

PLANNING DIVISION



File No. (internal use only):

2600 Hollywood Boulevard Room 315 Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471 Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/DocumentCenter/Home/View/21



	APPLICATION TYPE (CHECK ONE):					
	☐ City Commission ☐ Planning and Development Board					
١.	Date of Application: 01/27/2019					
	ALL MOSE DANIA REACH BLVD HOLLVWOOD EL 22004					
	Location Address: 1005 E. DANIA BEACH BLVD. HOLLYWOOD, FL. 33004					
	Lot(s): 10 & 11 Block(s): 1 Subdivision: Hollywood Central Beach					
	Folio Number(s): 5042 35 01 0050					
	Zoning Classification: C-2 Land Use Classification: Existing Property Use: VACANT LAND Sq Ft/Number of Units: 0					
	Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.					
	Has this property been presented to the City before? If yes, check all that apply and provide File					
	Number(s) and Resolution(s): NO					
	☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board					
	☐ City Commission ☐ Planning and Development					
	Explanation of Request:					
	Number of units/rooms: 19 Sq Ft:					
	Value of Improvement: 1,250,000 Estimated Date of Completion: MARCH 2020					
	Will Project be Phased? () Yes (K) No If Phased, Estimated Completion of Each Phase					
	Name of Current Property Owner: 1005 E DANIA BEACH BLVD LLC					
	Address of Property Owner: 2885 SANFORD AVE SW # 25343 GRANDVILLE MI 49418					
	Telephone: 305/680/2800 Fax: Email Address: maribona1000@gmail.com					
	Name of Consultant/Representative/Tenant (circle one): <u>Luis IaRosa PA</u>					
	Address: 12980 SW 52 Street Miramar, FL 33027 Telephone: 786-543-0851					
	Fax: Email Address: llarosa@larosaarchitects.com					
	Date of Purchase: 10/02/2013					
	If Yes, Attach Copy of the Contract.					
	List Anyone Else Who Should Receive Notice of the Hearing: <u>Luis LaRosa P.A.</u>					
	Address: <u>12980 SW 52 Street Miramar, FL 33027</u> Email Address: <u>llarosa@larosaarchitects.com</u>					

PLANNING DIVISION



2600 Hollywood Boulevard Room 315 Hollywood, FL 33022 File No. (internal use only):

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner:	Date:
Bernie Maribona, mgm. PRINT NAME:	Date: 01/27/2019
Signature of Consultant/Representative:	Date:
PRINT NAME:	Date:
Signature of Tenant:	Date:
PRINT NAME:	Date:
Current Owner Power of Attorney	
I am the current owner of the described real property and that I am to my property, which is to be my legal representative bef Committee) relative to all matters concerning this application.	
Sworn to and subscribed before me	
this day of	Signature of Current Owner
Notary Public State of Florida	Print Name
My Commission Expires:(Check One)Personally known to me	; OR Produced Identification



January 27, 2019

1005 E Dania Beach Blvd. LLC. 2885 Sanford Ave, SW #25343 Grandville, MI 49418

FILE NUMBER: 18-DP-20

SUBJECT: Site Plan Review for a mixed-use development consisting of hotel and

residential uses (Ocean Park View Hotel).

SITE DATA

Owner/Applicant: 1005 E Dania Beach Blvd. LLC.

Address/Location: 1005 E.. Dania Beach Blvd. Gross Area of Property: 24,172 sq. ft (0.55 acre) Net Area of Property: 13,069 sq. ft (0.30 acre) Land Use: General Business

(GBUS)

Zoning: Low/Medium Intensity Commercial District (C-2)

Existing Use of Land: Vacant

ADJACENT LAND USE

North: Conservation (CONS)
South: Conservation (CONS)
East: Conservation (CONS)
West: Conservation (CONS)

ADJACENT ZONING

North: Low/Medium Intensity Commercial District (C-2)

South: Governmental Use (GU)
East: Governmental Use (GU)
West: Governmental Use (GU)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

12980 SW 52 Street

Miramar, Florida 33027

Tel: 305-403-7926



Dear Board Members.

It's with great pleasure we are presenting a 19 unit, 5-story, Hotel/residential building. This project was designed with the intention to enhance the property and the surrounding neighborhood.

1. Design Criteria:

The architectural style for this 5-story, 24,000 SF multi-family residential building embodies a classic, but modern style. The use of stone at the façade as well as the large glass panels provide a contemporary look and feel as well as natural light on every floor.

2. Compatibility:

Our project sits on an isolated piece of land West of the Intercoastal Waterway and East of the City of Dania Beach. It is surrounded by empty marsh land. Thus, it's a rare opportunity stand out along the Dania Beach Blvd. thoroughfare.

3. Landscaping:

The landscaping has been integrated with the building design to emphasize the architectural features and help screen the parking areas from the street.

4. Site Massing: The 5-story project enhances its surrounding by placing the long side of the building along the street edge. Several wood type elements have been introduced to contrast the concrete and glazing. The stairs are features that are well massed to support the design.

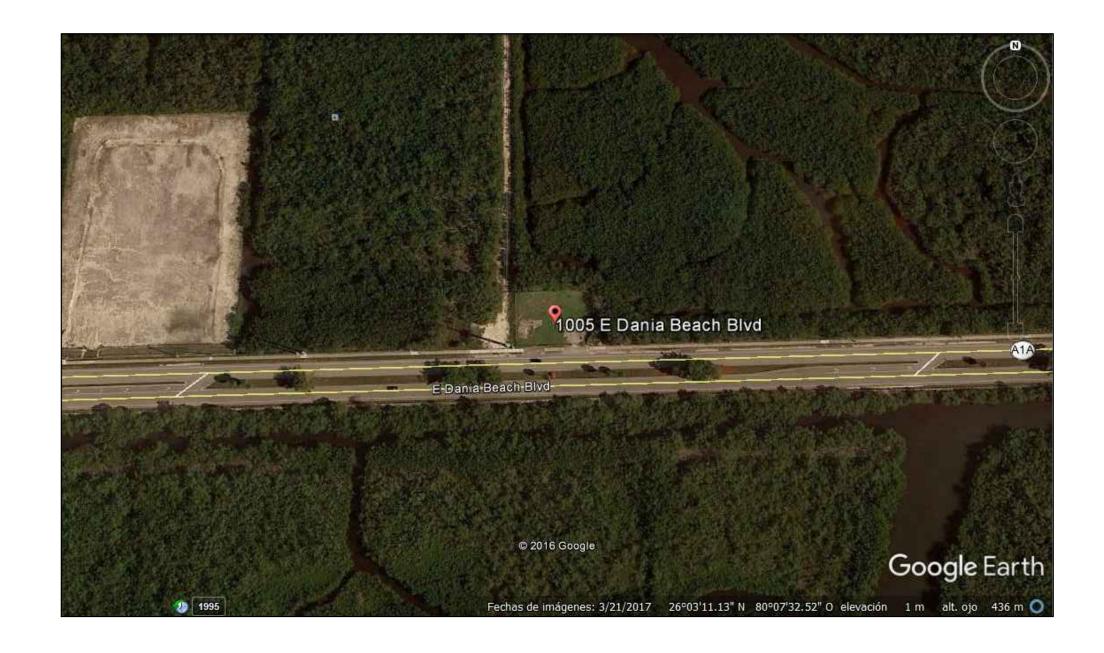
Thank you for your time and consideration,

Sincerely,

Luis La Rosa Registered Architect AR#0017852

Tel: 305-403-7926

PROPOSED HOTEL DEVELOPMENT FOR: OCEAN PARK VIEW HOTEL 1005 E. DANIA BEACH BLVD. HOLLYWOOD, FLORIDA.



LOCATION MAP

JOB ADDRESS: 1005 E. DANIA BEACH BLVD.

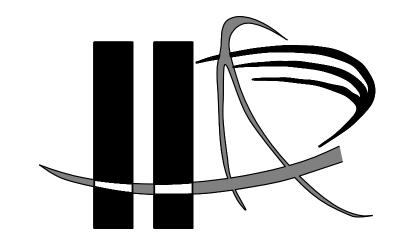
SHEET INDEX

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TYP. YENT THRU ROOF DETAIL
ROOF DRAIN DETAIL
ROOF STEEL LADDER DETAIL



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027

(OFF.) - 305-403-7926 (CELL)- 786-543-0851 E-MAIL: llarosa@larosaarchitectcts.com

Luis LaRosa-Registered Architect

AR#-0017852 AA#-26003693

AYLWARD ENGINEERING CIVIL ENGINEERING

3222 RIDGE TRACE DAVIE,FLORIDA 33328

(0) - 954 - 424 - 5852

E-MAIL: AYLWARDENGINEER@GMAIL.COM

MLA GROUP SCOTT MC CLURE RLA LANDSCAPE ARCHITECTURE

1016 NE 45TH STREET OAKLAND, FLORIDA 33334

(0) - 954 - 763 - 7041

E-MAIL: MLAGROUPINC@YAHOO.COM

SUBMITTAL DATE: 06/04/2018

MEETING DATE: 06/18/2018

A-2.1 NORTH ELEVATION
A-2.2 SOUTH ELEVATION
A-2.3 EAST ELEVATION
A-2.4 WEST ELEVATION

A.L.T.A. / N.S.P.S LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING IN SECTION 35, TOWNSHIP 50 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA



LEGEND & ABBREVIATIONS

= CONCRETE (CONC.)

= WOOD DECK = COVERED AREA

X - X = CHAIN LINK FENCE (CLF)= WOOD FENCE (WF) -0-0 = IRON METAL BARS FENCE (IF)

-OHL- = OVERHEAD WIRES

W = WELL = STREET SIGN

= MANHOLE

= FIRE HYDRANT

= CABLE BOX (CATV)

TX = FPL TRANSFORMER

= CATCH BASIN OR INLET

■ = PERMANENT REFERENCE MONUMENT (PRM) = PROPERTY CORNER

XX = EXISTING ELEVATION

= PERMANENT CONTROL

POINT (PCP)

PT = POINT OF TANGENCY PC = POINT OF CURVATURE

BM = BENCH MARK

P = PROPERTY LINE

© = CENTER LINE M = MONUMENT LINE

CALC = CALCULATED

P = PER PLAT

MEAS = FIELD MEASURED

PCC = POINT OF COMPOUND CURVE

PRC = POINT OF REVERSE CURVE

TBM = TEMPORARY BENCH MARK

PSM = PROFESSIONAL SURVEYOR AND

FF ELEV= FINISHED FLOOR ELEVATION

CBS = CONCRETE BLOCK STRUCTURE

ORB = OFFICIAL RECORD BOOK

A/C = AIR CONDITIONER PAD

ENCR = ENCROACHEMENT

PB = PLAT BOOK

R/W = RIGHT OF WAY

ELEV = ELEVATION

SEC = SECTION

R = RANGE

T = TOWNSHIP

= WATER VALVE (WV)

= POWER POLE (PP) ------ = GUY ANCHOR

WM = WATER METER (WM)

S = SANITARY MANHOLE (D) = DRAINAGE MANHOLE

= CONC. LIGHT POLE (LP)

= ASPHALT

= TILE = PAVERS = STONE

= CONCRETE BLOCK WALL

< SUBJECT PROPERTY Dania Bead (A1A) Hwy A1A Town Canal Palm: Elm St Oak St

West Lake

Park Kayaking

LOCATION MAP

AREA TABULATION:

GROSS LOT AREA OF SUBJECT PARCEL: +/- 24, I74.55 SQ FT (+/- 0.555 ACRES)

E 2nd Pl

NET LOT AREA OF SUBJECT PARCEL: +/- I3, 068.10 SQ FT (+/- 0.300 ACRES)

ZONING DESCRIPTION: (PER: HTTPS://WWW.HOLLYWOODFL.ORG/DOCUMENTCENTER/VIEW/1232)

C-2 LOW/MEDIUM INTENSITY COMMERCIAL DISTRICT

- 1. This Boundary Survey has been made on the ground on March 28th, 2018 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- 2. This map of a Boundary Survey has been prepared in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2016.
- 3. This survey accurately depicts all the relevant survey-related matters that affect this Subject Property and accurately shows the shape, size and nature of existing aboveground improvements, all aboveground utilities and the evidence that may indicate utilities located on, over or beneath the surveyed property. Only aboveground improvements Underground utilities and footings have not been located.
- Except as shown herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways.
- 5. At the time of this survey these lands are Vacant.
- 6. There is no observable evidence of site usage as solid waste dump, swamp and/ or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- 7. This property has access to and from duly dedicated and accepted public Right of Way: East Dania Beach Boulevard on the South. This property is adjacent to West Shore Drive (per Plat) on the East an improved road and a platted 15 feet wide improved alley on the West. There are no gaps, gores or overlaps between this parcel and said road right of ways. The authority having jurisdiction over these right of ways was not determined at the time of this survey. The undersigned has no knowledge of proposed name changes for these roads.
- 8. No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- 9. The subject property is not designated as a wetland in the National Wetlands Inventory (U.S. Fish and Wildlife) and no wetland field designations were present at the time of the survey
- 10. FLOOD PLAIN INFORMATION: According to current FEMA (Federal Emergency Management Agency) records and as scaled per the Federal Insurance Rate Map (FIRM) of Community number 125113 (City of Hollywood), Panel 0567, Suffix H, Map index date and map revised date of August 18th, 2014 the building located on this subject parcel falls in an area designated as Zone "AE" with Base Flood Elevation 6 feet (NAVD 1988). Zone "AE", is a Special Flood Hazard Area (SFHA). SFHA are defined as the area that will be inundated by the flood event having a 1-percent chance of being equaled or exceeded in any given year. The 1-percent annual chance flood is also referred to as the base flood or 100-year flood. These are designations obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- 11. VERTICAL CONTROL AND VERTICAL ACCURACY: The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion
- Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:

Bench Mark # 1: Broward County Engineering Department Bench Mark 1279, Elevation =6.970 feet (NGVD29)

Description/Location: "x" cut in center of west bullnose at 1005 East Dania Beach Boulevard turnaround, approximately 1 mile East of Federal Highway.

