	11'-10"	4"	2 1/4"
55.6	11'-4"	11'-9"	4"	2 1/4"
57.2	11'-4"	11'-7"	4"	2 1/4"
58.6	11'-4"	11'-5"	4"	2 1/4"
58.8	11'-4"	11'-5"	4"	2 1/4"
59.5	11'-4"	11'-4"	4"	2 1/4"
59.7	11'-4"	11'-4"	4"	2 1/8"
61.5	11'-2"	11'-2"	4"	2 1/8"
61.8	11'-1"	11'-1"	4"	2 1/8"
61.9	11'-1"	11'-1"	4"	2 1/8"
63.4	11'-0"	11'-0"	4"	2 1/8"
63.6	11'-0"	11'-0"	4"	2 1/8"
63.7	11'-0"	11'-0"	4"	2 1/8"
66.9	10'-8"	10'-8"	4"	2"
67.0	10'-8"	10'-8"	4"	2"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	*	**	*	**
67.5	10'-8"	10'-8"	4"	2"
70.1	10'-5"	10'-6"	4"	2"
71.1	10'-5"	10'-5"	4"	2"
71.4	10'-4"	10'-4"	4"	2"
71.5	10'-4"	10'-4"	4"	2"
72.9	10'-3"	10'-3"	4"	2"
75.1	10'-1"	10'-1"	4"	2"
75.2	10'-1"	10'-1"	4"	2"
75.3	10'-1"	10'-1"	4"	2"
77.0	10'-0"	10'-0"	3 1/2"	2"
77.5	9'-11"	9'-11"	3 1/2"	2"
78.8	9'-10"	9'-10"	3 1/2"	2"
80.7	9'-9"	9'-9"	3 1/2"	2"
81.5	9'-8"	9'-8"	3 1/2"	2"
82.5	9'-8"	9'-8"	3 1/2"	2"
83.4	9'-7"	9'-7"	3 1/2"	2"
86.2	9'-5"	9'-5"	3 1/2"	2"
86.7	9'-5"	9'-5"	3 1/2"	2"
85.8	9'-5"	9'-5"	3 1/2"	2"
88.5	9'-4"	9'-4"	3 1/2"	2"
90.3	9'-3"	9'-3"	3 1/2"	2"
90.9	9'-2"	9'-2"	3 1/2"	2"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	*	**	*	**
91.4	9'-2"	9'-2"	3 1/2"	2"
92.7	9'-1"	9'-1"	3 1/2"	2"
93.8	9'-0"	9'-0"	2 7/8"	2"
94.8	9'-0"	9'-0"	2 7/8"	2"
95.6	8'-11"	8'-11"	2 7/8"	2"
95.8	8'-11"	8'-11"	2 7/8"	2"
97.7	8'-10"	8'-10"	2 7/8"	2"
100.5	8'-9"	8'-9"	2 7/8"	2"
101.5	8'-8"	8'-8"	2 7/8"	2"
103.7	8'-7"	8'-7"	2 7/8"	2"
106.5	8'-6"	8'-6"	2 7/8"	2"
108.8	8'-5"	8'-5"	2 7/8"	2"
110.6	8'-4"	8'-4"	2 7/8"	2"
111.0	8'-4"	8'-4"	2 7/8"	2"
114.1	8'-2"	8'-2"	2 7/8"	2"
116.5	8'-2"	8'-2"	2 7/8"	2"
116.9	8'-1"	8'-1"	2 7/8"	2"
117.6	8'-1"	8'-1"	2 7/8"	2"
119.7	8'-0"	8'-0"	2 7/8"	2"
120.0	8'-0"	8'-0"	2 7/8"	2"
121.2	7'-10"	7'-10"	2 7/8"	2"
122.5	7'-9"	7'-9"	2 7/8"	2"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	*	**	*	**
125.3	7'-7"	7'-7"	2 7/8"	2"
125.8	7'-6"	7'-6"	2 7/8"	2"
125.7	7'-6"	7'-6"	2 7/8"	2"
129.6	7'-4"	7'-4"	2 7/8"	2"
130.9	7'-3"	7'-3"	2 7/8"	2"
131.6	7'-2"	7'-2"	2 7/8"	2"
134.3	7'-1"	7'-1"	2 7/8"	2"
136.2	6'-11"	6'-11"	2 7/8"	2"
137.9	6'-10"	6'-10"	2 7/8"	2"
140.7	6'-9"	6'-9"	2 7/8"	2"
142.8	6'-7"	6'-7"	2 7/8"	2"
143.5	6'-7"	6'-7"	2 7/8"	2"
147.0	6'-5"	6'-5"	2 7/8"	2"
148.4	6'-4"	6'-4"	2 7/8"	2"
152.6	6'-2"	6'-2"	2 7/8"	2"
153.1	6'-2"	6'-2"	2 7/8"	2"
156.8	6'-0"	6'-0"	2 7/8"	2"
157.5	6'-0"	6'-0"	2 7/8"	2"
157.8	6'-0"	6'-0"	2 7/8"	2"
160.8	5'-11"	5'-11"	2 7/8"	2"
161.7	5'-10"	5'-10"	2 7/8"	2"
164.4	5'-9"	5'-9"	2 7/8"	2"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	*	**	*	**
165.2	5'-9"	5'-9"	2 7/8"	2"
168.1	5'-8"	5'-8"	2 7/8"	2"
168.7	5'-7"	5'-7"	2 7/8"	2"
170.0	5'-7"	5'-7"	2 7/8"	2"
175.6	5'-5"	5'-5"	2 7/8"	2"
176.8	5'-4"	5'-4"	2 7/8"	2"
180.3	5'-3"	5'-3"	2 7/8"	2"
183.0	5'-0"	5'-0"	2 7/8"	2"
195.2	4'-10"	4'-10"	2 7/8"	2"
197.2	4'-10"	4'-10"	2 7/8"	2"
199.1	4'-9"	4'-9"	2 7/8"	2"
204.7	4'-7"	4'-7"	2 7/8"	2"
211.3	4'-6"	4'-6"	2 7/8"	2"
216.9	4'-4"	4'-4"	2 7/8"	2"
221.6	4'-3"	4'-3"	2 7/8"	2"
226.3	4'-2"	4'-2"	2 7/8"	2"

## MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE. + (VALID FOR SECTIONS A, A1, B, B1, B2, C & C1 ON SHEET 2 OF 9).

MAXIMUM DESIGN LOAD "W" (p.s.f.)	WALL MOUNTING INSTALLATION AT TOP OR BOTTOM (TO CONCRETE)			WALL MOUNTING INSTALLATION AT TOP OR BOTTOM (TO MASONRY)			FLOOR/CEILING MOUNTING INSTALLATION TOP OR BOTTOM (TO CONCRETE)		
	NOTE 1	NOTE 2	NOTE 3	NOTE 1	NOTE 2	NOTE 3	NOTE 1	NOTE 2	NOTE 3
FROM 45.1 TO 61.8	9"	9"	9"	9"	9"	3 1/2"	9"	8 1/2"	6"
FROM 61.9 TO 75.3	9"	9"	6 1/2"	9"	5 1/2"	-	9"	7"	5 1/2"
FROM 75.4 TO 91.4	9"	9"	4"	9"	7"	3"	9"	5"	4"
FROM 91.5 TO 120.0	9"	3 1/2"	3 1/2"	6"	-	-	7 1/2"	4 1/2"	4 1/2"
FROM 120.1 TO 166.1	5 1/2"	3 1/2"	-	-	-	-	5 1/2"	4 1/2"	-
FROM 166.2 TO 225.3	3 1/2"	4 1/2"	-	-	-	-	4 1/2"	4 1/2"	-

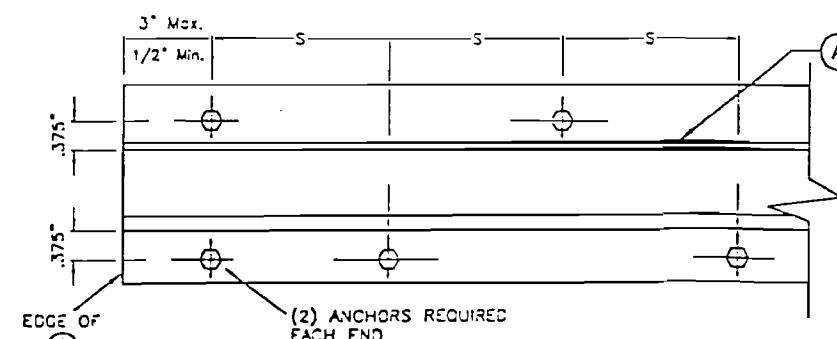
### ANCHOR SPACING LEGEND

- (1) Max. ANCHOR SPCG. VALID FOR SPANS OF 5'-0" OR LESS.
- (2) Max. ANCHOR SPCG. VALID FOR SPANS GREATER THAN 5'-0" TO 8'-6".
- (3) Max. ANCHOR SPCG. VALID FOR SPANS GREATER THAN 8'-6" TO Max. ALLOWED.

+USE TAPCON ANCHORS, ZAVAC NAILIN & CALK-INS FOR INSTALLATIONS W/ DESIGN LOADS UP TO 75.3 p.s.f.  
USE ONLY TAPCON ANCHORS & CALK-INS FOR INSTALLATIONS W/ DESIGN LOADS GREATER THAN 75.3 p.s.f.  
MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3" EDGE DISTANCE. FOR E. D. LESS THAN 3", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: Min. E. D. FOR CALK-IN ANCHORS IS 2 1/2"). THIS OPERATION SHALL ONLY BE PERFORMED WHEN REQUIRED SPACING RESULTS INTO A MINIMUM OF 3" O.C.

ACTUAL E. D. =	FACTOR	TAPCON OR CALK-IN	TAPCON OR CALK-IN
EDGE DISTANCE		ZAVAC NAILIN	
2 1/2"	.75		
2"	.50		

### ANCHOR LEGENDS



S = ANCHOR SPACING GIVEN ON SCHEDULE  
STAGGERED ANCHORS

ANCHORS USED W/TRACK "A" (TOP & BOTTOM) SHALL BE INSTALLED STAGGERED AT Max. SPACINGS INDICATED ON SCHEDULES.

TABLE 1:

MINIMUM SEPARATION BETWEEN GLASS AND SHUTTER FOR A GIVEN SHUTTER SPAN, FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ABOVE GRADE OF A GIVEN BUILDING. 30'-0" ELEVATION SHALL BE MEASURED AT BOTTOM OF SHUTTER. SEPARATION TO BE MEASURED AS INDICATED ON SECTION D, SHEET 4 OF 9.

SHUTTER SPAN (ft.)	MINIMUM SEPARATION (in.)
LESS OR EQUAL THAN 9'-0"	2 7/8"
> 9'-0" TO 10'-0"	3 1/2"
> 10'-0" TO 12'-0"	4"

- FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ELEVATION OF BUILDING. SEE TABLE 1 FOR MINIMUM SEPARATION TO GLASS FOR SPANS SHORTER THAN THE MAXIMUM ALLOWED SHOWN ON SCHEDULE.
- FOR SHUTTERS INSTALLED ABOVE 30'-0" ELEVATION OF BUILDING, MEASURED AT BOTTOM OF SHUTTER.

F.B.C. (High Velocity Hurricane Zone)

<b>TILTECO INC.</b> <small>TILLIT TESTING &amp; ENGINEERING COMPANY          5155 N.W. 38th St., Suite 303, Virginia Gardens, Florida 33166          Phone: (305) 471-1530 Fax: (305) 471-1531          EB-0006719          WALTER A. TILLIT Jr., P. E.          FLORIDA Lic. # 44167</small>		<b>ASSA/MID-RISE BERTHA ACCORDION SHUTTER</b> <b>ALUMINUM WORLD, INC.</b> <small>(ASSA # 167)          4401 E 10 AVENUE          HIALEAH, FLORIDA 33013          PH:(305) 825-1355, FAX:(305) 825-1356</small>		DRAWN BY: J.J.V. 8/8/05 DATE 05-234 DRAWING NO SHEET 8 OF 9	
REV. NO	DESCRIPTION	DATE	REV. NO	DESCRIPTION	DATE
1	OLD 03-067	8/8/05	3	-	-
2	-	-	4	-	-

AUG 11 2005  
 PRODUCT REVISED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 05-0817.08  
 Expiration Date 05/10/2008  
 By Helmy A. Makhadmeh  
 Miami Data Product Control  
 Division



# MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM SPAN SCHEDULE.

(VALID FOR SECTIONS B', B1', B2' & C1' ON SHEET 3 OF 9).

NOTE: DESIGN PRESSURE RATING CORRESPONDS ONLY TO NEGATIVE PRESSURE (SUCTION) LOADS. IN ACCORDANCE WITH ASCE 7-93 CRITERIA FOR A GIVEN OPENING. IF NEGATIVE PRESSURE VALUES COMPLY WITH THE REQUIRED PRESSURE FOR THE OPENING, THE POSITIVE PRESSURE WILL AUTOMATICALLY QUALIFY AND NEED NOT TO BE CHECKED.

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	.	..	.	..
45.1	12'-0"	13'-3"	4"	3"
47.8	12'-0"	13'-1"	4"	3"
49.0	12'-0"	13'-0"	4"	3"
50.5	12'-0"	12'-11"	4"	3"
52.0	12'-0"	12'-10"	4"	3"
52.4	12'-0"	12'-10"	4"	3"
55.0	12'-0"	12'-7"	4"	3"
55.2	12'-0"	12'-7"	4"	3"
55.8	12'-0"	12'-6"	4"	3"
57.2	12'-0"	12'-4"	4"	2 7/8"
58.6	12'-0"	12'-2"	4"	2 7/8"
58.8	12'-0"	12'-2"	4"	2 7/8"
59.5	12'-0"	12'-1"	4"	2 7/8"
59.7	12'-0"	12'-1"	4"	2 7/8"
61.5	11'-11"	11'-11"	4"	2 3/4"
61.8	11'-10"	11'-10"	4"	2 3/4"
61.9	11'-10"	11'-10"	4"	2 3/4"
63.4	11'-9"	11'-9"	4"	2 3/4"
63.6	11'-8"	11'-8"	4"	2 3/4"
63.7	11'-8"	11'-8"	4"	2 3/4"
66.9	11'-5"	11'-5"	4"	2 3/4"
67.0	11'-5"	11'-5"	4"	2 3/4"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	.	..	.	..
67.5	11'-4"	11'-4"	4"	2 1/2"
70.1	11'-2"	11'-2"	4"	2 1/2"
71.1	11'-1"	11'-1"	4"	2 1/2"
71.4	11'-0"	11'-0"	4"	2 1/2"
71.5	11'-0"	11'-0"	4"	2 1/2"
72.9	10'-11"	10'-11"	4"	2 1/2"
75.1	10'-9"	10'-9"	4"	2 1/2"
75.2	10'-9"	10'-9"	4"	2 1/2"
75.3	10'-9"	10'-9"	4"	2 1/2"
77.0	10'-8"	10'-8"	4"	2 1/2"
77.5	10'-7"	10'-7"	4"	2 3/8"
78.8	10'-6"	10'-6"	4"	2 3/8"
80.7	10'-5"	10'-5"	4"	2 3/8"
81.5	10'-4"	10'-4"	4"	2 3/8"
82.5	10'-3"	10'-3"	4"	2 3/8"
83.4	10'-3"	10'-3"	4"	2 3/8"
86.2	10'-0"	10'-0"	3 1/2"	2 3/8"
88.7	10'-0"	10'-0"	3 1/2"	2 3/8"
88.8	10'-0"	10'-0"	3 1/2"	2 3/8"
88.5	9'-11"	9'-11"	3 1/2"	2 1/4"
90.3	9'-10"	9'-10"	3 1/2"	2 1/4"
90.8	9'-10"	9'-10"	3 1/2"	2 1/4"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	.	..	.	..
91.4	9'-9"	9'-9"	3 1/2"	2 1/4"
92.7	9'-8"	9'-8"	3 1/2"	2 1/4"
93.8	9'-8"	9'-8"	3 1/2"	2 1/4"
94.8	9'-7"	9'-7"	3 1/2"	2 1/4"
95.6	9'-6"	9'-6"	3 1/2"	2 1/4"
95.8	9'-6"	9'-6"	3 1/2"	2 1/8"
97.7	9'-5"	9'-5"	3 1/2"	2 1/8"
100.5	9'-4"	9'-4"	3 1/2"	2 1/8"
101.5	9'-3"	9'-3"	3 1/2"	2 1/8"
103.7	9'-2"	9'-2"	3 1/2"	2 1/8"
106.5	9'-0"	9'-0"	2 1/2"	2 1/8"
108.8	8'-11"	8'-11"	2 1/2"	2 1/8"
110.8	8'-11"	8'-11"	2 1/2"	2 1/8"
111.0	8'-10"	8'-10"	2 1/2"	2"
114.1	8'-9"	8'-9"	2 1/2"	2"
116.5	8'-7"	8'-7"	2 1/2"	2"
116.9	8'-6"	8'-6"	2 1/2"	2"
117.6	8'-6"	8'-6"	2 1/2"	2"
119.7	8'-4"	8'-4"	2 1/2"	2"
120.0	8'-4"	8'-4"	2 1/2"	2"
121.2	8'-3"	8'-3"	2 1/2"	2"
122.5	8'-2"	8'-2"	2 1/2"	2"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	.	..	.	..
125.3	8'-0"	8'-0"	2 1/2"	2"
125.8	7'-11"	7'-11"	2 1/2"	2"
125.7	7'-11"	7'-11"	2 1/2"	2"
129.6	7'-8"	7'-8"	2 1/2"	2"
130.9	7'-8"	7'-8"	2 1/2"	2"
131.6	7'-7"	7'-7"	2 1/2"	2"
134.3	7'-5"	7'-5"	2 1/2"	2"
136.2	7'-4"	7'-4"	2 1/2"	2"
137.9	7'-3"	7'-3"	2 1/2"	2"
140.7	7'-1"	7'-1"	2 1/2"	2"
142.8	7'-0"	7'-0"	2 1/2"	2"
143.5	6'-11"	6'-11"	2 1/2"	2"
147.0	6'-10"	6'-10"	2 1/2"	2"
148.4	6'-9"	6'-9"	2 1/2"	2"
152.6	6'-6"	6'-6"	2 1/2"	2"
153.1	6'-5"	6'-5"	2 1/2"	2"
155.8	6'-4"	6'-4"	2 1/2"	2"
157.5	6'-4"	6'-4"	2 1/2"	2"
157.8	6'-4"	6'-4"	2 1/2"	2"
160.6	6'-2"	6'-2"	2 1/2"	2"
161.7	6'-2"	6'-2"	2 1/2"	2"
164.4	6'-1"	6'-1"	2 1/2"	2"

MAXIMUM DESIGN LOAD "W" (p.s.f.)	MAXIMUM PANEL SPAN (ft.)		MINIMUM SEPARATION TO GLASS (in.)	
	.	..	.	..
165.2	6'-0"	6'-0"	2 1/2"	2"
168.1	5'-11"	5'-11"	2 1/2"	2"
169.7	5'-11"	5'-11"	2 1/2"	2"
170.0	5'-10"	5'-10"	2 1/2"	2"
175.6	5'-8"	5'-8"	2 1/2"	2"
176.6	5'-8"	5'-8"	2 1/2"	2"
180.3	5'-6"	5'-6"	2 1/2"	2"
188.0	5'-4"	5'-4"	2 1/2"	2"
195.2	5'-1"	5'-1"	2 1/2"	2"
197.2	5'-1"	5'-1"	2 1/2"	2"
199.1	5'-0"	5'-0"	2 1/2"	2"
204.7	4'-11"	4'-11"	2 1/2"	2"
211.3	4'-9"	4'-9"	2 1/2"	2"
216.9	4'-7"	4'-7"	2 1/2"	2"
221.6	4'-6"	4'-6"	2 1/2"	2"
225.3	4'-5"	4'-5"	2 1/2"	2"

## MAXIMUM DESIGN PRESSURE RATING "W" (p.s.f.) AND CORRESPONDING MAXIMUM ANCHOR SPACING (in.) SCHEDULE. + (VALID FOR SECTIONS B', B1', B2' & C1' ON SHEET 3 OF 9).

MAXIMUM DESIGN LOAD "W" (p.s.f.)	WALL MOUNTING INSTALLATION AT TOP OR BOTTOM (TO CONCRETE)			WALL MOUNTING INSTALLATION AT TOP OR BOTTOM (TO MASONRY)			FLOOR/CEILING MOUNTING INSTALLATION TOP OR BOTTOM (TO CONCRETE)		
	NOTE 1	NOTE 2	NOTE 3	NOTE 1	NOTE 2	NOTE 3	NOTE 1	NOTE 2	NOTE 3
FROM 45.1 TO 61.8	9"	9"	9"	9"	9"	3 1/2"	9"	8 1/2"	6"
FROM 61.9 TO 75.3	9"	9"	6 1/2"	9"	5 1/2"	-	9"	7"	5 1/2"
FROM 75.4 TO 91.4	9"	9"	4"	9"	7"	3"	9"	5"	4"
FROM 91.5 TO 120.0	9"	7 1/2"	4 1/2"	8"	2 1/2"	-	9"	6"	5"
FROM 120.1 TO 168.1	5 1/2"	3 1/2"	-	-	-	-	5 1/2"	4 1/2"	-
FROM 168.2 TO 225.3	3 1/2"	4 1/2"	-	-	-	-	4 1/2"	4 1/2"	-

+ USE TAPCON ANCHORS, ZAMAC NAILIN & CALK-INS FOR INSTALLATIONS W/ DESIGN LOADS UP TO 75.3 p.s.f. USE ONLY TAPCON ANCHORS & CALK-INS FOR INSTALLATIONS W/ DESIGN LOADS GREATER THAN 75.3 p.s.f. MAXIMUM ANCHOR SPACINGS ARE VALID FOR 3" EDGE DISTANCE. FOR E. D. LESS THAN 3", REDUCE ANCHOR SPACING BY MULTIPLYING SPACINGS SHOWN ON SCHEDULE BY THE FOLLOWING FACTORS. (NOTE: MIN. E. D. FOR CALK-IN ANCHORS IS 2 1/2"). THIS OPERATION SHALL ONLY BE PERFORMED WHEN REQUIRED SPACING RESULTS INTO A MINIMUM OF 3" O.C.

ACTUAL E. D.	ANCHOR LEGENDS
EDGE DISTANCE	FACTOR
2 1/2"	.75
2"	.50

TAPCON OR CALK-IN	TAPCON OR CALK-IN
ZAMAC NAILIN	
UP TO 75.3 p.s.f.	> 75.3 p.s.f. TO 225.3 p.s.f.

TABLE 1:

MINIMUM SEPARATION BETWEEN GLASS AND SHUTTER FOR A GIVEN SHUTTER SPAN, FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ABOVE GRADE OF A GIVEN BUILDING. 30'-0" ELEVATION SHALL BE MEASURED AT BOTTOM OF SHUTTER. SEPARATION TO BE MEASURED AS INDICATED ON SECTION D, SHEET 4 OF 9.

SHUTTER SPAN (ft.)	MINIMUM SEPARATION (in.)
LESS OR EQUAL THAN 9'-0"	2 1/2"
> 9'-0" TO 10'-0"	3 1/2"
> 10'-0" TO 12'-0"	4"

PRODUCT REVISED as complying with the Florida Building Code. Acceptance No. 05-2817-08. Expiration Date 05/10/2008. By: *Heidi A. Miller* Miami Dade Product Control Division

FOR SHUTTERS INSTALLED WITHIN THE FIRST 30'-0" ELEVATION OF BUILDING. SEE TABLE 1 FOR MINIMUM SEPARATION TO GLASS FOR SPANS SHORTER THAN THE MAXIMUM ALLOWED SHOWN ON SCHEDULE. \*\* FOR SHUTTERS INSTALLED ABOVE 30'-0" ELEVATION OF BUILDING, MEASURED AT BOTTOM OF SHUTTER.

F.B.C. (High Velocity Hurricane Zone)

<b>TILTECO INC.</b> TILLIT TESTING & ENGINEERING COMPANY 2000 W. 34th St., Ste. 300, VERO BEACH, FLORIDA 33584 Phone: (305) 871-1330, Fax: (305) 871-1331 E3-0006719 WALTER A. TILLIT Jr., P. E. FLORIDA Lic. # 44167		ASSA/MID-RISE BERTHA ACCORDION SHUTTER <b>ALUMINUM WORLD, INC.</b> (ASSA # 167) 4401 E 10 AVENUE HIALEAH, FLORIDA 33013 PH: (305) 825-1355, FAX: (305) 825-1356		DRAWN BY: J.J.V. 8/8/05 DATE 05-234 DRAWING No SHEET 9 OF 9	
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	OLD 03-067	8/8/05	2	-	-
2	-	-	3	-	-

### ANCHOR SPACING LEGEND

- (1) Max. ANCHOR SPCG. VALID FOR SPANS OF 5'-0" OR LESS.
- (2) Max. ANCHOR SPCG. VALID FOR SPANS GREATER THAN 5'-0" TO 8'-6".
- (3) Max. ANCHOR SPCG. VALID FOR SPANS GREATER THAN 8'-6" TO Max. ALLOWED.

