

ATTACHMENT A

Application Package

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 1/7/19

Location Address: 3701 Ben Tobin Drive, Hollywood, FL 33021

Lot(s): _____ Block(s): 9 Subdivision: Hillwood Sec Three

Folio Number(s): 5142-19-27-0072 PB69; PG 10

Zoning Classification: PUD-R Land Use Classification: Complex

Existing Property Use: Vacant Lot Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 18-DP-04

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: See Attached Letter from Greenberg Traurig

Number of units/rooms: _____ Sq Ft: 18,000

Value of Improvement: \$4,625,000.00 Estimated Date of Completion: August 2019

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Harwin-Tobin 3701, LLC

Address of Property Owner: 1101 Ben Tobin Drive, Hollywood, FL 33021

Telephone: 954-989-3000 Fax: 954-985-1116 Email Address: jtobin@tobinprop.com

Name of Consultant/Representative/Tenant (circle one): Charles Michelson/Barbara Hall

Address: 3501 Griffin Rd., Ft. Lauderdale, FL 33312 Telephone: 954-266-2700

Fax: _____ Email Address: cmichelson@saltzmichelson.com/hallb@gtlaw.com

Date of Purchase: 1945 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Robert DeTorres

Address: 1101 Ben Tobin Drive, Hollywood, FL 33021

Email Address: rdetorres@tobinprop.com

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 1-7-19

PRINT NAME: Jason L. Tobin

Date: _____

Signature of Consultant/Representative: _____

Date: 1/7/19

PRINT NAME: Charles Michelson

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 7 day of January 2019

[Signature]
Notary Public

State of Florida



Signature of Current Owner

Jason Tobin

Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Barbara A. Hall
Tel: (954) 768-8236
Fax: (954) 759-5536
Hallb@gtlaw.com

December 31, 2018

Via Email - DMOISE@hollywoodfl.org

Deandrea Moise
Planning Administrator
City of Hollywood
Department of Development Services
2600 Hollywood Blvd, Suite 315
P.O. Box 229045
Hollywood, FL 33022-9045

**Re: Request for Planned Development (PD) District Rezoning and other
approvals for a Mixed-Use Medical/Office Building – 3701 Ben Tobin
Drive, Hollywood, Florida**

Dear Ms. Moise:

This letter accompanies a new General Application for a PD Rezoning and requests for other approvals for a property of approximately .9 of an acre at 3701 Ben Tobin Drive, Hollywood, Florida (the "Subject Property"), to be developed with an 18,000-square foot, three-story office building that was recently recommended for approval by the Planning and Development Board.

Following the Planning and Development Board action the pending application for this office building was withdrawn because the uses requested were thought to have been better obtained through a rezoning to PD. We have agreed with that recommendation and are therefore filing this application.

The design of the office building and the site plan have not changed from what was previously approved by the Planning and Development Board.

This rezoning is being done because Tobin Properties wishes to use the proposed high-end office building for its corporate headquarters and to be able to accommodate hospital-related uses in this location adjacent to Memorial Hospital South.

We are therefore proposing that the Subject Property be rezoned to PD with “Permitted Uses” that allow the following.

- 1) Office uses both professional office (including medical office) and general office;
- 2) Medical-related uses: Research and Diagnostic Facilities; Medical Labs; Physical, Occupational and Speech Therapy Facilities; Sale and Fitting and Fabrication of Durable Medical Equipment and Prosthetic Devices; Ambulatory Surgical Centers;
- 3) Other medical-related and hospital related uses determined by the Director to be similar in impact to the above-described uses in accordance with Section 3.14 of the Zoning and Land Development Regulations; and
- 4) The permitted uses shall not be interpreted to include Pain Clinics, Social Service Facilities, Facilities providing overnight stays including but not limited to ACLFs or Shelters, or Stand-Alone Pharmacies

To allow the Subject Property to be developed in a manner that makes its development possible and viable we are requesting the following approvals.

1. Rezoning from PUD-R to Planned Development (PD).
2. Waiver from the required minimum ten (10) acres for Planned Developments.
3. Modification to reduce the required square footage of terminal island.
4. Reduce the required percentage of landscaping of the paved vehicular use area.
5. Variance to reduce the required 25’ peripheral landscaped setback from all external street.

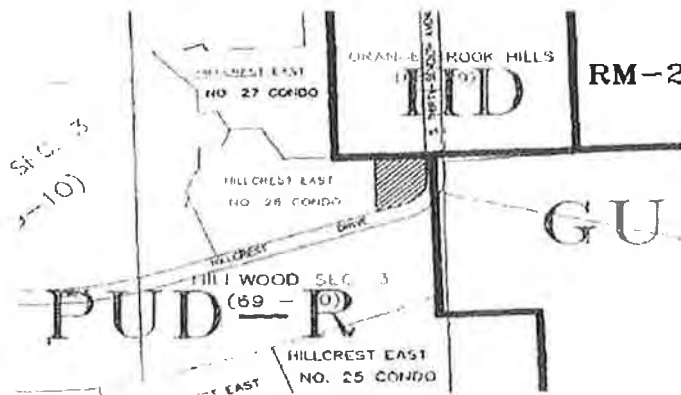
We believe the approvals, if granted, will allow for the development of the Subject Property in a manner that is both consistent with the intent of all applicable land use regulations and is compatible with the surrounding neighborhood. In fact, we believe that when the Subject Property is developed as proposed it will be an important addition to the neighborhood and to the City.

Two of the requested development approvals, the Rezoning and the Variance, are subject to criteria established by the City’s Zoning and Land Development Regulations. We have outlined below this application’s compliance with the criteria.

A. Rezoning Request:

This application requests a rezoning from PUD-R to PD. Section 5.3.K.2 .of the City's Zoning and Land Development Regulations generally describes the standards for reviewing a request for a change of zoning district as follows.

1. **The requested rezoning will not result in spot or contract zoning.** The rezoning to PD does not create spot zoning and is not contract zoning. Instead this rezoning provides a transition from the PUD-R to the HD districts. The Subject Property has since 2000 been approved as Commercial Flex to allow office uses on the property in recognition of the Subject Property's location straddling the PUD-R and HD districts (as shown highlighted below) and their established uses. The PUD-R district is a planned district for which the development is subject to a Master Plan. Likewise, the PD district is also a planned district subject to a Master Plan but the PD district provide the flexibility to allow uses consistent with the "hospital-related uses" allowed in the HD district.



In adopting a master plan with a 3-story building of 18,000 square feet the development of the Subject Property through a PD Zoning will be compatible with and, in fact, less intense than the adjacent residential uses, but still will also serve the hospital and its uses.

2. **Consistency with the Comprehensive Plan.** The requested rezoning is consistent with and furthers many of the goals, objective and policies of the City's Comprehensive Plan, including, but not limited to, Land Use Element Policy 8.1 that states, in part, "ensure that the City's population is adequately serviced by sufficient amounts of commercial with varying intensities or service areas and to ensure that the potential adverse impacts of commercial land uses on adjacent residential areas are mitigated." The proposed development of the office building will, because of its location, its limited height and square footage and attractive façade mitigate any potential adverse impacts from commercial use adjacent to the PD-R, which is developed with high-density residential uses.
3. **Change of Conditions.** Activity at Memorial South has increased due to the development of an extensive rehabilitation program at the facility. The increase in

activity has resulted in the need for additional medical and hospital related facilities in the vicinity of the hospital. The City has interpreted the PUD-R not to allow a number of the uses that could in fact be housed in the proposed office building without adverse impacts to the neighborhood. A change of zoning to a different planned district has become necessary to accommodate that need.

4. **The requested rezoning will not adversely influence living conditions in the neighborhood.** The neighborhood consists of a hospital, large expanses of parking lots and high rise residential buildings. The proposed development of a 3-story, 18,000 square foot office with medical and hospital uses will create little to no impact in the neighborhood.



5. **The requested rezoning is compatible with the developments within the same district/neighborhood.** As described in the sections above, this is a very low-intensity, low-impact use that will serve both the residential neighborhood and the hospital without adverse impacts in a very attractive building.

B. Variance Request:

This application includes a request for a 25' peripheral landscaped setback from all external streets. Given the size of the parcel and its configuration it is not possible to provide a 25' landscaped setback from the adjacent street, provide the required parking and site have a viable development. Shown below is a rendered site plan which depicts the parcel configuration, parking and landscape buffers. The Property Owner has however designed an attractive site plan that includes 4,700 square feet of pervious concrete paving and a 410-square foot living wall to compensate for the inability to provide a 25-foot landscaped setback.

1. **The requested variance maintains the basic intent and purpose of the subject regulation and does not adversely impact the stability and appearance of the City.** The 25' landscaped setback was designed for a much larger PD. In this case the property is less than an acre and a 25' landscaped setback would make it undevelopable. Nevertheless, the Subject Property will be beautifully landscaped with landscaping surrounding along the entire perimeter of the site to a depth in keeping with the size of the parcel and the building size.
2. **The requested variance is otherwise compatible with the surrounding land uses and is not detrimental to the community.**

The property is surrounded on two sides with parking lots and on two sides by rights-of-way. Each right of way frontage has included in the right-of-way a 10-foot grassed landscaped strip and a 5-foot sidewalk. The landscape buffer on the property adjacent to those rights-of-way is 10' feet resulting in a 25' setback from the paved portion of the right-of-way. This condition is consistent with the surrounding uses and not detrimental to the community. In addition, the reconfiguration of the intersection of the two adjacent roadways has created a substantial green triangular area that further separates the property from the paved right-of-way.



3. **The requested variance is consistent with and in furtherance of many of the goals, objectives, and policies of the City's Comprehensive Plan.** The requested variance allows an attractive building to be developed on the Subject Property where compliance with the setback criteria would render the site undevelopable in any meaningful way. (see Section A.2. above).
4. **The need for the requested variance is not economically based or self-imposed.** The variance is needed due to the parcel being less than an acre in size and the requirement for a 25' landscape buffer being entirely out of proportion to the size of the parcel. In addition, because the parcel has an irregular curvilinear-shape and fronts on two rights-of- way the landscape buffer requirement becomes that much more onerous in its impact to the Subject Property
5. **The requested variance is necessary to comply with all applicable laws and is the minimum variance necessary to comply with such applicable laws.**

The requirement to provide required parking and landscaping and have land area left for building development means that with a parcel of less than an acre, complying with a 25' landscape setback cannot be done.

Thank you for your consideration of this application and these requests.

Very truly yours.


Barbara Hall



April 2, 2018

Deandrea Moise, Associate Planner
City of Hollywood Development Services
Planning Division | Hollywood, FL

Re: Design Criteria for
Tobin Office Building
3701 Ben Tobin Drive, Hollywood, FL

Dear Deandrea,

The architectural style for this 3-story, 18,000 SF multi-tenant office building embodies a classic Mediterranean Revival Style, which is common to many municipalities throughout South Florida. The use of sloped Spanish 'S' tile roofs, towers, decorative brackets, arches, stucco walls, medallions, trellises, banding and trim reinforces the Mediterranean Style and creates an array of building elements that are both attractive and interesting.

The main entrance is designed to be a prominent feature, highlighted by a natural copper roof that is reminiscent of the Mediterranean Style. Decorative screen walls have been incorporated at the ground level to help conceal parked cars under the building from view. The use of pastel colors allows the building façade to blend well with the surrounding neighborhood and landscape.

Towers, banding, and fenestrations help break up the massing of the building. Small window openings, keystone veneers and moldings, and decorative railings provide a human scale for pedestrians to relate to. The adjacent medical office building and hospital that are located to the north are six stories in height. In comparison, the proposed office building is only three stories in height, which again stresses the human scale.

The landscaping has been integrated with the building design to emphasize the architectural features and help screen the parking areas from the street. A 'Green Living Wall' has been introduced on the east façade to soften the building lines, similar to vines on a façade. Native trees and ground covers, such as live oaks, satin leafs, foxtail palms and triple solitaire palms are used throughout the landscape design.

Should you have any questions on the above, please feel free to contact us.

Very truly yours,
Saltz Michelson Architects

Scott Willis, RA, LEED AP
Senior Project Manager
SW:jw



MARTY KIAR
BROWARD
COUNTY
PROPERTY APPRAISER

Site Address	3701 HILLCREST DRIVE, HOLLYWOOD FL 33021	ID #	5142 19 27 0072
Property Owner	HARWIN-TOBIN 3701 LLC	Millage	0513
Mailing Address	1101 BEN TOBIN DR HOLLYWOOD FL 33021	Use	10

Abbreviated Legal Description	HILLWOOD SEC THREE 69-10 B POR BLK 9 DESC AS BEG NE COR BLK 9,S 95.47,SW ALG CUR 151.84,SWLY 111.23,N 242.63,ELY 190 TO POB LESS N 30 FOR RD
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The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

Property Assessment Values Click here to see 2017 Exemptions and Taxable Values as reflected on the Nov. 1, 2017 tax bill.					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2018	\$273,180		\$273,180	\$273,180	
2017	\$273,180		\$273,180	\$273,180	\$5,706.04
2016	\$273,180		\$273,180	\$273,180	\$5,825.31

2018 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$273,180	\$273,180	\$273,180	\$273,180
Portability	0	0	0	0
Assessed/SOH	\$273,180	\$273,180	\$273,180	\$273,180
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$273,180	\$273,180	\$273,180	\$273,180

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
7/15/2008	SWD-T	\$100	45526 / 1058	\$7.00	39,025	SF
9/29/1995	SWD	\$5,400	24139 / 251			
12/1/1986	D		14026 / 115			
				Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
05								
L								
1								



Holland Engineering, Inc.

3900 Hollywood Blvd., Suite 303

Hollywood, FL 33021

March 26, 2018

FIRE FLOW CALCULATIONS
Tobin Building
A Three Story Commercial Building
3701 Hillcrest Drive, Hollywood

These calculations are for a three (3) story commercial building, with a total ground floor square footage of 1,120 SF. The entire building is non-combustible construction.

Fire Flow Area = 18,000 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total floor area of all floor levels. The total square footage of the three floors is 18,000 square feet.

Per Table 18.4.5.2.1, the fire flow requirement is 1,500 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

$1,500 \text{ gpm} \times 75\% = 1,125 \text{ gpm (fire flow credit)}$

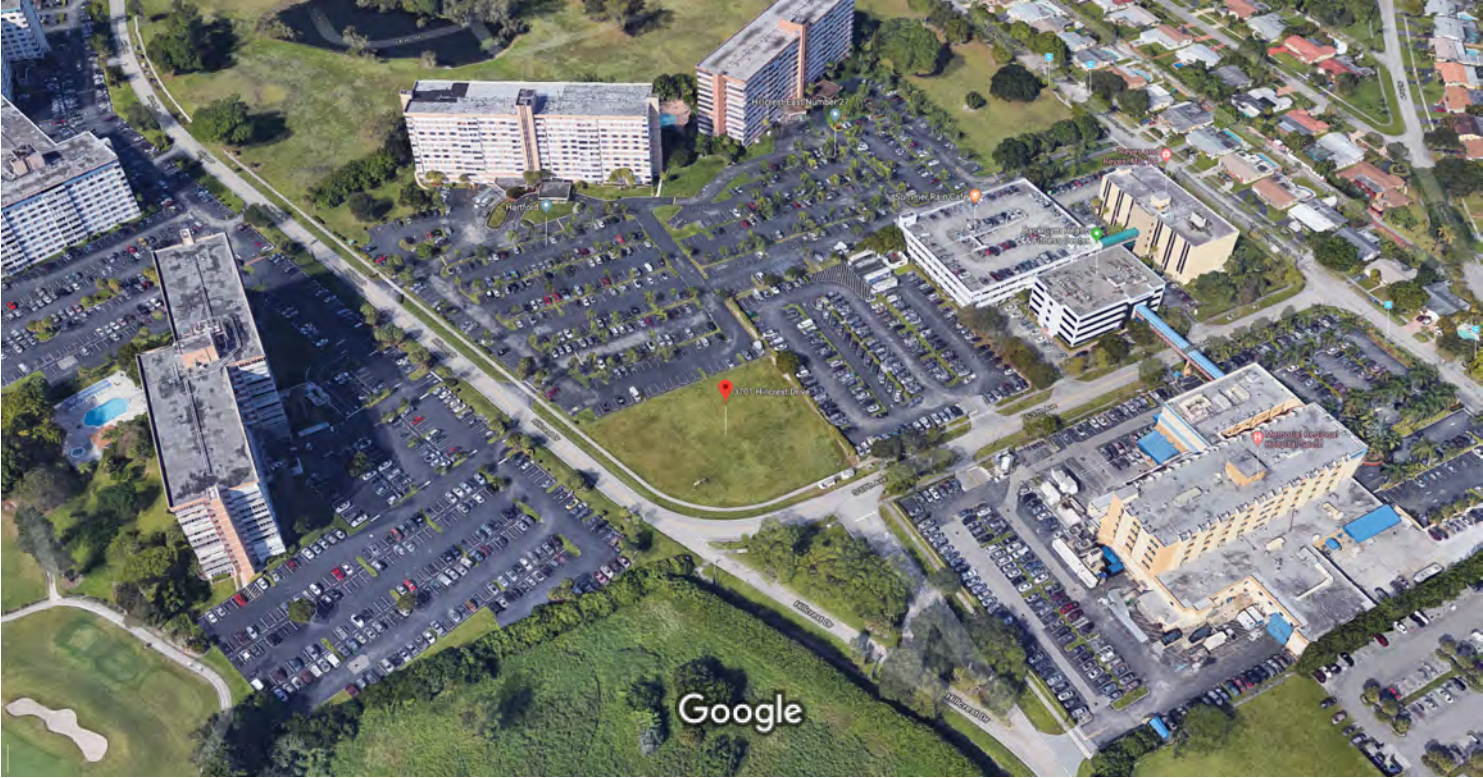
$1,500 \text{ gpm} - 1,125 \text{ gpm} = 375 \text{ gpm}$

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

Prepared by:

Susan C. Holland, P.E.
Lic. No. 41831





Google



S 37th Ave

Google



Google



Google

A New Generation “Green Living”

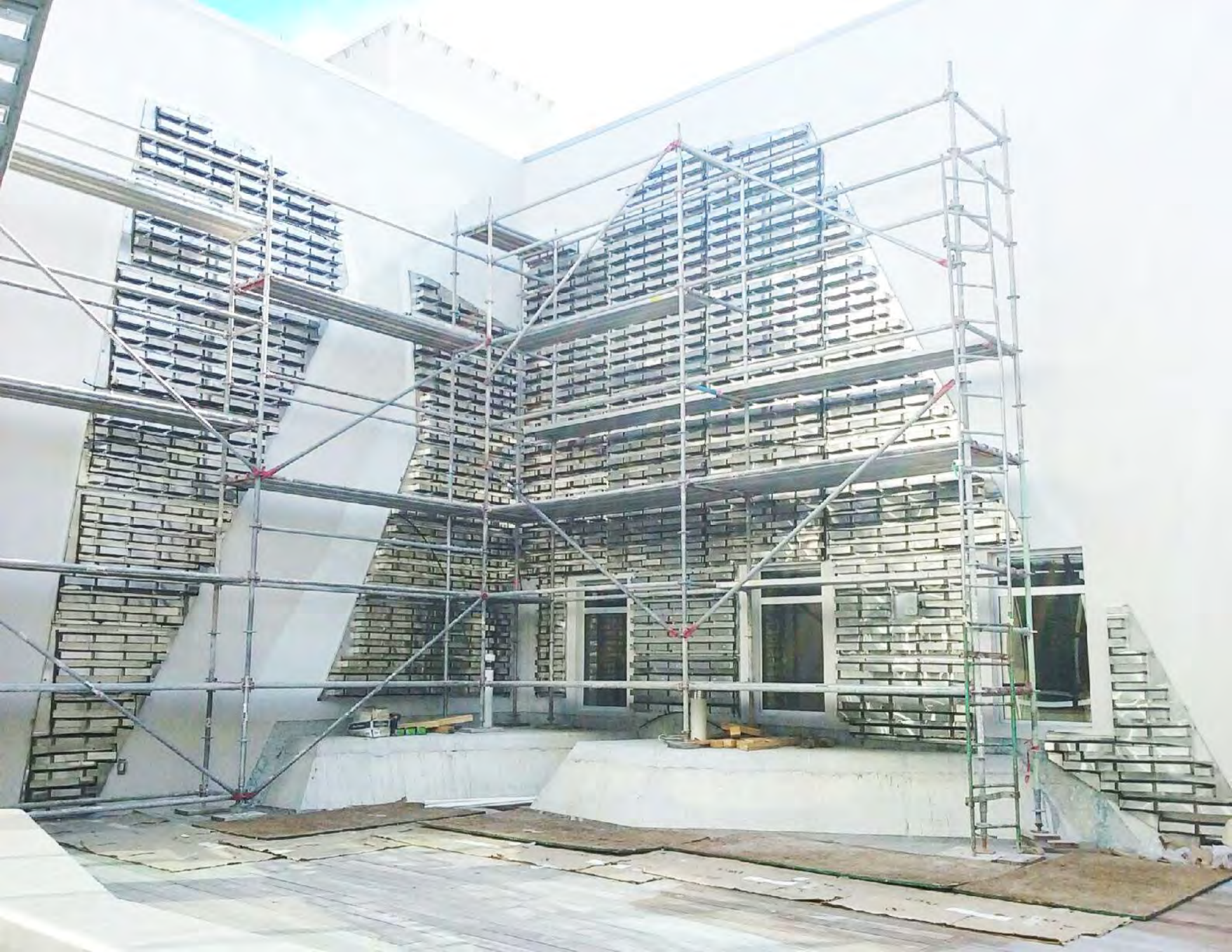
Get At The
Forefront of
The Future
of Green
Building



ANDROMEDA
DISTRICT

Our mission is to offer first class expertise in the manufacturing and installation of Eco Green Living Walls Systems. All the while promoting sustainability between humanity and the natural environment.