Bench Mark # 2: Broward County Engineering Department Bench Mark 1281,

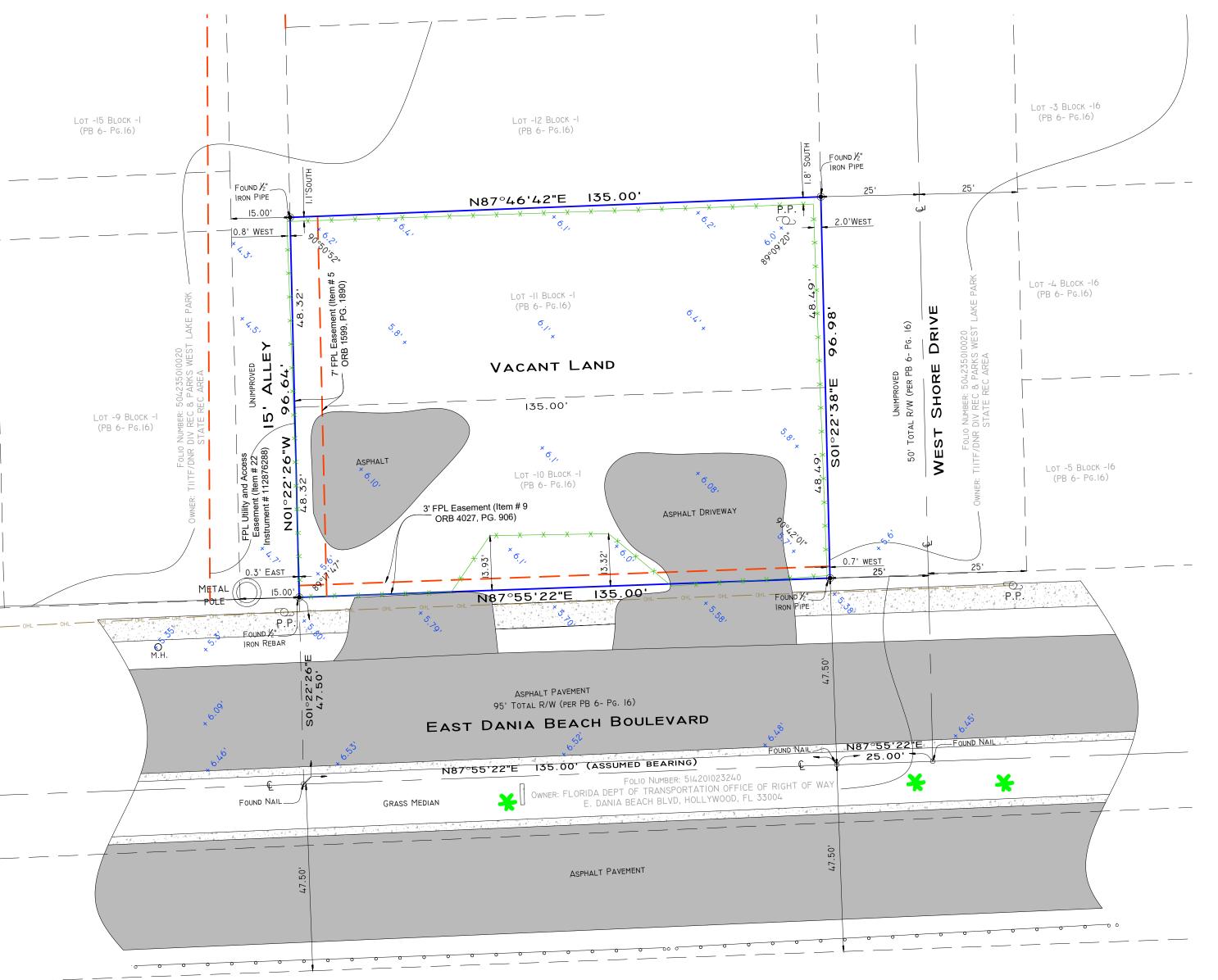
Elevation = 7.650 feet (NGVD29)

Description/Location: Florida D.O.T. Station #8671b19, center of North Walkway on East side, of intracoastal bridge on East Dania Beach Boulevard.

- 12. HORIZONTAL ACCURACY: This survey has achieved accuracy results comparable to those outlined in the "Minimum Angle, Distance and Closure Requirements for Survey Measurements which Control Land Boundaries for ALTA/NSPS Land Title" and the accuracy obtained by field measurements and office calculations meets and exceeds the minimum horizontal feature accuracy (linear) for a High Risk Commercial being equal to 1 foot in 10, 000 feet.
- 13. This survey meets and exceeds the Standards of Practice as set forth by the Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a Boundary and Topographic Survey.
- 14. This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are
- 15. The intended plotting scale for this survey map is 1": 20'. Vertical and horizontal data are expressed in U.S. Survey Foot.
- 16. References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Title Commitment provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Miami-Dade County, unless otherwise shown.
- 17. Measured distances, directions and angles along boundary lines are in consistency with corresponding values from records, unless otherwise shown.
- 18. North arrow direction is based on an assumed Meridian. The bearing structure depicted herein and based on the assumed bearing of N87°55'22"E along a line being coincident with the center line of the platted the Right of Way of East Dania Beach Boulevard. This line is noted on the survey as BR (Bearing Reference).
- 19. Fence ownership has not been determined. Distances from existing fences to boundary lines are approximate. Fence/walls width and conditions must be considered to determine true location.
- 20. The property described on this survey and surveyed on the ground is the same property described on Exhibit "A" of Commitment for Title Insurance (the Title Commitment) issued by Old Republic National Title Insurance Company, Policy No. OF6-8171310, Agent's File Reference No. 1509.13001, Date of Policy: October 8th, 2013 at 11.48 A. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered/traversed during the field work are in consistency with distances and directions from records, as platted. - After examination of the Schedule B-II Exceptions listed on said commitment, no survey related exceptions were found.

LEGAL DESCRIPTION OF SUBJECT PARCEL

LOTS 10 AND 11, BLOCK 1, HOLLYWOOD CENTRAL BEACH BUSINESS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



As part of the preparation of this Survey the undersigned examined an Owners and Encumbrance Report prepared

by Fidelity National Title Insurance Company dated July 20th, 2018 and we determined that these lands are subject

1. Item # 1, refers to Termination of Easement granted before October 1, 1953. This Owner and Encumbrance

report does not contain any easement recorded prior to that date. Therefore this Termination of Easement

2. Items # 2, 3, 4, 6, 7, 8, 9, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 24, 25, 26, 27, 28, and 29 are not survey

to the items listed on said Owners and Encumbrance Report as follows:

3. Items # 5, 10, and 23 are survey matter and are plotted on this survey.

does not affect these lands.

CERTIFICATION

This is to certify to:

1005 E Dania Beach Boulevard, LLC; That this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5(Spot elevations Shown on Survey), 6(as per current City of Hollywood Zoning Map), 8, 11 (utilities by observed aboveground visible evidence), 13, 14, 16, 18 and 19 of Table

Date of Plat or Map: March 28th, 2018

Completion Date: March 30th, 2018

Survey Updated and Revised: 08/06/202

Odalys C. Bello-Iznaga Professional Surveyor & Mapper # 6169 State of Florida

ADDITIONS AND DELETIONS TO THIS SURVEY MAP ARE PROHIBITED. THIS SURVEY MAP AND REPORT ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR WITHOUT THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF THE UNDERSIGNING FLORIDA LICENSED SURVEYOR AND MAPPER.

PROPERTY ADDRESS:

1005 EAST DANIA BEACH BOULEVARD, HOLLYWOOD, FLORIDA 33004

PROJECT No. 18287

MIAMI FAX: 30 **SUR** 201 0 SW 26.2 <u>М</u> %

PAGE I OF

FIRE FLOW CALCUALTION: EXFILTRATION TRENCH CALCUALTION: WATER & SEWER DEMAND LEGEND: (note all values are N.A.V.D.88) CODE: F.F.P.C. 2017 EDITION & NFPA 220 INPUTS: PERCOLATION RATE 7.7ØE-5 18 UNITS \times 250 GPD/UNIT = 4,750 GPD XX DENOTES EXISTING GRADE BUILDING TYPE: - I WIDTH (W) 4.0 FEET TOTAL AREA: 15,286 S.F. DEPTH TO WT (H2)4.5 FEET (6.1) DENOTES PROPOSED GRADE TYPE OF OCCUPANCY: APARTMENT BUILDING (DU) UNSATURATED TRENCH 2.0 FEET AS PERSECTION 18.4.5.2. FOR NON-ONE & TWO-FAMILY SATURATED TRENCH (Ds) 3.0 FEET DWELLING WATER TABLE ELEVATION (WT) 2.4' NAVD TABLE 18.4.5.1.2 - Ø-22,000 S.F.= 1,500 GPM FOR A RUNOFF INPUTS: DURATION OF 2 HOURS YOLUME TO BE TREATED: .20 ACRES A REDUCTION OF 15% SHALL BE PERMITTED TO BE FIRE NOTES: APPLIED 1). UNDERGROUND FIRE MAIN WORK WILL BE MIN. FLOW: 1,000 GPM STANDARD SPRINKLERS OR 600 COMPLETED BY A CONTRACTOR HOLDING A GPM QUICK RESPONSE CLASS 1, 11 OR Y LICENSE AS PER F.S. 633.102 1,500 GPM \times .25= 375 GPM (USE MINIMUM FOR QUIICK 2). FIRE PUMP REQUIREMENTS TO BE RESPONSE - 600 GPM @20PSI) DETERMINED ONCE NEW FIRE LINE IS INSTALLED AND TESTED. FLOW TEST RESULTS: NO FLOW TEST AVAILABLE. NEW FIRE LINE TO BE PROVIDED. FLOW TEST TO BE 3). PER NFPA 1, 12.3.2* A QUALITY ASSURANCE OBTAINED UPON INSTALLATION OF NEW LINE. PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT STATIC= PENETRATION AND JOINTS SHALL BE PREPARED RESIDUAL = AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. TOTAL FLOW= 1,060 + 920 GPM= 1,980 GPM INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN (AT 46 PSI FIRE FLOW IS SUFFICIENT TO COVER THE ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1. NEED OF 600 GPM @20 PSI). 3.5 PROPOSED— FIRE PUMP ROOM 8.0 FIRE POINT OF-CONNECTION _ 6'¢ RAIN WATER LEADER FROM CONNECTED TO 17 WATER LEADER FROM CONNECTED TO STORM DRAIN 7.4' LOBBY F.F. ELEV.= 8.0' PROPOSED 2"
DOMESTIC WATER
METER WITH 2"
BACKFLOW
PREVENTER 6' GONCRETE 12'-0" PAVER DRIVEWAY NEW CATCH 3.5 4" D.D.C.Y. -ASSEMBLY NEW CATCH FIRE POINT OF CONNECTION EXFILTRATION TRENCH 120' (long)-24" HDPE LINE OF BUILDING ABOVE NEW 6" C.O. AND NEW 6" SANITARY LINE CONNECTED TO NEW SANITARY 5.88 **5.8** SLOPE 1:12 FLUSH SLOPE 1:12 RESTORATION, REFER TO PROPOSED WATER PROPOSED 5' WIDE, 6" CONCRETE SIDEWALK AT 6.0' N.A.VD. PROPOSED 5' WIDE, 6" CONCRETE SIDEWALK AT 6.0' N.A.VD. MAIN EXTENSION 15'-0" ONE WAY DRIVEWAY RIGHT TURN ONLY 57'-8**"** NEW SWALE. OWNER TO SOD AND REGRADE AS SHOWN NEW SWALE, OWNER TO SOD AND REGRADE AS SHOWN « EAST DANIA BEACH BOULEVARD EXISTING 26.4' ASPHALT PAVEMENT - PROPOSED 8" SANITARY LINE EXTENSION. 6.48 NORTH OF MEDIAN PROPOSED PAYING, GRADING, WATER & SEWER PLAN

ARCHITECTURE & PLANNING 12980 S.W. 52 STREET IRAMAR, FLORIDA 33027

OFF.) - 305-403-7926 CELL)- 786-543-0851

-MAIL: LLAROSA@LAROSAARCHITE

uis LaRosa-Registered Archited AR#-0017852 AA#-26003693

REVISION: <u>04/09/18</u> N 06/04/18 /2 T.A.C.

