### **PLANNING DIVISION**



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):\_

# **GENERAL APPLICATION**

|  | APPLICATION TYPE (CHECK ONE):   |  |  |  |  |
|--|---|--|--|--|--|
| Hadl CITY OF   | ☑ Technical Advisory Committee ☐ Historic Preservation Board  |  |  |  |  |
|  | ☐ City Commission ☐ Planning and Development Board  |  |  |  |  |
| FLORIDA  | Date of Application: 03.18.19   |  |  |  |  |
| Tel: (954) 921-3471  | Location Address: 3255 Hollywood Blvd, Suites 1 and 2   |  |  |  |  |
| Fax: (954) 921-3347  | Lot(s): Block(s): A Subdivision: ORANGEBROOK GOLF   |  |  |  |  |
| 1 48. (004) 521-5541                                       | Folio Number(s): 514217020011 ESTATES   |  |  |  |  |
|  | Zoning Classification: Land Use Classification: GBUS  |  |  |  |  |
| This application must be                                   | Existing Property Use: COMMERCIAL Sq Ft/Number of Units: 4,500 SF                                   |  |  |  |  |
| completed in full and submitted with all documents         | Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation. |  |  |  |  |
| to be placed on a Board or                                 | Has this property been presented to the City before? If yes, check all that apply and provide File  |  |  |  |  |
| Committee's agenda.  | Number(s) and Resolution(s): 18-DP-34   |  |  |  |  |
|  | ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board                  |  |  |  |  |
| The applicant is responsible for obtaining the appropriate | ☐ City Commission ☐ Planning and Development  |  |  |  |  |
| checklist for each type of                                 | Explanation of Request:   |  |  |  |  |
| application.   | Explanation of Negacist.  |  |  |  |  |
|  |   |  |  |  |  |
| Applicant(s) or their authorized legal agent must be       | Number of units/rooms:N/ASq Ft:N/A  |  |  |  |  |
| present at all Board or                                    | Value of Improvement: \$850,000 Estimated Date of Completion: August 2020                           |  |  |  |  |
| Committee meetings.  |   |  |  |  |  |
| Mind   | Will Project be Phased? ( ) Yes (X)No If Phased, Estimated Completion of Each Phase                 |  |  |  |  |
| At least one set of the<br>submitted plans for each        |   |  |  |  |  |
| application must be signed                                 | Name of Current Property Owner: WRI JT HOLLYWOOD HILLS I LP, Scott Henson                           |  |  |  |  |
| and sealed (i.e. Architect or<br>Engineer).                | Address of Property Owner: 5355 TOWN CENTER ROAD, STE 802, BOCA RATON, FL 334                       |  |  |  |  |
|  | Telephone: 602-217-8848 Fax: 602-263-8852 Email Address: SHenson@Weingarten.                        |  |  |  |  |
| Documents and forms can be                                 | Name of Consultant/Representative/Tenant (circle one): Saltz Michelson Architects                   |  |  |  |  |
| accessed on the City's website                             | Address: 3501 Griffin Rd, Ft. Lauderdale Telephone: 954-266-2700                                    |  |  |  |  |
| at   | Fax: 954-266-2701 Email Address: _mazar@saltzmichelson.com  |  |  |  |  |
| http://www.hollywoodfl.org/Do<br>cumentCenter/Home/View/21 | Date of Purchase: No (X)  |  |  |  |  |
|  | If Yes, Attach Copy of the Contract.  |  |  |  |  |
| A C  | List Anyone Else Who Should Receive Notice of the Hearing:  |  |  |  |  |
| RIA  | Address: Email Address:   |  |  |  |  |
| 97   | LIIIdii Auuress.  |  |  |  |  |

# PLANNING DIVISION

File No. (internal use only):\_

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

### **GENERAL APPLICATION**

### **CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at <a href="www.hollywoodfl.org">www.hollywoodfl.org</a>. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

| deliberation and the deprication and attachments become part of the official public records of the only   | and are not returnable.  |
|---|--|
| Signature of Current Owner.   | Date: 3/18/19  |
| Signature of Current Owner: MARTIN ESPETO   | Date: 3/18/19  |
| Signature of Consultant/Representative:   |  |
| PRINT NAME:   | Date:  |
| Signature of Tenant:  | Date:  |
| PRINT NAME:   | Date:  |
| Current Owner Power of Attorney   |  |
| I am the current owner of the described real property and that I am aware of to my property, which is hereby my legal representative before the | of the nature and effect the request for nade by me or am hereby authorizing (Board and/or |
| Sworn to and subscribed before me this 18 day of March 2019   | Signature of Current Owner   |
| Notary Public  Brittany L. BURTON MY COMMISSION # GG288934 EXPIRES: January 06, 2023  | Print Name   |
| State of Florida  |  |
| My Commission Expires:(Check One) Personally known to me; OR F  | Produced Identification  |

### WEINGARTEN REALTY

2600 Citadel Plaza Drive Houston, Texas 77008 800-688-8865 713-866-6049 Fax www.weingarten.com

March 1, 2018

### To: County and City Building Departments: (including)

Cities of: Boca Raton, Clearwater, Clermont, Cooper City, Deerfield Beach, Hollywood, Jacksonville, Kendall, Largo, Miami, Oakland Park, Orlando, Palm Coast, Palm Harbor, Pembroke Pines, Plantation, Sanford, Sea Ranch Lakes, Stuart, St. Augustine, Tampa, Wellington, Winter Park; and

Counties of: Palm Beach, Pinellas, Lake, Broward, Duval, Miami-Dade, Orange, Seminole, Flagler, Martin, St. Johns, Hillsborough

### RE: Approval from owner for signature acceptance

Dear City Official:

Please be advised that the following Weingarten personnel are authorized to sign the types of documentation listed below on behalf of the owners listed on Page 2.

### Weingarten Personnel:

Mark Schultz — Associate Director of Property Management Chris Oftedal — Senior Regional Property Manager Ryan Tufts — Regional Property Manager John Haggerty — Regional Property Manager Karl Brinkman — Area Vice President/Leasing Alexander Evans — Regional Leasing Director Joel F. Kaplan — Construction Manager Martin Espejo — Construction Manager Gina Fongyee — Property Manager

### **Documentation:**

Permit Applications
Sign Approval Letters
Notice of Commencement
Documents required by City Department and Code Enforcement Department (violations)
Documents regarding utility and or refuse service
Waste Water Applications
Development Orders
Development Agreements

### **Owners:**

Weingarten Realty Investors Weingarten Nostat Inc. WRI JT Tamiami Trail, LP WRI JT Pembroke Commons, LP WRI JT Flamingo Pines LP WRI Seminole II, LLC WRI-TC East Lake Woodland LLC WRI-TC Marketplace at Dr. Phillips LLC Weingarten I-4 Clermont Landing LLC Weingarten I-4 Clermont Landing TRS, LLC WRI Shoppes of South Semoran LLC Weingarten/Investments Inc. Weingarten I-4 St. Augustine EV LLC WRI JT Northridge, LP WRI JT Hollywood Hills I, LP WRI JT Hollywood Hills II, LP WRI Seminole Marketplace, LLC Pineapple Commons Retail LP WS Atlantic West, LLC WS Kernan Village, LLC WRI Wellington Green, LLC

### Sincerely,

Weingarten Realty Investors, a Texas real estate investment trust

By:

Mark 16. Stout

Senior Vice President/General Counsel

STATE OF TEXAS

§ §

**COUNTY OF HARRIS** 

8

The foregoing instrument was acknowledged before me this 2nd day of March, 2018, by Mark D. Stout, Senior Vice President/General Counsel of Weingarten Realty Investors, a Texas real estate investment trust, on behalf of the trust. He is personally known to me.

BARBARA MCKINNEY Notary Public, State of Texas Comm. Expires 05-15-2021 Notary ID 405958-3

**NOTARY STAMP** 

LULAgafillensing (MDSM) SCICORPASUB INFORD SIGNATURE APPROVAL LTRVII. Agent Authority Letter 0301 (8 doi:



March 18, 2019

City of Hollywood Development Services Planning Division 2600 Hollywood Boulevard Hollywood, Florida 33020

Attn: Technical Advisory Committee Plans Reviewers

RE: Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building

Hollywood, Florida File # 18-DP-34 MA Project No. 2016-109

To Whom It May Concern:

Below are our responses to the City's comments for the above referenced project:

### **APPLICATION SUBMITTAL – dated 1/22/19**

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

- 1. Comment: Ownership & Encumbrance Report (O&E) shall:
  - a. Dated within 30 days of submittal packet.
  - b. Indicate it was searched from 1953 or time of platting (earliest of the two).
  - c. Include the legal description of the property.
  - d. Include the names of the current owners.
  - e. Include a listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access line, etc.)
  - f. Include a listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)
  - g. Provide signed O&E Report

Response: Please refer to attached O & E Report

- 2. Comment: ALTA Survey:
  - a. Shall be based on O&E with a note indicating as such.
  - b. Include net area of scope of work.
  - c. Work with the Engineering Division to ensure the Survey is accurate and all easements and dedications are indicated.

Response: Please refer to attached survey.

City of Hollywood Page 2 of 10

3. Comment: Provide Boundary Survey of entire site. Ensure that it includes the net property size.

Response: Please refer to attached boundary survey of entire site.

4. Comment: Revise the following on Site Plan:

a. Include development address on Title Block on Final TAC

b. Provide area of proposed terminal islands.

c. Provide location of building projections, including but not limited to mechanical equipment, overhangs and awnings.

Response: Revised as requested. Refer to updated SP1.0.

5. Comment: Revise the following on Site Data:

a. Adjust required setbacks for property lines abutting residential neighborhoods.

b. Include required, existing and proposed landscape of vehicular use area. (% calculation excludes required perimeter landscaped setback area).

c. Include height of structures on site.

Response: Revised as requested. Refer to updated SP1.0.

6. Comment: Staff encourages Applicant continue to meet with surrounding

homeowner's associations prior to submitting for any Boards if necessary.

Provide update with next submittal.

Response: Acknowledged

7. Comment: Provide written responses to all comments with next submittal.

Response: Understood

### **ZONING – dated 1/22/19**

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Ensure that all plumbing, mechanical and electrical fixtures and

equipment are indicated on Site Plan and Elevations.

Response: All plumbing, mechanical and electrical fixtures and equipment are

indicated on Site Plan and Elevations as requested.

2. Comment: Work with Public Works and Engineering Division to ensure adequate

and safe access is provided for garbage truck to access garbage and

recycling area.

Response: The garbage truck access was reviewed with Mr. Lassiter over a

telephone conference and it was acceptable.

3. Comment: Work with the Engineering Department to ensure that vehicular and

pedestrian access between all parcels is appropriate. Ensure that there are no pedestrian/vehicular conflicts and that adequate crossing points are

provided, particularly in areas adjacent to drive-thrus.

Response: Because of existing grades a pedestrian crosswalk on the drive through

lane is no longer proposed.

### ARCHITECTURE AND URBAN DESIGN - dated 1/22/19

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Given the outparcel's location within a shopping complex, the project

should incorporate addition architectural articulation on the north and

west facades.

Response: The elevations have been revised as requested. Please refer to sheet

A1.0.



City of Hollywood Page 3 of 10

### SIGNAGE - dated 1/22/19

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Application is Substantially compliant.

Response: Acknowledged

### LIGHTING – dated 1/22/19

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Application is substantially compliant.

Response: Acknowledged

### **GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY** – dated 1/22/19

Elaine Franklin, Environmental Sustainability Coordinator (efranklin@hollywoodfl.org) 954-921-3201

1. Comment: Recycle materials from demolition of the parking area to the greatest

extent possible. Recycle waste materials from construction as well. Florida's goal is a 75% recycling rate by 2020, which includes

construction and demolition debris.

Response: Understood. Please refer to Green Building Initiatives Notes on sheet

A1.0.

2. Comment: Use sustainable building materials.

Response: Understood. Please refer to Green Building Initiatives Notes on sheet

*A1.0*.

3. Comment: Use low VOC materials.

Response: Understood. Please refer to Green Building Initiatives Notes on sheet

A1.0.

4. Comment: Install Energy Star or water sense certified appliances.

Response: Acknowledged to be provided during construction documents.

5. Comment: Retain rainwater on site for irrigation and non-potable water uses in the

building. Consider integrating above-ground planters outside the building that can serve as both water storage vessels for irrigation and ornamental

planters. (Search for "rain barrels" on gardeners.com for examples.)

Response: Since the proposed building is a small addition to an existing site with

existing utilities systems, rainwater retention is not feasible for this

project.

6. Comment: Install a rain garden on the north side of the building, populated with

native plants that are recommended for such purposes.

Response: Since the proposed building is a small addition to an existing site a rain

garden is not feasible for this project.

7. Comment: Use other groundcovers instead of St Augustine grass to reduce or

eliminate mowing and other maintenance costs of turf. Species suggestions: native mimosa (Mimosa strigillosa), large-flowered rosemary (Conradina grandiflora), horsemint (Monarda punctata), twinflower (Dyschoriste oblongifolia), perennial peanut (Arachis glabrata), dwarf

mondo grass (Ophiopogon japonicus).

Response: The possibility of using these materials is being evaluated by the design

team. The findings will be discussed with the City and any changes

agreed upon will be shown on the construction documents.

8. Comment: Consider adding canopies over the outdoor seating areas that are equipped

with solar panels that can charge electronic devices at the table and/or



City of Hollywood Page 4 of 10

power fixtures on the property.

Response: Canopies have been added over a portion of the seating areas. Solar

technology was considered however it was not feasible for this project.

### **ENGINEERING** – dated 1/22/19

Luis Lopez, City Engineer (<u>llopez@hollywoodfl.org</u>) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (<u>cip@hollywoodfl.org</u>) 954-921-3915

1. Comment: Provide six inbound (from location where menu is situated) vehicular

stacking spaces.

Response: Provided as requested. Please refer to revised SP1.0.

2. Comment: Parking calculation is under review

Response: Acknowledged.

3. Comment: Indicate parking stall widths for parking facing Hollywood Boulevard.

Response: Provided as requested. Please refer to revised SP1.0.

4. Comment: All outside agency permits must be obtained prior to issuance of building

permit.

Response: Acknowledged.

5. Comment: More comments may follow upon review of the requested information

Response: Acknowledged.

### **LANDSCAPING** – dated 1/22/19

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. Comment: As per submitted L-2 tree mitigation provided is acceptable but

recalculation of regular code required trees is needed. Provide a revised L2 landscape planting plan showing the correct distribution of landscape code requirement trees. Relocated trees/palms cannot be counted towards code required trees but can be accepted as supplemental. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarkia, Foxtail and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT. As per submitted L2 plan substitute all adonidia palms to be of a substantial species described above and upgrade all code required palm trees to be of minimum 8'CT. On the street tree required tree proposed royal palm trees to fulfill tree requirement upgrade the CT to be a minimum of 14-16' of Ct to match existing Hollywood Blvd other royal palms as this is part of the existing character of the city of Hollywood.

character of the city of hollywoo

Response: Sheet L-2, landscape planting plan has been revised to show the correct distribution of landscape code required trees. All adonidia palms has been substituted with foxtail palms. Royal palms overall height has been

revised as requested.

2. Comment: Provide irrigation plans for an automatic underground irrigation system

for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

Response: Irrigation plans will be completed upon site plan approval.



City of Hollywood Page 5 of 10

3. Comment: No tree removals without a tree removal sub- permit. Applicant to submit

a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit at building permit time along with landscape plans to be submitted. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal requirements.

Response: A cost estimate has been provided.

4. Additional comments may be forthcoming at Building permit submittal.

Courtesy comment: Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at

gsalazar@hollywoodfl.org or at (954) 921-3997

Response: Acknowledged

### UTILITIES – dated 1/22/19

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985

Alicia Verea-Feria, Engineer (averea-feria@hollywoodfl.org) 954-921-3900

1. Comment: No Submit preliminary drainage calculations meeting Broward County

and SFWMD requirements for pre/post development and soils report for review of length of exfiltration trench and ensure that stormwater will

have sufficient storage.

Response: Preliminary drainage calculations are provided showing the site is

providing water quality as required by the existing SFWMD permit.

2. Comment: Since this property resides within FEMA FIRM Zone X, no base flood

elevation (BFE) is provided. Therefore, the Finished floor elevations (FFE) and bottom of equipment elevation must conform with section 154.50 of the City's Code of Ordinances. That is, lowest FFE and bottom of a/c and other equipment serving the building must be set at a minimum of 6-inches above the highest adjacent crown of road elevation. During building permit submittal, update survey to include adjacent crown of

road elevations.

Response: Updated survey will be provided.

3. Comment: Update plans to Include the City's latest standard water and sewer details.

These can be obtained from Mike Zaske at 954-921-3930 or

mzaske@hollywoodfl.org.

Response: The City's water & sewer details have been added and are on plan sheet

*C-6*.

4. Comment: During permitting, verify that the existing private sanitary sewer lift

station for which this project will connect to will have sufficient capacity

to handle the proposed flows.

Response: The capacity of the sanitary sewer lift station will be verified.

### BUILDING - dated 1/22/19

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Comment: Application is substantially compliant.

Response: Acknowledged



City of Hollywood Page 6 of 10

### FIRE – dated 1/22/19

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

1. Comment: Can you please relocate the relocated fire hydrant to the East side of the

dumpster? It is hidden on the West side and not easily accessible.

Response: Provided as requested. The fire hydrant has been relocated to the east

side of the entrance/exit, away from the dumpster enclosure.Please refer

to revised SP1.0 and to civil drawings.

### PUBLIC WORKS – dated 1/22/19

Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207

1. Comment: Dumpster detail seems to indicate a 2yd dumpster in this enclosure. This

is not sufficient for Restaurant or gas station.

Response: Provided as requested. Please refer to revised SP1.0.

### PARKS, RECREATION AND CULTURAL ARTS – dated 1/22/19

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Comment: Application is substantially compliant.

Response: Acknowledged

### **COMMUNITY DEVELOPMENT – dated 1/22/19**

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Comment: Application is substantially compliant.

Response: Acknowledged

### **ECONOMIC DEVELOPMENT – dated 1/22/19**

Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922

1. Comment: Address parking needs of existing uses and how new development

impacts with removal of 75 spaces.

Response: Provided as requested. Please refer to revised Site Data on SP1.0.

### **POLICE DEPARTMENT – dated 1/22/19**

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371
Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371

1. Comment: No comments received.

Response: Understood

### **DOWNTOWN AND BEACH CRA – dated 1/22/19**

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980 Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. Comment: Not applicable. *Response: Understood* 



City of Hollywood Page 7 of 10

### PARKING – dated 1/22/19

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Comment: Application is substantially compliant.

Response: Acknowledged

### **ADDITIONAL COMMENTS – dated 1/22/19**

Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471

1. Comment: Additional comments may be forthcoming.

Response: Understood

### **CPTED STRATEGIES – dated 1/25/19**

1. Comment: Provide clear border definition of controlled space. Examples of border definition may include fences, shrubbery, signs in exterior areas.

Sufficient lighting is necessary for people to see and be seen. From a security point of view, lighting that is strategically placed can have a substantial impact on reducing the fear of crime. A basic level of lighting should allow the identification of a face from a distance of about 10 meters for a person with normal vision.

The effects of good exterior lighting can be generally summarized as safety, security, identification, attraction, beautification, environmental integrity and utility. It is essential to bear in mind that all of these effects are influenced by fixture and system design. Lighting will allow for natural surveillance to the building, therefore provide visibility and help define the border definition for the property at night. Lighting will also allow for spillover light to the existing property.