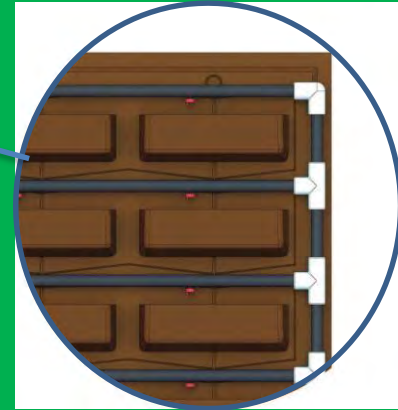




System's Main Features

1. Easy 3 step Installation
2. Automatic programmed Irrigation
3. Waterproofed fiber glass Panels
4. Excellent for both Indoor And Outdoor applications

Automatic Irrigation System



DRIP IRRIGATION
TO EACH MODULE



HYDRAULIC PUMP



VALVE



FILTER



WATER SUPPLY



All Plants Are Handpicked From Our Local Nursery



Multiple-Planting Layouts



LEED CERTIFICATION CREDITS AND SOLID R.O.I. FOR ALL APPLICATIONS.

European office workers who work in environments with natural elements, such as greenery and sunlight,

report a

13%

**higher level
of well-being**

and are

8%

**more
productive**

The Return of Investment FOR ALL APPLICATIONS

- A single Green Living Wall can clean as much urban air as 275 trees!
- Green Living Walls improve property value? Up to a 35% increase in value!

Believe. Think. Innovate. Achieve. Sustainably.



Boost productivity and performance



Enhance worker satisfaction



Reduce sick leave, stress levels and absenteeism



Powerful recruitment and retention tool



Why is biophilic design better?

11%



Up to 11% gains in productivity from fresh air

23%



Up to 23% improvement in productivity from good lighting and access to views

25%



Up to 25% better functioning memory when workers have outside views

18%



Up to 18% increase in productivity through access to daylight

Why Is Biophilic Design Relevant Today?

The World Health Organization expects stress related illness, such as mental health disorders and cardiovascular disease, to be the two largest contributors to disease by 2020. With a diminished connection to nature, the increasing pressure on urban space we have less opportunity to recuperate our mental and physical energy.

Incorporating direct or indirect elements of nature into the built environment have been demonstrated through research to reduce stress, blood pressure levels and heart rates, while increasing productivity, creativity and self reported rates of well-being.



Biophilia Benefits

- Exposure to nature could be used as a way to minimize symptoms of ADD and ADHD in children. This could result in reduced consumption of ADD and ADHD medication. **A 10% reduction in spending on this medication amounts to around \$228 million annually in savings to American families.**



Biophilia Benefits

A person with dark hair in a bun, wearing a purple tank top and black pants, is sitting in a lotus position on a wooden deck. They are facing a vibrant green pool of water with a waterfall in the background. Sunlight filters through the trees, creating a peaceful atmosphere. The text 'Biophilia Reduces Crime' is overlaid on the left side of the image.

Biophilia Reduces Crime

Enhances Peace & Serenity

- **Biophilic landscapes reduce crime.** Biophilic landscapes throughout the city could save New York \$1.7 billion in incarceration costs.

Another pivotal study exploring the relationship between vegetation and crime on a public housing development in Chicago, was conducted by Kuo and Sullivan in 2011. Amazingly, findings from their study revealed that 7 to 8% of all violent and property-related crimes correlated with minimal proximity to vegetation, demonstrating the potentially life changing impacts of plant life on reducing criminal behavior and violence.

Biophilia Benefits

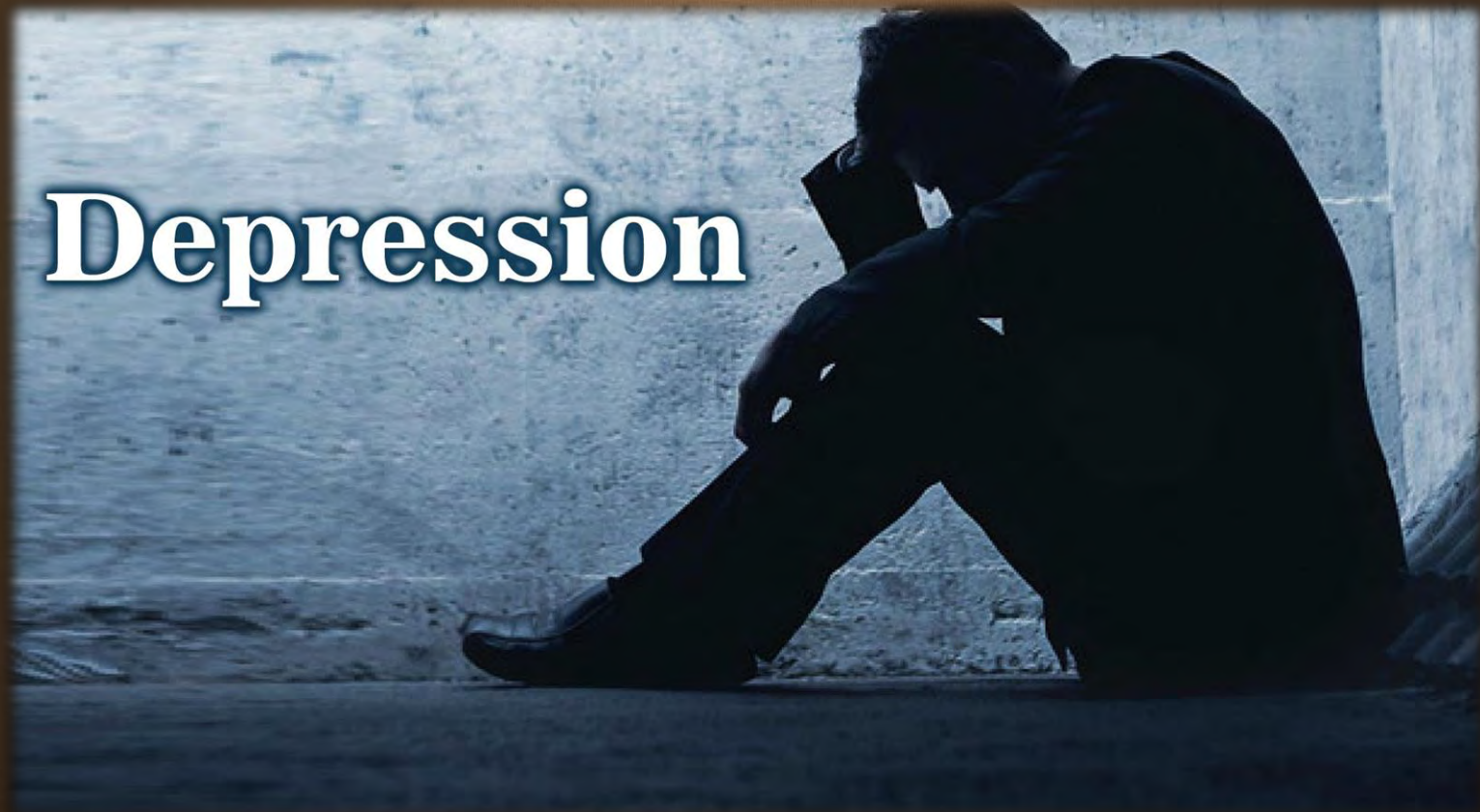
The Effects On The Memory



- Students at the University of Michigan were given a brief memory test, then divided into two groups. One group took a walk around an arboretum and the other half took a walk down a city street. When the participants returned and did the test again, those who had walked among trees did almost 20% percent better than the first time. The ones who had taken in city sights instead did not consistently improve.

Biophilia Benefits

- One study found that walks in the forest were specifically associated with decreased levels of anxiety and bad moods, and another found that outdoor walks could be "useful clinically as a supplement to existing treatments" for major depressive disorder.



Benefits of Green Walls







Maintenance & Care Options

1. Per Month
2. Per Visit



1

AERIAL



2

GENERAL INFORMATION



SITE ADDRESS	3701 BEN TOBIN DRIVE, HOLLYWOOD, FL 33021
PROPERTY OWNER	HARWIN-TOBIN 3701, LLC.
MAILING ADDRESS	1101 BEN TOBIN DRIVE, HOLLYWOOD, FL 33021
LOT SIZE	39,029 SF NET (0.896 ACRES) FOLIO: 5142-19-27-0072

MASTER DEVELOPMENT PLAN

LEGAL DESCRIPTION	A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,029 SQUARE FEET (0.896 ACRES)
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DESCRIPTION	VALUE		
CURRENT ZONING	PUD-R		
CURRENT LAND USE	COMPLEX		
PROPOSED ZONING	PD (PLANNED DEVELOPMENT)		
CURRENT USE	VACANT		
PROPOSED USE	1. OFFICE USES BOTH PROFESSIONAL OFFICE (INCLUDING MEDICAL OFFICE) AND GENERAL OFFICE; 2. MEDICAL-RELATED USES: RESEARCH AND DIAGNOSTIC FACILITIES; MEDICAL LABS; PHYSICAL, OCCUPATIONAL AND SPEECH THERAPY FACILITIES; SALE AND FITTING AND FABRICATION OF DURABLE MEDICAL EQUIPMENT AND PROSTHETIC DEVICES; AMBULATORY SURGICAL CENTERS; 3. OTHER MEDICAL-RELATED AND HOSPITAL RELATED USES DETERMINED BY THE DIRECTOR TO BE SIMILAR IN IMPACT TO THE ABOVE-DESCRIBED USES IN ACCORDANCE WITH SECTION 3.14 OF THE ZONING AND LAND DEVELOPMENT REGULATIONS; AND 4. THE PERMITTED USES SHALL NOT BE INTERPRETED TO INCLUDE PAIN CLINICS, SOCIAL SERVICE FACILITIES, FACILITIES PROVIDING OVERNIGHT STAYS INCLUDING BUT NOT LIMITED TO ACIFs OR SHELTERS, OR STAND-ALONE PHARMACIES.		
NET LOT AREA	39,029 SF OR 0.896 ACRES		
TOTAL BUILDING FOOTPRINT	9,306 SF (31% OF SITE AREA)		
TOTAL VEHICULAR USE AREA	17,379 SF (59% OF SITE AREA)		
VUA LANDSCAPE AREA	25% OF 17,379 SF = 4,345 SF REQUIRED 1,669 SF PROVIDED (EXCLUDES LANDSCAPE BUFFERS) (10% OF VUA)		
TOTAL IMPERVIOUS AREA	29,781 SF - 4,700 SF OF PERVIOUS CONCRETE = 25,081 SF (64% OF SITE AREA)		
TOTAL PERVIOUS AREA	10% OF 39,029 SF = 3,902 SF REQUIRED TOTAL LANDSCAPE AREA PROVIDED: 9,248 SF (24% OF SITE AREA) PERVIOUS CONCRETE PROVIDED: 4,700 SF (12% OF SITE AREA) TOTAL PERVIOUS AREA: 13,948 SF (36% OF SITE AREA)		
TOTAL BUILDING AREA	1ST FLOOR AREA COMMON AREA: 482 S.F. OFFICE AREA: 0 S.F. VERTICAL CIRCULATION: 557 S.F. TOTAL: 1,039 S.F. 2ND FLOOR AREA COMMON AREA: 434 S.F. OFFICE AREA: 7,837 S.F. VERTICAL CIRCULATION: 310 S.F. TOTAL: 8,581 S.F.		

	2ND FLOOR TERRACE	725	S.F.
	3RD FLOOR AREA		
	COMMON AREA:	0	S.F.
	OFFICE AREA:	8,114	S.F.
	VERTICAL CIRCULATION:	235	S.F.
	TOTAL:	8,349	S.F.
	3RD FLOOR TERRACE	1,166	S.F.
	TOTAL FLOOR AREA:	18,000	S.F.
	NOTE: TERRACES NOT INCLUDED IN TOTAL FLOOR AREA.		

3

SETBACKS

DESCRIPTION	VALUE
REQUIRED	NONE
PROPOSED	FRONT (S.E. SIDE) = 58'-0" EAST SIDE = 75'-5" WEST SIDE = 10'-0" REAR (NORTH SIDE) = 10'-0"

4

HEIGHTS

DESCRIPTION	VALUE
MAXIMUM ALLOWED	UNLIMITED
PROPOSED	HIGHEST POINT OF THE BUILDING (TOP OF THE TOWER ON ROOF = 74'-4") BUILDING IS THREE STORIES 50'-0" TO BUILDING ROOF LINE

5

PARKING

DESCRIPTION	VALUE
REQUIRED FOR OFFICE USE	18,000 SF / 250 SF PER CAR = 72 SPACES
PROVIDED	72 SPACES (3 H.C. SPACES) NOTE: STANDARD PARKING SPACES ARE 8'-6" X 19'-0"

6

PROJECT SUMMARY

SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS & WAIVERS			
RE-ZONING	FROM PUD-R TO PLANNED DEVELOPMENT		
WAIVER	ACREAGE REQUIREMENT FOR PD		
	REQUIRED	PROVIDED	
	10 ACRES	0.896 ACRES	
MODIFICATION	REDUCE SQUARE FOOTAGE OF TERMINAL ISLANDS	REQUIRED	PROVIDED
		190 SF	95 SF MIN.
	REDUCE REQUIRED PERCENTAGE OF LANDSCAPE FOR VUA	REQUIRED	PROVIDED
		25%	10%
VARIANCE	25 FT PERIPHERAL LANDSCAPE BUFFER	REQUIRED	PROVIDED
		25'-0"	10'-0"

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
ZH

Checked By :
SW

Date:
02/13/2019

REVISIONS

TOBIN OFFICE BUILDING

3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021



TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON ARCHITECTS

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Project No. :
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YD, ZH
Checked By :
SW
Date:
04/02/2018

REVISIONS

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T1

PROJECT TEAM		INDEX OF DRAWINGS		MEETINGS SCHEDULE		SITE LOCATION MAP	
OWNER: HARWIN-TOBIN 3701, LLC. 1101 BEN TOBIN DRIVE HOLLYWOOD, FL 33021 TELEPHONE: (954) 989-3000 ARCHITECT: SALTZ MICHELSON ARCHITECTS 3501 GRIFFIN ROAD FORT LAUDERDALE, FL 33312 TELEPHONE: (954) 266-2700	LANDSCAPE ARCHITECT: DAVE BODKER LANDCAPE ARCHITECTURE / PLANNING, INC. 601 N. CONGRESS AVE, SUITE 105-A DELRAY BEACH, FL 33445 TELEPHONE: (561) 276-6311 CIVIL ENGINEER: HOLLAND ENGINEERING, INC. 3900 HOLLYWOOD BLVD. HOLLYWOOD, FL 33021 TELEPHONE: (954) 367-0371	ARCHITECTURE		CIVIL			
		T1	COVER SHEET	C-1	PAVING AND DRAINAGE PLAN	PACO	01-22-2018
		1	SURVEY	C-2	WATER AND SEWER PLAN		
		SP1	SITE PLAN	C-3	PAVEMENT MARKING AND SIGNAGE PLAN		
A1.1	GROUND FLOOR PLAN	C-4	STORMWATER POLLUTION PREVENTION PLAN				
A1.2	SECOND FLOOR PLAN		CIVIL DETAILS	PRELIMINARY TAC	03-05-2018		
A1.3	THIRD FLOOR PLAN	C5		FINAL TAC	04-16-2018		
A1.4	ROOF PLAN						
A2.0	EXTERIOR ELEVATIONS						
A2.1	EXTERIOR ELEVATIONS						
		LANDSCAPE					
		L-1	LANDSCAPE PLAN				
		L-2	LANDSCAPE SPECS & NOTES				
		L-3	VUA CALCS				
		COLOR BOARD ATTACHED FOR REFERENCE					



SITE LOCATION

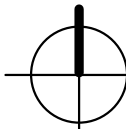
SITE ADDRESS:
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

1

T1

SITE LOCATION MAP
N.T.S.

NORTH



File Name: P:\Projects\2016\169004 Memorial Hospital South\Survey\Sketch\16-9004.1-V-TS-3701 Hillcrest Drive-Tobin.dwg (Plotted by: Steve Watts on Wednesday, May 2, 2018 7:37:55 AM)

SEE SHEET 2 - DETAIL "A"

SYMBOL LEGEND

- = SIGN
- = WATER VALVE
- = GAS VALVE
- = IRRIGATION VALVE
- = FIRE HYDRANT
- = WATER METER
- = BACKFLOW PREVENTOR/CHECK VALVE
- = ELECTRIC HANDHOLE
- = WOOD POST
- = SANITARY MANHOLE
- = TRASH CAN
- = WOOD POWER POLE
- = CATCH BASIN
- = TELEPHONE HANDHOLE
- = BOLLARD
- = GAS METER
- = ELECTRIC METER/RACK
- = FPL TRANSFORMER PAD
- = GUY ANCHOR
- = PARKING METER
- = DRAINAGE MANHOLE
- = FLAG POLE
- = MAST ARM
- = BBQ GRILL
- = TRAFFIC SIGNAL HANDHOLE
- = CROSS WALK SIGNAL POLE
- = COLUMN
- = FOUND PROPERTY CORNER
- = CONC. POWER POLE
- = SANITARY VALVE
- = GREASE TRAP/MANHOLE
- = FIBER OPTIC
- = LAMP POST
- = CLEANOUT
- = FENCE
- = OVERHEAD ELECTRIC
- = WOOD POWER POLE W LIGHT
- = DOUBLE DETECTOR CHECK VALVE

ABBREVIATIONS

- CONC. = CONCRETE
- CATV = CABLE TELEVISION
- D.B. = DEED BOOK
- P.B. = PLAT BOOK
- PG. = PAGE
- B.C.R. = BROWARD COUNTY RECORDS
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- LB = LICENSED BUSINESS
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- R/W = RIGHT-OF-WAY
- NL&D = NAIL AND DISK
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- S.R. = STATE ROAD
- C.B.A. = CONCRETE BLOCK W STUCCO
- W = WITH
- COL. = COLUMN
- BLDG. = BUILDING
- C&G = CURB & GUTTER
- ALUM. = ALUMINUM FENCE
- PRM = PERMANENT REFERENCE MONUMENT
- E-O-P = EDGE-OF-PAVEMENT
- FPL = FLORIDA POWER & LIGHT
- O.A. = OFFICIAL RECORDS BOOK
- NAVD88 = NORTH AMERICAN DATUM OF 1988
- CLF = CHAIN LINK FENCE
- TC = TITLE COMMITMENT
- IP = IRON PIPE
- IR = IRON ROD
- IRC = IRON ROD & CAP
- FND = FOUND
- GRAV. = GRAVEL
- CL = CENTERLINE
- (P) = PLAT
- (C) = CALCULATED
- (D) = DEED
- P.O.B. = POINT OF BEGINNING
- Δ = CENTRAL ANGLE
- R = RADIUS
- L = ARC LENGTH
- ASPH. = ASPHALT
- TYP. = TYPICAL

OWNERSHIP AND ENCUMBRANCE REPORT

First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029, Searched from: August 6, 1969 through April 20, 2018 at 8:00 a.m., has been reviewed and Schedule B Exceptions as they pertain to survey matters are as follows:

Encumbrances

Easement; P.B. 69, Pg. 10, B.C.R.; PLAT INFORMATION SHOWN HEREON INCLUDING 15 FT UTILITY EASEMENT.

Ordinance; O.R.B. 30239, Pg. 959, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Ordinance; O.R.B. 30239, Pg. 963, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Declaration of Restrictions; O.R.B. 30267, Pg. 1481, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Resolution No. 06-DPV-33; O.R.B. 43034, Pg. 1932, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

Conveyance Agreement; O.R.B. 44241, Pg. 512, B.C.R.; PROPERTY AS SHOWN HEREON ONE AND THE SAME AS DESCRIBED IN DOCUMENT.

BOUNDARY & TOPOGRAPHIC SURVEY NOTES:

- Calvin, Giordano & Associates, did not research title for this property and the plats, rights-of-way, and easements as shown hereon are per First American Title Insurance Company, Ownership and Encumbrance Report, Customer Reference Number: 3701 Hillcrest Dr, First American File Number: 1062-3938029, Searched from: August 6, 1969 to April 20, 2018 at 8:00 a.m..
- The purpose of this Map Survey is to prepare a Boundary and Topographic Survey of a portion of the Regional Memorial Hospital South complex, located at 3600 Washington Street, Hollywood Florida, 33021.
- Not valid without the signature and original raised seal of a Florida Professional Surveyor & Mapper.
- Underground improvements and/or encroachments were not located as part of this survey task.
- Unless otherwise noted hereon, record and measured values are in substantial agreement.
- This survey is classified as commercial/high risk and exceeds the minimum relative distance accuracy of 1 foot in 10,000 feet as required by the Florida Standards of Practice requirements (Chapter 5J-17.050 through 5J-17.052 F.A.C.), the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- The horizontal features shown hereon are plotted to within 1/20 of the map scale.
- Horizontal and vertical data shown hereon was obtained utilizing a "TOPCON ES-105" Total Station and "TDS-NOMAD" Data Collection System.
- Bearings shown hereon are assumed and referenced to the East line of Block 9, HILLWOOD SECTION THREE, as recorded in Plat Book 69, Page 10, B.C.R., have a bearing of S 00°18'53" W.
- Horizontal feature location is to the center of the symbol and may be enlarged for clarity.
- The elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD88) and referenced to Broward County Engineering Department (B.C.E.D.) Benchmark No. 1433, Elevation = 6.54' (NAVD88) (Published as Elevation = 8.14 (NGVD29)) being a square cut in NW corner of concrete sidewalk at #2550 Park Road, and to National Geodetic Survey (NGS) Designation - M 312, Elevation= 13.44' (NAVD88).
- The property as described and shown hereon as a Flood Zone designation of Zone AH (EL10) and Zone X, per the Flood Insurance Rate Map (FIRM), Map Number: 12011C0568H, Community Number: City of Hollywood 125113, Panel: 568, Suffix: H, Effective Date: 08/18/2014.

