

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 3/4/2019

Location Address: 1111 North Ocean Drive

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5412 13 08 0010

Zoning Classification: GU Land Use Classification: GBUS

Existing Property Use: Margaritaville Hotel & Resort Sq Ft/Number of Units: N/A

Is the request the result of a violation notice? () Yes (x) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): Yes

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☒ City Commission ☒ Planning and Development

Explanation of Request: The Applicant is requesting to increase the number of hotel rooms from 349 to 369. There will be no increase in square footage as larger suites are being divided into smaller rooms. 369 hotel rooms (349

Number of units/rooms: existing: 20 proposed Sq Ft: 23,057 square feet existing

Value of Improvement: \$1.5 million Estimated Date of Completion: November 2019

Will Project be Phased? () Yes (x) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: MVHF, LLC

Address of Property Owner: 100 ST. Paul Street, Suite 800, Denver, CO 80206

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Greenspoon Marder LLP (Alicia Lewis, Esq.)

Address: 200 E. Broward Blvd, Suite 1800, Fort Lauderdale, FL 33301 Telephone: (954) 527-6276

Fax: (954) 333-4282 Email Address: Alicia.lewis@gmlaw.com

Date of Purchase: April 2018 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Crystal T. Beasley* Date: 3/14/19

PRINT NAME: CRYSTAL T. BEASLEY Date: 3/14/19

Signature of Consultant/Representative: *ALP* Date: 3/14/19

PRINT NAME: ALICIA LEWIS Date: 3/14/19

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for increase number of hotel rooms to my property, which is hereby made by me or I am hereby authorizing Greenspan Marder LLP to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 14th day of March

Kim Nicole Santiago
Notary Public

State of Florida

My Commission Expires: 2/28/20 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Print Name

MARGARITAVILLE HOLLYWOOD BEACH RESORT
HOLLYWOOD BEACH, FLORIDA

GUESTROOMS CONVERSION

1111 NORTH OCEAN DRIVE - HOTEL SITE
1112 NORTH OCEAN DRIVE - INTRACOASTAL SITE
HOLLYWOOD, FLORIDA 33019

TAC SUBMITTAL CITY OF HOLLYWOOD 03 / 04 / 2019



PROJECT DESIGN TEAM

OWNER	ARCHITECTS	M.E.P. ENGINEER	CREATIVE /INTERIOR DESIGNER
DAVIDSON HOTELS One Ravinia Drive, Suite 1600 ATLANTA, GA 30346	ADACHE GROUP ARCHITECTS 550 SOUTH FEDERAL HIGHWAY FT. LAUDERDALE, FLORIDA 33301 PH.(954) 525-8133 FAX.(954) 728-8159 E-MAIL: info@adache.com	JOHNSON,AVEDANO, LOPEZ, RODRIGUEZ & WALEWSKI L.L.C. Engineering Group, Inc. 2510 NW 97th Avenue, Suite 220 MIAMI, FLORIDA 33172 PH. (305) 594-0660 FAX. (305) 594-0907 E-MAIL:	PAT MCBRIDE CO. 260 Andalusia Ave Coral Gables, FL, 33134 PH.(305) 906-0033 Diana Rossi, Designer E-MAIL: Diana@McBrideDesign.com

INDEX OF DRAWINGS:

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A.1.1.01	SITE PLAN
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adache
group architects

PROJECT DESIGN TEAM:
ARCHITECTS
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PH. (954) 525-8133 FAX. (954) 728-8159
E-MAIL: info@adache.com

INTERIOR DESIGNERS
PAT MCBRIDE CO.
260 Andalusia Ave
Coral Gables, FL, 33134
PH.(305) 906-0033
Diana Rossi, Designer
E-MAIL: Diana@McBrideDesign.com

MEP
JOHNSON,AVEDANO, LOPEZ,
RODRIGUEZ & WALEWSKI L.L.C.
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MIAMI, FLORIDA 33172
PH. (305) 594-0660 FAX. (305) 594-0907
E-MAIL:

STRUCTURAL



OWNER:
DAVIDSON HOTELS
One Ravinia Drive, Suite 1600
ATLANTA, GA 30346

PROJECT:
MARGARITAVILLE HOTEL
GUESTROOMS
CONVERSION

ISSUED FOR: PRE-APPLICATION
CONCEPTUAL OVERVIEW
DATE: 11 / 26 / 2018

REVISIONS:		
No.	DATE	REMARKS

ARCHITECT NAME: DANIEL ADACHE
FLORIDA LICENSE: # AR0007073

SEAL:

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ADACHE GROUP ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE IDEAS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.
FLORIDA LICENSE # AR0007073