Response: Landscaping, signage and lighting are provided as requested. Refer to

Site Plan on Sheet SP1.0.

### EXTERNAL LIGHTING – dated 1/25/19

1. Comment: Parking lots, vehicle roadways, pedestrian walkways and building entryways should have "adequate" levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots
 -Walking Surfaces
 -Recreational Areas
 -Building Entryways
 3-5 foot candles
 foot candles
 foot candles
 foot candles

- o These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- o Research types of Security Lighting, such as LED, Metal Halide, etc.
- o Light fixtures should be protected against casual vandalism by means of vandal resistant materials



City of Hollywood Page 8 of 10

- and design.
- o Lighting should be uniformly spread to reduce contrast between shadows and illuminated areas.
- Lighting should be designed to minimize dark areas that could pose a security concern near pedestrian areas.
- Pedestrian pathways should be highlighted by visible light sources that clearly indicate the path of travel ahead.
- o All entrance/exit ways should be well-lit, well-defined and visible.
- o Fully illuminate the exterior of the property and grounds at night.
- o A system of lighting fixture identification should be developed.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- o Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- o Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).
- o If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.
- Make sure light fixtures are not obstructed by any landscaping.

Response: Please refer to attached Photometrics Plan.

### LANDSCAPING – dated 1/25/19

1. Comment:

- Landscaping should be kept well maintained and trees should be trimmed at least seven feet from the lowest foliage to the ground.
- Ground cover plant materials, low planters and forms of hostile landscape should be used to discourage persons from standing near windows, corners of buildings, and the edges of parking lots.

Response: Acknowledged

### **TERRITORIAL REINFORECEMENT – dated 1/25/19**

1. Comment:

- o A gateway effect or formal entrance should be created with planting, fencing, gates, etc.
- All public or semi-private should be well maintained to convey pride ownership and



City of Hollywood Page 9 of 10

discourage negative activity.

o Vehicle entrances should be defined by different paving materials and signage.

Response: Entrances for pedestrians and vehicles are well defined. Please refer to

sheets SP1.0 and A1.0.

### NATURAL ACCESS CONTROL – dated 1/25/19

1. Comment:

- o Site entrances should be easily securable.
- Entrances to parking areas should be controlled by a fence or gate, preferably a see through fence for visibility.
- Access to one area of the building should be clearly defined public, private and semi-private areas, by the use of access restrictions.
- o Pedestrian walkways should be clearly defined with curbs, sidewalks, or raised or striped walkways.
- o Employee parking should be close to the building.
- o Delivery entrances should be separate, well-marked and monitored.
- o If deliveries are made, they should be made during the daytime hours.

Response: Pedestrian walkways are clearly defined; new parking blends with existing parking areas.

### NATURAL SURVEILLANCE – dated 1/25/19

1. Comment:

- o Public entrances should be clearly defined by walkways and signage.
- Use a single, clearly identifiable, point of entry/exit.
- o Maintain clear visibility from the interior/exterior of all areas of the property.
- Windows and exterior doors should be free of obstructions, so employees can exercise natural surveillance of corridors, hallways, points of entry/exit.
- Loading areas, (drop off/pick up) should be clearly visible, have good signage and not create blind spots or hiding areas.
- o Parking area, walkways and exterior of property should be well lit.

Response: Acknowledged to be provided during construction documents.

### **BUILDING(S) PERIMETER DOORS – dated 1/25/19**

1. Comment:

- Signs posted at all building perimeter entry points, should provide clear direction for employees and others, for example for deliveries.
- Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
- o Ideally, exterior doors should be equipped with



City of Hollywood Page 10 of 10

> electronic propped door alarms, which annunciate either locally and/or at the security office.

o Perimeter doors should be designed for "heavy duty" (ANSI Grade III) applications.

Acknowledged to be provided during construction documents. Response:

### **GENERAL LOCATIONS – dated 1/25/19**

Mechanical, Electrical, HVAC, Dumpsters or other Comment:

equipment located outside the building should be

surrounded by a protective enclosure.

Exterior recesses in buildings designed with wings

should be fenced to prevent access.

Not applicable. Response:

### NON-PEDESTRIAN BUILDING ENTRY POINTS – dated 1/25/19

Comment: Sturdy fencing should enclose locations where gas

and electric utilities enter buildings.

o Locations where gas and electric utilities enter buildings should be well lit.

o Electrical service disconnects and gas valves should be equipped with locking devices.

Acknowledged to be provided during construction documents. Response:

### FENCING – dated 1/25/19

Comment: o (If used) Wrought iron fencing provides for natural

> surveillance within and onto the property. Ex. Parking lot and to establish a defined border

definition of the entire property.

Response: Not applicable.

### SIGNAGE – dated 1/25/19

Comment: Please make sure areas of the premises are

identified with proper signage.

Acknowledged to be provided during construction documents. Response:

If you have any questions regarding the above, please do not hesitate to contact me.

Very truly yours,

Saltz Michelson Architects

Maday Gutierrez

Maday Gutierrez

Project Manager

\\smafs-03\\data\\Projects\\2016\\2016-109\\Correspond\\Governmental\\New TAC Responses



### dave bodker

landscape architecture/planning, inc.

601 n. congress avenue, suite 105 a delray beach, fl 33445 ph 561-276-6311 fax 561-276-3869 www.dblap.com

| Hollywood Hills Plaza     | Job # 118 |
|---------------------------|-----------|
| Preliminary Cost Estimate | 3/14/2019 |

| Plant Type                  | <u>Qty</u> |   | <u>Each</u> | <u>Total</u> |
|-----------------------------|------------|---|-------------|--------------|
| Satin Leaf 12'              | 9          | @ | \$500.00    | \$4,500.00   |
| Dahoon Holly 12'            | 16         | @ | \$250.00    | \$4,000.00   |
| Royal Palm 14-16'ct         | 4          | @ | \$600.00    | \$2,400.00   |
| Foxtail Palm 8'ct           | 3          | @ | \$550.00    | \$1,650.00   |
| Bromeliad                   | 65         | @ | \$15.00     | \$975.00     |
| Cocoplum                    | 176        | @ | \$15.00     | \$2,640.00   |
| Green Island Ficus          | 322        | @ | \$10.00     | \$3,220.00   |
| Ixora Nora Grant            | 103        | @ | \$25.00     | \$2,575.00   |
| St. Augustine Sod (sq. ft.) | 7500       | @ | \$0.50      | \$3,750.00   |
|                             |            |   |             |              |

Total \$25,710.00

3900 Hollywood Blvd., Suite 303 • Hollywood, Fl 33021
Tel 954.367.0371 • Fax 954.367.0372
CA0007325
www.hei-heis.com

March 14, 2019

### Drainage Calculations for Hollywood Hills Plaza Outparcel NE corner of Park Road and Hollywood Blvd.

The existing SFWMD permit (06-02798-P) for the shopping center was originated to develop 6.74 acres, located on the south side of the shopping center. The entire shopping center's drainage system has an outfall structure located at the northeast corner of the site. The drainage system for the previously developed 6.74 acres connects to the shopping center's drainage system through a control structure located at the southeast corner of this new development. Per the SFWMD permit, the 6.74-acre development only has to provide water quality, before discharging to the control structure.

This project will develop a new building within the original 6.74-acre development. The existing exfiltration system will remain, and a new length of exfiltration will be installed to provide water quality for the new building to be constructed. This new exfiltration system will connect to the existing control structure, which is located at the southeast corner of this new development.

This development will meet all requirements of the existing SFWMD permit and the floor elevation will be set at the required 10' NGVD (8.40' NAVD).

The footprint f the new building is 4,500 square feet. Water quality will be provided for 2.5" times the 4,500 square feet, which equals 0.26 acre-inches. The exfiltration trench calculation is attached.

Prepared by:

Susan C. Holland, P.E. License No. 41831

Holland Engineering, Inc.

Attachment

Hollywood Hills Plaza Post-Development Date

3/14/2019

### **Exfiltration Trench Length**

For Water Quality

| 0.60<br>0.90         | C Pervious = C Impervious =                                    |
|----------------------|--|
| 0.83                 | Weighted C Factor =  |
| 2.50<br>5.00<br>4.50 | storm event =<br>Trench width =<br>H2 (depth to water table) = |
| 3.00                 | Du (non-saturated trench depth) =                              |
| 0.00                 | Ds (saturated trench depth) =                                  |
|                      |  |

Volume to be exfiltrated = 0.26 AC-IN

$$L = \frac{0.26}{0.0001 \times [(4.5 \times 5) + (2 \times 4.5 \times 3) - (3)^2 + (2 \times 4.5 \times 0)] + [(.000139 \times 5 \times 3)]}$$

$$L = 42.38$$

Length of exfiltration trench provided = 60 LF



# HOLLYWOOD HILLS PLAZA OUTPARCEL FINAL TAC SUBMITTAL

MEETING DATE — APRIL 1ST, 2019

N.E. CORNER OF HOLLYWOOD BLVD AND S. PARK ROAD

HOLLYWOOD, FLORIDA

### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FL, AND IS DESCRIBED AS FOLLOWS:

BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND A ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING

### ND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

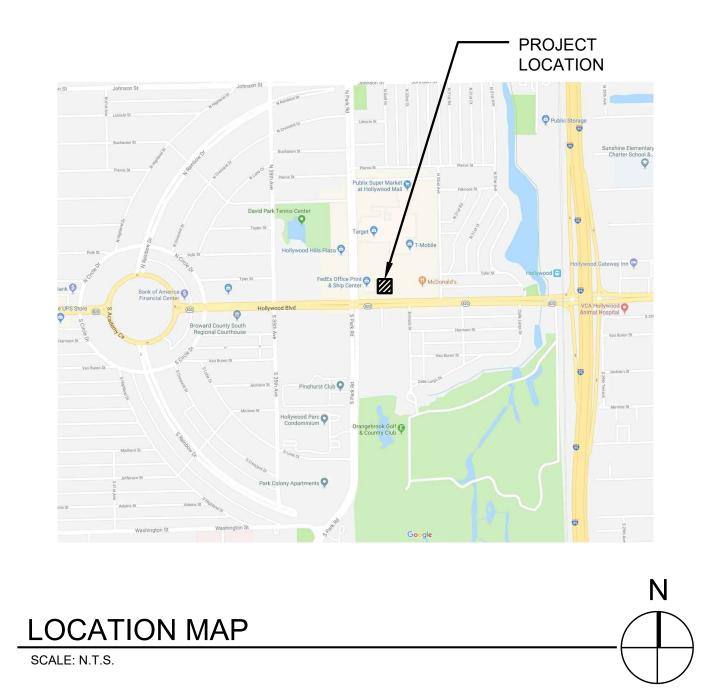
COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A": THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTH WESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY: THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

### AND INCLUDING ALSO:

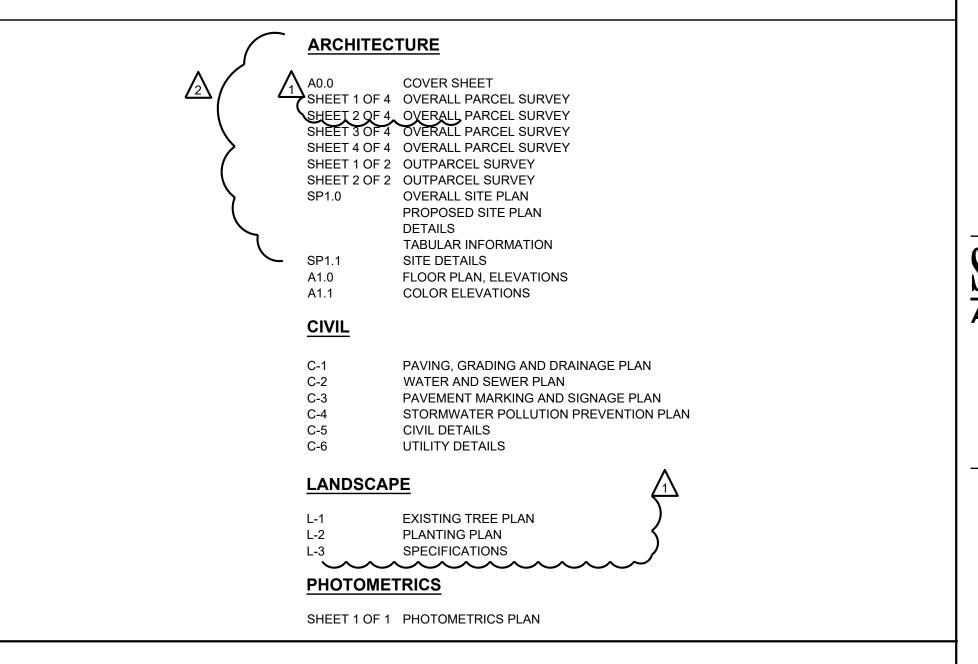
A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LANDS ARE THE SAME AS DESCRIBED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-490213A-HOU1 BEARING AN EFFECTIVE DATE OF JULY 19, 2011 @ 8:00 A.M.



### INDEX OF DRAWINGS



### TEAM

## OWNER / DEVELOPER:

WEINGARTEN REALTY 5355 TOWN CENTER ROAD, STE 802 BOCA RATON, FL 33486 TELEPHONE: (954) 938-2583

## ARCHITECT:

SALTZ MICHELSON ARCHITECTS
3501 GRIFFIN ROAD FORT
LAUDERDALE, FL 33312
TELEPHONE: (954) 266-2700

# **CIVIL ENGINEER:**

HOLLAND ENGINEERING 3900 HOLLYWOOD BLVD, STE 303 HOLLYWOOD FL 33021 TELEPHONE: (954) 367-0371

# LANDSCAPE ARCHITECT:

DAVE BODKER LANDSCAPE ARCHITECTURE, INC 601 NORTH CONGRESS AVENUE, STE 105-A DELRAY BEACH, FL 33445 TELEPHONE: (561) 276-6311 HOLLYWOOD HILLS PLAZA OUTPARG TAC SUBMITTAL

# SALTZ MICHELSON ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.: 2016-109 Drawn By: MG Checked By MA

MA
Date:
03/30/18

REVISIONS

TAC COMM. 01.07.19

TAC COMM. 03.18.19

rowings\01.2 TAC Submittal\16-109 A0.0.dwg Loyout Name: Layout1 Plotted by:

A0.0

### MEASURED DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being Block "A", Orangebrook Golf Estates, according to the plat thereof, recorded in Plat Book 83, Page 1, of the public records of Broward county, Florida and being more particularly described as follows:

Beginning at a 1/2" rebar set at the intersection of the northerly right-of-way line of Hollywood Boulevard (having a 120' R/W) and the westerly right-of-way of a public alley (having a 15' R/W), thence proceed North 90 degrees 00 minutes 00 seconds West for a distance of 268.30 feet to a PK nail found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 258.71 feet to a PK nail found; thence North 90 degrees 00 minutes 00 seconds West for a distance of 166.46 feet to a PK nail found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 258.71 feet to a rebar found with cap; thence South 90 degrees 00 minutes 00 seconds West for a distance of 390.24 feet to a rebar found with cap; thence along a curve to the right having a radius of 50.00 feet and an arc length of 78.54 feet, said arc being subtended by a chord with a bearing of North 45 degrees 00 minutes 00 seconds West and a length of 70.71 feet, to a 1/2" rebar found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 1430.00 feet to a rebar found with cap; thence North 90 degrees 00 minutes 00 seconds East for a distance of 855.00 feet to a 1/2" rebar set; thence along a curve to the right having a radius of 20.00 feet and an arc length of 31.42 feet, said arc being subtended by a chord with a bearing of South 45 degrees 00 minutes 00 seconds East and a length of 28.28 feet, to a 1/2" rebar found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 1460.00 feet to a 1/2" rebar set and THE TRUE POINT OF BEGINNING.

Containing within said bounds 28,726 acres (1,251,313 square feet) more or less.

LESS AND EXCEPT PARCEL A:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block A, South 90°00'00" West 103.34 feet; thence North 00°00'00" East. 44.37 feet to THE POINT OF BEGINNING: thence continue North 00°00'00" East, a distance of 147.32 feet to a point on the arc of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 12.00 feet, a central angle of 90°05'08" and a arc distance of 18.87 feet to a point of tangency; thence South 89°54'52" East 43.90 feet; thence South 00°00'00" West 156.76 feet to the beginning of a tangent curve concave to the north; thence southwesterly, westerly and northwesterly on the arc of said curve having a radius of 2.50 feet, a central angle of 180°00'00" and an arc distance of 7.85 feet to a point of tangency; thence North 00°00'00" East 16.50 feet; thence South 90°00'00" West 29.00 feet; thence South 00°00'00" West 15.04 feet to the beginning of a tangent curve concave to the northwest; thence southwesterly on the arc of said curve having a radius of 3.96 feet, a central angle of 90°00'00" and an arc distance of 6.22 feet to a point of tangency; thence South 90°00'00" West 17.96 feet to the point of beginning.

Containing within said bounds 0.191 acres (8,320 square feet) more or less.

AND ALSO:

LESS AND EXCEPT PARCEL B:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block "A", South 90°00'00" West 103.34 feet; thence North 00°00'00" West 1.40 feet to the point of beginning; thence North 89°54'52" West 86.87 feet; thence North 00°27'02" East 18.91 feet; thence North 89°48'08" West 8.69 feet; thence North 00°09'03" East 39.56 feet to the beginning of a tangent curve concave to the southwest; thence south westerly on the arc of said curve having a radius of 9.33 feet, a central angle of 30°09'03" and an arc distance of 4.91 feet to a point of tangency; thence North 30°00'00" West 8.69 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 30°00'00" and an arc distance of 5.59 feet to a point of tangency; thence North 00°00'00" West a distance of 66.45 feet to the beginning of a tangent curve concave to the southwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 45°00'00" and an arc distance of 7.33 feet to a point of tangency; thence North 45°00'00" West 7.35 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 00°00'00" East 36.00 feet to the beginning of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 45°00'00" East 4.41 feet to the beginning of a tangent curve concave to the northwest; thence northeasterly on the arc of said curve having a radius of 9.33 feet, a central angle of 39°14'23" and an arc distance of 6.39 feet to an intersection with a non-tangent line; thence South 90°00'00" East 104.46 feet; thence South 00°00'00" West 214.30 feet to the point of beginning.

Containing within said bounds 0.503 acres (21.913 square feet) more or less.

### ZONING INFORMATION

The surveyor was not provided with zoning information pursuant to Table A Item 6a and 6b.

### AREA

Area of subject property is approximately 28.032 acres (1,221,080 square feet).

### FLOOD NOTE

By graphic plotting only, this property is in Zones "X", "X-SHADED" and "AH" of the Flood Insurance Rate Map No. 12011C0568H, Community Panel No. 125113, which bears an effective date of August 18, 2014 and is partially in a Special Flood Hazard Area. As shown on the FEMA website (http://msc.fema.gov) by FIRMette created on February 12, 2019 we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

ZONE AH - Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined. X-SHADED - Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1 %

annual chance flood. ZONE X - Areas determined to be outside the 0.2% annual chance floodplain.