CERTIFICATION

To: Harwin-Tobin 3701, LLC

This is to certify that this drawing and the survey on which it is based upon were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, and includes Table A Items: 1, 2, 3, 4, 5, 8, 7a, 9, 11(a), 13, 16.

I, Steven M. Watts, do hereby state that this Map of Boundary and Topographic Survey was done under my direct supervision and is accurate to the best of my knowledge and belief. I further state that this Map of Boundary and Topographic Survey was completed in accordance with the Standards of Practice requirements for Surveying and Mapping in the State of Florida as stated in Rule 5J-17 of the Florida Administrative Code, pursuant to Florida Statutes Chapter 472.027.

Last Date of Field Survey: March 13, 2018

CALVIN, GIORDANO & ASSOCIATES, INC.

Signature: 
Steven M. Watts, PSM
Professional Surveyor and Mapper
Florida Registration No. 4588

SEAL

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

STEVEN M. WATTS
PSM NO. 4588

SCALE

1" = 20'

PROJECT No.

16-9004.1

FIELD BOOK

791 & 904B

SHEET:

1

OF 2

LEGAL DESCRIPTION: O.R.B. 45526, PG. 1058, B.C.R.

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID BLOCK 9, RUN SOUTH 00 DEGREES 18 MINUTES 53 SECONDS WEST ALONG THE WEST RIGHT-OF-WAY LINE OF SOUTH 37TH AVENUE, 95.47 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ALONG A 120.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 75 DEGREES 30 MINUTES 00 SECONDS, AN ARC DISTANCE OF 151.84 FEET TO A POINT OF TANGENCY; THENCE SOUTH 72 DEGREES 48 MINUTES 53 SECONDS WEST, 111.23 FEET; THENCE NORTH 00 DEGREES 18 MINUTES 53 SECONDS EAST 242.63 FEET TO A POINT ON THE NORTH LINE OF SAID BLOCK 9; THENCE SOUTH 89 DEGREES 54 MINUTES 29 SECONDS EAST, 190.00 FEET TO THE POINT OF BEGINNING. CONTAINING 39,030 SQUARE FEET (0.896 ACRES).

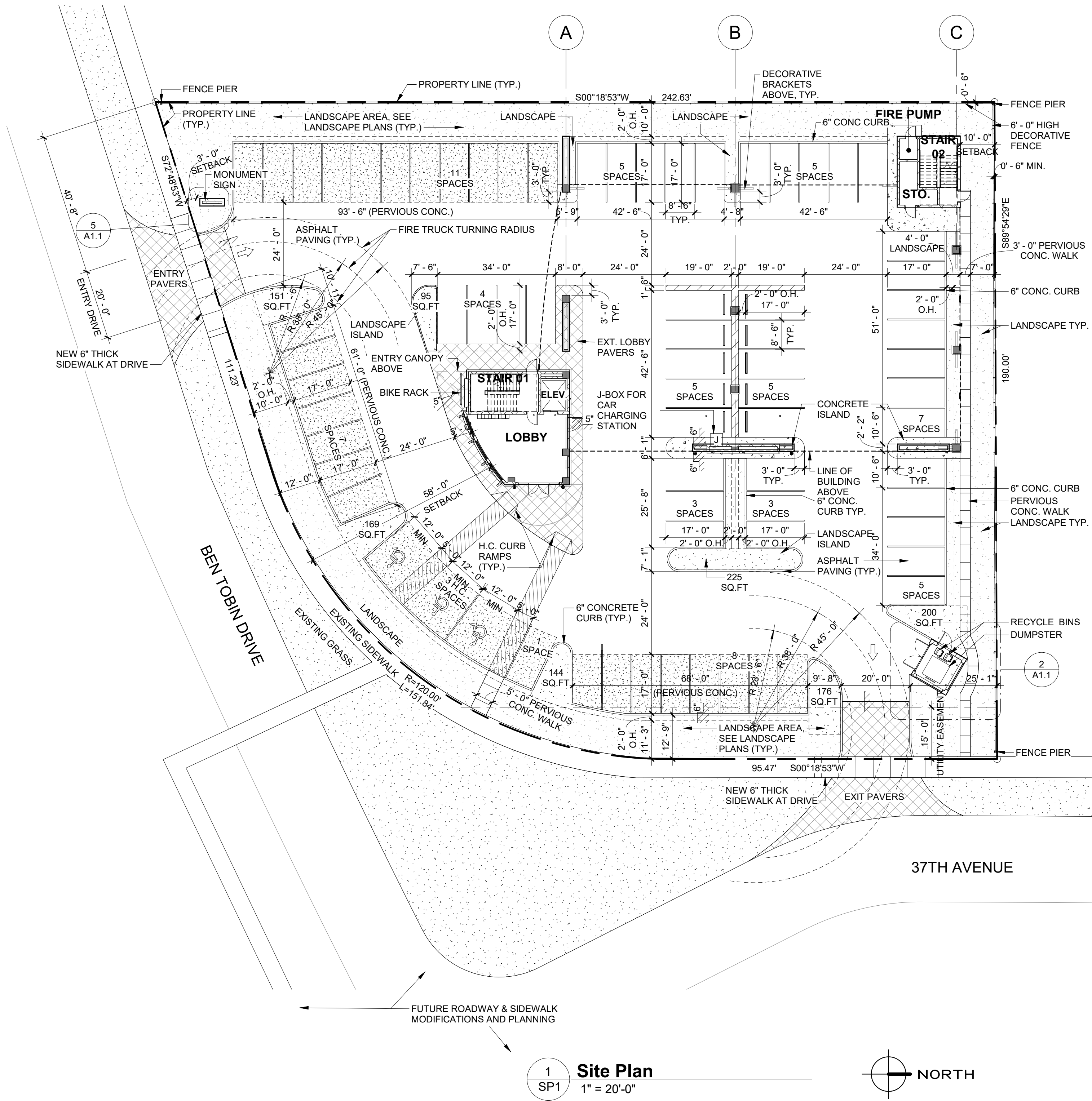


Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954.921.7781 • Fax: 954.921.8807

Certificate of Authorization 6791

3701 HILLCREST DRIVE
HOLLYWOOD, FL

ALTA/NSPA LAND TITLE SURVEY
BOUNDARY & TOPOGRAPHIC SURVEY
TOBIN CONSTRUCTION GROUP, INC.



SUMMARY OF REQUESTS - VARIANCES, MODIFICATIONS, AND WAIVERS			
RE-ZONING	FROM PUD-R TO PLANNED DEVELOPMENT		
WAIVER	ACREAGE REQUIREMENT FOR PD		
	REQUIRED	PROVIDED	
MODIFICATIONS	10 ACRES	0.896 ACRES	
	REDUCE SQUAREFOOTAGE OF TERMINAL ISLANDS		
	REQUIRED	PROVIDED	
	190 SQ.FT	95 SQ.FT MIN.	
	REDUCE REQUIRED PERCENTAGE OF LANDSCAPE FOR VUA		
	REQUIRED	PROVIDED	
VARIANCE	25%	10%	
	25 FEET PERIPHERAL LANDCAPE BUFFER		
	REQUIRED	PROVIDED	
	25' - 0"	10' - 0"	

GREEN BUILDING INITIATIVES

- A. Central air conditioner of 18 SEER or higher.
- B. Radiant barrier – Energy Star qualified – applied to attic or crawlspace.
- C. Energy efficient (Low e) windows. All windows shall conform to the Energy Star rating criteria for South Florida as approved by the NFRC (National Fenestration Rating Council).
- D. Energy efficient doors. All doors shall conform to the Energy Star rating criteria for South Florida.
- E. Energy Star approved roofing materials.
- F. Programmable thermostats.
- G. Occupancy/vacancy sensors.
- H. Dual flush toilets. These toilets when flushed use less than one gallon to flush liquid and 1.6 gallons or less for solids (USGBC). Plans shall indicate dual flush toilet. System must be verified by plumbing inspector at final inspection.
- I. All energy-efficient outdoor lighting. Suggested lights for outdoor spaces include fluorescent bulbs and fixtures with electronic ballasts (more efficient than magnetic types), low pressure sodium or mercury vapor, photovoltaic systems, LED lighting and low voltage landscape lights that run on a timer. All energy-efficient outdoor lighting shall be verified by electrical inspector at final inspection.
- J. Tankless water heater in lieu of a standard tank water heater. Documentation of energy savings must be provided. Product approvals should be provided with plans and shall indicate total energy demand. Tankless water heater shall be shown on plans and shall pass all required inspections.
- K. Electric vehicle-charging-station infrastructure.

SITE DATA

CURRENT ZONING:
PUD-R

CURRENT LAND USE:
COMPLEX

OCCUPANCY:
BUSINESS (GROUP B) OFFICES

CONSTRUCTION TYPE:
TYPE II B

NET LOT AREA:
39,029 S.F. OR 0.896 ACRES

FLOOR AREA:

1ST FLOOR AREA		
COMMON AREA:	482	S.F.
OFFICE AREA:	0	S.F.
VERTICAL CIRCULATION:	557	S.F.
TOTAL:	1,039	S.F.
2ND FLOOR AREA		
COMMON AREA:	434	S.F.
OFFICE AREA:	7,837	S.F.
VERTICAL CIRCULATION:	310	S.F.
TOTAL:	8,581	S.F.
2ND FLOOR TERRACE:	725	S.F.
3RD FLOOR AREA		
COMMON AREA:	0	S.F.
OFFICE AREA:	8,114	S.F.
VERTICAL CIRCULATION:	235	S.F.
TOTAL:	8,349	S.F.
3RD FLOOR TERRACE:	1,166	S.F.

TOTAL FLOOR AREA: 18,000 S.F.

NOTE:
TERRACES NOT INCLUDED IN TOTAL FLOOR AREA

BUILDING SETBACKS

REQUIRED:
NONE

PROPOSED:
FRONT (S.E. SIDE)= 58'-0"
EAST SIDE = 75'-5"
WEST SIDE = 10'-0"
REAR (NORTH SIDE) = 10'-0"

BUILDING HEIGHT

MAXIMUM ALLOWED:
UNLIMITED

PROPOSED:
HIGHEST POINT OF THE BUILDING
(TOP OF TOWER ON ROOF = 74'-4")
BUILDING IS THREE STORIES
50'-0" TO BUILDING ROOF LINE.

PARKING

REQUIRED:
18,000 S.F. / 250 S.F. / CARS = 72 SPACES

PROVIDED:
72 SPACES (3 H.C. SPACES)

NOTE: STANDARD PARKING SPACES ARE 8' - 6" X 19' - 0"

IMPERVIOUS AREA

25,081 S.F.
(64% OF SITE AREA)

PERVIOUS AREA
REQUIRED:
10% MINIMUM PERVIOUS AREA REQUIRED: 3,903 S.F.

LANDSCAPE AREA PROVIDED: 9,248 S.F.

PERVIOUS CONCRETE: 4,700 S.F.
(36% OF SITE AREA)
REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

REFER TO LANDSCAPE DRAWINGS FOR VUA CALCULATIONS

LEGAL DESCRIPTION

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE" AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

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GENERAL NOTES

- BUILDING WILL BE PROVIDED WITH A BI-DIRECTIONAL AMPLIFIER (BDA)
- MAXIMUM FOOT CANDLE LEVEL AT ALL PROPERTY LINES SHALL BE 1 F.C. AND 0.5 F.C. ADJACENT TO RESIDENTIAL PROPERTIES.
- ALL SIGNAGE SHALL COMPLY WITH ZONING AND LAND USE DEVELOPMENT REGULATIONS
- 2' - 0" CAR OVERHANG IS NOT INCLUDED IN THE PREVIOUS AREA PERCENTAGE
- THRESHOLD FOR OFFICE BUILDING DEVELOPMENT:
 - 18,000 SQ.FT MAX. LEASABLE AREA FOR PROFESSIONAL OFFICES
 - PARKING PERARTICEL 7 FOR PROFESSIONAL OFFICES

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

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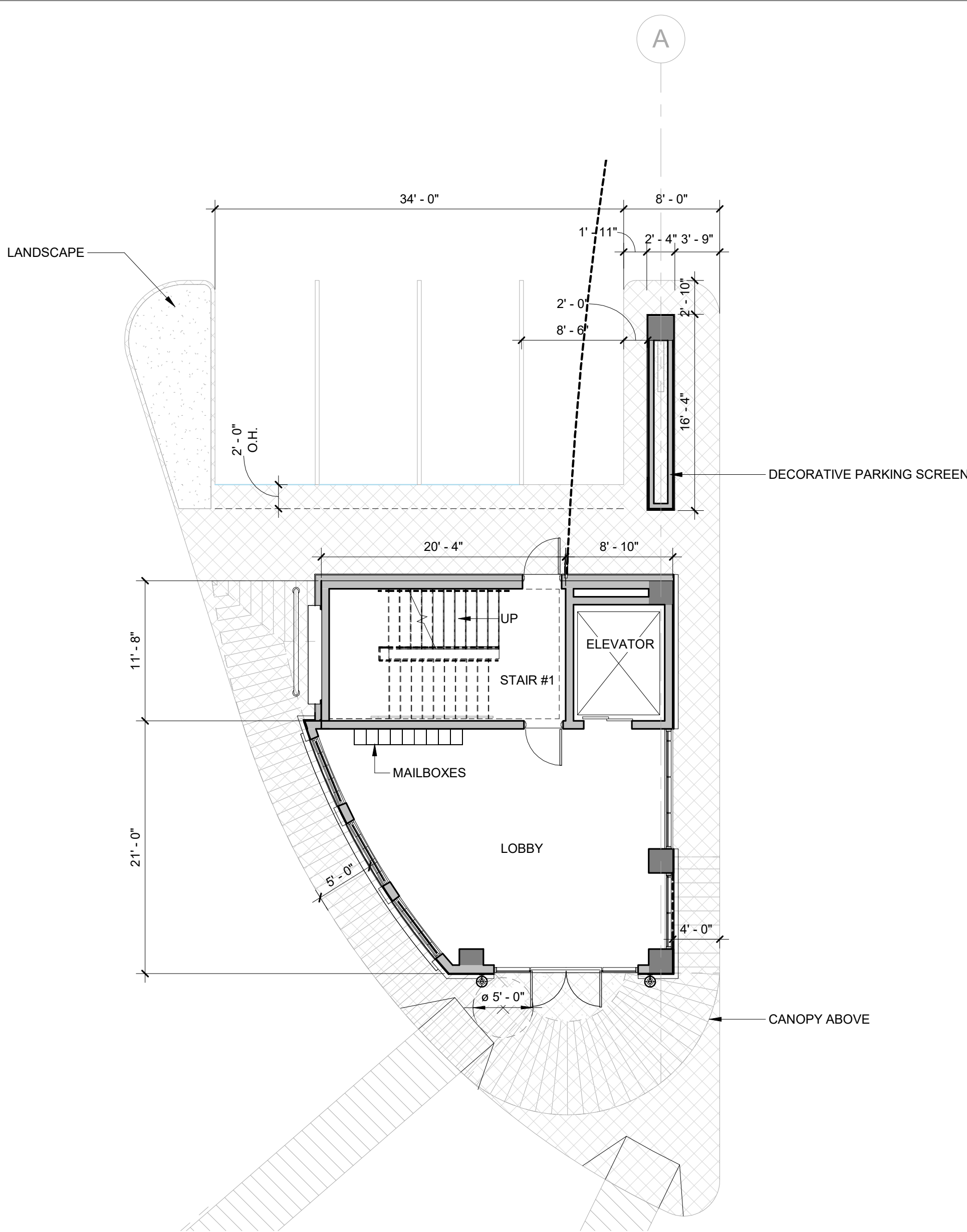
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SW

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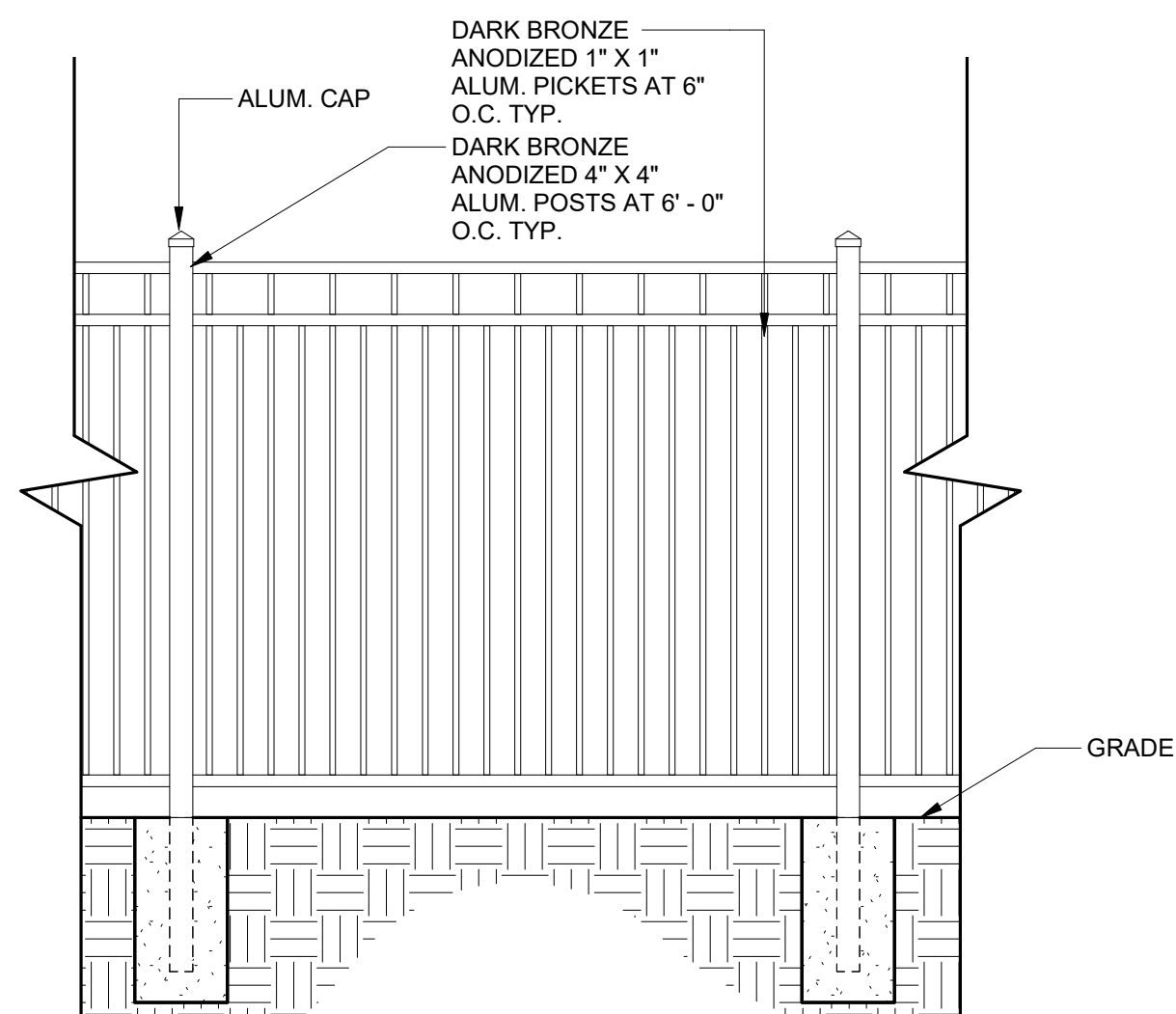
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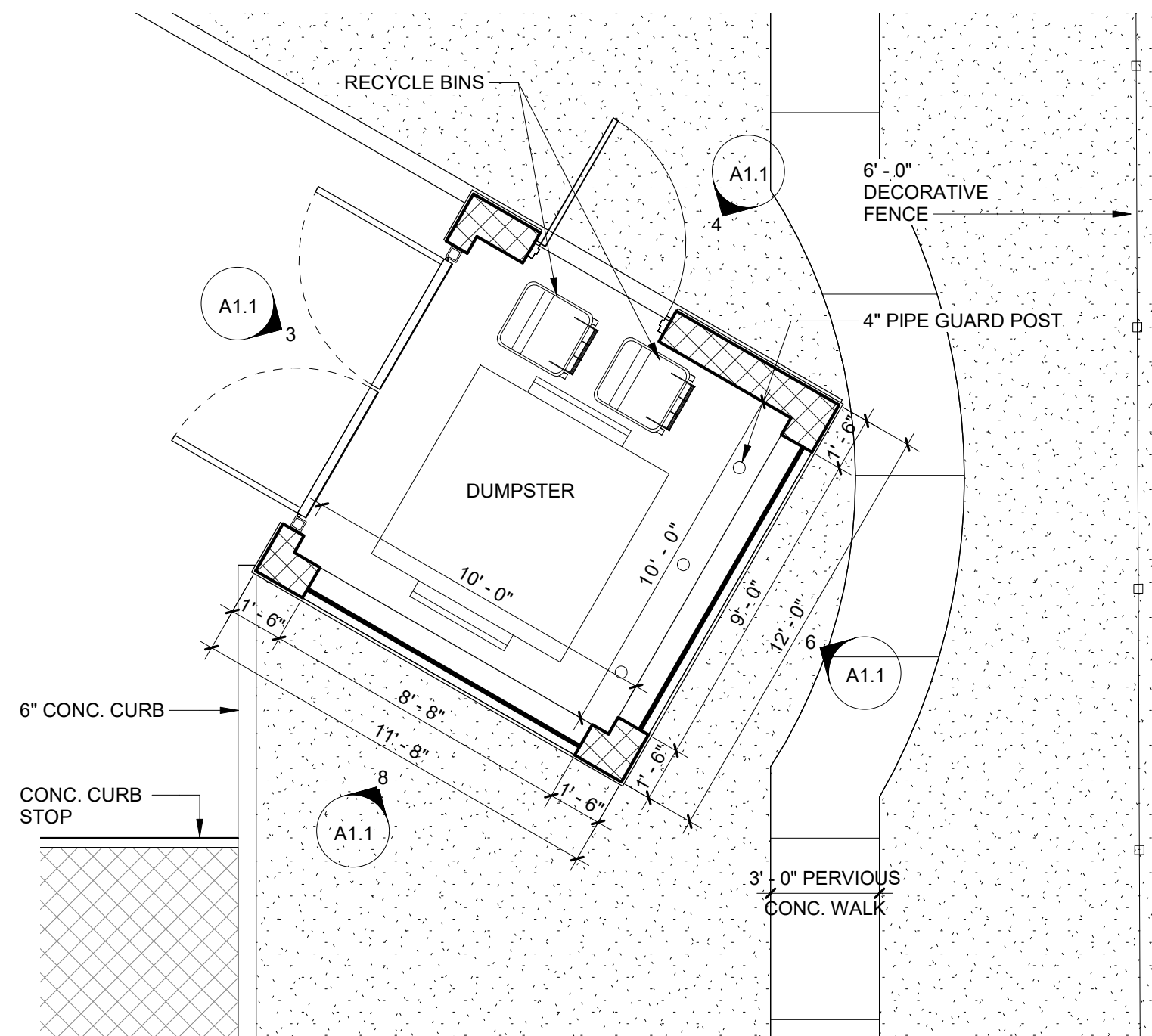
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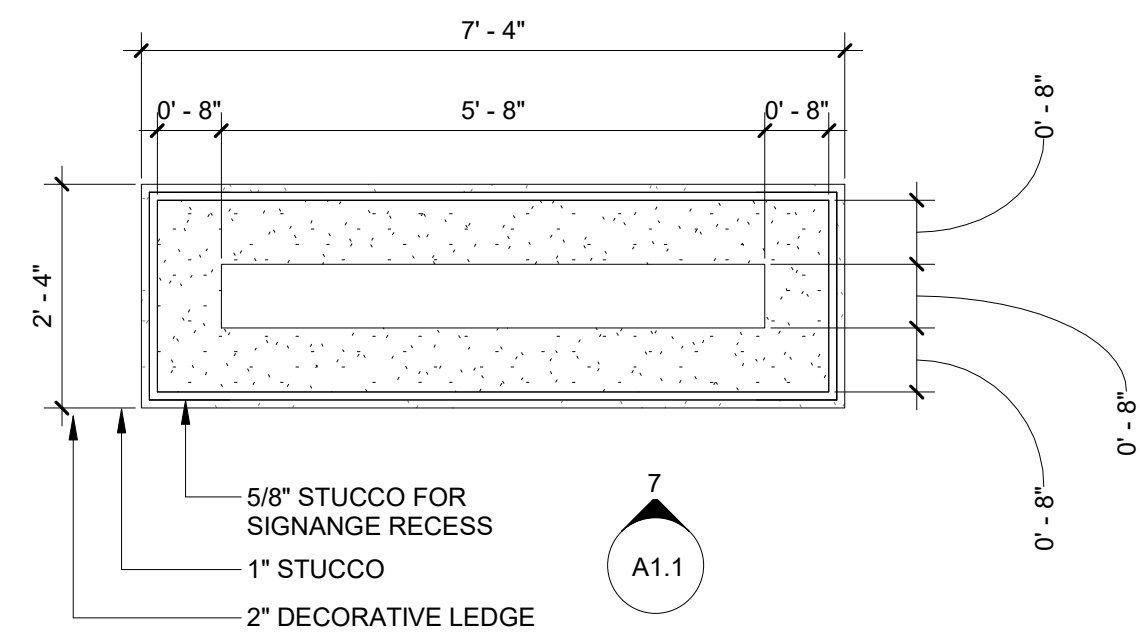
1
A1.1
GROUND FLOOR PLAN
1/8" = 1'-0"