AUG 11 2005

## Permit Details

<b>Process #:</b> 34130	<b>Permit #:</b> P0700483	<b>Master Permit:</b> B0702124
<b>Status:</b> Closed		
<a href="#"><b>Show Master Permit</b></a>		

Site Information	
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$500.00
<b>Lot:</b> 10 <b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> POOL HEATER,PIPING & FILTER EQUIPMENT	<b>Application Date:</b> 02/05/07
<b>Job Name:</b> NEMITZ & OULIE	<b>Permit Date:</b> 04/11/07
<b>Film Number:</b> 0705884	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$45.35

Applicant / Contact Information
<b>Name:</b> SUPERIOR POOL,SPAS & WATERFALL
<b>Address:</b> 5580 PINE ISLAND ROAD LAUDERHILL, FL

Property Owner Information
<b>Name:</b> OULIE,BERNARD & NEMITZ,RITA
<b>Address:</b> 1321 TYLER ST HOLLYWOOD FL 33019-1004

Contractor Information
<b>Name:</b> SUPERIOR POOL,SPAS & WATERFALL ( <a href="#">Permits + Details</a> )
<b>Address:</b> 5580 PINE ISLAND ROAD LAUDERHILL, FL

## Permit Details

<b>Process #:</b> 34129	<b>Permit #:</b> E0700937	<b>Master Permit:</b> B0702124
<b>Status:</b> Closed		
<a href="#"><u>Show Master Permit</u></a>		

Site Information		
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900	
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$1,400.00	
<b>Lot:</b> 10	<b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> ELECTRICAL WORK	<b>Application Date:</b> 02/05/07
<b>Job Name:</b> NEMITZ & OULIE	<b>Permit Date:</b> 04/11/07
<b>Film Number:</b> 0705884	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$53.70

Applicant / Contact Information
<b>Name:</b> ELECTRIC COMPANY OF S.FLA INC
<b>Address:</b> 1331 S DIXIE HWY STE 6B POMPANO BEACH, FL

Property Owner Information
<b>Name:</b> OULIE, BERNARD & NEMITZ, RITA
<b>Address:</b> 1321 TYLER ST HOLLYWOOD FL 33019-1004

Contractor Information
<b>Name:</b> ELECTRIC COMPANY OF S.FLA INC ( <a href="#"><u>Permits + Details</u></a> )
<b>Address:</b> 1331 S DIXIE HWY STE 6B POMPANO BEACH, FL



## Permit Details

<b>Process #:</b> 34126	<b>Permit #:</b> E0700936	<b>Master Permit:</b> B0702124
<b>Status:</b> Closed		
<a href="#"><u>Show Master Permit</u></a>		

Site Information	
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$200.00
<b>Lot:</b> 10	<b>Sq Ft:</b> 0
<b>Block:</b> 10	

Permit Information	
<b>Application Type:</b> LOW VOLTAGE	<b>Application Date:</b> 02/05/07
<b>Job Name:</b> NEMITZ & OULIE	<b>Permit Date:</b> 04/11/07
<b>Film Number:</b> 0705884	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$45.35

Applicant / Contact Information
<b>Name:</b> ELECTRIC COMPANY OF S.FLA INC
<b>Address:</b> 1331 S DIXIE HWY STE 6B POMPANO BEACH, FL

Property Owner Information
<b>Name:</b> OULIE, BERNARD & NEMITZ, RITA
<b>Address:</b> 1321 TYLER ST HOLLYWOOD FL 33019-1004

Contractor Information
<b>Name:</b> ELECTRIC COMPANY OF S.FLA INC ( <a href="#"><u>Permits + Details</u></a> )
<b>Address:</b> 1331 S DIXIE HWY STE 6B POMPANO BEACH, FL

## Permit Details

**Process #:** 34123

**Permit #:** B0702127

**Master Permit:** B0702124

**Status:** Closed

[Show Master Permit](#)

### Site Information

**Address:** 1321 TYLER ST

**Sub-division:** HOLLYWOOD LAKES SECTION

**Lot:** 10

**Block:** 10

**Folio#:** 514214011900

**Value:** \$1,500.00

**Sq Ft:** 0

### Permit Information

**Application Type:** FENCE-CHAIN LINK &/OR WOOD

**Job Name:** NEMITZ & OULIE

**Film Number:** 0705884

**Application Date:** 02/05/07

**Permit Date:** 04/11/07

**CO/CC Date:**

**Total Fees:** \$55.70

### Applicant / Contact Information

**Name:** OULIE, BERNARD & NEMITZ, RITA

**Address:** 1321 TYLER ST HOLLYWOOD FL 33019-1004

### Property Owner Information

**Name:** OULIE, BERNARD & NEMITZ, RITA

**Address:** 1321 TYLER ST HOLLYWOOD FL 33019-1004

### Contractor Information

**Name:**

**Address:**

## Permit Details

<b>Process #:</b> 29330	<b>Permit #:</b> B0702124	<b>Master Permit:</b> B0702124
<b>Status:</b> Closed		
<a href="#"><u>List All Subpermits</u></a>		

Site Information		
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900	
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$9,500.00	
<b>Lot:</b> 10	<b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> POOL - RESIDENTIAL	<b>Application Date:</b> 02/05/07
<b>Job Name:</b> NEMITZ & OULIE	<b>Permit Date:</b> 04/11/07
<b>Film Number:</b> 0705884	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$328.50

Applicant / Contact Information	
<b>Name:</b> SUPERIOR POOL,SPAS & WATERFALL	
<b>Address:</b> 4350 W SUNRISE BLVD SUITE #103 PLANTATION, FL	

Property Owner Information	
<b>Name:</b> OULIE,BERNARD & NEMITZ,RITA	
<b>Address:</b> 1321 TYLER ST HOLLYWOOD FL 33019-1004	

Contractor Information	
<b>Name:</b> SUPERIOR POOL,SPAS & WATERFALL ( <a href="#"><u>Permits + Details</u></a> )	
<b>Address:</b> 4350 W SUNRISE BLVD SUITE #103 PLANTATION, FL	

T H E C I T Y O F H O L L Y W O O D , F L  
J O B R E C O R D R E P O R T

1321\_004

PERMIT #	CONTRACTOR	OWNER NAME
TRANSFERED FROM	ARCHITECT	JOB ADDRESS
TRANSFERED TO	ENGINEER	IMPROVEMENT DESCRIPTION
MASTER PERMIT #		

B0702124                      CPC042904                      OULIE, BERNARD &  
\*\*\*\*\*                      SUPERIOR POOL, SPAS & WATERFALL                      1321 TYLER ST                      \_004  
\*\*\*\*\*

POOL - RESIDENTIAL

B0702124                      POOL CONSTRUCTION-NO DECK

X	IMPROVEMENT VALUE....\$	9,500.00
	PERMIT FEE.....\$	215.00
	COUNTY SURCHARGE.....\$	3.50
	STATE SURCHARGE(RADON)..\$	0.00
	PERMIT FEE DISCOUNT.....\$	0.00
	PROCESS NUMBER.....	29330
	DATE ISSUED.....	04/11/07
	C OF O DATE.....	10/11/07
	MICROFILM NUMBER.....	0705884
	OCCUPANCY GROUP.....	
	CONSTRUCTION TYPE REQUIRED.....	
	ASSEMBLY CAPACITY.....	0
	TEMPORARY DAYS.....	0

FOLIO # 514214011900    LOT 10    BLOCK 10    SUBDIVISION- HOLLYWOOD LAKES SECTION

----- I N S P E C T I O N   H I S T O R Y -----

INSPECTION DESCRIPTION	FLOOR	FULL PART	PASS FAIL	INSP DATE	INSP INITL	CODE SEC
REINF STEEL-POOL (EL, PL. APPROVED)	0	FULL	PASS	05/02/07	RG	0
FINAL-STRUCTURAL	1	FULL	UNAC	10/05/07	RG	109.6
FENCE IS NOT COMPLETE--RG						
FINAL-STRUCTURAL	1	FULL	PASS	10/11/07	RG	0



T H E C I T Y O F H O L L Y W O O D, F L  
J O B R E C O R D R E P O R T

1321\_004

PERMIT #	CONTRACTOR	OWNER NAME
TRANSFERED FROM	ARCHITECT	JOB ADDRESS
TRANSFERED TO	ENGINEER	IMPROVEMENT DESCRIPTION
MASTER PERMIT #		

B0702127	OWNER	OULIE, BERNARD &
*****	OWNER/PROPERTY OWNER	1321 TYLER ST
*****		FENCE-CHAIN LINK &/OR WOOD
B0702124		POOL CONSTRUCTION-NO DECK

X	IMPROVEMENT VALUE....\$	1,500.00
	PERMIT FEE.....\$	55.00
	COUNTY SURCHARGE.....\$	0.70
X	STATE SURCHARGE (RADON)..\$	0.00
	PERMIT FEE DISCOUNT.....\$	0.00
	PROCESS NUMBER.....	34123
	DATE ISSUED.....	04/11/07
	C OF O DATE.....	10/11/07
	MICROFILM NUMBER.....	0705884
	OCCUPANCY GROUP.....	
	CONSTRUCTION TYPE REQUIRED.....	
	ASSEMBLY CAPACITY.....	0
	TEMPORARY DAYS.....	0

JOB: NEMITZ & OULIE

BUILDING- FLOORS:	0	UNITS:	0	C/D:	N
SQ-FT- BLDG:	0	ROOF:	0		
WATER- GALN:	0	FEES:	0.00		
SEWER- GALN:	0	FEES:	0.00		

FOLIO # 514214011900 LOT 10 BLOCK 10 SUBDIVISION- HOLLYWOOD LAKES SECTION

----- I N S P E C T I O N H I S T O R Y -----

INSPECTION DESCRIPTION	FLOOR	FULL PART	PASS FAIL	INSP DATE	INSP INITL	CODE SEC
FINAL-STRUCTURAL	1	PART	PASS	07/17/07	AXG	0
NEED PLUMBING SIGNED OFF						
FINAL-STRUCTURAL	1	FULL	UNAC	08/20/07	RG	109.6
NOT READY FOR INSPECTION--THE POOL AREA						
FINAL-STRUCTURAL	1	FULL	UNAC	10/05/07	RG	109.6
FENCE IS NOT COMPLETE FOR FINAL POOL						
FINAL-STRUCTURAL	1	FULL	PASS	10/10/07	RG	0





T H E C I T Y O F H O L L Y W O O D , F L  
J O B R E C O R D R E P O R T

1321\_004

PERMIT #	CONTRACTOR	OWNER NAME
TRANSFERED FROM	ARCHITECT	JOB ADDRESS
TRANSFERED TO	ENGINEER	IMPROVEMENT DESCRIPTION
MASTER PERMIT #		

E0700936	EC13002577	OULIE, BERNARD &
*****	ELECTRIC COMPANY OF S.FLA INC	1321 TYLER ST
*****		_004
B0702124		LOW VOLTAGE

	X	POOL CONSTRUCTION-NO DECK	
		IMPROVEMENT VALUE.....\$	200.00
		PERMIT FEE.....\$	45.00
		COUNTY SURCHARGE.....\$	0.35
		STATE SURCHARGE (RADON) ..\$	0.00
		PERMIT FEE DISCOUNT.....\$	0.00
		PROCESS NUMBER.....	34126
		DATE ISSUED.....	04/11/07
		C OF O DATE.....	10/11/07
		MICROFILM NUMBER.....	0705884
		OCCUPANCY GROUP.....	
		CONSTRUCTION TYPE REQUIRED.....	
		ASSEMBLY CAPACITY.....	0
		TEMPORARY DAYS.....	0

JOB: NEMITZ & OULIE

BUILDING- FLOORS:	0	UNITS:	0	C/D:	N
SQ-FT- BLDG:	0	ROOF:	0		
WATER- GALN:	0	FEES:	0.00		
SEWER- GALN:	0	FEES:	0.00		

FOLIO # 514214011900	LOT 10	BLOCK 10	SUBDIVISION- HOLLYWOOD LAKES SECTION
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----- I N S P E C T I O N H I S T O R Y -----

INSPECTION DESCRIPTION	FLOOR	PART	FULL PASS FAIL	INSP DATE	INSP INITL	CODE SEC
FINAL-ELECTRIC	1	PART	PASS	08/15/07	JS	0
ALL WINDOWS INOPERATIVE, GAVE OWNER CUT						
ROUGH-ELECTRIC	1	FULL	PASS	08/15/07	JS	0
FINAL-ELECTRIC	1	FULL	PASS	08/20/07	JS	0



T H E C I T Y O F H O L L Y W O O D , F L  
J O B R E C O R D R E P O R T

1321\_004

PERMIT #	CONTRACTOR	OWNER NAME
TRANSFERED FROM	ARCHITECT	JOB ADDRESS
TRANSFERED TO	ENGINEER	IMPROVEMENT DESCRIPTION
MASTER PERMIT #		

E0700937	EC13002577	OULIE, BERNARD &
*****	ELECTRIC COMPANY OF S.FLA INC	1321 TYLER ST
*****		
B0702124		ELECTRICAL WORK

\_004

	X	POOL CONSTRUCTION-NO DECK	
		IMPROVEMENT VALUE....\$	1,400.00
		PERMIT FEE.....\$	53.00
		COUNTY SURCHARGE.....\$	0.70
	X	STATE SURCHARGE (RADON) ..\$	0.00
		PERMIT FEE DISCOUNT.....\$	0.00
		PROCESS NUMBER.....	34129
		DATE ISSUED.....	04/11/07
JOB: NEMITZ & OULIE		C OF O DATE.....	10/11/07
BUILDING- FLOORS: 0	UNITS: 0	C/D: N	
SQ-FT- BLDG: 0	ROOF: 0		
WATER- GALN: 0	FEES: 0.00		
SEWER- GALN: 0	FEES: 0.00		
		MICROFILM NUMBER.....	0705884
		OCCUPANCY GROUP.....	
		CONSTRUCTION TYPE REQUIRED.....	
		ASSEMBLY CAPACITY.....	0
		TEMPORARY DAYS.....	0

FOLIO # 514214011900 LOT 10 BLOCK 10 SUBDIVISION- HOLLYWOOD LAKES SECTION

I N S P E C T I O N H I S T O R Y							
INSPECTION DESCRIPTION	FLOOR	FULL PART	PASS FAIL	INSP DATE	INSP INITL	CODE SEC	
POOL BOND	1	FULL	PASS	04/24/07	JS	0	
UNDERGROUND PIPING-ELECTRIC	0	FULL	PASS	05/21/07	JS	0	
UG FEEDER & POOL LIGHT & POTTING			OK/JS				
POOL/SPA DECK BOND	1	FULL	PASS	06/06/07	JS	0	
TEMPORARY POWER	1	FULL	PASS	08/15/07	JS	0	
FINAL-POOL ELECTRIC	1	FULL	PASS	08/15/07	JS	0	



T H E C I T Y O F H O L L Y W O O D , F L  
J O B R E C O R D R E P O R T

1321\_004

PERMIT #	CONTRACTOR	OWNER NAME
TRANSFERED FROM	ARCHITECT	JOB ADDRESS
TRANSFERED TO	ENGINEER	IMPROVEMENT DESCRIPTION
MASTER PERMIT #		

P0700483	CPC042904	OULIE, BERNARD &
*****	SUPERIOR POOL, SPAS & WATERFALL	1321 TYLER ST
*****		BACKFLOW PREVENTER
B0702124		POOL CONSTRUCTION-NO DECK
	X	IMPROVEMENT VALUE.....\$ 500.00
		PERMIT FEE.....\$ 45.00
		COUNTY SURCHARGE.....\$ 0.35
	X	STATE SURCHARGE (RADON)..\$ 0.00
		PERMIT FEE DISCOUNT.....\$ 0.00
		PROCESS NUMBER..... 34130
		DATE ISSUED..... 04/11/07
JOB: NEMITZ & OULIE		C OF O DATE..... 10/11/07
BUILDING- FLOORS: 0	UNITS: 0	C/D: N
SQ-FT- BLDG: 0	ROOF: 0	
WATER- GALN: 0	FEES: 0.00	
SEWER- GALN: 0	FEES: 0.00	
		MICROFILM NUMBER..... 0705884
		OCCUPANCY GROUP.....
		CONSTRUCTION TYPE REQUIRED.....
		ASSEMBLY CAPACITY..... 0
		TEMPORARY DAYS..... 0
FOLIO # 514214011900	LOT 10	BLOCK 10
		SUBDIVISION- HOLLYWOOD LAKES SECTION

I N S P E C T I O N H I S T O R Y							
INSPECTION DESCRIPTION	FLOOR	FULL PART	PASS FAIL	INSP DATE	INSP INITL	CODE SEC	
POOL/SPA MAIN DRAIN	1	FULL	PASS	04/24/07	VS	0	
POOL/SPA PIPING	1	FULL	PASS	05/21/07	VS	0	
FINAL-POOL/SPA PLUMBING	1	FULL	UNAC	07/17/07	VS	109.6	
SEE APPROVED PLAN FOR EQUIPMENT ELEVATIO							
BACK FLOW-PLUMBING	1	FULL	PASS	08/15/07	VS	0	
FINAL-POOL/SPA PLUMBING	1	FULL	PASS	08/15/07	VS	0	





# CITY OF HOLLYWOOD, FLORIDA

## PERMIT APPLICATION

MASTER PROCESS # \_\_\_\_\_

MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☒ STRUC, ☐ FIRE, ☐ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE \_\_\_\_\_ TAX FOLIO No. 5142 1401 1900

LEGAL DESCRIPTION: Hollywood Lakes Section 1-32 Blot 10, 11 B/K 10

JOB NAME Nemitz / Oulie PHONE # \_\_\_\_\_

JOB ADDRESS 1321 Tyler St. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME Rita Nemitz + Bernard Oulie

Owners Address 1321 Tyler St. City Hollywood State FL Zip 33019

WORK DESCRIPTION pool construction (no deck)

USE/OCCUPANCY \_\_\_\_\_ Sq. Ft. \_\_\_\_\_ Value of Proposed Work: \$ 9500.00

CONTRACTOR'S NAME Superior Pools + Spas PHONE # 954 321-9292 Fax # (954) 321-9190

CONTRACTOR'S ADDRESS 4350 W. Sunrise Blvd CITY Plantation STATE FL ZIP 33324

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: CPC042904 EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME Angela Prymas PHONE # (561) 588-2602 FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS 127 Arlington Pl CITY WPR STATE FL ZIP 33405

FEE SIMPLE TITLE HOLDER NAME \_\_\_\_\_

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature \_\_\_\_\_ Date: 11-27-06

Owner or Agent

Sworn to (or affirmed) and subscribed before me this 28 day of Nov, 2006.

Signature \_\_\_\_\_

NOTARY PUBLIC

Personally Known, \_\_\_\_\_

DAVID D. COTTER  
COMMISSION # DD 324532  
EXPIRES: May 27, 2008

Signature \_\_\_\_\_ Date: 11-28-06

Prime Contractor

Sworn to (or affirmed) and subscribed before me this 30 day of Nov, 2006.

Signature \_\_\_\_\_

NOTARY PUBLIC

Personally Known, \_\_\_\_\_

LUCRECIA SARMIENTO RICO  
Notary Public - State of Florida  
Commission # DP 1923458  
EXPIRES: May 11, 2009

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: \_\_\_\_\_ Permit Officer

Effective Code: 20 \_\_\_\_\_ Florida Building Code



**CITY OF HOLLYWOOD, FLORIDA**  
**PERMIT APPLICATION**

MASTER PROCESS # \_\_\_\_\_  
MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☐ STRUC, ☐ FIRE, ☐ ELEC, ☐ MECH, ☒ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE \_\_\_\_\_ TAX FOLIO No. 5142 14 01 1900

LEGAL DESCRIPTION: Hollywood Lakes section 1-32 B Lot 10, 11 Blk 10

JOB NAME Nemitz / Oulie PHONE # (954) 929-0821

JOB ADDRESS 1321 Tyler St. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME Rita Nemitz + Bernard Oulie

Owners Address 1321 Tyler St. City Hollywood State FL Zip 33019

WORK DESCRIPTION pool piping

USE/OCCUPANCY \_\_\_\_\_ Sq. Ft. \_\_\_\_\_ Value of Proposed Work: \$ 500

CONTRACTOR'S NAME Superior Pools + Spas PHONE # 954 321-9292 Fax # (954) 321-7190

CONTRACTOR'S ADDRESS 4350 W. Sunrise Blvd CITY Plantation STATE FL ZIP 33324

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: CPC042904 EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME N/A PHONE # \_\_\_\_\_ FAX # 34130

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME N/A

Fee Simple Title Holder Address \_\_\_\_\_ City 215/07 State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address N/A City \_\_\_\_\_ State 34130 Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME N/A

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip 34130

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature \_\_\_\_\_ Date: 11-28-06 Signature \_\_\_\_\_ Date: 11-30-06

Sworn to (or affirmed) and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 2006. Sworn to (or affirmed) and subscribed before me this 30 day of \_\_\_\_\_, 2006.

Signature \_\_\_\_\_ Signature \_\_\_\_\_

NOTARY as to Owner/Agent NOTARY as to Contractor

Personally Known, Identification provided: \_\_\_\_\_ Personally Known, \_\_\_\_\_

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: [Signature] Permit Officer Effective Code: 20 Florida Building Code



# CITY OF HOLLYWOOD, FLORIDA PERMIT APPLICATION

MASTER PROCESS # \_\_\_\_\_

MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☐ STRUC, ☐ FIRE, ☒ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE \_\_\_\_\_ TAX FOLIO No. 5142 14 01 1900

LEGAL DESCRIPTION: Hollywoods Lakes section 1-32 Blot 10, 11 Bk 10

JOB NAME Nemitz / Oulie PHONE # (954) 929-0821

JOB ADDRESS 1321 Tyler St. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME Rita Nemitz & Bernard Oulie

Owners Address 1321 Tyler St. City Hollywood State FL Zip 33019

WORK DESCRIPTION pool electric

USE/OCCUPANCY \_\_\_\_\_ SQ. FT. \_\_\_\_\_ Value of Proposed Work: \$ 500

CONTRACTOR'S NAME Electric Co of S. Fla PHONE # (954) 782-3361 Fax # (954) 782-3326

CONTRACTOR'S ADDRESS 1331 S. Dixie Hwy CITY Pompano STATE FL ZIP 33060

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: EC13002577 EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME N/A PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME \_\_\_\_\_

Fee Simple Title Holder Address N/A City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address N/A City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address N/A City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature \_\_\_\_\_ Date: 1-28-06

Sworn to (or affirmed) and subscribed before me this 28 day of \_\_\_\_\_

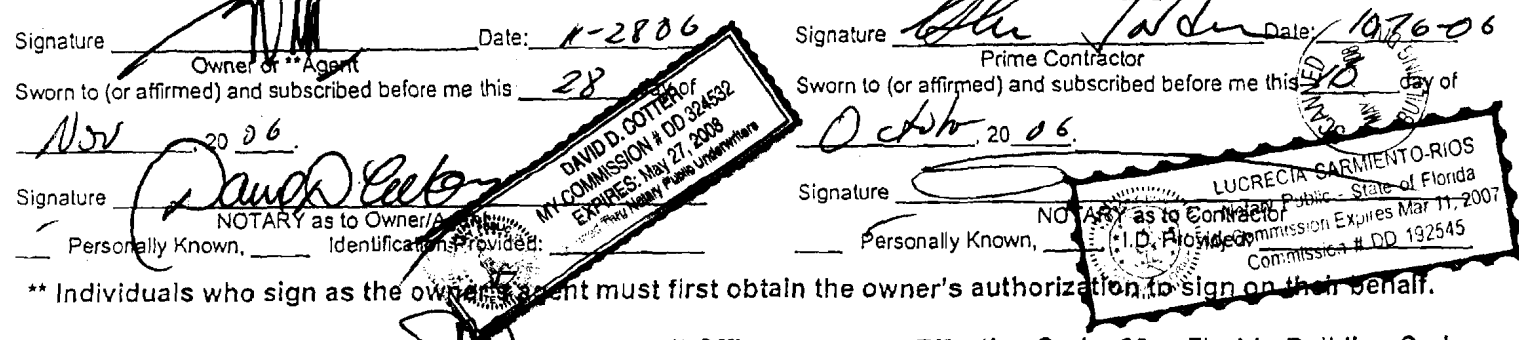
Signature David D. Cotten Date: 10-26-06

Signature \_\_\_\_\_ Date: 10-26-06

Signature \_\_\_\_\_ Date: 10-26-06

Signature \_\_\_\_\_ Date: 10-26-06

Application Approved by: [Signature] Permit Officer Effective Code: 20 Florida Building Code





**CITY OF HOLLYWOOD, FLORIDA**  
**PERMIT APPLICATION**

MASTER PROCESS # \_\_\_\_\_  
MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☐ STRUC, ☐ FIRE, ☒ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE \_\_\_\_\_ TAX FOLIO No. 5142 1401 1900

LEGAL DESCRIPTION: Hollywood Lakes section 1-32 Blot 10, 11 B1K 10

JOB NAME Nemitz/Dulie PHONE # (954) 929-0821

JOB ADDRESS 1321 Tyler St. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME Rita Nemitz + Bernard Dulie

Owners Address 1321 Tyler St. City Hollywood State FL Zip 33019

WORK DESCRIPTION low voltage alarms

USE/OCCUPANCY \_\_\_\_\_ Sq. Ft. \_\_\_\_\_ Value of Proposed Work: \$ 500.00

CONTRACTOR'S NAME Electric Co of S. Fla PHONE # (904) 782-3361 Fax # (904) 782-3326

CONTRACTOR'S ADDRESS 1331 S. Dixie Hwy CITY Pompano STATE FL ZIP 33060

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: EC13002577 EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME N/A PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME N/A

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

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Signature \_\_\_\_\_ Date: 11-18-06

Owner or \*\*Agent

Sworn to (or affirmed) and subscribed before me this 20 day of

Nov, 2006  
Signature \_\_\_\_\_  
NOTARY PUBLIC  
DAVID D. COTTER  
COMMISSION # DD 324532  
Expires: May 27, 2008  
Notary Public Underwriters

Personally Known, \_\_\_\_\_

\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.

Application Approved by: \_\_\_\_\_ Permit Officer

Signature \_\_\_\_\_ Date: 10-16-06

Prime Contractor

Sworn to (or affirmed) and subscribed before me this 16 day of

October, 2006

Signature \_\_\_\_\_

NOTARY as to Contractor  
Personally Known, \_\_\_\_\_ I.D. Provided: \_\_\_\_\_

Effective Code: 20-Florida Building Code



**CITY OF HOLLYWOOD, FLORIDA**  
**PERMIT APPLICATION**

MASTER PROCESS # \_\_\_\_\_

MASTER PERMIT # \_\_\_\_\_

Permit Type (Check one): ☐ STRUC, ☐ FIRE, ☐ ELEC, ☐ MECH, ☐ PLUMB, ☐ PAVING, ☐ WTR/SWR, ☐ DRAINAGE

APPLICATION DATE 03/19/07

TAX FOLIO No. \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

JOB NAME Building Fence PHONE # 954-929-0821

JOB ADDRESS 1321 Tyler Str. HOLLYWOOD, BROWARD COUNTY, FL. ZIP 33019

OWNER NAME Nemitz + Oulic

Owners Address 1321 Tyler Str. City Hollywood State FL Zip 33019

WORK DESCRIPTION Building Fence Wood

USE/OCCUPANCY \_\_\_\_\_ SQ. FT. \_\_\_\_\_ Value of Proposed Work: \$ 1000.00

CONTRACTOR'S NAME Nemitz + Oulic PHONE # 954-929-0821 Fax # \_\_\_\_\_

CONTRACTOR'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

CONTRACTOR'S CERTIFICATION OR REGISTRATION NUMBER: \_\_\_\_\_ EMAIL ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME \_\_\_\_\_ PHONE # \_\_\_\_\_ FAX # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

FEE SIMPLE TITLE HOLDER NAME \_\_\_\_\_

Fee Simple Title Holder Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

BONDING COMPANY NAME \_\_\_\_\_

Bonding Company Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

MORTGAGE LENDER'S NAME \_\_\_\_\_

Mortgage Lender's Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

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OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with applicable laws regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Signature [Signature] Date: 03/19/07 Signature \_\_\_\_\_ Date: \_\_\_\_\_  
Owner or Agent Prime Contractor

Sworn to (or affirmed) and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature [Signature] Signature \_\_\_\_\_  
NOTARY as to Owner/Agent NOTARY as to Contractor

Personally Known, Identification Provided: [Initials] Personally Known, I.D. Provided: \_\_\_\_\_

**\*\* Individuals who sign as the owner's agent must first obtain the owner's authorization to sign on their behalf.**

Application Approved by: [Signature] Permit Officer

Effective Code: 20\_\_ Florida Building Code







# GENERAL INSPECTION REPORT

GFA PROJECT # 07-0324

PROJECT Nemitz ResidenceLOCATION 1321 Tyler Street, Hollywood, FL

PERMIT NO. \_\_\_\_\_

CLIENT Superior Pools, Spas & Waterfalls, Inc.CONTRACTOR Augello Enterprises, Inc.

ARCHITECT \_\_\_\_\_

ENGINEER \_\_\_\_\_

DATE 4/16/2007

S	M	T	W	TH	F	S
	x					

DAY

WEATHER

TEMPERATURE

WIND

HUMIDITY

BRIGHT SUN	CLEAR	OVERCAST	RAIN
	x		
BELOW 60	60-75	75-90	ABOVE 90
	x		
LOW	MODERATE	HIGH	Report No
x			
LOW	MODERATE	HIGH	
x			

TYPE OF INSPECTION: Pool Demucking

MEMBERS/AREA INSPECTED: GFA noted on this date that an area of approximately 21' x 18' x 9' was demucked and backfilled with #57 stone. The #57 stone was tamped down with a bucket of Kobelco 135 SRLC excavator and was brought out of the water table.

REMARKS:

MAY - 1 2007

COMMENTS / ACTION REQUIRED: Continue to monitor demucking of the proposed pool.FBPE Certificate No: 4930Inspection Performed By: R. KowalczykTotal Billable Hours: 3.5Inspection Certified By: W. KowalczykRegistered Professional No: 59345

Certified Special Inspector No: \_\_\_\_\_





# GENERAL INSPECTION REPORT

GFA PROJECT # 07-0324

PROJECT Nemitz ResidenceLOCATION 1321 Tyler Street, Hollywood, FL

PERMIT NO. \_\_\_\_\_

CLIENT Superior Pools, Spas & Waterfalls, Inc.CONTRACTOR Augello Enterprises, Inc.

ARCHITECT \_\_\_\_\_

ENGINEER \_\_\_\_\_

DATE 4/17/2007

S	M	T	W	TH	F	S
		x				

WEATHER

TEMPERATURE

WIND

HUMIDITY

BRIGHT SUN	CLEAR	OVERCAST	RAIN
	x		
BELOW 60	60-75	75-90	ABOVE 90
		x	
LOW	MODERATE	HIGH	Report No
x			
LOW	MODERATE	HIGH	
x			

TYPE OF INSPECTION: Pool Demucking

**MEMBERS/AREA INSPECTED:** GFA noted that 75% of the proposed pool has been demucked to an approximate depth of 9 feet. The shallow end has been backfilled with approximately 6' of #57 stone. Mechanical problems with the excavator halted the demucking operations for this date.

REMARKS:

**COMMENTS / ACTION REQUIRED:** Continue to monitor demucking of the proposed pool.

FBPE Certificate No: 4930Inspection Performed By: R. KowalczykTotal Billable Hours: 6.3Inspection Certified By: W. AllenRegistered Professional No: 59345

Certified Special Inspector No: \_\_\_\_\_





# GENERAL INSPECTION REPORT

GFA PROJECT # 07-0324

PROJECT Nemitz ResidenceLOCATION 1321 Tyler Street, Hollywood, FL

PERMIT NO. \_\_\_\_\_

CLIENT Superior Pools, Spas & Waterfalls, Inc.CONTRACTOR Augello Enterprises, Inc.

ARCHITECT \_\_\_\_\_

ENGINEER \_\_\_\_\_

DATE 4/18/2007

DAY	S	M	T	W	TH	F	S
				x			

WEATHER

TEMPERATURE

WIND

HUMIDITY

BRIGHT SUN	CLEAR x	OVERCAST	RAIN
BELOW 60	60-75	75-90 x	ABOVE 90
LOW x	MODERATE	HIGH	Report No
LOW x	MODERATE	HIGH	

TYPE OF INSPECTION: Pool Demucking

MEMBERS/AREA INSPECTED: GFA noted that on this date, the proposed pool has been demucked. The area of the excavation is approximately 21' x 31' x 9'. GFA noted that approximately 6' of #57 stone was placed in the shallow end and approximately 2' of #57 stone in the deep end.

