

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>

APPLICATION TYPE (CHECK ONE):

☒ Technical Advisory Committee

☐ Historic Preservation Board

☐ City Commission

☐ Planning and Development Board

Date of Application: 04/02/2018

RECEIVED

Location Address: 1812 ROOSEVELT HOLLYWOOD, FL
Lot(s): 10 & 11 Block(s): 1 Subdivision: FRANK C DICKEY SUB 11-8 BUS LOTS 30,31,32 BLK 1

Folio Number(s): 5142 10 25 0090

Zoning Classification: FH-2

Land Use Classification: G

Existing Property Use: VACANT HOME

Sq Ft/Number of Units: 36,000 / 20 UNITS

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s):

☐ Economic Roundtable

☐ Technical Advisory Committee

☐ Historic Preservation Board

☐ City Commission

☐ Planning and Development

Explanation of Request: New 4 story apartment building

Number of units/rooms: 19

Sq Ft: 20,691

Value of Improvement: 1,700,000

Estimated Date of Completion: JUNE 2019

Will Project be Phased? () Yes (X) No

If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: XLT INVESTMENT CORP

Address of Property Owner: 16450 NE 35 AVE MIAMI FL 33160

Telephone: 305-680-2800

Fax: _____

Email Address: maribona1000@gmail.com

Name of Consultant/Representative/Tenant (circle one): Bernie Maribona

Address: 2011 NE 137 St NMB FL 33181

Telephone: 305-680-2800

Fax: _____

Email Address: maribona1000@gmail.com

Date of Purchase: _____

Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: N/A

Address: _____

Email Address: _____

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 3/30/2018

PRINT NAME: Luis Torrens

Date: _____

Signature of Consultant/Representative: _____

Date: 3/30/2018

PRINT NAME: Bernie Haribong

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Luis Torrens to my property, which is hereby made by me or I am hereby authorizing Bernie Haribong to be my legal representative before the T.A.C. (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 31 day of March 2018

Notary Public

State of Florida

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



Signature of Current Owner

Print Name



Luis LaRosa Architects, Inc.

January 28, 2019

XLT Investment Corp.
16450 NE 35 Ave.
North Miami Beach, FL

FILE NUMBER: 18-DP-22

SUBJECT: Site Plan Review for a 20-unit residential development (Roosevelt Apartments).

SITE DATA

Owner/Applicant: XLT Investment Corp.
Address/Location: 1812 Roosevelt Street
Gross Area of Property: TBD
Net Area of Property: TBD
Land Use: Regional Activity Center
Zoning: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
Existing Use of Land: Commercial Use

ADJACENT LAND USE

North: Regional Activity Center
South: Regional Activity Center
East: Regional Activity Center
West: Regional Activity Center

ADJACENT ZONING

North: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
South: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
East: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
West: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).



Luis La Rosa Architects, Inc.

Dear Board Members,

It's with great pleasure we are presenting a 20 unit, 4-story, multi-family residential building. This project was designed with the intention to enhance the property and the surrounding neighborhood.

1. Design Criteria:

The architectural style for this 4-story, 19,833 SF multi-family residential building embodies a classic, but modern style. The use of stone at the façade as well as the large glass panels provide a contemporary look and feel as well as natural light on every floor. The design is all about consideration of aesthetics maintaining the residential functionality.

2. Compatibility:

The existing neighborhood consists of single and multi-family residential. This new development will be compatible with the residential neighborhoods and the new look of the RAC district. The 4-story scale works with the neighborhood and enhancing the street and pedestrian areas.

3. Landscaping:

The landscaping has been integrated with the building design to emphasize the architectural features and help screen the parking areas from the street.

4. Site Massing: The 4-story project is located along Roosevelt Street. The setback is 15 feet thus stepping the building back to allow for pedestrian friendly experience. The massing of the front elevation differentiates in height and along the setback line. The Lobby with exterior materials of stone and glass create a hierarchy and boldness along Roosevelt street. The balance of the front façade has cantilevered balconies and recessed balconies. This varied element prevents the front façade from being flat. The side façade along an alley, also has similar features which is important since it's a long façade. Variations in height along the parapet enhance these features.

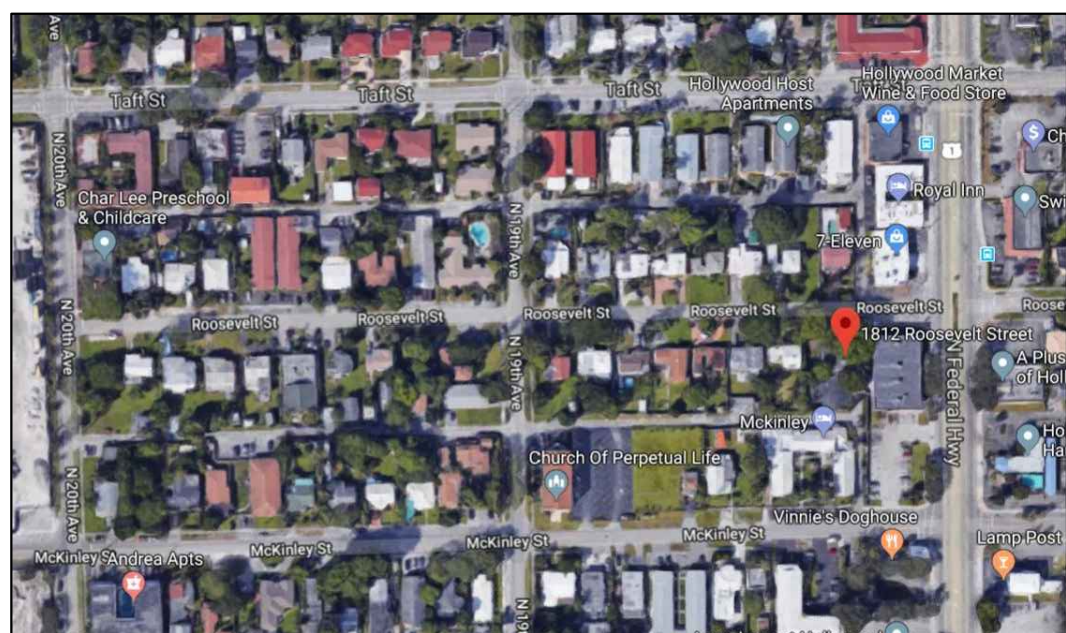
This new 20-unit development will help the improvement of the surrounding neighborhood on Roosevelt St. We hope to have your support and acceptance of this new project.

Thank you for your time and consideration,

Sincerely,

Luis La Rosa
Registered Architect
AR#0017852

PROPOSED 20 UNIT MULTI-FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.
1812 ROOSEVELT STREET.
HOLLYWOOD, FLORIDA. 33020



LOCATION MAP
JOB ADDRESS: 1812 ROOSEVELT STREET



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	BUILDING CALCULATION
	GENERAL NOTES
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L-2	LANDSCAPE DETAILS
L-3	LANDSCAPE DETAILS
IR-1	IRRIGATION PLAN
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SUBMITTAL DATE: 06/04/2018
MEETING DATE: 06/18/2018



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL)- 786-543-0851
E-MAIL: LLAROSA@LAROSAARCHITECTS.COM

Luis LaRosa-Registered Architect
AR#-0017852
AA#-26003693

AYLWARD ENGINEERING
CIVIL ENGINEERING

3222 RIDGE TRACE
DAVIE,FLORIDA 33328

(O)- 954-424-5852

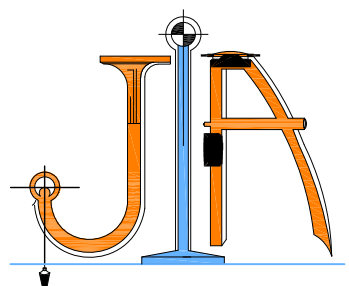
E-MAIL: AYLWARDENGINEER@GMAIL.COM

MLA GROUP
SCOTT MC CLURE RLA
LANDSCAPE ARCHITECTURE

1016 NE 45TH STREET
OAKLAND, FLORIDA 33334

(O)- 954-763-7041

E-MAIL: MLAGROUPINC@YAHOO.COM



JOHN IBARRA & ASSOCIATES, INC.

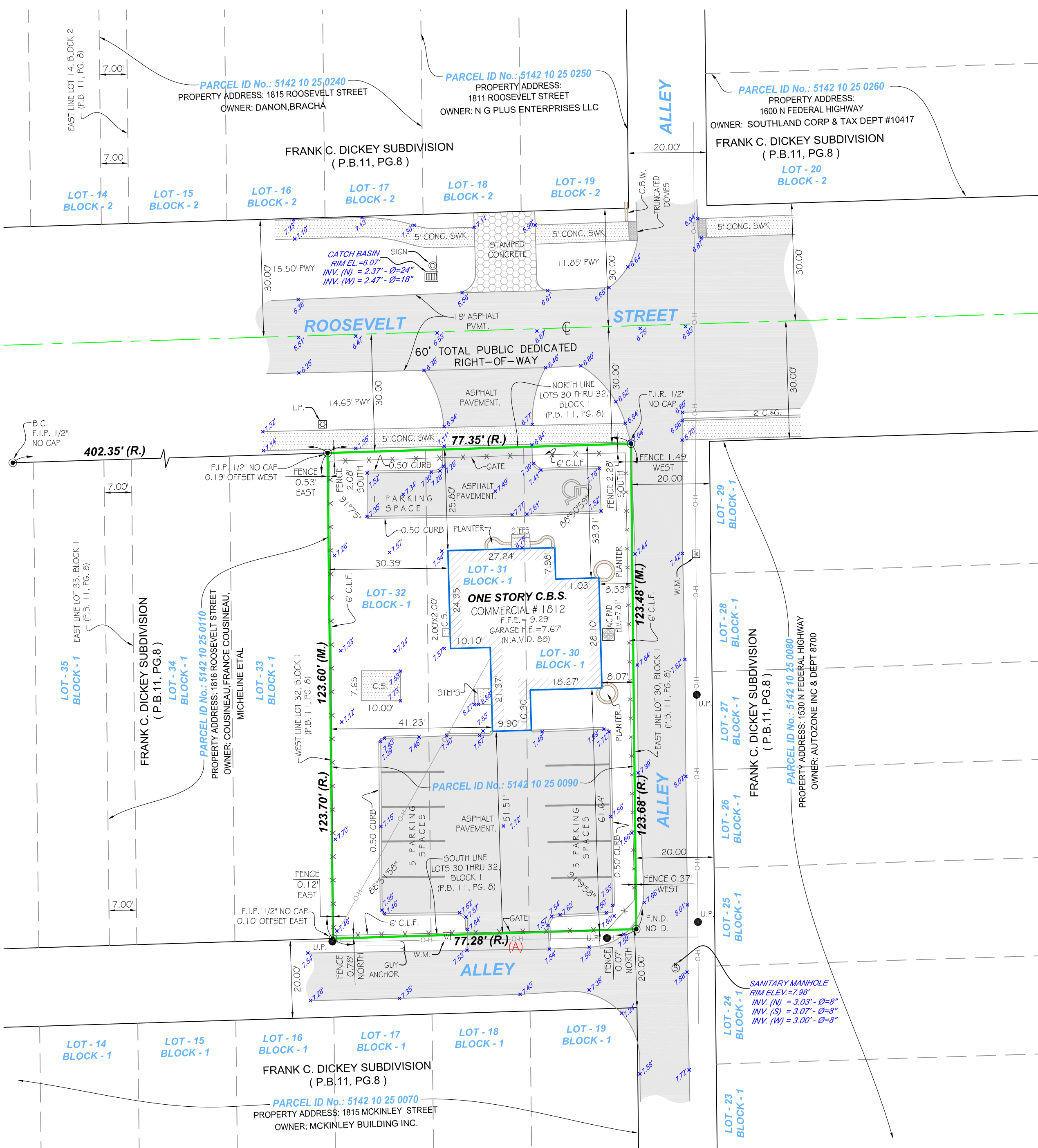
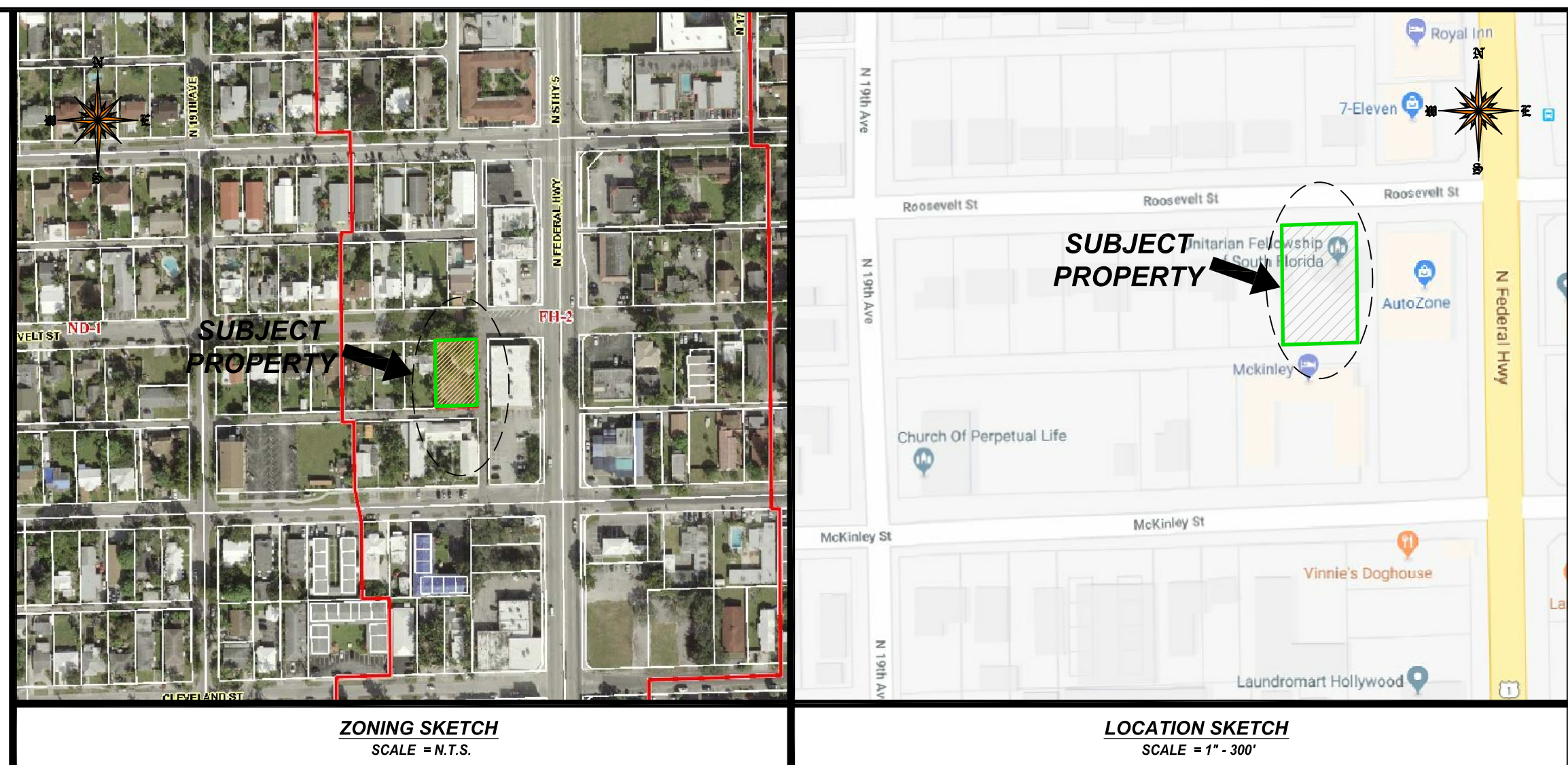
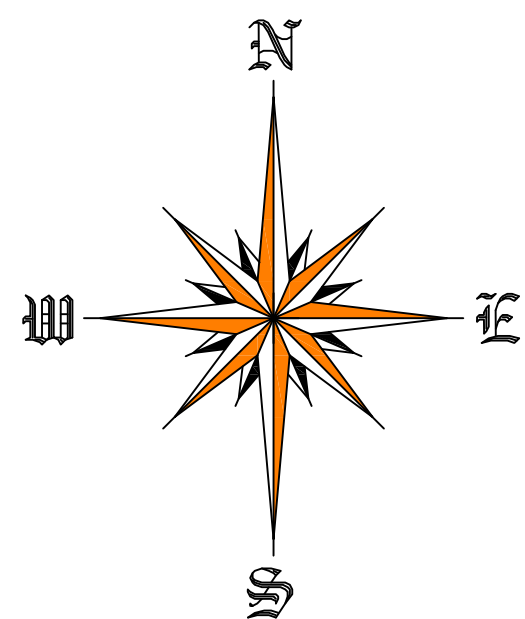
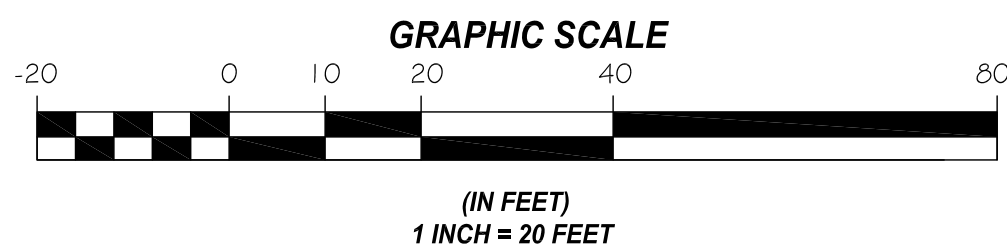
Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