GENERAL NOTES:

- 1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
- 2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES. ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECSD), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
- 3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
- 4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
- 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE

DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.

- 6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
- 7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- 8. THE CONTRACTOR SHALL NOTIFY ECSD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, SHOP DRAWINGS SHALL BE SUBMITTED TO ECSD IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
- 10. THE CONTRACTOR SHALL NOTIFY ECSD IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

OF HOLLYWOOD, ATO	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/201
DIAMOND OF THE	DRAWN:	EAM	GENERAL NOTES	DRAWING NO.
GOLD COAST	APPROVED	: XXX	GENERAL NOTES	G-00

BOTTOM OF ROADWAY BASE -

BACKFILL

BEDDING FOR-

UNSUITARI F

SOIL ONLY

GENERAL BACKFILL SHALL BE PLACED IN LAYERS NOT T

EXCEED 12" IN THICKNESS. EACH

LAYER SHALL BE COMPACTED TO

100% OF MAXIMUM DRY DENSITY

ELECT BACKFILL SHALL BE

PLACED IN LAYERS NOT TO

EXCEED 6" IN THICKNESS.

EACH LAYER SHALL BE

MAXIMUM DRY DENSITY

COMPACTED TO 98% O

OR EXISTING GROUND

— FOR PAVEMENT RESTORATION

REFER TO FOOT BROWARD

RIGHT-OF-WAY OWNER'S

BACKFILL CONSOLIDATED

TO CENTERLINE OF PIPE

(SEE NOTE 1 BELOW).

- FLAT OR RESTORED

TRENCH BOTTOM

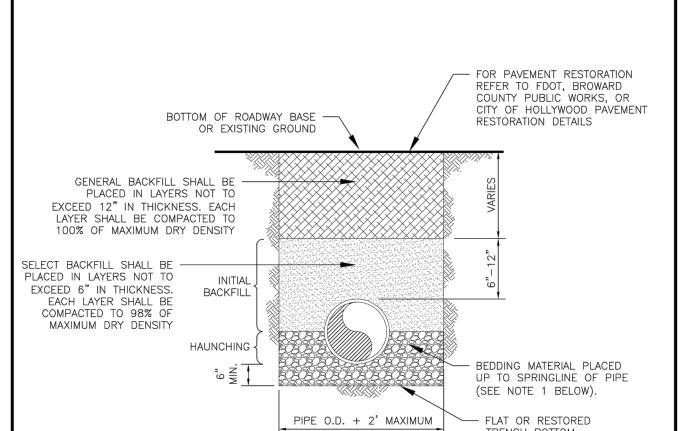
COUNTY PUBLIC WORKS, OR

PAVEMENT RESTORATION DETAILS

GENERAL NOTES (CONTINUED):

- 12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
- 13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
- 14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
- 15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
- 16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY
- 17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK,
- 18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECSD FIELD
- 20. THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED. A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
- 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO
- 22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
- 23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
- 24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECSD FIELD
- 25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC
- 26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECSD.

	31711		REQUIRENTE	NISSINGE DE NAMEDIATIES DIGGGITT TO THE ATTENTION OF E		
N HOLLY WOO	D. KION	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	11/06/2017
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GOLD COAST	DIST	APPROVEI	D: XXX	(CONTINUED)	G-C	00.1



1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION. OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS

PIPE O.D. + 2' MAXIMUM

PIPE O.D. + 1' MINIMUM

TRENCH WIDTH

2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES" DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017. 4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

OF HOLLYWOOD ALC	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2014
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GOLD COAST	APPROVED	: XXX	SECTION (D.I.P.)	G-02

TRENCH BOTTOM PIPE O.D. + 1' MINIMUM TRENCH WIDTH

- 1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION. IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK). CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER 2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE
- ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES"
- 5. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM

4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.

ELOR	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/20
TOA STORE	DRAWN:	EAM	PIPE LAYING CONDITION TYPICAL	DRAWING NO.
120	APPROVED	: XXX	SECTION (P.V.C.)	G-03

GENERAL NOTES (CONTINUED):

HIGHWAY TRAFFIC LOADS, OR 20,000 LB.

- 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
- 28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
- 29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
- 30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR
- 32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- 33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
- 34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- 35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
- 36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- 37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
- 38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.

39.	CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140
	DEWATERING.

OF HOLLYWOOD AND	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
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GOLD COAST	APPROVED): XXX	(CONTINUED)	G-00.2

FLEXIBLE PAVEMENT RESTORATION NOTES:

- THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
- LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK".
- LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
- 4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12"
- ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
- RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
- 8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.

ABOVE THE INSTALLED FACILITY.

- 9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
- 10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
- L1. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK. REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

LLYWOOD, AFTON	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 11/06/2017
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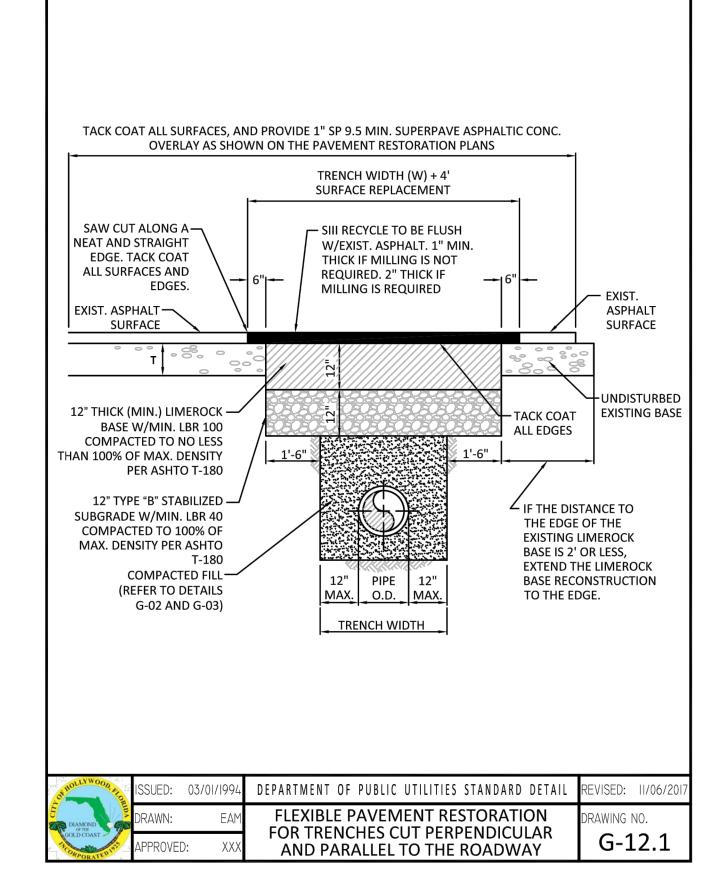
GENERAL NOTES (CONTINUED):

40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).

lways call 811 two full business days before you dig

- 41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
- 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
- 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECSD SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL
- a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTING, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
- b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE
- c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
- PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
- e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE
- f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY /

CITYON	OF HOLLYWOOD AND	ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED:	11/06/201
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	GOLD COAST	APPROVE): XXX	(CONTINUED)	G-C	0.3



OPERATING NUT TO	<u> </u>	MIN. VALVE BOX (RE STANDARD DET	AIL G-05)
Stunitywood (S) ISSUED:	03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/201
DRAWN:	EAM	TYPICAL GATE VALVE AND	DRAWING NO.

VALVE BOX SETTING

24"x24"x8" THICK-

__SAW_CUT AND MATCH

EXISTING PAVEMENT

CONCRETE COLLAR

G-07

1" BELOW GRADE ALL AROUND FOR PAVED AREAS ONLY

CONCRETE COLLAR ALL AROUND FOR

UNPAVED AREAS ONLY



RCHITECTURE & PLANNING 2980 S.W. 52 STREET IRAMAR, FLORIDA 33027 OFF.) - 305-403-7926

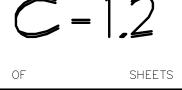
CELL)- 786-543-0851

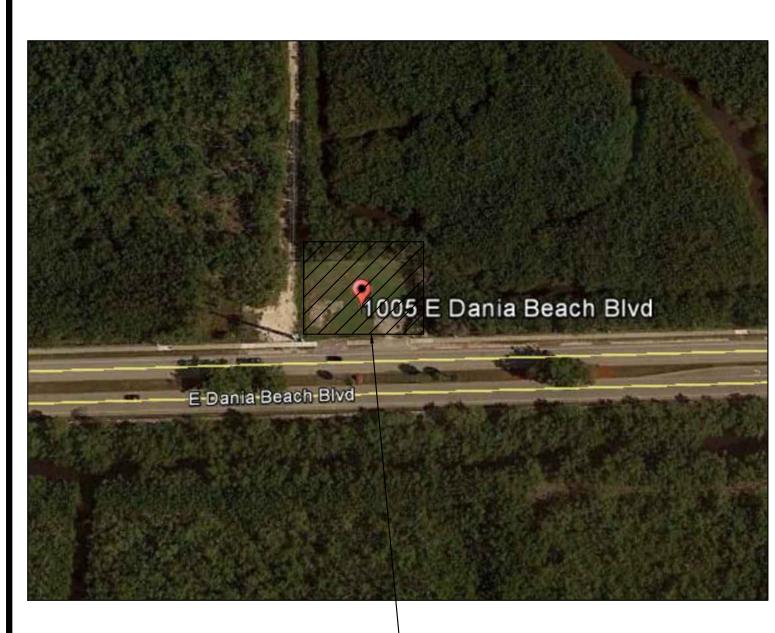
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-MAIL: LLAROSA@LAROSAARCHITI **Luis LaRosa-**Registered Architec AR#-0017852

		L
EVISION:	BY:	
Ø4/Ø9/18 T.A.C.	C.C	
06/04/18 	C.C	

SEAL: AR 0017852 LUIS LA ROSA







- PROPOSED AREA
OF WORK 1005 EAST
DANIA BEACH
BLYD.
HOLLYWOOD, FL.

1 LOCATION PLAN

I. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017-EDITION, ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL

2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.

3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.

5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEED'S OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.

1. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.

8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.

9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.

10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NNOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).

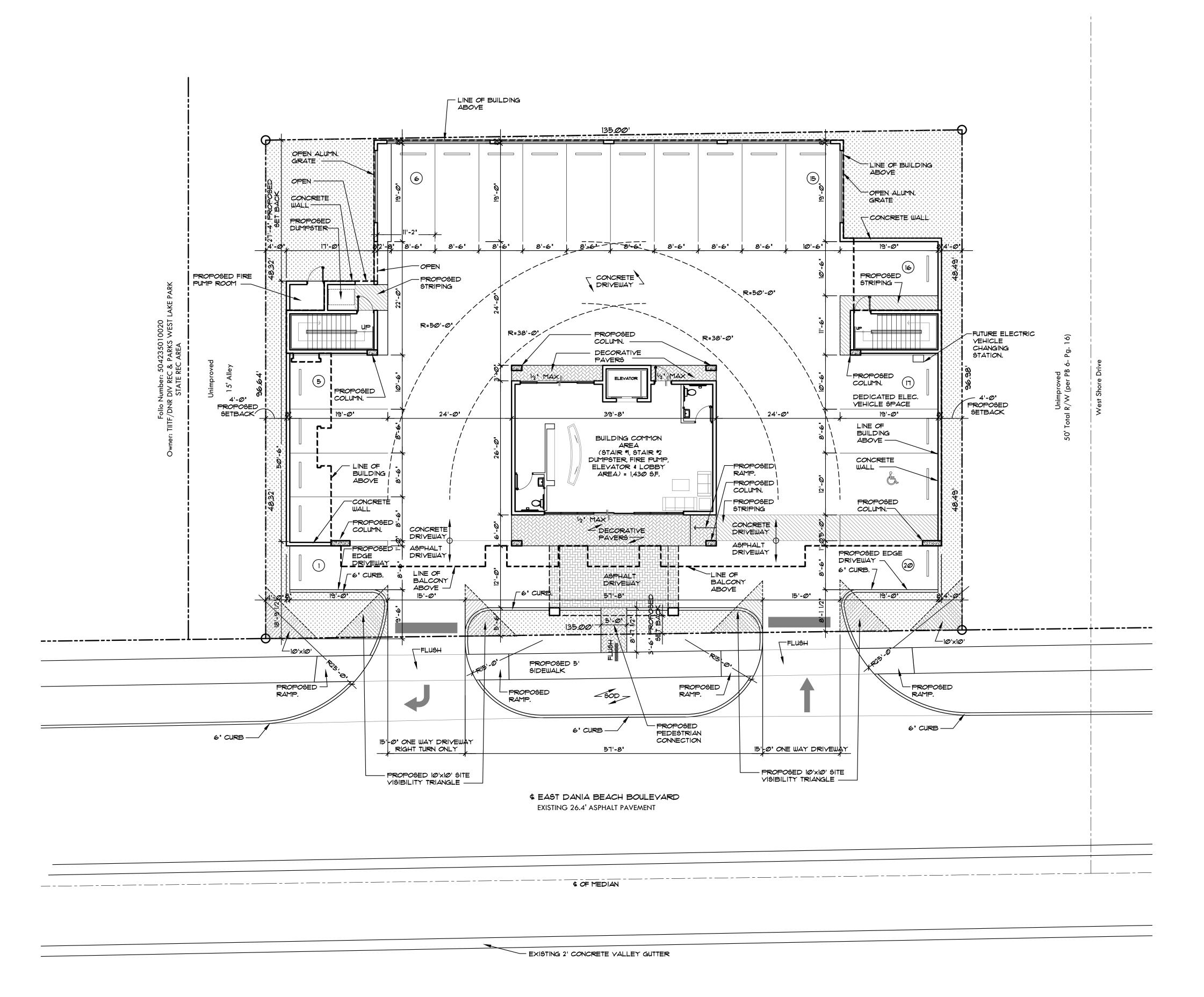
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.