SHEET TITLE:
COVER SHEET

DATE: 11-26-2018
SCALE: NA
DRAWN BY: E.T.
CHECKED BY: J.B.
JOB NO.: 84.11A

SHEET NO.:
A-0.0.00

ACCESSIBLE ROOMS REQUIRED & GENERAL ACCESSIBILITY NOTES									
PREVIOUS CALCULATION					NEW CALCULATION				
ACCESSIBLE ROOM REQUIREMENTS FOR HOTEL WITH 349 ROOMS (THIS HOTEL FALLS INTO THE ROOM # CATEGORY OF 301-400)					ACCESSIBLE ROOM REQUIREMENTS FOR HOTEL WITH 369 ROOMS (THIS HOTEL FALLS INTO THE ROOM # CATEGORY OF 301-400)				
TYPE	ACCESSIBLE ELEMENTS REQUIRED	ACCESSIBLE ELEMENTS PROVIDED			TYPE	ACCESSIBLE ELEMENTS REQUIRED	ACCESSIBLE ELEMENTS PROVIDED		
HEARING IMPAIRED	20	20*			HEARING IMPAIRED	20	20*		
ADA ACCESSIBLE (4 TO HAVE ROLL IN SHOWERS)	8 W/ TUB + 4 ROLL IN SHOWERS = 12	10 W/ TUB + 4 ROLL IN SHOWERS = 14			ADA ACCESSIBLE (4 TO HAVE ROLL IN SHOWERS)	8 W/ TUB + 4 ROLL IN SHOWERS = 12	10 W/ TUB + 4 ROLL IN SHOWERS = 14		
SPECIAL ACCESSIBLE (FLORIDA 5%)	349x.05=12*	6	6		SPECIAL ACCESSIBLE (FLORIDA 5%)	370x.05=12*	7	7	
TOTAL REQUIRED:	38	40			TOTAL REQUIRED:	39	41		
*10% of Hearing Impaired units are also ADA units (10% = 2 units).					IN NEW CALCULATION IS ONE MORE ROOM WITH SPECIAL ACCESSIBLE. *10% of Hearing Impaired units are also ADA units (10% = 2 units).				
ACCESSIBLE ROOMS GENERAL ACCESSIBILITY NOTES									
SPECIAL ACCESSIBLE 1. GRAB BARS AT EACH WATER CLOSET FOR THE 6 SA ROOMS SHOULD BE 42 INCHES LONG AND 36 INCHES LONG FOR SIDE AND REAR GRAB BARS RESPECTIVELY. MAKE SURE THAT THE GRAB BARS ARE MOUNTED BETWEEN 11-19 INCHES AFF. 2. ENSURE THAT TOILET SEAT HEIGHTS ARE PROVIDED BETWEEN 11-19 INCHES AFF. 3. ENSURE THAT OPEN FRAME BEDS ARE PROVIDED IN EACH SA ROOM WITH A MINIMUM OF 6 INCHES OF CLEARANCE FROM THE FLOOR TO THE BOTTOM OF THE BED FRAME. ROOMS WITH COMMUNICATION FEATURES 1. TO ENSURE COMMUNICATION WITHIN THE FACILITY, AS WELL AS ON COMMERCIAL LINES, PROVIDE TELEPHONE INTERFACE JACKS THAT ARE COMPATIBLE WITH BOTH DIGITAL AND ANALOG SIGNAL USE. IF AN AUDIO HEADPHONE JACK IS PROVIDED ON A SPEAKER PHONE, A CUTOFF SWITCH CAN BE INCLUDED IN THE JACK SO THAT INSERTION OF THE JACK CUTS OFF THE SPEAKER. IF A TELEPHONE-LINE HANDSET IS USED, THE EXTERNAL SPEAKERS CAN BE TURNED OFF WHEN THE HANDSET IS REMOVED FROM THE FLOORSET. FOR HEADSET OR EXTERNAL AMPLIFICATION SYSTEM COMPATIBILITY, A STANDARD SUBMINIATURE JACK INSTALLED IN THE TELEPHONE WILL PROVIDE THE MOST FLEXIBILITY. 2. PROVIDE VISUAL ALARMS IN THESE ROOMS THAT ARE MOUNTED 80 INCHES AFF TO THE CENTER OF THE STROBE. THESE ALARMS SHOULD COMPLY WITH 702.1 OF THE 2012 FABC AND 2010 ADA. 3. VISIBLE NOTIFICATION DEVICES SHALL BE PROVIDED TO ALERT ROOM OCCUPANTS OF INCOMING TELEPHONE CALLS AND A DOOR KNOCK OR BELL. 4. NOTIFICATION DEVICES SHALL NOT BE CONNECTED TO VISIBLE ALARM SIGNAL APPLIANCES. 5. TELEPHONES SHALL HAVE VOLUME CONTROLS COMPATIBLE WITH THE TELEPHONE SYSTEM. 6. THE TELEPHONE SHOULD BE EQUIPPED WITH A RECEIVE VOLUME CONTROL THAT PROVIDES A GAIN ADJUSTABLE UP TO 20 DB MINIMUM. FOR INCREMENTAL VOLUME CONTROL, PROVIDE AT LEAST ONE INTERMEDIATE STEP OF 12 DB OF GAIN MINIMUM. 7. TELEPHONES SHALL BE LOCATED WITHIN 48 INCHES OF AN ELECTRICAL OUTLET. THE FOLLOWING RECOMMENDATIONS ARE TYPICAL AND APPLY TO ALL ACCESSIBLE GUEST ROOMS. 1. PLEASE LOCATE THE CLOTHES IRON NO HIGHER THAN 48 INCHES AFF. AND ON AN ACCESSIBLE ROUTE. 2. PROVIDE A CLOTHES ROD IN THE CLOSET NO HIGHER THAN 48 INCHES AFF. 3. PROVIDE A SHELF IN THE CLOSET NO HIGHER THAN 48 INCHES AFF. 4. WHERE THE REACH DEPTH FOR A FORWARD APPROACH IS GREATER THAN 20 INCHES THE HIGH FORWARD REACH SHALL BE 44 INCHES AFF. MAXIMUM AND THE REACH DEPTH SHALL BE 25 INCHES MAXIMUM. WHERE A SIDE APPROACH IS OVER AN OBSTRUCTION OF 10 INCHES THE HIGH SIDE REACH SHALL BE 46 INCHES MAXIMUM FOR A REACH DEPTH OF 24 INCHES MAXIMUM. 5. LOCATE THE SAFE SO THAT BOTH THE LOCKING MECHANISM AND THE CONTENTS OF THE SAFE ARE WITHIN THE REACH RANGES REQUIRED BY 308. 6. SPECIFY ALL LIGHTING FIXTURES WITH PUSH-BUTTON OR OTHER TYPE THAT DOES NOT REQUIRE PINCHING OR TWISTING OF THE WRIST TO OPERATE. 7. LOCATE THE WALL SWITCHES TO BE NO HIGHER THAN 48 INCHES AFF. 8. MOUNT THE THERMOSTAT NO HIGHER THAN 48 INCHES AFF. ENSURE THAT IT IS ON AN ACCESSIBLE ROUTE. 9. LOCATE THE ELECTRICAL OUTLETS TO BE AT LEAST 15 INCHES AFF. (TO CENTERLINE OF LOWER RECEPTACLE OF PAIR) AND PROVIDE CLEAR FLOOR SPACE FOR A FORWARD APPROACH. 10. PROVIDE AN AUDIBLE AND VISIBLE ALARM. 11. MOUNT THE GUEST ROOM REFRIGERATOR SUCH THAT THE ITEMS IT CONTAINS ARE WITHIN THE REACH RANGES FOR A PERSON SEATED IN A WHEELCHAIR, BETWEEN 15 INCHES AND 48 INCHES AFF. 12. PROVIDE U-SHAPED ROLL HANDLES, OR WITH ANOTHER TYPE COMPLIANT WITH 308. THE HARDWARE MUST DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE, AND MUST BE OPERABLE WITH LESS THAN 5 POUNDS OF FORCE. 13. PROVIDE A DESK THAT HAS THE FOLLOWING MOBILITY FEATURES: ACCESSIBLE WORK SURFACE HEIGHT MUST BE BETWEEN 28 AND 34 INCHES AFF. KNEE CLEARANCE MUST BE AT LEAST 30 INCHES WIDE, 27 INCHES AFF. 11 INCHES DEEP AT 9 INCHES AFF. AND 8 INCHES DEEP AT 27 INCHES AFF. THE TOE CLEARANCE MUST BE AT LEAST 30 INCHES WIDE, 8 INCHES AFF. AND 17 INCHES DEEP. 14. MOUNT THE HAIR DRYER SO THAT IT IS NO HIGHER THAN 48 INCHES AFF. 15. PROVIDE AT LEAST ONE TOWEL RACK MOUNTED NO HIGHER THAN 48 INCHES AFF OR 44" AFF. IF THE REACH IS OVER AN OBSTRUCTION. 16. PROVIDE HARDWARE AT THE DOOR TO THE ADJOINING GUEST ROOM WITH A LEVER-TYPE HANDLE AND LOCKING MECHANISM THAT DO NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. 17. SPRING HINGES, PURSUANT TO 404.2.8.2 - DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 15 SECONDS MINIMUM. 18. DOOR & GATE OPENING FORCE, PURSUANT TO 404.2.9 - FIRE DOORS SHALL HAVE A MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE FORCE FOR PUSHING OR PULLING OF A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS: 1. INTERIOR HINGED DOORS AND GATES: 5 POUNDS (22.2N) MAXIMUM 2. SLIDING OR FOLDING DOORS: 5 POUNDS (22.2N) MAXIMUM 3. GATES IN A CLOSED POSITION. 19. WHEN SLIDING DOORS ARE FULLY OPEN, THE OPERATING HARDWARE MUST BE EXPOSED AND USABLE FROM BOTH SIDES. HANDLES THAT CAN BE OPERATED WITH A CLOSED FIST WILL ACCOMMODATE THE MOST USERS. 20. PROVIDE A SECONDARY SECURITY LOCKING MECHANISM FOR THE GUEST ROOM DOOR AND ALSO AT THE DOOR TO THE ADJOINING UNIT THAT CAN BE OPERATED WITHOUT TIGHT PINCHING OR TWISTING OF THE WRIST. ENSURE THAT IT IS MOUNTED NO HIGHER THAN 48 INCHES AFF. 21. PROVIDE A LOOP AT THE END OF THE DRAPEY WARD, FOR PEOPLE WHO ARE UNABLE TO GRASP THE STRAIGHT END, THE BOTTOM OF THE LOOP MUST BE NO HIGHER THAN 48 INCHES AFF. THE LOOP MUST BE WIDE ENOUGH FOR A PERSON TO PASS HIS OR HER ARM THROUGH. 22. MOUNT THE COAT RACK NO HIGHER THAN 48 INCHES AFF. 23. PROVIDE CARPET WHOSE MAXIMUM PILE THICKNESS IS NO GREATER THAN 1/2 INCH. THE CARPET MUST HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL, CUT PILE, OR LEVEL, CUT/NO PILE TEXTURE. THE CARPET MUST HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD. 24. PROVIDE A TELEVISION REMOTE CONTROL WITH ACCESS TO CLOSED-CAPTIONS. 25. LOCATE THE COFFEE MAKER AND ITS SUPPLIES TO BE WITHIN COMPLIANT REACH RANGES AS SPECIFIED IN 2010 ADA 308.2.1 AND 308.3.1. 26. THE MANEUVERING CLEARANCES AT BOTH SIDES OF DOORS ARE REQUIRED TO BE LEVEL. 27. THRESHOLDS ARE TO BE NO MORE THAN 1/2" HIGH TYPICAL. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS MUST BE FULLY COMPLIANT WITH 302 AND 303. 28. GUEST ROOM DOORS AND DOORWAYS: BECAUSE OF THE SOCIAL INTERACTION THAT OFTEN OCCURS IN LODGING FACILITIES, AN ACCESSIBLE CLEAR OPENING WIDTH IS REQUIRED FOR DOORS, DOORWAYS, SLIDING DOORS, AND GATES TO AND WITHIN ALL GUEST ROOMS, INCLUDING THOSE NOT REQUIRED TO BE ACCESSIBLE. THIS APPLIES TO ALL DOORS, INCLUDING AUTO DOORS, THAT ALLOW FULL FREE PASSAGE. OTHER REQUIREMENTS FOR DOORS AND DOORWAYS IN SECTION 404 DO NOT APPLY TO GUEST ROOMS NOT REQUIRED TO PROVIDE MOBILITY FEATURES. DOUBLE-LEAF DOORS AND GATES: AT LEAST ONE OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH 404.2.3 AND 404.2.4. CLEAR WIDTH: DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. EXCEPTION: SHOWER AND SAUNA DOORS IN GUEST ROOMS THAT ARE NOT REQUIRED TO PROVIDE MOBILITY FEATURES COMPLYING WITH 806.2 SHALL NOT BE REQUIRED TO COMPLY WITH 404.2.3.					GENERAL ACCESSIBILITY NOTES: 1. SEE SHEETS A-0.0.020, A-0.0.020, & A-0.0.026 FOR NOTES ON ITEMS FOR WHICH ACCESSIBILITY REQUIREMENTS ARE BECOMING LESS STRINGENT WITH THE ADVENT OF THE NEW 2010 ADA ACCESSIBILITY STANDARDS OR THE NEW 2012 FABC. 2. IN ADDITION TO THE ACCESSIBLE ROOMS REQUIRED AN ADDITIONAL 5% OF BEDS TO HAVE A MINIMUM CLEARANCE OF 36" WIDE EACH SIDE OF BED & A 36" WIDE ACCESSIBLE ROUTE TO THE FOOT OF THE BED FROM THE ENTRANCE OF THE UNIT. 3. 5% OF CANABAS OR 1 PER CLUSTER TO BE ACCESSIBLE. 4. PROVIDE (1) ACCESSIBLE FURNITURE IN SALON FOR MANICURE AND PEDICURE. 5. PROVIDE AN ACCESSIBLE ROUTE TO ALL CURB RAMPS THAT JOIN A PUBLIC RIGHT OF WAY. CURB RAMPS WITHIN THE PROJECT SITE NOT CROSSING PUBLIC STREETS WILL NOT REQUIRE DETECTABLE WARNING SURFACES. 6. ENSURE THAT AT LEAST ONE OF EACH TYPE OF EXERCISE EQUIPMENT IS ADJUSTED TO PROVIDE A CLEAR FLOOR SPACE COMPLIANT WITH 305. POSITIONED FOR TRANSFER OR USE BY A PERSON WHO USES A WHEELCHAIR. 7. PROVIDE ACCESSIBLE WORK COUNTER IN KIDS CLUB PER 2010 ADA SECTION 902.4. ALSO SEE 308.1 FOR REACH RANGES. FOR CHILDREN TOILET COMPLIANT REQUIREMENTS SEE ADA 2010 SECTION 404.9. 8. PROVIDE DETECTABLE WARNING AT ALL CURB RAMPS THAT JOIN A PUBLIC RIGHT OF WAY. CURB RAMPS WITHIN THE PROJECT SITE NOT CROSSING PUBLIC STREETS WILL NOT REQUIRE DETECTABLE WARNING SURFACES. 9. EMPLOYEE RESTROOMS AND BATHING FACILITIES TO FULLY COMPLY WITH THE 2010 ADA. 10. EXTERIOR DOORS ARE TO OPEN & CLOSE WITH A FORCE OF NO MORE THAN 8.5 LBS. SPECIFY TO ADJUST THE SWEEP PERIOD OF EACH DOOR CLOSER SO THAT IT TAKES NO MORE THAN 5 SECONDS. THE DOOR CLOSERS SHALL HAVE A DELAYED-ACTION FEATURE ADJUSTED TO ALLOW A PERSON USING A WHEELCHAIR TO PASS THROUGH THE DOOR WITHOUT BEING STRUCK BY THE DOOR AS IT CLOSES. TYPICALLY, DETAIL THE AREA OUTSIDE EACH EXTERIOR DOOR TO PROVIDE A LEVEL LANDING. ENSURE THAT THE LANDINGS DO NOT EXCEED A SLOPE OF 1:48 (1/4" F12.285") IN ANY DIRECTION. THE REQUIRED LEVEL LANDING AT EACH DOOR MUST EXTEND THE FULL WIDTH OF THE DOORWAY PLUS THE REQUIRED LATCH SIDE OR HINGE SIDE MANEUVERING CLEARANCE DEFINED IN FIGURE 404.2.1. 11. INTERIOR DOORS SHALL BE NO GREATER THAN 5 POUNDS OF PUSH FORCE. 12. BRAILLE EXIT SIGNS - IN ADDITION TO EACH CODE REQUIRED ILLUMINATED EXIT SIGN, PROVIDE NEARBY A SIGN COMPLIANT WITH 703 THAT INCLUDES BRAILLE AND TACTILE CHARACTERS. MOUNT THE SIGNS SO THAT THE BASELINES OF THE TACTILE CHARACTERS ARE BETWEEN 48 INCHES AND 60 INCHES AFF. TYPICALLY, THE SIGNS MUST IDENTIFY EACH EXIT PASSAGEWAY, EXIT DISCHARGE AND EXIT STAIRWAY AS THESE ARE ALL PERMANENT SPACES. SEE 2010 ADA SECTION 216.4.1. 13. ACCESSIBLE ROUTE TO COMPLY WITH 2010 ADA SECTION 403. 14. CURB RAMPS TO COMPLY WITH 2010 ADA SECTION 406. 15. AT EACH LOCATION WHERE TABLES ARE PROVIDED, PROVIDE AT LEAST 5 PERCENT OF THE EMPLOYEE LOCKERS AND PUBLIC LOCKERS WITH ACCESSIBLE LOCKING MECHANISMS THAT DO NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. CHOOSE LOCATIONS THAT ARE WITHIN THE REACH RANGES SPECIFIED IN 811.3 AND 308, AND ENSURE THAT THE ACCESSIBLE LOCKERS ARE DIFFERENT AMONG THE DIFFERENT AREAS OF THE FACILITY WHERE LOCKERS ARE PROVIDED. PROVIDE CLEAR FLOOR SPACE AT ACCESSIBLE LOCKERS THAT IS COMPLIANT WITH 305. OPERABLE PARTS OF LOCKERS SHALL COMPLY WITH 309. 16. PROVIDE AT LEAST 5% OF SEATING SPACES WITH TABLES THAT MEET THE REQUIREMENTS OF 2010 ADA 902. TABLE TOP HEIGHT MUST BE BETWEEN 28 AND 34 INCHES AFF. AT EACH ACCESSIBLE SEATING SPACE, THE KNEE CLEARANCE MUST BE AT LEAST 30 INCHES WIDE, 27 INCHES AFF. 11 INCHES DEEP AT 9 INCHES AFF. AND 8 INCHES DEEP AT 27 INCHES AFF. THE TOE CLEARANCE MUST BE AT LEAST 30 INCHES WIDE, 8 INCHES AFF. AND 17 INCHES DEEP. SEE SHEET A-4.1.01 FOR KNEE CLEARANCE DETAILS. 17. ACCESSIBILITY AT BARS AND DINING AREAS: WHERE DINING SURFACES ARE PROVIDED FOR THE CONSUMPTION OF FOOD OR DRINK, AT LEAST 5 PERCENT OF THE SEATING SPACES AND STANDING SPACES AT THE DINING SURFACES SHALL COMPLY WITH 2010 ADA SECTION 902. TOP OF COUNTER/SIDE SURFACE HEIGHT MUST BE BETWEEN 28 AND 34 INCHES AFF. KNEE AND TOE CLEARANCE SHALL BE PROVIDED PER 2010 ADA SECTION 306. SEE SHEET A-4.1.01 FOR KNEE CLEARANCE DETAILS. 18. WHERE WORK SURFACES ARE PROVIDED FOR USE BY OTHER THAN EMPLOYEES, AT LEAST 5% SHALL COMPLY WITH 2010 ADA SECTION 902. 19. ANY OFFICES THAT WILL BE USED BY THE PUBLIC MUST HAVE ADA COMPLIANT DOORS AND IF A TABLE IS PROVIDED IT MUST BE AT ADA HEIGHT. 20. BALLROOM TABLES: SPECIFY TABLES THAT PROVIDE COMPLIANT KNEE AND TOE CLEARANCES. TABLE SURFACE HEIGHT MUST BE BETWEEN 28 AND 34 INCHES AFF. SEE SHEET A-4.1.01 FOR KNEE CLEARANCE DETAILS. 21. BALLROOM & MEETING ROOMS: LIGHT SWITCHES, ENVIRONMENTAL CONTROLS, OR CONTROLS FOR PRESENTATIONS, IF AVAILABLE FOR USE BY THE GENERAL PUBLIC, MUST BE MOUNTED NO HIGHER THAN 48 INCHES AFF. WHERE THE REACH DEPTH FOR A FORWARD APPROACH IS GREATER THAN 20 INCHES THE HIGH FORWARD REACH SHALL BE 44 INCHES AFF. MAXIMUM AND THE REACH DEPTH SHALL BE 25 INCHES MAXIMUM. WHERE A SIDE APPROACH IS OVER AN OBSTRUCTION OF 10 INCHES THE HIGH SIDE REACH SHALL BE 46 INCHES MAXIMUM FOR A REACH DEPTH OF 24 INCHES MAXIMUM. 22. MEETING ROOMS: SPECIFY AT LEAST 5% OF THE TABLES TO PROVIDE COMPLIANT KNEE AND TOE CLEARANCES. TABLE SURFACE HEIGHT MUST BE BETWEEN 28 AND 34 INCHES AFF. KNEE CLEARANCE MUST BE AT LEAST 30 INCHES WIDE, 27 INCHES AFF. 11 INCHES DEEP AT 9 INCHES AFF. AND 8 INCHES DEEP AT 27 INCHES AFF. THE TOE CLEARANCE MUST BE AT LEAST 30 INCHES WIDE, 8 INCHES AFF. AND 17 INCHES DEEP. SEE SHEET A-4.1.01 FOR KNEE CLEARANCE DETAILS. 23. PUBLIC ICE MACHINE, ICE MACHINE TO HAVE ICE DISPENSING CONTROLS WITH COMPLIANT ADA REACH RANGES TYPICAL. 24. LOCATE EACH FIRE EXTINGUISHER CABINET TO BE NO HIGHER THAN 48 INCHES AFF. MEASURED TO THE HANDLE OF THE DOOR. ENSURE THAT THE FIRE EXTINGUISHER ITSELF IS NO HIGHER THAN 48 INCHES AFF. MEASURED TO THE GRASPING POINT. 25. AT EACH LAUNDRY ROOM PROVIDED FOR USE BY GUESTS, SPECIFY 5 PERCENT OF THE WASHERS AND DRYERS TO HAVE OPERABLE PARTS, INCLUDING DOORS, LINT SCREENS, AND DETERGENT AND BLEACH COMPARTMENTS THAT ARE COMPLIANT WITH 308. ENSURE THAT THE NEW APPLIANCES HAVE THE FOLLOWING ACCESSIBILITY FEATURES: TOP LOADING MACHINES MUST HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 30 INCHES AFF. MAXIMUM. FRONT LOADING MACHINES MUST HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED 15 INCHES AFF. MINIMUM AND 36 INCHES AFF. MAXIMUM. OBSTRUCTED HIGH REACH EXCEPTION: THE TOP OF THE WASHERING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36 INCHES (915 MM) MAXIMUM ABOVE THE FINISH FLOOR. AT THE WASHER AND DRYER, PROVIDE A CLEAR FLOOR SPACE COMPLIANT WITH 2010 ADA SECTION 305 POSITIONED FOR A PARALLEL APPROACH. THE CLEAR FLOOR OR GROUND SPACE SHALL BE CENTERED ON THE APPLIANCE. PROVIDE A LAUNDRY FOLDING TABLE WITH ONE THAT MEETS THE REQUIREMENTS OF 902. THE HEIGHT OF THE WORK SURFACE MUST BE BETWEEN 28 AND 34 INCHES AFF. SEE SHEET A-4.1.01 FOR KNEE CLEARANCE DETAILS. 26. FOR KIDS CLUB REVIEW THE INFORMATION IN 2010 ADA TABLE 308.1 AND IN SECTION 902.4.1 AND DESIGN FURNISHINGS AND EQUIPMENT APPROPRIATE TO THE AGES OF THE CHILDREN BEING SERVED. 27. ENSURE THAT THE HOUSE PHONE IS COMPLIANT WITH 704.2. PROVIDE A CLEAR FLOOR SPACE COMPLIANT WITH 305 AT THE ACCESSIBLE TELEPHONE. 28. PROVIDE A SECTION OF COUNTER AT MARKET PLACE AND RETAIL A MINIMUM OF 30 INCHES WIDE, NO HIGHER THAN 36 INCHES AFF. MOUNT THE CREDIT CARD READER SO THAT THE CARD SWIPE IS NO HIGHER THAN 36 INCHES AFF. 29. TYPICALLY, ENSURE THAT ALL ELECTRONIC CONTROLS, SWITCHES, OUTLETS, JACKS AND SO-ON THAT MAY BE USED BY THE GENERAL PUBLIC, INCLUDING AUDIO/VIDEO, COMPUTER, INTERNET, THERMOSTATS AND LIGHT SWITCHES, ARE WITHIN REACH OF A PERSON SEATED IN A WHEELCHAIR - TYPICALLY BETWEEN 15 AND 48 INCHES AFF. DUPLEX OUTLETS MUST BE MOUNTED WITH THE LOWER OUTLET AT LEAST 15 INCHES AFF. FOR ITEMS REQUIRING REACH OVER AN OBSTRUCTION, 2010 ADA FIGURES 308.2.2 AND 308.3.2 PRECISE MINIMUM ALLOWABLE REACH RANGES. 30. RAMPS ON ACCESSIBLE ROUTES TO COMPLY WITH 2010 ADA SECTION 405, RAMP RUNS SHALL HAVE A SLOPE NOT GREATER THAN 1:12. CROSS SLOPE OF RAMP RUNS SHALL NOT BE GREATER THAN 1:48. THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36". THE RISE OF THE RAMP SHALL BE 30" MAX. LANDINGS AT THE TOP AND BOTTOM OF RAMP SHALL BE AT LEAST AS WIDE AS THE RAMP AND 80" LONG MINIMUM. RAMPS WITH A RISE GREATER THAN 6" SHALL HAVE HANDRAILS COMPLYING WITH 2010 ADA SECTION 505. EDGE PROTECTION IN COMPLIANCE WITH 2010 ADA 405.9.1 OR 405.9.2 SHALL BE PROVIDED ON EACH SIDE OF RAMP RUN AND EACH SIDE OF RAMP LANDINGS.				

