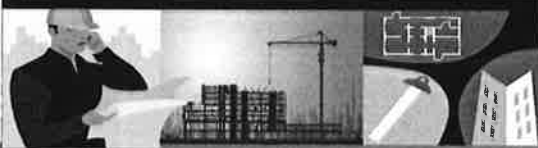


# PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 03.18.19

Location Address: 3255 Hollywood Blvd, Suites 1 and 2

Lot(s): \_\_\_\_\_ Block(s): A Subdivision: ORANGEBROOK GOLF ESTATES

Folio Number(s): 514217020011

Zoning Classification: C-2 Land Use Classification: GBUS

Existing Property Use: COMMERCIAL Sq Ft/Number of Units: 4,500 SF

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 18-DP-34

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: N/A Sq Ft: N/A

Value of Improvement: \$850,000 Estimated Date of Completion: August 2020

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: WRI JT HOLLYWOOD HILLS I LP, Scott Henson

Address of Property Owner: 5355 TOWN CENTER ROAD, STE 802, BOCA RATON, FL 33486

Telephone: 602-217-8848 Fax: 602-263-8052 Email Address: SHenson@Weingarten.com

Name of ~~Consultant~~ Representative/Tenant (circle one): Saltz Michelson Architects

Address: 3501 Griffin Rd, Ft. Lauderdale Telephone: 954-266-2700

Fax: 954-266-2701 Email Address: mazar@saltzmichelson.com

Date of Purchase: N/A Is there an option to purchase the Property? Yes ( ) No (X)

If Yes, Attach Copy of the Contract.

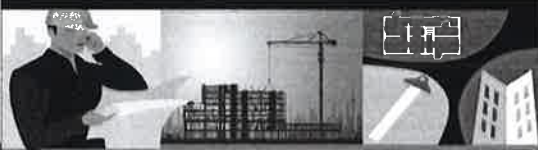
List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_



## PLANNING DIVISION



File No. (internal use only): \_\_\_\_\_

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

# GENERAL APPLICATION

### CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 3/18/19

PRINT NAME: MARTIN ESPEJO

Date: 3/18/19

Signature of Consultant/Representative: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

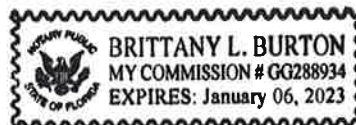
### Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing Martin Espejo to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 18 day of March 2019

Brittany Burton  
Notary Public

State of Florida



Signature of Current Owner

Print Name

My Commission Expires: \_\_\_\_\_ (Check One) ☒ Personally known to me; OR ☐ Produced Identification \_\_\_\_\_



## **WEINGARTEN REALTY**

2600 Citadel Plaza Drive  
Houston, Texas 77008  
800-688-8865  
713-866-6049 Fax  
[www.weingarten.com](http://www.weingarten.com)

March 1, 2018

**To: County and City Building Departments: (including)**

Cities of: Boca Raton, Clearwater, Clermont, Cooper City, Deerfield Beach, Hollywood, Jacksonville, Kendall, Largo, Miami, Oakland Park, Orlando, Palm Coast, Palm Harbor, Pembroke Pines, Plantation, Sanford, Sea Ranch Lakes, Stuart, St. Augustine, Tampa, Wellington, Winter Park; and

Counties of: Palm Beach, Pinellas, Lake, Broward, Duval, Miami-Dade, Orange, Seminole, Flagler, Martin, St. Johns, Hillsborough

**RE: Approval from owner for signature acceptance**

Dear City Official:

Please be advised that the following Weingarten personnel are authorized to sign the types of documentation listed below on behalf of the owners listed on Page 2.

**Weingarten Personnel:**

*Mark Schultz – Associate Director of Property Management*

*Chris Oftedal – Senior Regional Property Manager*

*Ryan Tufts – Regional Property Manager*

*John Haggerty – Regional Property Manager*

*Karl Brinkman – Area Vice President/Leasing*

*Alexander Evans – Regional Leasing Director*

*Joel F. Kaplan – Construction Manager*

*Martin Espejo – Construction Manager*

*Gina Fongyee – Property Manager*

**Documentation:**

Permit Applications

Sign Approval Letters

Notice of Commencement

Documents required by City Department and Code Enforcement Department (violations)

Documents regarding utility and or refuse service

Waste Water Applications

Development Orders

Development Agreements



**Owners:**

Weingarten Realty Investors  
Weingarten Nostat Inc.  
WRI JT Tamiami Trail, LP  
WRI JT Pembroke Commons, LP  
WRI JT Flamingo Pines LP  
WRI Seminole II, LLC  
WRI-TC East Lake Woodland LLC  
WRI-TC Marketplace at Dr. Phillips LLC  
Weingarten I-4 Clermont Landing LLC  
Weingarten I-4 Clermont Landing TRS, LLC  
WRI Shoppes of South Semoran LLC  
Weingarten/Investments Inc.  
Weingarten I-4 St. Augustine EV LLC  
WRI JT Northridge, LP  
WRI JT Hollywood Hills I, LP  
WRI JT Hollywood Hills II, LP  
WRI Seminole Marketplace, LLC  
Pineapple Commons Retail LP  
WS Atlantic West, LLC  
WS Kernan Village, LLC  
WRI Wellington Green, LLC

Sincerely,

Weingarten Realty Investors,  
a Texas real estate investment trust

By:

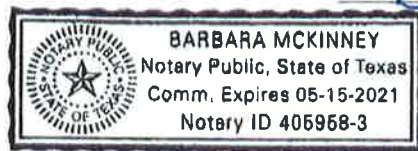


Mark D. Stout  
Senior Vice President/General Counsel



STATE OF TEXAS           §  
                                     §  
COUNTY OF HARRIS     §

The foregoing instrument was acknowledged before me this 2nd day of March, 2018, by Mark D. Stout, Senior Vice President/General Counsel of Weingarten Realty Investors, a Texas real estate investment trust, on behalf of the trust. He is personally known to me.



*Barbara McKinney*  
NOTARY PUBLIC SIGNATURE

NOTARY STAMP





March 18, 2019

City of Hollywood  
Development Services Planning Division  
2600 Hollywood Boulevard  
Hollywood, Florida 33020  
Attn: Technical Advisory Committee Plans Reviewers

RE: **Hollywood Hills Plaza Outparcel – 4,500 S.F. Commercial Building**  
**Hollywood, Florida**  
**File # 18-DP-34**  
**MA Project No. 2016-109**

To Whom It May Concern:

Below are our responses to the City's comments for the above referenced project:

**APPLICATION SUBMITTAL – dated 1/22/19**

*Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471*

1. Comment: Ownership & Encumbrance Report (O&E) shall:
  - a. Dated within 30 days of submittal packet.
  - b. Indicate it was searched from 1953 or time of platting (earliest of the two).
  - c. Include the legal description of the property.
  - d. Include the names of the current owners.
  - e. Include a listing and hard copy of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) provided) lying within/on the property boundaries (i.e. easements, rights-of-way, non-vehicular access line, etc.)
  - f. Include a listing and hard copy of any type of encumbrance abutting the property boundary necessary for legal access to the property (if none, state so)
  - g. Provide signed O&E Report

**Response:** *Please refer to attached O & E Report*
2. Comment: ALTA Survey:
  - a. Shall be based on O&E with a note indicating as such.
  - b. Include net area of scope of work.
  - c. Work with the Engineering Division to ensure the Survey is accurate and all easements and dedications are indicated.

**Response:** *Please refer to attached survey.*



3. Comment: Provide Boundary Survey of entire site. Ensure that it includes the net property size.  
**Response:** *Please refer to attached boundary survey of entire site.*
4. Comment: Revise the following on Site Plan:  
 a. Include development address on Title Block on Final TAC  
 b. Provide area of proposed terminal islands.  
 c. Provide location of building projections, including but not limited to mechanical equipment, overhangs and awnings.  
**Response:** *Revised as requested. Refer to updated SP1.0.*
5. Comment: Revise the following on Site Data:  
 a. Adjust required setbacks for property lines abutting residential neighborhoods.  
 b. Include required, existing and proposed landscape of vehicular use area. (% calculation excludes required perimeter landscaped setback area).  
 c. Include height of structures on site.  
**Response:** *Revised as requested. Refer to updated SP1.0.*
6. Comment: Staff encourages Applicant continue to meet with surrounding homeowner's associations prior to submitting for any Boards if necessary. Provide update with next submittal.  
**Response:** *Acknowledged*
7. Comment: Provide written responses to all comments with next submittal.  
**Response:** *Understood*

### **ZONING – dated 1/22/19**

*Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471*

1. Comment: Ensure that all plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations.  
**Response:** *All plumbing, mechanical and electrical fixtures and equipment are indicated on Site Plan and Elevations as requested.*
2. Comment: Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.  
**Response:** *The garbage truck access was reviewed with Mr. Lassiter over a telephone conference and it was acceptable.*
3. Comment: Work with the Engineering Department to ensure that vehicular and pedestrian access between all parcels is appropriate. Ensure that there are no pedestrian/vehicular conflicts and that adequate crossing points are provided, particularly in areas adjacent to drive-thrus.  
**Response:** *Because of existing grades a pedestrian crosswalk on the drive through lane is no longer proposed.*

### **ARCHITECTURE AND URBAN DESIGN – dated 1/22/19**

*Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471*

1. Comment: Given the outparcel's location within a shopping complex, the project should incorporate addition architectural articulation on the north and west facades.  
**Response:** *The elevations have been revised as requested. Please refer to sheet A1.0.*



**SIGNAGE – dated 1/22/19**

*Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471*

1. Comment: Application is Substantially compliant.  
**Response:** *Acknowledged*

**LIGHTING – dated 1/22/19**

*Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471*

1. Comment: Application is substantially compliant.  
**Response:** *Acknowledged*

**GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY – dated 1/22/19**

*Elaine Franklin, Environmental Sustainability Coordinator (efranklin@hollywoodfl.org) 954-921-3201*

1. Comment: Recycle materials from demolition of the parking area to the greatest extent possible. Recycle waste materials from construction as well. Florida's goal is a 75% recycling rate by 2020, which includes construction and demolition debris.  
**Response:** *Understood. Please refer to Green Building Initiatives Notes on sheet A1.0.*
2. Comment: Use sustainable building materials.  
**Response:** *Understood. Please refer to Green Building Initiatives Notes on sheet A1.0.*
3. Comment: Use low VOC materials.  
**Response:** *Understood. Please refer to Green Building Initiatives Notes on sheet A1.0.*
4. Comment: Install Energy Star or water sense certified appliances.  
**Response:** *Acknowledged to be provided during construction documents.*
5. Comment: Retain rainwater on site for irrigation and non-potable water uses in the building. Consider integrating above-ground planters outside the building that can serve as both water storage vessels for irrigation and ornamental planters. (Search for "rain barrels" on gardeners.com for examples.)  
**Response:** *Since the proposed building is a small addition to an existing site with existing utilities systems, rainwater retention is not feasible for this project.*
6. Comment: Install a rain garden on the north side of the building, populated with native plants that are recommended for such purposes.  
**Response:** *Since the proposed building is a small addition to an existing site a rain garden is not feasible for this project.*
7. Comment: Use other groundcovers instead of St Augustine grass to reduce or eliminate mowing and other maintenance costs of turf. Species suggestions: native mimosa (*Mimosa strigillosa*), large-flowered rosemary (*Conradina grandiflora*), horsemint (*Monarda punctata*), twinflower (*Dyschoriste oblongifolia*), perennial peanut (*Arachis glabrata*), dwarf mondo grass (*Ophiopogon japonicus*).  
**Response:** *The possibility of using these materials is being evaluated by the design team. The findings will be discussed with the City and any changes agreed upon will be shown on the construction documents.*
8. Comment: Consider adding canopies over the outdoor seating areas that are equipped with solar panels that can charge electronic devices at the table and/or



power fixtures on the property.

**Response:** *Canopies have been added over a portion of the seating areas. Solar technology was considered however it was not feasible for this project.*

### **ENGINEERING – dated 1/22/19**

*Luis Lopez, City Engineer ([llopez@hollywoodfl.org](mailto:llopez@hollywoodfl.org)) 954-921-3251*

*Clarissa Ip, Engineering Support Services Manager ([cip@hollywoodfl.org](mailto:cip@hollywoodfl.org)) 954-921-3915*

1. Comment: Provide six inbound (from location where menu is situated) vehicular stacking spaces.

**Response:** *Provided as requested. Please refer to revised SP1.0.*

2. Comment: Parking calculation is under review

**Response:** *Acknowledged.*

3. Comment: Indicate parking stall widths for parking facing Hollywood Boulevard.

**Response:** *Provided as requested. Please refer to revised SP1.0.*

4. Comment: All outside agency permits must be obtained prior to issuance of building permit.

**Response:** *Acknowledged.*

5. Comment: More comments may follow upon review of the requested information

**Response:** *Acknowledged.*

### **LANDSCAPING – dated 1/22/19**

*Guillermo Salazar, Landscape Reviewer ([gsalazar@hollywoodfl.org](mailto:gsalazar@hollywoodfl.org)) 954-921-3900*

1. Comment: As per submitted L-2 tree mitigation provided is acceptable but recalculation of regular code required trees is needed. Provide a revised L2 landscape planting plan showing the correct distribution of landscape code requirement trees. Relocated trees/palms cannot be counted towards code required trees but can be accepted as supplemental. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/canariensis, Bismarkia, Foxtail and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT. As per submitted L2 plan substitute all adonidia palms to be of a substantial species described above and upgrade all code required palm trees to be of minimum 8'CT. On the street tree required tree proposed royal palm trees to fulfill tree requirement upgrade the CT to be a minimum of 14-16' of Ct to match existing Hollywood Blvd other royal palms as this is part of the existing character of the city of Hollywood.

**Response:** *Sheet L-2, landscape planting plan has been revised to show the correct distribution of landscape code required trees. All adonidia palms has been substituted with foxtail palms. Royal palms overall height has been revised as requested.*

2. Comment: Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

**Response:** *Irrigation plans will be completed upon site plan approval.*



3. Comment: No tree removals without a tree removal sub-permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit at building permit time along with landscape plans to be submitted. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal requirements.
- Response:** *A cost estimate has been provided.*
4. Additional comments may be forthcoming at Building permit submittal. Courtesy comment: Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org or at (954) 921-3997
- Response:** *Acknowledged*

### **UTILITIES – dated 1/22/19**

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985

Alicia Vereas-Feria, Engineer (avereas-feria@hollywoodfl.org) 954-921-3900

1. Comment: No Submit preliminary drainage calculations meeting Broward County and SFWMD requirements for pre/post development and soils report for review of length of exfiltration trench and ensure that stormwater will have sufficient storage.
- Response:** *Preliminary drainage calculations are provided showing the site is providing water quality as required by the existing SFWMD permit.*
2. Comment: Since this property resides within FEMA FIRM Zone X, no base flood elevation (BFE) is provided. Therefore, the Finished floor elevations (FFE) and bottom of equipment elevation must conform with section 154.50 of the City's Code of Ordinances. That is, lowest FFE and bottom of a/c and other equipment serving the building must be set at a minimum of 6-inches above the highest adjacent crown of road elevation. During building permit submittal, update survey to include adjacent crown of road elevations.
- Response:** *Updated survey will be provided.*
3. Comment: Update plans to Include the City's latest standard water and sewer details. These can be obtained from Mike Zaske at 954-921-3930 or mzaske@hollywoodfl.org.
- Response:** *The City's water & sewer details have been added and are on plan sheet C-6.*
4. Comment: During permitting, verify that the existing private sanitary sewer lift station for which this project will connect to will have sufficient capacity to handle the proposed flows.
- Response:** *The capacity of the sanitary sewer lift station will be verified.*

### **BUILDING – dated 1/22/19**

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Comment: Application is substantially compliant.
- Response:** *Acknowledged*



**FIRE – dated 1/22/19**

*Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554*

1. Comment: Can you please relocate the relocated fire hydrant to the East side of the dumpster? It is hidden on the West side and not easily accessible.

**Response:** *Provided as requested. The fire hydrant has been relocated to the east side of the entrance/exit, away from the dumpster enclosure. Please refer to revised SP1.0 and to civil drawings.*

**PUBLIC WORKS – dated 1/22/19**

*Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207*

1. Comment: Dumpster detail seems to indicate a 2yd dumpster in this enclosure. This is not sufficient for Restaurant or gas station.

**Response:** *Provided as requested. Please refer to revised SP1.0.*

**PARKS, RECREATION AND CULTURAL ARTS – dated 1/22/19**

*David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404*

1. Comment: Application is substantially compliant.

**Response:** *Acknowledged*

**COMMUNITY DEVELOPMENT – dated 1/22/19**

*Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271*

1. Comment: Application is substantially compliant.

**Response:** *Acknowledged*

**ECONOMIC DEVELOPMENT – dated 1/22/19**

*Raelin Storey, Director (rstorey@hollywoodfl.org) 954-924-2922*

1. Comment: Address parking needs of existing uses and how new development impacts with removal of 75 spaces.

**Response:** *Provided as requested. Please refer to revised Site Data on SP1.0.*

**POLICE DEPARTMENT – dated 1/22/19**

*Christine Adamcik, Police (cadamic@hollywoodfl.org) 954-967-4371*

*Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500*

*Doreen Avitabile, Police (davitable@hollywoodfl.org) 954-967-4371*

1. Comment: No comments received.

**Response:** *Understood*

**DOWNTOWN AND BEACH CRA – dated 1/22/19**

*Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980*

*Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980*

1. Comment: Not applicable.

**Response:** *Understood*



**PARKING – dated 1/22/19**

*Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549*

*Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548*

1. Comment: Application is substantially compliant.

**Response:** *Acknowledged*

**ADDITIONAL COMMENTS – dated 1/22/19**

*Fitz Murphy, Planning Administrator (fmurphy@hollywoodfl.org) 954-921-3471*

1. Comment: Additional comments may be forthcoming.

**Response:** *Understood*

**CPTED STRATEGIES – dated 1/25/19**

1. Comment: Provide clear border definition of controlled space. Examples of border definition may include fences, shrubbery, signs in exterior areas. Sufficient lighting is necessary for people to see and be seen. From a security point of view, lighting that is strategically placed can have a substantial impact on reducing the fear of crime. A basic level of lighting should allow the identification of a face from a distance of about 10 meters for a person with normal vision.

The effects of good exterior lighting can be generally summarized as safety, security, identification, attraction, beautification, environmental integrity and utility. It is essential to bear in mind that all of these effects are influenced by fixture and system design. Lighting will allow for natural surveillance to the building, therefore provide visibility and help define the border definition for the property at night. Lighting will also allow for spillover light to the existing property.

**Response:** *Landscaping, signage and lighting are provided as requested. Refer to Site Plan on Sheet SP1.0.*

**EXTERNAL LIGHTING – dated 1/25/19**

1. Comment: Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

- These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- Research types of Security Lighting, such as LED, Metal Halide, etc.
- Light fixtures should be protected against casual vandalism by means of vandal resistant materials



and design.

- Lighting should be uniformly spread to reduce contrast between shadows and illuminated areas.
- Lighting should be designed to minimize dark areas that could pose a security concern near pedestrian areas.
- Pedestrian pathways should be highlighted by visible light sources that clearly indicate the path of travel ahead.
- All entrance/exit ways should be well-lit, well-defined and visible.
- Fully illuminate the exterior of the property and grounds at night.
- A system of lighting fixture identification should be developed.
- The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- Exterior lighting should be controlled by automatic devices (preferably by photocell).
- Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).
- If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.
- Make sure light fixtures are not obstructed by any landscaping.

**Response:**      *Please refer to attached Photometrics Plan.*

#### **LANDSCAPING – dated 1/25/19**

1.      Comment:
  - Landscaping should be kept well maintained and trees should be trimmed at least seven feet from the lowest foliage to the ground.
  - Ground cover plant materials, low planters and forms of hostile landscape should be used to discourage persons from standing near windows, corners of buildings, and the edges of parking lots.

**Response:**      *Acknowledged*

#### **TERRITORIAL REINFORCEMENT – dated 1/25/19**

1.      Comment:
  - A gateway effect or formal entrance should be created with planting, fencing, gates, etc.
  - All public or semi-private should be well maintained to convey pride ownership and



discourage negative activity.

- Vehicle entrances should be defined by different paving materials and signage.

**Response:** *Entrances for pedestrians and vehicles are well defined. Please refer to sheets SP1.0 and A1.0.*

#### **NATURAL ACCESS CONTROL – dated 1/25/19**

1. Comment:
  - Site entrances should be easily securable.
  - Entrances to parking areas should be controlled by a fence or gate, preferably a see through fence for visibility.
  - Access to one area of the building should be clearly defined public, private and semi-private areas, by the use of access restrictions.
  - Pedestrian walkways should be clearly defined with curbs, sidewalks, or raised or striped walkways.
  - Employee parking should be close to the building.
  - Delivery entrances should be separate, well-marked and monitored.
  - If deliveries are made, they should be made during the daytime hours.

**Response:** *Pedestrian walkways are clearly defined; new parking blends with existing parking areas.*

#### **NATURAL SURVEILLANCE – dated 1/25/19**

1. Comment:
  - Public entrances should be clearly defined by walkways and signage.
  - Use a single, clearly identifiable, point of entry/exit.
  - Maintain clear visibility from the interior/exterior of all areas of the property.
  - Windows and exterior doors should be free of obstructions, so employees can exercise natural surveillance of corridors, hallways, points of entry/exit.
  - Loading areas, (drop off/pick up) should be clearly visible, have good signage and not create blind spots or hiding areas.
  - Parking area, walkways and exterior of property should be well lit.

**Response:** *Acknowledged to be provided during construction documents.*

#### **BUILDING(S) PERIMETER DOORS – dated 1/25/19**

1. Comment:
  - Signs posted at all building perimeter entry points, should provide clear direction for employees and others, for example for deliveries.
  - Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.
  - Ideally, exterior doors should be equipped with



electronic propped door alarms, which announce either locally and/or at the security office.

- Perimeter doors should be designed for “heavy duty” (ANSI Grade III) applications.

**Response:**     *Acknowledged to be provided during construction documents.*

**GENERAL LOCATIONS – dated 1/25/19**

1.     Comment:
- Mechanical, Electrical, HVAC, Dumpsters or other equipment located outside the building should be surrounded by a protective enclosure.
  - Exterior recesses in buildings designed with wings should be fenced to prevent access.

**Response:**     *Not applicable.*

**NON-PEDESTRIAN BUILDING ENTRY POINTS – dated 1/25/19**

1.     Comment:
- Sturdy fencing should enclose locations where gas and electric utilities enter buildings.
  - Locations where gas and electric utilities enter buildings should be well lit.
  - Electrical service disconnects and gas valves should be equipped with locking devices.

**Response:**     *Acknowledged to be provided during construction documents.*

**FENCING – dated 1/25/19**

1.     Comment:
- (If used) Wrought iron fencing provides for natural surveillance within and onto the property. Ex. Parking lot and to establish a defined border definition of the entire property.

**Response:**     *Not applicable.*

**SIGNAGE – dated 1/25/19**

1.     Comment:
- Please make sure areas of the premises are identified with proper signage.

**Response:**     *Acknowledged to be provided during construction documents.*

If you have any questions regarding the above, please do not hesitate to contact me.

Very truly yours,  
Saltz Michelson Architects

*Maday Gutierrez*

Maday Gutierrez  
Project Manager

\\smafs-03\data\Projects\2016\2016-109\Correspond\Governmental\New TAC Responses



AA-0002897



dave bodker  
landscape architecture/planning, inc.

---

601 n. congress avenue, suite 105 a  
delray beach, fl 33445  
ph 561-276-6311  
fax 561-276-3869  
[www.dblap.com](http://www.dblap.com)

**Hollywood Hills Plaza  
Preliminary Cost Estimate**

**Job # 118  
3/14/2019**

<u>Plant Type</u>	<u>Qty</u>		<u>Each</u>	<u>Total</u>
Satin Leaf 12'	9	@	\$500.00	\$4,500.00
Dahoon Holly 12'	16	@	\$250.00	\$4,000.00
Royal Palm 14-16'ct	4	@	\$600.00	\$2,400.00
Foxtail Palm 8'ct	3	@	\$550.00	\$1,650.00
Bromeliad	65	@	\$15.00	\$975.00
Cocoplum	176	@	\$15.00	\$2,640.00
Green Island Ficus	322	@	\$10.00	\$3,220.00
Ixora Nora Grant	103	@	\$25.00	\$2,575.00
St. Augustine Sod (sq. ft.)	7500	@	\$0.50	\$3,750.00
Total				\$25,710.00





March 14, 2019

**Drainage Calculations for  
Hollywood Hills Plaza Outparcel  
NE corner of Park Road and Hollywood Blvd.**

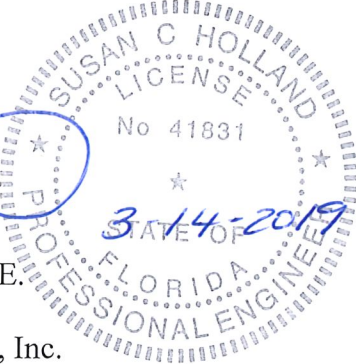

The existing SFWMD permit (06-02798-P) for the shopping center was originated to develop 6.74 acres, located on the south side of the shopping center. The entire shopping center's drainage system has an outfall structure located at the northeast corner of the site. The drainage system for the previously developed 6.74 acres connects to the shopping center's drainage system through a control structure located at the southeast corner of this new development. *Per the SFWMD permit, the 6.74-acre development only has to provide water quality, before discharging to the control structure.*

This project will develop a new building within the original 6.74-acre development. The existing exfiltration system will remain, and a new length of exfiltration will be installed to provide water quality for the new building to be constructed. This new exfiltration system will connect to the existing control structure, which is located at the southeast corner of this new development.

This development will meet all requirements of the existing SFWMD permit and the floor elevation will be set at the required 10' NGVD (8.40' NAVD).

The footprint of the new building is 4,500 square feet. Water quality will be provided for 2.5" times the 4,500 square feet, which equals 0.26 acre-inches. The exfiltration trench calculation is attached.

Prepared by:



Susan C. Holland, P.E.  
License No. 41831  
Holland Engineering, Inc.

Attachment



## Exfiltration Trench Length

Hollywood Hills Plaza  
Post-Development

Date 3/14/2019

### **Exfiltration Trench Length**

#### *For Water Quality*

C Pervious = 0.60

C Impervious = 0.90

Weighted C Factor = 0.83

storm event = 2.50

Trench width = 5.00

H2 (depth to water table) = 4.50

Du (non-saturated trench depth) = 3.00

Ds (saturated trench depth) = 0.00

Volume to be exfiltrated = 0.26 AC-IN

$$L = \frac{0.26}{0.0001 \times [(4.5 \times 5) + (2 \times 4.5 \times 3) - (3)^2 + (2 \times 4.5 \times 0)] + [(0.000139 \times 5 \times 3]}$$

$$L = 42.38'$$

**Length of exfiltration trench provided = 60 LF**

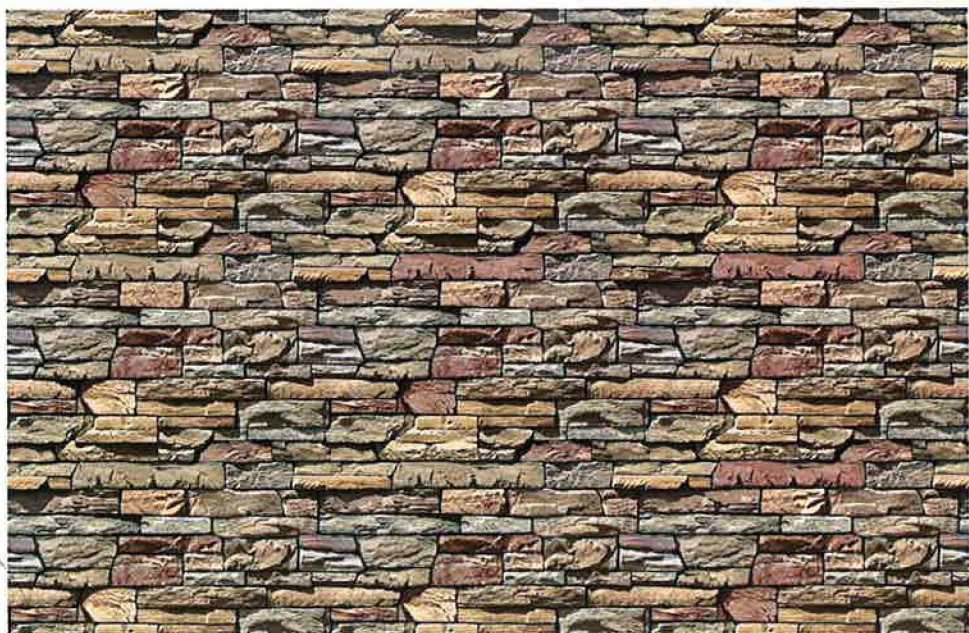


254-C3

204-C3

SW 7013  
Ivory Lace

SW 6108  
Latte





HOLLYWOOD HILLS PLAZA OUTPARCEL  
FINAL TAC SUBMITTAL

MEETING DATE – APRIL 1ST, 2019  
N.E. CORNER OF HOLLYWOOD BLVD AND S. PARK ROAD  
HOLLYWOOD, FLORIDA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FL, AND IS DESCRIBED AS FOLLOWS:

BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. LESS THE PROPERTY DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND A ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

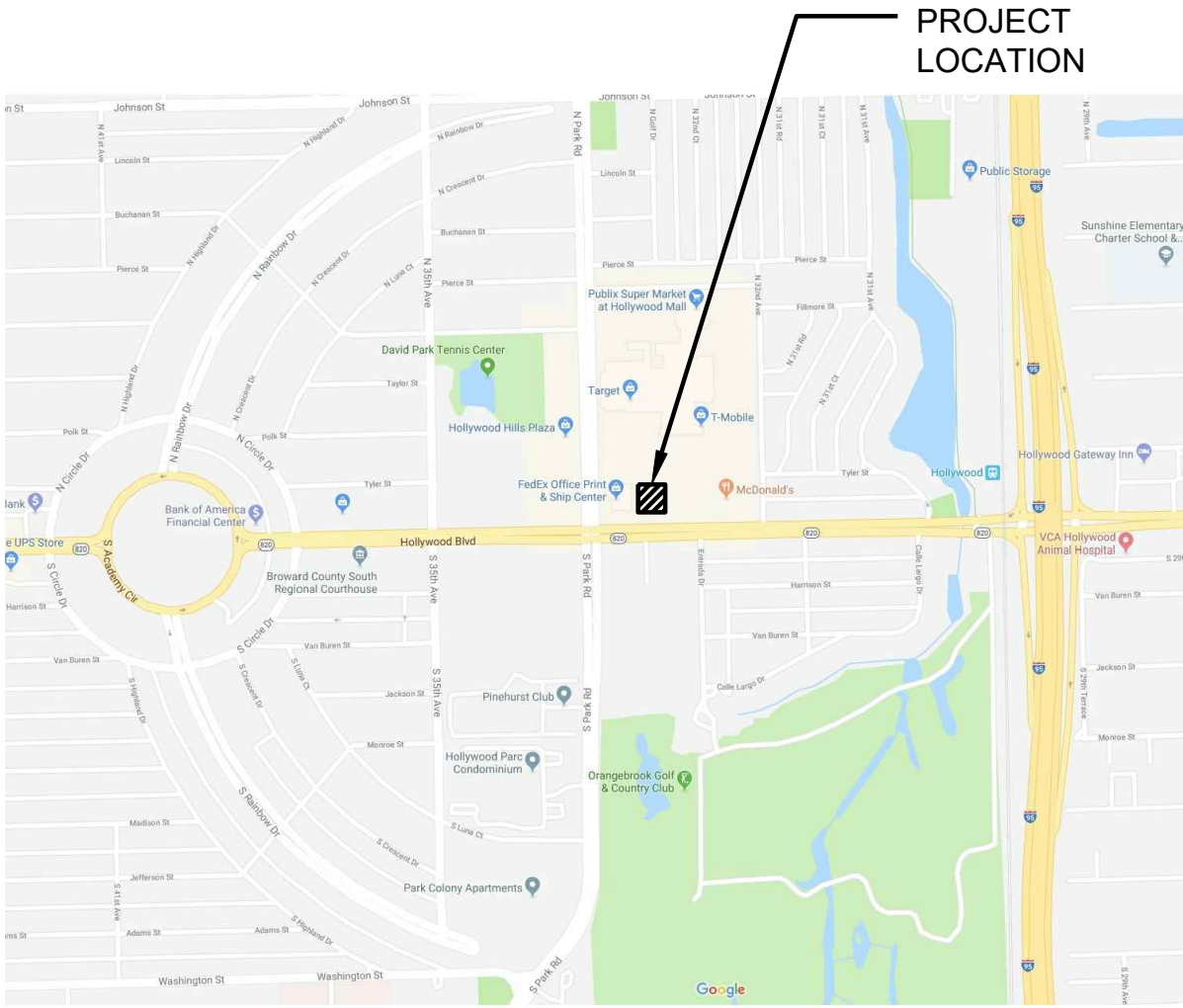
COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTH WESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

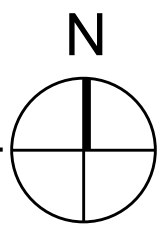
COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LANDS ARE THE SAME AS DESCRIBED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-490213A-HOU1 BEARING AN EFFECTIVE DATE OF JULY 19, 2011 @ 8:00 A.M.



