

HANDICAP GUEST  
ROOM WITH 5'-0" D  
CLEARANCE

1. ALL FLOORING MATERIALS TO BE SLIP RESISTANT TO COMPLY WITH ADA CODE.
2. ALL DIMENSIONS TO DRYWALL OR TILE FINISH.
3. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE SCHEDULE AND COUNT.
4. ADD SIGNAGE TO COMPLY WITH ADA CODE.
5. SEE ELECT. AND LV DRAWINGS FOR PHONE & DATA LOCATIONS.
6. EXISTING FIRE SPRINKLER HEADS TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE CEILING MOUNTED GREEN TRANSPARENT EXIT SIGNS.
7. PROVIDE 3/16" THICK ECORE INTERNATIONAL (FORMERLY DODGE REGUPOL) QT4005 RESILIENT UNDERLAYMENT UNDER THE ALL TILE SURFACE FLOORING.
8. REPAIR EXISTING DRYWALL WALLS, WALLS ABOVE CEILINGS AND CEILINGS IF DAMAGED TO RETAIN REQUIRED FIRE RATING IN ALL RATED WALL CONSTRUCTION.
9. REPAIR EXISTING ACOUSTICAL RATED WALL ABOVE MOVEABLE DOOR TRACKS IF DAMAGED TO RETAIN REQUIRED 52 STC.
10. ALL EXISTING WALLS SURFACES TO BE PREPARED TO AN ACCEPTABLE SMOOTH AND LEVEL SURFACE, TO RECEIVE NEW WALLCOVERING OR PAINT FINISH.
11. ALL EXIT SIGNS AND EMERGENCY LIGHTS TO BE COORDINATE WITH ELECTRICAL PLANS.
12. ALL DOORS LOCATED IN A FIRE RATED PARTITION SHALL BE FIRE RATED DOOR.
13. ALL EXISTING FIRE EXTINGUISHERS TO REMAIN IN EXISTING LOCATIONS UNLESS OTHERWISE NOTED. EXISTING CABINETS TO PAINTED TO MATCH ADJACENT WALLS PAINT OR WALLCOVERING.

NEW UNITS  
ON 18th  
FLOOR

NOT TO SCALE

EXIST. CORR.

SIGN ON DOOR FROM  
INSIDE CORRIDOR:  
DOOR USE ONLY FOR  
EMERGENCY EXIT

1. GRAB BARS AT EACH WATER CLOSET FOR THE 6 SA ROOMS SHOULD BE 42 INCHES LONG AND 36 INCHES LONG FOR SIDE AND REAR GRAB BARS RESPECTIVELY. MAKE SURE THAT THE GRAB BARS ARE MOUNTED BETWEEN 33-36 INCHES AFF.
2. ENSURE THAT TOILET SEAT HEIGHTS ARE MOUNTED BETWEEN 17-19 INCHES AFF.
3. ENSURE THAT OPEN FRAME BEDS ARE PROVIDED IN EACH SA ROOM WITH A MINIMUM OF 6 INCHES OF CLEARANCE FROM THE FLOOR TO THE BOTTOM OF THE BED FRAME.