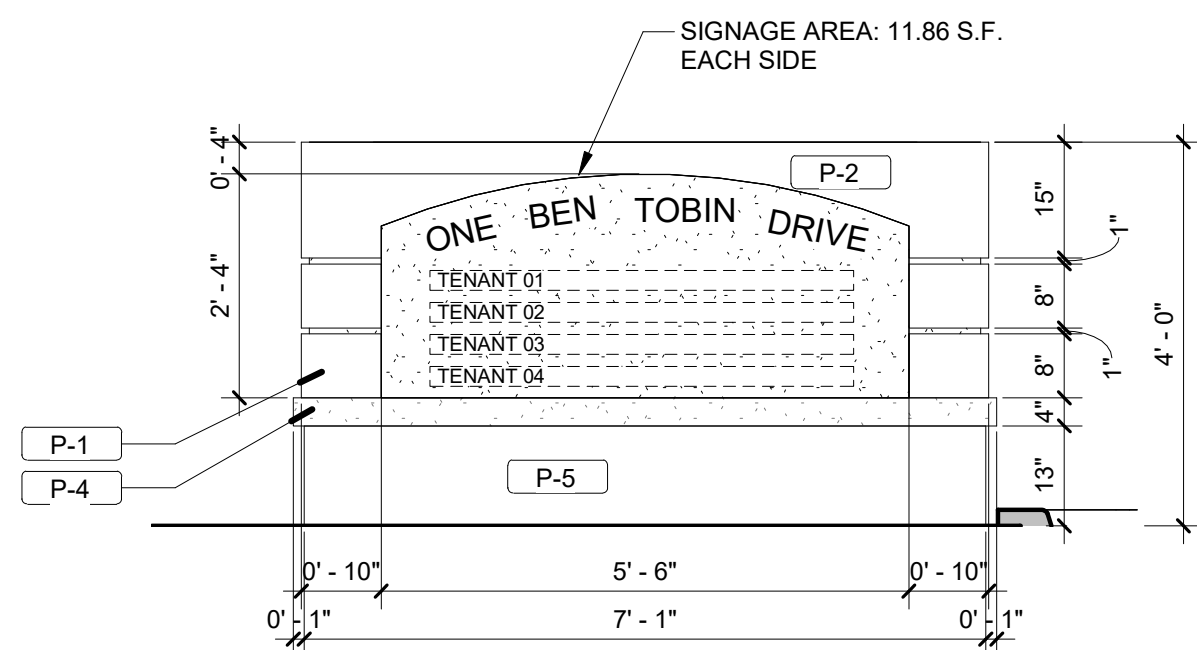
9
A1.1
PERIMETER FENCE
1/2" = 1'-0"



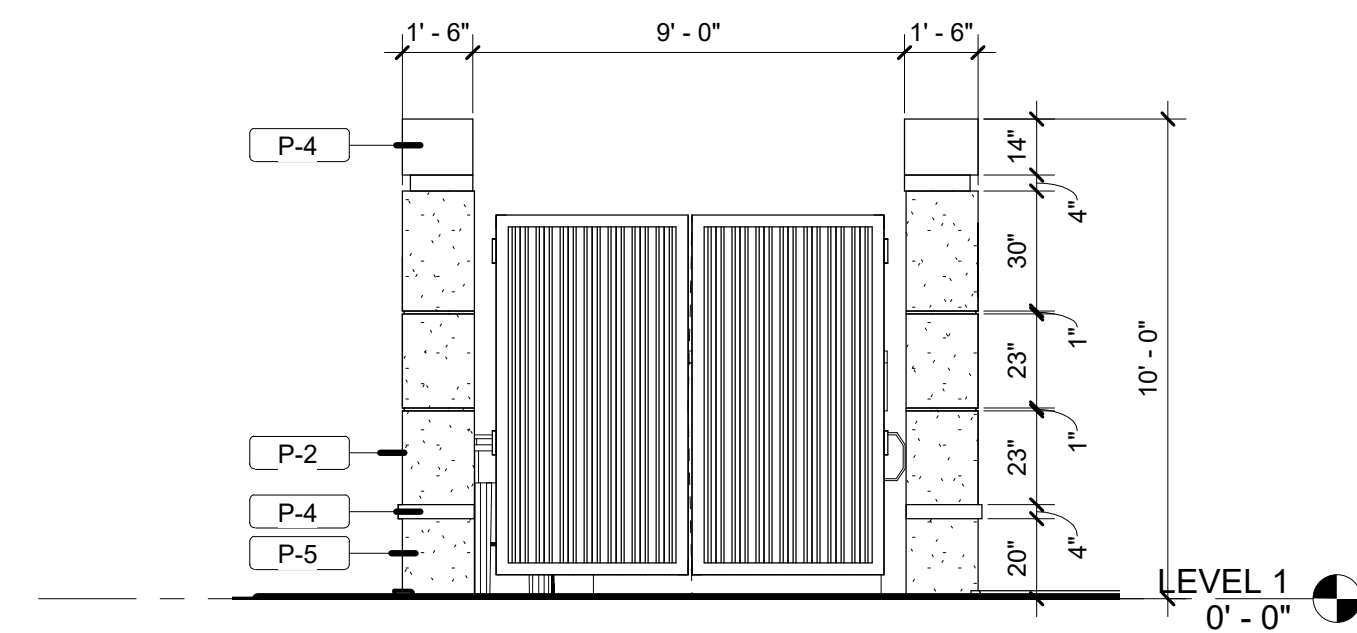
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A1.1
Site Plan-Dumpster Enlarged Plan
1/4" = 1'-0"



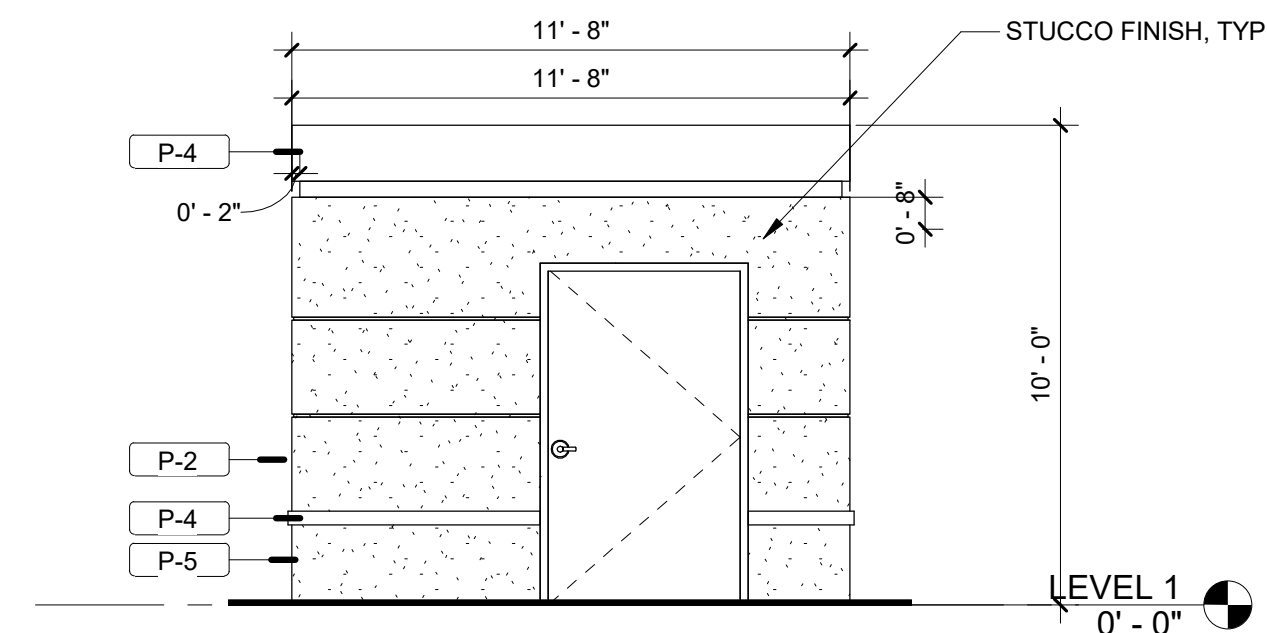
5
A1.1
MONUMENT SIGN, TYP.
1/2" = 1'-0"



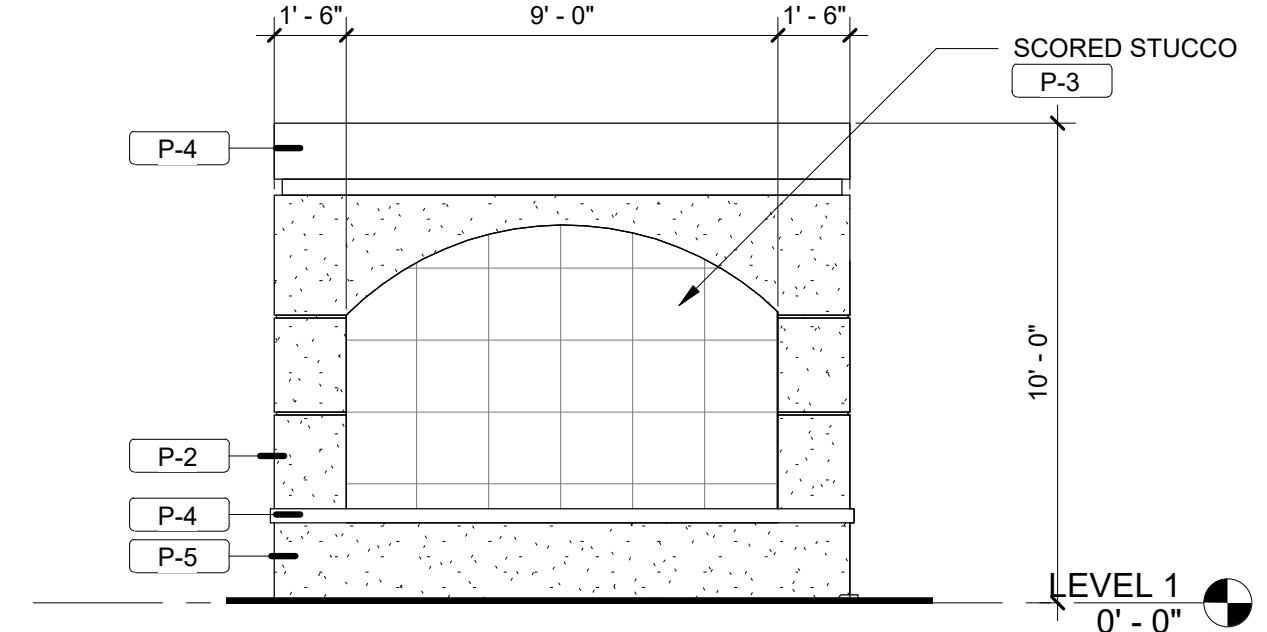
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A1.1
MONUMENT SIGN
1/2" = 1'-0"



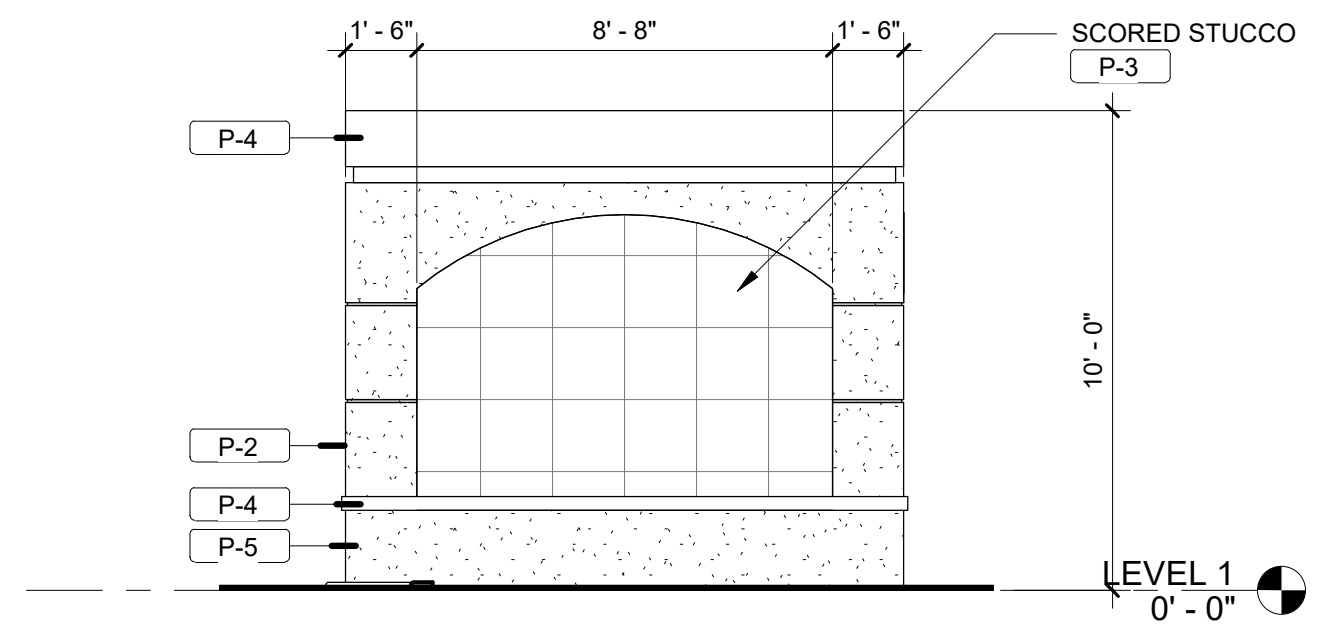
3
A1.1
DUMPSTER 01 - GATE
1/4" = 1'-0"



4
A1.1
DUMPSTER 02 - SIDE
1/4" = 1'-0"



6
A1.1
DUMPSTER 03 - REAR
1/4" = 1'-0"



8
A1.1
DUMPSTER 04 - SIDE
1/4" = 1'-0"

COLOR LEGEND	
SYMBOL	FINISH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH
NOTE: REFER TO COLOR BOARD FOR PAINT COLORS	

TOBIN OFFICE BUILDING
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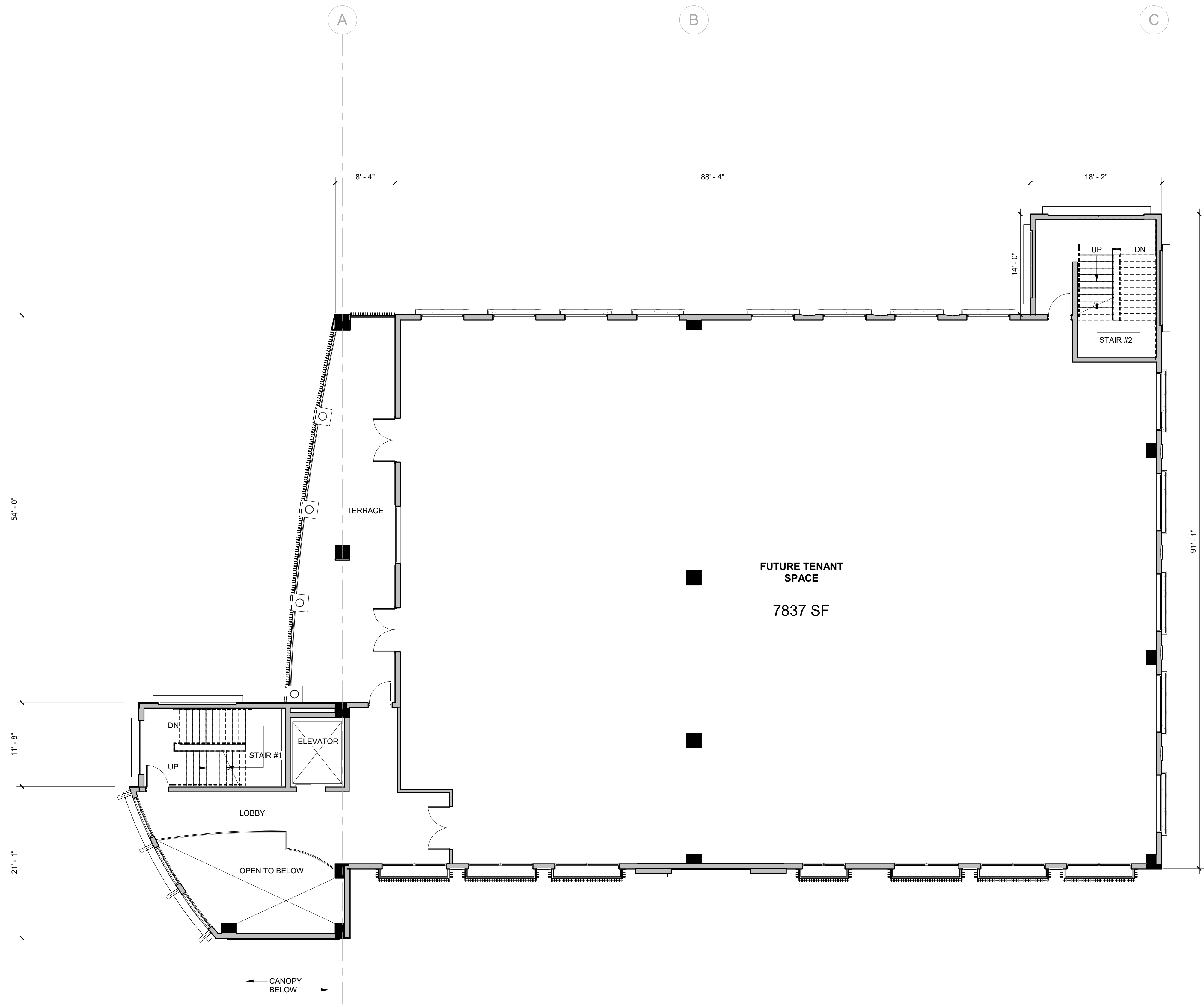
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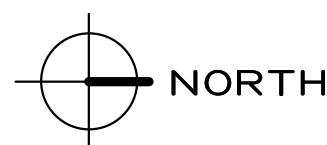
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1
A1.2