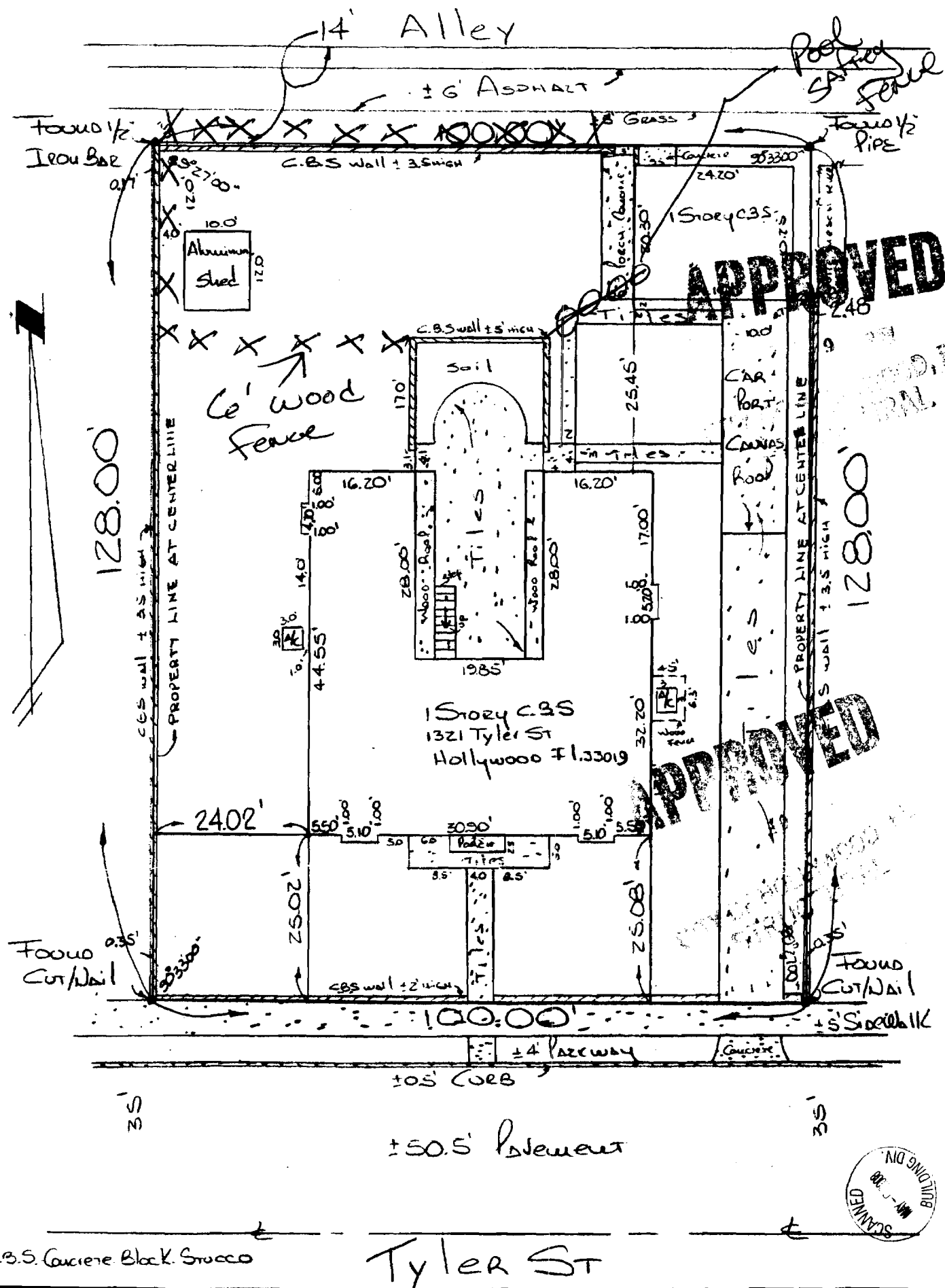
REMARKS: \_\_\_\_\_

COMMENTS / ACTION REQUIRED: As of this date, demucking is completed.FBPE Certificate No: 4930Inspection Performed By: R. KowalczykTotal Billable Hours: 7Inspection Certified By: Mr. [Signature] on 4/24/07Registered Professional No: 59345

Certified Special Inspector No: \_\_\_\_\_



SCALE 1" = 20'





ALL WATER GENERATED ON THIS  
PROPERTY WILL BE RETAINED ON  
SAID PROPERTY.

March 19, 2007

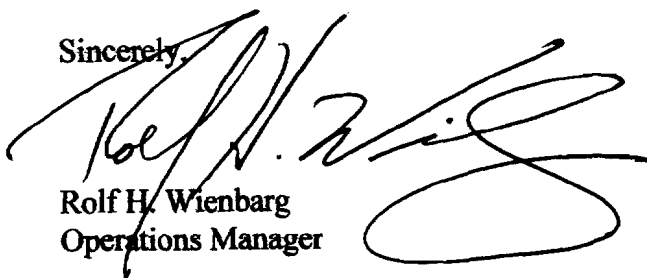
City of Hollywood  
Building Department

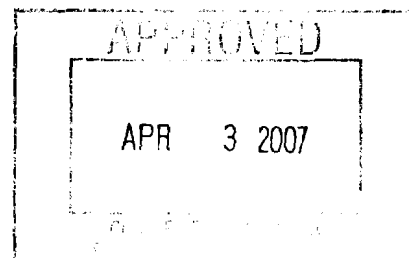
Ref.: NEMITZ POOL 1321 Tyler Street, Hollywood FL 33019  
Process No. 29330

Dear Mr. Kusnack;

As per our conversation, please be hereby advised that the ground water will be pumped and dispersed onto the property and corralled on the property by a cement wall encircling the property. If a berm or berms are required to keep the water from the only two openings in the wall they shall be created to contain the water on said property.

Sincerely,

  
Rolf H. Wienbarg  
Operations Manager



Title instrument prepared by:

Name: Superior Pools, Spas and Waterfalls, Inc.  
Address: 4350 W. Sunrise Blvd. Plantation, FL 33313  
Permit # \_\_\_\_\_ Folio # \_\_\_\_\_

### NOTICE OF COMMENCEMENT

State of Florida  
County of Broward

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Property Legal Description ☒ Lot ☐ Unit 10411 ☐ Block ☐ Bldg 10  
Subdivision/Condominium Hollywood Lakes Section

( ) Longly Legal, please see description attached hereto

space above reserved for use of recording office.

2. General Description of Improvement:

Swimming pool

3. Property Owner Name:  
Mailing Address:  
and Interest in property:  
Name/mailing address of fee simple title holder if other than owner:

RITA Nemitz Henry Bernard Duke  
1321 Tyler Street  
Hollywood FL 33019

4. Contractor name:  
Address:  
Phone Number:

Superior Pools, Spas and Waterfalls, Inc.  
4350 W. Sunrise Blvd. Ste. 103 Plantation, FL 33313  
(954) 321-9292 Fax#: (optional- if service by fax is acceptable) (954) 321-9190

6. If Surety Bond, Name:  
and address of Surety:  
and amount of Bond:  
Phone Number:

N/A  
\$ N/A (Copy of bond must be attached to this Notice at time of recording)  
Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

6. Lender name:  
Address:  
Phone Number:

N/A  
Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

7. Persons within the State of Florida (names and addresses) designated by property owner upon whom Notices other documents may be served as provided by Section 713.13(1)(A)7., Florida Statutes:

Name: N/A  
Address: N/A  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lessor's Notice as provided by Section 713.13(1)(B), Florida Statutes:

Name: N/A  
Address: N/A  
Phone Number: \_\_\_\_\_ Fax#: (optional- if service by fax is acceptable) \_\_\_\_\_

9. Expiration date of this Notice: \_\_\_\_\_ (Expires one year from date recorded unless a different date is specified)

Owner signature: X Rita Nemitz Owner signature: \_\_\_\_\_  
Printed name: Rita Nemitz Printed name: \_\_\_\_\_

Driver's license # \_\_\_\_\_

SWORN TO AND SUBSCRIBED before me this 29 day of Nov 2006, by:

Rita Nemitz  
personally known to me or produced \_\_\_\_\_ as Identical

Notary signature: David D. Cotter  
Printed name: \_\_\_\_\_

My commission expires: 5-27-06

seal:



I hereby certify this document to be a true correct and complete copy of the record filed in my office. Dated this 04 day of December 2006.  
By Debra Wolf Deputy Clerk

space above this line reserved for use of the recording office

Name SUPERIOR POOLS & SPAS  
4350 W. SUNRISE BLVD.  
STE. 103  
Address PLANTATION, FL 33310  
(954) 321-9292



November 29, 2006

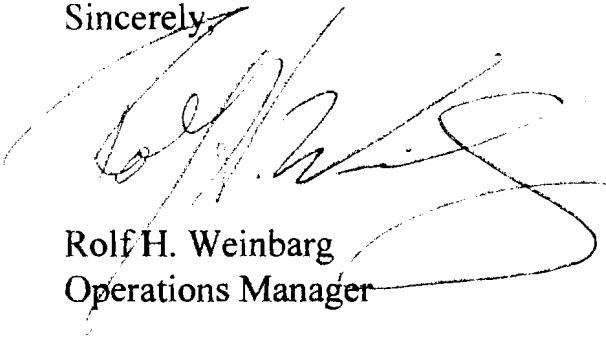
City of Hollywood  
Building Department

RE: Pool Construction at 1321 Tyler Street - Nemitz-Oulie Residence

To Whom it may concern,

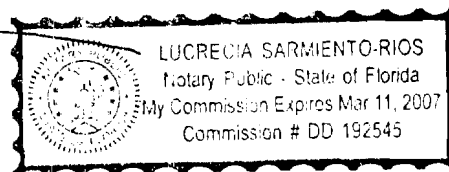
During construction water runoff and silt from pumping and rainfall will be dispersed onto and contained within the pervious portion of the property to avoid drainage to the street or storm drains.

Sincerely,



Rolf H. Weinbarg  
Operations Manager

RHW/lsr



*Superior Pools & Spas is a Drug Free Workplace*

**4350 W. Sunrise Boulevard, Suite 103 • Plantation, Florida 33313**  
**Phone: 954-321-9292 • Fax: 954-321-9190**







# CITY OF HOLLYWOOD

## BUILDING AND ENGINEERING SERVICES

PROCESS # \_\_\_\_\_

### **Residential Swimming Pool, Spa and Hot Tub Safety Act** **Notice of Requirements**

I (We) Acknowledge that a new swimming pool, spa or hot tub will be constructed or installed at 1321 Tyler Street and hereby affirm that one of the following methods will be used to meet the requirements of Chapter 515, Florida Statute and Florida Building Code Section 424.2.  
(Please print Job Address)

- Please Initial the method(s) to be used for your pool or spa-

- ☐ The pool will be equipped with an approved safety pool cover that complies with ASTM F1346-91. (Submit Manufacturer's Specifications).
- ☐ A continuous, one piece (child) barrier meeting the requirements of Florida Building Code 424.2.17 will protect the pool perimeter. The plans shall show the fence location and method of attachment, including one end that shall not be removable without the aid of tools. (Submit Manufacturer's Specifications).
- ☐ A combination of non-dwelling walls and fences (screen enclosure, child fence, masonry fence walls, chain link or wood fence, etc.) will protect the pool perimeter. The plans must specify the type and location of all non-dwelling walls.
- ☒ Any combination of protection which incorporates dwelling walls with openings directly into the pool perimeter and all windows and doors will be equipped with exit alarms complying with Florida Building Code, 424.2.17.1.9 (Submit Manufacturer's Specifications).
- ☐ Any combination of protection which incorporates dwelling walls with openings directly into the pool perimeter and all doors will be equipped with a self-latching device with positive mechanical latching/locking installed a min. 54" above the threshold. If this option is selected, submit plans showing all types and location of all perimeter protection. The plans must also show the location and type of all openings, and the hardware type for each location. (Submit Manufacturer's Specifications).

Final inspection of the pool project cannot be approved without compliance with the Private Swimming Pool Safety Requirements.

I understand that not having one of the above installed will constitute a violation of Chapter 515, F.S., and will be considered as committing a misdemeanor of the second degree, punishable as provided in Section 775.082 or Section 775.083 F.S. This form must be signed by the owner/agent and the prime contractor.

X OULIE  
Owner/Agent Printed Name,

[Signature]  
Signature

11-28-06  
Date

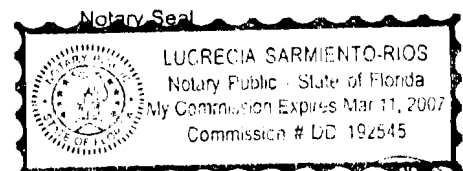
Ronald A Suggs  
Prime Contractor Printed Name,

[Signature]  
Signature

11-30-06  
Date

[Signature]  
Notary Signature

3-11-07  
Date Commission Expires:



11-28-06

# Safe Pool

AREA ENTRY DETECTOR

Sounds high output 110dB alert when children enter through protected door or gate

DELAY button provides convenient adult only pass through control

Weather resistant construction allows use on exterior gates or house doors

3 year battery operation (not included)

3 YEAR WARRANTY



COMPLIED WITH  
UL 2017

TECHKO®

## Safe Pool

MODEL SD87



14575 08701

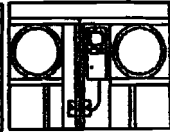
PROVIDES ALARM PROTECTION TO OUTDOOR GATES OR HOME DOORS LEADING TO POTENTIALLY DANGEROUS POOL AND SPA AREAS. THE SAFE POOL FEATURES WEATHER RESISTANT CONSTRUCTION AND MOUNTS TO BOTH WOOD OR METAL DOORS/GATES.

WHEN CHILDREN OPEN THE PROTECTED DOOR OR GATE MORE THAN ONE INCH, THE UNIT WILL SOUND ITS BUILT-IN 110DB HIGH OUTPUT ALARM.

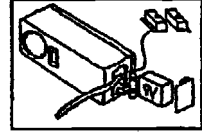
THE DELAY BUTTON ALLOWS ENTRY OR EXIT FOR ADULTS WITHOUT SOUNDING ALARM, THE UNIT WILL THEN RESET AUTOMATICALLY TO RESUME PROTECTION.



Sensors detect opening and sound the alarm within 7-13 seconds when the DELAY button is used



COMPLIED WITH  
UL 2017



Use one 9 volt battery (not included)

### FEATURES

- High output 110 dB Alarm siren
- Standard 9 volt battery operation
- Includes mounting hardware for both wood or metal doors/gates
- Weather and water resistant construction
- DELAY button provides convenient adult pass-through operation
- 3 Year warranty

### SCREWS & TAPE LOCATED INSIDE SENSOR HOUSING

#### CAUTION

THE SAFE POOL ALARM IS EXTREMELY LOUD. FOR YOUR SAFETY, NEVER FORCE THE UNIT CLOSE TO YOUR EAR. TO TEST THE ALARM, DIRECT THE UNIT AWAY FROM YOU AT ARM'S LENGTH AND ACTIVATE.

PATENT NO: 5,473,310

ALL RIGHTS RESERVED  
THIS PRODUCT IS PROTECTED UNDER FEDERAL PATENT, TRADEMARK AND COPYRIGHT LAWS AND LAWS PREVENTING UNLAWFUL REPRODUCTION OR IMITATION OF THIS PRODUCT. NO PART OF THIS PRODUCT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM TECHKO INC.  
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TECHKO®

TECHKO INC.  
LAGUNA HILLS, CA

MADE IN CHINA



July 15, 1999

Mrs. Rita Nemitz  
1321 Tyler Street  
Hollywood, Florida

**RE: Proposed Pool  
1321 Tyler Street  
Hollywood, Florida**

**APPROVED**

Dear Mrs. Nemitz:

GFA has conducted a soil investigation at the site on 07/13/99 in the vicinity of the proposed pool location at the above-mentioned residence. The addressee authorized this study.

The site visit was performed to determine the soil conditions in the vicinity of the pool excavation prior to the placement of foundations. Our investigation consisted of performing one SPT borings and one auger boring to a depth of 15 and 10 feet, respectively, below site grade. Upon review of the test results, we encountered primarily gray to brown fine to medium grained sand a tract of fine roots from the existing grade to about 2.5 feet. This was underlain with a deposit of brown fibrous PEAT to about 7 feet below grade. Beneath the deleterious soils, we encountered a granular deposit of light gray fine to medium grained sand with some cemented zones to maximum termination depth of 15 feet.

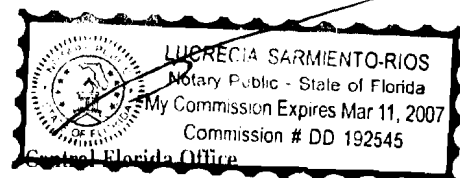
Based on the test boring results, it is our opinion that the soils at the above mentioned site are acceptable for use as foundation materials for the support of the proposed pool when prepared as suggested below. *Over excavation of the Peat deposit is required prior to the construction to the pool foundation.* The depth of the excavation should continue to a minimum of 7 feet below grade or until competent granular soils are noted. Backfill soils should consist of "Structural Fill" and be clean competent crushed limestone. If backfilling is required below groundwater levels, #57 limestone should be used as fill until one foot above the groundwater table.

We recommend that the base of the pool be well compacted to consolidate the loose soil conditions. Density tests or dynamic cone penetrometer tests should be performed to verify proper compaction compliance. We recommend that #57 stone be placed in the base of the pool excavation to provide additional stability if the soils are saturated from the influence of the groundwater table. At the date of our tests the water table was encountered at an average depth of 2.5 feet below grade.

Environmental  
Geotechnical  
Materials Testing  
Threshold Inspections

Corporate Office  
442 N.W. 35th Street  
Boca Raton, Florida 33431  
(561) 347-0070  
(561) 347-0809 Fax

Gulf Coast Office  
5761 S.E. Independence Circle  
Fort Myers, Florida 33912  
(941) 489-2443  
(941) 489-3438 Fax



Central Florida Office  
6220 S. Orange Blossom Trail  
Suite 400-B  
Orlando, Florida 32809  
(407) 855-4422  
(407) 855-0021 Fax

We appreciate the opportunity to be of service to you and if you have any questions or comments please don't hesitate to call our office.

Sincerely,

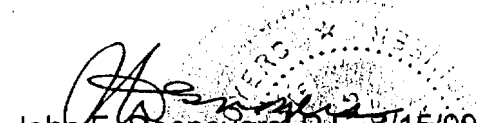
**GFA INTERNATIONAL**



Frederick G. Kaub, P.G. 7/15/99

Registered Geologist # 1344

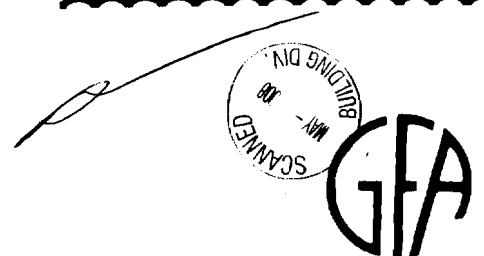
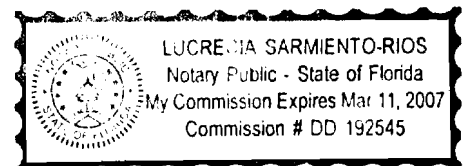
State of Florida



John F. Desnoyers, P.E. 7/15/99

Registered Engineer # 47885

State of Florida





ATI: Mohammed

# RECORD OF TEST BORING

PROJECT/LOCATION: Proposed Pool 1321 Tyler Street

PROJECT NO: 99-0856

START: 07/13/99

FINISH: 07/13/99

BORING NO: B-1

WEATHER: Sunny

BORING LOCATION: 8 feet west of bungalow garage

DRILLER: Mike Lenz

DRILL: Portable Tripod Equipment DRILL CONTRACTOR: GFA International

ELEV.: N.A.

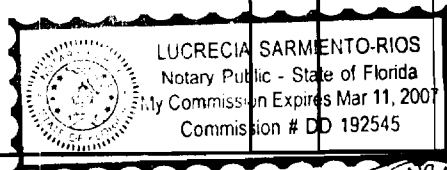
GROUNDWATER: 3.3 feet

DATE CHECKED: 07/13/99

BORING METHOD: Standard Penetration Test

FLUID LOSS: None

ELEV./ DEPTH	SOIL SYMBOLS AND FIELD TEST DATA	MAJOR SOIL COMPONENT	OTHER COMPONENTS	REC. (%)	STANDARD PENETRATION TEST		
					DEPTH	N	CURVE
							10 30 50
0		SAND	Very Loose, Dark Brown fine to medium grained with some fine roots.	90	0'-2'	0	
2.5			Very Soft, Dark Brown to Black.	20	2'-4'	0	
5		PEAT	Very Soft, Dark Brown to Black.	90	4'-6'	0	
7.5			Very Soft, Dark Brown to Black with some fine sand.	90	6'-8'	3	
10		SAND	Very Firm, Light Gray with some cemented zones.	90	8'-10'	27	
12.5			(Dense) Light Gray to Light Brown with some fine to medium grained sand.	90	13'-15'	34	
15		LIMESTONE					



Refer to Notes and Legend on separate sheet for additional information.  
This Record of Test Boring is part of the project Geotechnical Report.  
Soil and rock samples recovered using ASTM D-1586 test procedures.  
It should not be assumed that changes in the "N-Value" are a linear function.

GFA INTERNATIONAL





# RECORD OF AUGER BORING

PROJECT/LOCATION: **Proposed Pool 1321 Tyler Street**

PROJECT NO: **99-0856**

START: **07/13/99**

FINISH: **07/13/99**

BORING NO: **A-1**

WEATHER: **Sunny**

BORING LOCATION: **14 feet west of bungalow garage**

DRILLER: **Mike Lenz**

DRILL: **Hand Auger Equipment** DRILL CONTRACTOR: **GFA International**

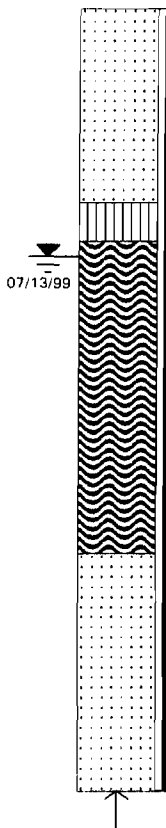
ELEV.: **N.A.**

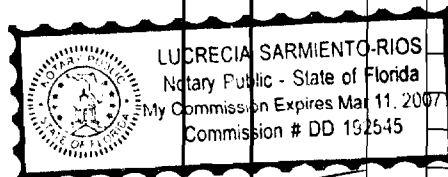
GROUNDWATER: **3.2 feet**

DATE CHECKED: **07/13/99**

BORING METHOD: **Rotary Auger Boring**

FLUID LOSS: **None**

ELEV./ DEPTH	SOIL SYMBOLS AND FIELD TEST DATA	MAJOR SOIL COMPONENT	OTHER COMPONENTS	REC. (%)	STANDARD PENETRATION TEST		
					DEPTH	N	CURVE 10 30 50
0		<b>SAND</b>	Dark Brown fine to medium grained with some fine roots.		0'-10'		
2.5		<b>SILT</b>	Dark Gray to Brown with some fine to medium grained sand. Dark Brown to Black.				
5		<b>PEAT</b>					
7.5		<b>SAND</b>	Light Gray to Gray with some cemented zones.				
10							
12.5							
15							



Refer to Notes and Legend on separate sheet for additional information.  
This Record of Test Boring is part of the project Geotechnical Report.  
Soil and rock samples recovered using ASTM D-1586 test procedures.  
It should not be assumed that changes in the "N-Value" are a linear function.



# LEGEND OF TEST SYMBOLS

Symbol Description

## Strata symbols



SAND



PEAT



LIMESTONE



SILT

## Misc. Symbols



Water table at  
boring completion



Drill rejection

## Soil Samplers



Standard penetration test



Auger

## Notes:

1. Exploratory borings were drilled on 07/13/99 using the techniques indicated on the boring logs.
2. The soil and rock samples were recovered using procedures outlined in this Report.
3. Boring locations were positioned by measuring from existing site features as shown on furnished documents.
4. The boring logs are part of a Geotechnical Report or Letter and are subject to the limitations, conclusions, and commendations in that Report.
5. Soil conditions may vary between borings and strata interfaces shown on the logs.

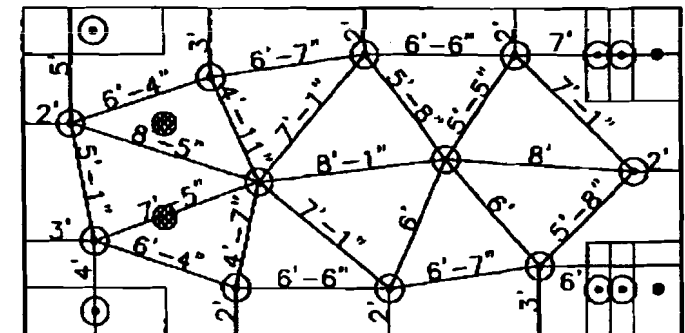
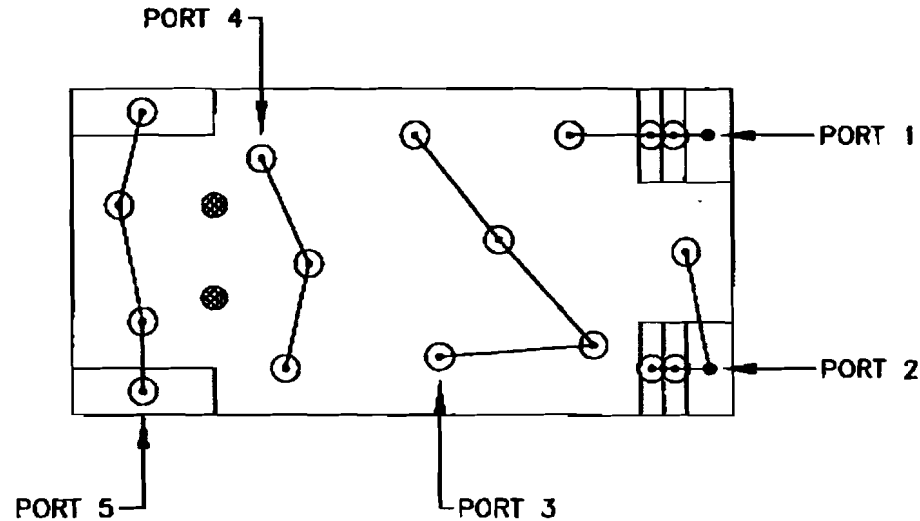


## NOTE!

SEE REQUIRED METHOD OF PLUMBING A CHLORINE FEEDER WITH THIS SYSTEM. SEE PAGE 19 OF YOUR A&A IN-FLOOR INSTALLATION MANUAL.

## NOTE!

2" BYPASS IS NEEDED FOR SALT CHLORINATOR.



## NOTE!

ADDITIONAL WATER DEMANDS WILL REQUIRE A SEPARATE PUMP IF IT IS TO BE RUN AT THE SAME TIME AS THE CLEANING SYSTEM, OR A 3-WAY VALVE MAY BE USED TO RUN EITHER THE CLEANING SYSTEM OR THE ADDITIONAL WATER DEMANDS.

JOB NAME NEMITZ

SALESPERSON DAVE COTTER

**A&A**  
MANUFACTURING

3750 W. INDIAN SCHOOL RD, PHOENIX, ARIZONA 85019  
FAX 602-532-4894 PH. 602-256-6935, 1-800-851-8492

⊙ = HIGH FLOW HEADS  
● = LOW FLOW HEADS

APPROX. 392 SQ.FT.  
☐ SYSTEM ORDERED?