PREVIOUS GUESTROOMS SCHEDULE COMPARE WITH NEW GUESTROOMS SCHEDULE																											
PREVIOUS CALCULATION										NEW CALCULATION																	
PREVIOUS GUESTROOMS SCHEDULE		FLOOR LEVELS						TOTALS		NEW GUESTROOMS SCHEDULE		FLOOR LEVELS						TOTALS									
HOTEL		11	12	14	15	16	17	18	TOTAL	TOTAL	HOTEL		11	12	14	15	16	17	18	TOTAL	TOTAL						
Double/Queen											Double/Queen																
Standard		17	23	20	23	20	23	11	137	154	Standard		17	23	20	23	20	23	14	140	158						
ADA		-	-	2	-	1	-	2	5		ADA		-	-	2	-	1	-	2	5							
ADA & HI		1	-	-	-	-	-	-	1		ADA & HI		1	-	-	-	-	-	-	1							
SA		1	-	1	-	1	-	-	3		SA		1	-	1	-	1	-	1	4							
HI		1	1	1	1	2	1	1	8		HI		1	1	1	1	2	1	1	8							
King										179	King										196						
Standard		20	25	21	25	24	25	21	161		Standard		22	27	23	27	26	27	26	178							
ADA		3	-	2	-	-	-	1	6		ADA		3	-	2	-	-	-	1	6							
ADA & HI		-	-	-	-	1	-	-	1		ADA & HI		-	-	-	-	1	-	-	1							
SA		1	-	1	-	-	-	1	3		SA		1	-	1	-	-	-	1	3							
HI		1	1	2	1	1	1	1	8	HI		1	1	2	1	1	1	1	8								
Presidential (The Jimmy Buffett Suite)		-	-	-	-	-	-	1	1	1	Vice Presidential (The Coral Reefer Suite)		-	-	-	-	-	-	-	-	-						
Vice Presidential (The Coral Reefer Suite)		-	-	-	-	-	-	1	1	1	Vice Presidential (The Coral Reefer Suite)		-	-	-	-	-	1	1	1	1						
Suite		1	2	2	2	1	2	1	11	14	Junior Suite		1	2	2	2	1	2	1	11	14						
ADA		-	-	-	-	1	-	-	1		ADA		-	-	-	-	1	-	-	1							
HI		1	-	-	-	-	-	1	2		HI		1	-	-	-	-	1	2								
Totals		47	52	52	52	52	42		Total Keys	349	Totals		49	54	54	54	54	54	51	Total Keys	369						
Hospitality Suites (No Beds & Unit 1119 is ADA) THAT IS 2X EXTRA ADA UNITS.		2	-	-	-	-	-	-	2		Hospitality Suites (No Beds & Unit 1119 is ADA) THAT IS 2X EXTRA ADA UNITS.		2	-	-	-	-	-	-	2							
Connecting Doors Per Floor		2	12	12	12	12	12	13	75		Connecting Doors Per Floor		2	12	12	12	12	13	75								
Total units with Connecting Doors		4	24	24	24	24	24	25	149		Total units with Connecting Doors		4	24	24	24	24	24	25	149							
KING/DOUBLE QUEEN MIX:														KING/DOUBLE QUEEN MIX:													
% Double/Queen		Does not incl. Suites, VP & P units		46%						154		% Double/Queen		Does not incl. Suites, VP & P units		44.6%						158					
% King				54%						179		% King				55.4%						196					
NOTES:														NOTES:													
12 ADA UNITS REQUIRED. - 4 W/ ROLL-IN SHWR.														12 ADA UNITS REQUIRED. - 4 W/ ROLL-IN SHWR.+8 W/TUB													
6 SPECIAL ACCESSIBLE UNIT REQUIRED.														7 SPECIAL ACCESSIBLE UNIT REQUIRED.													
18+2=20 HEARING IMPAIRED UNITS REQUIRED-10% IN ADA UNITS														18+2=20 HEARING IMPAIRED UNITS REQUIRED-10% IN ADA UNITS													
EXISTING ROOM KEYS 349														EXISTING ROOM KEYS 349													
PROPOSED ROOM KEYS 369														PROPOSED ROOM KEYS 369													
WE ADDED 20 NEW ROOMS KEYS 20														WE ADDED 20 NEW ROOMS KEYS 20													

