

# ATTACHMENT A

## Application Package

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



### APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development Board

Date of Application: 01/27/2019

Location Address: 1005 E. DANIA BEACH BLVD. HOLLYWOOD, FL. 33004

Lot(s): 10 & 11 Block(s): 1 Subdivision: Hollywood Central Beach

Folio Number(s): 5042 35 01 0050

Zoning Classification: C-2 Land Use Classification: \_\_\_\_\_

Existing Property Use: VACANT LAND Sq Ft/Number of Units: 0

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): NO

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board  
☐ City Commission ☐ Planning and Development

Explanation of Request: \_\_\_\_\_

Number of units/rooms: 19 Sq Ft: \_\_\_\_\_

Value of Improvement: 1,250,000 Estimated Date of Completion: MARCH 2020

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: 1005 E DANIA BEACH BLVD LLC

Address of Property Owner: 2885 SANFORD AVE SW # 25343 GRANDVILLE MI 49418

Telephone: 305/680/2800 Fax: \_\_\_\_\_ Email Address: maribona1000@gmail.com

Name of Consultant/Representative/Tenant (circle one): Luis laRosa PA

Address: 12980 SW 52 Street Miramar, FL 33027 Telephone: 786-543-0851

Fax: \_\_\_\_\_ Email Address: llarosa@larosaarchitects.com

Date of Purchase: 10/02/2013 Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Luis LaRosa P.A.

Address: 12980 SW 52 Street Miramar, FL 33027

Email Address: llarosa@larosaarchitects.com

## PLANNING DIVISION



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

File No. (internal use only): \_\_\_\_\_

# GENERAL APPLICATION

### **CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_ Date: \_\_\_\_\_

**PRINT NAME:** Bernie Maribona, mgm. Date: 01/27/2019

Signature of Consultant/Representative: \_\_\_\_\_ Date: \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_ Date: \_\_\_\_\_

### **Current Owner Power of Attorney**

I am the current owner of the described real property and that I am aware of the nature and effect the request for \_\_\_\_\_ to my property, which is hereby made by me or I am hereby authorizing \_\_\_\_\_ to be my legal representative before the \_\_\_\_\_ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Signature of Current Owner

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Print Name

State of Florida

My Commission Expires: \_\_\_\_\_ (Check One) \_\_\_ Personally known to me; OR \_\_\_ Produced Identification \_\_\_\_\_



Luis La Rosa Architects, Inc.

January 27, 2019

1005 E Dania Beach  
Blvd. LLC. 2885  
Sanford Ave, SW  
#25343  
Grandville, MI 49418

**FILE NUMBER:** 18-DP-20

**SUBJECT:** Site Plan Review for a mixed-use development consisting of hotel and residential uses (Ocean Park View Hotel).

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#### SITE DATA

**Owner/Applicant:** 1005 E Dania Beach Blvd. LLC.  
**Address/Location:** 1005 E.. Dania Beach  
**Blvd. Gross Area of Property:** 24,172 sq. ft  
(0.55 acre) **Net Area of Property:** 13,069 sq. ft  
(0.30 acre) **Land Use:** General Business  
(GBUS)  
**Zoning:** Low/Medium Intensity Commercial District (C-2)  
**Existing Use of Land:** Vacant

#### ADJACENT LAND USE

**North:** Conservation (CONS)  
**South:** Conservation (CONS)  
**East:** Conservation (CONS)  
**West:** Conservation (CONS)

#### ADJACENT ZONING

**North:** Low/Medium Intensity Commercial District (C-2)  
**South:** Governmental Use (GU)  
**East:** Governmental Use (GU)  
**West:** Governmental Use (GU)

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**APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).**





Luis La Rosa Architects, Inc.

Dear Board Members,

It's with great pleasure we are presenting a 19 unit, 5-story, Hotel/residential building. This project was designed with the intention to enhance the property and the surrounding neighborhood.

1. Design Criteria:  
The architectural style for this 5-story, 24,000 SF multi-family residential building embodies a classic, but modern style. The use of stone at the façade as well as the large glass panels provide a contemporary look and feel as well as natural light on every floor.
2. Compatibility:  
Our project sits on an isolated piece of land West of the Intercoastal Waterway and East of the City of Dania Beach. It is surrounded by empty marsh land. Thus, it's a rare opportunity stand out along the Dania Beach Blvd. thoroughfare.
3. Landscaping:  
The landscaping has been integrated with the building design to emphasize the architectural features and help screen the parking areas from the street.
4. Site Massing: The 5-story project enhances its surrounding by placing the long side of the building along the street edge. Several wood type elements have been introduced to contrast the concrete and glazing. The stairs are features that are well massed to support the design.

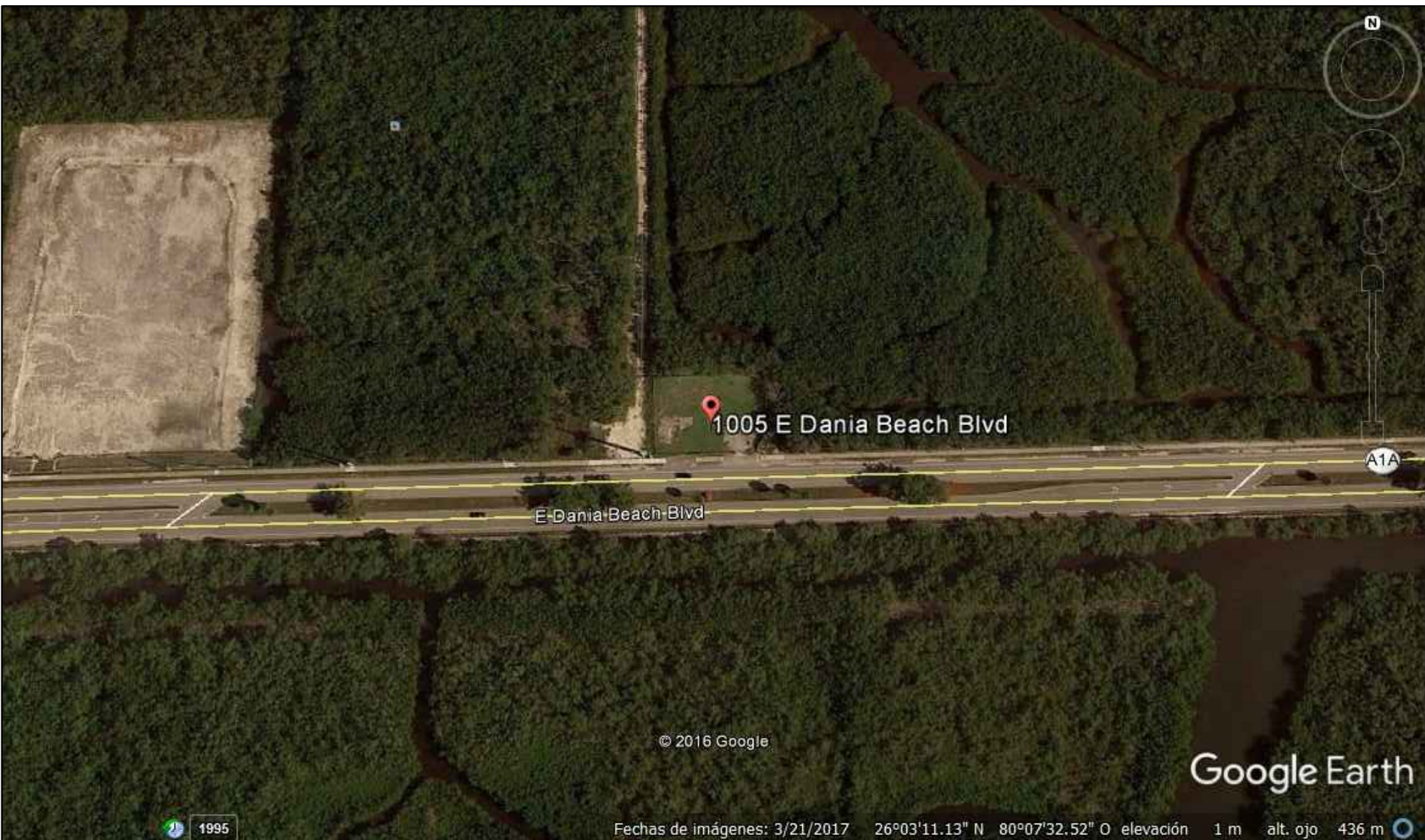
Thank you for your time and consideration,

Sincerely,

Luis La Rosa  
Registered Architect  
AR#0017852



PROPOSED HOTEL DEVELOPMENT FOR:  
OCEAN PARK VIEW HOTEL  
1005 E. DANIA BEACH BLVD.  
HOLLYWOOD, FLORIDA.



LOCATION MAP  
JOB ADDRESS : 1005 E. DANIA BEACH BLVD.



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SUBMITTAL DATE: 06/04/2018
MEETING DATE: 06/18/2018



**LLR Architects, Inc.**  
ARCHITECTURE & PLANNING  
12980 S.W. 52 STREET  
MIRAMAR, FLORIDA 33027

(OFF.) – 305-403-7926  
(CELL)– 786-543-0851  
E-MAIL: LLAROSA@LAROSAARCHITECTCTS.COM

**Luis LaRosa**-Registered Architect  
AR#-0017852  
AA#-26003693

AYLWARD ENGINEERING  
CIVIL ENGINEERING

3222 RIDGE TRACE  
DAVIE,FLORIDA 33328

(O)– 954-424-5852  
E-MAIL: AYLWARDENGINEER@GMAIL.COM

MLA GROUP  
SCOTT MC CLURE RLA  
LANDSCAPE ARCHITECTURE

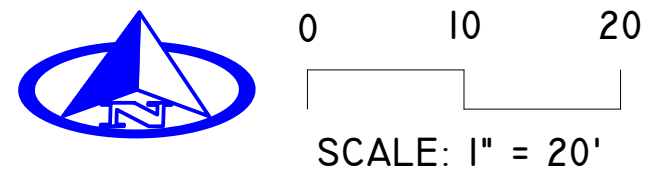
1016 NE 45TH STREET  
OAKLAND, FLORIDA 33334

(O)– 954-763-7041  
E-MAIL: MLAGROUPINC@YAHOO.COM



# A.L.T.A. / N.S.P.S LAND TITLE SURVEY

A PARCEL OF LAND LYING AND BEING IN SECTION 35,  
TOWNSHIP 50 SOUTH, RANGE 42 EAST, CITY OF HOLLYWOOD,  
BROWARD COUNTY, FLORIDA



SUBJECT  
PROPERTY



LOCATION MAP  
-NOT TO SCALE-

#### AREA TABULATION:

GROSS LOT AREA OF SUBJECT PARCEL: +/- 24, 174.55 Sq Ft (+/- 0.555 ACRES)

NET LOT AREA OF SUBJECT PARCEL: +/- 13, 068.10 Sq Ft (+/- 0.300 ACRES)

#### ZONING DESCRIPTION: (PER: [HTTPS://WWW.HOLLYWOODFL.ORG/DOCUMENTCENTER/VIEW/1232](https://www.hollywoodfl.org/documentcenter/view/1232))