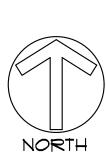
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.

13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

LOTS 10 AND 11, BLOCK 1, HOLLYWOOD CENTRAL BEACH BEACH BUSINESS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.





SEAL: AR 0017852 LUIS LA ROSA

ARCHITECTURE & PLANNING 12980 S.W. 52 STREET MIRAMAR, FLORIDA 33027

(OFF.) — 305—403—7926 (CELL)— 786—543—0851 E—MAIL: llarosa**g**larosaarchitectct

Luis La Rosa-Registered

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AR#-0017852 AA#-26003693

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DATE

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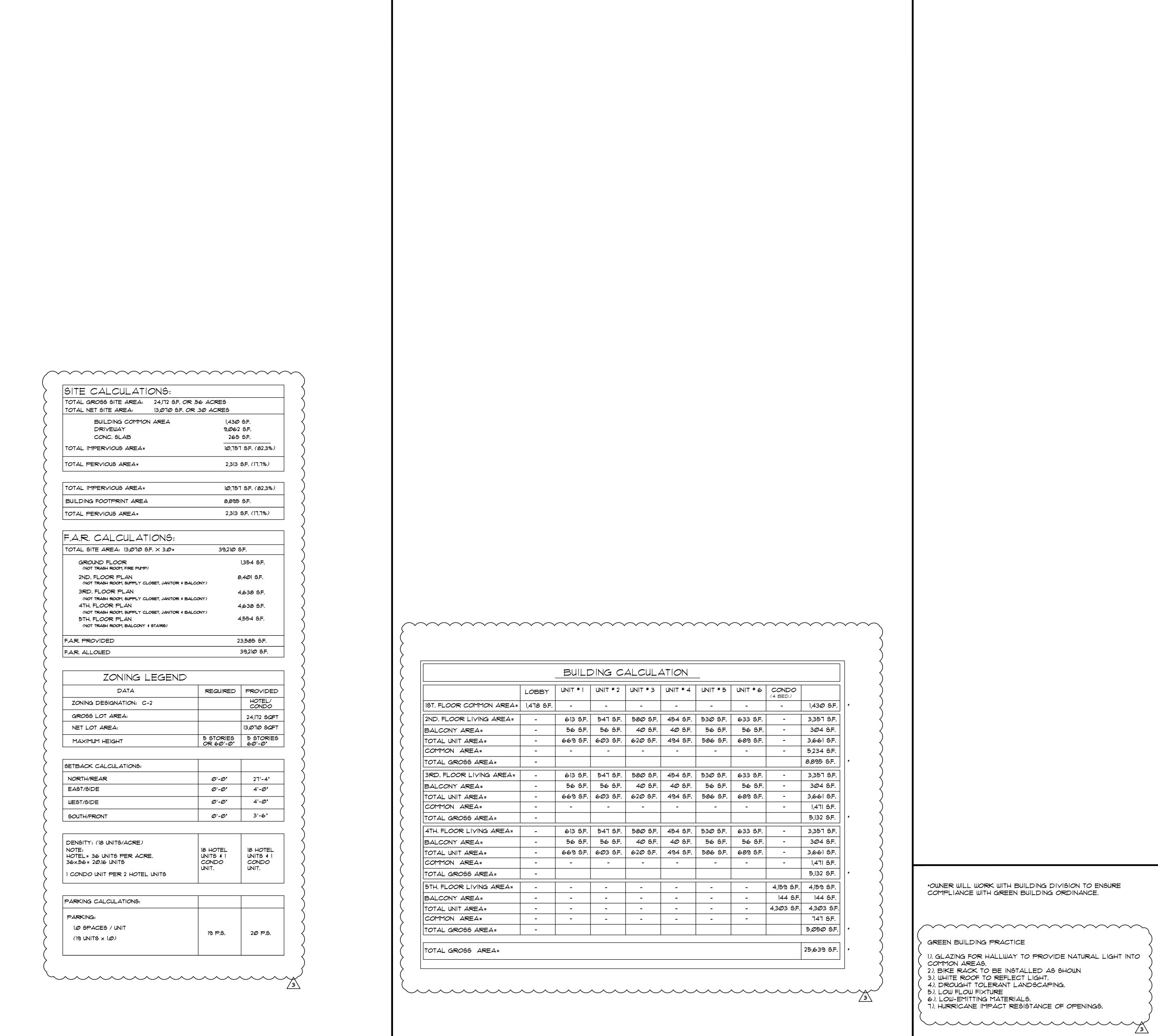
SHEETS

OF SHEETS

3 LEGAL DESCRIPTION

4 PROPOSED SITE PLAN

CONSTRUC



2 BUILDING CALCULATION

SITE DATA

LEGEND

4 NOTES

A. OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE O 2016-02. B. LAND USE DESIGNATION PR-PEMBROKE ROAD MIXED USE LEND DEVELOPMENT REGULATION.

C. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & D. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT. E. MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM Ø.5 IF ADJACENT TO RESIDENTIAL). F. A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 11.10 AND BROWARD AMENDMENT 118.2

SEAL: AR 0017852

O

ARCHITECTURE & PLANNING 12980 S.W. 52 STREET MIRAMAR, FLORIDA 33027

E-MAIL: LLAROSAGLAROSAARCHITECTCTS.

(OFF.) - 305-403-7926 (CELL)- 786-543-0851

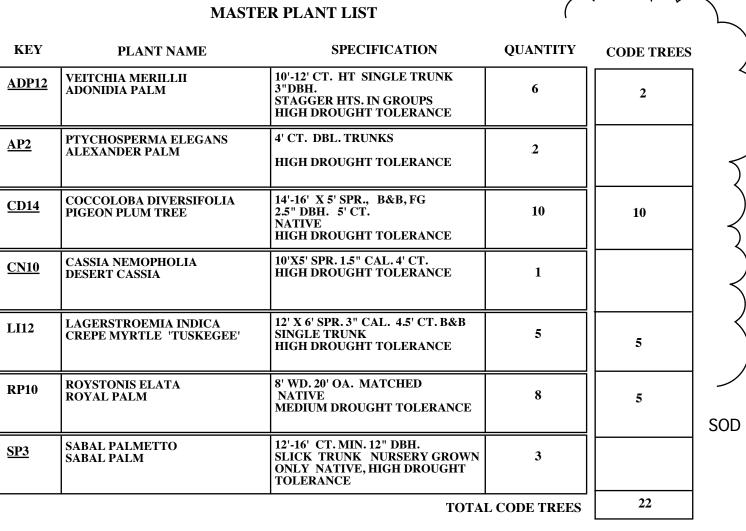
Luis LaRosa-Registered

__\ T.A.C. N 06/04/18

Architect AR#-0017852 AA#-26003693

Ø3/27/18 AS NOTED Ø17-Ø21 **~~~~**

/3\ SHEETS



7/11/18

SOD TO EDGE OF ROAD

MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY
AGV7	AGAVE ATTENUATA SPINELESS AGAVE	7 GAL. SPECIMEN HIGH DROUGHT TOLERANCE	7
BAM	BAMBUSA SPP. CLUMPING BAMBOO VARIETY TIMOR BLACK	8' OA. 5 STEMS PER POT MIN. HIGH DROUGHT TOLERANCE	3
BROM3	BROMELIADS IMPERIALIS	7 GAL. SUN OR SHADE\ AS NEEDED HIGH DROUGHT TOLERANCE	8
CIR	CHRYSOBALANUS ICACO COCtOPLUM HEDGE	24"X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	110
CLR3	CLUSIA ROSEA NANA SMALL LEAF PITCH APPLE	24 "X 24 " 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	27
FM3	FICUS MICROCARPA GREEN ISLAND FICUS	12" X 15" 18" OC. HIGH DROUGHT TOLERANCE	113
НР3	HEMEILIA PATENS FIRE BUSH	24" X 24" SPR. 24" OC NATIVE MEDIUM DROUGHT TOLERANCE	30
PBM3	PHILODENDRON SELLOUM BURLE MARX	12"X15" 18" O.C. MEDIUM DROUGHT TOLERANCE	15
PM5	PODOCARPUS MACROPHYLLA YEW PODOCARPUS CONE SHAPE TOPIARY	5' X 24" SPR. FULL TO BASE HIGH DROUGHT TOLERANCE	5
SA1	SEASONAL COLOR TO BE SELECTED BY LA AT TIME OF INSTALLATION ALT: BEACH DAISY	6"-8" O.C FULL TO POT COLOR BY OWNER 1 GAL. 6-8" O.C.	20
SA3	SCHEFFLERA ARBORICOLA VARIEGATED	24"X 24" SPR. MIN. 24" OC MEDIUM DROUGHT TOLERANCE	60
SOD	ST. AUGUSTINE FLORITAM	CONTRACTOR TO VERIFY QUANTITY SHADE/SUN	
SR7	SERENOA REPENS SAW PALMETTO	24 "X 24" 30" O.C. NATIVE HIGH DROUGHT TOLERANCE	9

CONTRACTOR SHALL DO TAKE OFF FROM PLANTING PLANS.

NOTES:

NON COLORED BLEND MULCH. ALL EXISTING LANDSCAPE MATERIALS IN POOR CONDITION OR MISSING AT TIME OF

CONTRACTOR SHALL FIELD LOCATE ALL ABOVE AND UNDER GROUND UTILITIES PRIOR TO STARTING WORK. TREES WITHIN 5' OF AN UNDER GROUND UTILITY SHALL BE SEPARATED BY A ROOT BARRIER. SEE DETAIL SHEET L-2.

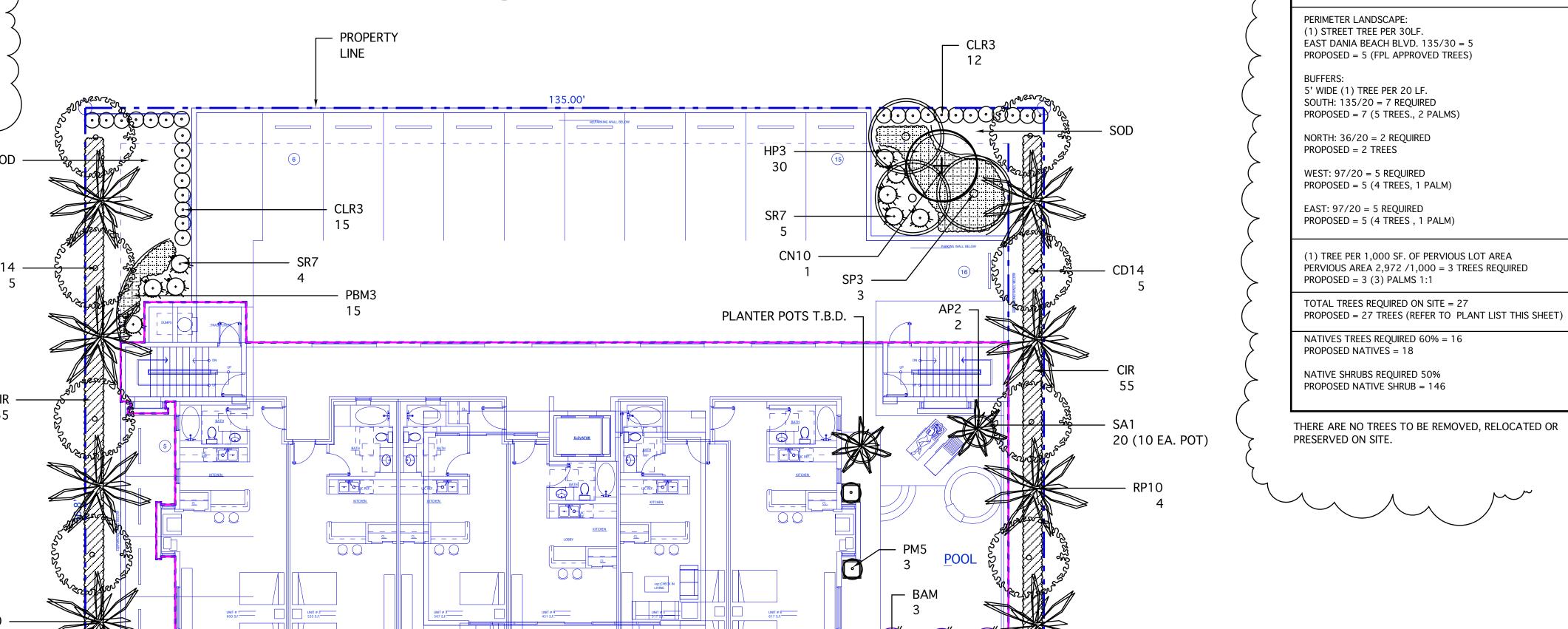
SHALL BE SCREENED WITH PLANT MATERIALS A MIN. OF 36" IN HT. SURROUNDED ON 3 SIDES.