FLORIDA BUILDING CODE, 2017 6th Edition

BUILDING DEPARTMENT :	CITY OF HOLLYWOOD
OCCUPANCY CLASSIFICATION GROUPS:	FBC CH. 3
R-1 (HOTELS)	
TYPE OF CONSTRUCTION:	FBC 601
HOTEL BUILDING - TYPE - IA - FULLY SPRINKLERED	
OPENING PROTECTIVES:	FBC T 716.5
2 HR WALL:	90 MIN. DOOR/FRAME
1 HR WALL:	45 MIN. DOOR/FRAME
* AT DOORS IN EXIT ACCESS CORRIDOR WALLS	20 MIN. DOOR/FRAME*
CLASSIFICATION OF INTERIOR FINISHES:	FBC T 803.9
EXIT ACCESS CORRIDORS:	
GROUP R-1:	CLASS C
	SMOKE SPREAD INDEX: 0-200
	SMOKE INDEX: 0-450
EGRESS WIDTH/PERSON:	FBC T 1005
LEVEL:	0.2 INCHES
STAIR:	0.3 INCHES
MINIMUM CLEAR OPENING AT DOORS:	FBC 1008.1.1
	32 INCHES
COMMON PATH OF TRAVEL:	FBC 1021.2
GROUP R-1:	50 FEET MAX.
GROUP A-2: >50 PERSONS=20' <= 50 PERSONS=75'	
EXIT ACCESS TRAVEL DISTANCES:	FBC T 1016.2
GROUP R-1:	200 FEET (275 TOTAL)
*275' IS FOR THE TOTAL TRAVEL DISTANCE, ASSUMING INCREMENTAL PORTIONS HAVE FULLY UTILIZED THEIR PERMITTED MAXIMUMS. MAXIMUM TRAVEL DISTANCE WITHIN A GUESTROOM SHALL NOT EXCEED 75'	
MINIMUM CORRIDOR WIDTH:	FBC 1018.2
	44 INCHES MIN.

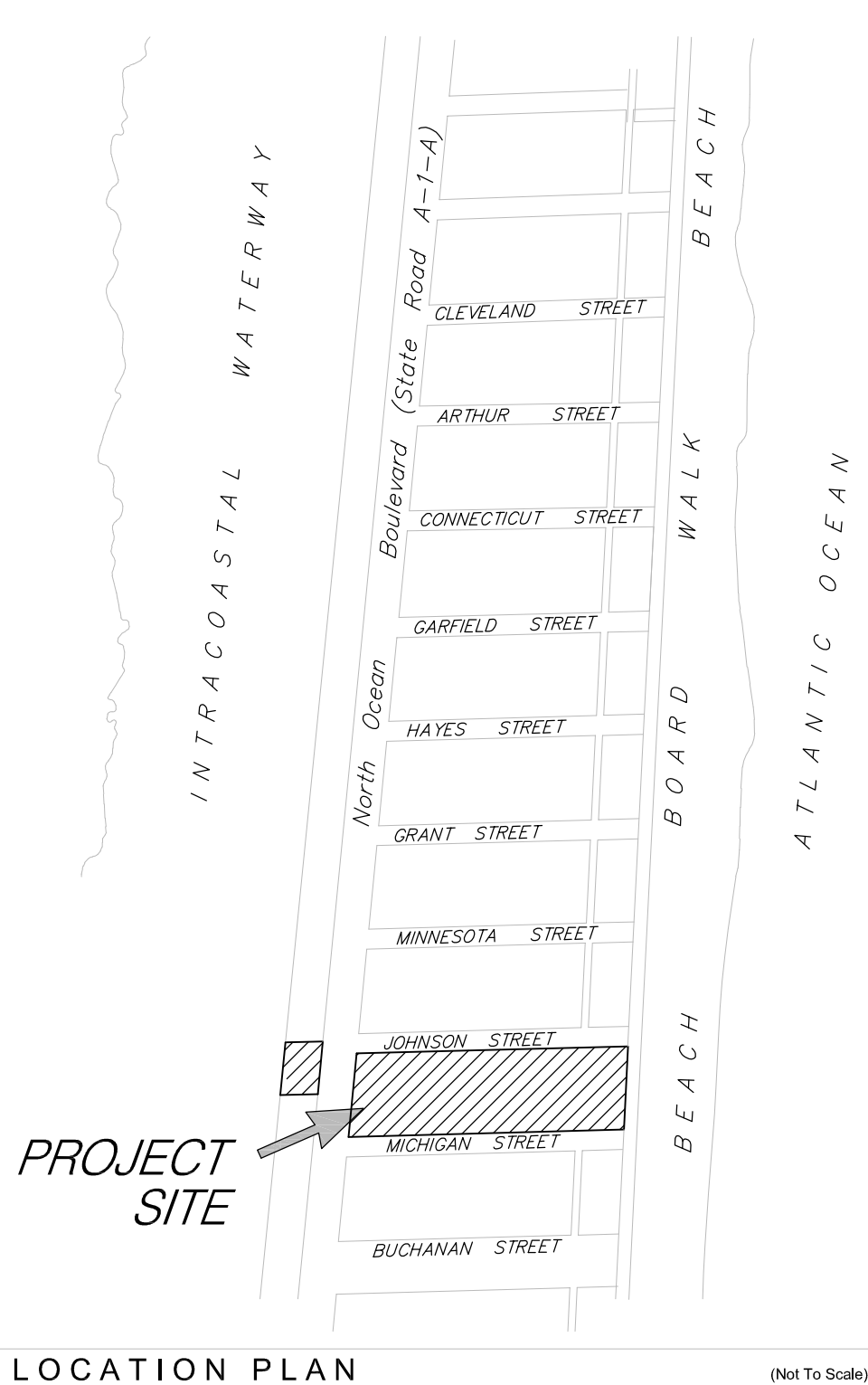
TOTAL RENOVATED AREA :

CORNERS SUITE FROM 11th to 18th FLOORS
GROSS AREA 1,329.0 SQ. FT.

PRESIDENTIAL SUITE ON 18th FLOOR
GROSS AREA:4,234.0 SQ. FT.

TOTAL RENOVATED AREA: 5,563.0 SQ.FT.

PROJECT LOCATION/LEGAL DESCRIPTION



PROJECT INCLUDES THE MAIN LOT AND A SMALLER LOT ON THE WEST SIDE OF ATA

Legal Description

For Legal Description see sheet : A-0.0.03

APPLICABLE CODES

EXISTING BUILDING:	FLORIDA EXISTING BUILDING CODE, 2017
FBC :	FLORIDA BUILDING CODE, 2017
PLUMBING:	FLORIDA BUILDING CODE, PLUMBING, 2017
MECHANICAL:	FLORIDA BUILDING CODE, MECHANICAL, 2017
ELECTRICAL:	NEC 2011
FIRE:	FLORIDA FIRE PREVENTION CODE, 6th EDITION
ACCESSIBILITY	FLORIDA BUILDING CODE ACCESSIBILITY, 2017

SCOPE OF WORK

SCOPE OF WORK CORNER UNITS:

THE PROJECT INCLUDES INTERIOR WORK ON CORNER SUITS FROM 11th to 18th FLOORS IN THE NORTH AND SOUTH SIDES OF THE EXISTING BUILDING. THE SCOPE OF WORK SQUARE FOOT AREA ON THE CORNER SUITE UNIT IS 1329 SQ. FT.