4851 TAMiami TRAIL NORTH
SUITE # 200
NAPLES, FL 34103
PH: (239) 540-2660
FAX: (239) 540-2664



ALTA/NSPS Land Title Survey



ABBREVIATIONS

A = ARC
A/C = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
A.R. = ALUMINUM ROOF
A.S. = ALUMINUM SHED
ASPH. = ASPHALT
B.C. = BLOCK CORNER
B.D.G. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS
B.O.B. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE
(C) = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C.B.W. = CONCRETE BLOCK WALL
CH.B. = CHORD
CH.B. = CHORD BEARING
CH.L. = CHORD LENGTH
CL. = CLEAR
C.O. = CLEAN OUT
C.L.F. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT
DRIVE = DRIVEWAY
DEGREES = DEGREES
EB. = ELECTRIC BOX
E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENC. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
FT. = FEET
F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
F.N. = FOUND NAIL
H. = HIGH OR (HEIGHT)
H.A.E. = INGRESS AND EGRESS EASEMENT
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
L.B. = LICENSED BUSINESS
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
MINUTES = MINUTES
M. = MEASURED DISTANCE
M.B. = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE
N.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE
or NO. = NUMBER
O.S. = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
P.W.M. = PAVEMENT
PL. = PLANTER
P.L. = PROPERTY LINE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF CURVATURE
P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE
P.WY. = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE
P.P.S. = POOL PUMP SLAB
P.U.E. = PUBLIC UTILITY EASEMENT
(R) = RECORD DISTANCE
R.R. = RAIL ROAD
RES. = RESIDENCE
R.W. = RIGHT-OF-WAY
RAD. = RADIUS OR RADIAL
RGE. = RANGE
R.O.E. = ROOF OVERHANG EASEMENT
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.I.P. = SET IRON PIPE
S. = SOUTH
S.P. = SCREENED PORCH
S.V. = SEWER VALVE
" = SECONDS
T. = TANGENT
TB. = TELEPHONE BOOTH
T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB. = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP. = TOWNSHIP
UTIL. = UTILITY
U.E. = UTILITY EASEMENT
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.P. = WOOD PORCH
W.R. = WOOD ROOF
W.V. = WATER VALVE
M. = MONUMENT LINE
C. = CENTER LINE
Δ = DELTA

SURVEYOR'S CERTIFICATE:

- THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE;
- THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE 'MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEYS MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS'; OR
- PROPER FIELD PROCEDURES, INSTRUMENTATION AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE 'MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/NSPS LAND TITLE SURVEYS';
- THE LOCATION OF THE SUBJECT PROPERTY IS IN ZONE FH-2, ZONE AS PER BROWARD COUNTY PROPERTY APPRAISER.
- NOT SETBACKS FOUND.
- ZONED SETBACKS MUST BE CHECKED WITH THE CITY OF HOLLYWOOD BUILDING DEPARTMENT AND BROWARD COUNTY BUILDING DEPARTMENT PRIOR TO ANY CONSTRUCTION OR DESIGN WORK.
- THE PROPERTY HAS DIRECT PEDESTRIAN ACCESS TO AND FROM PUBLICLY USED AND MAINTAINED STREETS OR HIGHWAYS KNOWN AS ROOSEVELT STREET.
- MUNICIPAL WATER, MUNICIPAL STORM SEWER AND MUNICIPAL SANITARY FACILITIES, TELEPHONE, AND ELECTRIC SERVICES OF PUBLIC UTILITIES ARE AVAILABLE AT THE BOUNDARY OF THE PROPERTY IN THE LOCATIONS AS SHOWN ON THE SURVEY.
- THE SUBJECT PROPERTY DOES SERVE ADJOINING PROPERTY FOR VISIBLE SUBSURFACE DRAINAGE STRUCTURES, VISIBLE WATER COURSES, UTILITIES, STRUCTURAL SUPPORT OR INGRESS & EGRESS.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY NO. 12515 PANEL NO. 0589, SURF "X" 1", AND HAVING A BASE FLOOD OF N/A FEET, BEARING AN EFFECTIVE DATE OF 08/18/2014.
- THE LAND AREA OF THE SUBJECT PROPERTY IS IN TOTAL ± 9,561.24 SQUARE FEET OR ± 0.22 ACRES AS DESCRIBED IN THE LEGAL DESCRIPTION.
- THE TOTAL BUILDING AREA (BASED UPON EXTERIOR FOOTPRINT OF BUILDING ON GROUND SURFACE, NOT INTERIOR USABLE FLOOR SPACE) IS 1,282 SQUARE FEET.
- THERE ARE 11 REGULAR PARKING SPACES AND 1 MARKED HANDICAPPED PARKING SPACES ON THE SUBJECT PROPERTY.
- ELEVATIONS ARE REFERRED TO BROWARD COUNTY BENCHMARK NO. BCED BM 1895, ELEVATION 11.076 FEET OF N.G.V.D. OF 1929, CONVERTED TO N.A.V.D. 1988 BY USING VERTCON BY SUBTRACTING (-1.801), ELEVATION IS 9.475 FEET OF N.A.V.D. 1988. LOCATED AT TAFT STREET & OLD DIXIE HIGHWAY.
- THE PARTIES LISTED ABOVE AND THEIR SUCCESSORS AND ASSIGNS ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.
- FLOOR ELEVATION OF EXISTING BUILDING IS 9.29 FEET N.A.V.D. 1988.
- THERE IS NO VISIBLE OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE IS NO VISIBLE OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BROWARD, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

LOTS 30, 31 AND 32, OF BLOCK 1, FRANK C. DICKEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, S RECORDED IN PLAT BOOK 11, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- THE TERM 'ENCROACHMENT' MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ZONING REPORT HAS NOT BEEN PROVIDED FOR REFERENCE TO SURVEYOR BY THE PLANNING & ZONING RESOURCE COMPANY.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.

TITLE COMMITMENT NOTES:

THAT I HAVE REVIEWED THE COMMITMENT AND ALL ITEMS ARE SHOWN ON THE SURVEY. THE ITEMS SHOWN HERE FORTH ARE PER SCHEDULE B-4 OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FILE NUMBER 503693, ISSUING OFFICE FILE NUMBER: 17-077, DATED AUGUST 21, 2018, AT 11:00 P.M.

ITEM 8. ALL MATTERS CONTAINED ON THE PLAT OF FRANK C. DICKEY SUBDIVISION, AS RECORDED IN PLAT BOOK 11, PAGE 8, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES APPLY, ANY MATTER WHICH MAY BE PLOTTABLE IS SHOWN HEREON.

As part of the preparation of this survey the undersigned examined an Owners and Encumbrance Report prepared by Torrens Law Firm, PLLC dated October 02, 2018. There are no encumbrances, easements of record, servitudes and any other relevant matter, except as noted above that need to be plotted on this survey.

LEGEND

O-H = OVERHEAD UTILITY LINES
X X X X = CONCRETE BLOCK WALL
- - - - = CHAIN LINK FENCE
- - - - = IRON FENCE
- - - - = WOOD FENCE
- - - - = BUILDING SETBACK LINE
- - - - = UTILITY EASEMENT
- - - - = LIMITED ACCESS RW
- - - - = NON-VEHICULAR ACCESS RW
x 0.00 = EXISTING ELEVATIONS

XL INVESTMENT CORP, A FLORIDA LIMITED LIABILITY COMPANY
1812 ROOSEVELT STREET, HOLLYWOOD, FL 33020

BASED UPON TITLE COMMITMENT FILE NO. 503693
ISSUING AGENT: TORRENS LAW FIRM PLLC
ISSUING OFFICE FILE NUMBER: 17-077
OF AMERICAN LAND TITLE ASSOCIATION
BEARING AN EFFECTIVE DATE OF SEPTEMBER 28, 2017 AT 11:00 PM

SURVEYOR'S CERTIFICATION

TO: XL INVESTMENT CORP, A FLORIDA CORPORATION, TORRENS LAW FIRM PLLC AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B), 11, 12, 13, 15, 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 9, 2018:

10/09/2018

JOHN IBARRA (DATE OF SURVEY)
PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).
REVISED SURVEY:

I HEREBY CERTIFY: THIS 'ALTA/NSPS SURVEY' OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

Project Address:
1812 ROOSEVELT STREET,
HOLLYWOOD, FL 33020

Project Location: BROWARD COUNTY

SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST

PARCEL ID No.: 5142 10 25 0090

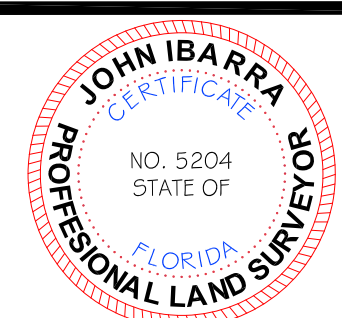
DRAWN BY: PP

Job Number: 18-001358-1

777 N.W. 72nd AVENUE SUITE 3025
MIAMI, FLORIDA 33126
TELEPHONE: (305) 262-0400 FAX (305) 262-0401
www.ibarralandsurveyors.com

John Ibarra
And Assor., Inc.
LAND SURVEYORS

L.B.# 7806




NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. SEAL

ENCROACHMENT NOTES:
A. SOUTH SIDE OF THE SUBJECT PROPERTY, PARKING ASPHALT PAVEMENT IS ENCROACHING INTO THE RIGHT OF WAY OF ALLEY.


GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES, ENGINEERING AND CONSTRUCTION SERVICES DIVISION (ECS), AND ALL OTHER LOCAL, STATE AND NATIONAL CODES, WHERE APPLICABLE.
3. LOCATIONS, ELEVATIONS, SIZES, MATERIALS, ALIGNMENTS, AND DIMENSIONS OF EXISTING FACILITIES, UTILITIES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS; AND DO NOT PURPORT TO BE ABSOLUTELY CORRECT. ALSO, THERE MAY HAVE BEEN OTHER IMPROVEMENTS, UTILITIES, ETC., WITHIN THE PROJECT AREA WHICH WERE CONSTRUCTED AFTER THE PREPARATION OF THESE PLANS AND/OR THE ORIGINAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND OTHER FEATURES AFFECTING HIS/HER WORK PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICT BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY FACILITIES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL WORK AS NEEDED TO AVOID CONFLICT WITH EXISTING UTILITIES (NO ADDITIONAL COST SHALL BE PAID FOR THIS WORK). EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE RESPECTIVE UTILITY OWNER.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES TO ARRANGE FOR THE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES ON THIS PROJECT, AND TO ENSURE THAT EXISTING UTILITIES ARE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE BY THE UTILITY OWNER.
6. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND-HOLES, PULL-BOXES, STORMWATER INLETS, AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT PAVEMENT.
7. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL APPLICABLE CONSTRUCTION AND ENVIRONMENTAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ECS AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
9. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, THE DRAWINGS SHALL BE SUBMITTED TO ECS IN ACCORDANCE WITH THE CONTRACT DOCUMENT'S REQUIREMENTS, FOR APPROVAL. IN ADDITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY OTHER AGENCY SHOP DRAWING APPROVAL, IF REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY ECS IMMEDIATELY FOR ANY CONFLICT ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
11. ELEVATIONS SHOWN ARE IN FEET AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES	REVISED: 06/08/2014 DRAWING NO. G-00
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GENERAL NOTES (CONTINUED):

12. CITY OF HOLLYWOOD SHALL NOT PROVIDE STAGING / STORAGE AREA. CONTRACTOR SHALL SECURE STAGING / STORAGE AREA AS NECESSARY FOR CONSTRUCTION WORK.
13. CONTRACTOR SHALL HAUL AWAY EXCESSIVE STOCKPILE OF SOIL FOR DISPOSAL EVERY DAY. NO STOCKPILE SOIL IS ALLOWED TO BE LEFT ON THE CONSTRUCTION SITE OVER NIGHT.
14. CONTRACTOR SHALL CLEAN / SWEEP THE ROAD AT LEAST ONCE DAY OR AS REQUIRED BY THE ENGINEER.
15. CONTRACTOR SHALL PROTECT CATCH BASINS WITHIN / ADJACENT TO THE CONSTRUCTION SITE AS REQUIRED BY NPDES REGULATIONS.
16. THE CITY OF HOLLYWOOD HAS A NOISE ORDINANCE (CHAPTER 100) WHICH PROHIBITS EXCAVATION AND CONSTRUCTION BEFORE 8:00 A.M. AND AFTER 6:00 P.M., MONDAY THROUGH SATURDAY AND ALL DAY SUNDAY.
17. SUITABLE EXCAVATED MATERIAL SHALL BE USED IN FILL AREAS. NO SEPARATE PAY ITEM FOR THIS WORK, INCLUDE COST IN OTHER ITEMS.
18. ALL ROAD CROSSINGS ARE OPEN CUT AS PER THE REQUIREMENTS OF THE ECSD UNLESS OTHERWISE NOTED ON THE DRAWINGS.
19. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZING EARTH, DRIVEWAYS, PARKING LOTS, SIDEWALKS, ETC. TO SATISFY THE INSTALLATION OF THE PROPOSED IMPROVEMENTS WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY ECS FIELD ENGINEER.
20. THE CONTRACTOR SHALL NOT ENCR OACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL OR EQUIPMENT. IN CASE WORK ON PRIVATE PROPERTY IS NEEDED, A CITY OF HOLLYWOOD "RIGHT OF ENTRY" FORM MUST BE SIGNED BY PROPERTY OWNER AND THE DIRECTOR OF PUBLIC UTILITIES, THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ACCESS AT ALL TIMES TO PRIVATE HOMES/BUSINESSES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE, REMOVAL OR MODIFICATION, CAUSED TO ANY IRRIGATION SYSTEM (PRIVATE OR PUBLIC) ACCIDENTALLY OR PURPOSELY. THE CONTRACTOR SHALL REPLACE ANY DAMAGED, REMOVED OR MODIFIED IRRIGATION PIPES, SPRINKLER HEADS OR OTHER PERTINENT APPURTENANCES TO MATCH OR EXCEED EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE CITY.
22. MAIL BOXES, FENCES OR OTHER PRIVATE PROPERTY DAMAGED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPLACED TO MATCH OR EXCEED EXISTING CONDITION.
23. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH FDOT STANDARDS AND CITY OF HOLLYWOOD DEPARTMENT OF PUBLIC UTILITIES STANDARDS.
24. NO TREES ARE TO BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL FROM THE ECS FIELD ENGINEER.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY TREE REMOVAL OR RELOCATION PERMITS FROM THE CITY OF HOLLYWOOD BUILDING DEPARTMENT FOR TREES LOCATED IN THE PUBLIC RIGHT OF WAY.
26. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE REGULATORY STANDARDS / REQUIREMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ECS.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.1
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GENERAL NOTES (CONTINUED):

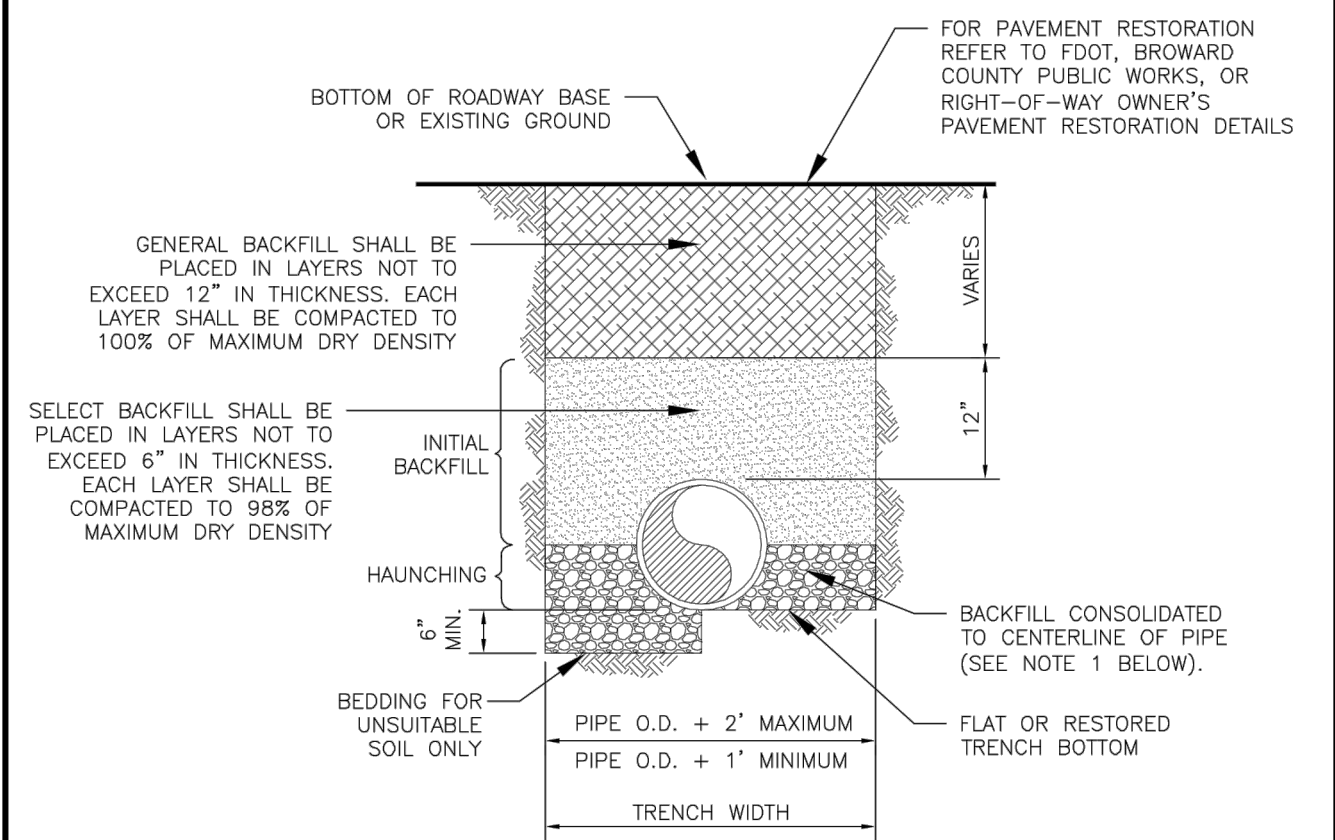
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF AND MAKING THE REPAIRS TO EXISTING PAVEMENT, SIDEWALKS, PIPES, CONDUITS, CURBS, CABLES, ETC., WHETHER OR NOT SHOWN ON THE PLANS DAMAGED AS A RESULT OF THE CONTRACTORS OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. CONTRACTOR SHALL REPORT ANY DAMAGE TO SIDEWALK, DRIVEWAY, ETC., PRIOR TO BEGINNING WORK IN ANY AREA.
28. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT TO MATCH EXISTING CONDITIONS.
29. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPENED AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES, WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DIRECTED. ALL TRENCHES SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN / VEHICULAR TRAFFIC.
30. ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF OFF THE PROPERTY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
31. ALL DUCTILE IRON PRODUCTS SHALL BE DOMESTIC MADE HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 20,000 LB.
32. ALL GRASSED AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OF THE LATEST REVISION OF FDOT DESIGN STANDARDS. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNAGE REMOVED DURING THE CONSTRUCTION PERIOD.
34. EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
35. TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE CITY'S INSPECTOR WILL SHUT THE JOB DOWN.
36. CONTRACTOR MUST PROVIDE FLASHER ARROW SIGNAL FOR ANY LANE THAT IS CLOSED OR DIVERTED.
37. CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF TRAFFIC DETOUR IN ACCORDANCE WITH SECTION 336.07 OF FLORIDA STATUTES.
38. CONTRACTOR TO RESTORE PAVEMENT TO ORIGINAL CONDITION AS REQUIRED.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DEWATERING PER SPECIFICATION SECTION 02140 DEWATERING.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL GENERAL NOTES (CONTINUED)	REVISED: 11/06/2017 DRAWING NO. G-00.2
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GENERAL NOTES (CONTINUED):


40. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO UTILITY COMPANIES TO PROVIDE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. CONTACT UTILITIES NOTIFICATION CENTER AT 811 OR 1-800-432-4770 (SUNSHINE ONE-CALL OF FLORIDA).
- 
41. WHEN PVC PIPE IS USED, A METALLIZED MARKER TAPE SHALL BE INSTALLED CONTINUOUSLY 18" ABOVE THE PIPE. THE MARKER TAPE SHOULD BE IMPRINTED WITH A WARNING THAT THERE IS BURIED PIPE BELOW. THE TAPE SHALL BE MAGNA TEC, AS MANUFACTURED BY THOR ENTERPRISES INC. OR APPROVED EQUAL.
 42. ALL CONNECTIONS TO EXISTING MAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER CONNECTIONS SHALL BE METERED, AND THE COST OF WATER AND TEMPORARY METER SHALL BE BORNE BY THE CONTRACTOR.
 43. A COMPLETE AS-BUILT SURVEY SHALL BE ACCURATELY RECORDED OF THE UTILITY SYSTEM DURING CONSTRUCTION. AS-BUILT SURVEY SHALL BE SUBMITTED TO ECS SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF PROJECT. THE COST OF SIGNED AND SEALED AS-BUILTS SHALL BE COVERED IN OVERALL BID. THE AS-BUILT SURVEY SHALL INCLUDE:
 - a. PLAN VIEW SHOWING THE HORIZONTAL LOCATIONS OF EACH MANHOLE, INLET, VALVE, FITTINGS, BEND AND HORIZONTAL PIPE DEFLECTIONS WITH COORDINATES AND IN REFERENCE TO A SURVEY BASELINE OR RIGHT-OF-WAY CENTERLINE.
 - b. THE PLAN VIEW SHALL ALSO SHOW SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERTS (GRAVITY MAINS) AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG MAIN. THE PLAN VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - c. THE PLAN VIEW SHALL ALSO SHOW THE HORIZONTAL SEPARATION FROM UNDERGROUND UTILITIES IMMEDIATELY ADJACENT OR PARALLEL TO THE NEW MAIN.
 - d. PROFILE VIEW WITH SPOT ELEVATIONS OF THE TOP OF THE MAIN (WATER MAIN AND FORCE MAIN) OR PIPE INVERT (GRAVITY MAIN) AND OF THE FINISHED GRADE OR MANHOLE RIM DIRECTLY ABOVE THE MAIN AT INTERVALS NOT TO EXCEED 100 FEET AS MEASURED ALONG THE MAIN. THE PROFILE VIEW SHALL ALSO INCLUDE SPOT ELEVATIONS AT EACH MANHOLE, INLET, VALVE, FITTING, BEND AND VERTICAL PIPE DEFLECTION.
 - e. THE PROFILE VIEW SHALL SHOW ALL UNDERGROUND UTILITIES CROSSING THE NEW MAIN AND THE VERTICAL SEPARATION PROVIDED BETWEEN THAT UNDERGROUND UTILITY AND THE NEW MAIN.
 - f. ALL CADD FILES MUST BE CREATED FOLLOWING THE CITY OF HOLLYWOOD "SURVEY / AS-BUILT CAD DRAWING STANDARDS"

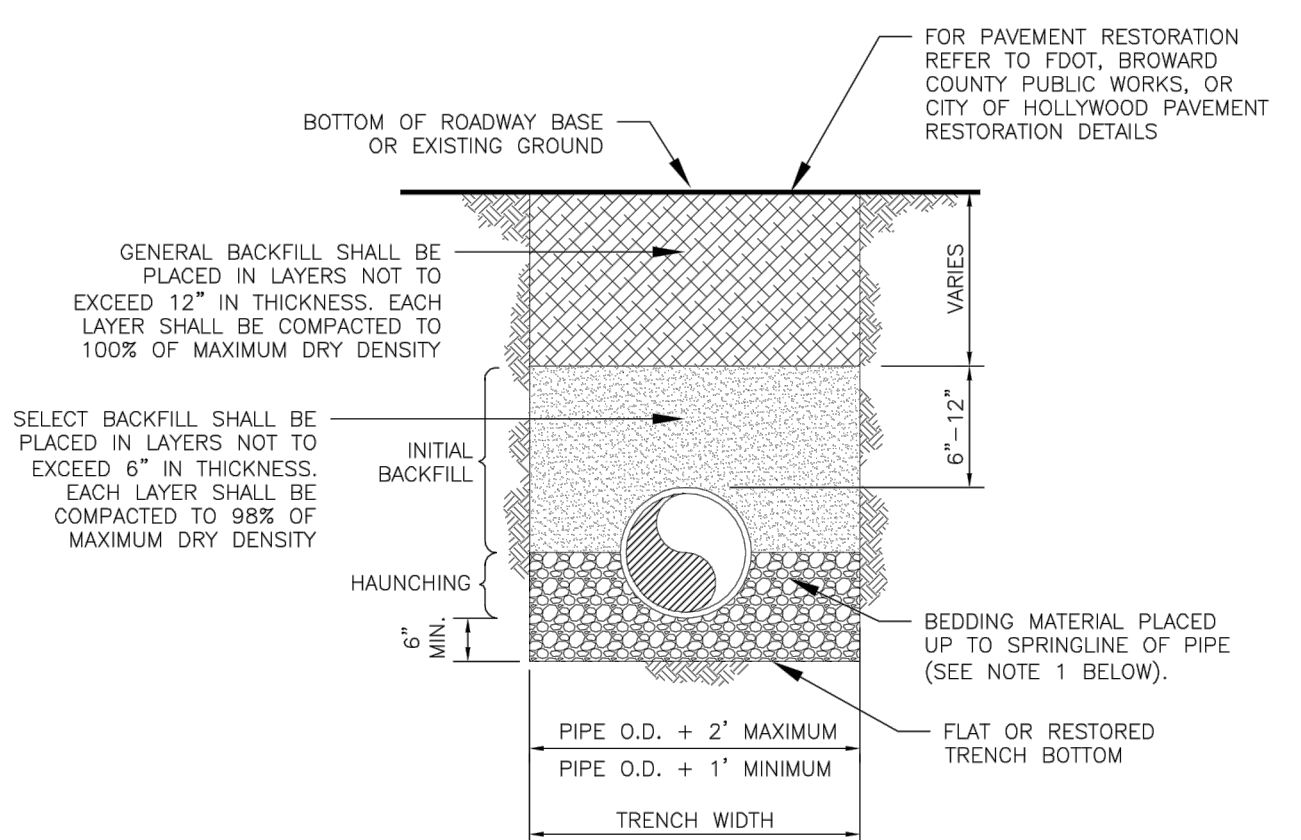
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NOTES:


1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL. IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION, IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARDS 125-8.

	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PIPE LAYING CONDITION TYPICAL SECTION (D.I.P.)	REVISED: 06/08/2014 DRAWING NO. G-02
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NOTES:

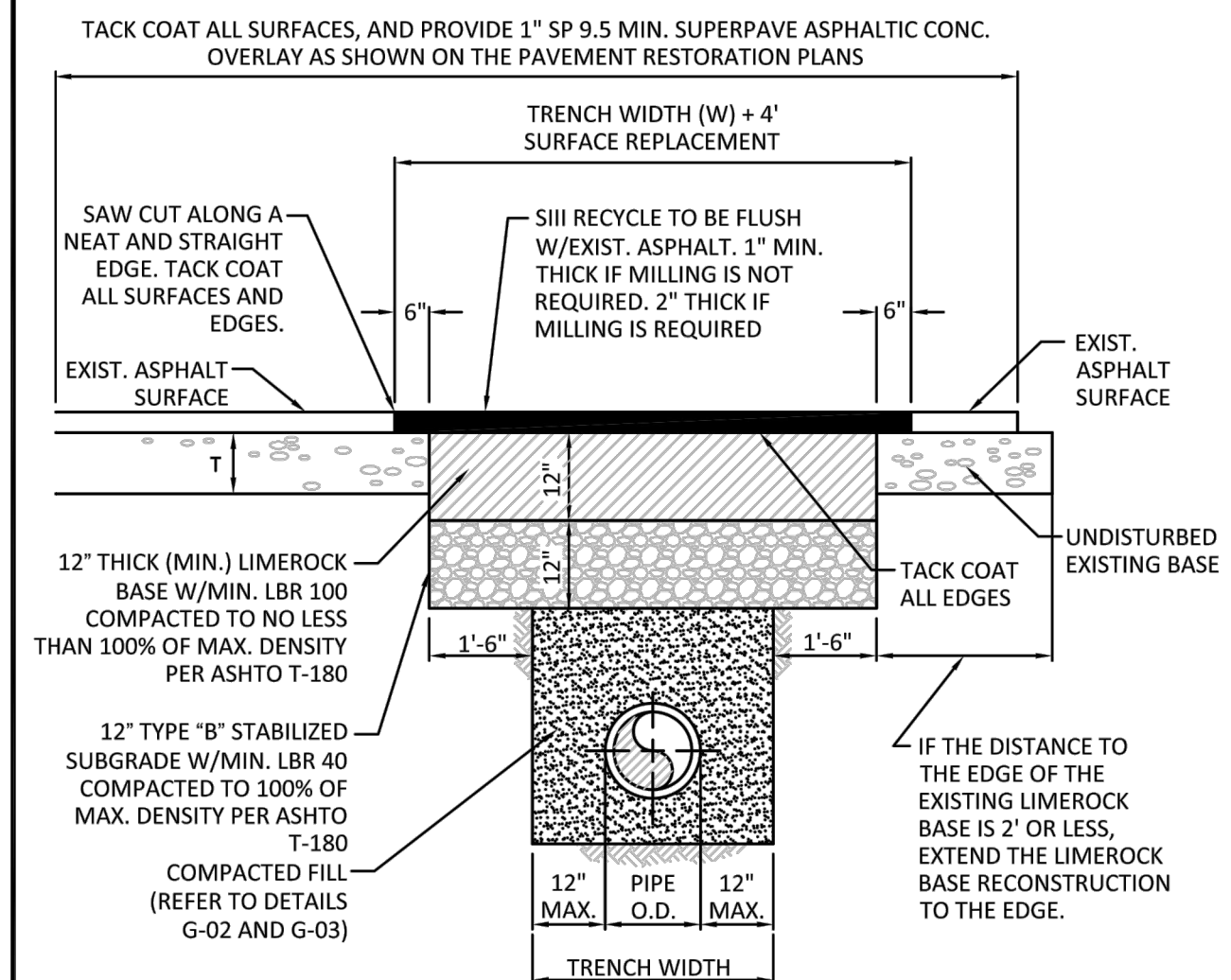
1. WHEN PIPE INSTALLATION IS ABOVE THE GROUND WATER TABLE ELEVATION, OR WHENEVER BEDDING COPPER PIPE UNDER ANY CONDITION, BEDDING MATERIAL SHALL BE CLEAN SANDY SOIL. IF AVAILABLE WITHIN THE LIMITS OF CONSTRUCTION, IMPORTED BEDDING SHALL BE WELL GRADED, WASHED CRUSHED STONE (OR DRAINFIELD LIMEROCK), CRUSHED STONE SHALL CONSIST OF HARD, DURABLE, SUB-ANGULAR PARTICLES OF PROPER SIZE AND GRADATION, AND SHALL BE FREE FROM ORGANIC MATERIAL, WOOD, TRASH, SAND, LOAM, CLAY, EXCESS FINES, AND OTHER DELETERIOUS MATERIALS.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BEFORE ANY PIPE IS LAID. FOR ADDITIONAL MATERIAL SPECIFICATIONS REFER TO SPECIFICATION SECTION 02222, "EXCAVATION AND BACKFILL FOR UTILITIES".
3. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.
4. BACKFILL TO COMPLY WITH FDOT DESIGN STANDARD 125-8.


	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL PIPE LAYING CONDITION TYPICAL SECTION (P.V.C.)	REVISED: 06/08/2014 DRAWING NO. G-03
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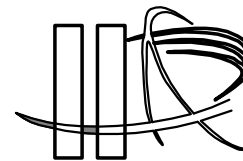
FLEXIBLE PAVEMENT RESTORATION NOTES:

1. THE ABOVE DETAILS APPLY ONLY TO ASPHALT PAVEMENT RESTORATION OVER UTILITY TRENCHES CUT WITHIN CITY OF HOLLYWOOD RIGHTS-OF-WAY. FOR PAVEMENT RESTORATION WITHIN BROWARD COUNTY OR FDOT RIGHTS-OF-WAY REFER TO THE CORRESPONDING DETAILS FOR THOSE AGENCIES.
2. LIMEROCK BASE MATERIAL SHALL HAVE A MINIMUM L.B.R. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70%. REPLACED BASE MATERIAL OVER TRENCH SHALL BE A MINIMUM OF 12" THICK.
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN 12" MAXIMUM (LOOSE MEASUREMENT) THICKNESS LAYERS WITH EACH LAYER THOROUGHLY ROLLED OR TAMPED AND COMPACTED TO 100% OF MAXIMUM DENSITY, PER AASHTO T-180, PRIOR TO THE PLACEMENT OF THE SUCCEEDING LAYERS.
4. STABILIZED SUBGRADE MATERIAL SHALL BE GRANULAR AND SHALL HAVE A MINIMUM L.B.R. OF 40.
5. BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE PIPE LAYING CONDITION TYPICAL SECTIONS IN DETAILS G-02 AND G-03, AND THE SPECIFICATIONS, BUT TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
6. ALL EDGES AND JOINTS OF EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT TO STRAIGHT LINES, PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO THE RESURFACING.
7. RESURFACING MATERIAL SHALL BE FDOT SUPERPAVE, AND SHALL BE APPLIED A MINIMUM OF TWO INCH IN THICKNESS.
8. MILL AND BUTT JOINT TO EXISTING PAVEMENT.
9. IF THE TRENCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL REPLACED WITH A PERMANENT PATCH.
10. REFER TO SPECIFICATIONS FOR DETAILED PROCEDURES.
11. WHERE THE UTILITY TRENCH CROSSES EXISTING ASPHALT DRIVEWAYS, THE LIMEROCK BASE THICKNESS MAY BE A MINIMUM OF 6 INCHES THICK, REGARDLESS OF THE EXTENT OF IMPACT, THE ENTIRE DRIVEWAY SURFACE BETWEEN THE EDGE OF THE ROADWAY PAVEMENT AND PROPERTY LINE OR FRONT OF SIDEWALK SHALL BE OVERLAID USING 2-INCH THICK MINIMUM ASPHALTIC CONCRETE SURFACE COURSE WHERE INDICATED ON THE PLANS OR AS DIRECTED BY THE CITY/ENGINEER.