#### C-2 LOW/MEDIUM INTENSITY COMMERCIAL DISTRICT

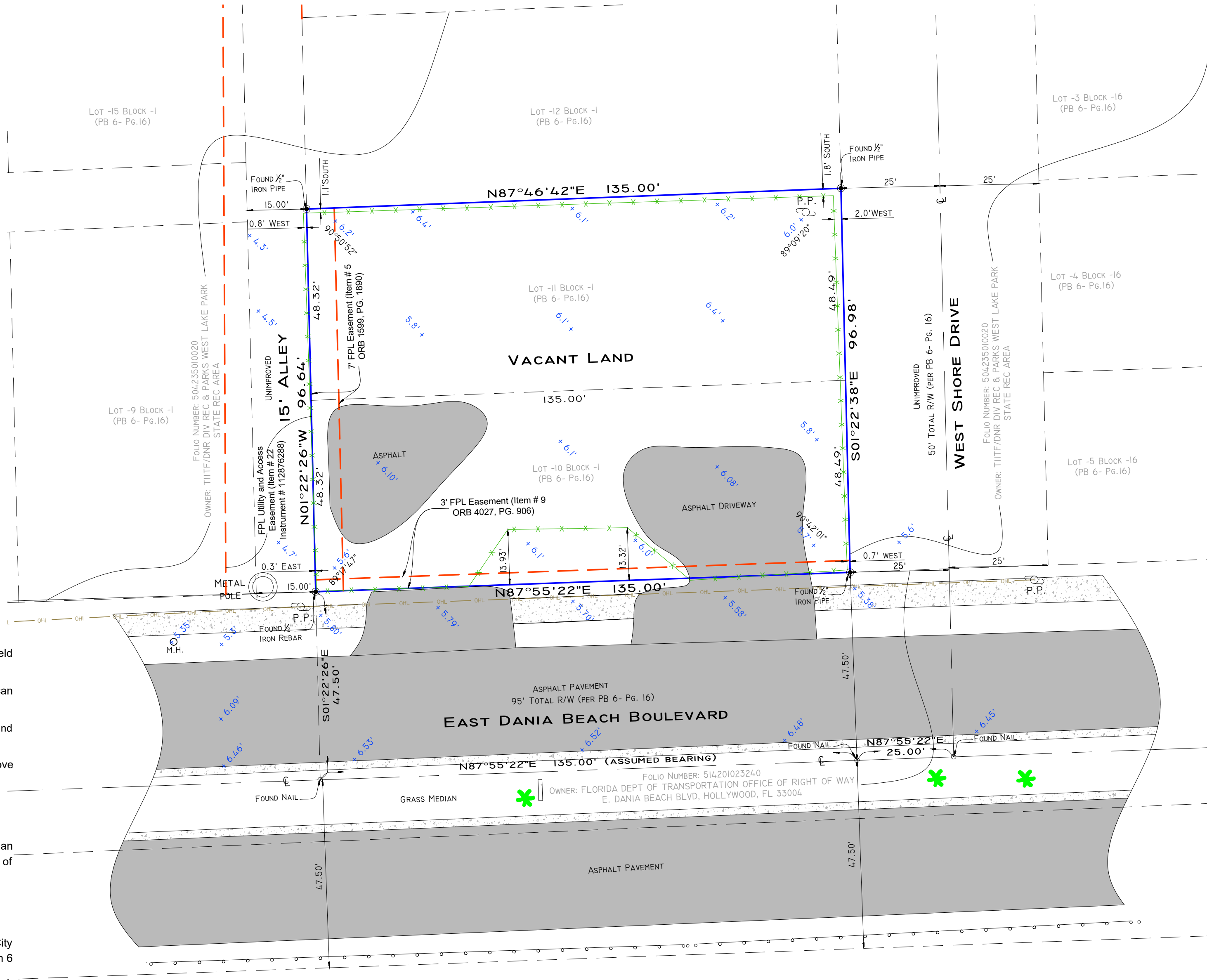
- This Boundary Survey has been made on the ground on March 28th, 2018 under my supervision and direction employing adequate instrumentation and survey personnel. Proper survey principles, field procedures and techniques were applied while conducting this survey. Field findings results and its relationship to instruments of record investigated are represented herein.
- This map of a Boundary Survey has been prepared in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) effective February 23, 2016.
- This survey accurately depicts all the relevant survey-related matters that affect this Subject Property and accurately shows the shape, size and nature of existing aboveground improvements, all aboveground utilities and the evidence that may indicate utilities located on, over or beneath the surveyed property. Only aboveground improvements Underground utilities and footings have not been located.
- Except as shown herein there are no other visible easements, right of ways and servitudes of which the undersigned has knowledge of that might affect these lands and there are no other observable above ground potential encroachments by the improvements on this property upon adjoining parcels, streets, easements or right of ways.
- At the time of this survey these lands are Vacant.
- There is no observable evidence of site usage as solid waste dump, swamp and/or sanitary landfill on this lot and/or on the immediately adjoining parcels.
- This property has access to and from duly dedicated and accepted public Right of Way: East Dania Beach Boulevard on the South. This property is adjacent to West Shore Drive (per Plat) on the East an improved road and a platted 15 feet wide improved alley on the West. There are no gaps, gores or overlaps between this parcel and said road right of ways. The authority having jurisdiction over these right of ways was not determined at the time of this survey. The undersigned has no knowledge of proposed name changes for these roads.
- No evidence of recent earth moving work, building construction or additions have been observed in the process of conducting the field work.
- The subject property is not designated as a wetland in the National Wetlands Inventory (U.S. Fish and Wildlife) and no wetland field designations were present at the time of the survey
- FLOOD PLAIN INFORMATION:** According to current FEMA (Federal Emergency Management Agency) records and as scaled per the Federal Insurance Rate Map (FIRM) of Community number 125113 (City of Hollywood), Panel 0567, Suffix H, Map index date and map revised date of August 18th, 2014 the building located on this subject parcel falls in an area designated as Zone "AE" with Base Flood Elevation 6 feet (NAVD 1988). Zone "AE", is a Special Flood Hazard Area (SFHA). SFHA are defined as the area that will be inundated by the flood event having a 1-percent chance of being equaled or exceeded in any given year. The 1-percent annual chance flood is also referred to as the base flood or 100-year flood. These are designations obtained directly from FEMA - the undersigned assumes no responsibility for any flooding occurrence in this area.
- VERTICAL CONTROL AND VERTICAL ACCURACY:** The elevations as shown are referred to the North American Vertical Datum of 1988 (NAVD 1988). Official Broward County Single Average Conversion Factor (ACF) from NGVD 1929 to NAVD 1988 datum is (-) 1.51 feet or (minus 1.51 feet). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:

Bench Mark # 1: Broward County Engineering Department Bench Mark 1279, Elevation =6.970 feet (NGVD29)  
Description/Location: "x" cut in center of west bullnose at 1005 East Dania Beach Boulevard turnaround, approximately 1 mile East of Federal Highway.  
Bench Mark # 2: Broward County Engineering Department Bench Mark 1281,  
Elevation = 7.650 feet (NGVD29)  
Description/Location: Florida D.O.T. Station #8671b19, center of North Walkway on East side, of intracoastal bridge on East Dania Beach Boulevard.

- HORIZONTAL ACCURACY:** This survey has achieved accuracy results comparable to those outlined in the "Minimum Angle, Distance and Closure Requirements for Survey Measurements which Control Land Boundaries for ALTA/NSPS Land Title" and the accuracy obtained by field measurements and office calculations meets and exceeds the minimum horizontal feature accuracy (linear) for a High Risk Commercial being equal to 1 foot in 10, 000 feet.
- This survey meets and exceeds the Standards of Practice as set forth by the Board of Land Surveyors and Mappers, in the applicable provisions of Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. As defined in Section 5J-17.050 this survey is a Boundary and Topographic Survey.
- This survey map and the copies thereof, are not valid without the original signature and raised seal of the undersigning Florida Licensed Land Surveyor & Mapper. Additions or deletions to this survey map are prohibited.
- The intended plotting scale for this survey map is 1": 20'. Vertical and horizontal data are expressed in U.S. Survey Foot.
- References to "Deed", "Record" or "Plat" pertain to documents and instruments of record as part of the pertinent information used for this survey work. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor or are not reflected on the Title Commitment provided. The instruments of record investigated in the preparation of this survey are recorded in the Public Records of Miami-Dade County, unless otherwise shown.
- Measured distances, directions and angles along boundary lines are in consistency with corresponding values from records, unless otherwise shown.
- North arrow direction is based on an assumed Meridian. The bearing structure depicted herein and based on the assumed bearing of N87°55'22"E along a line being coincident with the center line of the platted the Right of Way of East Dania Beach Boulevard. This line is noted on the survey as BR (Bearing Reference).
- Fence ownership has not been determined. Distances from existing fences to boundary lines are approximate. Fence/walls width and conditions must be considered to determine true location.
- The property described on this survey and surveyed on the ground is the same property described on Exhibit "A" of Commitment for Title Insurance (the Title Commitment) issued by Old Republic National Title Insurance Company, Policy No. OF6-8171310, Agent's File Reference No. 1509.13001, Date of Policy: October 8th, 2013 at 11:48 A. The legal description of this property forms a mathematically closed geometric figure. Distances and directions along the boundary lines as reestablished based on the horizontal position of survey monuments and control points recovered/traversed during the field work are in consistency with distances and directions from records, as platted. - After examination of the Schedule B-II Exceptions listed on said commitment, no survey related exceptions were found.

#### LEGAL DESCRIPTION OF SUBJECT PARCEL:

LOTS 10 AND 11, BLOCK I, HOLLYWOOD CENTRAL BEACH BUSINESS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



As part of the preparation of this Survey the undersigned examined an Owners and Encumbrance Report prepared by Fidelity National Title Insurance Company dated July 20th, 2018 and we determined that these lands are subject to the items listed on said Owners and Encumbrance Report as follows:

- Item # 1, refers to Termination of Easement granted before October 1, 1953. This Owner and Encumbrance report does not contain any easement recorded prior to that date. Therefore this Termination of Easement does not affect these lands.
- Items # 2, 3, 4, 6, 7, 8, 9, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 24, 25, 26, 27, 28, and 29 are not survey matter.
- Items # 5, 10, and 23 are survey matter and are plotted on this survey.

#### CERTIFICATION

This is to certify to:  
1005 E Dania Beach Boulevard, LLC;  
That this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Optional Items 1, 2, 3, 4, 5 (Spot elevations Shown on Survey), 6 (as per current City of Hollywood Zoning Map), 8, 11 (utilities by observed aboveground visible evidence), 13, 14, 16, 18 and 19 of Table A thereof.

Date of Plat or Map: March 28th, 2018

Completion Date: March 30th, 2018

Survey Updated and Revised: 08/06/2018

Odalys C. Bello-Iznaga  
Professional Surveyor & Mapper # 6169  
State of Florida

ADDITIONS AND DELETIONS TO THIS SURVEY MAP ARE PROHIBITED. THIS SURVEY MAP AND REPORT ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR WITHOUT THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF THE UNDERSIGNING FLORIDA LICENSED SURVEYOR AND MAPPER.