### RECORD DESCRIPTION

TITLE DESCRIPTION

The land referred to herein below is situated in the County of Broward, State of Florida, and is described as follows:

PARCEL 1:

BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA: SAID LANDS SITUATE. LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38. PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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AND INCLUDING ALSO:

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### MISCELLANEOUS NOTES

- Prepared by: Moreland Altobelli Associates LLC: 2450 Commerce Ave. Ste 100. Duluth. GA 30096-8910 Phone: 770-263-5945; Fax: 770-263-0166 Email: rjoiner@maai.net; Surveyor's Project No. 19220
- MN2 A Topcon GTS-313 Total Station with EDM (electronic distance meter) was used to obtain the angular and linear measurements for this survey.
- The field data upon which this plat is based has a closure precision of one foot in 970,154 feet, an angular error of 1 second per angle point, and was adjusted using least squares.
- This plat has been calculated for closure and found to be accurate within one foot in 1,446,476 feet.
- There is no evidence of earth moving work.
- MN6 There is no evidence of currently ongoing building construction and building additions.
- There is no evidence of any changes in street right of ways or recent street or sidewalk construction or

There are 1739 parking spaces on the site, including 1678 regular, 7 loading dock spaces and 54

- MN9 The property has and streets or highways. The property has direct access to Hollywood Boulevard and North Park Road which are accepted public
- (MN10) There is no evidence of cemeteries or burial grounds.

PROJECT REVISION RECORD

DATE

CHECKED BY: RJJ

DESCRIPTION

FIRST DRAFT

NETWORK COMMENTS

DRAFTED: CLC

3/07/2019

xx/xx/2019 L

MN11 No substantial areas of refuse were observed during field survey.

DESCRIPTION

- All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.
- Bearings are based on a rebars found with cap in the northwest of property corner and a 1/2" rebar found at the southwest corner of the property. Forming a bearing of S 00°00'00" W.
- MN14 Property as shown creates a mathematically closed figure without any gores, gaps, or overlaps.
- MN15 By observed above ground evidence, no undisturbed stream buffers were found on the property.
- MN16 The address of Hollywood Boulevard at North Park Road was taken from record documents.
- (MN17) No wetlands were delineated by appropriate authorities at the time of the survey.

### RECORD DESCRIPTION

### PARCEL 2:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ADDITIONAL LANDS

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A": THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND AN ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY: THENCE NORTH 00°00'00" EAST 16.50 FEET: THENCE SOUTH 90°00'00" WEST 29.00 FEET: THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO

### AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38. PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A". SOUTH 90°00'00" WEST 103.34 FEET: THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEFT TO A POINT OF TANGENCY. THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY: THENCE NORTH 45°00'00" WEST 7 35 FEFT TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST: THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST: THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

### AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

### PARCEL 3:

EASEMENTS CREATED IN RECIPROCAL ACCESS EASEMENT AGREEMENT RECORDED IN O.R. BOOK 34995, PAGE 1 FOR THE BENEFIT OF THAT PORTION OF PARCEL 2 DESCRIBED BELOW:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-490213A-HOU1, DATED JULY 19, 2011 AND PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY, DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019.

> This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon, RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, **AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL** REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

# BUILDINGS ARE LOCATED OVER 10' POWER EASEMENTS.

### SIGNIFICANT OBSERVATIONS

### LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY. © 2019 BOCK AND CLARK CORPORATION, AN NV5 COMPANY

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

# VICINITY MAP - NOT TO SCALE JOHNSON ST LINCOLN ST FILLMORE S **TAYLOR ST** POLK ST

# ALTA/NSPS LAND TITLE SURVEY

# **HOLLYWOOD HILLS**

NV5 PROJECT NO. 201900496-1 HOLLYWOOD BOULEVARD AT NORTH PARK ROAD, HOLLYWOOD, FL

> BASED UPON TITLE COMMITMENT NO. NCS-490213A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY **BEARING AN EFFECTIVE DATE OF JULY 19, 2011**

PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019

### Surveyor's Certification

To: Weingarten Realty; First American Title Insurance Company and Bock & Clark Corporation, an NV5 Company.

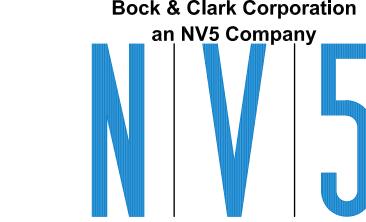
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE  $^{\dagger}$ WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, 18, and 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 15, 2019.

**PRELIMINARY** 

RONNIE JOINER **REGISTRATION NO. 6852** IN THE STATE OF FLORIDA DATE OF FIELD SURVEY: FEBRUARY 15, 2019

DATE OF LAST REVISION: XXXXXXXX XX, 2019 NETWORK PROJECT NO. 201900496-1 AAC

SHEET 1 OF 4



**Transaction Services** 1-800-SURVEYS (787-8397) 3550 W. Market Street, Suite 200, Akron, Ohio 44333

www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

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### ITEMS CORRESPONDING TO SCHEDULE B-II

- Restrictions, dedications, conditions, reservations, easements and other matters shown on the Plat of Orangebrook Golf Estates, as recorded in Plat Book 38, Page 1. (Refers to the subject property, General Orangebrook Golf Estates, as recorded in Plat Book 38, Page 1. (Refers to the subject property, General survey matters, not plotted)
- Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 2880, Page 797. (As to Parcel 1) (As shown on drawing) Book 2880, Page 797. (As to Parcel 1) (As shown on drawing)
- Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 2946, Page 681. (As to Parcel 1) (As shown on drawing)
- Easement for Water, Sewer and Storm Drainage system reserved in Quit Claim Deed from Hollywood, Inc., a Florida corporation and Hollywood Mall, Inc., a Florida corporation to City of Hollywood, a municipal corporation of the State of Florida, recorded in Official Records Book 3379, Page 330 (As to Parcel 1) (Blanket in Nature)
- Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 14452, Page 916. (As to Parcel 1) (As shown on drawing)
- All of the terms and provisions set forth and contained in that certain Memorandum of Lease recorded in O.R. Book 29395, Page 417. (As to Parcel 1) (Approximate area is shown on drawing)
- All of the terms and provisions set forth and contained in that certain Short Form of Lease between recorded in O.R. Book 20330, Page 453; as affected by: O.R. Book 29177, Page 852 and O.R. Book 30291, Page 914. (As to Parcel 1) (Approximate area is shown on drawing)
- The Terms, provisions and conditions contained in that certain Operation and Easement Agreement recorded in O.R. Book 20330, Page 460; as affected by: O.R. Book 29177, Page 827; O.R. Book 29860, Page 1574; and O.R. Book 30291, Page 900. (As to Parcel 1) (Approximate area is shown on drawing)
- Easements contained in that certain Memorandum of Lease(Shopping Center) recorded in O.R. Book 21399, Page 663. (As to Parcels 1 and 2) (As shown on drawing)
- The terms, provisions and conditions contained in that certain Covenant Not to Compete recorded in O.R. Book 21399, Page 668. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
- Declaration of Restrictive Covenant recorded on O.R. Book 28423, Page 946. (Refers to subject property, no plottable survey items)
- The terms, provisions and conditions contained in that certain Notice Regarding Liens recorded in O.R. Book 29745, Page 1200. (As to Parcels 1 and 2) (Blanket in Nature)
- Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 30062, Page 810. (As to Parcel 1) (As shown on drawing)
- Easements contained in that certain Memorandum of Lease recorded in O.R. Book 30799, Page 1923. (As to Parcel 2) (Refers to surveyed property. No plottable survey items) to Parcel 2) (Refers to surveyed property. No plottable survey items)
- Reciprocal Access Easement Agreement recorded in O.R. Book 32538, Page 1560. (As to Parcels 1 and 2) (Blanket in Nature) (Blanket in Nature)
- Notice of Lien Prohibition recorded in O.R. Book 33289, Page 1844. (As to Parcel 1) (Blanket in Nature) (Blanket in Nature)
- Notice(s) of Non-Responsibility recorded in Official Records Book 39162, Page 931 and O.R. Book 39162, Page 934. (As to Parcels 1 and 2) (Blanket in Nature)

## **CURVE TABLE**

| CURVE | ARC LENGTH | RADIUS | CHORD BEARING | CHORD LENGTH | CENTRAL ANGLE |
|-------|------------|--------|---------------|--------------|---------------|
| C1    | 18.87'     | 12.00' | N 45°02'34" E | 16.98'       | 90°05'08"     |
| C2    | 7.85'      | 2.50'  | S 90°00'00" W | 4.99'        | 180°00'00"    |
| C3    | 6.22'      | 3.96'  | S 45°00'00" W | 5.60'        | 90°00'00"     |
| C4    | 4.91'      | 9.33'  | N 14°55'28" W | 4.85'        | 30°09'03"     |
| C5    | 5.59'      | 10.67' | N 15°00'00" W | 5.52'        | 30°00'00"     |
| C6    | 7.33'      | 9.33'  | N 22°30'00" W | 7.14'        | 45°00'00"     |
| C7    | 8.38'      | 10.67' | N 22°30'00" W | 8.17'        | 45°00'00"     |
| C8    | 8.38'      | 10.67' | N 22°30'00" E | 8.17'        | 45°00'00"     |
| C9    | 6.39'      | 9.33'  | N 25°22'49" E | 6.27'        | 39°14'23"     |
| C10   | 78.54'     | 50.00' | N 45°00'00" W | 70.71'       | 90°00'00"     |
| C11   | 31.42'     | 20.00' | S 45°00'00" E | 28.28'       | 90°00'00"     |

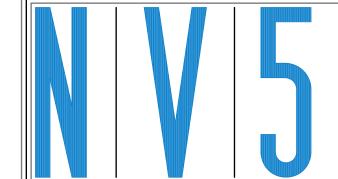
### LEGEND OF SYMBOLS & ABBREVIATIONS

| EP IE IPS N/F PB PG POC PVC R/W RBF RCP  COM S | Iron pin set Now or formerly Plat book Page Point of Beginning Point of Commencement Polyvinyl chloride pipe Right of way Rebar found Reinforced concrete pipe Water valve Light pole  —X —X —— —— ———————————————————————— | (1) (1) (1) (1) (1) (1) (1) (1) (1) (1) | Parking spaces  Handicap (hc)  Clean out Sanitary sewer manhole Fire hydrant Electric box Grease trap Nail found Iron pin found Electric manhole Capped 1/2" rebar set  Flood limit Building overhang/canopy Fence Sanitary sewer line Water pipe Adjoiner property line Parcel |
|--|---|---|---|
|  |   |   | <ul><li>Parcel</li><li>Right-of-way</li><li>Easement</li></ul>  |

### LINE TABLE

|      | -1142 174822  |          |  |  |  |
|------|---------------|----------|--|--|--|
| LINE | BEARING       | DISTANCE |  |  |  |
| L1   | N 00°00'00" E | 147.32'  |  |  |  |
| L2   | S 89°54'52" E | 43.90'   |  |  |  |
| L3   | S 00°00'00" W | 156.76'  |  |  |  |
| L4   | N 00°00'00" E | 16.50'   |  |  |  |
| L5   | S 90°00'00" W | 29.00'   |  |  |  |
| L6   | S 00°00'00" W | 15.04'   |  |  |  |
| L7   | S 90°00'00" W | 17.96'   |  |  |  |
| L8   | N 89°54'52" W | 86.87'   |  |  |  |
| L9   | N 00°27'02" E | 18.91'   |  |  |  |
| L10  | N 89°48'08" W | 8.69'    |  |  |  |
| L11  | N 00°09'03" E | 39.56'   |  |  |  |
| L12  | N 30°00'00" W | 8.69'    |  |  |  |
| L13  | N 00°00'00" W | 66.45'   |  |  |  |
| L14  | N 45°00'00" W | 7.35'    |  |  |  |
| L15  | N 00°00'00" E | 36.00'   |  |  |  |
| L16  | N 45°00'00" E | 4.41'    |  |  |  |
| L17  | S 90°00'00" E | 104.46'  |  |  |  |
| L18  | S 00°00'00" W | 214.30'  |  |  |  |
|      |               |          |  |  |  |

SHEET 2 OF 4

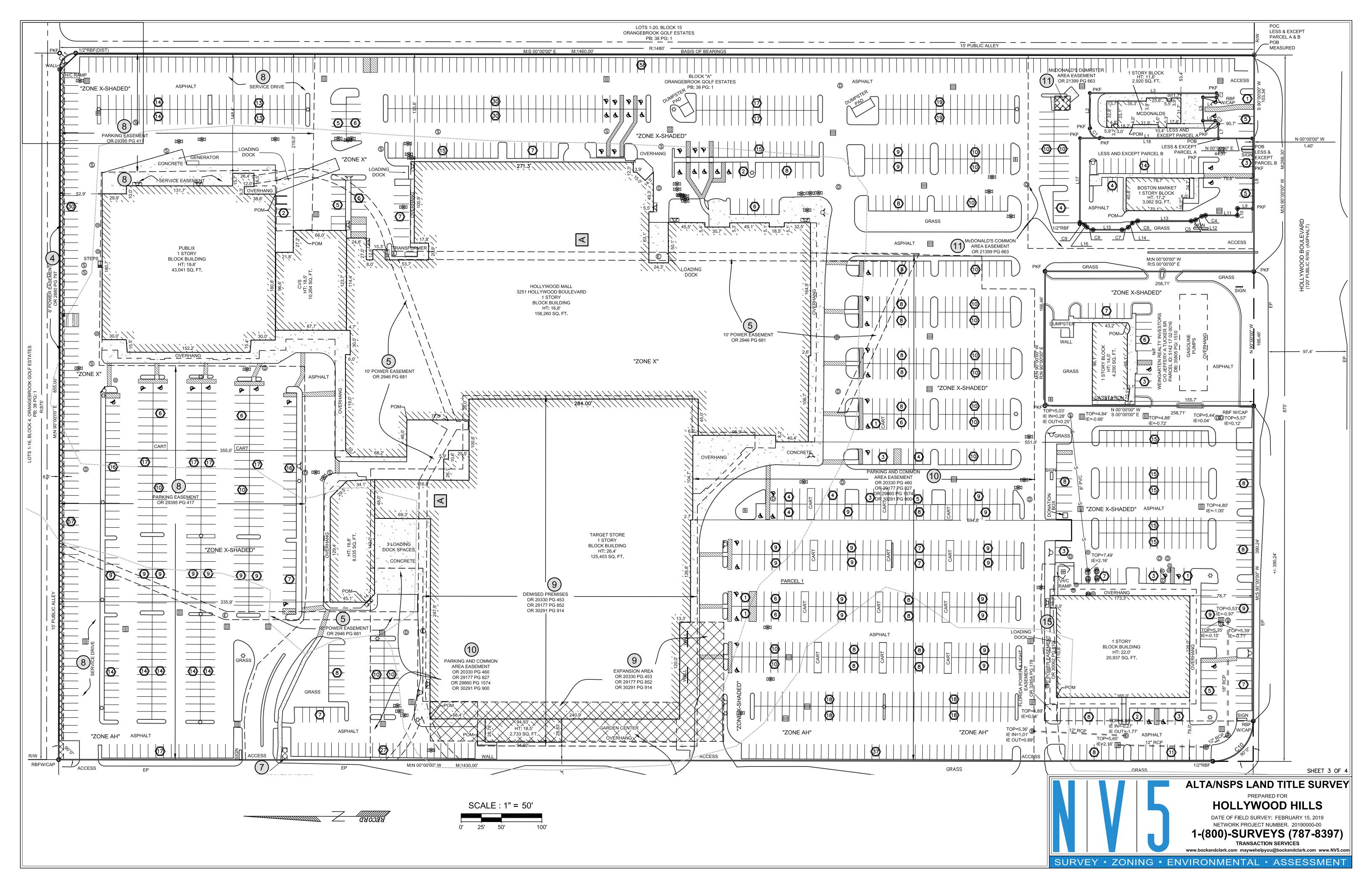


**ALTA/NSPS LAND TITLE SURVEY** 

PREPARED FOR
HOLLLYWOOD HILLS

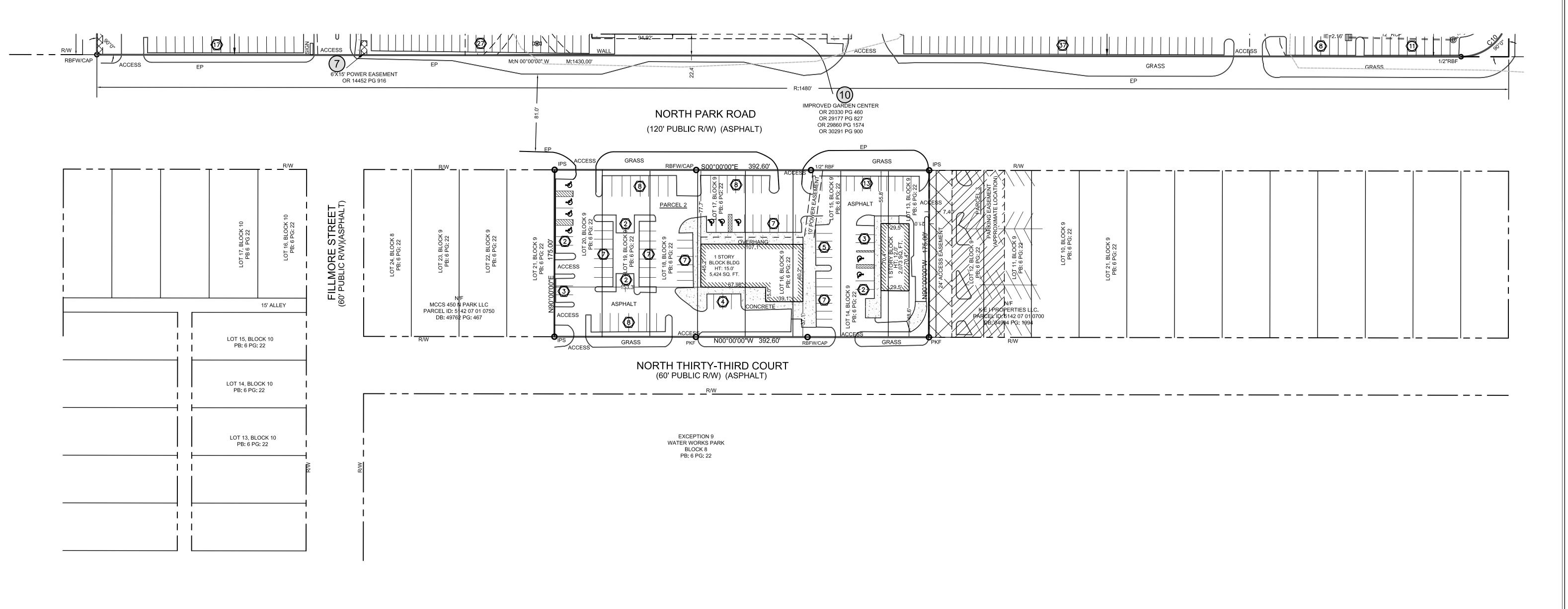
DATE OF FIELD SURVEY: FEBRUARY 15, 2019 NETWORK PROJECT NUMBER. 20190000-00 1-(800)-SURVEYS (787-8397)
TRANSACTION SERVICES

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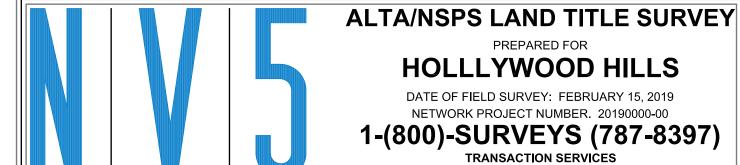








SHEET 4 OF 4



PREPARED FOR **HOLLLYWOOD HILLS** 

DATE OF FIELD SURVEY: FEBRUARY 15, 2019 NETWORK PROJECT NUMBER. 20190000-00 1-(800)-SURVEYS (787-8397)
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# ALTA/NSPS LAND TITLE SURVEY

### LEGAL DESCRIPTION:

A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE I, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK 'A'; THENCE EAST (ASSUMED BEARING), ALONG THE SOUTH LINE OF SAID BLOCK 'A' AND THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD, A DISTANCE OF 163.24 FEET TO THE POINT OF BEGINNING;

THENCE NORTH, A DISTANCE OF 258.7 | FEET;
THENCE EAST, A DISTANCE OF 227.00 FEET;
THENCE SOUTH, A DISTANCE OF 258.7 | FEET TO A POINT ON SAID SOUTH LINE
OF BLOCK 'A':

THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 58,727 SQUARE FEET (1.35 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.

