

PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):_

JAN 23 2019

GENERAL APPLICATION OF PLANNING DIVISION



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

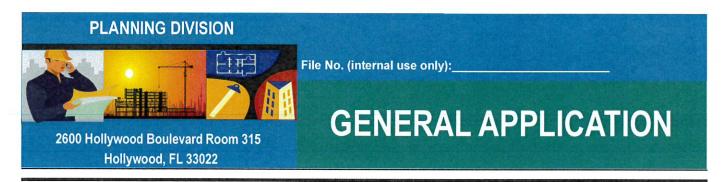
At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/DocumentCenter/Home/View/21



APPLICATION TYPE (CHECK ONE):
☐ Technical Advisory Committee
☐ City Commission ☐ Planning and Development Board
Date of Application: \$23, 209
Location Address: 1330 Howwood Bwo - Howwood FL.
Lot(s): Block(s): Subdivision:
Folio Number(s): 514 214 011 65 0
Zoning Classification: Land Use Classification:
Existing Property Use: Sq Ft/Number of Units:
Is the request the result of a violation notice? () Yes () No If yes, attach a copy of violation.
Has this property been presented to the City before? If yes, check al that apply and provide File Number(s) and Resolution(s):
☐ Economic Roundtable ☐ Technical Advisory Committee ☑ Historic Preservation Board
☐ City Commission ☐ Planning and Development
2
Explanation of Request: House Extension of: 1. Trailer Bed 20017.
1. Both 200M, I AMNORY, I WALKIN GOVET - CAR GORAGE
Number of units/rooms: Sq Ft: Sq Ft:
Value of Improvement 560,000 Estimated Date of Completion: August 2019
Will Project be Phased? () Yes (V)No If Phased, Estimated Completion of Each Phase
Name of Course Devices Course of Course Devices Cou
Name of Current Property Owner: OUVIER & FABIENCE BIBAS
Address of Property Owner: 13.30 Holly Wood BLUD - Holly Wood Telephone: 305 206 1474 Fax: Email Address: 6436 656 644 it. 64
Name of Consultant/Representative/Tenant (circle one):
Address:Telephone:
Fax: Email Address:
Date of Purchase: 4 15 2018 Is there an option to purchase the Property? Yes () No ()
If Yes, Attach Copy of the Contract.
List Anyone Else Who Should Receive Notice of the Hearing:
Address:
Email Address:



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date: <u>01 - 23 - 2</u> 019
PRINT NAME: OHUIER BIBAS	Date:
Signature of Consultant/Representative:	Date:
PRINT NAME:	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
am the current owner of the described real property and that I am aware of the described real property, which is hereby n	of the nature and effect the request for
to be my legal representative before the _Committee) relative to all matters concerning this application.	(Board and/or
Sworn to and subscribed before me	<u> </u>
his day of	Signature of Current Owner
Notary Public	Print Name
State of Florida	
My Commission Expires:(Check One)Personally known to me; OR F	Produced Identification

Olivier & Fabienne BIBAS 1330 Hollywood Blvd. HOLLYWOOD, FL 33019

INTRODUCTION

My name is Olivier Bibas, married to Fabienne for more than 40 years.

We bought this house in order to live our retirement peacefully, we are new grandparents and want to make it our "home".

We have been Floridians since 1990; we have two children, both married, living in New York.

This project consists of building an extension, including essentially a master bedroom & master bathroom that will procure us our comfort.

This house has long time been neglected by its former owner, who have made a short-term rental business, and the house has ever been maintained.

Having been in the construction industry, thanks to my knowledge and experience in the field, being a retired structural engineer and contractor, we decided to keep the charm of the existing and to build the described extension.

1330 HOLLYWOOD BLVD, HOLLYWOOD, FL 33019

PROJECT INFORMATION:

AN ADDITION TO AN EXISTING SINGLE FAMILY HOME, ONE STORY

LEGAL DESCRIPTION:

LOT 23 AND 24, BLOCK 8 OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 32 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



Site Address	1330 HOLLYWOOD BOULEVARD, HOLLYWOOD FL 33020	ID#	5142 14 01 1650
Property Owner	BIBAS,OLIVIER & FABIENNE	Millage	0513
Mailing Address	1330 HOLLYWOOD BLVD HOLLYWOOD FL 33020	Use	01
Abbr Legal Description	HOLLYWOOD LAKES SECTION 1-32 B LOT 23,24 BLK 8		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and

		I	Proper	ty Assessment '	/alues					
Year	Land	Building Improven	_	Just / Mar Value	ket	Assesse SOH Va		Tax	x	
2019	\$145,270	\$381,98	0	\$527,250		\$527,25	0			
2018	\$145,270	\$381,98	0	\$527,250)	\$496,76	0	\$10,776	3.25	
2017	\$145,270	\$363,90	0	\$509,170)	\$451,60	0	\$10,03 ²	1.22	
	20	19 Exemptio	ns and	Taxable Values	by Tax	ing Authori	ty			
		Co	ounty	School	Board	Munic	ipal	Inde	pendent	
Just Valu	е	\$52	7,250	\$52	27,250	\$527	,250	\$	527,250	
Portabilit	у		0		0		0	0		
Assessed	I/ SOH 19	\$52	7,250	\$52	27,250	\$527	,250	\$	527,250	
Homestea	ad 100%	\$2	5,000	\$2	25,000	\$25	,000		\$25,000	
Add. Hon	nestead	\$2	5,000		0	\$25	,000		\$25,000	
Wid/Vet/D)is		0		0		0		0	
Senior			0		0		0		0	
Exempt T	ype		0		0	0		0		
Taxable		\$47	7,250	\$50	2,250	\$477	,250	\$477,250		
	Sa	les History				Land	Calcul	ations		
Date	Туре	Price	Boo	k/Page or CIN		Price	F	actor	Type	
7/12/201	8 WD-Q	\$572,500	1	115208288	\$	12.00	1:	2,106	SF	
6/26/201	2 WD-Q-SS	\$325,000	48	8888 / 1543						
6/27/200	5 WD	\$546,000	4	0026 / 475						
11/10/20	03 WD	\$360,000	30	6414 / 1796					<u> </u>	
11/1/198	6 WD	\$110,000	1	3964 / 358	Adj	. Bldg. S.F.	(Card,	1805		
					Units/Beds/Baths 1/					
						Eff./Act. Ye	ar Buil	t: 1952/195	0	

	Special Assessments														
Fire	Garb Light Drain Impr Safe Storm Clean Misc														
05															
R															
1															

COLOR PHOTOGRAPHS OF SUBJECT SITE AND ADJACENT PROPERTIES



1326 Hollywood Boulevard (East side)



1348 Hollywood Boulevard (West side)



1335 Hollywood Boulevard (North side)



1331 Hollywood Boulevard (North side)



1330 Hollywood Boulevard (Subject Property)

NAME OF Courses the Committee Actions Camb Property of Constant that Principal con Chile Tar William Tanke Institute rogeriil Erto Mar. Program Company There trains 1 / 1/4 lit. This this the same Frankl Elerthe Parket Carres

JOE CARD														
LOB ALIRESS 1 100 ALIRESS 1 100 ALIRESS 2 100 ALIRESS														
					n in the state of	unang pangganggang panggang p								

				, pure proper (sources) per qui Se culte d'année de se de se de se de la company de l					
		. If A VOI WERE A TREE VEH. A STATE AND	A STATE OF THE STA						

	THE THE PROPERTY OF THE PROPER	MARKATAN PARAMETER PER PER PER PER PER PER PER PER PER P	CONTRACTOR OF THE PROPERTY OF	CHARLES THE REAL LAND STATEMENT OF THE STATE OF THE STATEMENT OF THE STATE	

An USE He Yer HALLES SIE LE MEN	States - Same and the same and			ikineadagimininis tarandakadagagagagaga kineagagaga	esse consideration de la compansión de la c	AN SAUTHART IN THE STREET	
			nollywood			e verse les controles son parent el familie de sur des la	
	newspring commission of the contraction of the cont						
		CONTRACTOR		And the state of t			
				A Signification of the second			
						ne colleta internativama articalmunin natura anticalmunin natura a	
				entering kan berkerang di pendang pang pang pang pang pang pang pang p	n Pakitutiskaikeen hydran vakkaasta seekselä häkun en keen vankan honen säkennin an husiksiin ja muung		
	૽૽૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱૱				Lucius Conorce de la contra contra de la perfection de describir de la constitución de la contra del contra de la contra del la contra de la contra del la contra	nd sense ja 1.14 sako sijentent saasan panten lähin nakeen jakkin perimeraja ja ja sess	
ka – szástálásásák szászásásásásásásásásásásásásásásásásás	Albinosakaanskasta siina joo aastinassi oo ka maa nastinin vii ka sii ka sii ka sii ka sii ka sii ka sii ka si						

urinalitekti esindinki elenekateli kapit indukasesintasik, kapit kanalari	ind vedicinaminations and action of the second seco	compromonent of the second of		nterantennes a subgelance e elementelata nelegistra assesse; es en en elemente está capados. Asan	in and the second of the secon	
			Control of the form to a factor of the control of t			
					รู้ใน (10 วาคา 25 วิวัยกระทา ริปากพิวัยกับรัฐพิเษณ์เกิดโรกดูลพระการกับรัฐการตาก	
	and the second s	Malifold for the financial state of the contract of the contra	ear and the second and the second and the second and second and the second and th		General Spin Session (Spin Complete Spin Com	
vagajas konjeksjojnimi kaksistoja sondani irkistoja kini irkistoja kini irkistoja kini irkistoja k	en University enter enterprise de la	inganyang pagagang persang persang persang penggang penggang penggang penggang penggang penggang penggang peng			Manthe Scott (Manthall scott was the process of state of seasons and seasons as	
				hand I Malais e research as chain a chainn a reas is an e-annaich a chainn a chainn a chainn a chainn a cheanna	(Szeptek Nesskala szákáránaszt allaktantaktánászt egyetetet a szákárán a szákárás a szákárás a szákárás a szák	
	Apriliani kan kan ang kan kan pang ban kan kan kan kan kan kan kan kan kan k	LUGANA ANGENE PARAMETER ANGERS ANGERS ANGERS ANGEN		en <mark>alla fentantan matanasen nemerantan</mark> en	enning vastivas skult aukonikkonkistiksiskinikskinkskinkskinks	consumer to the first of the control
nt anna vina tantiissann outoartha an mheasainm sachara a mheadann sachara an marain tanta tha tanta an ta		la ta banda saa 17, may an tanggan ka makan ka kanan sa mata makalin da da kalikilan ka kilikila ma makalikilah				
	The second secon					
	Vizini proprio prima de se especiales e especiales e especiales e en especiales de la compositio de la compo					

		:////						77 B	98K				94	ma		60X		2 88	#Z	200	MOS	San	199	
***				100	1972			\times	w		GA)					į	鼝	M.		獬			##	94
				789	(la)	7 880	10			嫐	W. ()		- 78		28			W.		977	.	p_{ij}	90	
				- 2	<i>100</i> 0	800	3		4	6	W//		- 40			28		// !			un.	331		
				0		(8) N			m.	79%	77))		- 16	200		UB		18		29	쀘		9 ///	#W
					COLUMN TO A SECOND	******	- 22 DH	MODEL PROPERTY.	877565	No. of the last							9490	46		8)/		83		182
***	//////		23377	~ 100	920	αwσ.		(/ <u>/ A</u>	100	હાંદા	$\Omega(0)$		11/27	16	200	1998.	W.S.	97	99	60	(C)	300	1000	£ib≫

SALES AND REPRESENTATION OF THE PROPERTY OF TH	an ang ang ang ang ang ang ang ang ang a		n alle alle de la company de la company La company de la company d	t. Namen et en		
					saan ah	
		and the second control of the contro				
			rassando mante professoraren a differencia a de la companya de la companya de la companya de la companya de la Companya de la companya de la compa	nternes en soupeau ou paris en la paris de la paris	und and septem the contract of	
	A CONTRACTOR OF THE STATE OF TH		monton voi acestalistin a Mistriannim pondonen anticalisti anni alta	To the Marian The Marian of the Marian of the American of the		n source doug supplications and assistanting supplications and the supplication of the
ig gant pien princepologia (ne en especial de mentre pieneral insulvativa de mentrial de l'Aldre de communica L			pa des join egill, y e de dis la la lais eile plande apparatement promotories es compressiones es	NA ONA NOROZ (NA NOROZ O PORTO PORTO NA NOROZ (NA NOROZ O PORTO NA NOROZ (NA NOROZ (NA NOROZ (NA NOROZ (NA NOR	endestalantensen er endammentalantensinako en alakomenten historiakan kan kan kan kan kan kan kan kan kan	
		Many was a sold in a sold many land as a sold in the s		kik olay his kira mikay khi khiriyi ka makin kira ka kira kira kira kira kira kira k		oning anggrap in protection green season and philippopuls and considerable seasons and seasons and seasons and
Popularie augustas proportion proportion de la completa de la completa de la completa de la completa de la comp	Angelija in teritorija in interiorija in interiorija in interiorija in interiorija in interiorija in interiori Nationalija in interiorija interi					
A proposition of the second se	antigulpunguyunnunganainninmininmininungan aren anininakuuntuudulitalit. Kiid J					

		JOB AGORE	Magazii.		
n an ann an a	enson and the house of the superior of the sup				
					Statement of the Control of Statement of the Control of the Contro
		rangemente de la companion de			
			ain/compttion		
		The statement of the st			
		en a la componencia de la componencia del componencia de la componencia del componencia de la componencia de la componencia del compon			

			COCOLORS CONTRACTOR CO	na popular popular programa (programa programa programa programa programa programa popular programa programa p	CONTRACT OF A STATE OF THE STAT	
and the state of t	ANGENIA SERVININA PERMININA (RAPANA)A PARESPARANTA PERMININA PAR	JOB ADDR				
	The construction of the co					CHANGE AND THE PARTY OF THE PAR
	gggggggggggggggggggggggggggggggggggggg	HOUSE OF CASE OF SEE AND CASE WHEN SHIP SHE SHE WAS A SHE	elle production de la company	ingeneral de la company de La company de la	on manuscrape manuscra	ANCHEROLINE MAN CONTRACTOR CONTRACTOR (CONTRACTOR CONTRACTOR CONTR
	gangangas sannyang, sagaging almangan sa sakang bermakan ang masakan sa	adiante la companya de la companya d	THE CHANGE OF THE PARTY OF THE			CONTINUE TARE
					a sungly neversident plans i Kala Sakapulan Suna Pas, and a sun production do that was	SECULARIZAÇÃO, PROTECTOR SECULARIZAÇÃO DE RESPUBBICA PROTECTOR DE PROT
					an an inggreen an an galage en an	CONTRACTOR OF THE RESIDENCE OF THE PROPERTY OF
					essalepigas arabagas aus sistes desas sessas arabanas ansas antesas des	

Permit Search Results

Search > Properties located at/on/near '...1330 hollywood blvd...'

