

PLANNING DIVISION



File No. (Internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: May 18th, 2018

Location Address: 910 South Dixie Hwy. Hollywood, Florida. 33020

Lot(s): * 1, 2, 3 & 15 Block(s): 1 Subdivision: Sunnyside Estates

Folio Number(s): 51422222010 / 0020

Zoning Classification: DH-3 Land Use Classification: High Intensity Mixed Use

Existing Property Use: Commercial - Auto repair Sq Ft/Number of Units: 2

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development

Explanation of Request: Site plan approval for proposed 133,393.96 sf, five story self storage facility

Number of units/rooms: 1 Sq Ft: 133,554.96

Value of Improvement: _____ Estimated Date of Completion: _____

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: JEREMY MEYER LLC

Address of Property Owner: 946 Sanibel Dr. Hollywood, FL 33019

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): Felix Pardo & Assoc. Inc.

Address: 2100 Salzedo Street #303 Telephone: (305) 445-4555

Fax: (305) 445-7006 Email Address: Fpardo@fpadesign.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes (✓) No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Mark Bergquist

Address: 1375 W. Hillsboro Blvd.

Deerfield Beach, FL 33442

Email Address: markb@Stor-all.com

PLANNING DIVISION



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Hollywood, FL 33022

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 05-31-2018

PRINT NAME: Laurent Meyer Date: _____

Signature of Consultant/Representative: _____ Date: 05/31/2018

PRINT NAME: Felix Pardo Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

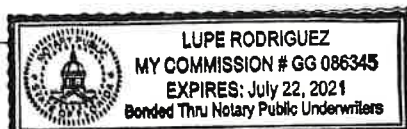
I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan approval _____ to my property, which is hereby made by me or I am hereby authorizing Felix Pardo to be my legal representative before the TAC and Planning Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me by Laurent Meyer
this 31st day of May 2018.

Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☐ Personally known to me; OR ☒ Produced Identification



Signature of Current Owner

Laurent Meyer

Print Name

Driver's License

Proposed New Stor-All Building

910 South Dixie Highway, Hollywood, FL. 33020

Final Technical Advisory Committee

City of Hollywood



Felix Pardo and Associates, Inc.

2100 Salzedo Street, Suite #303

Coral Gables, Florida 33134

phone: (305) 445-4555

Felix Pardo & Associates, Inc.

Architecture Planning Interiors
2100 Salzedo Street, Suite 303
Coral Gables, Florida 33134
AA0002478

19 February 2019

City of Hollywood
Technical Advisory Committee
2600 Hollywood Boulevard, Room 315
Hollywood, FL 33022-9045

Attn: Ms. Alexandra Carcamo, Planner

Re Proposed Retail StorAll Building
Hollywood, Florida

FPA Project Number: 201711

Dear Ms. Carcamo,

Attached please accept our submittal for Final TAC.

Below is the required narrative as a response to the comments made at the Preliminary TAC submittal and review. The comment is listed as provided followed by the response in bold.

FILE NUMBER: 18-DP-40

SUBJECT: Site Plan Review for an approximate 122,970 sq. ft. self-storage facility (Stor-All Storage)

SITE DATA

Owner/Applicant: Jeremy Meyer LLC

Address/Location: 910 South Dixie Highway

Net Area of Property: 44,524 Sq. Ft. (1.02 Acres)

Land Use: Regional Activity Center

Zoning: Dixie Highway High Intensity Mixed-Use District (DH-3)

Existing Use of Land: Commercial

ADJACENT LAND USE

North: Regional Activity Center (RAC)

South: Regional Activity Center (RAC)

East: Regional Activity Center (RAC)

West: Regional Activity Center (RAC)

ADJACENT ZONING

North: Dixie Highway High Intensity Mixed-Use District (DH-3)

South: Dixie Highway High Intensity Mixed-Use District (DH-3)

East: Dixie Highway High Intensity Mixed-Use District (DH-3)
West: Dixie Highway High Intensity Mixed-Use District (DH-3)

A. APPLICATION SUBMITTAL

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Ownership & Encumbrance Report (O&E) shall:

a. Provide listing and hard copies of all recorded and unrecorded encumbrances (with O.R. or plat book(s) and page number(s) shall be provided.

Please see attached.

b. Shall be based on the Alta Survey with a note indicating as such and vice versa

See updated Survey.

2. Provide Cover Sheet including the following:

a. Name of Development

b. Page Index

c. Preliminary or Final TAC. Indicate current and future meeting dates (not submittal dates) on Cover Sheet and Title Block.

d. Title

e. Location Map

SEE REVISED COVER SHEET (CS)

3. ALTA Survey:

a. Shall be based on O&E with a note indicating as such and vice versa. Work with the Engineering Division to ensure the Survey is accurate.

b. Shall list and illustrate all encumbrances as identified by the O&E.

c. Shall indicate Lot Area listed is Net.

See Revised Survey.

4. Lot areas on ALTA Survey and Site Data do not match. Revise as necessary.

See Revised Survey and Revised SP-1

5. Revise the following on Site Plan:

a. Include Ground Floor Plan

b. Dimension parking buffers at narrowest point; and loading areas.

c. Indicate the area of landscape islands.

Revised SP-1

6. Revise the following on Site Data:

a. Include Legal Description.

b. Indicate Future Land Use designation.

c. Lot Area does not match Alta Survey. Revise accordingly.

- d. Provide a break down for the calculation of pervious and impervious areas, including impervious surfaces such as building footprint, walkways, parking areas, etc; required landscape setbacks; buffers; parking overhangs; and retention areas.
- e. Required landscaping for paved vehicular use areas calculations shall not include required parking lot setbacks, buffers, or parking overhang areas.
- f. Provide a breakdown of all building areas (per floor), including common areas, restrooms, equipment rooms, offices, etc.
- g. List required number of loading areas.

See Revised SP-1 And New Landscaping Plans

- 7. Provide Variance Box, indicating required and proposed amounts for all requested variances.

SEE REVISED SP-1

- 8. Provide details of all regulatory signage and pavement markings. Work with the Engineering Division to ensure signage provided will adequately serve proposed circulation.

See Civil Drawing C-1 for Pavement and Site Signage.

- 9. Provide details and height of all existing and proposed fences and gates. All fencing shall be decorative.

SEE REVISED SP-1

- 10. Provide details and height of dumpster enclosure. Shall be cohesive with the building design.

SEE REVISED SP-1 FOR DETAIL

- 11. Revise the following on Elevations:
 - a. Provide materials legend indicating all materials.
 - b. Provide elevation markers on East Elevation.
 - c. Provide diagram indicating compliance with active use and transparency requirements.
 - d. Provide location and dimensions of all building projections (i.e. mechanical equipment). All mechanical equipment shall be screened.

See Revised Drawings A-7 and A-8.

- 12. Provide color chips and material samples with next submittal.

See Revised Drawings A-7 and A-8.

- 13. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.

We will do this after Final TAC meeting.

- 14. Provide written responses to all comments with next submittal.

See Attached Narrative.

15. Additional comments may be forthcoming.

B. ZONING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Work with the Engineering Division to ensure all utility easements may be vacated.

Utility Easement and R/W Dedications Shown on C-1.

2. Indicate amount of required parking spaces.

SEE REVISED SP-1 (VARIANCE BOX AND ZONING STATS)

3. Identify "D" or "F" type curbing for all vehicle impact points.

SEE CIVIL DRAWING C-1.

4. Indicate the direction of the one-way drive.

SEE REVISED SP-1 and C-1.

5. Pedestrian connection (hardscape) shall be provided at corner and fronting Dixie Highway adjacent to the entrance.

SEE REVISED SP-1

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Application substantially compliant.

2. Additional comments may be forthcoming.

Terrence Comiskey A.I.A., Architect (tcomiskey@hollywoodfl.org) 954-921-3900

1. Sheet A-4/5: Exterior Elevations – No materials or finishes are called out on the plans.

See Revised Drawings A-7 and A-8.

2. Landscape plans not included in this submittal.

SEE NEW LANDSCAPING PLANS

3. Roof plan not included in the submittal. Is there stair access to maintain mechanical equipment?

Yes , Please See New Drawing A-6.

4. Sheet SP-1: Why is there a rolling gate if you can enter the property from Dewey Street?

GATES HAVE BEEN REMOVED.

D. SIGNAGE

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevations, dimensions on Site Plan, etc.

Signage Package Not Included At This Time. Please See, " Signage Shall Be In Compliance Note" On Revised Drawings A-7 and A-8.

2. Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

Signage Package Not Included At This Time. Please See, " Signage Shall Be In Compliance Note" On Revised Drawings A-7 and A-8.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Signage Package Not Included At This Time. Please See, " Signage Shall Be In Compliance Note" On Revised Drawings A-7 and A-8.

E. LIGHTING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5).

SEE NOTE ON REVISED SP-1

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

SEE NOTE ON REVISED SP-1

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Submittal shall indicate compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

SEE NOTE ON REVISED SP-1

2. Provide copies of appropriate/preferred green building registration with next submittal.

SEE NOTE ON REVISED SP-1

G. ENGINEERING

Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

1. Provide dimensions for the loading spaces.

SEE SP-1 REVISED and C-1.

2. Provide a detail to clarify the overhang area o

SEE SHEET A-8 (CANOPY DETAIL) and C-3.

3. Vacation of existing utility easement required, separate vacation application submittal will be required. Contact Engineering Division, Clarissa Ip at 954-921-3915 or cip@hollywoodfl.org for information.

In Process by Schwebke-Shiskin & Associates.

4. Indicate on plans to provide for the 4' as per the Broward Trafficways Plan, from 50' to 54' rightsof-way along North 21st Avenue.

SEE REVISED SP-1 and C-1.

5. Indicate on plans for existing 5' sidewalk along Washington Street and Dewey Street to be replaced. Provide new 5' wide, 6" thick concrete sidewalk along Dixie Highway. All sidewalk should be 6" thick concrete.

SEE REVISED SP-1 and Civil Drawing C-1.

6. Truck maneuverability through the meandered drive aisle through the site is of concern. Indicate on plan the truck type and maximum size that the site can support. Provide AutoTurn analysis to show truck path and accessibility.

SEE REVISED SP-1 and Civil Drawings (TRUCK MANEUVERABILITY) TP-1, TP-2 and TP-3.

7. Sheet SP-1 shows the site is secured with a motorized rolling gate. Show on plans how is gate access granted to the incoming vehicles? Will a pedestal with gate access control be necessary? If so, please indication location on plans. Indicate the number of vehicle stacking/queueing spaces are provided.

GATES HAVE BEEN REMOVED.

8. Sheet SP-1 shows to vacate all alleys, indicate where it is applicable.

In Process by Schwebke-Shiskin & Associates.

9. Sheet SP-1 shows parking provided is one space per 10,000 sf, code requires one space per 1,000

sf. Provide parking utilization and demand study supporting such if a variance were to be pursued.

SEE REVISED SP-1 for (VARIANCE BOX) and Attached Backup by Plummer & Associates.

10. Provide 25'x25' corner setback at the corners of Washington Street and Dewey Street.

SEE REVISED SP-1

11. Provide civil plans for the proposed work. Provide and indicate items such as but not limited, curbing, all vehicle turning radii, vehicular sight triangles, pavement marking and signage plans and details. Indicate and show all change in elevations. Show any utility work within City rightsof-way for utility connection, indicate any pavement restoration. Full road width pavement restoration required, provide pavement restoration detail.

SEE CIVIL PLANS.

12. On Sheet SP-1, it appears that there are building features that encroaches into the loading spaces. Please clarify.

SEE REVISED SP-1

13. Sheet SP-1, existing fire hydrant along Dewey Street adjacent to the proposed driveway opening is in conflict with the proposed access.

SEE REVISED SP-1 (HYDRANT HAS BEEN LOCATED IN THE EXISTING LOCATION) and WS-1.

14. Show on plans for existing curb cut on Dewey Street to be removed and provide curbing along Dewey Street.

SEE CIVIL PLAN C-2.

15. Provide new curbing on Washington Street.

SEE CIVIL PLAN C-1.

16. On Sheet SP-1, indicate locations of building access and exterior door openings on the plan.

SEE REVISED SP-1

17. Unity of Title will be required at the time of City Building Permit review.

Shall Be Provided At Said Time.

18. Broward County's review and approval will be required.

Shall Be Provided At Said Time.

19. All outside agency permits must be obtained prior to issuance of building permit.

Shall Be Provided At Said Time. Also see C-1.

20. More comments may follow upon review of the requested information.

H. LANDSCAPING

Guillermo Salazar, Landscape Reviewer (lclark@hollywoodfl.org) 954-921-3900

1. No comments received.

SEE LANDSCAPING PLANS And Arborist Letter.

I. UTILITIES

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985

James Rusnak, Engineer (jrusnak@hollywoodfl.org) 954-921-3302

1. Update survey to include the reference to the NAVD 88 elevations.

UPDATED SURVEY ATTACHED

2. Provide Paving, Grading and Drainage Plans showing how storm water storage will be provided.

SEE CIVIL PLAN C-2.

3. Provide plans showing how water and sewer services will be provided. Plans must include water and sewer demand calculations.

SEE CIVIL PLAN WS-1.

J. BUILDING

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Application is substantially compliant.

K. FIRE

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554 Fire review is limited to water supply for firefighting purposes and fire dept. access. A full architectural review will be completed when an application and plans are submitted to the third floor building dept.

1. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements.

See Civil Drawings.

2. As a result of that test, show any existing and new fire hydrants on civil drawings. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

See Civil Drawings.

3. Provide a note on civil drawings that underground fire main work will be completed by a contractor holding a Class I, II, or V license per FS 633.102.

See Civil Drawing WS-1.

4. Show the location of the fire dept. connection, fire line and size up to the building on civil drawings.

See Civil Drawing WS-1.

5. A bi-directional amplifier is required per NFPA 1. 11.10.

See Revised SP-1 for Note.

6. Per NFPA 1, 12.3.2* a quality assurance program for the installation of devices and systems installed to protect penetration and joints shall be prepared and monitored by the registered design professional responsible for design. Inspections of fire stop systems and fire-resistive joint systems shall be in accordance with 12.3.2.1 and 12.3.2.1. *Architectural plans will be required to show this information moving forward for buildings three stories or greater in height.*

Shall be Done At Time of Construction Permit Submittal.

7. Will any flammables be allowed in the tenant storage spaces? If so, the design of the fire sprinkler system may need to be higher than ordinary hazard.

PROPOSED BUILDING SHALL HAVE An Automatic FIRE SPRINKLER SYSTEM BASED ON THE FIRE HAZARD REQUIREMENTS

8. A knox box will be required for after hours in the event Fire needs to access the building.
SEE REVISED SP-1 (FRONT DOOR)

L. PUBLIC WORKS

Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Application is substantially compliant.

N. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Sheet SP-1: Show design details of the motorized rolling gate. Is a wall or fence proposed as a buffer between the site and adjacent properties? Show details.

GATES HAVE BEEN REMOVED

2. Sheet SP-2: What's the purpose of the second office shown at NE corner of building?

THE MANAGER'S OFFICE

3. I presume mechanical equipment is mounted on roof. How is the roof accessed?

MECHANICAL EQUIPMENT ARE LOCATED ON THE ROOF (SEE SHEET A-6), AND THE ACCESS IS THRU THE NORTH STAIRS

4. Applicant is advised to meet with the two local civic associations as noted below.

- United Neighbors of South Hollywood – meeting held 3rd Tuesday at 7:00 p.m. at 1411 South 28th Ave., Helen Chervin, President at helenandred@gmail.com
- Highland Gardens Civic Asso – meeting held 4th Wednesday at 7:00 p.m. at 1411 South 28th Ave., Shirley Stealey, Secretary at highlandgardens7@bellsouth.net

We will do this after Final TAC meeting.

O. ECONOMIC DEVELOPMENT

Brian Rademacher, Corridor Redevelopment Manager (brademacher@hollywoodfl.org) 954-924-2922

1. Will there be any storage in the parking areas?

NO OUTSIDE STORAGE.

2. Any retail sales of storage/moving supplies?

NOT KNOW AT THIS TIME.

3. Hours of operation and access?

7AM TO 10PM.

4. Are restrooms accessible in front office/main office for public?

YES, SEE Revised SHEETS A-1, A-2, A-3, A-4 AND A-5

P. POLICE DEPARTMENT

Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371

Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500

Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371

1. No comments received.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. No comments received.

R. PARKING

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Application is substantially compliant.

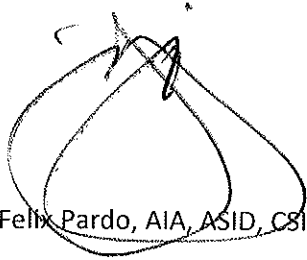
S. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

This completes our narrative response.

Thank you,

A handwritten signature in black ink, appearing to read 'Felix Pardo', is written over a large, loopy, circular scribble that also contains the text 'Felix Pardo, AIA, ASID, CSI'.

Felix Pardo, AIA, ASID, CSI

DAVID PLUMMER & ASSOCIATES

TRAFFIC ENGINEERING • CIVIL ENGINEERING • TRANSPORTATION PLANNING

1750 PONCE DE LEON BOULEVARD | CORAL GABLES, FLORIDA 33134
305•447•0900 | DPA@DPLUMMER.COM

February 19, 2019

Mr. Mark Bergquist
Director of Real Estate for Stor-All Development
1375 W. Hillsboro Boulevard
Deerfield Beach, FL 33442999
954.421.1196

RE: Stor-All Hollywood Traffic Engineering Services - #19120

Dear Mr. Bergquist,

We have completed a parking analysis for the proposed self-storage facility with 944 storage units. The project will be located at 910 South Dixie Highway in Hollywood, Florida. Access to the site will be via a two-way driveway located on Washington Street. The proposed site plan is included as Attachment A. The purpose of this study is to conduct a parking analysis to determine the number of parking spaces required for the project. The analysis will be based on the rates and/or equations provided by the Institute of Transportation Engineering (ITE) Parking Generation, 4th Edition. This document is an educational tool used by planners, transportation professionals, and zoning boards, to estimate parking demand for a proposed development. This document is based on parking demand studies conducted by public agencies, consulting firms, universities and associations.