LOCATION MAP

SCALE: N.T.S.



INDEX OF DRAWINGS

<b>ARCHITECTURE</b>	
A0.0	COVER SHEET
SHEET 1 OF 4	OVERALL PARCEL SURVEY
SHEET 2 OF 4	OVERALL PARCEL SURVEY
SHEET 3 OF 4	OVERALL PARCEL SURVEY
SHEET 4 OF 4	OVERALL PARCEL SURVEY
SHEET 1 OF 2	OUTPARCEL SURVEY
SHEET 2 OF 2	OUTPARCEL SURVEY
SP1.0	OVERALL SITE PLAN
	PROPOSED SITE PLAN
	DETAILS
SP1.1	TABULAR INFORMATION
A1.0	SITE DETAILS
A1.1	FLOOR PLAN, ELEVATIONS
	COLOR ELEVATIONS
<b>CIVIL</b>	
C-1	PAVING, GRADING AND DRAINAGE PLAN
C-2	WATER AND SEWER PLAN
C-3	PAVEMENT MARKING AND SIGNAGE PLAN
C-4	STORMWATER POLLUTION PREVENTION PLAN
C-5	CIVIL DETAILS
C-6	UTILITY DETAILS
<b>LANDSCAPE</b>	
L-1	EXISTING TREE PLAN
L-2	PLANTING PLAN
L-3	SPECIFICATIONS
<b>PHOTOMETRICS</b>	
SHEET 1 OF 1 PHOTOMETRICS PLAN	

TEAM

OWNER / DEVELOPER:

WEINGARTEN REALTY  
5355 TOWN CENTER ROAD, STE 802  
BOCA RATON, FL 33486  
TELEPHONE: (954) 938-2583

ARCHITECT:

SALTZ MICHELSON ARCHITECTS  
3501 GRIFFIN ROAD FORT  
LAUDERDALE, FL 33312  
TELEPHONE: (954) 266-2700

CIVIL ENGINEER:

HOLLAND ENGINEERING  
3900 HOLLYWOOD BLVD, STE 303  
HOLLYWOOD FL 33021  
TELEPHONE: (954) 367-0371

LANDSCAPE ARCHITECT:

DAVE BODKER LANDSCAPE ARCHITECTURE, INC  
601 NORTH CONGRESS AVENUE, STE 105-A  
DELRAY BEACH, FL 33445  
TELEPHONE: (561) 276-6311

HOLLYWOOD HILLS PLAZA OUTPARCEL  
TAC SUBMITTAL  
3255 HOLLYWOOD BLVD, SUITES 1 & 2  
HOLLYWOOD, FLORIDA

SALTZ MICHELSON  
ARCHITECTS

3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:  
2016-109  
Drawn By:  
MG  
Checked By:  
MA  
Date:  
03/30/18

REVISIONS

1	TAC COMM.
01.07.19	
2	TAC COMM.
03.18.19	

Drawn by: S:\Projects\2016\2016-109\Drawings\01.1 TAC Submittal\01.16-109\_001.dwg  
Plotted on: Mar 18, 2019  
Plotted by: mgdanz  
Layed Name: Layout1

A0.0



## MEASURED DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being Block "A", Orangebrook Golf Estates, according to the plat thereof, recorded in Plat Book 83, Page 1, of the public records of Broward county, Florida and being more particularly described as follows:

Beginning at a 1/2" rebar set at the intersection of the northerly right-of-way line of Hollywood Boulevard (having a 120' R/W) and the westerly right-of-way of a public alley (having a 15' R/W), thence proceed North 90 degrees 00 minutes 00 seconds West for a distance of 268.30 feet to a PK nail found; thence North 00 degrees 00 minutes 00 seconds West for a distance of 258.71 feet to a PK nail found; thence North 90 degrees 00 minutes 00 seconds West for a distance of 166.46 feet to a PK nail found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 258.71 feet to a rebar found with cap; thence South 90 degrees 00 minutes 00 seconds West for a distance of 390.24 feet to a rebar found with cap; thence along a curve to the right having a radius of 50.00 feet and an arc length of 78.54 feet, said arc being subtended by a chord with a bearing of North 45 degrees 00 minutes 00 seconds West and a length of 70.71 feet, to a 1/2" rebar found; thence North 90 degrees 00 minutes 00 seconds West for a distance of 1430.00 feet to a rebar found with cap; thence North 90 degrees 00 minutes 00 seconds East for a distance of 855.00 feet to a 1/2" rebar set; thence along a curve to the right having a radius of 20.00 feet and an arc length of 31.42 feet, said arc being subtended by a chord with a bearing of South 45 degrees 00 minutes 00 seconds East and a length of 28.28 feet, to a 1/2" rebar found; thence South 00 degrees 00 minutes 00 seconds East for a distance of 1460.00 feet to a 1/2" rebar set and THE TRUE POINT OF BEGINNING.

Containing within said bounds 28.726 acres (1,251,313 square feet) more or less.

LESS AND EXCEPT PARCEL A:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block A, South 90°00'00" West 103.34 feet; thence North 00°00'00" East, 44.37 feet TO THE POINT OF BEGINNING; thence continue North 00°00'00" East, a distance of 147.32 feet to a point on the arc of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 12.00 feet, a central angle of 90°05'08" and a arc distance of 18.87 feet to a point of tangency; thence South 89°54'52" East 43.90 feet; thence South 00°00'00" West 156.76 feet to the beginning of a tangent curve concave to the north; thence southwesterly, westerly and northwesterly on the arc of said curve having a radius of 2.50 feet, a central angle of 180°00'00" and an arc distance of 7.85 feet to a point of tangency; thence North 00°00'00" East 16.50 feet; thence South 90°00'00" West 29.00 feet; thence South 00°00'00" West 15.04 feet to the beginning of a tangent curve concave to the northwest; thence southwesterly on the arc of said curve having a radius of 3.96 feet, a central angle of 90°00'00" and an arc distance of 6.22 feet to a point of tangency; thence South 90°00'00" West 17.96 feet to the point of beginning.

Containing within said bounds 0.191 acres (8,320 square feet) more or less.

AND ALSO:

LESS AND EXCEPT PARCEL B:

A portion of Block "A", Orangebrook Golf Estates, according to the plat thereof as recorded in Plat Book 38, Page 1 of the public records of Broward county, Florida, being more particularly described as follows:

Commence at the southeast corner of said Block "A"; thence on the south line of said Block "A", South 90°00'00" West 103.34 feet; thence North 00°00'00" West 1.40 feet to the point of beginning; thence North 89°54'52" West 86.87 feet; thence North 00°27'02" East 18.91 feet; thence North 89°48'08" West 8.69 feet; thence North 00°09'03" East 39.56 feet to the beginning of a tangent curve concave to the southwest; thence south westerly on the arc of said curve having a radius of 9.33 feet, a central angle of 30°09'03" and an arc distance of 4.91 feet to a point of tangency; thence North 30°00'00" West 8.69 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 30°00'00" and an arc distance of 5.59 feet to a point of tangency; thence North 00°00'00" West a distance of 66.45 feet to the beginning of a tangent curve concave to the southwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 45°00'00" and an arc distance of 7.33 feet to a point of tangency; thence North 45°00'00" West 7.35 feet to the beginning of a tangent curve concave to the northeast; thence northwesterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 00°00'00" East 36.00 feet to the beginning of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 00°00'00" East 36.00 feet to the beginning of a tangent curve concave to the southeast; thence northeasterly on the arc of said curve having a radius of 10.67 feet, a central angle of 45°00'00" and an arc distance of 8.38 feet to a point of tangency; thence North 00°00'00" East 4.41 feet to the beginning of a tangent curve concave to the northwest; thence northwesterly on the arc of said curve having a radius of 9.33 feet, a central angle of 39°14'23" and an arc distance of 6.39 feet to an intersection with a non-tangent line; thence South 90°00'00" East 104.46 feet; thence South 00°00'00" West 214.30 feet to the point of beginning.

Containing within said bounds 0.503 acres (21,913 square feet) more or less.

## ZONING INFORMATION

The surveyor was not provided with zoning information pursuant to Table A Item 6a and 6b.

## AREA

Area of subject property is approximately 28.032 acres (1,221,080 square feet).

## FLOOD NOTE

By graphic plotting only, this property is in Zones "X", "X-SHADED" and "AH" of the Flood Insurance Rate Map No. 12011C0568H, Community Panel No. 125113, which bears an effective date of August 18, 2014 and is partially in a Special Flood Hazard Area. As shown on the FEMA website (<http://msc.fema.gov>) by FIRNette created on February 12, 2019 we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

ZONE AH - Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.  
X-SHADED - Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1 % annual chance flood.  
ZONE X - Areas determined to be outside the 0.2% annual chance floodplain.

PROJECT REVISION RECORD				
DATE	DESCRIPTION	DATE	DESCRIPTION	
03/07/2019	FIRST DRAFT			
XXXX/2019	NETWORK COMMENTS			
FIELD WORK:	DRAFTED: CLC	CHECKED BY: RJJ	FB & PG:	

## SIGNIFICANT OBSERVATIONS

**A** BUILDINGS ARE LOCATED OVER 10' POWER EASEMENTS.

## LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY.  
© 2019 BOCK AND CLARK CORPORATION, AN NV5 COMPANY

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

## RECORD DESCRIPTION

PARCEL 2:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND ADDITIONAL LANDS DESCRIBED BELOW:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK A, SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" EAST, 44.37 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°00'00" EAST, A DISTANCE OF 147.32 FEET TO A POINT ON THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 12.00 FEET, A CENTRAL ANGLE OF 90°05'08" AND AN ARC DISTANCE OF 18.87 FEET TO A POINT OF TANGENCY; THENCE SOUTH 89°54'52" EAST 43.90 FEET; THENCE SOUTH 00°00'00" WEST 156.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTH; THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 2.50 FEET, A CENTRAL ANGLE OF 180°00'00" AND AN ARC DISTANCE OF 7.85 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 16.50 FEET; THENCE SOUTH 90°00'00" WEST 29.00 FEET; THENCE SOUTH 00°00'00" WEST 15.04 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 3.96 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC DISTANCE OF 6.22 FEET TO A POINT OF TANGENCY; THENCE SOUTH 90°00'00" WEST 17.96 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID BLOCK "A"; THENCE ON THE SOUTH LINE OF SAID BLOCK "A", SOUTH 90°00'00" WEST 103.34 FEET; THENCE NORTH 00°00'00" WEST 1.40 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°54'52" WEST 86.87 FEET; THENCE NORTH 00°27'02" EAST 18.91 FEET; THENCE NORTH 89°48'08" WEST 8.69 FEET; THENCE NORTH 00°09'03" EAST 39.56 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 30°09'03" AND AN ARC DISTANCE OF 4.91 FEET TO A POINT OF TANGENCY; THENCE NORTH 30°00'00" WEST 8.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHEAST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 30°00'00" AND AN ARC DISTANCE OF 5.59 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" WEST A DISTANCE OF 66.45 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 7.33 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" WEST 7.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHWESTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 00°00'00" EAST 36.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 10.67 FEET, A CENTRAL ANGLE OF 45°00'00" AND AN ARC DISTANCE OF 8.38 FEET TO A POINT OF TANGENCY; THENCE NORTH 45°00'00" EAST 4.41 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE HAVING A RADIUS OF 9.33 FEET, A CENTRAL ANGLE OF 39°14'23" AND AN ARC DISTANCE OF 6.39 FEET TO AN INTERSECTION WITH A NON-TANGENT LINE; THENCE SOUTH 90°00'00" EAST 104.46 FEET; THENCE SOUTH 00°00'00" WEST 214.30 FEET TO THE POINT OF BEGINNING.

AND INCLUDING ALSO:

A PORTION OF BLOCK "A", ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 38, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

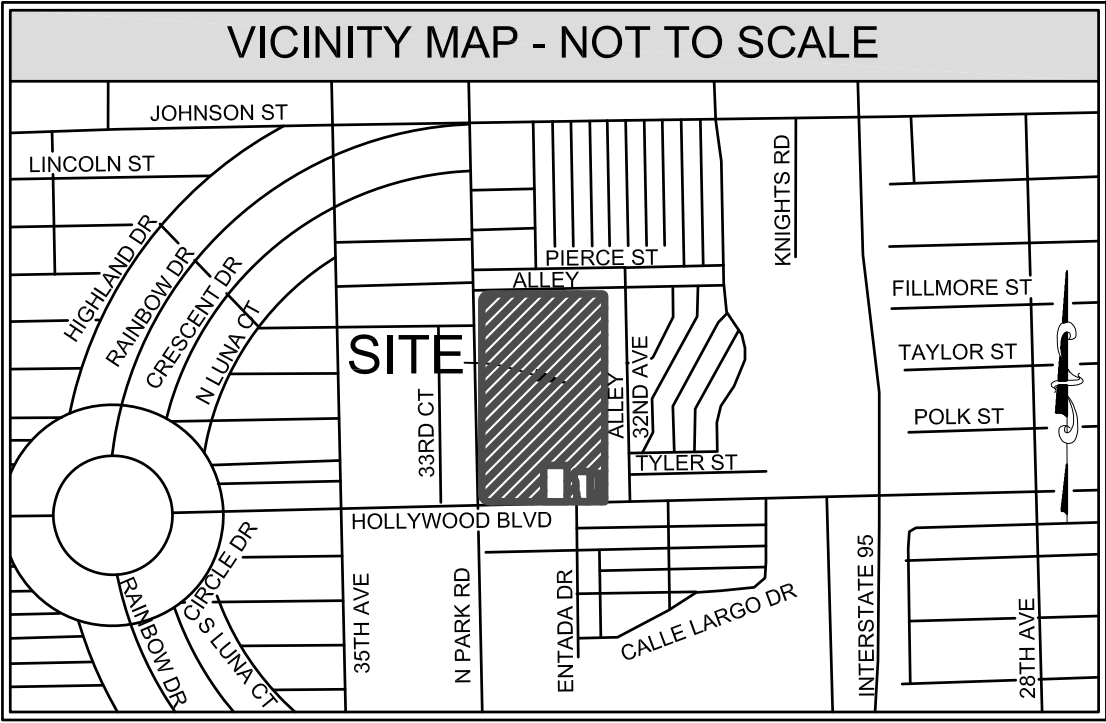
COMMENCING AT THE SOUTHERNMOST SOUTHWEST CORNER OF BLOCK "A"; THENCE EAST, ALONG THE SOUTH LINE OF SAID BLOCK "A", FOR A DISTANCE OF 390.24 FEET TO THE POINT OF BEGINNING; THENCE NORTH, FOR A DISTANCE OF 258.71 FEET; THENCE EAST, FOR A DISTANCE OF 166.46 FEET; THENCE SOUTH, FOR A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK "A"; THENCE WEST, ALONG SAID SOUTH LINE, FOR A DISTANCE OF 166.46 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

EASEMENTS CREATED IN RECIPROCAL ACCESS EASEMENT AGREEMENT RECORDED IN O.R. BOOK 34995, PAGE 1 FOR THE BENEFIT OF THAT PORTION OF PARCEL 2 DESCRIBED BELOW:

LOT 13 LESS THE SOUTH 7.40 FEET THEREOF, AND ALL OF LOTS 14, 15, 16, 17, 18, 19 AND 20 IN BLOCK 9 OF HOLLYWOOD HILLS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 22 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-490213A-HOU1, DATED JULY 19, 2011 AND PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1 OF FIRST AMERICAN TITLE INSURANCE COMPANY, DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019.



# ALTA/NSPS LAND TITLE SURVEY

for  
**HOLLYWOOD HILLS**  
NV5 PROJECT NO. 201900496-1  
HOLLYWOOD BOULEVARD AT NORTH PARK ROAD, HOLLYWOOD, FL 33021

**BASED UPON TITLE COMMITMENT NO. NCS-490213A-HOU1  
OF FIRST AMERICAN TITLE INSURANCE COMPANY  
BEARING AN EFFECTIVE DATE OF JULY 19, 2011**

**AND  
PROPERTY INFORMATION REPORT NO. NCS-947303-A-HOU1  
OF FIRST AMERICAN TITLE INSURANCE COMPANY  
DATED OCTOBER 4, 2011 THROUGH FEBRUARY 25, 2019**

Surveyor's Certification

To: Weingarten Realty; First American Title Insurance Company and Bock & Clark Corporation, an NV5 Company.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, 18, and 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 15, 2019.

## PRELIMINARY

RONNIE JOINER 03-07-2019  
REGISTRATION NO. 6852 DATE  
IN THE STATE OF FLORIDA  
DATE OF FIELD SURVEY: FEBRUARY 15, 2019  
DATE OF LAST REVISION: XXXXXXXX XX, 2019  
NETWORK PROJECT NO. 201900496-1 AAC

SHEET 1 OF 4

**Bock & Clark Corporation**  
an NV5 Company

**NV5**

**Transaction Services 1-800-SURVEYS (787-8397)**  
3550 W. Market Street, Suite 200, Akron, Ohio 44333  
**www.BockandClark.com maywheelpyou@bockandclark.com www.NV5.com**

**SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT**



ITEMS CORRESPONDING TO SCHEDULE B-II

- 3
- Restrictions, dedications, conditions, reservations, easements and other matters shown on the Plat of Orangebrook Golf Estates, as recorded in Plat Book 38, Page 1. (Refers to the subject property, General survey matters, not plotted)
- 4
- Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 2880, Page 797. (As to Parcel 1) (As shown on drawing)
- 5
- Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 2946, Page 681. (As to Parcel 1) (As shown on drawing)
- 6
- Easement for Water, Sewer and Storm Drainage system reserved in Quit Claim Deed from Hollywood, Inc., a Florida corporation and Hollywood Mall, Inc., a Florida corporation to City of Hollywood, a municipal corporation of the State of Florida, recorded in Official Records Book 3379, Page 330 . (As to Parcel 1) (Blanket in Nature)
- 7
- Easement granted to Florida Power & Light Company by instrument recorded in Official Records Book 14452, Page 916. (As to Parcel 1) (As shown on drawing)
- 8
- All of the terms and provisions set forth and contained in that certain Memorandum of Lease recorded in O.R. Book 29395, Page 417. (As to Parcel 1) (Approximate area is shown on drawing)
- 9
- All of the terms and provisions set forth and contained in that certain Short Form of Lease between recorded in O.R. Book 20330, Page 453; as affected by: O.R. Book 29177, Page 852 and O.R. Book 30291, Page 914. (As to Parcel 1) (Approximate area is shown on drawing)
- 10
- The Terms, provisions and conditions contained in that certain Operation and Easement Agreement recorded in O.R. Book 20330, Page 460; as affected by: O.R. Book 29177, Page 827; O.R. Book 29860, Page 1574; and O.R. Book 30291, Page 900. (As to Parcel 1) (Approximate area is shown on drawing)
- 11
- Easements contained in that certain Memorandum of Lease(Shopping Center) recorded in O.R. Book 21399, Page 663. (As to Parcels 1 and 2) (As shown on drawing)
- 12
- The terms, provisions and conditions contained in that certain Covenant Not to Compete recorded in O.R. Book 21399, Page 668. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
- 13
- Declaration of Restrictive Covenant recorded on O.R. Book 28423, Page 946. (Refers to subject property, no plottable survey items)
- 14
- The terms, provisions and conditions contained in that certain Notice Regarding Liens recorded in O.R. Book 29745, Page 1200. (As to Parcels 1 and 2) (Blanket in Nature)
- 15
- Easement granted to Florida Power & Light Company by instrument recorded in O.R. Book 30062, Page 810. (As to Parcel 1) (As shown on drawing)
- 16
- Easements contained in that certain Memorandum of Lease recorded in O.R. Book 30799, Page 1923. (As to Parcel 2) (Refers to surveyed property. No plottable survey items)
- 17
- Reciprocal Access Easement Agreement recorded in O.R. Book 32538, Page 1560. (As to Parcels 1 and 2) (Blanket in Nature)
- 18
- Notice of Lien Prohibition recorded in O.R. Book 33289, Page 1844. (As to Parcel 1) (Blanket in Nature)
- 19
- Notice(s) of Non-Responsibility recorded in Official Records Book 39162, Page 931 and O.R. Book 39162, Page 934. (As to Parcels 1 and 2) (Blanket in Nature)

LEGEND OF SYMBOLS & ABBREVIATIONS

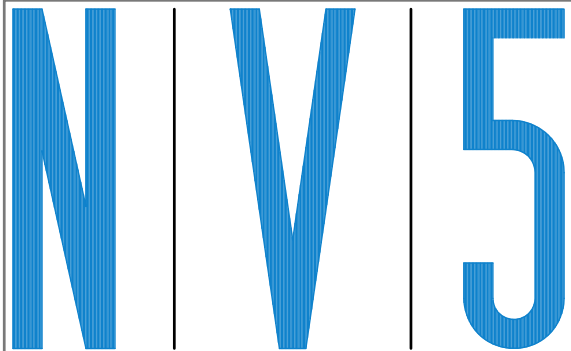
DIST	Disturbed		Fire department connection
EP	Edge of pavement		Drop inlet
IE	Invert Elevation		Storm sewer manhole
IPS	Iron pin set		Parking spaces
NIF	Now or formerly		Handicap (hc)
PB	Plat book		Clean out
PG	Page		Sanitary sewer manhole
POB	Point of Beginning		Fire hydrant
POC	Point of Commencement		Electric box
PVC	Polyvinyl chloride pipe		Grease trap
R/W	Right of way		Nail found
RBF	Rebar found		Iron pin found
RCP	Reinforced concrete pipe		Electric manhole
	Water valve		Capped 1/2\"/>
☆	Light pole		Flood line
			Building overhang/canopy
X			Fence
S			Sanitary sewer line
W			Water pipe
			Adjoiner property line
			Parcel
			Right-of-way
			Easement

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE
C1	18.87'	12.00'	N 45°02'34" E	16.98'	90°05'08"
C2	7.85'	2.50'	S 90°00'00" W	4.99'	180°00'00"
C3	6.22'	3.96'	S 45°00'00" W	5.60'	90°00'00"
C4	4.91'	9.33'	N 14°55'28" W	4.85'	30°09'03"
C5	5.59'	10.67'	N 15°00'00" W	5.52'	30°00'00"
C6	7.33'	9.33'	N 22°30'00" W	7.14'	45°00'00"
C7	8.38'	10.67'	N 22°30'00" W	8.17'	45°00'00"
C8	8.38'	10.67'	N 22°30'00" E	8.17'	45°00'00"
C9	6.39'	9.33'	N 25°22'49" E	6.27'	39°14'23"
C10	78.54'	50.00'	N 45°00'00" W	70.71'	90°00'00"
C11	31.42'	20.00'	S 45°00'00" E	28.28'	90°00'00"

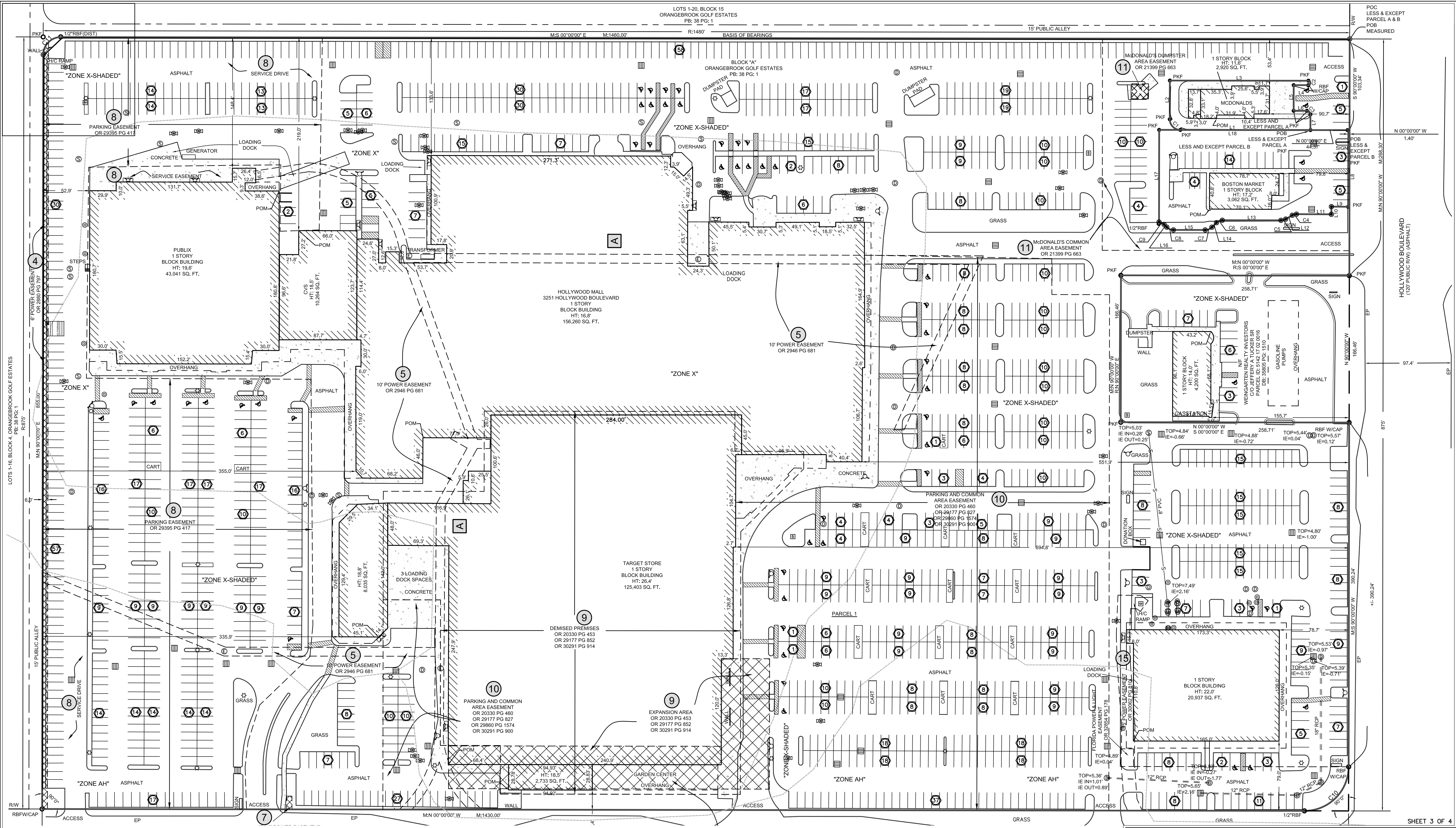
LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°00'00" E	147.32'
L2	S 89°54'52" E	43.90'
L3	S 00°00'00" W	156.76'
L4	N 00°00'00" E	16.50'
L5	S 90°00'00" W	29.00'
L6	S 00°00'00" W	15.04'
L7	S 90°00'00" W	17.96'
L8	N 89°54'52" W	86.87'
L9	N 00°27'02" E	18.91'
L10	N 89°48'08" W	8.69'
L11	N 00°09'03" E	39.56'
L12	N 30°00'00" W	8.69'
L13	N 00°00'00" W	66.45'
L14	N 45°00'00" W	7.35'
L15	N 00°00'00" E	36.00'
L16	N 45°00'00" E	4.41'
L17	S 90°00'00" E	104.46'
L18	S 00°00'00" W	214.30'



ALTA/NSPS LAND TITLE SURVEY  
PREPARED FOR  
**HOLLYWOOD HILLS**  
DATE OF FIELD SURVEY: FEBRUARY 15, 2019  
NETWORK PROJECT NUMBER. 20190000-00  
**1-(800)-SURVEYS (787-8397)**  
TRANSACTION SERVICES  
www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

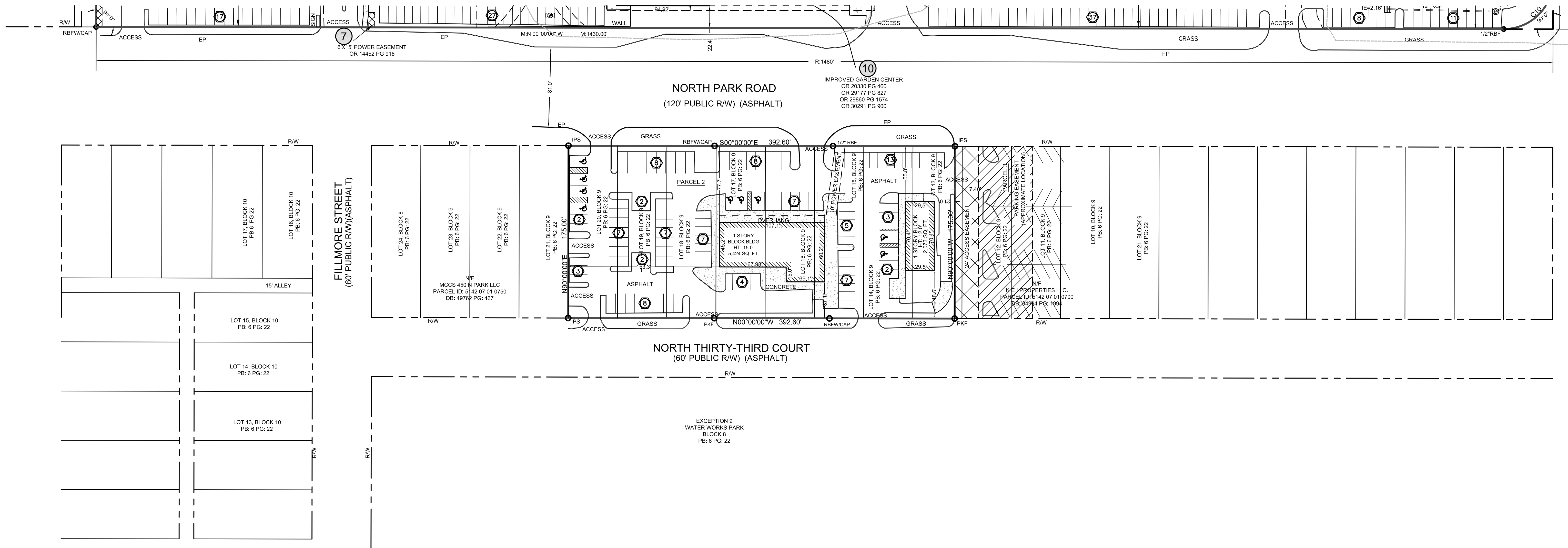
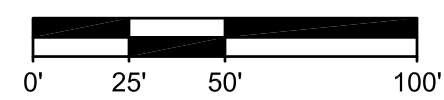








SCALE : 1" = 50'





# ALTA/NSPS

## LAND TITLE SURVEY

### LEGAL DESCRIPTION:

A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK 'A'; THENCE EAST (ASSUMED BEARING), ALONG THE SOUTH LINE OF SAID BLOCK 'A' AND THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD, A DISTANCE OF 163.24 FEET TO THE POINT OF BEGINNING;

THENCE NORTH, A DISTANCE OF 258.71 FEET;  
THENCE EAST, A DISTANCE OF 227.00 FEET;  
THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK 'A';  
THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 58,727 SQUARE FEET (1.35 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.