28 permits were found for 1330 HOLLYWOOD BLVD

View	Process #	Permit #	Description	Appl. Date	Permit Date
<u>Details</u>		B18-109140	ADDITION - BEDROOM & BATH	11/29/2018	
<u>Details</u>		B18-109075	DEMOLITION(OTHER THAN COMPLETE BUILDING)	11/27/2018	
<u>Details</u>		B18-106676	FENCE- MASONRY/CONCRETE/PVC	8/20/2018	9/10/2018
<u>Details</u>		P17-100554	AREA DRAIN OR ROOF DRAIN	4/11/2017	5/2/2017
Details		B15-104044	DRIVEWAY	8/7/2015	8/27/2015
<u>Details</u>		P14-100219	GAS PIPING	2/19/2014	2/19/2014
<u>Details</u>		E13-101589	LOW VOLTAGE (POOL ALARM SYSTEM)	2/3/2014	2/3/2014
<u>Details</u>		P13-101819	PLUMBING WORK	11/8/2013	11/22/2013
<u>Details</u>		P13-101274	POOL HEATER,PIPING & FILTER EQUIPMENT	10/1/2013	10/1/2013
<u>Details</u>		M13-100892	POOL HEATER	10/1/2013	10/1/2013
<u>Details</u>		E13-101588	ELECTRICAL WORK	10/1/2013	10/1/2013
<u>Details</u>		P07-100231	PLUMBING WORK	9/9/2013	
<u>Details</u>		M08-100024	A/C CENTRAL (NEW)	9/9/2013	
<u>Details</u>		E07-100315	ELECTRICAL WORK	9/9/2013	
<u>Details</u>		B13-103440	POOL - RESIDENTIAL	7/25/2013	10/1/2013
<u>Details</u>		B09-104816	FENCE-CHAIN LINK &/OR WOOD	12/22/2009	
<u>Details</u>		B07-100731	ADDITION - BEDROOM & BATH	6/7/2007	7/15/2008
<u>Details</u>	30302	B0703098	DRIVEWAY	2/21/2007	6/4/2007
<u>Details</u>	30300		FENCE-CHAIN LINK &/OR WOOD	2/21/2007	
<u>Details</u>	1083	B0505353	FENCE-CHAIN LINK &/OR WOOD	8/23/2005	8/31/2005
<u>Details</u>	45367	M0300235	A/C - CENTRAL - REPLACEMENT	2/19/2003	2/19/2003
<u>Details</u>	42923	B0206983	DECK - WITHOUT ROOF	12/17/2002	12/17/2002
<u>Details</u>		E0002671	ALARM - RESIDENTIAL - CENTRAL - AUDIBLE		7/26/2000
<u>Details</u>		B9100226	RE-ROOF-FLAT		1/15/1991
<u>Details</u>		P8901063	GAS PIPING		12/27/1989
<u>Details</u>		P8900967	GAS PIPING		11/17/1989
<u>Details</u>		P18-102481	DEMOLITION-PLUMBING		
<u>Details</u>		P18-102397	PLUMBING WORK		

Contact us

Quick Links

Using This Site

City of Hollywood Apps Download 2600 Hollywood Boulevard Staff Directory Mobile Site Phone: 954-967-HELP (4357)

A-Z Directory

Site Map <u>Accessibility</u> <u>Privacy</u> Copyright Notices

Email Us

U.S. DEPARTMENT OF HOMELAND SECURITY Federal Emergency Management Agency National Flood Insurance Program

OMB No. 1660-0008 Expiration Date: November 30, 2018

ELEVATION CERTIFICATEImportant: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION F						FOR INSUF	RANCE COMPANY USE
A1. Building Owner's Name OLIVIER BIBAS AND FABIENNE BIBAS Policy Number:							ber:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Company NAIC Number: 1330 HOLLYWOOD BOULEVARD							IAIC Number:
City				State		ZIP Code	
HOLLYWOOD				Florida		33020	
' '		d Block Numbers, Tax at 23 & 24, Block 8, "H			. , ,	oward Coun	ty, Florida.
A4. Building Use (e.g., Resident	ial, Non-Residential, A	ddition	, Accessory, etc.)	Residential		
A5. Latitude/Longit	ude: Lat. N	26°00'41.32"	Long. V	V80°08'02.08"	Horizontal Datur	n: NAD	1927 X NAD 1983
A6. Attach at least	2 photograph	ns of the building if the	Certific	ate is being used to	obtain flood insur	ance.	
A7. Building Diagra	am Number	8					
A8. For a building	- with a crawlsp	pace or enclosure(s):					
a) Square foot	age of crawls	pace or enclosure(s)		1,577 sq ft			
b) Number of p	permanent flo	od openings in the cra	wlspac	e or enclosure(s) w	ithin 1.0 foot above	adjacent gr	ade 5
c) Total net are	ea of flood op	enings in A8.b 1,4	40 s	sq in			
d) Engineered	flood opening	gs? Yes X No		•			
A9. For a building v			,				
1		ed garage N/A		sq ft			
		od openings in the atta		·	ot above adjacent	rrade	N/A
					or above adjacent		IN/ A
c) Total net are			l/A	sq in			
d) Engineered	flood opening	gs? 🗌 Yes 🕱 N	0				
	SE	CTION B - FLOOD IN	ISURA	NCE RATE MAP	(FIRM) INFORMA	TION	
B1. NFIP Communi	ity Name & Co	ommunity Number		B2. County Name			B3. State
CITY OF HOLLYW	OOD, 12511	3		BROWARD			Florida
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	E.	IRM Panel ffective/ evised Date	B8. Flood Zone(s	(Zo	se Flood Elevation(s) ne AO, use Base od Depth)
12011C0569	Н	08-18-2014	08-18	3-2014	AE		6
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: ☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other/Source: ☐ B11. Indicate elevation datum used for BFE in Item B9: ☒ NGVD 1929 ☐ NAVD 1988 ☐ Other/Source:							
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? 🗌 Yes 🕱 No							
Designation [Date: N/A		CBRS	☐ OPA			

ELEVATION CERTIFICATE

OMB No. 1660-0008 Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Sec	FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Rour 1330 HOLLYWOOD BOULEVARD	te and Box No.	Policy Number:
City State ZIP (HOLLYWOOD Florida 3302	Code 20	Company NAIC Number
SECTION C – BUILDING ELEVATION INFORMAT	ION (SURVEY RE	EQUIRED)
C1. Building elevations are based on: Construction Drawings* Build *A new Elevation Certificate will be required when construction of the buildin C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BF Complete Items C2.a–h below according to the building diagram specified in Benchmark Utilized: BCED BM # 1896, ELEV 10.932' Vertical Datum: Indicate elevation datum used for the elevations in items a) through h) below NGVD 1929 NAVD 1988 Other/Source: Datum used for building elevations must be the same as that used for the B a) Top of bottom floor (including basement, crawlspace, or enclosure floor) b) Top of the next higher floor c) Bottom of the lowest horizontal structural member (V Zones only) d) Attached garage (top of slab) e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) f) Lowest adjacent (finished) grade next to building (LAG)	FE. 5. 34 N/A. N/A. N/A. 2. 64	Check the measurement used. Feet meters Feet meters Feet meters Feet meters Feet meters
g) Highest adjacent (finished) grade next to building (HAG)h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	3. 67 N/A.	
SECTION D – SURVEYOR, ENGINEER, OR ARC	HITECT CERTIF	
This certification is to be signed and sealed by a land surveyor, engineer, or arch I certify that the information on this Certificate represents my best efforts to interstatement may be punishable by fine or imprisonment under 18 U.S. Code, Section Were latitude and longitude in Section A provided by a licensed land surveyor?	pret the data availation 1001. —	law to certify elevation information. able. I understand that any false Check here if attachments.
Certifier's Name License Number BENIGNO J. SUAREZ 6583		
Title PROFESSIONAL SURVEYOR AND MAPPER		ense Numice 6583
Company Name BENNY SUAREZ SURVEYING INC. Address 4170 S.W. 152nd PATH City State MIAMI Florida	ZIP Code 33185	STATE OF STA
Signature Date 06-21-2017	Telephone 305-807-8319	
Copy all pages of this Elevation Certificate and all attachments for (1) community of	ficial, (2) insurance	agent/company, and (3) building owner.
Comments (including type of equipment and location, per C2(e), if applicable) Crown of Road is at Elevation of 3.40' NGVD. The Air Conditioned slab is located 2.64 feet. The Pool Pump slab is located outside in the Back of the Building is at Longitude and Latitude values were obtained using Google Earth Online Internefor determinate the Elevations.	d outside in the Ba t Elevation of 2.99 t	nck of the Building is at Elevation of feet.

ELEVATION CERTIFICATE

OMB No. 1660-0008 Expiration Date: November 30, 2018

IMP	ORTANT: In these spaces, copy the corresp	onding information	from Section A.		FOR INSURAN	ICE COMPANY USE
	ding Street Address (including Apt., Unit, Suite 80 HOLLYWOOD BOULEVARD	, and/or Bldg. No.) o	P.O. Route and Bo	x No.	Policy Number:	
City HO	LLYWOOD	State Florida	ZIP Code 33020		Company NAIC	Number
	SECTION E – BUILDING FOR Z	ELEVATION INFO			REQUIRED)	
com	Zones AO and A (without BFE), complete Item plete Sections A, B,and C. For Items E1–E4, user meters.					
E1.	Provide elevation information for the following the highest adjacent grade (HAG) and the low	and check the appro est adjacent grade (opriate boxes to shou LAG).	w whether	r the elevation is	above or below
	a) Top of bottom floor (including basement, crawlspace, or enclosure) isb) Top of bottom floor (including basement,		feet	meter	s above or	below the HAG.
	crawlspace, or enclosure) is	·-	feet	meter	s above or	below the LAG.
E2.	For Building Diagrams 6–9 with permanent flo the next higher floor (elevation C2.b in the diagrams) of the building is	od openings provide	d in Section A Items	8 and/or	_	2 of Instructions),
E3.	Attached garage (top of slab) is		feet	meter	s 🔲 above or	below the HAG.
E4.	Top of platform of machinery and/or equipmer servicing the building is	nt	feet	meter	s 🗌 above or	below the HAG.
E5.	Zone AO only: If no flood depth number is available floodplain management ordinance? Yes		ne bottom floor eleva own. The local offic			
	SECTION F – PROPERTY	OWNER (OR OWNE	R'S REPRESENTA	TIVE) CE	RTIFICATION	
The	property owner or owner's authorized represent munity-issued BFE) or Zone AO must sign her	ntative who complete e. The statements in	es Sections A, B, and Sections A, B, and	d E for Zo E are cor	ne A (without a l	EMA-issued or of my knowledge.
Pro	perty Owner or Owner's Authorized Representa	ative's Name				
Add	Iress		City	Sta	ate	ZIP Code
Sig	nature		Date	Те	lephone	
Cor	nments					
					⊢ I Check I	nere if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008 Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corre	F	OR INSURANCE COMPANY USE							
Building Street Address (including Apt., Unit, St. 1330 HOLLYWOOD BOULEVARD	uite, and/or Bldg. No	o.) or P.O. Route and Box	No. F	Policy Number:					
City HOLLYWOOD	State	ZIP Code	C	Company NAIC Number					
	Florida	33020	MA! \						
		Y INFORMATION (OPTIO							
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.									
G1. The information in Section C was take engineer, or architect who is authorized that in the Comments area below.)	engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation								
G2. A community official completed Section Zone AO.	on E for a building l	ocated in Zone A (without	a FEMA-i	ssued or community-issued BFE)					
G3. The following information (Items G4–	G10) is provided fo	r community floodplain ma	nagemen	t purposes.					
G4. Permit Number	G5. Date Permit I	Issued		te Certificate of mpliance/Occupancy Issued					
G7. This permit has been issued for:	New Construction	Substantial Improvem	ent						
G8. Elevation of as-built lowest floor (including of the building:	basement) —	[feet [meters					
G9. BFE or (in Zone AO) depth of flooding at t	he building site: _	[feet [meters Datum					
G10. Community's design flood elevation:	_	[feet _	meters Datum					
Local Official's Name		Title							
Community Name		Telephone							
Signature		Date							
Comments (including type of equipment and loc	cation, per C2(e), if	applicable)							
				Check here if attachments.					