SECOND FLOOR PLAN

1/8" = 1'-0"



NORTH

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

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A1.2

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1
A1.3

THIRD FLOOR PLAN

1/8" = 1'-0"



TOBIN OFFICE BUILDING
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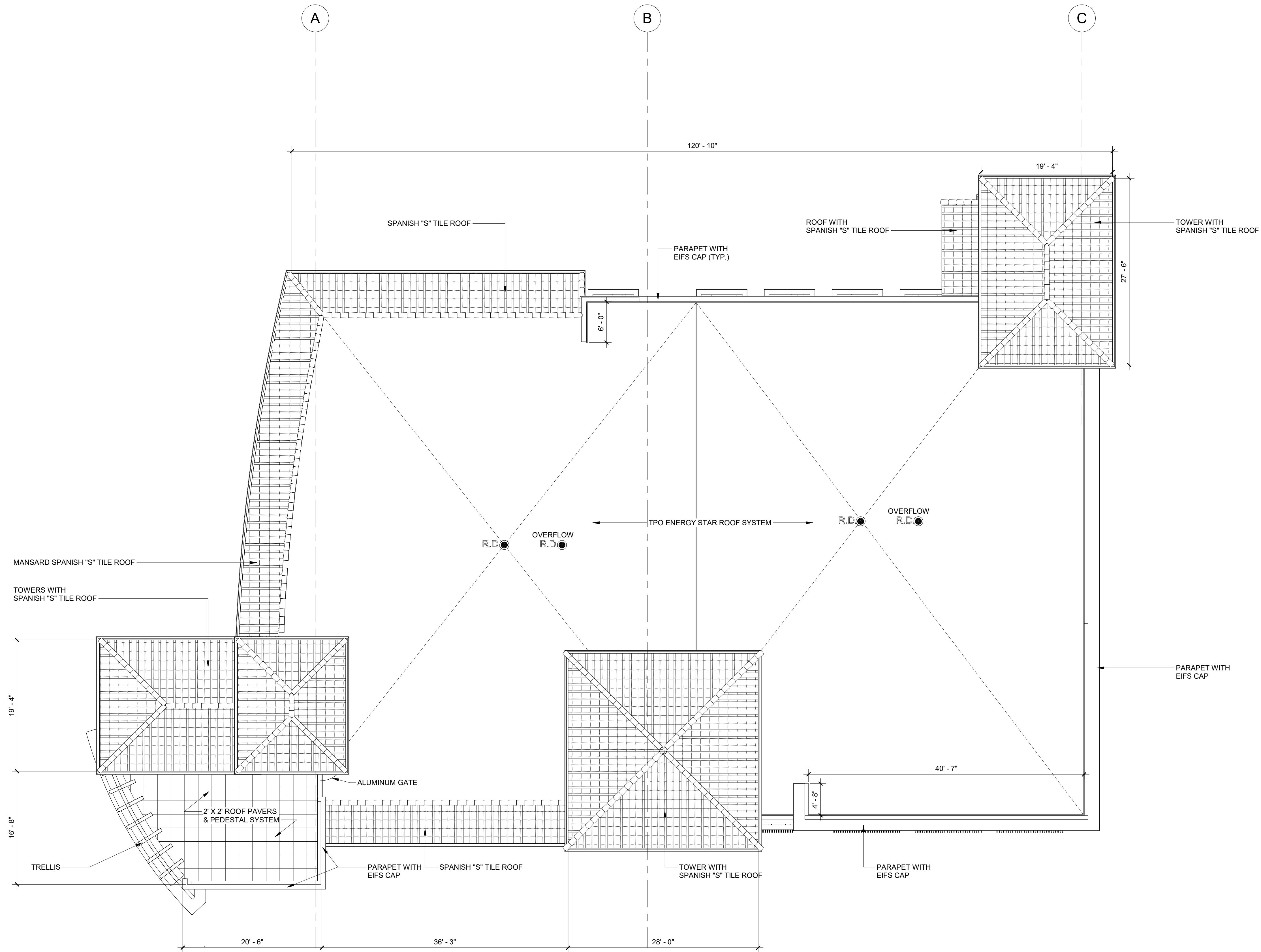
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Date:
04/02/2018

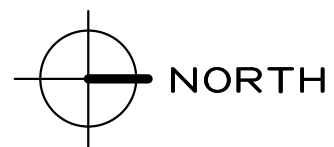
REVISIONS

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A1.3



1
A1.4
ROOF PLAN
1/8" = 1'-0"



TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

SALTZ MICHELSON
ARCHITECTS

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx:(954) 266-2701
sma@saltzmichelson.com

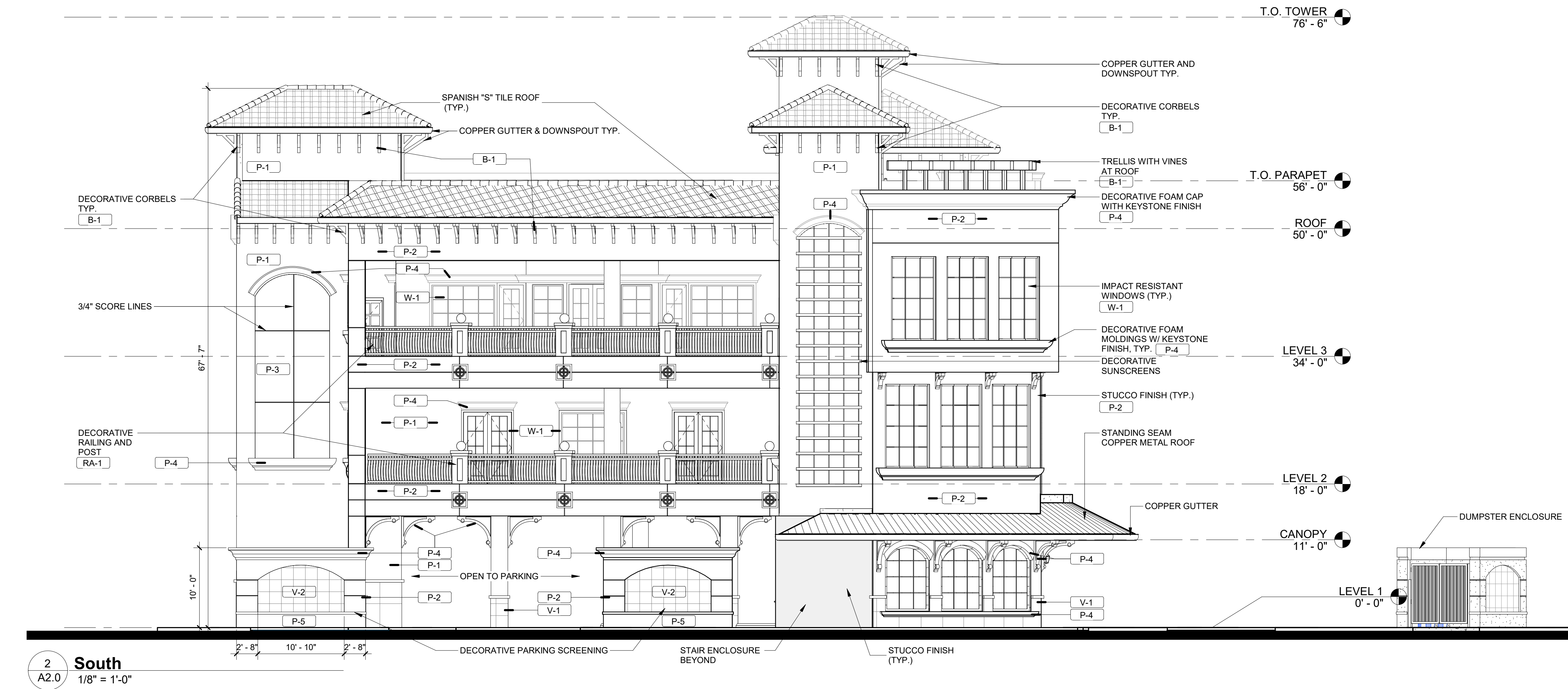
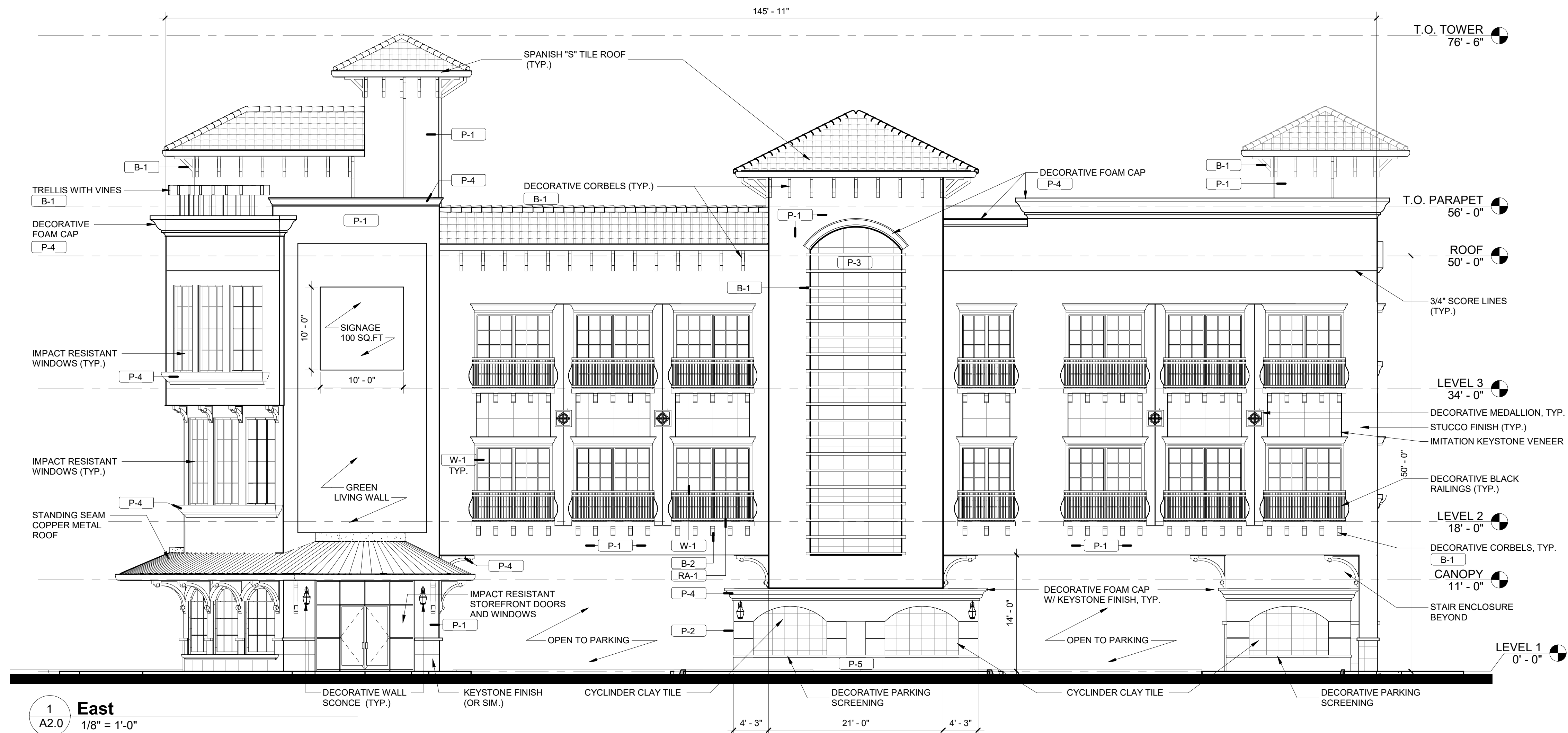
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Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
YD, ZH
Checked By :
SW

Date:
04/02/2018

REVISIONS



COLOR LEGEND	
SYMBOL	FINISH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
B-1	BRACKETS OR CORBELS - DARK BROWN FINISH
B-2	BRACKETS OR CORBELS - DARK BROWN FINISH
RA-1	RAILINGS
V-1	WHITE KEYSTONE FINISH
V-2	RED/BROWN/ORANGE CLAY TYPE FINISH
NOTE: REFER TO COLOR BOARD FOR PAINT COLORS	

TOBIN OFFICE BUILDING
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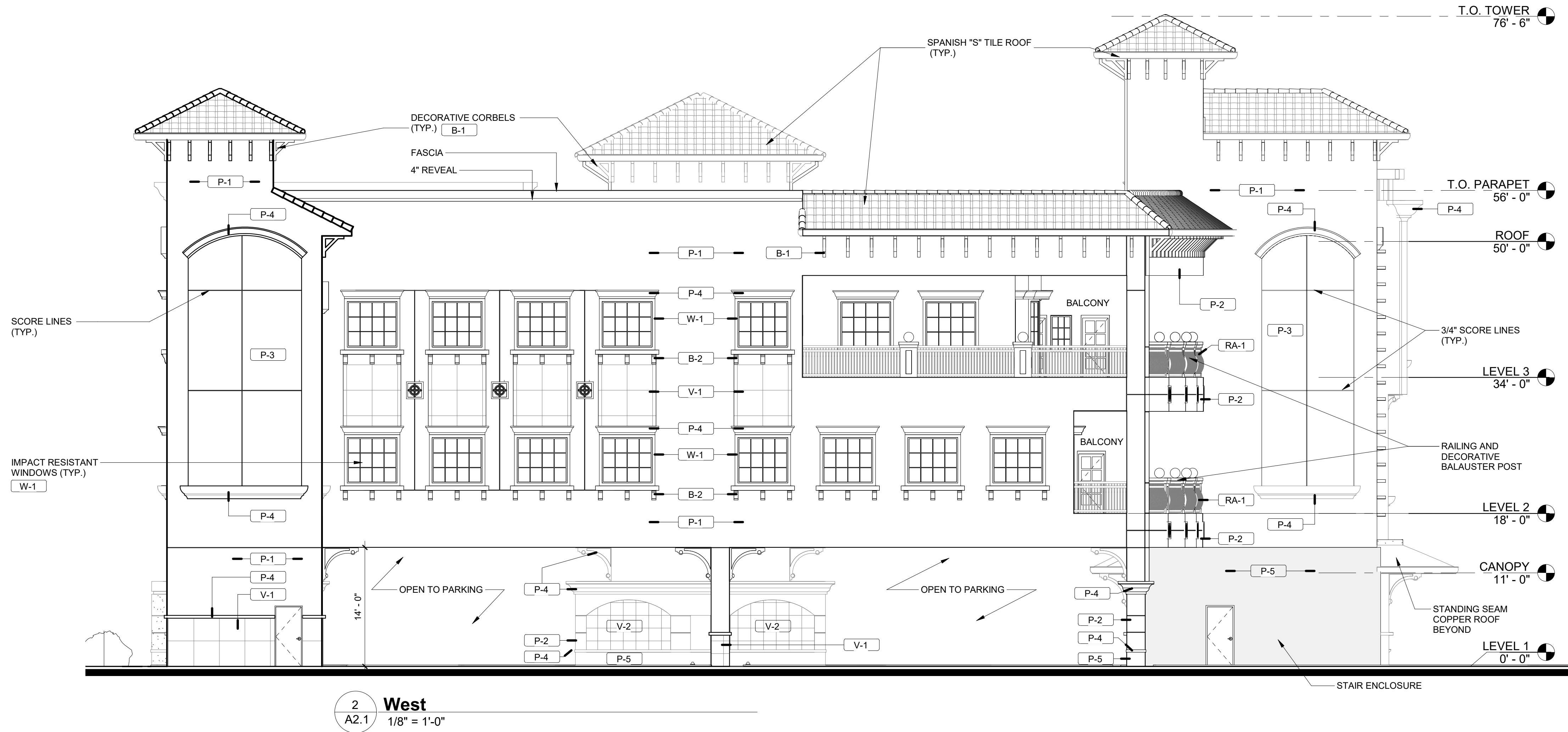
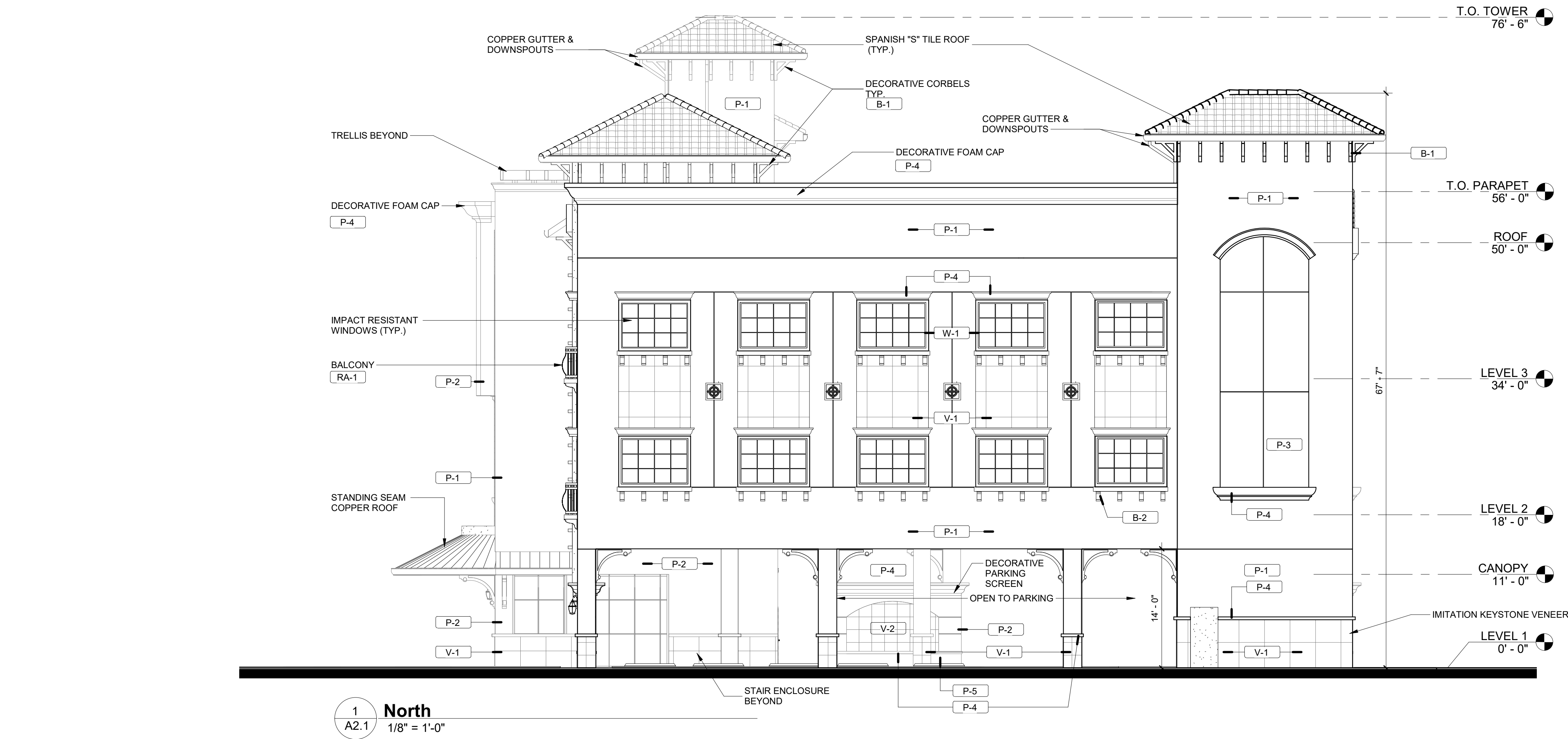
Project No. :
2017-182
Drawn By :
YD, ZH
Checked By :
SW

Date:
04/02/2018

REVISIONS

A2.0

COLOR LEGEND	
SYMBOL	FINISH/COLOR
P-1	PAINTED STUCCO
P-2	PAINTED STUCCO
P-3	PAINTED STUCCO
P-4	PAINTED STUCCO
P-5	PAINTED STUCCO
W-1	PATINA GREEN WINDOW FRAMES W/ GREY TINTED GLASS
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NOTE: REFER TO COLOR BOARD FOR PAINT COLORS	