Parking Generation

Parking generation for the proposed site was based on data provided for ITE Land Use Code 151 – Mini-Warehouse. ITE defines mini-warehouses as buildings in which a number of storage units or vaults are rented for the storage of goods and are typically referred as “self-storage.” Parking generation for this site was calculated using the average rate (1.35 per 100 storage units) and using a fitted curve equation ($P=0.90x + 2$). The calculation for the proposed facility is as follows:

Rate: $1.35 * 944/100 = 13$ parking spaces

Fitted Curve Equation: $(0.90 * 944/100) + 2 = 11$ parking spaces.

Conclusion

Based on the parking generation analysis, the proposed project should provide 13 parking spaces to meet the parking demand. The proposed site plan shows 11 parking spaces and 4 loading berths. Due to the characteristics of the site (self-storage facility), the 4 loading berths will act as parking spaces for the site costumers; hence the site is providing a total of 15 parking spaces. Therefore, it is our professional opinion that the proposed project is providing adequate parking to satisfy the expected demand. We stand ready to provide any support needed for this proposed project. Should you have any questions or comments, please call me at (305) 447-0900.

Sincerely,

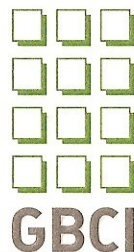


Juan Espinosa-Jeal
Vice President – Transportation

Florida Registration Number: 49512

cc: File
Attachment

w:\19\19120\stor_all hollywood_parking_february 2019.docx



GREEN BUILDING CERTIFICATION INSTITUTE

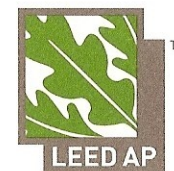
HEREBY CERTIFIES THAT

Eduardo Calil

HAS ACHIEVED THE DESIGNATION OF

LEED® ACCREDITED PROFESSIONAL

BY DEMONSTRATING THE KNOWLEDGE OF GREEN BUILDING PRACTICE
REQUIRED FOR SUCCESSFUL IMPLEMENTATION OF THE LEADERSHIP IN ENERGY
AND ENVIRONMENTAL DESIGN (LEED®) GREEN BUILDING RATING SYSTEM™.



Chairman

March 17, 2009

Date Issued

Peter Templeton, President

Erin Santiago
ArboristFL-5705A
The Santiago Group LLC
thesantiagogroupllc@gmail.com
(954) 947-1087



February 13, 2019

ISA Certified Arborist Report
Tree Inventory 910 – 950 S Dixie Highway, Hollywood, FL

Introduction:

The following is an arborist report for the property located at 910 – 950 S Dixie Highway in Hollywood, FL. The purpose of this report is to inventory the existing trees on site and evaluate their general condition. This report is not a risk assessment on a Level 1, 2 or 3 as described by the Levels and Scope of Tree Risk Assessment from the ANSI A300 Part 9: Tree, shrub, and Other Woody Plant Management – Standard Practices. The Santiago Group LLC cannot be held liable for damage to the tree or damage caused by the tree. The methodology to calculate a tree condition percentage rating is generally adopted from the Guide for Plant Appraisal 9th Edition by ISA and the Council of Tree & Landscape Appraisers. Proposed actions for these trees are not addressed in this report.

Methods:

An on-site visual inspection at ground level was made on February 8th, 2019 to observe the trees. The size of the trees was measured as diameter at breast height (DBH), breast height being 4.5 feet above ground utilizing diameter measure tape. The height was estimated. A tree condition rating is calculated by rating each tree's various attributes. The rating formula accounts for the health of the small branches, twigs, and foliage and/or buds, and rating both the health and structure of the roots, trunk, and scaffold branches. The tree ratings of the component attributes are tallied and then divided by total possible points to obtain an overall condition rating. Please see Appendix A for Tree Locations and Appendix B for Tree Inventory & Condition.

Respectfully submitted,

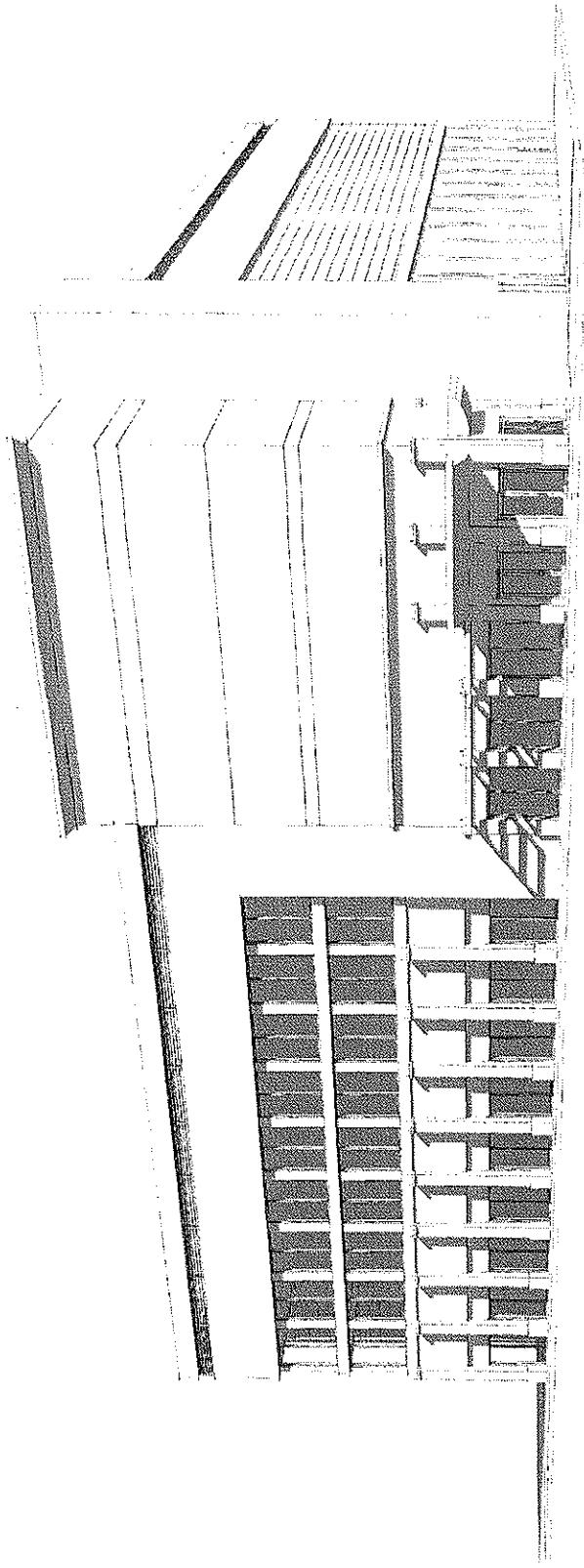
Erin Santiago, ISA Certified Arborist FL-5705A

Note: tree locations approximate • drawing not to scale • No significant canopy overhang from trees off property



Appendix B - Tree Conditions

Tree #	Common Name <i>Botanical name</i>	DBH (inches)	Height (feet)	Diam Canopy (feet)	Roots				Trunk		Scaffold Branches & Twigs			Foliage and / or buds		4=healthy 1=poor	Condition Factor / Rating	Notes
					Structure	Health	Structure	Health	Structure	Health	Structure	Health	Subtotal					
1	Weeping Fig <i>Ficus benjamina</i>	14	22	15	1	2	1	2	2	2	2	2	2	2	2	14	44%	Overgrown hedge in poor condition
2	Weeping Fig <i>Ficus benjamina</i>	8	10	15	1	2	1	2	2	2	2	2	2	2	2	14	44%	Overgrown hedge in poor condition
3	Weeping Fig <i>Ficus benjamina</i>	10	10	15	1	2	1	2	2	2	2	2	2	2	2	14	44%	Overgrown hedge in poor condition
4	Weeping Fig <i>Ficus benjamina</i>	6	20	10	2	3	2	3	2	3	2	3	3	3	3	21	66%	Overgrown hedge in poor condition
5	Weeping Fig <i>Ficus benjamina</i>	22	10	15	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition
6	Weeping Fig <i>Ficus benjamina</i>	40	25	25	2	2	2	2	2	2	3	3	3	2	2	18	56%	Overgrown hedge in poor condition
7	Weeping Fig <i>Ficus benjamina</i>	22	22	15	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition
8	Weeping Fig <i>Ficus benjamina</i>	6	18	10	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition
9	Weeping Fig <i>Ficus benjamina</i>	6	17	6	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition
10	Missing																	Roots are trench and limited on the north side. Voids in canopy and mild dieback.
11	Gumbo Limbo <i>Bursera simaruba</i>	18	20	25	1	3	3	3	3	2	3	3	3	3	3	21	66%	Good condition
12	Christmas Palm <i>Veitchia merrillii</i>	6	10CT 14OA	8	2	3	3	3	3					3	3	15	75%	Good condition
13	Christmas Palm <i>Veitchia merrillii</i>	6	10CT 14OA	8	2	3	3	3	3					3	3	15	75%	Good condition
13A	Ligustrum <i>Ligustrum japonicum</i>	10	9	10	2	3	3	3	3	3	2	2	2	2	2	21	66%	Dieback. Multistem.
14	Pongam <i>Pongamia pinnata</i>	11	14	18	2	2	2	2	2	2	3	3	3	3	3	19	59%	Codominant stems with significant scaffold failure site. Sprout regrowth has weak connections.
15	Bischofia <i>Bischofia javanica</i>	14	18	15	2	2	2	2	2	2	2	1	1	1	1	14	44%	Being strangled by a strangler fig. Trunk cavity 5 inches. Codominant stems

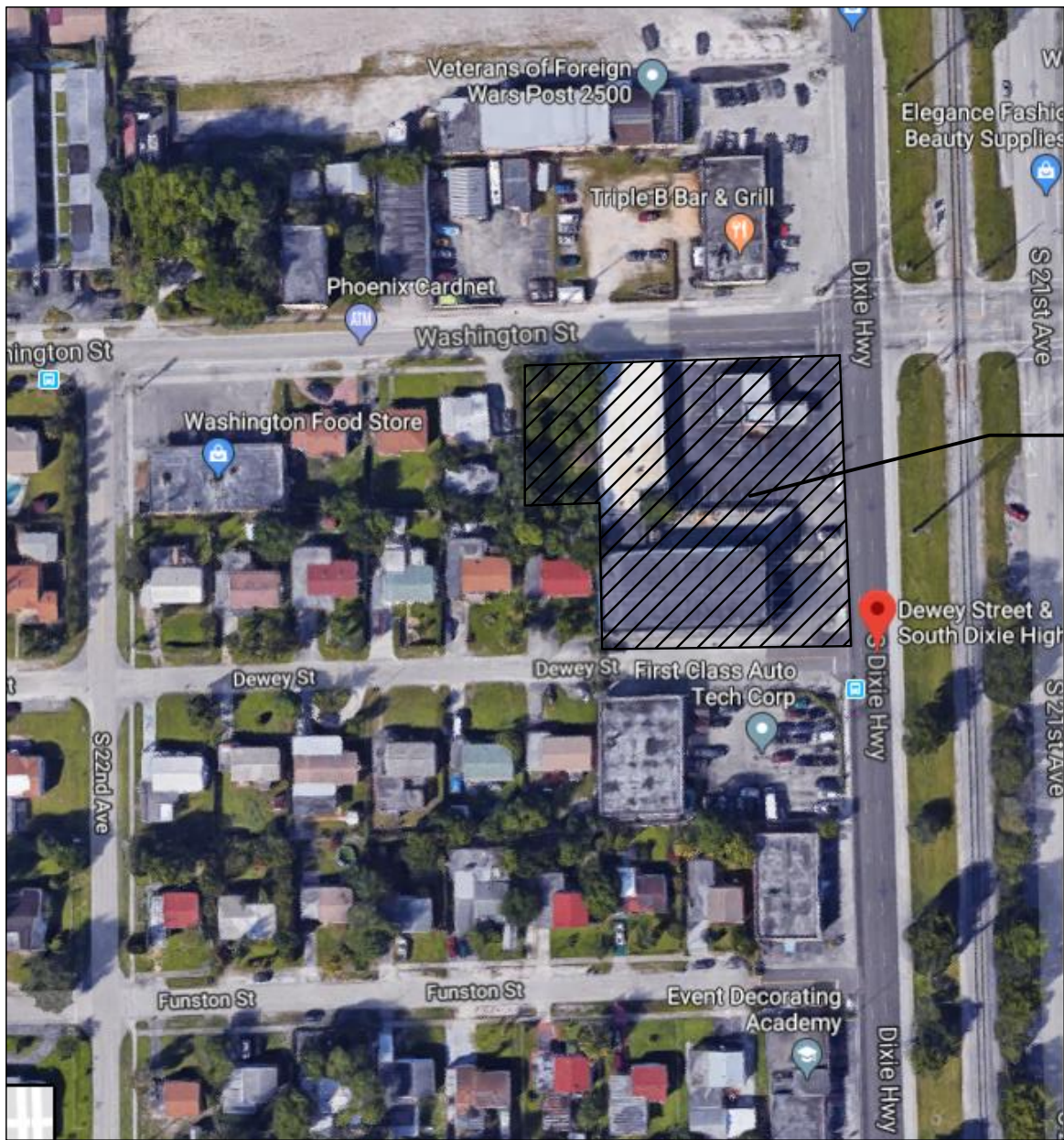


PROPOSED NEW StorAll BUILDING

For Storall Adquisitions, LLC

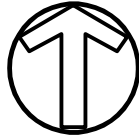
Self Storage Facility

910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020



SITE LOCATION

LOCATION MAP



DRAWING INDEX

- CIVIL
- C-1

LAYOUT PLAN AND NOTES
- C-2

PAVING -GRADING-DRAINAGE PLAN AND NOTES
- C-3

SITE DETAILS
- C-4

DRAINAGE DETAILS
- WS-1

WATER AND SEWER PLAN
- SWPPP-1

STORMWATER POLLUTION PREVENTION NOTES
- SWPPP-2

STORMWATER POLLUTION PREVENTION PLAN
- TP-1

GARBAGETRAVEL PATH PLAN
- TP-2

CITY OF HOLLYWOOD FIRE TRUCK PATH PLAN
- TP-3

STORAGE VEHICLE TRUCK PATH PLAN
- ARCHITECTURAL
- SP-1

SITE PLAN
- LP-1

TREE DISPOSITION PLAN
- LP-2

PLANTING PLAN
- LP-3

PLANT LIST AND GENERAL NOTES
- LP-4

DETAILS AND SPECIFICATIONS
- IR-1

IRRIGATION PLAN
- A-1

GROUND FLOOR PLAN
- A-2

SECOND FLOOR PLAN
- A-3

THIRD FLOOR PLAN
- A-4

FOURTH FLOOR PLAN
- A-5

FIFTH FLOOR PLAN
- A-6

ROOF PLAN
- A-7

EAST ELEVATION AND SOUTH ELEVATION
- A-8

WEST ELEVATION AND NORTH ELEVATION

LEGAL DESCRIPTION:

PARCEL 1:

The North 86.10 feet of the East 106.30 feet of Lot 1, Block 1, of SUNNYSIDE ESTATES, according to the Plat thereof, as recorded in Plat Book 19, Page 35, of the Public Records of Broward County, Florida.

PARCEL 2:

Lot 1, LESS the North 86.10 feet of the East 106.30 feet thereof, and all of Lots 2 and 15, Block 1, of SUNNYSIDE ESTATES, according to the Plat thereof, as recorded in Plat Book 19, Page 35, of the Public Records of Broward County, Florida.

PARCEL 3:

Lot 3, Block 1, of SUNNYSIDE ESTATES, according to the Plat thereof, as recorded in Plat Book 19, Page 35, of the Public Records of Broward County, Florida.