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, co	FOR INSURANCE COMPANY USE		
Building Street Address (including A	Policy Number:		
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption

"Front View" 06-06-2018



Photo Two

Photo Two Caption "Back View" 06-06-2018

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, co	FOR INSURANCE COMPANY USE		
Building Street Address (including A 1330 HOLLYWOOD BOULEVARD	p. Policy Number:		
City HOLLYWOOD	State Florida	ZIP Code 33020	Company NAIC Number
1			

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo One

Photo One Caption

"Left Side View" 06-06-2018



Photo Two

Photo Two Caption "Right Side View" 06-06-2018

LEGEND ABBREVIATIONS & = AIR CONDITIONING PAD = ARC DISTANCE \triangle = CENTRAL ANGLE *|| || ||* = WOOD FENCE = BUILDING BLDG WIRE FENCE = CANOPY _____ = C.B.S. WALL = CATCH BASIN ø = DIAMFTER = CONCRETE BLOCK W/ STUCCO C.B.S. ¢MLP = IRON FENCE C.G. = CURB & GUTTER CH. CL. = CHORD DISTANCE = METAL LIGHT POLE = GUY WIRE = HFIGHT H. L.F.E. θ = UTILITY POWER POLE LOWEST FLOOR ELEVATION o LIGHT POLE = FIRF HYDRANT M.D.E MAINTENANCE & DRAINAGE EASEMENT W = WATER METER B.C. = BLOCK CORNER MH. M/L = ELECTRIC BOX × MONUMENT LINE M.S. N.G.V.D. METAL SHED ON CONCRETE NATIONAL GEODETIC VERTICAL DATUM = TELEPHONE BOX \boxtimes = CONCRETE CONC. P.R.M PERMANENT REFERENCE MONUMENT CONC. ϕ = LIGHT POLF CENTER LINE = GAS CALVE CONCRETE M = CONCRETE SLAB = WATER VALVE ENC. = ENCROACHMENT F.H. FIRE HYDRANT = WATER MANHOLE F.I.P. F.N.D. = FOUND IRON PIPE = FOUND NAIL & DISK 0 = UNKNOWN MANHOLF *10.00 = SPOT ELEVATION 0/H OVERHEAD = SEWER MANHOLE (S) = OFFICIAL RECORDS BOOK PR = PLAT ROOK = TRAFFIC SIGN P.C.P. = PERMANENT CONTROL POINT = CATCH BASIN = PAGE P.0.B = POINT OF BEGINNING I.D. = IDENTIFICATION P.0.C = POINT OF COMMENCEMENT ASPH = ASPHALT (M) (R) SWK. = SIDEWALK = RECORDED U.E. = UTILITY EASEMENT = PLANTER PL. P/L = PROPERTY LINE U.P. = UTILITY POLE VG = VALLEY GUTTER RAD = RADIAI W.M = WATER METER RECORDED & MEASURED R/W = RIGHT-OF-WAY = DRIVEWAY

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

Last day of field work was performed on April 4, 2019.

SECTION 2) LEGAL DESCRIPTION:

Lots 23 & 24, Block 8, "HOLLYWOOD LAKES SECTION, according to the Plat thereof, as recorded in Plat Book 1, at Page 32, of the Public Records of Broward County, Florida.

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the "Standards of Practice for Land Surveying in the State of Florida", require for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of $(1^{\circ}=20^{\circ})$ or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Centerline of Hollywood Boulevard with an assumed bearing of N87'55'30"E, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "AE", Elev.=6 feet, as per Federal Emergency Management Agency (FEMA) Community Number 125113 (City of Hollywood), Map Panel No. 12011C569, Suffix H, Map Revised Date: August 18, 2014.

Elevations as shown hereon are based on the North American Datum of 1988, as per Broward County's Benchmark Number 1896, Elevation 10.932 feet (Conversion factor of (-)1.59 from NGVD 1929).



VICINITY MAP

NOT TO SCALE

SECTION 5) LIMITATIONS:

Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Broward County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

Caliber Home Loans, Inc Sunbelt Title Agency Title Resources Guaranty Company Olivier Bibas and Fabienne Bibas

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

BENNY SUAREZ SURVEYING INC., a Florida Corporation Florida Certificate of Authorization Number LB8104

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

THIS SHEET IS NOT VALID WITHOUT THE OTHERS

DATE: 04/05/2019

SCALE:

1"=20

BOUNDARY SURVEY 1330 HOLLYWOOD BLVD. HOLLYWOOD. FL 33020



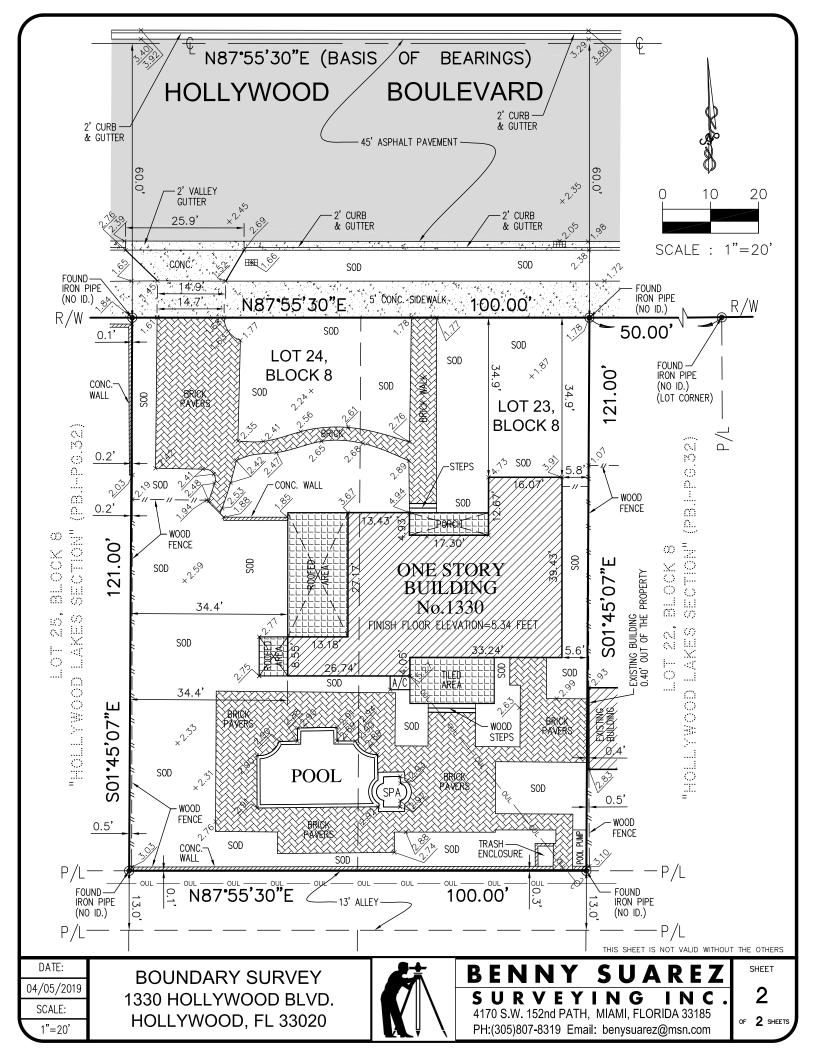
BENNY SUAREZ SURVEYING INC.

4170 S.W. 152nd PATH, MIAMI, FLORIDA 33185 PH:(305)807-8319 Email: benysuarez@msn.com

SHEET

1

OF 2 SHEETS



Oliver & Fabienne BIBAS 1330 Hollywood Blvd. Hollywood, 33019 Florida Ph. 305-206-1474

> City of Hollywood 2600 Hollywood Boulevard Hollywood, Florida 33020

CRITERIA OF APPROPIETNESS FOR DESIGN 1330 Hollywood Blvd.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: The property is located in the Historic District of the Lakes in Hollywood at 1330 Hollywood Blvd., built in the mid 1950's as a single-family home along Hollywood Blvd. the Site is made up of two 50'-0" lots, one of many other properties along Hollywood Blvd. that have 100 feet frontage.

CRITERION: SETTING

ANALYSIS: The setting of the proposed Residence is typical to most of the homes in the Lakes Community. It is located on the north of Northlake Drive. The street is in line with sidewalks for pedestrian access to the homes.

CRITERION: MATERIALS

ANALYSIS: There is no plan to make any changes to the existing building; we will keep its particular mid-century roof design. All materials used in the proposed extension single-family home will be authentic to the existing building type of contemporary Architecture with a modem touch, as well as durable to meet or exceed the requirements of the Florida Building Code 2016.

CRITERION: WORKMANSHIP

ANALYSIS: The new proposed extension to the existing single-family home will meet or exceed all requirements of the Florida Building Code 2016 and the State of Florida Department of Environmental Protection.

CRITERION: ASSOCIATION

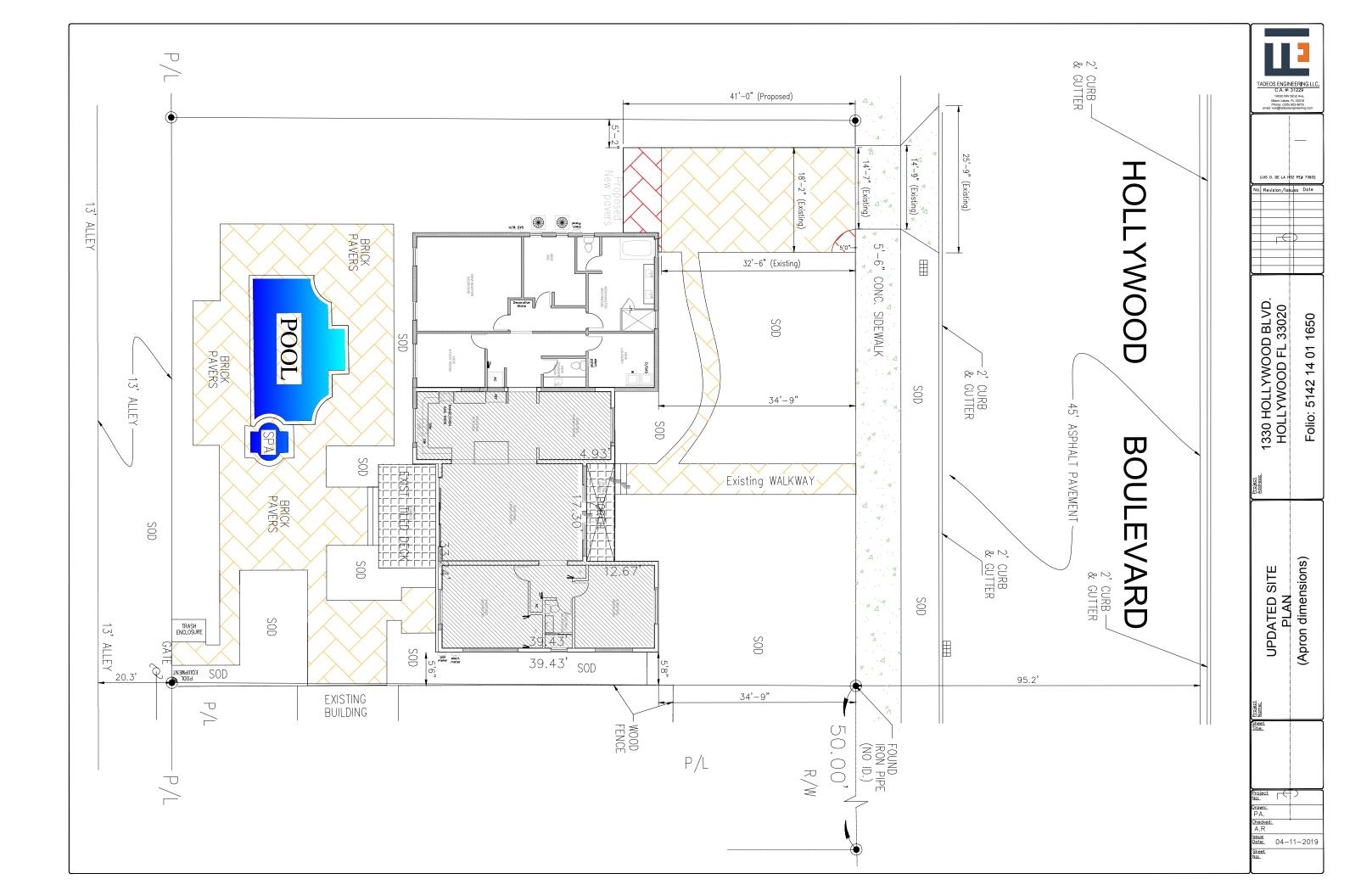
ANALYSIS: We have granted all our consideration to associate the extension to the existing design to preserve its neighboring architecture and it very particular character; Hollywood lakes knew how to preserve this environment surrounded by the sea, the lake and the golf course.