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	ISSUED: 03/01/1994 DRAWN: EAM APPROVED: XXX	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL FLEXIBLE PAVEMENT RESTORATION FOR TRENCHES CUT PERPENDICULAR AND PARALLEL TO THE ROADWAY	REVISED: 11/06/2017 DRAWING NO. G-12.1
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REVISION:	BY:
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2	6/18/2018 T.A.C.
	CC

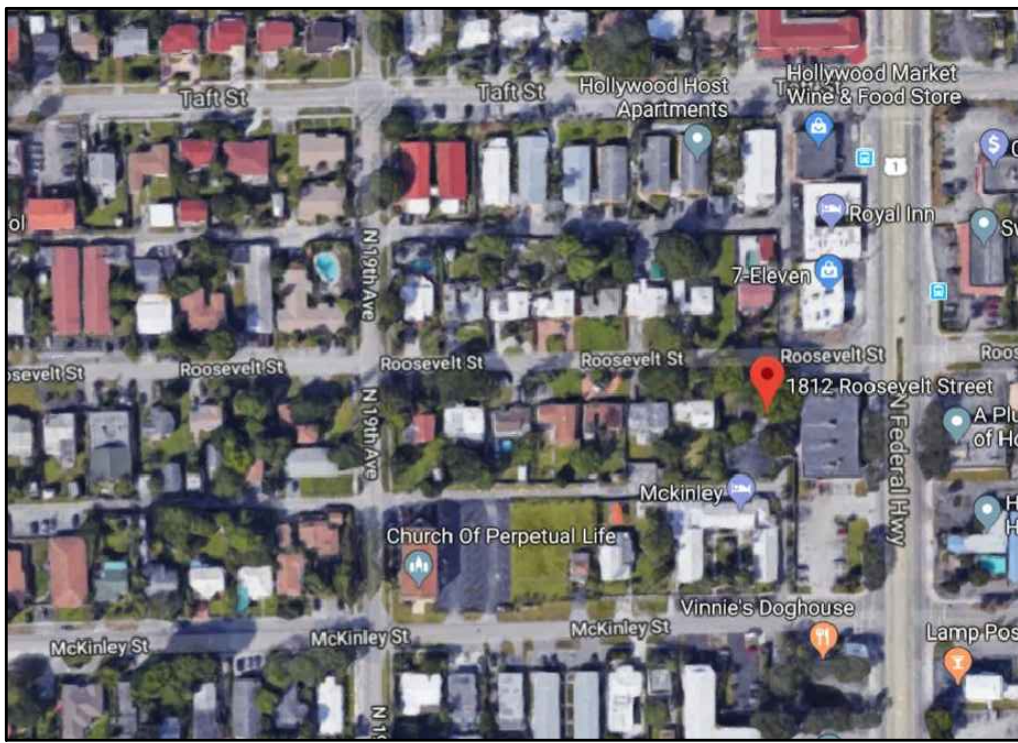
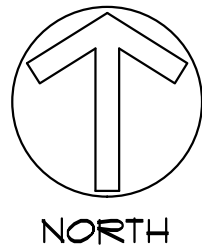
PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

C-1.2

OF SHEETS



1 LOCATION PLAN

SCALE: N.T.S.

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017-EDITION, ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL

2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.

3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.

5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.

6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.

7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.

8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE, THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.

9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.

10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED, AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).

11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.

12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.

13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

LOT 30-31, IN BLOCK 1, OF 'FRANK C. DICKEY SUBDIVISION', ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11 AT PAGE 8 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

3 LEGAL DESCRIPTION

SITE CALCULATIONS:

TOTAL SITE AREA:	9,561 SF. OR 22
BUILDING COMMON AREA	689 SF.
DRIVEWAY	6,104 SF.
CONC. SLAB	425 SF.
TOTAL IMPERVIOUS AREA*	7,218 SF. (75.5%)
TOTAL PERVIOUS AREA*	2,339 SF. (24.5%)
TOTAL IMPERVIOUS AREA*	7,218 SF. (75.5%)
BUILDING FOOTPRINT AREA	7,058 SF.
TOTAL PERVIOUS AREA*	2,339 SF. (24.5%)

F.A.R. CALCULATIONS:

TOTAL SITE AREA: 9,551 SF. X 3.0*	28,671 SF.
GROUND FLOOR (NOT TRASH ROOM + METER ROOM)	529 SF.
2ND. FLOOR PLAN (NOT ELEC. JANITOR, CLOSET, TRASH ROOM + BALCONY)	6,538 SF.
3RD. FLOOR PLAN (NOT ELEC. JANITOR, CLOSET, TRASH ROOM + BALCONY)	6,538 SF.
4TH. FLOOR PLAN (NOT ELEC. JANITOR, CLOSET, TRASH ROOM + BALCONY + STAIRS)	6,228 SF.
F.A.R. PROVIDED	19,833 SF.
F.A.R. ALLOWED	28,671 SF.

- OWNER TO INSTALL ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE, PLEASE SEE ORDINANCE 02016 02.
- ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING + LEND DEVELOPMENT REGULATION.
- OWNER TO PROVIDE HIGH ALBEDO MATERIALS TO LIMIT ABSORPTION OF REDUCE URBAN HEAT ISLAND EFFECT.
- MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES (MAXIMUM 0.5 IF ADJACENT TO RESIDENTIAL).
- A B/DIRECTIONAL AMPLIFIER IS REQUIRED FOR THIS BUILDING DEPENDING PER NFPA 1, 11.10 AND BROWARD AMENDMENT 1182
- GLAZING FOR HALLWAY TO PROVIDE NATURAL LIGHT INTO COMMON AREAS.
- BIKE RACK TO BE INSTALLED AS SHOWN
- WHITE ROOF TO REFLECT LIGHT.

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
1 PARKING SPACE PER UNIT + 1 GUEST PARKING SPACES PER 10 UNITS	20 2	
TOTAL PARKING SPACES	22	22

SETBACK CALCULATIONS:

	REQUIRED	PROVIDED
FRONT ALLEY STREET INT-SIDE	15' 5' 5' 0'	15' 5'-0" 6'-0" 0'

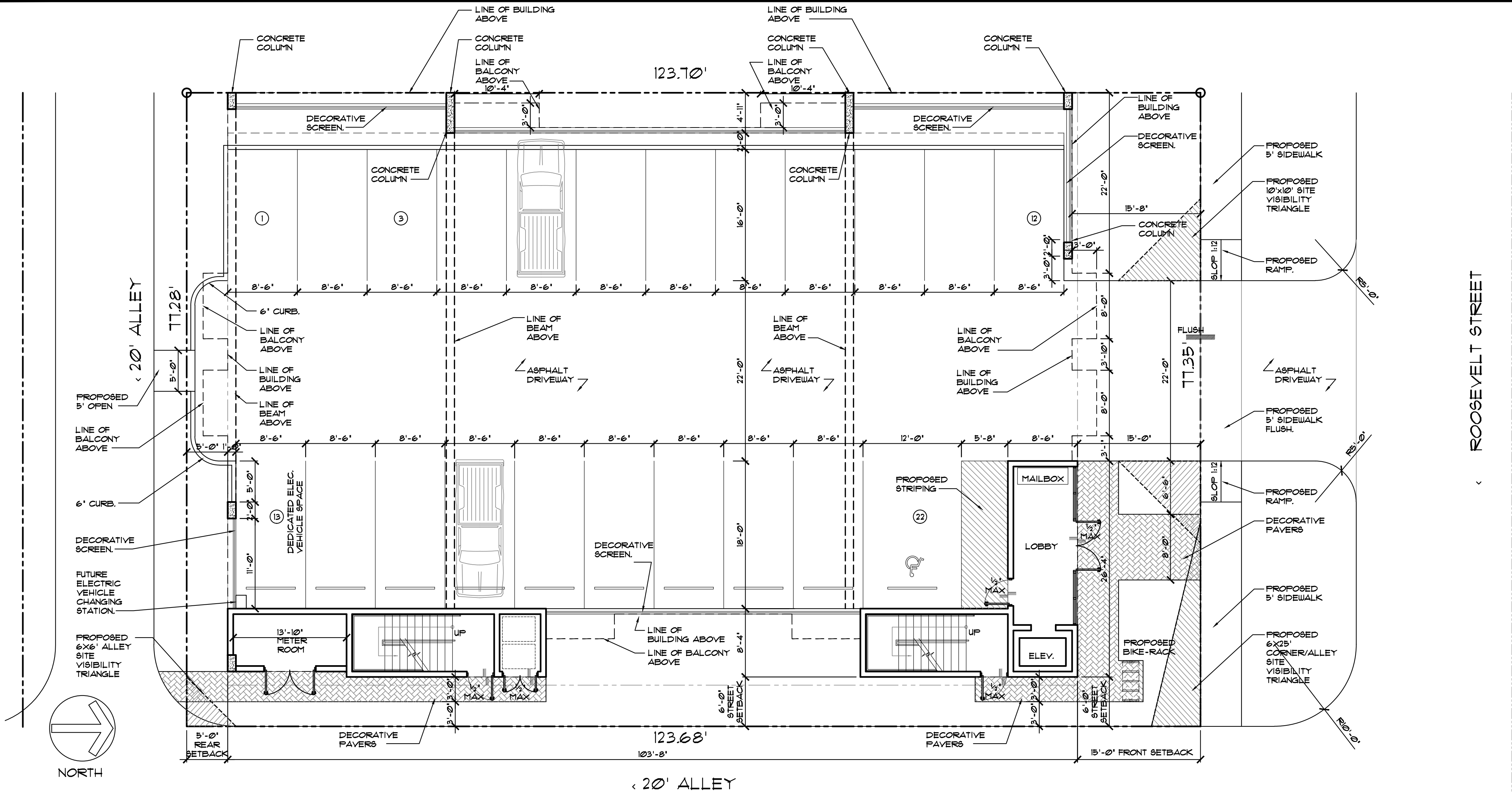
HEIGHT CALCULATIONS:

	REQUIRED	PROVIDED
MAX. HEIGHT ALLOWED:	10 STORIES OR 140'	50'-0"
LAND USE DESIGNATION:	RAC	
ZONING DESIGNATION:	FH-2	

GREEN BUILDING PRACTICE

- ENERGY EFFICIENT DOORS. ALL DOORS SHALL CONFORM TO THE ENERGY STAR RATING CRITERIA FOR SOUTH FLORIDA.
- PROGRAMMABLE THERMOSTATS.
- DUAL FLUSH TOILETS.
- AT LEAST 80% OF PLANTS, TREES AND GRASSES PER THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT RECOMMENDATIONS (LATEST EDITION).
- ALL ENERGY-EFFICIENT OUTDOOR LIGHTING.
- ENERGY PERFORMANCE AT LEAST 10% MORE EFFICIENT THEN STANDARD ESTABLISHED BY ASHRAE (LATEST EDITION)
- ALL HOT WATER PIPES INSULATED.
- MERV OF AIR FILTERS ON ALL AIR CONDITIONING UNITS AT LEAST 8 WITH ANTI-MICROBIAL AGENT.
- TANKLESS WATER HEATER IN LIEU OF A STANDARD TANK WATER HEATER.
- ELECTRIC VEHICLE-CHARGING-STATION INFRASTRUCTURE.

4 SITE DATA



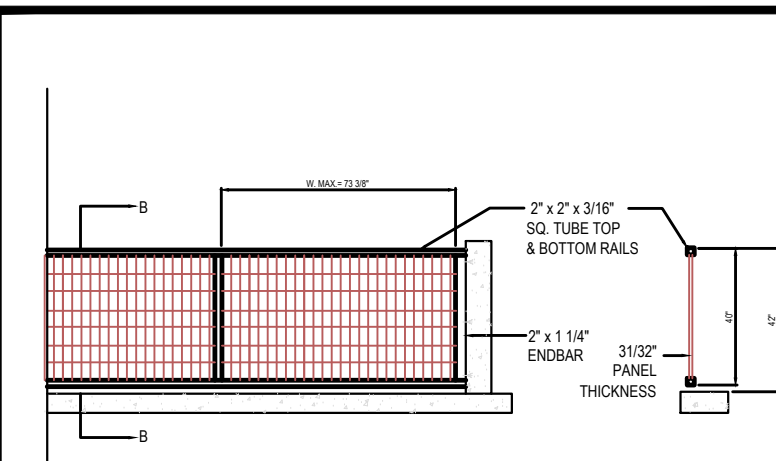
7 PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

BUILDING CALCULATION

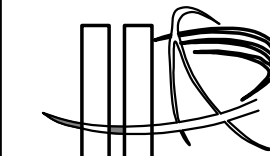
	LOBBY	UNIT * 1 (TWO BED.)	UNIT * 2 (ONE BED.)	UNIT * 3 (ONE BED.)	UNIT * 4 (TWO BED.)	UNIT * 5 (TWO BED.)	UNIT * 6 (ONE BED.)	UNIT * 6A (THREE BED.)	UNIT * 7 (ONE BED.)	
1ST. FLOOR COMMON AREA*	689 SF.	-	-	-	-	-	-	-	-	689 SF.
2ND. FLOOR LIVING AREA*	-	812 SF.	649 SF.	649 SF.	1,023 SF.	819 SF.	631 SF.	-	653 SF.	5,362 SF.
COVERED BALCONY AREA*	-	24 SF.	31 SF.	31 SF.	84 SF.	24 SF.	25 SF.	-	25 SF.	244 SF.
TOTAL UNIT AREA*	-	896 SF.	680 SF.	680 SF.	1,107 SF.	903 SF.	662 SF.	-	678 SF.	5,606 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	-	1,452 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	-	7,058 SF.
3RD. FLOOR LIVING AREA*	-	812 SF.	649 SF.	649 SF.	1,023 SF.	819 SF.	631 SF.	-	653 SF.	5,362 SF.
COVERED BALCONY AREA*	-	24 SF.	31 SF.	31 SF.	84 SF.	24 SF.	25 SF.	-	25 SF.	244 SF.
TOTAL UNIT AREA*	-	896 SF.	680 SF.	680 SF.	1,107 SF.	903 SF.	662 SF.	-	678 SF.	5,606 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	-	1,452 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	-	7,058 SF.
3RD. FLOOR LIVING AREA*	-	812 SF.	649 SF.	649 SF.	1,023 SF.	819 SF.	-	1,290 SF.	-	5,362 SF.
COVERED BALCONY AREA*	-	24 SF.	31 SF.	31 SF.	84 SF.	24 SF.	-	50 SF.	-	244 SF.
TOTAL UNIT AREA*	-	896 SF.	680 SF.	680 SF.	1,107 SF.	903 SF.	-	1,340 SF.	-	5,606 SF.
COMMON AREA*	-	-	-	-	-	-	-	-	-	1,452 SF.
TOTAL GROSS AREA*	-	-	-	-	-	-	-	-	-	7,058 SF.
TOTAL GROSS AREA*	21,863 SF.									

2ND. FLOOR	3RD. FLOOR	4TH. FLOOR	TOTAL UNITS
4 UNITS (1 BED.)	4 UNITS (1 BED.)	2 UNITS (1 BED.)	10 UNITS (1 BED.)
3 UNITS (2 BED.)	3 UNITS (2 BED.)	3 UNITS (2 BED.)	9 UNITS (2 BED.)
0 UNITS (3 BED.)	0 UNITS (3 BED.)	1 UNITS (3 BED.)	1 UNIT (3 BED.)
1 UNITS	1 UNITS	6 UNITS	20 UNITS



5 BUILDING CALCULATION

6 DETAIL-SCREEN



LLR Architects, Inc.
ARCHITECTURE & PLANNING
12980 S.W. 52 STREET
MIRAMAR, FLORIDA 33027

(OFF.) - 305-403-7926
(CELL.) - 786-513-0851
E-MAIL: LLR@LLRARCHITECTS.COM

Luis LaRosa-Registered Architect
AR#-0017852
AA#-26003693

REVISION:	BY:
1	
2	6/18/2018 T.A.C.
	CC

PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.

1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	03/21/18
SCALE	AS NOTED
JOB. NO.	018-008
SHEET	

SP-1.1

OF SHEETS

ZONING DISTRICTS: PR-MIXED USE
LOT AREA = 9,557 SF. 22 ACRES
PERVIOUS AREA PROVIDED = 2,550 SF. (26.6%)
TOTAL IMPERVIOUS 7,007 SF. (73.4%)

LANDSCAPE REQUIREMENTS:

LOTS WITH A WIDTH GREATER THAN 50' SHALL PROVIDE 25% OF THE VUA IN LANDSCAPING
N/A
OVERHEAD COVERAGE REQUIRED = 10% OF LANDSCAPE AREAS
N/A (ALL VUA IS UNDER BLDG.)

PERIMETER LANDSCAPE:
(1) STREET TREE PER 30LF.

