

ATTACHMENT A

Application Package

PLANNING DIVISION

RECEIVED



File No. (internal use only): _____ JAN 23 2019

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CITY OF HOLLYWOOD
PLANNING DIVISION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: January 23, 2019

Location Address: 1330 HOLLYWOOD BLVD - HOLLYWOOD FL

Lot(s): 23.24 Block(s): 8 Subdivision: _____

Folio Number(s): 514 214 011 650

Zoning Classification: _____ Land Use Classification: _____

Existing Property Use: _____ Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: HOUSE EXTENSION of: 1. Master Bedroom, 1. Bathroom, 1. HALLWAY, 1. WALKIN CLOSET - CAR GARAGE

Number of units/rooms: _____ Sq Ft: 1090

Value of Improvement: \$60,000 Estimated Date of Completion: AUGUST 2019

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: OLIVIER E FABRIENNE BIBAS

Address of Property Owner: 1330 HOLLYWOOD BLVD - HOLLYWOOD

Telephone: 305 206 1474 Fax: _____ Email Address: oliviabibas@gmail.com

Name of Consultant/Representative/Tenant (circle one): _____

Address: _____ Telephone: _____

Fax: _____ Email Address: _____

Date of Purchase: 7.15.2018 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 01-23-2019

PRINT NAME: OLIVIER BIBAS

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

Signature of Current Owner

Notary Public
State of Florida

Print Name

My Commission Expires: _____ (Check One) ___ Personally known to me; OR ___ Produced Identification _____

Olivier & Fabienne BIBAS
1330 Hollywood Blvd.
HOLLYWOOD, FL 33019

INTRODUCTION

My name is Olivier Bibas, married to Fabienne for more than 40 years.

We bought this house in order to live our retirement peacefully, we are new grandparents and want to make it our “home”.

We have been Floridians since 1990; we have two children, both married, living in New York.

This project consists of building an extension, including essentially a master bedroom & master bathroom that will procure us our comfort.

This house has long time been neglected by its former owner, who have made a short-term rental business, and the house has ever been maintained.

Having been in the construction industry, thanks to my knowledge and experience in the field, being a retired structural engineer and contractor, we decided to keep the charm of the existing and to build the described extension.

1330 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019

PROJECT INFORMATION:

AN ADDITION TO AN EXISTING SINGLE FAMILY HOME, ONE STORY

LEGAL DESCRIPTION:

LOT 23 AND 24, BLOCK 8 OF HOLLYWOOD LAKES SECTION,
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK
1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY,
FLORIDA.



Site Address	1330 HOLLYWOOD BOULEVARD, HOLLYWOOD FL 33020	ID #	5142 14 01 1650
Property Owner	BIBAS, OLIVIER & FABIENNE	Millage	0513
Mailing Address	1330 HOLLYWOOD BLVD HOLLYWOOD FL 33020	Use	01
Abbr Legal Description	HOLLYWOOD LAKES SECTION 1-32 B LOT 23,24 BLK 8		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2019	\$145,270	\$381,980	\$527,250	\$527,250	
2018	\$145,270	\$381,980	\$527,250	\$496,760	\$10,776.25
2017	\$145,270	\$363,900	\$509,170	\$451,600	\$10,031.22

2019 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$527,250	\$527,250	\$527,250	\$527,250
Portability	0	0	0	0
Assessed/SOH 19	\$527,250	\$527,250	\$527,250	\$527,250
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$477,250	\$502,250	\$477,250	\$477,250

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
7/12/2018	WD-Q	\$572,500	115208288	\$12.00	12,106	SF
6/26/2012	WD-Q-SS	\$325,000	48888 / 1543			
6/27/2005	WD	\$546,000	40026 / 475			
11/10/2003	WD	\$360,000	36414 / 1796			
11/1/1986	WD	\$110,000	13964 / 358			
				Adj. Bldg. S.F. (Card, Sketch)		1805
				Units/Beds/Baths		1/3/2
				Eff./Act. Year Built: 1952/1950		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
R								
1								

COLOR PHOTOGRAPHS OF SUBJECT SITE
AND ADJACENT PROPERTIES



1326 Hollywood Boulevard (East side)



1348 Hollywood Boulevard (West side)



1335 Hollywood Boulevard (North side)



1331 Hollywood Boulevard (North side)



1330 Hollywood Boulevard (Subject Property)

NAME OF OWNER Mr & Mrs Herbert Vosecky.

ADDRESS OF CONSTRUCTION 1330 Boulevard.

LEGAL DESCRIPTION

Lot 23-24. H. B. Lake Sect.

Owner's Present Address

Description of Construction

Cost 15,900.

Single Family Res.

Permit Type	No.	Date Issued	To Whom	Fixtures or Outlets
Bldg	14958	3-16-50	Ross Const Co.	
Roof	69654	12-21-66	Zink Ref	
Plumbing	4900	3-17-50	Dixey	10
Electrical	8413	3-16-50	Blackman.	3-40
	8744	6-27-50	"	13 AOA
Gas	4900	3-17-50	Dixey.	4

INSPECTIONS

FOUNDATION	3-16-50	1st Rough Plg. 3-21-50	Temp. Service 3-17-50
COI MNS		Final Rough Plg. 4-24-50	Rough Electric 4-24-50
TIE TEAM	3-29-50	Septic Tank 5-16-50	Temporary Final
CA		Grease Trap	Final Electric 6-30-50
		Final Plumbing 6-27-50	
GAS ROF.	3-24-50	Cert. of Occupancy	Rubbish Bond

Remarks:

Final Gas 6-27-50
e/o

NAME OF OWNER Fred Haddad

ADDRESS 1330 Lind. Blvd.

LEGAL DESCRIPTION

DESCRIPTION OF CONST.

FEE \$8.30

ARCHITECT:

EVAL.

PERMIT TYPE	NO.	DATE	TO WHOM	FIXT. or OUT.
BLOG.				
ROOF				
ELECTRICAL	2149 3104	2-23-71 2-17-71	S. H. Smith, Kooter	150 amp
PLUMBING				
GAS				
SEPTIC. SEWER				
A/C DUCTS				
SCREEN ENCL.				
POOL				
DRIVEWAY				
FENCE				

JOB CARD

OWNER

DANTELS

JOB ADDRESS

1330 HOLLYWOOD BLVD.

LEGAL DESCRIPTION

LOT NUMBER

23 & 24

BLOCK

8

SUBDIVISION OR ADDITION

HOLLYWOOD LAKES

MICROFILM NO.

ARCHITECT

FEE

\$ no fee

VALUATION

\$ 100.00

DESCRIPTION OF CONSTRUCTION

REPLACE DRIVEWAY & CITY SIDEWALK 160 SQ. FT. 73-700

☐ SEPTIC TANK

☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING

SEPTIC/SEWER

ROOF

AIR/CONDITION

ELECTRIC-BASIC

MECHANICAL

ELECTRIC-SUPP.

SCREEN

PLUMBING

NO. FIX.

POOL

L-P-DRY WALL

DRIVEWAY

12332

4-16-73

OWNER

FENCE

PATIO & WALK

12332

4-18-73

OWNER

NOTES:

FORM 1144-13

JOB CARD

OWNER Nieradka	JOB ADDRESS 1330 Hollywood Blvd.
--------------------------	--

LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
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MICROFILM NO.	ARCHITECT	FEE \$ 15.20	VALUATION \$ 2,000.00
---------------	-----------	-----------------	--------------------------

DESCRIPTION OF CONSTRUCTION Reroof	<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP
--	--

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF 2700	28200	10-75	All Service	AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

1613-13

JOB CARD

OWNER W. NIERADKA		JOB ADDRESS 1330 Hollywood Blvd.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
	ARCHITECT		
MICROFILM NO.	FEE \$ 7.00		VALUATION \$ 250.00
DESCRIPTION OF CONSTRUCTION Repair existing sidewalk and driveway			<input type="checkbox"/> SEPTIC TANK <input type="checkbox"/> SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY	34090	6-21-76	Owner
FENCE				PATIO or WALK			

NOTES:

JOB CARD

OWNER

W. NIERADKA

JOB ADDRESS

1330 Hollywood Blvd.

LEGAL
DESCRIPTION

LOT NUMBER

23 & 24

BLOCK

8

SUBDIVISION OR ADDITION

Hollywood Lakes

MICROFILM NO.

ARCHITECT

FEE

\$ 8.00

VALUATION

\$ 300.00

DESCRIPTION OF CONSTRUCTION

Metal utility shed with metro kit

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	34375	6-30-76	Owner	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

1613-17

JOB CARD

OWNER

DR. HUMBERTO

JOB ADDRESS

1330 Hwd. Blvd.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 10.00

VALUATION

\$ 546

DESCRIPTION OF CONSTRUCTION

148' of 4' hi C/L Fence

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING

SEPTIC/SEWER

ROOF

AIR/CONDITION

ELECTRIC-BASIC

MECHANICAL

ELECTRIC-SUPP.

SCREEN

PLUMBING

NO. FIX.

POOL

L-P-DRY WALL

DRIVEWAY

FENCE

52538

2/14/79

C D Stroud

PATIO or WALK

NOTES:

County Surcharge \$.18

JOB CARD

OWNER H. RECCHIONE		JOB ADDRESS 1330 Hollywood Blvd.	
LEGAL DESCRIPTION	LOT NUMBER	BLOCK	SUBDIVISION OR ADDITION
MICROFILM NO.	ARCHITECT	FEE \$ 28.50	VALUATION \$ 2800.

DESCRIPTION OF CONSTRUCTION: ton and 1½ ton central A/C system with ducts and solid heat ☐ SEPTIC TANK ☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION	11243	12-26-79	Curbelo R/fri
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING NO. FIX.				POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

JOB CARD

OWNER

H. RECCHIONE

JOB ADDRESS

1330 Hollywood Blvd.

LEGAL
DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 17.40

VALUATION

\$

DESCRIPTION OF CONSTRUCTION

Hook up central A/C system

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

TYPE PERMIT

NUMBER

DATE

CONTRACTOR

BUILDING

ROOF

ELECTRIC-BASIC

ELECTRIC-SUPP.

PLUMBING

NO. FIX.

L-P-DRY WALL

FENCE

NOTES:

SEPTIC/SEWER

AIR/CONDITION

MECHANICAL

SCREEN

POOL

DRIVEWAY

PATIO or WALK

20936

1-2-80

Perform Elec.

20936

1-2-80

Perform Elec.

JOB CARD

OWNER

JOB ADDRESS

1330 Hollywood Blvd.

LEGAL DESCRIPTION

LOT NUMBER

BLOCK

SUBDIVISION OR ADDITION

MICROFILM NO.

ARCHITECT

FEE

\$ 15.00

VALUATION

\$ 350.00

DESCRIPTION OF CONSTRUCTION

Purification

☐ SEPTIC TANK
☐ SEWER TAP

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING	72038	11-4-81	KING PEST.	SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				MECHANICAL			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FIX.			POOL			
L-P-DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			

NOTES:

Permit Search Results

Search > Properties located at/on/near '...1330 hollywood blvd...'