LOCATION MAP  
NOT TO SCALE

### SURVEYOR'S REPORT:

- THE LAND DESCRIPTION SHOWN HEREON WAS COMPOSED BY THE UNDERSIGNED. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON.
- THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, (NAVD88)
- BEARINGS SHOWN HEREON ARE BASED ON AS ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BENCHMARK REFERENCE: BROWARD COUNTY ENGINEERING DEPT. BM # 2059: BRASS DISC STAMPED BM 191 1978 ON HOLLYWOOD BLVD, 278 FEET WEST OF THE WEST RR TRACK OF THE SEABOARD COASTLINE RAILROAD IN THE NORTH SIDEWALK AT THE NW CORNER OF BRIDGE OVER CANAL, 57 FEET NORTH OF ROAD CENTERLINE. ELEVATION = 5.25 (NAVD88 DATUM)
- THIS ALTA/NSPS LAND TITLE SURVEY IS A BOUNDARY SURVEY. THE EXPECTED USE OF THIS SURVEY IS:  
A) LEASE PARCEL CREATION AND RECORDATION  
B) CIVIL ENGINEERING DESIGN
- THIS SURVEY HAS BEEN PERFORMED ACCORDING TO THE STANDARD OF CARE TO ACHIEVE AN ACCURACY OF 1 : 10,000 (COMMERCIAL HIGH RISK) FOR MAPPED FEATURES SHOWN HEREON.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- ALL DISTANCES AND ELEVATIONS SHOWN ARE IN ACCORD WITH THE UNITED STATES STANDARD IN FEET.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF OWNERSHIP AND ENCUMBRANCE REPORT ISSUED BY PARAMOUNT TITLE SERVICES - SEARCH NO. 18-837-5 CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT PURPORT TO REFLECT OR PREPSENT THE ABSENCE OR EXISTENCE OF ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE PRESENT OR INTENDED USES OF THE SUBJECT PROPERTY: EASEMENTS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, ZONING AND OTHER LAND USE REGULATIONS, THE LOCATION OF SUBSURFACE IMPROVEMENTS, STRUCTURES OR UTILITIES, SUBSURFACE WATER FLOW, BOTH ONTO OR FROM THE SITE, ENVIRONMENTALLY REGULATED OR SENSITIVE LANDS, WESTLANDS, ROADWAYS, STREETS, PROPOSED USES, HISTORICALLY OR ARCHEOLOGICALLY SENSITIVE LANDS OR RIGHT OF ACCESS.
- NO WETLAND MARKERS WERE OBSERVED. NO FIELD DELINEATION OF WETLANDS BY A QUALIFIED SPECIALIST WAS REQUESTED BY THE UNDERSIGNED.
- WITH REGARD TO TABLE A, ITEM 11 (REFERENCED IN THE SURVEYOR'S CERTIFICATION): THIS SURVEY REFLECTS OBSERVED EVIDENCE OF UTILITIES. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY AND COMPLETELY DEPICTED.
- FEMA FLOOD INSURANCE RATE MAP:  
FANEL NUMBER 12011C0568 H  
CITY OF HOLLYWOOD 125113  
FLOOD ZONE FOR THIS PROPERTY: ZONE X  
MAP DATE: 8-18-2014
- GROSS AREA ( TO CENTERLINE) = 72,347 SQ. FT., 1.66 ACRES (+/-)
- NET AREA (LESS RIGHT-OF-WAY) = 58,727 SQ. FT., 1.35 ACRES (+/-)
- ALL MEASUREMENTS, ELEVATIONS AND FEATURES SHOWN WERE SURVEYED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
- THE WORD "CERTIFY" ON THIS SURVEY IS REPRESENTED TO BE A PROFESSIONAL OPINION OF THE UNDERSIGNED, AND NOT AN EXPRESSION OF WARRANTY OR GUARANTEE.

### CERTIFICATION:

TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 11 (LIMITED), 13, 14, 16 AND 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 31, 2018

### SUMMARY TABLE OF ENCUMBRANCES

FROM OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY PARAMOUNT TITLE SERVICES, INC. - SEARCH NO. 18-837-5

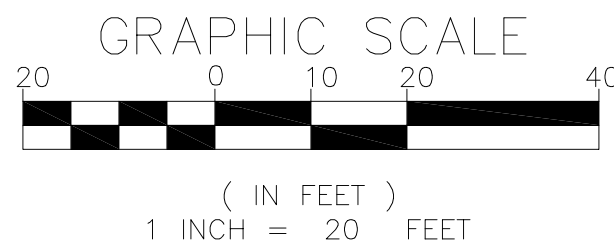
CERTIFIED AUGUST 16, 1955 THROUGH AUGUST 8, 2018

- EASEMENTS, RESTRICTIONS - PLAT OF ORANGEBROOK GOLF ESTATES P.B.38, PG. 1, B.C.R.  
COMMENT: PLAT CONDITIONS SHOWN HEREON.
- EASEMENT: HOLLYWOOD MALL TO F.P.L. - ORB 2946, PG. 681  
COMMENT: DOES NOT AFFECT THIS PROPERTY
- QUIT CLAIM DEED - HOLLYWOOD, INC. TO CITY - SEWER, WATER & DRAINAGE SYSTEMS - ORB 3379, PG. 330, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\* \*(THIS SURVEY)
- OPERATION/EASEMENT AGREEMENT - ORB 20330, PG. 460, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- NOTICE REGARDING LIENS: ORB 29745, PG. 1200, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- FIRST AMENDMENT TO OPERATION & EASEMENT AGREEMENT - ORB 29860, PG. 827, B.C.R.  
COMMENT: DOES NOT AFFECT THIS PROPERTY\*
- EASEMENT - SREG HOLLYWOOD HILLS TO F.P.L. - ORB 30062, PG. 810, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\* - SHOWN HEREON
- SECOND AMENDMENT TO OPERATION AND EASEMENT AGREEMENT - ORB 30291, PG. 900, B.C.R.  
COMMENT: DOES NOT AFFECT THIS PROPERTY\*
- RECIPROCAL ACCESS EASEMENT AGREEMENT - ORB 32538, PG. 1560  
COMMENT: DOES NOT AFFECT THIS PROPERTY\*
- NOTICE OF LIEN PROHIBITION - ORB 33289 PG. 1844, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- NOTICE OF NON-RESPONSIBILITY - ORB 39162 PG.934, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- NOTICE OF NON-RESPONSIBILITY - ORB 47013 PG. 782, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- NOTICE OF NON-RESPONSIBILITY - ORB 47013, PG. 785, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- MORTGAGE/SECURITY AGREEMENT - CFN 113602460, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- ASSIGNMENT OF RENTS - CFN 113602461, B.C.R.  
COMMENT: AFFECTS THIS PROPERTY\*
- SUBORDINATION, NONDISTURBANCE AGREEMENT - CFN 113873331, B.C.R.  
COMMENT: DOES NOT AFFECT THIS PROPERTY\*

		REVISION	DATE	BY	ALTA/NSPS LAND TITLE SURVEY			STEPHEN K. SEELEY, FOR THE FIRM PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 4574	GIBBS LAND SURVEYORS 2131 HOLLYWOOD BOULEVARD, SUITE 204 HOLLYWOOD, FL 33020 (954) 923-7666 LICENSED BUSINESS NO. 7018
					JOB #:RN8823	DATE:08-30-18	DRAWN BY:CM		
					SCALE: 1"=20'	SHEET 1 OF 2	CHECKED BY: SKS		
					NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER				



# ALTA/NSPS LAND TITLE SURVEY



## LEGAL DESCRIPTION:

A PORTION OF BLOCK 'A', ORANGEBROOK GOLF ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 38, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE **SOUTHERNMOST SOUTHWEST CORNER OF SAID BLOCK 'A'**; THENCE EAST (ASSUMED BEARING), ALONG THE SOUTH LINE OF SAID BLOCK 'A' AND THE NORTH RIGHT-OF-WAY LINE OF HOLLYWOOD BOULEVARD, A DISTANCE OF 163.24 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH, A DISTANCE OF 258.71 FEET;  
THENCE EAST, A DISTANCE OF 227.00 FEET;  
THENCE SOUTH, A DISTANCE OF 258.71 FEET TO A POINT ON SAID SOUTH LINE OF BLOCK 'A';  
THENCE WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 227.00 FEET TO THE **POINT OF BEGINNING**.

SAID LAND SITUATED IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, CONTAINING 58,727 SQUARE FEET (1.35 ACRES) MORE OR LESS.

BEARINGS REFERENCED HEREON ARE BASED ON AN ASSUMED MERIDIAN OF EAST FOR THE CENTERLINE OF HOLLYWOOD BOULEVARD.

ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE & SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK OPERATIONS

Call 48 hours  
before you dig

It's the Law!  
-800-432-4770

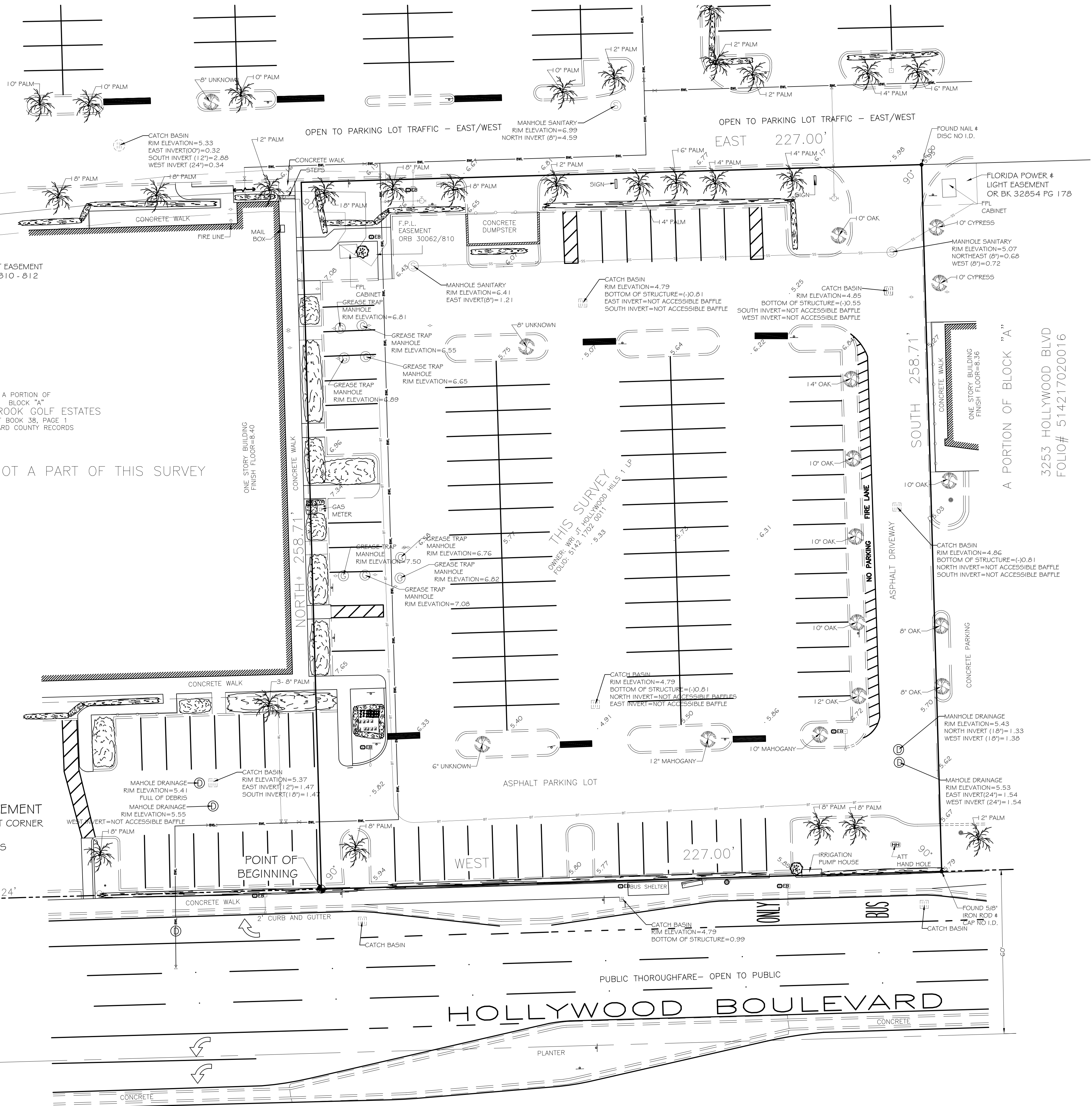


## LEGEND

	ELECTRIC BOX
	BACKFLOW PREVENTOR
	SIAMESE CONNECTION
	BOLLARD
	METAL LIGHT POLE
	GATE VALVE
	WATER METER
	FIRE HYDRANT ASSEMBLY
	MANHOLE - SEE SURVEY
	CATCH BASIN
	WOOD POWER POLE
	CONCRETE POWER POLE
	ANCHOR/GUY WIRE
	CONCRETE LIGHT POLE
	TRAFFIC SIGN POST
	CLEANOUT
	WOOD FENCE
	METAL HAND RAIL
	CONCRETE WALL
	BURIED TELEPHONE
	WATER LINE
	SANITARY SEWER
	CENTERLINE
	RIGHT-OF-WAY LINE
	TREE
	BUSH
	HEDGE
	PALM

## NOTES

- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT. EASEMENTS AND RIGHTS-OF-WAY PER RECORD PLAT HAVE BEEN SHOWN HEREON. NO FURTHER SEARCH FOR MATTERS OF RECORD HAS BEEN MADE BY THIS FIRM.
- THIS SURVEY IS PREPARED FOR THE SOLE AND EXCLUSIVE USE OF THE PARTIES AS SURVEYED FOR AND AS CERTIFIED TO AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- NORTH ARROW RELATIVE IS RELATIVE TO GRID BEARINGS.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.



REVISION	DATE	BY

## ALTA/NSPS LAND TITLE SURVEY

JOB #: RN8823	DATE: 08-30-18	DRAWN BY: CM
SCALE: 1"=20'	SHEET 2 OF 2	CHECKED BY: SKS

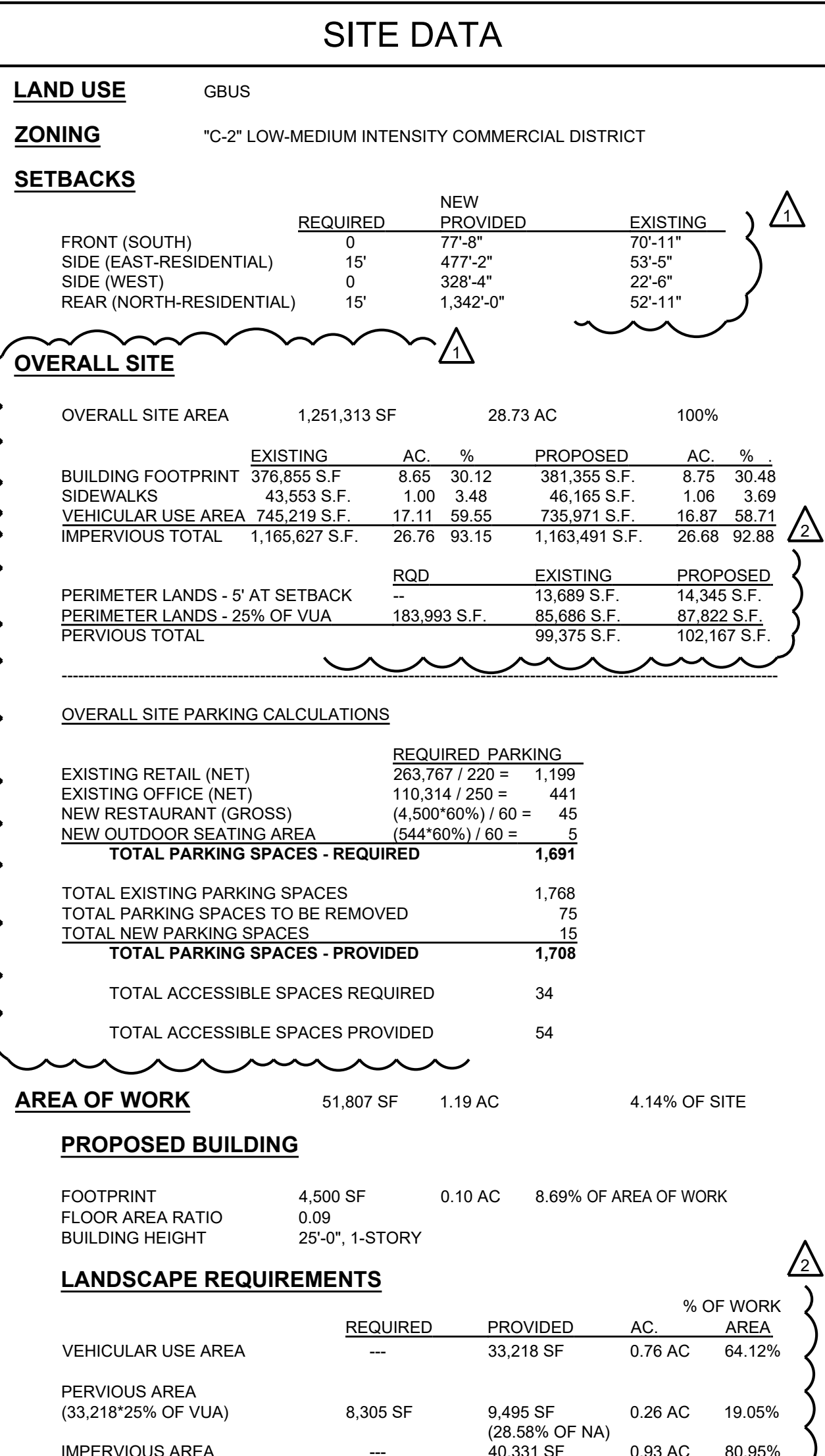
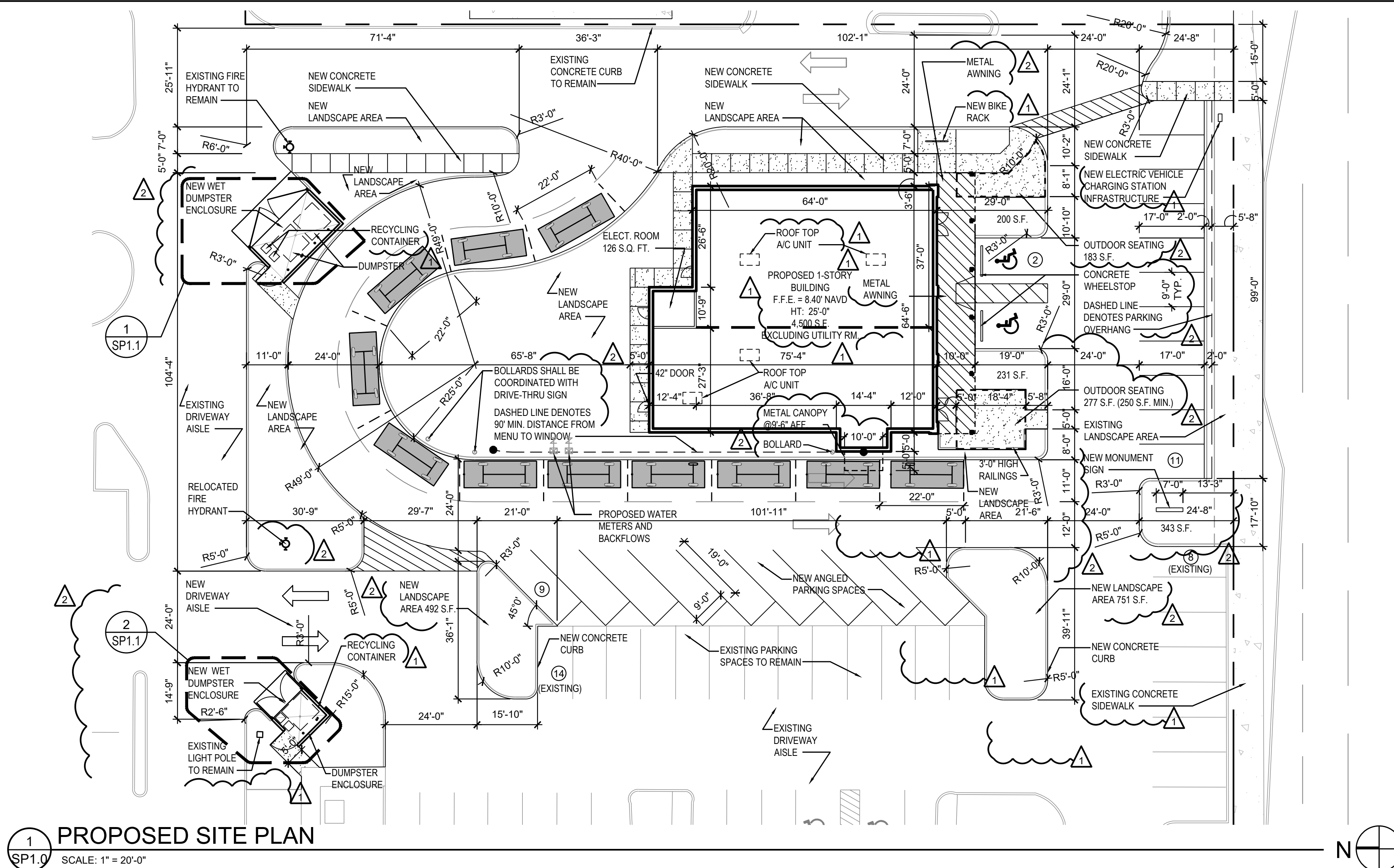
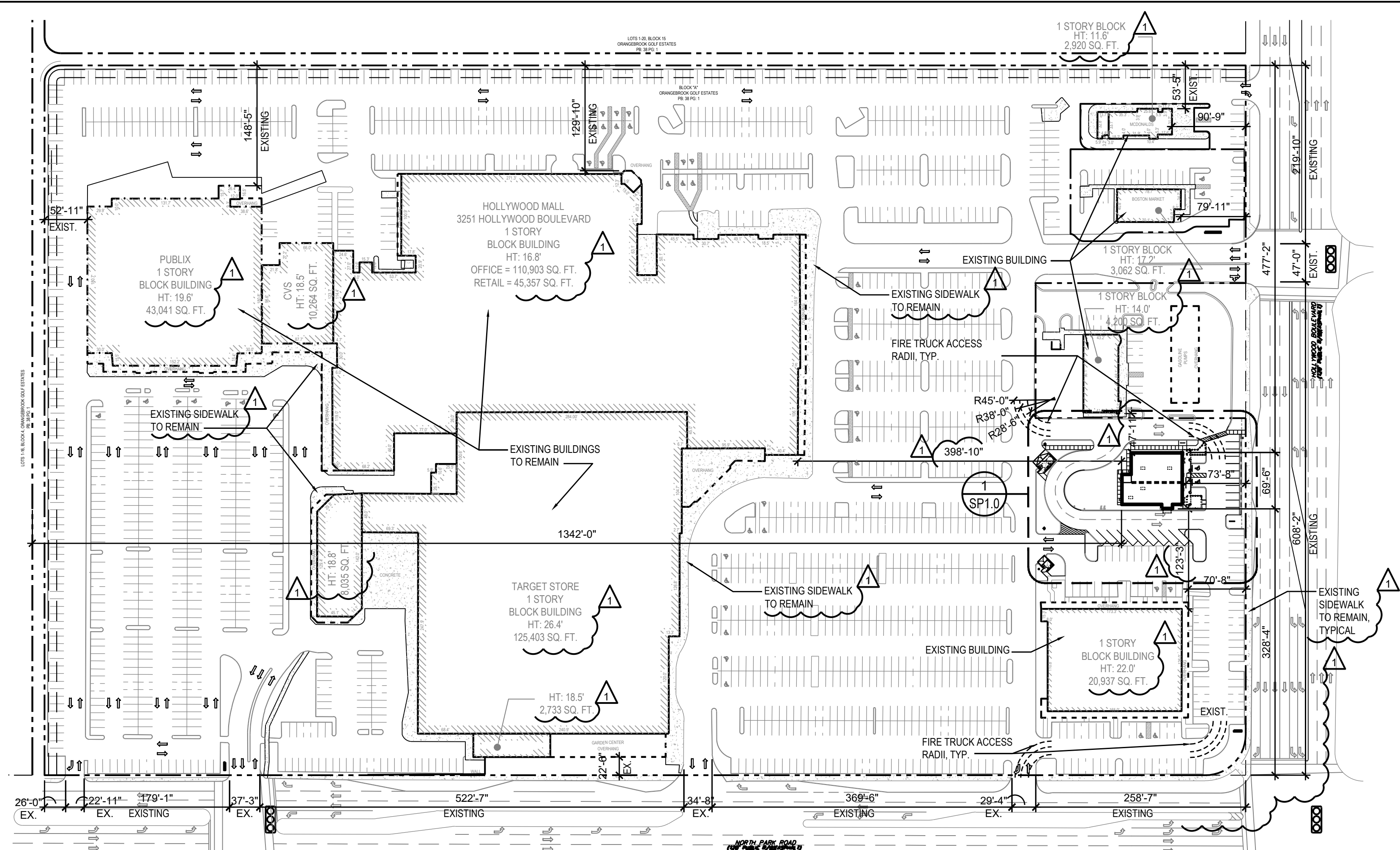
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

STEPHEN K. SEELEY, FOR THE FIRM  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA REGISTRATION NO. 4574

## GIBBS LAND SURVEYORS

2131 HOLLYWOOD BOULEVARD, SUITE 204  
HOLLYWOOD, FL 33020 (954) 923-7666  
LICENSED BUSINESS NO. 7018





**HOLLYWOOD HILLS PLAZA OUTPARCEL  
TAC SUBMITTAL  
3255 HOLLYWOOD BLVD, SUITES 1 & 2  
HOLLYWOOD, FLORIDA**

**SALTZ MICHELSON**  
ARCHITECTS



3501 Griffin Road  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No.:  
2016-109  
Drawn By:  
MG  
Checked By  
MA  
Date:  
03/30/18

REVISIONS

	TAC CO 01.07.19
	TAC CO 03.18.19

Drawing name: S:\Projects\2016\2016-10\Drawings\01.2 TAC Submittal\NB-104 SFD.dwg      Layout Name: SFD      Plotted on: Mar 15, 2019 - 3:29pm