### **SUMMARY TABLE OF ENCUMBRANCES**

FROM OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PARAMOUNT TITLE SERVICES,INC. - SEARCH NO. 18-837-5

### CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018

- 1. EASEMENTS, RESTRICTIONS PLAT OF ORANGEBROOK GOLF ESTATES P.B.38, PG. 1, B.C.R
- COMMENT: PLAT CONDITIONS SHOWN HEREON.
- 2. EASEMENT: HOLLYWOOD MALL TO F.P.L. ORB 2946, PG. 681 COMMENT: DOES NOT AFFECT THIS PROPERTY
- 3. QUIT CLAIM DEED HOLLYWOOD, INC. TO CITY SEWER, WATER & DRAINAGE SYSTEMS ORB 3379, PG. 330, B.C.R.

  COMMENT: AFFECTS THIS PROPERTY\* \* (THIS SURVEY)
- 4. OPERATION/EASEMENT AGREEMENT ORB 20330, PG. 460, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\*

  5. NOTICE REGARDING LIENS: ORB 29745, PG. 1200, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\*
- 6. FIRST AMENDMENT TO OPERATION & EASEMENT AGREEMENT ORB 29860,PG. 827, B.C.R.
- COMMENT: DOES NOT AFFECT THIS PROPERTY\*

  7. EASEMENT SREG HOLLYWOOD HILLS TO F.P.L. ORB 30062, PG. 810, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\* SHOWN HEREON

  8. SECOND AMENDMENT TO OPERATION AND EASEMENT AGREEMENT ORB 30291, PG. 900, B.C.R.
- 9. RECIPROCAL ACCESS EASEMENT AGREEMENT ORB 32538, PG. 1560
- COMMENT: DOES NOT AFFECT THIS PROPERTY\*

  10. NOTICE OF LIEN PROHIBITION ORB 33289 PG. 1844, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\*

  11. NOTICE OF NON-RESPONSIBILITY ORB 39162 PG.934, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\*
- 12. NOTICE OF NON-RESPONSIBILITY ORB 47013 PG. 782, B.C.R. COMMENT: AFFECTS THIS PROPERTY\*
- 13. NOTICE OF NON-RESPONSIBILITY ORB 47013, PG. 785, B.C.R. COMMENT: AFFECTS THIS PROPERTY\*
- 14. MORTGAGE/SECURITY AGREEMENT CFN 113602460, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\* 15. ASSIGNMENT OF RENTS CFN 113602461, B.C.R.
- COMMENT: AFFECTS THIS PROPERTY\*

  16. SUBORDINATION, NONDISTURBANCE AGREEMENT CFN 113873331, B.C.R.

  COMMENT: DOES NOT AFFECT THIS PROPERTY\*



### SURVEYOR'S REPORT:

- 1) THE LAND DESCRIPTION SHOWN HEREON WAS COMPOSED BY THE UNDERSIGNED. EASEMENTS AND
- RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON.
  2) THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS
- CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD88)
  4) BEARINGS SHOWN HEREON ARE BASED ON AS ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF
- HOLLYWOOD BOULEVARD.
- 5) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 6) BENCHMARK REFERENCE: BROWARD COUNTY ENGINEERING DEPT. BM # 2059:
- BRASS DISC STAMPED BM 191 1978
  ON HOLLYWOOD BLVD, 278 FEET WEST OF THE WEST RR TRACK OF THE SEABOARD COASTLINE RAILROAD IN THE NORTH SIDEWALK AT THE NW CORNER OF BRIDGE OVER CANAL, 57 FEET NORTH OF ROAD CENTERLINE.
- ELEVATION = 5.25 (NAVD88 DATUM)

  7) THIS ALTA/NSPS LAND TITLE SURVEY IS A BOUNDARY SURVEY. THE EXPECTED USE OF THIS SURVEY IS:

  A) LEASE PARCEL CREATION AND RECORDATION

  B) CIVIL ENGINEERING DESIGN
- 8) THIS SURVEY HAS BEEN PERFORMED ACCORDING TO THE STANDARD OF CARE TO ACHIEVE AN ACCURACY OF I: 10,000 (COMMERCIAL HIGH RISK) FOR MAPPED FEATURES SHOWN HEREON.
- 9) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- 10) ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD IN FEET.

  11) THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF OWNERSHIP AND ENCUMBRANCE REPORT

  ISSUED BY PARAMOUNT TITLE SERVICES SEARCH NO. 18-837-5 CERTIFIED AUGUST 16, 1955 THROUGH
- AUGUST 8, 2018.

  12) EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR PREPRESENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OR INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY
- ARCHEOLOGICALLY SENSITIVE LANDS OR RIGHT OF ACCESS.

  13) NO WETLAND MARKERS WERE OBSERVED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.

REGULATED OR SENSITIVE LANDS, WESTLANDS, ROADWAYS, STREETS, PROPOSED USES, HISTORICALLY OR

- 14) WITH REGARD TO TABLE A, ITEM 11 (REFERENCED IN THE SURVEYOR'S CERTIFICATION):
  THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- 15) FEMA FLOOD INSURANCE RATE MAP: PANEL NUMBER 12011C0568 H
- CITY OF HOLLYWOOD | 25 | 13 FLOOD ZONE FOR THIS PROPERTY: ZONE X MAP DATE: 8-18-2014
- 16) GROSS AREA (TO CENTERLINE) = 72,347 SQ. FT., 1.66 ACRES (+/-) 17) NET AREA (LESS RIGHT-OF-WAY) = 58,727 SQ. FT., 1.35 ACRES (+/-)
- 18) ALL MEASUREMENTS, ELEVATIONS AND FEATURES SHOWN WERE SURVEYED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
- 19) THE WORD "CERTIFY" ON THIS SURVEY IS REPRESENTED TO BE A PROFESSIONAL OPINION OF THE UNDERSIGNED, AND NOT AN EXPRESSION OF WARRANTY OR GUARANTEE.

### **CERTIFICATION:**

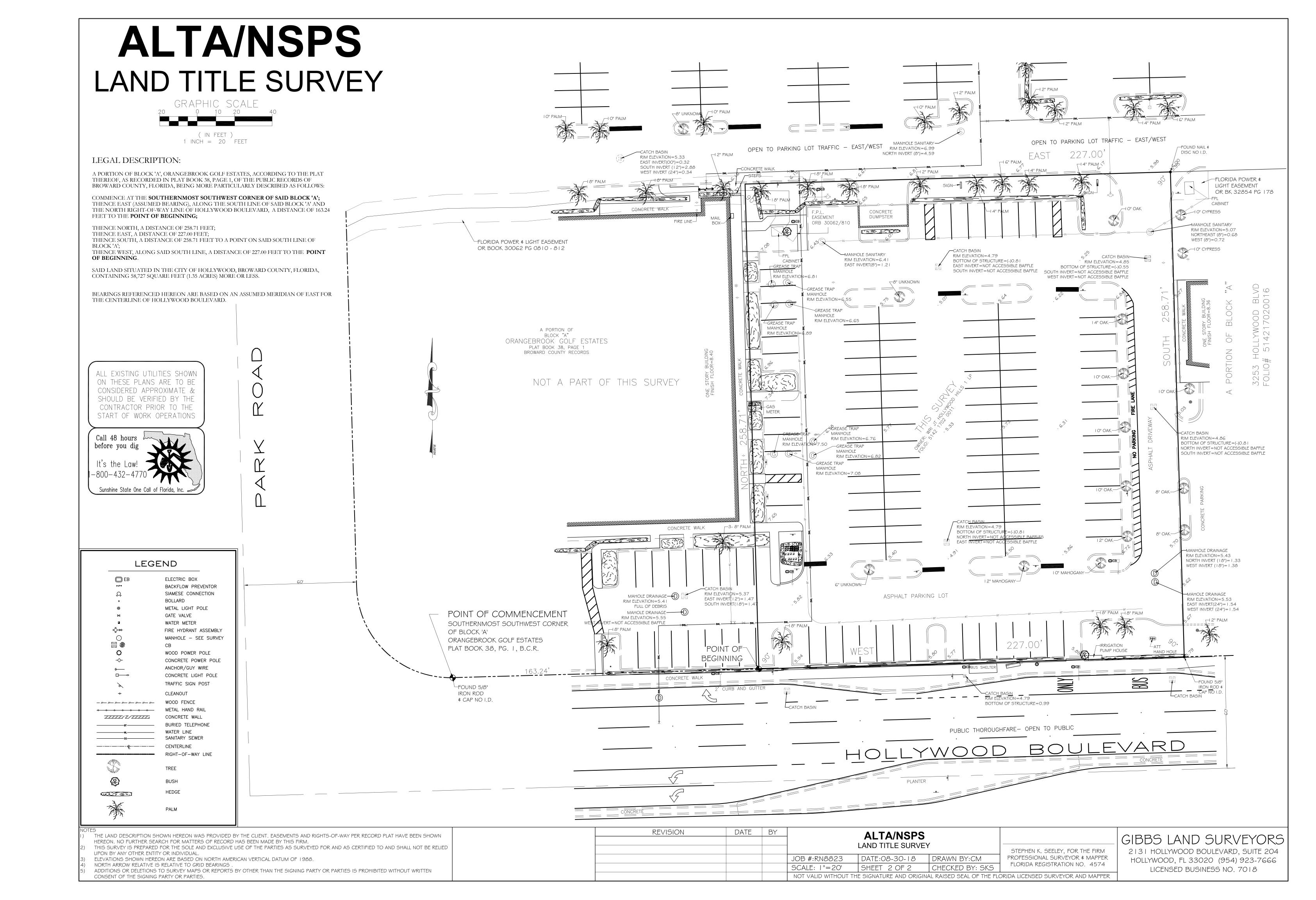
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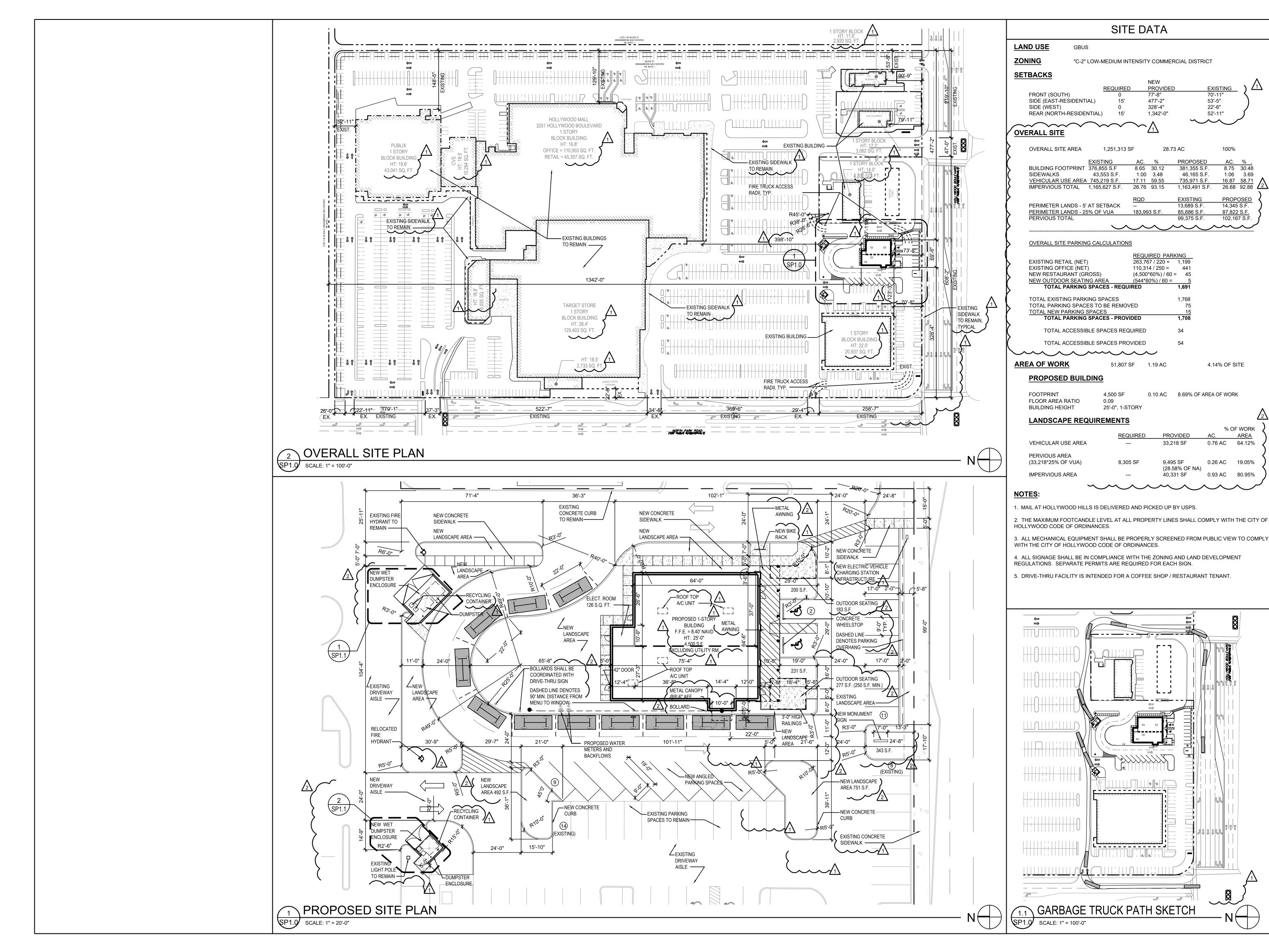
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11 (LIMITED), 13, 14, 16 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2018

| REVISION | DATE | BY |                   | ALTA/NSPS               |                            |                                    |   |
|----------|------|----|-------------------|-------------------------|----------------------------|------------------------------------|---|
|          |      |    |                   | LAND TITLE SURVE        |                            |                                    | G |
|          |      |    |                   | LAND TITLE SURVE        | i. T                       | STEPHEN K. SEELEY, FOR THE FIRM    | 2 |
|          |      |    | JOB #:RN8823      | DATE:08-30-18           | DRAWN BY:CM                | PROFESSIONAL SURVEYOR & MAPPER     | н |
|          |      |    | SCALE:   "=20'    | SHEET   OF 2            | CHECKED BY: SKS            | FLORIDA REGISTRATION NO. 4574      |   |
|          |      |    | NOT VALID WITHOUT | THE SIGNATURE AND ORIGI | NAL RAISED SEAL OF THE FLO | ORIDA LICENSED SURVEYOR AND MAPPER | 1 |

GIBBS LAND SURVEYORS
2131 HOLLYWOOD BOULEVARD, SUITE 204
HOLLYWOOD, FL 33020 (954) 923-7666
LICENSED BUSINESS NO. 7018





**EXISTING** 

70'-11"

22'-6"

52'-11"

100%

8.75 30.48

1.06 3.69

14,345 S.F.

4.14% OF SITE

% OF WORK

0.76 AC 64.12%

0.26 AC 19.05%

0.93 AC 80.95%

AREA

# ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com

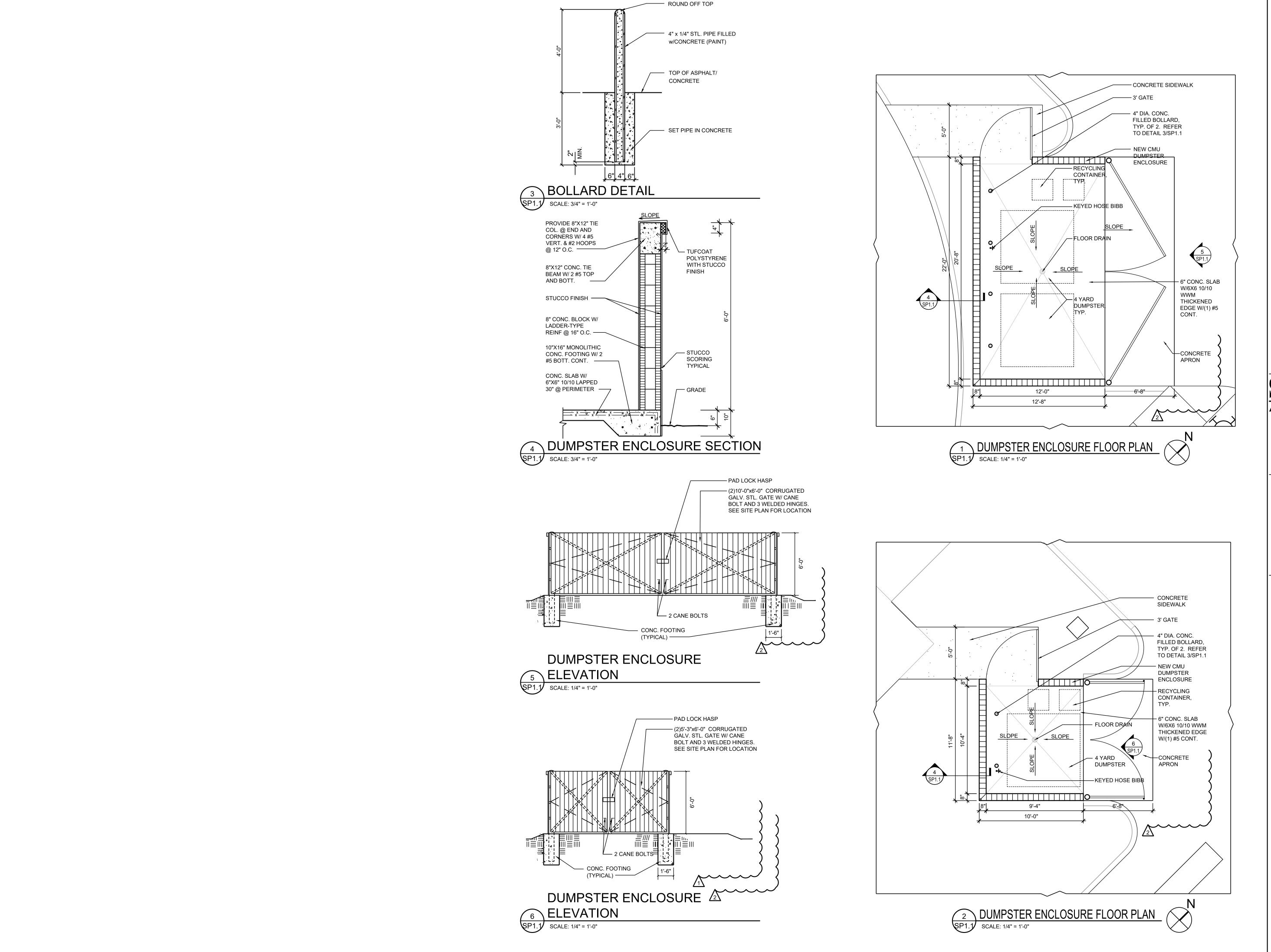
AA-0002897

Mark L. Saltz AR007171

Project No.: 2016-109 Drawn By: MG Checked By: Date:

03/30/18 REVISIONS

TAC COMM. TAC COMM. 03.18.19



# HOLLYWOOD HILLS PLAZA OUTPARCEL TAC SUBMITTAL 225 HOLLYWOOD BLVD, SUITES 1 & 2

# SALTZ MICHELSON ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:
2016-109
Drawn By:
MG
Checked By:
MA

MA
Date:
03/30/18

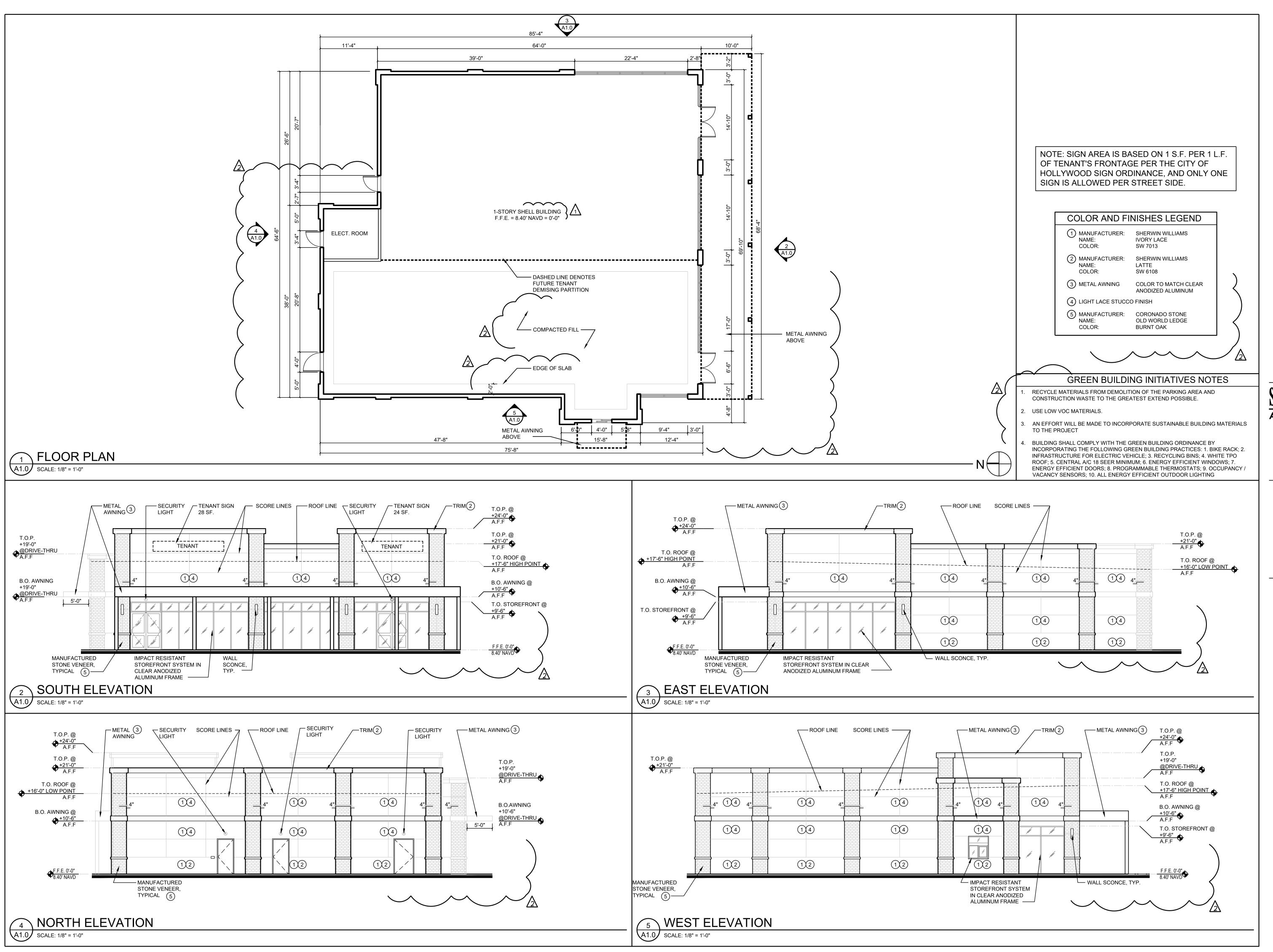
REVISIONS

TAC COMM. 01.07.19

TAC COMM. 03.18.19

**NEW SHEET** 

SP1.1



# HOLLYWOOD HILLS PLAZA OUTPARCEL TAC SUBMITTAL 325 HOLLYWOOD BLVD, SUITES 1 & 2 HOLLYWOOD BLVD, SUITES 1 & 2

# SALTZ MICHELSON ARCHITECTS

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AA-0002897

Mark L. Saltz AR007171

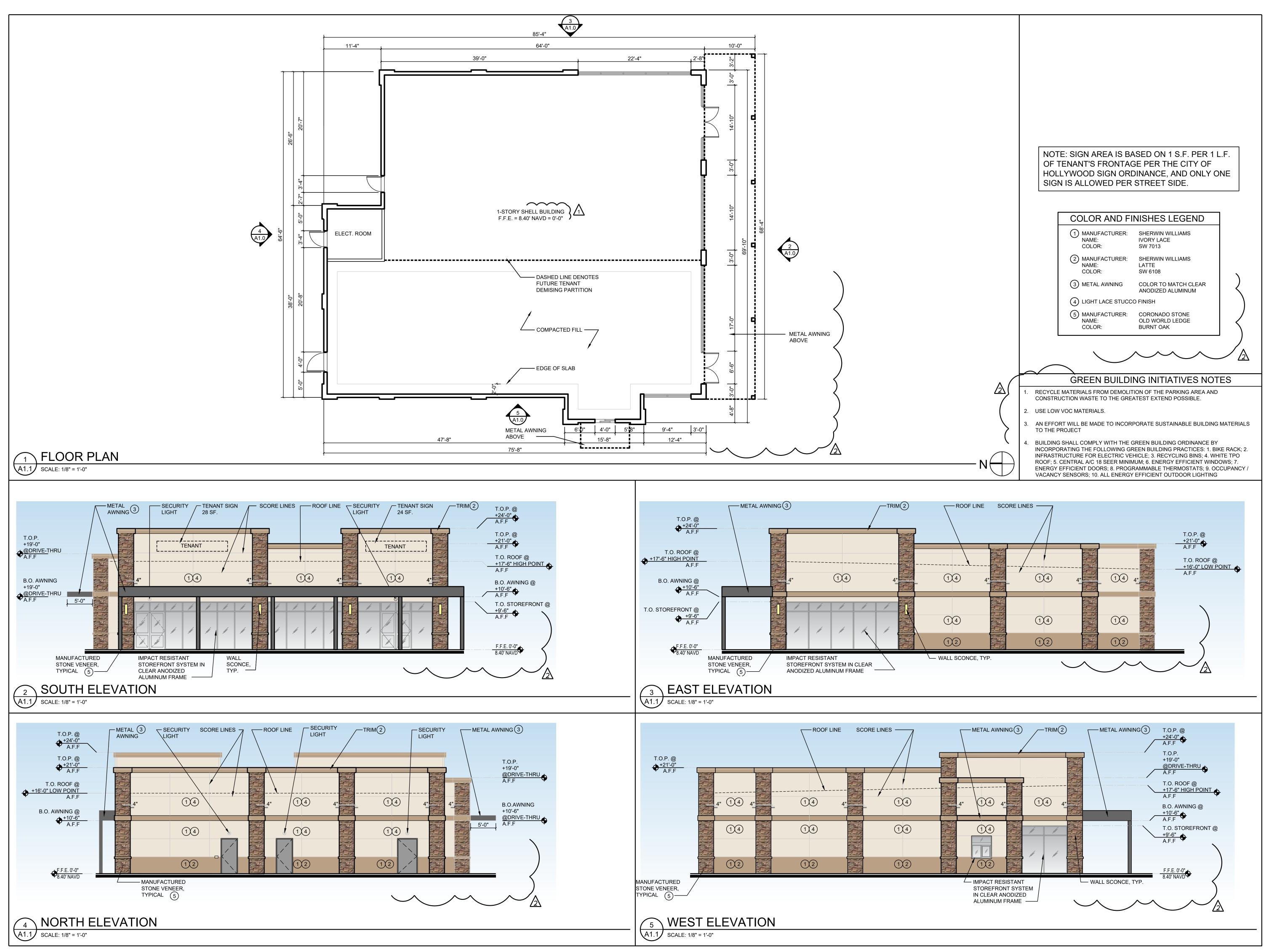
Project No.:
2016-109
Drawn By:
MG
Checked By:

03/30/18
REVISIONS

TAC COMM. 01.07.19

TAC COMM. 03.18.19

A1.0



# HOLLYWOOD HILLS PLAZA OUTPARCEL TAC SUBMITTAL 325 HOLYWOOD BLVD, SUITES 1 & 2 HOLYWOOD, FLORIDA

# SALTZ MICHELSON ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:
2016-109
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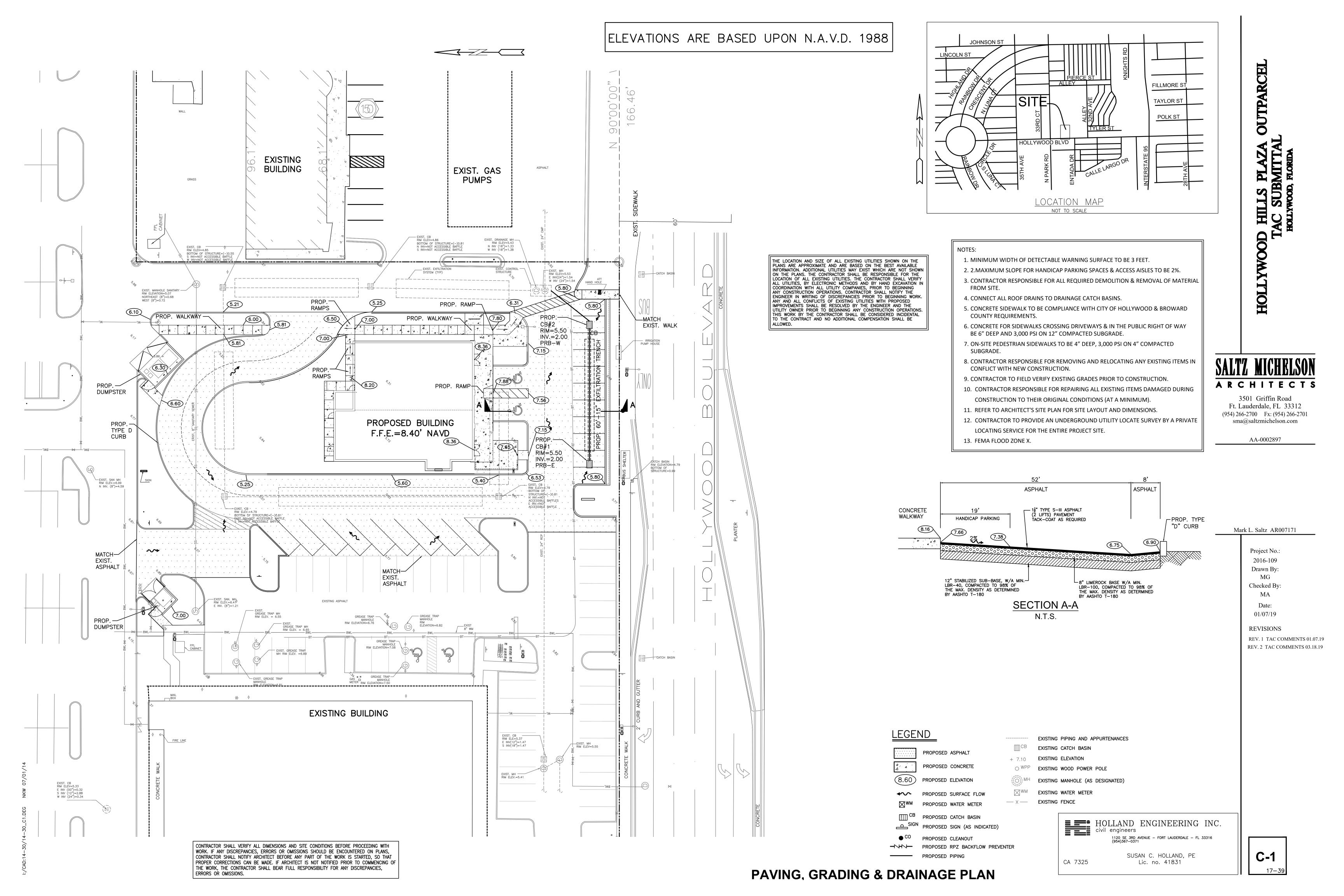
MA
Date:
03/30/18

REVISIONS

TAC COMM.
01.07.19

TAC COMM.
03.18.19

**A**1.1



JOHNSON ST

LINCOLN ST

PIERCE ST

ALLEY

POLK ST

TAYLOR ST

POLK ST

POLK

WATER AND SEWER DEMAND

150 SEAT RESTAURANT WITH DRIVE—THRU 150 SEATS X 35 GPD/SEAT = 5,250 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

### NOTES:

- 1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
- 2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER MAIN AND CONFIRM DEPTH OF PIPE.
- 3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
- 4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

# SALTZ MICHELSON

HOLLYWOOD HILLS PLAZA
TAC SUBMITTAL
HOLYWOOD, FLORIDA

ARCHITECTS

3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.: 2016-109 Drawn By:

MG Checked By: MA

Date: 01/07/19

REVISIONS

REV. 1 TAC COMMENTS 01.07.19

REV. 2 TAC COMMENTS 03.18.19

LEGEND

PROPOSED ASPHALT

PROPOSED CONCRETE

PROPOSED ELEVATION

ALLOWED.

PROPOSED SURFACE FLOW

PROPOSED WATER METER

PROPOSED CATCH BASIN

PROPOSED SIGN (AS INDICATED)

CO
PROPOSED CLEANOUT

PROPOSED RPZ BACKFLOW PREVENTER
PROPOSED PIPING

EXISTING PIPING AND APPURTENANCES

EXISTING CATCH BASIN

+ 7 10 EXISTING ELEVATION

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE

PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE

ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE

COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK.

ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED

IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE

INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN

LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY

ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN

UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE

+ 7.10 EXISTING ELEVATION

O WPP EXISTING WOOD POWER POLE

EXISTING MANHOLE (AS DESIGNATED)

CA 7325

EXISTING WATER METER

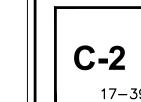
EXISTING FENCE

HOLLAND ENGINEERING INC. civil engineers

1120 SE 3RD AVENUE - FORT LAUDERDALE - FL 33316

(954)367-0371

SUSAN C. HOLLAND, PE Lic. no. 41831



**WATER AND SEWER PLAN** 

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

FIRE LINE

EXIST. MANHOLE SANITARY — RIM ELEVATION=5.07 NORTHEAST (8")=0.68 WEST (8")=0.72

FIRE HYDRANT

PROP.

8"X6"