EQUIPMENT REQUIRED FOR THIS POOL	
QTY.	DESCRIPTION
1	6 - PORT VALVE
17	HIGH FLOW HEADS
2	LOW FLOW HEADS
	QUIK VENTURI SKIMMER
	QUIK LEAF VAC
	WATER LEVELER
	DEK-CLOR
2"	DIAMETER RETURN LINES
2"	DIAMETER SUCTION LINES
PUMP & FILTER REQUIREMENTS	
2	HORSEPOWER PUMP
PUMP MANUFACTURER	HAYWARD
FULL RATED MODEL #2	SP-3020 EE
UP RATED MODEL # 2.5	SP-3020 X 25
120	GPM MINIMUM FILTER FLOW
ADD'L PUMP & FILTER REQUIREMENTS	
	HP ADDITIONAL PUMP
PUMP MANUFACTURER	
FULL RATED MODEL #	
UP RATED MODEL #	
	GPM MINIMUM FILTER FLOW
AUTOMATIC BUILT-IN POOL CLEANING AND CIRCULATION SYSTEM	
DEALER	SUPERIOR POOLS
ADDRESS	
CITY	FLORATATION STATE FL
FAX	954-321-9190
LAYOUT BY	DATE 10/24/06





PLAN OF SURVEY

SCALE 1" = 20'

14' Alley

± 6' ASPHALT

± 5' GRASS

Found 1/2" Iron Bar

Found 1/2" Pipe

Aluminum Shed

1 Story C.B.S.

CAR PORT  
CANVAS  
ROOF

1 Story C.B.S.  
1321 Tyler St  
Hollywood #1.320.9

128.00

128.00

PROPERTY LINE AT CENTERLINE

PROPERTY LINE AT CENTERLINE

24.02'

25.03'

Found 0.35" Cut/Nail

Found Cut/Nail

± 5' CORB

± 50.5' Pavement

C.B.S. Concrete Block Structure

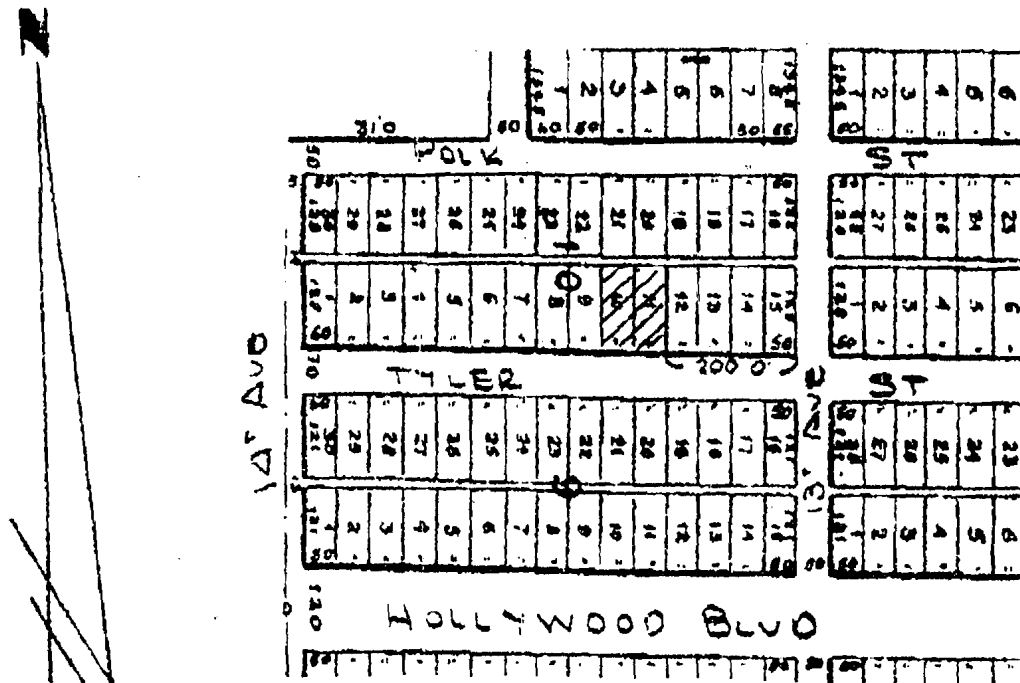
Tyler St



JOB :301-4356

## LOCATION SKETCH

SCALE 1" = 300'



**LEGAL DESCRIPTION:** Lots 10 and 11, Block 10, HOLLYWOOD LAKES SECTION, according to the Plat thereof as recorded in Plat Book 1, Page 32 of the Public Records of Broward County, Florida.

## GENERAL NOTES

- 1) OWNERSHIP IS SUBJECT TO OPINION OF TITLE.
- 2) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
- 3) (2.22) DENOTES THOSE ELEVATIONS REFERRED TO N/A DATUM.
- 4) LOCATION AND IDENTIFICATION OF UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED.
- 5) THIS PROPERTY IS WITHIN THE LIMITS OF FLOOD ZONE AE.
- 6) No underground locations were done by this Company.

**CERTIFIED TO:** Emerald Title, Inc., Chicago Title insurance comp.  
World Savings and Loan Association, its Successors and/or Assigns

**DATE:** November 13, 1998

APPLICABLE ZONING, UNDERGROUND, ZONING AND BUILDING SET BACKS, MUST BE CHECKED BY OWNER, ARCHITECT OR BUILDER BEFORE DESIGN OR CONSTRUCTION BEGINS ON THIS PROPERTY.

**CERTIFIED TO:** Rita Nemitz and Bernard Oulie



**SURVEYING, INC.**

**L.B. No. 3333**

147 ALHAMBRA CIRCLE No. 241  
CORAL GABLES, FLORIDA, 33134

Phone: (305) 448-8488

I HEREBY CERTIFY: That the attached Plan of Survey of the above described property is true and correct to the best of my knowledge, information and belief, as recently surveyed and plotted under my direction, also that there are no above-ground encroachments other than those shown. This survey meets the minimum technical standards set forth by the Florida Board of Land Surveyors pursuant to Chapter 61G17-6, Florida Administrative Code, Section 472-027 Florida Statutes.

**THIS IS A BOUNDARY SURVEY**

**LAZARO D. ALONSO**  
PROFESSIONAL LAND SURVEYOR  
CERTIFICATE NO. 3800  
STATE OF FLORIDA

**NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL**



## POOL SPECIFICATIONS

POOL SIZE: 14'-0" X 28'-0"  
 POOL DEPTH: 3' TO 6'  
 POOL CAPACITY: 13,230 GAL.  
 POOL PERIMETER: 84 LF.  
 POOL S.F.: 392 SF.  
 PUMP SIZE: 2 HP  
 FILTER TYPE: C 1200  
 TILE: 6"  
 COPING: BULLNOSE  
 CLEANING LINE: FLOOR CLEANING SYST.  
 CHLORINATOR: SALT SYS. / AQUA RITE  
 TYPE OF PATIO: NONE  
 TYPE OF POOL LITE: (1) COLOR HALOGEN  
 POOL RETURNS: FLOOR CLEANING SYST.  
 POOL HEATER: NONE  
 SCREEN ENCL.: NONE  
 DECK-O-DRAIN: NONE  
 SWIMOUT SIZE: (2) 18" X 5'-0"  
 EXIT RAILINGS: NONE  
 INTERIOR POOL FINISH: EXP. AGGR.  
 HANDHOLD TYPE: NONE  
 TURNOVER RATE: 3.57 HR (12 HR MAX)

## ADDITIONAL NOTES:

- TILE EDGE OF STEPS

## FINAL DRAWING

APPROVED FOR LAYOUT, DIMENSIONS &  
 EQUIPMENT. I / WE UNDERSTAND THAT ANY  
 CHANGES WILL INVOLVE AN ADDITIONAL CHARGE  
 OF \$350.00 FOR EVERY CHANGE MADE. ALSO NO  
 ENGINEERED PLANS WILL BE PROCESSED  
 WITHOUT ORIGINAL SIGNED SALES DRAWING. NO  
 EXCEPTIONS.

## SUPERIOR POOLS, SPAS AND WATERFALLS INC.

4350 W. SUNRISE BLVD. SUITE 103  
 PLANTATION, FL., 33313  
 Phone : (954) 321-9292  
 Fax : (954) 321-9190

NEMITZ RESIDENCE  
 1321 TYLER ST.  
 HOLLYWOOD, FL., 33019

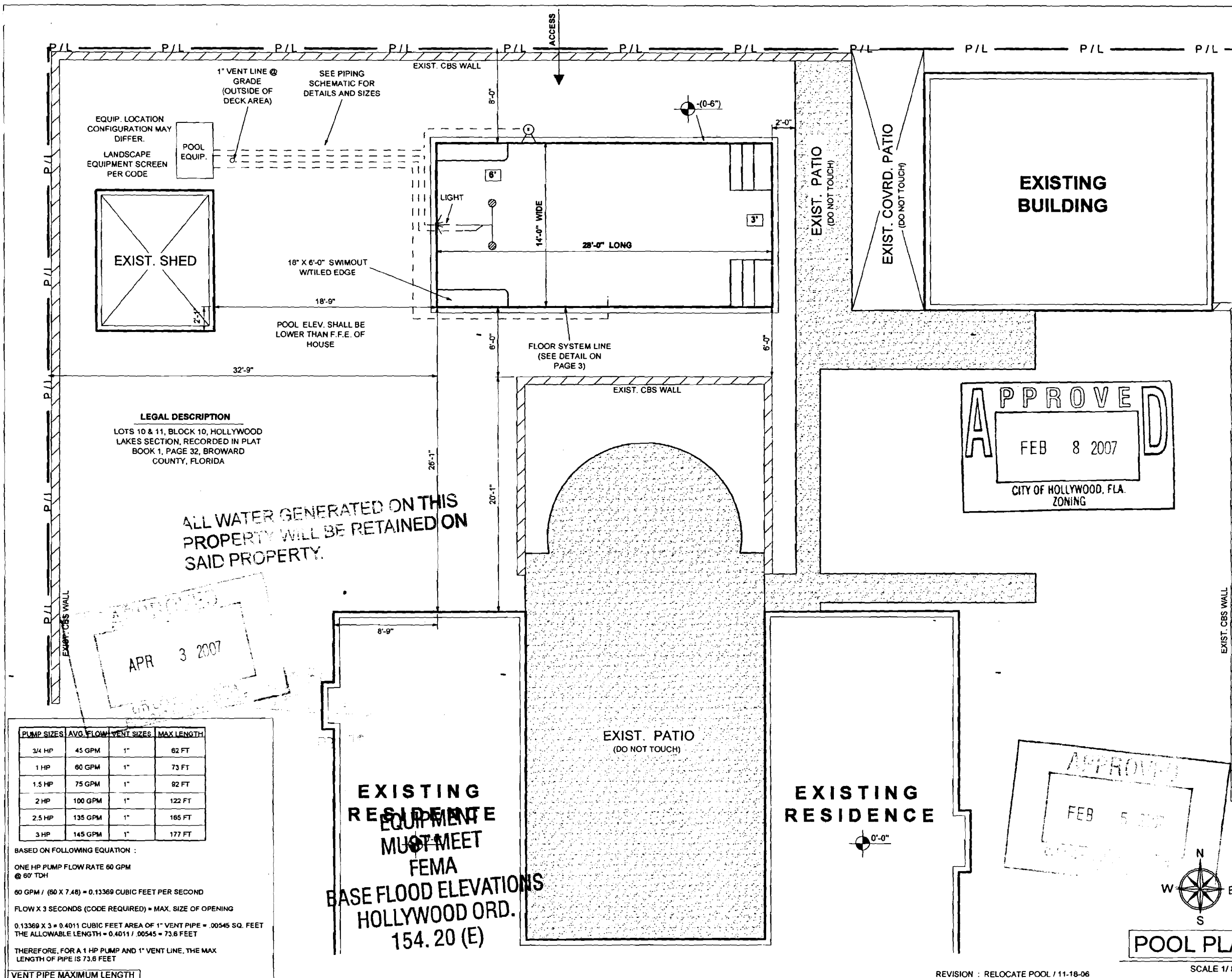
SP# 101206-DC

JAN 25 2007

ANGELA A. PRYMAS P.E. # 56087  
 127 ARLINGTON PL.  
 W. PALM BCH., FL., 33405

DATE: 10-31-06  
 ORDER#  
 B.D.D.#  
 1 OF 3

IN FLOOR SYSTEM CLEANING AND CIRCULATION



PUMP SIZES	AVG. FLOW	VENT SIZES	MAX LENGTH
3/4 HP	45 GPM	1"	82 FT
1 HP	60 GPM	1"	73 FT
1.5 HP	75 GPM	1"	92 FT
2 HP	100 GPM	1"	122 FT
2.5 HP	135 GPM	1"	165 FT
3 HP	145 GPM	1"	177 FT

BASED ON FOLLOWING EQUATION :

ONE HP PUMP FLOW RATE 60 GPM  
 @ 60' TDH

60 GPM / (60 X 7.48) = 0.13369 CUBIC FEET PER SECOND

FLOW X 3 SECONDS (CODE REQUIRED) = MAX. SIZE OF OPENING

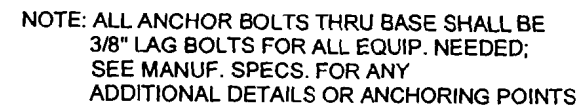
0.13369 X 3 = 0.4011 CUBIC FEET AREA OF 1" VENT PIPE = .00545 SQ. FEET  
 THE ALLOWABLE LENGTH = 0.4011 / .00545 = 73.6 FEET

THEREFORE, FOR A 1 HP PUMP AND 1" VENT LINE, THE MAX LENGTH OF PIPE IS 73.6 FEET

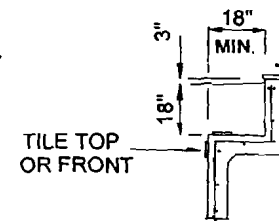
VENT PIPE MAXIMUM LENGTH

REVISION : RELOCATE POOL / 11-18-06

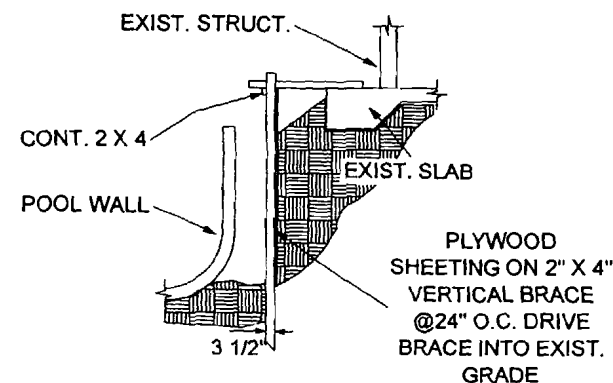
SCALE 1/8" = 1'-0"



## POOL EQUIPMENT ANCHORING



**SWIMOUT-BENCH DETAIL**



1. SHEETING WILL BE REQUIRED BETWEEN THE EXISTING PORCH OR RESIDENCE AND THE PROPOSED POOL. SHEETING SHALL REMAIN UNTIL THE CONCRETE ATTAINS INITIAL STRENGTH AND THE AREA IS BACKFILLED.

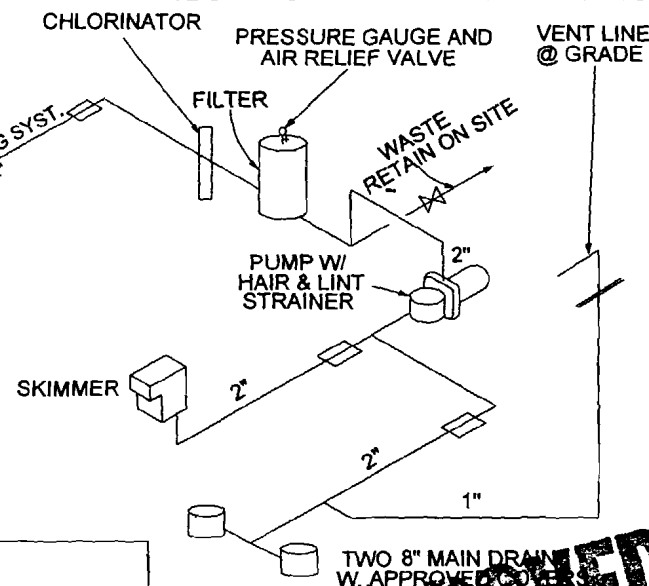
2. ABOVE REQUIREMENTS ARE MINIMUM AND ACTUAL SHEETING DESIGN SHOULD BE DETERMINED IN THE FIELD IN ACCORDANCE WITH THE SITE CONDITIONS.

3. A TEMPORARY GUTTER IS RECOMMENDED UNTIL AREA IS BACKFILLED AND CONCRETE IS IN PLACE.

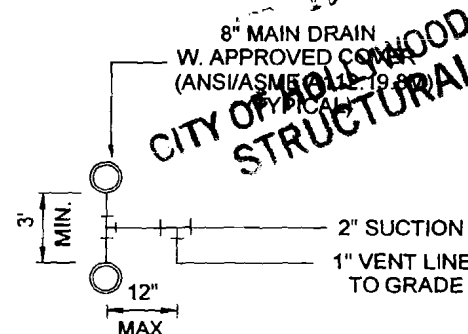
## SHEETING & SHORING DETAIL IF REQUIRED

**PER FBC 2004 R4101.17.1 THROUGH R4101.17.15 &  
424.2.17.1 THROUGH 424.2.17.15 A RESIDENTIAL  
SWIMMING POOL MUST MEET ONE OF THE  
BELOW SAFETY FEATURES :**

1. POOL MUST BE ISOLATED FROM ACCESS TO A HOME BY AN ENCLOSURE THAT MEETS THE POOL BARRIER REQ. OF S.515.29.
2. THE POOL MUST BE EQUIPPED W. AN APPROVED SAFETY POOL COVER.
3. ALL DOOR & WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MIN. SOUND PRESSURE RATING OF 85dB A AT 10 FEET.
4. ALL DOOR & WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL MUST BE EQUIPPED WITH A SELF CLOSING SELF LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 IN. ABOVE THE FLOOR.



## PIPING SCHEMATIC



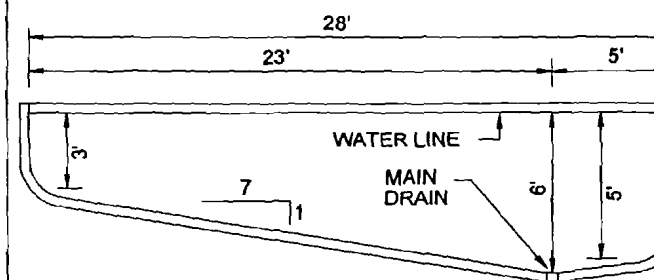
THE VENT SYSTEM WILL LIMIT THE TRANSMISSION  
OF SUCTION AT THE OUTLET TO A MAX. OF 4.5 IN.  
OF MERCURY, LABEL VENT AS;

"POOL SAFETY DEVICE DO NOT HANDLE"

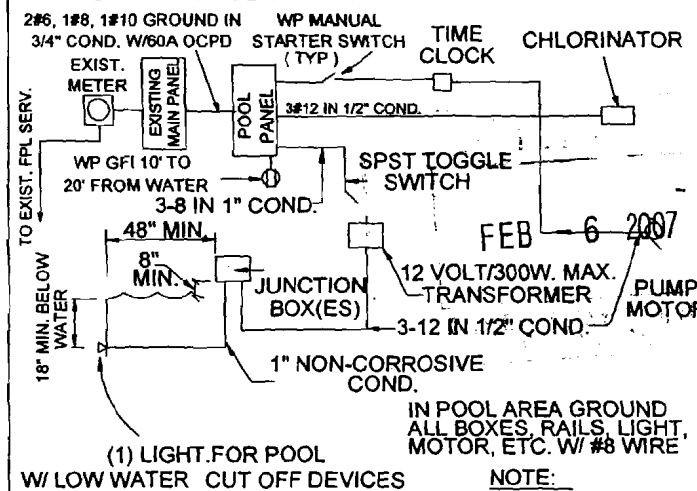
PER F.B.C. 2004/424.2.6.6.

### MAIN DRAIN DETAIL

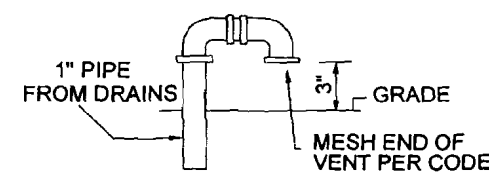
NO DIVING BOARD AND NO DIVING IS ALLOWED ON ANY POOL LESS THAN 8'-0" DEEP AND SPECIFICALLY DESIGNED FOR DIVING. THIS POOL IS NOT DESIGNED FOR DIVING.



## LONGITUDINAL POOL SECTION



## ELECTRICAL DIAGRAM



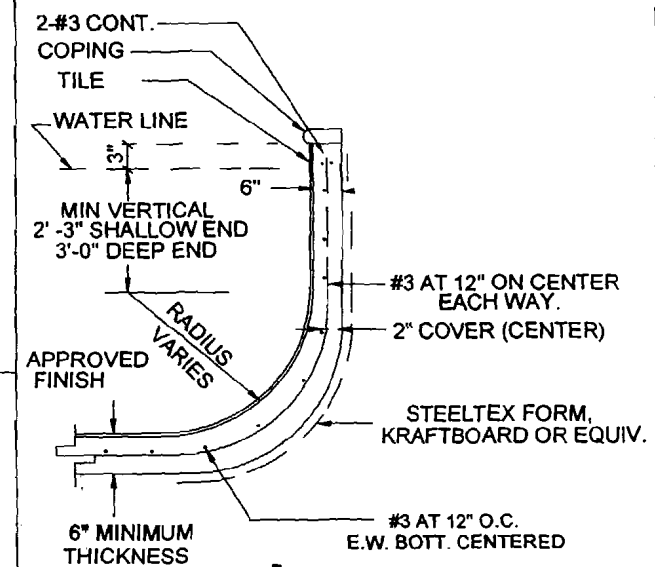
LABEL VENT AS;

"POOL SAFETY DEVICE- DO NOT HANDLE"

VENT LINE DETAIL

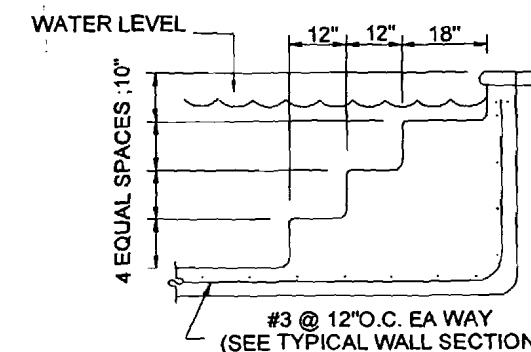
# EQUIPMENT MUST MEET FEMA

BASE FLOOD ELEVATIONS  
HOLLYWOOD ORD.  
154.20 (E)



( FOR DEPTHS UP TO 6'-0" )

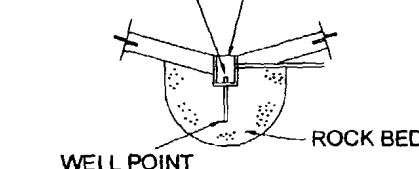
### TYPICAL WALL SECTION



(NOTE: STEP STEEL NOT REQUIRED)

### ENTRY STEP DETAIL

APPROVED (ANSI-ASME A112.19.8M)  
DRAIN COVERS TO BE  
FASTENED W. SCREWS



WELL POINT DETAIL

JAN 25 2007

ANGELA A. PRYMAS P.E. # 56087  
127 ARLINGTON PL..  
W. PALM BCH., FL. 33405

**SUPERIOR POOLS, SPAS AND  
WATERFALLS INC.**

NEMITZ RESIDENCE

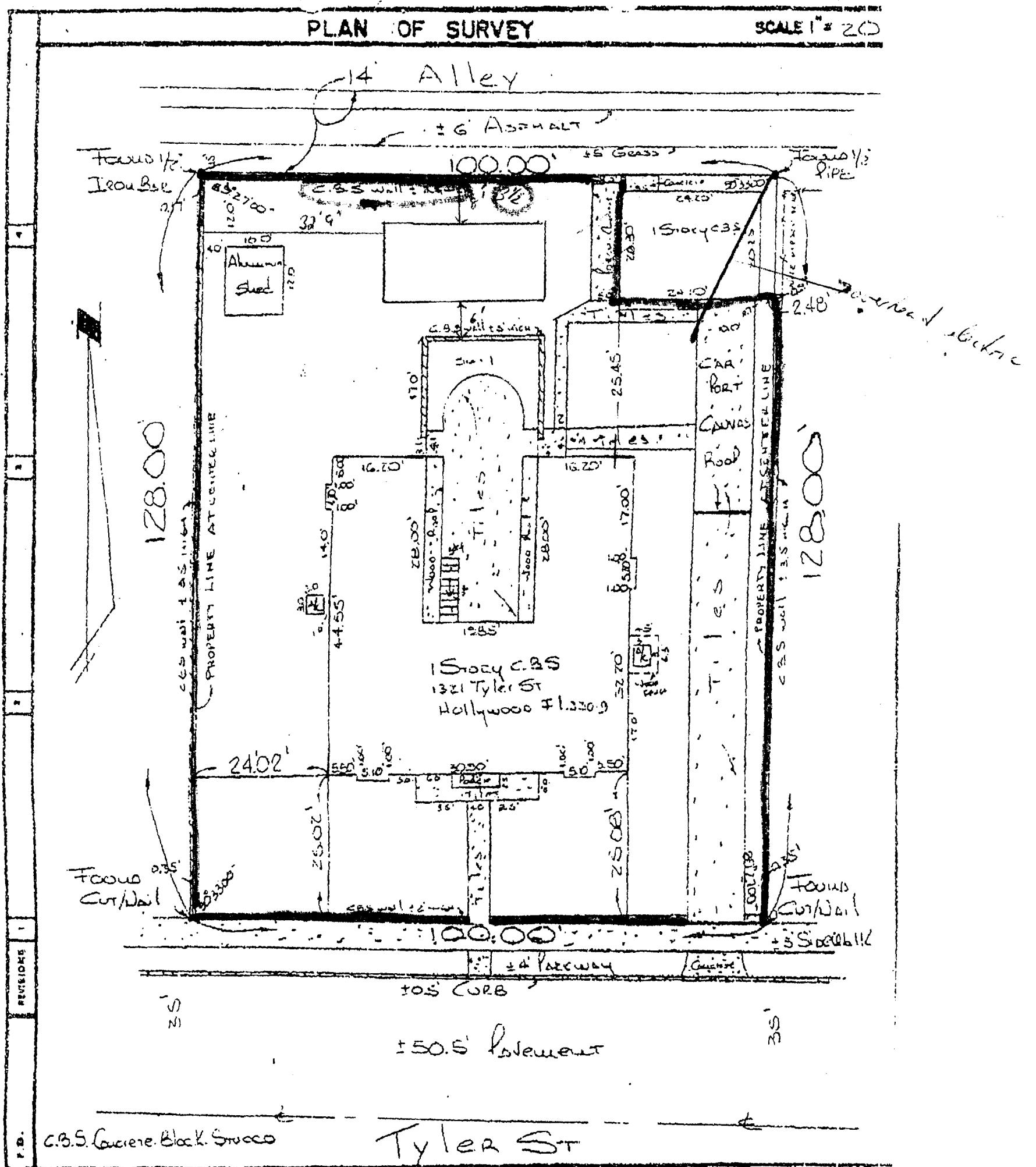
DATE: 10-31-06

ORDER#

B.D.D.# 0615078P  
SCANNED  
BUILD  
SHEET 2 OF 3

06150538P  
BUILDING DIV.

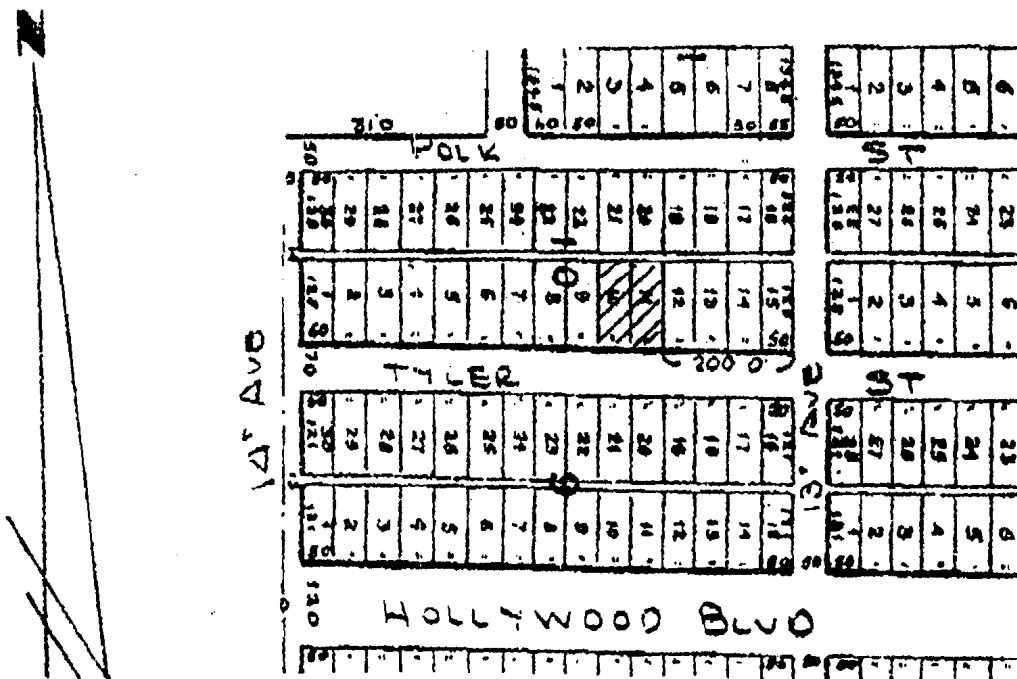
SCALE 1" = 20'



FEB - 6 2007



SCALE 1" = 300'



## GENERAL NOTES

- 1) OWNERSHIP IS SUBJECT TO OPINION OF TITLE.  
2) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.  
3) (2.22) DENOTES THOSE ELEVATIONS REFERRED TO N/A DATUM.  
4) LOCATION AND IDENTIFICATION OF UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED.  
5) THIS PROPERTY IS WITHIN THE LIMITS OF FLOOD ZONE AE  
6) No underground locations were done by this Company

DATE: November 13, 1998

APPLICABLE ZONING, UNDERGROUND, ZONING AND BUILDING SET BACKS, MUST BE CHECKED BY OWNER, ARCHITECT OR BUILDER BEFORE DESIGN OR CONSTRUCTION BEGINS ON THIS PROPERTY.

LAITHE

**Phone: (303) 442-2400**

I HEREBY CERTIFY: That the attached Plan of Survey of the above described property is true and correct to the best of my knowledge, information and belief, as recently surveyed and plotted under my direction, also that there are not above-ground encroachments other than those shown. This survey meets the minimum technical standards set forth by the Florida Board of Land Surveyors pursuant to Chapter 61G17-6, Florida Administrative Code, Section 472-027 Florida Statutes.