ROSEVELT ST. 78/30 = 3 REQUIRED
EXISTING = 2 LARGE CANOPY TREES

BUFFERS:
5' WIDE (1) TREE PER 20 LF.
NORTH: 78/20 = 4 REQUIRED
PROPOSED = 4 TREES
SOUTH: 78/20 = 4 REQUIRED
PROPOSED = 4 TREES
WEST: 58/20 = 3 REQUIRED
PROPOSED = 3 (2 TREES, 1 PALM)
EAST 124/20 = 6 REQUIRED
PROPOSED = 3(2 TREES, 1 PALM)

(1) TREE PER 1,000 SF. OF PERVIOUS LOT AREA
PERVIOUS AREA 2,550 /1,000 = 3 TREES REQUIRED
PROPOSED =0 (DUE TO LACK OF GREEN AREA)

TOTAL TREES REQUIRED ON SITE = 23
PROPOSED = 19 TREES (REFER TO PLANT LIST THIS SHEET)
REMAINING BALANCE OF TREES SHALL BE SATISFIED BY PAYING EQUAL VALUE INTO THE TREE PRESERVATION FUND IN THE AMOUNT OF (4) X \$350 = \$1,400.00
IN ADDITION TO THE (64) MITIGATION TREES NOTED ON L-2

NATIVE TREES REQUIRED 60% = 14
PROPOSED NATIVES = 6

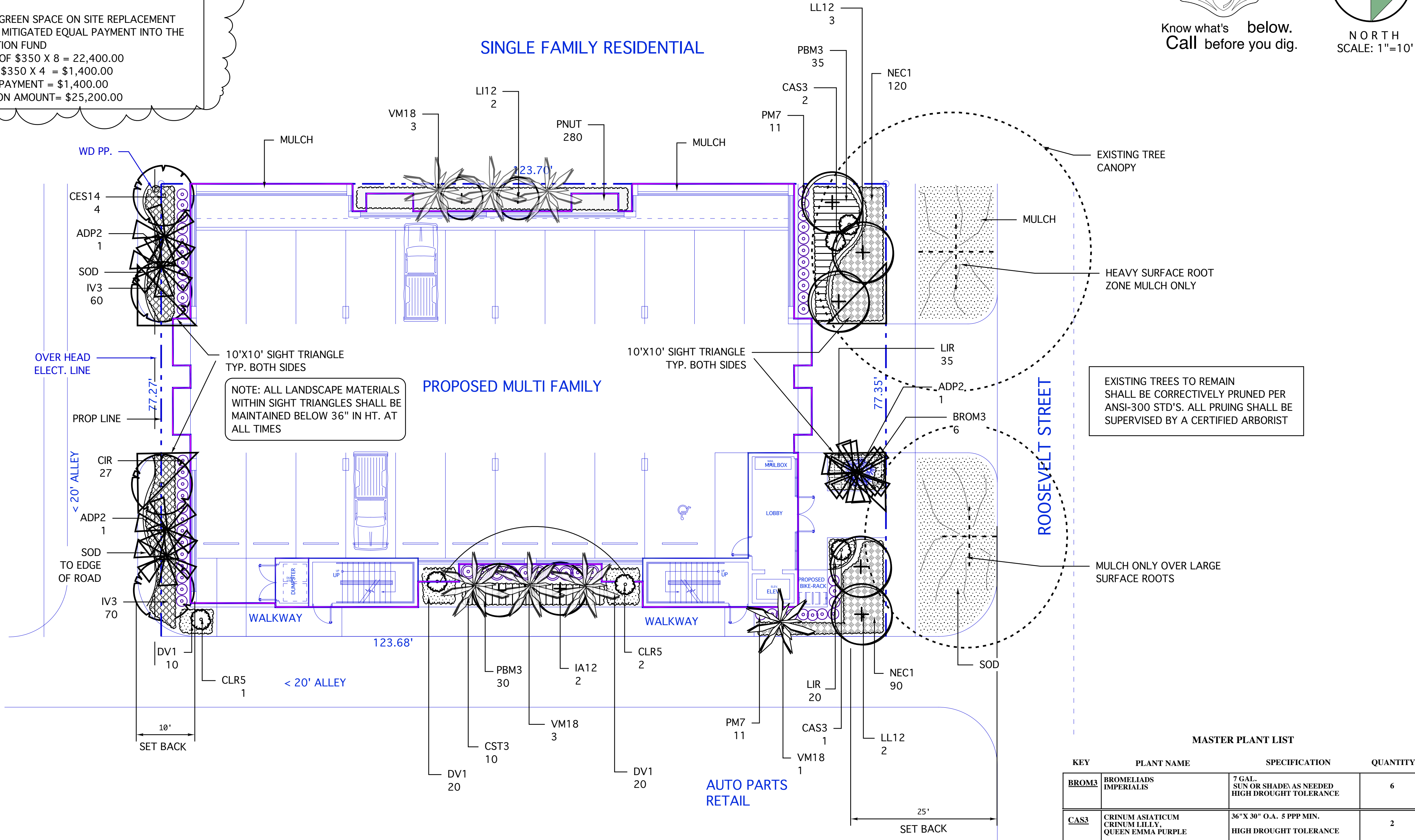
NATIVE SHRUBS REQUIRED 50%
PROPOSED NATIVE SHRUB = 350

7/12/19

TREE MITIGATION DATA:

DBH. REMOVED =(128") OR (64) 2" TREES
PALMS REMOVED= 4

DUE TO LIMITED GREEN SPACE ON SITE REPLACEMENT TREES SHALL BE MITIGATED EQUAL PAYMENT INTO THE TREE PRESERVATION FUND
IN THE AMOUNT OF \$350 X 8 = 22,400.00
PALM PAYMENT: \$350 X 4 = \$1,400.00
CODE MIN. TREE PAYMENT = \$1,400.00
TOTAL MITIGATION AMOUNT= \$25,200.00



MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY
BROM3	BROMELIADS IMPERIALIS	7 GAL. SUN OR SHADE AS NEEDED HIGH DROUGHT TOLERANCE	6
CAS3	CRINUM ASIATICUM CRINUM LILLY QUEEN EMMA PURPLE	36\" X 30\" O.A. 5 PPP MIN. HIGH DROUGHT TOLERANCE	2
CIR	CHRYSOBALANUS ICACO COCIOPLUM HEDGE	24\" X 24\" 24\" O.C. NATIVE HIGH DROUGHT TOLERANCE	27
CLR6	CLUSIA ROSEA PITCH APPLE	6\" X 4\" SPR. ACCENT SHRUB NATIVE HIGH DROUGHT TOLERANCE	2
CST3	CODIAEUM SHOESTRING CROTON	36\" X 24\" 24\" O.C. HIGH DROUGHT TOLERANCE	10
DV1	DIETES IRIDIODES AFRICAN IRIS	12\" FULL TO POT 15\" O.C. HIGH DROUGHT TOLERANCE	50
LIR	LIRIOPE MUSCARI GREEN LIRIOPE	1 GAL. FULL 6-SBIBS MIN 9\" O.C. MED DROUGHT TOLERANT	55
NEC1	NEPHROLEPIS EXALTATA \"COMPACTA\" BOSTON FERN	1 GAL. 12\"X12\" 12\"-15\" O.C. NATIVE LOW DROUGHT TOLERANCE	210
PBM3	PHILODENDRON SELLOUM BURLE MARX	12\"X15\" 18\" O.C. MEDIUM DROUGHT TOLERANCE	65
PM7	PODOCARPUS MACROPHYLLA YEW PODOCARPUS	36\" X 24\" SPR. 24\" O.C. HIGH DROUGHT TOLERANCE	22
PNUT	ARACHIS GLABRATA BENTH PERENNIAL PEANUT	1 GAL. SPACE 6-8\" O.C. HIGH DROUGHT TOLERANCE	280
SOD	ST. AUGUSTINE FLORITAM	CONTRACTOR TO VERIFY QUANTITY SHADE/SUN	
IV3	ILEX SCHELLINGS DWF ILEX	10\"X10\" 12\"-15\" O.C. NATIVE, HIGH DROUGHT TOLERANCE	110

NOTES:

MULCH ALL LANDSCAPE AREAS WITH GRADE B OR BETTER NON CYPRESS NON COLORED BLEND MULCH. ALL EXISTING LANDSCAPE MATERIALS IN POOR CONDITION OR MISSING AT TIME OF CO SHALL BE REPLACED WITH SAME SPECIES AND SIZE.

CONTRACTOR SHALL FIELD LOCATE ALL ABOVE AND UNDER GROUND UTILITIES PRIOR TO STARTING WORK. TREES WITHIN 5' OF AN UNDER GROUND UTILITY SHALL BE SEPARATED BY A ROOT BARRIER. SEE DETAIL SHEET L-3.
ALL ABOVE GROUND UTILITIES NOT ALREADY SHOWN ON PLANS SHALL BE SCREENED WITH PLANT MATERIALS A MIN. OF 36\"/>

REFER TO SHEET L-3 FOR LANDSCAPE DETAILS AND SPECIFICATIONS

REFER TO SHEET L-2 FOR EXISTING TREE INFORMATION

CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST SHOULD A DISCREPANCY OCCUR.

CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE REVIEWER PRIOR TO ANY CHANGES IN APPROVED LANDSCAPE MATERIALS

ALL LANDSCAPE WORK SHALL MEET THE MIN. REQUIREMENTS PER THE CITY OF HOLLYWOOD LANDSCAPE CODE.

IRRIGATION DESIGN AND SPECIFICATIONS ARE PROVIDED ON SHEETS IR-1 AND IR-2

CONTRACTOR SHALL DO TAKE OFF FROM PLANTING PLANS.
CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS OR CHANGES IN DESIGN.

7/12/19

MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY	CODE TREES
LL12	LIGUSTRUM LUCIDUM TREE LIGUSTRUM	12\" X 6\" SPR. B&B MULTI-STEM- MIN MATCHED 5\" CT. NO CROSSING BRANCHES HIGH DROUGHT TOLERANCE	5	5
IA12	ILEX ATTENUATA EAST PALATKA HOLLY	14\" X 6\" SPR. 3\" DBH. 3\" CT. B&B NATIVE HIGH DROUGHT TOLERANCE	2	3 6\" DBH.
CES14	CONOCARPUS ERECTUS SERECIUS SILVER BUTTWOOD	14\"X6\" SPR. 3\" DBH. 4.5\" CT. NATIVE, HIGH DROUGHT TOLERANCE	4	6 12\" DBH.
ADP2	VEITCHIA MERILLII ADONIDIA PALM	8'-10\" CT. DB. TRUNKS 3\" DBH. MIN. HIGH DROUGHT TOLERANCE	3	1
VM18	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	8'-10\" CT. STAGGER HTS. SINGLE TRUNK, B&B, FG HIGH DROUGHT TOLERANCE	7	2
LI12	LAGERSTROEMIA INDICA CREPE MYRTLE NATCHEZ	12\"X5\" SPR. 2\" DBH. 4.5\" CT. HIGH DROUGHT TOLERANCE	2	2
TOTAL CODE TREES				16

REVISIONS:

TAC REV: 7/12/19

SHEET TITLE:

LANDSCAPE
PLAN

PROJECT:

MULTIFAMILY DEVELOPMENT

XLT INVESTMENT CORP.

1812 ROOSEVELT ST. HOLLYWOOD, FL.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF
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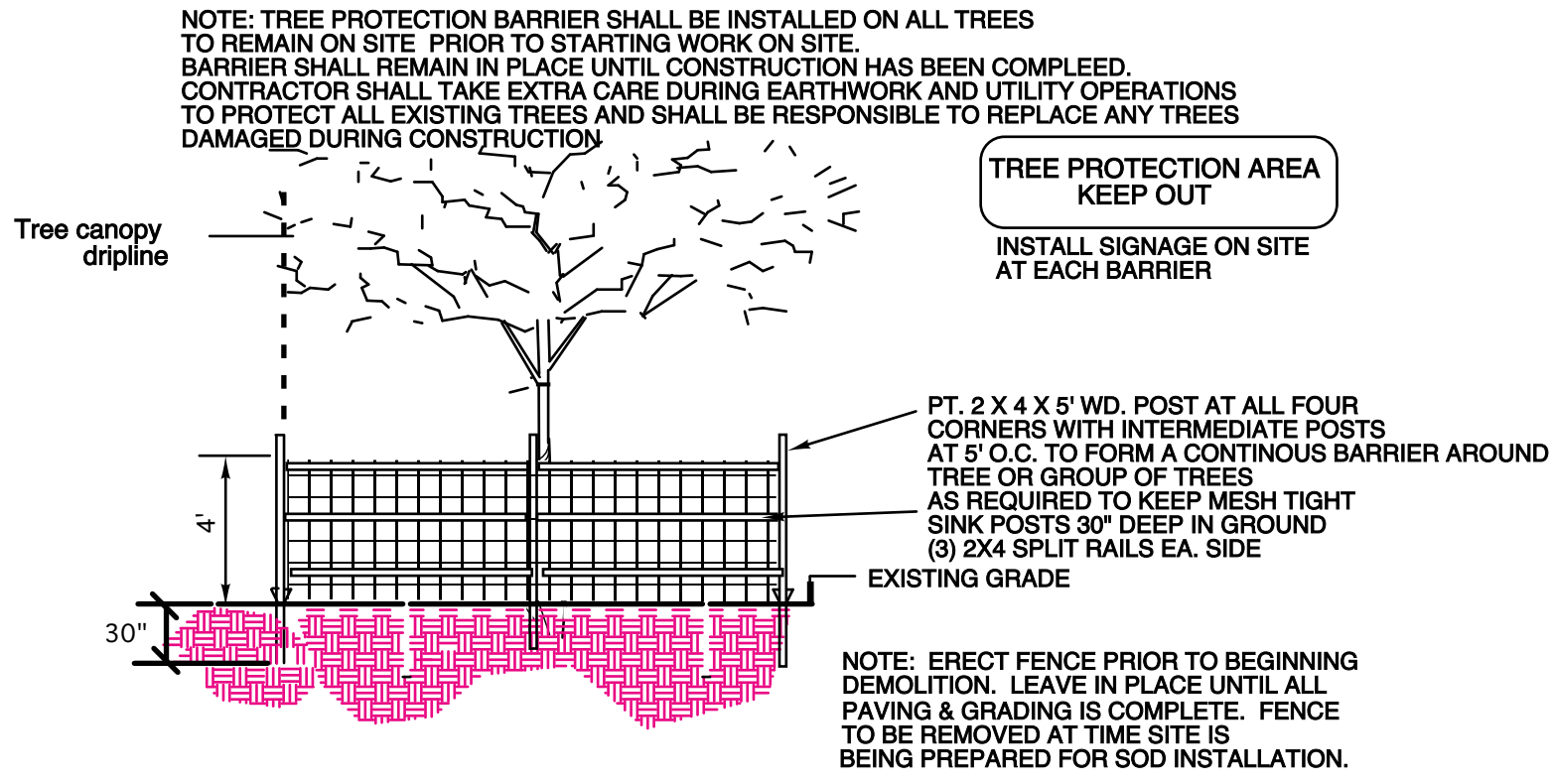
SCALE: 1"=10'

DATE DRAWN: 5-30-18

SHEET NO.

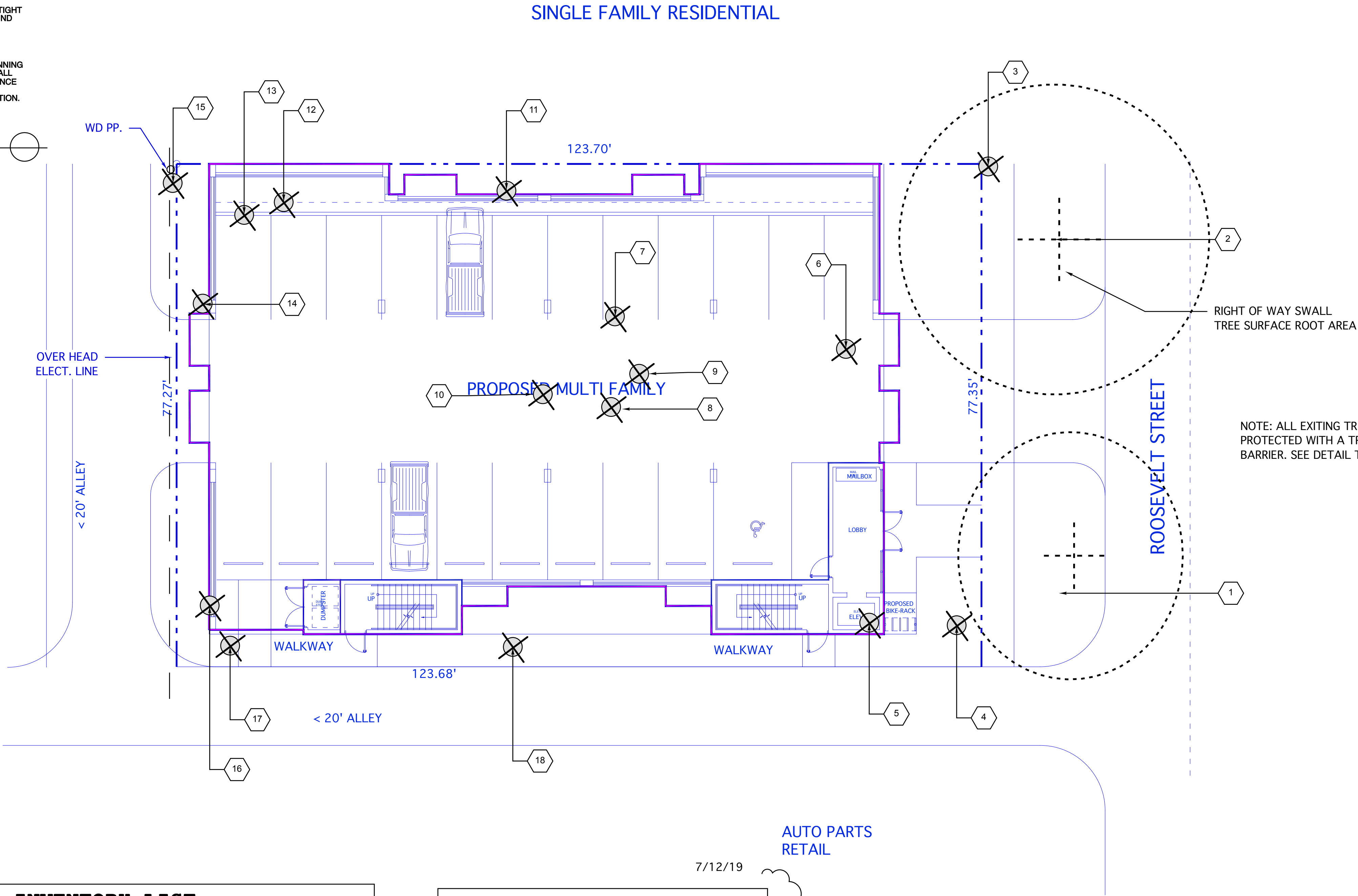
L-1

of-3



TREE PROTECTION/TEMPORARY BARRIER DETAIL

NOT TO SCALE



EXISTING TREE INVENTORY LIST

TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE (DBH. HT.X SPR.)	CONDITION	DISPOSITION
1.	BUCIDA BUSERAS	BLACK OLIVE	22" DBH. 35'X42'	70%	REMAIN IN RIGHT OF WAY
2.	BUCIDA BUSERAS	BLACK OLIVE	36" DBH. 40'X45'	74%	REMAIN IN RIGHT OF WAY
3.	VEITCHIA MERELLII	CHRISTMAS PALM	12' CT. LEANING	65%	REMOVE /MITIGATE
4.	BUCIDA BUSERAS	BLACK OLIVE	16" DBH. 30'X35'	60%	REMOVE/MITIGATE
5.	BUCIDA BUSERAS	BLACK OLIVE	34" DBH. 30'X45'	68%	REMOVE/MITIGATE
6.	BURSERIA SIMARUBA	GUMBO LIMBO	16" DBH. 25'X25'	75%	REMOVE/MITIGATE
7.	BURSERIA SIMARUBA	GUMBO LIMBO	24" DBH. 40'X35'	68%	REMOVE/MITIGATE
8.	VEITCHIA MERELLII	CHRISTMAS PALM	12'-16' CT. CLUSTER	78%	REMOVE/MITIGATE
9.	VEITCHIA MERELLII	CHRISTMAS PALM	14' CT.	78%	REMOVE/MITIGATE
10.	VEITCHIA MERELLII	CHRISTMAS PALM	14' CT.	78%	REMOVE/MITIGATE
11.	AVACADO SPP.	AVACADO	28" DBH.	60%	REMOVE
12.	BURSERIA SIMARUBA	GUMBO LIMBO	8" 18'X12'	80%	REMOVE/MITIGATE
13.	DYPSIS LUTESCENS	ARECA PALM	10" OA. CLUMP	78%	REMOVE
14.	SABAL PALMETTO	CABBAGE PALM	3' CT. 10' OA.	70%	REMOVE
15.	BURSERIA SIMARUBA	GUMBO LIMBO	4" DBH. 14'X10'	60%	REMOVE/MITIGATE
16.	SCHEFFLERA	UMBRELLA TREE	3" DBH. 12'X9'	65%	REMOVE
17.	BURSERIA SIMARUBA	GUMBO LIMBO	10" DBH. 14'X15'	80%	REMOVE/MITIGATE
18.	SWIETENIA MACROPHYLLA	MAHOGANY	24" DBH. 40'X35'	55%	REMOVE/MITIGATE