NEW SLOPE AND NEW  
PEDESTRIAN  
COATING ON TERRACE

1 PRESIDENTIAL SUITE CONVERT TO UNITS- FLOOR PLAN  
A:1.5.02 SCALE: 1/4" = 1'-0"

2 KEY P  
A 15 02 SCALE: N.T.S.

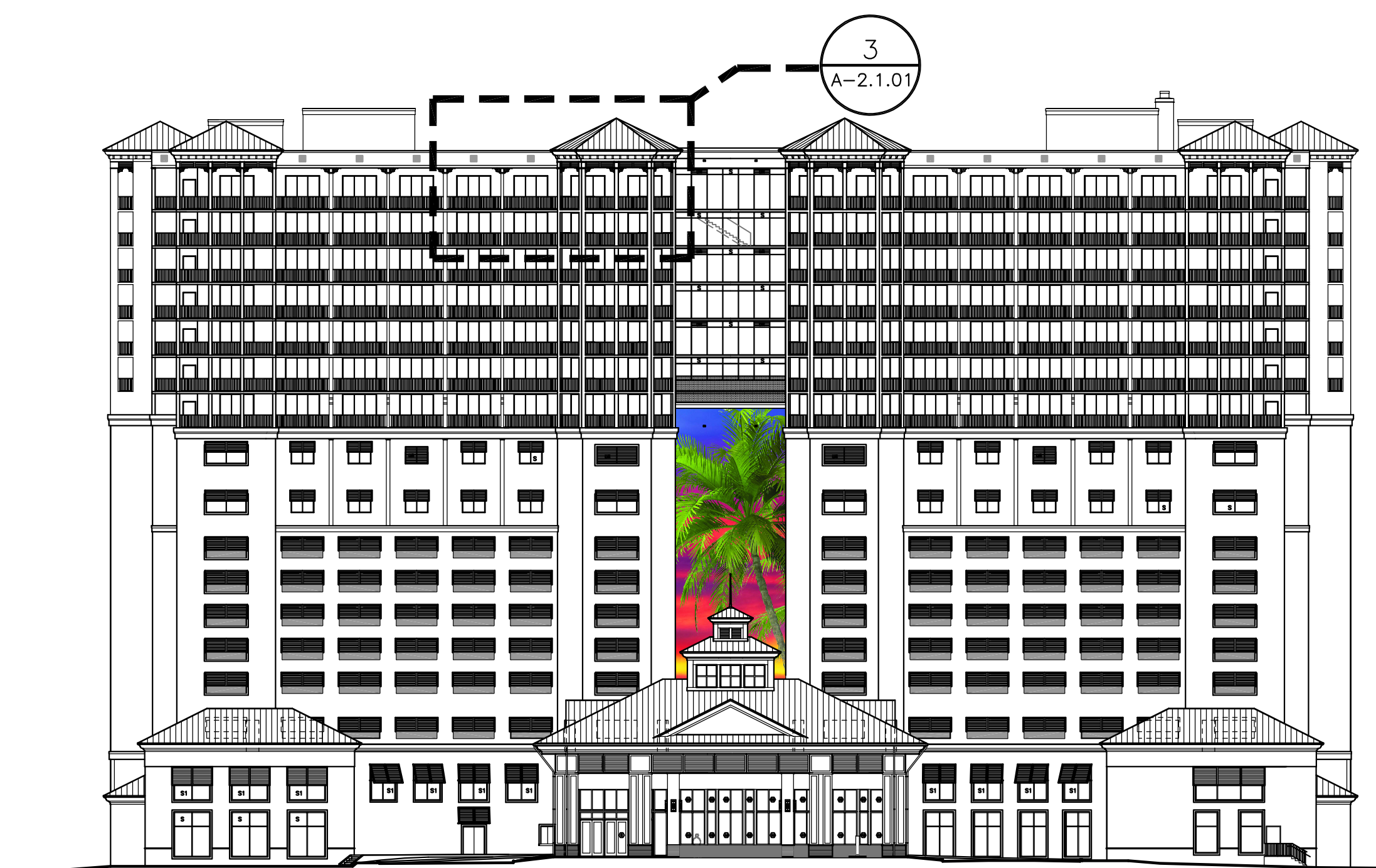




1 EXISTING WEST ELEVATION  
A-2.1.01 SCALE: 1/32" = 1'-0"



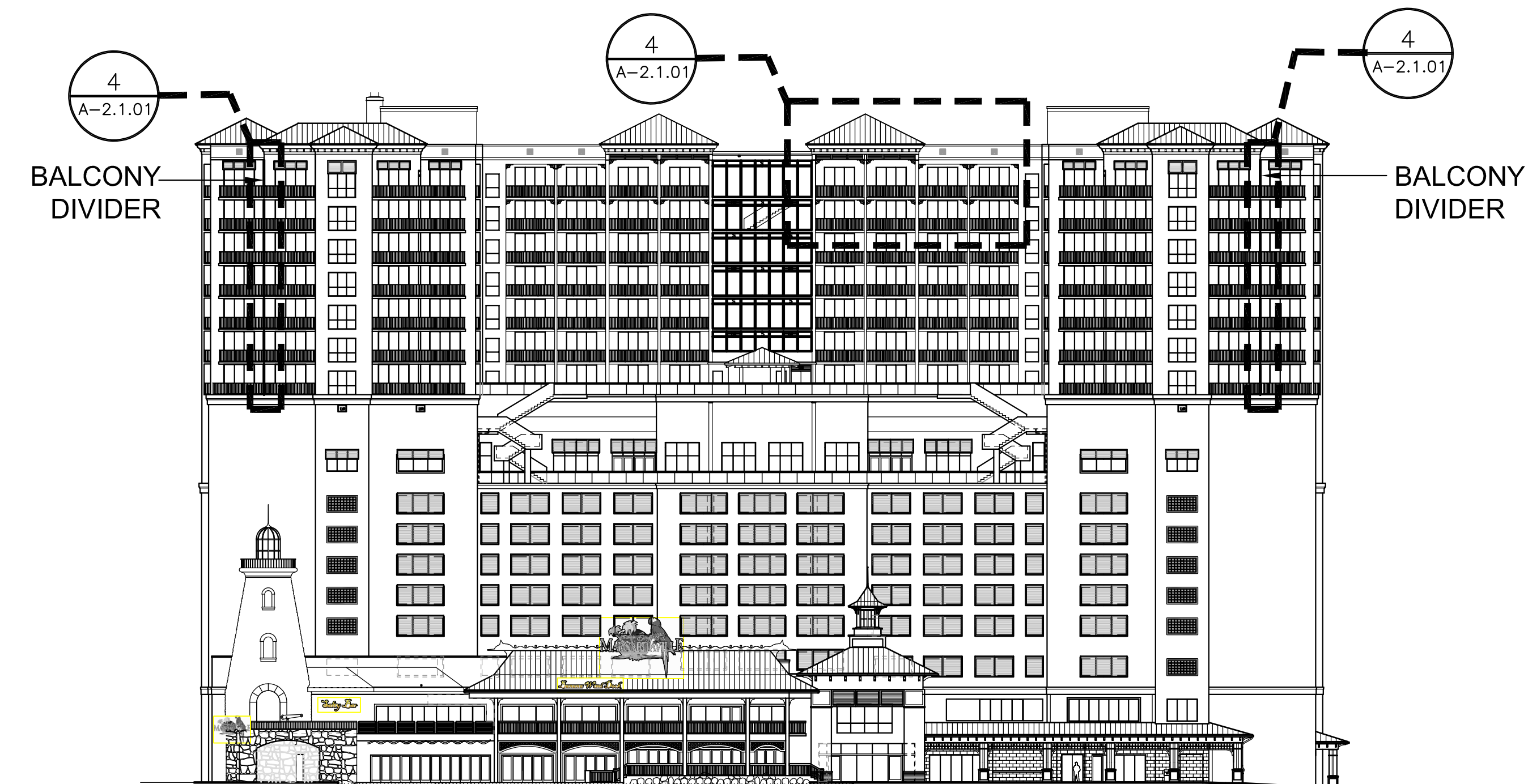
2 EXISTING EAST ELEVATION  
A-2.1.01 SCALE: 1/32" = 1'-0"



3  
A-2.1.01

PROPOSED WEST ELEVATION

SCALE: 1/32" = 1'-0"



4  
A-2.1.01

PROPOSED EAST ELEVATION

SCALE: 1/32" = 1'-0"

NOT TO SCALE

**adache**  
group architects

**PROJECT DESIGN TEAM:**

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## STRUCTURAL



**OWNER:**

DAVIDSON HOTELS  
One Ravinia Drive, Suite 1600  
ATLANTA, GA 30346

**PROJECT:**

MARGARITAVILLE HOTEL  
GUESTROOMS  
CONVERSION

**ISSUED FOR: PERMIT SET**

DATE: 09 / 10 / 2018

REVISIONS:

[illegible]

ARCHITECT NAME: DANIEL ADACHE  
FLORIDA LICENSE: # AR0007073

SEAL:

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND ARE THE PROPERTY OF AOXACHE GROUP. ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AOXACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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**SHEET TITLE:**