LAZARO D. ALONSO  
PROFESSIONAL LAND SURVEYOR  
CERTIFICATE NO. 3590  
STATE OF FLORIDA

THIS IS A BOUNDARY SURVEY

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL



## Permit Details

<b>Process #:</b>	<b>Permit #:</b> M0100767	<b>Master Permit:</b> M0100767
<b>Status:</b> Closed		
<a href="#">List All Subpermits</a>		

Site Information		
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900	
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$1,579.00	
<b>Lot:</b> 10	<b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> A/C - CENTRAL - REPLACEMENT	<b>Application Date:</b> 00/00/00
<b>Job Name:</b> NEMITZ	<b>Permit Date:</b> 06/20/01
<b>Film Number:</b> 0163413	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$44.39

Applicant / Contact Information
<b>Name:</b> SEARS ROEBUCK & CO
<b>Address:</b> 6231 NW 17 ST SUNRISE, FL

Property Owner Information
<b>Name:</b> OULIE, BERNARD &
<b>Address:</b>

Contractor Information
<b>Name:</b> SEARS ROEBUCK & CO ( <a href="#">Permits + Details</a> )
<b>Address:</b> 6231 NW 17 ST SUNRISE, FL





# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

## Letter of Transmittal

To: City of Hollywood  
2600 Hollywood Blvd.  
Hollywood, FL 33022-4807  
Phone: (954) 921-3300 • Fax: (954) 921-3037

Date: 5/30/01

Process Number: 17011

Project/Reference: \_\_\_\_\_

For Review By: (check ☒ all applicable spaces)

Division: ☐ Building ☐ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage

Discipline: ☐ Structural ☐ Electrical ☐ Plumbing ☒ Mechanical ☐ Reserve Capacity Charges

From: Sears

Address: 6801 W. Sunrise Blvd

Plantation, FL 33313

Contact: Will English

Phone: (561) 482-4293 Fax: (561) 477-9922

PLANS SUBMITTED: (check ☒)

☐ Architectural  
sheet # \_\_\_\_\_

☐ Fire  
sheet # \_\_\_\_\_

☐ Structural  
sheet # \_\_\_\_\_

☐ Zoning  
sheet # \_\_\_\_\_

☐ Electrical  
sheet # \_\_\_\_\_

☐ Engineering  
sheet # \_\_\_\_\_

☐ Mechanical  
sheet # \_\_\_\_\_

☐ RCC  
sheet # \_\_\_\_\_

☐ Plumbing  
sheet # \_\_\_\_\_

☐ Drainage  
sheet # \_\_\_\_\_

☐ Water  
sheet # \_\_\_\_\_

☐ Sewer  
sheet # \_\_\_\_\_

WE ARE SUBMITTING TO YOU (check ☒)

Via ☒ hand delivery ☐ Postal delivery  
☐ special delivery ☐ fax copy

☐ initial (original) sets of plans

☐ corrected (non-permitted) plans

☐ revised (permitted) plans

☐ shop drawings: ☐ structural steel

☐ wood trusses

☐ glass/glazing

☐ product approvals

☐ fire protection

☐ spot survey

☐ final survey

☐ energy (insulation) certification

☐ special inspector letter

☐ soil report

☐ inspection reports

☐ energy calcs

☐ site plans

☐ other

Special Instructions:

For Departmental Use Only:

Received by: C. Peltre Date: 5/30/01



CITY OF HOLLYWOOD, FLORIDA  
**PERMIT APPLICATION**



ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135

DATE \_\_\_\_\_ TAX FOLIO # 1214-01-190

DESCRIPTION: LOT 10 & 11 BLOCK 10 SUBDIVISION Hollywood Lakes

JOB NAME Rita Nemitz PHONE # 954-929-0821

JOB ADDRESS 1321 Tyler St. CITY OF HOLLYWOOD STATE FL ZIP 33019

DETAILED WORK DESCRIPTION: 2 1/2 Ton 10 seer Cond. c/o only on existing  
= slab.

CONTRACTOR'S NAME Sears SQ.FT. \_\_\_\_\_ ESTIMATED VALUE: \$ 1579.00

CONTRACTOR'S ADDRESS 6801 W. Sunrise Blvd. Plantation PHONE # (Will) 561-482-4293 STATE FL ZIP 33313

CERTIFICATE OF COMPETENCY # CAC013320 FAX # \_\_\_\_\_

CONTRACTOR'S STATE CERTIFICATION OR REGISTRATION NO. \_\_\_\_\_

OWNER OR FEE SIMPLE TITLE HOLDER'S NAME Same

OWNER OR FEE SIMPLE TITLE HOLDER'S ADDRESS \_\_\_\_\_

BONDING COMPANY n/a

BONDING COMPANY ADDRESS \_\_\_\_\_

ARCHITECT/ENGINEER'S NAME n/a PHONE # \_\_\_\_\_

ARCHITECT/ENGINEER'S ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

MORTGAGE LENDER'S NAME n/a

MORTGAGE LENDER'S ADDRESS \_\_\_\_\_

ELECTRICAL CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_.

Notary Public

Value \$ \_\_\_\_\_

Notarized Signature of Qualifier

MECHANICAL CONTRACTOR: Sears

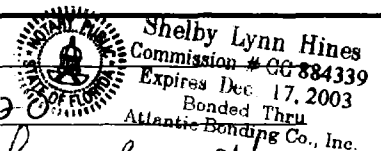
Phone # 1-800-659-1179 LICENSE # CAC013320

Sworn before me this 26 of may, 192001 Shelby Lynn Hines

Notary Public

Value \$ 1579.00

Notarized Signature of Qualifier



PLUMBING CONTRACTOR: \_\_\_\_\_  
Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_\_.  
Notary Public  
Value \$ \_\_\_\_\_  
Notarized Signature of Qualifier \_\_\_\_\_

ROOFING CONTRACTOR: \_\_\_\_\_  
Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_\_.  
Notary Public  
Value \$ \_\_\_\_\_  
Notarized Signature of Qualifier \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_\_.  
Notary Public  
Value \$ \_\_\_\_\_  
Notarized Signature of Qualifier \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, BOILERS, TANKS, AIR CONDITIONERS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

#### DISCLOSURE STATEMENT

Owners of property when acting as their own contractor and providing all material supervision themselves, when building or improving farm outbuildings or one-family or two-family residences on such property for the occupancy of use of such owners and not offered for sale or lease, or building or improving commercial building at a cost of under \$25,000 on such property for the occupancy or use of such owners and not offered for sale or lease. In an action brought under this part proof of the sale or lease, or offering for sale or lease, of more than one such structure by the owner-builder within 1 year after completion of same is prima facie evidence that the construction was undertaken for purposes of sale or lease. This subsection does not exempt any person who is employed by such owner and who acts in the capacity of a contractor.

SIGNATURE Rifat Nemethy  
Owner or Agent

DATE 5/26/01

Shelby Lynn Hines  
NOTARY as to Owner or Agent

My Commission Expires \_\_\_\_\_  
Commission # CG 884339  
Expires Dec. 17, 2003  
Bonded Thru \_\_\_\_\_  
Atlantic Bonding Co., Inc.

SIGNATURE Daniel Nayda  
Prime Contractor (Owner/Builder)

DATE 5/26/01

Shelby Lynn Hines  
NOTARY as to Contractor

My Commission Expires \_\_\_\_\_  
Commission # CG 884339  
Expires Dec. 17, 2003  
Bonded Thru \_\_\_\_\_  
Atlantic Bonding Co., Inc.

Within Fifteen (15) working days after the plans are submitted and accepted for a building permit, the applicant will be notified in writing that a permit is ready for issuance or that additional information is required. Sixty (60) calendar days after the date of such notification, where such additional information has not been submitted or the permit has not been purchased, the applicant and/or the permit shall become null and void. Once the permit application package has become null and void it will be discarded by the Building Division, S.F.B.C. 302.1f.

#### OFFICE USE ONLY

MASTER PERMIT # \_\_\_\_\_ MASTER PROCESS # 17011

PROCESS FEE PAID \$ \_\_\_\_\_ APPLICATION APPROVED BY CP

Permit Officer

**HISTORICAL**

**AREA**

**PLEASE DO REVIEW**

**AND**

**COMPUTER**

CITY OF HOLLYWOOD  
BUILDING DIVISION  
2001 MAY 30 P 3:14

**DESIGN REVIEW**

Date: \_\_\_\_\_ Reviewer: \_\_\_\_\_

Property Address: \_\_\_\_\_

☐ APPROVED AS SHOWN

☐ APPROVED WITH CONDITIONS  
(Conditions on back of sheet)

☐ DENIED



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

## Building Division

Armando Linares P.E.  
Chief Building Official

### AIR CONDITIONING REPLACEMENT SHEET

JOB NAME: Nemitz PROCESS #: \_\_\_\_\_

ADDRESS: 1321 Tyler St

#### EXISTING EQUIPMENT

PACKAGE UNIT MODEL #: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

CONDENSOR MODEL # BTN 730A 100

MINIMUM CIRCUIT AMPS: 19 MAX. OVERCURRENT PROTECTION: 30

A.H.U. MODEL # \_\_\_\_\_ HEAT STRIP K.W.: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

#### NEW EQUIPMENT

PACKAGE UNIT MODEL #: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

CONDENSOR MODEL # TTB 030 D100A

MINIMUM CIRCUIT AMPS: 18 MAX. OVERCURRENT PROTECTION: 30

A.H.U. MODEL #: \_\_\_\_\_ HEAT STRIP K.W.: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

(S).E.E.R. 10.5

(1) SHOW WIRE SIZE 10 TYPE: \_\_\_\_\_ (TW OR THW)

(2) SIZE OF DISCONNECT. CIRCUIT BREAKER OR FUSE 30

(3) DISCONNECT READILY ACCESSIBLE. YES ☒ NO ☐

MECH AC REP SSO 05 96

## Permit Details

<b>Process #:</b>	<b>Permit #:</b> M0000819	<b>Master Permit:</b> M0000819
<b>Status:</b> Closed		
<a href="#"><u>List All Subpermits</u></a>		

Site Information		
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900	
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$1,465.00	
<b>Lot:</b> 10	<b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> A/C - CENTRAL - REPLACEMENT	<b>Application Date:</b> 00/00/00
<b>Job Name:</b> NEMITZ	<b>Permit Date:</b> 05/31/00
<b>Film Number:</b> 0209186	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$42.68

Applicant / Contact Information
<b>Name:</b> SEARS ROEBUCK & CO
<b>Address:</b> 6231 NW 17 ST SUNRISE, FL

Property Owner Information
<b>Name:</b> OULIE, BERNARD &
<b>Address:</b>

Contractor Information
<b>Name:</b> SEARS ROEBUCK & CO ( <a href="#"><u>Permits + Details</u></a> )
<b>Address:</b> 6231 NW 17 ST SUNRISE, FL



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

## Letter of Transmittal

To: City of Hollywood  
2600 Hollywood Blvd.  
Hollywood, FL 33022-4807  
Phone: (954) 921-3300 • Fax: (954) 921-3037

Date: 4/20/00  
Process Number: 96892  
Project Reference: \_\_\_\_\_

For Review By: (check ☒ all applicable spaces)

Division: ☐ Building ☐ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage  
Discipline: ☐ Structural ☐ Electrical ☐ Plumbing ☒ Mechanical ☐ Reserve Capacity Charges

From: SEARS  
Address: 8000 W BROW BLVD  
PLANT, FL 33388  
Contact: JAN HUDSON  
Phone: (1) 772 4145 Fax: ( )

### PLANS SUBMITTED: (check ☒ )

<input type="checkbox"/> Architectural sheet # _____	<input type="checkbox"/> Fire sheet # _____
<input type="checkbox"/> Structural sheet # _____	<input type="checkbox"/> Zoning sheet # _____
<input type="checkbox"/> Electrical sheet # _____	<input type="checkbox"/> Engineering sheet # _____
<input type="checkbox"/> Mechanical sheet # _____	<input type="checkbox"/> RCC sheet # _____
<input type="checkbox"/> Plumbing sheet # _____	<input type="checkbox"/> Drainage sheet # _____
<input type="checkbox"/> Water sheet # _____	<input type="checkbox"/> Sewer sheet # _____

### WE ARE SUBMITTING TO YOU (check ☒ )

Via ☒ hand delivery ☐ Postal delivery  
☐ special delivery ☐ fax copy

- ☐ initial (original) sets of plans
- ☐ corrected (non-permitted) plans
- ☐ revised (permitted) plans
- ☐ shop drawings: ☐ structural steel
  - ☐ wood trusses
  - ☐ glass/glazing
  - ☐ product approvals
  - ☐ fire protection
- ☐ spot survey
- ☐ final survey
- ☐ energy (insulation) certification
- ☐ special inspector letter
- ☐ soil report
- ☐ inspection reports
- ☐ energy calcs
- ☐ site plans PERMIT & 2 AC REPC.
- ☐ other COPIES.

### Special Instructions:

For Departmental Use Only:

Received by: C. Maffus Date: 4/20/00

PLUMBING CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_.

Notary Public

Value \$ \_\_\_\_\_

Notarized Signature of Qualifier \_\_\_\_\_

ROOFING CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_.

Notary Public

Value \$ \_\_\_\_\_

Notarized Signature of Qualifier \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_

Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_.

Notary Public

Value \$ \_\_\_\_\_

Notarized Signature of Qualifier \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Hollywood, Florida. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, BOILERS, TANKS, AIR CONDITIONERS, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

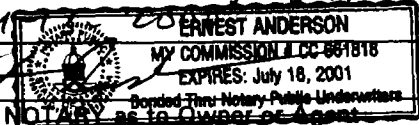
#### DISCLOSURE STATEMENT

Owners of property when acting as their own contractor and providing all material supervision themselves, when building or improving farm outbuildings or one-family or two-family residences on such property for the occupancy of use of such owners and not offered for sale or lease, or building or improving commercial building at a cost of under \$25,000 on such property for the occupancy or use of such owners and not offered for sale or lease. In an action brought under this part proof of the sale or lease, or offering for sale or lease, of more than one such structure by the owner-builder within 1 year after completion of same is prima facie evidence that the construction was undertaken for purposes of sale or lease. This subsection does not exempt any person who is employed by such owner and who acts in the capacity of a contractor.

SIGNATURE \_\_\_\_\_

N 532-720 Owner or Agent

DATE \_\_\_\_\_



SIGNATURE \_\_\_\_\_

Prime Contractor (Owner/Builder)

DATE \_\_\_\_\_

4-21-00  
Janice L. Hudson

NOTARY as to Contractor  
Janice L. Hudson  
Commission # CC 753107  
Expires July 31, 2002  
BONDED THRU  
ATLANTIC BONDING CO., INC.

My Commission Expires \_\_\_\_\_

My Commission Expires 7-18-2001

Within Fifteen (15) working days after the plans are submitted and accepted for a building permit, the applicant will be notified in writing that a permit is ready for issuance or that additional information is required. Sixty (60) calendar days after the date of such notification, where such additional information has not been submitted or the permit has not been purchased, the applicant and/or the permit shall become null and void. Once the permit application package has become null and void it will be discarded by the Building Division, S.F.B.C. 302.1f.

#### OFFICE USE ONLY

MASTER PERMIT # \_\_\_\_\_

MASTER PROCESS # \_\_\_\_\_

PROCESS FEE PAID \$ \_\_\_\_\_

APPLICATION APPROVED BY \_\_\_\_\_

Permit Officer

CITY OF HOLLYWOOD, FLORIDA  
**PERMIT APPLICATION**



ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135

DATE \_\_\_\_\_ TAX FOLIO # 112140119000  
DESCRIPTION: LOT 10 BLOCK 10 SUBDIVISION Hollywood Lks  
JOB NAME Rita Nemitz PHONE # 954 929 3705  
JOB ADDRESS 1321 Tyler St CITY OF HOLLYWOOD STATE FL ZIP 33019  
DETAILED WORK DESCRIPTION: Condensation <sup>only</sup> replacement

\_\_\_\_\_ SQ.FT. \_\_\_\_\_ ESTIMATED VALUE: \$ 1465.00  
CONTRACTOR'S NAME Sears PHONE # JAN 772-4145  
CONTRACTOR'S ADDRESS 7000 W Broward Blvd Pkwy P194 Fort Lauderdale STATE FL ZIP 33019  
CERTIFICATE OF COMPETENCY # CAC 013320 FAX # 424 8476  
CONTRACTOR'S STATE CERTIFICATION OR REGISTRATION NO. NA  
OWNER OR FEE SIMPLE TITLE HOLDER'S NAME NA  
OWNER OR FEE SIMPLE TITLE HOLDER'S ADDRESS /  
BONDING COMPANY NA  
BONDING COMPANY ADDRESS /  
ARCHITECT/ENGINEER'S NAME NA PHONE # \_\_\_\_\_  
ARCHITECT/ENGINEER'S ADDRESS / CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_  
MORTGAGE LENDER'S NAME NA  
MORTGAGE LENDER'S ADDRESS /

CITY OF HOLLYWOOD  
BUILDING DIVISION  
JAN 21 PM 3:37

ELECTRICAL CONTRACTOR: \_\_\_\_\_  
Phone # \_\_\_\_\_ LICENSE # \_\_\_\_\_  
Sworn before me this \_\_\_\_\_ of \_\_\_\_\_, 19\_\_\_\_.  
Notary Public  
Value \$ \_\_\_\_\_  
Notarized Signature of Qualifier \_\_\_\_\_

MECHANICAL CONTRACTOR: SEARS

Phone # JAN 772-4145 LICENSE # CAC 013320  
Sworn before me this 21 of APRIL, 1900.  
Notary Public  
Value \$ 1465.00  
Notarized Signature of Qualifier \_\_\_\_\_

Janice L. Hudson  
Commission # CC753107  
Expires July 31, 2002  
BONDED THRU  
ATLANTIC BONDING CO., INC.  
Notary Public





# CITY OF HOLLYWOOD, FLORIDA

## DEPARTMENT OF DEVELOPMENT ADMINISTRATION

### Building Division

### AIR CONDITIONING REPLACEMENT SHEET

JOB NAME: Rite Nentz PROCESS #: \_\_\_\_\_

ADDRESS: 1321 Tyler St

### EXISTING EQUIPMENT

PACKAGE UNIT MODEL #: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

CONDENSOR MODEL # BTN 720 100 A

MINIMUM CIRCUIT AMPS: 17.5 MAX. OVERCURRENT PROTECTION: 30

A.H.U. MODEL # N/A HEAT STRIP K.W.: 1/2

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

### NEW EQUIPMENT

PACKAGE UNIT MODEL #: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

CONDENSOR MODEL # TTB030C100A

MINIMUM CIRCUIT AMPS: 18 MAX. OVERCURRENT PROTECTION: 30

A.H.U. MODEL # \_\_\_\_\_ HEAT STRIP K.W.: \_\_\_\_\_

MINIMUM CIRCUIT AMPS: \_\_\_\_\_ MAX. OVERCURRENT PROTECTION: \_\_\_\_\_

(S)E.E.R. 11.4

(1) SHOW WIRE SIZE: 10 TYPE: \_\_\_\_\_ (TW OR THW)

(2) SIZE OF DISCONNECT. CIRCUIT BREAKER OR FUSE: 30

(3) DISCONNECT READILY ACCESSIBLE: YES ☒ NO ☐

**HISTORICAL  
AREA  
PLEASE DO REVIEW  
AND  
COMPUTER**

**DESIGN REVIEW**

Date: \_\_\_\_\_

REVIEWER: \_\_\_\_\_

Property Address: \_\_\_\_\_

☐ APPROVED AS SHOWN

☐ APPROVED WITH CONDITIONS  
(Conditions on back of sheet)

☐ DENIED

SHEET \_\_\_\_\_ OF \_\_\_\_\_



# CITY of HOLLYWOOD, FLORIDA

DEPARTMENT OF DEVELOPMENT ADMINISTRATION

CITY OF HOLLYWOOD  
BUILDING DIVISION

## Letter of Transmittal

2000 MAY 31 AM 11:38

To: City of Hollywood  
2600 Hollywood Blvd.  
Hollywood, FL 33022-4807  
Phone: (954) 921-3300 • Fax: (954) 921-3037

Date: 5/31/00

Process Number: 96892

Project/Reference: \_\_\_\_\_

For Review By: (check ☒ all applicable spaces)

Division: ☐ Building ☒ Zoning ☐ Engineering ☐ Fire ☐ Water/Sewer ☐ Drainage

Discipline: ☐ Structural ☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Reserve Capacity Charges

From: SEARS

Address: 8000 W BROW BLVD

PLANT FC 33388

Contact: JAN HUDSON

Phone: ( ) 772-4145 Fax: ( )

### PLANS SUBMITTED: (check ☒)

☐ Architectural  
sheet # \_\_\_\_\_

☐ Fire  
sheet # \_\_\_\_\_

☐ Structural  
sheet # \_\_\_\_\_

☐ Zoning  
sheet # \_\_\_\_\_

☐ Electrical  
sheet # \_\_\_\_\_

☐ Engineering  
sheet # \_\_\_\_\_

☐ Mechanical  
sheet # \_\_\_\_\_

☐ RCC  
sheet # \_\_\_\_\_

☐ Plumbing  
sheet # \_\_\_\_\_

☐ Drainage  
sheet # \_\_\_\_\_

☐ Water  
sheet # \_\_\_\_\_

☐ Sewer  
sheet # \_\_\_\_\_

### WE ARE SUBMITTING TO YOU (check ☒)

Via ☒ hand delivery ☐ Postal delivery  
☐ special delivery ☐ fax copy

☒ initial (original) sets of plans

☐ corrected (non-permitted) plans

☐ revised (permitted) plans

☐ shop drawings: ☐ structural steel

☐ wood trusses

☐ glass/glazing

☐ product approvals

☐ fire protection

☐ spot survey

☐ final survey

☐ energy (insulation) certification

☐ special inspector letter

☐ soil report

☐ inspection reports

☐ energy calcs

☐ site plans

☐ other DRAWING - WHERE AC IS LOCATED

### Special Instructions:

For Departmental Use Only:

Received by: C. Martin Date: 5/31/00

JOB INFO: RITA NEMITZ  
1321 TYLER ST.  
HWO. FC 33019

PROCESS # 96892

N

CITY OF HOLLYWOOD  
BUILDING DIVISION  
2000 MAY 31 A 11:38

PLACE ON EXISTING  
SLAB ~~QTH~~  
5-31-00

QTH

Wood  
Frame

2

M

S

~~HOLLYWOOD BLVD~~  
TYLER STREET

## Permit Details

<b>Process #:</b>	<b>Permit #:</b> M9800695	<b>Master Permit:</b> M9800695
<b>Status:</b> Closed		
<a href="#"><u>List All Subpermits</u></a>		

Site Information		
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900	
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$1,430.00	
<b>Lot:</b> 10	<b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> A/C - CENTRAL - REPLACEMENT	<b>Application Date:</b> 00/00/00
<b>Job Name:</b> BOLLER,DAWN	<b>Permit Date:</b> 04/24/98
<b>Film Number:</b> 9901063	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$42.15

Applicant / Contact Information
<b>Name:</b> BOLLER, DAWN
<b>Address:</b>

Property Owner Information
<b>Name:</b> BOLLER, DAWN
<b>Address:</b>

Contractor Information
<b>Name:</b>
<b>Address:</b>

10/80  
10/89  
2-5-99  
Shila  
Recommend  
to P.O.  
John  
E.H.W.

**E.H.W.**

**E.H. WHITSON AIR CONDITIONING**

*"Serving South Florida Since 1936"*

423 South 21st Avenue  
Hollywood, Florida 33020

CA 030638  
CL 041711  
LC 0801583

Tuesday, January 26, 1999

Mr. Mike Von Hofen  
City of Hollywood - Building Department  
2600 Hollywood Boulevard  
Hollywood, Florida 33020

M9800695  
Boller  
9901063

**RE: PERMIT # M9800695 - BERNARD OULIE (NEW OWNER),  
DAWN BOLLER (PREVIOUS OWNER)**

Dear Mr. Von Hofen:

We have tried numerous times to contact Mr. Oulie and Ms. Boller over the telephone and also by certified mail (article # Z 202 315 939) in regards to the above referenced mechanical permit. It is apparent at this point that this customer is not willing to assist us in finalizing this permit.

We are requesting your assistance at this time. Please transfer the above mentioned permit into the property owners responsibility.

Thank you in advance for all your help. If I can be of further assistance, please do not hesitate to contact me.

Sincerely,  
E.H. Whitson Air Conditioning

  
John S. Lipka  
President

**PLEASE INQUIRE ABOUT OUR PLUMBING & ELECTRICAL SERVICES**

FORWARD 1540000000  
DATE 1/28/99  
FAX 1982 022 0000

Mail Address: info@ehwhitson.com  
Web Site: www.ehwhitson.com

**E.H.W.**

**E. H. WHITSON AIR CONDITIONING**

*"Serving South Florida Since 1936"*

423 South 21st Avenue  
Hollywood, Florida 33020

CA0039635

CI0041711

LC0001583

December 9, 1998

Bernard Oulie  
1321 Tyler Street  
Hollywood, Florida 33019

**RE: ARTICLE # Z 202 315 939  
PERMIT # M9800695  
1321 TYLER STREET HOLLYWOOD, FLORIDA 33019**

Dear Mr. Oulie

Please contact our office at your earliest convenience, to schedule your final inspection for the new air conditioning unit we installed in your home. We have made several attempts to contact you by telephone, with no success. It is very important that we finalize this permit as soon as possible.

If a portion of the unit is installed inside your house, you will be required to be at home for this inspection. The inspections are scheduled twenty four (24) hours in advance, and are usually performed between the hours of 8AM - 4PM.

Thank you for your prompt attention to this matter, and I look forward to hearing from you soon.

Sincerely,  
E. H. Whitson Air Conditioning

John S. Lipka  
President

**PLEASE INQUIRE ABOUT OUR PLUMBING & ELECTRICAL SERVICES**

FORWARD: 12/10/98  
FAX: 305-966-1111  
FAX: 305-966-1111

E-Mail Address: info@ehwhitson.com  
Web Site: www.ehwhitson.com

Z 202 315 939

US Postal Service  
**Receipt for Certified Mail**  
 No Insurance Coverage Provided.  
 Do not use for International Mail (See reverse)

Sent to  
 Bernard Oulie

Street & Number  
 1321 Tyler Street

Post Office, State, & ZIP Code  
 Hollywood, FL. 33019

Postage \$ 3.22

Certified Fee 1.35

Special Delivery Fee

Restricted Delivery Fee

Return Receipt for Merchandise 1.00

Whom & Date Delivered

Return Receipt Sent to Addressee

Date & Addressee

TOTAL Postage & Fees \$ 5.27

Postmark of Date  
**RETURN RECEIPT REQUESTED**

3300 FL MAIN  
 10 OCT 1995

Is your RETURN ADDRESS completed on the reverse side?

**SENDER:**

- Complete items 1 and/or 2 for additional services.
- Complete items 3, 4a, and 4b
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered

I also wish to receive the following services (for an extra fee):

1. ☐ Addressee's Address
2. ☐ Restricted Delivery

Consult postmaster for fee.

## 3. Article Addressed to:

 Bernard Oulie  
 1321 Tyler Street  
 Hollywood, Florida 33019

## 4a. Article Number

Z 202 315 939

## 4b. Service Type

- |  |                                    |
|--|------------------------------------|
| <input type="checkbox"/> Registered                                | <input type="checkbox"/> Certified |
| <input type="checkbox"/> Express Mail                              | <input type="checkbox"/> Insured   |
| <input checked="" type="checkbox"/> Return Receipt for Merchandise | <input type="checkbox"/> COD       |

## 7. Date of Delivery

## 5. Received By: (Print Name)

## 8. Addressee's Address (Only if requested and fee is paid)

## 6. Signature (Addressee or Agent)

 X 

Thank you for using Return Receipt Service.



Z 202 315 939

US Postal Service

**Receipt for Certified Mail**

No Insurance Coverage Provided

Do not use for International Mail (See reverse)

Sent to <b>Bernard Oulie</b>	
Street & Number <b>1321 Tyler Street</b>	
Post Office State & ZIP Code <b>Hollywood, FL. 33019</b>	
Postage <b>\$ 3.82</b>	
Certified Fee <b>1.35</b>	
Special Delivery	
Restricted Delivery Fee	
Return Receipt for Merchandise	
Whom & Date Delivered	
Return Receipt for Merchandise	
Fee & Address	
TOTAL Postage & Fees	<b>\$ 2.77</b>

Postmark or Date  
**RETURN RECEIPT  
REQUESTED**

**SENDER:**

- Complete items 1 and/or 2 for additional services.
- Complete items 3, 4a, and 4b
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):

- ☐ Addressee's Address
- ☐ Restricted Delivery

Consult postmaster for fee.

**3 Article Addressed to:**

**Bernard Oulie  
1321 Tyler Street  
Hollywood, Florida 33019**

**4a. Article Number**

**Z 202 315 939**

**4b. Service Type**

- |  |                                    |
|--|------------------------------------|
| <input type="checkbox"/> Registered                                | <input type="checkbox"/> Certified |
| <input type="checkbox"/> Express Mail                              | <input type="checkbox"/> Insured   |
| <input checked="" type="checkbox"/> Return Receipt for Merchandise | <input type="checkbox"/> COD       |

**7. Date of Delivery****5 Received By (Print Name)****8 Addressee's Address (Only if requested and fee is paid)****6 Signature (Addressee or Agent)**

**X** 

Is your RETURN ADDRESS completed on the reverse side?

Thank you for using Return Receipt Service.