NOTE: NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE CITY OF HOLLYWOOD

TREE MITIGATION DATA:

TREES REMOVED =8 (128")
PALMS REMOVED =4

DUE TO LIMITED GREEN SPACE ON SITE REPLACEMENT TREES SHALL BE MITIGATED EQUAL PAYMENT INTO THE TREE PRESERVATION FUND AS NOTED ON SHEET L-1

PLAN KEY

- #
- EXISTING TREE/PALM TO REMAIN IN PLACE
- EXISTING PALM TO REMOVE

REVISIONS:

TAC REV:7/12/19

SHEET TITLE:

EXISTING TREE
DISPOSITION
PLAN

PROJECT:

MULTIFAMILY DEVELOPMENT

XLT INVESTMENT CORP.

1812 ROOSEVELT ST. HOLLYWOOD, FL.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF:

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SEAL:

SCALE: 1"=10'

DATE DRAWN: 5-30-18

SHEET NO.

L-2

of-3

NOTE: ALL IRRIGATION EQUIPMENT SHOWN OUTSIDE OF PROPERTY LINES IS FOR GRAPHIC CLARITY ONLY. ALL EQUIPMENT SHALL BE INSTALLED WITHIN THE PROPERTY LINES AND WITHIN LANDSCAPED AREAS WHEREVER POSSIBLE THE IRRIGATION DESIGN IS DRAWN FROM THE INFORMATION SUPPLIED FROM THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL LANDSCAPED AREAS WILL RECEIVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP. HEADS AND PIPE SHALL BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES, STRUCTURES AND LANDSCAPE MATERIALS.

CONTRACTOR SHALL REFER TO LANDSCAPE PLANS FOR LOCATIONS OF TREES AND SHRUBS. IRRIGATION HEADS AND PIPE SHALL BE ADJUSTED TO AVOID CONFLICTS WITH LANDSCAPE MATERIALS

ALL PROPOSED EQUIPMENT SHALL BE INSTALLED PER THE SPECIFICATIONS NOTED ON THE PLANS SHEETS IR-1 AND IR-2.

CONTRACTOR SHALL VERIFY ZONES DO NOT EXCEED MAXIMUM GPM OR PRESSURES OF PROPOSED/EXISTING EQUIPMENT.

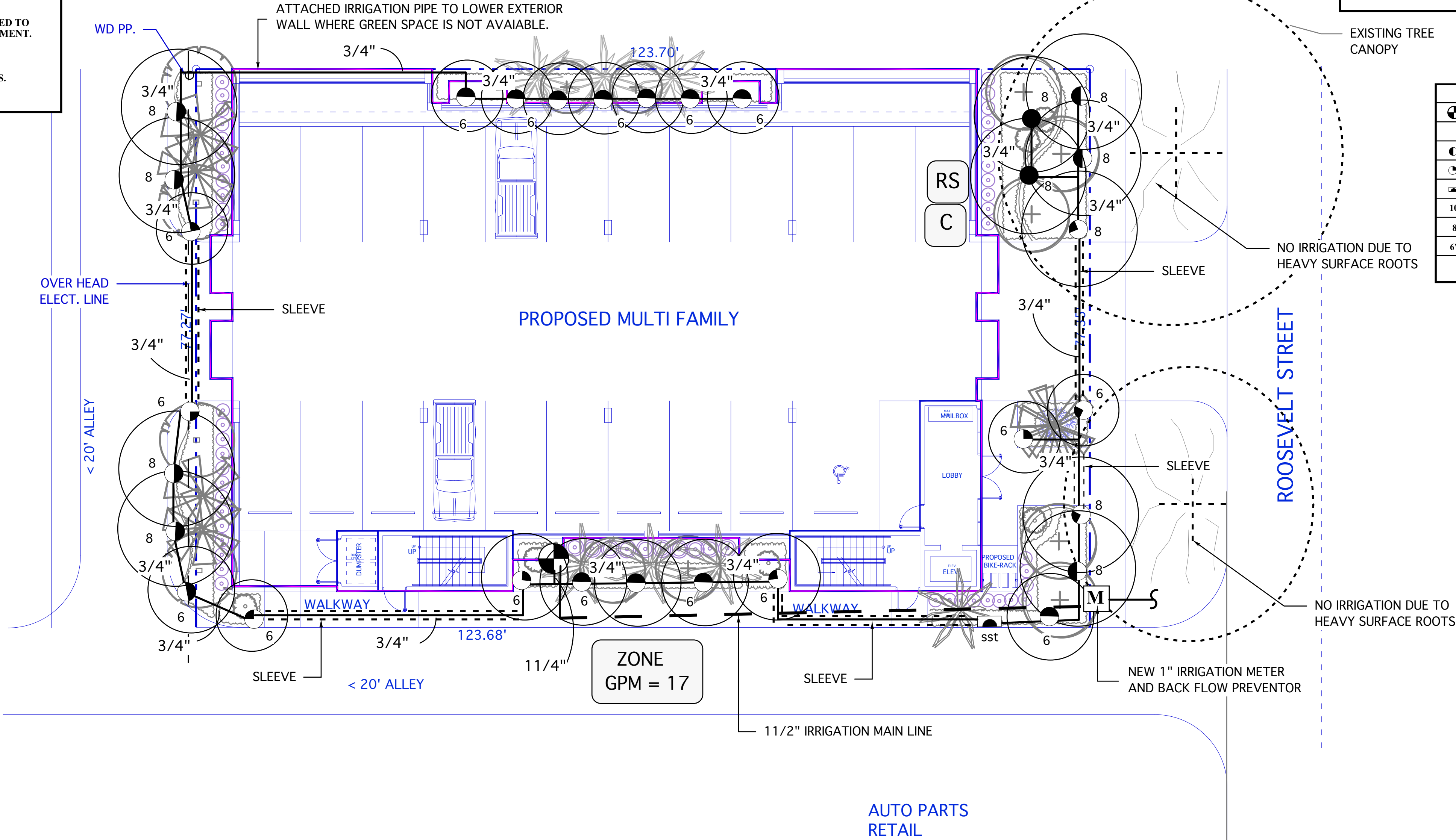
THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE DONE TO THE LANDSCAPING AS A RESULT OF IRRIGATION INSTALLATION TO EQUAL OR BETTER CONDITION.

ALL EQUIPMENT SHALL BE INSTALLED PER THE LATEST REVISED SOUTH FLORIDA BUILDING CODE 2002 APPENDIX F.

IRRIGATION HEADS SHALL BE OFFSET 12" FROM BUILDING WALLS. HEADS SHALL BE ADJUSTED TO AVOID OVERSPRAY CONTACT WITH HARDSCAPE SURFACES, STRUCTURES OR UTILITY EQUIPMENT.

THERE SHALL BE NO MACHINE TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES. ALL TRENCHES SHALL BE HAND DUG WITHIN THESE AREAS. CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR PROPOSED AND EXISTING MATERIALS.

SINGLE FAMILY RESIDENTIAL



IRRIGATION SYSTEM TIME SCHEDULES

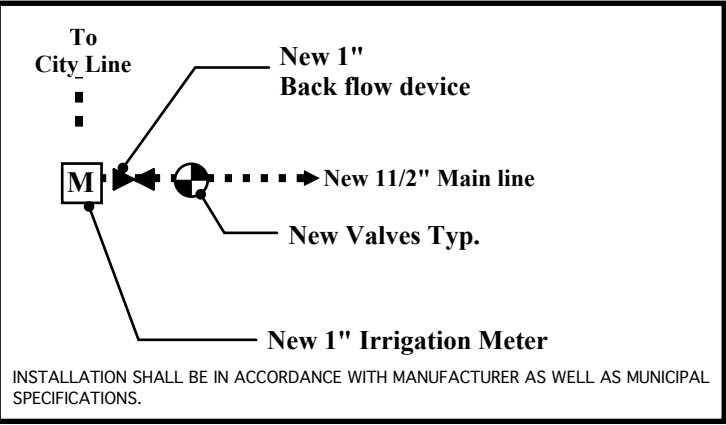
SYSTEM 1
TOTAL ZONES = 3.

RUN TIMES = 20 MIN. PER ZONE ON
MON. WED. FRI.
TOTAL RUN TIME PER DAY = 60 MIN.

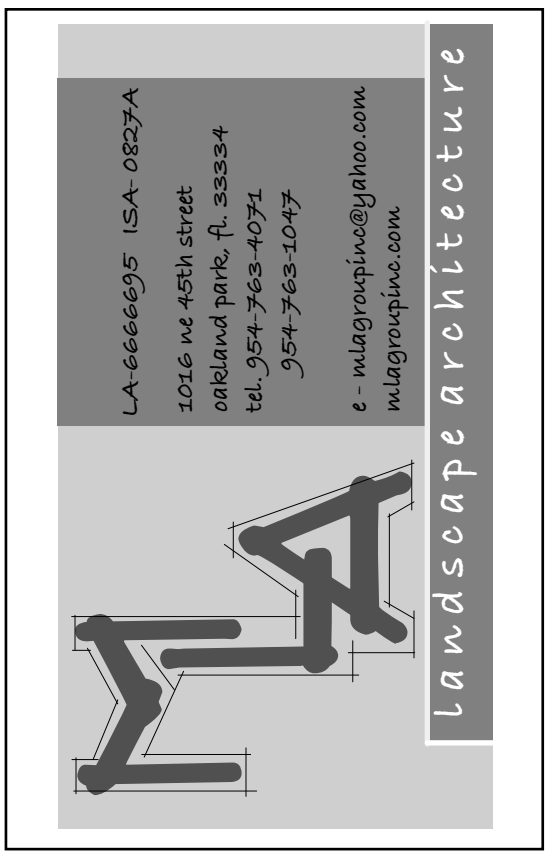
NOTE:
NEW LANDSCAPE MATERIALS WILL NEED DAILY WATERING FOR A PERIOD OF 4 WEEKS OR UNTIL ESTABLISHED. ONCE MATERIAL IS ESTABLISHED WATERING SHALL BE REDUCED TO 2- 3 DAYS A WEEK DURING STABLE WEATHER CONDITIONS.
IRRIGATION ZONE RUN TIMES ARE FLEXIBLE DEPENDING ON THE SEASON OF YEAR AND PRECIPITATION RATES. ZONE TIMES SHALL BE ADJUSTED PERIODICALLY TO COMPENSATE FOR NATURAL EVENTS SUCH AS HEAVY RAIN, HIGH WIND AND DROUGHT. IRRIGATION SHOULD NOT BE RUN DURING PERIODS OF HEAVY RAIN, HIGH WINDS OR IN CASES OF EXTREME DROUGHT. IRRIGATION ZONES SHOULD BE RUN BETWEEN THE HOURS OF 5:00 AM AND 7:00 AM IRRIGATION ZONES SHOULD NOT BE RUN DURING MID DAY OR EVENING HOURS.

LEGEND	
	VALVE
	SPRAY, 180°
	SPRAY, 90°
	SIDE STRIP
	10" NOZZLE
	8" NOZZLE
	6" NOZZLE

PIPE SLEEVING SCHEDULE	
PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"+	6"



- C** PROPOSED IRRIGATION CONTROLLER MOUNT TO EXT. WALL 36" ABOVE GRADE
- RS** PROPOSED IRRIGATION RAIN SENSOR MOUNT TO WALL CLEAR OF OVERHEAD OBSTRUCTIONS NEAR CONTROLLER



REVISIONS:

SHEET TITLE:
IRRIGATION PLAN

PROJECT:
MULTIFAMILY DEVELOPMENT
XLT INVESTMENT CORP.
1812 ROOSEVELT ST. HOLLYWOOD, FL.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF
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SEAL:

SCALE: 1"=10'