28 permits were found for
1330 HOLLYWOOD BLVD

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B18-109140	ADDITION - BEDROOM & BATH	11/29/2018	
Details		B18-109075	DEMOLITION(OTHER THAN COMPLETE BUILDING)	11/27/2018	
Details		B18-106676	FENCE-MASONRY/CONCRETE/PVC	8/20/2018	9/10/2018
Details		P17-100554	AREA DRAIN OR ROOF DRAIN	4/11/2017	5/2/2017
Details		B15-104044	DRIVEWAY	8/7/2015	8/27/2015
Details		P14-100219	GAS PIPING	2/19/2014	2/19/2014
Details		E13-101589	LOW VOLTAGE (POOL ALARM SYSTEM)	2/3/2014	2/3/2014
Details		P13-101819	PLUMBING WORK	11/8/2013	11/22/2013
Details		P13-101274	POOL HEATER,PIPING & FILTER EQUIPMENT	10/1/2013	10/1/2013
Details		M13-100892	POOL HEATER	10/1/2013	10/1/2013
Details		E13-101588	ELECTRICAL WORK	10/1/2013	10/1/2013
Details		P07-100231	PLUMBING WORK	9/9/2013	
Details		M08-100024	A/C CENTRAL (NEW)	9/9/2013	
Details		E07-100315	ELECTRICAL WORK	9/9/2013	
Details		B13-103440	POOL - RESIDENTIAL	7/25/2013	10/1/2013
Details		B09-104816	FENCE-CHAIN LINK &/OR WOOD	12/22/2009	
Details		B07-100731	ADDITION - BEDROOM & BATH	6/7/2007	7/15/2008
Details	30302	B0703098	DRIVEWAY	2/21/2007	6/4/2007
Details	30300		FENCE-CHAIN LINK &/OR WOOD	2/21/2007	
Details	1083	B0505353	FENCE-CHAIN LINK &/OR WOOD	8/23/2005	8/31/2005
Details	45367	M0300235	A/C - CENTRAL - REPLACEMENT	2/19/2003	2/19/2003
Details	42923	B0206983	DECK - WITHOUT ROOF	12/17/2002	12/17/2002
Details		E0002671	ALARM - RESIDENTIAL - CENTRAL - AUDIBLE		7/26/2000
Details		B9100226	RE-ROOF-FLAT		1/15/1991
Details		P8901063	GAS PIPING		12/27/1989
Details		P8900967	GAS PIPING		11/17/1989
Details		P18-102481	DEMOLITION-PLUMBING		
Details		P18-102397	PLUMBING WORK		

Contact us

City of Hollywood
2600 Hollywood Boulevard
Hollywood, FL 33020-4807
Phone: 954-967-HELP
(4357)

Email Us

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ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name OLIVIER BIBAS AND FABIENNE BIBAS				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1330 HOLLYWOOD BOULEVARD				Company NAIC Number:	
City HOLLYWOOD		State Florida		ZIP Code 33020	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Parcel ID # 5142 14 01 1650, Lot 23 & 24, Block 8, "HOLLYWOOD LAKES SECTION" PB. 1-32, Broward County, Florida.					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>N26°00'41.32"</u> Long. <u>W80°08'02.08"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>8</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>1,577</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>5</u>					
c) Total net area of flood openings in A8.b <u>1,440</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF HOLLYWOOD, 125113			B2. County Name BROWARD		B3. State Florida
B4. Map/Panel Number 12011C0569	B5. Suffix H	B6. FIRM Index Date 08-18-2014	B7. FIRM Panel Effective/ Revised Date 08-18-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 6
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1330 HOLLYWOOD BOULEVARD			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BCED BM # 1896, ELEV 10.932' Vertical Datum: NGVD-1929

Indicate elevation datum used for the elevations in items a) through h) below.

☒ NGVD 1929 ☐ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.



Check the measurement used.

- | | | |
|---|--------------|--|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>5. 34</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>N/A.</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A.</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A.</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>2. 64</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>2. 77</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>3. 67</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>N/A.</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name BENIGNO J. SUAREZ		License Number 6583	
Title PROFESSIONAL SURVEYOR AND MAPPER			
Company Name BENNY SUAREZ SURVEYING INC.			
Address 4170 S.W. 152nd PATH			
City MIAMI	State Florida	ZIP Code 33185	
Signature 	Date 06-21-2017	Telephone 305-807-8319	

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

Crown of Road is at Elevation of 3.40' NGVD. The Air Conditioned slab is located outside in the Back of the Building is at Elevation of 2.64 feet. The Pool Pump slab is located outside in the Back of the Building is at Elevation of 2.99 feet. Longitude and Latitude values were obtained using Google Earth Online Internet Program. Survey Crew use a Leica Level Equipment for determinate the Elevations.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1330 HOLLYWOOD BOULEVARD			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1330 HOLLYWOOD BOULEVARD			Policy Number:
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____
- G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

ELEVATION CERTIFICATE**IMPORTANT: In these spaces, copy the corresponding information from Section A.**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1330 HOLLYWOOD BOULEVARDCity
HOLLYWOODState
FloridaZIP Code
33020**FOR INSURANCE COMPANY USE**

Policy Number:

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption

"Front View" 06-06-2018



Photo Two

Photo Two Caption

"Back View" 06-06-2018

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1330 HOLLYWOOD BOULEVARD

Policy Number:

City
HOLLYWOOD

State
Florida

ZIP Code
33020

Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo One

Photo One Caption

"Left Side View" 06-06-2018



Photo Two

Photo Two Caption

"Right Side View" 06-06-2018

ABBREVIATIONS & LEGEND

A/C	= AIR CONDITIONING PAD		= CENTRAL ANGLE
A	= ARC DISTANCE		= WOOD FENCE
BLDG.	= BUILDING		= WIRE FENCE
C.	= CANOPY		= C.B.S. WALL
C.B.	= CATCH BASIN		= DIAMETER
C.B.S.	= CONCRETE BLOCK W/ STUCCO		= IRON FENCE
C.G.	= CURB & GUTTER		= METAL LIGHT POLE
CH.	= CHORD DISTANCE		= GUY WIRE
CL.	= CLEAR		= UTILITY POWER POLE
H.	= HEIGHT		= FIRE HYDRANT
L.F.E.	= LOWEST FLOOR ELEVATION		= WATER METER
L.P.	= LIGHT POLE		= ELECTRIC BOX
M.D.E.	= MAINTENANCE & DRAINAGE EASEMENT		= TELEPHONE BOX
B.C.	= BLOCK CORNER		= CONCRETE
MH.	= MANHOLE		= LIGHT POLE
M/L.	= MONUMENT LINE		= GAS VALVE
M.S.	= METAL SHED ON CONCRETE		= WATER VALVE
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM		= WATER MANHOLE
P.R.M.	= PERMANENT REFERENCE MONUMENT		= UNKNOWN MANHOLE
CL.	= CENTER LINE		= SPOT ELEVATION
CONC.	= CONCRETE		= SEWER MANHOLE
C.S.	= CONCRETE SLAB		= TRAFFIC SIGN
ENC.	= ENCROACHMENT		= CATCH BASIN
F.H.	= FIRE HYDRANT		= IDENTIFICATION
F.I.P.	= FOUND IRON PIPE		= ASPHALT
F.N.D.	= FOUND NAIL & DISK		= SIDEWALK
F.R.	= FOUND REBAR		= UTILITY EASEMENT
N.T.S.	= NOT TO SCALE		= UTILITY POLE
O/H.	= OVERHEAD		= VALLEY GUTTER
O.R.B.	= OFFICIAL RECORDS BOOK		= WATER METER
P.B.	= PLAT BOOK		= WATER VALVE
P.C.P.	= PERMANENT CONTROL POINT		= DRIVEWAY
PG.	= PAGE		
P.O.B.	= POINT OF BEGINNING		
P.O.C.	= POINT OF COMMENCEMENT		
(M)	= MEASURED		
(R)	= RECORDED		
PL.	= PLANTER		
P/L.	= PROPERTY LINE		
R.	= RADIUS		
RAD.	= RADIAL		
(R & M)	= RECORDED & MEASURED		
R/W.	= RIGHT-OF-WAY		

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

Last day of field work was performed on April 4, 2019.

SECTION 2) LEGAL DESCRIPTION:

Lots 23 & 24, Block 8, "HOLLYWOOD LAKES SECTION, according to the Plat thereof, as recorded in Plat Book 1, at Page 32, of the Public Records of Broward County, Florida.

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the "Standards of Practice for Land Surveying in the State of Florida", require for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=20') or smaller.

SECTION 4) SOURCES OF DATA:

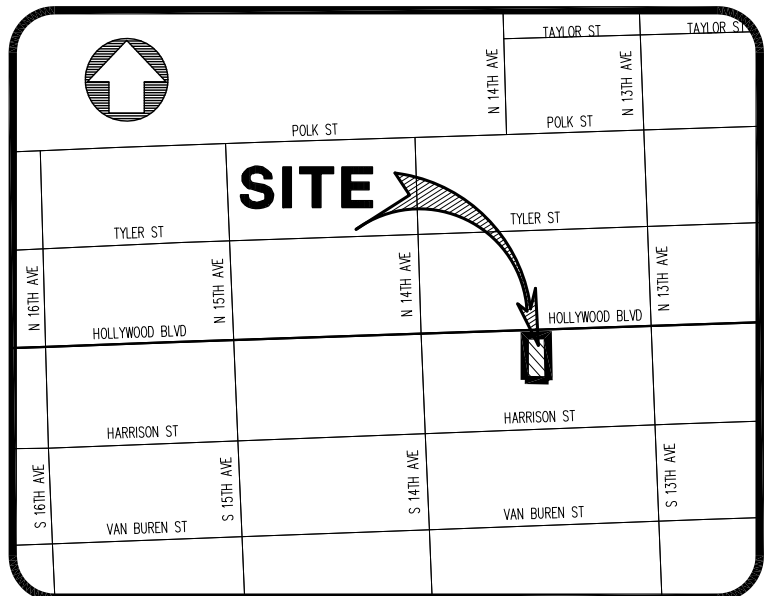
North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Centerline of Hollywood Boulevard with an assumed bearing of N87°55'30"E, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "AE", Elev.=6 feet, as per Federal Emergency Management Agency (FEMA) Community Number 125113 (City of Hollywood), Map Panel No. 12011C569, Suffix H, Map Revised Date: August 18, 2014.

Elevations as shown hereon are based on the North American Datum of 1988, as per Broward County's Benchmark Number 1896, Elevation 10.932 feet (Conversion factor of (-)1.59 from NGVD 1929).