## Permit Details

<b>Process #:</b>	<b>Permit #:</b> E9302829	<b>Master Permit:</b> E9302829
<b>Status:</b> Closed		
<a href="#"><u>List All Subpermits</u></a>		

Site Information		
<b>Address:</b> 1321 TYLER ST	<b>Folio#:</b> 514214011900	
<b>Sub-division:</b> HOLLYWOOD LAKES SECTION	<b>Value:</b> \$600.00	
<b>Lot:</b> 10	<b>Block:</b> 10	<b>Sq Ft:</b> 0

Permit Information	
<b>Application Type:</b> ELECTRICAL WORK	<b>Application Date:</b> 00/00/00
<b>Job Name:</b> NAGELBUSH,J & MIRIAM	<b>Permit Date:</b> 08/27/93
<b>Film Number:</b> 9306063	<b>CO/CC Date:</b>
	<b>Total Fees:</b> \$30.35

Applicant / Contact Information
<b>Name:</b> MR ELECTRIC
<b>Address:</b> 4053 PETERS RD PLANTATION, FL

Property Owner Information
<b>Name:</b> NAGELBUSH,J & MIRIAM
<b>Address:</b>

Contractor Information
<b>Name:</b> MR ELECTRIC ( <a href="#"><u>Permits + Details</u></a> )
<b>Address:</b> 4053 PETERS RD PLANTATION, FL

INFO MISSING FROM SMALL FILM

PERMIT #

93-06055-06069

ADDRESS

MISSING



INFO MISSING FROM LARGE FILM

PERMIT #

9306051 TO

9306069

ADDRESS

missing



PROPOSED ADDITION/ REMODELING TO:  
1321 TYLER ST.  
Hollywood, Florida 33019



ARCHITECT

**3**  
**DESIGN**  
ARCHITECTURE  
3260 NorthWest 7th Street, Miami, FL 33125  
P: 305.438.9377 | F: 305.438.9379

DRAWN BY:
REVISIONS:

AA0003569  
ANTHONY LEON  
0016752  
**3**  
**DESIGN**  
ARCHITECTURE  
3260 Northwest 7th Street, Miami, FL 33125  
P: 305-438-9377 | F: 305-438-9379

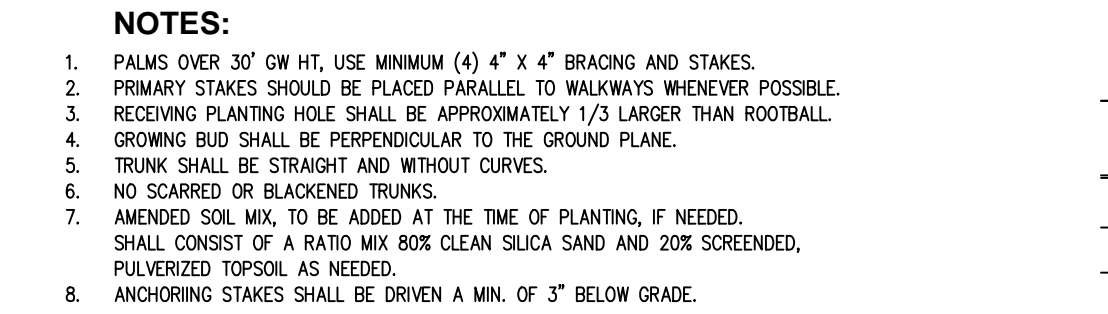
SEAL
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PROPOSED ADDITION AT  
1321 TYLER ST  
HOLLYWOOD, FL 33019

THESE PLANS ARE FOR BUILDING  
DEPARTMENT REVIEW ONLY. THEY ARE NOT  
TO BE CONSTRUED AS CONSTRUCTION  
DOCUMENTS UNTIL ALL BUILDING  
DEPARTMENT APPROVALS ARE OBTAINED.

A-0.0
COVER SHEET

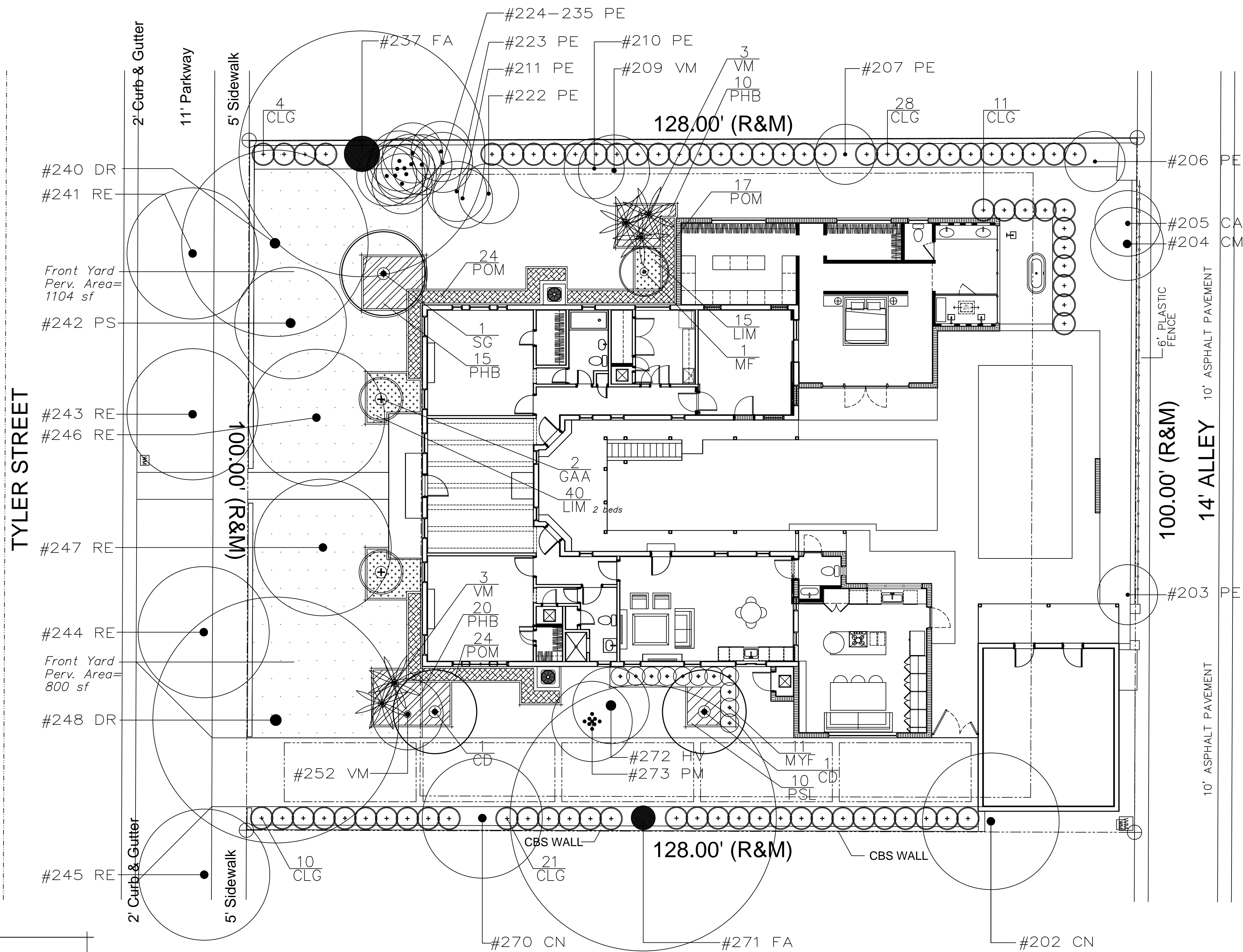




Typical Palm Planting Detail N.T.S.



- | Tree Survey – Existing Trees & Palms to Remain |  |             |             |     |        |                   |
|--|--|-------------|-------------|-----|--------|-------------------|
| Num  | Botanical / Common Name                  | Disposition | Description |     |        | Condition & Notes |
|  |  |             | HT          | SPR | DBH    |                   |
| #202 CN  | Cocos nucifera / Coconut Palm            | Remain      | 30'         | 22' | 13"    | Good              |
| #203 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 18'         | 9'  | 4"     | Good              |
| #204 CM  | Caryota mitis / Fishtail Palm            | Remain      | 15'         | 10' | 2"     | Good              |
| #205 CA  | Carpentaria acuminata / Carpentaria Palm | Remain      | 20'         | 30' | 29"    | Good              |
| #206 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 25'         | 10' | 4"     | Good              |
| #207 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 30'         | 10' | 4"     | Good              |
| #209 VM  | Veitchia montigenaefera / Veitchia Palm  | Remain      | 18'         | 12' | 8"     | Good              |
| #210 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 15'         | 9'  | 4"     | Good              |
| #211 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 15'         | 9'  | 4"     | Good              |
| #223 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 15'         | 9'  | 4"     | Good              |
| #224–235<br>PE                                 | Pythosperma elegans / Alexander Palm--11 | Remain      | 15–30'      | 9'  | 4"     | Good              |
| #236 SA  | Scheffera actinophylla / Schefflera      | Remain      | 25'         | 15' | 10"    | Good              |
| #237 FA  | Ficus aurea / Strangler Fig              | Remain      | 40'         | 35' | 4"     | Good              |
| #240 DR  | Delonix regia / Royal Poinciana          | Remain      | 32'         | 35' | 18"    | Good              |
| #241 RE  | Roystonea regia / Royal Palm             | Remain      | 40'         | 18' | 20"    | Good              |
| #242 PS  | Phoenix sylvestris / Sylvester Date Palm | Remain      | 20'         | 18' | 11"    | Good              |
| #243 RE  | Roystonea regia / Royal Palm             | Remain      | 40'         | 18' | 20"    | Good              |
| #244 RE  | Roystonea regia / Royal Palm             | Remain      | 40'         | 18' | 20"    | Good              |
| #245 RE  | Roystonea regia / Royal Palm             | Remain      | 40'         | 18' | 20"    | Good              |
| #246 RE  | Roystonea regia / Royal Palm             | Remain      | 43'         | 18' | 20"    | Good              |
| #247 RE  | Roystonea regia / Royal Palm             | Remain      | 43'         | 18' | 20"    | Good              |
| #248 DR  | Delonix regia / Royal Poinciana          | Remain      | 40'         | 18' | 20"    | Good              |
| #251 PE 4                                      | Pythosperma elegans / Alexander Palm--4  | Remain      | 25'         | 15' | 4 3/4" | Good              |
| #254 PE  | Pythosperma elegans / Alexander Palm     | Remain      | 24'         | 10' | 4"     | Good              |
| #270 CN  | Cocos nucifera / Coconut Palm            | Remain      | 20'         | 16' | 11"    | Good              |
| #271 FA  | Ficus aurea / Strangler Fig              | Remain      | 35'         | 45' | 7"     | Good              |
| #272 HV  | Hyophorba verschaffeltii / Spindle Palm  | Remain      | 12'         | 7'  | 10"    | Good              |



		Plant List			
Trees & Palms	QTY	KEY	Botanical Name / Common Name	Description	Native Yes / No
	1	SG	Simaruba glauca / Paradise Tree	12' oa ht, 2" cal, 6' spr.	Yes
	2	CD	Coccoloba diversifolia / Pigeon Plum	12' oa ht, 2" cal, 6' spr.	Yes
	1	MF	Myrcianthes fragrans / Simpson Stopper	10' oa ht, 2" cal, 5' spr.	Yes
	5	VM	Veitchia montgomeryana / Veitchia Palm	2@ 14', 2@ 16', 1@ 18' oa hts.	No
	2	GAA	Gardenia augusta / Miami Supreme Gardenia	4' oa ht, standard.	No
	74	CLG	Clusia guttifera / Small Leaf Clusia	5' ht x 3' spr, 15 gal.	No
	65	POM	Podocarpus macrophyllus / Podocarpus	36" ht x 18" spr, 7 gal.	No
	11	MYF	Myrcianthes fragrans / Simpson Stopper	24" ht, 18" spr, 3 gal.	Yes
Shrubs & Groundcovers	10	PSL	Psychotria ligustifolia / Bahama Coffee	18" ht, 18" spr, 3 gal.	Yes
	52	PHB	Philodendron Burle Marx / Burle Marx	18" ht, 18" spr, 3 gal.	No
	55	LIM	Liriope muscarie, EG / Evergreen Giant Liriope	8" ht x 8" spr, 1 gal.	No

City of Hollywood, Florida – Landscape Requirements:

Zoning = RS, Single Family Residential	Required	Provided
Lot Size = 12,800 sf / 0.29 ac		
Open Space Req'd 40%	8184sf x .40=	3274
		427
i. Street Trees, 1/50 If : 100' / 50' = 2	2 (1.2)	4 Exist. Royal Palms
ii. Lot Trees : 1/1250 sf of Front Yard Open Space 1904 sf / 1250 sf = 1.52 = 2 Req'd trees	2 (1.52)	2 Exist. Canopy Trees (DR) 1 Prop. Canopy Tree (SG)
iii. Shrubs	15	20 POM, 12 CLG
Total Number of Trees:	4 Canopy Trees Exist. 3 Canopy Trees Prop.	14 Trees
Plan Review Note: Property has an exist. irrigation system. Existing system to be repaired & replaced as necessary, to provide 100% coverage w/ a min. of 50% overlap.	17 Palm Trees Exist. + 5 Prop. 22 palms / 3 = 7	

LA 1.0 Landscape Plan  
LA 1.1 Tree Survey/Disposition Plan


DRAWN BY:

REVISIONS:

AA0003569  
ANTHONY LEON  
0016752

3  
DESIGN  
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125  
P: 305.438.9377 | F: 305.438.9379



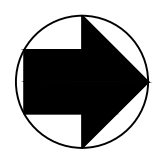
H.L. Martin, Landscape Architect, P.A.  
 LCA 26000404 LA #0001722

5965 SW 38th Street, Miami, Florida 33155  
 305 790-4372, hmlmrtn@bellsouth.net

Herbert Lester Martin, Landscape Architect

SEAL

PROPOSED ADDITION AT  
1321 TYLER St  
HOLLYWOOD, FL 33019



## PROPOSED LANDSCAPE PLAN

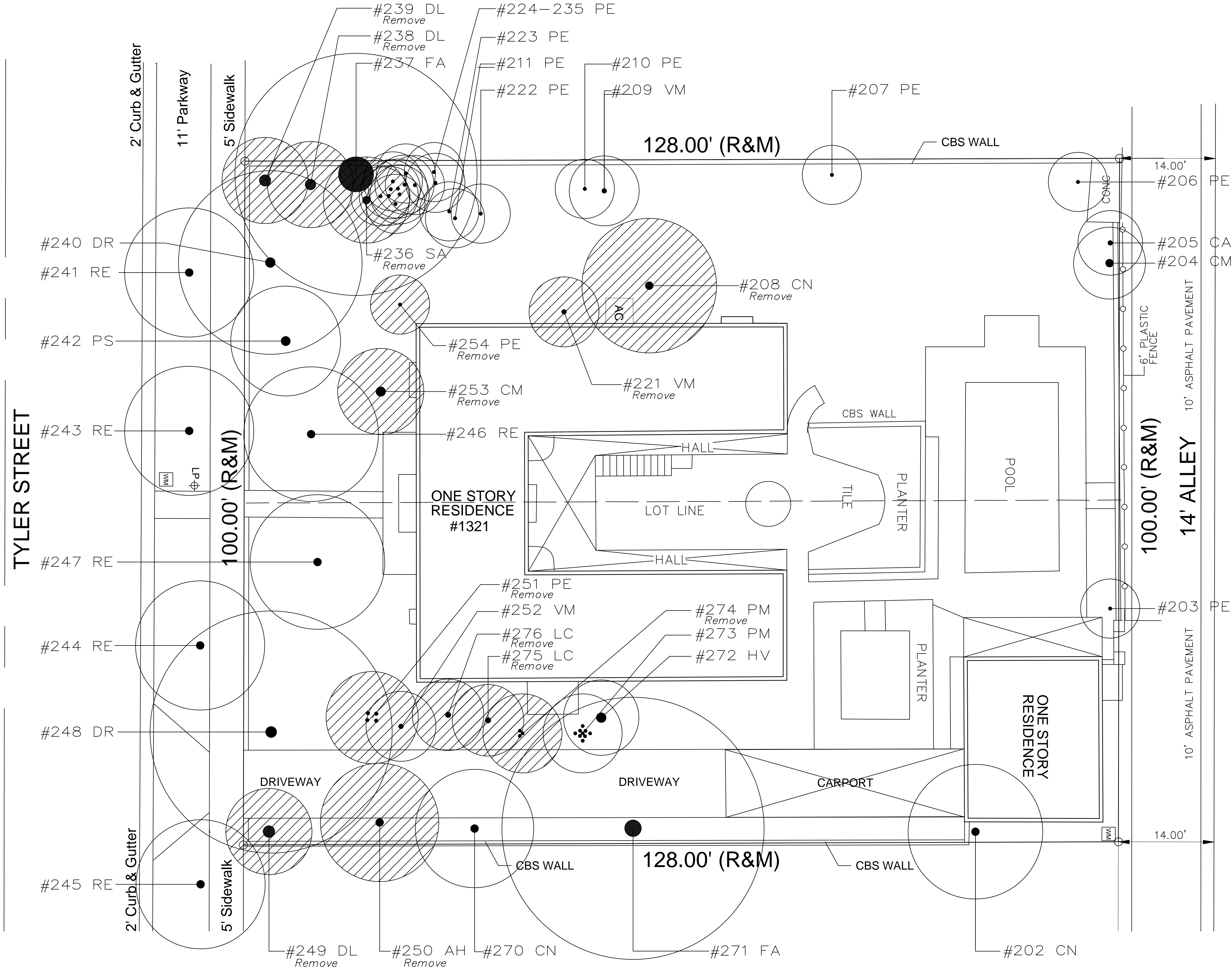
SCALE 1/8" = 1'-0"

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW

L-1.0

LANDSCAPE PLAN

Tree Survey List							
Num	Botanical / Commmon Name	Disposition	HT	SPR	DBH	Description Condition & Notes	Mitigation Requirements
#202 CN	Cocos nucifera / Coconut Palm	Remain	30'	22'	13"	Good	
#203 PE	Ptychosperma elegans / Alexander Palm	Remain	18'	9'	4"	Good	
#204 CM	Caryota mitis / Fishtail Palm	Remain	15'	10'	2"	Good	
#205 CA	Carpentaria acuminata / Carpentaria Palm	Remain	20'	30'	29"	Good	
#206 PE	Ptychosperma elegans / Alexander Palm	Remain	25'	10'	4"	Good	
#207 PE	Ptychosperma elegans / Alexander Palm	Remain	30'	10'	4"	Good	
#208 CN	Cocos nucifera / Coconut Palm	--Remove--	31'	18'	14"	Good	309 sf 1 Palm
#209 VM	Veitchia montgomeriana / Veitchia Palm	Remain	18'	12'	8"	Good	
#210 PE	Ptychosperma elegans / Alexander Palm	Remain	15'	9'	4"	Good	
#211 PE	Ptychosperma elegans / Alexander Palm	Remain	15'	9'	4"	Good	
#221 VM	Veitchia montgomeriana / Veitchia Palm	--Remove--	24'	12'	7"	Good	113 sf 1 Palm
#223 PE	Ptychosperma elegans / Alexander Palm	Remain	15'	9'	4"	Good	
#224-235 PE	Ptychosperma elegans / Alexander Palm--11	Remain	15-30'	9'	4"	Good	
#236 SA	Schefflera actinophylla / Schefflera	--Remove--	25'	15'	10"	Invasive Exotic	
#237 FA	Ficus aurea / Strangler Fig	Remain	40'	35'	4'	Good	
#238 DL	Dypsis lutescens / Areca Palm	--Remove--	12'	10'	2.5'	Good	N/A
#239 DL	Dypsis lutescens / Areca Palm	--Remove--	14'	10'	3'	Good	N/A
#240 DR	Delonix regia / Royal Poinciana	Remain	32'	35'	18"	Good	
#241 RE	Roystonea regia / Royal Palm	Remain	40'	18'	20"	Good	
#242 PS	Phoenix sylvestris / Sylvester Date Palm	Remain	20'	18'	11"	Good	
#243 RE	Roystonea regia / Royal Palm	Remain	40'	18'	20"	Good	
#244 RE	Roystonea regia / Royal Palm	Remain	40'	18'	20"	Good	
#245 RE	Roystonea regia / Royal Palm	Remain	40'	18'	20"	Good	
#246 RE	Roystonea regia / Royal Palm	Remain	43'	18'	20"	Good	
#247 RE	Roystonea regia / Royal Palm	Remain	43'	18'	20"	Good	
#248 DR	Delonix regia / Royal Poinciana	Remain	40'	18'	20"	Good	
#249 DL	Dypsis lutescens / Areca Palm	--Remove--	15'	12'	3'	Good	N/A
#250 AH	Auracaria heterophylla / Norfolk Island Pine	--Remove--	18'	10'	4",5"	Good	79 sf 1 Palm
#251 PE 4	Ptychosperma elegans / Alexander Palm--4	Remain	25'	15'	4@4"	Good	
#252 VM	Veitchia montgomeriana / Veitchia Palm	--Remove--	25'	12'	7"	Good	113 sf 1 Palm
#253 CM	Caryota mitis / Fishtail Palm	--Remove--	20'	12'	2"	Good	113 sf 1 Palm
#254 PE	Ptychosperma elegans / Alexander Palm	Remain	24'	10'	4"	Good	
#270 CN	Cocos nucifera / Coconut Palm	Remain	20'	16'	11"	Good	
#271 FA	Ficus aurea / Strangler Fig	Remain	35'	45'	7"	Good	
#272 HV	Hyophorbe verschaffeltii / Spindle Palm	Remain	12'	7'	10"	Good	
#273 PM	Ptychosperma mcarthurii / McArthur Palm	Remain	18'	10'	12@2-3"	Good	
#274 PM	Ptychosperma mcarthurii / McArthur Palm	--Remove--	16'	8'	3@2-3"	Good	50 sf 1 Palm
#275 LC	Livistona chinensis / Chinese Fan Palm	--Remove--	12'	8'	no ct	Good Small palm	N/A
#276 LC	Livistona chinensis / Chinese Fan Palm	--Remove--	12'	8'	no ct	Good Small palm	N/A
Tree Survey Notes:			Total amount of 698 sf 6 Palms canopy SF to be removed. (All palms)				
1) Tree Survey information provided by: MAQ Services, Inc. Professional Land Surveyors, Mapper Certificate # LB 8064 State of Florida (305) 901-1317			 Indicates Existing Tree or Palm To Remain.				
2) Tree & Palm Identification by Landscape Architect. Hts, Sprs & DBH's are approximate & based on visual observation during site visit.			 Indicates Existing Tree or Palm To Be Removed.				
3) Upon visual inspection, all of the exist. trees & palms are in good condition.							



TREE SURVEY/DISPOSITION PLAN  
SCALE 1/8" = 1'-0"

LA 1.0 Landscape Plan  
LA 1.1 Tree Survey/Disposition Plan

DRAWN BY:  
  
REVISIONS:

A-0003569  
ANTHONY LEON  
0016752

3 DESIGN ARCHITECTURE  
3260 Northwest 7th Street, Miami, FL 33125  
P: 305.438.9377 | F: 305.438.9379

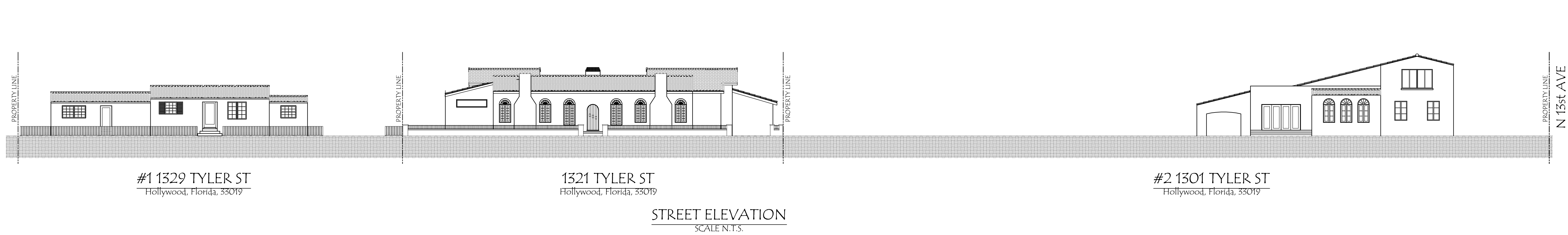
SEAL  
H.L. Martin, Landscape Architect, P.A.  
Lic# 26000404 LA #000722  
5665 SW 36th Street, Miami, Florida 33155  
305 760-4370 hmartin@hllandscape.net  
Herbert Lester Martin, Landscape Architect

PROPOSED ADDITION AT  
1321 TYLER ST  
HOLLYWOOD, FL 33019

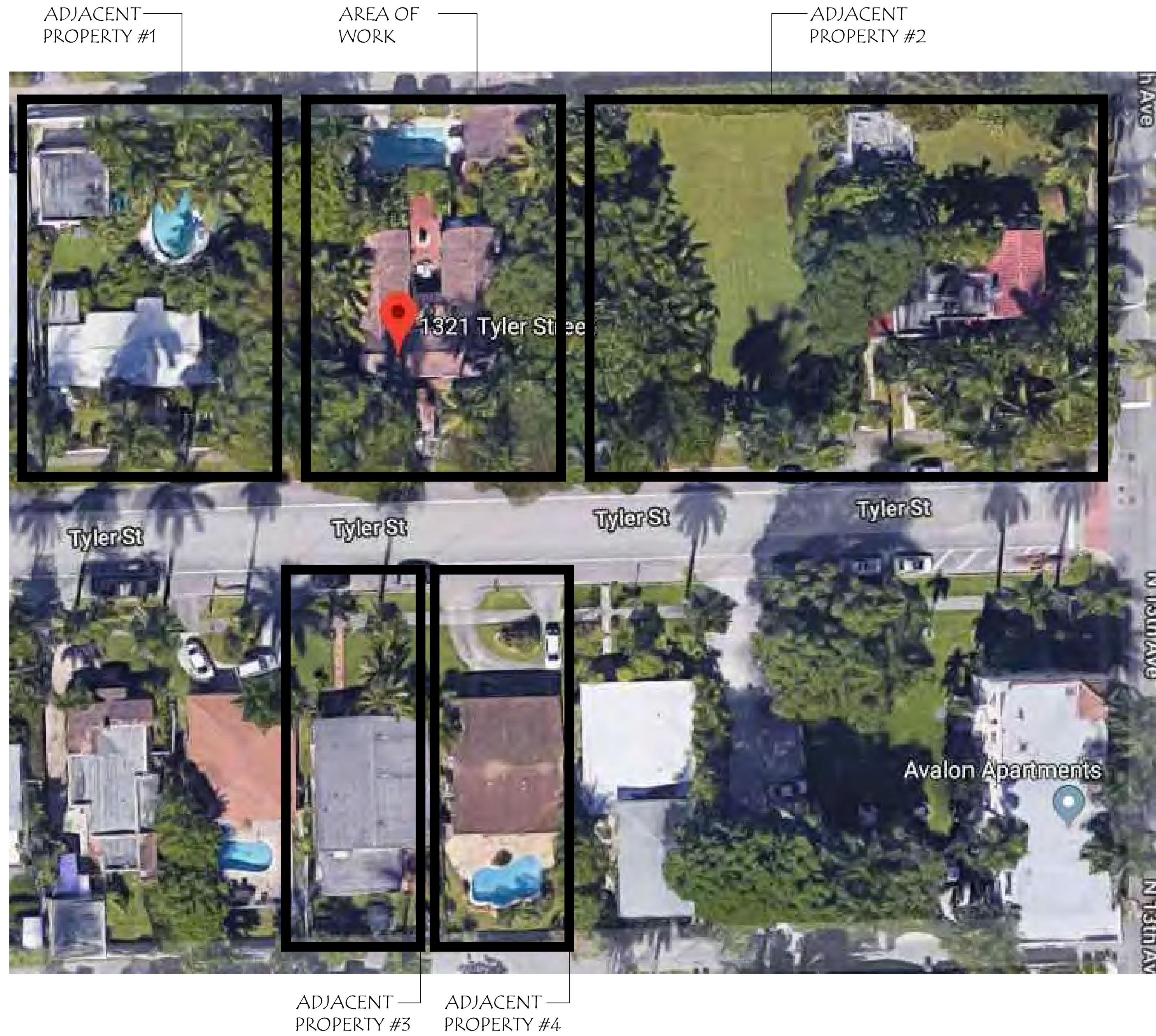
THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW  
ONLY. THEY ARE NOT TO BE CONSIDERED AS  
CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING  
DEPARTMENT APPROVALS ARE OBTAINED.

L-1.1  
TREE SURVEY /  
DISPOSITION PLAN





STREET ELEVATION  
SCALE N.T.S.



ADJACENT  
PROPERTY #1



ADJACENT  
PROPERTY #2



ADJACENT  
PROPERTY #3



ADJACENT  
PROPERTY #4

DRAWN BY:
REVISIONS:

AA0003689  
ANTHONY LEON  
0016752

**3 DESIGN**  
ARCHITECTURE  
3280 Northwest 7th Street, Miami, FL 33125  
P: 305-438-9377 | F: 305-438-9378

SEAL
------

PROPOSED ADDITION AT  
1321 TYLER ST  
HOLLYWOOD, FL 33019

THESE PLANS ARE FOR BUILDING  
DEPARTMENT REVIEW ONLY. THEY ARE NOT  
TO BE CONSTRUED AS CONSTRUCTION  
DOCUMENTS UNTIL ALL BUILDING  
DEPARTMENT APPROVALS ARE OBTAINED.