DATE DRAWN: 3-29-17







SHEET NO.
IR-1

of-2

IRRIGATION MASTER KEY

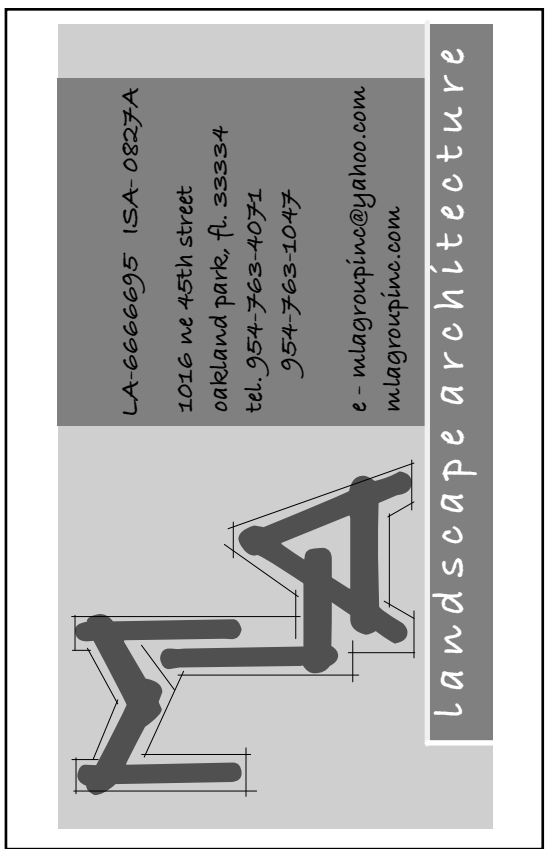
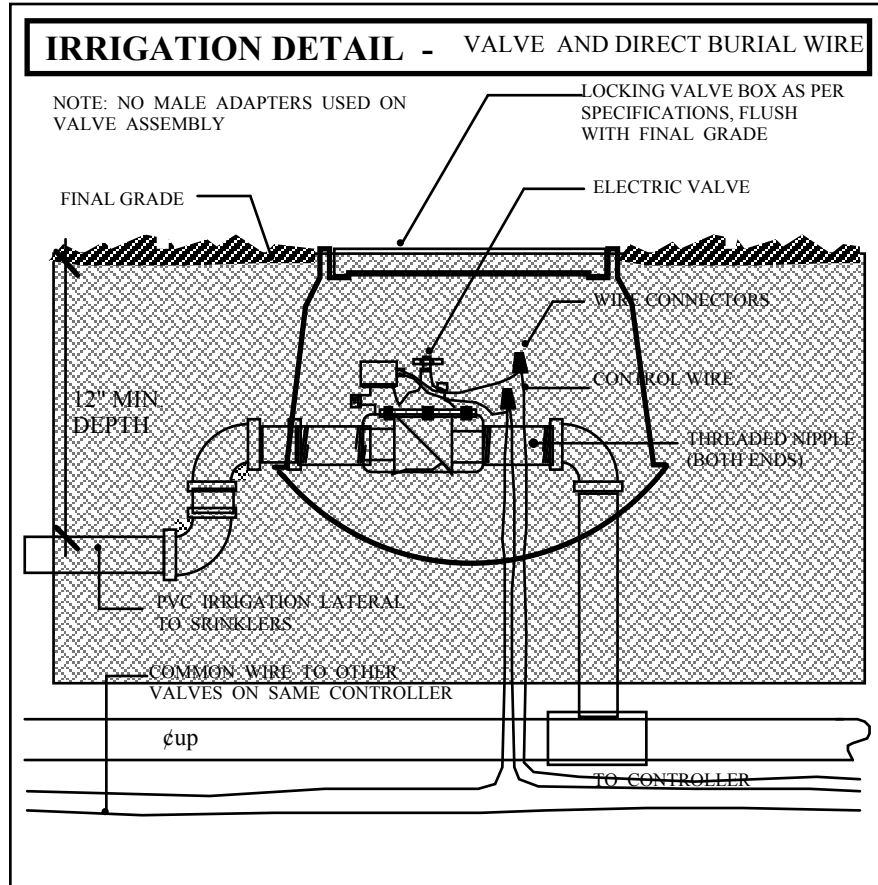
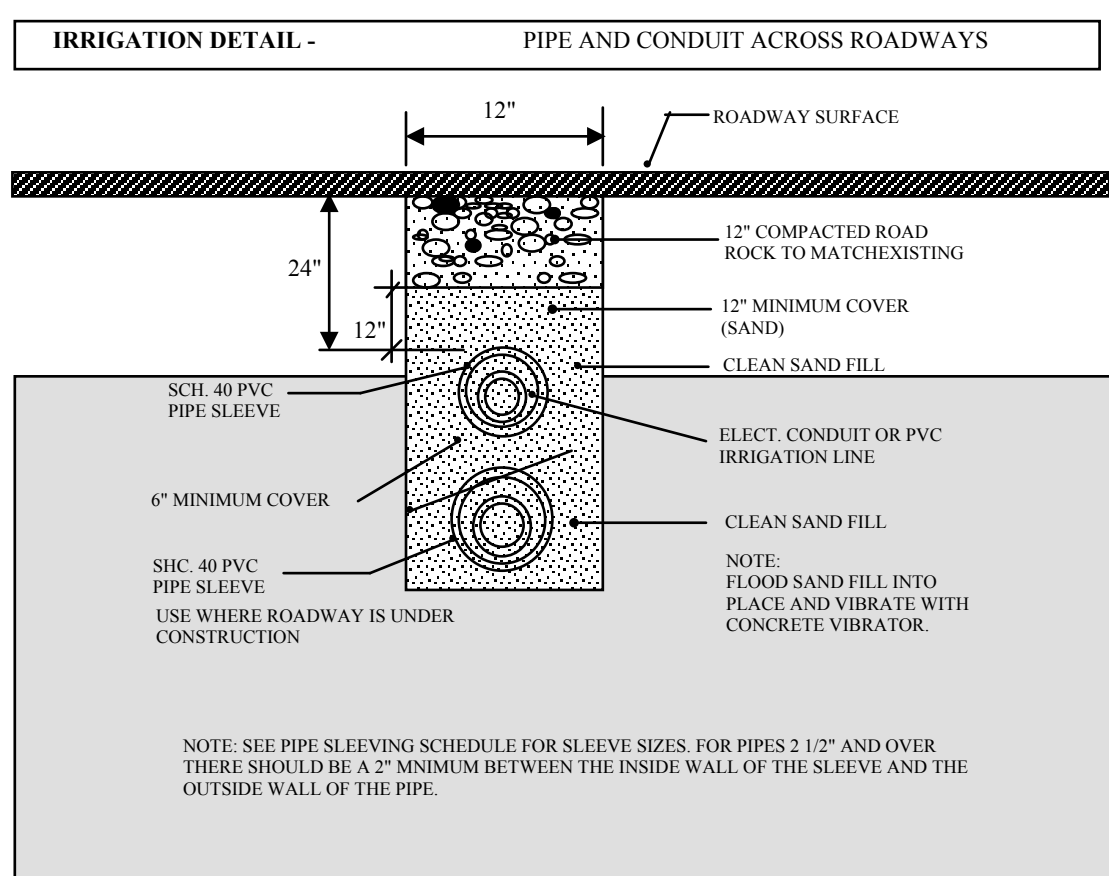
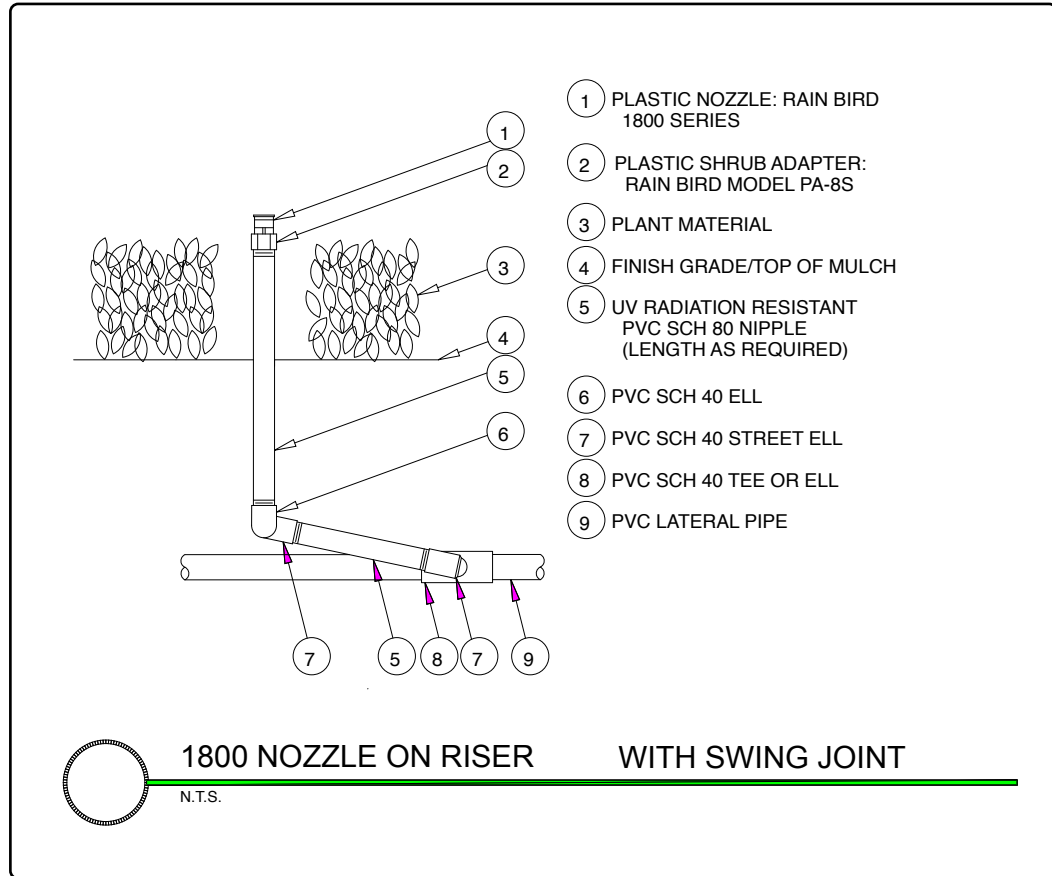
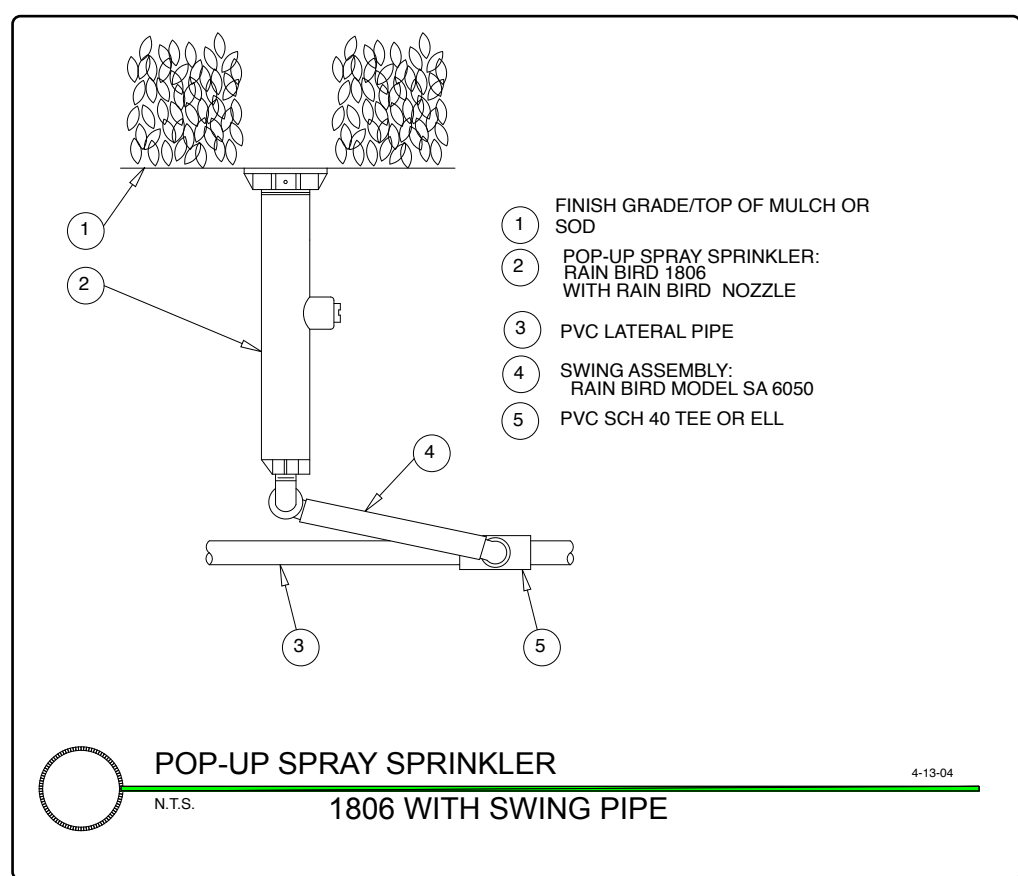
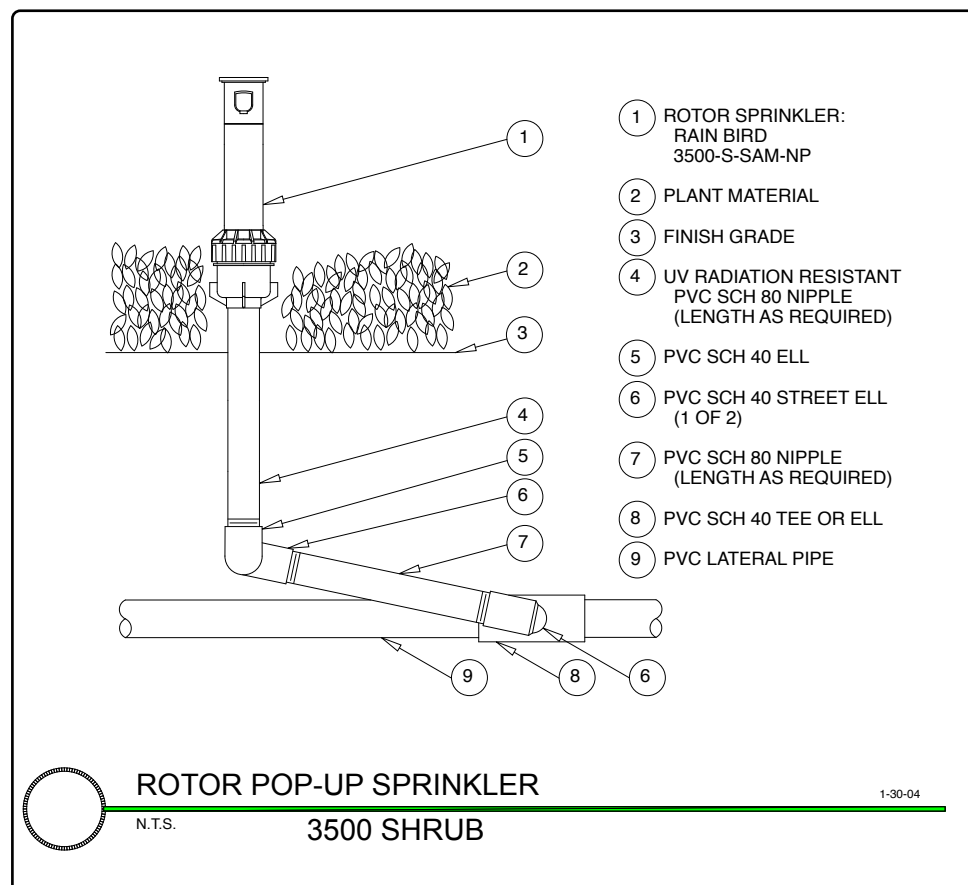
KEY	NO.	ITEM DESCRIPTION	INSTALLATION SPEC.	
		SLV LINE NOTE	SLEEVES IN THIS CONTRACT Sleeves under roadways and driveways shall be SCH-40 Sleeves under sidewalks can be CLASS 160 PVC Install as per details and specifications.	Each sleeve shall be a minimum of two sizes larger than lateral pipe enclosed and each crossing shall include separate electrical conduit sleeves. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Slewing shall be installed at the most logical locations to avoid underground utilities and structures. Slewing locations shall be considered schematic on irrigation plans. The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves All Asphalt base compaction and paving shall be made by the Paving Contractor on the job.
	00C17	CON	NEW IRRIGATION CONTROLLERS RAINBIRD ESP 4 OR EQUAL MOUNT TO EXTERIOR WALL AS NOTED ON PLAN SHEET IR-1 Electromechanical controller. Add zone modules as needed. Electrical hook-up provided by GC's electrician on site. Irrigation Contractor to coordinate with GC / Electrician.	Contractor shall mark stations on the controller panel to correspond with the zone numbers on this plan and set operating sequence to correspond with the numbering.
		CONTR NOTE	IRRIGATION CONTRACTOR UTILITIES ABOVE AND BELOW GROUND.	Contractors shall be responsible for the location and verification of all overhead and underground utilities. Contractor shall coordinate with all of the appropriate agencies to verify utilities in the field. Contractor shall be responsible for the protection and maintenance and any damage to existing utilities and structures that may occur in the implementation of the scope of work within this project. CONTRACTORS MUST USE THE NEW STANDARD SCHEDULE OF COLORS DESIGNATED FOR MARKINGS ON THE GROUND 1994 edition
	00V11	VALVE BOX	RAINBIRD PURPLE VALVE COVER BOX VBOX - VB-7RND PURPLE LID	All valve assemblies to be installed below grade shall include valve boxes with a 2" layer of drainage gravel as clean dry ballast for a bottom. Install top of box flush with surrounding grade, grass or mulch depending on location. Group valve assemblies so they are accessible with the correct size box. Any substitutions must be approved by landscape architect by providing sample or product information for review and written approval.
	70A	Head	RAINBIRD 1800 SERIES, XP and VAN SERIES 1806-PRS 6" POP-UP 3/4 HDS FULL Low Gallon Nozzles 1/4 HDS 1/2 HDS HEADS 2.5" 4",5", 6", 8",10",12",15" Radius	All heads in tall shrub beds shall be mounted on sch. 160 12" risers painted flat black Contractor shall adjust head spray to eliminate over spray of water onto structure walls, driveways, and utilities and walkways.
			RAINBIRD SPECIAL PATTERN SERIES EST AND SST	
		HEAD NOTE	GENERAL HEAD NOTE ALL HEAD LOCATIONS SHOWN ON PLANS ARE SCHEMATIC	Contractor to maintain 100% coverage with minimum 50% overlap when minor head location changes are necessary due to field conditions. Install adjustable angle nozzles where needed. All heads in open grass areas to be mounted on polytype swing joints. Heads in shrub areas shall be installed on SCH 160 risers raised to 6" above plant height, and with PVC SCH 160 swing joint assemblies below grade. Risers taller than 24" above grade shall be skaked for support. All risers shall be fitted with shrub adapters and appropriate nozzles. All risers shall be painted with Krylon Jungle Green or equal.
		RAIN sensor	"MINI CLIK" RAIN SENSOR MODEL 502 INSTALL IN LOCATION UNOBSTRUCTED BY OVERHEAD CANOPY AS NOTE ON PLAN TO BE INSTALLED BY IRRIGATION CONTRACTOR IN AN EASILY ACCESSIBLE POSITION	"MINI CLIK" Mount the Mini Klik PER MANUFACTURER'S SPECIFICATIONS. Each system shall have it's own individual rain sensor. Contractor is responsible for a fully operational system from timeclock to location of the sensor.
X				