REFER TO SHEET L-2 FOR LANDSCAPE DETAILS AND SPECIFICATIONS

CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE REVIEWER PRIOR

ALL LANSDCAPE WORK SHALL MEET THE MIN. REQUIREMENTS PER THE CITY OF HOLLYWOOD LANDSCAPE CODE.

IRRIGATION DESIGN AND SPECIFICATIONS ARE PROVIDED ON SHEETS



10'X10' SIGHT

BOTH SIDES

EXIST. SIDEWALK

FM3 ·

< EAST DANIA BEACH BOULEVARD

EXISTING OVERHEAD

ELECTRIC LINE

TRIANGLES TYP.

30

L PM5

BROM3

7/11/18

QUANTITY CODE TREES

TOTAL CODE TREES

MASTER PLANT LIST

SPECIFICATION

12'X 5' SPR. 2" DBH. 4.5' CT.

HIGH DROUGHT TOLERANCE

10'X10' SIGHT

BOTH SIDES

EXIST. SIDEWALK

NOTE: ALL LANDSCAPE MATERIALS

WITHIN SIGHT TRIANGLES SHALL BE

MAINTAINED BELOW 36" IN HT. AT

FM3 ·

AGV7

50

ALL TIMES

30

ADP12

BROM3 -

TRIANGLES TYP.

PLANT NAME

ORANGE GEIGER TREE

CSG12 CORDIA SEBESTENA

CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS OR CHANGES IN DESIGN.

MULCH ALL LANDSCAPE AREAS WITH GRADE B OR BETTER NON CYPRESS

CO SHALL BE REPLACED WITH SAME SPECIES AND SIZE.

ALL ABOVE GROUND UTILITIES NOT ALREADY SHOWN ON PLANS

CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST SHOULD A DISCREPANCEY OCCUR.

TO ANY CHANGES IN APPROVED LANDSCAPE MATERIALS

IR-1 AND IR-2

EXISTING 2' CONCRETE VALLEY GUTTER

EXISTING 26.4' ASPHALT PAVEMENT

EXISTING 2' CONCRETE VALLEY GUTTER

ZONING DISTRICT C-2 TOTAL SITE AREA = 13,070 SF. .30 ACRES PERVIOUS AREA PROVIDED = 2,972 SF. (23%) TOTAL IMPERVIOUS 10,098 SF. (77.2%) REQUIRED VUA LANDSCAPE AREA (25% OF VUA) = N/A LOTS WITH A WIDTH GREATER THAN 50' SHALL PROVIDE 25% OF THE VUA IN LANDSCAPING 1,579 X .25 = 395 SF. REQUIRED

PROPOSED = 395 SF.OVERHEAD COVERAGE REQUIRED = 10% OF LANDSCAPE AREAS $395 \times .10 = 40 \text{ SF}.$ PROPOSED = 155 SF.

(1) STREET TREE PER 30LF. EAST DANIA BEACH BLVD. 135/30 = 5 PROPOSED = 5 (FPL APPROVED TREES)

7/11/18

- PLANTER POTS T.B.D.

TYP.

- SOD TO EDGE OF ROAD

└─ LI12

5 (STREET TREES)

_MIN. 18' LENGTHS. TYP.

- INSTALL ROOT BARRIER BETWEEN

STREET TREE AND AJD. SIDEWALK

- AGV7

- CSG12

5' WIDE (1) TREE PER 20 LF. SOUTH: 135/20 = 7 REQUIRED PROPOSED = 7 (5 TREES., 2 PALMS)

NORTH: 36/20 = 2 REQUIRED

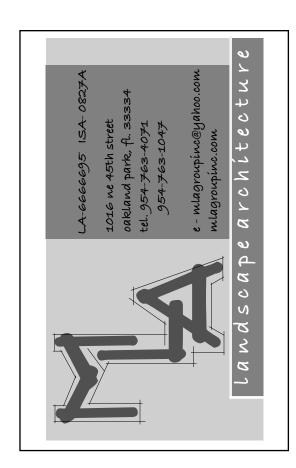
PROPOSED = 5 (4 TREES, 1 PALM)

PROPOSED = 3 (3) PALMS 1:1

NATIVES TREES REQUIRED 60% = 16

NATIVE SHRUBS REQUIRED 50%

THERE ARE NO TREES TO BE REMOVED, RELOCATED OR



REVISIONS: DRC REV: 7/11/18

SHEET TITLE:

LANDSCAPE **PLAN**

O THE BEST OF MY KNOWLEDGE THE PLANS AND EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE MLA Group , Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME"

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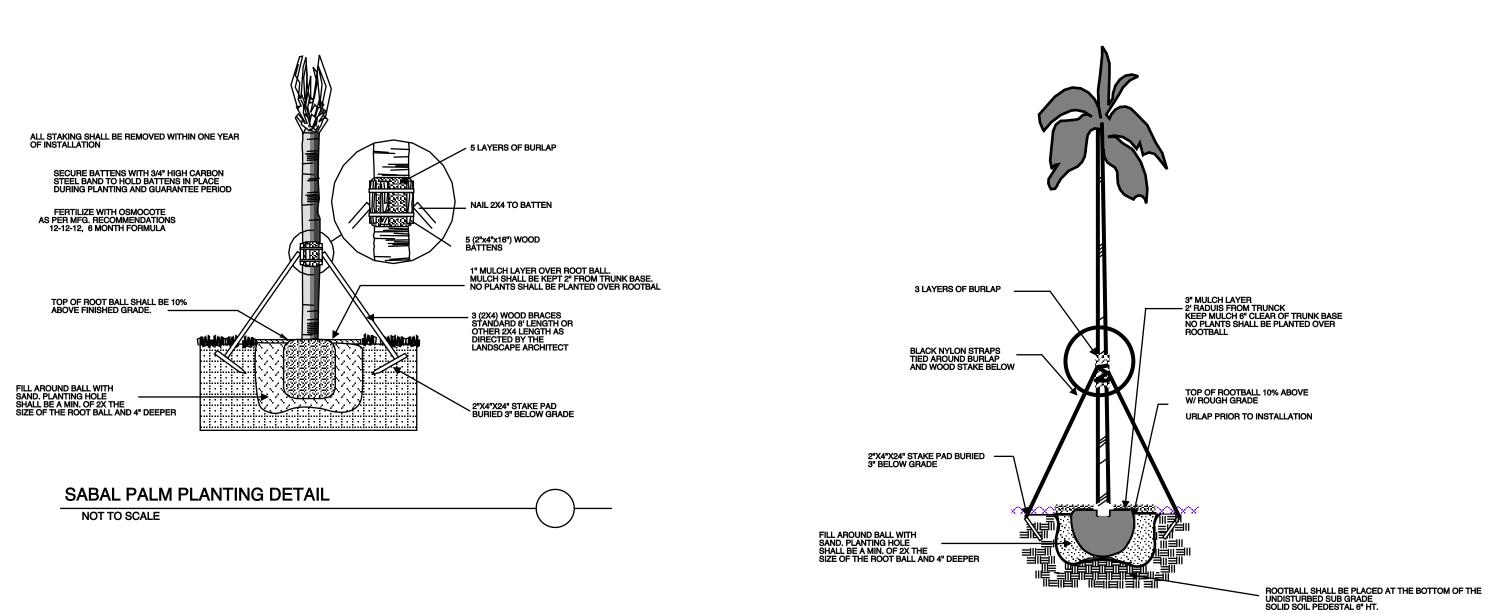
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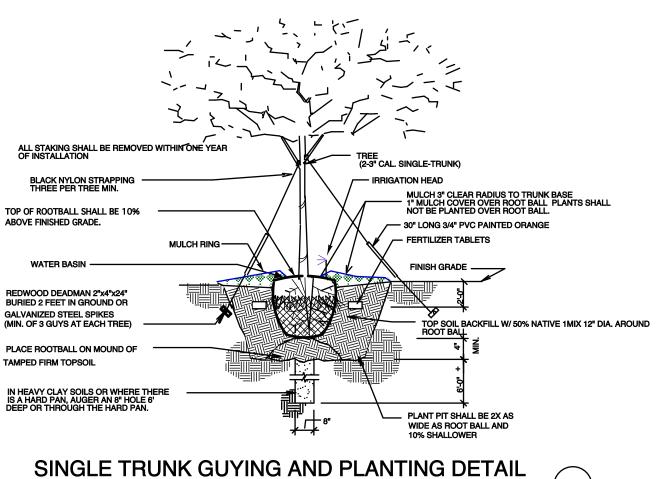
DATE DRAWN: 5-12-18

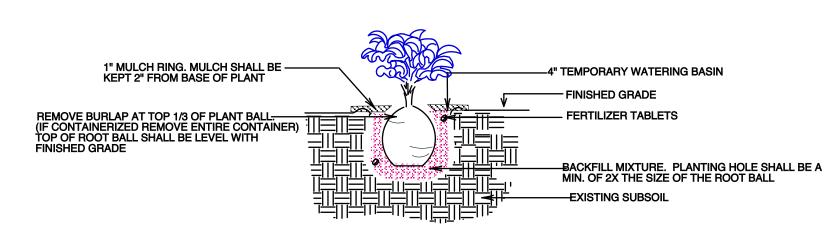
Know what's below. NORTHCall before you dig. SCALE: 1"=10'

SHEET NO.

of-2



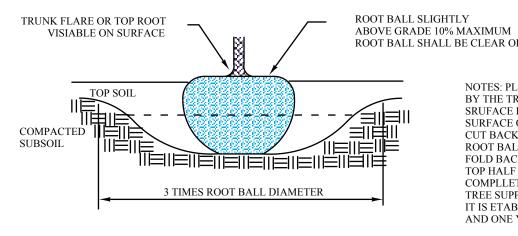




SHRUB PLANTING DETAIL

NOT TO SCALE

SOLITAIR PALM PLANTING DETAIL

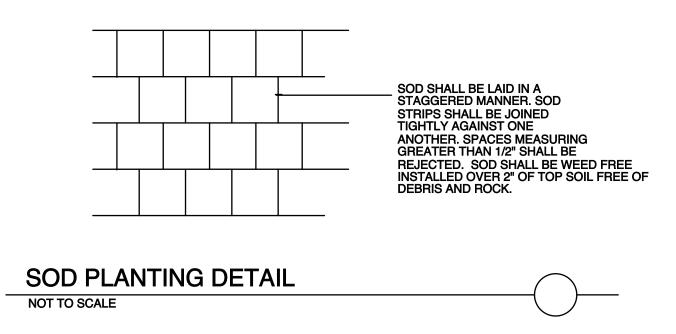


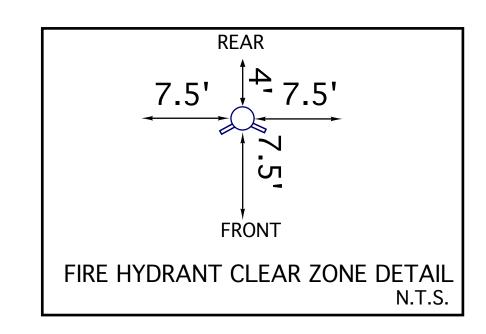
NOTES: PLANTING DEPTH WILL BE DETERMINED
BY THE TREE'S TRUNK FLARE OR THE TOP
SRUFACE ROOT WILL BE VISIBLE ON THE
SURFACE OF THE PLANTING.
CUT BACK WIRE BASKETS BELOW THE TOP HALF OF THE
ROOT BALL
FOLD BACK BURLAP COVERING MATERIALS BELOW THE
TOP HALF OF THE ROOT BALL.
COMPLLETELY REMOVE SYNTHETIC BURLAP COVERING MATERIALS
TREE SUPPORT MATERIALS SHALL BE REMOVED FROM EACH TREE ONCE
IT IS ETABLISHED. THIS IS TYPICALLY DONE AFTER SIX MONTHS FOR SHADE TREES
AND ONE YEAR FOR PALMS