# SP1.0



**HOLLYWOOD HILLS PLAZA OUTPARCEL  
TAC SUBMITTAL**  
3255 HOLLYWOOD BLVD, SUITES 1 & 2  
HOLLYWOOD, FLORIDA

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## REVISIONS

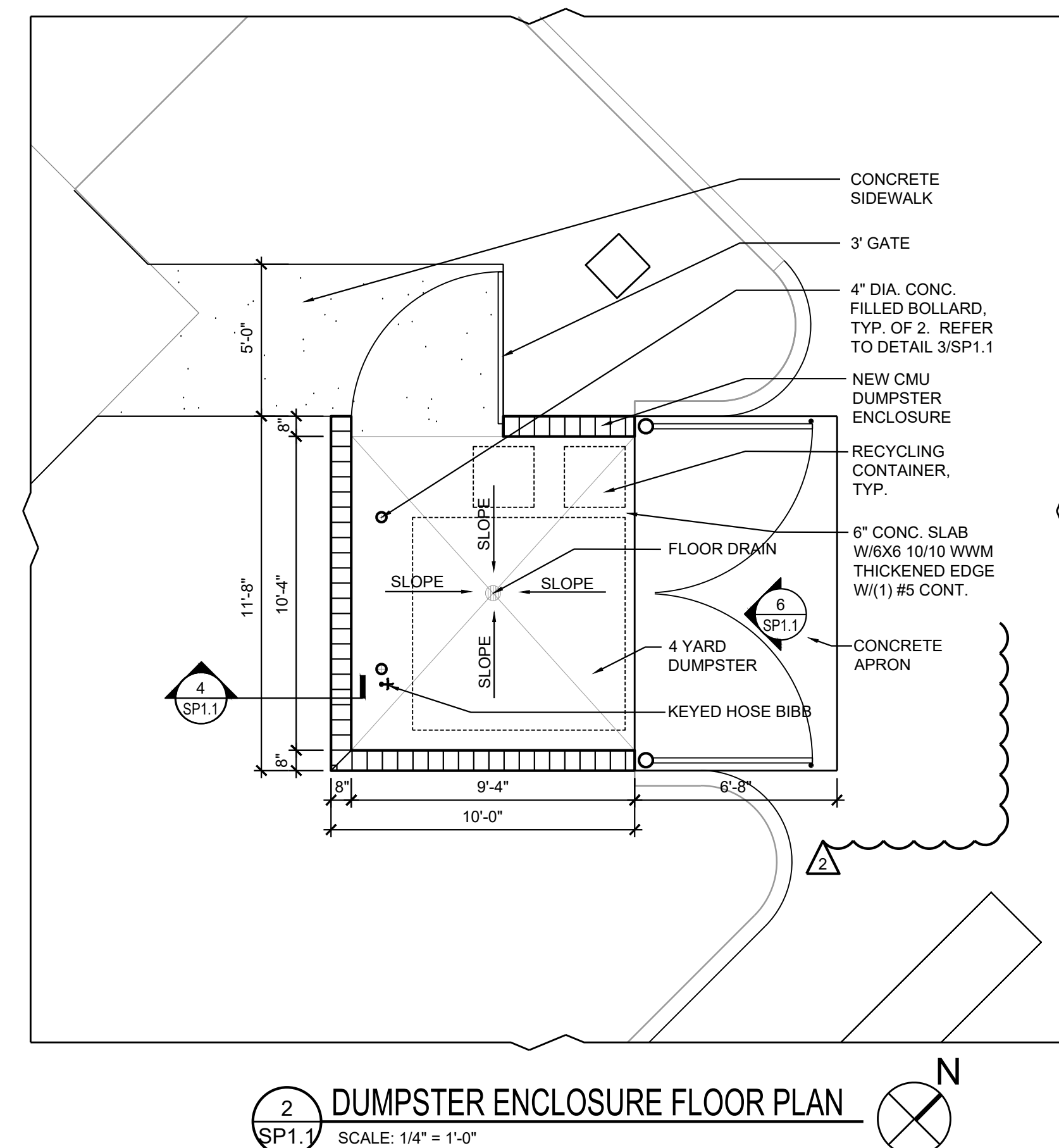
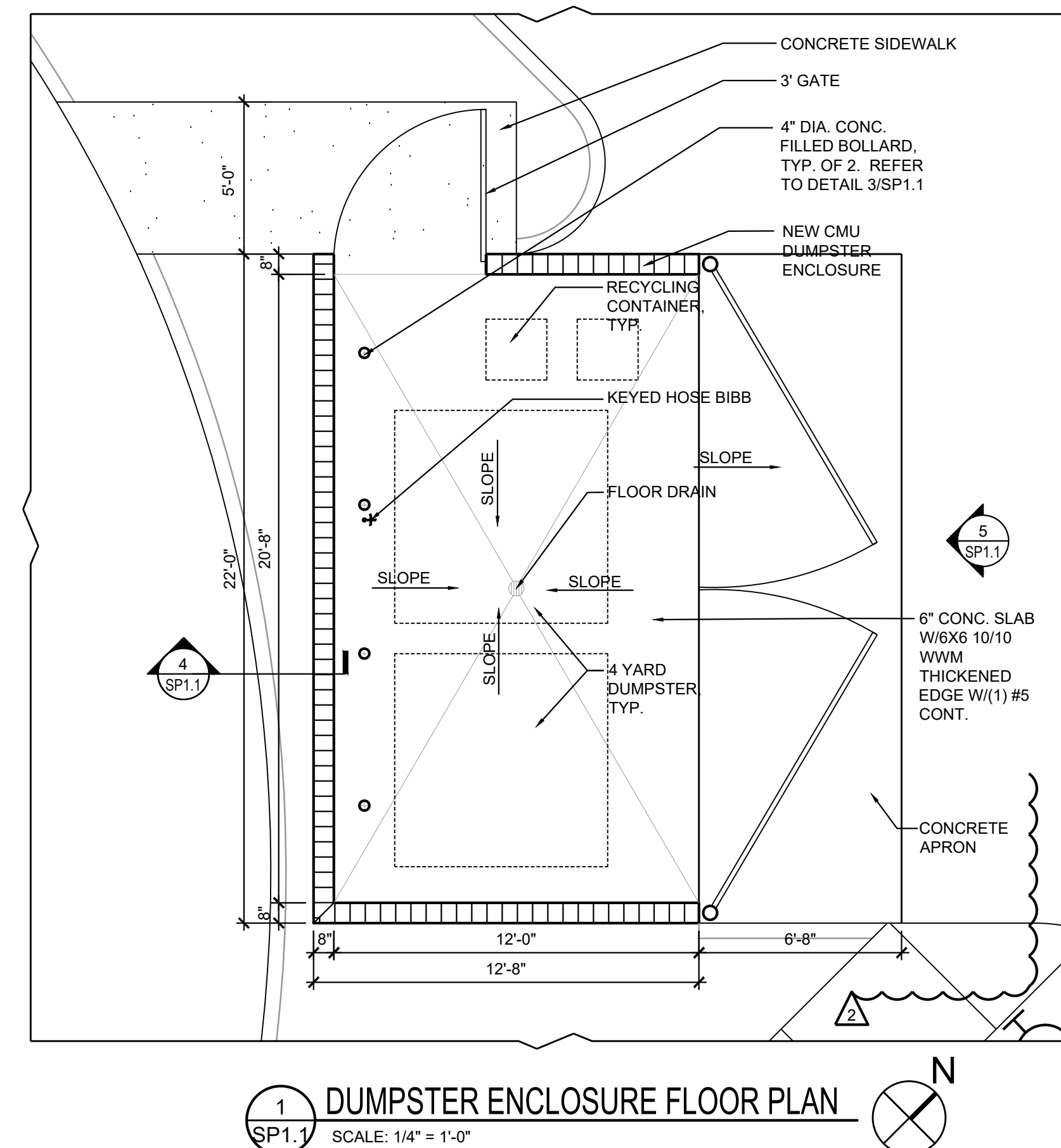
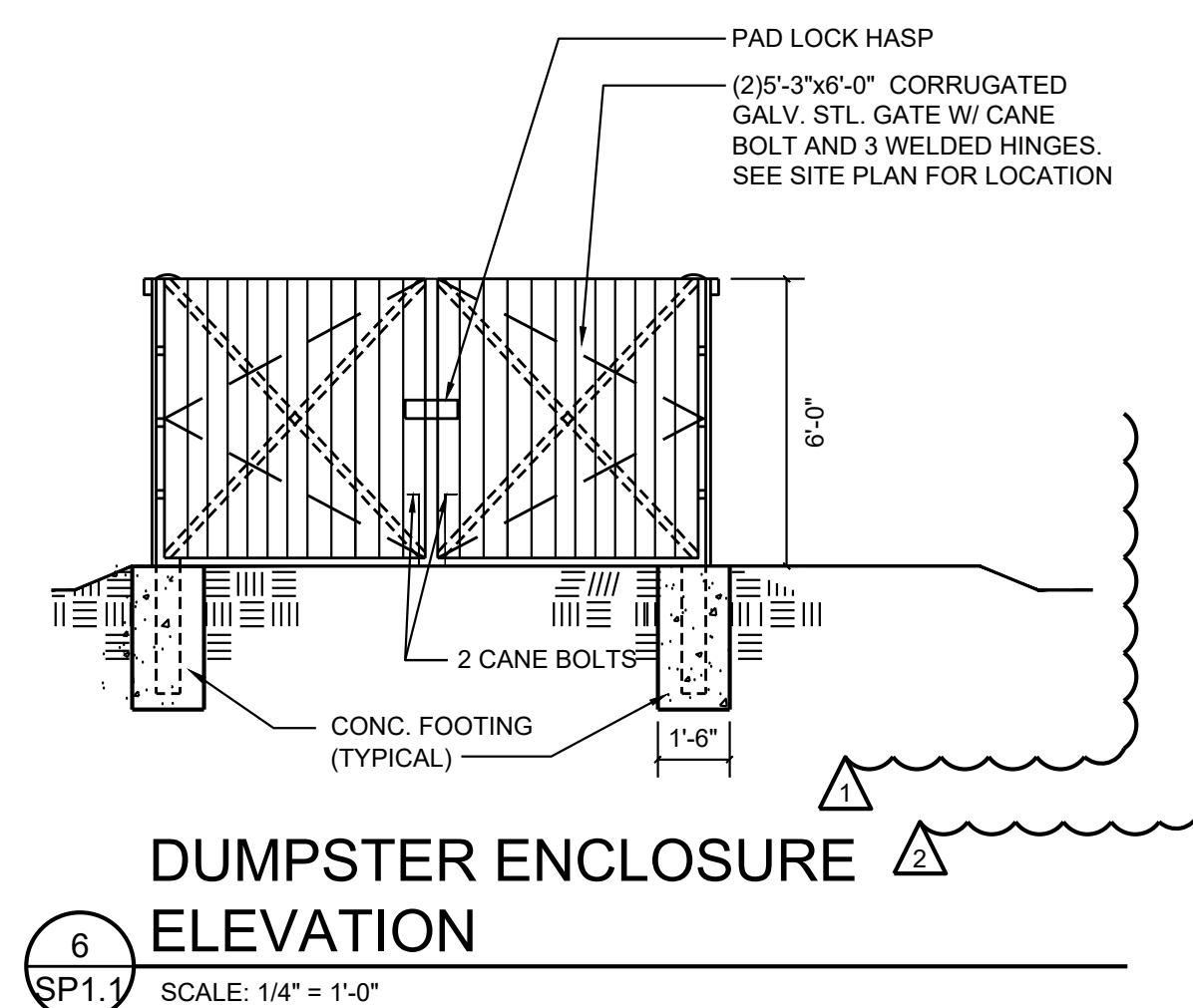
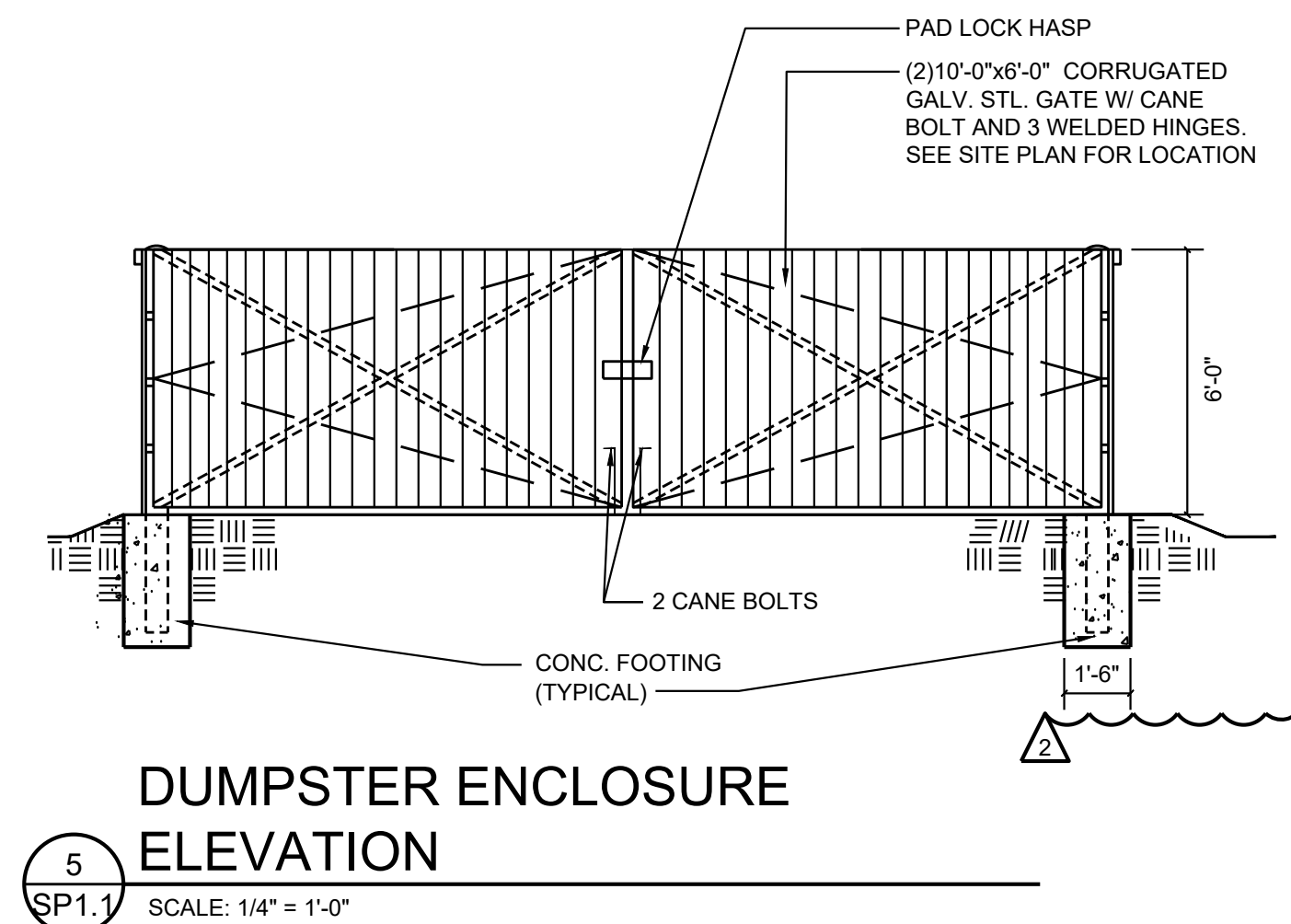
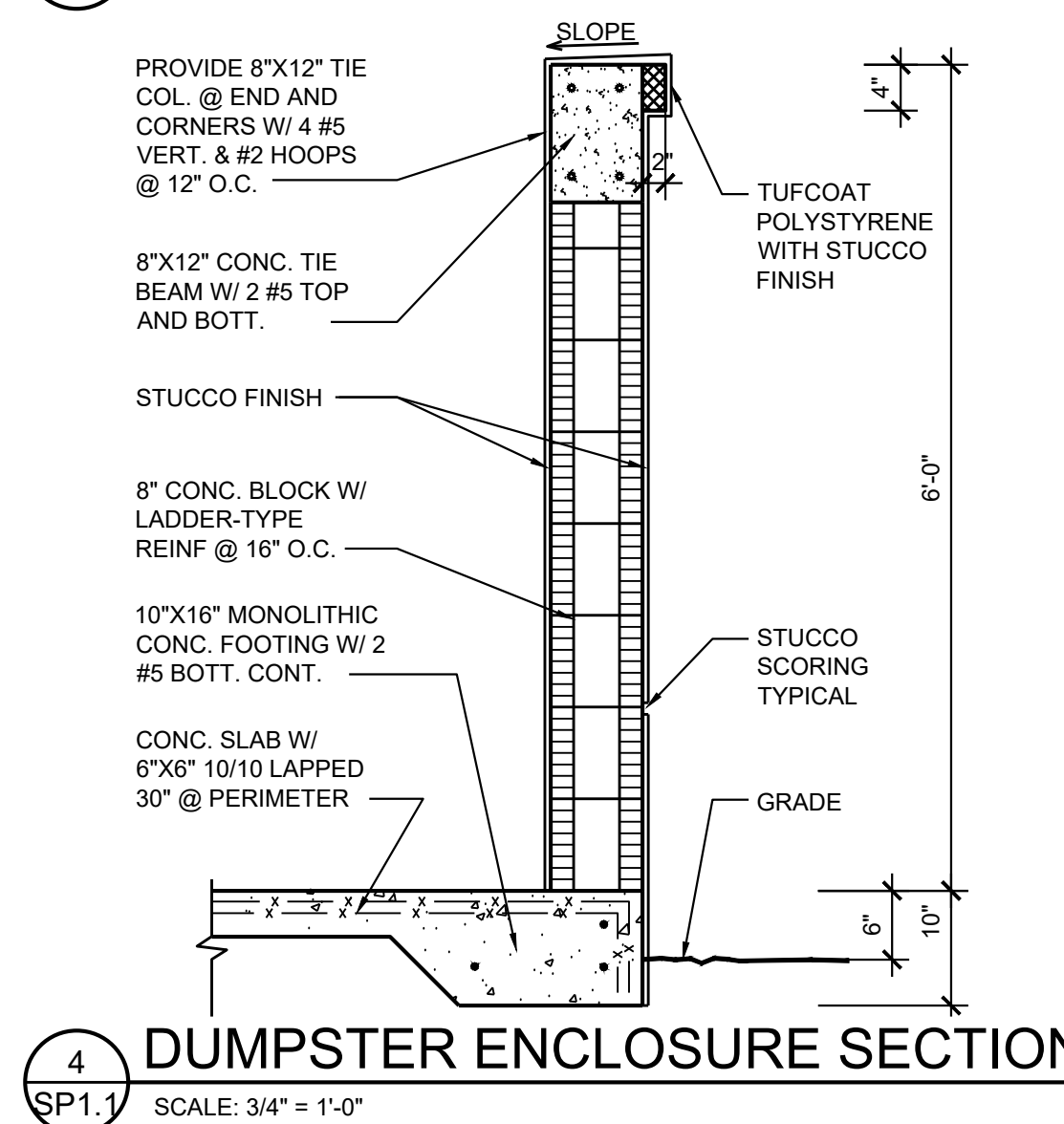
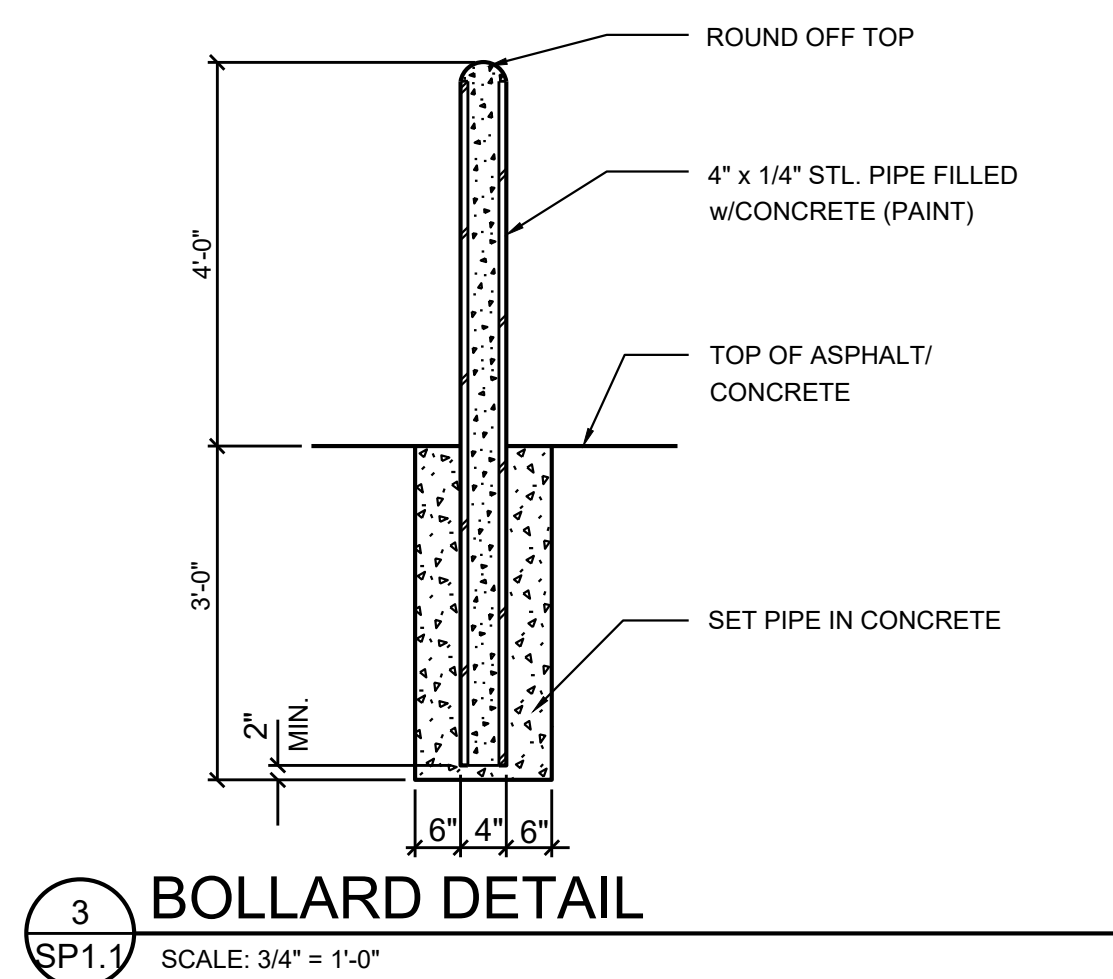
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01.07.19

2 TAC COMM  
03.18.19

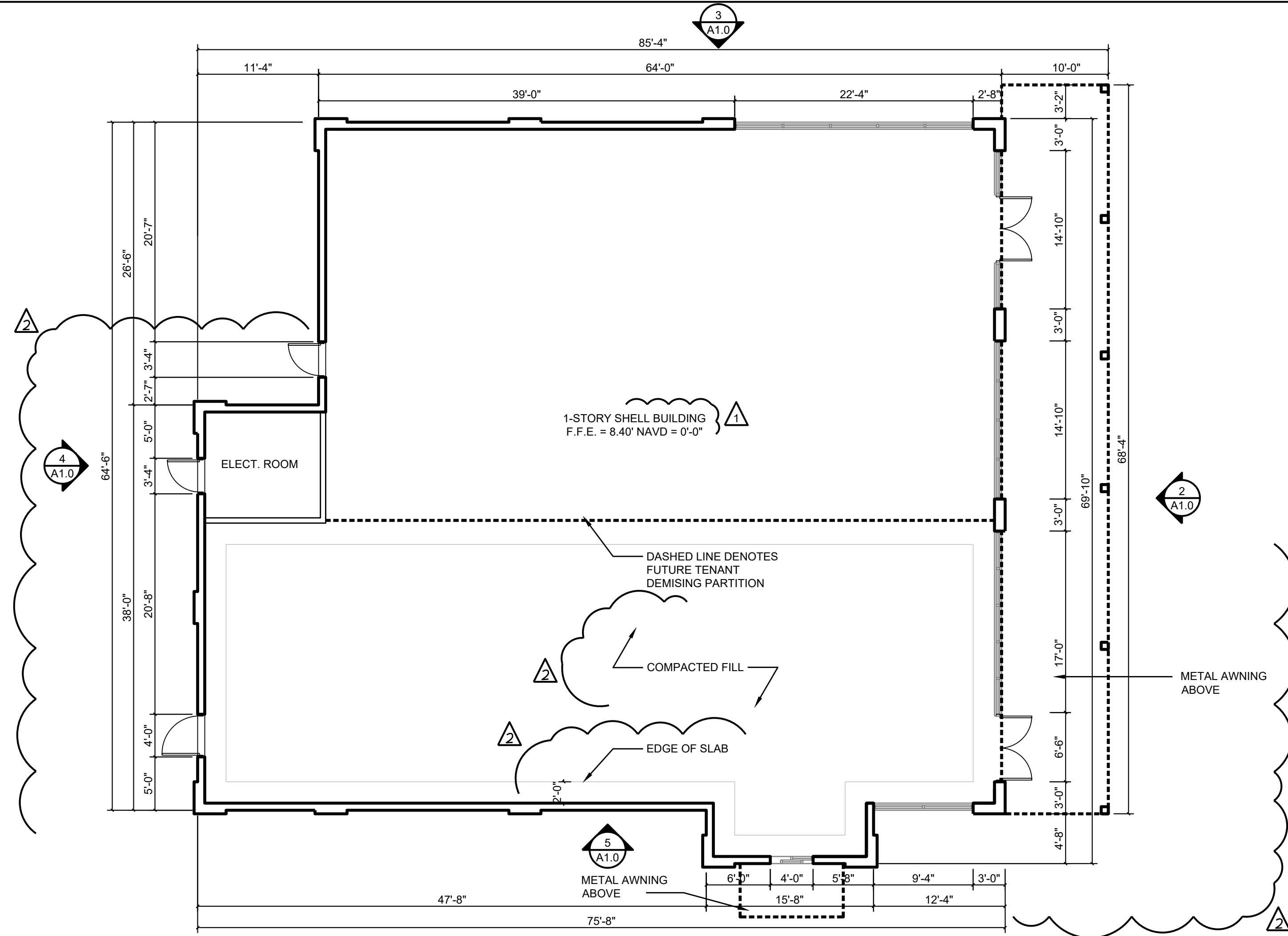
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 Plotted by: jghov  
 Plotted on: Mar 15, 2014 - 3:58pm

NEW SHEET  $\Delta_2$ 

## SP1.1







NOTE: SIGN AREA IS BASED ON 1 S.F. PER 1 L.F. OF TENANT'S FRONTAGE PER THE CITY OF HOLLYWOOD SIGN ORDINANCE, AND ONLY ONE SIGN IS ALLOWED PER STREET SIDE.

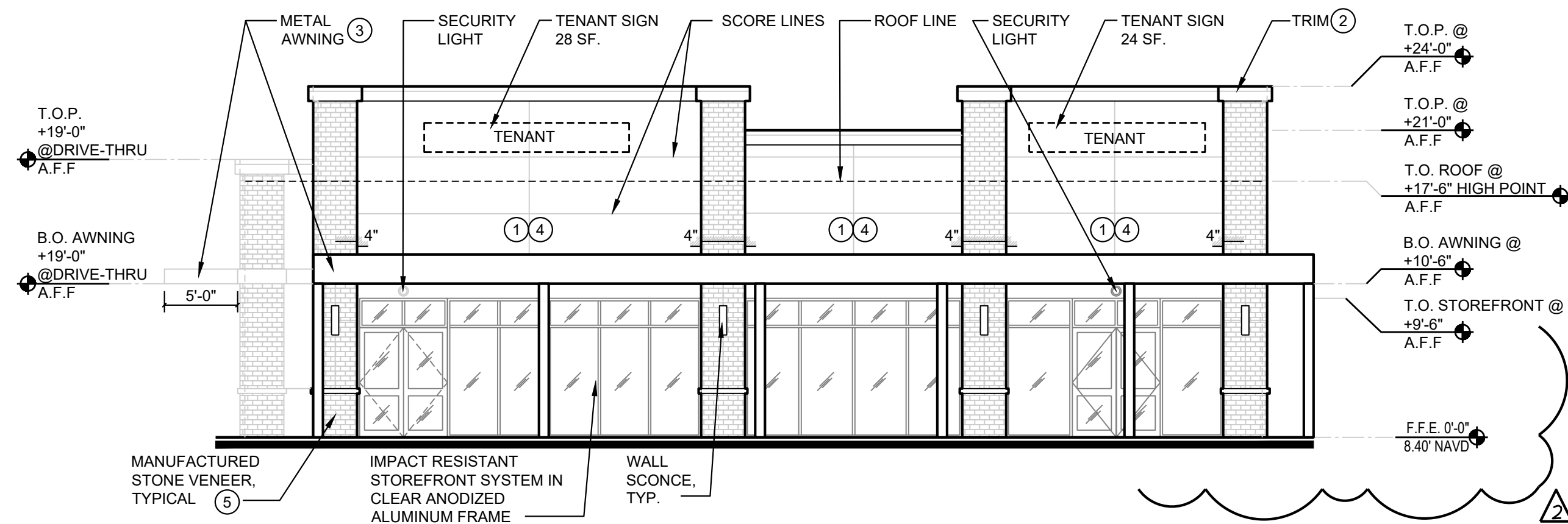
#### COLOR AND FINISHES LEGEND

- |   |                          |  |
|---|--------------------------|--|
| ① | MANUFACTURER:            | SHERWIN WILLIAMS                       |
|   | NAME:                    | IVORY LACE                             |
|   | COLOR:                   | SW 7013                                |
| ② | MANUFACTURER:            | SHERWIN WILLIAMS                       |
|   | NAME:                    | LATTE                                  |
|   | COLOR:                   | SW 6108                                |
| ③ | METAL AWNING             | COLOR TO MATCH CLEAR ANODIZED ALUMINUM |
| ④ | LIGHT LACE STUCCO FINISH |  |
| ⑤ | MANUFACTURER:            | CORONADO STONE                         |
|   | NAME:                    | OLD WORLD LEDGE                        |
|   | COLOR:                   | BURNT OAK                              |

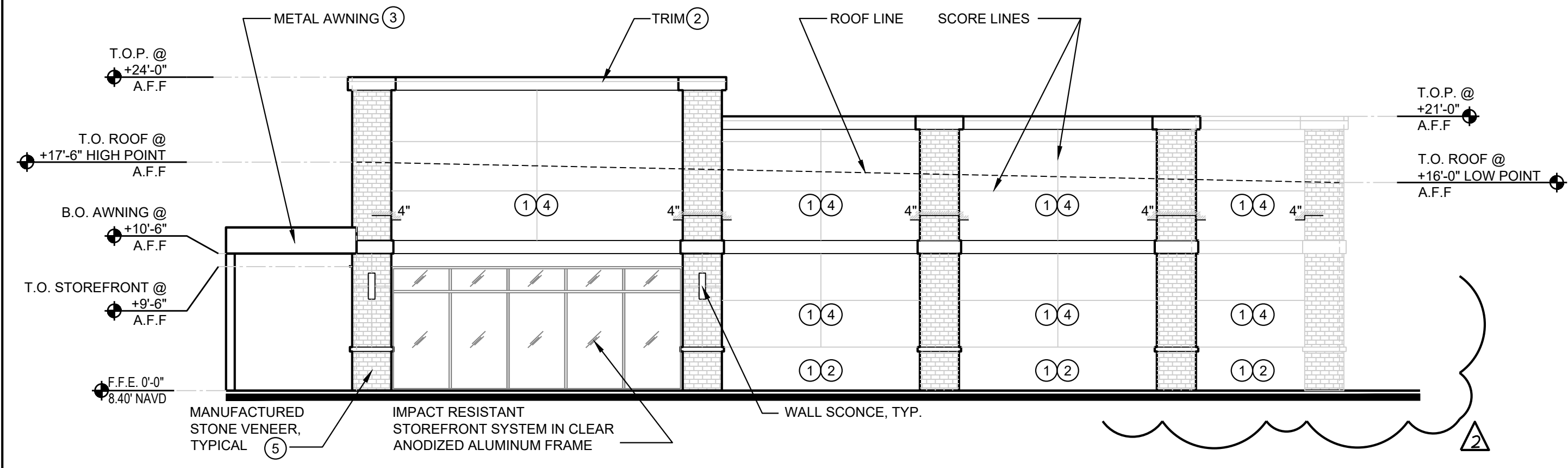
#### GREEN BUILDING INITIATIVES NOTES

1. RECYCLE MATERIALS FROM DEMOLITION OF THE PARKING AREA AND CONSTRUCTION WASTE TO THE GREATEST EXTENT POSSIBLE.
2. USE LOW VOC MATERIALS.
3. AN EFFORT WILL BE MADE TO INCORPORATE SUSTAINABLE BUILDING MATERIALS TO THE PROJECT
4. BUILDING SHALL COMPLY WITH THE GREEN BUILDING ORDINANCE BY INCORPORATING THE FOLLOWING GREEN BUILDING PRACTICES: 1. BIKE RACK; 2. INFRASTRUCTURE FOR ELECTRIC VEHICLE; 3. RECYCLING BINS; 4. WHITE TPO ROOF; 5. CENTRAL A/C 18 SEER MINIMUM; 6. ENERGY EFFICIENT WINDOWS; 7. ENERGY EFFICIENT DOORS; 8. PROGRAMMABLE THERMOSTATS; 9. OCCUPANCY / VACANCY SENSORS; 10. ALL ENERGY EFFICIENT OUTDOOR LIGHTING

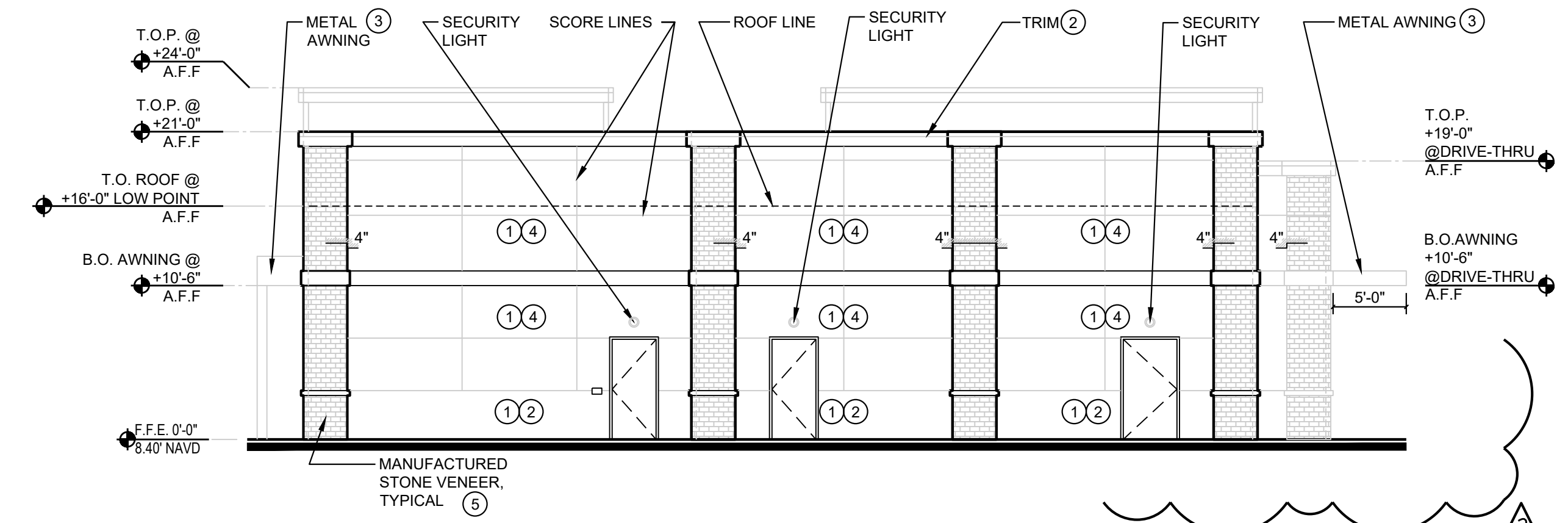
1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



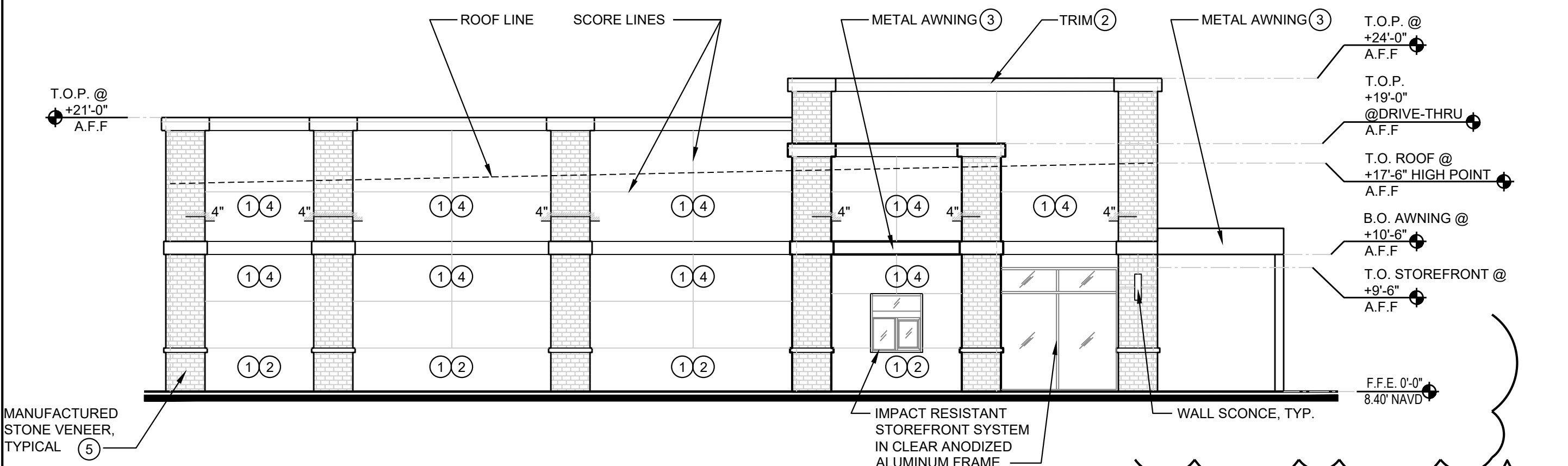
2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