### COMPARISON EXISTING WITH NEW ELEVATION

**DATE:** 09-28-2018

**SCALE:** 0" = 0'-0"

**DRAWN BY:** E.T.

CHECKED BY: J.B.  
JOB NO.: 84.11A

**SHEET NO.:** \_\_\_\_\_

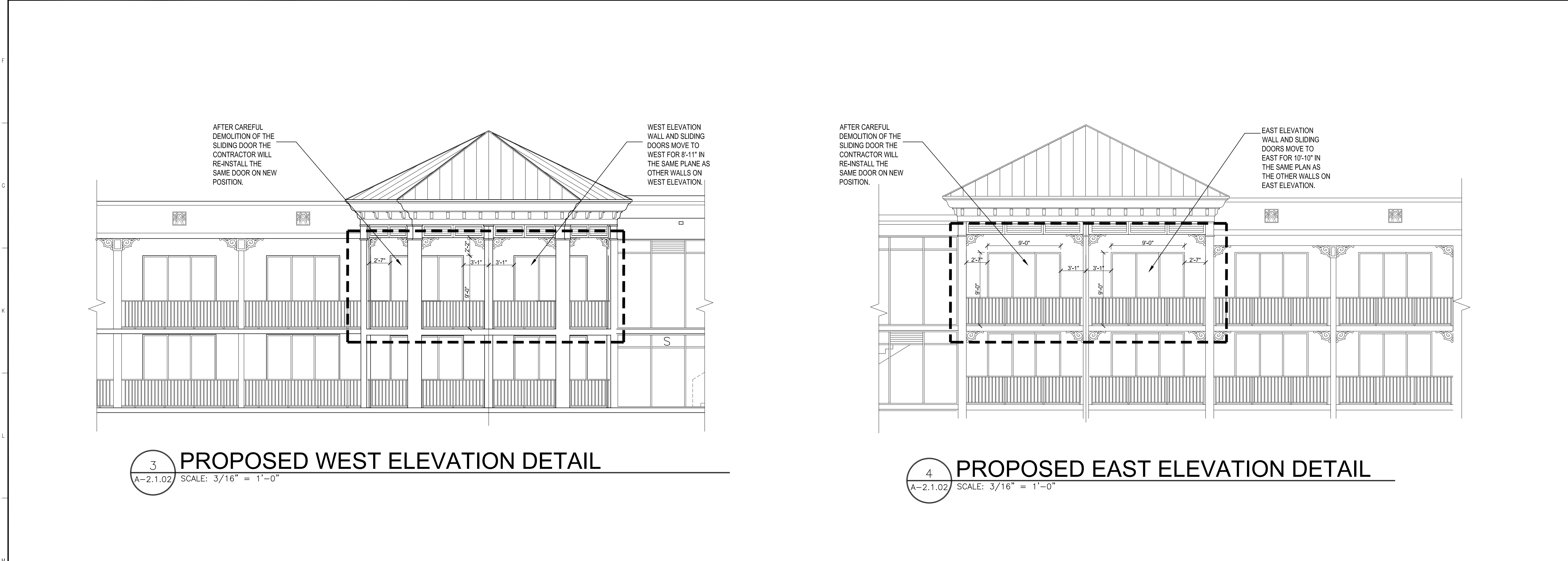
### A-2.1.01





1 EXISTING WEST ELEVATION DETAIL  
A-2.1.02 SCALE: 1/32" = 1'-0"

2 EXISTING EAST ELEVATION DETAIL  
A-2.1.02 SCALE: 1/32" = 1'-0"



3 PROPOSED WEST ELEVATION DETAIL  
A-2.1.02 SCALE: 3/16" = 1'-0"

4 PROPOSED EAST ELEVATION DETAIL  
A-2.1.02 SCALE: 3/16" = 1'-0"

NOT TO SCALE

adache  
group architects

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**PROJECT:**  
MARGARITAVILLE HOTEL  
GUESTROOMS  
CONVERSION

**ISSUED FOR:** PERMIT SET  
**DATE:** 09 / 10 / 2018

REVISIONS:		
No.	DATE	REMARKS

ARCHITECT NAME: DANIEL ADACHE  
FLORIDA LICENSE: # AR0007073

SEAL:

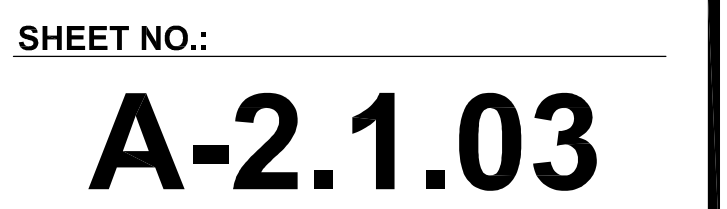
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**SHEET TITLE:**  
COMPARISON EXISTING  
WITH NEW ELEVATION

**DATE:** 09-28-2018  
**SCALE:** 3/16" = 1'-0"  
**DRAWN BY:** E.T.  
**CHECKED BY:** J.B.  
**JOB NO.:** 84.11A

**SHEET NO.:**  
**A-2.1.02**





1  
A-2.1.03

EXISTING PRESIDENTIAL SUIT - FLOOR PLAN DETAIL  
SCALE: 3/8" = 1'-0"  
WEST PART OF UNIT

2  
A-2.1.0.3

EXISTING PRESIDENTIAL SUIT - FLOOR PLAN DETAIL  
SCALE: 3/8" = 1'-0"  
EAST PART OF UNIT

3  
A.2.1.03

PROPOSED UNITS WITH EXTEND - FLOOR PLAN

SCALE: 1/4" = 1'-0"

WEST PART OF UNIT

4  
A.2.1.03

PROPOSED UNITS WITH EXTEND - FLOOR PLAN

SCALE: 1/4" = 1'-0"

EAST PART OF UNIT

NOT TO SCALE

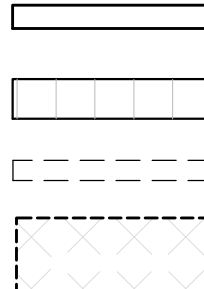
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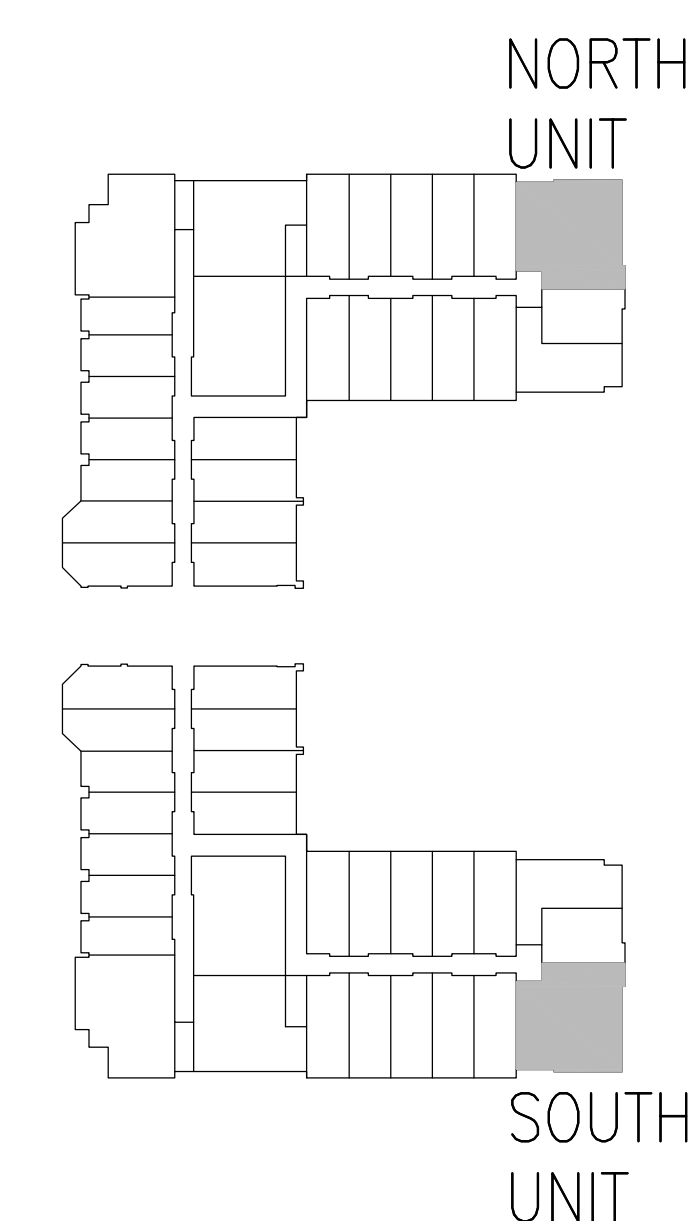