THIS SHEET IS NOT VALID WITHOUT THE OTHERS



VICINITY MAP
NOT TO SCALE

SECTION 5) LIMITATIONS:

Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Broward County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

Caliber Home Loans, Inc
Sunbelt Title Agency
Title Resources Guaranty Company
Olivier Bibas and Fabienne Bibas

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

BENNY SUAREZ SURVEYING INC., a Florida Corporation
Florida Certificate of Authorization Number LB8104

By: _____
Benigno J. Suarez, PSM Date: _____
Registered Surveyor and Mapper LS6583
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

DATE:

04/05/2019

SCALE:

1"=20'

BOUNDARY SURVEY
1330 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020



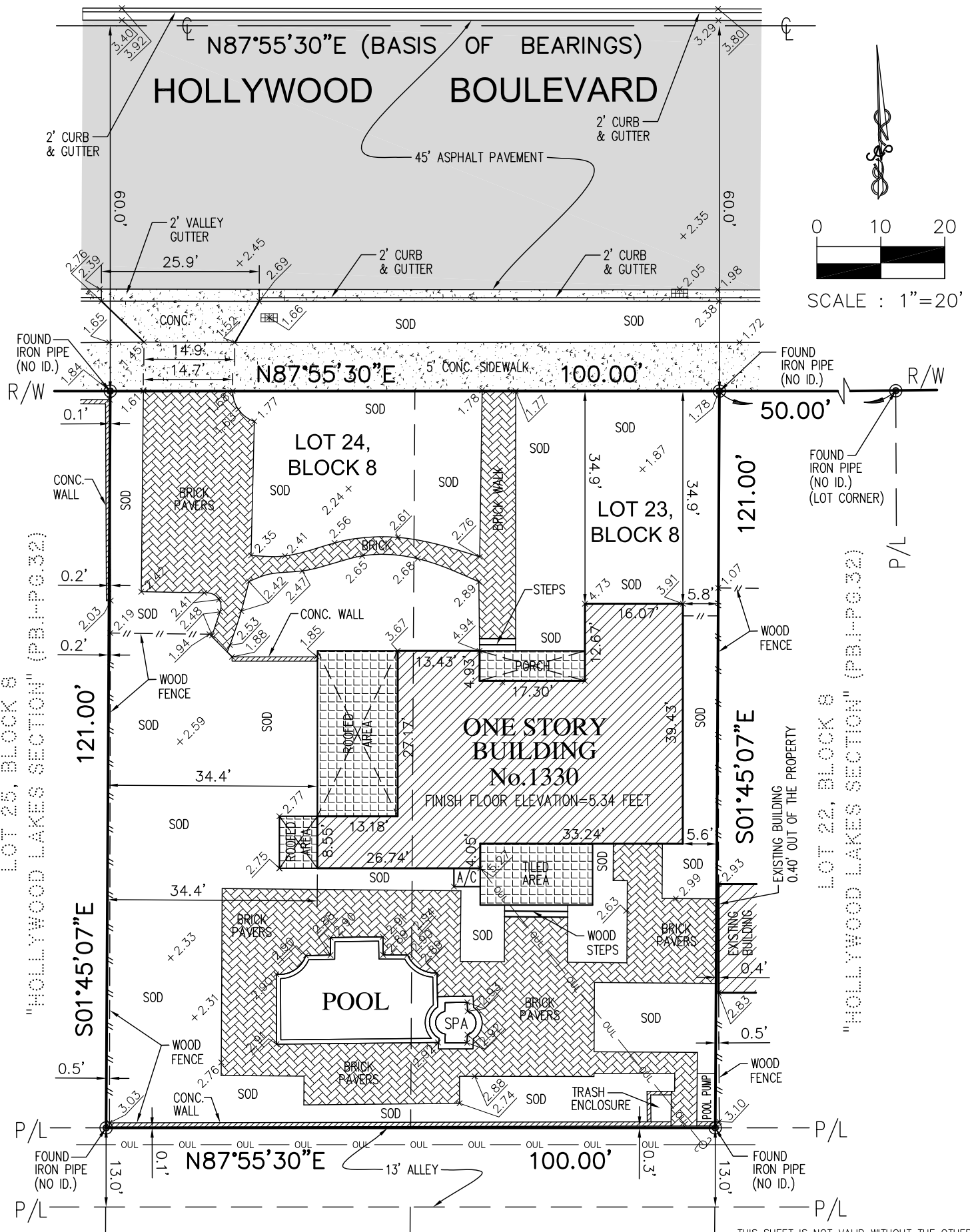
BENNY SUAREZ
SURVEYING INC.
4170 S.W. 152nd PATH, MIAMI, FLORIDA 33185
PH:(305)807-8319 Email: benysuarez@msn.com

SHEET

1

OF 2 SHEETS

N87°55'30"E (BASIS OF BEARINGS)
HOLLYWOOD BOULEVARD



THIS SHEET IS NOT VALID WITHOUT THE OTHERS

DATE:

04/05/2019

SCALE:

1"=20'

BOUNDARY SURVEY
1330 HOLLYWOOD BLVD.
HOLLYWOOD, FL 33020



BENNY SUAREZ
SURVEYING INC.

4170 S.W. 152nd PATH, MIAMI, FLORIDA 33185
PH:(305)807-8319 Email: benysuarez@msn.com

SHEET

2

OF 2 SHEETS

Oliver & Fabienne BIBAS
1330 Hollywood Blvd.
Hollywood, 33019 Florida
Ph. 305-206-1474

City of Hollywood
2600 Hollywood Boulevard
Hollywood, Florida 33020

CRITERIA OF APPROPRIETNESS FOR DESIGN
1330 Hollywood Blvd.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The property is located in the Historic District of the Lakes in Hollywood at 1330 Hollywood Blvd., built in the mid 1950's as a single-family home along Hollywood Blvd. the Site is made up of two 50'-0" lots, one of many other properties along Hollywood Blvd. that have 100 feet frontage.

CRITERION: SETTING

ANALYSIS: The setting of the proposed Residence is typical to most of the homes in the Lakes Community. It is located on the north of Northlake Drive. The street is in line with sidewalks for pedestrian access to the homes.

CRITERION: MATERIALS

ANALYSIS: There is no plan to make any changes to the existing building; we will keep its particular mid-century roof design. All materials used in the proposed extension single-family home will be authentic to the existing building type of contemporary Architecture with a modern touch, as well as durable to meet or exceed the requirements of the Florida Building Code 2016.

CRITERION: WORKMANSHIP

ANALYSIS: The new proposed extension to the existing single-family home will meet or exceed all requirements of the Florida Building Code 2016 and the State of Florida Department of Environmental Protection.

CRITERION: ASSOCIATION

ANALYSIS: We have granted all our consideration to associate the extension to the existing design to preserve its neighboring architecture and its very particular character; Hollywood lakes knew how to preserve this environment surrounded by the sea, the lake and the golf course.

Sincerely,

Olivier Bibas
January 24, 2019

RECEIVED

JAN 24 2019

CITY OF HOLLYWOOD
PLANNING DIVISION



LUIS O. DE LA HOZ PE# 73932

[illegible]

1330 HOLLYWOOD BLVD.
HOLLYWOOD FL 33020
Folio: 5142 14 01 1650

Project
Address:

UPDATED SITE
PLAN
(Apron dimensions)

Project
name:

Sheet
Title:

Project
No:

Drawn
P.A.

Checked: _____
A B

A.R.
Issue
Date:

Date: 04-11-2019

Sheet
No:

HOLLYWOOD BOULEVARD

2' CURB —
& GUTTER

-45' ASPHALT PAVEMENT

2' CURB -
& GUTTER

25'-9" (Existing)

- 2' CURB
& GUTTER2' CURB
& GUTTER

95.2'

FOUND
IRON PIPE
(NO ID.)
50.00'

R/W

$$P/L$$

REFERENCE

Proposed
New pavers

EXISTING
BUILDING

P/L

P/N

SOD

-13' ALLEY

13' ALLEY

13' ALLEY

Landscape Data:

Single Family Districts (RS)	Required	Provided
Perimeter Landscape One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	2 Trees (100.00'/50')	2 Trees (1 Existing Royal Palm, 1 Proposed Royal Palm)
Open Space A minimum of 20% of the required front yard area shall be landscaped pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs. One tree per 1,250 sq. ft. (including any fraction) of front yard area.	2 Trees (2,400 SF)	2 Trees (2 Pigeon Plum)
Minimum Tree Sizes Shade trees: 2" DBH/ 12' height. Palm trees: 8' of GW or CT.		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	2 Trees	4 Trees

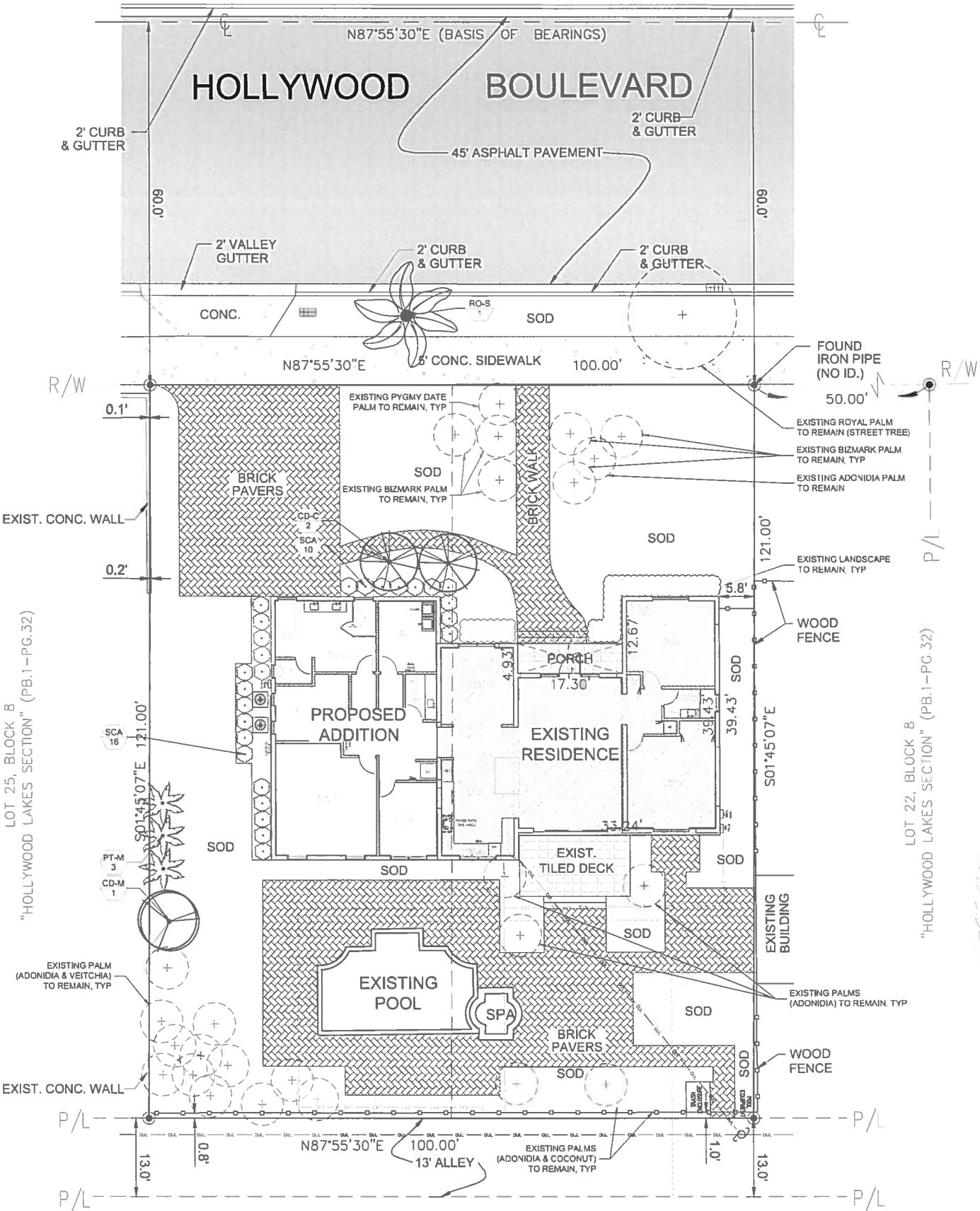
Landscape Notes:

- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual.
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

PLANT SCHEDULE 1330 HOLLYWOOD BLVD					
MITIGATION TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CD-M	Coccoloba diversifolia	Pigeon Plum	FG. 12 HT, 2" DBH MIN, STD, SP	1
	PT-M	Ptychosperma elegans	Alexander Palm	FG. 8' CT, SGL, SP	3
STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	RO-S	Roystonea regia	Florida/Cuban Royal Palm	FG. 8' CT, SGL, SP	1
CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CD-C	Coccoloba diversifolia	Pigeon Plum	FG. 12 HT, 2" DBH MIN, STD, SP	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	SCA	Schefflera arboricola	Green Schefflera	3G. 24" HT x 18" SPR. F. 30" OC	28



Project Team

Landscape Designer

BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 834-1337

Engineer


TADEOS ENGINEERING LLC.
C.A. #: 31229
14030 NW 82nd Ave.
Miami Lakes, FL 33018
Phone: (305) 903-8816
email: lula@tadeosengineering.com