WYE

EXIST. SAN MH
RIM ELEV.=6.99
N INV. (8")=4.59

PROP. FIRE

HYDRANT

EXIST. — FIRE

HYDRANT

TO BE

REMOVED

4 4 4 4

EXISTING BUILDING

PROP. SEWER-

PROP. 4" —

SEWER LATERAL

¥¥

CLEANOUT

PROP. 6" SEWER LATERAL EXIST. GAS PUMPS

PROPOSED BUILDING

-----

F.F.E.=8.40' NAVD
-PROP. 4" SEWER

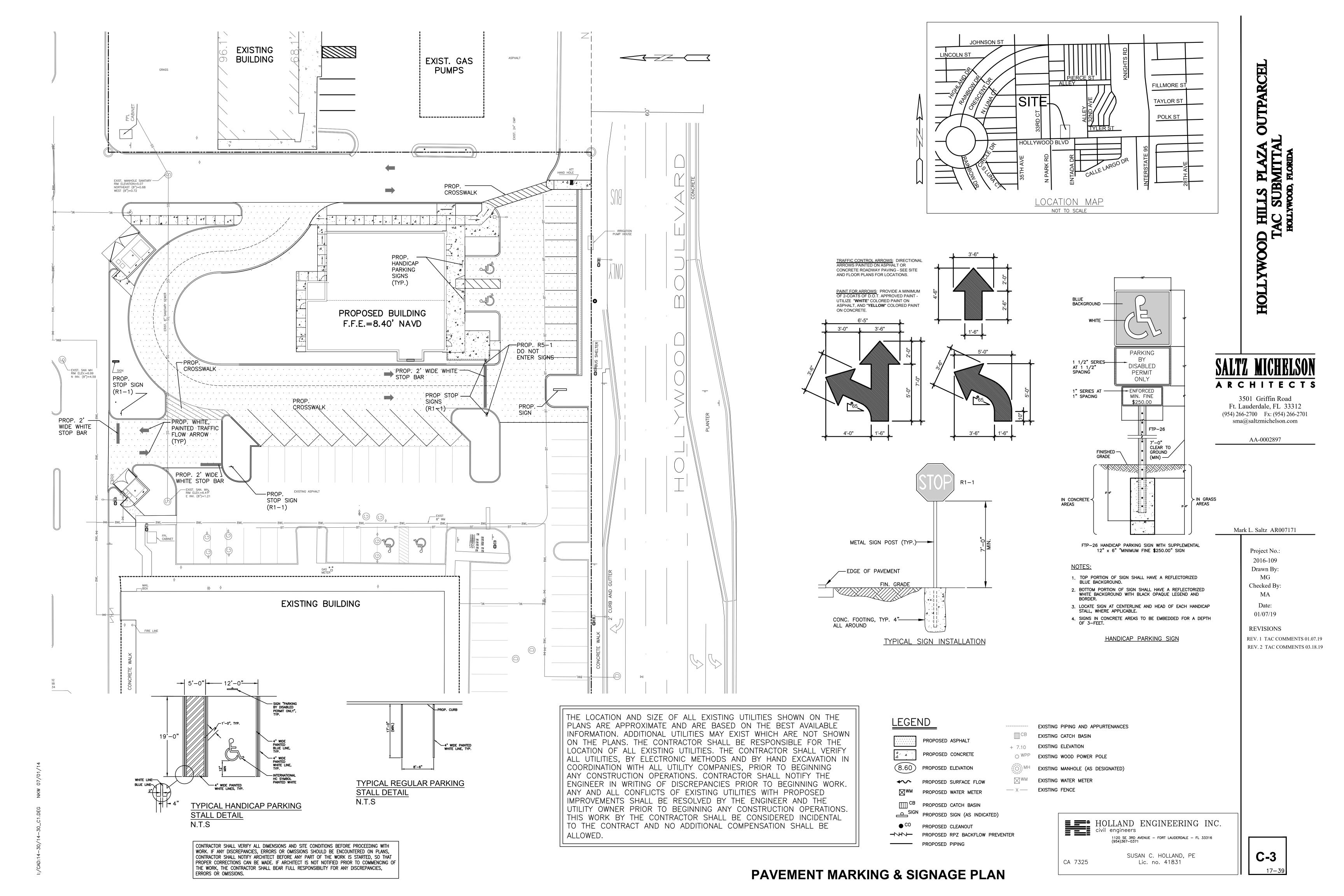
SERVICE

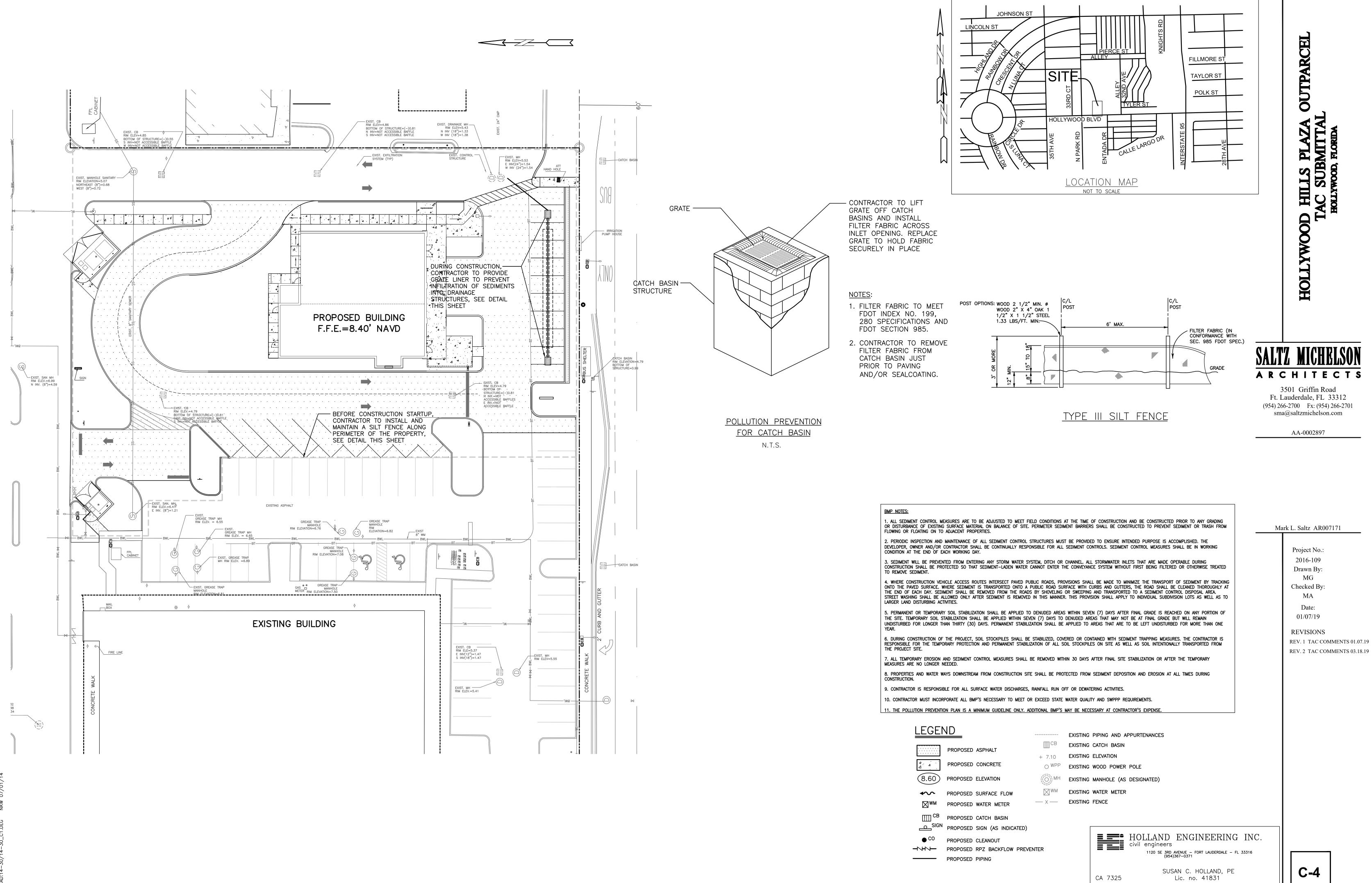
PROP. SEWER

METERS`& BACKFLOWS

EXISTING ASPHALT

EXISTING BUILDING





### GENERAL CONDITION NOTES

(S.U.N.S.H.I.N.E.)

- 1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
- 2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

FLORIDA POWER & LIGHT CO., CONSTRUCTION SOUTHERN BELL TELEPHONE & TEL. CO. CABLE CONSTRUCTION BUREAU LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA

### PAVING, GRADING & DRAINAGE NOTES:

- . ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
- 2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO
- 3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADIATION REPORTS, CONC. CYLINDERS, ETC...
- 5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
- 6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. 7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED
- 8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE
- GRADED TO DRAIN. 9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE
- COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180. 10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED, ALL
- 11 CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
- 12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS. 13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION
- JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
- 14. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -
- RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
- CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196 SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
- PVC = POLYVINYLCHLORIDE PIPE PCMP = PERFORATED CMP, FDOT SECTION 945
- DIP = DUCTILE IRON PIPE HDPE = HIGH DENSITY POLYETHYLENE PIPE.

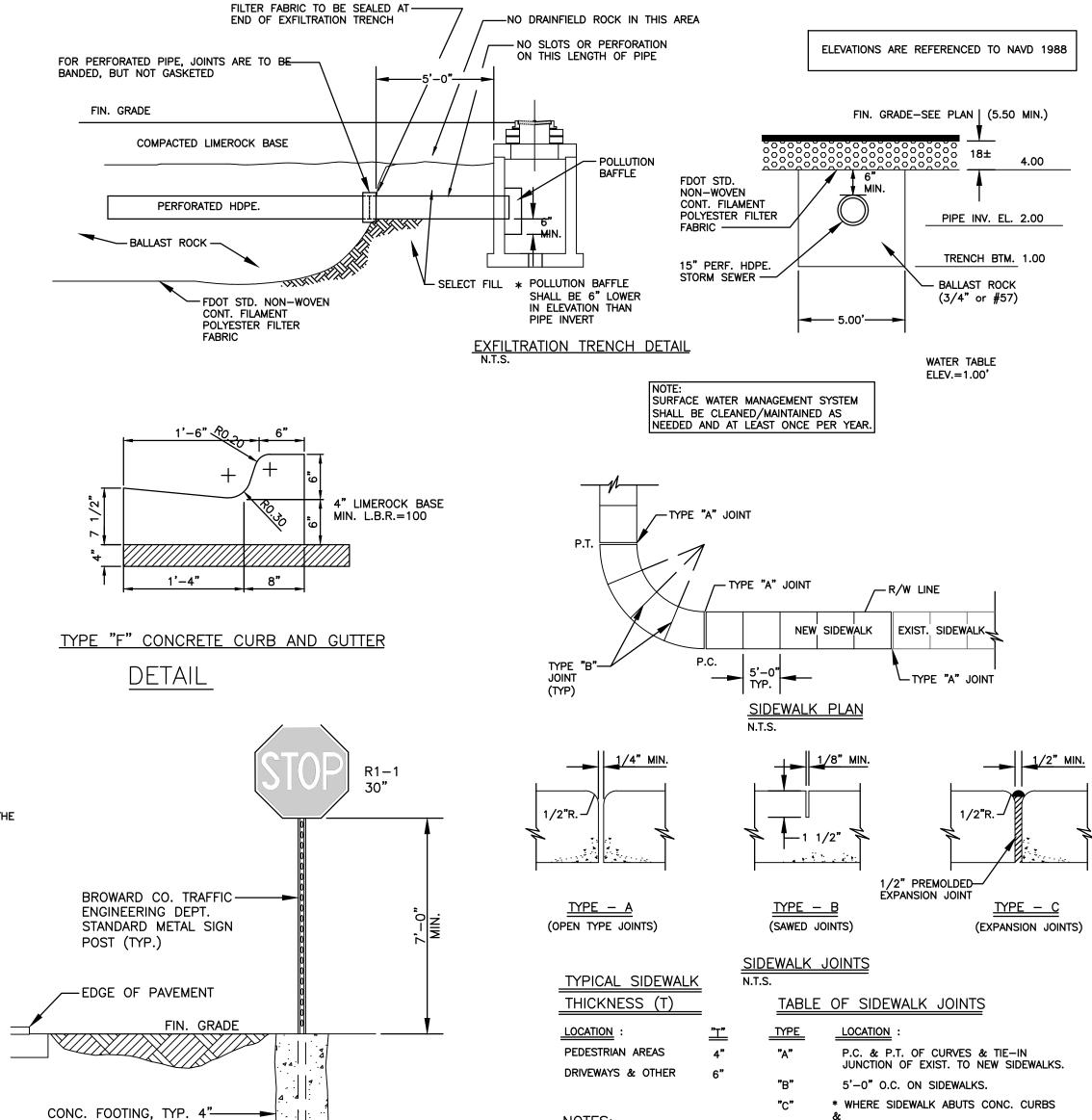
### PAVEMENT MARKING & SIGNING STANDARD NOTES

- 1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
- 2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC
- 3. STOP BARS SHALL BE 24" WHITE.
- 4. ALL SITE PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCLUDING PARKING STALL STRIPING.

ALL AROUND

TYPICAL SIGN INSTALLATION

5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



NOTES:

50' O.C.

3. 6" THK. SIDEWALK

ACROSS DRIVEWAYS

1. EXPANSION JOINTS EVERY

2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK

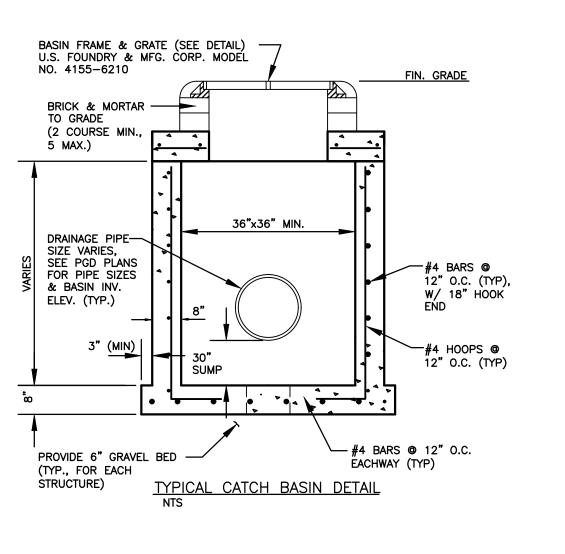
DRIVEWAYS OR SIMILIAR STRUCTURES.

EXPANSION JOINTS EVERY 50' O.C.

\* INSTALLED AT THE

SIDEWALK DETAIL NTS

DISCRETION OF THE ENGINEER



WALL OF ---

DRAINAGE

(TYP.)

SOLID PLATE

WELDED TO

TOP OF BAFFLE

WATERTIGHT -

BRACKET) &

2" MOUNTING-

BRACKET (4

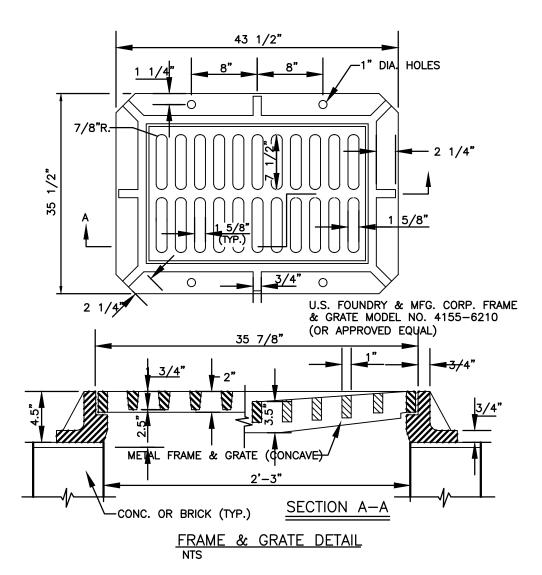
REQ'D. PER

BAFFLE)

AROUND BAFFLE

NEOPRENE GASKET (ECH.

STRUCTURE

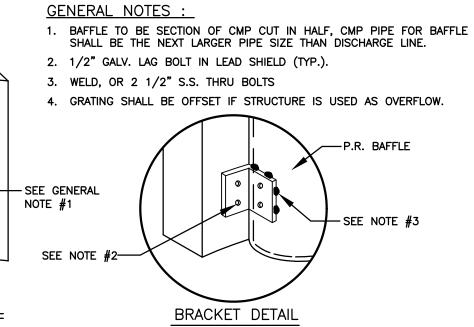


# SALTZ MICHELSON ARCHITECTS 3501 Griffin Road Ft. Lauderdale, FL 33312

AA-0002897

(954) 266-2700 Fx: (954) 266-2701

sma@saltzmichelson.com



BAFFLE DETAIL

POLLUTION RETARDANT BAFFLE DETAIL

Mark L. Saltz AR007171

Project No.: 2017-39 Drawn By: MG Checked By: MA

Date: 01/07/19 REVISIONS

REV. 2 TAC COMMENTS 03.18.19

REV. 1 TAC COMMENTS 01.07.19

CA 7325

HOLLAND ENGINEERING INC.

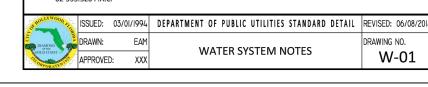
1120 SE 3RD AVENUE — FORT LAUDERDALE — FL 33316 (954)367—0371 SUSAN C. HOLLAND, PE

Lic. no. 41831

17-39

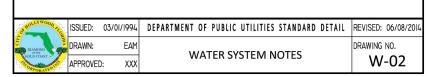
### WATER SYSTEM NOTES:

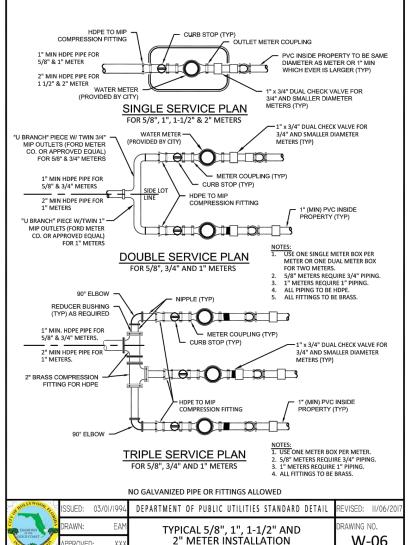
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED
- AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FOR MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
- NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
- POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END
- OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
- FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
- . GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL, GATE VALVES 3" THROUGH 16" IN DIAMETER SHALL BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. VALVES FOR SPECIAL APPLICATIONS WILL REQUIRE CITY UTILITY APPROVAL. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE
- SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES.
  ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY.
- 10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER

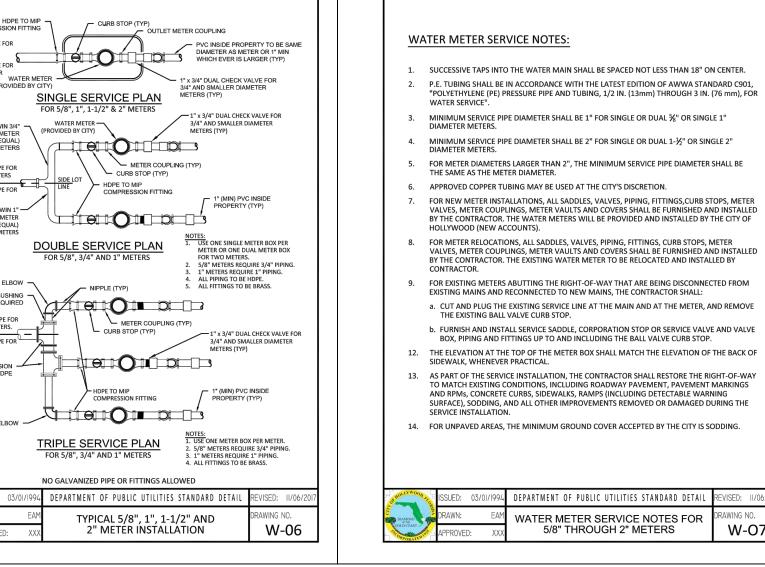


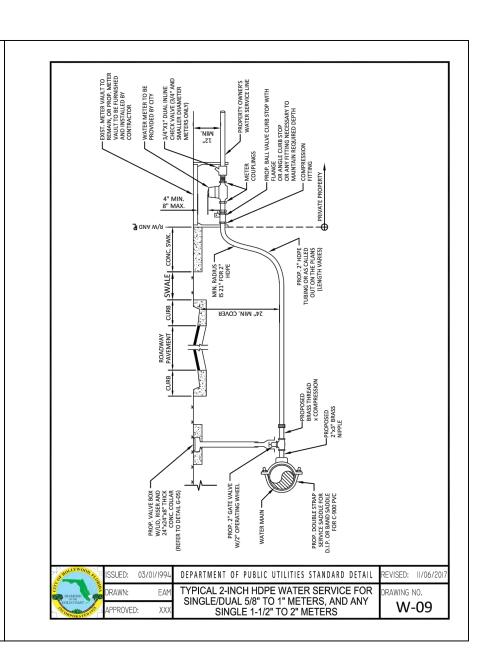
### WATER SYSTEM NOTES (CONTINUED):

- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- 2. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- 5. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY. 16. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
- 8. MINIMUM HORIZONTAL SEPARATION BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 3'. ). MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM VERTICAL SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.
- . PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- 2. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

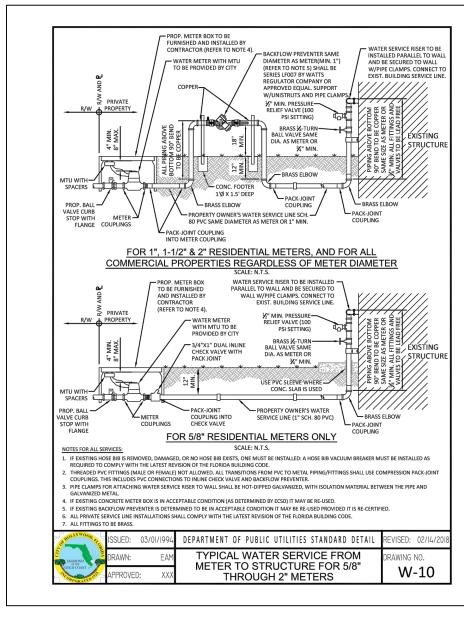


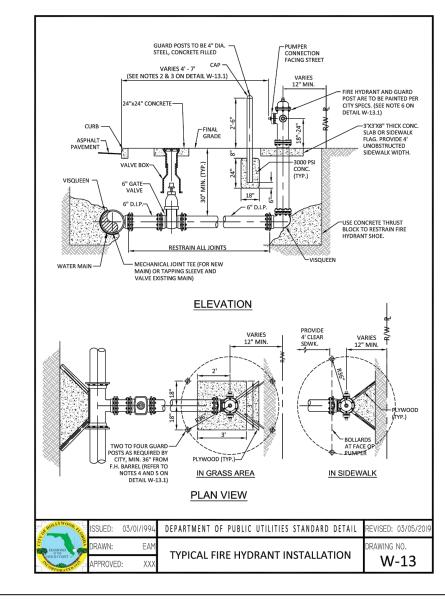


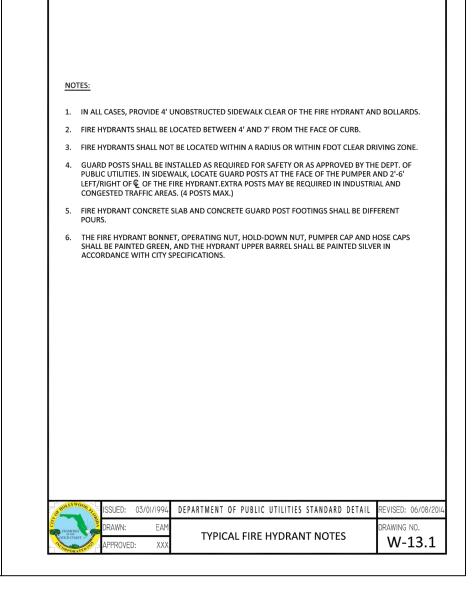




W-07









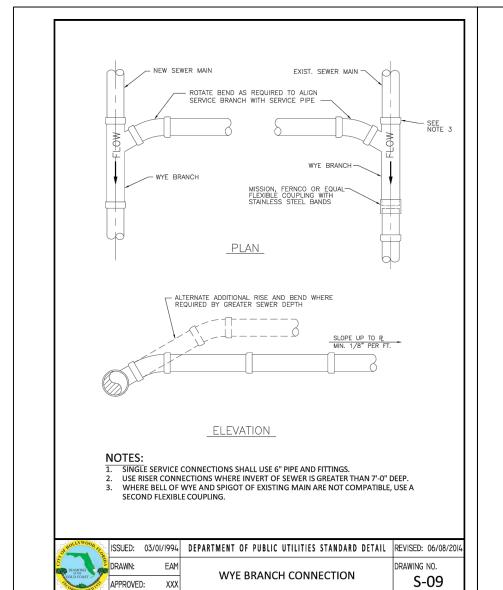
3501 Griffin Road Ft. Lauderdale, FL 33312 (954) 266-2700 Fx: (954) 266-2701 sma@saltzmichelson.com