**NORTH CORNER UNITS- DEMO PLAN**  
 SCALE: 1/4" = 1'-0" FOR FLOORS FROM 11th TO 18th

2 SOUTH CORNER UNITS- DEMO PLAN  
 DM.1.1.01 SCALE: 1/4" = 1'-0" FOR FLOORS FROM 11th TO 18th

NOTE:  
DEMOLITION FLOOR PLANS IN SAME CONDITIONS  
FOR FLOORS FROM 11th TO 18th FLOORS ON  
NORTH CORNER AND SOUTH CORNER

DEMOLITION LEGEND FOR CORNER UNITS FROM 11 TO 18 FLOOR	GENERAL DEMOLITION NOTES
 <p>EXISTING GWB PARTITION TO REMAIN</p> <p>EXISTING CMU WALL TO REMAIN</p> <p>EXISTING GWB PARTITION TO BE REMOVED</p> <p>OPENING ON EXISTING WALL</p> <p>EXISTING DOORS TO BE REMOVED</p> <p>EXISTING DOORS TO REMAIN</p>	<ol style="list-style-type: none"> <li>REGULATORY REQUIREMENTS <ul style="list-style-type: none"> <li>A. CONFORM TO APPLICABLE LAWS AND REGULATIONS FOR DEMOLITION OF STRUCTURE, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, SERVICE UTILITIES, DISCOVERED HAZARDS, AND POLLUTION CONTROL.</li> <li>A. COMPLY WITH GOVERNING AREA NOTIFICATION REGULATIONS BEFORE STARTING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.</li> </ul> </li> <li>QUALITY ASSURANCE <ul style="list-style-type: none"> <li>A. DEMOLITION FIRM TO HAVE SUCCESSFULLY COMPLETED SELECTIVE DEMOLITION WORK SIMILAR TO THAT INDICATED FOR THIS PROJECT AND BE APPROVED BY OWNER.</li> <li>B. PRE-DEMOLITION CONFERENCE: CONDUCT OWNER/CONTRACTOR CONFERENCE AT PROJECT SITE PRIOR TO COMMENCING DEMOLITION OPERATIONS.</li> </ul> </li> <li>DISPOSITION OF MATERIALS <ul style="list-style-type: none"> <li>A. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SALVAGE OF LIGHT FIXTURES, FURNISHINGS, DOORS, AND MISCELLANEOUS EQUIPMENT.</li> <li>A. ALL TRANSPORTATION, DUMPING FEES, AND PERMIT FEES SHALL BE SHOWN IN THE BID PRICE.</li> <li>B. CAP, ABANDON AND/OR REMOVE AS NECESSARY ALL UTILITIES ENCOUNTERED, UNLESS OTHERWISE SPECIFIED ON THE PLANS.</li> <li>C. DO NOT BURN DEMOLISHED MATERIALS.</li> </ul> </li> <li>DEMOLITION REQUIREMENTS <ul style="list-style-type: none"> <li>A. ALL STRUCTURAL COLUMNS AND WALLS TO REMAIN. PROTECT AS NECESSARY.</li> <li>B. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.</li> <li>C. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.</li> <li>D. PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED.</li> <li>E. MAINTAIN FIRE PROTECTION FACILITIES DURING DEMOLITION OPERATIONS.</li> <li>F. REFRIGERANT: REMOVE REFRIGERANT FROM MECHANICAL EQUIPMENT ACCORDING TO 40 CFR 82 AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION BEFORE STARTING DEMOLITION.</li> <li>G. MAINTAIN/PROTECT FIRE PROTECTION SYSTEMS DURING SELECTIVE DEMOLITION.</li> </ul> </li> </ol>
<p><b>NOTES</b></p> <p>SEE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION PLANS</p>	<ol style="list-style-type: none"> <li> <ul style="list-style-type: none"> <li>A. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.</li> <li>B. REPAIR REPAIRS TO EXISTING SURFACES ARE REQUIRED. PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.</li> <li>C. REMOVE ALL EXISTING WOOD BOARDS/BACKING.</li> <li>D. REMOVE WALL &amp; FLOOR TILE FINISH THROUGHOUT.</li> <li>E. NEW UNDERGROUND PLUMBING LINES: PROVIDE SLAB REPAIR DETAILS, IN CASE THAT THE GROUND FLOOR SLAB IS STRUCTURAL SLAB THAN THE CONTINUITY OF ANY CUT REINFORCEMENT SHALL BE RESTORED BY SPECIFYING MECHANICAL COUPLERS OR ALTERNATE METHOD IN COMPLIANCE. 402318-10, SECT 12.1.5. (SPICES OF DEFORMED STEEL REINFORCEMENT SHALL BE USED FOR REPAIRS).</li> <li>F. THE WATERPROOFING MEMBRANE IF EXISTING SHALL ALSO BE RESTORED TO SERVE ITS ORIGINAL INTEND.</li> </ul> </li> <li>CLEAN UP <ul style="list-style-type: none"> <li>A. CONTRACTOR TO MAINTAIN A CLEAN JOB SITE DAILY WITHIN AND ADJACENT TO SCOPE OF WORK, SO AS TO MINIMALLY AFFECT BUSINESS OPERATIONS, NEIGHBORHOODS AND TEMPORARY PARTITIONS AS REQUIRED TO LIMIT ESCAPING DUST, DEBRIS, AND NOISE FROM DEMOLITION AND CONSTRUCTION.</li> <li>B. SWEEP THE BUILDING BROOM CLEAN UPON COMPLETION OF DEMOLITION OPERATION.</li> </ul> </li> </ol>
<p><b>KEY NOTES</b></p> <ol style="list-style-type: none"> <li>EXISTING DOOR TO BE REMOVED</li> <li>EXISTING DOOR AND HARDWARE TO REMAIN</li> <li>EXISTING WALL OPENING W/ FRAME TO REMAIN</li> <li>EXISTING PACKET DOOR TO BE REMOVED W/ HARDWARE AND FRAMING</li> <li>OPENING ON EXISTING WALL</li> </ol>	<ol style="list-style-type: none"> <li>THE CONTRACTOR SHALL VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS.</li> <li>THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.</li> <li>IF ANY EXISTING FIREPROOFING OR FIRE ASSEMBLIES WHICH ARE SUPPOSED TO REMAIN ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS. CONTACT ARCHITECT TO VERIFY U/L ASSEMBLIES TO BE USED FOR REPAIRS.</li> <li>REMOVE EXISTING CONSTRUCTION AS INDICATED ON PLANS. TYPICAL WALL REMOVAL INCLUDES MECHANICAL, PLUMBING, COMMUNICATIONS, INFORMATION SYSTEMS, AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, FRAMES, FINISHES AND OTHER FIXTURES AS INDICATED ON PLANS. PATCH ADJOINING WALLS, FLOOR, AND DECK. PREPARE SURFACE TO RECEIVE NEW FINISH PER FINISH SCHEDULE WHERE NEW FINISHES ARE CALLED FOR ON EXISTING SURFACES. REMOVE THE EXISTING FINISH AND PREPARE SURFACE TO RECEIVE THE NEW FINISH.</li> <li>THE CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION.</li> <li>THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES AND ALL STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.</li> <li>THE CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD DISTRIBUTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED FROM THE STRUCTURAL ENGINEER.</li> <li>THE EXISTING BUILDING ENVELOPE SHALL BE PROTECTED AND MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION.</li> <li>THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURFACE PREPARATION REQUIRED IN CONNECTION WITH HIS WORK. THIS SHALL INCLUDE ALL TREATMENT REQUIRED IN THE CLEANING AND LEVELING OF THE EXISTING CONCRETE SLABS. REMOVE ALL DETRIMENTAL COATINGS THAT WILL IMPAIR ADHESION OF MATERIALS. MAKE 72-HOUR ADHESION TEST RECOMMENDED BY THE MANUFACTURER. GRIND DOWN SLAB IF NECESSARY.</li> <li>ALL WORK PRESENTED IN SCOPE OF DEMOLITION PLAN SHALL BE COORDINATED WITH NEW PROPOSED SCOPE PRIOR TO DEMOLITION.</li> <li>PRIOR TO COMMENCING WORK, CONTRACTOR SHALL DISCONNECT POWER TO DEMOLITION AREA. CONTRACTOR SHALL PROVIDE TEMPORARY POWER WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION SCOPE OF WORK.</li> <li>HVAC CONTRACTOR SHALL VERIFY THAT EXISTING FIRE DAMPERS COMPLY WITH APPLICABLE CODES, AND MAKE CORRECTIONS AS NECESSARY FOR CODE COMPLIANCE. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED WALLS.</li> <li>CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY SEQUENCING OF WORK, METHODS OF CONSTRUCTION AND THE DESIGN OF THE SHORING SYSTEM USED TO SUPPORT THE EXISTING STRUCTURE DURING ALL DEMOLITION. AS REQUIRED TO PREVENT OVERSTRESS TO STRUCTURE.</li> <li>CONTRACTOR TO CONTACT ARCHITECT/OWNER IMMEDIATELY IF MOLD OR MILDEW IS FOUND DURING DEMOLITION.</li> <li>THE CONCRETE FLOOR AND CEILING SLABS ARE DESIGNED AS A POST TENSION STRUCTURAL SYSTEM. THE CONTRACTOR MUST HAVE WRITTEN PERMISSION FROM STRUCTURAL ENGINEER OF RECORD PRIOR TO CORING, SHOOTING INTO THE SLAB OR DISTURBING THE FLOOR OR CEILING SLABS IN ANY WAY.</li> <li>HAZARDOUS MATERIALS <ul style="list-style-type: none"> <li>IN THE CASE WHEN HAZARDOUS MATERIAL, E.G. ASBESTOS OR OTHER ARE PRESENT, GO NEED TAKE REGISTER COMPANY FOR REMOVE ASBESTOS AND CLEANED / DISPOSED OF ACCORDING TO THE STATUTORY REQUIREMENTS ADMINSTRATED BY THE ENVIRONMENTAL PROTECTION DEPARTMENT, FIRE SERVICES DEPARTMENT, LABOR DEPARTMENT AND ANY OTHERS.</li> </ul> </li> </ol>