Bibas Residence

1330 Hollywood Blvd, Hollywood, FL 33020

Landscape Plan

Revisions		
Date	Init.	Description
03.01.19	BW	Initial Submittal




PAUL GOULAS, ASLA
FLORIDA REG. #140058007

Drawn By: BW

Checked By: PG


Municipal Project:

Scale



NORTH

SCALE: 1" = 10'



0 5' 10' 20'

1 of 3

Existing Trees to Remain:

- 1. *Adonidia merrillii*, Christmas Palm, 6' Canopy, 5" DBH
- 2. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 5" DBH
- 3. *Veitchia montgomeryana*, Montgomery Palm, TRP, 12' Canopy, 10" DBH
- 4. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 5" DBH
- 5. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 5" DBH
- 6. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 5" DBH
- 7. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 5" DBH
- 8. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 4" DBH
- 9. *Veitchia montgomeryana*, Montgomery Palm, 6' Canopy, 4" DBH
- 10. *Cocos nucifera* `Green Malayan`, Coconut Palm, 20' Canopy, 8" DBH
- 11. *Veitchia montgomeryana*, Montgomery Palm, 8' Canopy, 6" DBH
- 12. *Cocos nucifera* `Green Malayan`, Coconut Palm, 20' Canopy, 12" DBH
- 13. *Cocos nucifera* `Green Malayan`, Coconut Palm, 20' Canopy, 10" DBH
- 14. *Cocos nucifera* `Green Malayan`, Coconut Palm, 20' Canopy, 12" DBH
- 15. *Adonidia merrillii*, Christmas Palm, TRP, 8' Canopy, 4" DBH
- 16. *Adonidia merrillii*, Christmas Palm, TRP, 8' Canopy, 4" DBH
- 17. *Adonidia merrillii*, Christmas Palm, TRP, 8' Canopy, 4" DBH
- 18. *Bismarckia nobilis* `Silver`, Bismark Palm, 4' Canopy, 3" DBH
- 19. *Adonidia merrillii*, Christmas Palm, DB, 16' Canopy, 8" DBH
- 20. *Bismarckia nobilis* `Silver`, Bismark Palm, 4' Canopy, 3" DBH
- 21. *Bismarckia nobilis* `Silver`, Bismark Palm, 4' Canopy, 3" DBH
- 22. *Roystonea regia*, Royal Palm, 18' Canopy, 20" DBH (Existing Street Tree)
- 23. *Phoenix roebellini*, Pygmy Date Palm, 8' Canopy, 9" DBH
- 24. *Bismarckia nobilis* `Silver`, Bismark Palm, 4' Canopy, 3" DBH
- 25. *Bismarckia nobilis* `Silver`, Bismark Palm, 4' Canopy, 3" DBH
- 26. *Bismarckia nobilis* `Silver`, Bismark Palm, 4' Canopy, 3" DBH

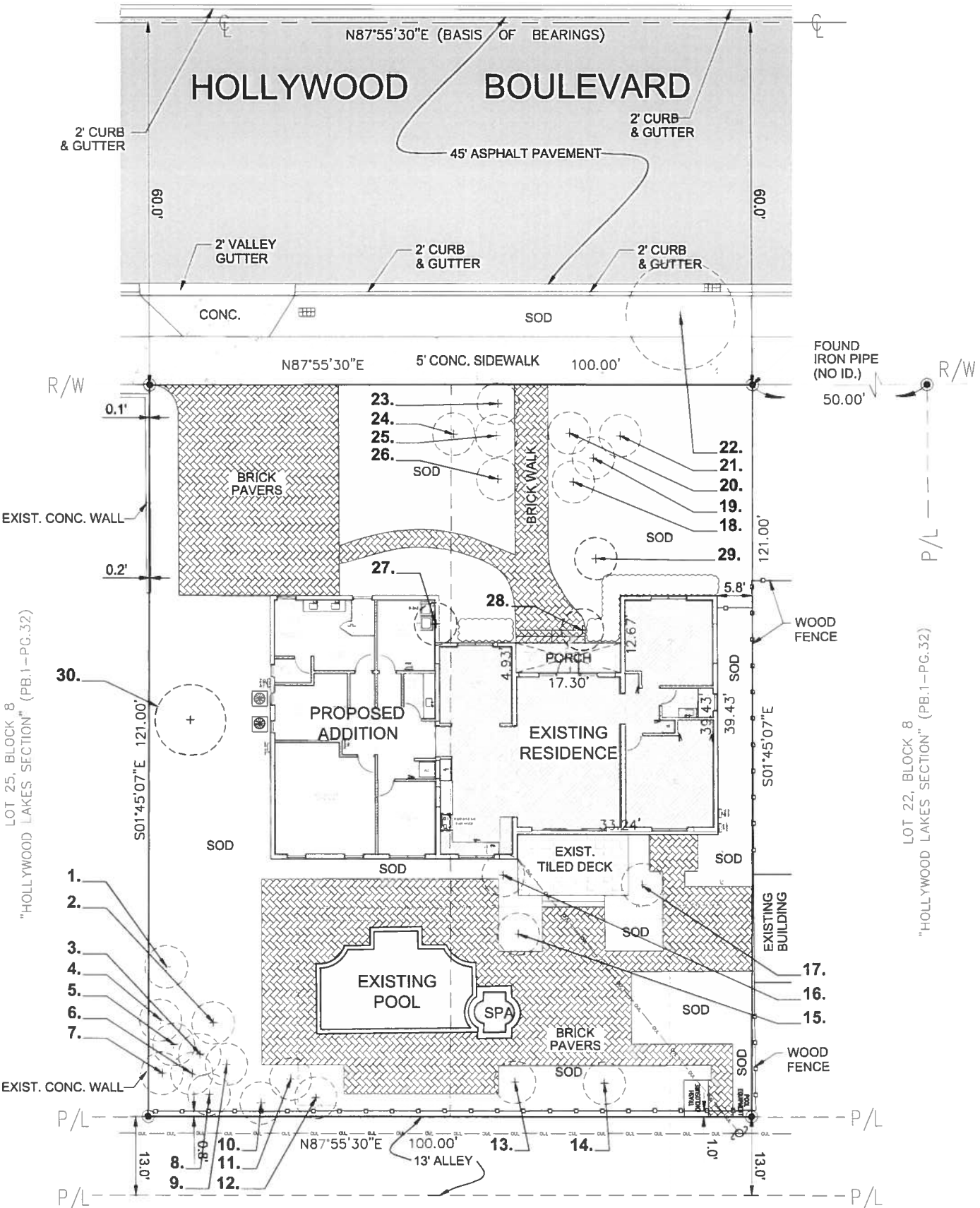
Existing Trees Removed:

- 27. *Strelitzia nicolai*, White Bird of Paradise, 10' Canopy, 6" DBH
- 28. *Livistona chinensis*, Chinese Fan Palm, 6' Canopy, 10" DBH
- 29. *Adonidia merrillii*, Christmas Palm, 6' Canopy, 5" DBH
- 30. *Manilkara zapota*, Sapodilla Tree, 20' Canopy, Unknown DBH (Previously Removed)

Landscape Tree Mitigation Data:

Trees Removed	Replacement Provided
(1) <i>Strelitzia nicolai</i> , White Bird of Paradise, 10' Canopy, 6" DBH	1 Palm Tree (Alexander Palm)
(1) <i>Livistona chinensis</i> , Chinese Fan Palm, 6' Canopy, 10" DBH	1 Palm Tree (Alexander Palm)
(1) <i>Adonidia merrillii</i> , Christmas Palm, 6' Canopy, 5" DBH	1 Palm Tree (Alexander Palm)
(1) <i>Manilkara zapota</i> , Sapodilla Tree, 20' Canopy, Unknown DBH	1 Tree (Pigeon Plum)

*Note: All replacement trees minimum of ten (12) feet in height when planted on private property and twelve (12) feet when planted on swales and commercial properties. Palms minimum 8' clear trunk.



Project Team

Landscape Designer:
BRANDON M. WHITE, ASLA
1708 SE Joy Haven Street
Port St. Lucie, FL 34983
(772) 854-1337

Engineer:
TADEOS ENGINEERING LLC.
C.A. #: 31229
14030 NW 62nd Ave.
Miami Lakes, FL 33016
Phone: (305) 903-8816
email: luis@tadeosengineering.com

Bibas Residence
1330 Hollywood Blvd, Hollywood, FL 33020

Existing Tree Information

Revisions		
Date	Init.	Description
03.01.19	BW	Initial Submittal

PAUL GOULAS, BLA
FLORIDA REG. # LA666807

Drawn By: BW
Checked By: PC
Municipal Project:
Scale:

NORTH

SCALE 1" = 10'

0 5' 10' 20'

2 of 3

No.	Revision/Issues	Date

1330 HOLLYWOOD
BOULEVARD, HOLLYWOOD
FL 33020
Folio: 5142 14 01 1650

Project
Address:

EXISTING HOUSE ADDITION
AND INTERIORS REMODELING

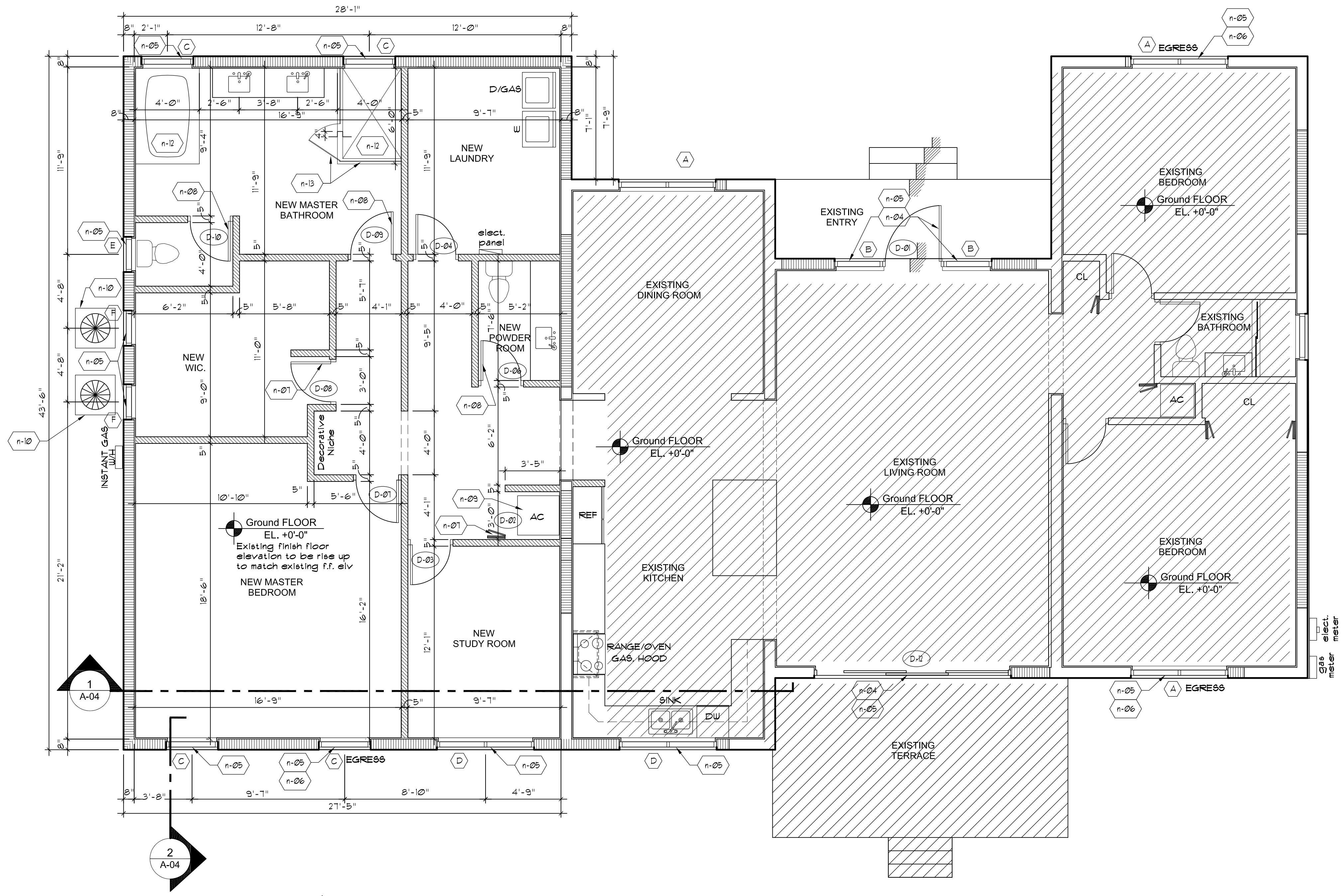
Project
Name:

Sheet
Title:

PROPOSED
FLOOR PLAN

Project
No.:
Drawn:
P.A.
Checked:
A.R.
Issue
Date: 09-24-2018
Sheet No:

A-01



Floor Plan | Proposed
Scale: 1/4" = 1'-0"

LEGEND

New CMU wall

New interior partition

Existing precast panel wall to remain

Proposed interior partition

Hatch pattern denotes Area existing Building no work

Hatch pattern denotes addition area

AREA BREAK DOWN	
GROUND FLOOR AREA	
EXISTING A/C SPACE	1,565.0 SF.
EXISTING ENTRY	90.0 SF.
ADDITION.	
NEW A/C ADDITION SPACE	1,197.0 SF.
TOTAL A/C AREA	2,762 SF.
TOTAL NEW AREA UNDER ROOF	1,197.0 SF.

- PROJECT NOTES**
- N-01. All dimensions to be field verified by contractor.

N-02. All door dimensions shown to be verified by GC. Refer to schedule for door size and type.

N-03. All ADA clearances to be verified and adhered to by GC.

N-04. Fix Glass and glass door to be safety glass Category II.

N-05. All glass windows/doors to receive impact resistant glass and to comply w/energy calculation.

N-06. Egress window as second means of escape to have an outside window or door operable from the inside without the use of tools and providing a clear opening of not less than 20 in. in width, 24 in. in height and 5.7 sq.ft. in area See Detail

N-07. Every closet door latch shall be such that children can open the door from the inside of the closet. f.o.c..

N-08. Every bathroom door lock shall be designed to permit the opening of the locked door from the outside in an emergency.

N-09. New A/C air handler

N-10. Existing A/C condenser unit relocated.

N-11. Emergency means of escape 4 mean of egress exit door. According FBC'10 R310.4. Door shall be side hinged, 32" min. width clearance 4 78" min. clear HT.

N-12. Shower/bathtub compartment must have floor and walls constructed of smooth, corrosion resistant and non absorbent water-resistant material to a height of not less than 12" above the compartment floor at the drain as per f.o.c. See detail.

N-13. Glazing less than 60" AFF in shower/Tub shall be Cat.II safety glass.

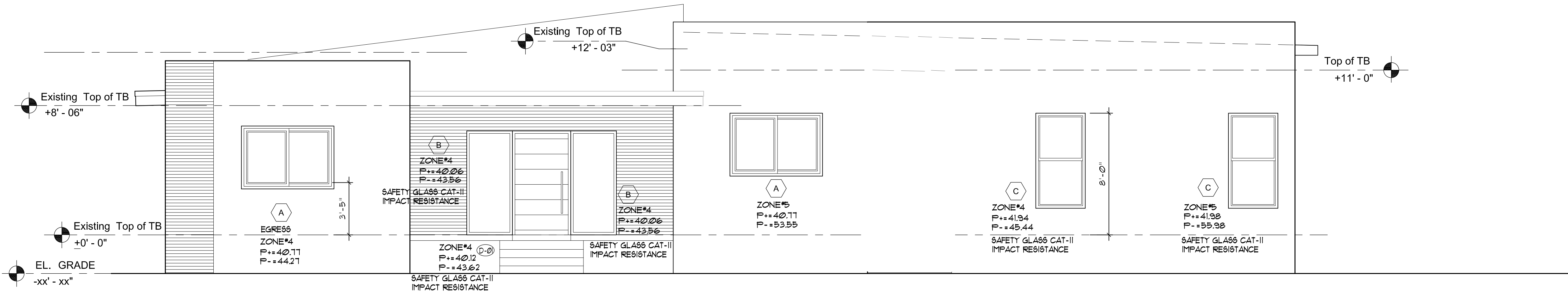
As per fbc r310.1 wall and ceiling finishes shall have a flame-spread classification of not greater than 200. verify w/ manufacturer.

As per fbc r310.2 wall and ceiling finishes shall have a smoke-developed index of not greater than 450. verify w/ manufacturer.

As per fbc r316.1 insulation materials in roof ceiling assemblies and attic shall have a flame spread index not to exceed 25/smoke developed index not to exceed 450. verify w/ manufacturer.

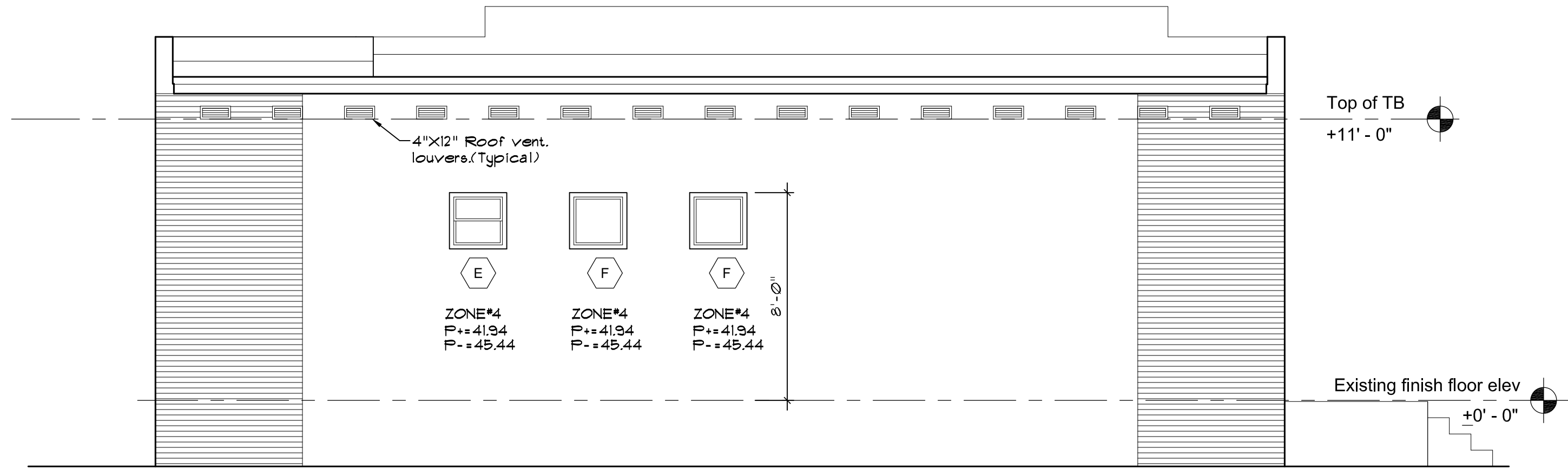
ALL WORK TO BE DONE UNDER F.B.C 2017 RESIDENTIAL

BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES'. A 'CERTIFICATE OF COMPLIANCE' SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY PERFORMING THE TREATMENT" (SEE FBC'07 R4409.13.5 FOR TEXT OF 'CERTIFICATE OF COMPLIANCE' STATEMENT).



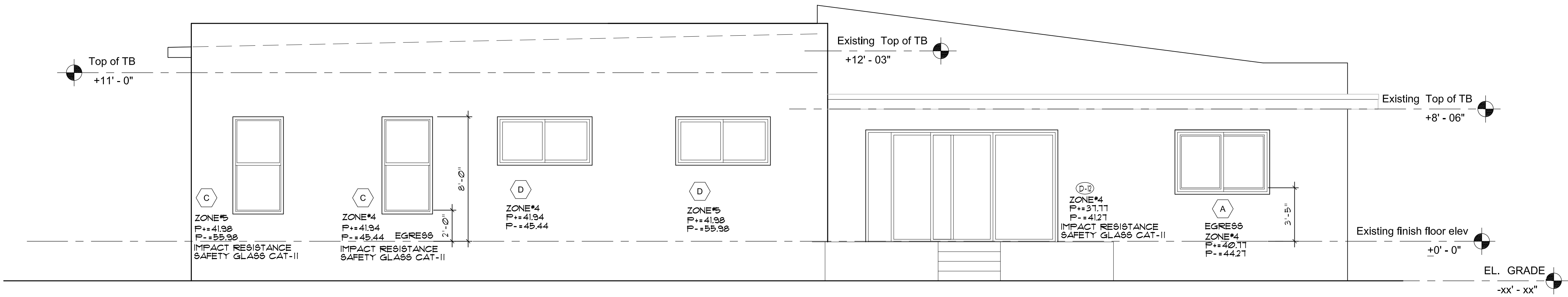
North Elevation | Proposed

Scale: 1/4" : 1'-0"



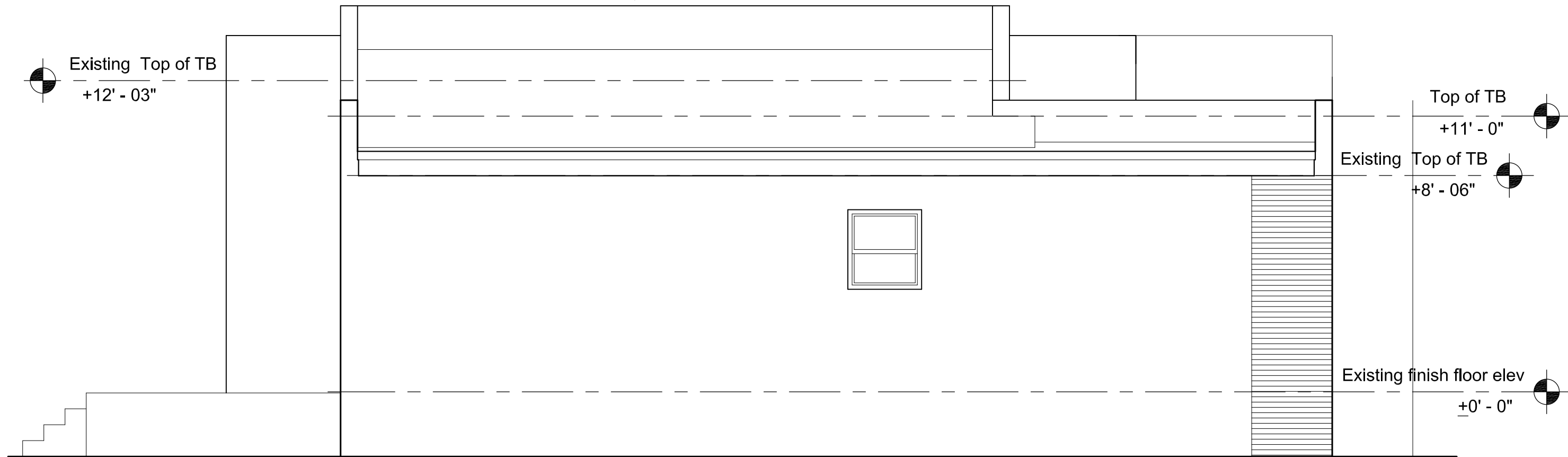
West Elevation | Proposed

Scale: 1/4" : 1'-0"



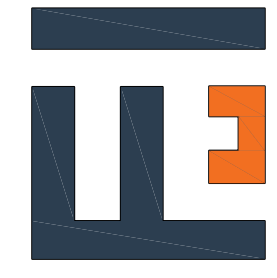
South Elevation | Proposed

Scale: 1/4" : 1'-0"



East Elevation | Proposed

Scale: 1/4" : 1'-0"



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LUIS O. DE LA HOZ
PE# 73932

No.	Revision/Issues	Date

1330 HOLLYWOOD
BOULEVARD, HOLLYWOOD
FL 33020
Folio: 5142 14 01 1650

Project Address:

EXISTING HOUSE ADDITION
AND INTERIORS REMODELING

Project Name:

PROPOSED
ELEVATIONS
OPTION B

Sheet Title:

Project No.:
Drawn: P.A.
Checked: A.R.
Issue Date: 09-24-2018
Sheet No.