**A-0.1**

ADJACENT AREA





DRAWN BY:
REVISIONS:

AA0003569

ANTHONY LEON

0016752

3

DESIGN

ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125

P: 305-438-9377 | F: 305-438-9379

SEAL
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PROPOSED ADDITION AT  
1321 TYLER ST  
HOLLYWOOD, FL 33019

THESE PLANS ARE FOR BUILDING  
DEPARTMENT REVIEW ONLY. THEY ARE NOT  
TO BE CONSTRUED AS CONSTRUCTION  
DOCUMENTS UNTIL ALL BUILDING  
DEPARTMENT APPROVALS ARE OBTAINED.

A-0.2
RENDERINGS





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A-0.3
RENDERINGS



GENERAL CONDITIONS DURING CONSTRUCTION

DURING & PRIOR TO CONSTRUCTION, THE GC SHALL :  
1. MAINTAIN GRAVEL AT THE FRONT OF THE CONSTRUCTION SITE WITHIN THE FIRST 15 FT OF THE REQUIRED FRONT YARD AND 10' OF THE REQUIRED SIDE YARD TO MITIGATE DISTURBANCE OF SOIL & MUD BY RELATED PERSONNEL VEHICLES EXITING & ENTERING THE SITE.  
2. PROVIDE AN 8 FT HIGH FENCE WITH A WIND RESISTANT GREEN MESH MATERIAL ALONG THE FRONT PROPERTY LINE.  
3. KEEP ALL CONSTRUCTION MATERIALS (INCLUDING DUMPSTERS & PORTABLE TOILETS) LOCATED BEHIND THE CONSTRUCTION FENCE AND NOT VISIBLE FROM THE R.O.W.  
4. PARK ALL CONSTRUCTION VEHICLES EITHER ON THE PROPERTY OR AT AN ALTERNATE OVERFLOW PARKING SITE.  
5. OBSERVE GOOD CONSTRUCTION PRACTICES AND PREVENT CONSTRUCTION MATERIALS & DEBRIS FROM IMPACTING THE R.O.W.  
6. SUBMIT A "CONSTRUCTION TRAFFIC MANAGEMENT PLAN" TO CMB PARKING DIRECTOR FOR APPROVAL PRIOR TO ISSUE OF PERMIT.

ROOFING AND WATERPROOFING NOTE:

- ROOFING UNDER SEPARATE PERMIT.
- WATERPROOFING UNDER SEPARATE PERMIT.
- ALL WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S COMPLETE SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MANUFACTURER FOR ALL SYSTEMS INSTALLED.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SPECIFIC INSTALLATION REQUIREMENTS OF THE WATERPROOFING SYSTEM.
- THE SYSTEM TO BE USED SHALL HAVE A CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL.
- MANUFACTURER TO PROVIDE WARRANTY OF A MINIMUM OF 10 YEARS.
- PRODUCT TO BE USED SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

MISCELLANEOUS NOTES:

ALL WOODEN ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED.

SMOOTH SURFACE, NON-ABSORBENT CERAMIC TILED FLOOR AND WALLS 70" MIN. HIGH. TYPICAL ALL SHOWERS AND TUBS

SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.

SITE PLAN NOTES:

- ALL RAINWATER TO BE CONTAINED WITHIN THE SITE. NO RUNOFF ALLOWED ONTO ADJACENT PROPERTIES.
- ALL LANDSCAPING BY OTHERS.
- ALL METAL FENCES, GATES TO BE UNDER SEPARATE PERMIT.
- ALL MISSING, BROKEN, CRACKED OR UPLIFTED SIDEWALK SHALL BE RECONSTRUCTED.
- NO TREES TO BE REMOVED ON THIS SITE.

NOTE: UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE SHALL BE SUBMITTED. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED AND APPROVED BEFORE THE CITY CAN ISSUE ANY CO OR TCO.

ADDRESS NOTE:  
ADDRESS POSTED SHALL BE CONTRASTING, AND VISIBLE FROM THE STREET. NUMBERS SHALL BE 6" HIGH.

NOTE:  
POOL, FENCES, GATES UNDER SEPARATE PERMIT

1.	EXISTING RESIDENCE'S A/C AREA:	2131 SQ FT
2.	EXISTING RESIDENCE'S NO A/C AREA:	360 SQ FT
3.	PROPOSED ADDITION'S A/C AREA:	1334 SQ FT
4.	PROPOSED ADDITION'S NO A/C AREA:	21 SQ FT
TOTAL A/C AREA 3465 SQ FT		
2 PARKING SPACES FOR THE FIRST 2000 SQ FT		
1 PARKING SPACE FOR EACH REMAINING 500 SQ FT		
TOTAL REQUIRED: 5 PARKING SPACES (8.5' X 19')		
TOTAL PROVIDED: 5 PARKING SPACES (8.5' X 19')		
(SEE SHEET A-1.1 FOR PARKING LOCATION ON SITE)		

- GENERAL NOTES
1. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF 3DESIGN, INC. AND MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT.

2. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.

3. ALL WORK DESCRIBED BY THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENSED & INSURED IN THE STATE OF FLORIDA (F.B.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE W/ THE NATIONAL ELECTRIC CODE AND F.B.C.

4. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING THE WORK. IF THERE ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK FOR CLEAR INSTRUCTION.

5. DO NOT SCALE THE DRAWINGS. REFER TO FIGURED DIMENSIONS.

6. THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR THE DEMOLITION, CONSTRUCTION, FINISHING, AND OCCUPANCY OF THE PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE F.B.C., LATEST EDITION.

7. ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.

8. THE GENERAL CONTRACTOR IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS (INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.

9. THE GENERAL CONTRACTOR SHALL REPAIR ALL DAMAGES TO THE EXISTING BUILDING DURING CONSTRUCTION RESULTING FROM SUCH LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE.

10. THE GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.

11. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL SITE VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/RELOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER. IF SO DIRECTED, THE G.C. MAY INCLUDE ANY ADDITIONAL COSTS TO THE BID.

12. THE GENERAL CONTRACTOR SHALL PROVIDE AN ONSITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.

13. IT IS THE INTENT OF 3DESIGN, INC. THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THE G.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES WILL BE RESOLVED BY ARCHITECT / ENGINEER OF RECORD PRIOR TO PROCEEDING WITH THE WORK.

14. THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK INCLUDED IN THE WORK.

15. THE GENERAL CONTRACTOR SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.

16. 3DESIGN, INC. IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS, OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.

17. ALL WORK IS TO BE PLUM, LINE, SQUARE, AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET 3DESIGN, INC.'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY CRAFTSMANSHIP WILL BE REDONE AT THE G.C.'S EXPENSE.

18. THE GENERAL CONTRACTOR IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.

19. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING SUBMITTED WITH THE BID.

20. ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. IT IS THE G.C.'S RESPONSIBILITY TO FORSEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY.

21. ALL ASSEMBLIES REFERRED TO AS FIRE-RATED SHALL BE A MINIMUM OF ONE HOUR UNLESS OTHERWISE INDICATED. ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED W/ APPROVED PENETRATION RATED DEVICES.

22. THE GENERAL CONTRACTOR SHALL PROVIDE CUSTOM AND MULTI-COLOR PAINT SELECTIONS FOR OWNER'S APPROVAL.

23. ALL HARDWARE, LIGHTING & BATHROOM FIXTURES AND MISC. SPECIFICATIONS NOT SPECIFICALLY CALLED OUT ON THE DRAWINGS SHALL BE PROVIDED BY THE OWNER.

24. THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TRUSSES, STORM SHUTTERS, REINFORCING STEEL, WINDOWS, DOORS, CAST CONCRETE, ORNAMENTAL IRON, STEEL CONNECTORS, ORNAMENTAL WOOD, ETC., TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE WORK.

25. THE GENERAL CONTRACTOR SHALL PROVIDE A TELEPHONE AND TELEPHONE LINE AT THE JOB SITE. THE G.C. IS RESPONSIBLE FOR IT'S USE.

TERMITE PROTECTION NOTES

TERMITE PROTECTION, TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, THE INITIAL CHEMICAL SOIL TREATMENT INSIDE THE FOUNDATION PERIMETER SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SOIL AREA DISTURBED AFTER INITIAL CHEMICAL SOIL TREATMENT SHALL BE RETREATED WITH A CHEMICAL SOIL TREATMENT, INCLUDING SPACES BOXED OR FORMED.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, SPACE IN CONCRETE FLOORS BOXED OUT OR FORMED FOR THE SUBSEQUENT INSTALLATION OF PLUMBING TRAPS, DRAINS OR ANY OTHER PURPOSE SHALL BE CREATED BY USING PLASTIC OR METAL PERMANENTLY PLACED FORMS OF SUFFICIENT DEPTH TO ELIMINATE ANY PLANNED SOIL DISTURBANCE AFTER INITIAL CHEMICAL SOIL TREATMENT.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICALLY TREATED SOIL SHALL BE PROTECTED WITH A MINIMUM 6 MIL VAPOR RETARDER TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. ANY WORK, INCLUDING PLACEMENT OF REINFORCING STEEL, DONE AFTER CHEMICAL TREATMENT UNTIL THE CONCRETE FLOOR IS POURED, SHALL BE DONE IN SUCH MANNER AS TO AVOID PENETRATING OR DISTURBING TREATED SOIL.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CONCRETE OVERPOUR OR MORTAR ACCUMULATED ALONG THE EXTERIOR FOUNDATION PERIMETER SHALL BE REMOVED PRIOR TO EXTERIOR CHEMICAL SOIL TREATMENT, TO ENHANCE VERTICAL PENETRATION OF THE CHEMICALS.

IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PREVENTION, CHEMICAL SOIL TREATMENTS SHALL ALSO BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT (305 MM) OF THE PRIMARY STRUCTURE SIDEWALLS. ALSO, A VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION IS COMPLETED, INCLUDING INITIAL LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION. ANY SOIL DISTURBED AFTER THE CHEMICAL VERTICAL BARRIER IS APPLIED SHALL BE PROMPTLY RETREATED.

TERMITE PROTECTION, ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

PENETRATION, PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE OF CELLULOSE CONTAINING MATERIALS AND SHALL RECEIVE APPLICATION OF A TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.

BURGLARY/SECURITY NOTES

1. ALL LOCKS ON EXTERIOR DOORS AND DOORS CONNECTING GARAGE AREAS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN 3601.2 (F.B.C.)

2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT (MIN. 1 INCH THROW) WITH HARDENED BOLT INSERTS.

3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8 INCH MINIMUM THROW BOLTS WITH INSERTS.

4. SLIDING GLASS DOORS SHALL BE PROVIDED WITH SLIDING DOOR DEAD BOLTS OR A BOLT OR PIN NOT REMOVABLE OR OPERABLE FROM EXTERIOR, AT THE JAMB, HEAD, SILL OR AT MEETING MULLIONS. THESE DOORS SHALL BE REINFORCED IN THE STRIKE AND LOCK AREA TO MAINTAIN BOLT STRENGTH EFFECTIVENESS. IF NECESSARY, AND SUCH DOORS SHALL HAVE NO SCREWS REMOVABLE FROM OUTSIDE WHICH WOULD FACILITATE READY ENTRY FROM OUTSIDE.

5. JAMBS SHALL BE PROVIDED WITH APPROVED REINFORCED STRIKES INSTALLED WITH SCREWS AT LEAST 3" IN LENGTH AND PENETRATING SUB-BLOCKS AT LEAST 1"

6. HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.

7. JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWING(ING) DOORS BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.

8. SINGLE, SWINGING, EXTERIOR DOORS, IF WOOD SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8 INCHES THICK.

9. GLASS AND EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD 297.1

10. VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40 INCHES OF INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD 297.1.

11. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MFOS, ASSOC. STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1303.3.

12. LOCKS IN EXTERIOR WINDOWS SHALL COMPLY WITH SECTION 3104 (F.B.C.)

13. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANELS.



CODE SUMMARY:

APPLICABLE CODES:  
Florida Building Code - 2017 & Florida Building Code Residential - 2017  
City of Ft. Lauderdale Zoning Code  
Florida Fire Prevention Code - 2010 Edition

LEGAL DESCRIPTION:

LOT 10 AND 11, BLOCK 10 OF SUBDIVISION "HOLLYWOOD LAKES SECTION", AS RECORDED IN PLAT BOOK 1, PAGE 32 ,OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ZONING DATA:

ZONING DESIGNATION:

TYPE OF OCCUPANCY:

FLOOD ZONE:

BASE FLOOD:

RS-6

SINGLE FAMILY DETACHED DWELLING

AE

8.0'

SCOPE OF WORK:

MASTER SUITE ADDITION AND KITCHEN ADDITION.

SETBACKS:

LEFT SIDE

RIGHT SIDE

FRONT

REAR

BETWEEN BLDG

S.F.R.

ALLOWED:

5'-0"

5'-0"

25'-0"

15'-0"

N/A

S.F.R.

PROVIDED:

11'-7" PROPOSED

13'-7" PROPOSED

25'-1" EXISTING

19'-10"

6'-9"

BUILDING HEIGHT:

# OF STORIES:

BLDG HEIGHT FROM CROWN OF ROAD

ALLOWED:

2

35'-0"

PROVIDED:

1

18'-8 1/2"

1.33' (C.O.R.)

LOT COVERAGE INFORMATION (AS PER CITY PROVIDED FORM)		
1.	12815	SQUARE FEET OF YOUR LOT (length x width)
2.	2131	SQUARE FEET OF YOUR HOUSE
3.	3736	SQUARE FEET OF OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage sheds, etc.)
4.	1314	SQUARE FEET OF THE ADDITION, AND OR...
5.	425	SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECK, ETC.
6.	7609	TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT.
7.	0.593	PERCENTAGE OF THE IMPERVIOUS LOT COVERAGE

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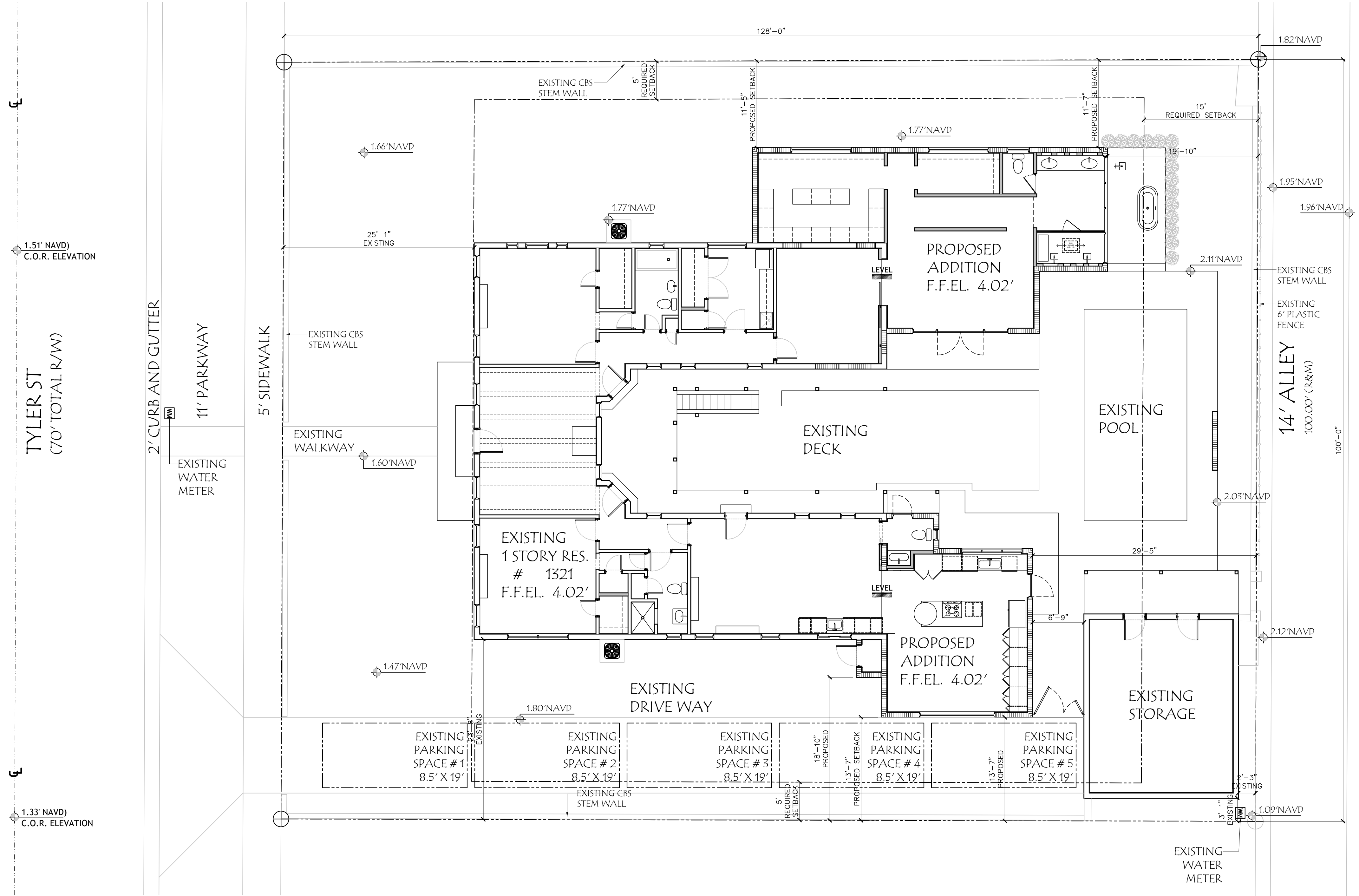
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A-1.0

ZONING DATA





MANDATORY GREEN BUILDING PRACTICES:

- ALL MAJOR RENOVATION TO SINGLE FAMILY DETACHED DWELLING SHALL INCLUDE A MINIMUM OF 5 GREEN BUILDING PRACTICES. PROPOSED ARE AS FOLLOWS AS PER CODE OF ORDINANCES CHAPTER 151 TITLED "MANDATORY GREEN BUILDING PRACTICES":
1. ALL ENERGY STAR APPLIANCES.ALL PERMANENT APPLIANCES IN THE RESIDENCE THAT CAN BE ENERGY STAR RATED MUST BE SO RATED TO CLAIM THIS ITEM. (THIS INCLUDES REFRIGERATOR, STOVE, WASHING MACHINE, DRYER, ETC. ITEM NOT COVERED ARE COUNTER TOP APPLIANCES AS TOASTERS, MIXERS, ETC.) ENERGY STAR APPLIANCES MUST BE VERIFIED BY BUILDING INSPECTOR ON SITE AT FINAL INSPECTION.
  2. CENTRAL AIR CONDITIONER 16 SEER OR HIGHER.
  3. RECYCLING. A DEDICATED STORAGE AREA FOR GARBAGE BIN AND A RECYCLE BIN, SIZED TO FIT BOTH, MUST BE SHOWN ON THE PLANS. DEDICATED STORAGE AREA SHALL BE VERIFIED BY PLANS EXAMINER. PLANS FOR KITCHEN MUST INCLUDE PULL-OUT RECYCLE AND GARBAGE BIN BUILT INTO CABINETS. PULL-OUT BINS INTO CABINETS SHALL BE VERIFIED BY PLANS EXAMINER AT PERMIT REVIEW AND BY BUILDING INSPECTOR AT FINAL INSPECTION.
  4. PROGRAMMABLE THERMOSTATS.
  5. DUAL FLUSH TOILETS. THESE TOILETS WHEN FLUSHED USE LESS THAN ONE GALLON TO FLUSH LIQUID AND 1.6 GALLONS OR LESS FOR SOLIDS (USGBC). PLANS SHALL INDICATE DUAL FLUSH TOILET. SYSTEM MUST BE VERIFIED BY PLUMBING INSPECTOR AT FINAL INSPECTION.

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SEAL

PROPOSED ADDITION AT  
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PROPOSED SITE PLAN  
SCALE 1/8" = 1'-0"

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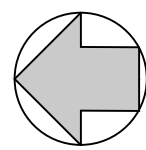
A-1.1

SITE PLAN



14' ALLEY

TYLER ST  
(70' TOTAL R/W)



COLOR SITE/ LANDSCAPE PLAN  
SCALE N.T.S.

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A-1.2

COLOR SITE PLAN

PROPOSED ADDITION AT  
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SEAL

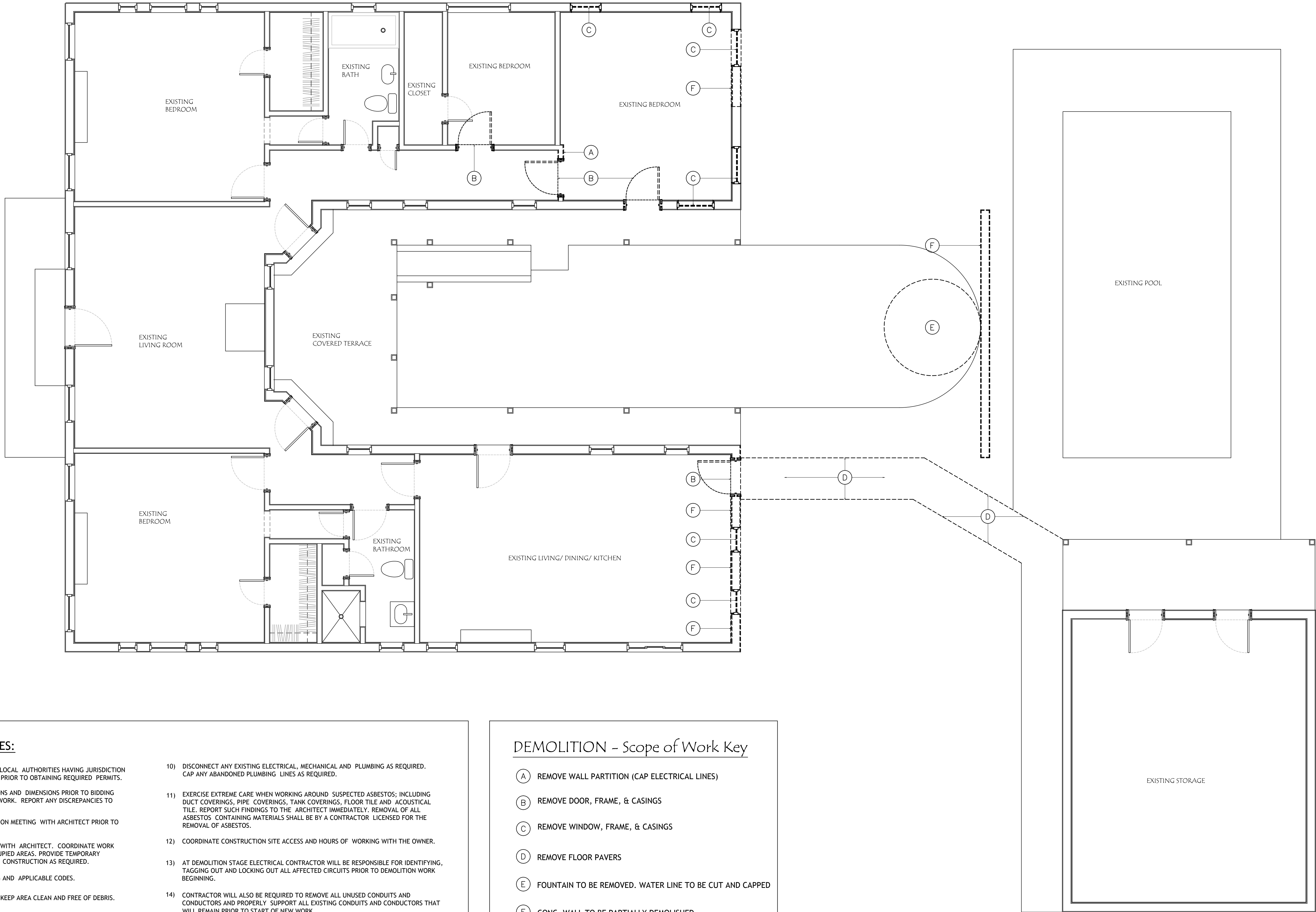
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**GENERAL DEMOLITION NOTES:**

- 1) SECURE ANY DEMOLITION PERMITS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SUCH WORK. NO WORK SHALL COMMENCE PRIOR TO OBTAINING REQUIRED PERMITS.

2) CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCEMENT OF ANY WORK. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

3) CONTRACTOR TO ARRANGE ON SITE CONSTRUCTION MEETING WITH ARCHITECT PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

4) REVIEW DEMOLITION/CONSTRUCTION SEQUENCE WITH ARCHITECT. COORDINATE WORK WITH OWNER TO MINIMIZE DISRUPTION TO OCCUPIED AREAS. PROVIDE TEMPORARY CLOSURES AND/OR DUST BARRIERS AT LIMITS OF CONSTRUCTION AS REQUIRED.

5) ALL WORK SHALL COMPLY WITH ANY GOVERNING AND APPLICABLE CODES.

6) REVIEW LOCATION OF DUMPSTER WITH OWNER. KEEP AREA CLEAN AND FREE OF DEBRIS. REMOVE ALL UNUSABLE DEBRIS DAILY.

7) SHORE AREAS OF EXISTING AND NEW CONSTRUCTION AS REQUIRED.

8) VERIFY ALL ITEMS TO BE SALVAGED WITH OWNER. REVIEW SALVAGE OF EXISTING PLUMBING FIXTURES WITH OWNER.

9) VERIFY LOCATION OF EXISTING UTILITY LINES PRIOR TO DEMOLITION/ EXCAVATION. COORDINATE WITH OWNER TO MINIMIZE INTERRUPTION OF SERVICE.
- 10) DISCONNECT ANY EXISTING ELECTRICAL, MECHANICAL AND PLUMBING AS REQUIRED. CAP ANY ABANDONED PLUMBING LINES AS REQUIRED.

11) EXERCISE EXTREME CARE WHEN WORKING AROUND SUSPECTED ASBESTOS; INCLUDING DUCT COVERINGS, PIPE COVERINGS, TANK COVERINGS, FLOOR TILE AND ACOUSTICAL TILE. REPORT SUCH FINDINGS TO THE ARCHITECT IMMEDIATELY. REMOVAL OF ALL ASBESTOS CONTAINING MATERIALS SHALL BE BY A CONTRACTOR LICENSED FOR THE REMOVAL OF ASBESTOS.

12) COORDINATE CONSTRUCTION SITE ACCESS AND HOURS OF WORKING WITH THE OWNER.

13) AT DEMOLITION STAGE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE FOR IDENTIFYING, TAGGING OUT AND LOCKING OUT ALL AFFECTED CIRCUITS PRIOR TO DEMOLITION WORK BEGINNING.

14) CONTRACTOR WILL ALSO BE REQUIRED TO REMOVE ALL UNUSED CONDUITS AND CONDUCTORS THAT WILL REMAIN PRIOR TO START OF NEW WORK.