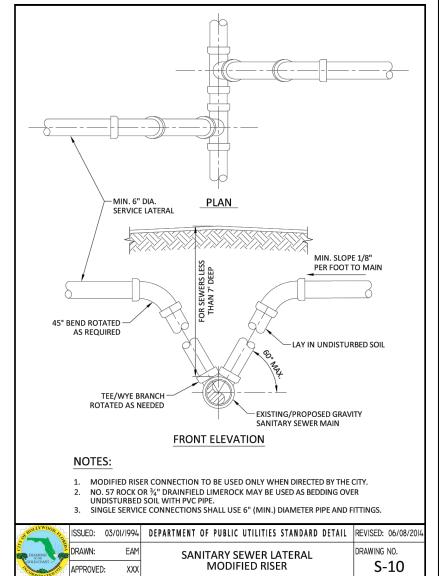
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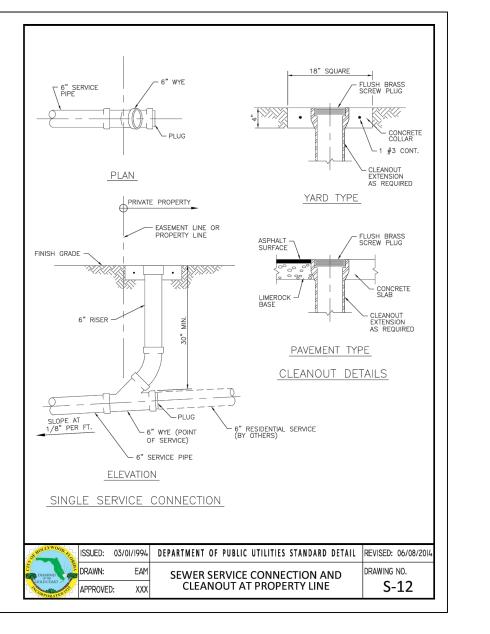
Mark L. Saltz AR007171

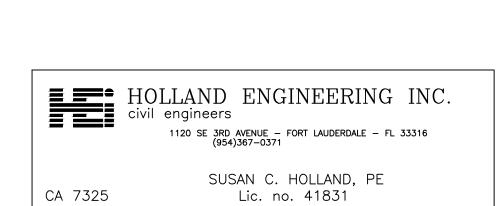
Project No.: 2017-39 Drawn By: MG Checked By MA Date: 01/07/19

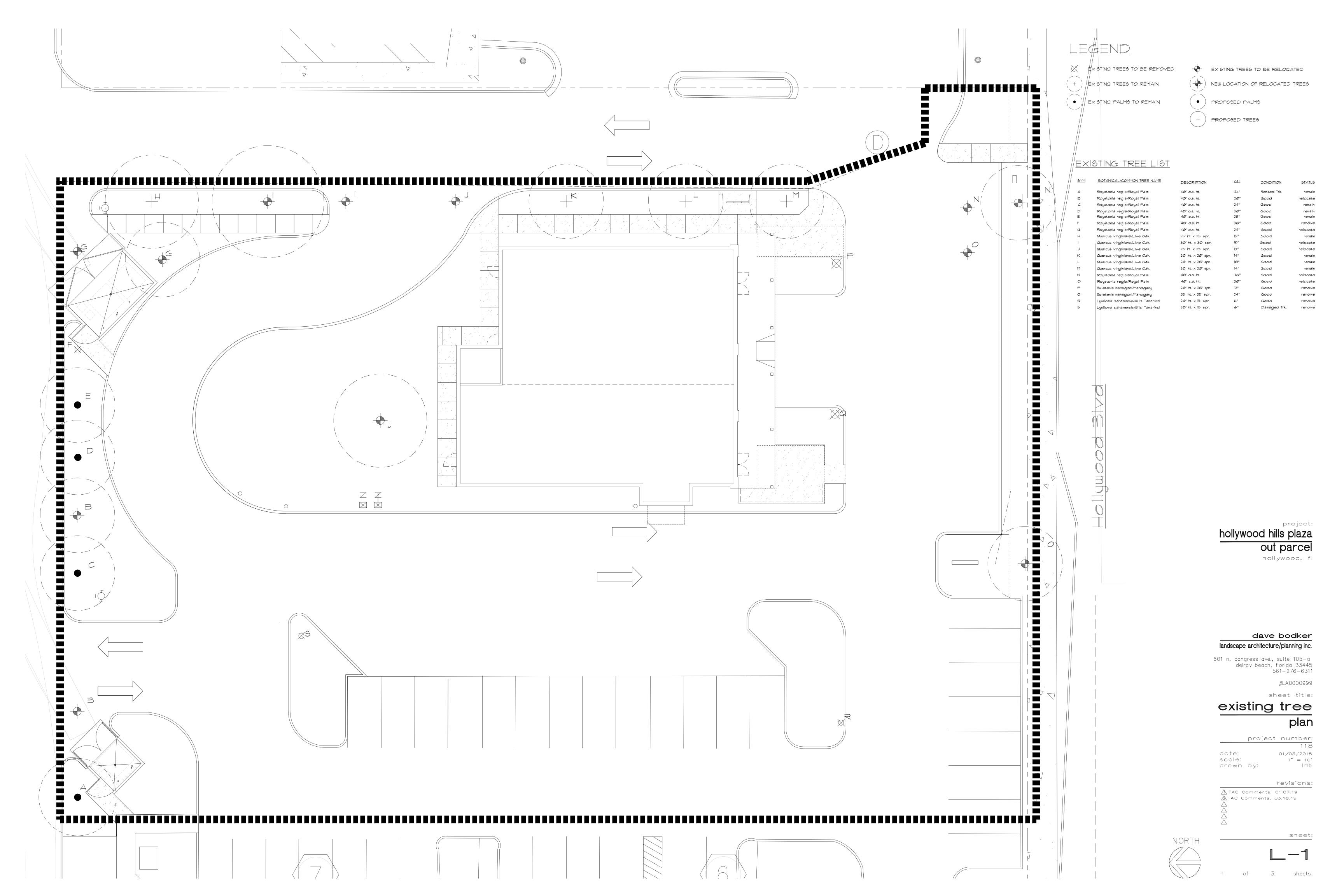
REVISIONS REV. 1 TAC COMMENTS 01.07.19 REV. 2 TAC COMMENTS 03.18.19

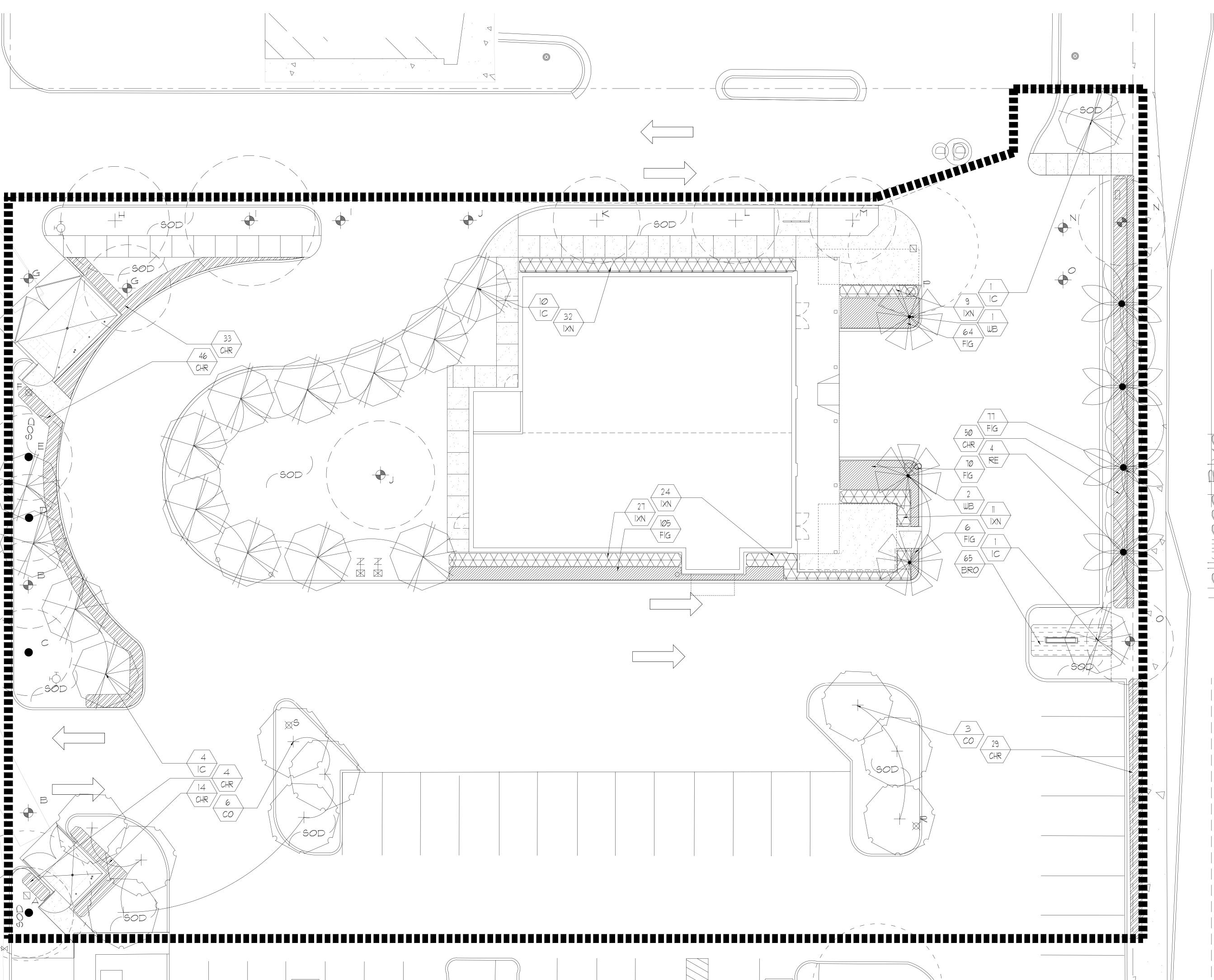












# PLANT LIST

| <u>SYM</u> | BOTANICAL/COMMON NAME                                 | SPECIFICATIONS               | <u> QTY</u> |
|------------|---|------------------------------|-------------|
| co         | Chrysophyllum oliviforme<br>Satin Leaf                | 12' ht. x 5'spr., 2"dbh      | 9           |
| IC         | llex cassine<br>Dahoon Holly                          | 12' ht. x 5'spr., 2"dbh      | 16          |
| RE         | Roystonea regia<br>Royal Palm                         | 14-16' c.t.                  | 4           |
| WB         | Wodyetia bifurcata<br>Foxtail Palm                    | 8' c.t., matched             | 3           |
| BRO        | Bromeliad 'perfecta'<br>Perfecta Bromeliad            | 12" ht. x 12" spr., 18" o.c. | 65          |
| CHR        | Chrysobalanus icaco<br>Cocoplum                       | 24" ht. x 18" spr., 24" o.c. | 176         |
| FIG        | Ficus microcarpa 'Green Island'<br>Green Island Ficus | 10" ht. x 10" spr., 18" o.c. | 322         |
| IXN        | Ixora 'Nora Grant'<br>Nora Grant Ixora                | 24" ht. x 18" spr., 24" o.c. | 103         |
| SOD        | Stenotaphrum secundatum                               | full, fresh sod              | as requir   |

### CODE COMPLIANCE DATA

Perimeter Landscape & Buffer

1. Street trees required 1/50'

Hollywood Blvd: 196' / 50' = 4

5. <u>Terminal Islands</u> 8 terminal islands

8 trees required 8 trees provided (2 foxtail palms, 4 satin leaf, 2 dahoon holly)

4 trees required 4 trees provided (4 royal palms)

6. 25% of paved VUA shall be landscape

St. Augustine Floratam Sod

(% not to include perimeters) 25,961 SF of VUA × .25 =

6,491 SF required 9,216 SF provided

7. <u>1 Tree / 1,000 SF of pervious area</u> of property (This is in addition to VUA)

Total pervious area = 9,216 SF 9,216 SF / 1,000 = 10 trees required

10 trees provided (5 existing royals, 5 existing live oaks)

22 Total Trees Required 22 Total Trees Provided

Minimum number of species required = 4/5 Provided
Tree and Palm Size Requirements Trees: 12' ht., 2" dbh

Palms: 8' clear trunk

Native Plant Requirements 60% of required trees must be native

39 native trees provided

Total trees required = 22 x .60 = 14 native trees required

50% of required trees may be palms Total Trees required = 22 x .50 = 11 palms allowed

11 palms provided (to fullfill code requirements)

If more than 20% of trees used are palms,

all other trees must be shade trees.'

Shrub Height 24" ht. except where non-residential abuts

residential where the hedge must be 48" ht.

48" of mitigation required 38" mitigation provided (on site) (19) trees @ 2" = 38"

Mitigation that cannot be met on site will be mitigated via tree trust fund: Remaining to Mitigate = 10"

project: hollywood hills plaza Public Donation of \$1,750.00 based upon 10" of mitigation required.

(\$350.00 per 2" cal.= out parcel 10/2=5×350=\$1,750.00)

hollywood, fl



### dave bodker landscape architecture/planning inc.

601 n. congress ave., suite 105-a delray beach, florida 33445 561-276-6311

#LA0000999

sheet title:

# planting

plan project number:

date: 01/03/2018 scale: 1" = 10' drawn by:

revisions: ⚠TAC Comments, 01.07.19

 $\triangle$ TAC Comments, 03.18.19



### Applicable Documents

A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period

### Scope of Work:

- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery tools, apparatus, means of transportation, supplies, equipment, materials, services and incidentals necessary to complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident
- B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, grading, fertilizing, mulching, staking and guying where required, watering, pruning where required, sod installation, weeding, cleanup, maintenance and guarantee.
- C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modifications which might be necessary
- D. Investigation of Subsurface Condition: The Contractor shall be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive
- separate, additional compensation for this. E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The contractor's unit prices shall be the basis for said paument. The final amount of payment may or may not be the total sum
- of the contract depending on the number of units installed F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.
- G. The Landscape Contractor will coordinate his work with all other trades at the job site.
- (2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palms shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie Palm fronds to accommodate an owners "grand opening". The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an additional cost to the owner.
- (3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.
- (4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

of Agriculture's "Grades and Standards for Nursery Plants".

- . Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Departmen
- J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise
- K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the

Landscape Architect, prior to planting at the project.

Removal of Plant Material:

relocation.

CALIPER

1 - 15"

1.5 - 1.75"

1.75 - 2"

2.5 - 3.5

3.5 - 4"

4 - 4.5"

5 - 55"

5.5" or more

A. Sod shall be solid sod and shall be standard quality grade Note: Quality grade shall be based on the standards of sod quality grades (premium, standard or commercial) as established by the Turf grass Producers Association of Florida nc. The sod shall be well matted with roots and of firm ough texture having a compact top growth and heavy roc development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely

affect its survival. Sod shall be relatively free of thatch up to one half inch allowable (uncompressed). the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The soc shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being cut and shall be shaded and kep moist from the time it is cut until it is planted.

(1) All plant material to be removed shall be removed

as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated:

completely, including the rootball, from the job or

(1) All existing plant material to be relocated shall be

root pruned a minimum of 90 days or for a period as

determined by the Landscape Architect prior to

(2) Rootball: Requirements for the measurement of minimum

requirements as set forth in the latest edition of

the Florida Department of Agriculture's "Grades and

Standards for Nursery Plants, Part I and Part 2", as

MIN. BALL DIA.

Increase in

proportion

(3) Root pruning shall be accomplished by digging a trench

completely around the plant about 18 inches deep. All

(4) A mixture of good organic fertilizer and planting soil

(5) Plant material which is in soil of a loose texture.

which does not readily adhere to the root system,

especially in the case of large plants or trees, shall

have the rootball wrapped in burlap and then wire, if

before before the plant is removed from the hole for

relocation. The wire shall be looped and tensioned

until the burlapped ball is substantially packaged by

to prevent disturbance of the loose soil around the

directed by the Landscape Architect. For wire, hog wire

shall be used and it shall be placed around the rootball

the tightened wire netting formed by the hog wire, so as

exposed roots shall be cut off smoothly.

shall be used to refill the trench.

roots during handling.

MIN. BALL DEPTH

75% of dia.

65% of dia.

60% of dia.

60% of dia.

60% of dia.

60% of dia.

then decrease in

size diameter.

proportion for larger

up to 48",

rootball diameter and depth shall comply with

as directed by the Landscape Architect. The remaining

hole shall be filled with suitable material or planting so

- A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand , and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose
- A. Potable, from municipal water supplies or other sources which are approved by a public health department. Mulch:
- A. Mulch shall be:

Quality Assurance:

A. The Landscape Architect may inspect trees, shrubs, and

groundcover either at the place of growth or at the site

before planting for compliance with the requirements for

name, variety, size, and quality. The Landscape Architect

injuries, and latent defects, and try to reject unsatisfactory of

defective material at any time during the progress of work

The Landscape Contractor shall remove rejected trees or

(1) The Contractor's Superintendent shall speak English and

coordination with other contracts or service in the

(2) All employees shall be competent and highly skilled in

work assigned to them. The Contractor shall be

(3) The Contractor will comply with applicable Federal,

(1) Plant material shall be Florida #1 or better as set

forth in the latest edition of the Florida Department of

(2) All plant material will be subject to the approval of

the Landscape Architect for quality, size and color

plants which are weak or thin, and plants injured by

close planting in nursery rows will not be accepted.

Plant materials which have been cut back from larger

(3) Plant material shall have normal, well developed

objectionable disfigurements.

branches and shall be vigorous plants, free from

defects, decay, burns disfiguring roots, sun-scald

injuries, abrasion of the bark, plant diseases, insec

pest eggs, barers, and all forms of infestations or

grades to meet certain specification requirements will be

Plants lacking the compactness or proper proportions,

Agriculture's Grades and Standards for Nursery Plants.

their particular job in order to properly perform the

responsible for maintaining the quality of the material

State, County and local requirements governing landscape

project area and coordination between the nursery and

be well versed in Florida plant material, planting

operations, Plan and Specification interpretation

retains the right to further inspect trees and shrubs for

size and condition of balls and root system, insects,

shrubs within 7 days from the project site.