Sincerely,

Olivier Bibas January 24, 2019 RECEIVED

JAN 24 2019

CITY OF HOLLYWOOD
PLANNING DIVISION



Landscape Data:

Single Family Districts (RS)	Required	Provided
Perimeter Landscape One 12' street tree per 50 linear feet or portion thereof, of street frontage of property wherein said improvements are proposed.	2 Trees (100.00'/50')	2 Trees (1 Existing Royal Palm, 1 Proposed Royal Palm)
Open Space	2 Trees	2 Trees
A minimum of 20% of the required front yard area shall be landscaped pervious open space. All pervious areas are to be sodded or landscaped with living plant material such as ground cover and/or shrubs.	(2,400 SF)	(2 Pigeon Plum)
One tree per 1,250 sq. ft. (including any fraction) of front yard area.		
Minimum Tree Sizes		
Shade trees:2" DBH/ 12' height.		
Palm trees: 8' of GW or CT.		
Native Requirements A minimum of 60% of required trees and 50% of required shrubs must be native species.	2 Trees	4 Trees

Landscape Notes:

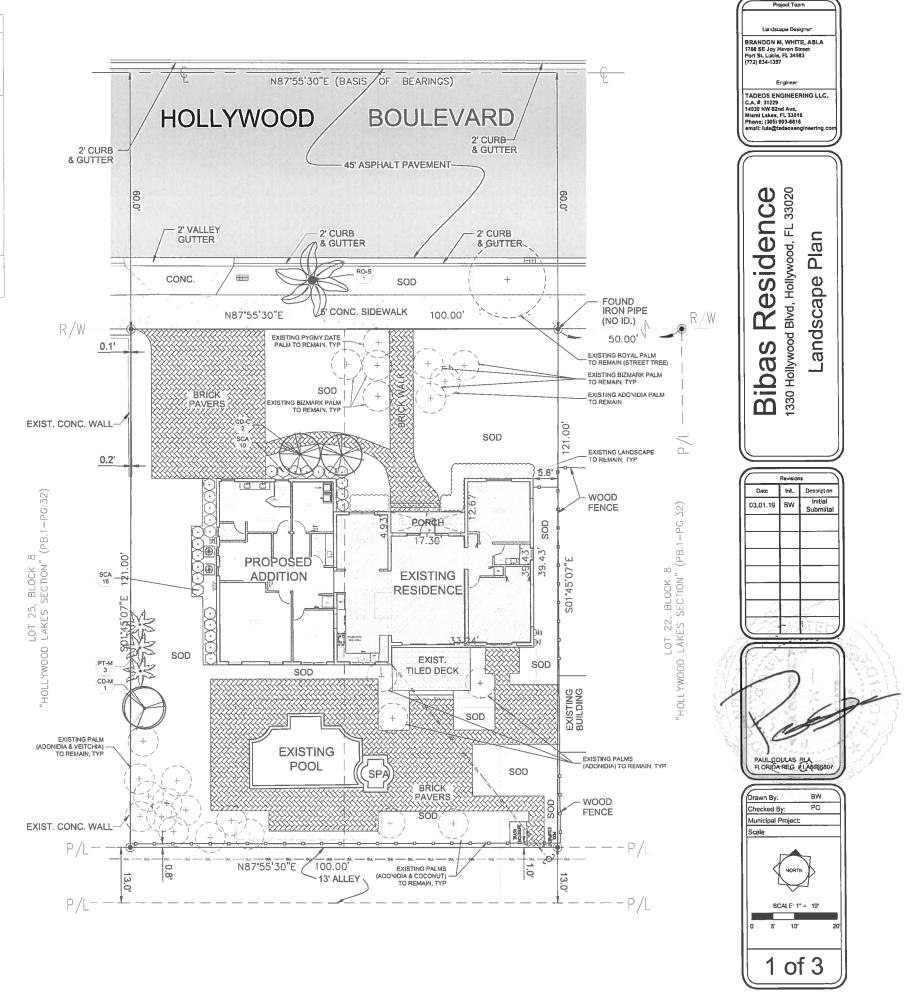
- Alternative plant species for required landscape may be permitted subject to review and approval by the City of Hollywood Planning Department prior to installation.
- All prohibited exotic or invasive species shall be removed from the entire site prior to the issuance of a Certificate of Occupancy.
- All required landscaping shall be installed prior to the issuance of a Certificate of Occupancy.
- No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
- Enhanced landscaping beyond minimum requirements will conform to all applicable sections of the City of Hollywood Landscape Manual.
- This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Hollywood Landscape Manual
- For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
- Tree species shall be selected as to minimize conflicts with existing or proposed utilities.
- See engineer's plans for all underground & overhead utilities and field locate all prior to installation; contact Landscape Designer/Owner regarding any conflicts.

-Tree Relocation Note: Do not relocate without obtaining permit from the City of Hollywood. Existing tree(s) to be relocated require root pruning by a qualified professional prior to relocation. If the tree(s) does not survive after relocation and is dead or in poor health at time of final inspection, mitigation will be required through payment into the tree preservation fund, equal to \$350 per every 2" tree mitigation owed.

-Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

PLANT SCHEDULE 1330 HOLLYWOOD BLVD

	MITIGATION TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
		CD-M	Coccoloba diversifolia	Pigeon Plum	FG, 12 HT, 2" DBH MIN, STD, SP	1		
M	13	PT-M	Ptychosperma elegans	Alexander Palm	FG, B CT, SGL, SP	3		
	STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
		RO-S	Roystonea regia	Fiorida/Cuban Royal Palm	FG. 8° CT, SGL, SP	1		
	CODE TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
		CD-C	Coccoloba diversifolia	Pigeon Plum	FG. 12" HT, 2" DBH MIN, STD, SP	2		
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
	\odot	SCA	Schefflera arboricola	Green Schefflera	3G, 24" HT x 18" SPR, F, 30" OC	26		



Existing Trees to Remain:

- 1. Adonidia merrillii, Christmas Palm, 6' Canopy, 5" DBH
- 2. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 5" DBH
- 3. Veitchia montgomeryana, Montgomery Palm, TRP, 12' Canopy, 10" DBH
- 4. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 5" DBH
- 5. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 5" DBH
- 6. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 5" DBH
- 7. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 5" DBH
- 8. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 4" DBH
- 9. Veitchia montgomeryana, Montgomery Palm, 6' Canopy, 4" DBH
- 10. Cocos nucifera 'Green Malayan', Coconut Palm, 20' Canopy, 8" DBH
- 11. Veitchia montgomeryana, Montgomery Palm, 8' Canopy, 6" DBH
- 12. Cocos nucifera 'Green Malayan', Coconut Palm, 20' Canopy, 12" DBH
- 13. Cocos nucifera 'Green Malayan', Coconut Palm, 20' Canopy, 10" DBH
- 14. Cocos nucifera 'Green Malayan', Coconut Palm, 20' Canopy, 12" DBH
- 15. Adonidia merrillii, Christmas Palm, TRP, 8' Canopy, 4" DBH
- 16. Adonidia merrillii, Christmas Palm, TRP, 8' Canopy, 4" DBH
- 17. Adonidia merrillii, Christmas Palm, TRP, 8' Canopy, 4" DBH
- 18. Bismarckia nobilis 'Silver', Bismark Palm, 4' Canopy, 3" DBH
- 19. Adonidia merrillii, Christmas Palm, DB, 16' Canopy, 8" DBH
- 20. Bismarckia nobilis 'Silver', Bismark Palm, 4' Canopy, 3" DBH
- 21. Bismarckia nobilis 'Silver', Bismark Palm, 4' Canopy, 3" DBH
- 22. Roystonea regia, Royal Palm, 18' Canopy, 20" DBH (Existing Street Tree)
- 23. Phoenix roebellini, Pygmy Date Palm, 8' Canopy, 9" DBH
- 24. Bismarckia nobilis 'Silver', Bismark Palm, 4' Canopy, 3" DBH
- 25. Bismarckia nobilis 'Silver', Bismark Palm, 4' Canopy, 3" DBH
- 26. Bismarckia nobilis 'Silver', Bismark Palm, 4' Canopy, 3" DBH

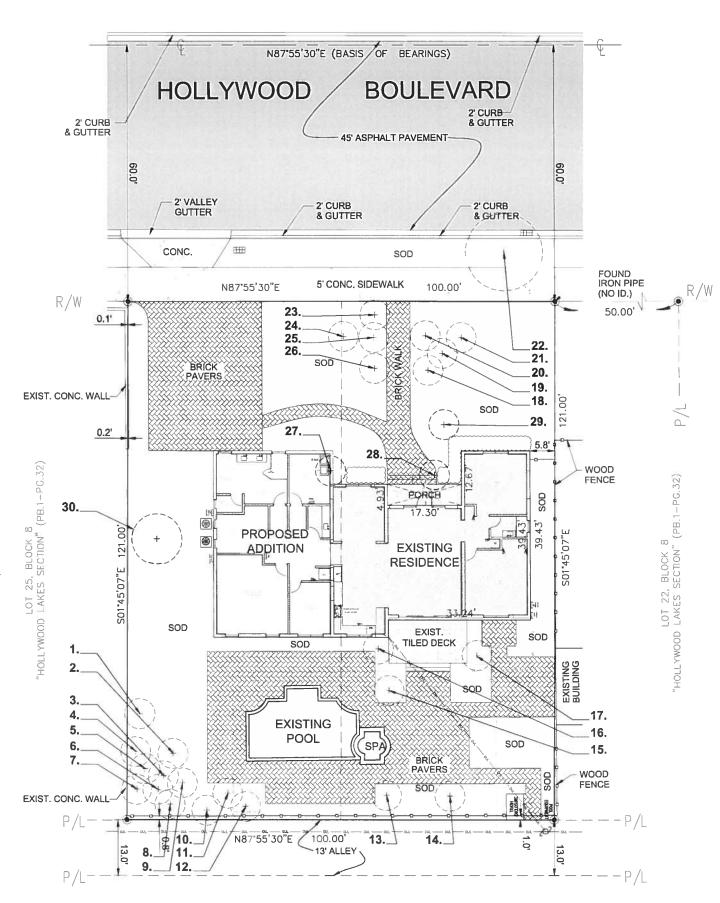
Existing Trees Removed:

- 27. Strelitzia nicolai, White Bird of Paradise, 10' Canopy, 6" DBH
- 28. Livistona chinensis, Chinese Fan Palm, 6' Canopy, 10" DBH
- 29. Adonidia merrillii, Christmas Palm, 6' Canopy, 5" DBH
- 30. Manilkara zapota, Sapodilla Tree, 20' Canopy, Unknown DBH (Previously Removed)

Landscape Tree Mitigation Data:

Trees Removed	Replacement Provided 1 Palm Tree (Alexander Palm)		
(1) Strelitzia nicolai, White Bird of Paradise, 10' Canopy, 6" DBH			
(1) <i>Livistona chinensis</i> , Chinese Fan Palm,	1 Palm Tree		
6' Canopy, 10" DBH	(Alexander Palm)		
(1) Adonidia merrillii, Christmas Palm,	1 Palm Tree		
6' Canopy, 5" DBH	(Alexander Palm)		
(1) <i>Manilkara zapota</i> , Sapodilla Tree,	1 Tree		
20' Canopy, Unknown DBH	(Pigeon Plum)		

^{*}Note: All replacement trees minimum of ten (12) feet in height when planted on private property and twelve (12) feet when planted on swales and commercial properties. Palms minimum 8' clear trunk.



BRANDON M. WHITE, ASLA 1708 SE Joy Haven Street Port St. Lucie, FL 34983 [772] 834-1357

S Residence

Bibas 1330 Hollywood

SCALE 1" = 10"

2 of 3

ď

Tree Information

Existing •

PART 1 GENERAL CONDITIONS

- SCOPE:
 The fundscape controct includes the supplying and planting of all those, shrubs, vines, and grown cover tagether with all necessary later, equipment, tools and materials needed for the successful controlled on execution and maintenance of the fundscape plans.
- 1.32 AGENCY STANDARDS:
 A Grades and standard of plant materials to be used shall be time to name size, condition and graced Flasks for the time as start just in Grades and Sundards of Florade Plant Materials published by the State of Florade Department of Agradiums, Talehoussee, Florade.
- 1.33 SITE EXAMBATION.
 A. The Landscape Contractor shall personally examine the site and fully exquaint him/herself wig: all of the oddard processor in order that no mesunderstanding may altowards ones; out to the character or extent of the work to be performed, and additionally, in order to acquaint him/herself with all precultations to be taken in order to avoid injuly in properly or persons. No additional compensation will be grained because of any unusual difficulties when may be encountered in the secondarior in existent and any portion of the work.
- 1 34 ERRORS AND OMISSIONS. A. The plant fee for account ERRORS AND ONISSIONS.

 The plant lats is a part of the chawings and is furtiched as a convenience. The plant lats indicates the name, are and quantities of specific plant materials as called for and is focated on the crawings. This indicated continuous in security safety of the plant late of the pla
- U. The Landacape Contractor shall not use advantage of errors or ownessions in the superheadure or confinct channing. Full instruction will be given fault errors in the sack-rend upon the discover of any descriptions in or ownershall from the disk wings or documents, or should be Landacape Compactible in discover as of the disk rendering the Landacape Architect shall be notified and will determine the above a registering calculations.