15.) DUST CONTROL DURING DEMOLITION IS TO BE PROVIDED EITHER THROUGH:

A. STRUCTURAL CONTAINMENT, OR

B. WET DUST SUPPRESSION

**DEMOLITION – Scope of Work Key**

- (A)

REMOVE WALL PARTITION (CAP ELECTRICAL LINES)
- (B)

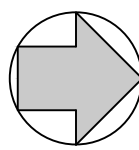
REMOVE DOOR, FRAME, & CASINGS
- (C)

REMOVE WINDOW, FRAME, & CASINGS
- (D)

REMOVE FLOOR PAVERS
- (E)

FOUNTAIN TO BE REMOVED. WATER LINE TO BE CUT AND CAPPED
- (F)

CONC. WALL TO BE PARTIALLY DEMOLISHED



**DEMOLITION FLOOR PLAN**

SCALE 1/4" = 1'-0"

DRAWN BY:

REVISIONS:

AA0003569  
ANTHONY LEON  
0016752

**3** DESIGN  
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125  
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SEAL

PROPOSED ADDITION AT  
1321 TYLER ST  
HOLLYWOOD, FL 33019

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**A-2.0**

DEMOLITION  
FLOOR PLAN



MISCELLANEOUS NOTES:

- 1- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE WITHIN 15" MIN. AND 48" MAX. HIGH. A.F.F.
- 2- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED 1/2" MAXIMUM & BE LEVEL @ E.A SIDE OF DOOR.
- 3- COORDINATE FLOOR FINISHES WITH OWNER.
- 4- SMOOTH SURFACE, NON-ABSORBENT, SLIP RESISTANT, CERAMIC TILED FLOOR & WALLS FULL HEIGHT. TYPICAL @ ALL SHOWERS & TUBS.
- 5- PROVIDE ADDRESS NUMBER (112) VISIBLE AND LEGIBLE FROM STREET (VERIFY)
- 6- SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.
- 7- ALL INTERIOR AREAS TO HAVE A 6" WOOD BASEBOARD EXCEPT ALL RESTROOM AREAS TO HAVE A 6" COVE BASE TILE T.B.D. (U.O.N.)
- 8-WALL HUNG CABINETS TO BE ANCHORED TO HORIZONTAL MEMBER (20 GA MIN.) SECURELY FASTENED TO MIN (2) 20 GA STUDS, TYP.
- 9-PAINT COLORS UNDER A SEPARATE PERMIT
- 10- FOR INTERIOR FINISHES ,FIXTURES, MILLWORK, HARDWARE,APPLIANCES ETC. REFER TO OWNER OR INTERIOR DESIGNER
- 11- SOUNDPROOFING MATERIAL TO BE USED ON ALL FLOORS AT SECOND LEVEL. MIN. STC RATING OF 50.
- 12- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER ASTM E-84
- 13- ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL WOOD USE BELOW DESIGN FLOOD ELEVATION SHALL BE PRESERVATIVE-TREATED OR NATURALLY DECAY-RESISTANT.
- 14- ALL CLOSET SYSTEMS TO BE SUPPLIED BY OWNER.
- 15- INTERIOR WALLS OF GARAGE TO RECEIVE A SKIM COAT/PAINT FINISH

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)

LEGEND

- NEW MASONRY WALL
- NEW METAL STUD WALL

FIRESTOPPING NOTE:

FIRESTOPPING SHALL BE INSTALLED (WOOD FRAME CONSTRUCTION):

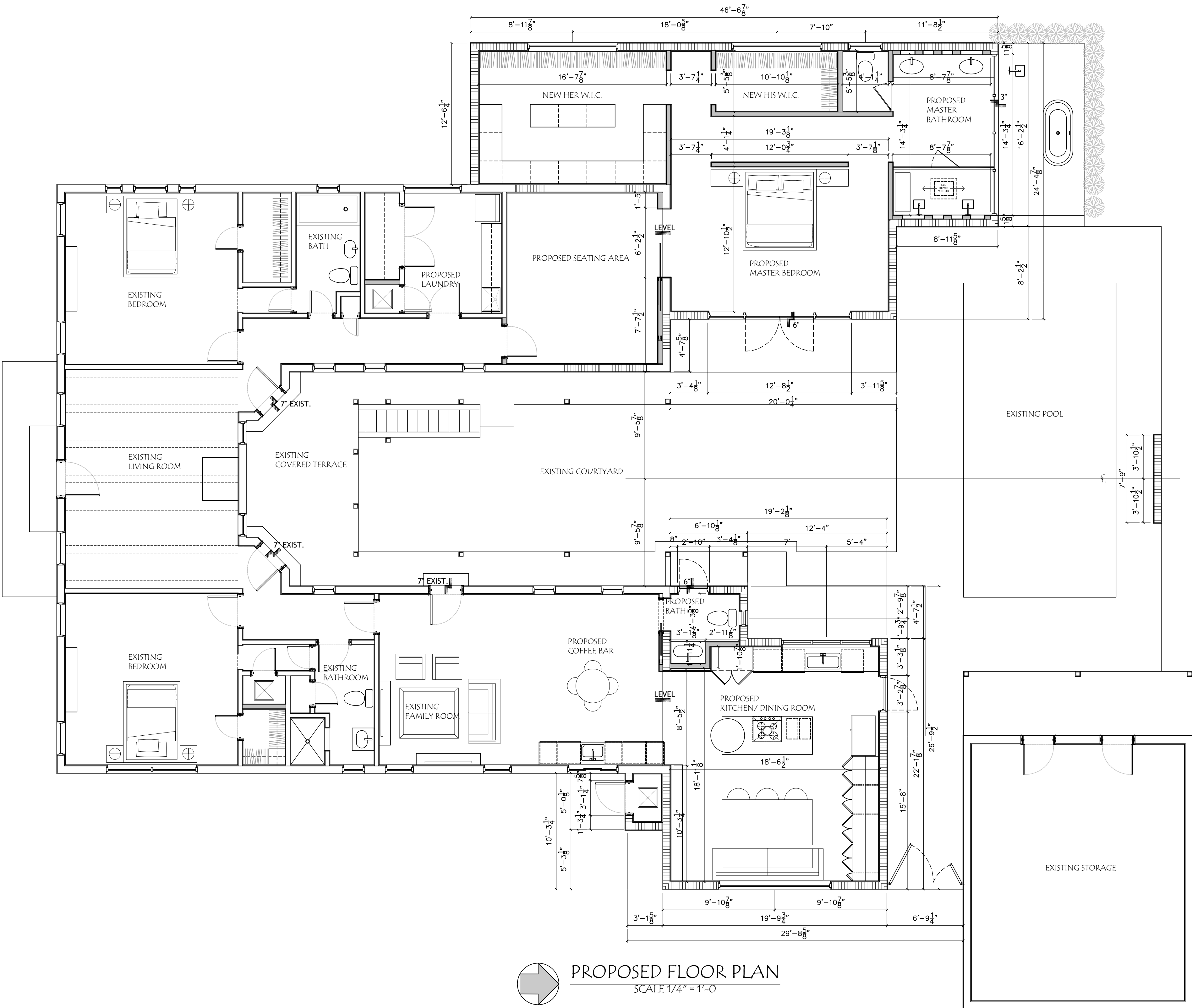
1. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS (INCLUDING FURRED SPACES @ CEILING & FLOOR LEVELS TO LIMIT MAX. DIMENSION OF ANY CONCEALED SPACE TO 8 FT).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS (AT LEAST ONCE IN THE MIDDLE OF EACH RUN, @ TOP & BOTTOM, & BETWEEN STUDS ALONG & IN LINE W/ ADJACENT RUN OF STAIRS OF THE RUN).
4. AT OPENINGS AROUND VENTS, PIPES, & DUCTS.
5. IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FOR THE FULL DEPTH OF THE JOISTS @ THE ENDS & OVER THE SUPPORT
6. AROUND TOP, BOTTOM, & SIDES OF DOOR POCKETS.

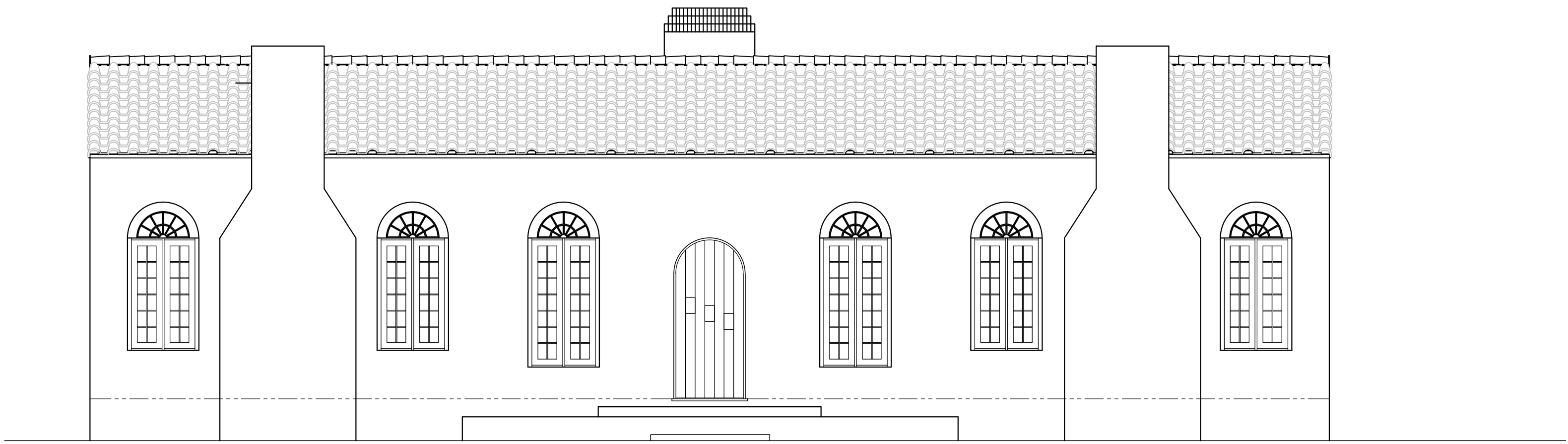
SMOKE DEVELOPED INDEX: (FBC R302.9.2, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

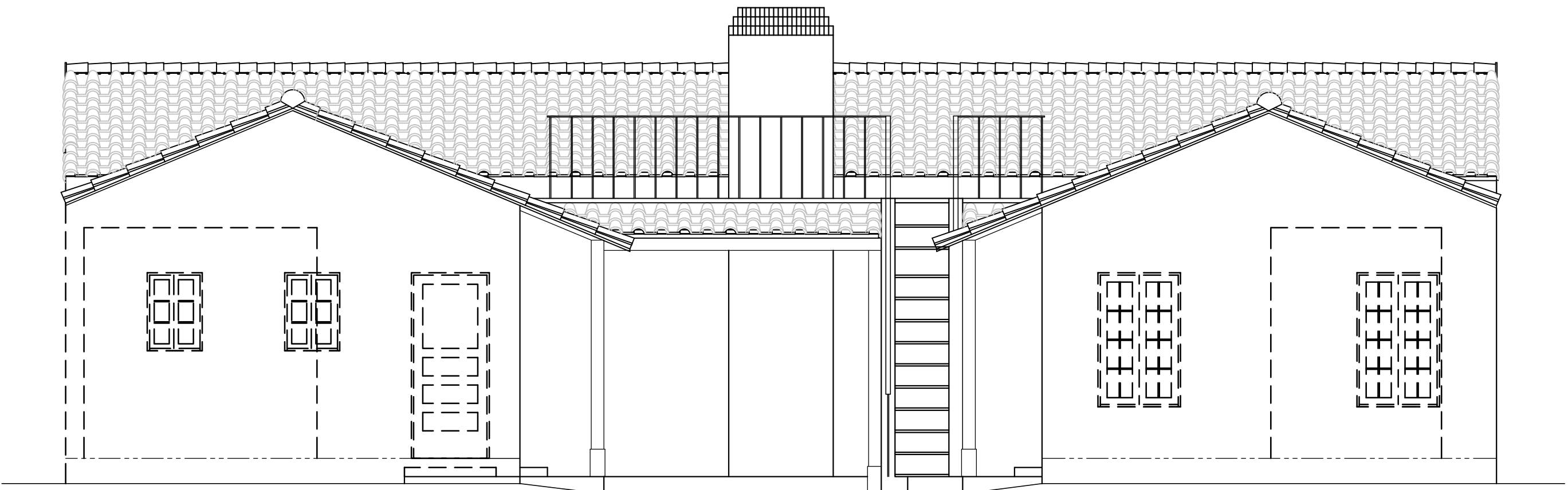
FLAME SPREAD INDEX: (FBC R302.9.1, R302.10.1)

- WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

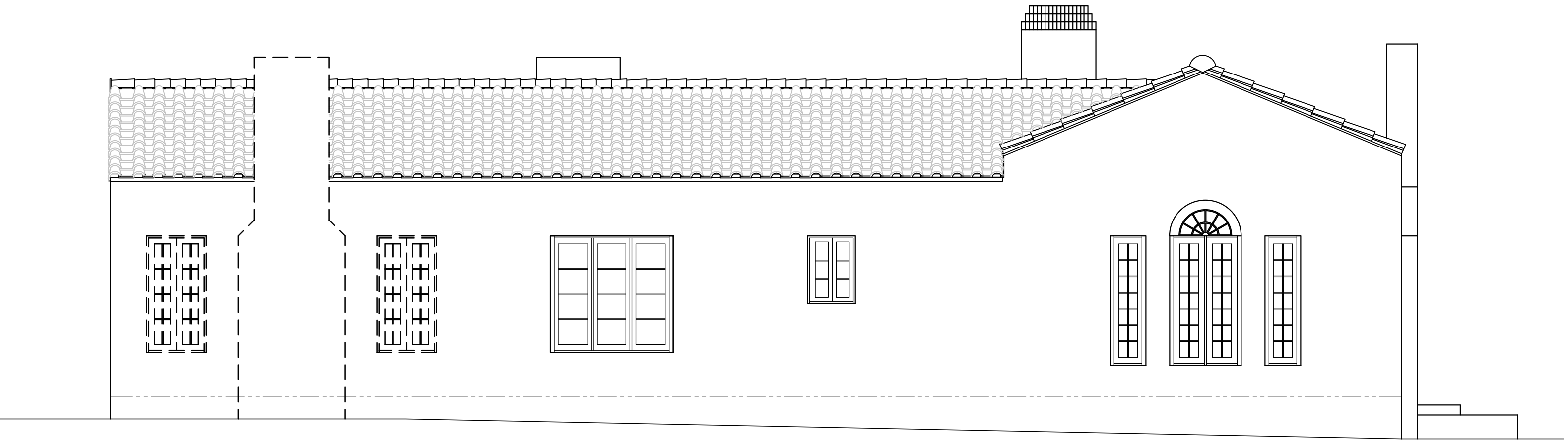




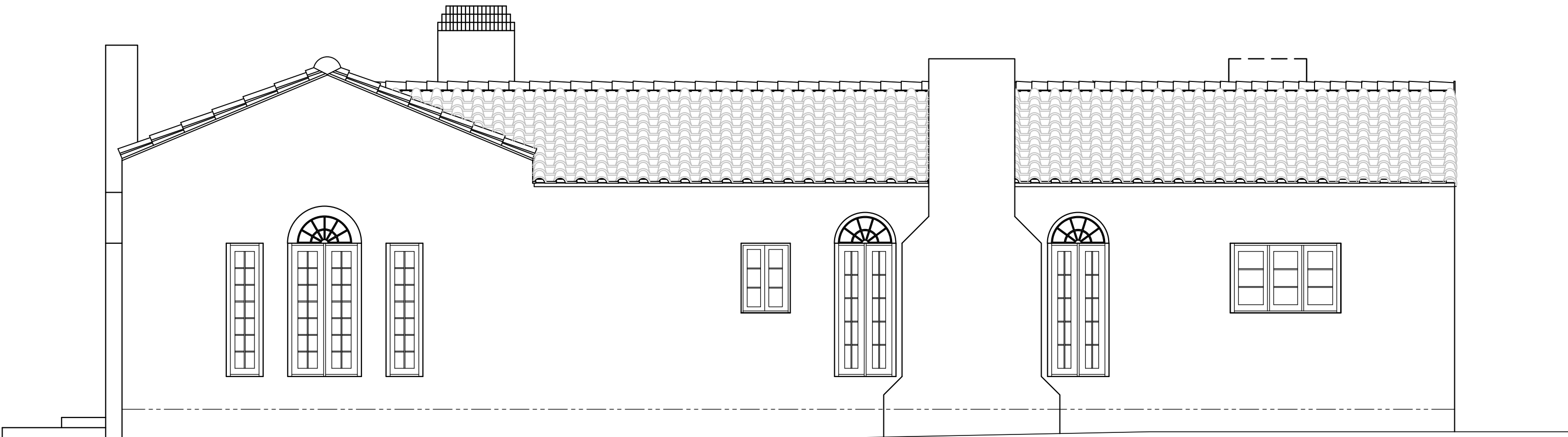
EXISTING SOUTH (FONT) ELEVATION  
SCALE 1/4" = 1'-0"



EXISTING NORTH (REAR) ELEVATION  
SCALE 1/4" = 1'-0"



EXISTING WEST (LEFT) ELEVATION  
SCALE 1/4" = 1'-0"



EXISTING EAST (RIGHT) ELEVATION  
SCALE 1/4" = 1'-0"

DRAWN BY:
REVISIONS:

AA0003569

ANTHONY LEON

0016752

3

DESIGN

ARCHITECTURE

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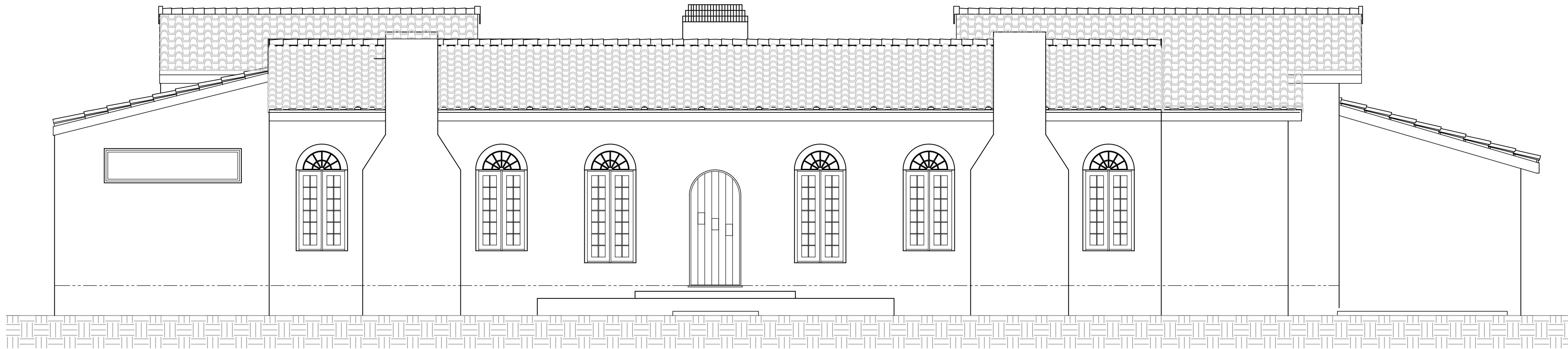
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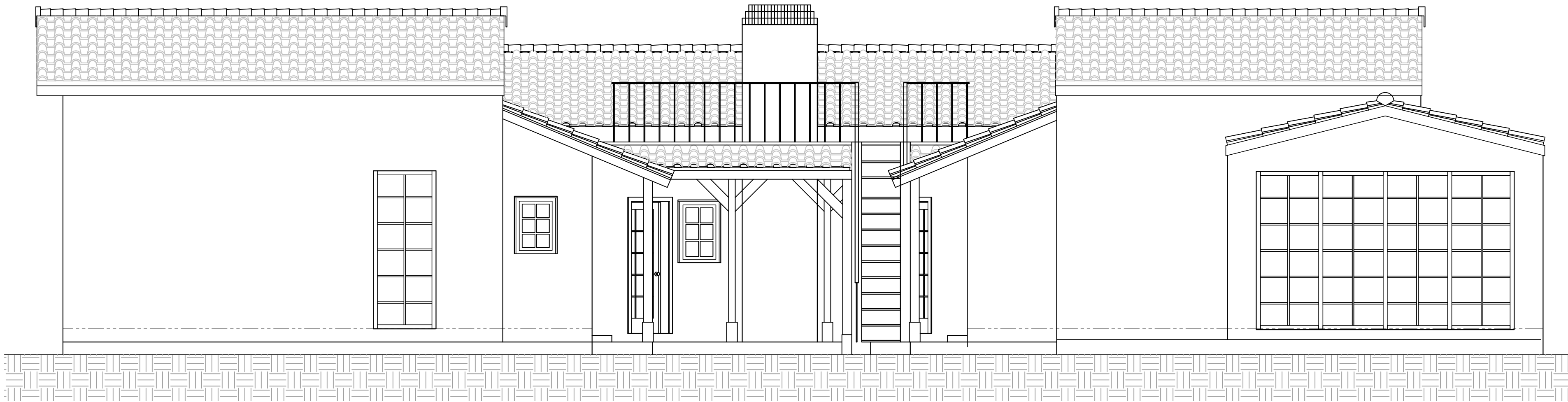
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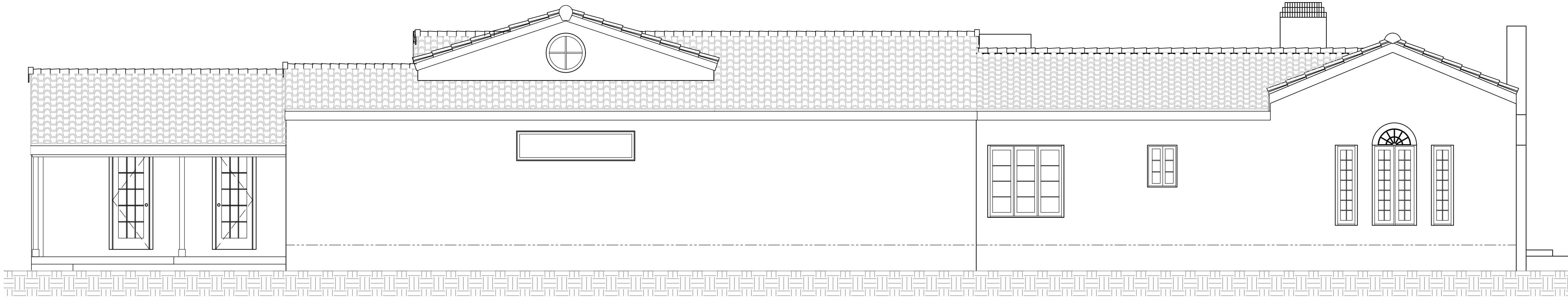
A-3.0
EXISTING ELEVATIONS



PROPOSED SOUTH (FONT) ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED NORTH (REAR) ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED WEST (LEFT) ELEVATION  
SCALE 1/4" = 1'-0"

**ELEVATION NOTES:**

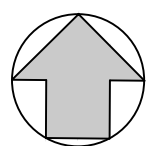
- PAINT BY OTHERS.
- DOORS & WINDOWS UNDER SEPARATE PERMIT.  
(SEE WINDOW & DOOR SCHEDULES)
- ALL GUARD/HANDRAILS BY OTHERS, UNDER SEPARATE PERMIT. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- 5/8" STUCCO FINISH (PAINTED), TYPICAL.
- SEE "LA" SHEETS FOR PROPOSED LANDSCAPING.

**NOTE:**

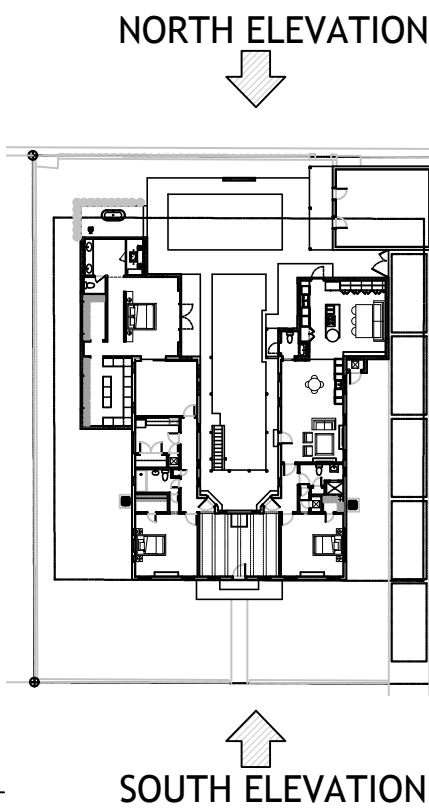
FOR WINDOW & DOOR PRESSURES, SEE STRUCTURAL DRAWINGS.

**NOTE:** UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE SHALL BE SUBMITTED. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED AND APPROVED BEFORE THE CITY CAN ISSUE ANY CO OR TCO.

WEST  
ELEVATION



**KEY PLAN**  
SCALE N.T.C



NORTH  
ELEVATION

SOUTH  
ELEVATION

DRAWN BY:
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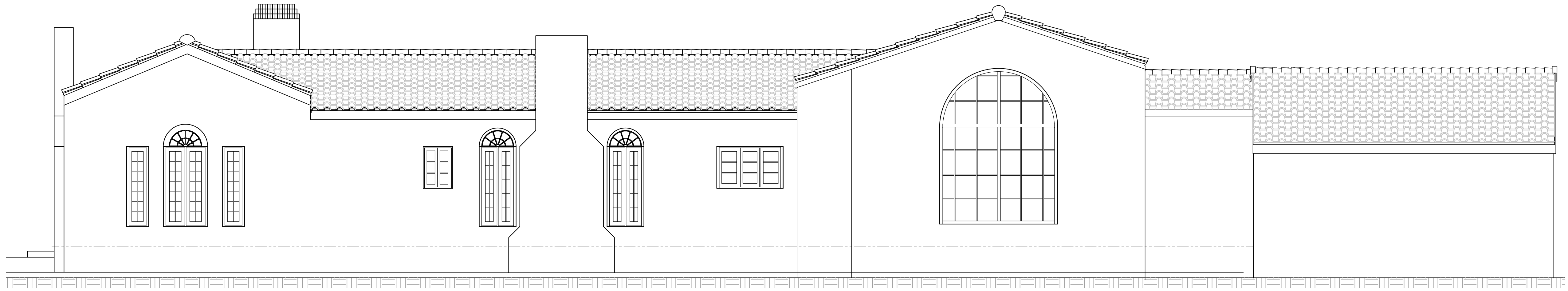
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**A-3.1**  
PROPOSED  
ELEVATIONS

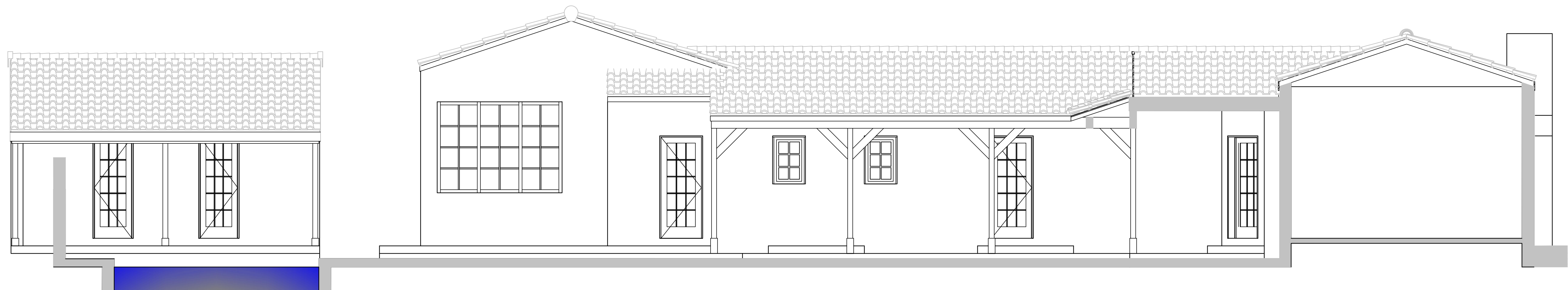




PROPOSED EAST (RIGHT) ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED INTERIOR EAST ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED INTERIOR WEST ELEVATION  
SCALE 1/4" = 1'-0"

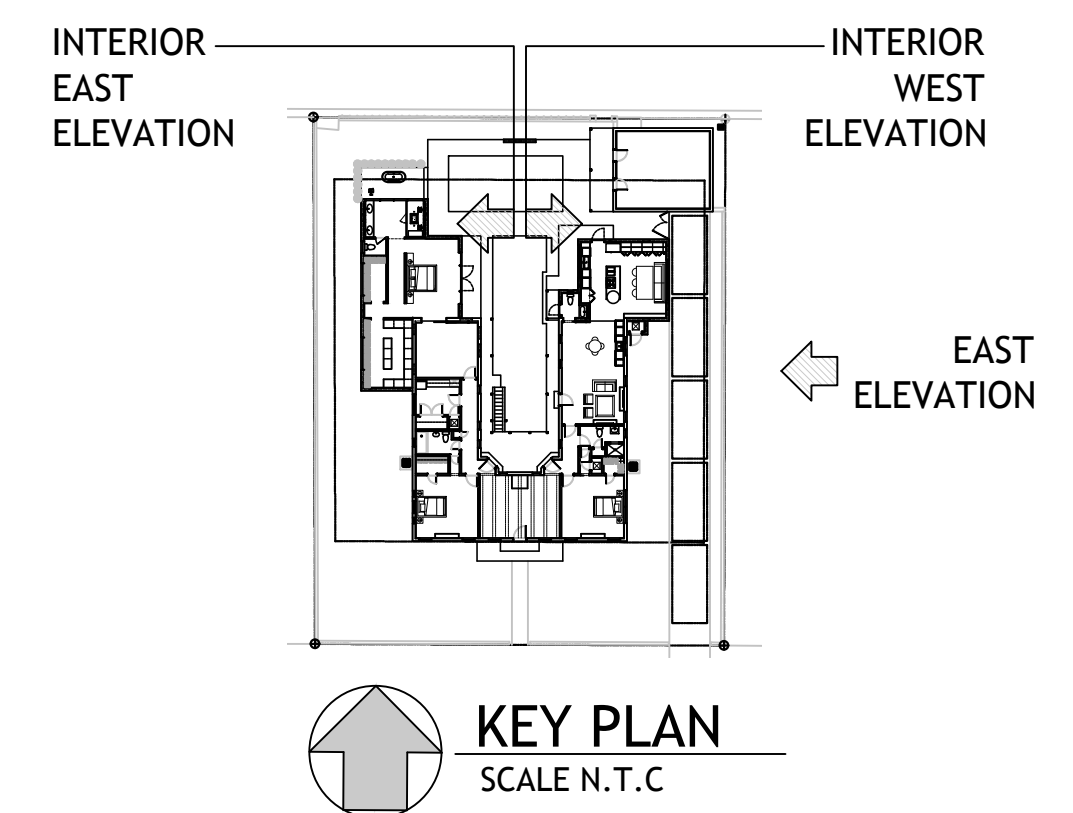
**ELEVATION NOTES:**

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**NOTE:**

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**A-3.2**  
PROPOSED  
ELEVATIONS



## DRAINAGE PLAN