Preliminary Technical Advisory Board Date: 06/04/2018 (Submitted)
Preliminary Technical Advisory Board Date: 06/18/2018 (Completed)
Final Technical Advisory Board Date: 02/19/2019 (Submitted)
Final Technical Advisory Board Date:

REVISIONS	BY
02/19/18	SP

FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555 Fax: (305) 445-1006 AA 000214TB

PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020

Date	06/30/17
Scale	AS SHOWN
Drawn	WE
Job #	201711
Sheet	CS
Of	Sheets

Notes Corresponding to Schedule B

7. EASEMENTS AND DEDICATIONS CONTAINED ON THE PLAT OF SUNNYSIDE ESTATES, AS RECORDED IN PLAT BOOK 19, PAGE 35, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
(AFFECTS, PLOTTED AS SHOWN)
8. AMENDED EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION, AS RECORDED IN OFFICIAL RECORDS BOOK 49510, PAGE 562 AND OFFICIAL RECORDS BOOK 49885, PAGE 466, AS CORRECTED IN OFFICIAL RECORDS BOOK 50264, PAGE 1803, AND NOTICE OF SUBSTITUTION OF EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION IN OFFICIAL RECORDS BOOK 50355, PAGE 1901, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
(DOCUMENT NOT PROVIDED)

Miscellaneous Notes

- MN1 SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- MN2 DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- MN3 AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF EARTH WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- MN4 AT THE TIME OF THE ALTA SURVEY THERE WERE NO CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION OR OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.
- MN5 AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- MN6 AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE, OR BURIAL SITE.
- MN7 TOTAL NUMBER OF PARKING SPACES IS 20, WHICH INCLUDES 2 DESIGNATED HANDICAPPED SPACES.
- MN8 COMPLETED FIELD WORK WAS 5/17/2018.
- MN9 THE BASIS OF BEARING FOR THIS SURVEY IS THE N PROPERTY LINE, BEARING N 87°40'20" E PER FLORIDA STATE PLANE COORDINATE SYSTEM, EASTERN ZONE (NAD83).
- MN10 AT THE TIME OF THE ALTA SURVEY, THERE WAS NO OBSERVED EVIDENCE OF ANY DELINEATED WETLAND AREAS.
- MN11 THE SUBJECT PROPERTY IS CONTIGUOUS AND CONTAINS NO GAPS OR GORES.
- MN12 THE NEAREST INTERSECTING STREET IS THAT OF DIXIE HWY. AND WASHINGTON ST., INTERSECTION BEING LOCATED APPROXIMATELY 34' FROM THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
- MN13 THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO DIXIE HWY AND WASHINGTON ST., BEING PUBLICLY DEDICATED STREETS OR HIGHWAYS.
- MN14 AT THE TIME OF THE ALTA SURVEY NO PHYSICAL ADDRESS WAS OBSERVED ON SUBJECT PROPERTY.
- MN15 21* ENGINEERING GRADE ALTA SURVEY, AUTO CAD FILE, TOPOGRAPHIC (2FT INTERVALS) EXTEND TO CENTERLINE OF ALL ADJACENT STREETS AND ALLEYS. ANGLES AND BEARINGS, INCLUDING LIGHT AND UTILITY POLES, OFF-SITE BENCHMARKS, INVERTS, CATCH BASINS, MANHOLES, FLOW LINES, SETBACK LINES AND FIRE HYDRANTS. NATURAL FEATURES (TOPOGRAPHY): EXISTING AND PROPOSED CONTOURS AND/OR SPOT GRADES. LOCATION OF BUILDINGS, INCLUDING THE LOCATION AND SIZE OF BERMS, WALLS, UNDERGROUND UTILITIES/FACILITIES, INTERSECTIONS, BRIDGES, SIDEWALKS, DRIVEWAYS, CURBS AND STREETS. ABUTTING AND INTERNAL STREETS AND THEIR WIDTHS, INCLUDING EXISTING CURB-CUTS/DRIVEWAYS TO SURROUNDING PROPERTIES WITHIN 100 FEET. EASEMENTS AND/OR DEDICATIONS WITH O.R. OR PLAT BOOK(S) AND PAGE NUMBER(S). SQUARE FOOTAGE OF BUILDINGS AND PROPERTY ACREAGE.
- MN16 ALL OFFSITE EASEMENTS OR SERVITUDES PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY ARE PLOTTED AND SHOWN HEREON.
- MN17 IN REGARDS TO ALTA TABLE A ITEM 10(A), NO VISIBLE CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT, NECESSARY PERMISSIONS WERE NOT PROVIDED.
- MN18 ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING. (NAVD 1988 DATUM)

Legend of Symbols & Abbreviations

—x—	FENCE	⚡	POWER POLE
○	IRON PIN SET	⚡	LIGHT POLE
R/W	RIGHT OF WAY	⚡	TRANSFORMER
C/L	CENTERLINE	⚡	ELECTRIC METER
L/A	LANDSCAPED AREA	⚡	GAS VALVE
P/S	PARKING SPACE	⚡	GAS METER
O/H	OVERHANG	⚡	WATER METER
BHL	MEASURED BUILDING HEIGHT LOCATION	⚡	WATER VALVE
●	FOUND MONUMENT	⚡	HYDRANT
+	SIGN	⚡	DRAINAGE MANHOLE
(M)	MEASURED	⚡	STORM MANHOLE
(R)	RECORDED	⚡	GRATED INLET
🚩	FLAGPOLE	⚡	CATCH BASIN (ROUND)
♿	ADA PARKING	⚡	SANITARY MANHOLE
REC.	RECORDED	⚡	SANITARY CLEANOUT
CALC.	CALCULATED	⚡	TELEPHONE LINE
POB	POINT OF BEGINNING	⚡	GAS VALVE
POC	POINT OF COMMENCEMENT	⚡	TELEPHONE MANHOLE
ACCESS	POINT OF ACCESS	⚡	TOP OF ASPHALT
		⚡	TC TOP OF CONCRETE
		⚡	CL CENTER LINE
		⚡	TOC TOP OF CURB
		⚡	FFE FINISHED FLOOR ELEVATION
		⚡	EC EDGE OF CONCRETE

Zoning

STATUS	CURRENT ZONING DESIGNATION:		
ITEM	REQUIRED	OBSERVED	AWAITING ZONING REPORT
PERMITTED USE		SEE ADD'L NOTES	
MIN. LOT AREA		44523.56 SF	
MIN. FRONTAGE		638.28'	
MAX. BLDG. COVERAGE		37.43%	
MIN. SETBACKS FRONT		58.32'	
MIN. SETBACKS SIDE		0.32'	
MIN. SETBACKS REAR		N/A	
MAX. BUILDING HEIGHT		26'	
PARKING REGULAR		18	
PARKING HANDICAP		2	
PARKING TOTAL		20	
ADDITIONAL NOTES:			
PERMITTED USE:	STORAGE & AUTO REPAIR		

Encroachment Statement

- (A) BUILDING APPEARS TO ENCR OACH OVER PROPERTY LINE BY AS MUCH AS 0.23'.
- (B) BUILDING APPEARS TO ENCR OACH OVER PROPERTY LINE BY AS MUCH AS 0.74'.
- (C) EASEMENT APPEARS TO ENCR OACH OVER BUILDING LINE BY AS MUCH AS 61.61'.
- (D) EASEMENT APPEARS TO ENCR OACH OVER BUILDING LINE BY AS MUCH AS 30.56'.

Flood Note

By graphic plotting only, this property is in Zone(s)
"X" of the Flood Insurance Rate Map, Community Panel No.
12011C0569H, which bears an effective date of
08/18/2014 and is not in a Special Flood Hazard Area.

Utility Notes

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, UTILITY MAP DRAWINGS, AND FLORIDA ONE CALL UTILITY LOCATE REQUEST. BLEW & ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL FLORIDA ONE CALL AT (800) 432-4770 BEFORE DIGGING. AT THE TIME OF ALTA SURVEY, SURFACE MARKINGS FROM UTILITY COMPANIES WERE OBSERVED. UTILITY MAPS HAVE BEEN REQUESTED AND THE SURVEYOR WILL UPDATE IF AND WHEN RECEIVED.

THE FOLLOWING FACILITY OPERATORS HAVE RESPONDED FOR THIS LOCATE REQUEST:

TICKET 122815037
FL : BROWARD COUNTY, HOLLYWOOD CITY
910-950 DIXIE HWY

TECO PEOPLES GAS SOUTH FLORIDA
UNMARKED - INCORRECT ADDRESS
INFORMATION, CALL SSOCOF TO VERIFY THE INFORMATION ON THE TICKET.

COMCAST CABLE
CLEAR NO FACILITIES
CITY OF HOLLYWOOD PUBLIC UTILITIES DEPT
UNMARKED - INCORRECT ADDRESS

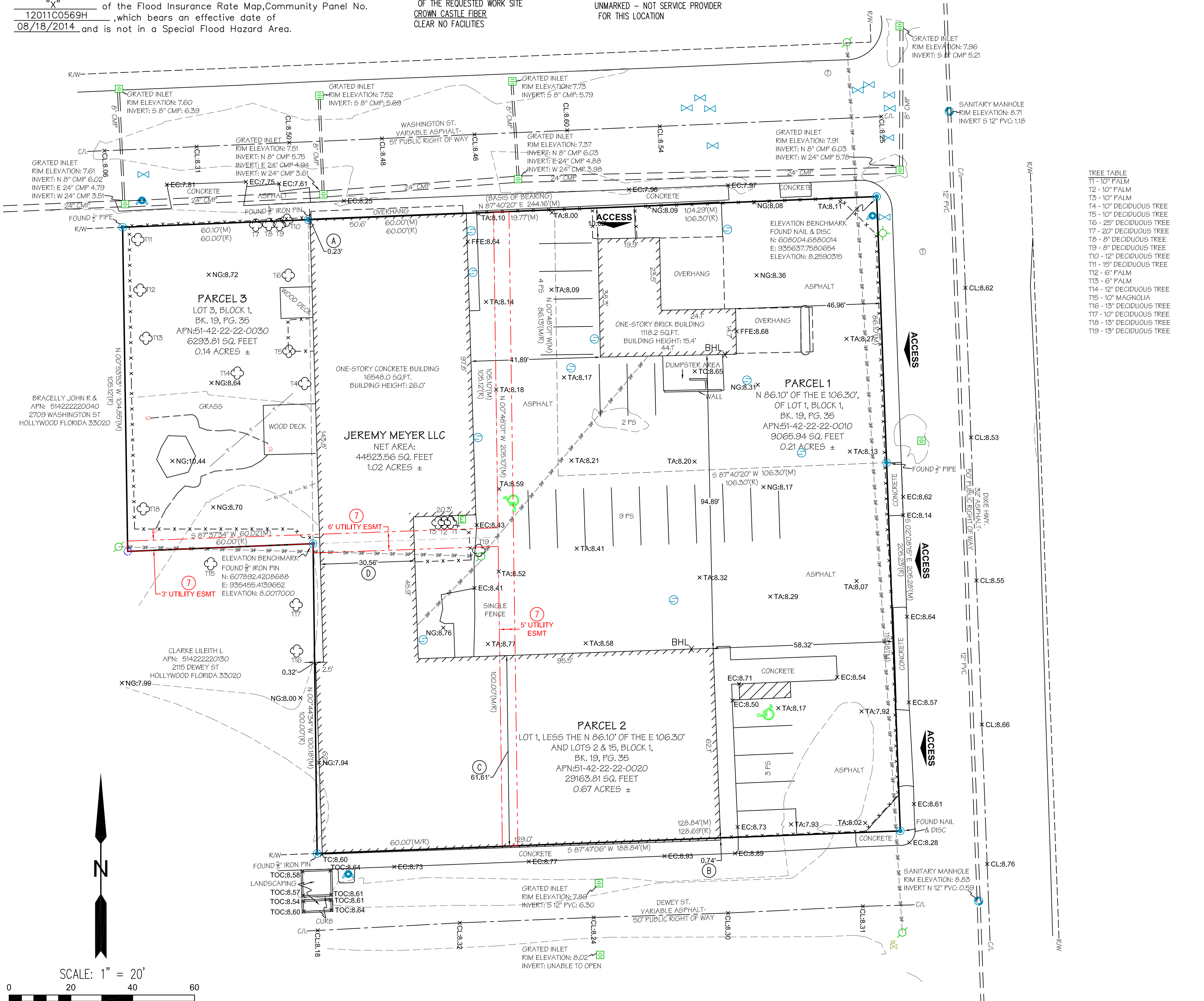
INFORMATION, CALL SSOCOF TO VERIFY THE INFORMATION ON THE TICKET.
FLORIDA POWER & LIGHT--TRANSMISSION
NO CONFLICT - UTILITY IS OUTSIDE OF THE REQUESTED WORK SITE

FLORIDA POWER & LIGHT--BROWARD
CLEAR NO FACILITIES
SPRINT
CLEAR NO FACILITIES

NO CONFLICT - UTILITY IS OUTSIDE OF THE REQUESTED WORK SITE
LEVEL 3 COMMUNICATIONS
NO CONFLICT - UTILITY IS OUTSIDE OF THE REQUESTED WORK SITE

CROWN CASTLE FIBER
CLEAR NO FACILITIES

MCJ
CLEAR NO FACILITIES
AT&T/ DISTRIBUTION
RESPONSE HAS NOT BEEN ENTERED
FIBERLIGHT LLC
CLEAR NO FACILITIES
BROWARD COUNTY TRAFFIC ENGINEERING
NO CONFLICT - UTILITY IS OUTSIDE OF THE REQUESTED WORK SITE
CITY OF HOLLYWOOD, PUBLIC WORKS DEPARTMENT
UNMARKED - INCORRECT ADDRESS INFORMATION
CALL SSOCOF TO VERIFY THE INFORMATION ON THE TICKET.
AT I
MARKED
CENTURYLINK (FORMERLY QWEST COMMUNICATIONS)
CLEAR NO FACILITIES
STORM NETWORKS
CLEAR NO FACILITIES
TOWN OF DAVIE - UTILITIES DEPARTMENT
UNMARKED - NOT SERVICE PROVIDER FOR THIS LOCATION



Vicinity Map (Not To Scale)

Record Legal Description

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
PARCEL 1:

THE NORTH 86.10 FEET OF THE EAST 106.30 FEET OF LOT 1, BLOCK 1, OF SUNNYSIDE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 35, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2:

LOT 1, LESS THE NORTH 86.10 FEET OF THE EAST 106.30 FEET THEREOF, AND ALL OF LOTS 2 AND 15, BLOCK 1, OF SUNNYSIDE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 35, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:

LOT 3, BLOCK 1, OF SUNNYSIDE ESTATES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 35, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

THE LAND DESCRIBED ABOVE AND SHOWN IN THIS SURVEY ARE THE SAME AS THAT RECORDED IN THE AMERICAN LAND TITLE ASSOCIATION COMPANY COMMITMENT # 17108149 - UPDATE #1 WITH AN EFFECTIVE DATE OF MAY 16, 2018.

CONTAINING 44523.56 S.F., 1.02 ACRES MORE OR LESS.

APN(S): 514222220010, 514222220020, 514222220030

ALTA/NSPS Land Title Survey

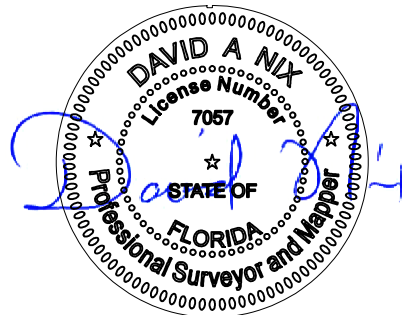
L & G AUTO SERVICES
PROJECT #18-2382-SITE #001
910-950 S DIXIE HWY
HOLLYWOOD, FL 33020

COUNTY OF BROWARD

SURVEYOR CERTIFICATION

TO OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; GREENSPOON MARDER LLP; STOR-ALL ACQUISITIONS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; JEREMY MYER, LLC, A FLORIDA LIMITED LIABILITY COMPANY; AND CRESURVEYS, LTD.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B(1), 7C, 8, 9, 10A, 11, 13, 14, 16, 17, 18, 19, 20, 21* OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 5/17/2018.



DAVID NIX
SURVEYOR LICENSE #7067
IN THE STATE OF FLORIDA
DATE OF LAST REVISION: 2/15/2019

BLEW & ASSOCIATES, PA
3825 N SHILOH DRIVE
FAYETTEVILLE, ARKANSAS 72703
SURVEY@BLEWINC.COM

Sheet 1 of 1

PLEASE DIRECT ALL INQUIRIES FOR THIS SURVEY TO:

CRESURVEYS
EMAIL: INFO@CRESURVEYS.COM
PHONE: (330) 777-0502
24 N. High Street, Suite 103, Akron, OH 44308



CITY COMMENTS

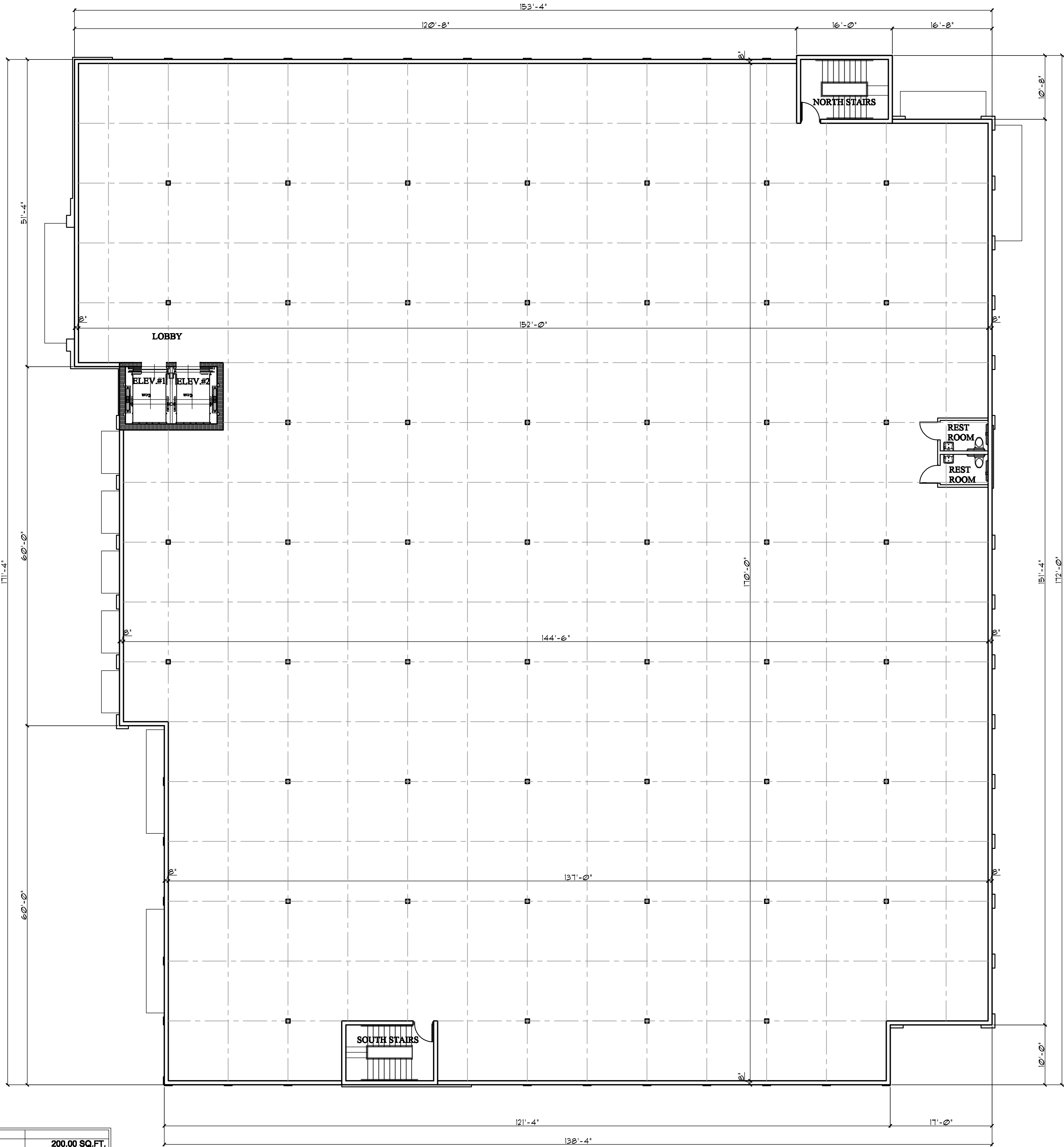
REVISIONS	BY
02/15/13	SP

FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555 Fax: (305) 445-1006 AA 0002418

PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020

Date	08/30/11
Scale	AS SHOWN
Drawn	WE
Job #	201711
Sheet	A-2
Of	Sheets

GROUND FLOOR AREAS	
LOBBY AREA	200.00 SQ.FT.
STAIRS	352.00 SQ.FT.
RESTROOMS	147.60 SQ.FT.
ELEVATORS	185.00 SQ.FT.
SELF STORAGE SPACES (CIRCULATION INCLUDED)	23,699.46 SQ.FT.
TOTAL FLOOR AREA	24,584.06 SQ.FT.