A-03



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PE# 73932

No.	Revision/Issues	Date

1330 HOLLYWOOD
BOULEVARD, HOLLYWOOD
FL 33020
Folio: 5142 14 01 1650

Project
Address:

EXISTING HOUSE ADDITION
AND INTERIORS REMODELING

Project
Name:

Sheet
Title:

PROPOSED
ROOF PLAN

Project
No.:

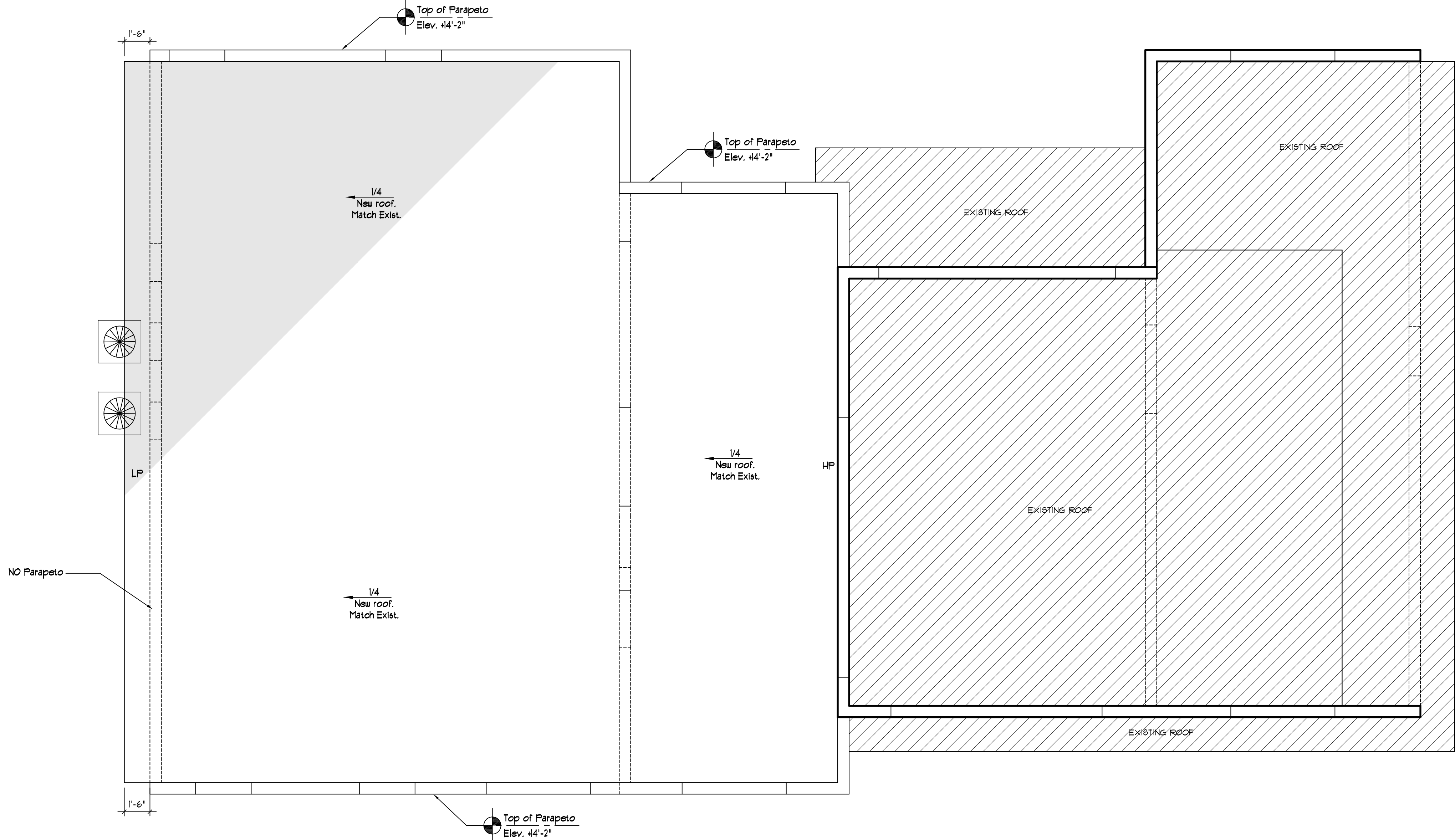
Drawn:
P.A.

Checked:
A.R

Issue
Date: 09-24-2018

Sheet No.:

A-02



Hatch pattern denotes Area
existing Building no work

Hatch pattern denotes new roof
area

ATTIC VENT CALCULATION

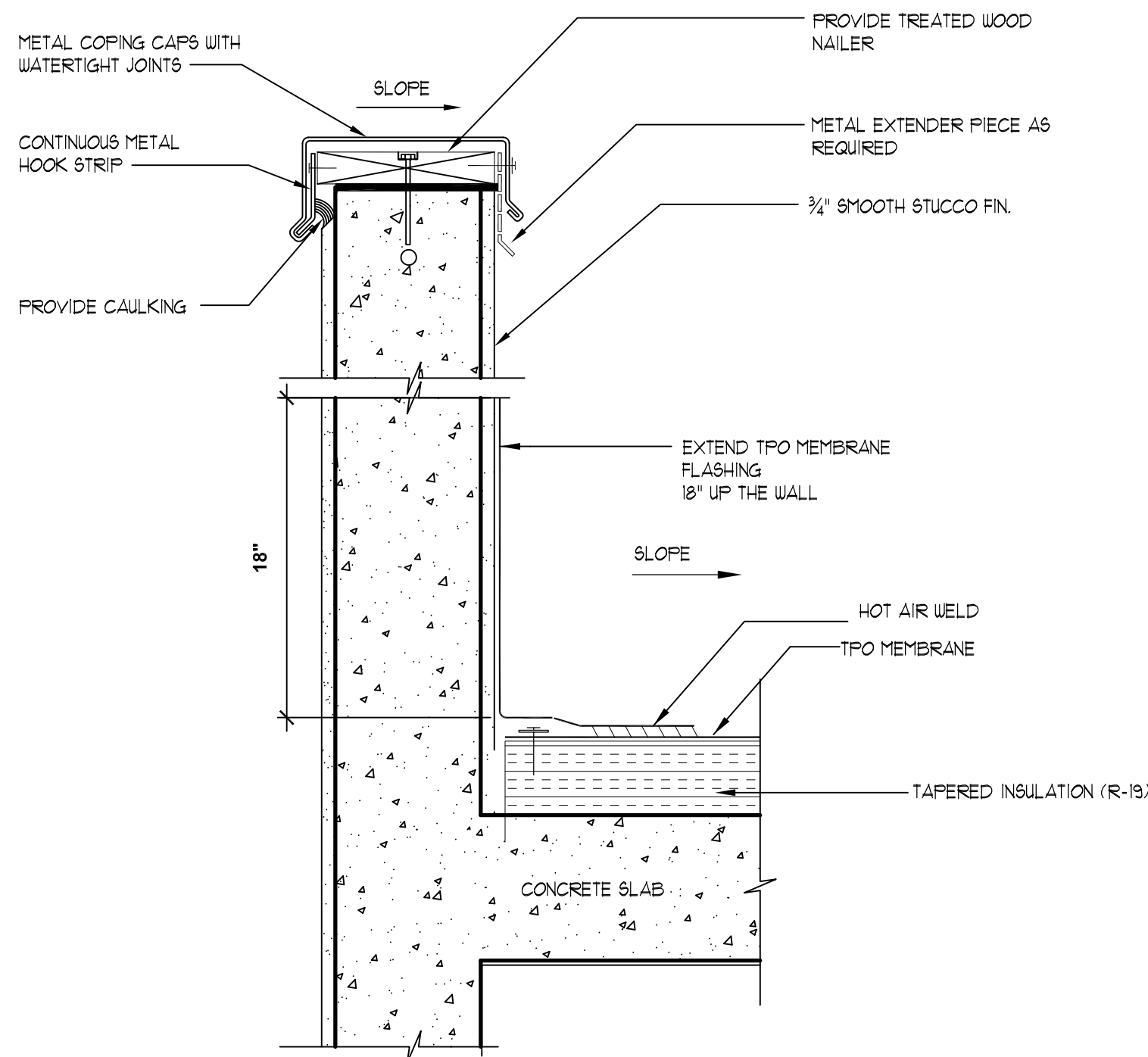
$$\begin{aligned} \text{LONG. OF VENT} &= \frac{\text{ROOF AREA}}{150} \\ &= \frac{2030}{150} = 13.53 \end{aligned}$$

REQ. = 14 LINEAR FEET PROVIDE = 14 LINEAR FEET



Roof Plan Proposed

Scale: 1/4" = 1'-0"

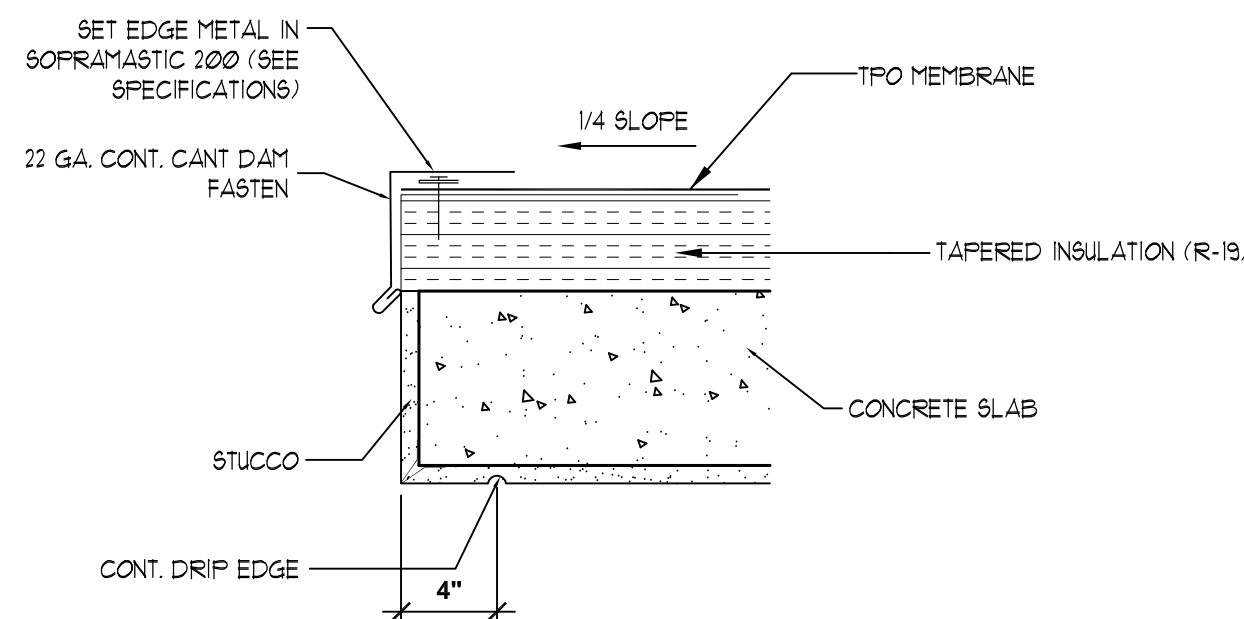


1

A-2

TYPICAL PARAPET WALL AT ROOF

Scale: 1 1/2" = 1'-0"