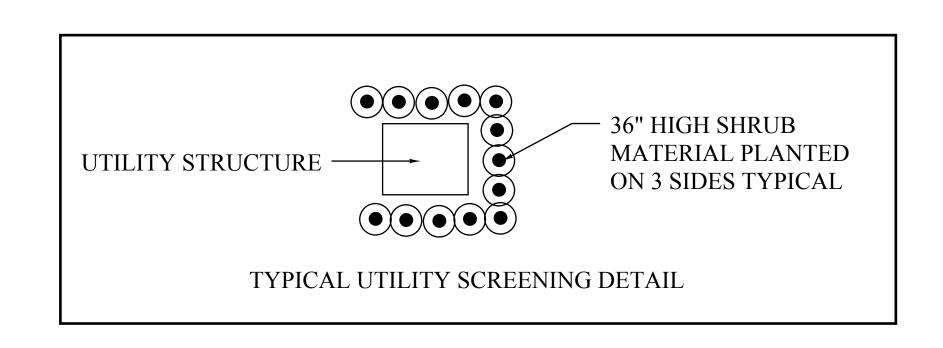
ROOT BALL DETAIL

NOT TO SCALE

NOT TO SCALE







GENERAL LANDSCAPE NOTES

- 1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WIL TAKE PRECEDENCE OVER THE PLANT LIST.
- 2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS". CURRENT EDITION RESPECTIVELY.
- 4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- 5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (I YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- 6. ALL SOD TO BE ST. AUGUSTIN FLORATAM SOLID, UNLESS OTHERWISE NOTED. SOD SHALL BE WEED AND PEST FREE. SOD SHALL BE LAID ON A SMOOTH SURFACE WITH TIGHT JOINTS CUT TO CONFORM TO PLANTERS AND CURBS.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF <u>EUCALYPTUS MULCH</u>, <u>FLORIMULCH</u>, <u>& SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE) MULCH TYPE SHALL BE FREE OF ARSENIC BY PRODUCTS</u>
- 8. ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
- 9. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS. TRANSPORTATION, WARRANTY, PEMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE PROVIDED BY OTHERS.
- 10. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- 11. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.

GROWN UNLESS OTHERWISE NOTED.

- 12. LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- 13. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY
- 14. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND
- 15. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- 16. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- 17. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TMES WHILE WORK IS IN PROGRESS.
- 18. THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- 19. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- 20. PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS), GAL. (GALLON CAN), 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD), HVY (INDICATED HEAVY), MIN (INDICATES MINIMUM)
- 21. SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- 22. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF NATURE" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- 23. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. NO PLANT MATERIAL SHALL BE ACCEPTED IF PLANTED TOO DEEP. ALL GUYS AND STAKING SHALL BE REMOVED WITHIN ONE YEAR AFTER FINAL INSPECTION OR ESTABLISHMENT.
- 24. DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST
- 25. COMMERCIAL FERTILIZER FOR TREES, SHURBS AND GROUND COVER COMMERCIAL FERTILIZER SHALL BE NUTRI PAK® 3 YR. TIME RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT- ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED NUTRI PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES EG. TREES, SHRUBS, FLOWERING PLANTS, POTTED PLANTS AND PALMS.

- NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES ON CENTER.
 PERENNIALS: PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS:
- TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION, TAP HOLE CLOSED WITH HEEL OF YOUR FOOT. SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD.
- GENERAL SLOW RELEASE FERTILIZERS WITH MICOR NUTRIENTS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS SUCH AS A 13-0-13
- LOW PHOSPHORUS SHALL MEAN 2% OR LESS.

 APPLICATION RATES SHALL BE ADHEARED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.
- 26. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRLAMIDE COLOLYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES IT'S WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:

 1 PAC PER TREE 36" BALL SIZE
- 2 PAC PER TREE –OVER 36" BALL SIZE 1 PAC PER 20 GAL. CONTAINER
- 0.5 PACS PER 7-10 GAL. CONTAINER 0.25 PACS PER 3 GAL. CONTAINER

CONTRACTOR IN A MANNER APPROVED BY THE OWNER

0.12 PACS PER 1GAL. CONTAINER

- 27. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE
- 28. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE. PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
- 29. IRRIGATION: AN AUTOMATIC RUST FREE UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED TO ENSURE 100% COVERAGE WITH 100% OVERLAP. CONTRACTOR SHALL PROVIDE A RAIN SENSOR AND ADJUST HEADS TO AVOID OVERSPRAY ONTO BUILDING WALLS, WALKS, UTILITIES, DRIVES ECT. CONTRACTOR SHALL PAINT ALL ABOVE GROUND RISERS FLAT BLACK.
- 30. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
- 31. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
- 32. MAINTENENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE.

 MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING
- 33. (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES) TIE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION

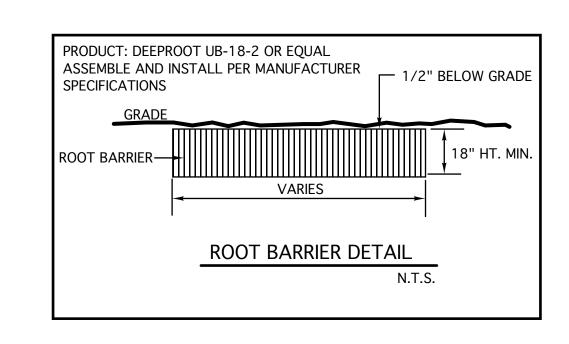
SAUCER AND ANY OTHER NECESSARY OPERATION, PROPER PROTECTION TO LAWN AREAS SHALL BE

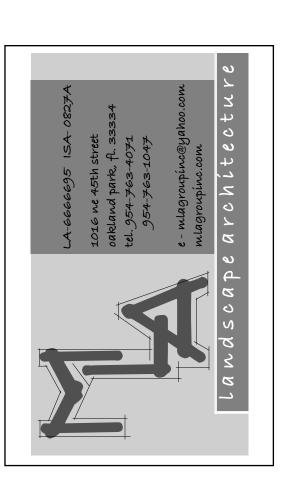
PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS. SHALL BE REPAIRED PROMPTLY

- 34. MULCH. MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL.
- 35. SOD. AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PLAMETTO AND SHALL BE IRRIGATED. ALL SOD SHALL HAVE A MIN. OF 2" OF TOPSOIL. SEE NOTE NO. 6 ABOVE.
- REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES, AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW THE TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL. A MIN 2" OF TOPSOIL SHALL BE
- INSTALLED BELOW ALL SODDED AREAS.

 37. A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSACPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
- 38. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBITT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
- MINIMUM SOIL DEPTH:
- REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
- ROOTBALL SOIL:
 REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
- NATIVE SOIL:
 REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS
- SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.

 ARID PLAMS:
- REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
- 39. USE OF ORGANIC MULCHES:
 A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL, AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
- 40. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
- 41. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS: ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS-OF WAY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITDA MAY BE USED FOR A HEDGE WITH A 5' SEPARATION FROM WATER LINES. FICUS HEDGES SHALL NOT BE PLANTED WITIN UTILITY EASEMENTS.
- 42. SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
- 43. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE No. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PROCEEDING IS ACHIEVED





REVISIONS:		

SHEET TITLE:

LANDSCAPE DETAILS AND SPECIFICATIONS

ROPOSED HOTEL DEVELOPMENT FOR: OCEAN PARK VIEW HOTEL

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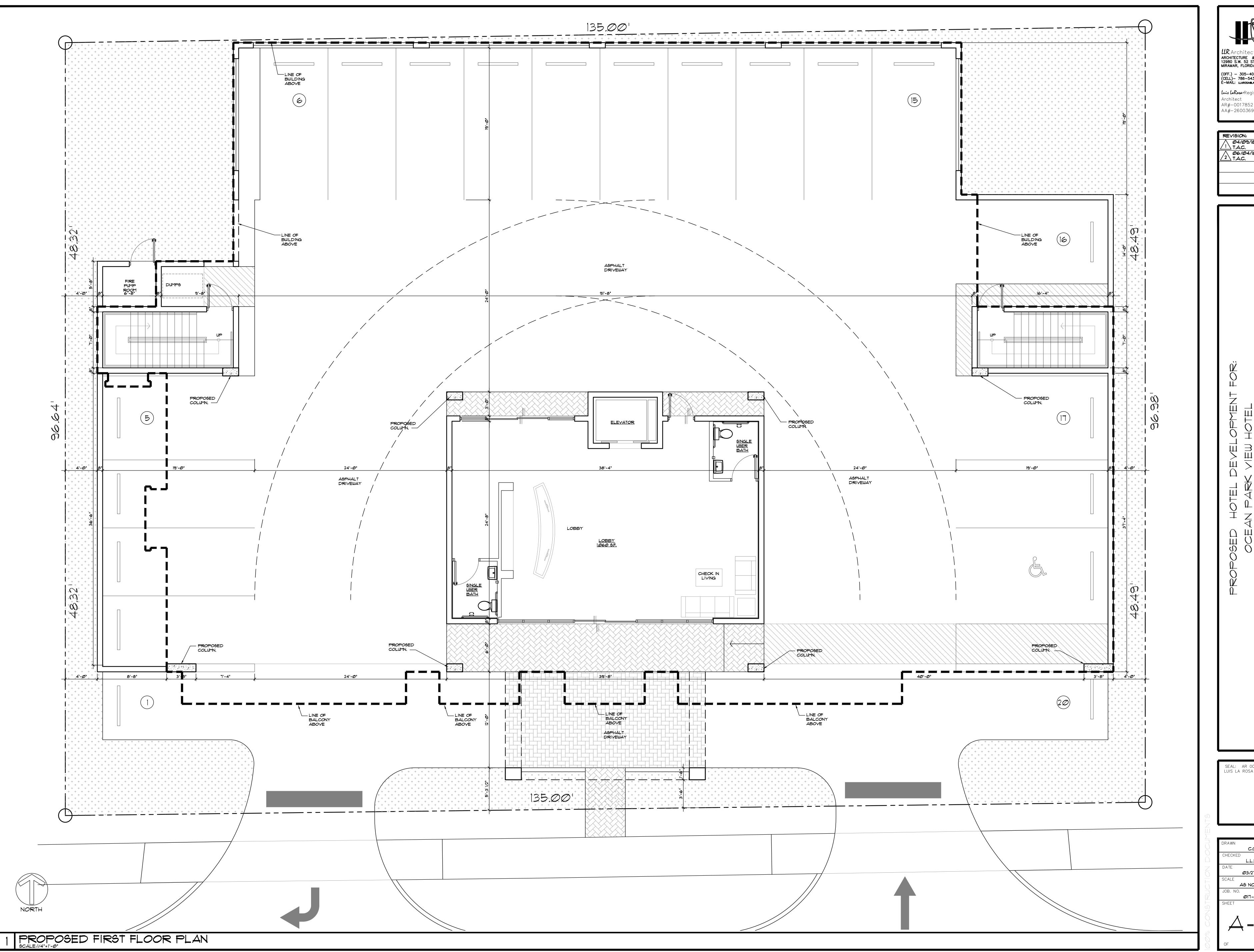
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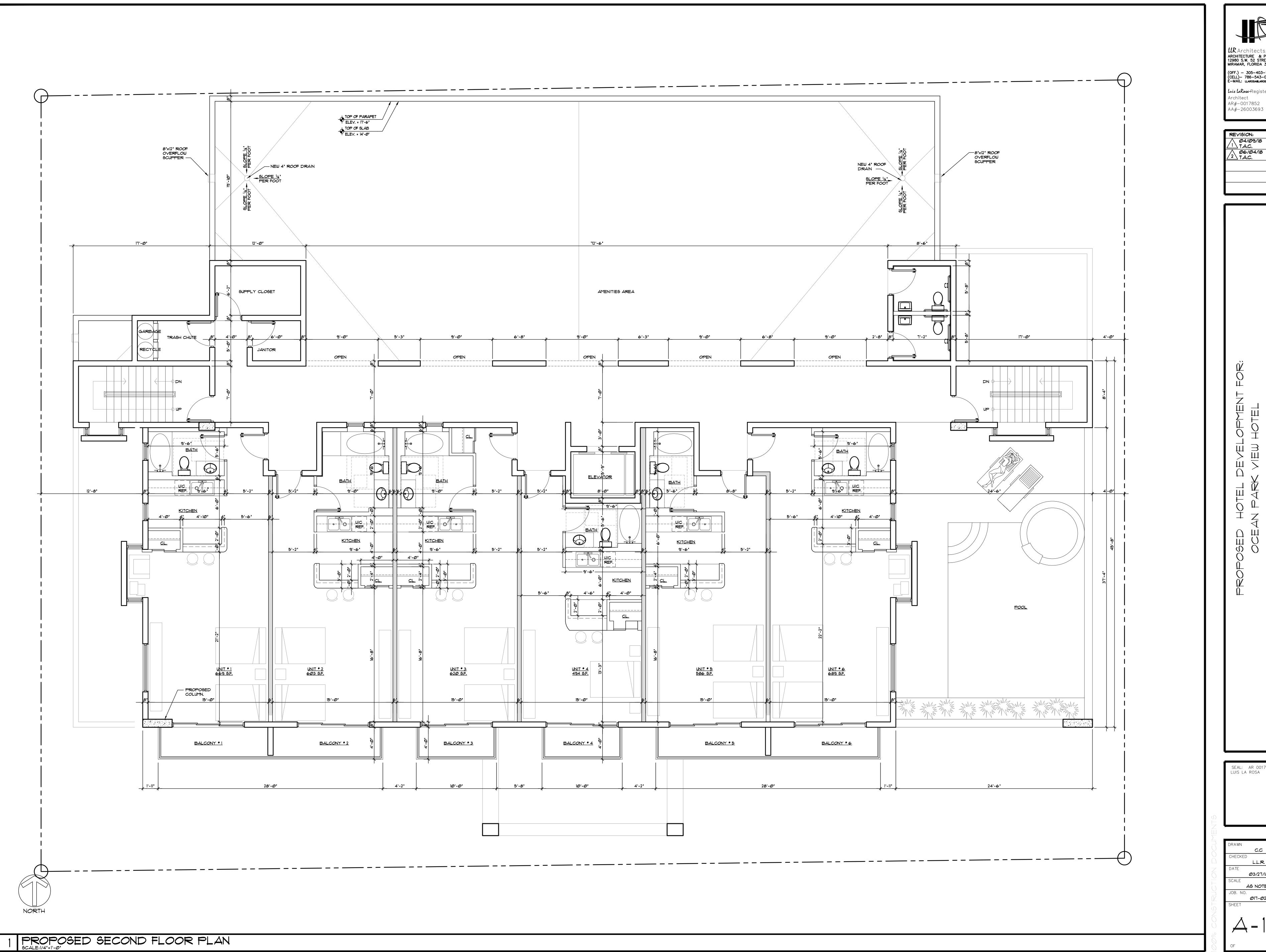
(OFF.) — 305—403—7926 (CELL)— 786—543—0851 E—MAIL: llarosaglarosaarchitectcts