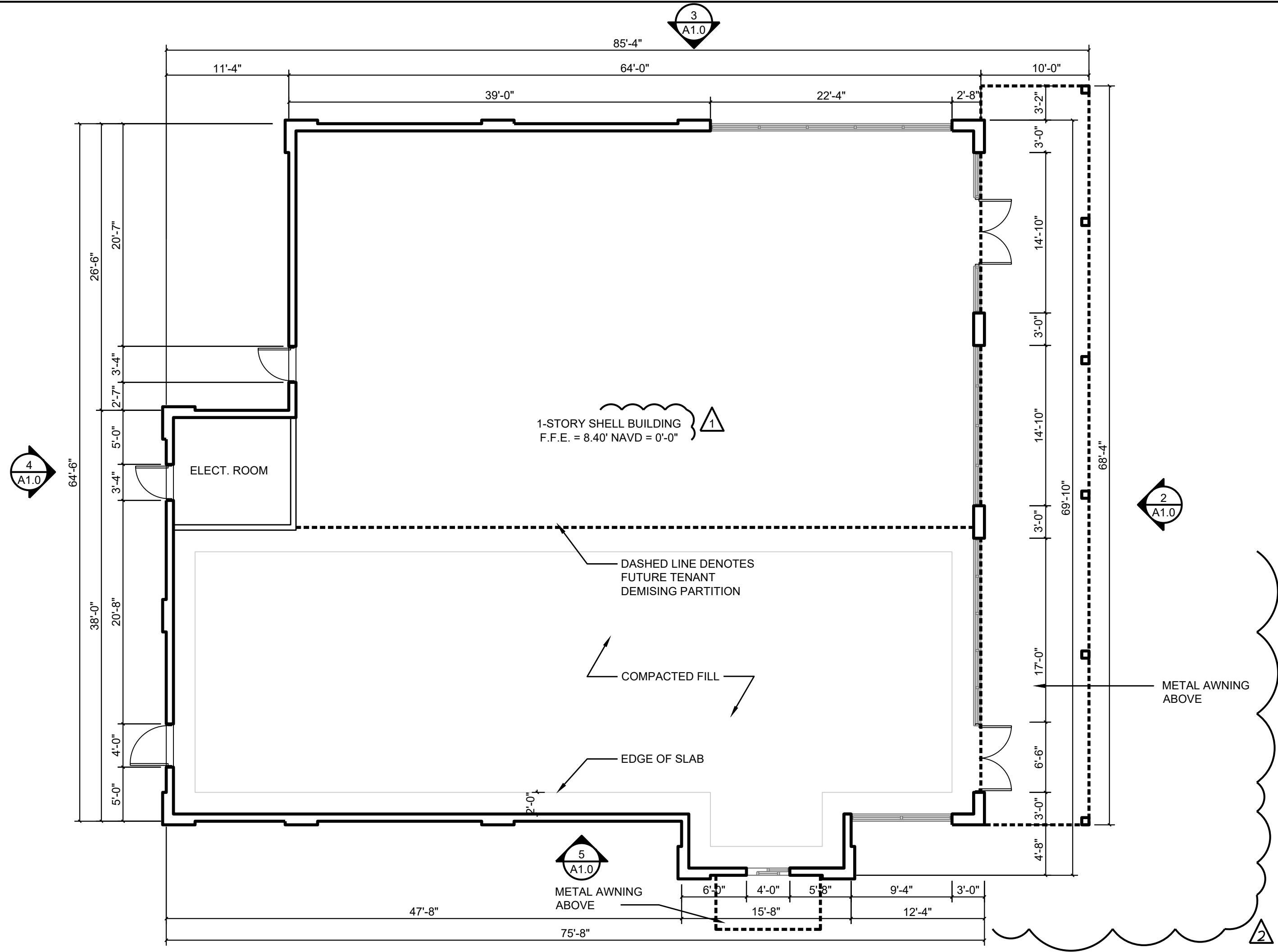


4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION  
SCALE: 1/8" = 1'-0"





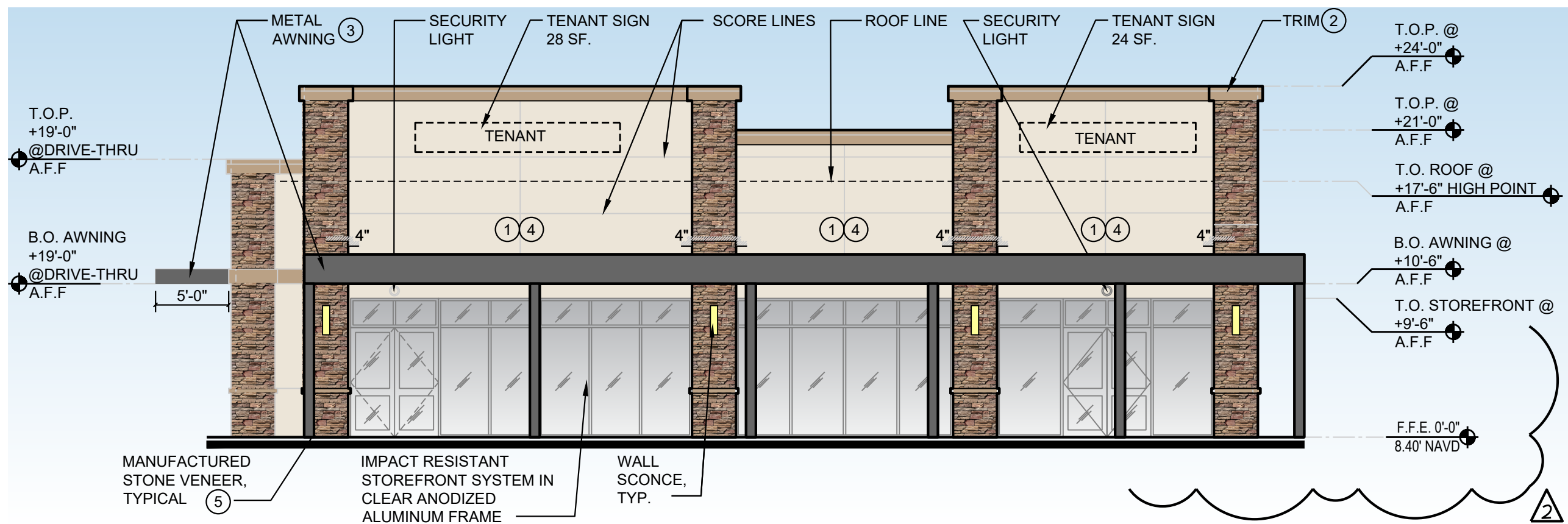
NOTE: SIGN AREA IS BASED ON 1 S.F. PER 1 L.F. OF TENANT'S FRONTAGE PER THE CITY OF HOLLYWOOD SIGN ORDINANCE, AND ONLY ONE SIGN IS ALLOWED PER STREET SIDE.

COLOR AND FINISHES LEGEND	
① MANUFACTURER:	SHERWIN WILLIAMS
NAME:	IVORY LACE
COLOR:	SW 7013
② MANUFACTURER:	SHERWIN WILLIAMS
NAME:	LATTE
COLOR:	SW 6108
③ METAL AWNING	COLOR TO MATCH CLEAR ANODIZED ALUMINUM
④ LIGHT LACE STUCCO FINISH	
⑤ MANUFACTURER:	CORONADO STONE
NAME:	OLD WORLD LEDGE
COLOR:	BURNT OAK

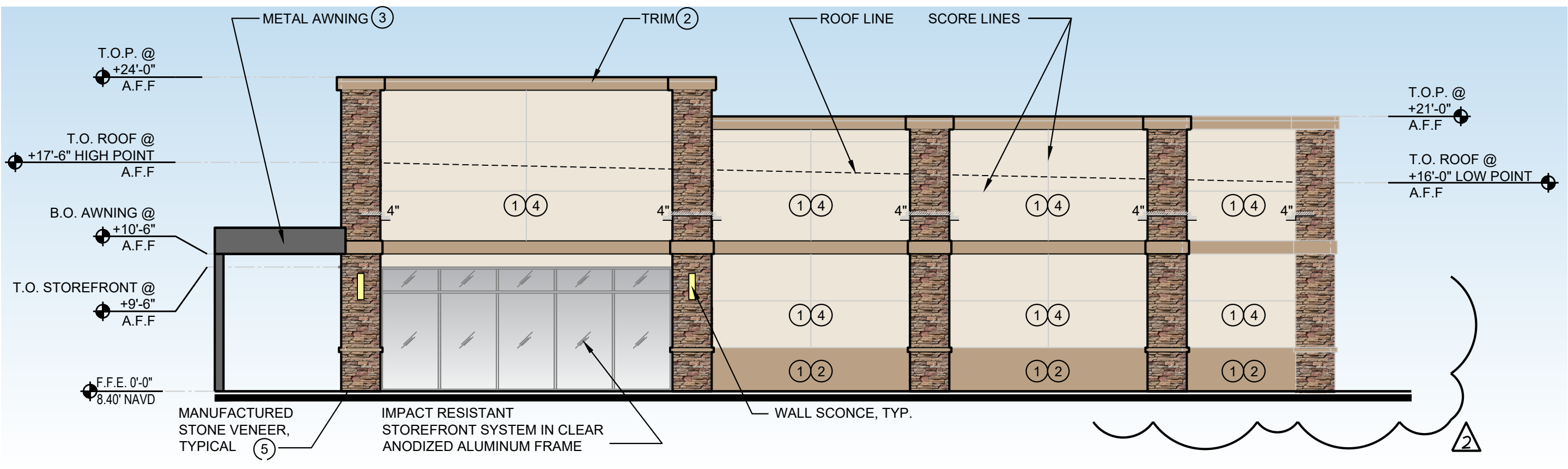
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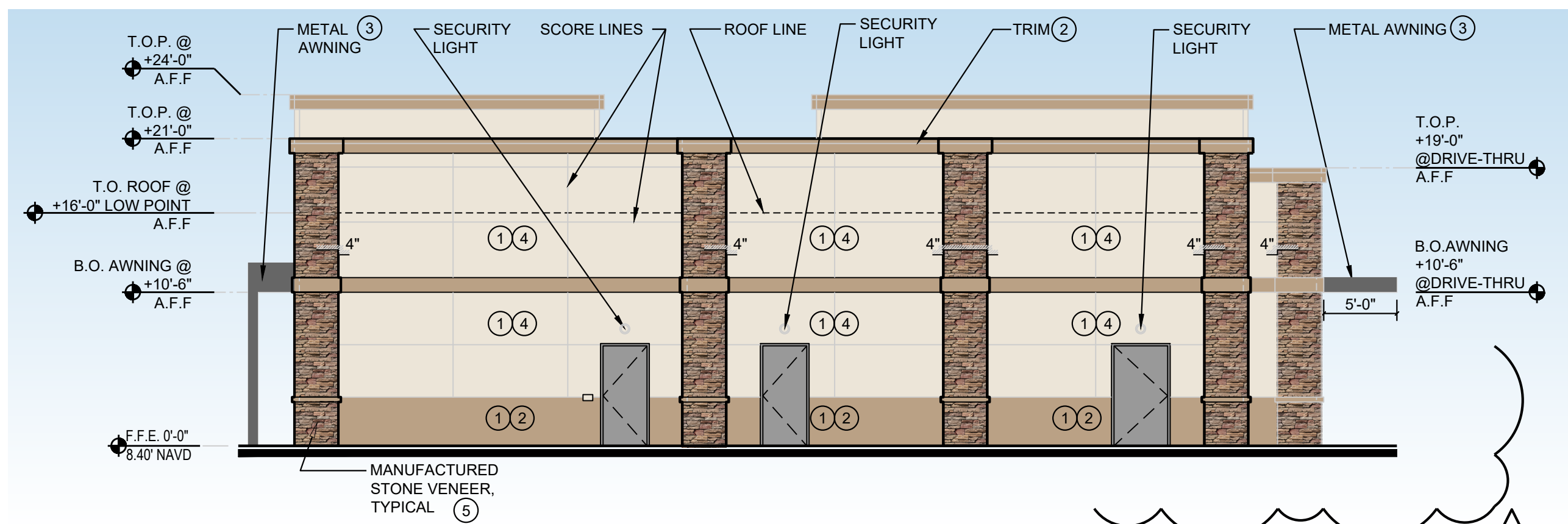
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SCALE: 1/8" = 1'-0"



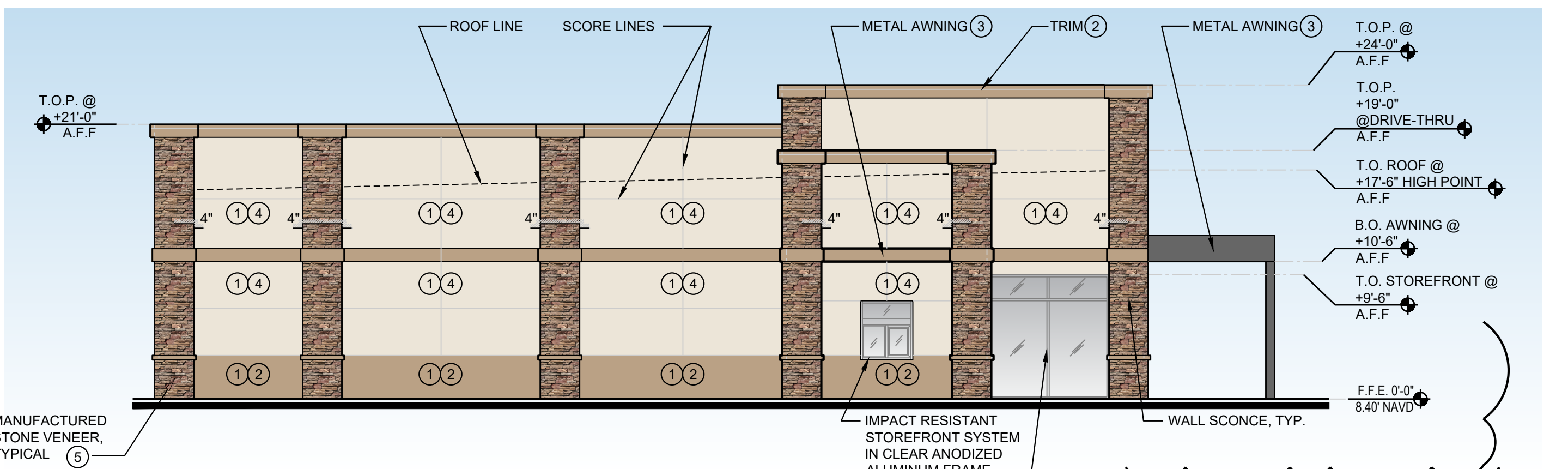
2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



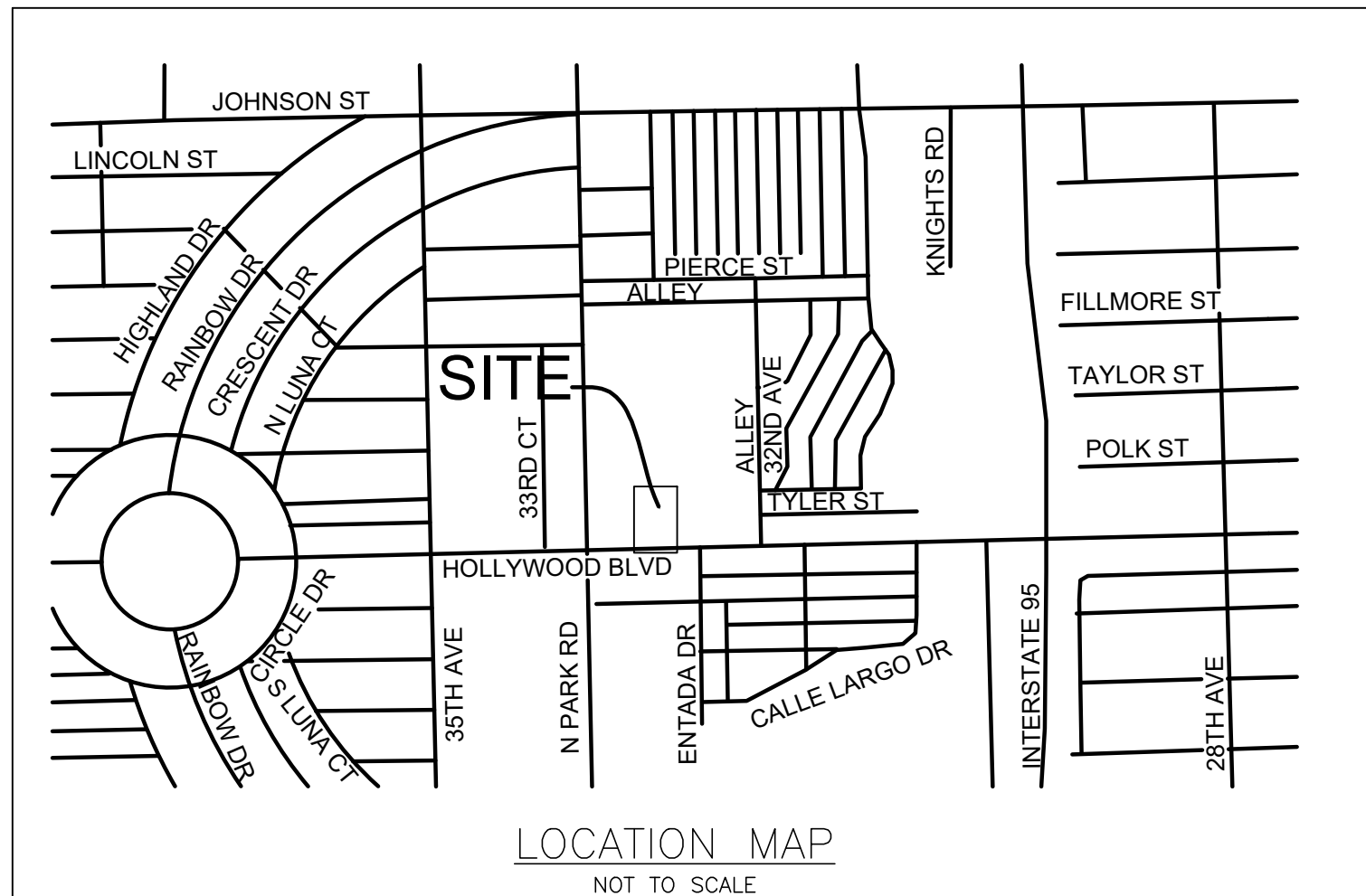
4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



ELEVATIONS ARE BASED UPON N.A.V.D. 1988



HOLLYWOOD HILLS PLAZA OUTPARCEL  
TAC SUBMITTAL  
HOLLYWOOD, FLORIDA

**SALTZ MICHELSON**  
ARCHITECTS

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(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

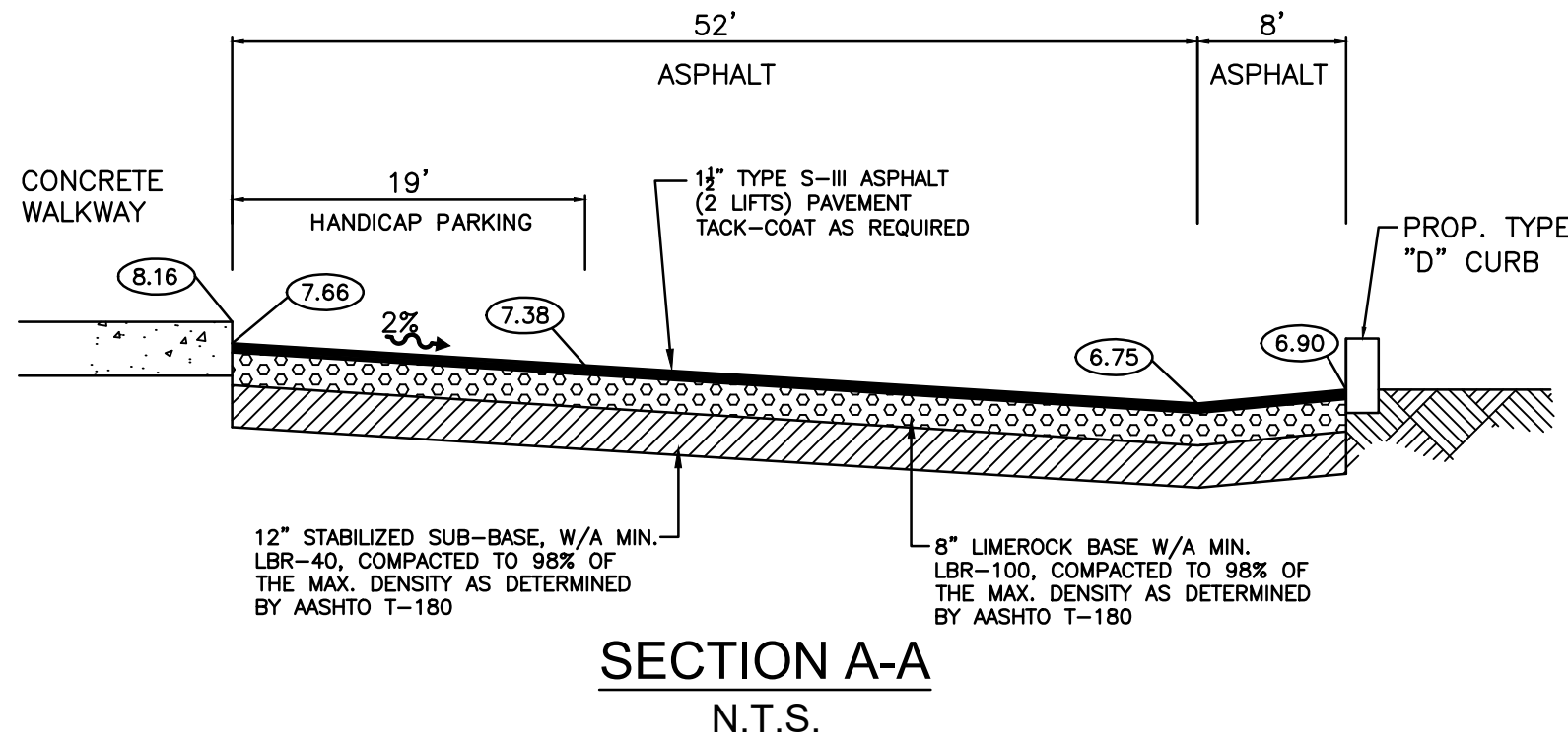
AA-0002897

Mark L. Saltz AR007171

Project No.:  
2016-109  
Drawn By:  
MG  
Checked By:  
MA  
Date:  
01/07/19

REVISIONS  
REV. 1 TAC COMMENTS 01.07.19  
REV. 2 TAC COMMENTS 03.18.19

- NOTES:
1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
  2. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
  3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
  4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
  5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
  6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
  7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
  8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
  9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
  10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
  11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
  12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
  13. FEMA FLOOD ZONE X.



- LEGEND**
- |  |                                 |  |                                  |
|--|---------------------------------|--|----------------------------------|
|  | PROPOSED ASPHALT                |  | EXISTING CATCH BASIN             |
|  | PROPOSED CONCRETE               |  | EXISTING ELEVATION               |
|  | PROPOSED ELEVATION              |  | EXISTING WOOD POWER POLE         |
|  | PROPOSED SURFACE FLOW           |  | EXISTING MANHOLE (AS DESIGNATED) |
|  | PROPOSED WATER METER            |  | EXISTING WATER METER             |
|  | PROPOSED CATCH BASIN            |  | EXISTING FENCE                   |
|  | PROPOSED SIGN (AS INDICATED)    |  |                                  |
|  | PROPOSED CLEANOUT               |  |                                  |
|  | PROPOSED RPZ BACKFLOW PREVENTER |  |                                  |
|  | PROPOSED PIPING                 |  |                                  |

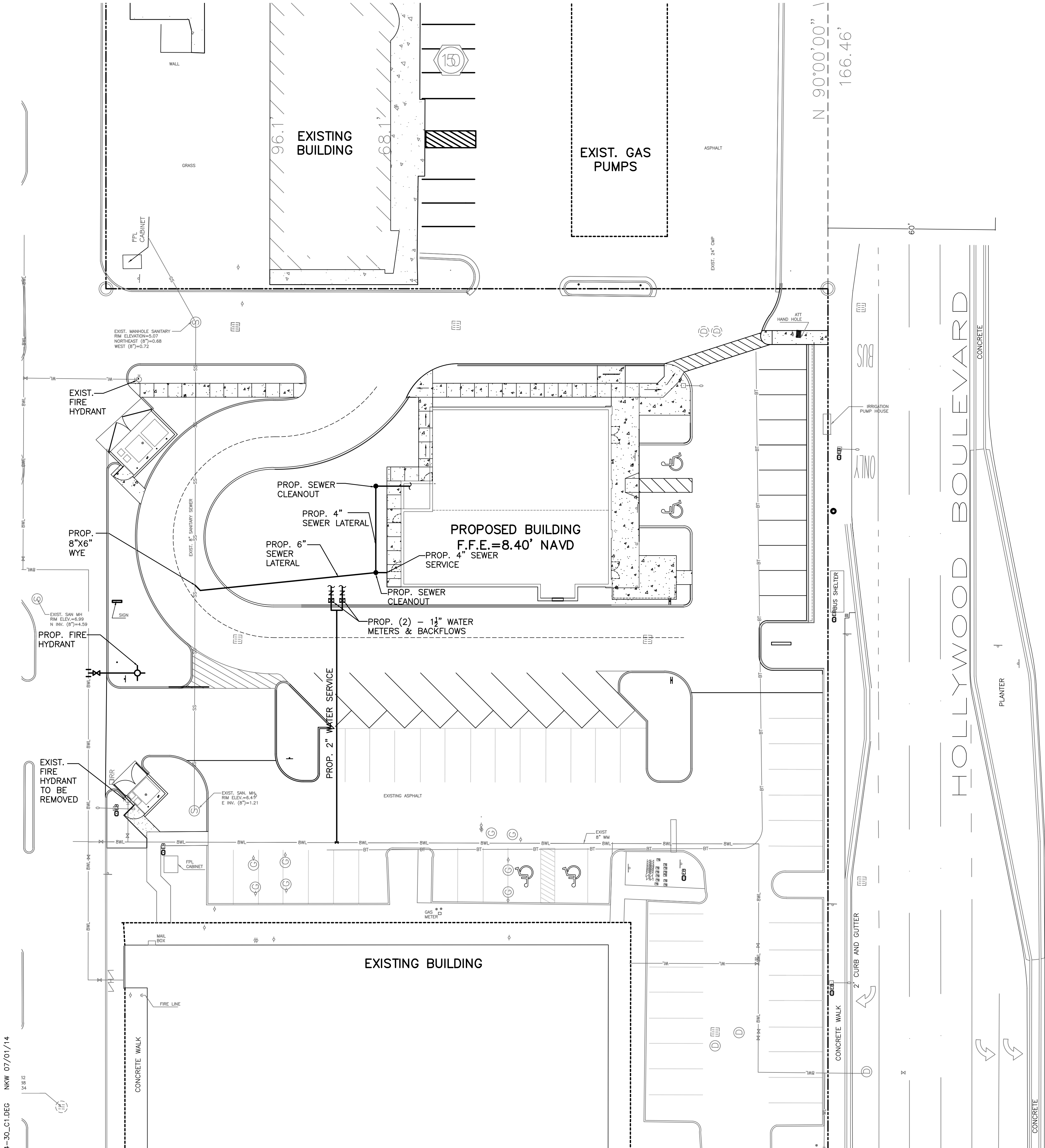
**HOLLAND ENGINEERING INC.**  
civil engineers  
1120 SE 3RD AVENUE - FORT LAUDERDALE - FL 33316  
(954) 367-0371  
CA 7325  
SUSAN C. HOLLAND, PE  
Lic. no. 41831

PAVING, GRADING & DRAINAGE PLAN

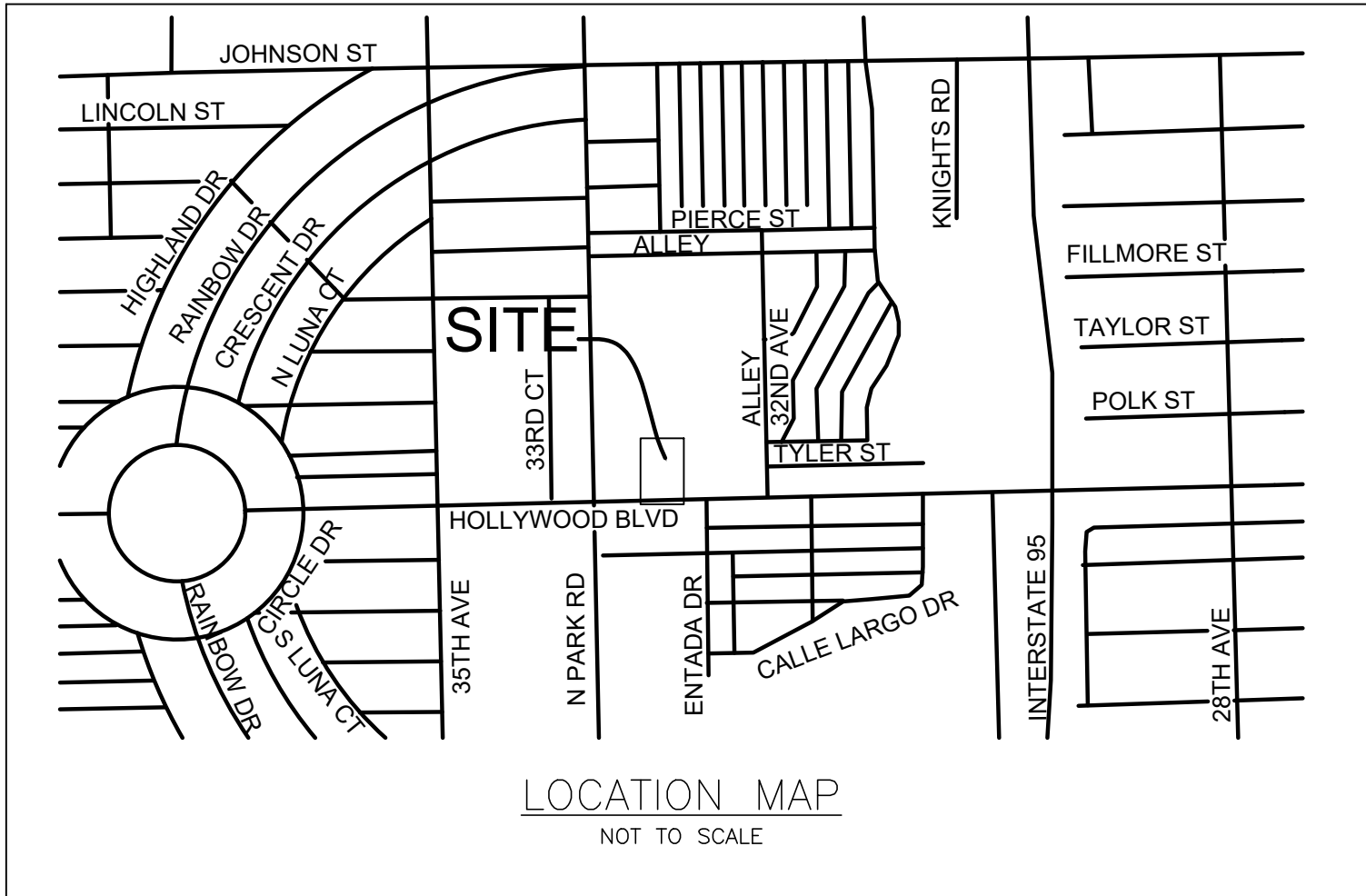
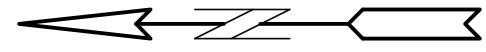
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



1/20AD:14=30/14=30\_C1.DWG NKW 07/01/14



ELEVATIONS ARE BASED UPON N.A.V.D. 1988



**WATER AND SEWER DEMAND**


150 SEAT RESTAURANT WITH DRIVE-THRU  
150 SEATS X 35 GPD/SEAT = 5,250 GPD

WATER MAINS AND HYDRANTS SHALL BE COMPLETED AND IN SERVICE PRIOR TO COMMERCIAL VERTICAL CONSTRUCTION ON ANY BUILDING OR BRINGING IN COMBUSTIBLE STOCK ON SITE PER NFPA 1, 16.4.3.1.1.