2  
DM.1.1.01

# KEY PLAN

SCALE: N.T.S.



NOT TO SCALE

**PROJECT DESIGN TEAM:**

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[illegible]

ARCHITECT NAME: DANIEL ADACHE  
FLORIDA LICENSE: # AR0007073

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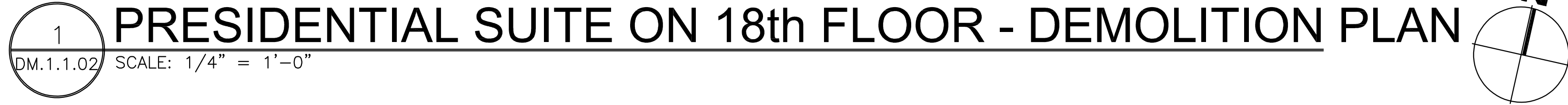
**SHEET TITLE:**  
**ENLARGED CORNER UNITS**  
**DEMOLITION PLAN**

DATE: 08-22-2018  
SCALE: 1/4" = 1'-0"  
DRAWN BY: E.T.  
CHECKED BY: J.B.  
JOB NO.: 84.11A

**SHEET NO.:**

# DM.1.1.01





**KEY PLAN**  
DM.1.1.02 SCALE: N.T.S.

**NOT TO SCALE**

- 1 EXISTING DOOR TO BE REMOVED
- 16 EXISTING DOOR AND HARDWARE TO REMAIN
- 2 REMOVE EXISTING PLUMBING FIXTURES AND CAP OFF PIPES
- 3 REMOVE ALL EXISTING LIGHT FIXTURES AND SCONCE, CEILING AND LOW VOLTAGE. ELECTRICAL WIRES, POWER, AND CONDUIT TO BE CARPED UP FOR REUSE. (REFER TO MEP DRAWINGS)
- 4 EXISTING FIRE RATED GWB CHASE WALLS ARE TO REMAIN AND MODIFY.  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE INTEGRITY OF THE CHASES FROM DAMAGE DURING DEMOLITION.
- 5 EXISTING A/C UNIT TO BE REMOVED.  
(REFER TO MEP DRAWINGS)
- 5A EXISTING A/C UNIT TO BE REMAIN.  
(REFER TO MEP DRAWINGS)
- 6 EXISTING GWB CEILING TO BE REMOVED WITH CROWN AND DRAPERY COVE WITH DRAPERY
- 7 EXISTING FLOORING TO BE REMOVED WITH BASE
- 7A EXISTING FLOOR DRAIN TO BE REMOVED WITH PIPES
- 8 EXISTING GWB WALL TO BE REMOVED
- 9 EXISTING CMU WALL TO BE REMOVED
- 10 EXISTING COLUMN TO BE REMAIN
- 11 REMOVE EXISTING FIRE RATED GWB CHASE WALLS.
- 12 REMOVE EXISTING STOREFRONT GLAZING PORTAL OR SLIDING DOOR
- 13 REMOVE EXISTING MILLWORK.
- 14 REMOVE EXISTING BASE, TILES WITH MORTAR BED, AND WATERPROOFING MEMBRANE.