#### PROPERTY ADDRESS:

1005 EAST DANIA BEACH BOULEVARD, HOLLYWOOD,  
FLORIDA 33004

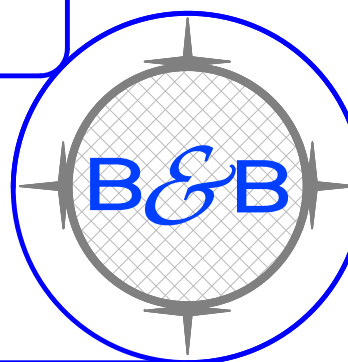
PROJECT NO. 18287

#### LEGEND & ABBREVIATIONS

	= CONCRETE (CONC.)
	= CONCRETE BLOCK WALL
	= WOOD DECK
	= COVERED AREA
	= ASPHALT
	= TILE
	= PAVERS
	= STONE
	= CHAIN LINK FENCE (CLF)
	= WOOD FENCE (WF)
	= IRON METAL BARS FENCE (IF)
	= OVERHEAD WIRES
	= WATER VALVE (WV)
	= POWER POLE (PP)
	= GUY ANCHOR
	= WATER METER (WM)
	= CONC. LIGHT POLE (LP)
	= WELL
	= STREET SIGN
	= SANITARY MANHOLE
	= DRAINAGE MANHOLE
	= MANHOLE
	= FIRE HYDRANT
	= CABLE BOX (CATV)
	= FPL TRANSFORMER
	= CATCH BASIN OR INLET
	= EXISTING ELEVATION
	= PERMANENT REFERENCE MONUMENT (PRM)
	= PROPERTY CORNER
	= PERMANENT CONTROL POINT (PCP)
	= POINT OF TANGENCY
	= POINT OF CURVATURE
	= POINT OF COMPOUND CURVE
	= POINT OF REVERSE CURVE
	= BENCH MARK
	= BEARING REFERENCE
	= TEMPORARY BENCH MARK
	= PROPERTY LINE
	= CENTER LINE
	= MONUMENT LINE
	= CALCULATED
	= FIELD MEASURED
	= PER PLAT
	= PROFESSIONAL SURVEYOR AND MAPPER
	= AIR CONDITIONER PAD
	= ENCROACHMENT
	= FINISHED FLOOR ELEVATION
	= PLAT BOOK
	= OFFICIAL RECORD BOOK
	= CONCRETE BLOCK STRUCTURE
	= RIGHT OF WAY
	= ELEVATION
	= SECTION
	= TOWNSHIP
	= RANGE

BELLO & BELLO LAND SURVEYING

12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186  
LB#7262 • PHONE: 305.251.9606 • FAX: 305.251.6057  
E-MAIL: INFO@BELLAND.COM • WWW.BELLANDSURVEYING.COM





EXFILTRATION TRENCH CALCULATION:  
INPUTS:  
PERCOLATION RATE (K) 1.10E-5  
WIDTH (W) 4.0 FEET  
DEPTH TO WT (H2) 4.5 FEET  
UNSATURATED TRENCH (DU) 2.0 FEET  
SATURATED TRENCH (DS) 3.0 FEET  
WATER TABLE ELEVATION (WT) 2.4' NAVD

RUNOFF INPUTS:  
VOLUME TO BE TREATED: 20 ACRES

WATER & SEWER DEMAND  
18 UNITS X 250 GPD/UNIT = 4,500 GPD

FIRE NOTES:  
1) UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS 1, II OR V LICENSE AS PER F.S. 633.102

2) FIRE PUMP REQUIREMENTS TO BE DETERMINED ONCE NEW FIRE LINE IS INSTALLED AND TESTED.

3) PER NFPA 1, 12.3.2, A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.

FIRE FLOW CALCULATION:  
CODE: F.F.C. 2017 EDITION & NFPA 220

BUILDING TYPE: - 1  
TOTAL AREA: 15,286 SF.  
TYPE OF OCCUPANCY: APARTMENT BUILDING  
AS PER SECTION 18.4.5.2 FOR NON-ONE & TWO-FAMILY DWELLING

TABLE 18.4.5.12- 0-22,000 SF.: 1,500 GPM FOR A DURATION OF 2 HOURS  
A REDUCTION OF 15% SHALL BE PERMITTED TO BE APPLIED  
MIN. FLOW: 1,000 GPM STANDARD SPRINKLERS OR 600 GPM QUICK RESPONSE

1,500 GPM X .25 = 375 GPM (USE MINIMUM FOR QUICK RESPONSE- 600 GPM @20 PSI)

FLOW TEST RESULTS: NO FLOW TEST AVAILABLE. NEW FIRE LINE TO BE PROVIDED. FLOW TEST TO BE OBTAINED UPON INSTALLATION OF NEW LINE.

STATIC =  
RESIDUAL =

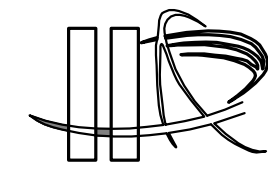
TOTAL FLOW = 1,060 + 920 GPM = 1,980 GPM

(AT 46 PSI FIRE FLOW IS SUFFICIENT TO COVER THE NEED OF 600 GPM @20 PSI)

LEGEND: (note all values are NAVD88)

XX DENOTES EXISTING GRADE

(6.1) DENOTES PROPOSED GRADE



LLR Architects, Inc.  
ARCHITECTURE & PLANNING  
12880 S.W. 52 STREET  
MIAMI, FLORIDA 33027

OFFICE: 305-403-7185  
CELL: 786-543-0811  
E-MAIL: LLR@LLRARCHITECTS.COM  
LLR is a LEED-Registered Architect  
ARB#-0017852  
AA#-26003693

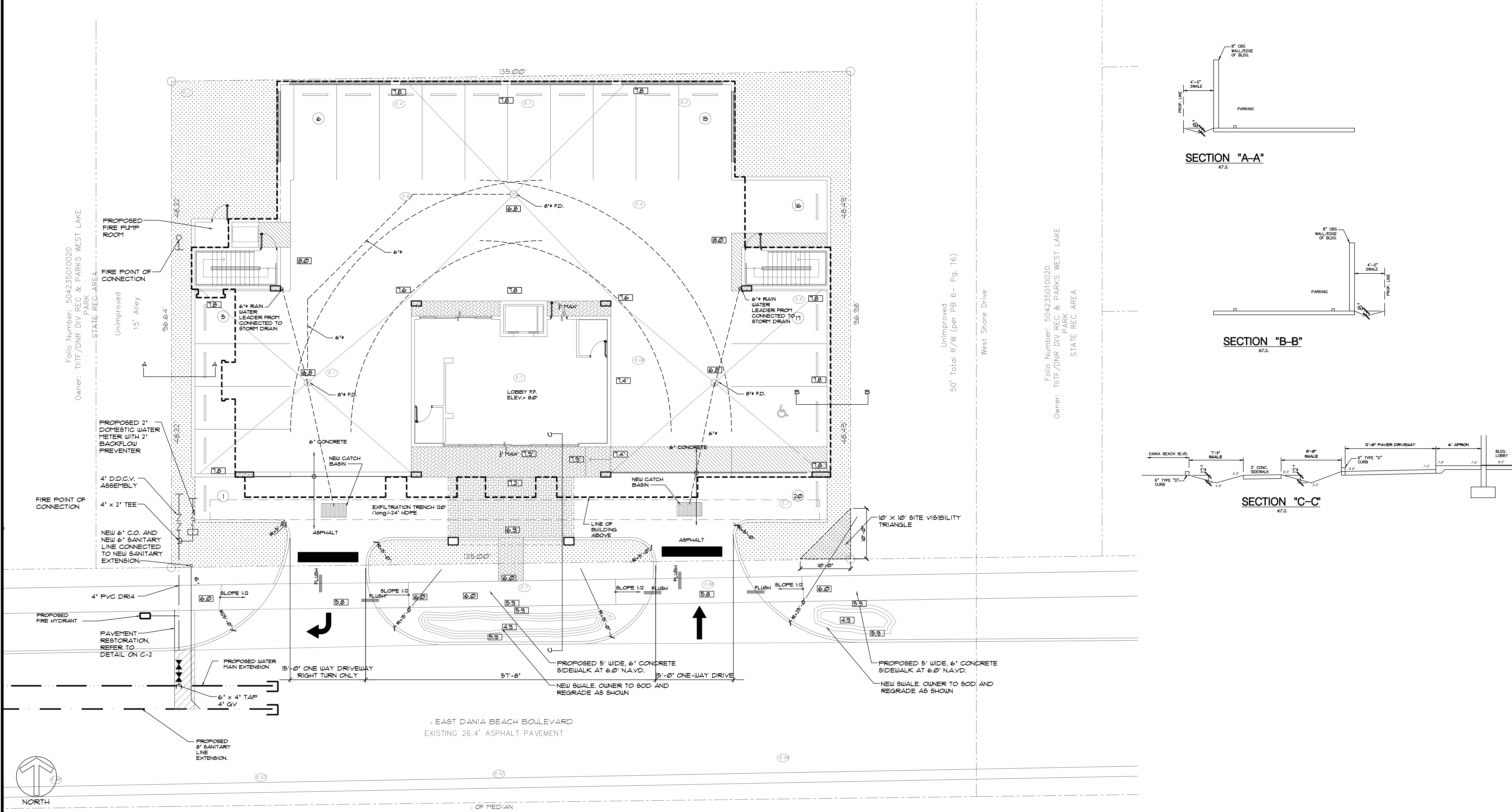
REVISION:	BY:
04/03/18 T.A.C.	CC
06/04/18 T.A.C.	CC

PROPOSED HOTEL DEVELOPMENT FOR:  
OCEAN PARK VIEW HOTEL  
1005 E. DANIA BEACH BLVD.  
HOLLYWOOD, FLORIDA

SEAL: AR 0017852  
LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	071-021
SHEET	

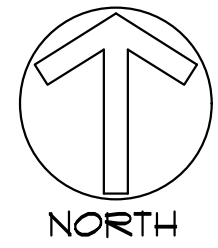
C-1.1  
OF SHEETS











PROPOSED AREA  
OF WORK 1005 EAST  
DANIA BEACH  
BLVD.  
HOLLYWOOD, FL.

## 1 LOCATION PLAN

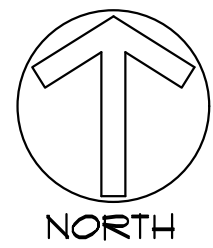
SCALE: N.T.S.