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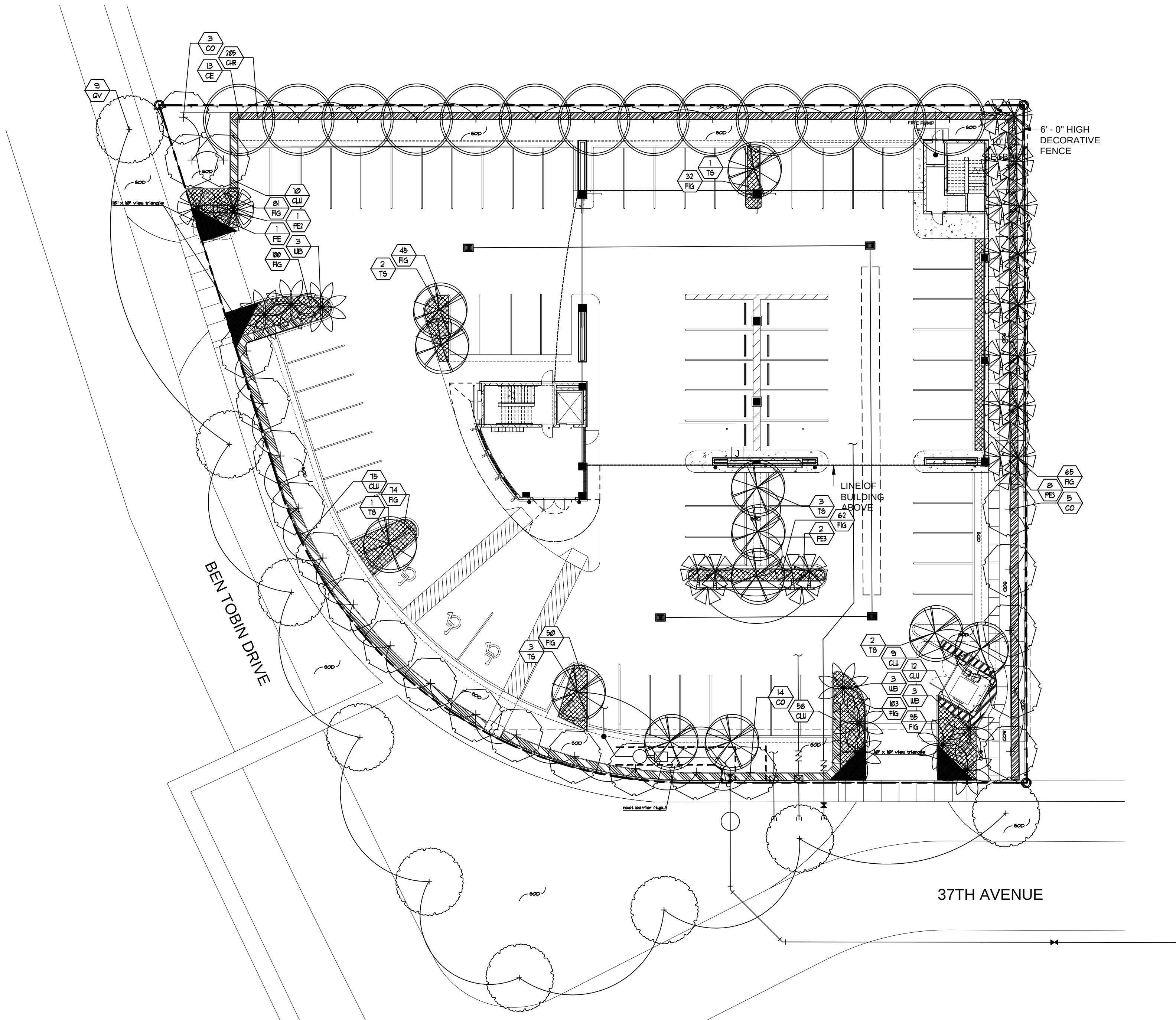
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Mark L. Saltz AR007171

Project No. :
2017-182
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Checked By :
SW
Date:
04/02/2018

REVISIONS

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PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE
CE	Conocarpus erectus Green Buttonwood	12' ht. x 5' spr., 2" dbh	13	*
CO	Chrysophyllum oliviforme Satinleaf	12' ht. x 5' spr., 2" dbh	22	*
FE	Ptychosperma elegans Solitaire Palm	20' ht., 12' c.t., single trunk	1	
FE2	Ptychosperma elegans Double Solitaire Palm	20' ht., 12' c.t., double trunk	1	
FE3	Ptychosperma elegans Triple Solitaire Palm	20' ht., 12' c.t., triple trunk	10	
QV	Quercus virginiana Live Oak	12' ht. x 5' spr., 2" dbh	9	*
TS	Tecoma stans Yellow Elder	12' ht. x 5' spr., 2" dbh	12	*
WB	Wodyetia bifurcata Foxtail Palm	16' o.a. ht., 6' c.t. min.	9	
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr., 24" o.c.	205	*
CLU	Clusia guttifera Clusia	24" ht. x 24" spr., 24" o.c.	164	
FIG	Ficus microcarpa Green Island Ficus	12" ht. x 12" spr., 18" o.c.	707	
SOD	Stenotaphrum secundatum St. Augustine Floratam	full, fresh sod	as required	
---	Root Barrier	42" root barrier	as shown	

CODE COMPLIANCE DATA

Perimeter Landscape 4 Buffer	
1. Street trees required 1/50'	
Ben Tobin Dr. 426' / 50' = 9	
	9 trees required 9 trees provided
2. Landscape North Property Line (FUD)	
1 Tree/20' 192' / 20' = 10	
	10 trees required 10 trees provided
3. Landscape West Property Line (FUD)	
1 Tree/20' 242' / 20' = 13	
	13 trees required 13 trees provided
4. Landscape Buffers South Property Line	
1 Tree/20' 331' / 20' = 17	
	17 trees required 17 trees provided
5. Terminal Islands	
10 terminal islands	
	10 trees required 10 trees provided
6. 25% of paved VUA shall be landscape area	
(* not to include perimeters) 17,379 SF of VUA x .25 = (does not include VUA under bldg)	
	4,345 SF required 1,669 SF provided
7. 1 Tree / 1000 SF of pervious area of property	
(This is in addition to VUA) Total pervious area = 6,265 SF 6,265 SF / 1000 =	
	7 trees required 10 trees provided
	66 Total Trees Required 69 Total Trees Provided

Minimum number of species required = 6/6 Provided

Tree and Palm Size Requirements

Trees: 12' ht., 2" dbh

Palms: 6' clear wood

Palms: 3:1

Shrubs: 24" ht.

Native Plant Requirements

60% of required trees must be native

Total trees required = 68 x 60 = 41 native trees required

56 native trees provided

Palms

50% of required trees may be palms

Total Trees required = 68 x 50 = 34 palms allowed

14 palms provided

If more than 20% of trees used are palms,

all other trees must be shade trees.

Shrub Height

24" ht. except where non-residential abuts

residential where the hedge must be 48" ht.

project:
tobin
building
3701 ben tobin dr.
hollywood, fl

dave bodker
landscape architecture/planning inc.

601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311

#LA0000999

sheet title:
planting
plan

project number:
11017
date: 02/20/2018
scale: 1" = 20'
drawn by: lmb

revisions:

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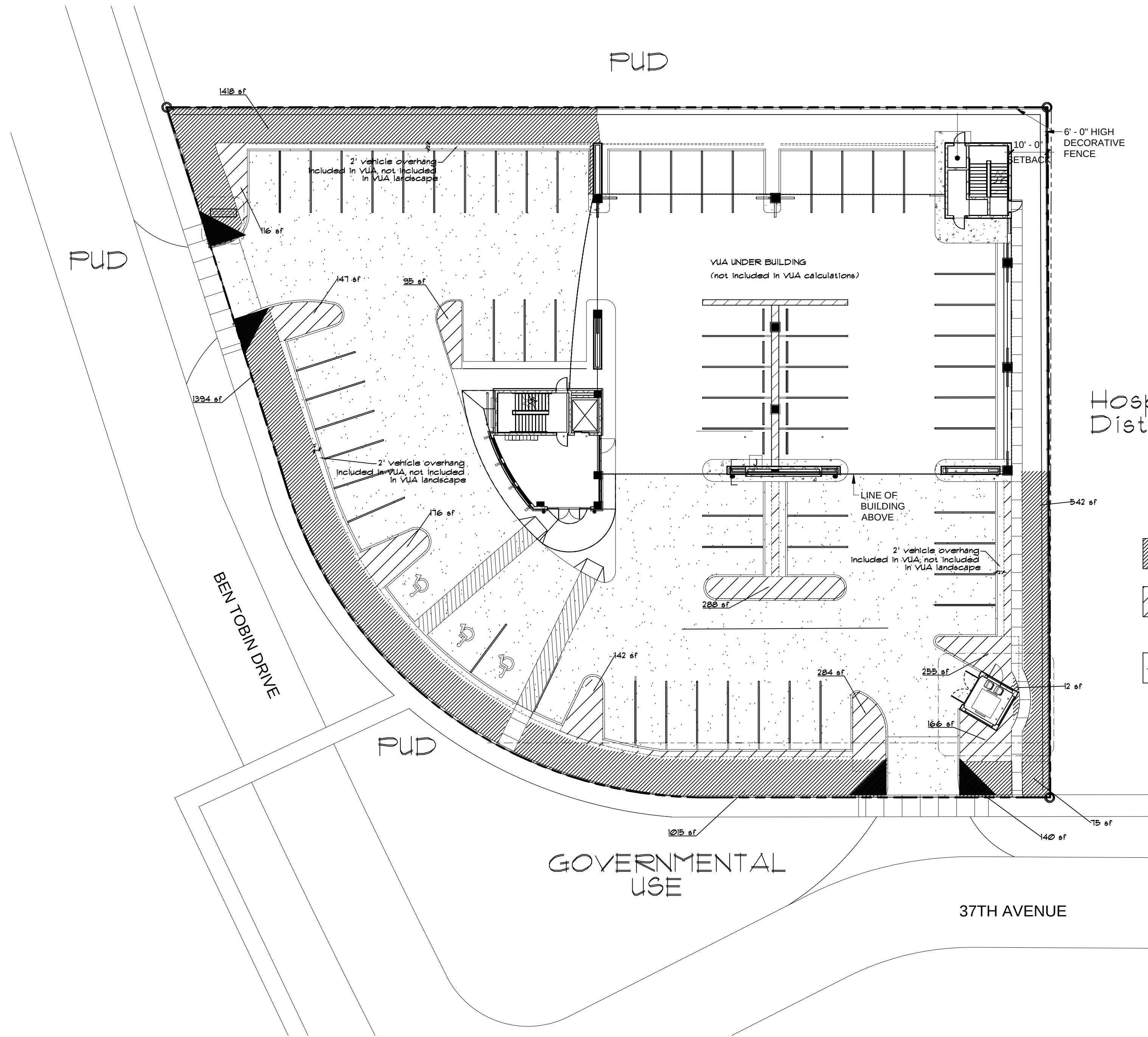
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L-1

1 of 3 sheets

NORTH





LEGEND

10' Landscape Buffer Area = 4,396 sf

VIA Landscape Area = 1,669 sf

Total Landscape Area: 6,265 sf (including buffers)

VIA Area = 17,379 sf

VIA CALCULATIONS:
VIA Area = 17,379 sf x 0.25 = 4,345 sf (required)
VIA Landscape Area = 1,669 sf (provided) - excluding buffers 10% of VIA area

CODE COMPLIANCE DATA

Perimeter Landscape 4 Buffer
1. Street trees required 1/50'
Ben Tobin Dr:
426' / 50' = 9
9 trees required
9 trees provided

2. Landscape North Property Line (PUD)
1 Tree/20'
130' / 20' = 10
10 trees required
10 trees provided

3. Landscape West Property Line (PUD)
1 Tree/20'
242' / 20' = 13
13 trees required
13 trees provided

4. Landscape Buffers South Property Line
1 Tree/20'
331' / 20' = 17
17 trees required
17 trees provided

5. Terminal Islands
10 terminal islands
10 trees required
10 trees provided

6. 25% of paved VIA shall be landscape area
(% not to include perimeters)
17,379 SF of VIA x 25 = 4,345 SF required
(does not include VIA under bldg)
1,669 SF provided

1. 1 Tree / 1,000 SF of pervious area of property
(This is in addition to VIA)
Total pervious area = 6,265 SF
6,265 SF / 1,000 = 6
6 trees required
10 trees provided
66 Total Trees Required
69 Total Trees Provided

Minimum number of species required = 6/6 Provided
Tree and Palm Size Requirements
Trees: 12" ht, 2" dbh
Palms: 6' clear wood
Palms: 3:1
Shrubs: 24" ht.

Native Plant Requirements
60% of required trees must be native
Total trees required = 68 x 60 = 41 native trees required
56 native trees provided

Palms
50% of required trees may be palms
Total Trees required = 68 x 50 = 34 palms allowed
14 palms provided

If more than 20% of trees used are palms,
all other trees must be shade trees.

Shrub Height
24" ht, except where non-residential abuts
residential where the hedge must be 48" ht.

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tobin
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601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311

#LA0000999

sheet title:

VUA calculations
plan

project number:

11017

date: 02/20/2018

scale: 1" = 20'

drawn by: lmb

revisions:

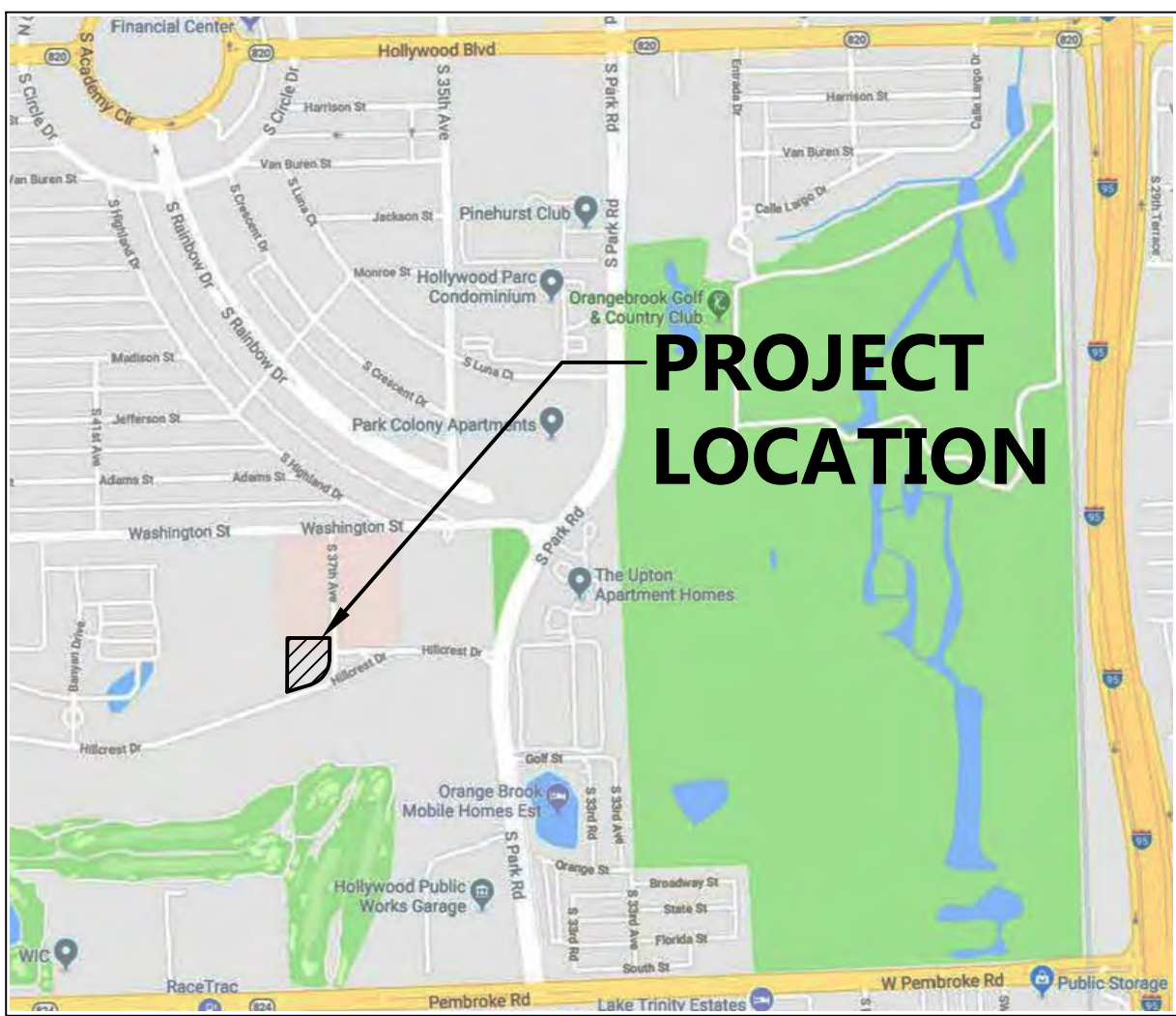
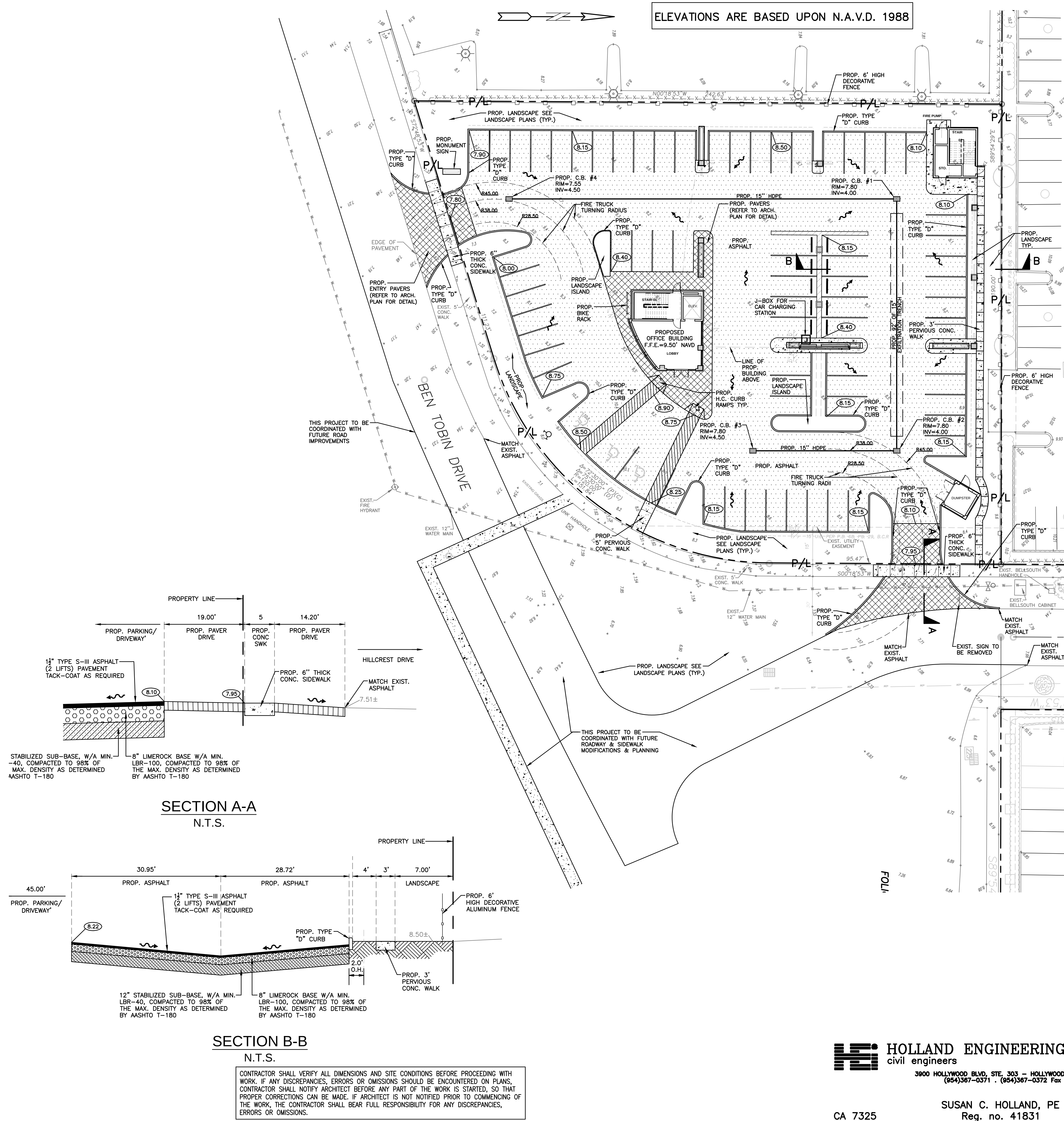
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L-3

3 of 3 sheets





LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF
BROWARD COUNTY, FLORIDA.