- THE WORK INCLUDES THE FOLLOWING:
- CONVERTING EXISTING CORNER SUITES ON NORTH AND SOUTH SIDE OF THE BUILDING INTO ONE KING GUESTROOM AND ONE JUNIOR SUIT, FOR FLOORS FROM 11th to 18th, (TIMES 7+7=14).
 - REMOVE EXISTING WALLS AND INSTALL NEW WALLS PER NEW FLOOR PLAN DRAWINGS.
 - REMOVE AND REPLACE EXISTING CEILINGS AND LIGHTINGS.
 - CONSTRUCTION TYPE - IA
- **NO ADDED NEW SQ. FT.

SCOPE OF WORK PER SECTION 401.1
THIS SCOPE INCLUDE SECTION 403.1 ALTERATION AND SECTION 404.1 ALTERATION

SCOPE OF WORK PRESIDENTIAL SUITE:

THE PROJECT INCLUDES INTERIOR WORK ON PRESIDENTIAL SUITE ON 18th FLOOR SQUARE FOOT AREA IS 4,234.00 FOR THE WORK INCLUDES THE FOLLOWING:

- CONVERTING EXISTING PRESIDENTIAL SUITE ON 18th FLOOR TO 7 GUESTROOMS, (3X DOUBLE QUEEN AND 4X KING).
- ADD PARTIAL AND NEW ELECTRICAL AND MECHANICAL EQUIPMENT.
- ON 18th FLOOR FOR 4 ROOMS REPLACE AND INSTALL ON NEW POSITION EXISTING EXTERIOR STOREFRONT SLIDING DOOR WITH NEW CMU WALL, IN SELECT LOCATIONS.
- REMOVE/ REPLACE EXISTING PLUMBING, MECHANICAL AND ELECTRICAL FIXTURES AND INTERIOR FINISHES.
- REMOVE EXISTING WALLS AND INSTALL NEW WALLS PER NEW FLOOR PLAN DRAWINGS.
- REMOVE AND REPLACE EXISTING CEILINGS AND LIGHTINGS.
- CONSTRUCTION TYPE - IA

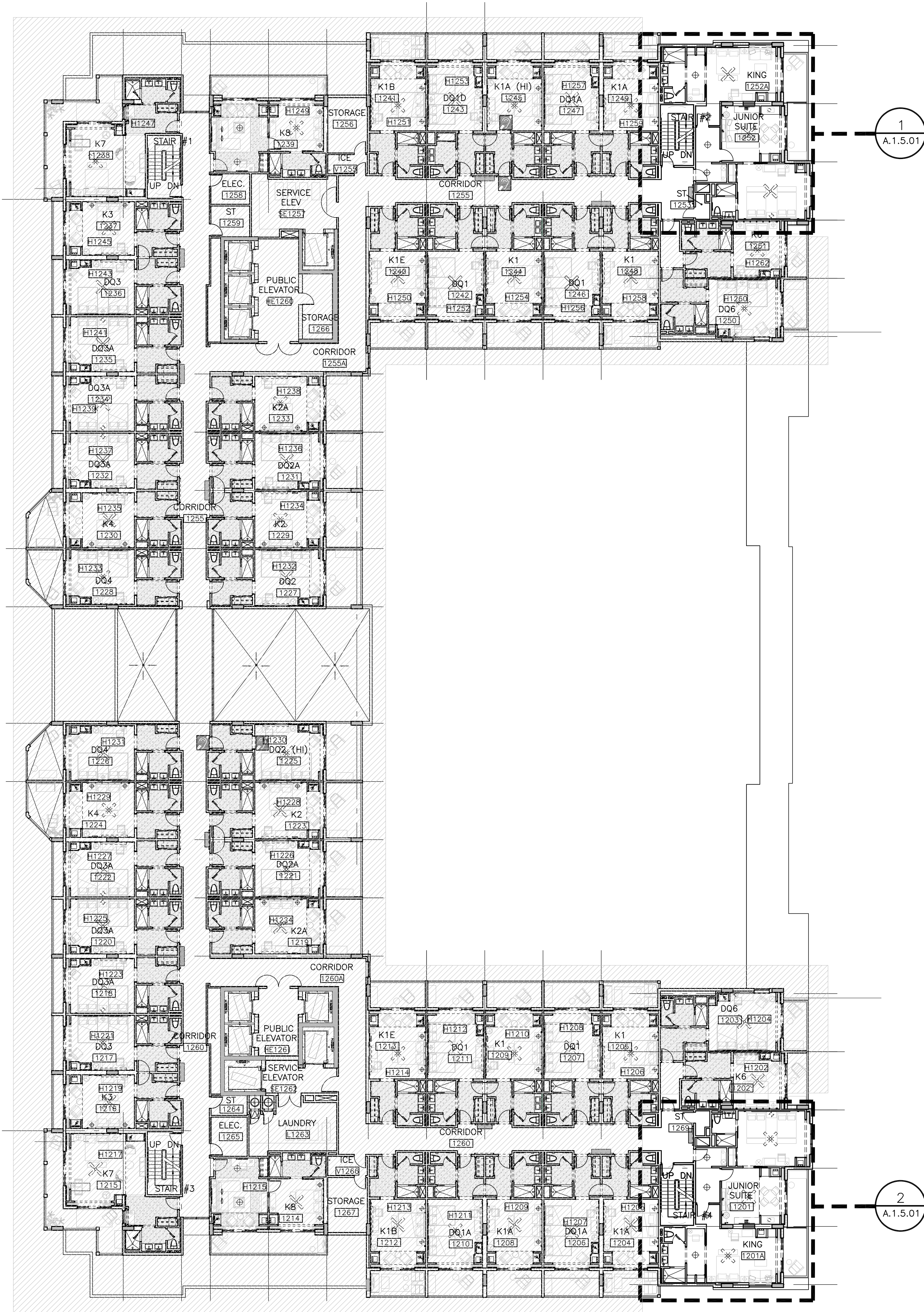
**NEW SQUARE FOOTAGE WILL BE



POOL EQUIPMENT
ENCLOSURE GATE

EL. +7.0'(NGVD)
TOP OF CONC. CURB

EL. +6.5'(NGVD)
TOP OF SLAB @ EQUIP. RM.



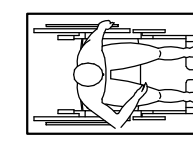


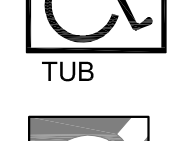
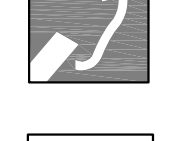

1 11th TO 18th FLOOR CORNER UNITS TYP. - FLOOR PLAN
A.1.3.12 SCALE: 1/16" = 1'-0"

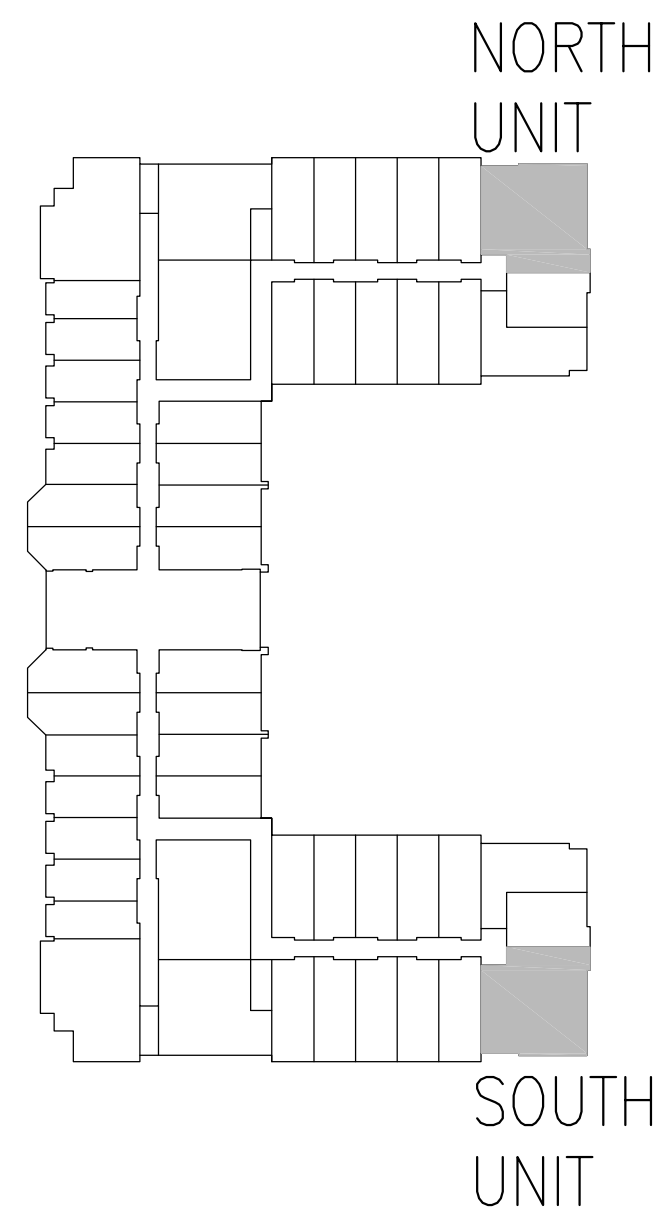
NO SCOPE
OF WORK

PROPOSED
FLOOR PLAN

NEW GUESTROOMS SCHEDULE				FLOOR LEVELS					TOTALS		
HOTEL		11	12	14	15	16	17	18	TOTAL	TOTAL	
Double/Queen											
Standard		17	23	20	23	20	23	14	140	158	
ADA		-	-	2	-	1	-	2	5		
ADA & HI		1	-	-	-	-	-	-	1		
SA		1	-	1	-	1	-	1	4		
HI		1	1	1	1	2	1	1	8		
King											
Standard		22	27	23	27	26	27	26	178	196	
ADA		3	-	2	-	-	-	1	6		
ADA & HI		-	-	-	-	1	-	-	1		
SA		1	-	1	-	-	-	1	3		
HI		1	1	2	1	1	1	1	8		
Vice Presidential (The Coral Reefer Suite)											
		-	-	-	-	-	-	-	-	-	
		-	-	-	-	-	-	1	1	1	
Junior Suite											
ADA		1	2	2	2	1	2	1	11	14	
HI		-	-	-	-	-	-	-	1		
		1	-	-	-	-	-	1	2		
Totals		49 54 54 54 54 54 51								Total Keys	369
Hospitality Suites (No Beds & Unit 1119 is ADA) THAT IS 2X EXTRA ADA UNITS.		2	-	-	-	-	-	-	2		
Connecting Doors Per Floor		2	12	12	12	12	12	13	75		
Total units with Connecting Doors		4	24	24	24	24	24	25	149		
KING/DOUBLE QUEEN MIX:											
% Double/Queen	Does not incl. Suites, VP & P units	44.6%							158		
% King		55.4%							196		
NOTES:											
12 ADA UNITS REQUIRED. - 4 W/ ROLL-IN SHWR.+8 W/TUB											
7 SPECIAL ACCESSIBLE UNIT REQUIRED.											
18+2=20 HEARING IMPAIRED UNITS REQUIRED-10% IN ADA UNITS											