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017-EDITION, ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL.
2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

## 2 GENERAL NOTES

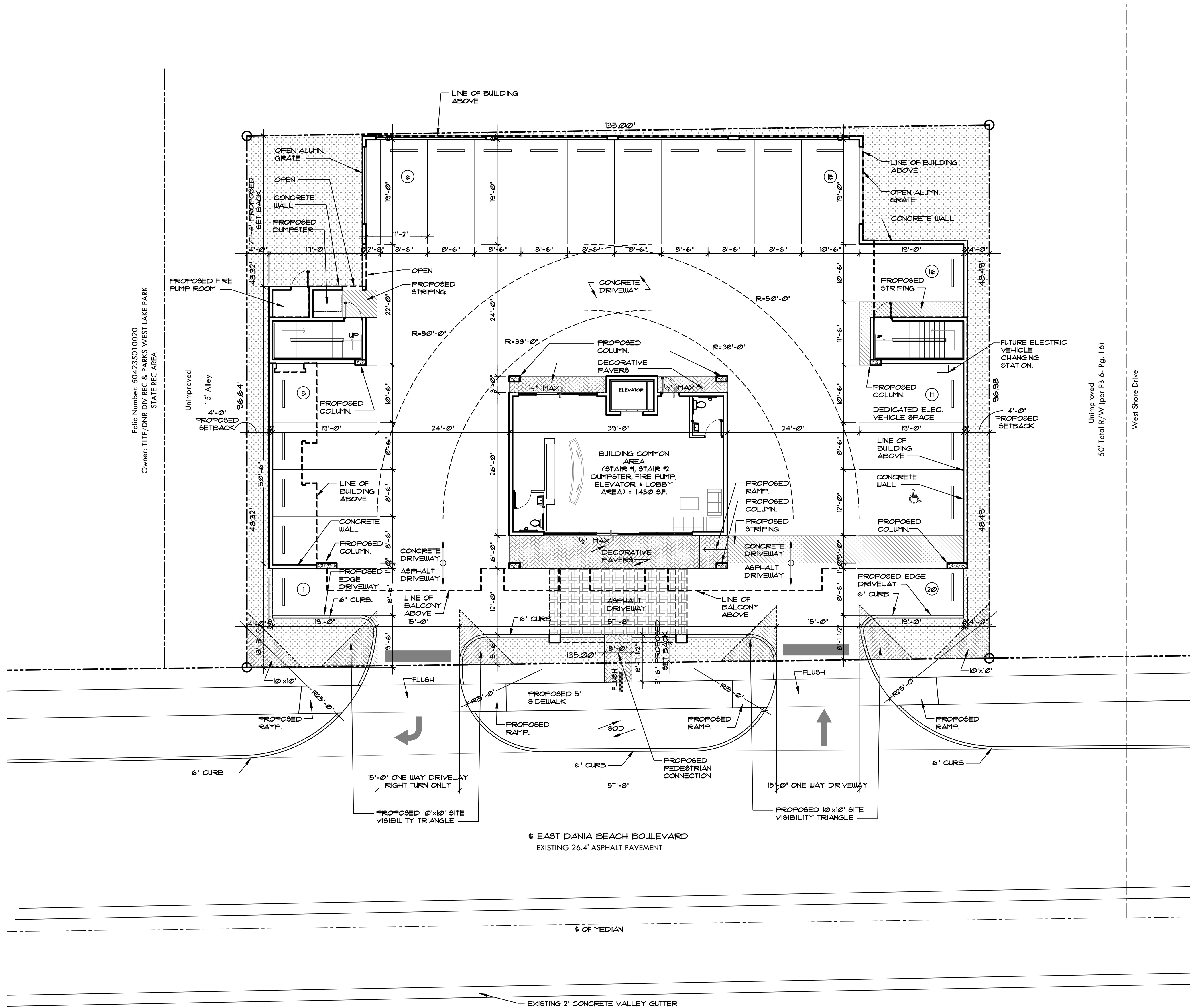
LOTS 10 AND 11, BLOCK 1, HOLLYWOOD CENTRAL BEACH BEACH BUSINESS SECTION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 16 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

## 3 LEGAL DESCRIPTION



## 4 PROPOSED SITE PLAN

SCALE: 1"=10'-0"



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AR#-0017852  
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REVISION:	BY:
04/03/18 TAC	CC
06/04/18 TAC	CC

PROPOSED HOTEL DEVELOPMENT FOR:  
OCEAN PARK VIEW HOTEL  
1005 E DANIA BEACH BLVD.  
HOLLYWOOD, FLORIDA

SEAL: AR 0017852  
LUIS LA ROSA

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OF SHEETS

100% CONSTRUCTION DOCUMENTS



SITE CALCULATIONS:

TOTAL GROSS SITE AREA:	24,172 SF. OR .56 ACRES
TOTAL NET SITE AREA:	13,070 SF. OR .30 ACRES
BUILDING COMMON AREA	1,430 SF.
DRIVEWAY	9,062 SF.
CONC. SLAB	265 SF.
TOTAL IMPERVIOUS AREA*	10,757 SF. (82.3%)
TOTAL PERVIOUS AREA*	2,313 SF. (17.1%)

TOTAL IMPERVIOUS AREA*	10,757 SF. (82.3%)
BUILDING FOOTPRINT AREA	8,895 SF.
TOTAL PERVIOUS AREA*	2,313 SF. (17.1%)

F.A.R. CALCULATIONS:

TOTAL SITE AREA:	13,070 SF. X 3.0*	39,210 SF.
GROUND FLOOR (NOT TRASH ROOM, FIRE PUMP)		1,354 SF.
2ND. FLOOR PLAN (NOT TRASH ROOM, SUPPLY CLOSET, JANITOR + BALCONY)		8,401 SF.
3RD. FLOOR PLAN (NOT TRASH ROOM, SUPPLY CLOSET, JANITOR + BALCONY)		4,638 SF.
4TH. FLOOR PLAN (NOT TRASH ROOM, SUPPLY CLOSET, JANITOR + BALCONY)		4,638 SF.
5TH. FLOOR PLAN (NOT TRASH ROOM, BALCONY + STAIRS)		4,554 SF.
F.A.R. PROVIDED		23,585 SF.
F.A.R. ALLOWED		39,210 SF.

ZONING LEGEND

DATA	REQUIRED	PROVIDED
ZONING DESIGNATION:	C-2	HOTEL/ CONDO
GROSS LOT AREA:		24,172 SQFT
NET LOT AREA:		13,070 SQFT
MAXIMUM HEIGHT	5 STORIES OR 60'-0"	5 STORIES 60'-0"

SETBACK CALCULATIONS:		
NORTH/REAR	0'-0"	21'-4"
EAST/SIDE	0'-0"	4'-0"
WEST/SIDE	0'-0"	4'-0"
SOUTH/FRONT	0'-0"	3'-6"

DENSITY: (18 UNITS/ACRE) NOTE: HOTEL = 36 UNITS PER ACRE. 36x.56 = 2016 UNITS 1 CONDO UNIT PER 2 HOTEL UNITS	18 HOTEL UNITS + 1 CONDO UNIT.	18 HOTEL UNITS + 1 CONDO UNIT.
--------------------------------------------------------------------------------------------------------------------------	-----------------------------------------	-----------------------------------------

PARKING CALCULATIONS:		
PARKING: 10 SPACES / UNIT (18 UNITS x 10)	18 P.S.	20 P.S.

BUILDING CALCULATION

	LOBBY	UNIT # 1	UNIT # 2	UNIT # 3	UNIT # 4	UNIT # 5	UNIT # 6	CONDO (4 BED.)	
1ST. FLOOR COMMON AREA*	1,478 SF.	-	-	-	-	-	-	-	1,430 SF.
2ND. FLOOR LIVING AREA*	-	613 SF.	547 SF.	580 SF.	454 SF.	530 SF.	633 SF.	-	3,357 SF.
BALCONY AREA*	-	56 SF.	56 SF.	40 SF.	40 SF.	56 SF.	56 SF.	-	304 SF.
TOTAL UNIT AREA*	-	669 SF.	603 SF.	620 SF.	494 SF.	586 SF.	689 SF.	-	3,661 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	5,234 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	8,895 SF.
3RD. FLOOR LIVING AREA*	-	613 SF.	547 SF.	580 SF.	454 SF.	530 SF.	633 SF.	-	3,357 SF.
BALCONY AREA*	-	56 SF.	56 SF.	40 SF.	40 SF.	56 SF.	56 SF.	-	304 SF.
TOTAL UNIT AREA*	-	669 SF.	603 SF.	620 SF.	494 SF.	586 SF.	689 SF.	-	3,661 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	1,471 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	5,132 SF.
4TH. FLOOR LIVING AREA*	-	613 SF.	547 SF.	580 SF.	454 SF.	530 SF.	633 SF.	-	3,357 SF.
BALCONY AREA*	-	56 SF.	56 SF.	40 SF.	40 SF.	56 SF.	56 SF.	-	304 SF.
TOTAL UNIT AREA*	-	669 SF.	603 SF.	620 SF.	494 SF.	586 SF.	689 SF.	-	3,661 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	1,471 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	5,132 SF.
5TH. FLOOR LIVING AREA*	-	-	-	-	-	-	-	4,159 SF.	4,159 SF.
BALCONY AREA*	-	-	-	-	-	-	-	144 SF.	144 SF.
TOTAL UNIT AREA*	-	-	-	-	-	-	-	4,303 SF.	4,303 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	747 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	5,050 SF.
TOTAL GROSS AREA*									25,639 SF.

\*OWNER WILL WORK WITH BUILDING DIVISION TO ENSURE COMPLIANCE WITH GREEN BUILDING ORDINANCE.

GREEN BUILDING PRACTICE

- 1). GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
- 2). BIKE RACK TO BE INSTALLED AS SHOWN
- 3). WHITE ROOF TO REFLECT LIGHT.
- 4). DROUGHT TOLERANT LANDSCAPING.
- 5). LOW FLOW FIXTURE
- 6). LOW-EMITTING MATERIALS.
- 7). HURRICANE IMPACT RESISTANCE OF OPENINGS.