- 1.05 EXECUTION OF THE WORK.

 A. The Landscape Centrator's shall have his labor crews controlled and directed by a Foreman well, rested in plasm secturals, planking methods, reading blueprits, and coordination between job as a fractiony in crear to associate installation connectly and in a tendy manner.
- The Landacase Contractor shall crow de a competent English-speaking Foreran on the project at all times also shall be fully authorized as the Contractor's age to the work. This Superindender take the cacable of reacting and this outpits for the Foundation and critical Contract Documents. If the Superindender take deserved reconcerate by a Landacase Article. No file is superintendent; and the Primediately replaced.
- The Landscape Contractor shall be available for any meetings with the Owner and/or Landscape And Root during Implement taken of this you. Any adultibrial work or changes roquirus as a result of sladure to communicate with the Owner or Landscape Anchitect during implementation will be the responsibility of the Landscape Conference.
- PROTECTION OF PUBLIC AND PROPERTY The Landscape Contractor shall protect all materials and work against injury from any cause and savel provide and must hall affected any safety among the protection of the public. He shall be half responsible for any demaps or if key to persons or processy which may occur as a result of his lause or neighbors has the outcomer of the how. Tut, during the or bring young loss or cables.
- 7 CHANGES AND EXTRAS: The Contractor shall not start work on any changes or "extrast" in the original shall be written segmented setting from this adjusted prices has been executed by the Owner and the Contractor. Any work performed on changes or "extrast" prior to execution of a written agreement may or may not be compressionable this yill be Owner at the discretion.
- 1.08 GURANT-EE:

 A The Landscape Commander shall furnish a written guarantee werranning all matchels workmentably and part methods workmentably and part methods workmentably and part methods to the property of the Commander of
- 8 At the end of the specified guarantee period, any plant required under this contract that is dead or not in satisfactory contribor, as detarmined by the Landscape Architect, shall be replaced. The Landscape of Contracts shall be responsible for the Staff replacement cost of plant materials for the first replacement and share outbook, and replacement (e) costs equally with the Owner, should the replacement clear fail to survive clear fail.
- 9 CARE AND MAINTENANCE The Lundscape Contractor shall be responsible for the care and mantierzence of all play in materials and infraction when applicable until final acceptance by the Owner or Landscape Architect
- B. The Owner carees to execute the instructions for such care and maintenance
- 1.13 SAFETY A It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid oroperly damage. Adequate warning devices shall be placed and marriamed during the progress of the work.
- CONTRACTOR QUALIFICATION
- COLTRACTOR COLALIFICATION
 The Owner or you gain the apparent contractor (s) to cualify hernherstell to be a responsible entity by Jamaning any or all of the hillewing documentary dratt:

 A francial statement showing essets and facilities of the company carried to dark.

 A falling of not less than (7) com pleted projects of lamiter scope and nature.

 Ferminent name and societies of place of business and lamiters are one of the company of the other owners are societies or place of the place.

 The surfour of regulate entitle place of the organization and lampte of time the organization has been in business under the present name.

- 1.12 INSURANCE AND BONDING
- 14. INSUPPONDER, APPLIEDRICHING.
 The currisactic (a) shall alwahe proof of insurance for this you for the time period that the work is done. The minimum amenin of insurance shall be \$300,000.00 per person and \$300,000.00 per aggregate or as required by owner and agreed to the contract.
 The successful before shall be required to have this coverage in effect before beginning own on the side.
- B The Coviner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Cert exit and personnt obligations aroung theireuncher as stituted in bidding requirements or specifically required in the Contract. Documents on the date of execution of the Contract.
- 1 13 PERMITS AND CERTIFICATES
 A. All contractors shall socure and pay for all permits and cartification may wred for his hor class of work.
- PART 2 VATERIALS
- 2.31 PLANT MATERIALS:
 A complex Bid of Joins is shown on the drawngs, including a schedule of guardies steet, and such other requirements deemed necessary. In the even; discrepancies occur the specifications on the drawings shall govern.
- Substances: Substances of plant materials or changes in size or spacing of materials will be permitted ONLY upon written authorization by the Owner or the Landscap materials will be permitted UNLY upon when automatation by the Cower or the Landscape. Architect. If plant in sterial is not of sufficient size to meet applicable codes, a letter of variance from the oppropriate agency must be obtained by the Contractor prior to issurance of unity change order. If marshalf of smaller size is to be accepted, the quarrily of markenial shall be increased at
- C. All plant invalentes shall have a habit of growd. But a normal for the species and shall be healthy vigorate and equal to or exceed the measurements specified in the plant life, which are the minimum exceptable sizes. Plants shall be measured before purifying this barches in normal post on. Any necessary pruning shall be done at the time of planting.
- All plant materials and the nursery grown unless eitherwise noted. Florids #1 or better and shall comely with all required inspections, grading standards and plant regulations as set forth by the Flanks Department of Agriculture's Gradies and Standards for Nursery Plants, most current addition and Grades and Standards for Nursery Plants most current addition.
- E Plants that do not have the normal balance of height and spread typical for the respective plant shall not be acceptable.
- Fig. The Landscape Contractor shall install each plant to display its best side. Adjustments may be required if plants are not installed properly analyse approved by the Landscape Architect at no additional coefficients.

- 2.02 INSPECTION
 A. The Landscape Architect and Owner may inspect trees and shruke at place of growth or at size before planning, for comodence with requirements for genus, species, variety, size and quality. The Landscape Architect and Chemie retain the right to further respect trees and sit use for size and control on obligation of hyperines, respect, where set a failtree in declaration of colors and only species, respect, where set a failtree declar, and or report trees, and are set a failtree food and architecture of the color property and architecture.
- 2.03 PROTECTION OF PLANT MATERIALS
 A Balled are 0 artiface) plants (8 6 8) and 8 to duty with him natural balls of earth of surf-client (dismoster and doppin to encompass the florus, and feeding most system necessary for receivery of the plants. Balls statl be firmly wrapped with burlas and far materials and pound with 20rd, report, or when fract. All postcoded prices shall be balled and burtapped.
- B. Plants with broken, damaged or insufficient rootballs will be rejecte:
- C. All plant meternal shall be projected from possible bank injury or breakage of orienches. All plants transported by open finisks shall be adequately covered to prevent whetherm, drying or damage to plants.
- D. Plants which cannot be planted immediately on delivery to the size shall be covered with most Add, midch or other protoclon from the drying of eind and sur. All plants shall be writtend as necessary by the Landscape Contractor until planted.
- 2.04 STORAGE:
 A. All chart materials shall be stored on the ellist in designated areas specified by the Landscape Architect or Cwner's agent.
- No plant material shall be stored longer than seventy-two (72) hours unless approved by by Landscape Architect and/or owner.
- The Landwape Architect reserves their ghilto reject any plant materiels not in conformance with these specifications.
- All rejected material shall be immediately removed from the site and acceptable material at no cost to the Owner.
- 2.05 PROTECTION DURING PLANTING
- These moved by which or craine shall be thoroughly protected from chain marks, gircling or bar's slippage by means of burlap, wood patters or other approved methods. Battarns shall NO" be statched to the tier with mals.
- PLANTING SOIL.
 Planting soil for all plantings shall consist of existing native soil and shall be free of cebris roots.
 Planting soil for all plantings shall consist of existing native soil and shall be free of cebris roots.
 Lity, stones, butters or other foreign materials which might be a hindrance to planting operations or be determined to good growth.
- 2.07 FERTILIZER:
 A Commercial feet sound: rough with the table feet force. Nitrogen shall not be less than commercial feet sound: rougher defended program about to be deemed from the accious form of nitrotle. First laws shall be delivered to the set of the unposed organization commercial exploration for the numberod commercial commercial exploration of the production of the pro
- B. Thoroughly mixed 3 lbs. of commercial fertilizer
- C. Tablezzed first lizer shall be Agriform planting tablets 20-10-5 formula, 21 gram or equal, A3 tross and shrubs shall be fertilized with tabletized fertilizer as follows. White backfaing plant holder, tetilizer labeles shall be equally spaced and placed sequent to the ball mid-way in dept accordington with thin following mitter.

Large tubs, were baskets, grow bags, and belied and burlapped material shall have 1 tablet for each 1/2 inth of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of

- 2.08 MLLCH
 A. Mildon mulertal shall be clean, dry, fine of weeds, seeds and posts, molestened at the time of application prevent wind displacement. Cypress & for Red mulch is prohibited.
- All trees and shrub beds shall receive 3" mulch immediately after planting and benoughly watered. Apply 2" must on trou & pulsn troutcalls, keep trway from trou & pulsn trunks or ne propared by local justifiction.
- PART 3 EXECUTION

 3.01 DECENT.

 The Landscape Contractor shall exercise care in digging and other work so as not to damage activity work, including own-fined wires, underground piece and captes and this piece and hydroxide idvaleting systems. Should survive head or underground obstances be encountered which infartne with plantany, the Owner shall be consulted and contractor will adjust the incontrol principle.
- GRADING:
 Grading for dramage, swales, etc. to within 4 inches of the finished grade to be provided by others.
- . It shall be the responsibility of the Landscape Contractor to provide the first gracing during the course of brodscape installation on set to bring end and planting ames to their proper elevations in helician to walks, proving, dains includers, and other site conditions. The side grading plan must be checked prior to installation of sod to insure that drainage and other conditions will NOT be impossible.

- The Contractor shall call for utility locates and ascertain the location of all utilities and easements so proper precautions can be taken not to demage or encreach on their;
- C. Tree Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor;
- Exervation of holes shall extend to the required subgrades as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the oferementioned Tires and Struch Bitaring Desgraps.
- E. A representative number of planting p ts (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Flan for complete testing methods.
- Fig. Plearing pits shall be encounted to the following demensions and refilled with a mixture of (72) planning poil (42) planning mice. Sell. 1 Gallon melecula (1 gal.). 12° x 12° x 12° mix. 3 Gallon meteral (3 gal.). 12° x 12° x 12° mix. 3 Gallon meteral (3 gal.). 12° x 12° x 13° mix. Leno material (7 gal.). 30° x 30° x 24° mix. Leno material (7 gal.). 30° x 30° x 24° mix. Prod. grown material pits (12° mix.).
- G. No planning or laying of and shall be initiated and the area has been claused of existing soci or other plant materials, rough greas, weeds, debrie scone etc. and the ground has been brought to an ever grade, with positive of change area from buildings and lowards drain risets and swales and approved by Lancadapa Architect or owner's rep.
- All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, www.stakes.etc., shall be removed from sides and top of the ball and removed from hole before hilling in.
- J. All flagging nbook shall be removed from trees and shrubs before plansing.
- Excess excavation (fill) from all notes shall be removed from the site, at no additional expense to
 Owner.
- All paints shall be backfilled with sand. Uncoughly washed in curing planking operations and with a shallow secure deprivation list at the scall time for future writerings. Secure intense shall be top-dressed two CZ1 inches does with topical Planka and left in a neat, clean manner.
- 3.04 PRUNING
 A Ramovo dood and troken transfers from all plant material. Prune to retain it pread growth habel of notivitual plants with as much the grid and someod as possible in a manuser which will preserve the plant a natural character.
- C. Trees shall not be poled or topped.
- D. Romove all trimmings from stp.

- 3.05 GUYING: A. All troop over six (6') feet in height shall, emmodately after setting to proper grade, to guyed with three sets of two strands. No. 12 gauge malleable galvanized iron, in tripod fashion, See Detail.
- Wres shall not come in direct contact with the tree but shall be covered with an approved protect on device at all contact points. Wres shall be fastened in such a manner as to avoid pulling crotones about.
- Stake & Brace all treess larger than 12" oa. See detail.
 Stakes shall be 2" x 2" lumber of sufficient length to sal sfactorily support each tree
- E. Tumpuckes for guying tress shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain light guy wires.
- 3.06 WATER
 A. Each plant or tree shall be thoroughly watered in after planning. Watering of all newly netalled plant materials shall be the responsibility of the Landscape Contractor until final acceptance by 8 Landscape Architect.
- 9. See General Notes of Landscape Plan for water source.
- 3,07 500
- A. The Landscape Contractor small and all areas Indicated on the crawings
- The sociahalize firm lough testure, having a compacted grown of grass with good rout development. It shall contain no notions wends, or any other objects, anable registrions. Nursus, insects, or of sease. The soil embacdad in the sociahalize good deen earth, free from stones and obtain.
- D. Before being out and libed, the soot shall have been moved at least three times with a liver mover, with the tool move of not more than seven day a before the soot is out. The soot shall be carefully out lind or through mamestors.
- E. 6-6-5 feral zer with all trace elements is to be applied at the rate of 40 bs. per 1 000 sq. ft. pncr to laying sod.
- F. Solid sod shall be laid with closely abuting staggered joints with a tamped or rolled, even surface
- walks, paving and wood borders to allow for building furf
- The Lindscape Contractor shall remove all vegetation and rocks larger than (17) or diameter from areas to be seeded, scarlly the area, then apply fertilizer at a rate of 500 lbs, per sore.
- Application: Argentine Bahla Grass seed 200 Pounds per acre mixed with common hulled Bermuda seed 30 lbs, per acre. All other seed mixtures shall be applied per this.
- C. Roll immediately after seeding with a minimum SCO pound roller, then apply straw mulch at the rate of 2.500 pounds per acre.
- D. Apply fertilizer at the rate of 150 lbs. per scre 45-60 days after seeding.
- CLEANING UP
 A This contractor shall strail times keep the premises time from accumulations of weste measures in tribble caused by his employees or work. He shall leave all pare of areas "broom clean" when completed with his work.
- 3.10 MAINTENANCE:

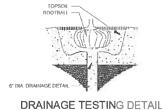
 A Macrinanco state begin immediately after each plant is netalled and shall continue until all clarity in the sear accepted by the Owner or Landscape Architect. Maintanance shall include water rigilized water rigilized to seat materials, reserving plants to proper grades or uping?