ADA LEGEND

-  HANDICAP GUEST ROOM
-  HANDICAP GUEST ROOM W/ ROLL IN SHOWER
-  HANDICAP GUEST ROOM W/ TUB IN BATHROOM
-  GUEST ROOM WITH COMMUNICATION FEATURES
-  GUEST ROOM WITH SPECIAL ACCESSIBLE FLORIDA 5%
-  HANDICAP GUEST ROOM WITH 5'-0" DIA CLEARANCE



2 KEY PLAN
A.1.3.12 SCALE: N.T.S.

NOT TO SCALE

adache
group architects

PROJECT DESIGN TEAM:

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MEP

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RODRIGUEZ & WALEWSKI L.L.C.
Engineering Group, Inc.
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PH: (305) 594-0900 FAX: (305) 594-0907
E-MAIL:

STRUCTURAL



OWNER:

DAVIDSON HOTELS
One Ravinia Drive, Suite 1600
ATLANTA, GA 30346

PROJECT:

MARGARITAVILLE HOTEL
GUESTROOMS
CONVERSION

ISSUED FOR: PERMIT SET

DATE: 09 / 10 / 2018

REVISIONS:

No.	DATE	REMARKS

ARCHITECT NAME: DANIEL ADACHE
FLORIDA LICENSE: # AR0007073

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SHEET TITLE:

11th TO 18th FLOOR PLAN
CORNER UNITS TYP.

DATE: 08-21-2018

SCALE: 1/16" = 1'-0"

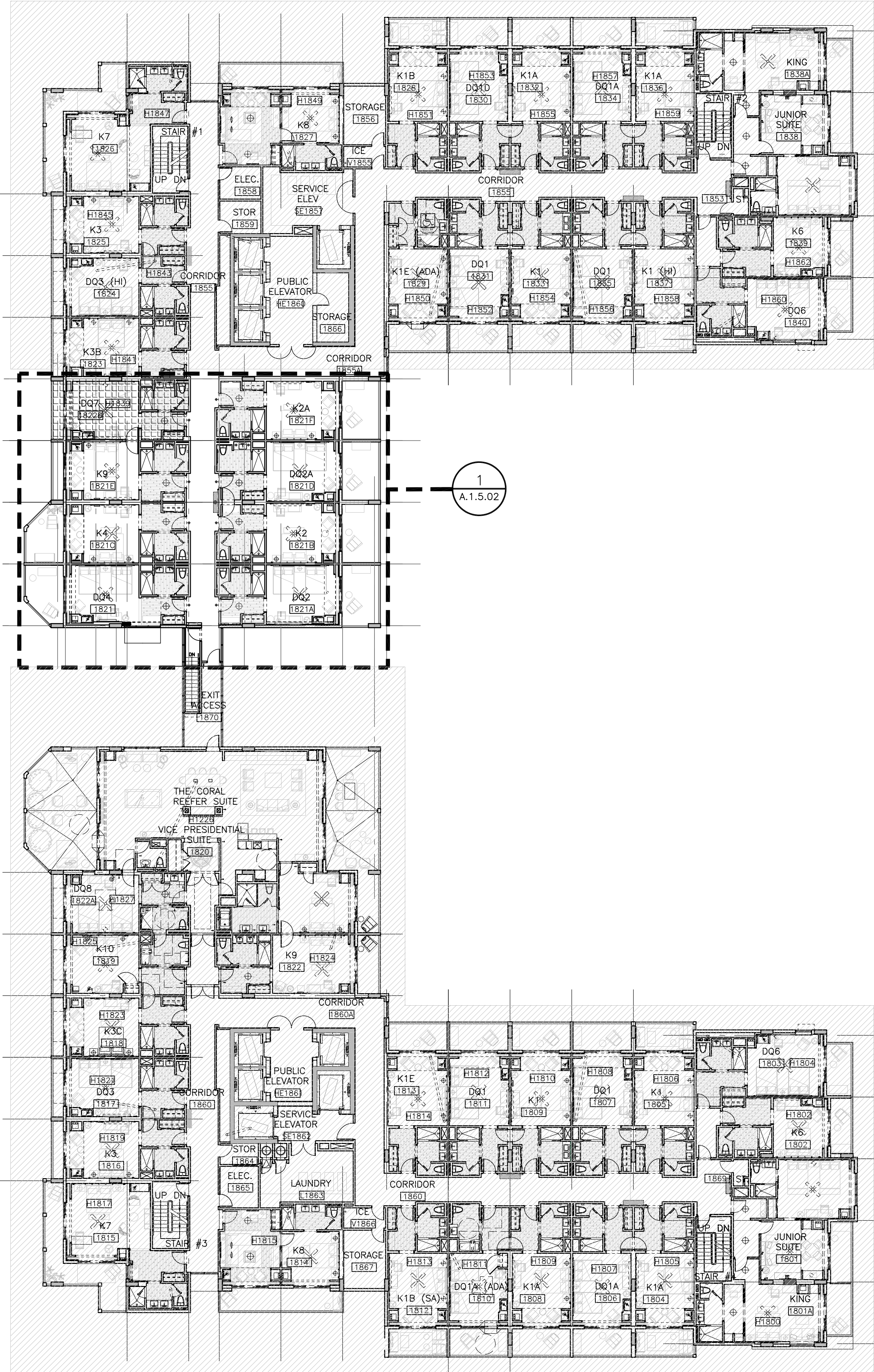
DRAWN BY: E.T.

CHECKED BY: J.B.

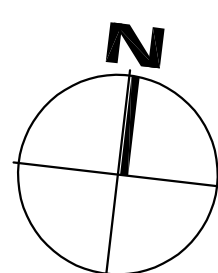
JOB NO.: 84.11A

SHEET NO.:

A.1.3.11-18



1 EIGHTEENTH FLOOR - NEW GUEST ROOMS FLOOR PLAN
A.1.3.18 SCALE: 1/16" = 1'-0"



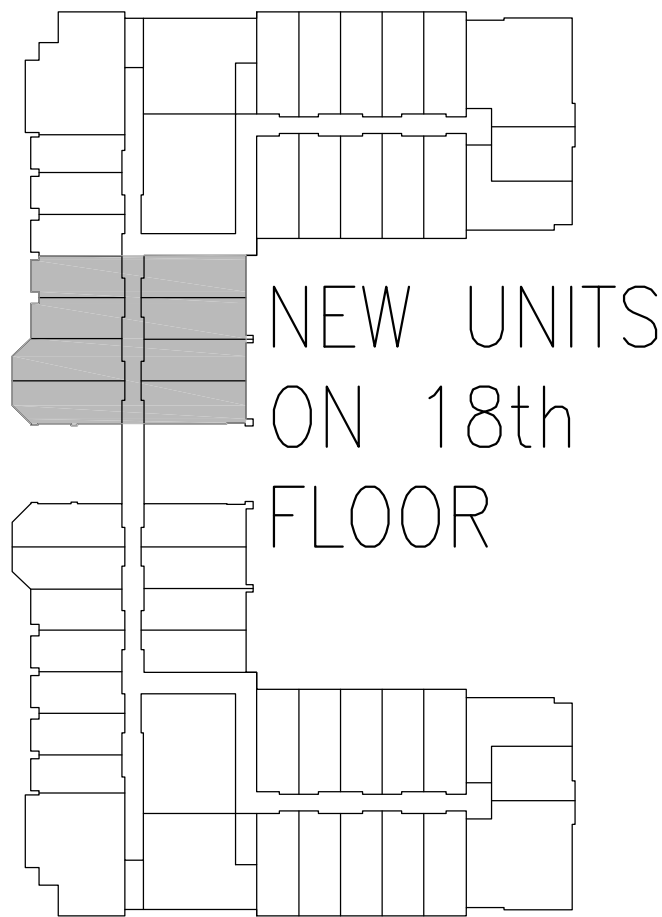
NO SCOPE
OF WORK

PROPOSED
FLOOR PLAN

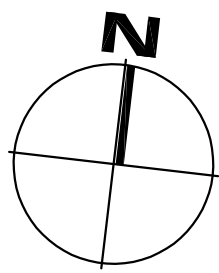
NEW GUESTROOMS SCHEDULE				FLOOR LEVELS					TOTALS	
HOTEL		11	12	14	15	16	17	18	TOTAL	TOTAL
Double/Queen										
Standard		17	23	20	23	20	23	14	140	158
ADA		-	-	2	-	1	-	2	5	
ADA & HI		1	-	-	-	-	-	-	1	
SA		1	-	1	-	1	-	1	4	
HI		1	1	1	1	2	1	1	8	
King										
Standard		22	27	23	27	26	27	26	178	196
ADA		3	-	2	-	-	-	1	6	
ADA & HI		-	-	-	-	1	-	-	1	
SA		1	-	1	-	-	-	1	3	
HI		1	1	2	1	1	1	1	8	
Vice Presidential (The Coral Reefer Suite)										
		-	-	-	-	-	-	-	-	-
		-	-	-	-	-	-	1	1	1
Junior Suite										
ADA		1	2	2	2	1	2	1	11	14
HI		-	-	-	-	1	-	-	1	
		1	-	-	-	-	-	1	2	
Totals		49	54	54	54	54	54	51		Total Keys 369
Hospitality Suites (No Beds & Unit 1119 is ADA) THAT IS 2X EXTRA ADA UNITS.		2	-	-	-	-	-	-	2	
Connecting Doors Per Floor		2	12	12	12	12	12	13	75	
Total units with Connecting Doors		4	24	24	24	24	24	25	149	
KING/DOUBLE QUEEN MIX:										
% Double/Queen	Does not incl. Suites, VP & P units	44.6%							158	
% King		55.4%							196	
NOTES:										
12 ADA UNITS REQUIRED. - 4 W/ ROLL-IN SHWR.+8 W/TUB										
7 SPECIAL ACCESSIBLE UNIT REQUIRED.										
18+2=20 HEARING IMPAIRED UNITS REQUIRED-10% IN ADA UNITS										