- A. OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE. PLEASE SEE ORDINANCE O 2016-02.
- B. LAND USE DESIGNATION FR-FEMBROKE ROAD MIXED USE DISTRICT.
- C. ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATION.
- D. OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- E. MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
- F. A BI-DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 1100 AND BROWARD AMENDMENT 118.2



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OF 3 SHEETS

100% CONSTRUCTION DOCUMENTS



7/11/18

MASTER PLANT LIST				
KEY	PLANT NAME	SPECIFICATION	QUANTITY	CODE TREES
ADP12	VEITCHIA MERILLII ADONIDIA PALM	10'-12' CT. HT. SINGLE TRUNK 3" DBH. STAGGER HTS. IN GROUPS HIGH DROUGHT TOLERANCE	6	2
AP2	PTYCHOSPERMA ELEGANS ALEXANDER PALM	4' CT. DBL. TRUNKS HIGH DROUGHT TOLERANCE	2	
CD14	COCCOLOBA DIVERSIFOLIA PIGEON PLUM TREE	14'-16" X 5' SPR. B&B, FG 2.5" DBH. 5' CT. NATIVE HIGH DROUGHT TOLERANCE	10	10
CN10	CASSIA NEMOPHOLIA DESERT CASSIA	10'X5' SPR. 1.5" CAL. 4' CT. HIGH DROUGHT TOLERANCE	1	
LI12	LAGERSTROEMIA INDICA CREPE MYRTLE 'TUSKEGEE'	12" X 6' SPR. 3" CAL. 4.5' CT. B&B SINGLE TRUNK HIGH DROUGHT TOLERANCE	5	5
RP10	ROYSTONIS ELATA ROYAL PALM	8' WD. 20" OA. MATCHED NATIVE MEDIUM DROUGHT TOLERANCE	8	5
SP3	SABAL PALMETTO SABAL PALM	12'-16" CT. MIN. 12" DBH. SLICK TRUNK NURSERY GROWN ONLY NATIVE, HIGH DROUGHT TOLERANCE	3	
TOTAL CODE TREES				22

MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
AGV7	AGAVE ATTENUATA SPINELESS AGAVE	7 GAL. SPECIMEN HIGH DROUGHT TOLERANCE	7
BAM	BAMBUSA SPP. CLUMPING BAMBOO VARIETY TIMOR BLACK	8" OA. 5 STEMS PER POT MIN. HIGH DROUGHT TOLERANCE	3
BROM3	BROMELIADS IMPERIALIS	7 GAL. SUN OR SHADE AS NEEDED HIGH DROUGHT TOLERANCE	8
CIR	CHRYSOBALANUS ICACO COCIOPLUM HEDGE	24"X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	110
CLR3	CLUSIA ROSEA 'NANA' SMALL LEAF PITCH APPLE	24" X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	27
FM3	FICUS MICROCARPA GREEN ISLAND FICUS	12" X 15" 18" OC. HIGH DROUGHT TOLERANCE	113
HP3	HEMELIA PATENS FIRE BUSH	24" X 24" SPR. 24" OC NATIVE MEDIUM DROUGHT TOLERANCE	30
PBM3	PHILODENDRON SELLOUM BURLY MARX	12"X15" 18" O.C. MEDIUM DROUGHT TOLERANCE	15
PM5	PODOCARPUS MACROPHYLLA YEW PODOCARPUS CONE SHAPE TOPIARY	5' X 24" SPR. FULL TO BASE HIGH DROUGHT TOLERANCE	5
SA1	SEASONAL COLOR TO BE SELECTED BY LA AT TIME OF INSTALLATION ALT: BEACH DAISY	6"-8" O.C. FULL TO POT COLOR BY OWNER 1 GAL. 6-8" O.C.	20
SA3	SCHEFFLERA ARBORICOLA VARIEGATED	24" X 24" SPR. MIN. 24" OC MEDIUM DROUGHT TOLERANCE	60
SOD	ST. AUGUSTINE FLORITAM	CONTRACTOR TO VERIFY QUANTITY SHADE/SUN	
SR7	SERENOA REPENS SAW PALMETTO	24" X 24" 30" O.C. NATIVE HIGH DROUGHT TOLERANCE	9

CONTRACTOR SHALL DO TAKE OFF FROM PLANTING PLANS.  
CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO ANY  
SUBSTITUTIONS OR CHANGES IN DESIGN.

NOTES:

MULCH ALL LANDSCAPE AREAS WITH GRADE B OR BETTER NON CYPRESS  
NON COLORED BLEND MULCH. ALL EXISTING  
LANDSCAPE MATERIALS IN POOR CONDITION OR MISSING AT TIME OF  
CO SHALL BE REPLACED WITH SAME SPECIES AND SIZE.

CONTRACTOR SHALL FIELD LOCATE ALL ABOVE AND UNDER GROUND  
UTILITIES PRIOR TO STARTING WORK. TREES WITHIN 5' OF AN UNDER  
GROUND UTILITY SHALL BE SEPARATED BY A ROOT BARRIER. SEE  
DETAIL SHEET L-2.  
ALL ABOVE GROUND UTILITIES NOT ALREADY SHOWN ON PLANS  
SHALL BE SCREENED WITH PLANT MATERIALS A MIN. OF 36" IN HT.  
SURROUNDED ON 3 SIDES.

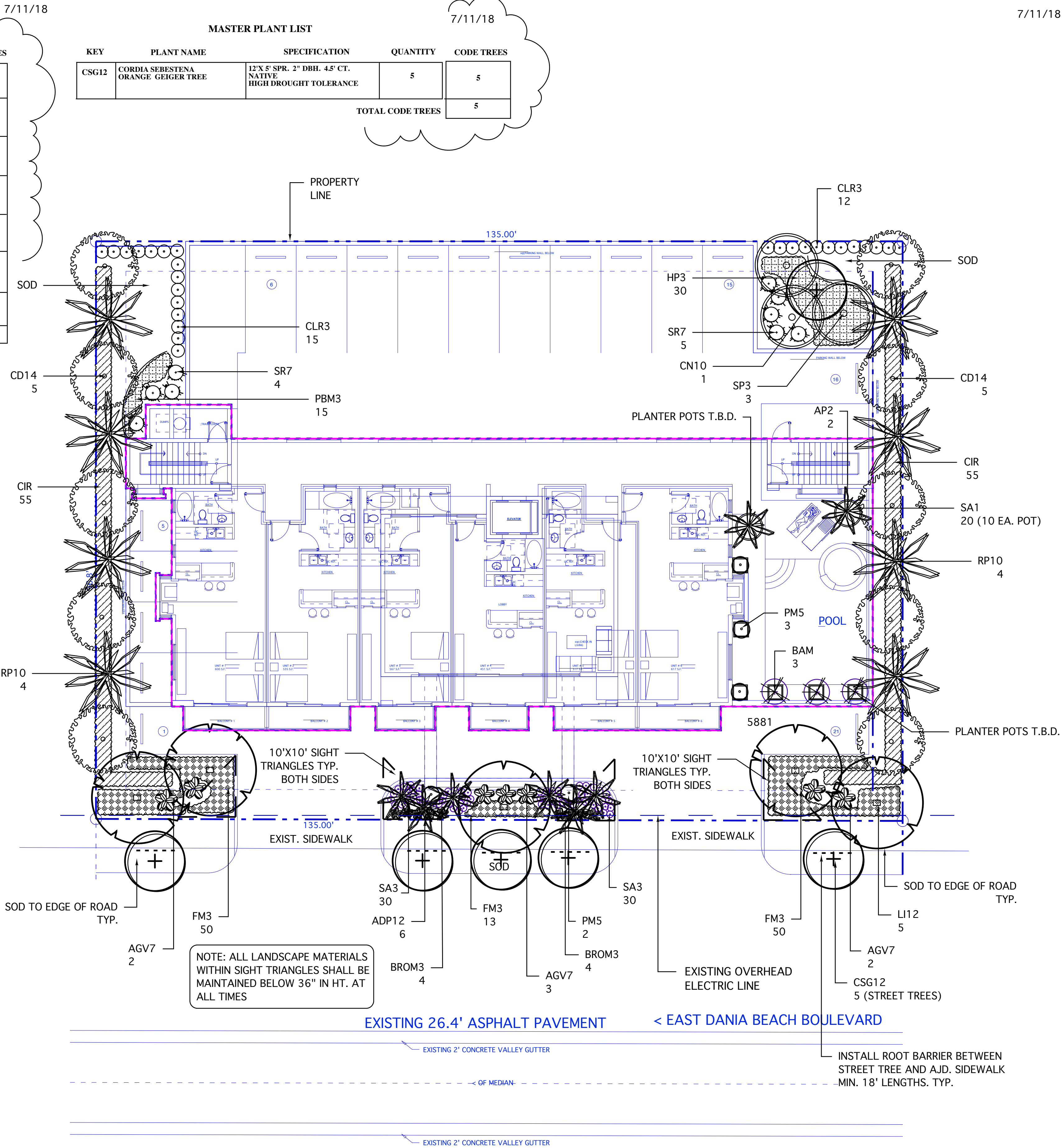
REFER TO SHEET L-2 FOR LANDSCAPE DETAILS AND SPECIFICATIONS

CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN. PLANTING PLAN  
SHALL TAKE PRECEDENCE OVER PLANT LIST SHOULD A DISCREPANCY  
OCCUR.

CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE REVIEWER PRIOR  
TO ANY CHANGES IN APPROVED LANDSCAPE MATERIALS

ALL LANDSCAPE WORK SHALL MEET THE MIN. REQUIREMENTS PER  
THE CITY OF HOLLYWOOD LANDSCAPE CODE.

IRRIGATION DESIGN AND SPECIFICATIONS ARE PROVIDED ON SHEETS  
IR-1 AND IR-2



ZONING DISTRICT C-2  
TOTAL SITE AREA = 13,070 SF. .30 ACRES  
PERVIOUS AREA PROVIDED = 2,972 SF. (23%)  
TOTAL IMPERVIOUS 10,098 SF. (77.2%)  
REQUIRED VUA LANDSCAPE AREA (25% OF VUA) = N/A

LOTS WITH A WIDTH GREATER THAN 50' SHALL PROVIDE  
25% OF THE VUA IN LANDSCAPING  
1,579 X .25 = 395 SF. REQUIRED  
PROPOSED = 395 SF.  
OVERHEAD COVERAGE REQUIRED = 10% OF LANDSCAPE AREAS  
395 X .10 = 40 SF.  
PROPOSED = 155 SF.

PERIMETER LANDSCAPE:  
(1) STREET TREE PER 30LF.  
EAST DANIA BEACH BLVD. 135/30 = 5  
PROPOSED = 5 (FPL APPROVED TREES)

BUFFERS:  
5' WIDE (1) TREE PER 20 LF.  
SOUTH: 135/20 = 7 REQUIRED  
PROPOSED = 7 (5 TREES., 2 PALMS)

NORTH: 36/20 = 2 REQUIRED  
PROPOSED = 2 TREES

WEST: 97/20 = 5 REQUIRED  
PROPOSED = 5 (4 TREES, 1 PALM)

EAST: 97/20 = 5 REQUIRED  
PROPOSED = 5 (4 TREES, 1 PALM)

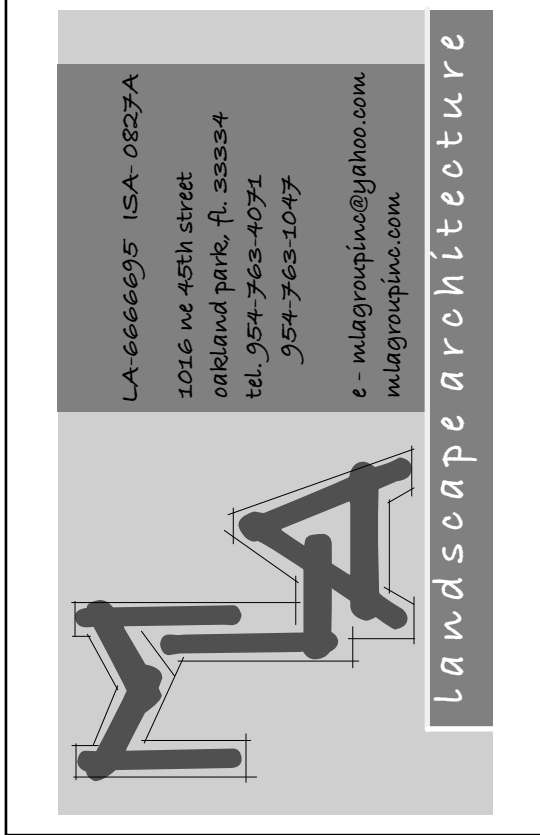
(1) TREE PER 1,000 SF. OF PERVIOUS LOT AREA  
PERVIOUS AREA 2,972 /1,000 = 3 TREES REQUIRED  
PROPOSED = 3 (3) PALMS 1:1

TOTAL TREES REQUIRED ON SITE = 27  
PROPOSED = 27 TREES (REFER TO PLANT LIST THIS SHEET)

NATIVES TREES REQUIRED 60% = 16  
PROPOSED NATIVES = 18

NATIVE SHRUBS REQUIRED 50%  
PROPOSED NATIVE SHRUB = 146

THERE ARE NO TREES TO BE REMOVED, RELOCATED OR  
PRESERVED ON SITE.