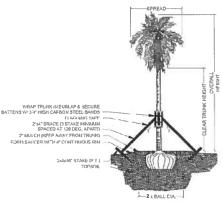
 305 Exclus powings, resistant or of planting success and/or any other increasing.
- Proper protection to favor areas shall be provided and any demage resulting from planting operations shall be repeized promptly.
- C. Replacement of plants during the mentionance period shall be the responsibility of the Contracto excluding vandelism or damage on the part of others lighting, or humicane force which, until final.
- D. In the event that weeds or other undestrable vegetation become prevalent it shall be the Contractor's responsibility to remove them.
- E. Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner the only exception being trunt care force words.
- 3.11 COMPLETION, RISPECTION AND ACCEPTANCE
 A. Completor of the work shall rean the full and exact complaince and conformey with the provisions or pressor or implied in the Dinwengs note in the Specifications, including the complete removal of all than bodies, so of or other waste created by the Lancacape Contractor.
- C. All plant in also fall the after and in good growing condition for each specified kind of plant at the term of acceptance. The rating of each plant according to Flonds Grades and Standards shall an equal to on enter then that called for on the plans and in these Specifications at the time of fine inspections and acceptance.
- DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

BRACING DETAIL

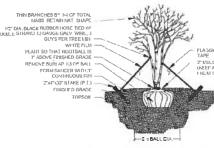
- PRIOR TO PLANTING ALL PLANTING PITS SELECTED FOR TESTING SHALL BE TESTED IN THE FOLLOWING MANNER \footnote{A}
- A. DIG EACH PLANTING PIT TO THE MINIMUM SPECIFIED SIZE
- B. FILL PLANTING PLT WITH TWELVE INCHES (12") OF WATER, IF THE S. THELP CANNING FIT WITH INVESTOR WARES (12) OF WATER LEFT WATER LEFT WAS MADE AND ADAPT SOURCEST AND A DRAINAGE CHANNEL IS NOT REQUIRED FOR THE WATER LEVEL DROPS LESS THAN FOOR INCHES IN YOUTHIN THE FOUR (4) HOUR PERIOD. A DRAINAGE CHANNEL IS REQUIRED.
- YON POROUS SOIL AND INTO POROUS SOIL, (SEE DETAIL)
- D. ALL MATERIAL REMOVED FROM THE DRAINAGE CHANNEL SHALL BE DISCARDED.
- E WHEN BACKFILING PLANTING PITS WITH PLANTING MIXTURE CARE MUST BE TAKEN TO KEEP THE CONSISTENCY OF THE SOIL MIX THE SAME THROUGHOUT THE PLANTING FIT AND DRAINAGE CHANNEL.



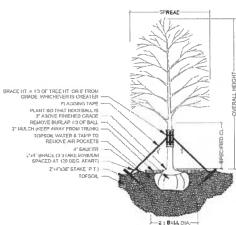




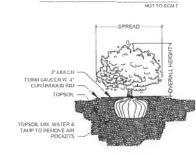
PALM PLANTING - ANGLE STAKE



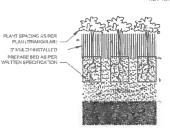
MULTI-TRUNK PLANTING & GUYING



TREE PLANTING & STAKING



SHRUB PLANTING



GROUNDCOVER PLANTING DETAIL

BRANDON M. WHITE, ASLA 1708 SE Joy Haven Stree Port St. Lucie, FL 34983 (772) 834-1357 TADEOS ENGINEERING LLC.

> ence 냄 sid (1) Blvd, S Ø Holly Bib

Specifications

య

S

Detail

be

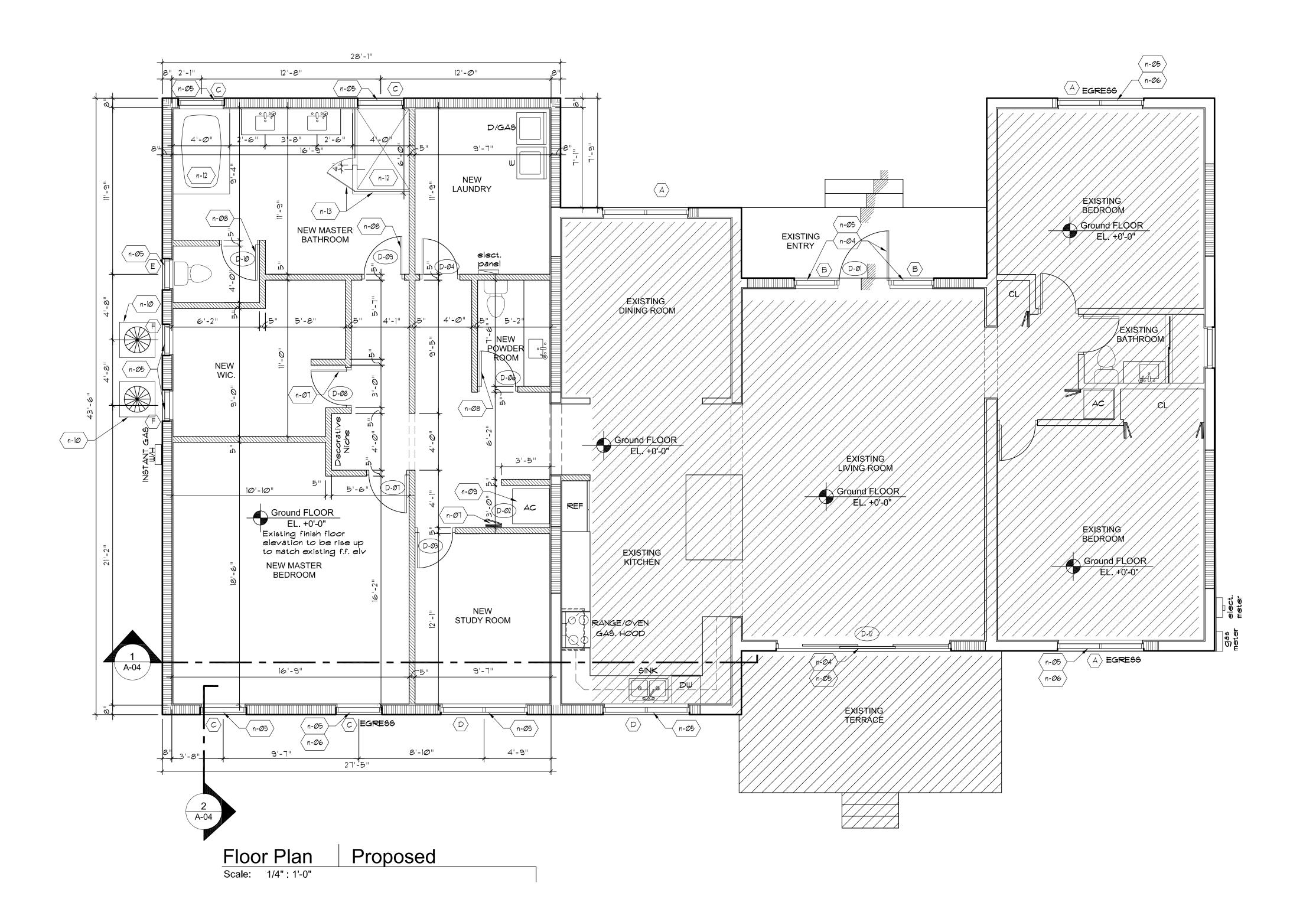
Landsca

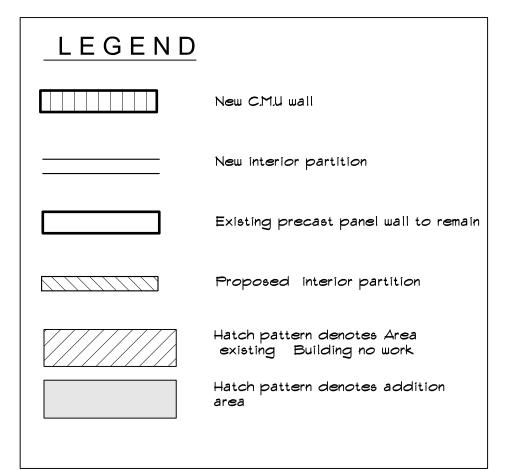
Initial 03.01.19 Submiital

BW Drawn By: Checked By: Municipal Project: NORTH) SCALE: 1" = 10"

PAUL COULAS, REA-FEORIDA REG. # LA6666807

3 of 3





AREA BREAK DOWN

PROJECT NOTES

- N-01. All dimensions to be field verified by contractor.
- N-02. All door dimensions shown to be verified by GC. Refer to schedule for door size and type.
- N-03. All ADA clearances to be verified and ahered to by G.C. N-04. Fix Glass and glass door to be safety glass Category II,
- N-05. All glass windows/doors to receive impact resistant glass and to comply w/energy calculation.

 N-06. Egress window as second means of escape to have an
- outside window or door operable from 'the inside without the use of tools and providing a clear opening of not less than 20 in. in width, 24 in. in height and 5.7 sq.ft. in area. See Detail
- N-07. Every closet door latch shall be such that children can open the door from the inside of the closet. f.b.c. .
- N-08. Every bathroom door lock shall be designed to permit the opening of the locked door from the outside in an emergency.
- N-09. New A/C air handler
- $_{\text{N-10.}}$ Existing A/C condenser unit relocated.
- N-11. Emergency means of escape & mean of egress exit door.

 According FBC'10 R310.4. Door shall be side hinged, 32" min.

 width clearance & 78" min. clear HT.

- N-12. Shower/bathtub compartment must have floor and walls constructed of smooth, corrosion resistant and non absorbent water-resistant material
 - to a height of not less than 72" above the compartment floor at the drain as per fbc . See detail.
- N-13. Glazing less than 60" AFF in shower/Tub shall be Cat.ll safety glass.

As per fbc r315.1 wall and ceilimg finishes shall have a flame-spread classification of not greater than 2*00.* verify w/ manufacturer.

as per fbc r315.2 wall and ceiling finishes shall have a smoke-developed index of not greater than 450. verify w/manufacturer.

as per fbc r316.1 insulation materials in roof ceiling assemblies and attics shall have a flame spread index not to exceed 25/smoke developed index not to exceed 450. verify w/ manufacturer.

ALL WORK TO BE DONE UNDER F.B.C 2017 RESIDENTIAL

BUILDING SHALL HAVE PRE-CONSTRUCTION TREATMENT
AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH THE RULES AND
LAWS ESTABLISHED BY THE 'FLORIDA DEPARTMENT OF AGRICULTURE AND
CONSUMER SERVICES'". A 'CERTIFICATE OF COMPLIANCE' SHALL BE ISSUED
TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY
PERFORMING THE TREATMENT" (SEE FBC'ØT R4409.13.5 FOR TEXT OF
'CERTIFICATE OF COMPLIANCE' STATEMENT).