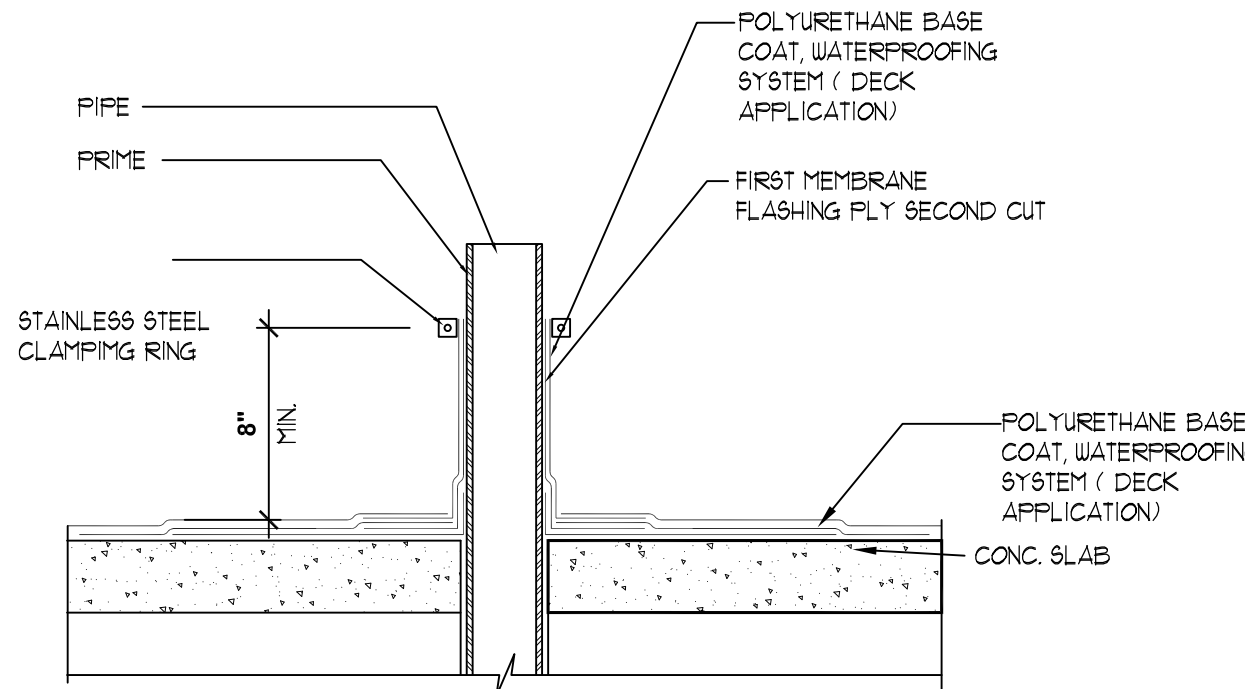


2

A-2

ROOF EDGE DETAIL

SCALE : 1/2" = 1'-0"



NOTES:

1. VENT PIPE AND FLASHING TO EXTEND A MINIMUM OF 12" ABOVE FINISHED ROOF SURFACE
2. WHERE NECESSARY TO EXTEND PIPE TO PROVIDE MINIMUM 12" HEIGHT, CONTRACTOR TO PROVIDE CONNECTOR AND ADDITIONAL PIPE TO ACHIEVE HEIGHT. PIPE TO BE CONSTRUCTED OUT OF SAME MATERIAL AS EXISTING PIPE


3

A-2

PIPE FLASHING DETAIL (TYP.)

SCALE: 1 1/2" = 1'-0"

WINDOWS SCHEDULE				
MARK	TYPE	SIZE	ROUGH OPENING	REMARKS
A	HORIZONTAL ROLLER	73"x43½"	75"x51"	EGRESS
B	FIX GLASS WINDOW	36"x81"	36"x88"	IMPACT RESISTANCE SAFETY GLASS CAT-II
C	SINGLE HUNG	39"x15"	40" 3/4"x16"	EGRESS
D	HORIZONTAL ROLLER	73"x37½"	74"x38"	IMPACT RESISTANCE SAFETY GLASS CAT-II
E	SINGLE HUNG	25½"x25"	27¼"x26"	
F	FIX GLASS WINDOW	25½"x25"	27¼"x26"	

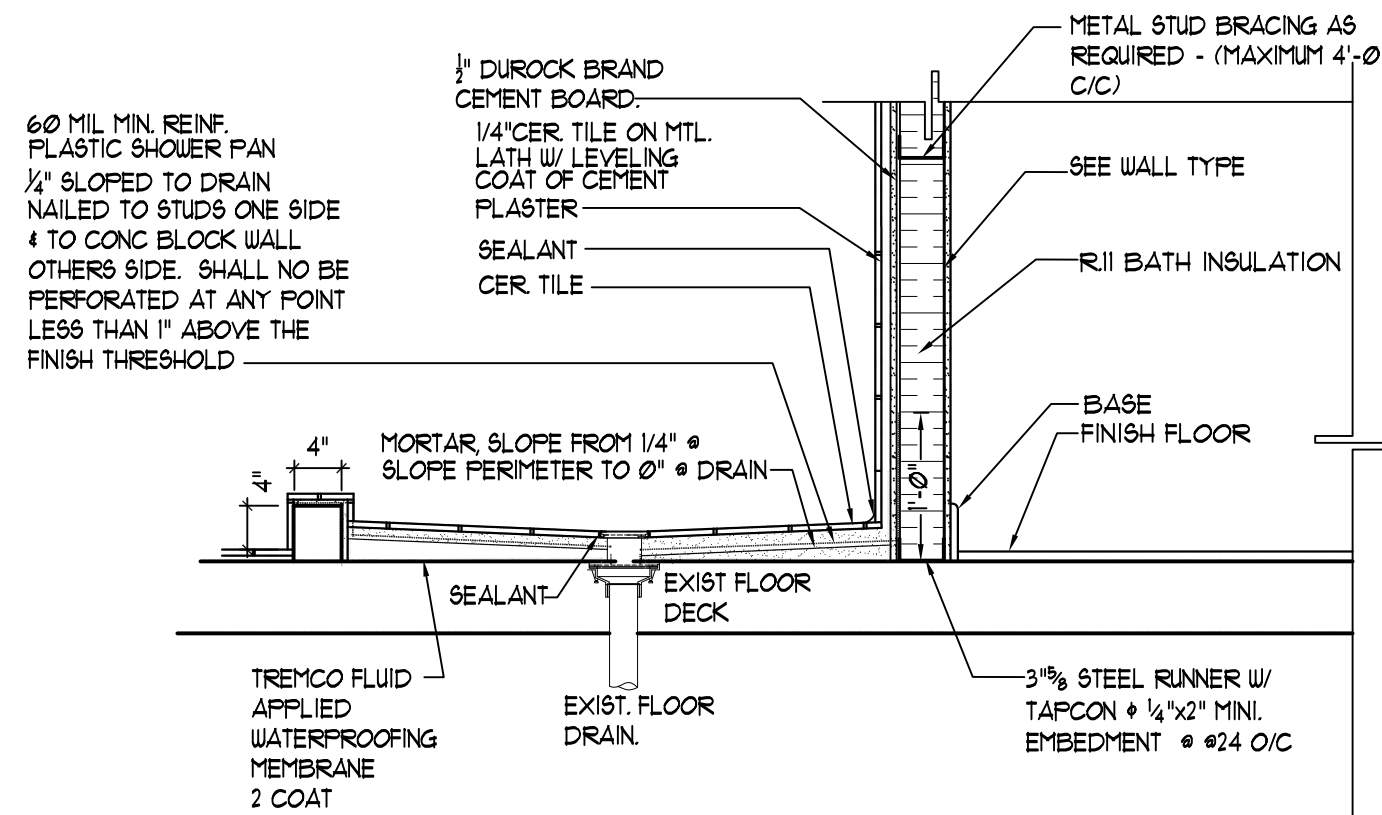


SECOND MEANS OF ESCAPE WINDOWS

EGRESS WINDOW AS SECOND MEANS OF ESCAPE TO HAVE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20 IN. IN WIDTH, 24 IN. IN HEIGHT AND 5.7 SQFT. IN AREA.

EXTERIOR WINDOWS & DOORS UNDER SEPARATE PERMIT

AS PER FBC R316, INSULATION MATERIALS IN ROOF CEILING ASSEMBLIES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25/SMOKE DEVELOPED INDEX NOT TO EXCEED 450. VERIFY W/ MANUFACTURER.

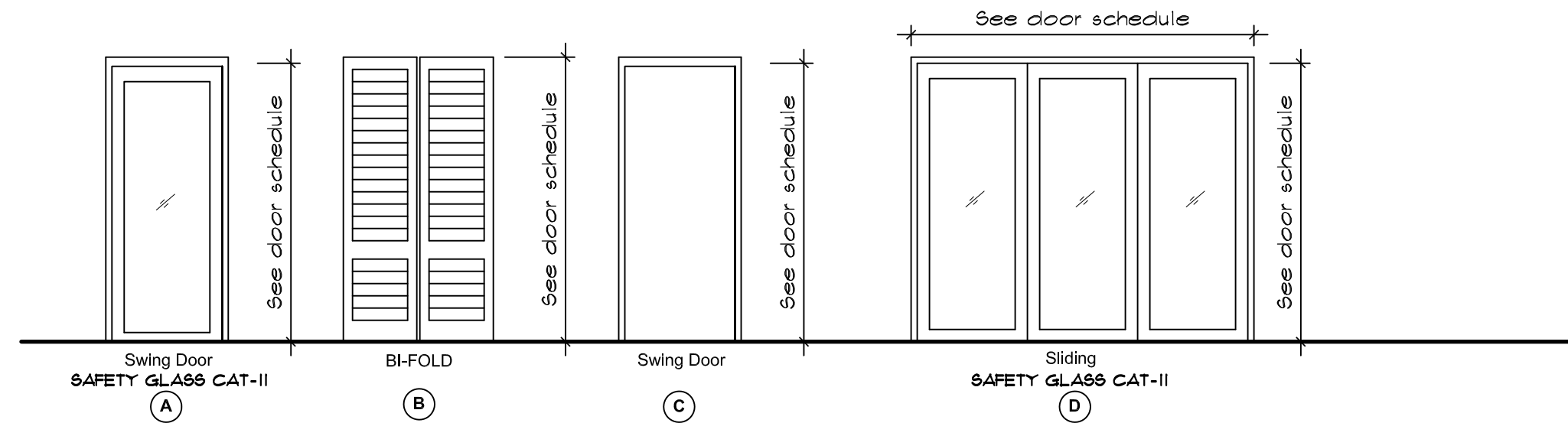


Scale: 3/4"=1'