2nd FLOOR PLAN
SCALE 3/32"=1'-0"

SPECIFICATIONS AND DETAILS



OPTION ONE TREE BRACING: TREES WITH 2" CALIPER OR LESS: USE (3) 2" DIAMETER PRESSURE TREATED LODGE POLE. POLE SHALL BE 9' OVER ALL LENGTH.. BURY POLE 3' DEEP. USE CINCH TIES TO SECURE TREE TRUNK TO POLES.



CINCH TIES TO SECURE TREE TRUNK TO POLES.

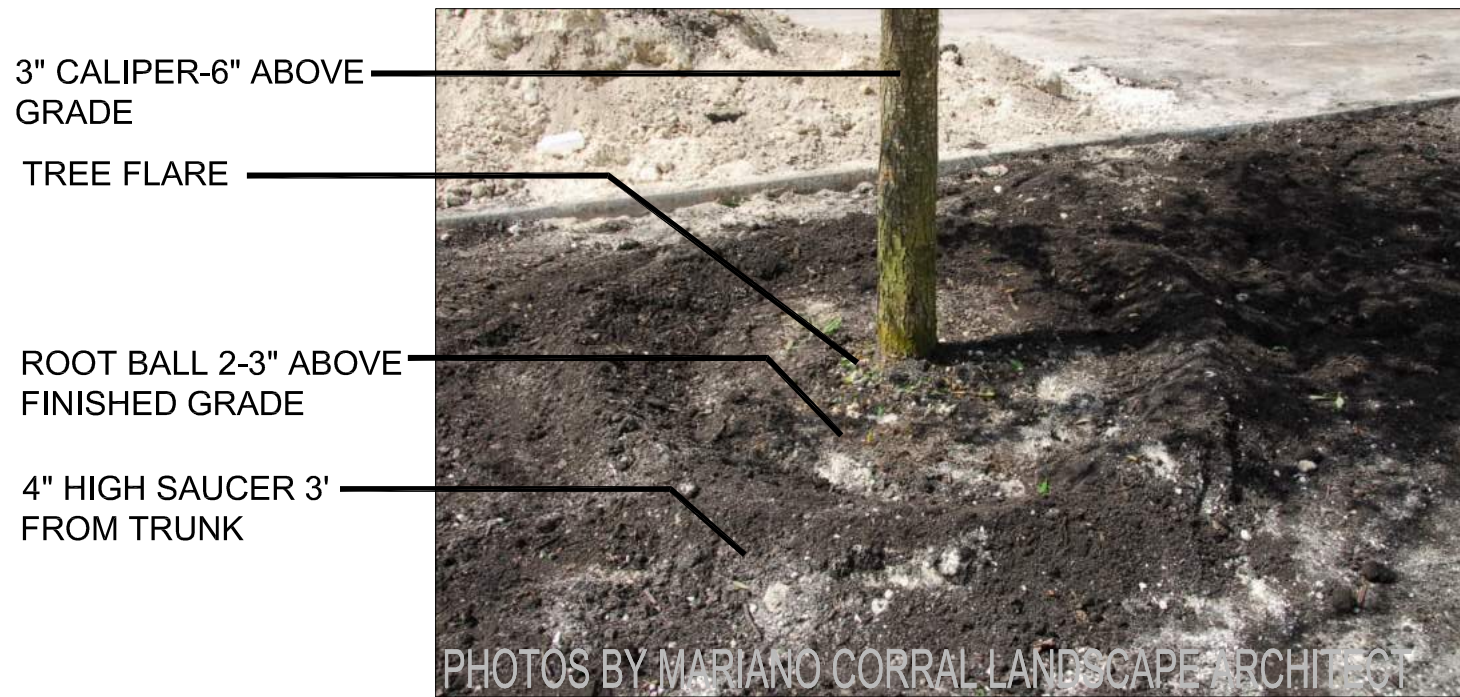
PHOTOS BY MARIANO CORRAL LANDSCAPE ARCHITECT



ALL PLANTING BEDS TO USE EUCALYTUS GRADE A MULCH, OR ECO MULCH, OR SHREDDED WOOD PRODUCTS AND AS APPROVED AND CERTIFIED BY THE NATIONAL SOIL AND MULCH COUNCIL. (NO RED MULCH)

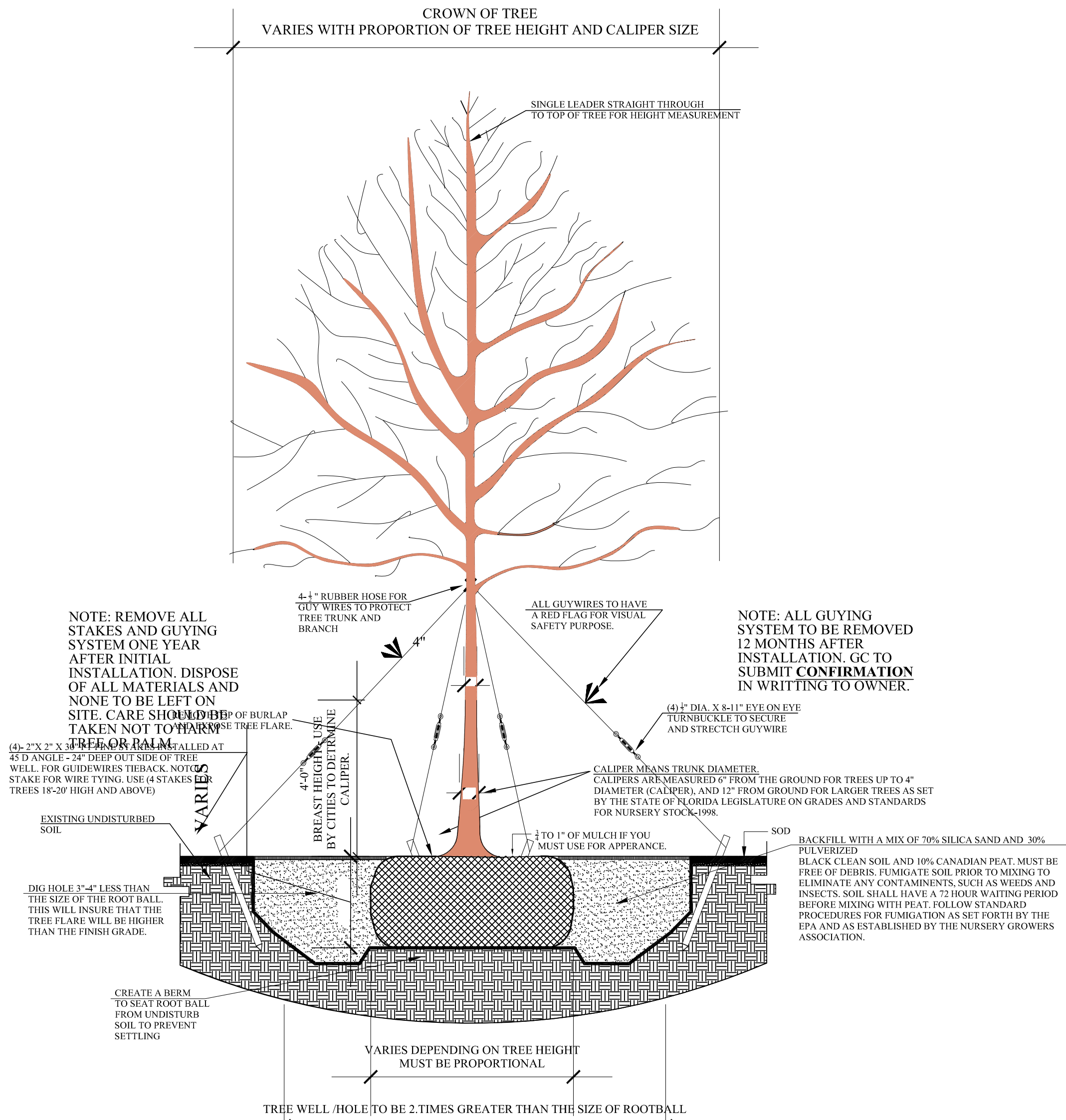


TYP. GUY WIRE AND HOSE WRAPING AROUND TREE BRANCHES

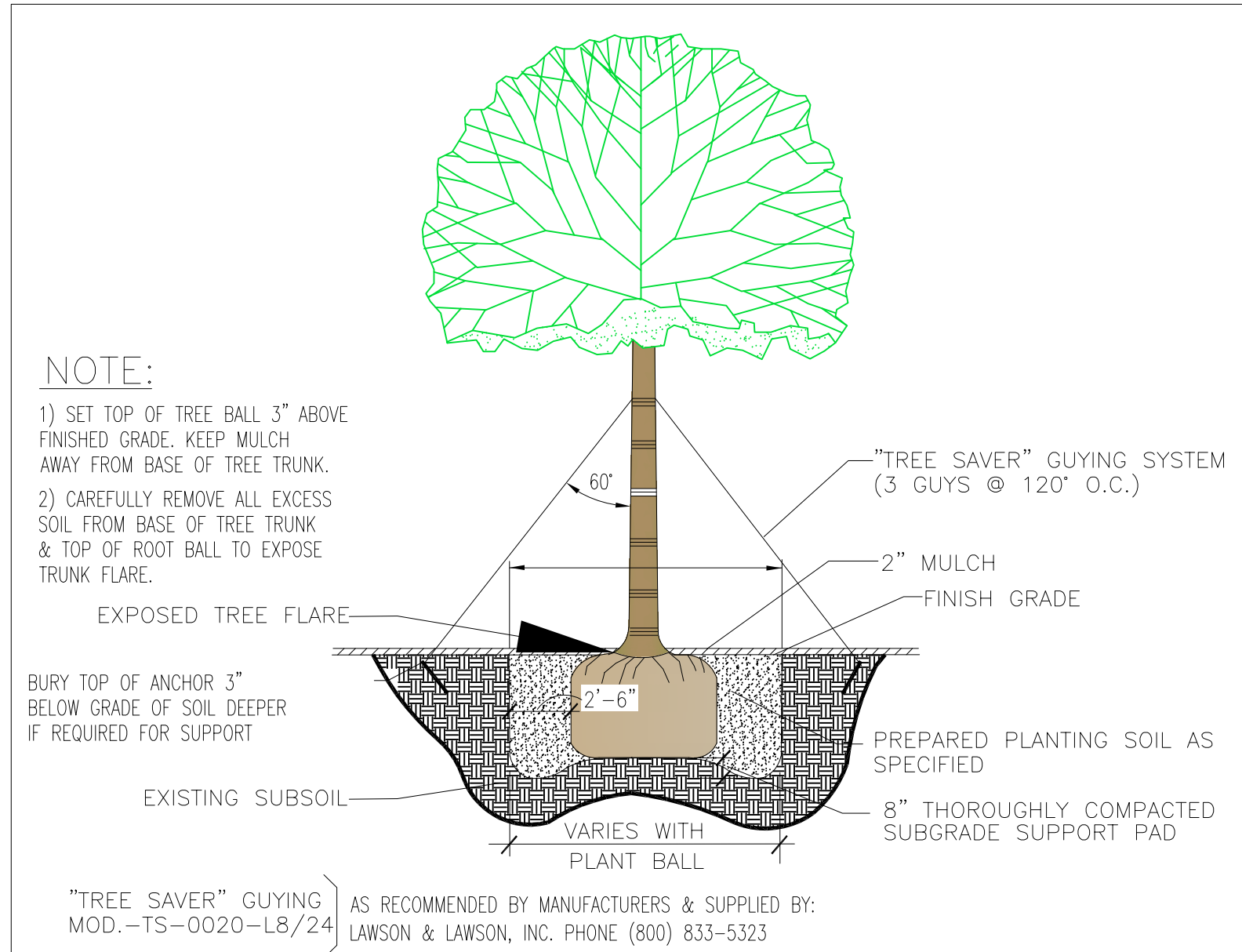


PHOTOS BY MARIANO CORRAL LANDSCAPE ARCHITECT

The TOP of TREE ROOTBALL shall be placed 3" above existing soil. This will insure that tree flare will be exposed and NO MULCH shall be placed on top of rootball. If you must place mulch for appearance sake, lightly do so no more than 1/2" thick and 4" away from tree trunk. Create a 4" saucer around tree rootball 6' in diameter.



TYP. TREE BRACING DETAIL FOR A TREE 3 1/2" AND HIGHER

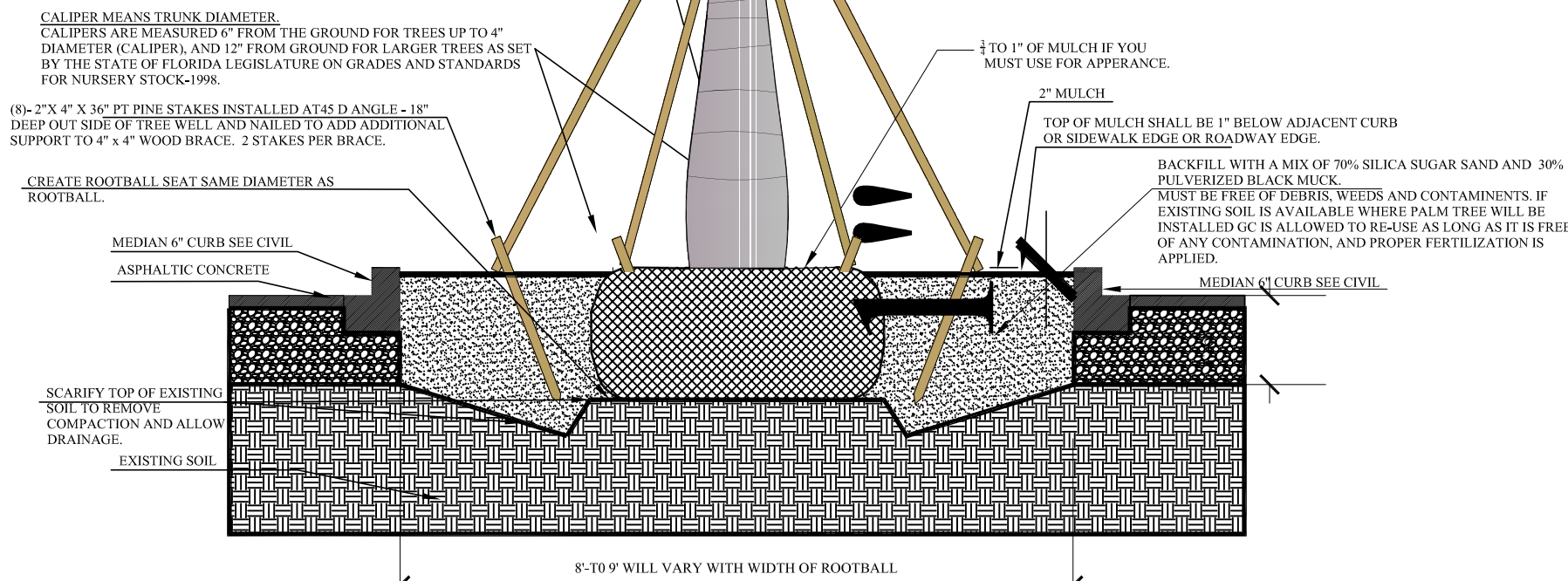


OPTION TWO: SINGLE STEM TREE GUYING (1-1/2" - 3" CAL.) N.T.S.



NOTE: REMOVE ALL LIMEROCK FROM MEDIAN ISLANDS 18" DEEP AND REPLACE WITH SOIL MEDIA AS SPECIFIED. HOWEVER, AROUND THE LOCATION OF ROOTBALL ALL LIMEROCK TO BE REMOVED TO A DEPTH OF 4' AND 3' FROM EACH SIDE OF ROOTBALL TO ALLOW NEW ROOTS TO EXPAND AND ALLOW FOR FUTURE HOLDING / ANCHORING CAPACITY OF THE PALM TREE.

NOTE: ALL GUYING SYSTEM TO BE REMOVED 12 MONTHS AFTER INSTALLATION. GC TO SUBMIT CONFIRMATION IN WRITING TO OWNER.