TADEOS ENGINEERING LLC.
C.A. #: 31229
14030 NW 82nd Ave,
Miami Lakes, FL 33016
Phone: (305) 903-8816
email: luis@tadeosengineering.com

LUIS O. DE LA HOZ PE# 73932

No. Revision/Issues Date

1330 HOLLYWOOD
OULEVARD, HOLLYWOOD
FL 33020
Folio: 5142 14 01 1650

oject dress:

> EXISTING HOUSE ADDITION ND INTERIORS REMODELING

Sheet Title:

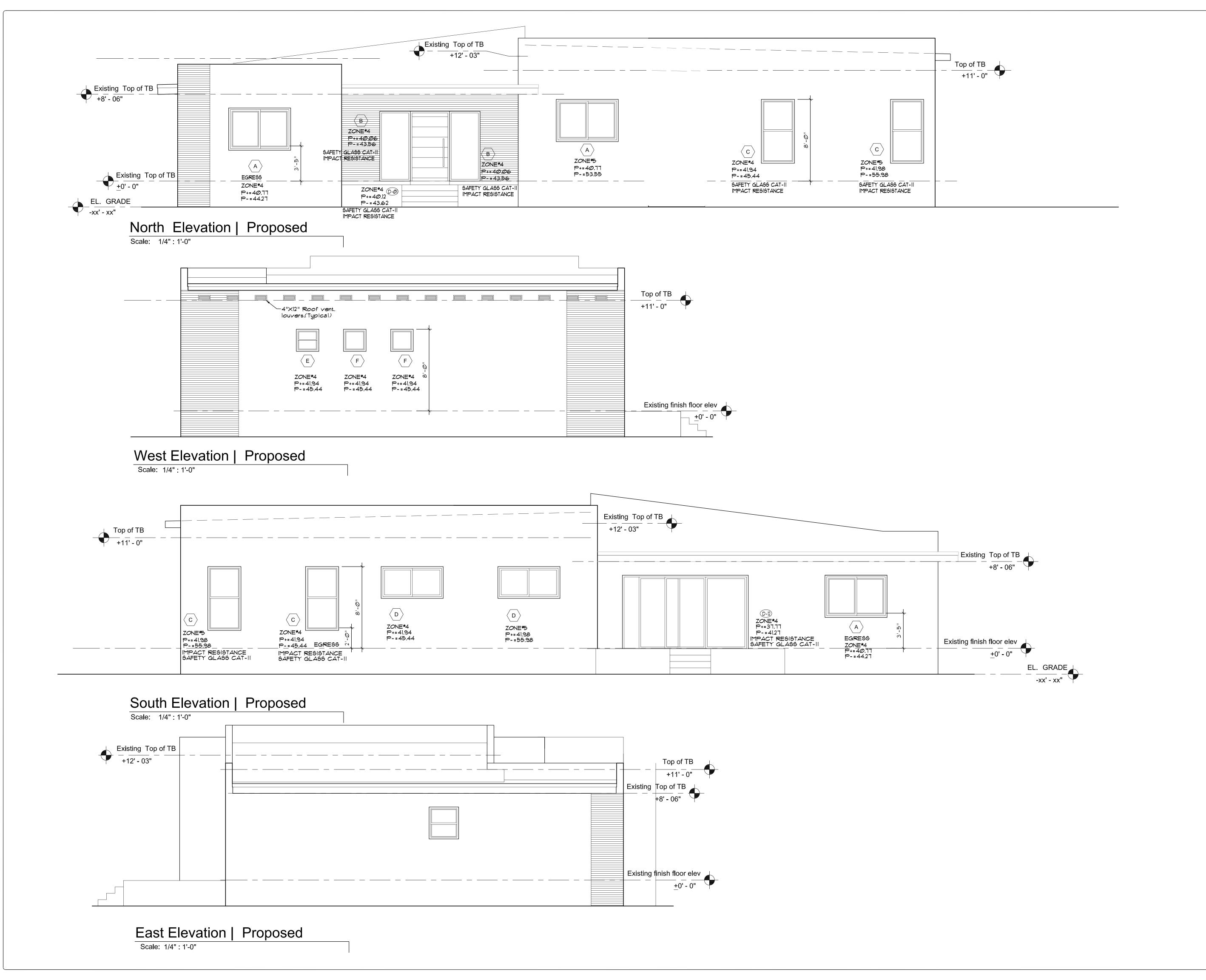
PROPOSED FLOOR PLAN

Project
No:

Drawn:
PA.
Checked:
A.R
Issue
Date: 09-24-2018

<u>Sheet No:</u>

A-01



TADEOS ENGINEERING LLC.
C.A. #: 31229

14030 NW 82nd Ave,
Miami Lakes, FL 33016
Phone: (305) 903-8816
email: luis@tadeosengineering.com

LUIS O. DE LA HOZ PE# 73932

No. Revision/Issues Date

1330 HOLLYWOOD BOULEVARD, HOLLYWOOD FL 33020 Folio: 5142 14 01 1650

Address:

EXISTING HOUSE ADDITION AND INTERIORS REMODELING

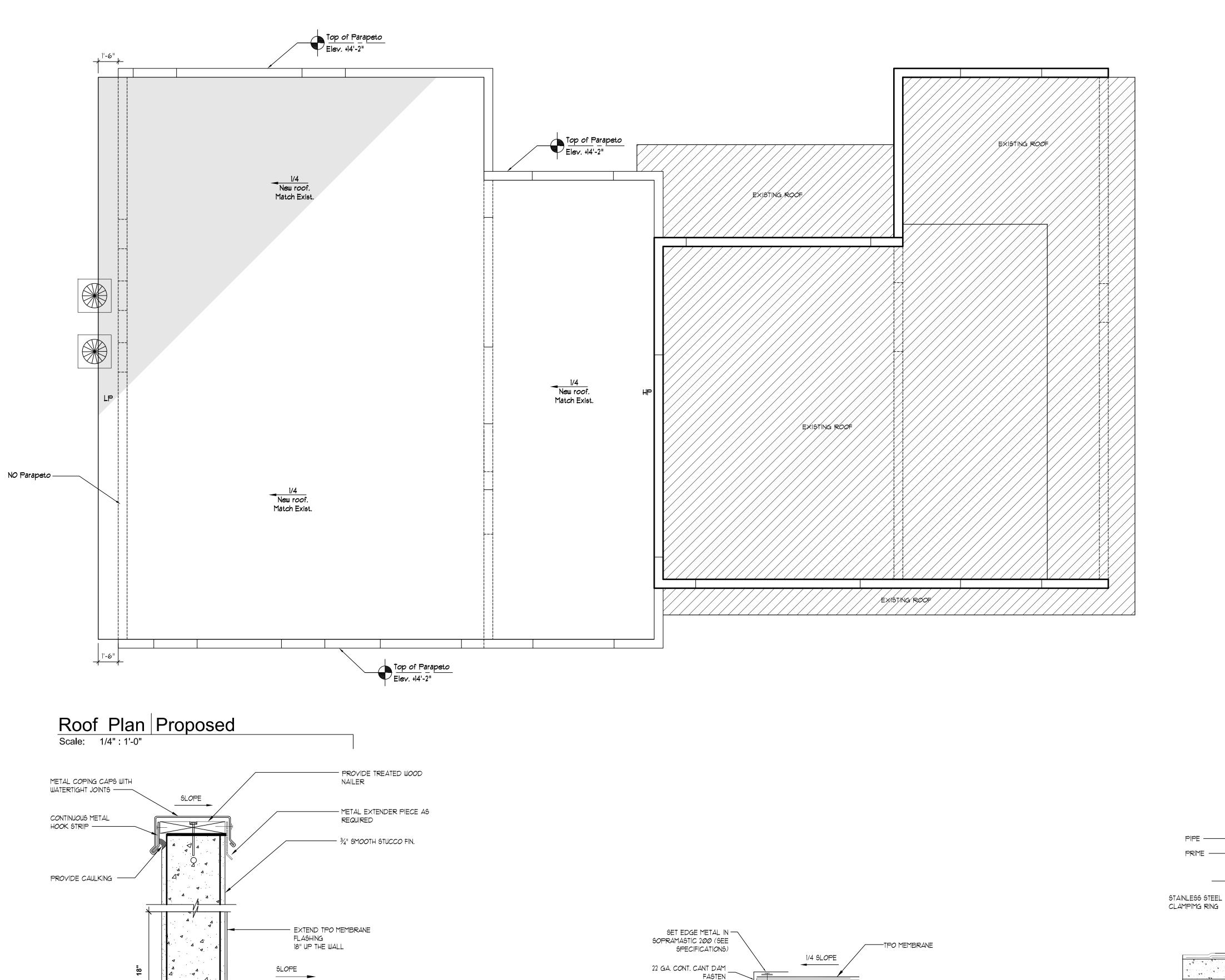
Sheet Title:

> PROPOSED ELEVATIONS OPTION B

Project
No:

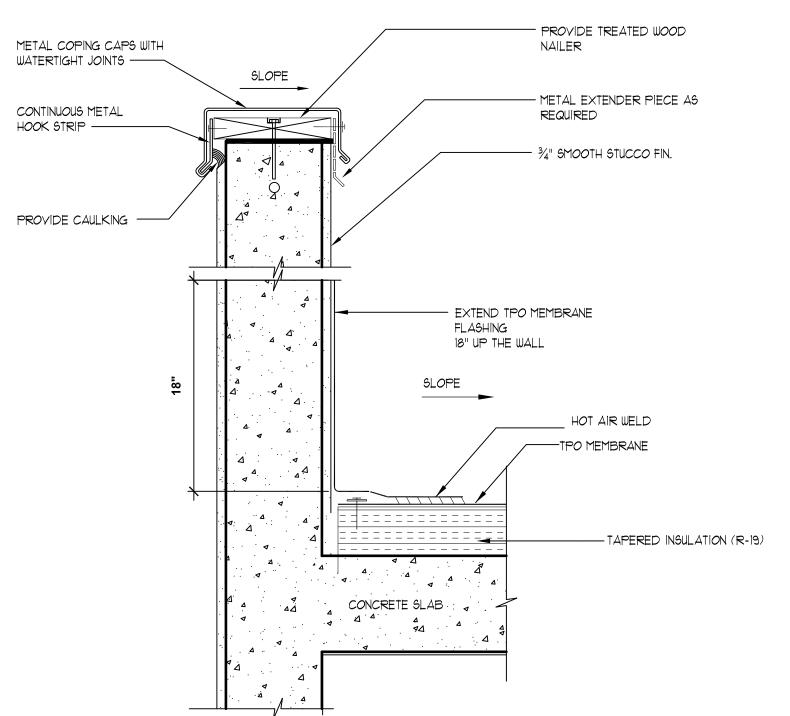
Drawn:
PA.
Checked:
A.R
Issue
Date: 09-24-2018
Sheet No:

A-03



Hatch pattern denotes Area existing Building no work Hatch pattern denotes new roof

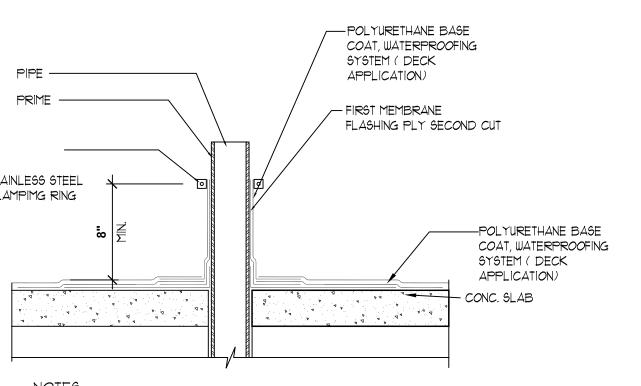
ATTIC VENT CALCULATION LONG. OF VENT = ROOF AREA REQ =14 LINEAR FEET PROVIDE =14 LINEAR FEET



TYPICAL PARAPET WALL AT ROOF

- TAPERED INSULATION (R-19) — CONCRETE SLAB CONT. DRIP EDGE -

ROOF EDGE DETAIL SCALE : 1/2" = 1'-0"



NOTES:

1. VENT PIPE AND FLASHING TO EXTEND A MINIMUM OF 12" ABOVE FINISHED ROOF SURFACE

2. WHERE NECESSARY TO EXTEND PIPE TO PROVIDE MINIMUM 12" HEIGHT, CONTRACTOR TO PROVIDE CONNECTOR AND ADDITIONAL PIPE TO ACHIEVE HEIGHT. PIPE TO BE CONSTRUCTED OUT OF SAME MATERIAL AS EXISTING PIPE

PIPE FLASHING DETAIL (TYP.) SCALE: 1 1/2" = 1'-0"

TADEOS ENGINEERING LLC. C.A. #: 31229 14030 NW 82nd Ave, Miami Lakes, FL 33016 Phone: (305) 903-8816 email: luis@tadeosengineering.com

No. Revision/Issues Date

EXISTING HOUSE ADDITION AND INTERIORS REMODELING

PROPOSED ROOF PLAN

Drawn: PA. Checked: A.R <u>Issue</u> <u>Date:</u> 09-24-2018

A-02

Sheet No:

Scale: 1 1/2" = 1'-0"

WINDOWS SCHEDULE						
MARK	TYPE	SIZE	ROUGH OPENING	REMARKS		
(A)	HORIZONTAL ROLLER	73"×49⁵⁄⁄ ₈ "	75"x51"	EGRESS		
В	FIX GLASS WINDOW	36"x87"	36"x88"	IMPACT RESISTANCE, SAFETY GLASS CAT-II		
(c)	SINGLE HUNG	39"x75"	40 3/4"×76"	EGRESS IMPACT RESISTANCE, SAFETY GLASS CAT-II		
D	HORIZONTAL ROLLER	73"×37¾°"	74"×38"			
(E)	SINGLE HUNG	25½"×25"	27 ¹ / ₄ "×26"			
F	FIX GLASS WINDOW	25½"×25"	27 ¹ / ₄ "x26"			

1-GLASS TO BE SINGLE GLASS CLEAR DEFAULT

U-FACTOR= 0.96 SHGC=0.44

2-GC TO SUBMIT SHOP DRAWINGS.

3-ALL GLASS WINDOWS/DOORS TO RECEIVE STORM SHUTTERS PROTECTION. GC TO SUBMIT SHOP DRAWING AND CITY PRODUCT APPROVAL.

SECOND MEANS OF SCAPE WINDOWS EGRESS WINDOW AS SECOND MEANS OF ESCAPE TO HAVE AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20 IN. IN WIDTH, 24 IN. IN HEIGHT AND 5.7 SQ.FT. IN AREA.