1. REGULATORY REQUIREMENTS

A. CONFORM TO APPLICABLE LAWS AND REGULATIONS FOR DEMOLITION OF STRUCTURE, INCLUDING A VARIETY OF ADJACENT STRUCTURES, DUST CONTROL, SERVICE UTILITIES, DISCOVERED HAZARDS, AND POLLUTION CONTROL.

B. COMPLY WITH GOVERNING EIA NOTIFICATION REGULATIONS BEFORE STARTING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

2. QUALITY ASSURANCE

A. DEMOLITION FIRM TO HAVE SUCCESSFULLY COMPLETED SELECTIVE DEMOLITION WORK SIMILAR TO THAT INDICATED FOR THIS PROJECT AND BE APPROVED BY OWNER.

B. PRE-DEMOLITION CONFERENCE TO BE HELD WITH ARCHITECT/ENGINEER/CONTRACTOR CONFERENCE AT PROJECT SITE PRIOR TO COMMENCING DEMOLITION OPERATIONS.

3. DISPOSITION OF MATERIALS

A. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SALVAGE OF ALL FIXTURES, FURNISHINGS, DOORS AND MISCELLANEOUS ITEMS. THE CONTRACTOR SHALL ARRANGE FOR ALL TRANSPORTATION, DUMPING FEES, AND PERMIT FEES SHALL BE INCLUDED IN THE BID PRICE.

B. CASH ABANDON AND/OR REMOVE AS NECESSARY ALL UTILITIES ENCOUNTERED, UNLESS OTHERWISE SPECIFIED ON THE PLANS.

C. DO NOT BURN DUMPED DEMOLITION MATERIALS.

4. DEMOLITION REQUIREMENTS

A. PROTECT ALL STRUCTURAL COLUMNS AND WALLS TO REMAIN. PROTECT AS NECESSARY.

B. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.

C. DO NOT INTERRUPT ALL SERVICE UTILITIES DURING DEMOLITION. OBTAIN WRITTEN PERMISSION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.

D. PROTECT EXISTING ITEMS WHICH ARE NOT INDICATED "TO BE REMOVED."

E. MAINTAIN FIRE PROTECTION FACILITIES DURING DEMOLITION.

F. REFRIGERANT: REMOVE REFRIGERANT FROM MECHANICAL EQUIPMENT TO 40 CFR 82 REGULATIONS. REFRIGERANT CONTAINERS HAVING A LEAK MUST BE REPAIRED OR DESTROYED.

G. MAINTAIN/PROTECT FIRE PROTECTION SYSTEMS DURING SELECTIVE DEMOLITION.

5. PATCHING AND REPAIRS

A. COMPLETELY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.

B. WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.

C. REMOVE ALL EXISTING WOOD BOARD/SKIDING.

D. REMOVE WALL & FLOOR TILE FINISHES TO THE JOINT.

E. NEW UNDERGROUND PLUMBING LINES: PROVIDE SLAB REPAIR DETAILS, IN CASE THAT THE GROUND WATER IS BELOW FINISH FLOOR SLAB THAN THE COMPLETION OF ANY OUT REINFORCEMENT SHALL BE ACCOMPLISHED BY SPECIFYING MECHANICAL COUPLERS OR ALTERNATE METHOD IN COMPLIANCE 12310-10, SECT-12.15. (SPLICES OF DEFORMED BARS IN TENSION).

F. WATERPROOFING MEMBRANE IF EXISTING SHALL ALSO BE RESTORED TO SERVE ITS ORIGINAL INTEND.

6. CLEAN UP

A. CONTRACTOR TO MAINTAIN A CLEAN JOB SITE DAILY WITHIN AND ADJACENT TO SCOPE OF WORK. SO AS TO MINIMIZE SELECTIVE BUSINESS OPERATIONS, ALSO MAINTAIN AIRLOCKS AND TEMPORARY PARTITIONS AS REQUIRED TO LIMIT EXISTING DUSTS, DEBRIS, AND NOISE FROM DEMOLITION.

B. MAINTAIN THE BUILDING BROOM CLEAN UPON COMPLETION OF DEMOLITION OPERATION.

7. THE CONTRACTOR SHALL SUBMIT THESE DRAWINGS WITH EXISTING FIELD CONDITIONS.

8. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY WORK IS DISCOVERED THAT IS NOT SHOWN ON THE DRAWINGS OR NOT IN THE EXISTING FIELD CONDITIONS.

9. IF ANY EXISTING FIREPROOFING OR FIRE ASSEMBLIES WHICH ARE SUPPOSED TO REMAIN ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO ORIGINAL FIRE PROTECTION REQUIREMENTS. CONTACT ARCHITECT TO VERIFY U.L. ASSEMBLIES TO BE USED FOR REPAIRS.

10. REMOVE EXISTING CONSTRUCTION AS INDICATED ON PLANS. TYPICAL WALL REMOVAL INCLUDES: EXISTING UNDERGROUND PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS. IF SYSTEMS ARE CONTAINED THEREIN, REMOVE DOORS, CASEWORK, FRAMES, FINISHES, AND OTHER FIXTURES AS INDICATED ON PLANS. THE CONTRACTOR SHALL MAINTAINED ALL EXISTING REQUIREMENTS IN THE CLEANING AND REMOVAL OF THE EXISTING CONCRETE SLABS. BE RESPONSIBLE FOR ALL DETRIMENTAL COATINGS THAT WILL IMPAIR ADHESION OF MATERIAL. MAKE 72-HOUR ADHESION TEST RECOMMENDED BY THE MANUFACTURER. GRIND DOWN SLAB IF NECESSARY.

11. THE CONTRACTOR SHALL VERIFY THAT EXIST GRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION.

12. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES AND ALL STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.

13. THE CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY SUCH ACTION PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED FROM THE STRUCTURAL ENGINEER.

14. THE EXISTING BUILDING ENVELOPE SHALL BE PROTECTED AND MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURFACE PREPARATION REQUIRED IN CONNECTION WITH BUILDING DEMOLITION AS REQUIRED TO PREVENT OVERLOADING OF THE EXISTING STRUCTURE.