Luis LaRosa-Registered AR#-0017852 AA#-26003693

04/09/18 1.A.C. 06/04/18 1.A.C.

SEAL: AR 0017852 LUIS LA ROSA

AS NOTED Ø17-Ø21



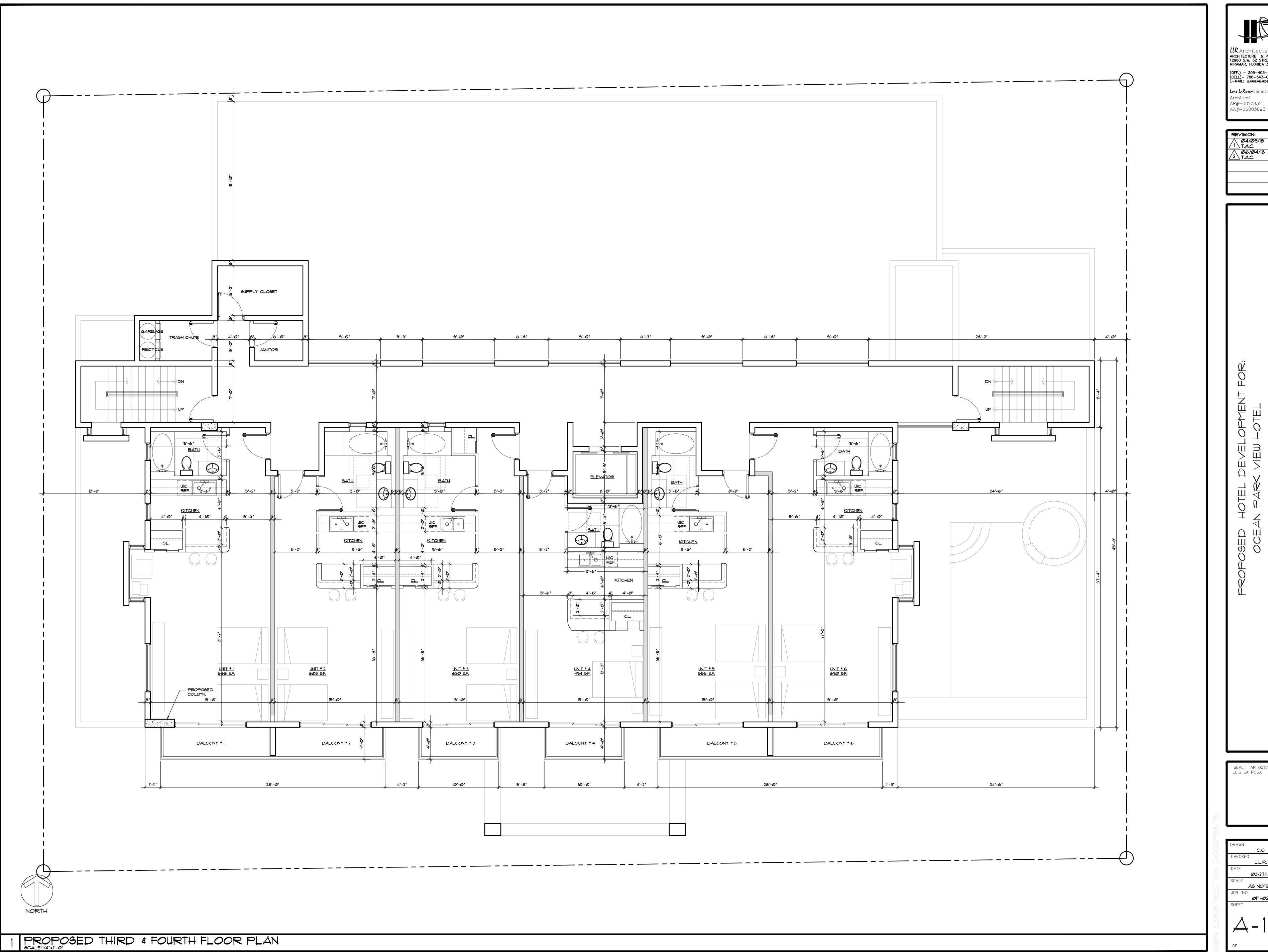
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04/09/18 T.A.C. 06/04/18 T.A.C.

SEAL: AR 0017852 LUIS LA ROSA

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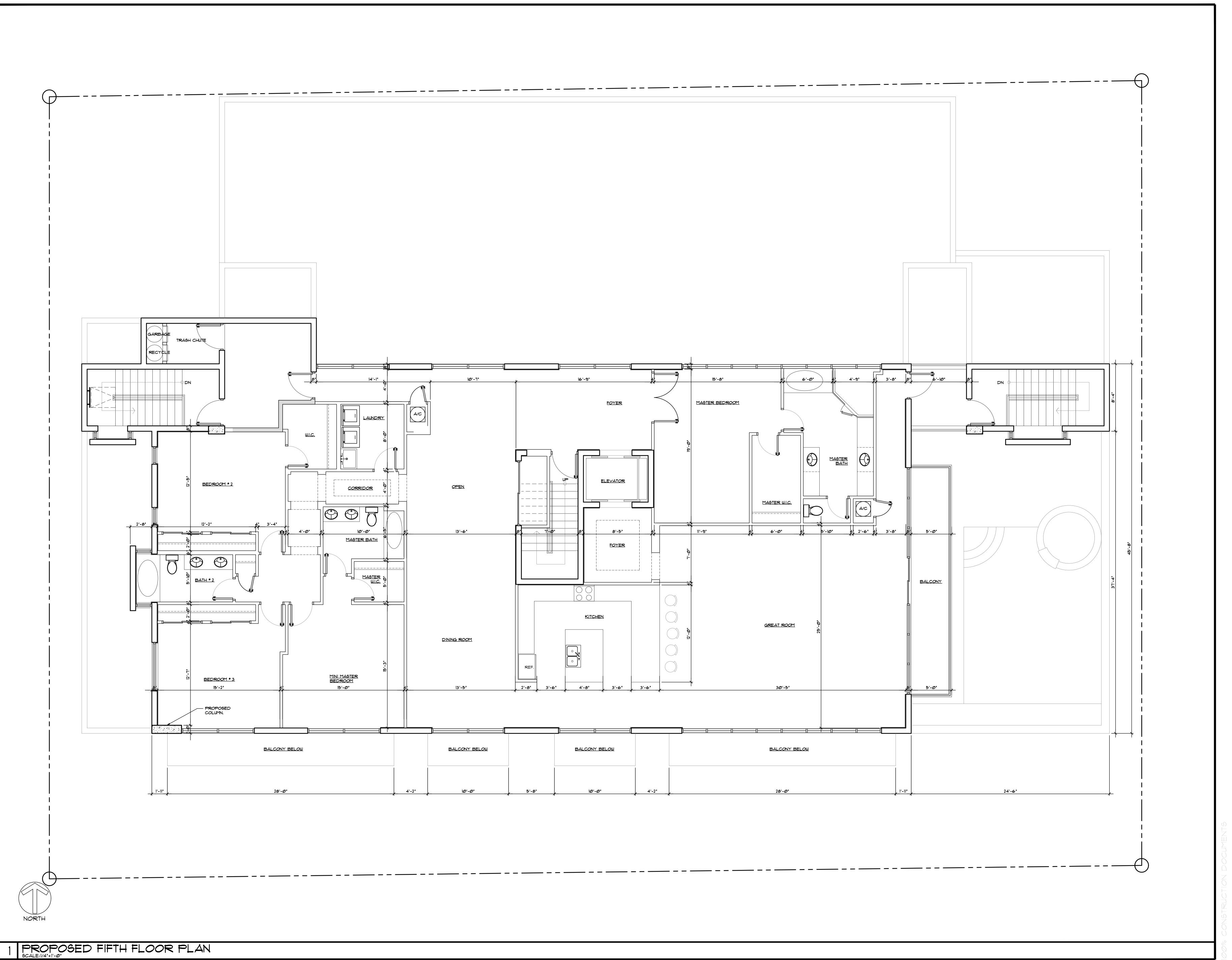
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04/09/18 T.A.C. 06/04/18 T.A.C.