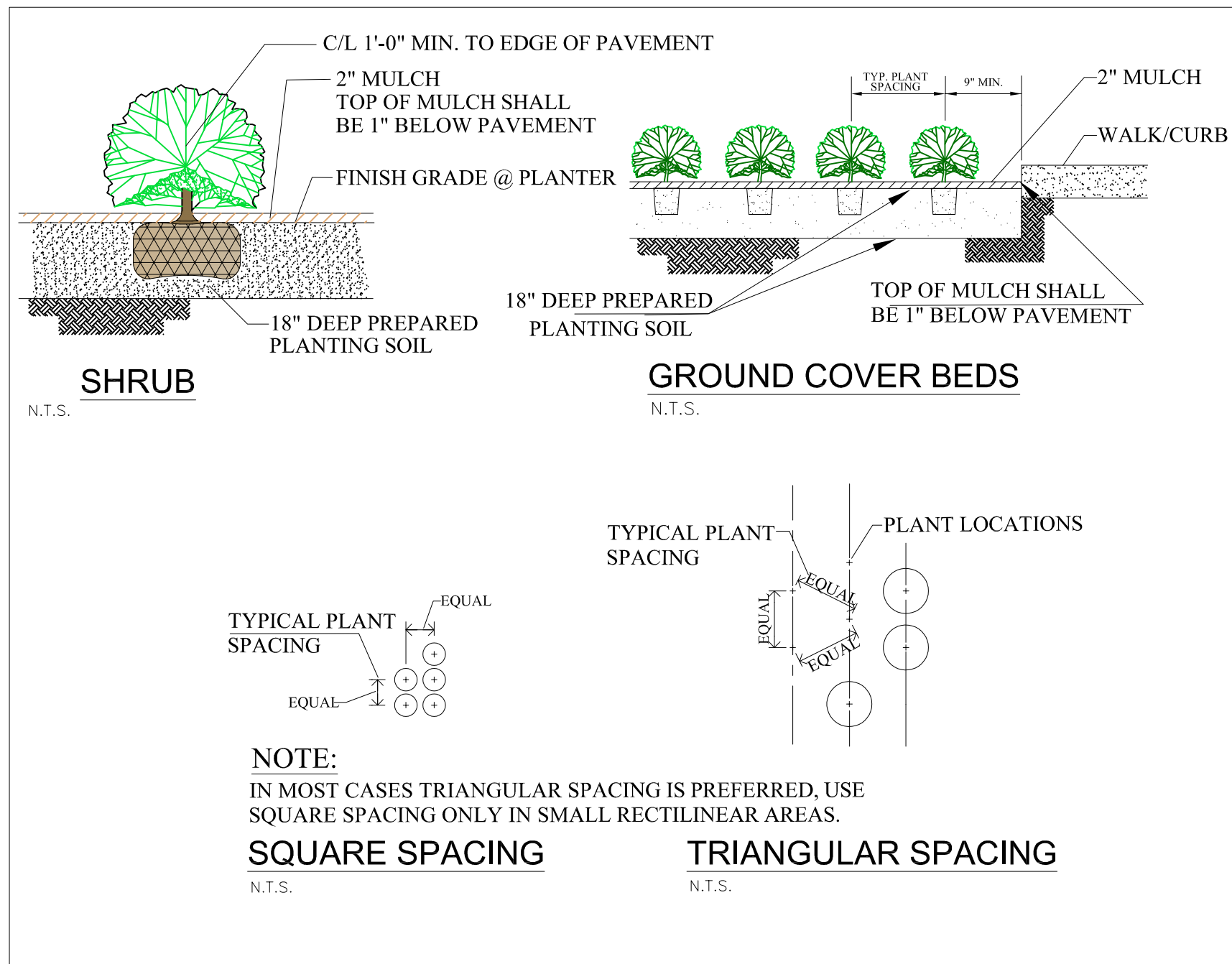
TYP. PALM TREE DETAIL (NOT TO SCALE)

ADDITIONAL NOTES:

- Contractor to screen any above ground utilities on site that may not be shown on plans but added during permitting.
- Remove all rubber hoses and guy wires for tree supports and instead provide for sisal (or other bio-degradable material) to connect the branches to Wellington tapes or other supports.
- Landscape contractor to remove all stakes and ties to trees after one year of planting.
- A meeting with the landscape reviewer is recommended.
- Newly transplanted tree will have a temporary micro drip system.

WARNING:

- Do not fertilize newly installed plant materials until approximately 2 to 3 months after planting.
- New installed plants are all ready fertilized by the nursery grower.



Additional General Notes:

- A pre-planting meeting with the Town Landscape inspector is required prior to plant installation
- Contractor to screen any above ground utilities on site that may not be shown on plans but added during permitting.
- Remove all rubber hoses and guy wires for tree supports and instead provide for sisal (or other bio-degradable material) to connect the branches to Wellington tapes or other supports.
- Landscape contractor to remove all stakes and ties to trees after one year of planting.
- A meeting with the landscape reviewer is recommended.



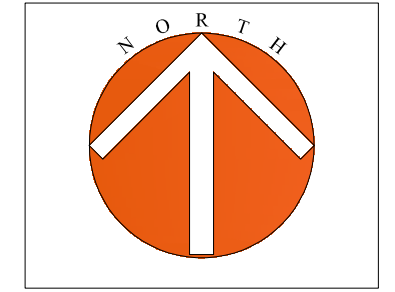
Know what's below. Call before you dig. IT'S THE LAW!

Mariano Corral Landscape Architect
Landscape Architecture
Golf Course Design
Land Planning
Urban Design
Member of the American Society of Landscape Architects

ASSOCIATION WITH
CHI CHI RODRIGUEZ
GOLF COURSE DESIGN

FELIX PARDO & ASSOCIATES, Inc.
ARCH.REG #AA: 0002478
2100 SALZEDO STREET STE. 303
CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555
Fax: (305) 445-7006

PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY
HOLLYWOOD, FLORIDA. 33020



SCALE: AS SHOWN
PROJECT NUMBER: STA-20181020
DATE: 02-15-19
REVISIONS:

SEAL: [Signature]
LIC.# LA 6666671
SHEET NUMBER: LP-4
OF:

3001 SW 109 Court
Miami, Florida 33165
OFF: (305) 551-1262
Fax: (305) 225-4166
EMAIL: marianocorral@comcast.net

CITY COMMENTS

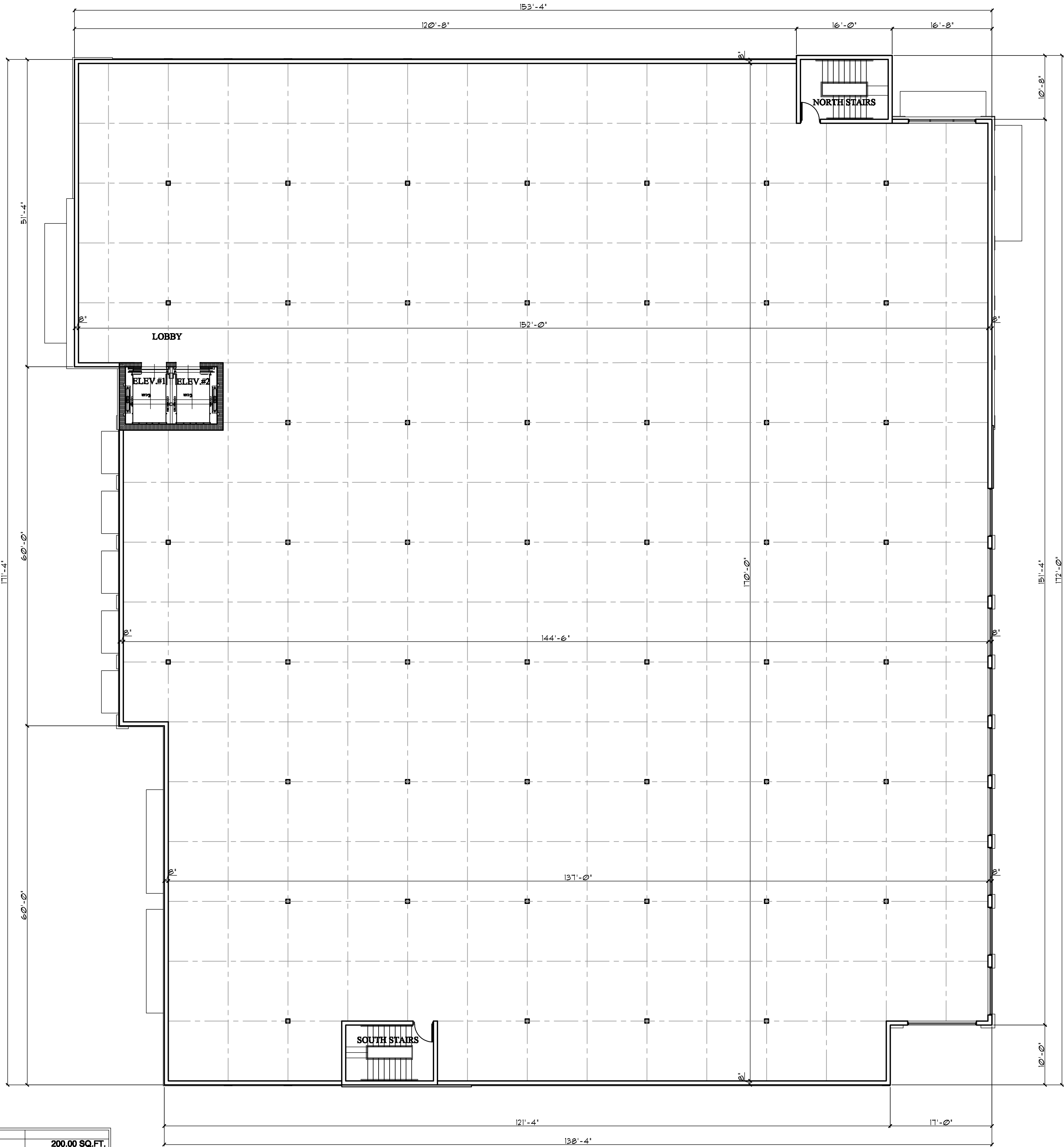
REVISIONS	BY
02/15/19	SP

FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555 Fax: (305) 445-1006 AA 0002418

PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020

Date	08/30/17
Scale	AS SHOWN
Drawn	WE
Job #	201711
Sheet	A-3
Of	Sheets

GROUND FLOOR AREAS	
LOBBY AREA	200.00 SQ.FT.
STAIRS	352.00 SQ.FT.
ELEVATORS	195.00 SQ.FT.
SELF STORAGE SPACES (CIRCULATION INCLUDED)	23,847.66 SQ.FT.
TOTAL FLOOR AREA	24,594.66 SQ.FT.



3rd FLOOR PLAN
SCALE 3/32"=1'-0"

CITY COMMENTS

REVISIONS	BY
02/15/19	SP

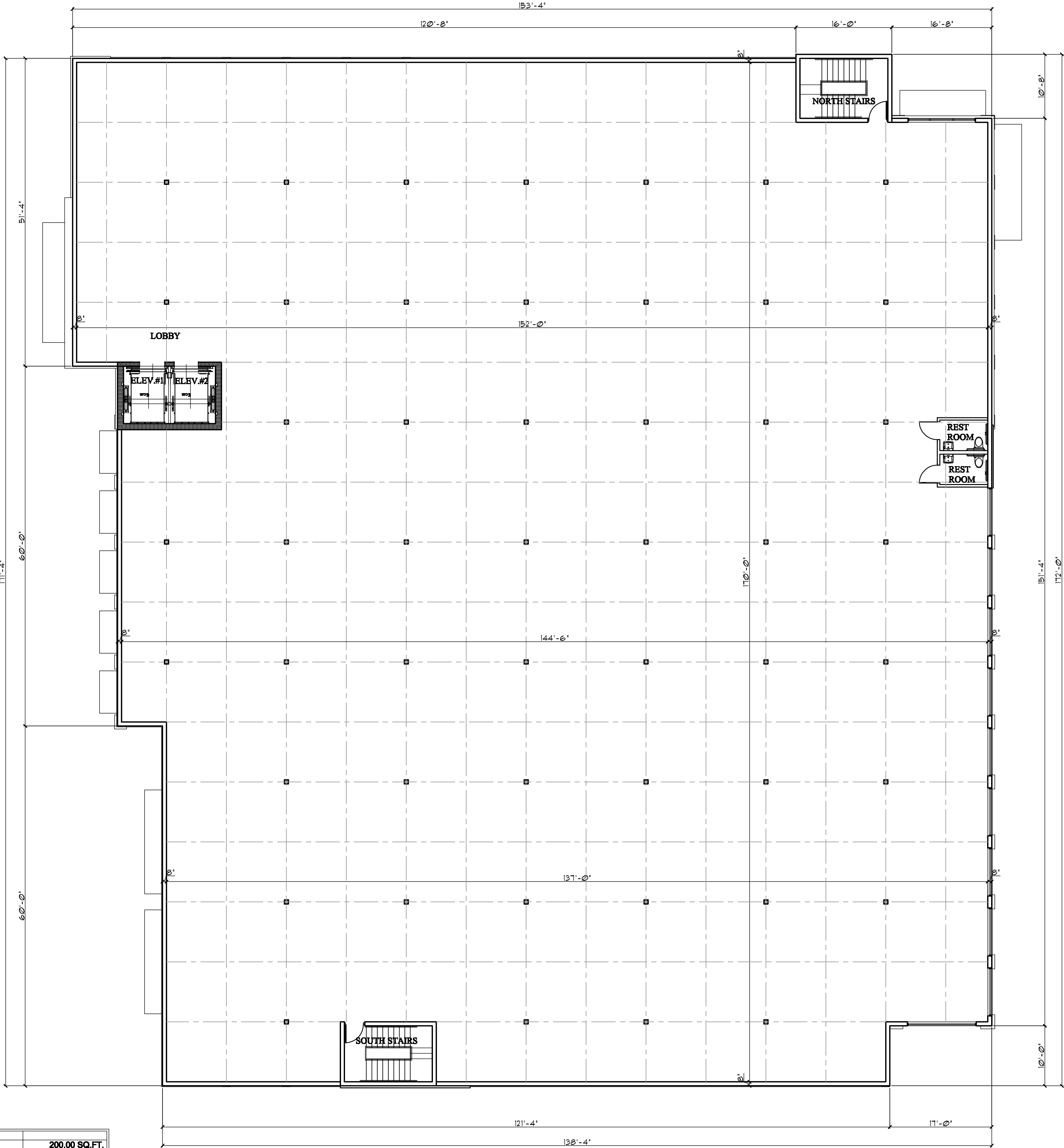
FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555 Fax: (305) 445-1006 AA 0002418

PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020

Date 08/30/17
Scale AS SHOWN
Drawn WE
Job # 201711
Sheet

Δ - 4
Of Sheets

GROUND FLOOR AREAS	
LOBBY AREA	200.00 SQ.FT.
STAIRS	352.00 SQ.FT.
RESTROOMS	147.60 SQ.FT.
ELEVATORS	195.00 SQ.FT.
SELF STORAGE SPACES (CIRCULATION INCLUDED)	23,699.46 SQ.FT.
TOTAL FLOOR AREA	24,594.06 SQ.FT.



4th FLOOR PLAN
SCALE 3/32"=1'-0"

CITY
COMMENTS

REVISIONS	BY
02/15/19	SP

FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS

2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002478

PROPOSED NEW STORE ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020

Date 08/30/17

Scale
AS SHOWN

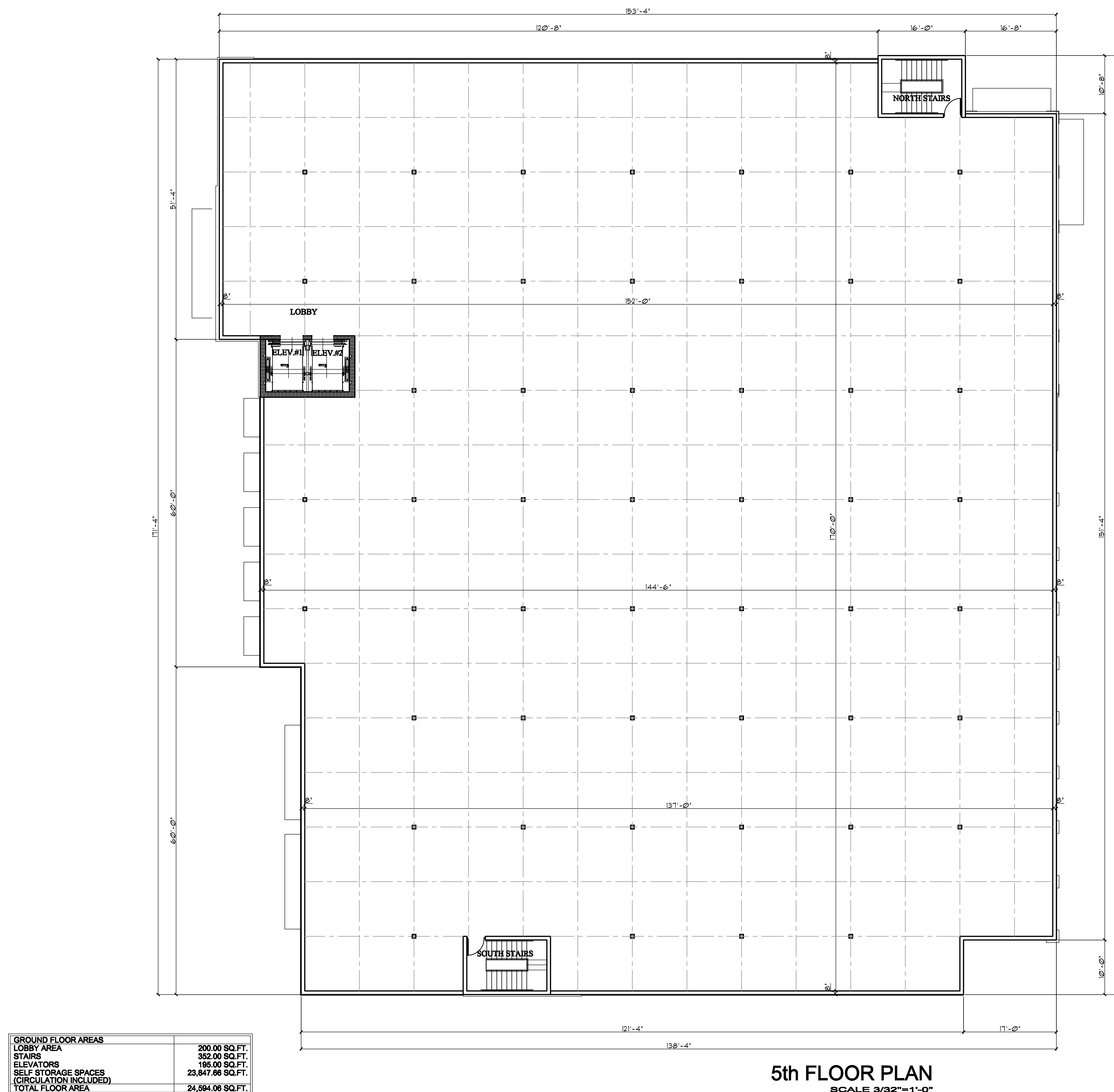
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WE