- NOTES:**
1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
  2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER MAIN AND CONFIRM DEPTH OF PIPE.
  3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
  4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND	
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
	PROPOSED WATER METER
	PROPOSED CATCH BASIN
	PROPOSED SIGN (AS INDICATED)
	PROPOSED CLEANOUT
	PROPOSED RPZ BACKFLOW PREVENTER
	PROPOSED PIPING
	EXISTING PIPING AND APPURTENANCES
	EXISTING CATCH BASIN
	EXISTING ELEVATION
	EXISTING WOOD POWER POLE
	EXISTING MANHOLE (AS DESIGNATED)
	EXISTING WATER METER
	EXISTING FENCE



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AA-0002897

Mark L. Saltz AR007171

Project No.:  
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MG  
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MA  
Date:  
01/07/19

**REVISIONS**  
REV. 1 TAC COMMENTS 01.07.19  
REV. 2 TAC COMMENTS 03.18.19

**C-2**

17-39

**WATER AND SEWER PLAN**

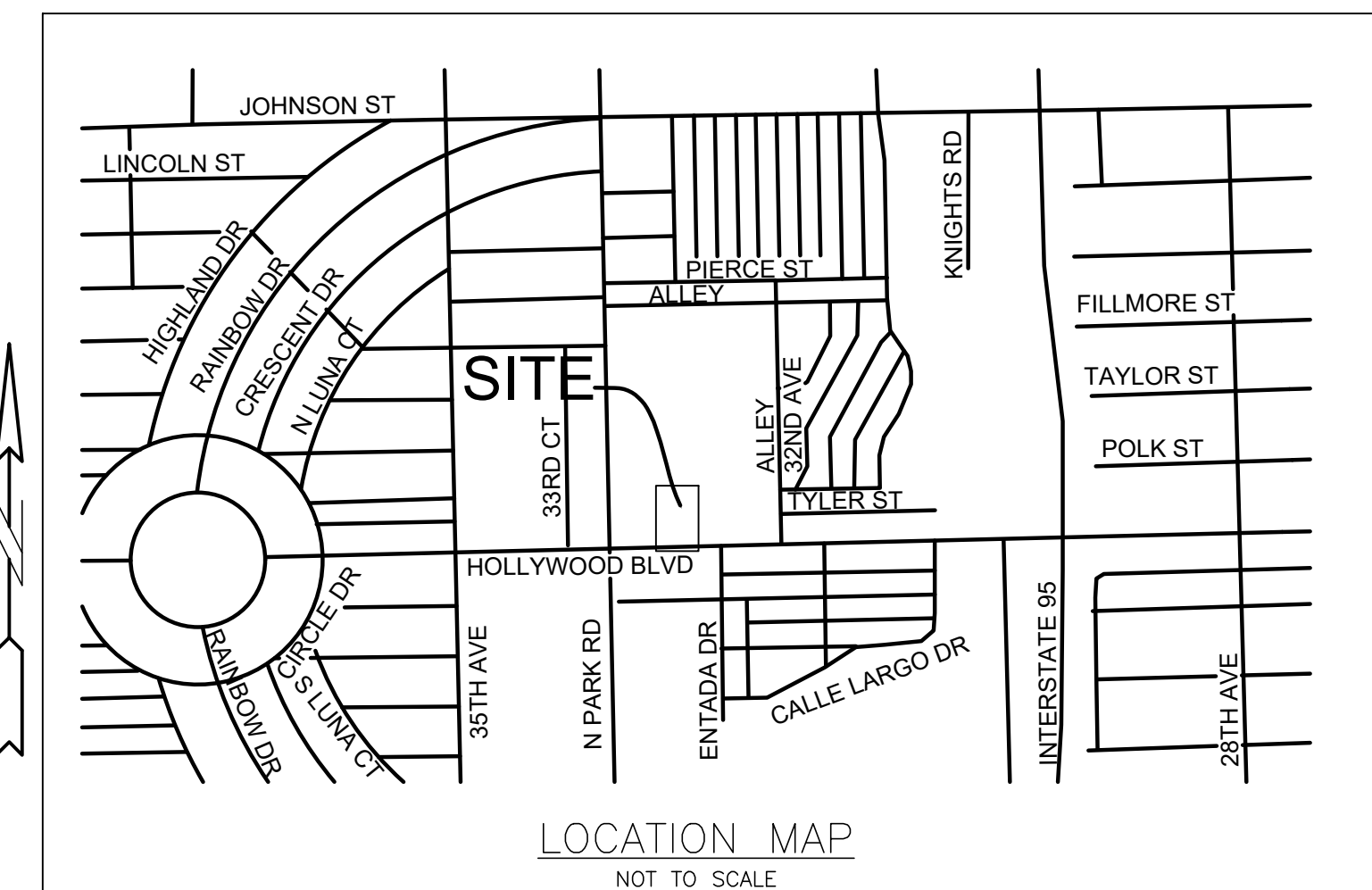
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



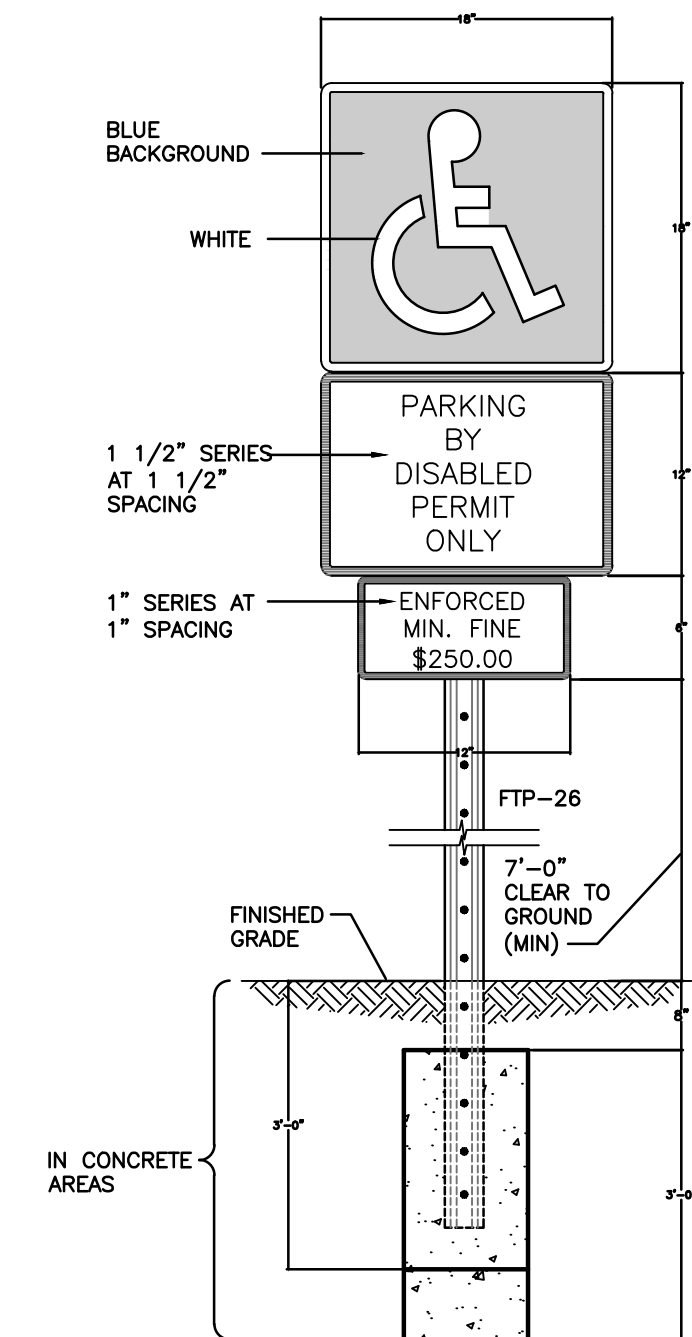
AA-0002897

Project No.:  
2016-109  
Drawn By:  
MG  
Checked By:  
MA  
Date:  
01/07/19

REVISIONS



**PAINT FOR ARROWS:** PROVIDE A MINIMUM OF 2-COATS OF D.O.T. APPROVED PAINT - UTILIZE "WHITE" COLORED PAINT ON ASPHALT, AND "YELLOW" COLORED PAINT ON CONCRETE.

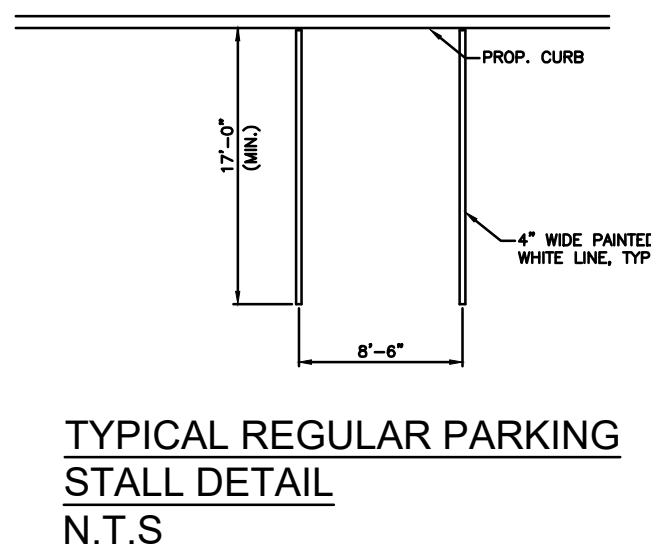
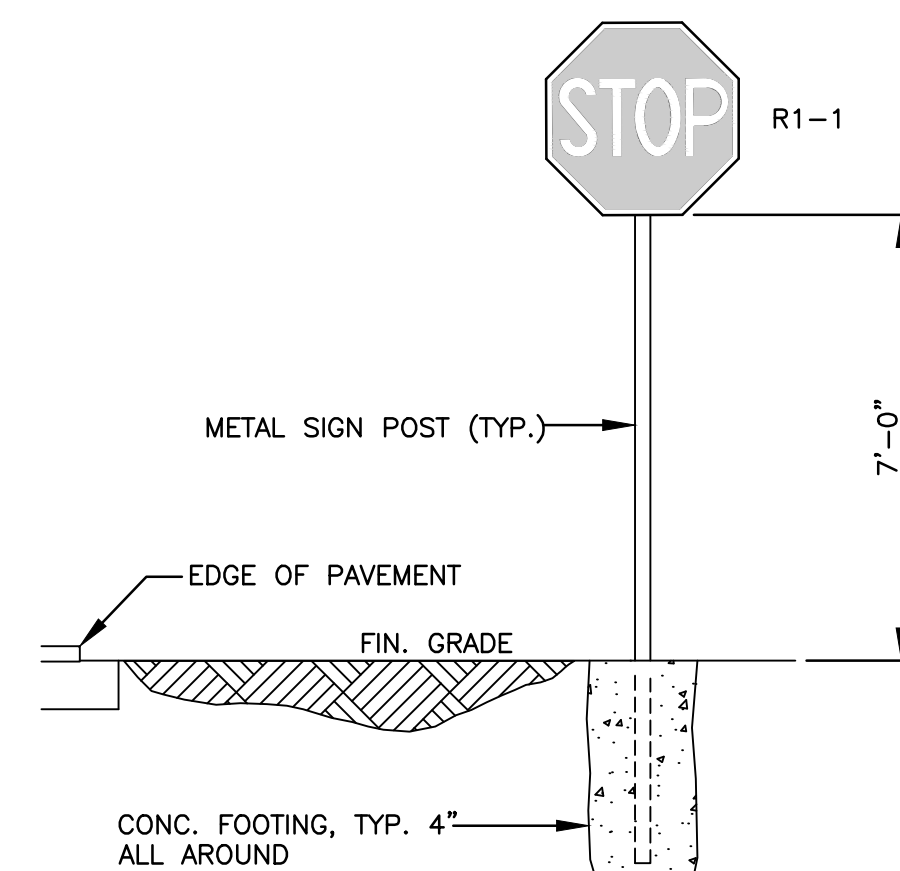


NOTES:

1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
4. SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3- FEET.

## HANDICAP PARKING SIGN





### TYPICAL SIGN INSTALLATION



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
	PROPOSED WATER METER
	PROPOSED CATCH BASIN
	PROPOSED SIGN (AS INDICATED)
	PROPOSED CLEANOUT
	PROPOSED RPZ BACKFLOW PREVENTER
	PROPOSED PIPING

- |   |                                   |
|---|-----------------------------------|
| -----   | EXISTING PIPING AND APPURTENANCES |
|  CB  | EXISTING CATCH BASIN              |
| + 7.10  | EXISTING ELEVATION                |
|  WPP | EXISTING WOOD POWER POLE          |
|  MH  | EXISTING MANHOLE (AS DESIGNATED)  |
|  WM  | EXISTING WATER METER              |
| — X —   | EXISTING FENCE                    |

CA 7325

SUSAN C. HOLLAND, PE  
Lic. no. 41831

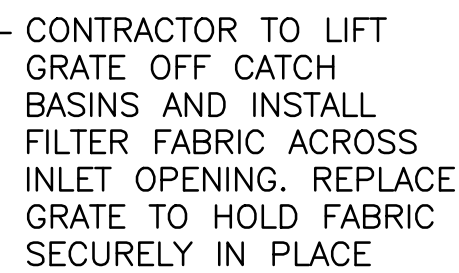
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17-39

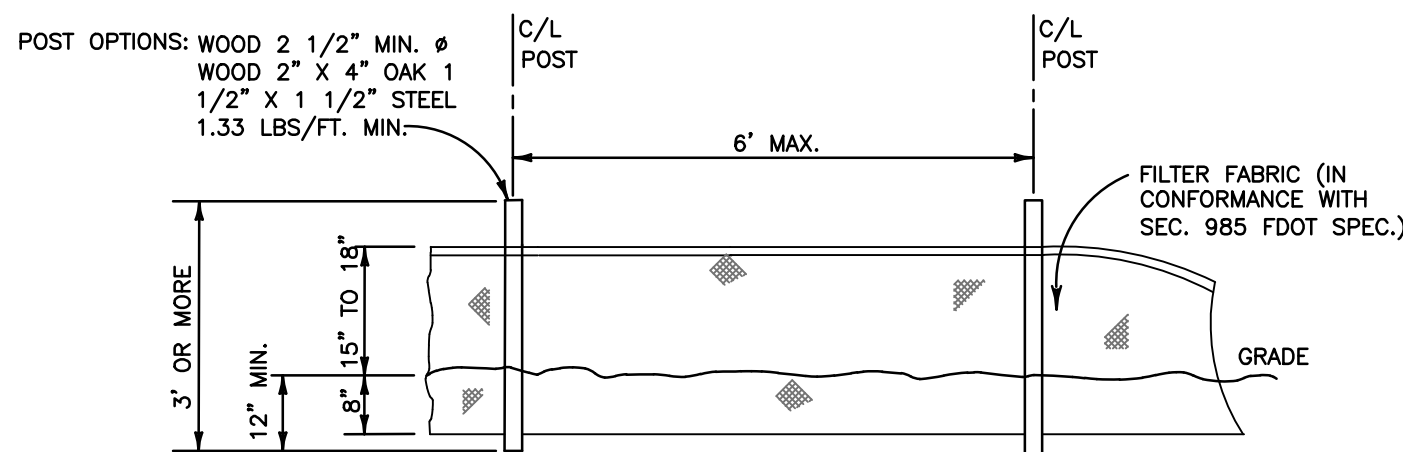


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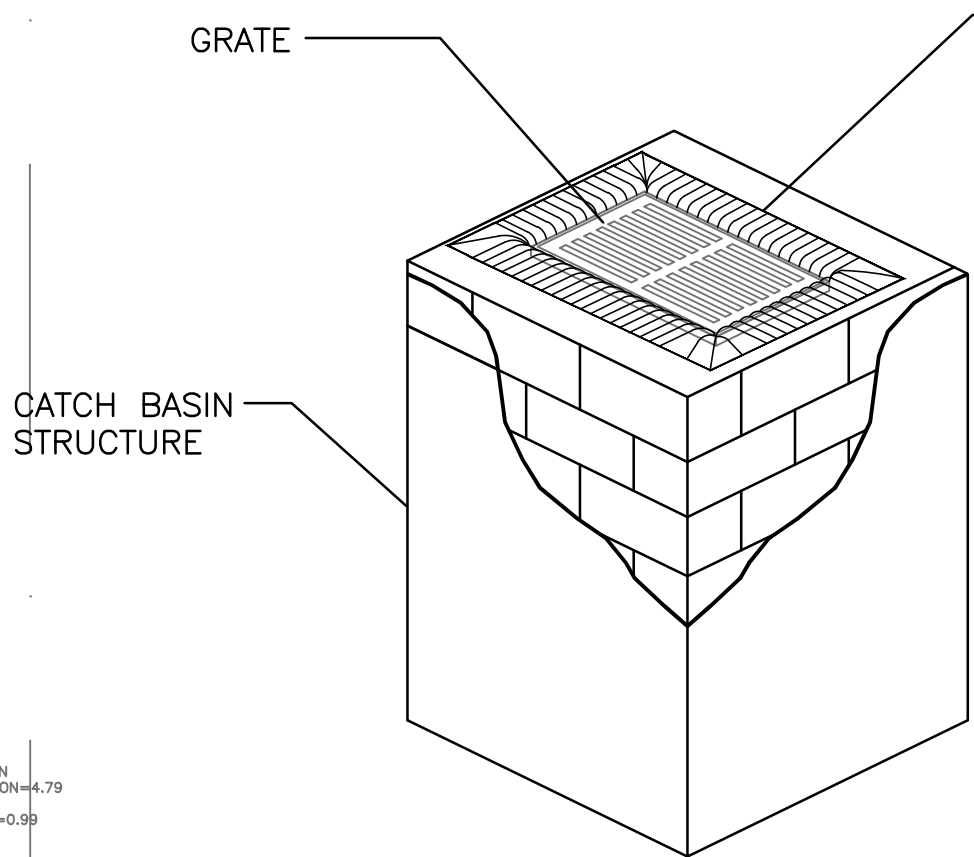
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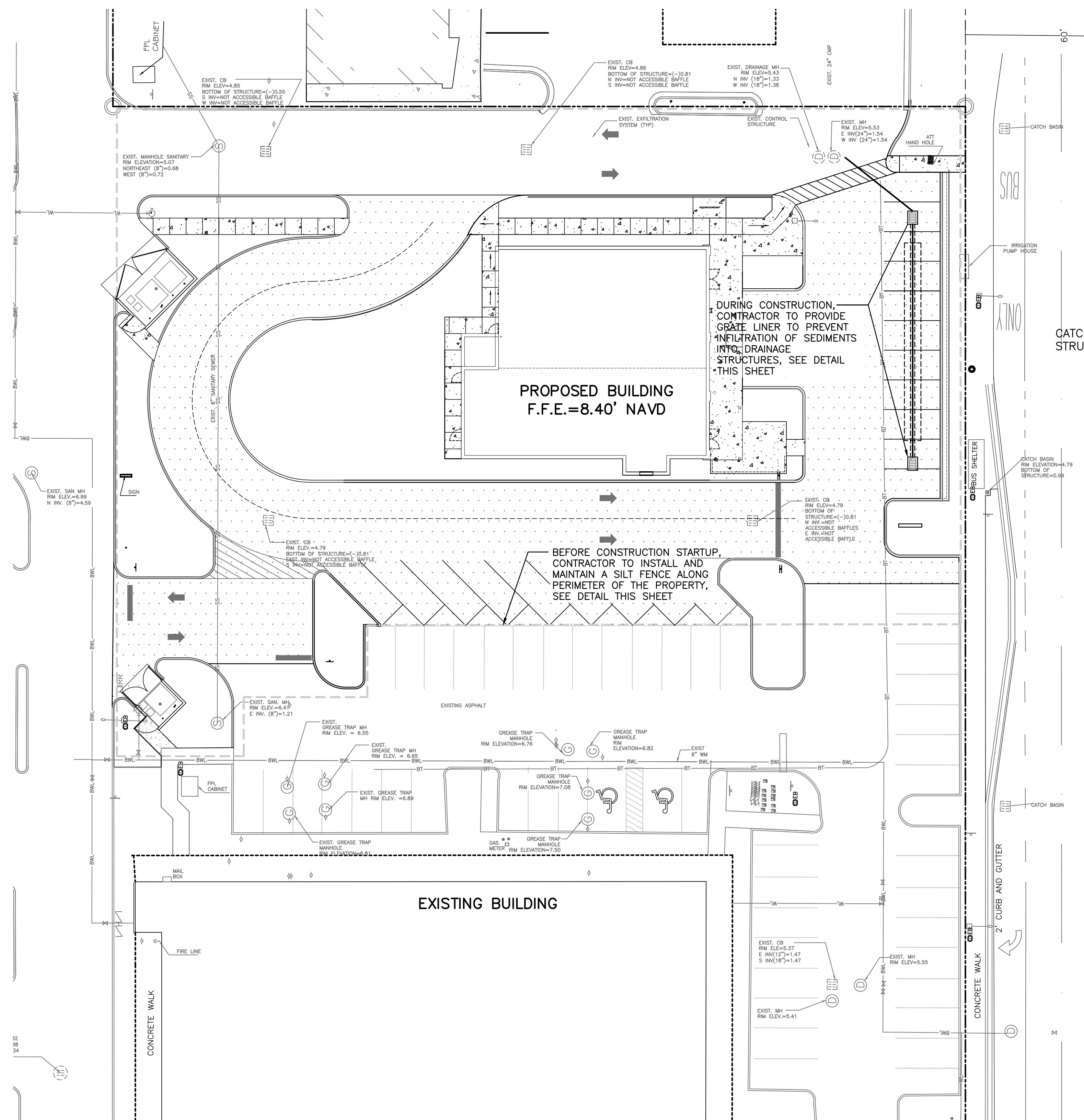
2. CONTRACTOR TO REMOVE  
FILTER FABRIC FROM  
CATCH BASIN JUST  
PRIOR TO PAVING  
AND/OR SEALCOATING.



### TYPE III SILT FENCE








N.T.S.



# STORMWATER POLLUTION PREVENTION PLAN

	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED ELEVATION
	PROPOSED SURFACE FLOW
	PROPOSED WATER METER
	PROPOSED CATCH BASIN
	PROPOSED SIGN (AS INDICATED)
	PROPOSED CLEANOUT
	PROPOSED RP2 BACKFLOW PREVENTER
	PROPOSED PIPE

	EXISTING PIPING AND APPURTENANCES
	EXISTING CATCH BASIN
+ 7.10	EXISTING ELEVATION
 WPP	EXISTING WOOD POWER POLE
 MH	EXISTING MANHOLE (AS DESIGNATED)
 WM	EXISTING WATER METER
— X —	EXISTING FENCE

 **HOLLAND ENGINEERING INC.**  
civil engineers  
1120 SE 3RD AVENUE - FORT LAUDERDALE - FL 33316  
(954)367-0371

CA 7325 SUSAN C. HOLLAND, PE  
Lic. no. 41831

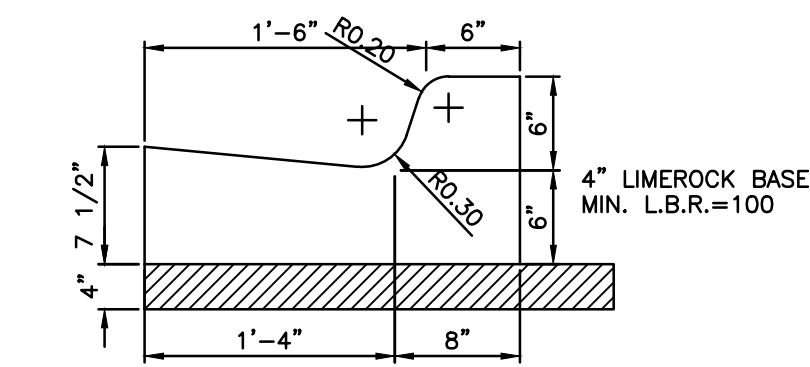
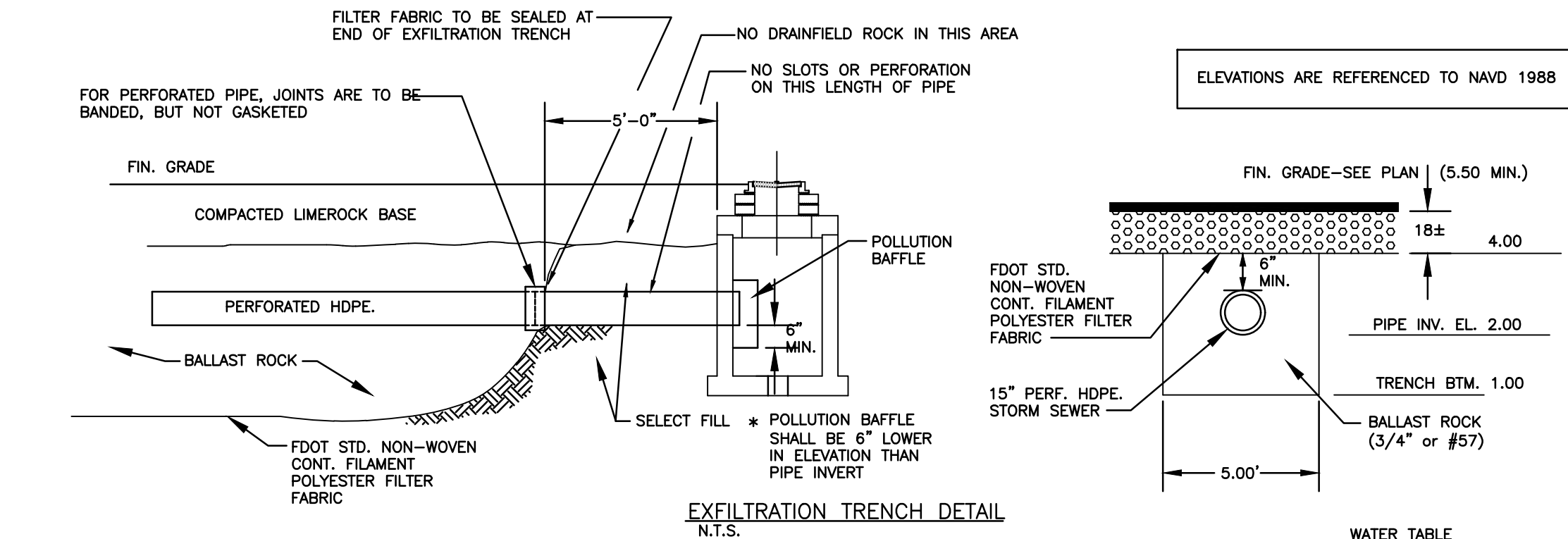


GENERAL CONDITION NOTES :

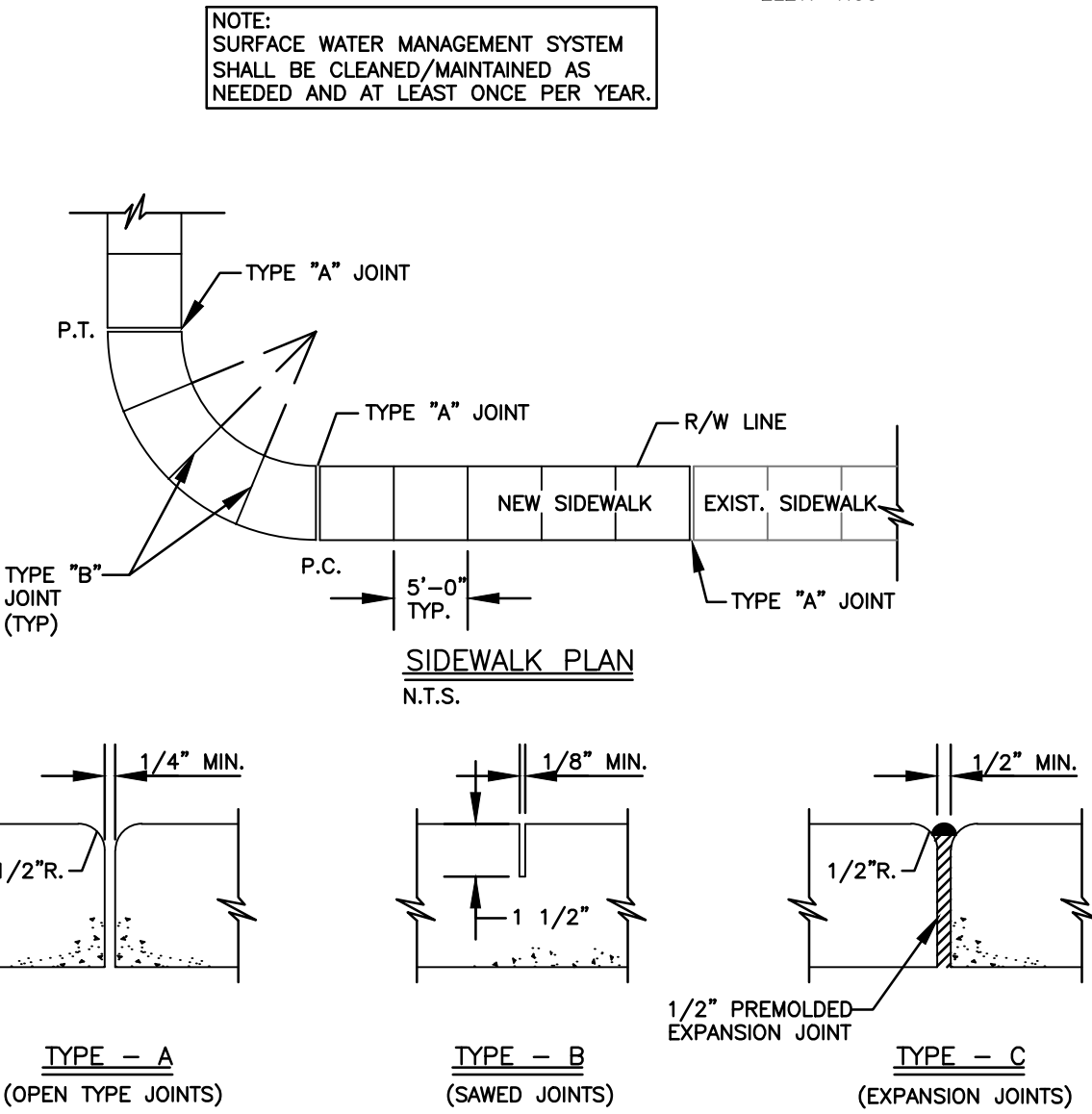
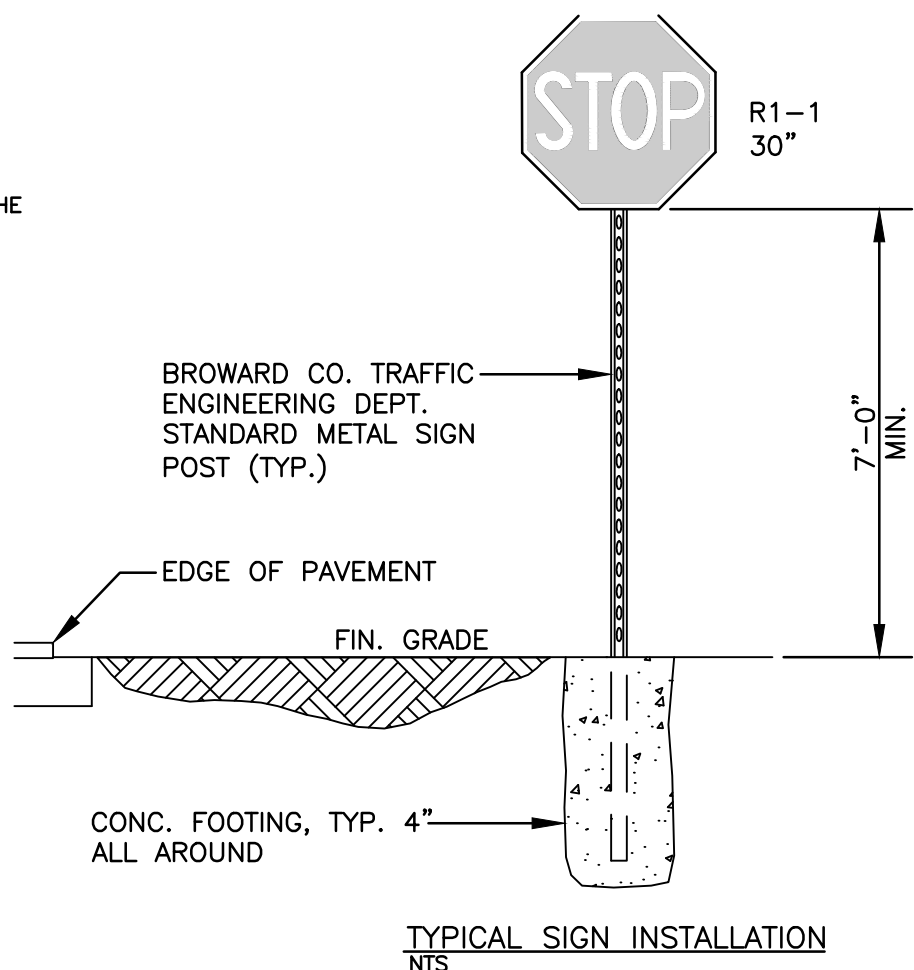
1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETER-MINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:  
FLORIDA POWER & LIGHT CO., CONSTRUCTION  
SOUTHERN BELL TELEPHONE & TEL. CO.  
CABLE CONSTRUCTION BUREAU  
LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS  
FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE  
UNDERGROUND UTILITIES NOIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
  2. ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
  3. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
  5. ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
  6. WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURBS OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
  7. ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
  8. SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
  9. ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180.
  10. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
  11. CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
  12. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
  13. CONC. SIDEWALKS SHALL BE 4" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
  14. PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -  
RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III  
CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196  
CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196  
SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942  
PVC = POLYVINYLCHLORIDE PIPE  
PCMP = PERFORATED CMP, FDOT SECTION 945  
DIP = DUCTILE IRON PIPE  
HDPE = HIGH DENSITY POLYETHYLENE PIPE.
- PAVEMENT MARKING & SIGNING STANDARD NOTES
1. STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
  2. ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7'. THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
  3. STOP BARS SHALL BE 24" WHITE.
  4. ALL SITE PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCLUDING PARKING STALL STRIPING.
  5. ALL PAVEMENT MARKINGS AND SIGNAGE IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO MUTCD AND PBC TYPICAL T-P-06-001.