AS NOTED





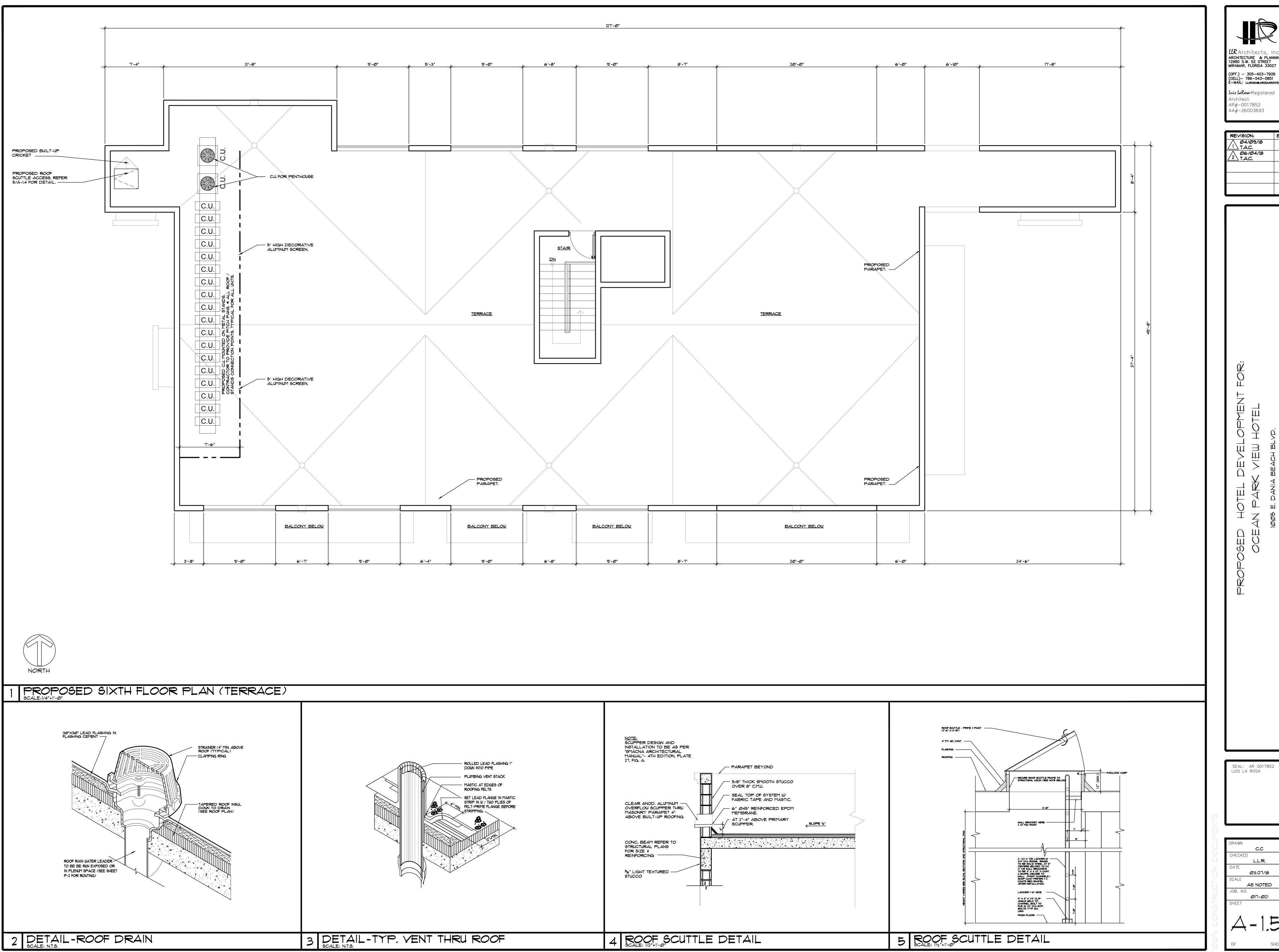
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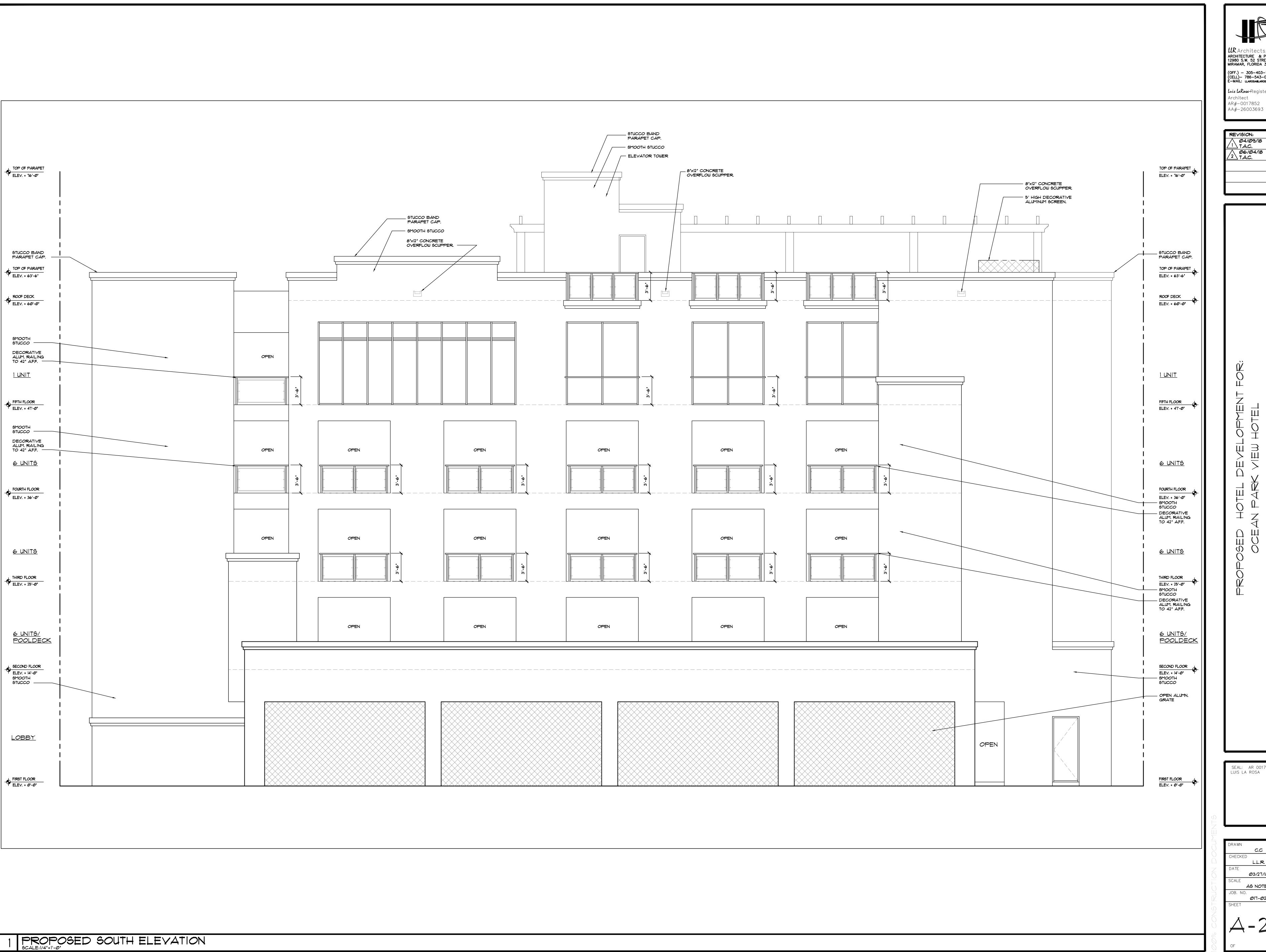


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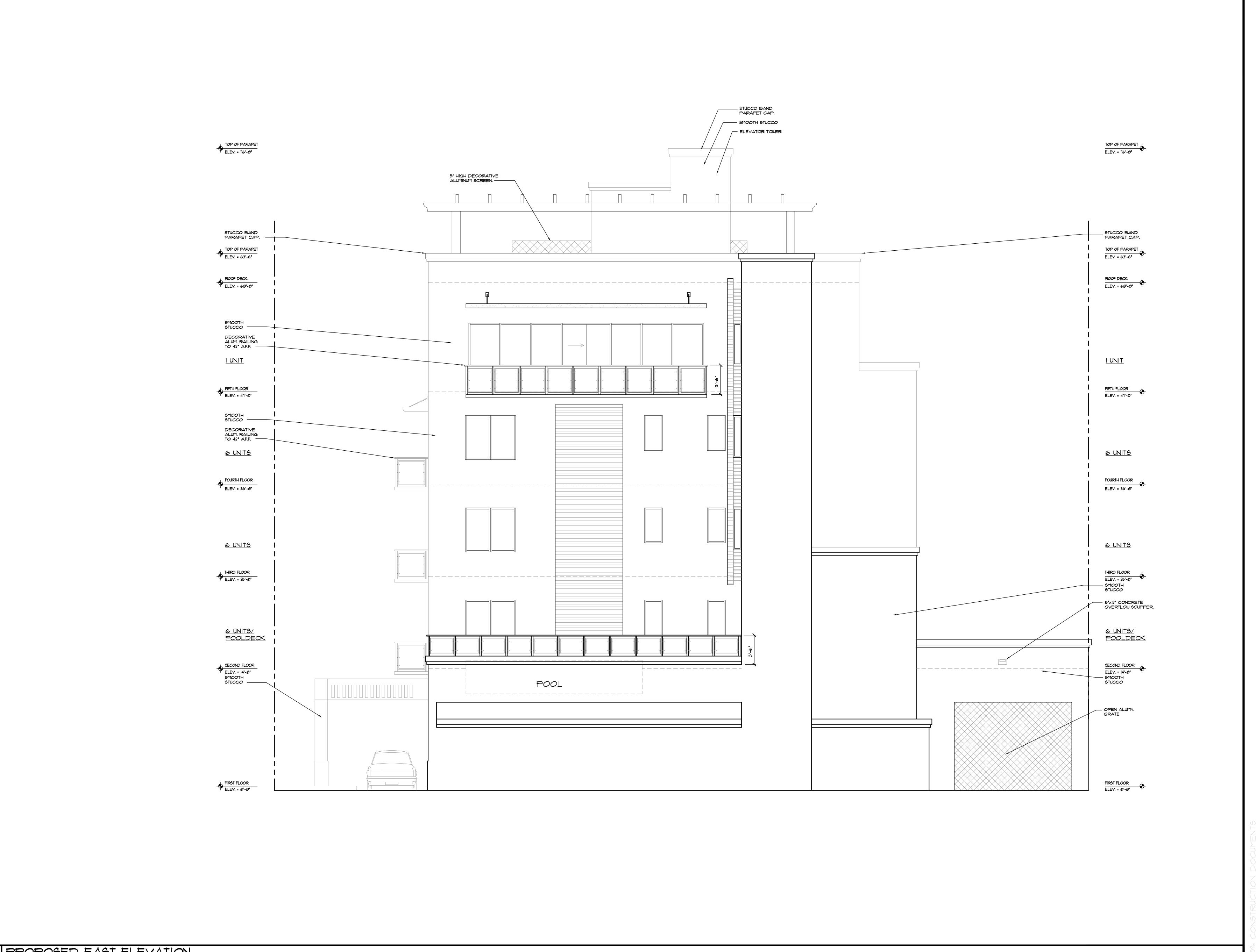


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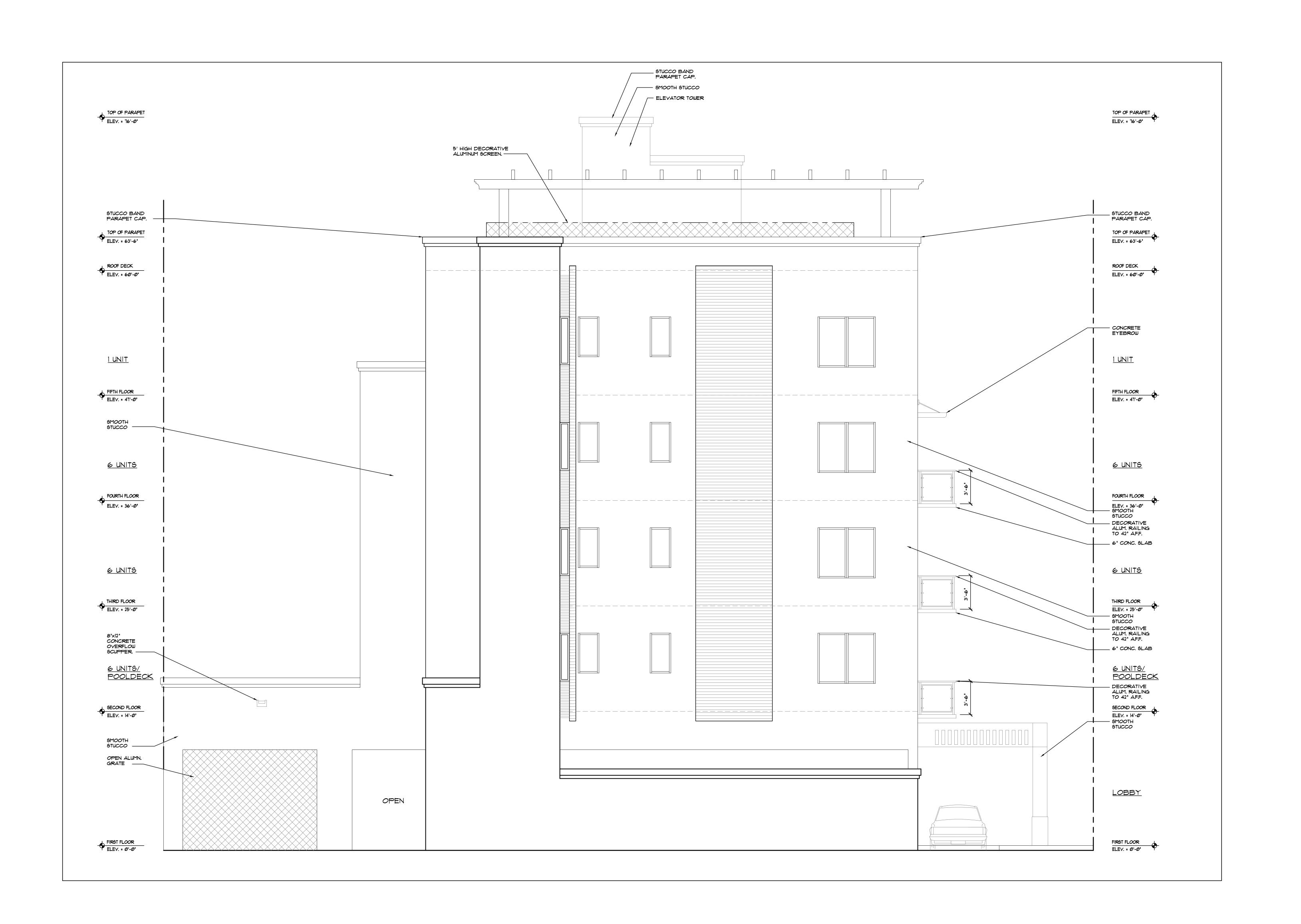




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LIR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL)- 786-543-0851
E-MAIL: LLAROSAGLAROSAARCHITECTCTS.COM

Lis LaRosa-Registered
Architect
AR#-0017852

AA#-26003693

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