- NOTES:
1. MINIMUM WIDTH OF DETECTABLE WARNING SURFACE TO BE 3 FEET.
 2. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
 3. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIAL FROM SITE.
 4. CONNECT ALL ROOF DRAINS TO DRAINAGE CATCH BASINS.
 5. CONCRETE SIDEWALK TO BE COMPLIANCE WITH CITY OF HOLLYWOOD & BROWARD COUNTY REQUIREMENTS.
 6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
 7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
 8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
 9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
 10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).
 11. REFER TO ARCHITECT'S SITE PLAN FOR SITE LAYOUT AND DIMENSIONS.
 12. CONTRACTOR TO PROVIDE AN UNDERGROUND UTILITY LOCATE SURVEY BY A PRIVATE LOCATING SERVICE FOR THE ENTIRE PROJECT SITE.
 13. FEMA FLOOD ZONE X.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

LEGEND

	PROPOSED ASPHALT		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE		PROPOSED PIPING
	PROPOSED PAVERS		EXISTING PIPING AND APPURTENANCES
	PROPOSED ELEVATION		EXISTING CATCH BASIN
	PROPOSED SURFACE FLOW		EXISTING ELEVATION
	PROPOSED SIGN (AS INDICATED)		EXISTING CONCRETE LIGHT POLE
	PROPOSED CLEANOUT		PROPOSED WATER METER
			EXISTING FENCE

PAVING & DRAINAGE PLAN

SCALE: 1"=20'

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

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ARCHITECTS

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AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
AA
Checked By :
SCH
Date:
05/07/18

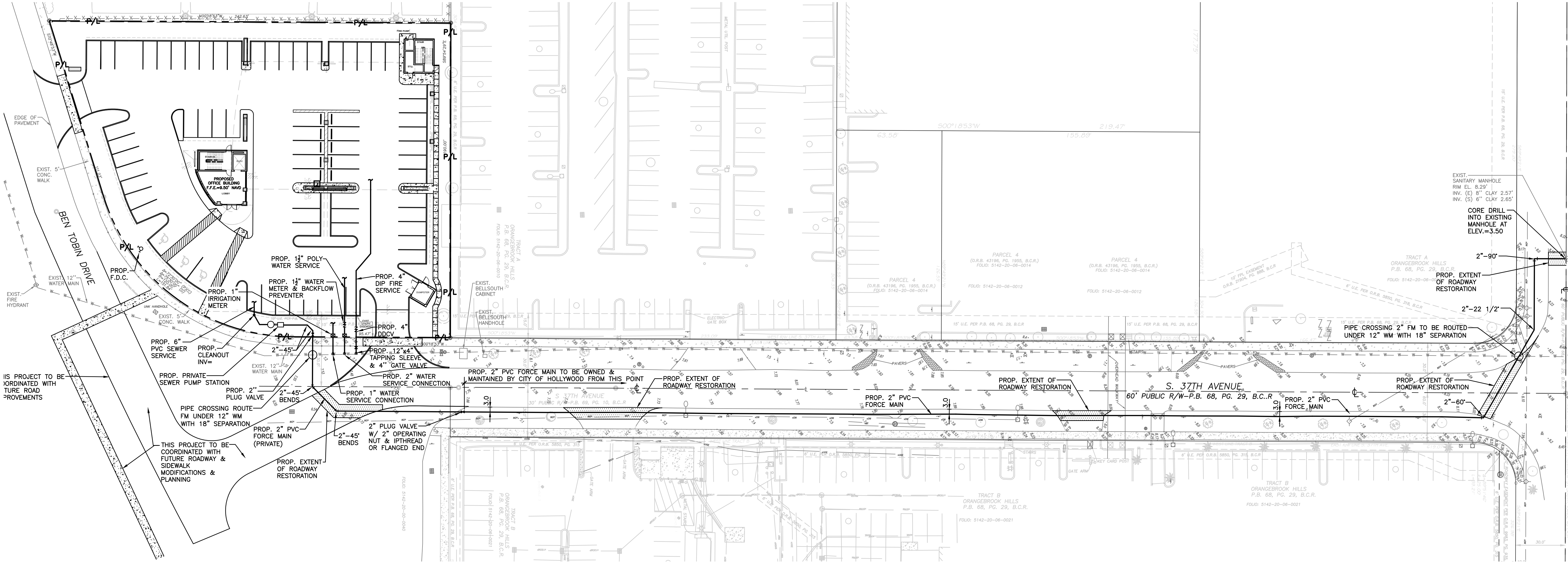
REVISIONS

C-1

HOLLAND ENGINEERING INC.
civil engineers
3800 HOLLYWOOD BLVD., STE. 303 - HOLLYWOOD - FL - 33021
(954) 367-0371 . (954) 367-0372 Fax

SUSAN C. HOLLAND, PE
Reg. no. 41831

CA 7325



TRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH
RK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS,
TRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT
PER CORRECTIONS CAN BE MADE. F ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF
WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES,
ORS OR OMISSIONS.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE
PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE
INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN
ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY
ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN
COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING
ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE
ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK.
ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED
IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE
UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL
TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE
ALLOWED.

FIRE FLOW CALCULATIONS
Tobin Building
A Three Story Commercial Building
3701 Hillcrest Drive, Hollywood

These calculations are for a three (3) story commercial building, with a total ground floor square footage of 1,120 SF. The entire building is non-combustible construction.

Fire Flow Area = 18,000 SF

Based on Type II (222) construction. Per NFPA 18.4.4.1 Fire Flow Area, the fire flow area is based on the total floor area of all floor levels. The total square footage of the three floors is 18,000 square feet.

Per Table 18.4.5.2.1, the fire flow requirement is 1,500 gpm for 2 hours.

NFPA 18.4.5.3.2 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,500 gpm X 75% = 1,125 gpm (fire flow credit)

1,500 gpm – 1,125 gpm = 375 gpm

The minimum fire flow per NFPA 18.4.5.3.2 is 1,000 gpm

Fire flow required = 1,000 gpm

Per the hydrant flow test, 1,100 gpm is available

ELEVATIONS ARE BASED UPON N.A.V.D. 1988

NOTE:
UNDERGROUND FIRE MAIN WORK WILL BE COMPLETED BY A CONTRACTOR HOLDING A CLASS I, II, OR V LICENCE PER FS 633.102.

NOTES:

1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER, SEWER AND FIRE SERVICES.
2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERAL AND CONFIRM DEPTH OF PIPE.
3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

LEGAL DESCRIPTION:

A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGEND

	PROPOSED ROADWAY RESTORATION AREA		EXISTING RPZ BACKFLOW PREVENTER
	PROPOSED CONCRETE SIDEWALK		PROPOSED PIPING
	PROPOSED ELEVATION		EXISTING PIPING AND APPURTENANCES
	PROPOSED SURFACE FLOW		EXISTING CATCH BASIN
	PROPOSED SIGN (AS INDICATED)		EXISTING ELEVATION
	PROPOSED CLEANOUT		EXISTING CONCRETE LIGHT POLE
			PROPOSED WATER METER
			EXISTING FENCE

WATER & SEWER PLAN

SCALE: 1"=30'

SALTZ MICHELSON
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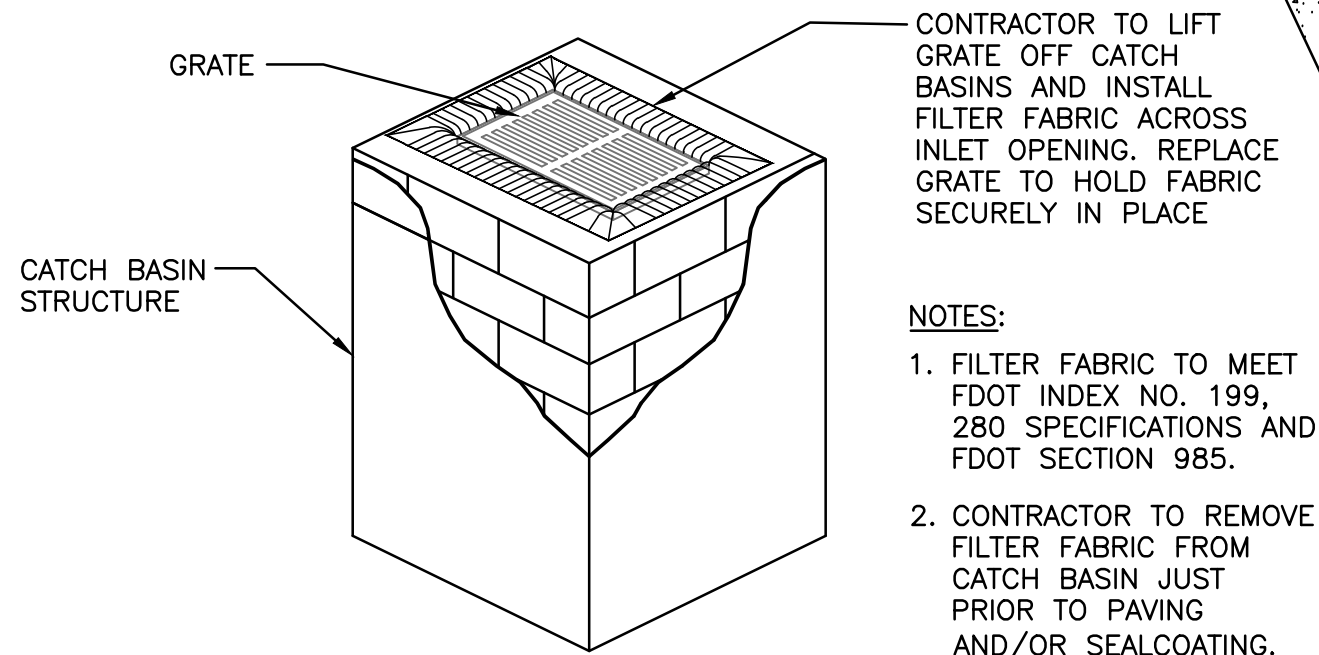
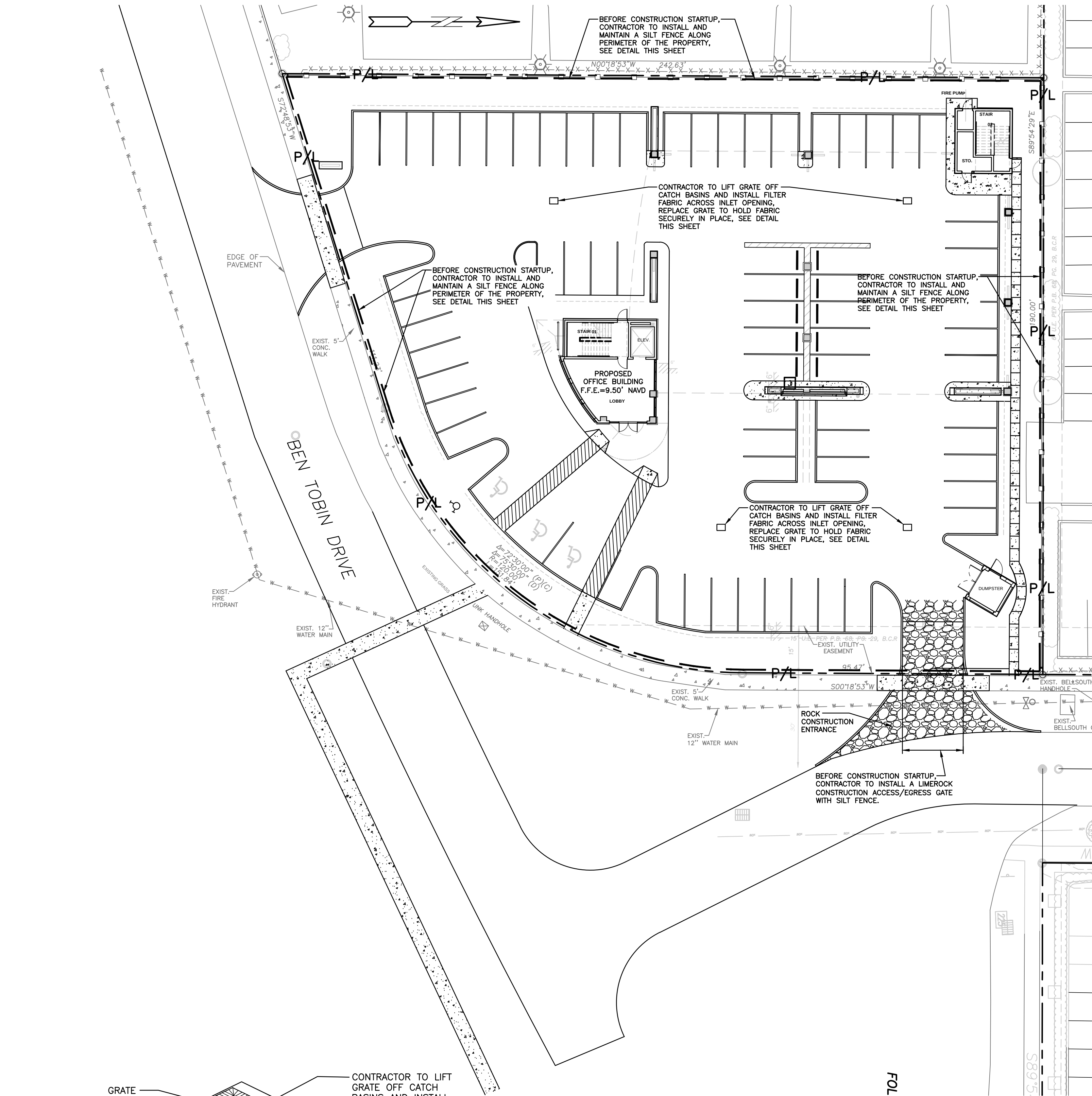
AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
AA
Checked By :
SCH
Date:
05/07/18

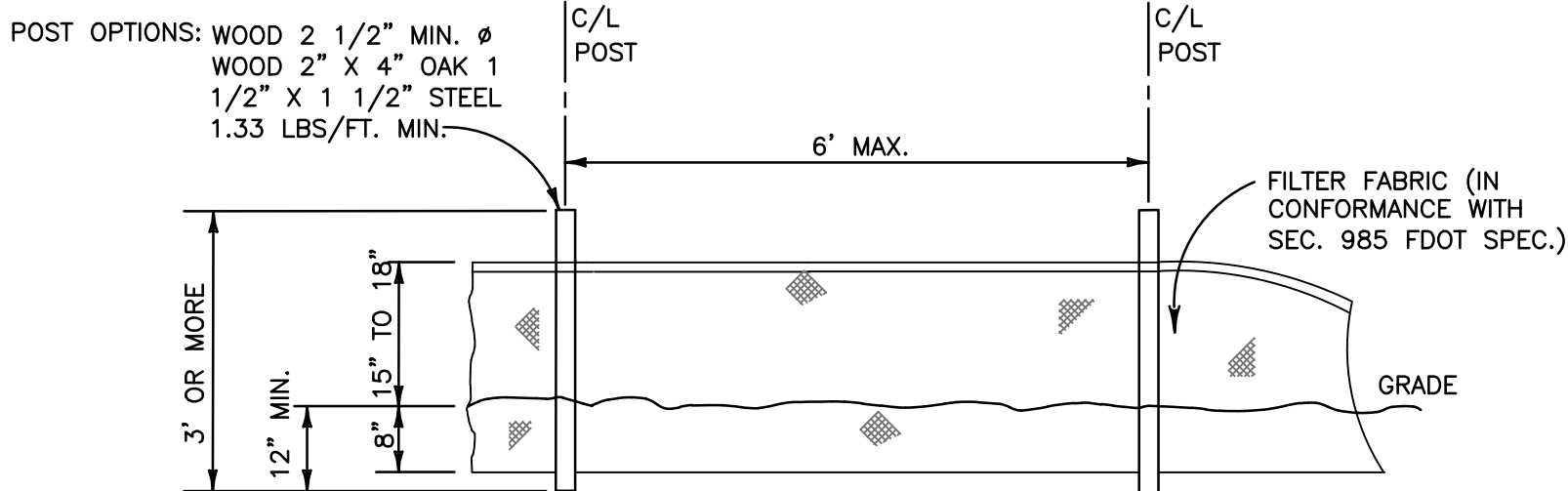
REVISIONS

C-2



**POLLUTION PREVENTION
FOR CATCH BASIN**
N.T.S.

- NOTES:**
1. FILTER FABRIC TO MEET FDOT INDEX NO. 199, 280 SPECIFICATIONS AND FDOT SECTION 985.
 2. CONTRACTOR TO REMOVE FILTER FABRIC FROM CATCH BASIN JUST PRIOR TO PAVING AND/OR SEALCOATING.



TYPE III SILT FENCE
NTS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
A PORTION OF BLOCK 9 OF "HILLWOOD SECTION THREE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 69, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BMP NOTES:

1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.
12. PROVIDE SILT FENCE AROUND WORK AREA DURING INSTALLATION OF NEW 8" SANITARY SEWER MAIN.

LEGEND

- | | | | |
|--|------------------------------|--|-----------------------------------|
| | PROPOSED ASPHALT | | EXISTING RPZ BACKFLOW PREVENTER |
| | PROPOSED CONCRETE | | PROPOSED PIPING |
| | PROPOSED PAVERS | | EXISTING PIPING AND APPURTENANCES |
| | PROPOSED ELEVATION | | EXISTING CATCH BASIN |
| | PROPOSED SURFACE FLOW | | EXISTING ELEVATION |
| | PROPOSED SIGN (AS INDICATED) | | EXISTING CONCRETE LIGHT POLE |
| | PROPOSED CLEANOUT | | PROPOSED WATER METER |
| | | | EXISTING FENCE |



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SUSAN C. HOLLAND, PE
Reg. no. 41831

CA 7325

STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1"=20'

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE
HOLLYWOOD, FL 33021

**SALTZ MICHELSON
ARCHITECTS**

3501 Griffin Road
Ft. Lauderdale, FL 33312
(954) 266-2700 Fx: (954) 266-2701
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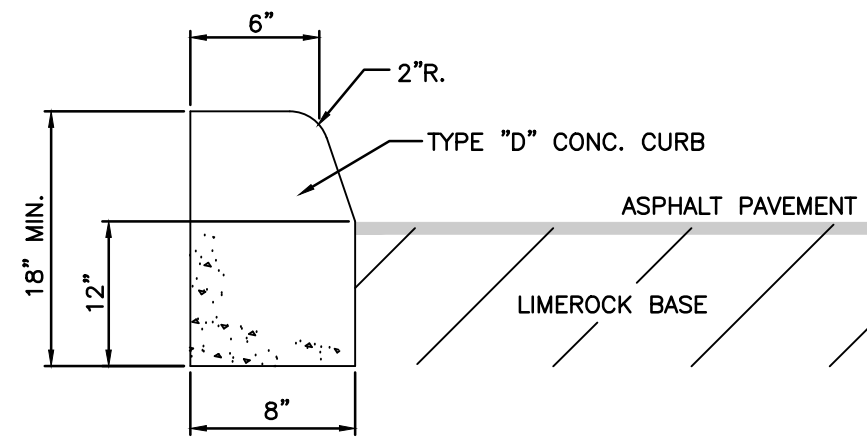
AA-0002897

Mark L. Saltz AR007171

Project No. :
2017-182
Drawn By :
ZH
Checked By :
SW
Date:
05/07/18

REVISIONS

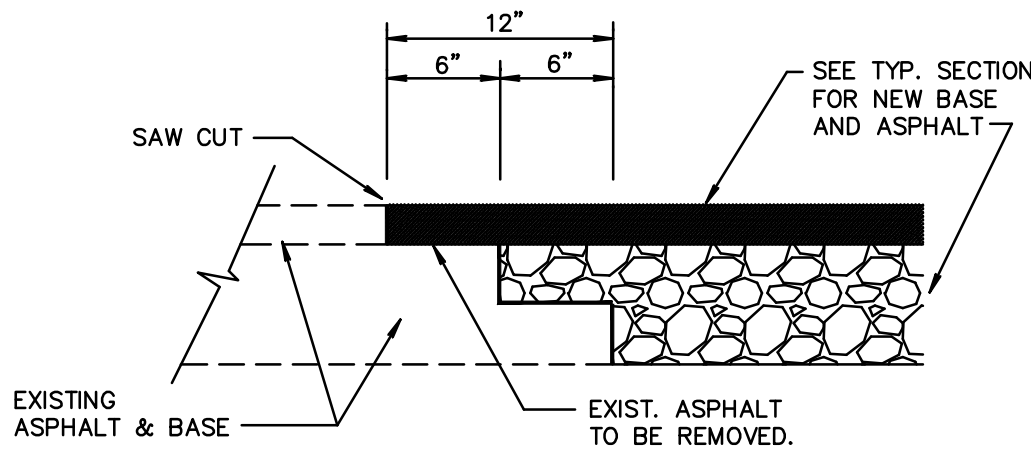
C-4



TYPE "D" CONCRETE CURB

DETAIL

NTS



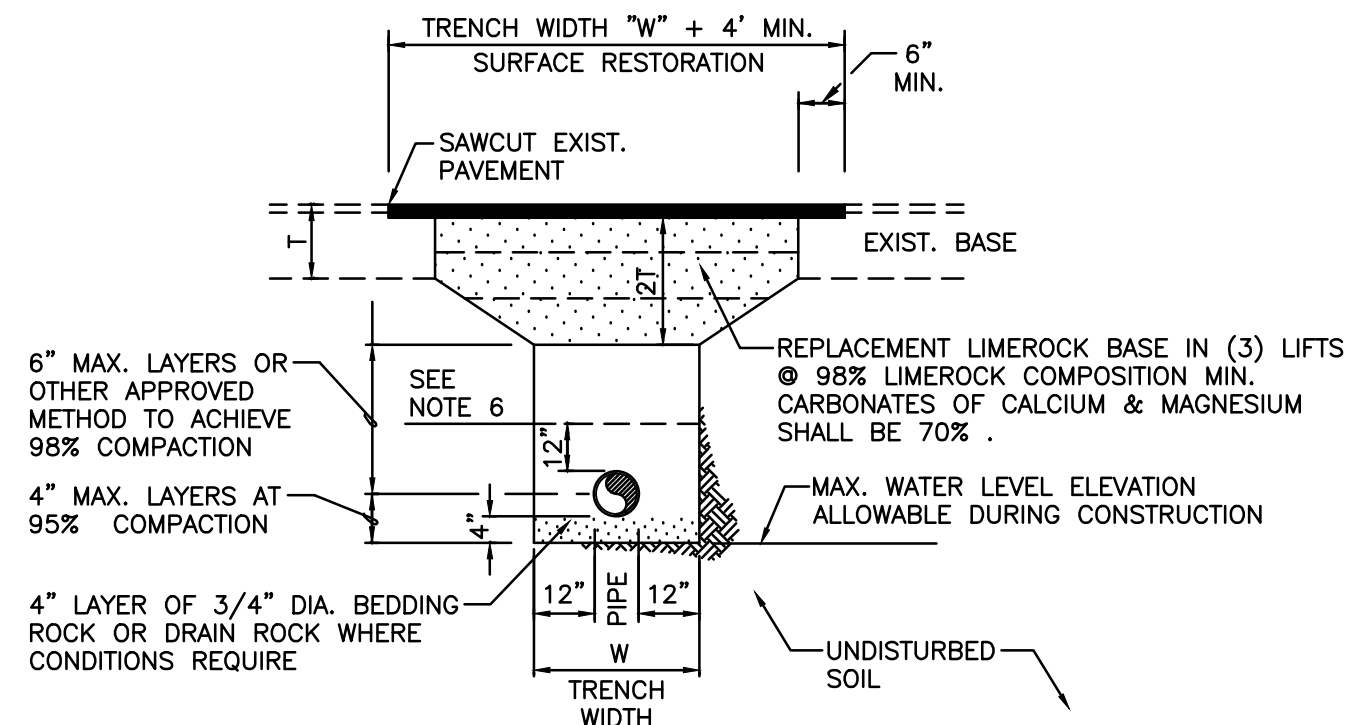
NOTE:

THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.