TYPE "F" CONCRETE CURB AND GUTTER DETAIL



TYPICAL SIDEWALK THICKNESS (T)

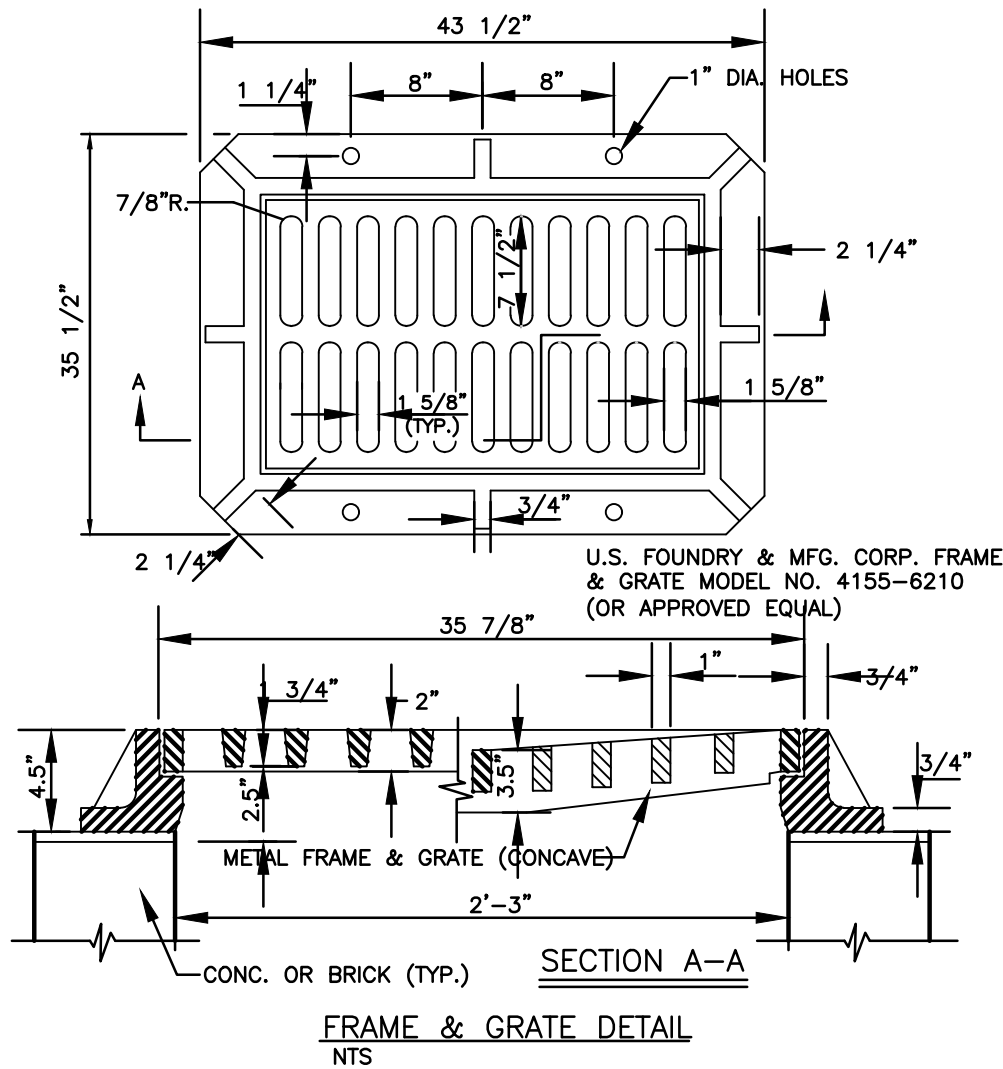
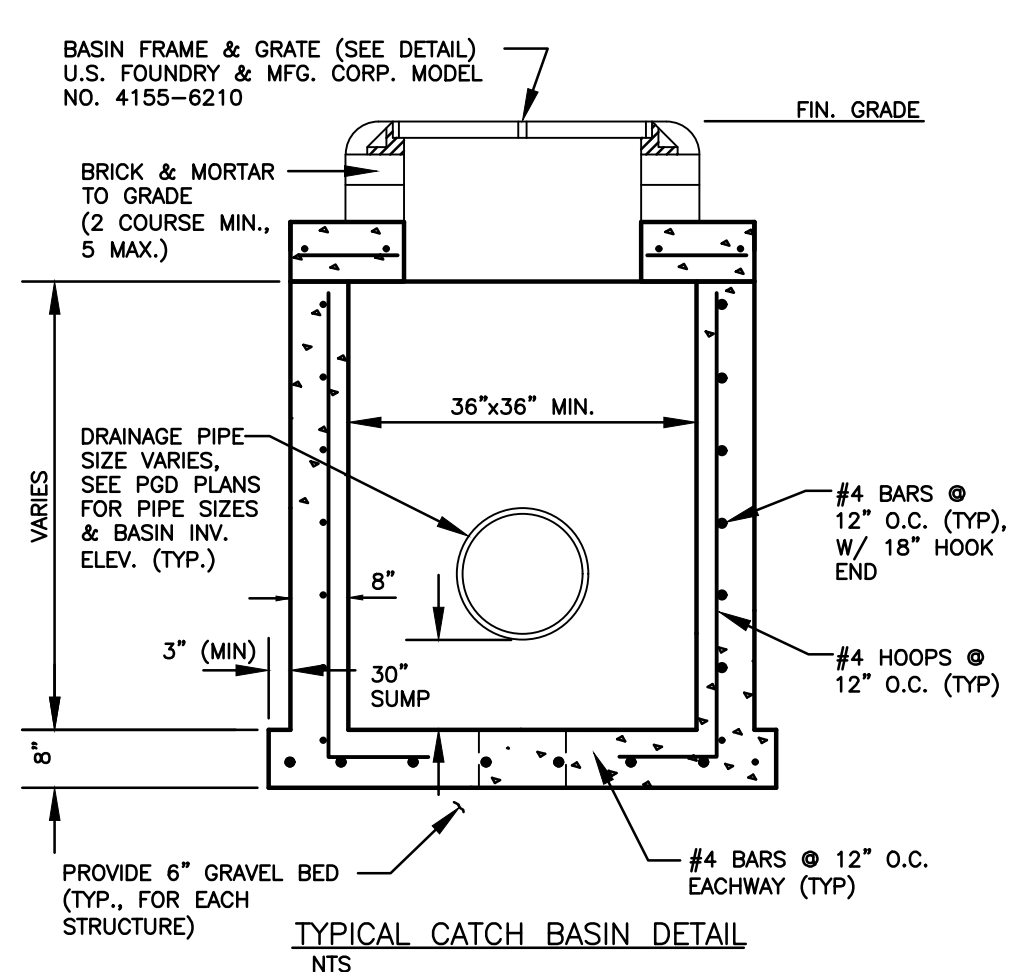
LOCATION :	T
PEDESTRIAN AREAS	4"
DRIVEWAYS & OTHER	6"

- NOTES:
1. EXPANSION JOINTS EVERY 50' O.C.
  2. CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
  3. 6" THK. SIDEWALK ACROSS DRIVEWAYS

SIDEWALK DETAIL N.T.S.

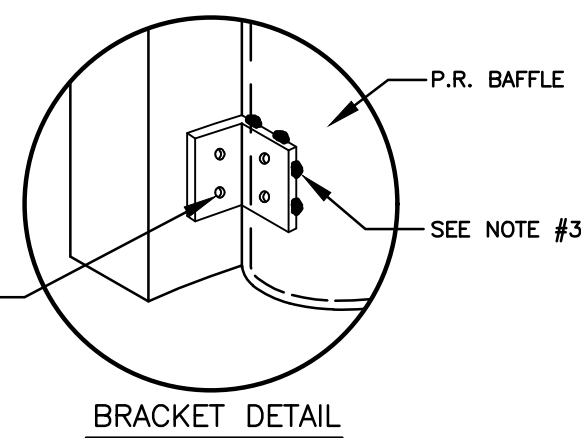
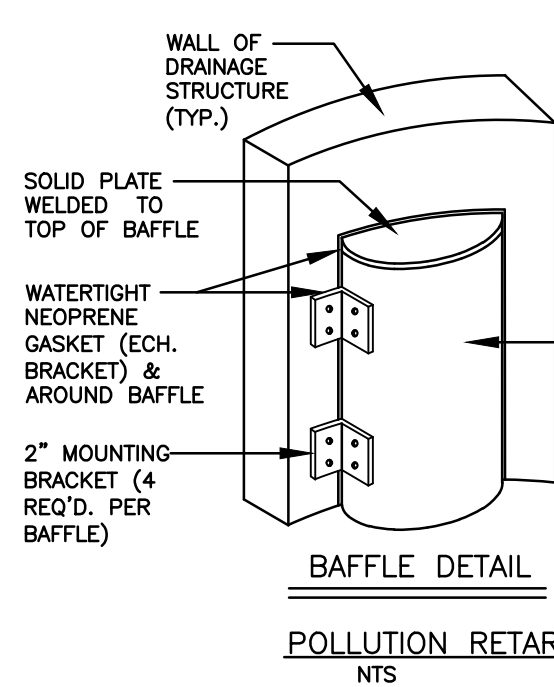
TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

\* INSTALLED AT THE DISCRETION OF THE ENGINEER



GENERAL NOTES :

1. BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE LINE.
2. 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
3. WELD, OR 2 1/2" S.S. THRU BOLTS
4. GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.



BRACKET DETAIL

POLLUTION RETARDANT BAFFLE DETAIL N.T.S.

BAFFLE DETAIL

POLLUTION RETARDANT BAFFLE DETAIL

BRACKET DETAIL

BAFFLE DETAIL

POLLUTION RETARDANT BAFFLE DETAIL

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BAFFLE DETAIL

POLLUTION RETARDANT BAFFLE DETAIL

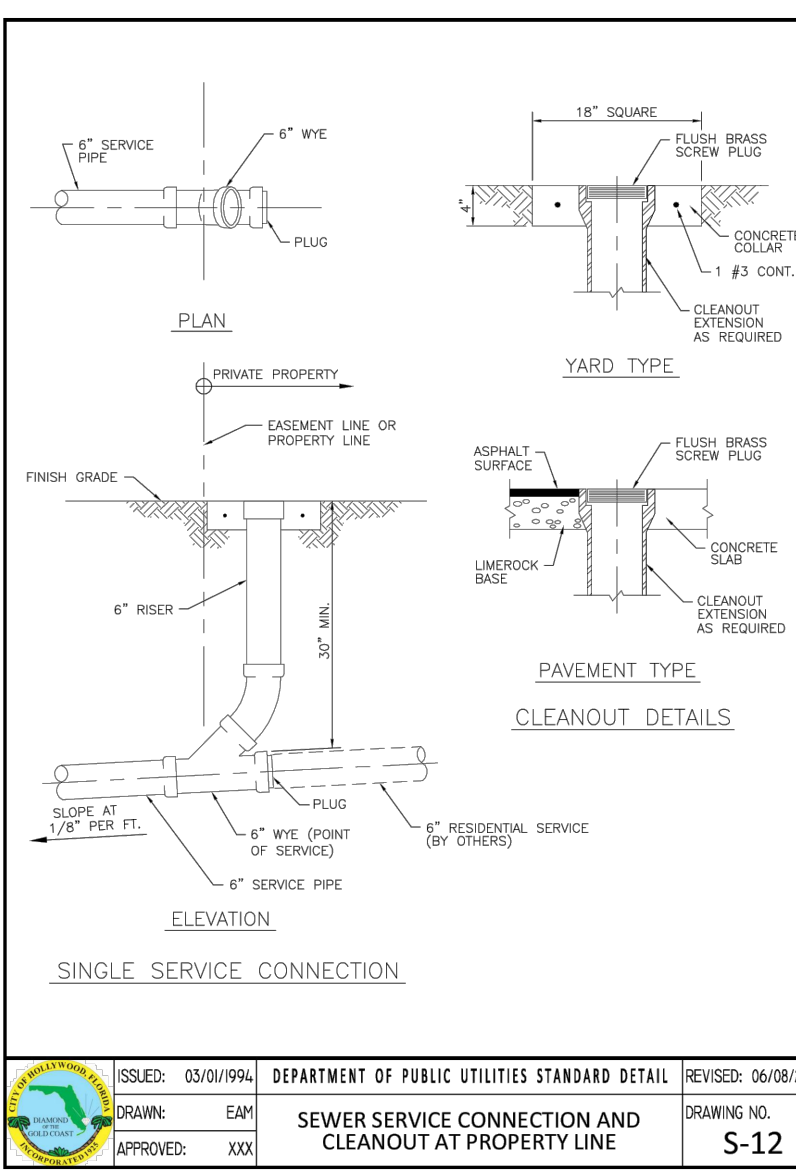
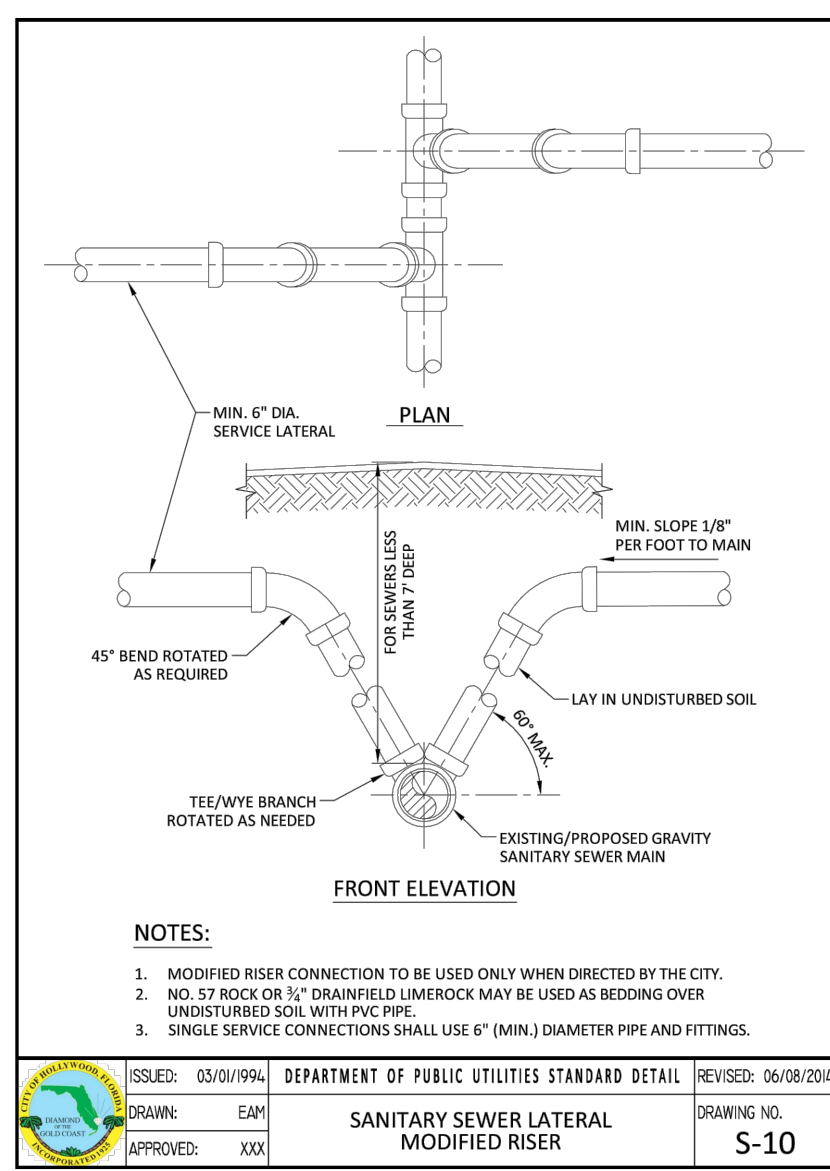
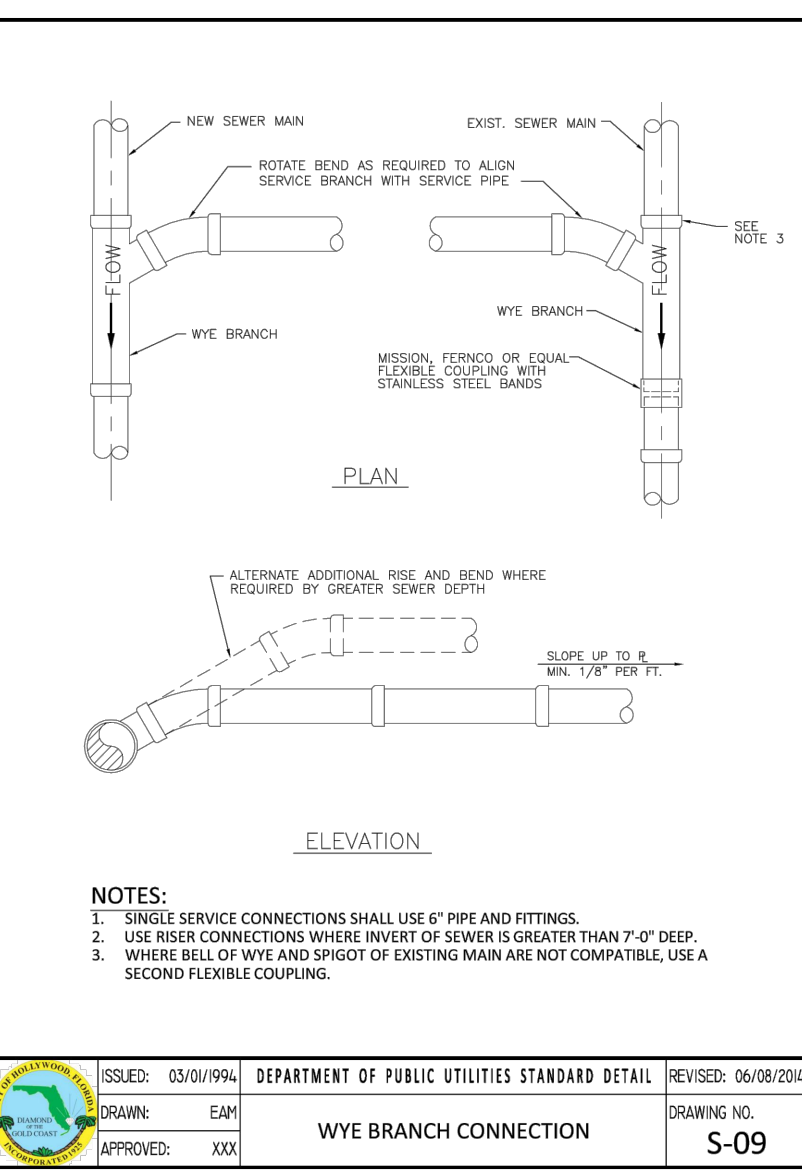
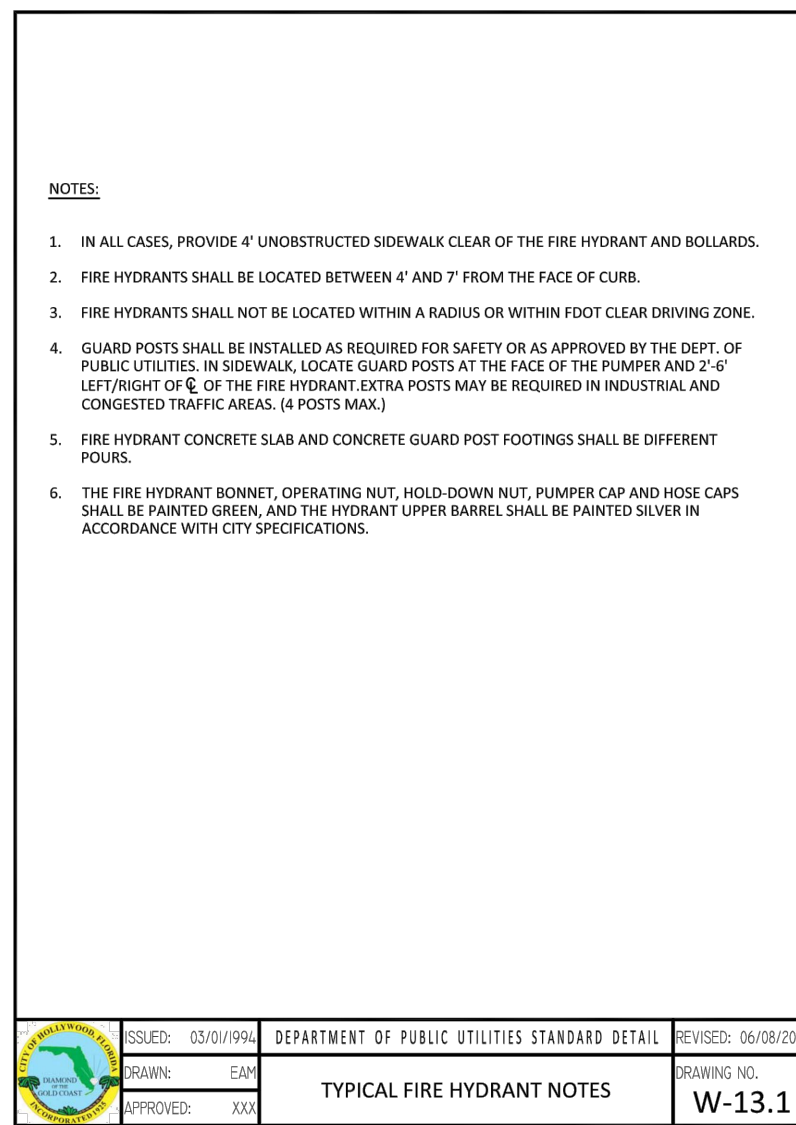
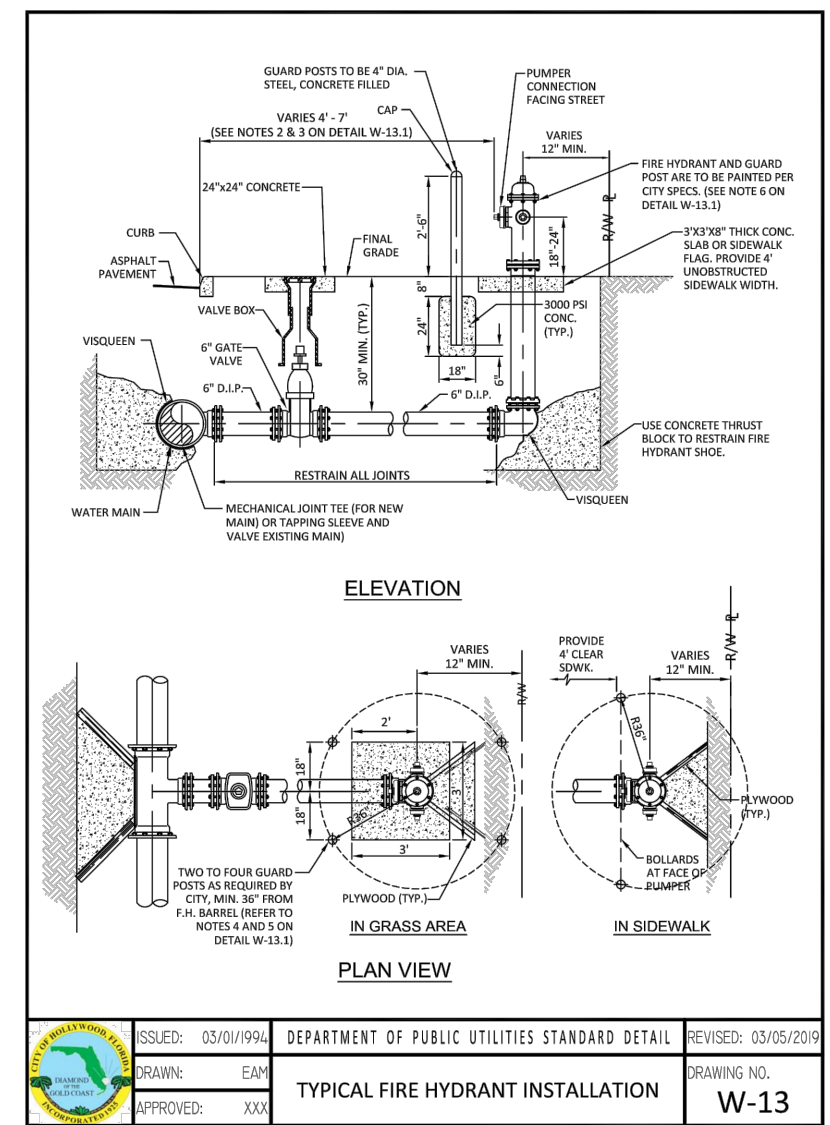
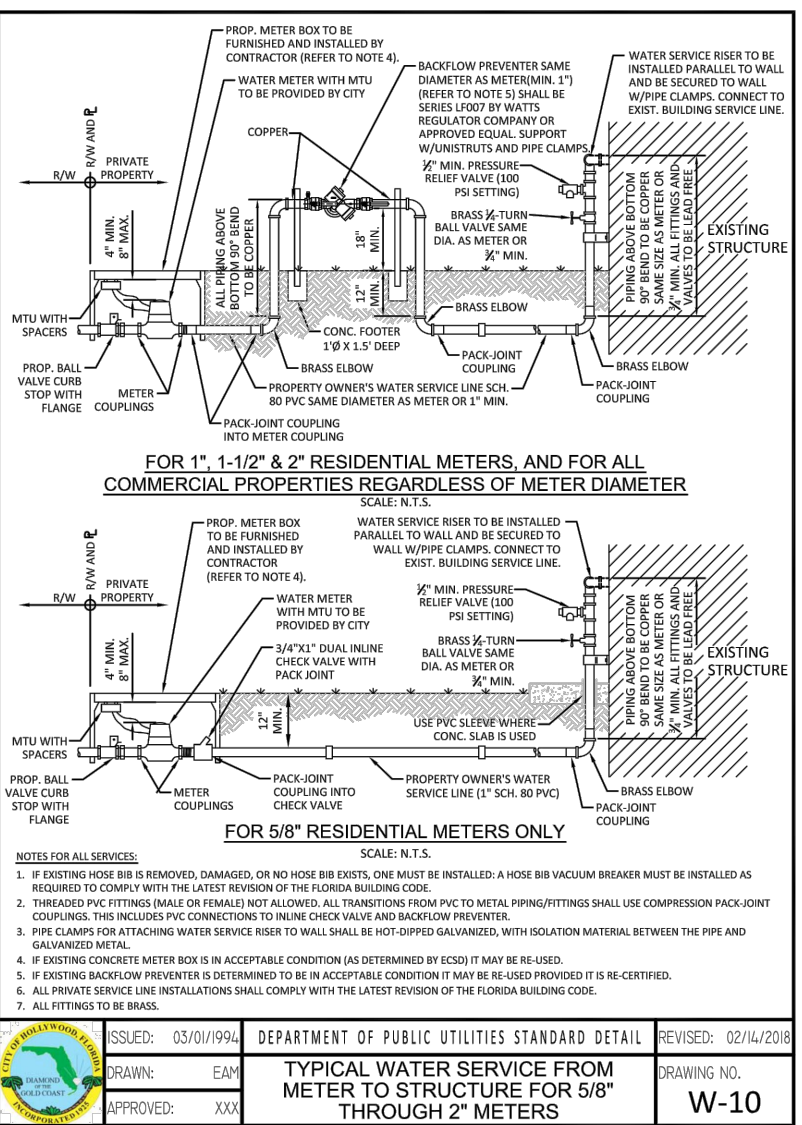
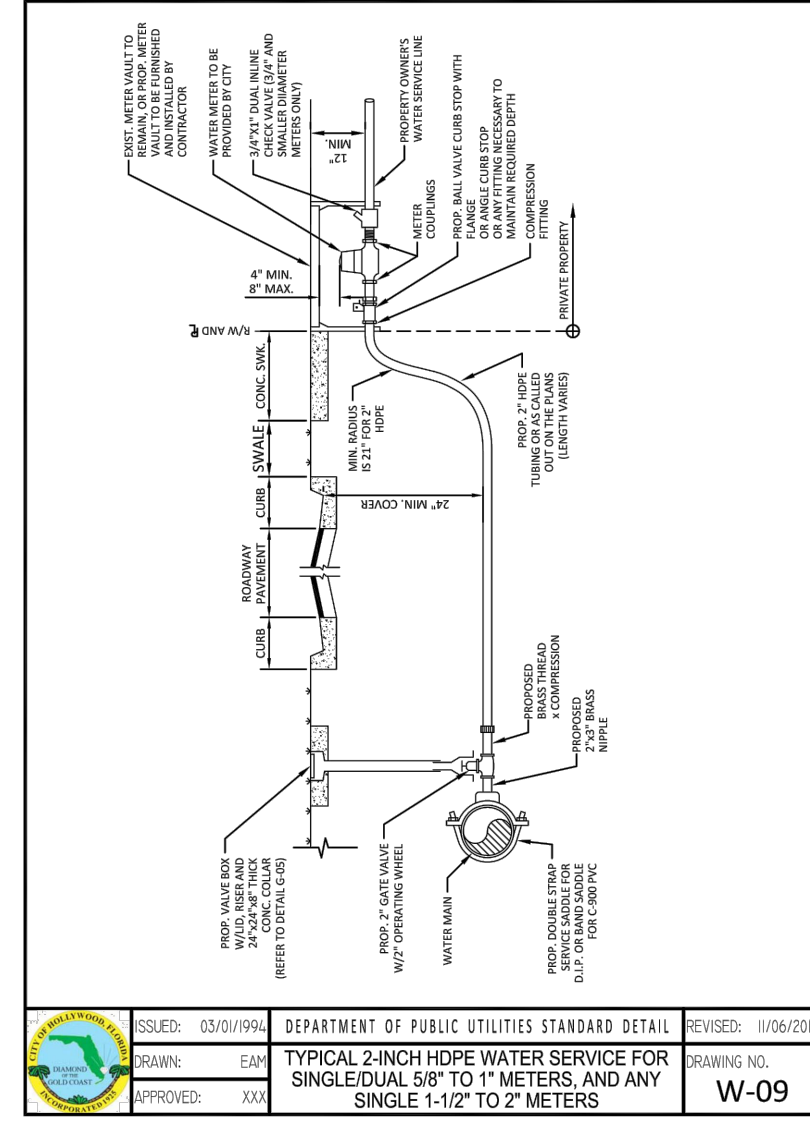
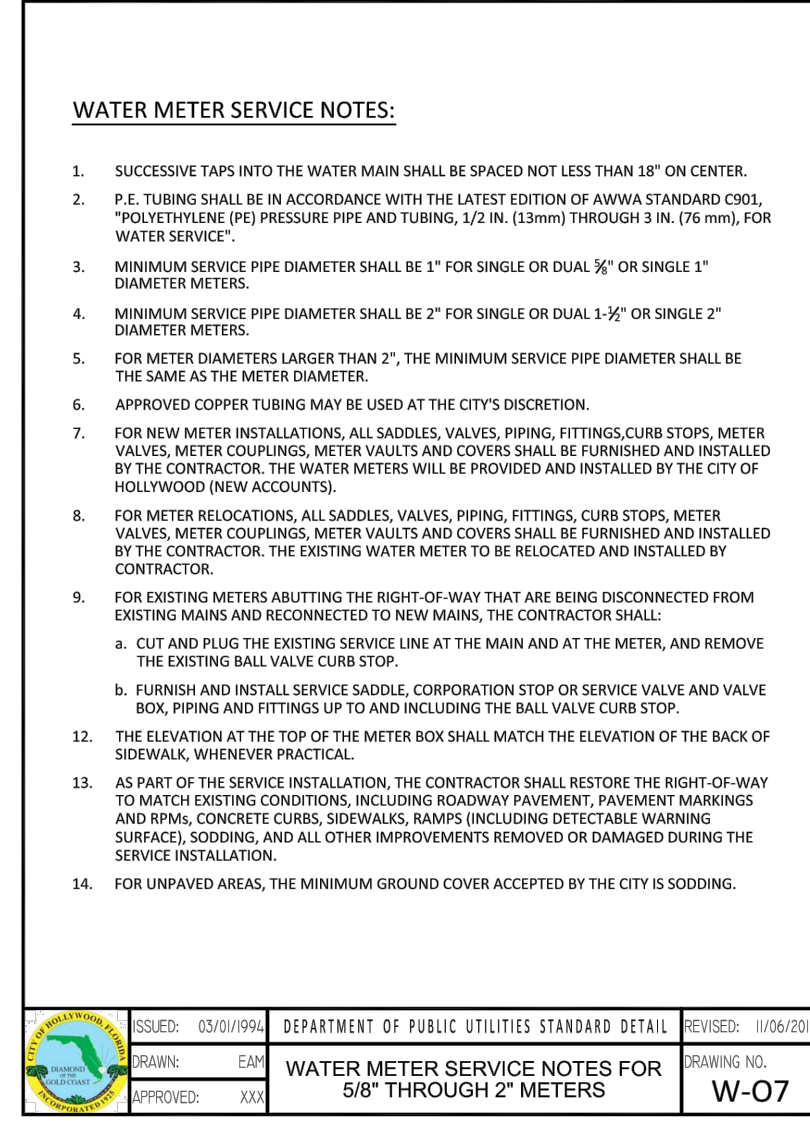
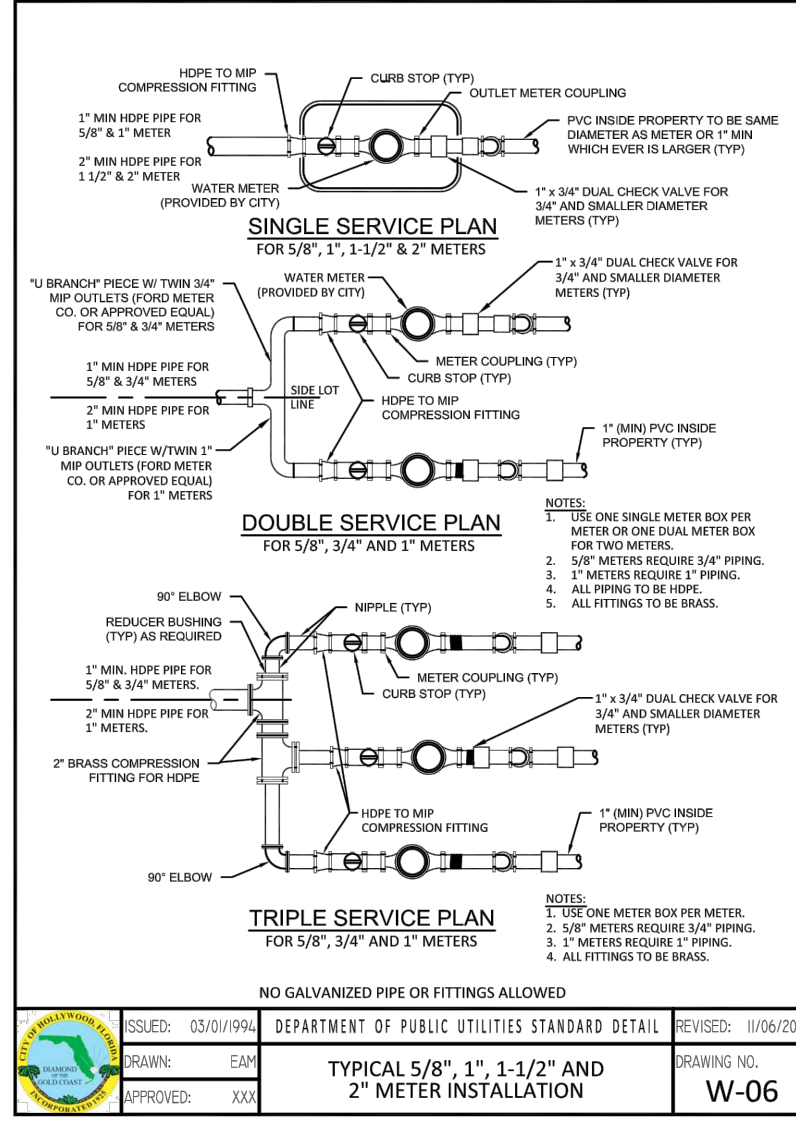
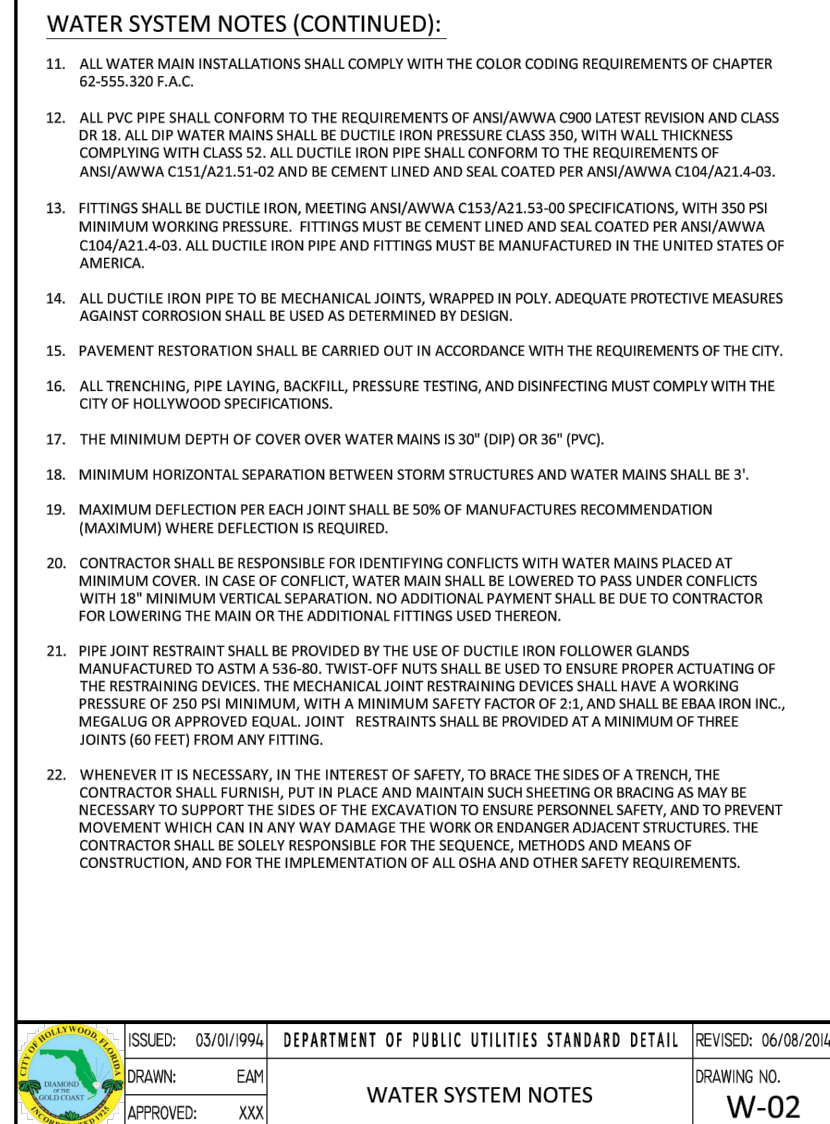
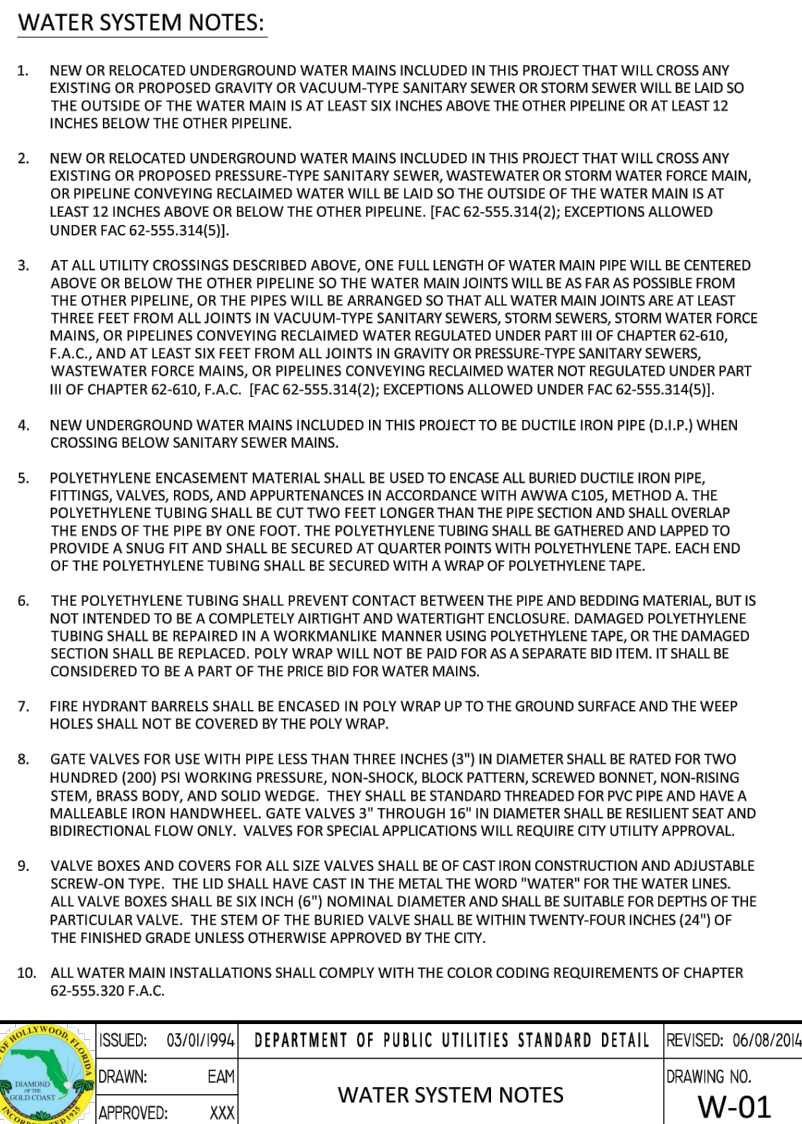
BRACKET DETAIL