B. Responsibility for Assuring Quality Work:

on the project.

materials and work

C. Grade Standards:

- (1) "Floramuich" or other approved recycled mulch (approval by Landscape Architect or other governing agency)
- A. New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients per manufacturer's recommendations.
- Fertilize with 8-2-12 palm fertilizer with micronutrients at a rate of  $\frac{1}{2}$  lb. per 1000 SF of area. C. Annuals: Fertilize with Osmocote - Sierra

B. New and existing Shrubs, and Groundcover:

- composition and dry. Granular fertilizer shall be free lowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's
- E. All fertilizer shall comply with the State of Florida  $\,$ fertilizer laws.

A. Disposal of Trash: All debris and other objectionable

B. Excess Fill: All excess fill which results from the

Excess fill shall be disposed of as directed.

be thoroughly swept.

to person or property.

Completion and Final Acceptance:

final inspection.

on this final inspection

Protection:

material created through planting operation and landscape

construction shall be removed completely on a daily basis

paved areas including curbs and sidewalks which have been

strewn with soil, sod waste, fertilizer or other debris shall

installation of the project shall remain the property of the

All excess fill which the Owner does not want shall be

A. Responsibility for Protection and Restoration of Property:

B. Protection Against Mechanical Damage: The Contractor's

she shall repair, restore and replace all property which

becomes damaged as a result of any negligence of the

A. Upon written notice from the Contractor of the presumptive

completion as defined below, of the entire project, the

will make an inspection within 48 hours after the written

contract Plans and Specifications, such inspection shall

constitute the final inspection. The Contractor shall be

B. If, however, the inspection mentioned in paragraph A, above,

necessary instructions or "punch lists". Upon correction

of work, another inspection will be made which shall

unsatisfactory, final acceptance shall not be given and the

constitute the final inspection, provided the work has been

satisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate

Owner and/or Landscape Architect will give the Contractor the

discloses any work, in whole or in part, as being

Landscape Architect, along with other appropriate parties,

notice. If all construction provided for and compensated by

the contract is found to be completed in accordance with the

notified in writing of final acceptance as of the date of the

Contractor or his or her employees in complying with these

The Contractor shall be responsible for all damage or injury

responsibility for protection against mechanical damage shall

warning signs and barricades as might be necessary and he or

include providing protection from vehicles and providing

Owner and remain on the project at the option of the Owner.

removed and disposed of from the project at no additional

cost. No excess fill shall be removed or disposed of from

the site until approved by the Owner or Landscape Architect.

from the job or as directed by the Landscape Architect. Any

### Delivery, Handling and Storage:

- A. Delivery and Handling: (1) Movement of nursery stock shall comply with all Federal
- State, and local laws, regulations, ordinances, codes, etc. (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and protect while stored at the site.
- (3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be covered to prevent wind damage during transit.
- (1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities apable of being installed within 48 hours of cutting.
- Submittals & Approvals
- A. Written request for approval to substitute a plant species or a plants designation (B&B, WB&B, CG etc.), type, grade quality, size, quantity, etc. due to the non-availability of the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is
- B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the material is delivered and installed on the project
- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.
- D. if requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different iter showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested.
- E. if requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the grade to be supplied for approval by the Landscape Architect sfore it is delivered and installed on the project.

### F. If requested by the Owner or Landscape Architect, submit a sample and analysis of all planting soil types for approval by the Landscape Architect before the material is delivered

- and installed on the project. sample and analysis of the mulch for approval by the Landscape H. If requested by the Owner or Landscape Architect, submit a Architect before the material is delivered and installed on
- . Submit three prints of shop drawing for all staking and quying methods to be used if the ones indicated in these Specifications and on the Plans are not to be implemented. staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of
- J. Submit in writing any hindrance to the owners routine maintenance or lack of, that may affect installed plant materials growth, or survival, that would affect the guarantee of plant material.
- K. Submit in writing any hindrance to the timely completion of
- L. Submit and Certificate of inspection of plant material as may be required by, State, local or Federal Authorities.
- A. When the specifies plant designation (B&B, WB&B, CG etc.), type, grade, quality, size, quantity, etc. of a material is not available, the Contractor shall submit a written request, to the Landscape Architect, for a substitution along with written, documented proof that the plant designation (B\$B WB&B, CG, etc.), type grade, quality, size, quantity, etc. of material is not available. The Landscape Architect shall approve all substitutions before they are delivered ano installed. Do not deliver and install any material, which is anticipated to be a substitute, before it has been submitte in writing and approved as a substitute by the Landscape Architect. Also, ant changes, if any, to the contract amount because of an approved substitute, shall be established in uriting between the Owner and the Contractor before the material substitute is delivered and installed on the project.

- A. Staking and guying shall be the responsibility of the Landscape Contractors. Staking and guying shall not be attached directly to the plant material with nails. Also battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or requirement of staking or guying.
- B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

### EXECUTION inspection:

Staking and Guying:

### A. Utilities (Above Ground and Underground):

(1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities have been indicated on the Plans

### However, no guarantee is implied that the Plans are accurate or complete. It shall be the responsibility o the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular

- (2) The Contractor shall take immediate steps to repair replace, or restore all services to any utilities or other facilities which are disrupted due to his or her additional outside services which may be necessary to prosecute repairs on a continuous "around the clock basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.
- (3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated.
- (4) The Contractor shall not purposefully disrupt or disconnect any type of utility whatsoever without first obtaining the written permission of the Landscape Architect. Requests for disconnection must be in 72 hours prior to the time of the requested interruption.

- A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas with relation to walks, paving, drain structures and other site conditions, unless indicated otherwise on the plans.
- B. Plant Area Next to Pavement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads, drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS ! INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans.

information from the plans.

- once a week. (7) Remove all litter once a week
- E. Final acceptance shall not be official until acknowledged in writing by the Owner or their representative.
- F. The guarantee shall not begin until the day final acceptance is given.
- complete list, but only a summary of certain responsibilities.
- $\ensuremath{\mathsf{A}}.$  The Contractor is responsible for the entire project prior to written acceptance.
- B. The Contractor is responsible for safety on and off the job
- C. Maintenance Prior to Final Acceptance:
- (2) Plant maintenance shall include watering, mowing, edging, pruning, weeding, cultivating, repair of erosion, mulching, tightening and repairing of guys, stakes, braces, etc., replacement of sick or dead
- growth of the plants. (3) Immediately after planting, each plant shall be watered and the watering period shall continue until final acceptance. Refer to the heading "Watering", which is in Part 3 of these Specifications, for additional
- (4) All plant material shall be weeded once a week in the event that weeds or other undesirable vegetation become prevalent to such as extent that they threaten plant material, the weeds shall be removed as directed by the Landscape Architect, If necessary, the plant material, mulch, sand and/or planting soil shall be replaced as needed to eliminate weeds or undesirable vegetation at

corrective action.

- (1) Maintenance shall begin immediately after each plant is
- plants, replacement of sod areas which do not become established, resetting plants to proper grades or upright position, maintenance of the watering saucer,
- requirements.
- the expense of the Contractor.

### C. Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed o implied in the Plans and Specifications including any and al "punch lists" which may be issued outlining certain items of work which were found unsatisfactory or required completion or

- D. Final acceptance shall not be given until all construction provided for and contemplated by the contract is inspected and found to be completed in accordance with contract Plans
- Certain responsibilities prior to Final Acceptance: The following is a partial list of certain responsibilities. It is not a

- planted and continue until final acceptance
- litter removal, and all other care needed for proper

- conforms to surrounding grades and is at the proper elevation
- Preparation:

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based or

### (5) Edge and mow sod once a week.

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials

(6) Edge and weed all shrubs, groundcover and flower beds

- and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation.
- (9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion, gullies, washouts, or other causes shall be repaired by illing with topsoil, tamping, refertilizing, and
- resodding by the Contractor at his or her expense. (10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over planting areas or adjacent to plants without proper
- (11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of plant cuttings, debris and stains.

safequards and protection.

- D. Material rejected during the course of construction shall be removed within 3 working days and replaced before an inspection for completion will be scheduled.
- E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is installed until final acceptance. F. Replacement: Replacement of plant material shall be the

responsibility of the Contractor including the possible replacement of plant material resulting from removal by theft

All plant material shall be alive and in good growing

condition for each specific kind of plant at the time of

or vandalism or acts of negligence on the part of others.

final acceptance. G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of

- A. The guarantee shall not begin until the day final written acceptance is given.
- B. All plant material, except sod, shall be guaranteed for a minimum of I year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palms are to be guaranteed for one year from the time of final
- C. The guarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane force, providing the plant was in a healthy growing condition prior to these "Acts of God"
- D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the
- A. The guaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material within 3 calendar days if it is:
- (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the Specifications.
- (2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications.
- B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.
- C. Size, Quality, and Grade:

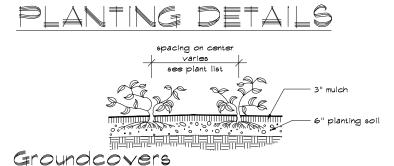
Replacement:

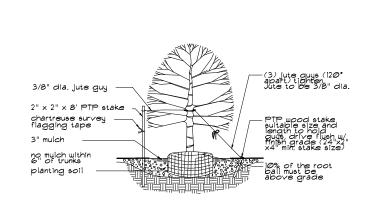
- 1) Replacement plant material shall be one of the same species quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.
- B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properl without growing into the other bed, walkway, structure, etc
- C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall be maintained as necessary until planting.
- D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limerock which may interfere with adequate vertical drainage and/or proper plant survival and growth and therefore removal o this material is part of the scope of work for the project The Contractor shall be responsible for insuring adequate drainage in these areas and shall remove this existing material, as required, by such means as auguring, drilling or rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to insure proper vertical drainage necessary for plant survival and growth.
- E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as ecommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered.

### E. Excavation of Plant Holes:

- a. Excavation of plant holes shall be roughly cylindrical in shape with the sides approximately vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hole and the location of the plant in the hole to compensate for unanticipated structures or manticipated factors which are a conflict
- b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the Landscape Architect.
- Installation: A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before

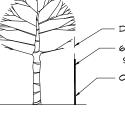
### excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting.





NOTE: Stake all trees up to 2" cal. @ 2 per tree, Guy all trees larger than 2" cal

### Trees



- Dripline of existing tree — 6' ht. steel fence post driven into ground 2' @ 4' o.c. Orange plastic mesh fencing

Straight Trunk Palms

However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally

- specifies size. (2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee
- period shall begin at time of acceptable replacement.
- (3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.

### Plan and Specification Interpretation:

A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decision in resolving conflicts between the Plans and Specifications THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications

### Permits and Codes:

### A. The Contractor shall procure all necessary permits to accomplish all of the work

B. The Contractor is responsible for performing all work in accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in.

### Changes and Additional Work:

B. Setting of Plants:

- A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owne and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for.
- "Job Site, "Project Site Etc.": A. The words "job site", "project site", "job", "project" and
- "site" shall be synonymous with one another when used in these documents Safety On and Off the Job Site:

### A. In performing the scope of work, all safety on of off the job site shall be the sole responsibility of the Contractor. The Landscape Architect shall not be responsible for safety on or

(1) All plants shall be set at the proper level so that

- after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set vertically. After excavation of planting pits and prior to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or
- ball. Each layer shall be carefully tapped in place. When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tapped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil
- (2) All sabal and queen palms shall be backfilled with clean thoroughly washed in during the planting operation.
- (3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm pit and maintained in place. (4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for

hand handling, if moved by winch or crane, must be

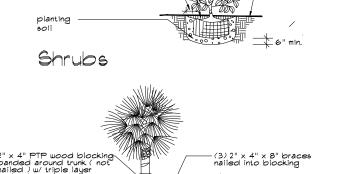
thoroughly protected from chain, rope, or cable marks.

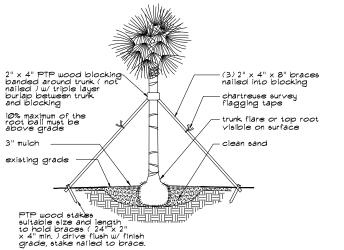
damage that might occur by improper handling or (5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only.

Girdling, bark slippage, limb breakage and any other

### Trunks shall be thoroughly protected (6) Container grown plant material shall be carefully removed from the container so as not to disturb the

- C. Sod: (1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner:
- a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1,000 square feet
- b. Remove stones and foreign matter over two inches in
- diameter from the top two inches of soil. uneven. Fill in voids and holes with planting soil or other approved fill material. c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping





The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

### On Site Observations and Inspections:

of rejection at the project site.

- A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in writing, if directed by the Landscape Architect.
- B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in
- C. An inspections at the growing site does not preclude the right
- D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or work omitted, or work performed which is not in accordance with the contract requirements, shall not bar the Landscape Architect from subsequently rejecting such work at a later
- E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

### Plant Material

- A. Plant material shall be nursery grown except:
- (1) Where specified as collected material (2) Where approved by the Landscape Architect for such plant material which is only available as a collected item
- from sources such as residences. B. Except where another grade is specifically called for in the Plans, all plant material, including collected material specified, shall be no less than Florida #1, or better, at the time of installation and final acceptance. Existing plant material to remain or to be relocated shall be excluded

healthy, vigorous and free from insects, plant diseases and

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound,

### (2) Placing Sod:

a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.

free of the imported fire ant. Before any sod is

brought to the site, furnish a written certification

- b. Water sod every day for a period of three weeks.
- c. Fertilize sod three weeks after planting with 12 pounds of 8-8-8 formula fertilizer per 1,000 square feet of lawn. d. No sod shall be used which is not certified as being

### of clearance from pest control officials of either State or Federal Department of Agriculture.

(3) Maintenance of Sod:

entire planting area.

- a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.
- until final acceptance by mowing or spraying as D. Planting Beds:

(1) Spread six inches of topsoil mixture uniformly over the

(3) Rotor mix, or by other approved method, to a depth of

b. The Contractor shall completely maintain the sod

- (2) Spread 50% organic fertilizer at a rate of 4 pounds per 1,000 square feet uniformly over the groundcover area
- (4) Fine grade to remove all trash, rocks, and debris to depth indicated.
- (5) Regrade to finish grade before adding two inches mulch. (6) Thoroughly water and firm the plants into the soil mixture.

(1) Areas to be mulched shall have existing weeds and

vegetation removed, including root systems, before applying mulch. (2) Grades are to be uniform. Grade areas which are rough and

## GENERAL NOTES 1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER.

- 2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. 3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM IS NOT POTABLE OR RECLAIM WATER, AND THE WATER STAINS SITE MPROVEMENTS, SUCH AS BUILDINGS, PAVING, ETC., THE CONTRACTOR WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM
- ON PLANTING PLANS, WHEN DISCREPANCIES OCCUR BETWEEN PLANTING PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES, SOD QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN

4 QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY.

- 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES TO AVOID DAMAGE. 6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS GROUNDCOVERS, AND GRASS AS
- T. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE. 8. ALL TREES AND PALMS TO BE STAKED AND GUYED.

9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH"

TO A DEPTH OF 3".

SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS.

10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE. II. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND

- D. Measurement of Trees, Palms, Shrubs, and Groundcover: (1) Trees, Shrubs, and Groundcover:
- a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grades and Standards for Nursery Plants, Part 1 and Part

2" as follows:

| CALIPER MIN. BALL DIA.   | MIN. BALL DEPTH      |
|--------------------------|----------------------|
| 1 - 1.5"                 | 75% of dia.          |
| 1.5 - 1.75" 20"          | 65% of dia.          |
| 1.75 - 2" 22"            | 65% of dia.          |
| 2 - 2.5" 24"             | 65% of dia.          |
| 2.5 - 3.5" 26"           | 65% of dia.          |
| 3.5 - 4" 28"             | 65% of dia.          |
| 4 - 4.5" 30"             | 60% of dia.          |
| 4.5 - 5" 32"             | 60% of dia.          |
| 5 - 55" 34"              | 60% of dia.          |
| 5.5" or more Increase in | 60% of dia.          |
| proportion               | up to 48",           |
| , ,                      | then decrease in     |
|                          | proportion for large |

size diameter.

- b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, branches, limbs or fronds, which extend out beyond the main mass of the plant.
- E. Die-Back and Leaf Drop: plant material showing signs of dieback of leaf-drop will not be accepted and must be removed from the project immediately if so directed by the Landscape Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation

F. Mechanical Destruction of Foliage: Mechanical destruction of

foliage resulting from root pruning shall not effect more

on plant material, it shall be completely removed prior to

than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists

### planting on the project

(1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as

- (1) Initially, water the plant material to develop uniform coverage and deep water penetration to the full depth of the root zone. Avoid erosion, puddling, and washing soil away from the roots.
- (2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task it cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the
- during this period. (3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such

irrigation system, if there is one hand water

means as a water truck or tank

G. Pruning and Thinning:

### limited to the minimum necessary to remove dead o injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant.

(2) The Landscape Architect shall be contacted prior to

(1) In the event that weeds or other undesirable vegetation

Landscape Architect. This condition shall apply until

becomes prevalent to such an extent that they threaten

plant material, they shall be removed as directed by the

(1) The amount of general pruning and thinning shall be

### performing any major pruning and thinning. The Landscape Architect may elect to be present during any pruning and thinning. H. Weeding

SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATION BEGINS. THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING. . TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GUARANTEED TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT.

UNTIL THE TIME OF WRITTEN ACCEPTANCE.

14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE.

15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY,

COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE, THIS

CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE

INCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE. 16. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.

12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR

1. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.

NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS OR PLANTING AREAS ADJACENT TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS REQUIRED TO SUPPORT THE CURB.

### notes, details 18. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING. 19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK, 50% SAND)

|        |     | 118        |
|--------|-----|------------|
| date:  |     | 01/03/2018 |
| scale: |     | n.t.s.     |
| drawn  | by: | lmb        |
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1 TAC Comments, 01.07.19

TAC Comments, 03.18.19

hollywood hills plaza

dave bodker

561-276-6311

sheet title:

revisions:

#LA0000999

landscape architecture/planning inc

601 n. congress ave., suite 105-a

delray beach, florida 33445

project number

sheet:

|       | REVISIONS |     |  |  |  |  |
|-------|-----------|-----|--|--|--|--|
| Rev # | DATE      | BY: |  |  |  |  |

### OPTION 2

| Calculation Summary |       |     |      |      |         |         |         |         |
|---------------------|-------|-----|------|------|---------|---------|---------|---------|
| Label               | Units | Avg | Max  | Min  | Avg/Min | Max/Min | PtSpcLr | PtSpcTb |
| OUTPARCEL           | FC    | 3.2 | 4.10 | 1.10 | 2.9     | 3.7     | 15      | 15      |

| Luminaire Sche  | edule |       |        |       |   |            |
|---|-------|-------|--------|-------|---|------------|
| WLS14176 HOLLYWOOD HILLS OUTPARCEL HOLLYWOOD, FL PM: ROBBY PLEASE EMAIL ROBBY AT RRUDASILL@WLSLIGHTING.COM FOR PRICING. |       |       |        |       |   | RICING.    |
| Symbol  | Qty   | Label | Lumens | LLF   | Description                                   | Lum. Watts |
|   | 3     | X2    | 140000 | 0.700 | MCGRAW-GSL-1000-HPS-AR-FG 50' MOUNTING HEIGHT | 1080       |
|   | 3     | A     | N.A.   | 0.980 | WLS-OSQ-HO-A-5SH-65L-40K 50' MOUNTING HEIGHT  | 550        |



### 1-800-633-8711 - WWW.WLSLIGHTING.COM

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