ADA LEGEND

- HANDICAP GUEST ROOM
- HANDICAP GUEST ROOM W/ ROLL IN SHOWER
- HANDICAP GUEST ROOM W/ TUB IN BATHROOM
- GUEST ROOM WITH COMMUNICATION FEATURES
- GUEST ROOM WITH SPECIAL ACCESSIBLE FLORIDA 5%
- HANDICAP GUEST ROOM WITH 5'-0" DIA CLEARANCE



2 KEY PLAN
A.1.3.18 SCALE: N.T.S.



NOT TO SCALE



PROJECT DESIGN TEAM:
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INTERIOR DESIGNERS
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Coral Gables, FL 33134
PH. (305) 906-0033
Diana Rossi, Designer
E-MAIL: Diana@McBrideco.com

MEP
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Engineering Group, Inc.
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STRUCTURAL



OWNER:
DAVIDSON HOTELS
One Ravinia Drive, Suite 1600
ATLANTA, GA 30346

PROJECT:
MARGARITAVILLE HOTEL
GUESTROOMS
CONVERSION

ISSUED FOR: PERMIT SET
DATE: 09 / 10 / 2018

REVISIONS:		
No.	DATE	REMARKS

ARCHITECT NAME: DANIEL ADACHE
FLORIDA LICENSE: # AR0007073

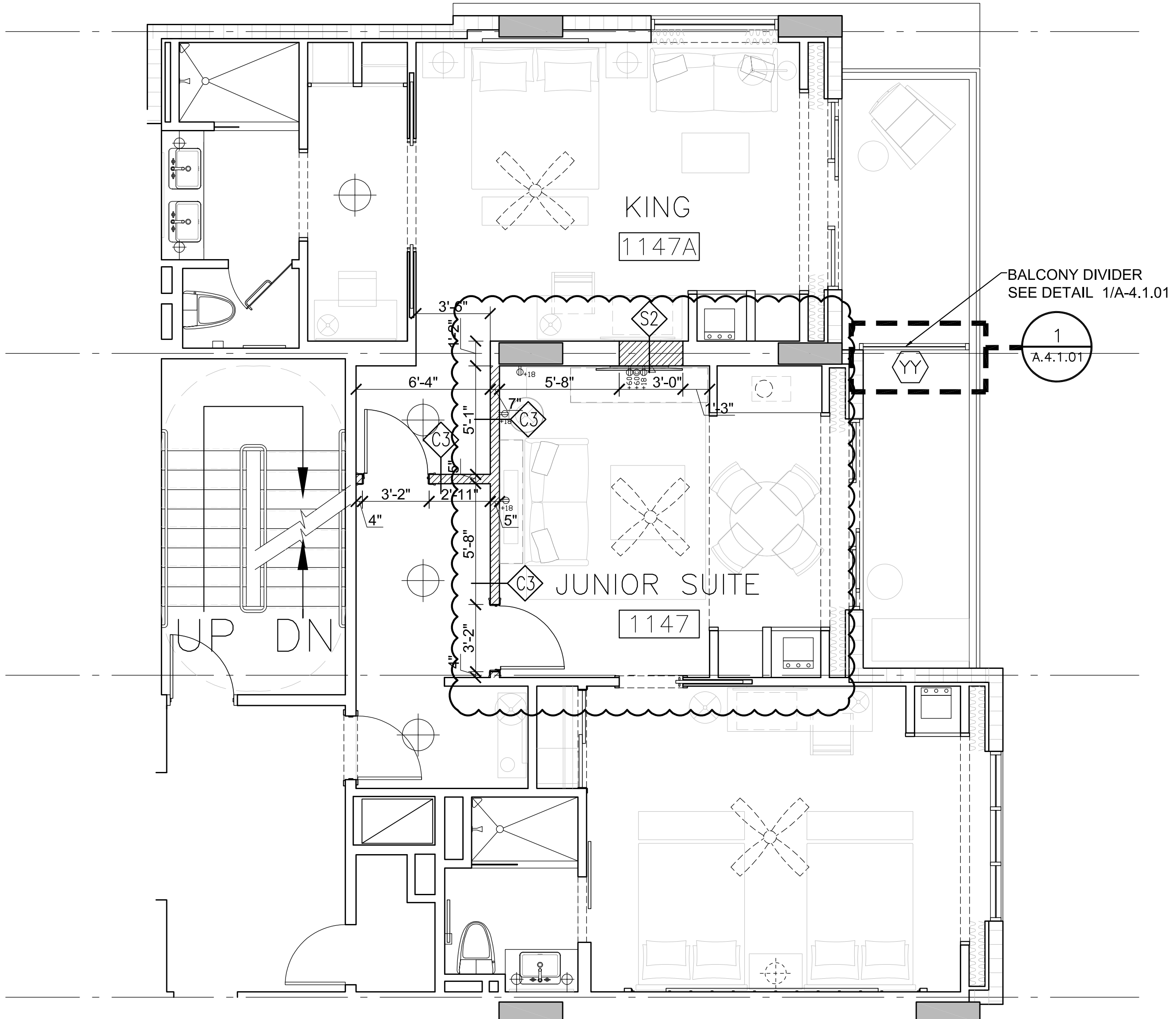
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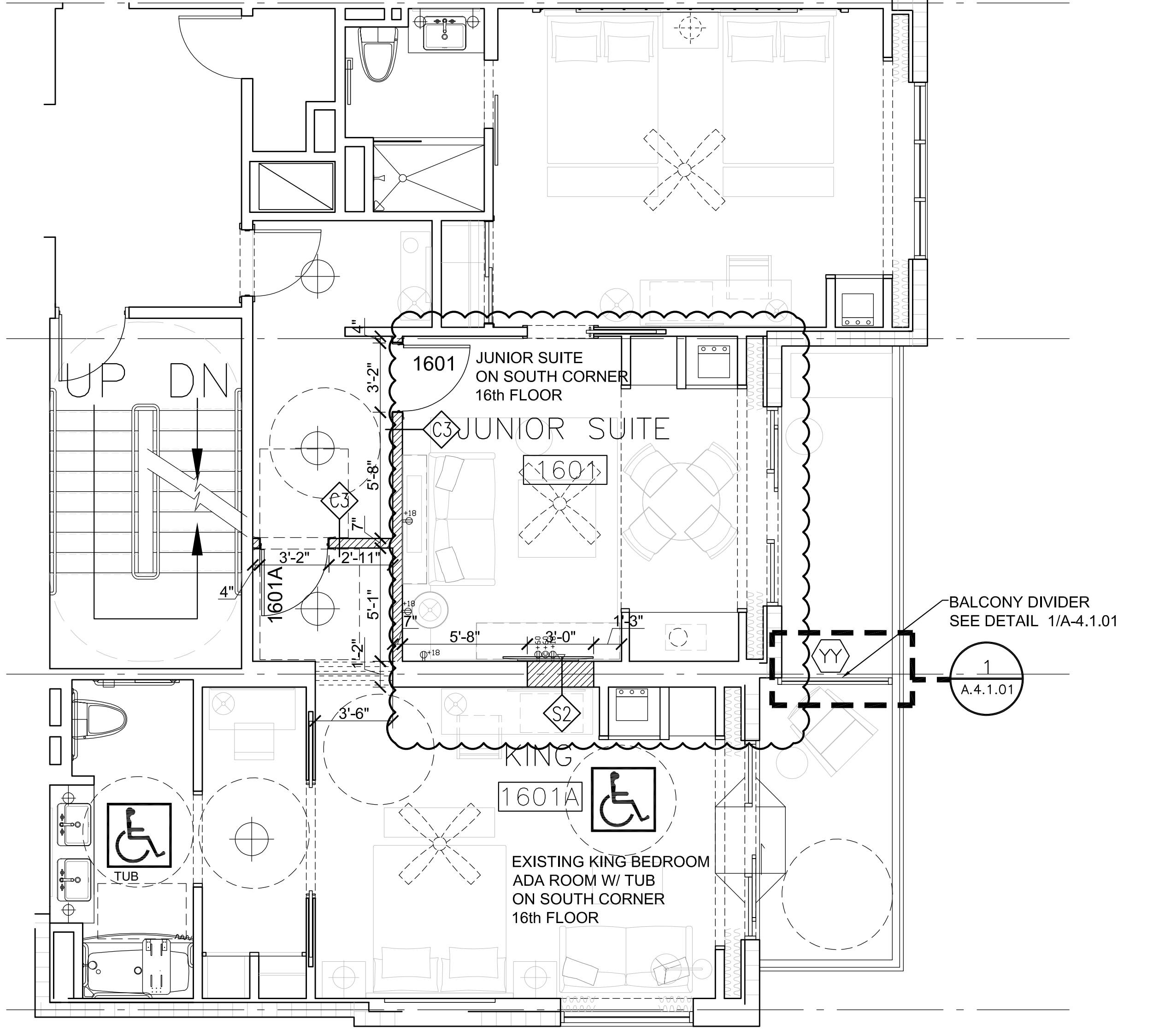
SHEET TITLE:
EIGHTEENTH FLOOR
FLOOR PLAN