BAFFLE DETAIL

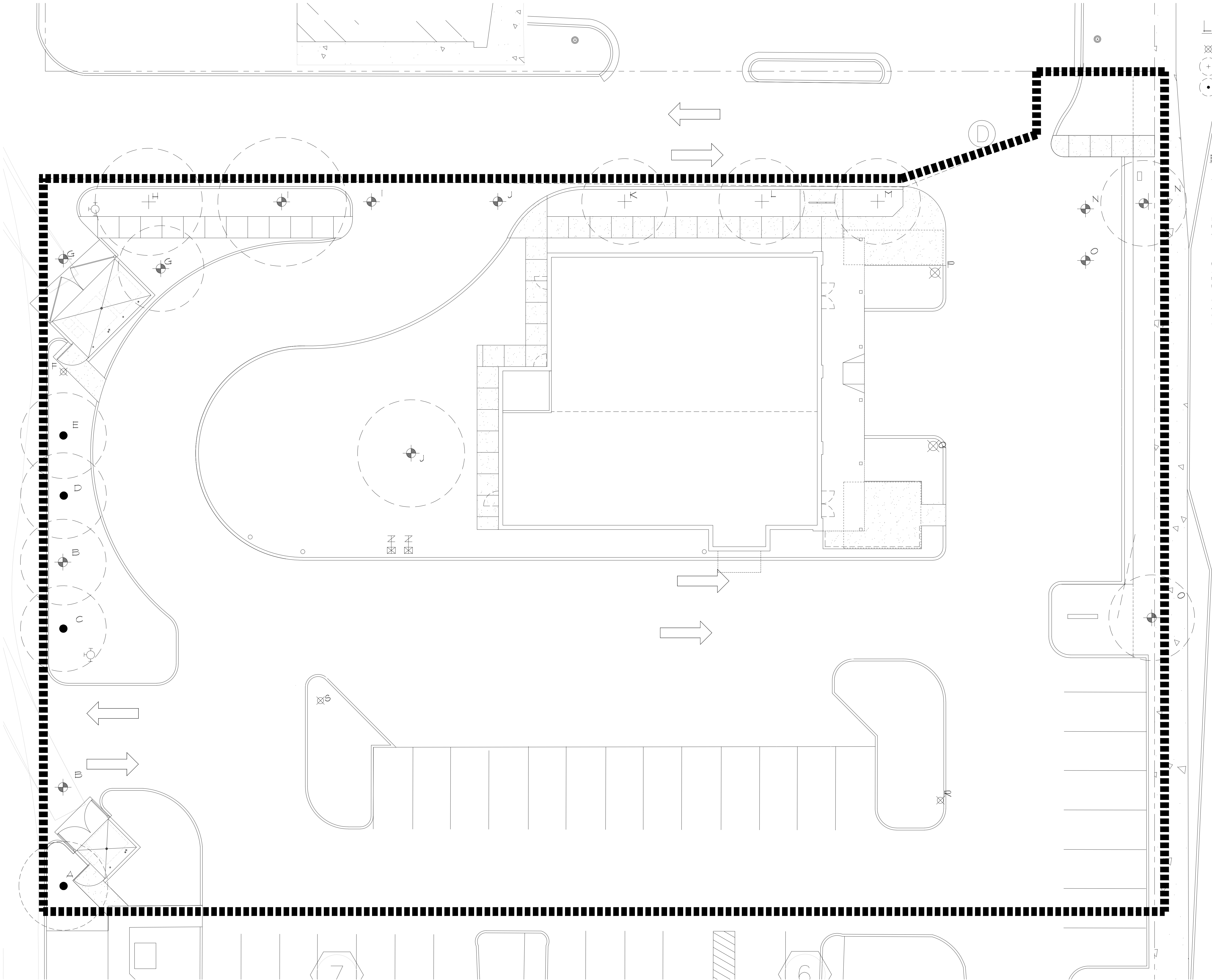
POLLUTION RETARDANT BAFFLE DETAIL

BRACKET DETAIL









LEGEND

- ⊗

EXISTING TREES TO BE REMOVED

+

EXISTING TREES TO REMAIN

●

EXISTING PALMS TO REMAIN
- ⊗

EXISTING TREES TO BE RELOCATED

⊕

NEW LOCATION OF RELOCATED TREES

●

PROPOSED PALMS

+

PROPOSED TREES

EXISTING TREE LIST

SYM	BOTANICAL/COMMON TREE NAME	DESCRIPTION	DBH	CONDITION	STATUS
A	Rapanea regia/Royal Palm	40' o.a. ht.	24"	Rotted Trk.	remain
B	Rapanea regia/Royal Palm	40' o.a. ht.	30"	Good	relocate
C	Rapanea regia/Royal Palm	40' o.a. ht.	24"	Good	remain
D	Rapanea regia/Royal Palm	40' o.a. ht.	30"	Good	remain
E	Rapanea regia/Royal Palm	40' o.a. ht.	28"	Good	remain
F	Rapanea regia/Royal Palm	40' o.a. ht.	30"	Good	remove
G	Rapanea regia/Royal Palm	40' o.a. ht.	24"	Good	relocate
H	Quercus virginiana/Live Oak	25' ht. x 25' spr.	15"	Good	remain
I	Quercus virginiana/Live Oak	30' ht. x 30' spr.	18"	Good	relocate
J	Quercus virginiana/Live Oak	25' ht. x 25' spr.	13"	Good	relocate
K	Quercus virginiana/Live Oak	20' ht. x 20' spr.	14"	Good	remain
L	Quercus virginiana/Live Oak	20' ht. x 20' spr.	10"	Good	remain
M	Quercus virginiana/Live Oak	20' ht. x 20' spr.	14"	Good	remain
N	Rapanea regia/Royal Palm	40' o.a. ht.	36"	Good	relocate
O	Rapanea regia/Royal Palm	40' o.a. ht.	30"	Good	relocate
P	Bulnesia nahaon/Itahogang	20' ht. x 20' spr.	12"	Good	remove
Q	Bulnesia nahaon/Itahogang	35' ht. x 35' spr.	24"	Good	remove
R	Lythia bahamensis/Wild Tamarind	20' ht. x 15' spr.	6"	Good	remove
S	Lythia bahamensis/Wild Tamarind	20' ht. x 15' spr.	6"	Damaged Trk.	remove

project:  
hollywood hills plaza  
out parcel  
hollywood, fl

dave bodker  
landscape architecture/planning inc.  
601 n. congress ave., suite 105-a  
delray beach, florida 33445  
561-276-6311

#LA0000999  
sheet title:  
existing tree  
plan

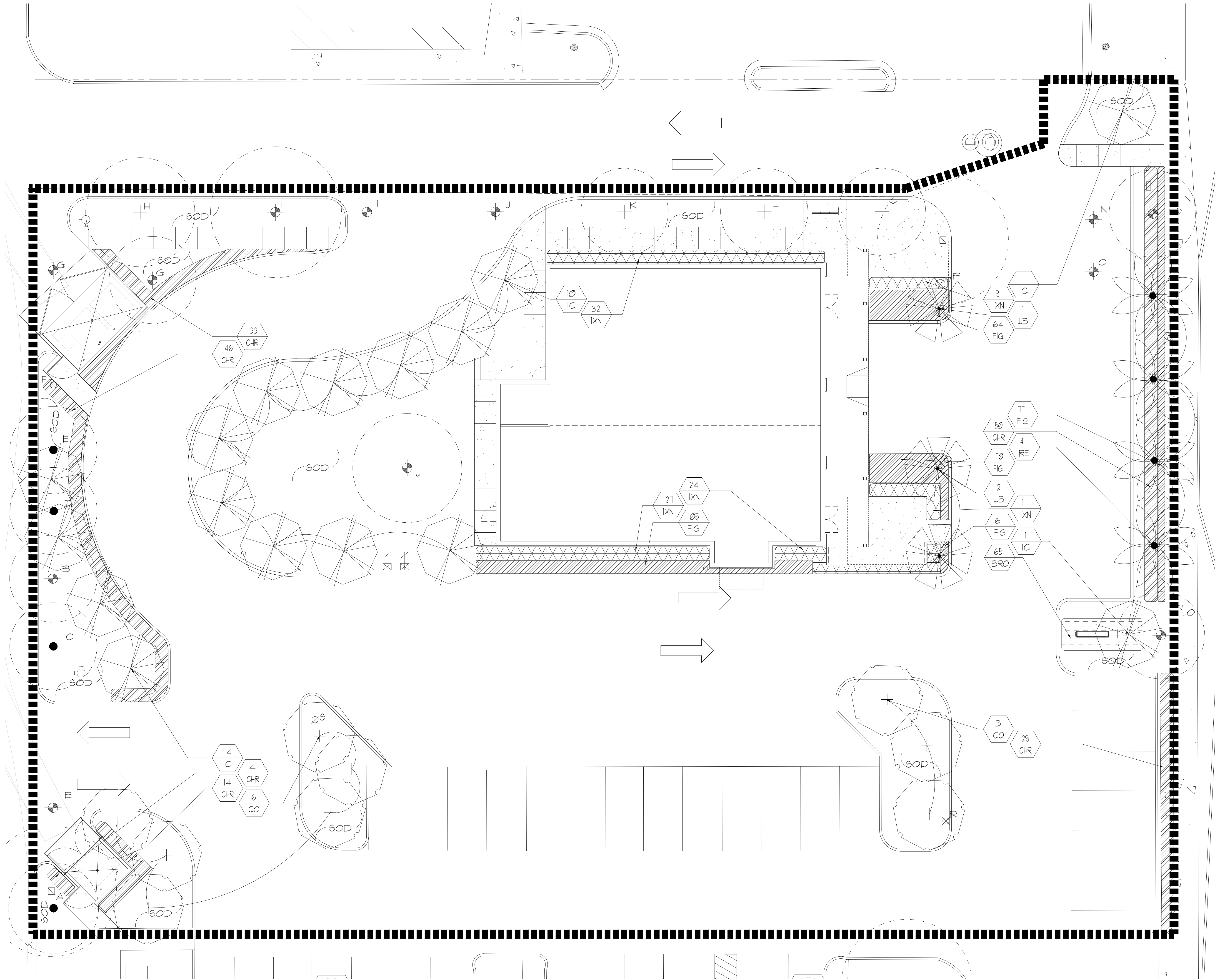
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118  
date: 01/03/2018  
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drawn by: lmb

revisions:  
Δ TAC Comments, 01.07.19  
Δ TAC Comments, 03.18.19  
Δ  
Δ  
Δ

sheet:  
L-1  
1 of 3 sheets







PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
CO	Chrysophyllum oliviforme Satin Leaf	12' ht. x 5'spr., 2'dbth	9
IC	Ilex cassine Dahoon Holly	12' ht. x 5'spr., 2'dbth	16
RE	Roystonea regia Royal Palm	14-16' c.t.	4
WB	Wodyetia bifurcata Foxtail Palm	8' c.t., matched	3
BRO	Bromellad 'perfecta' Perfecta Bromellad	12" ht. x 12" spr., 18" o.c.	65
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr., 24" o.c.	176
FIG	Ficus microcarpa 'Green Island' Green Island Ficus	10" ht. x 10" spr., 18" o.c.	322
IXN	Ixora 'Nora Grant' Nora Grant Ixora	24" ht. x 18" spr., 24" o.c.	103
SOD	Stenotaphrum secundatum St. Augustine Floratam Sod	full, fresh sod	as required

CODE COMPLIANCE DATA

Perimeter Landscape 4 Buffer  
1. Street trees required 1/50'  
Hollywood Blvd:  
136' / 50' = 4  
4 trees required  
4 trees provided  
(4 royal palms)

5. Terminal Islands  
8 terminal islands  
(2 foxtail palms, 4 satin leaf, 2 dahoon holly)  
8 trees required  
8 trees provided

6. 25% of paved VUA shall be landscape area  
(% not to include perimeters)  
25.361 SF of VUA x 25 = 6.340 SF required  
9.216 SF provided

7. 1. Trees / 1,000 SF of pervious area of property  
(This is in addition to VUA)  
Total pervious area = 9.216 SF  
9.216 SF / 1,000 = 10 trees required  
10 trees provided  
(5 existing royals, 5 existing live oaks)  
22 Total Trees Required  
22 Total Trees Provided

Minimum number of species required = 4/5 Provided  
Tree and Palm Size Requirements  
Trees: 12' ht., 2" dbth  
Palms: 8' clear trunk

Native Plant Requirements  
60% of required trees must be native  
Total trees required = 22 x 60 = 14 native trees required  
39 native trees provided

Palms  
50% of required trees may be palms  
Total Trees required = 22 x 50 = 11 palms allowed  
11 palms provided (to fulfill code requirements)

If more than 20% of trees used are palms,  
all other trees must be shade trees.

Shrub Height  
24" ht. except where non-residential abuts  
residential where the hedge must be 48" ht.

Mitigation  
48" of mitigation required  
38" mitigation provided (on site)  
(19) trees @ 2" = 38"

project:  
hollywood hills plaza  
out parcel  
hollywood, fl

dave bodker  
landscape architecture/planning inc.  
601 n. congress ave., suite 105-a  
delray beach, florida 33445  
561-276-6311  
#A0000999

sheet title:  
planting  
plan

project number:  
118  
date: 01/03/2018  
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revisions:  
TAC Comments, 01.07.19  
TAC Comments, 03.18.19  
TAC Comments, 03.18.19  
TAC Comments, 03.18.19

sheet:  
L-2  
2 of 3 sheets









REVISIONS		
REV #	DATE	BY:



1-800-633-8711 - WWW.WLSLIGHTING.COM

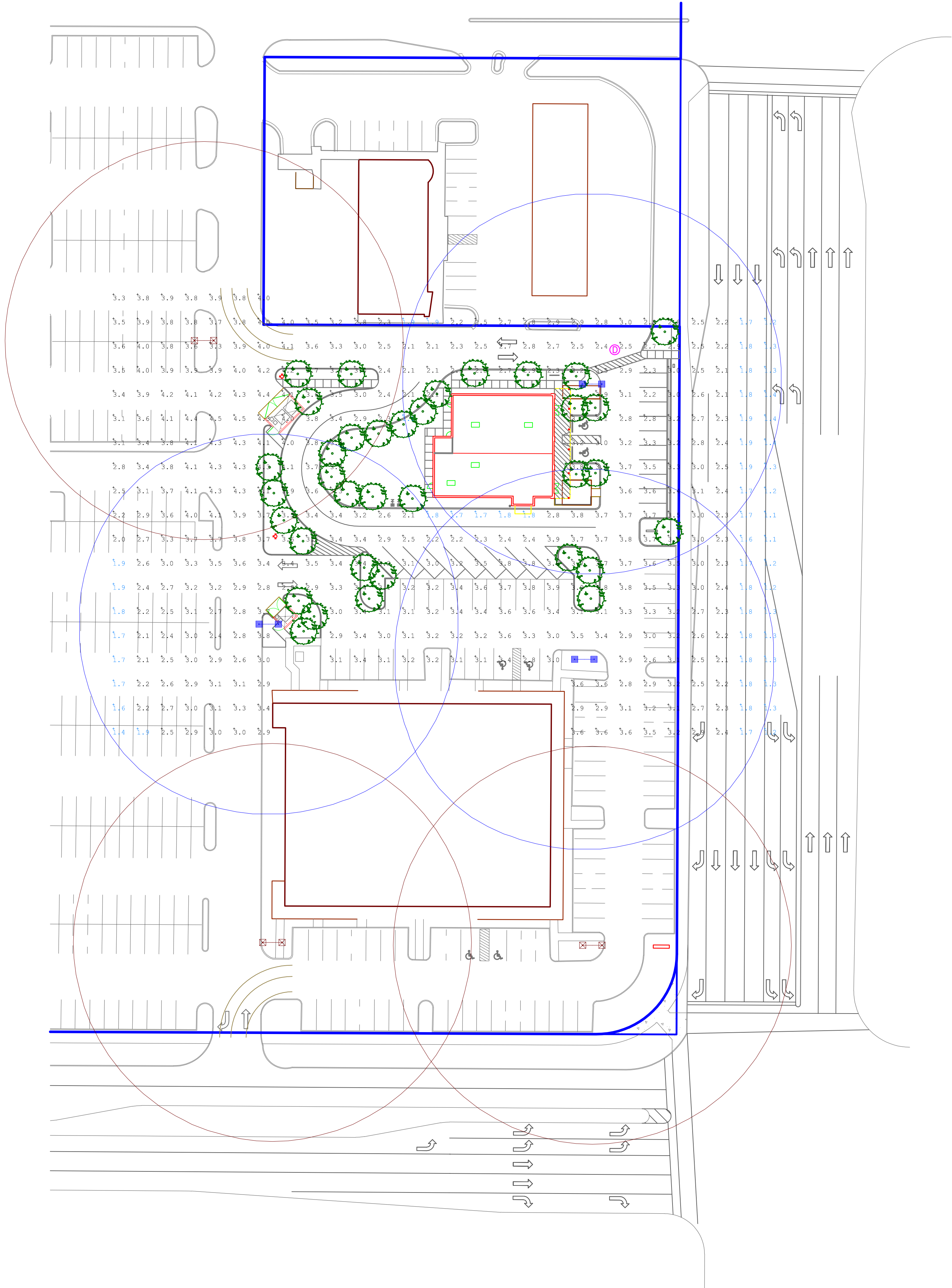
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.


OPTION 2

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclx	PtSpctb
OUTPARCEL	Fc	3.2	4.10	1.10	2.9	3.7	15	15

Luminaire Schedule						
WLS14176 HOLLYWOOD HILLS OUTPARCEL HOLLYWOOD, FL PM: ROBBY PLEASE EMAIL ROBBY AT RRUDASILL@WLSLIGHTING.COM FOR PRICING.						
Symbol	Qty	Label	Lumens	LLF	Description	Lum. Watts
	3	X2	140000	0.700	MCGRAW-SSI-1000-HPS-AR-FG 50' MOUNTING HEIGHT	1080
	3	A	N.A.	0.980	WLS-OSQ-HC-A-SSH-65L-40K 50' MOUNTING HEIGHT	550



HOLLYWOOD HILLS OUTPARCEL  
HOLLYWOOD, FL



WLS LIGHTING SYSTEMS

Consider the Impact!

1919 WINDSOR PLACE  
FORT WORTH, TX 76110  
WWW.WLSLIGHTING.COM

WLS-14176B

DATE - 3/14/19

SCALE: 1"=40'

800-633-8711

PM: ROBBY

BY: TO

SHEET 1 OF 1