TYPICAL PAVEMENT JOINT DETAIL

DETAIL

NTS



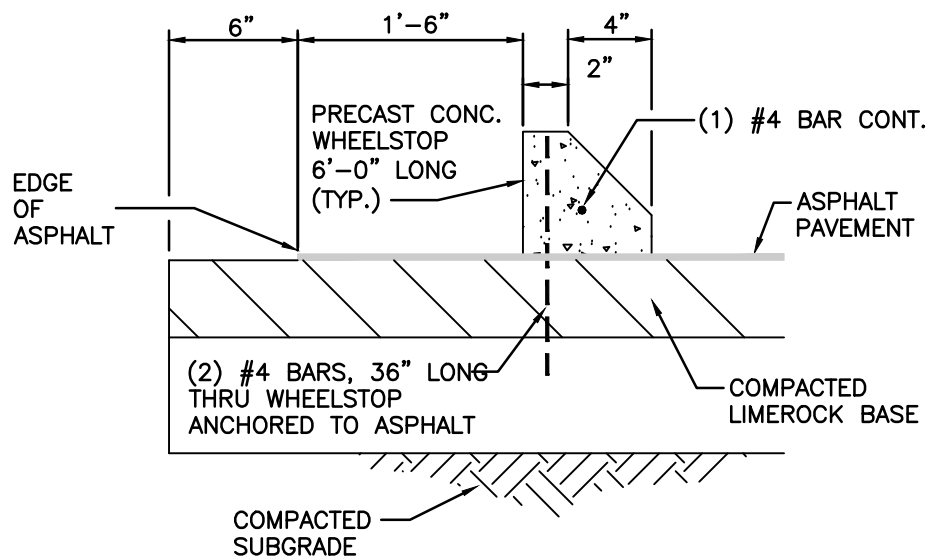
GENERAL NOTES:

- WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION .
- SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD .
- NEW SURFACING MATERIALS SHALL BE CONSISTENT W/ EXIST. & SHALL HAVE BUTT JOINTS (2" MIN. THK.) .
- COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180 .
- ALL ROADWAY RESTORATION SHALL COMPLY W/ THE RESPECTIVE GOVERNING AUTHORITY HAVING JURISDICTION .
- MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL (SEE DETAIL) .
- DENSITY TESTS - MIN. 2 PER SUB-BASE, MIN. 2 PER LIMEROCK, PER CUT . CITY ENGINEERING DEPT. RECEIVES 2 COPIES OF RESULTS .

PAVEMENT RESTORATION

DETAIL

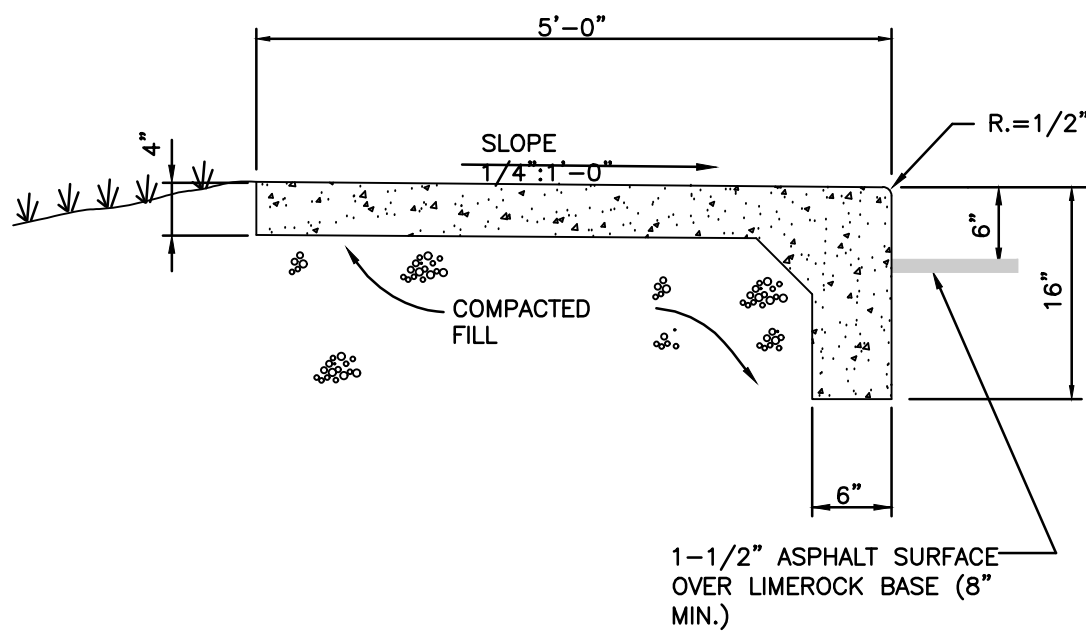
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CONCRETE WHEELSTOP

DETAIL

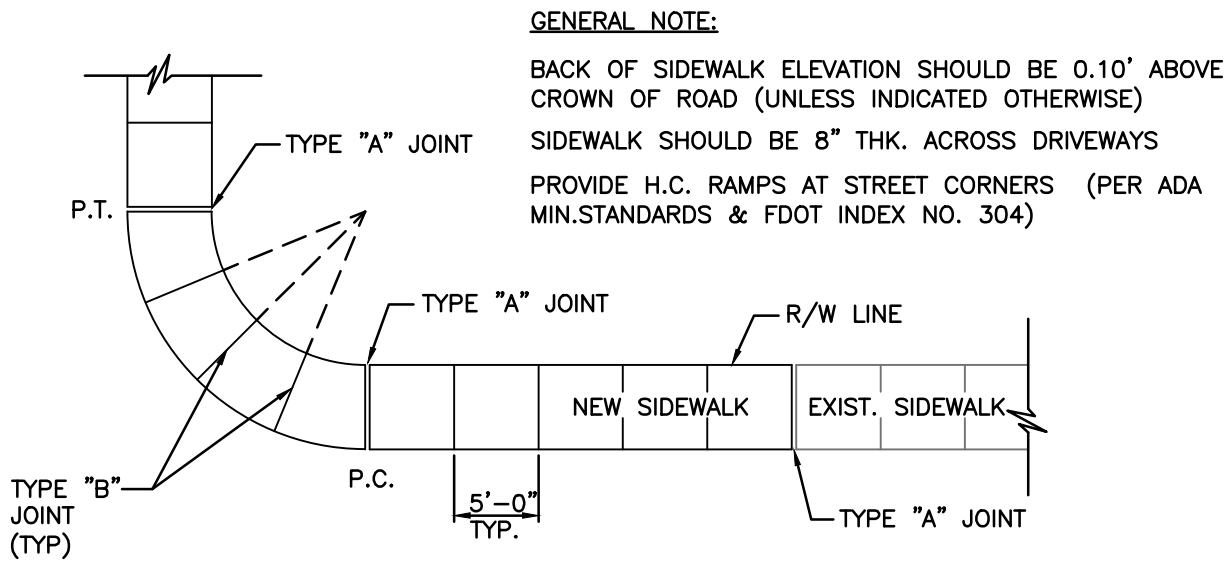
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SIDEWALK WITH CURB

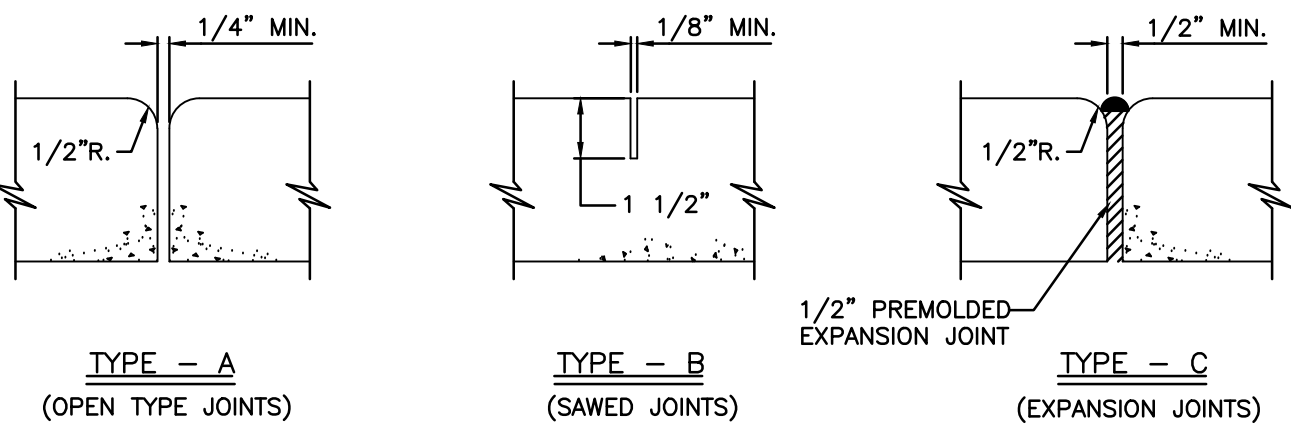
DETAIL

NTS



SIDEWALK PLAN

N.T.S.



SIDEWALK JOINTS

N.T.S.

TYPICAL SIDEWALK THICKNESS (T)

LOCATION :	T"
RESIDENTIAL AREAS	4"
DRIVEWAYS & OTHER	8"

NOTES:

- EXPANSION JOINTS EVERY 50' O.C.
- CONC. MIN. 2500 PSI, NO STEEL IN SIDEWALK
- 8" THK. SIDEWALK ACROSS DRIVEWAYS

TABLE OF SIDEWALK JOINTS

TYPE	LOCATION :
"A"	P.C. & P.T. OF CURVES & TIE-IN JUNCTION OF EXIST. TO NEW SIDEWALKS.
"B"	5'-0" O.C. ON SIDEWALKS.
"C"	* WHERE SIDEWALK ABUTS CONC. CURBS & DRIVEWAYS OR SIMILAR STRUCTURES. EXPANSION JOINTS EVERY 50' O.C.

SIDEWALK DETAIL

DETAIL

NTS

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.



HOLLAND ENGINEERING INC.
civil engineers

3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021
(854)367-0371 . (854)367-0372 Fax

SUSAN C. HOLLAND, PE
Reg. no. 41831

CIVIL DETAILS

SCALE: N.T.S.

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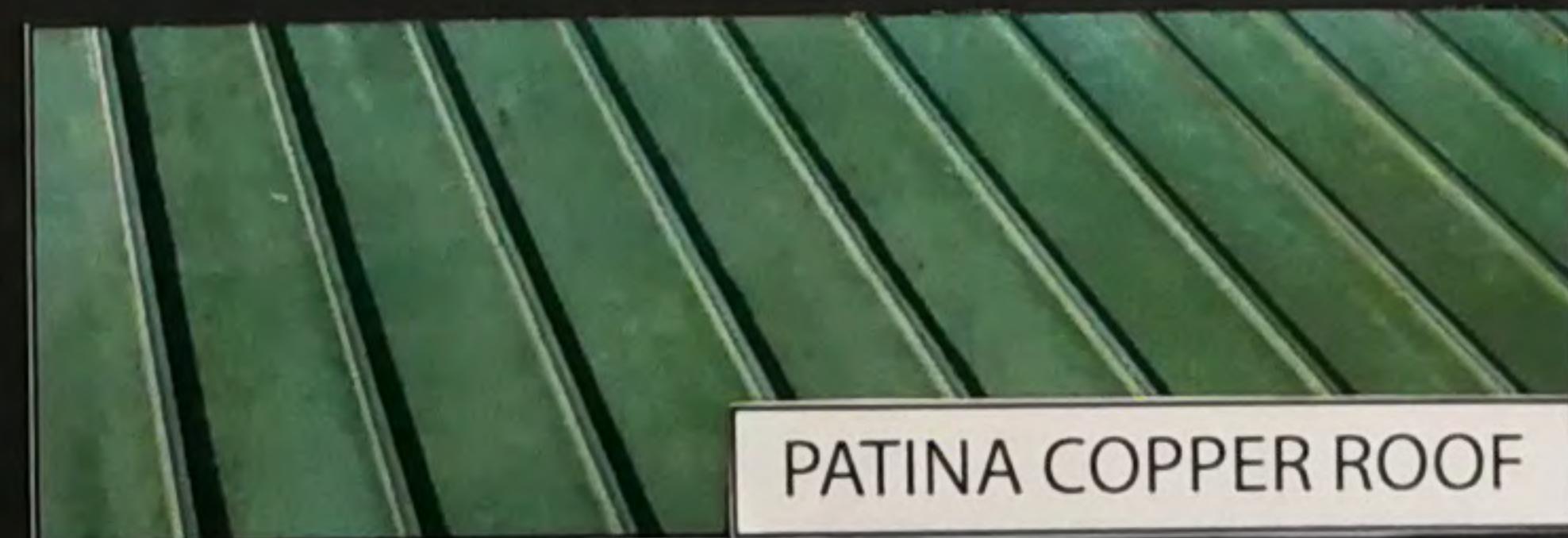
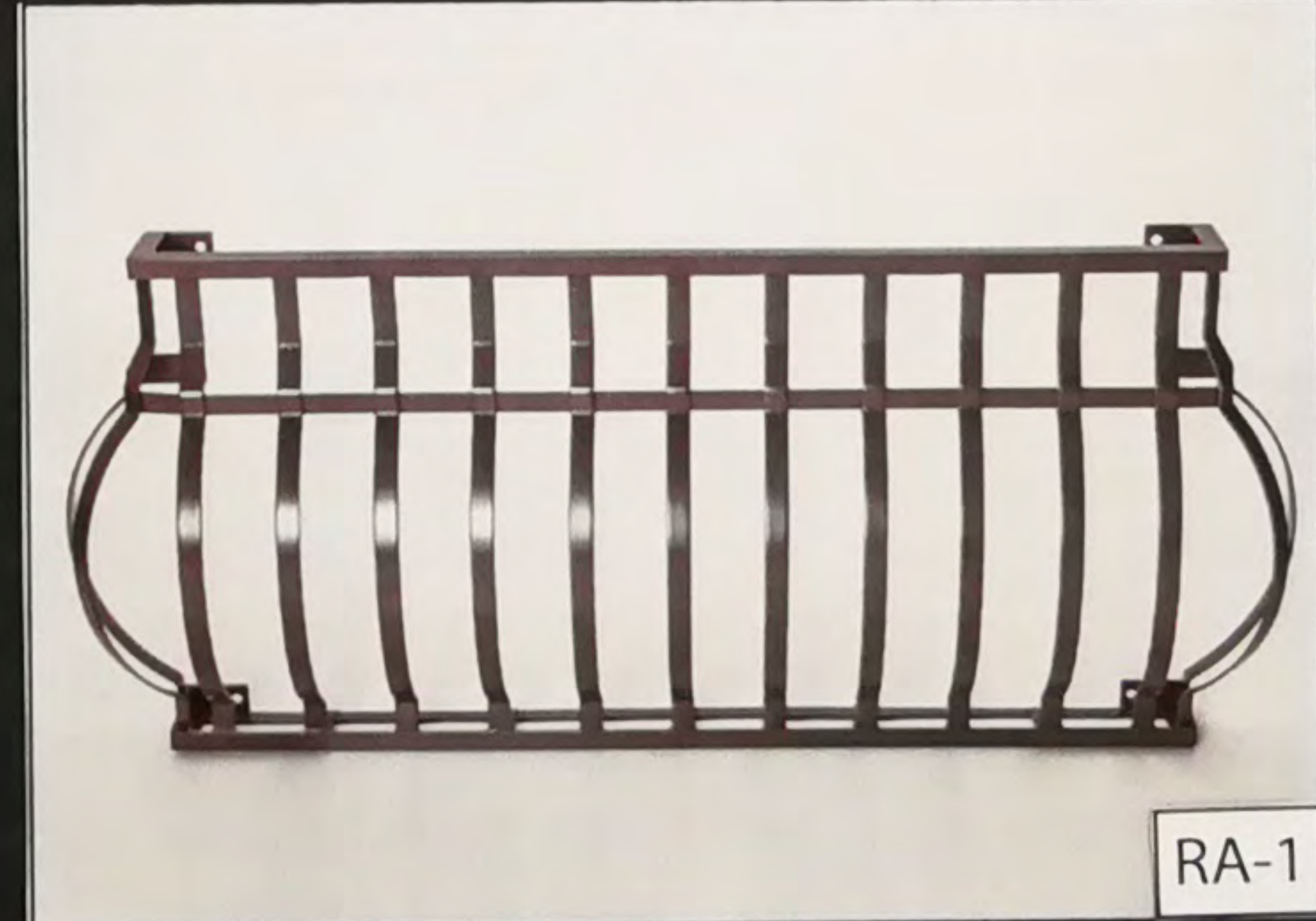
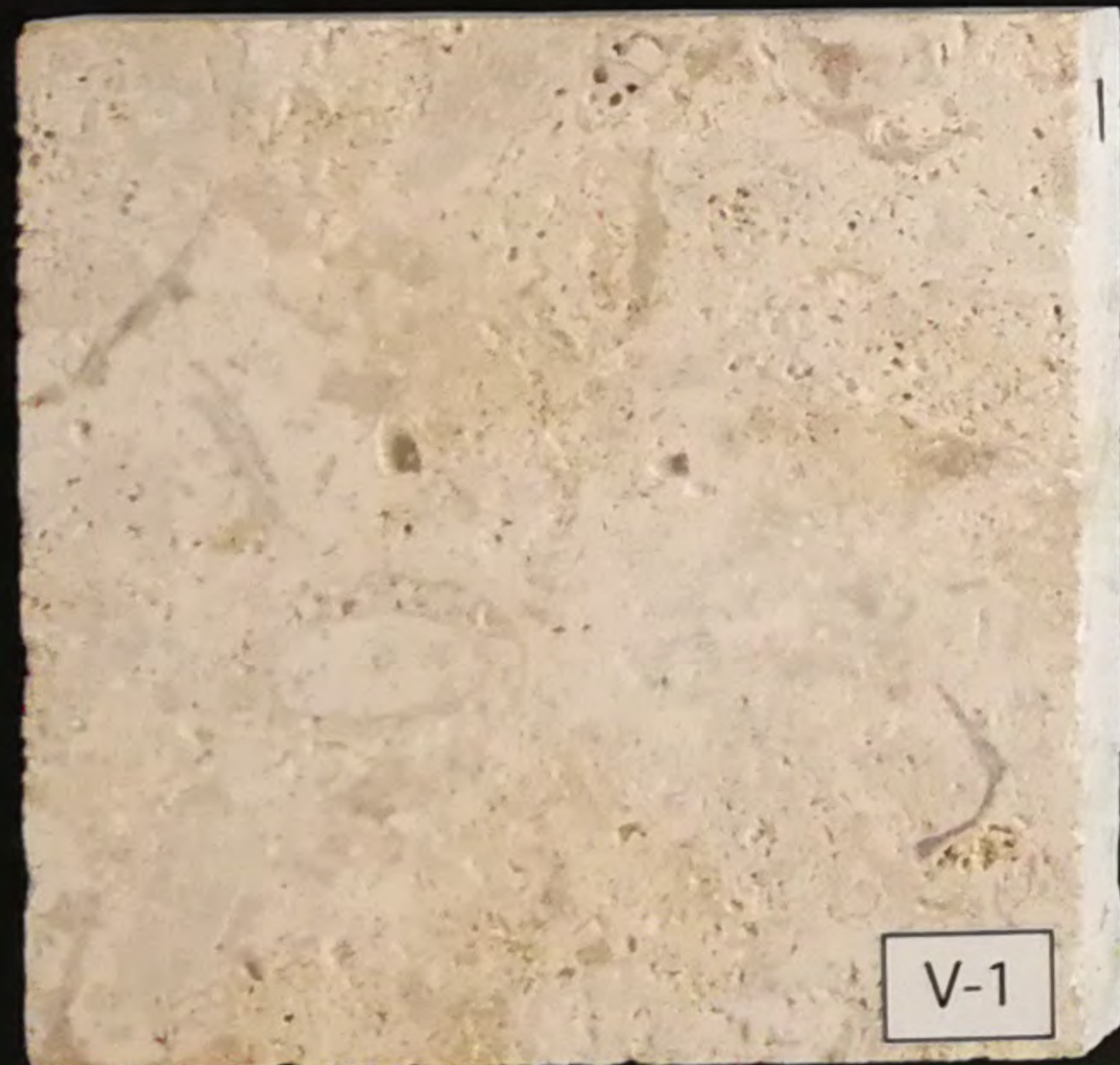
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REVISIONS

C-5

18-01

CA 7325



SALTZ MICHELSON
ARCHITECTS

TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE





1
SP1
Site Plan
1/16" = 1'-0"



TOBIN OFFICE BUILDING
3701 BEN TOBIN DRIVE, HOLLYWOOD, FL

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ZH, YD
Checked By :
SW

Date:
04/02/2018

REVISIONS

SP1

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