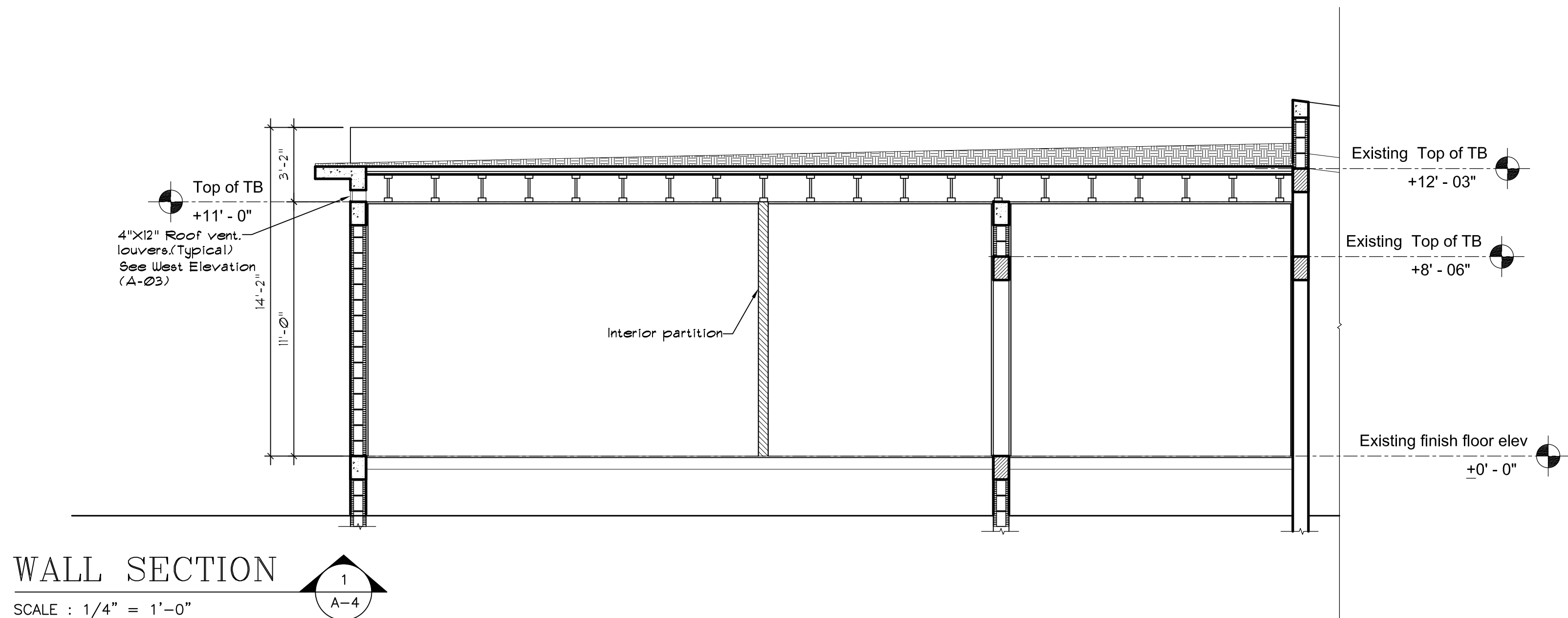
NO.	LOCAL	SIZE			TYPE	MATERIAL	FINISH	THRES.	ROUGH OPENING	REMARKS
		W	H	T						
(1)	ENTRY	3'-4"	7'-0"	1 1/2"	(A) SWING	ALUM- GLASS	PAINT	ALUM	42"x80"	IMPACT RESISTANCE SAFETY GLASS CAT-I
(2)	A/C CLOSET	3'-0"	7'-0"	1 1/2"	(B) BI-FOLD	WOOD	PAINT			
(3)	STUDY ROOM	2'-6"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(4)	LAUNDRY	2'-6"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(5)	NO USED									
(6)	POULDER ROOM	2'-6"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(7)	MASTER BEDROOM	2'-8"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(8)	WALK IN CLOSET	2'-6"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(9)	MASTER BATHROOM	2'-8"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(10)	MASTER BATHROOM	2'-6"	7'-0"	1 1/2"	(C) SWING	WOOD	PAINT			
(11)	NO USED									
(12)	LIVING ROOM	14'-8"	7'-0"	1 1/2"	(D) SLIDING	ALUM- GLASS	PAINT	ALUM	178"x80"	IMPACT RESISTANCE SAFETY GLASS CAT-I

NOTE:
 1- EXTERIOR GLASS DOOR SHALL RECEIVE IMPACT RESISTANT HURRICANE SHUTTER PROTECTION
 2- COORDINATE MASONRY OPENING W/ DOOR MANUFACTURER PRIOR TO WALL ERECTION (SUBMIT SHOP DRAWING FOR APPROVAL)
 3- ALL EXTERIOR DOORS TO RECEIVE SILL TO MATCH FLOOR FINISH.

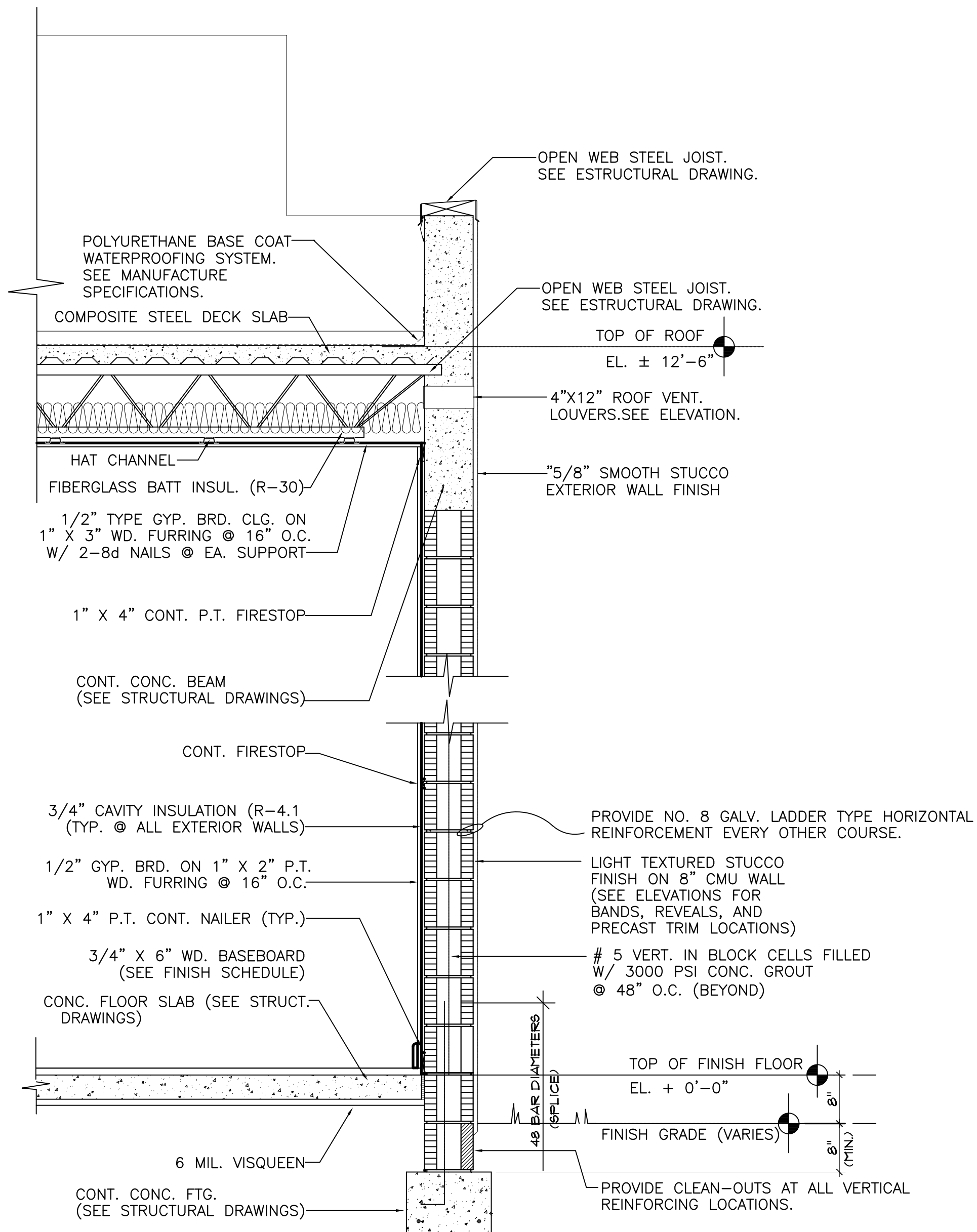
NOTE:
 1-GLASS TO BE SINGLE GLASS CLEAR DEFAULT
 U-FACTOR: 0.36
 SHGC=0.44

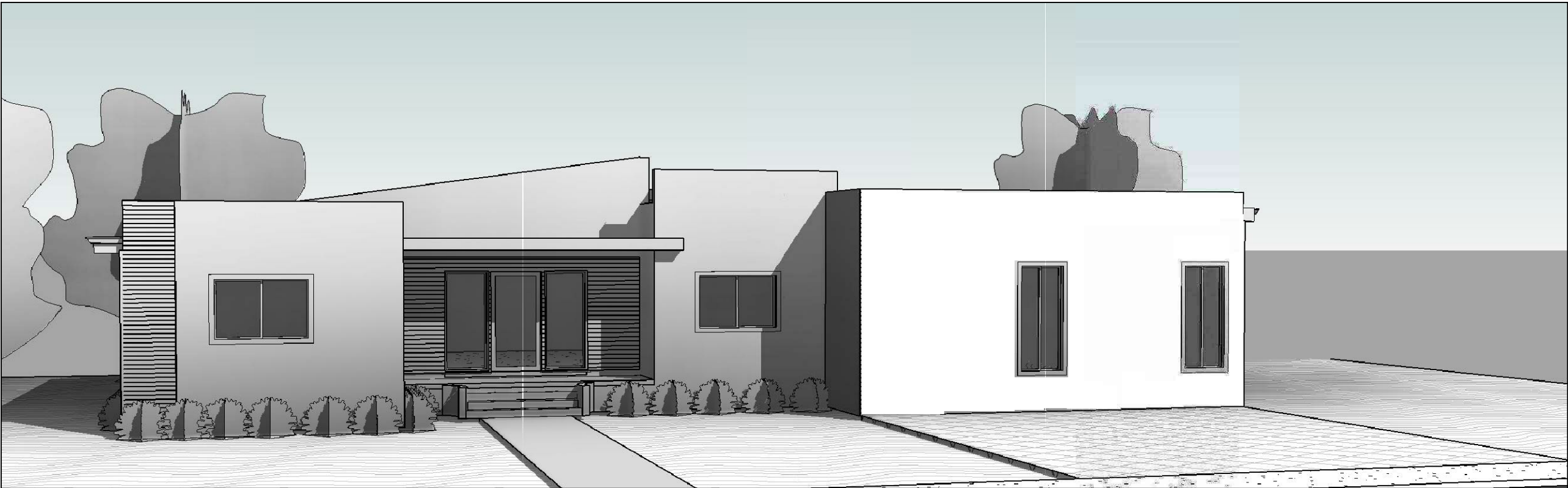


Typical new
interior partition



SCALE : $3/4" = 1'-0"$





North 3d view | Proposed



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Stamp:

LUIS O. DE LA HOZ
PE# 73932

PROJECT

1330 HOLLYWOOD
BOULEVARD,
HOLLYWOOD FL 33020

Folio: 5142 14 01 1650

Drawn
Checked
Date
Scale
Jon NO.
Sheet
OF SHEETS