16. ALL WORK PRESENTED IN SCOPE OF DEMOLITION PLAN SHALL BE COORDINATED WITH NEW PROPOSED SCOPE PRIOR TO DEMOLITION.

17. PRIOR TO COMMENCING WORK, CONTRACTOR SHALL DISCONNECT POWER TO DEMOLITION AREA. CONTRACTOR SHALL PROVIDE TEMPORARY POWER WHERE REQUIRED DURING DEMOLITION AND MAINTAIN TEMPORARY SCOPES OF WORK.

18. HVAC CONTRACTOR SHALL VERIFY THAT EXISTING FIRE DAMPERS COMPLY WITH APPLICABLE CODES, AND MAKE CORRECTIONS AS NECESSARY FOR CODE COMPLIANCE. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED PARTITIONS.

19. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY SEQUENCING OF WORK, METHODS OF CONSTRUCTION AND THE DESIGN OF THE SHORING SYSTEM USED TO SUPPORT THE EXISTING STRUCTURE THROUGH DEMOLITION AS REQUIRED TO PREVENT OVERLOADING OF THE EXISTING STRUCTURE.

20. CONTRACTOR TO CONTACT ARCHITECT/OWNER IMMEDIATELY IF MOLD OR MILDEW IS FOUND DURING DEMOLITION.

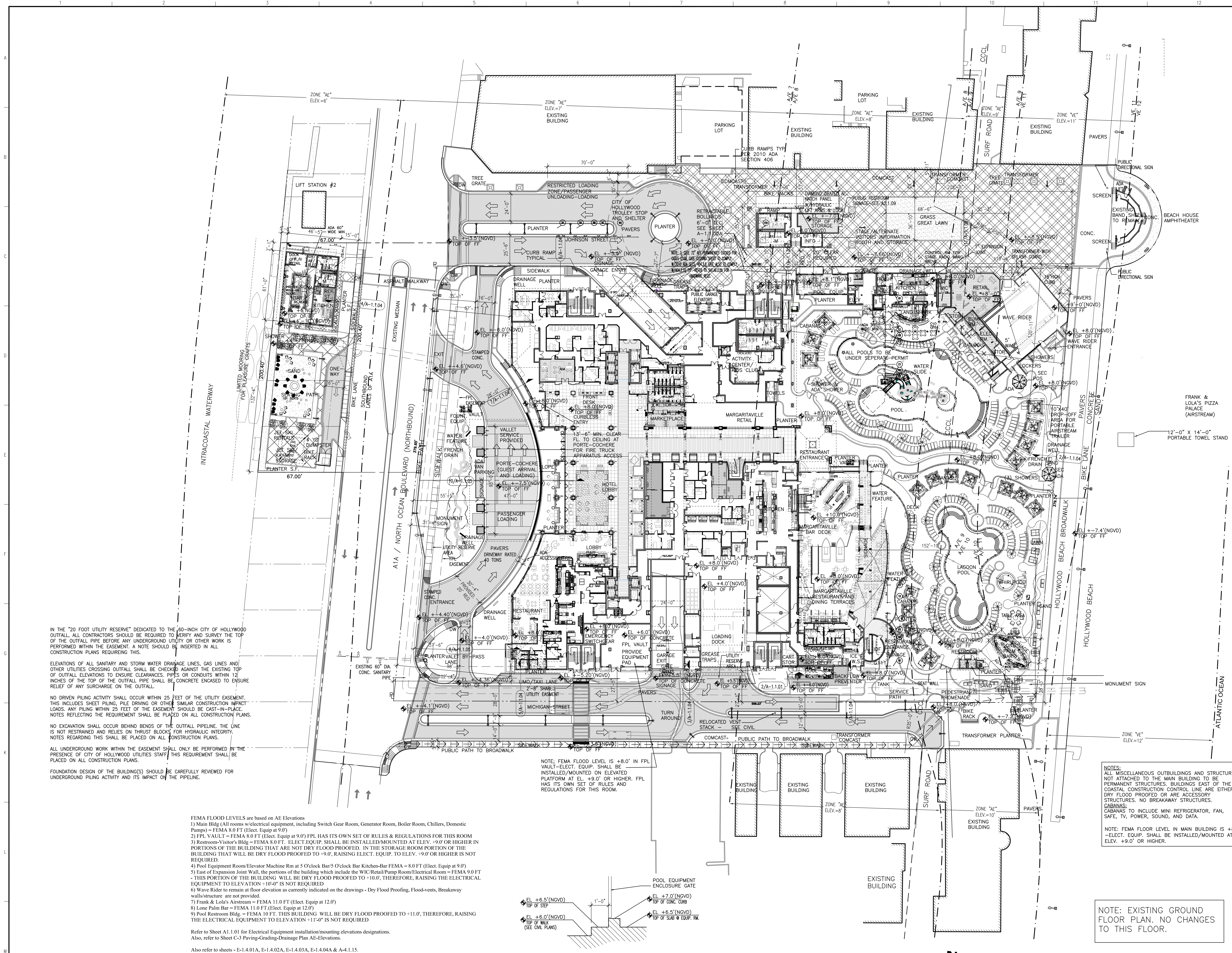
21. THE CONCRETE FLOOR AND CEILING SLABS ARE DESIGNED AS A POST TENSIONED STRUCTURAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE POST TENSIONING AND CABLES TO CORING, SHOOTING INTO THE SLAB OR DISTURBING THE FLOOR OR CEILING SLABS IN ANY WAY.

22. HAZARDOUS MATERIALS

A. IN THE CASE WHEN HAZARDOUS MATERIALS E.G. ASBESTOS OR OTHER ARE PRESENT, GC NEED TAKE THE FOLLOWING ACTIONS: REMOVE ASBESTOS AND CLEANED / DISPOSED OF ACCORDING TO THE STATUTORY REQUIREMENTS ADMINISTERED BY THE ENVIRONMENTAL PROTECTION DEPARTMENT, FIRE SERVICES DEPARTMENT AND OTHER RELEVANT AGENCIES.

SHEET NO.: DM-1.1.02





IN THE "20 FOOT UTILITY RESERVE" DEDICATED TO THE 60-INCH CITY OF HOLLYWOOD OUTFALL, ALL CONTRACTORS SHOULD BE REQUIRED TO VERIFY AND SURVEY THE TOP OF THE OUTFALL PIPE BEFORE ANY UNDERGROUND UTILITY OR OTHER WORK IS PERFORMED WITHIN THE EASEMENT. A NOTE SHOULD BE INSERTED IN ALL CONSTRUCTION PLANS REQUIRING THIS.