DATE: 08-22-2018
SCALE: 1/16" = 1'-0"
DRAWN BY: E.T.
CHECKED BY: J.B.
JOB NO.: 84.11A

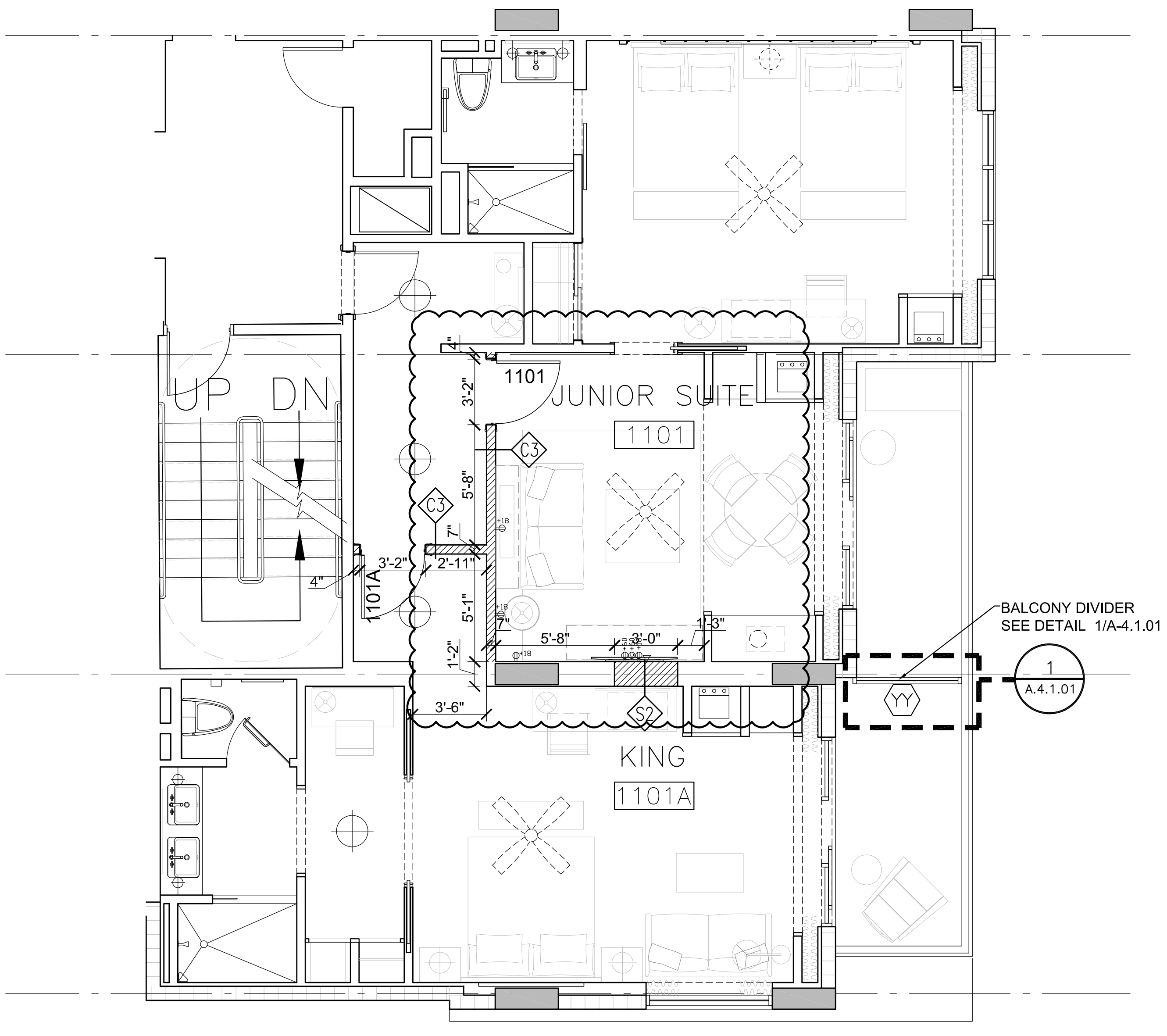
SHEET NO.:
A.1.3.18



1 NORTH END UNITS- FLOOR PLAN
A.1.5.01 SCALE: 1/4" = 1'-0"



3 SOUTH END UNITS ON 16 FLOOR- FLOOR
A.1.5.01 SCALE: 1/4" = 1'-0"



2 SOUTH END UNITS- FLOOR PLAN
A.1.5.01 SCALE: 1/4" = 1'-0"

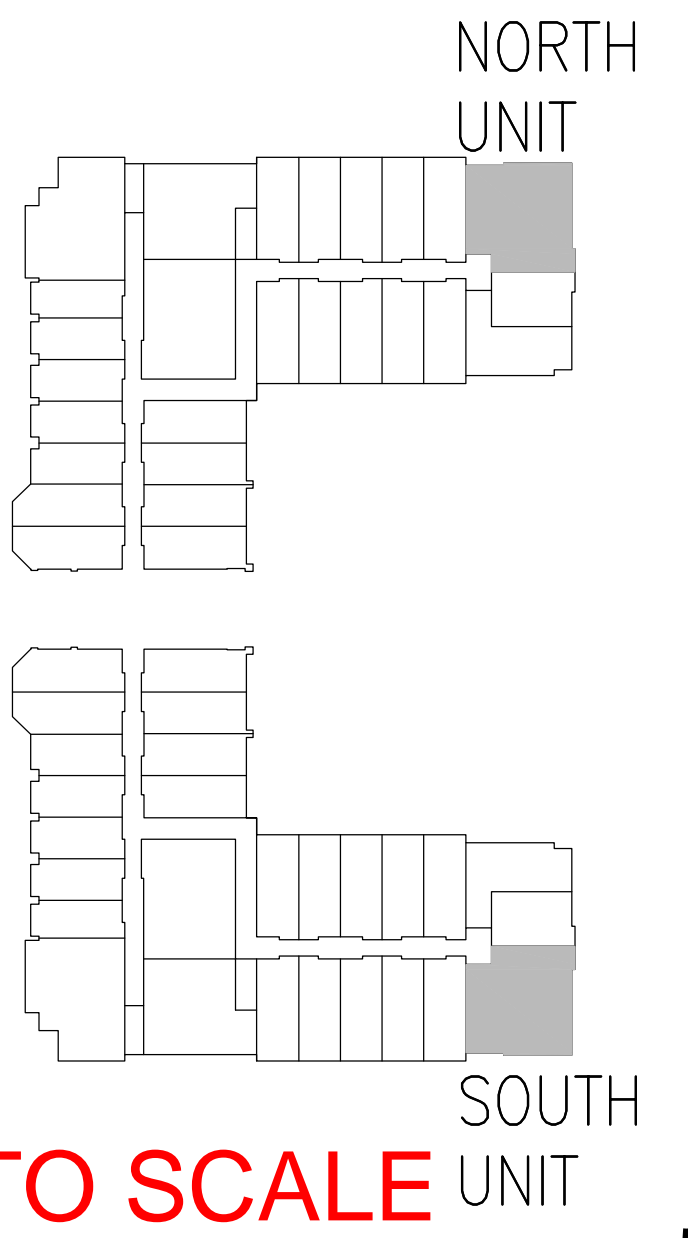
ROOM AND DOOR NUMBERS					
FLOOR		UNIT NUMBER		DOOR NUMBER	
11	SOUTH	J/S 1101	K 1101A	1101	1101A
	NORTH	J/S 1147	K 1147A	1147	1147A
12	SOUTH	J/S 1201	K 1201A	1201	1201A
	NORTH	J/S 1252	K 1252A	1252	1252A
14	SOUTH	J/S 1401	K 1401A	1401	1401A
	NORTH	J/S 1452	K 1452A	1452	1452A
15	SOUTH	J/S 1501	K 1501A	1501	1501A
	NORTH	J/S 1552	K 1552A	1552	1552A
16	SOUTH	J/S 1601	K 1601A	1601	1601A
	NORTH	J/S 1652	K 1652A	1652	1652A
17	SOUTH	J/S 1701	K 1701A	1701	1701A
	NORTH	J/S 1752	K 1752A	1752	1752A
18	SOUTH	J/S 1801	K 1801A	1801	1801A
	NORTH	J/S 1838	K 1838A	1838	1838A

J/S = JUNIOR SUITE
K = KING

LEGEND	
	EXISTING INTERIOR WALL - REMAIN
	EXISTING CMU WALL - REMAIN
	NEW INTERIOR WALL
	NEW WALL OPENING
	NEW DOOR WITH NEW DOOR NUMBER
	EXISTING DOOR TO REMAIN
	NEW ROOM NUMBER
	NEW BALCONY DIVIDER

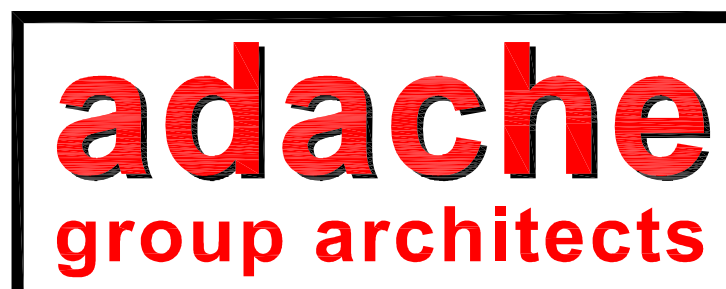
- GENERAL NOTES:
- ALL FLOORING MATERIALS TO BE SLIP RESISTANT TO COMPLY WITH ADA CODE.
 - ALL DIMENSIONS TO DRYWALL OR TILE FINISH.
 - REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE SCHEDULE AND COUNT.
 - ALL SIGNAGE TO COMPLY WITH ADA CODE.
 - SEE ELECT. AND LV DRAWINGS FOR PHONE & DATA LOCATIONS.
 - EXISTING FIRE SPRINKLER HEADS TO REMAIN, UNLESS OTHERWISE NOTED. PROVIDE CEILING MOUNTED GREEN TRANSPARENT EXIT SIGNS.
 - PROVIDE 3/16" THICK ECORE INTERNATIONAL (FORMERLY DODGE REGUPOL) QT4005 RESILIENT UNDERLAYMENT UNDER THE ALL TILE SURFACE FLOORING.
 - REPAIR EXISTING DRYWALL WALLS, WALLS ABOVE CEILINGS AND CEILINGS IF DAMAGED TO RETAIN REQUIRED FIRE RATING IN ALL RATED WALL CONSTRUCTION.
 - REPAIR EXISTING ACOUSTICAL RATED WALL ABOVE MOVEABLE DOOR TRACKS IF DAMAGED TO RETAIN REQUIRED 52 STC.
 - ALL EXISTING WALLS SURFACES TO BE PREPARED TO AN ACCEPTABLE SMOOTH AND LEVEL SURFACE, TO RECEIVE NEW WALLCOVERING OR PAINT FINISH.
 - ALL EXIT SIGNS AND EMERGENCY LIGHTS TO BE COORDINATE WITH ELECTRICAL PLANS.
 - ALL DOORS LOCATED IN A FIRE RATED PARTITION SHALL BE FIRE RATED DOOR.
 - ALL EXISTING FIRE EXTINGUISHERS TO REMAIN IN EXISTING LOCATIONS UNLESS OTHERWISE NOTED. EXISTING CABINETS TO PAINTED TO MATCH ADJACENT WALLS PAINT OR WALLCOVERING.

PROPOSED FLOOR PLAN



NOT TO SCALE

2 KEY PLAN
A.1.5.01 SCALE: N.T.S.



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PROJECT:
MARGARITAVILLE HOTEL
GUESTROOMS
CONVERSION

ISSUED FOR: PERMIT SET
DATE: 09 / 10 / 2018

REVISIONS:		
No.	DATE	REMARKS

ARCHITECT NAME: DANIEL ADACHE
FLORIDA LICENSE: # AR0007073

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SHEET TITLE:
ENLARGE UNITS
FLOOR PLAN

DATE: 08/20/2018
SCALE: 1/4" = 1'-0"
DRAWN BY: E.T.
CHECKED BY: J.B.
JOB NO.: 84.11A

SHEET NO.:
A.1.5.01