Job # 2017

Sheet

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CITY
COMMENTS

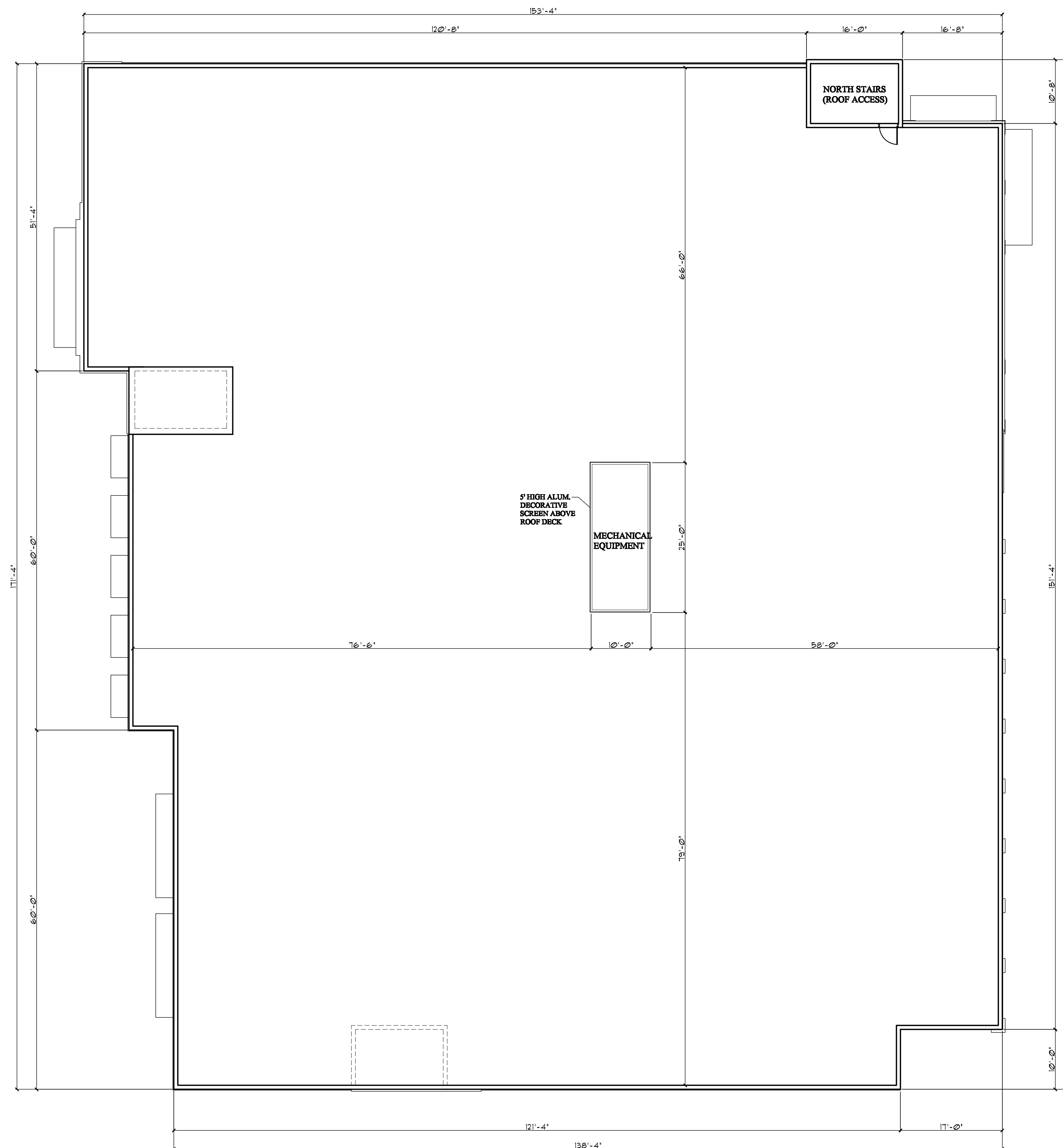
REVISIONS	BY
02/15/19	SP

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PROPOSED NEW STORE ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020

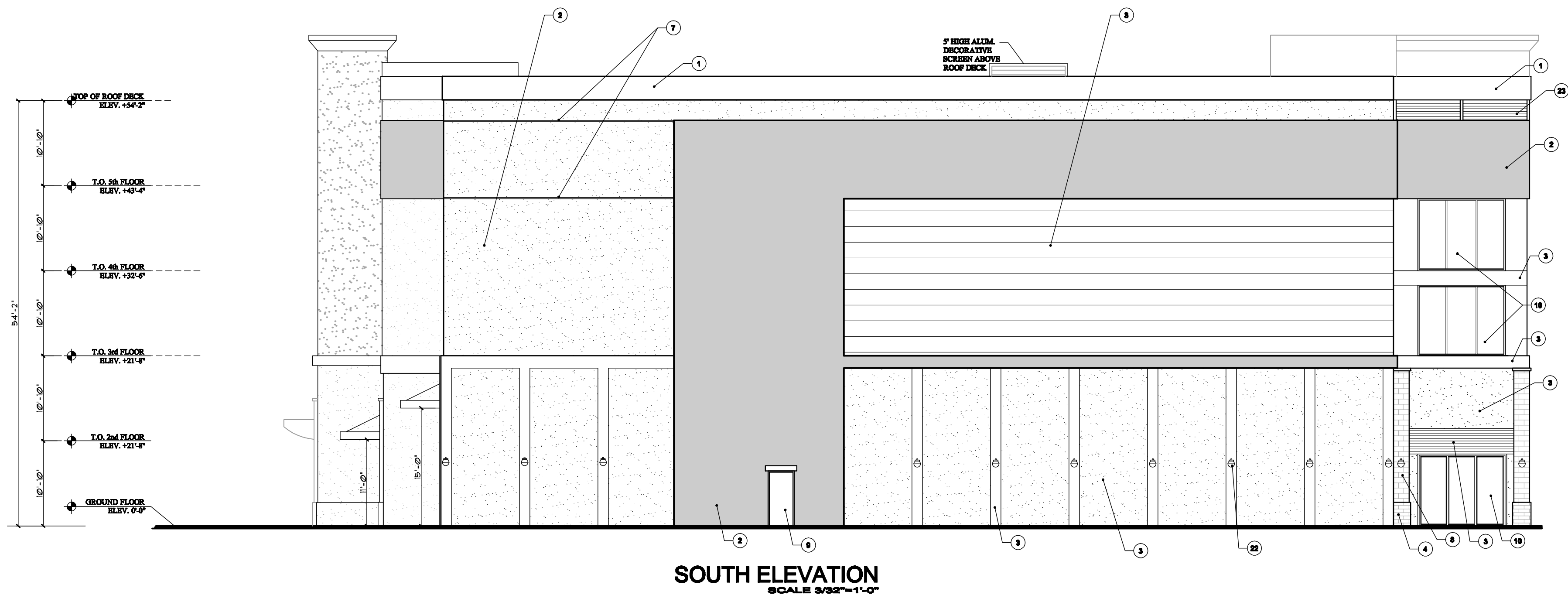
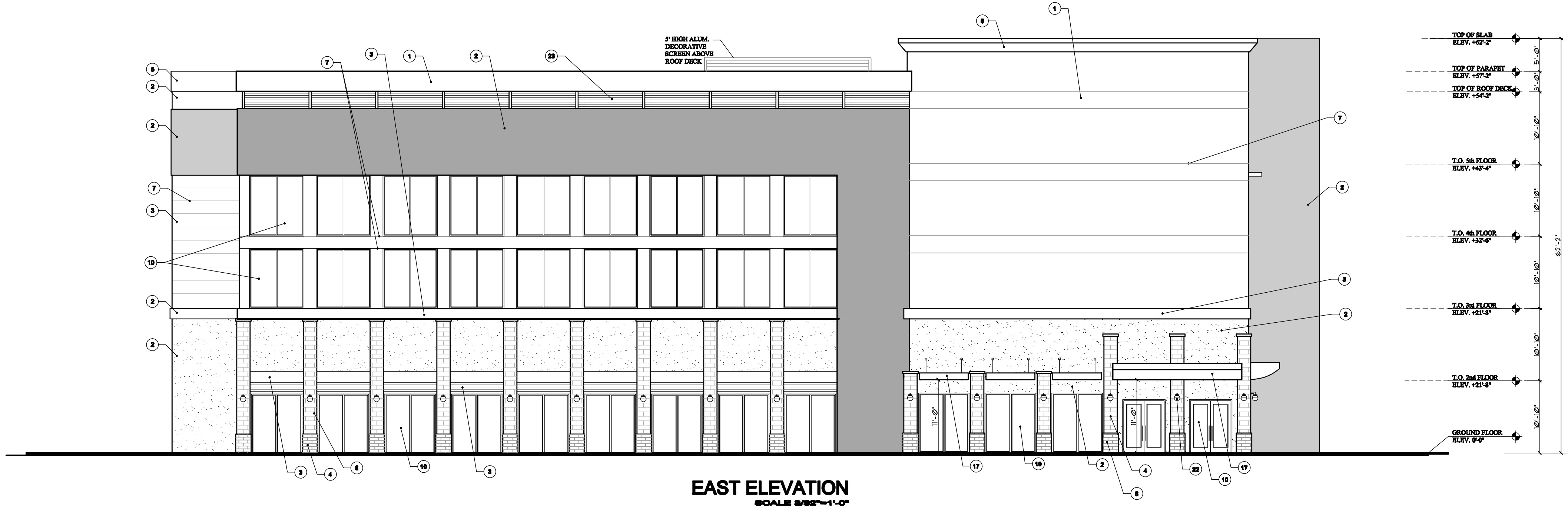
Date	08/30/17
Scale	AS SHOWN
Drawn	WE
Job #	201711
Sheet	A-6
Of	Sheets



ROOF PLAN

SCALE 3/32"=1'-0"

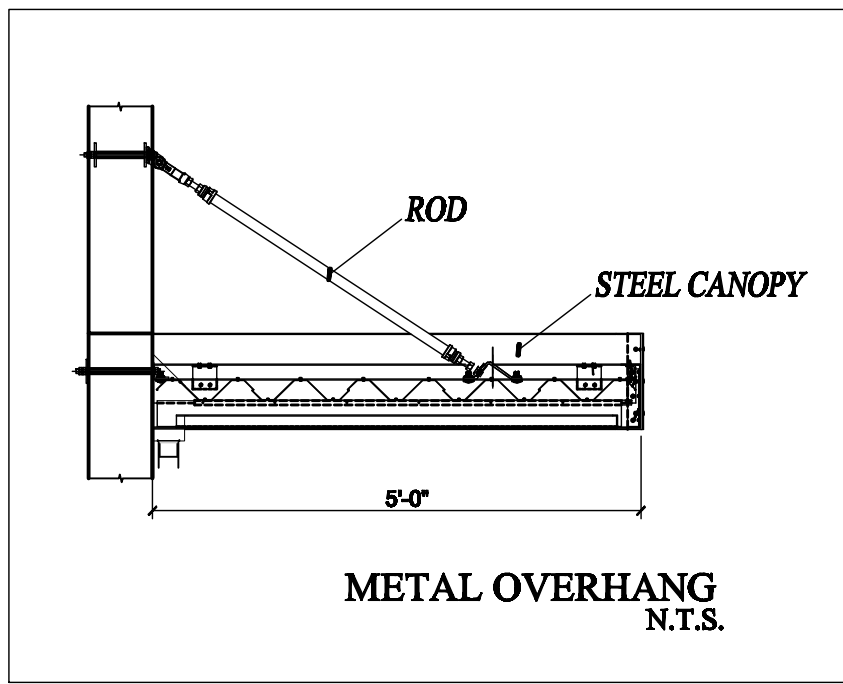
KEYED EXTERIOR FINISH LEGEND		
MARK	DESCRIPTION	COLOR
1	TEX - COTE OR EQUAL	PS Orange
2	TEX - COTE OR EQUAL	Casa Blanca
3	TEX - COTE OR EQUAL	Sand
4	TEX - COTE OR EQUAL	Cobble Stone
5	2-piece 32" EPS parapet wall Cap	PS Orange
6	12" EPS parapet wall Cap	PS Orange
7	1/2" reveal	
8	Cast in Cobble Stone Texture	
9	Painted H.C. Steel Door	Cobble Stone
10	Aluminum / Glass Imp. Panel. Storefront	Clear glass
11	Painted Galvanized seamless Gutter	Cobble Stone
12	Painted Galvanized downspout	Cobble Stone
13	AUTOMATIC DOORS	WHITE
14	HANGER ARM	COOL DARK GRAY
15	BOLLARDS	PS ORANGE
16	CORPORATE SIGN	STACKED LAYOUT 48"
17	ALUMINUM CANOPY	PS ORANGE
18	KNOX BOX, CONFIRM LOC. W/ FIRE DEPT	
19	ADDRESS SIGNAGE	
20	SIGNAGE	
21	6" CONCRETE CURB	
22	WALL MOUNTED LIGHT FIXTURE	
23	DECORATIVE GRILL	



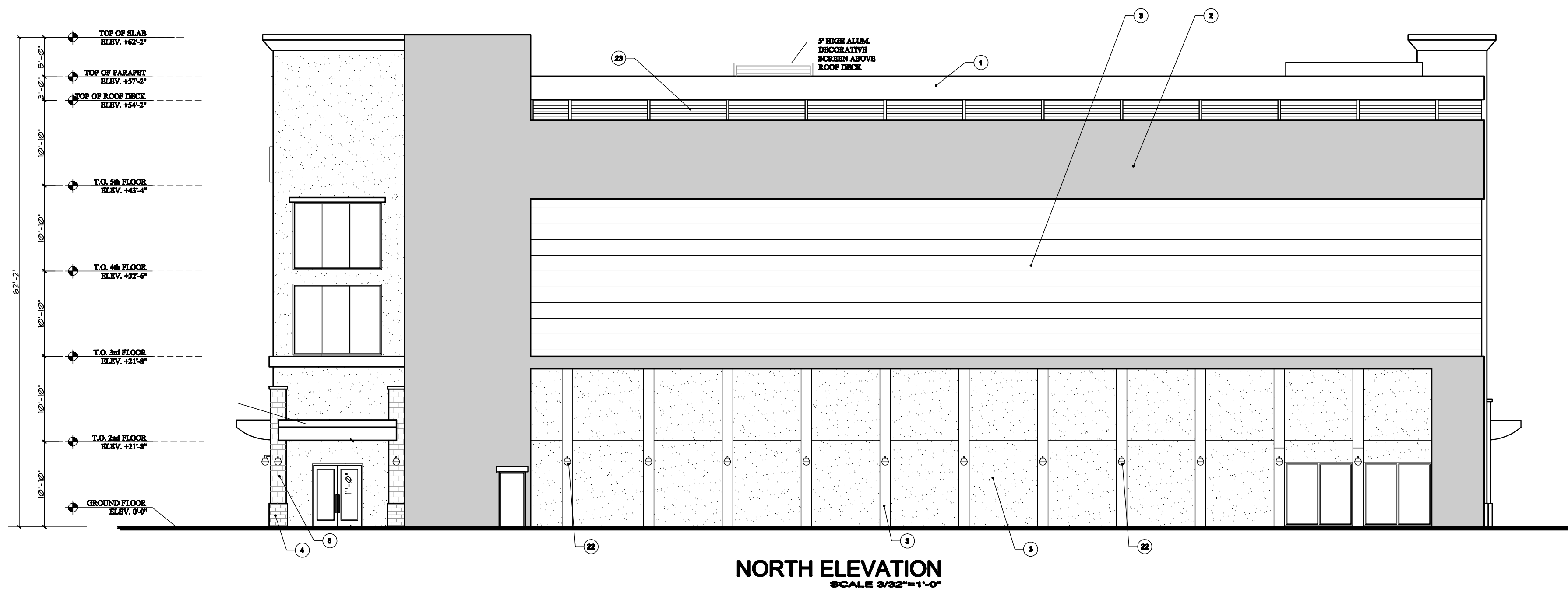
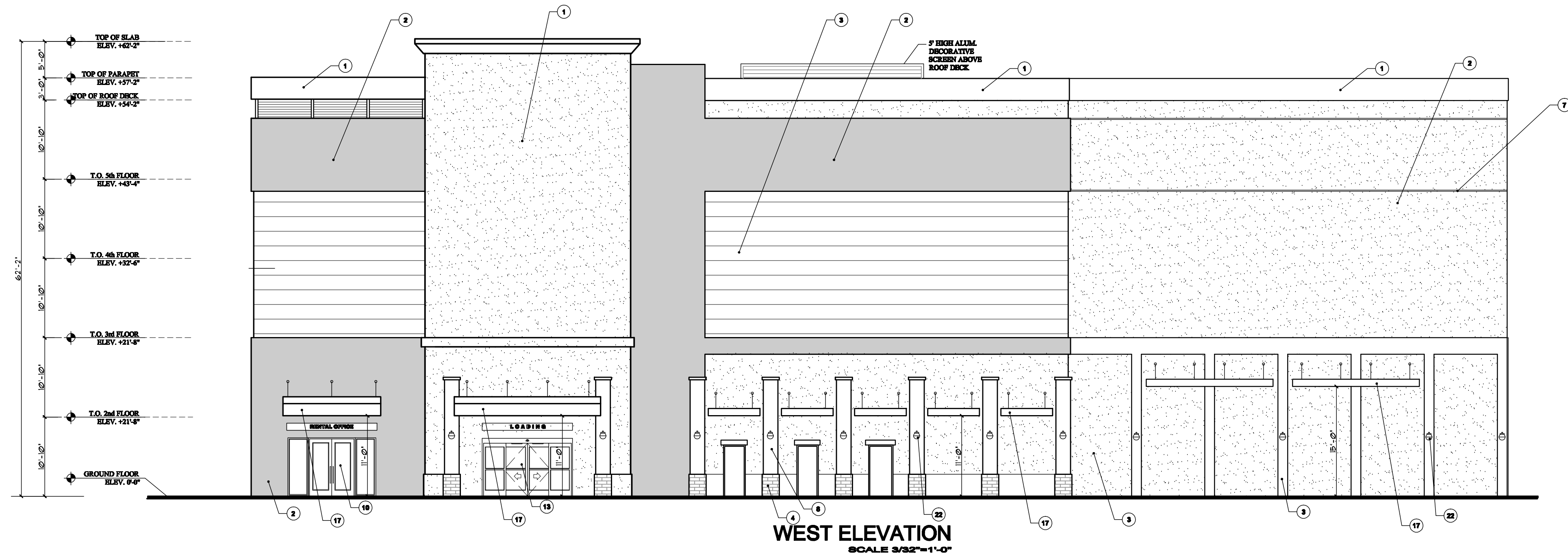
ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.