ELEVATIONS OF ALL SANITARY AND STORM WATER DRAINAGE LINES, GAS LINES AND OTHER UTILITIES CROSSING OUTFALL SHALL BE CHECKED AGAINST THE EXISTING TOP OF OUTFALL ELEVATIONS TO ENSURE CLEARANCES. PIPES OR CONDUITS WITHIN 12 INCHES OF THE TOP OF THE OUTFALL PIPE SHALL BE CONCRETE ENCASED TO ENSURE RELIEF OF ANY SURCHARGE ON THE OUTFALL.

NO DRIVEN PILING ACTIVITY SHALL OCCUR WITHIN 25 FEET OF THE UTILITY EASEMENT. THIS INCLUDES SHEET PILING, PILE DRIVING OR OTHER SIMILAR CONSTRUCTION IMPACT LOADS. ANY PILING WITHIN 25 FEET OF THE EASEMENT SHOULD BE CAST-IN-PLACE. NOTES REFLECTING THE REQUIREMENT SHALL BE PLACED ON ALL CONSTRUCTION PLANS.

NO EXCAVATION SHALL OCCUR BEHIND BENDS OF THE OUTFALL PIPELINE. THE LINE IS NOT RESTRAINED AND RELIES ON THRUST BLOCKS FOR HYDRAULIC INTEGRITY. NOTES REGARDING THIS SHALL BE PLACED ON ALL CONSTRUCTION PLANS.

ALL UNDERGROUND WORK WITHIN THE EASEMENT SHALL ONLY BE PERFORMED IN THE PRESENCE OF CITY OF HOLLYWOOD UTILITIES STAFF. THIS REQUIREMENT SHALL BE PLACED ON ALL CONSTRUCTION PLANS.

FOUNDATION DESIGN OF THE BUILDING(S) SHOULD BE CAREFULLY REVIEWED FOR UNDERGROUND PILING ACTIVITY AND ITS IMPACT ON THE PIPELINE.

- FEMA FLOOD LEVELS are based on AE Elevations
- 1) Main Bldg (All rooms w/electrical equipment, including Switch Gear Room, Generator Room, Boiler Room, Chillers, Domestic Pumps) = FEMA 8.0 FT (Elect. Equip. at 9.0')
  - 2) FPL VAULT = FEMA 8.0 FT (Elect. Equip. at 9.0')
  - 3) Restroom-Visitor's Bldg = FEMA 8.0 FT. ELECT. EQUIP. SHALL BE INSTALLED/MOUNTED AT ELEV. +9.0' OR HIGHER IN PORTIONS OF THE BUILDING THAT ARE NOT DRY FLOOD PROOFED. IN THE STORAGE ROOM PORTION OF THE BUILDING THAT WILL BE DRY FLOOD PROOFED TO +9.0', RAISING ELECT. EQUIP. TO ELEV. +9.0' OR HIGHER IS NOT REQUIRED.
  - 4) Pool Equipment Room/Elevator Machine Rm at 5 O'clock Bar/5 O'clock Bar Kitchen-Bar FEMA = 8.0 FT (Elect. Equip. at 9.0')
  - 5) East of Expansion Joint Wall, the portions of the building which include the WIC/Retail/Pump Room/Electrical Room = FEMA 9.0 FT - THIS PORTION OF THE BUILDING WILL BE DRY FLOOD PROOFED TO +10.0', THEREFORE, RAISING THE ELECTRICAL EQUIPMENT TO ELEVATION +10.0' IS NOT REQUIRED.
  - 6) Wave Rider to remain at floor elevation as currently indicated on the drawings - Dry Flood Proofing, Flood-vents, Breakaway walls/structure are not provided.
  - 7) Frank & Lola's Airstream = FEMA 11.0 FT (Elect. Equip. at 12.0')
  - 8) Lone Palm Bar = FEMA 11.0 FT (Elect. Equip. at 12.0')
  - 9) Pool Restroom Bldg = FEMA 10 FT. THIS BUILDING WILL BE DRY FLOOD PROOFED TO +11.0', THEREFORE, RAISING THE ELECTRICAL EQUIPMENT TO ELEVATION +11.0' IS NOT REQUIRED.

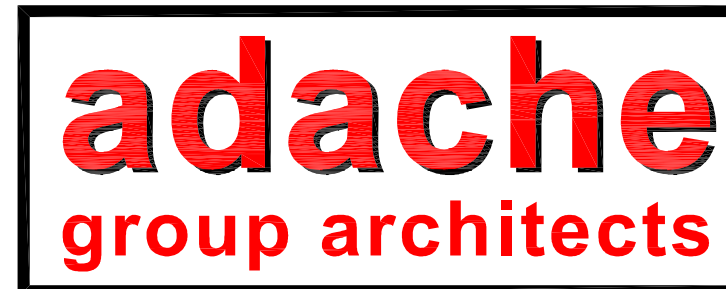
Refer to Sheet A-1.1.01 for Electrical Equipment installation/mounting elevations designations.  
Also, refer to Sheet C-3 Paving-Grading-Drainage Plan AE-Elevations.  
Also refer to sheets - E-1.4.01A, E-1.4.02A, E-1.4.03A, E-1.4.04A & A-4.1.1.5.

2 STEP/CURB DETAIL.  
A-1.1.01 SCALE: 1/2"=1'-0"

1 SITE PLAN  
A-1.1.01 SCALE: 1/32"=1'-0"

NOTE: EXISTING GROUND FLOOR PLAN. NO CHANGES TO THIS FLOOR.

NOTES:  
ALL MISCELLANEOUS OUTBUILDINGS AND STRUCTURES NOT ATTACHED TO THE MAIN BUILDING TO BE PERMANENT STRUCTURES. BUILDINGS EAST OF THE COASTAL CONSTRUCTION CONTROL LINE ARE EITHER DRY FLOOD PROOFED OR ARE ACCESSORY STRUCTURES. NO BREAKAWAY STRUCTURES.  
CABANAS TO INCLUDE MINI REFRIGERATOR, FAN, SAFE, TV, POWER, SOUND, AND DATA.  
NOTE: FEMA FLOOD LEVEL IN MAIN BUILDING IS +8.0' -ELECT. EQUIP. SHALL BE INSTALLED/MOUNTED AT ELEV. +9.0' OR HIGHER.



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**STRUCTURAL**



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**PROJECT:**  
MARGARITAVILLE HOTEL  
GUESTROOMS  
CONVERSION

**ISSUED FOR:** PERMIT SET  
**DATE:** 09 / 10 / 2018

REVISIONS:		
No.	DATE	REMARKS

**ARCHITECT NAME:** DANIEL ADACHE  
**FLORIDA LICENSE:** # AR0007073

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**SHEET TITLE:**  
EXISTING SITE PLAN

**DATE:** 08-27-2018  
**SCALE:** 1/32"=1'-0"  
**DRAWN BY:** E.T.  
**CHECKED BY:** J.B.  
**JOB NO.:** 84-11A

**SHEET NO.:**  
**A-1.1.01**