REVISIONS:

DRC REV: 7/11/18

SHEET TITLE:

LANDSCAPE PLAN

PROJECT:

PROPOSED HOTEL DEVELOPMENT FOR:  
OCEAN PARK VIEW HOTEL

EAST DANIA BEACH BLVD. HOLLYWOOD, FL.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND  
SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH  
EXISTING INTERPRETATIONS AND PROVISIONS OF THE  
APPLICABLE BUILDING CODES. THIS DRAWING IS THE  
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SEAL:

SCALE: 1"=10'

DATE DRAWN: 5-12-18

SHEET NO.









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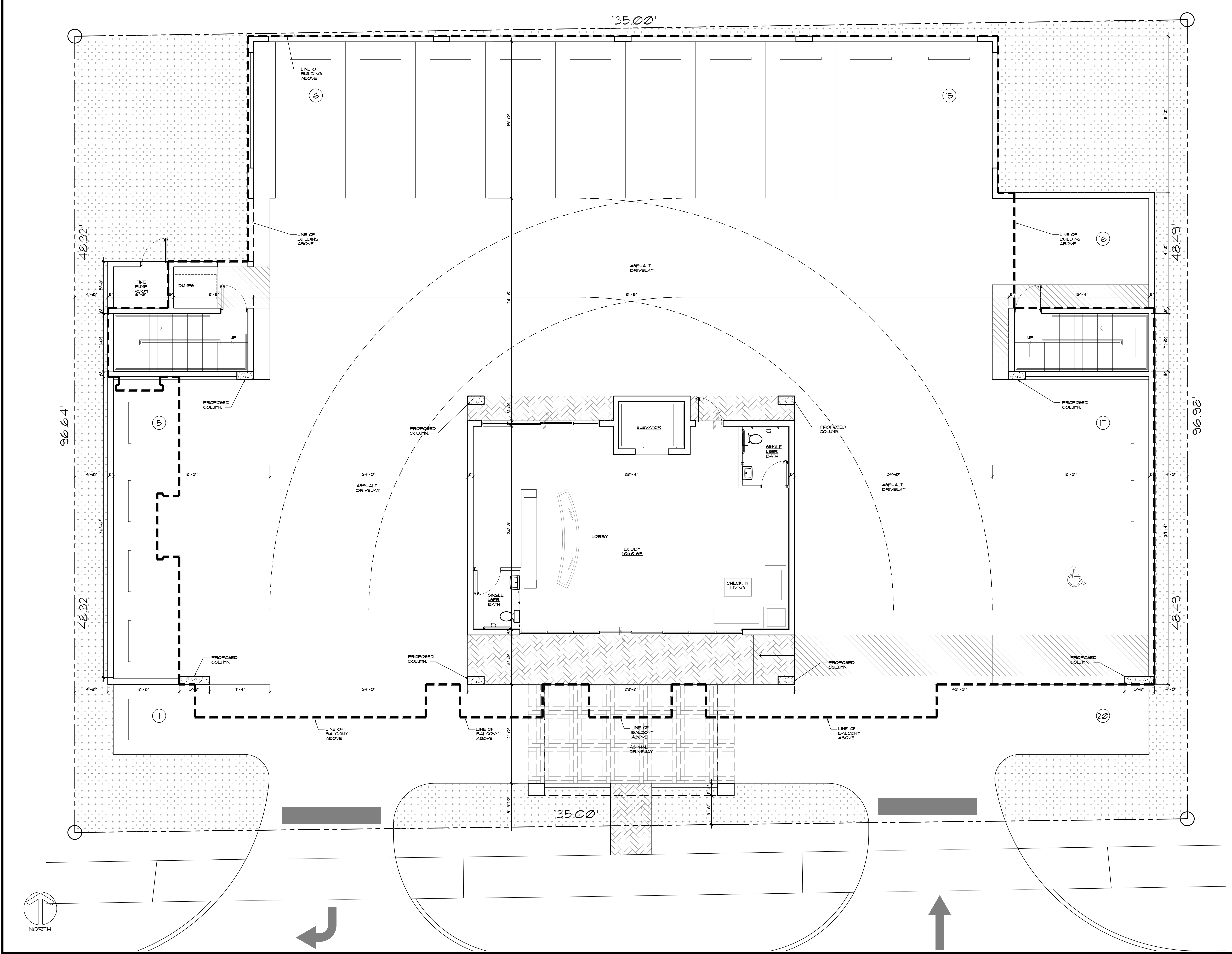
PROPOSED HOTEL DEVELOPMENT FOR:  
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 1005 E DANIA BEACH BLVD.  
 HOLLYWOOD, FLORIDA

SEAL: AR 0017852  
 LUIS LA ROSA

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A-1.1

OF SHEETS



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



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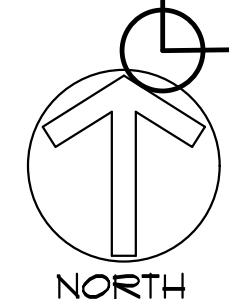
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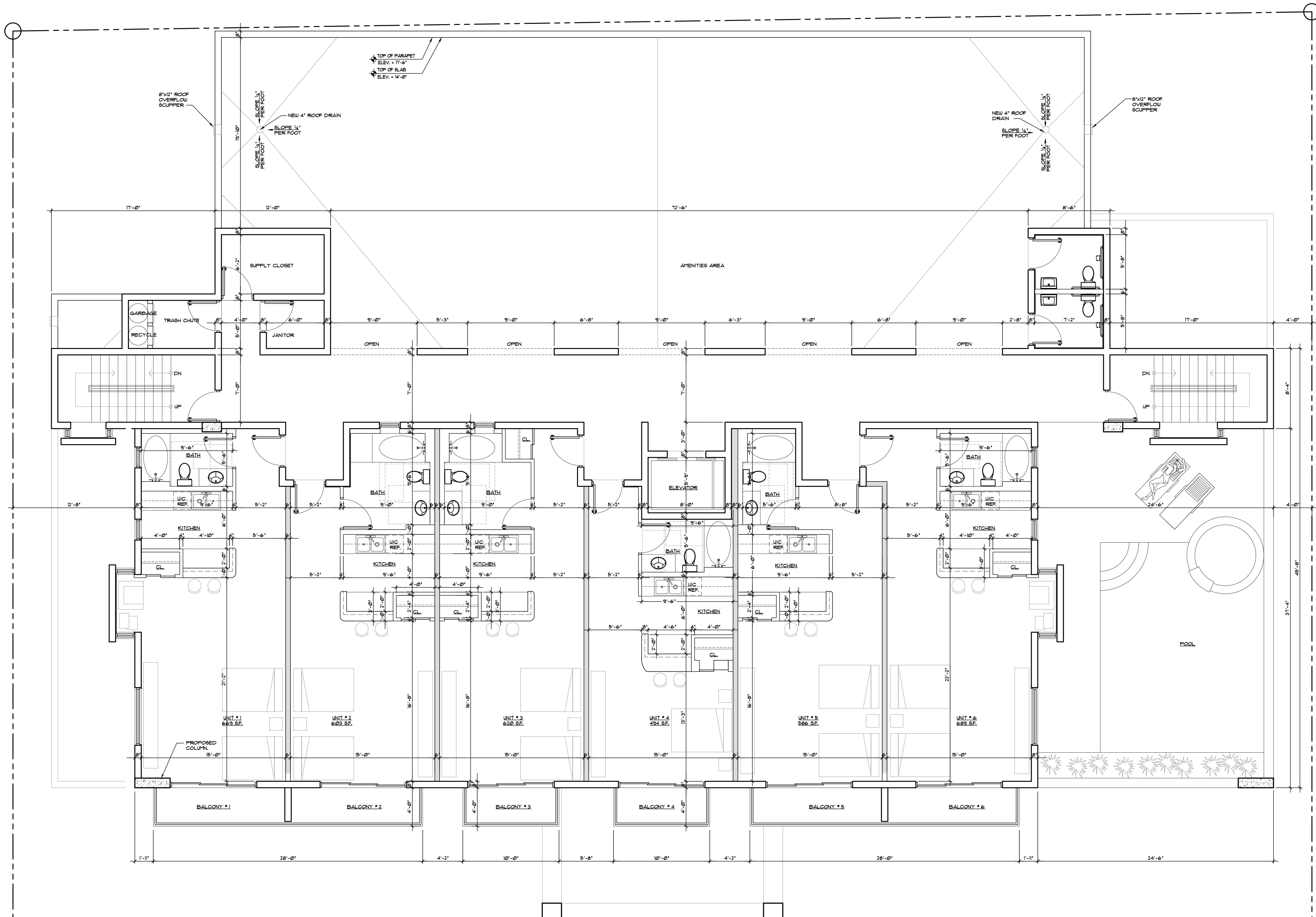
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A-12  
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1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"