CITY COMMENTS

REVISIONS	BY
02/15/19	SP
FELIX PARDO & ASSOCIATES, Inc. ARCHITECTURE / PLANNING / INTERIORS 2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134 Phone: (305) 445-4555 Fax: (305) 445-7006 AA 0002418	
PROPOSED NEW STOR ALL BUILDING 910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020	
Date 08/30/17	
Scale AS SHOWN	
Drawn WE	
Job # 201711	
Sheet	
A-7	
Of	Sheets



KEYED EXTERIOR FINISH LEGEND		
MARK	DESCRIPTION	COLOR
1	TEX - COTE OR EQUAL	PS Orange
2	TEX - COTE OR EQUAL	Casa Blanca
3	TEX - COTE OR EQUAL	Sand
4	TEX - COTE OR EQUAL	Cobble Stone
5	2-piece 32" EPS parapet wall Cap	PS Orange
6	12" EPS parapet wall Cap	PS Orange
7	1/2" reveal	
8	Cast in Cobble Stone Texture	
9	Painted H.C. Steel Door	Cobble Stone
10	Aluminum / Glass Imp. Reolat. Storefront	Clear glass
11	Painted Galvanized seamless Gutter	Cobble Stone
12	Painted Galvanized downspout	Cobble Stone
13	AUTOMATIC DOORS	WHITE
14	HANGER ARM	COOL DARK GRAY
15	BOLLARDS	PS ORANGE
16	CORPORATE SIGN	STACKED LAYOUT 48"
17	ALUMINUM CANOPY	PS ORANGE
18	KNOX BOX, CONFIRM LOC. W/ FIRE DEP	
19	ADDRESS SIGNAGE	
20	SIGNAGE	
21	6" CONCRETE CURB	
22	WALL MOUNTED LIGHT FIXTURE	
23	DECORATIVE GRILL	



ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING AND LAND DEVELOPMENT REGULATIONS.

CITY COMMENTS

REVISIONS	BY
02/15/19	SP
FELIX PARDO & ASSOCIATES, Inc. ARCHITECTURE / PLANNING / INTERIORS 2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA. 33134 Phone: (305) 445-4555 Fax: (305) 445-1006 AA 000241B	
PROPOSED NEW STOR ALL BUILDING 910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA. 33020	
Date	08/30/17
Scale	AS SHOWN
Drawn	WE
Job #	201711
Sheet	A = 8
Of	Sheets

REVISIONS	BY
02/19/18	SP



1 EAST ELEVATION
A-4.00 1/8" = 1'-0"



2 NORTH ELEVATION
A-4.00 1/8" = 1'-0"

FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
2100 SALZEDO STREET STE. 303 - CORAL GABLES, FLORIDA 33134
Phone: (305) 445-4555 Fax: (305) 445-1006 AA 0002478

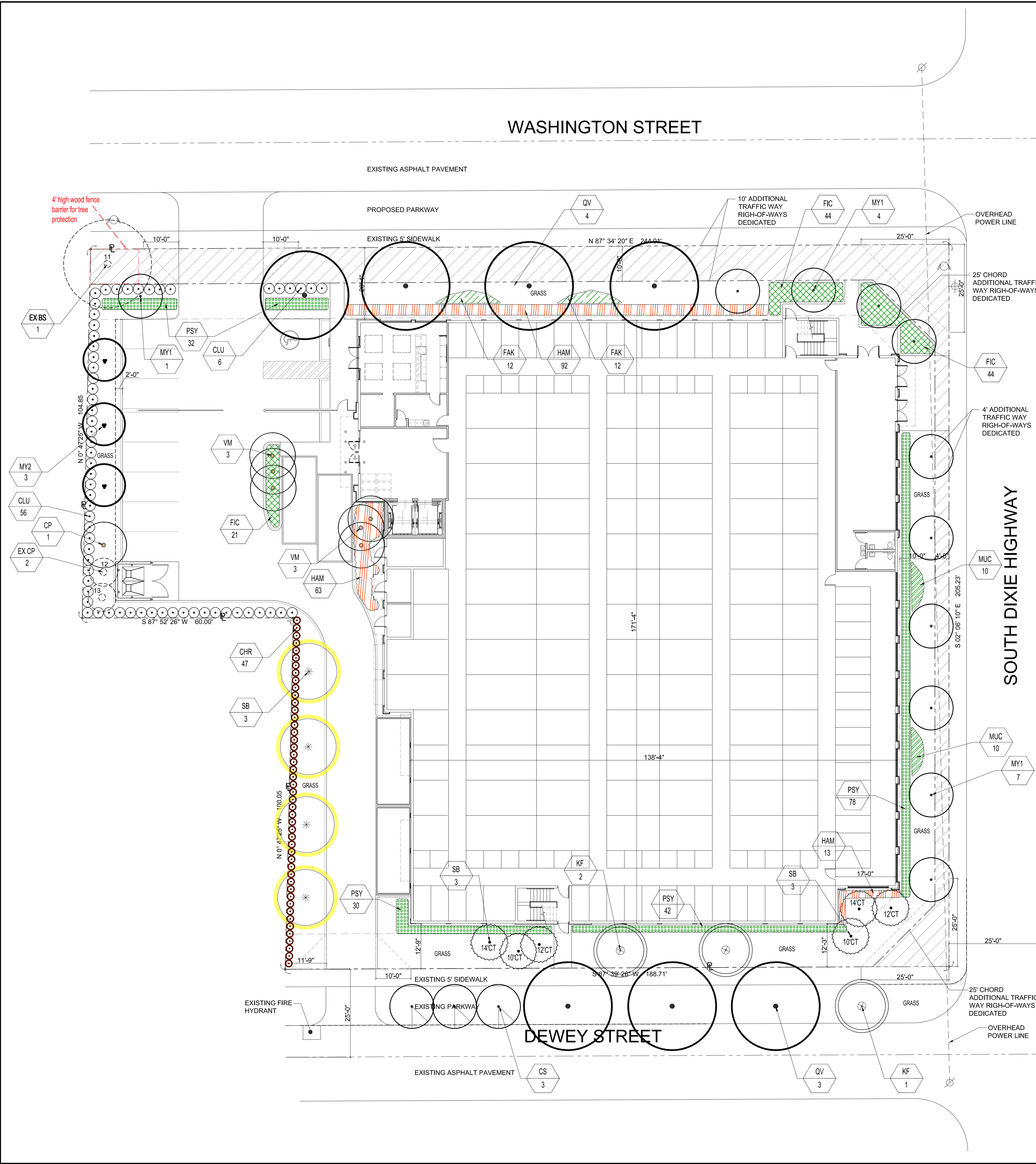
PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY, HOLLYWOOD, FLORIDA 33020

Date	08/30/17
Scale	AS SHOWN
Drawn	WE
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Sheet	7 - 1
Of	Sheets



RAIN BIRD MANUF OR EQUAL
 INDICATES SELENOID VALVE





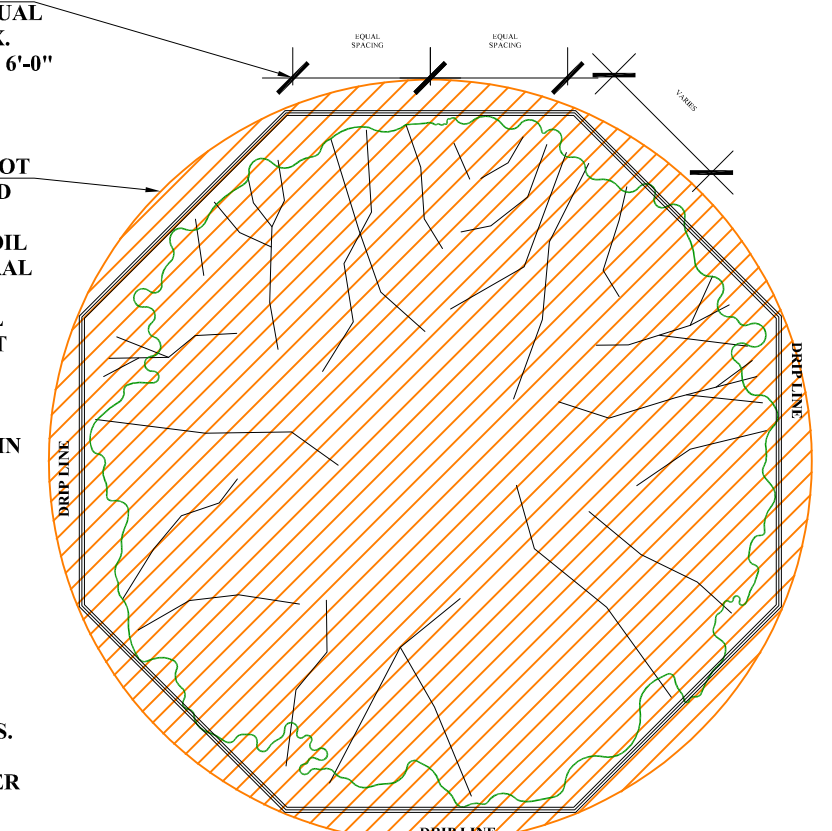
EXISTING TREE LIST

					4		4		4		4		4		4		20 palms 32 trees			
					4		4		4		4		4		4					
					Roots		Trunk		Scaffold Branches		Small Branches & Twigs		Foliage and / or buds		4=healthy 1=poor					
Tree #	Common Name <i>Botanical name</i>	DBH (inches)	Height (feet)	Diam Canopy (feet)	Structure	Health	Structure	Health	Structure	Health	Structure	Health	Structure	Health	Structure	Health	Subtotal	Condition Factor / Rating	Notes	Action
1	Weeping Fig <i>Ficus benjamina</i>	14	22	15	1	2	1	2	2	2	2	2	2	2	2	2	14	44%	Overgrown hedge in poor condition	Prohibited plants, Remove
2	Weeping Fig <i>Ficus benjamina</i>	8	10	15	1	2	1	2	2	2	2	2	2	2	2	2	14	44%	Overgrown hedge in poor condition	Prohibited plants, Remove
3	Weeping Fig <i>Ficus benjamina</i>	10	10	15	1	2	1	2	2	2	2	2	2	2	2	2	14	44%	Overgrown hedge in poor condition	Prohibited plants, Remove
4	Weeping Fig <i>Ficus benjamina</i>	6	20	10	2	3	2	3	2	3	3	3	3	3	3	3	21	66%	Overgrown hedge in poor condition	Prohibited plants, Remove
5	Weeping Fig <i>Ficus benjamina</i>	22	10	15	2	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition	Prohibited plants, Remove
6	Weeping Fig <i>Ficus benjamina</i>	40	25	25	2	2	2	2	2	2	2	3	3	2	2	18	56%	Overgrown hedge in poor condition	Prohibited plants, Remove	
7	Weeping Fig <i>Ficus benjamina</i>	22	22	15	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition	Prohibited plants, Remove	
8	Weeping Fig <i>Ficus benjamina</i>	6	18	10	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition	Prohibited plants, Remove	
9	Weeping Fig <i>Ficus benjamina</i>	6	17	6	2	2	2	2	2	2	2	2	1	2	2	15	47%	Overgrown hedge in poor condition	Prohibited plants, Remove	
10	Missing																		Roots are trenced and limited on the north side. Voids in canopy and mild dieback.	
11	Gumbo Limbo <i>Bursera simaruba</i>	18	20	25	1	3	3	3	3	2	3	3	3	3	3	21	66%			Remain
12	Christmas Palm <i>Veitchia merillii</i>	6	10CT 140A	8	3	3	3	3	3	3	3	3	3	3	3	15	75%	Good condition		Relocate
13	Christmas Palm <i>Veitchia merillii</i>	6	10CT 140A	8	3	3	3	3	3	3	3	3	3	3	3	15	75%	Good condition		Relocate
13A	Ligustrum <i>Ligustrum japonicum</i>	10	9	10	3	3	3	3	3	3	2	2	2	2	2	21	66%	Dieback. Multistem.		Remove
14	Pongam <i>Pongamia pinnata</i>	11	14	18	2	2	2	2	2	2	3	3	3	3	3	19	59%	Codominant stems with significant scaffold failure site. Sprout regrowth has weak connections.		Remove
15	Bischofia <i>Bischofia javanica</i>	14	18	15	3	2	2	2	2	2	1	1	1	1	14	44%	Being strangled by a strangler fig. Trunk cavity 5 inches. Codominant stems.		Prohibited plants, Remove	
16																			Located out of property	
17																			Located out of property	
18																			Located out of property	
19	Missing																			

THIS DIMENSION WILL VARY DEPENDING ON CANOPY SIZE. ALL POST TO BE EQUAL SPACING ON CENTER. HOWEVER, MAX. DISTANCE BETWEEN POSTS SHALL BE 6'-0" OC.

TREE ROOT ZONE: THIS AREA SHOULD NOT BE DISTURB. IF ANY TRENCHING SHOULD BE NEEDED FOR ANY IRRIGATION LINES THEN THE DEPTH SHALL BE 2' BELOW SOIL LINE OR UNDERNEATH THE MAIN LATERAL ROOTS. USE AN AIR SHPDE TO REMOVE ANY SOIL CAREFULLY AND EXCAVATE WHILE NOT DAMAGING ROOTS. ALL SOIL REMOVED SHALL BE STOCK PILE NEAR BY AND REPLACED BACK TO ITS ORIGINAL LOCATION. WATER EVERY DAY FOR A MIN OF 3 MONTHS AND ADD ADDITIONAL APPROVED SOIL MEDIA MIX FOR ANY AREAS OF SETTLEMENT. RULE OF THUMB: FOR EVERY INCH OF CALIPER A ONE FOOT RADIUS DISTANCE FROM TREE TRUNK FACE.

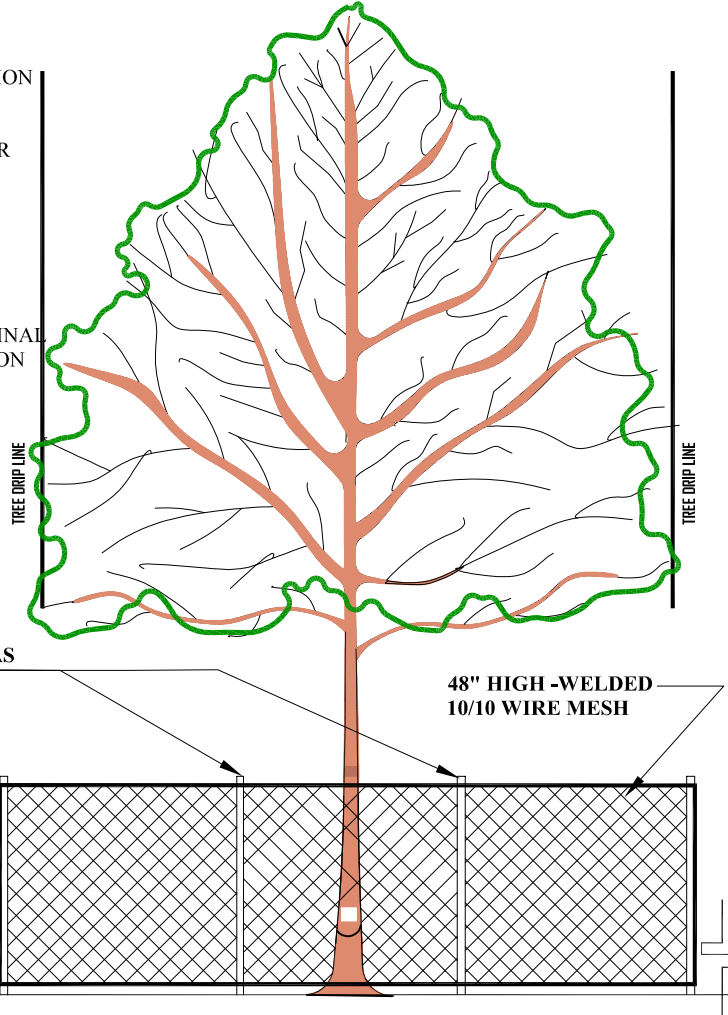
5' HIGH CHAIN LINK FENCE TO PROTECT EXISTING TREES. POST INSTALLATION SHALL STAY CLEAR OF ANY MAJOR ROOTS. FENCE TO BE A MIN. OF 10' FROM FACE OF TRUNK. PREFERABLY TO BE PLACED UNDER DRIP LINE IF SPACE IS AVAILABLE. MAINTAIN AND REPLACE AS NEEDED THE BARRIER FENCE FOR TWO YEARS MIN. OR UNTIL CONSTRUCTION HAS BEEN COMPLETED.