MAXIMUM HEIGHT FROM FLOOR: THE EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR

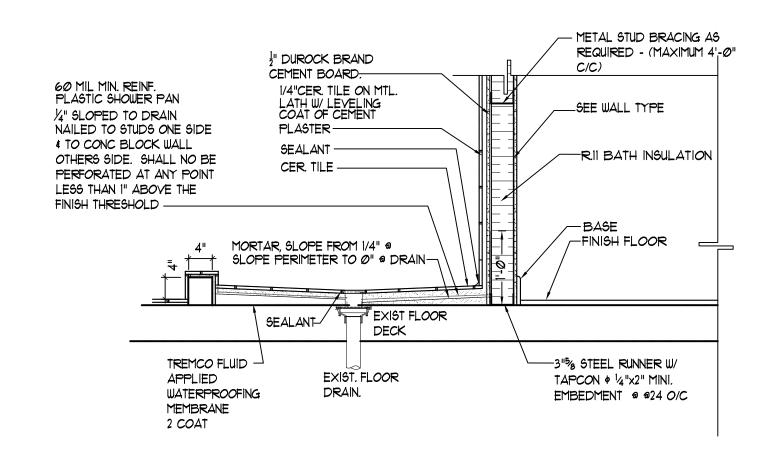
EGRESS WINDOW N.T.S.

EXTERIOR WINDOWS & DOORS UNDER SEPARATE PERMIT

AS PER FBC R315.1 WALL AND CEILIMG FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200. VERIFY W/ MANUFACTURER.

AS PER FBC R315.2 WALL AND CEILIMG FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. VERIFY W/ MANUFACTURER.

AS PER FBC R316.1 INSULATION MATERIALS IN ROOF CEILING ASSEMBLIES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25/SMOKE DEVELOPED INDEX NOT TO EXCEED 450. VERIFY W/ MANUFACTURER.

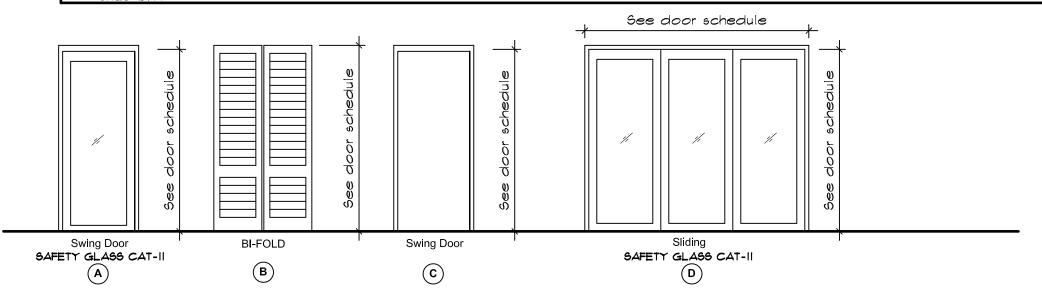


Sho	wer	Detail
Scale:	3/4"=1'	

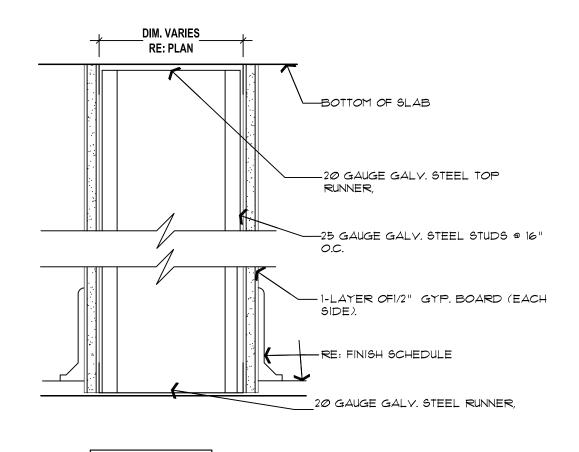
DOOR SCHEDULE										
	LOCAL	SIZE								
NO.		W	H	T	TYPE	MATERIAL	FINISH	THRES.	ROUGH OPENING	REMARKS
(1)	ENTRY	3'-4"	7'-Ø"	13% "	(A) SWING	ALUM- GLASS.	PAINT	ALUM	42"x88"	IMPACT RESISTANCE SAFETY GLASS CAT-I
2	A/C CLOSET	3'-Ø"	"@-'ד	13%"	B BI-FOLD	MOOD	PAINT			
(3)	STUDY ROOM	2'-6"	7'-Ø"	13%"	© SWING	MOOD	PAINT			
4	LAUNDRY	2'-6"	7'-Ø"	13/8"	© SWING	MOOD	PAINT			
(5)	NO USED									
6	POWDER ROOM	2'-6"	7'-Ø"	13%"	© SWING:	MOOD	PAINT			
1	MASTER BEDROOM	2'-8"	7'-Ø"	13%"	© SWING	MOOD	PAINT			
8	WALK IN CLOSET	2'-6"	ד'-@"	13%"	© SWING	MOOD	PAINT			
9	MASTER BATHROOM	2'-8"	7'-Ø"	13%"	© SWING	MOOD	PAINT			
(b)	MASTER BATHROOM	2'-6"	ד'-@"	13%"	© SWING	MOOD	PAINT			
(1)	NO USED									
(12)	LIVING ROOM	14'-8"	ד'-@"	13%"	(D) SLIDING	ALUM- GLASS.	PAINT	ALUM	178"x88"	IMPACT RESISTANCE SAFETY GLASS CAT-I

2.- COORDINATE MASONRY OPENING W/ DOOR MANUFACTURER PRIOR TO WALL ERECTION (SUBMIT SHOP DRAWINGD FOR APPROVAL) 3.- ALL EXTERIOR DOORS TO RECEIVE SILL TO MATCH FLOOR FINISH.

1-GLASS TO BE SINGLE GLASS CLEAR DEFAULT U-FACTOR= 0.96 SHGC=0.44

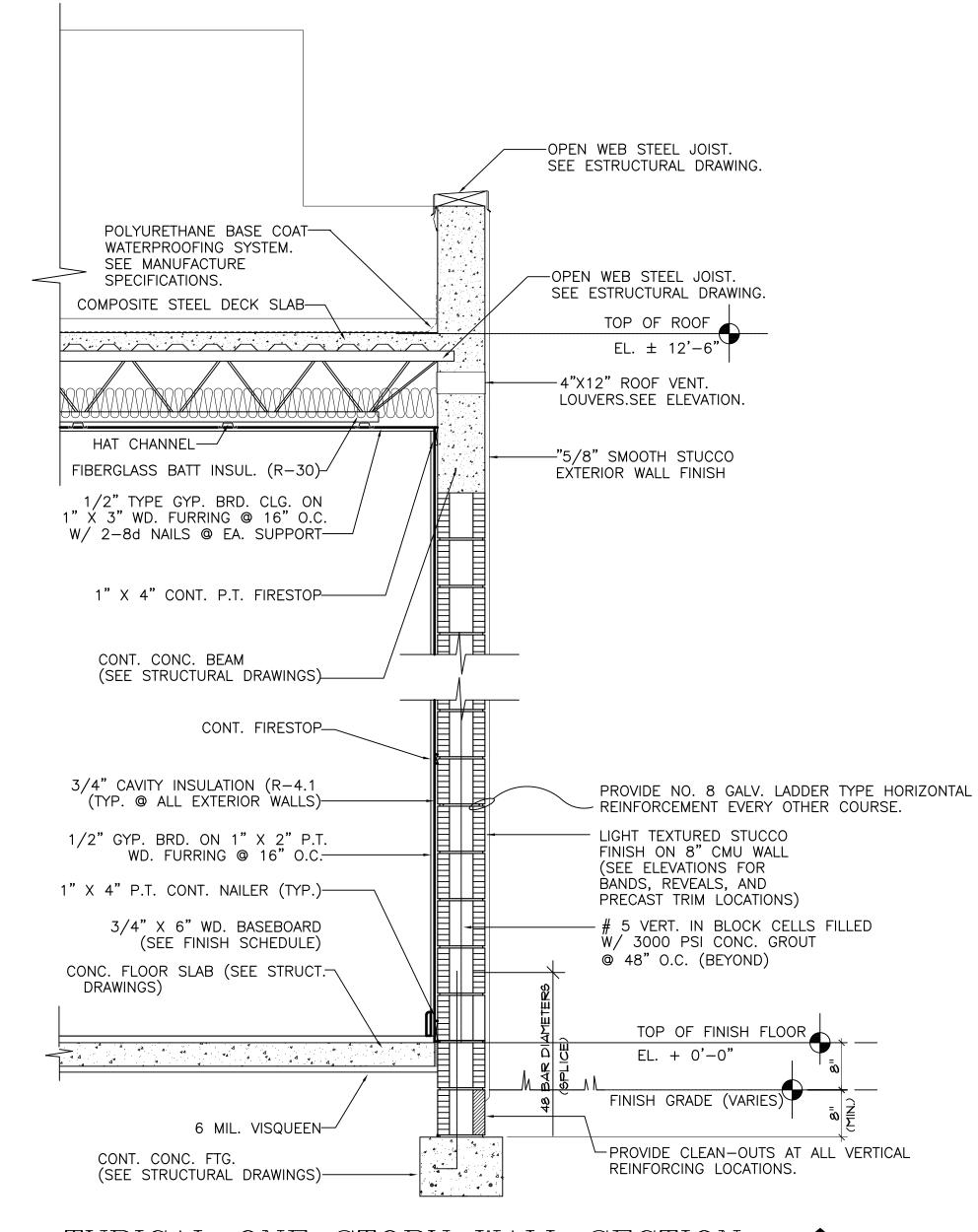


DOOR TYPES ELEVATIONS

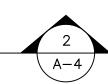


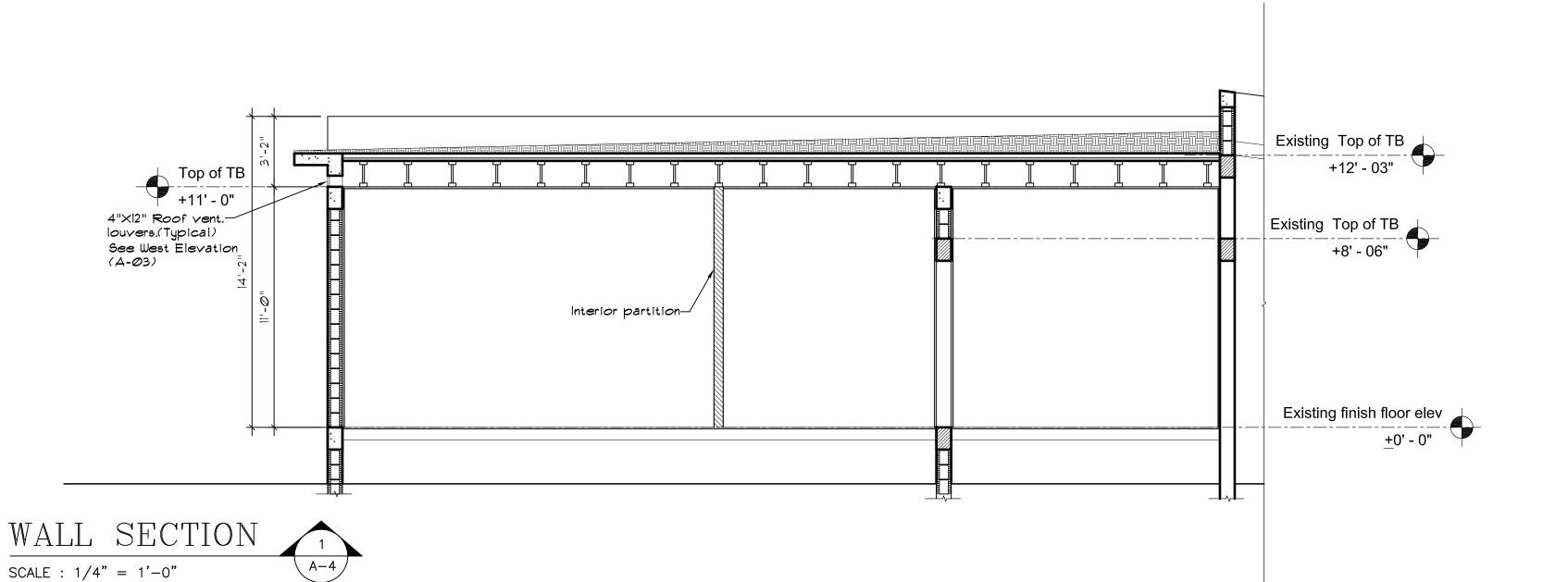
Typical new interior partition

wt-1









TADEOS ENGINEERING LLC. C.A. #: 31229 14030 NW 82nd Ave, Miami Lakes, FL 33016 Phone: (305) 903-8816 email: luis@tadeosengineering.com

LUIS O. DE LA HOZ PE# 73932 No. Revision/Issues Date

D, HOLLYWOOD 650 0 30 330 ollo:

> 0 $\mathbf{\Omega}$

EXISTING HOUSE ADDITION ND INTERIORS REMODELING

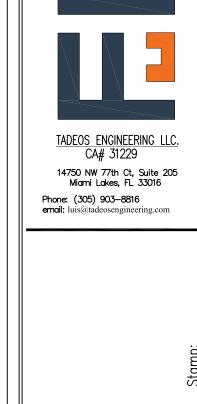
SCHEDULES & DETAILS

Drawn: PA. Checked: A.R <u>Issue</u> <u>Date:</u> 09-24-2018 Sheet No:

A-04



North 3d view | Proposed



1330 HOLLYWOOD BOULEVARD, HOLLYWOOD FL 33020 Folio: 5142 14 01 1650

LUIS O. DE LA HOZ PE# 73932

Drawn	
Checked	
Date	
Scale	
Jon NO.	
Sheet	
OF SHEETS	