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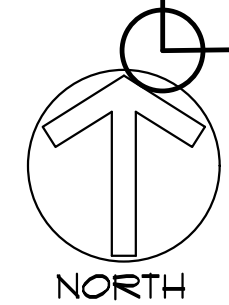
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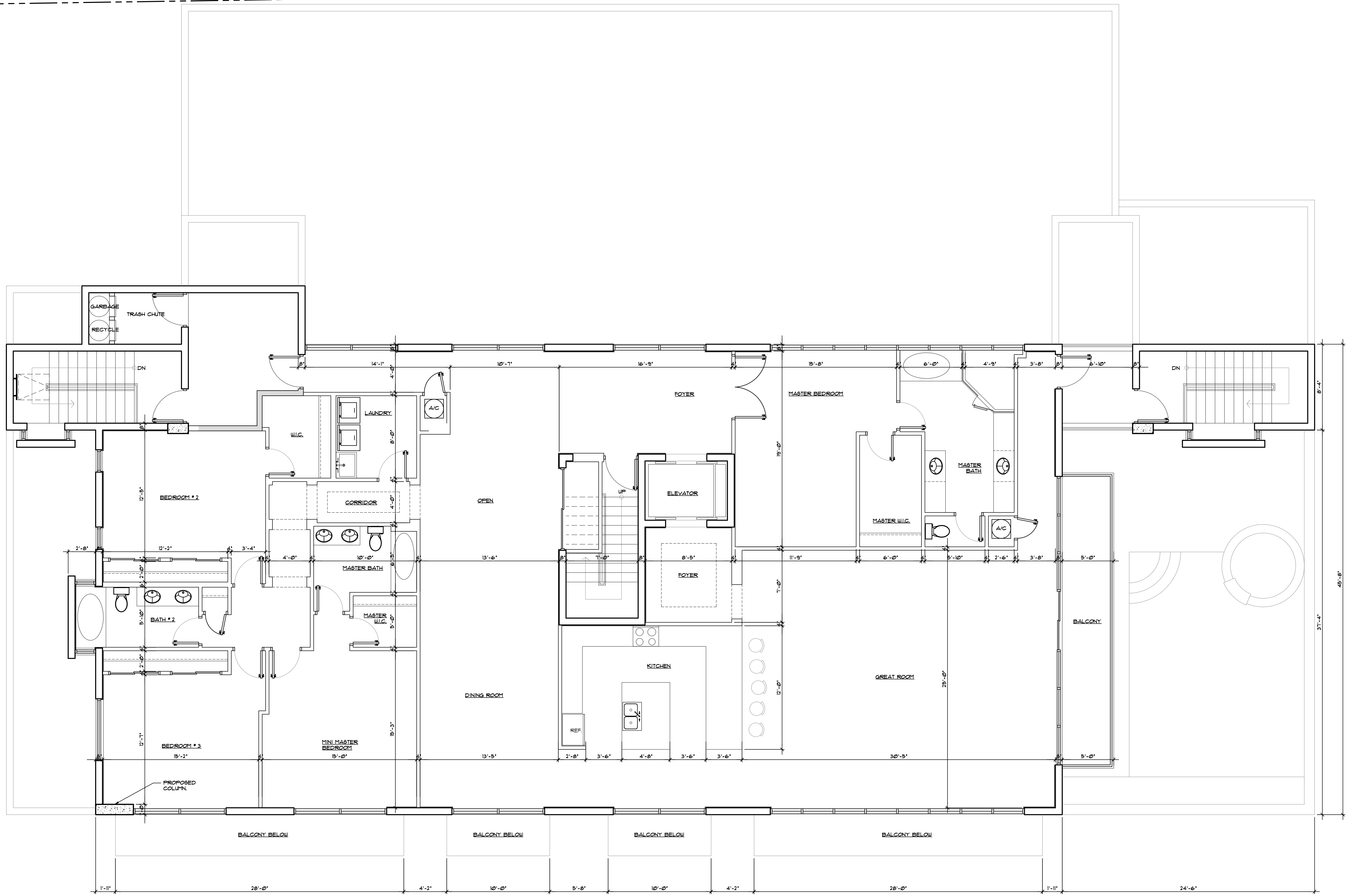
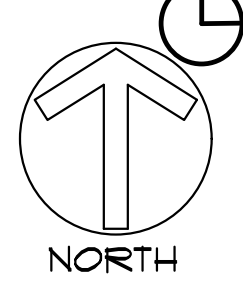
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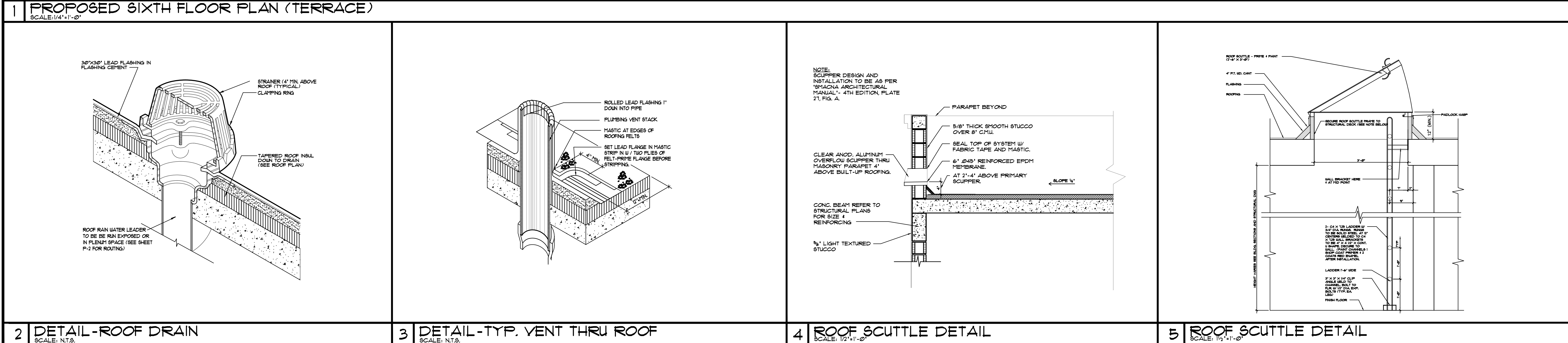
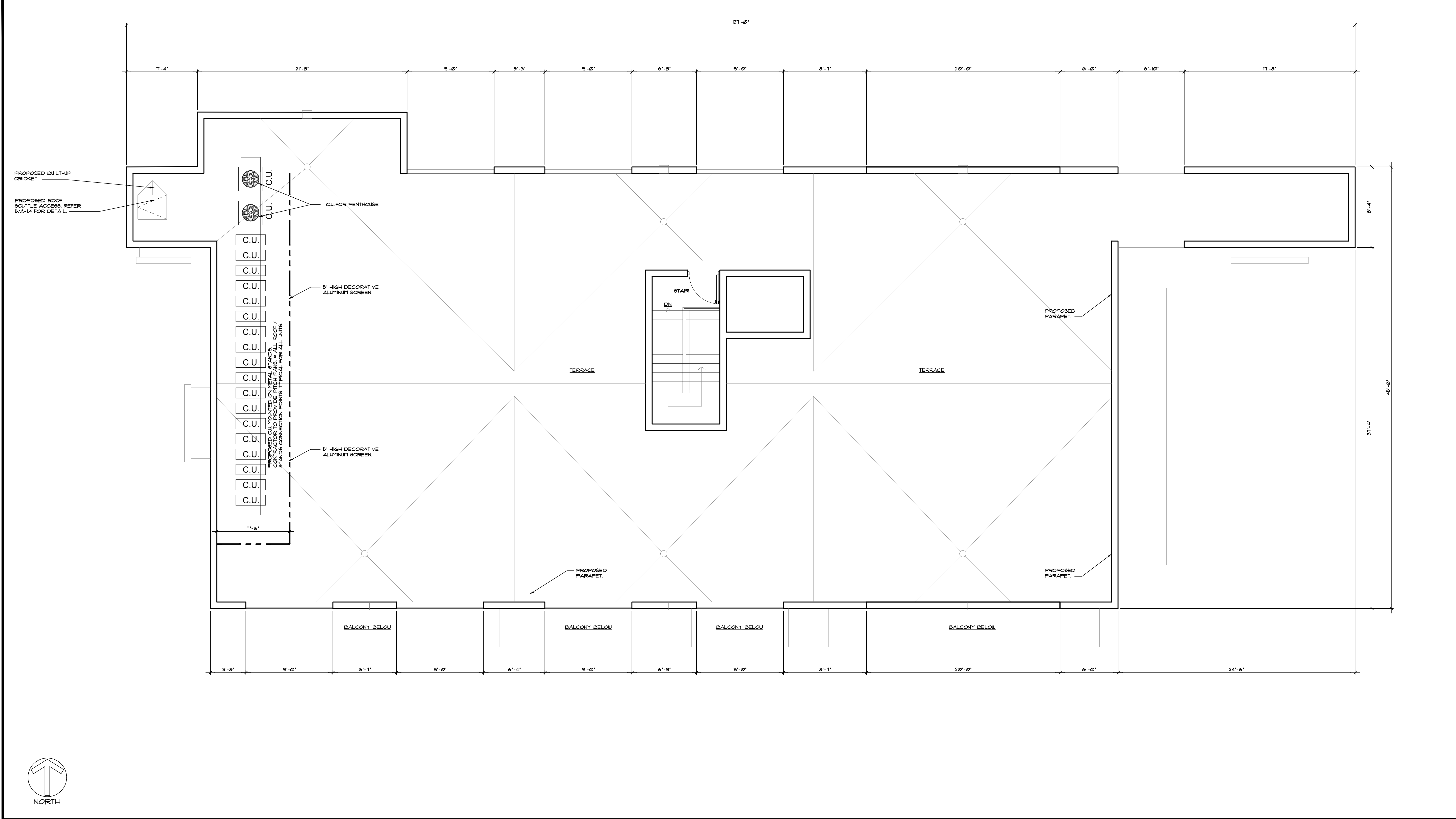


REVISION:	BY:
04/09/18 T.A.C.	C.C.
06/04/18 T.A.C.	C.C.

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LLR is a Registered  
Architect  
AR#-0017852  
AA#-26003693

REVISION:	BY:
04/03/18 T.A.C.	C.C.
06/04/18 T.A.C.	C.C.

PROPOSED HOTEL DEVELOPMENT FOR:  
OCEAN PARK VIEW HOTEL  
1005 E DANIA BEACH BLVD.  
HOLLYWOOD, FLORIDA

SEAL: AR 0017852  
LUIS LA ROSA

DRAWN: C.C.  
CHECKED: LLR  
DATE: 03/21/18  
SCALE: AS NOTED  
JOB NO.: 011-021  
SHEET:

A-2.1  
OF SHEETS



1 PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"



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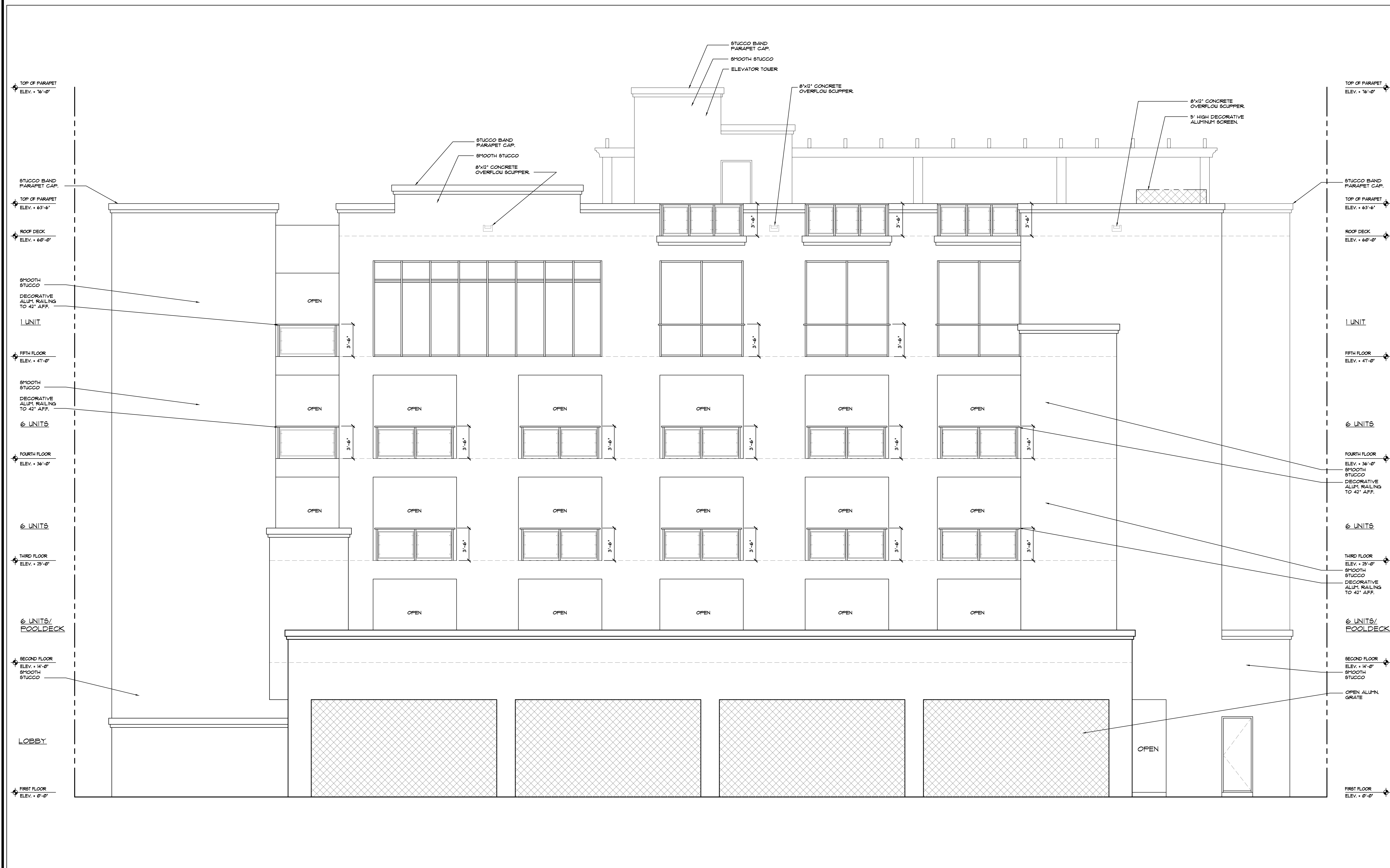
REVISION:	BY:
04/09/18 T.A.C.	C.C.
06/04/18 T.A.C.	C.C.

PROPOSED HOTEL DEVELOPMENT FOR:  
OCEAN PARK VIEW HOTEL  
1005 E DANIA BEACH BLVD.  
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SEAL: AR 0017852 LUIS LA ROSA
----------------------------------

DRAWN C.C.
CHECKED LLR
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SCALE AS NOTED
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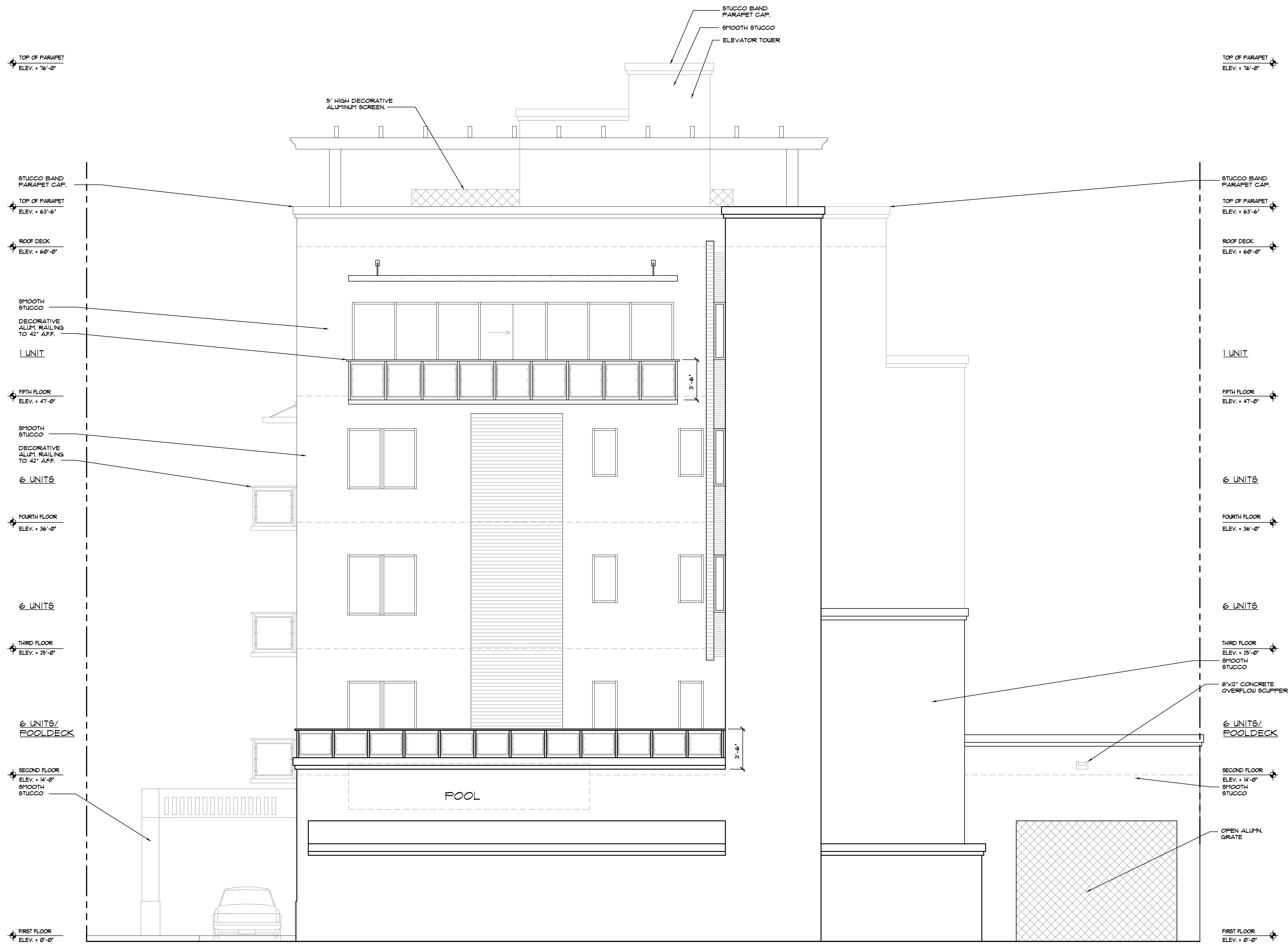
REVISION:	BY:
04/03/18 T.A.C.	C.C.
06/04/18 T.A.C.	C.C.

PROPOSED HOTEL DEVELOPMENT FOR:  
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SEAL: AR 0017852  
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DRAWN	C.C.
CHECKED	LLR
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	017-021
SHEET	

A-2.3  
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REVISION:	BY:
04/03/18 T.A.C.	C.C.
06/04/18 T.A.C.	C.C.

PROPOSED HOTEL DEVELOPMENT FOR:  
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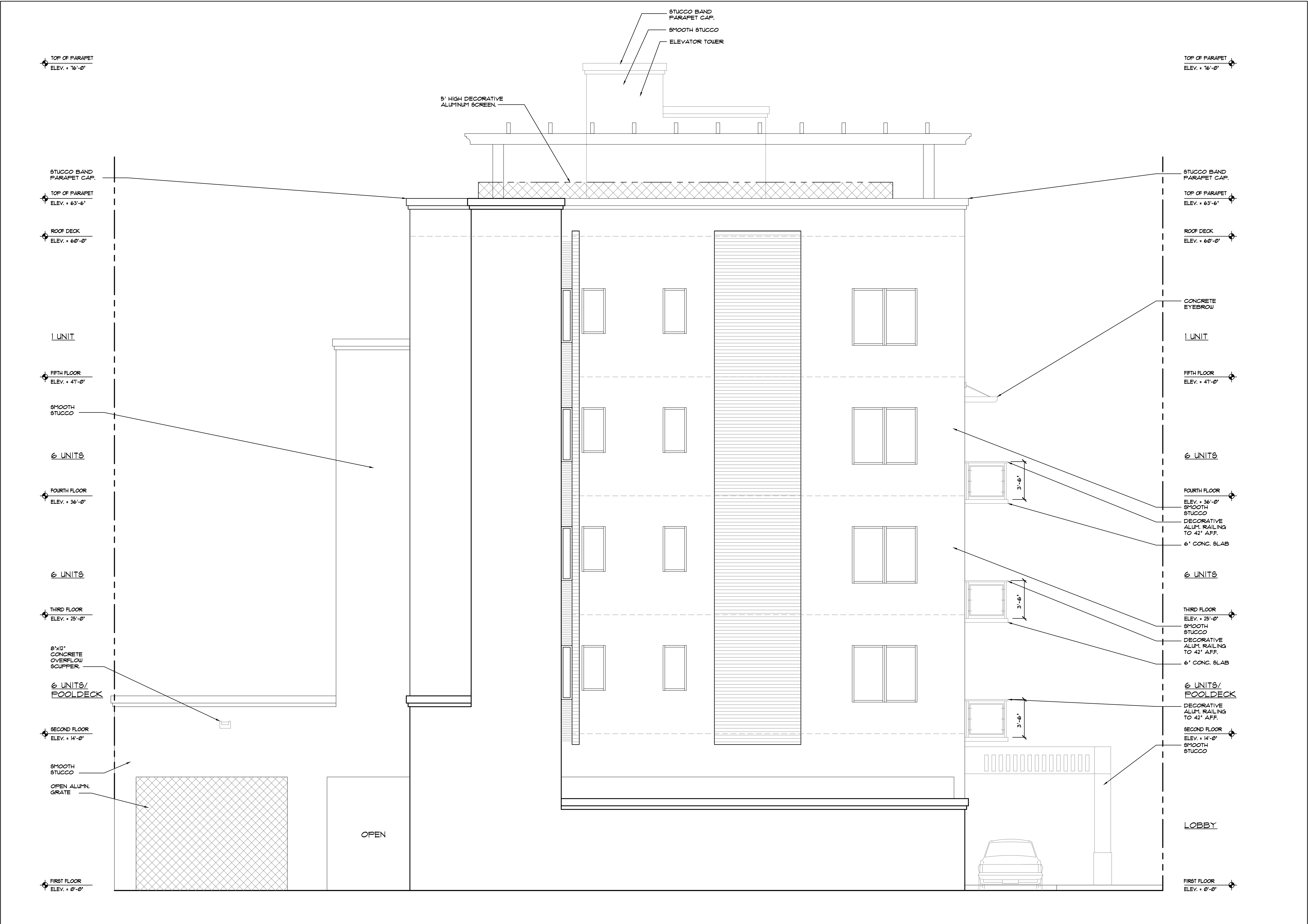
SEAL: AR 0017852  
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	017-021
SHEET	

A-2.4

OF SHEETS

100% CONSTRUCTION DOCUMENTS



Folio Number: 504235010020  
Owner: TRIP/DNR DIV REC. & PARKS WEST LAKE PARK  
STATE REC AREA

Unimproved  
15' Alley



Unimproved  
50' Total R/W (per PLS 6- Pg. 16)

West Shore Drive

1005 E. DANIA BEACH BLVD.