TREE PROTECTION BARRIER DETAIL (NOT TO SCALE)

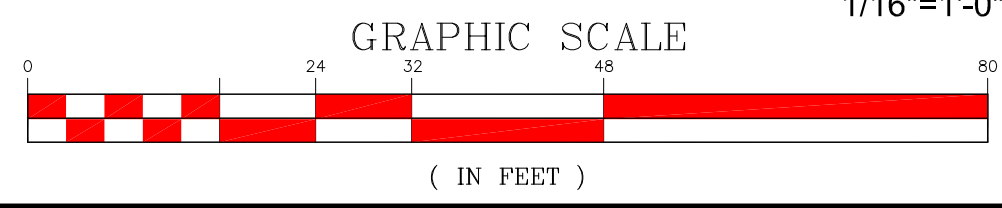
ERECT FENCE PRIOR TO CONSTRUCTION AND POST SIGN TO KEEP OUT. DO NOT PILE SOIL AGAINST FENCE OR ROOTS. MONITOR TREE AND WATER AS NECESSARY. CALL LANDSCAPE ARCHITECT FOR FINAL APPROVAL OF TREE ZONE PROTECTION AREA.

5' HIGH CHAIN LINK FENCE TO PROTECT EXISTING TREES. POST INSTALLATION SHALL STAY CLEAR OF ANY MAJOR ROOTS. FENCE TO BE A MIN. OF 10' FROM FACE OF TRUNK. PREFERABLY TO BE PLACED UNDER DRIP LINE IF SPACE IS AVAILABLE. MAINTAIN AND REPLACE AS NEEDED THE BARRIER FENCE FOR TWO YEARS MIN. OR UNTIL CONSTRUCTION HAS BEEN COMPLETED.



TREE PROTECTION BARRIER ELEVATION (NOT TO SCALE)

TREE DEPOSITION PLAN



Mariano Corral
Landscape Architect
Landscape Architecture
Golf Course Design
Land Planning
Urban Design
Member of the American Society of Landscape Architects

ASSOCIATION WITH
CHI CHI RODRIGUEZ
GOLF COURSE DESIGN

FELIX PARDO & ASSOCIATES, Inc.
ARCH.REG #AA: 0002478
2100 SALZEDO STREET STE. 303
CORAL GABLES, FLORIDA. 33134
Phone: (305) 445-4555
Fax: (305) 445-7006

PROPOSED NEW STOR ALL BUILDING
910 SOUTH DIXIE HWY
HOLLYWOOD, FLORIDA. 33020

SCALE: AS SHOWN
PROJECT NUMBER: STA-20181020
DATE: 02-15-19

REVISIONS:

SEAL:

LIC.# LA 6666671

SHEET NUMBER: LP-1
OF:

3001 SW 109 Court
Miami, Florida 33165
OFF: (305) 551-1262
FAX: (305) 225-4166
EMAIL: marianocorral@comcast.net

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SUBMITTAL PACKAGE - NOT FOR CONSTRUCTION

The site plan illustrates the proposed parking lot layout for 1005 Dewey Street. The building footprint is shown in the center, with various rooms and structural elements labeled. The parking lot is located to the north and east of the building, featuring numerous parking spaces, some of which are designated for specific vehicle types (e.g., FAK, HAM, PSY, VM, MUC, MY1, CHR, SB, KF, CS, QV). Landscaping includes grass areas, trees, and shrubs, with specific plantings labeled (e.g., MY1, MY2, CLU, CP, EX CP, EX BS, VM, FIC, HAM, SB, CHR, PSY, KF, CS, QV). The plan also shows existing infrastructure, including sidewalks, fire hydrants, and overhead power lines. The street layout includes Dewey Street to the south and South Dixie Highway to the east. The plan is oriented with North at the top, and the building footprint is labeled with its address, 1005 Dewey Street.

Know what's **below**.
Call before you dig.
IT'S THE LAW!



PLANT LIST

PLANT LIST										
KEY	QUANT.	BOTANICAL NAMES/ COMMON NAMES	HGT	SPR	CALIPER DBH HGT.	TYPE L, M, F, S	FLOWERS FRUITS	XERISCAPE REQ.		REMARKS
								TOLERANCE SALT	DROUGHT	
NATIVE PLANTS -TREES and PALMS								HIGH, MED, LOW		FLORIDA # 1 MATERIAL
Street Tree										
EX BS	1	Bursera simaruba / Gumbo Limbo	20'	25'	18"	Large Shade		HIGH	HIGH	Existing to remain
CS	3	Conocarpus erectus sericeus* / Silver Buttonwood*	12'	5'	2"	Small		HIGH	HIGH	Standard, B&B
KF	1	Krugiodendron ferreum / Black Ironwood	12'	5'	2"	Medium		LOW	HIGH	B&B, FG
MY1	11	Myrciathes fragrans / Simpson Stopper	12'	5'	2"	Small		MEDIUM	MEDIUM	Single trunk for street tree, B&B, FG
QV	7	Quercus virginiana "CATHEDRAL" / CATHEDRAL Live Oak	12'	6'	2.5"	Large Shade		MEDIUM	HIGH	
	23	TOTAL TREES for Street Tree								
Interior Landscape										
BS	4	Bursera simaruba / Gumbo Limbo	12'	5'	2.5"	Large Shade		HIGH	HIGH	B&B, FG
KF	3	Krugiodendron ferreum / Black Ironwood	12'	5'	2"	Small		LOW	HIGH	B&B, FG
MY2	3	Myrciathes fragrans / Simpson Stopper	12'	5'	2"	Small		MEDIUM	MEDIUM	B&B, FG
SP	6	Sabal palmetto / Calabaje Palm (3 Palms = 1 Tree)	10' ct to 14' ct			Palm		HIGH	HIGH	10' CT = 2, 12' CT=2, 14' CT= 2
	12	TOTAL NATIVE TREES								
NON NATIVES TREES and PALMS										
Interior Landscape										
EX CP	2	Veitchia merrilli / Christmas Palm	10'CT	8'	6"	Palm		MEDIUM	MEDIUM	10 CT, 14 OA, Existing to relocate
CP	1	Veitchia merrilli / Christmas Palm	10'CT			Palm		MEDIUM	MEDIUM	Single trunk, B & B
VM	6	Veitchia montgomeryana / Montgomery Palm	10'CT			Palm		MEDIUM	HIGH	Single trunk, B & B
	9	TOTAL PALMS (9/3= 3 Trees)								
	15	TOTAL NATIVE & NON-NATIVE TREES (Excluding Street Trees)								
	80.00%	% NATIVE TREES								

PLANT LIST										
KEY	QUANT.	BOTANICAL NAMES/ COMMON NAMES	HGT	SPR	Spacing OC	TEXTURE Course, Medium or Fine	Flowers Or Fruit	XERISCAPE REQ.		REMARKS
								SALT	DROUGHT	
NATIVE PLANTS - SHRUBS and GROUND COVERS										FLORIDA # 1 MATERIAL
CHR	47	Chrysobalanus icaco RED TIP / Red Tip Cocoplum	24"	24"	24" OC	Medium	Edible Fruit	HIGH	HIGH	Drought Tolerant - The true native shrub, for 42" HT. hedge
CLU	62	Clusia rosea / Clusia	30"	24"	36" OC	Coarse		HIGH	HIGH	
FAK	24	Tripsacum dactyloides / Fakahatchee Grass	30"	24"	24" OC			MEDIUM	HIGH	
HAM	168	Hamelia patters COMPACTA / Dwarf Firebush	18"	18"	24" OC	Medium	Red	MEDIUM	HIGH	Excellent for Shade and sun-Beautiful Flowers--Medium Growing Pink Blue Green Foliage is best
MUC	20	Muhlenbergia capilaris / Muhly Grass	24"	24"	24" OC			HIGH	HIGH	
PSY	182	Psychotria nervosa / Wild Coffee	24"	24"	24" OC	Medium		HIGH	HIGH	
	503	TOTAL NNATIVE SHRUBS								
NON NATIVES SHRUBS and GROUND COVERS										
FIC	109	Ficus microcarpa / Green Island Ficus	20"	18"	24" oc	Coarse		HIGH	HIGH	fast grower fills in nicely in parking lot islands
	109	TOTAL NON-NATIVE SHRUBS								
	612	TOTAL NATIVE & NON-NATIVE SHRUBS								
	82.19%	% NATIVE SHRUBS								
Notes:		All plant materials to be Florida No. 1 quality or better. All trees shall be pruned per ANSI-A300 STD's by a certified tree trimmer Contractor shall replace any plant materials that is damaged, missing or dead prior to final inspection						Reference: City of Hollywood Code of Ordinances City of Hollywood Landscape Manual Waterwise South Florida Landscapes by South Florida Water Management District A Florida-Friendly Landscape Publication City of Hollywood Zoning and Land Development Regulations ARTICLE 4		

General Notes and Instructions

- GENERAL NOTES:**
- Landscape Contractor to read all and any questions to be brought up to the Landscape Architect.**
- The Plans are copyrighted and it is the ownership of Mariano Corral, Landscape Architect for all the designs shown.
 - The primary responsibility is to protect the welfare of the general public. General contractor is to protect the public by placing barriers, posted warning signage in visible areas that will cause conflict between construction with pedestrians as well as autos.
 - Landscape contractor shall be inform and well verse to county or city codes and if any confusion, he/she shall read codes or contact Landscape Architect for clarifications.
 - The locations of plant materials on plans are approximate. The final locations may be adjusted due to unforeseen field conditions, and safety factor to avoid creating unsafe visibility conditions.
 - Landscape architect** shall not be responsible for the failure of the contractor not to be aware of proper procedures for installation of plant materials, safety procedures for securing trees, palms or shrubs while transporting plant materials to the site, and / or loading or unloading from transport vehicles.
 - Detail sheets is a guide for plant installations and for making aware all trees and palms shall be secured from toppling over by its weight or by wind conditions. Landscape contractor shall be responsible and use all means to secure trees and palms from falling over especially after construction has finished for a period of one year. Periodical check of guy wires or other means of technical fastening shall be inspected at a min. of once a month or less. Provide highly visible warning flags for the public to see to avoid injury to pedestrians and autos. Use common sense.
 - All plant materials shall be Florida #1 or better as set by the State of Florida Grades and Standards 1998 AND 2015 and as per ANSI 300.
 - Landscape architect** shall not be responsible for methods of construction or plant installation or plant selection and quality. This lies solely on the Landscape contractor experience or general contractor, but will be subjected to inspection for quality assurance, and proper method of installation as per Florida Standards and on detail plans.
 - Plan will always take precedence over plant list. Landscape Contractor or installer is responsible for checking the accuracy of the plans and any discrepancies to be brought to the attention of the Landscape Architect.
 - Before commencing any work, it is recommended that the Landscape Contractor visit site and become familiarized with the site AND its surrounding areas (adjacent properties).
 - General Contractor must have all utilities identified and carefully located for the safety, welfare of his workers as well as the general public. **Contact Sunshine State One-Call of Florida, Inc. 1-800-432-4770 – 48 hours before installation.**
 - During installation Landscape Contractor shall make all possible intent to secure area of work from the public for their safety and welfare.
 - Landscape Contractor** shall obtain all necessary permits prior to beginning installation. Any existing trees that must be removed or transplanted must first receive approval by City or county.
 - All existing Trees to remain shall be barricaded (if space is allowed) to the tree canopy drip line to prevent damage to the tree or palm during construction. A chain link fence cover with red vinyl at 5' high, with 2" posts for anchoring can be used. Careful care for tree trunks shall be taken. Periodically check for damage and repair.
 - Landscape contractor shall be responsible for fine grading and prepare site as per outline in the following notes and as per plans. He/she shall furnish and install plants as per the minimum requirements of the city or county codes or exceed the min. requirements and/or as per Landscape Architects specifications.
 - Landscape contractor shall be responsible to provide and install all plant materials – trees, shrubs, groundcovers, sod, fertilization, and mulch.
 - Landscape Contractor:** Documentation that all newly proposed / installed Sabal palmetto utilized on site have come from a government approved donor site or were grown from seed at a register Florida nursery.
 - Landscape Contractor** or Owner's representatives shall provide a schedule for the timely removal of tree and palm guying. This should be accomplished within a 12 month period after installation, and should NOT exceed the 12 month period.

PAGE TWO

- SITE PREPARATION AND SOILS**
- All compacted soils shall be tilt and loosen cause by heavy machinery during construction. This will allow for proper percolation and drainage.
 - All lime rock within planting areas must be removed to a depth of 3" feet. Replace material with specified planting soil.
 - All lime rock, asphalt or debris within parking islands, corner parking islands, and entry islands, shall be removed to a depth of 3 Feet. In the event a refurbishing or establishing a new parking island with the used of extruded curves over an existing asphalt parking lot, the same will apply as to removal of asphalt and lime rock as stated above and the use of proper planting soil .
 - Site preparation is the removal of all debris, sticks, rocks, rubbish, weeds, contaminated soils, and dead materials.
 - Final fine grading shall be 2" below any paved areas, top of curbs or sidewalks and landscape islands without curbs.
 - PLANTS MUST NOT BE PLANTED ON TOP OF ROOT BALL.
 - Landscape contractor shall test for PH before installation. Any PH results above 7.5 PH (Alkalinity) shall be removed and replaced with PH from 6.5 to 7.5 PH native soils or as per specified media.
 - Whenever possible if the existing soil media on site is fertile and fairly clean, Landscape contractor shall use existing soil as backfill for newly planted trees. He/she shall prepare a written report guaranteeing that the existing soil media is free of any type contamination prior to installation. It is recommended that soil samples should be taken to determine soil nutrient deficiency and the absorption and percolation rate in order to determine a proper course of action for the survival of all plant materials.
 - Landscape Contractor shall have made research that all plant materials were available at time of bidding as per plans. No substitution shall be made without the consent of the landscape architect.
 - If Substitutions are made the Landscape architect shall make revisions to plans and Landscape Contractor shall be responsible to re-submit to city and received approval from city staff prior to commencing work.
 - SOIL MEDIA: All newly proposed planting beds on site will be composed of 60% coarse silica sand, 30% good clean pulverized black soil and 10% Canadian Peat. Soil shall be thoroughly mix and delivered on site free of debris, weeds, and gravel. This composition of media to be provided and installed in the event existing soil conditions is not in an acceptable conditions for the survival of all the propose new plants.
 - Landscape contractor shall treat site with a pre-emergence herbicide after all weeds and gravel/ debris have been removed. There shall be a 7 to 10 days waiting period before installing the plant materials.
 - FERTILIZER TO USE AT TIME OF INSTALLATION:**
No fertilizer is necessary if plant materials are obtain from quality control and reputable nurseries. Those plant materials should have been properly fertilize before being release to the public. At the sole discretion of the landscape installer / contractor, since he/she will be responsible for guaranteeing and maintaining the plant materials for a one year period from the time the installation is completed and accepted by either LA or owner's representative, to provide the appropriate fertilization.
We recommend the following:
PALM SPECIAL # 9836. This is an 8-2-12 (nitrogen, potassium, and minor elements) for all Trees, Palms, shrubs and groundcovers. It can be obtained from ATLANTIC FERTILIZER IN HOMESTEAD, FL. 18375 SW 260th Street. **Contact Patrick Coyle at (305) 986-0671.** Landscape Contractor can use 1 pound per tree, and a hand full or 3 tablespoons per shrub for all and each shrub and groundcover. Palm trees shall receive 2 lbs. of fertilizer per palm tree. Fertilizer shall be place on top of root ball and 4" inches away from trunk. **Milorgranite**, will not be acceptable, however, slow release tablet fertilizers or equal acceptable by the FNGA nursery industry, and can be used at time of planting if Palm Special is not available and installation of materials is on a sandy loam VS rock-limestone condition. It is best to follow manufacture's recommendation for application.
 - Landscape Contractor to use Best Management Practice for all his scope of work.
 - All planting grading shall slope away from buildings, and structures for proper drainage. Always check with civil engineers plan, or the party responsible for grading if Landscape Architect was not responsible for such work.
 - General contractor shall keep one copy of the landscape plans on site, clean and protected for the use by city officials, landscape architect and owner's representative.
 - General contractor and Landscape contractor shall abide by all local building codes.

PHOTOS OF PROPOSED PLANT MATERIALS



(QV) LIVE OAK



(BS) GUMBO LINBO (MY) SIMPSON STOPPER SINGLE / MULTI



(KF) BLACK IRONWOOD



(VM) MONTGOMERRY PALM



(CP) CHRISTMAS PALM



(SP) SABAL PALM



(CHR) COCOPLUM



(HAM) FIREBUSH



(PSY) WILD COFFEE



(TDD) FAKAHATCHEE GRASS



(MUC) MUHLY GRASS



(FIC) GREEN ISLAND FICUS

PLANT LIST



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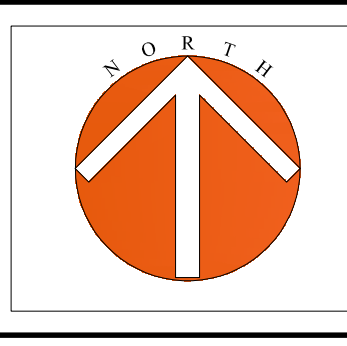
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PROPOSED NEW STOR ALL BUILDING

910 SOUTH DIXIE HWY
HOLLYWOOD, FLORIDA. 33020




SCALE:
AS SHOWN

PROJECT NUMBER
STA-20181020

DATE:
02-15-19

REVISIONS:

SEAL:

L.I.C.# LA 6666671

SHEET NUMBER:
LP-3

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