IRRIGATION MASTER KEY

KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	00V1	WIRE LOW VOLT	<p>Control wires for 24V Automatic Valves, shall be installed by Irrigation Contractor. Wire shall be sleeved in minimum 1" SCH 40 electrical conduit buried a minimum of 24".</p> <p>Contractor shall run (2) spare control wires and (1) one spare common wire to the furthest ends of system in each direction. Common wire shall be grey or green, while the control wires shall each be a different color.</p>	<p>All irrigation control wires shall be 1/2" L. approved 24V solid copper wire. Wires shall operate 24V automatic sprinkler valves and enter the box from below. Hot and spare wires to be AWG size 14 gauge and common wires to be AWG white size 12 gauge.</p> <p>Number 14 wire to be color coded separately with dark colors. Multistrand cable shall only be used between the controller and the first splice pit and shall not exceed 20 feet.</p> <p>No splices between valves. All splicing shall be done in valve boxes only. All splices made with 3MBDY wire connectors. All valve box locations to be approved by the land arch. All valve boxes set level w/grade.</p>
	00V1A	MASTER VALVE	<p>RAINBIRD NON POTABLE VALVES V-PESB-R SERIES</p> <p>2" valves for zones to GPM volumes 71-170 1.5" valves for zones to GPM volumes 41-70 1" valves for zones to GPM volumes btwn 10-40</p>	<p>All Valves shall be installed in a separate AMETEK valve box. All valve boxes to be placed upon a 2" layer of gravel. All valves assembled with Sch. 80 PVC nipples shall be used in place of male adapters. Top stem of valve assembly to be 6" below cap of valve cover box. This valve shall be used as the job standard. Valve controlling each Zone as well as use as the Master Control Valve for applicable plans. All valve box locations to be approved by the Landscape Architect. All boxes to be set level with grade.</p>
		PIPE GEN NOTE	<p>LATERAL PIPE All New Pipe and Fittings. Size as noted in plans.</p> <p>ALL PIPE SHALL BE PURPLE PIPE FOR NON POTABLE USE</p>	<p>3/4" Pipe to be Class 200. All other lateral pipe to be Class 160, except where ground is rocky; in rocky ground SCH 40 pipe will be used. Class 200/160 will be protected on all sides with at least 6" of clean, debris-free builders sand. All laterals to be placed 12" minimum below grade. All lateral pipe under pavement to be observed. No lateral installed shall be less than 34".</p>
		PIPE GEN NOTE	<p>MAIN & LATERALS</p> <p>MAINLINE SHALL NOT BE UNDER PRESSURE WHILE THE SYSTEM IS NOT IN OPERATION.</p>	<p>Unless specifically detailed All PIPING locations shown on plans are schematic. Contractor to adjust trenching in field for existing conditions, plantings and structures. Install pipes clear of hedge rows and tree rootballs. Irrigation contractor is responsible to adjust lines at its own expense if not coordinated with all other work. All piping shall be bed in clean fill per Florida Building Code 2001 and back fill all trenches free of debris. Mechanical trenches are acceptable except in drainage swales and utility areas which shall be hand dug and backfilled to original grade.</p> <p>CONTRACTOR ADJUSTMENTS DOES NOT WARRANT ADDITIONAL COSTS BASED ON BASE BID.</p>
		PIPE GEN NOTE	<p>MAIN & LATERALS BACKFILLING</p>	<p>Ground Level Areas: The sub-contractor shall do all necessary excavating and backfilling required for the proper installation of the work. Minimum depth of cover over piping shall be 12 inches. Backfill material shall be clean fill. If existing material has an excess of rock, then clean sand must be used. In rocky areas, use SCH 40 PVC, or the trenching depth shall be two inches below normal trench depth to allow for a 2 inch bed of sand below the pipe. There shall be NO rock in contact with PVC pipe. The sub-contractor shall use backfilling equipment that will tamp backfill to its original density. Backfill backroads or light the excavation to prevent hazards to the public. Objectionable materials such as old concrete, asphalt, lime rock and bricks that are encountered during working operations, shall be removed from the project by the sub-contractor. Sub contractor shall be responsible to locate any above or underground utilities prior to starting work. If utilities are found to be in conflict with the proposed work, the Owner or contract agent shall be notified.</p>
		MAIN LINE NOTE	<p>INSTALL NEW 11/2" MAIN LINE</p> <p>ALL MAINLINE PIPE SHALL BE SDR-26 CLASS 160 SOLVENT WELD OR CLASS 200 O-RING PVC PIPE</p> <p>THRUST LINES SHALL BE SDR CLASS 200 FOR 3/4" AND 1" LINES AND SDR 26 CLASS 160 FOR ALL LINES 1-1/4" AND ABOVE 1 1/2" PIPE SHALL NOT BE USED EXCEPT FOR SHRUBS RISERS AND SHALL THEN BE SCH 40 PVC. ALL PIPING SHALL BE SIZED SO AS NOT TO EXCEED A VELOCITY OF 5 FPS.</p>	<p>MAIN LINES LOCATION IS SHOWN SCHEMATICALLY. Where ever possible, lateral lines are to be buried in common trench with mainline. All wires shall be run under mains for protection. All Mains shall be buried at minimum 18" depth. Mains should run deeper at road crossings. All pipe and fitting materials will be new. All pipe to be cut squarely and burrs removed. All P.V.C. Mainline 1" and larger to be assembled with use of HARCO Gasketed fittings and poured concrete thrust blocks as per man. specifications.</p>
	00M6	WM BF	<p>NEW 1" WATER METER AND NEW BACKFLOW DEVICES</p> <p>Meter supplied by County or City. Verify requirements for installation (if needed). CONTRACTOR SHALL VERIFY CITY WATER PSI AT METER LOCATION</p> <p>Contractor shall install a Backflow Prevention Device and supply appropriate equipment per city requirements if existing equipment does not meet code requirements.</p>	<p>" See plans for location. Irrigation contractor shall begin at the point of the meter to step up to the size service main called for in plans. If approved Backflow Prevention Device is not already in place or is not required, the Contractor shall supply and install equipment as required to meet local codes. Install a Brass Gate Valve, size to match meter size, as the beginning of the main to supply the sprinkler system."</p>

NOTE: IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO
ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CITY, COUNTY AND OR STATE REGULATIONS FOR
INSTALLATION OF IRRIGATION EQUIPMENT.

NOTE: ALL DETAILS AND SPECIFICATIONS ON THIS SHEET SHALL BE APPLIED TO ALL PROPOSED AND REPLACEMENT IRRIGATION EQUIPEMENT.



REVISIONS:

SHEET TITLE:

IRRIGATION DETAILS AND SPECIFICATIONS

MULTIFAMILY DEVELOPMENT

XLT INVESTMENT CORP.

1812 ROOSEVELT ST. HOLLYWOOD, FL.

PROJECT:

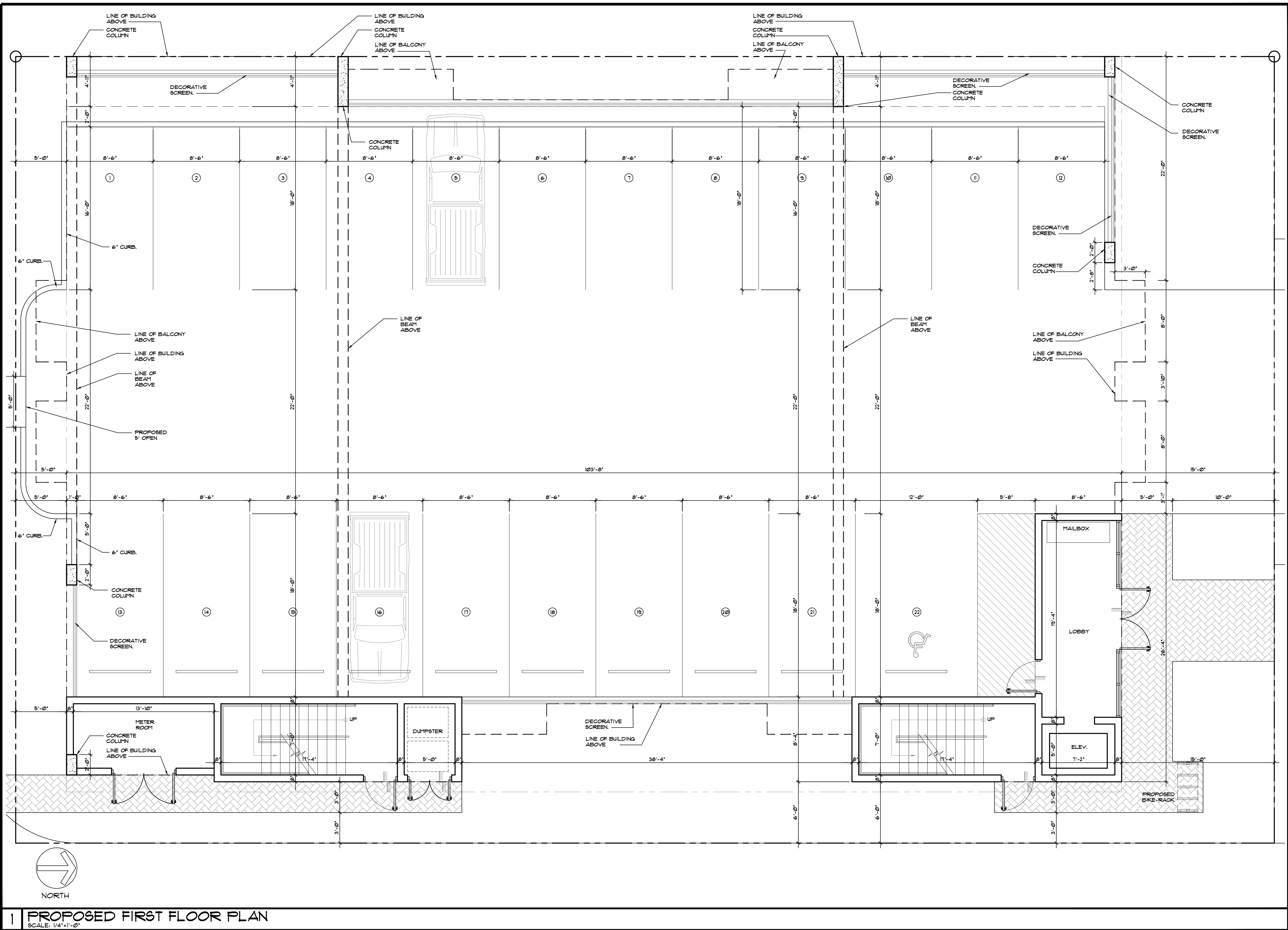
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DATE DRAWN: 3-29-17

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IR-2



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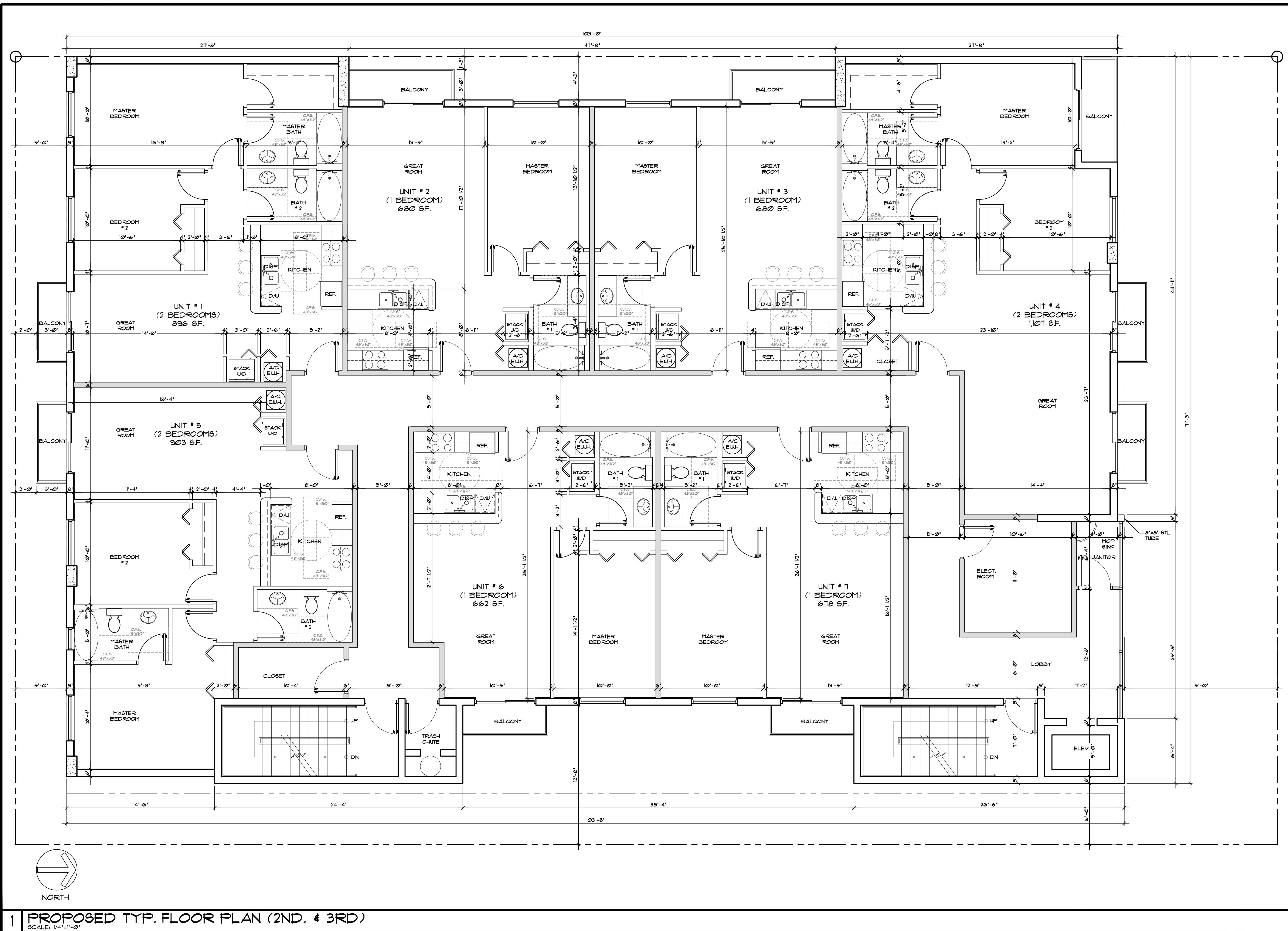
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PROPOSED MULTI FAMILY DEVELOPMENT FOR:
XLT INVESTMENT CORP.
1812 ROOSEVELT STREET
HOLLYWOOD, FL 33020

SEAL: AR 0017852
LUIS LA ROSA

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CHECKED	LLR
DATE	03/27/18
SCALE	AS NOTED
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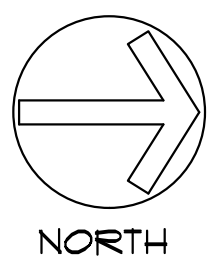
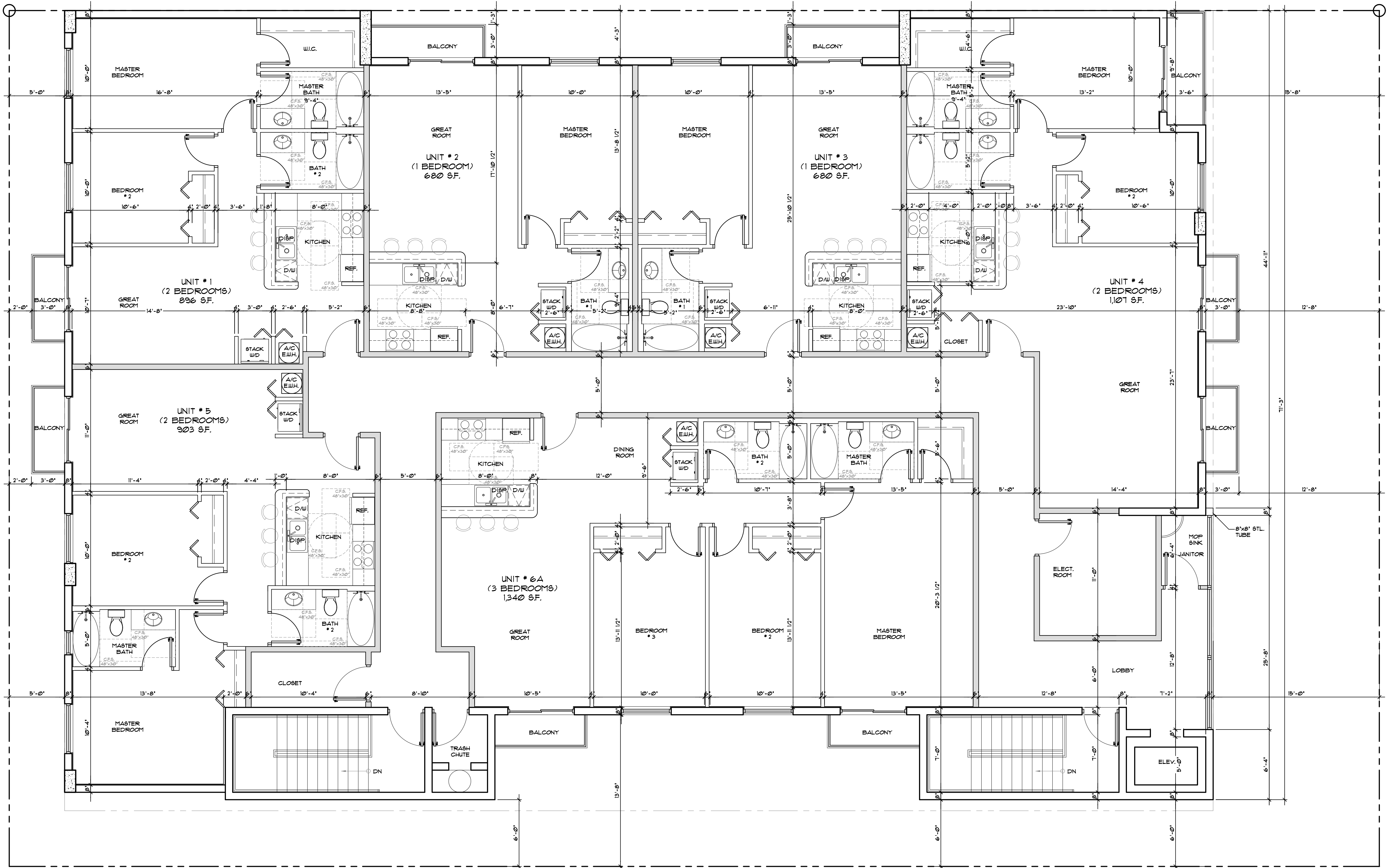
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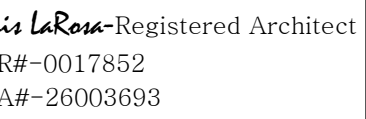
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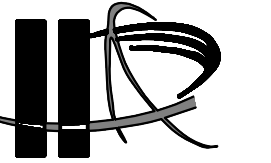


NORTH

1 PROPOSED TYP. FLOOR PLAN (4TH)
SCALE: 1/4"=1'-0"

100% CONSTRUCTION DOCUMENTS





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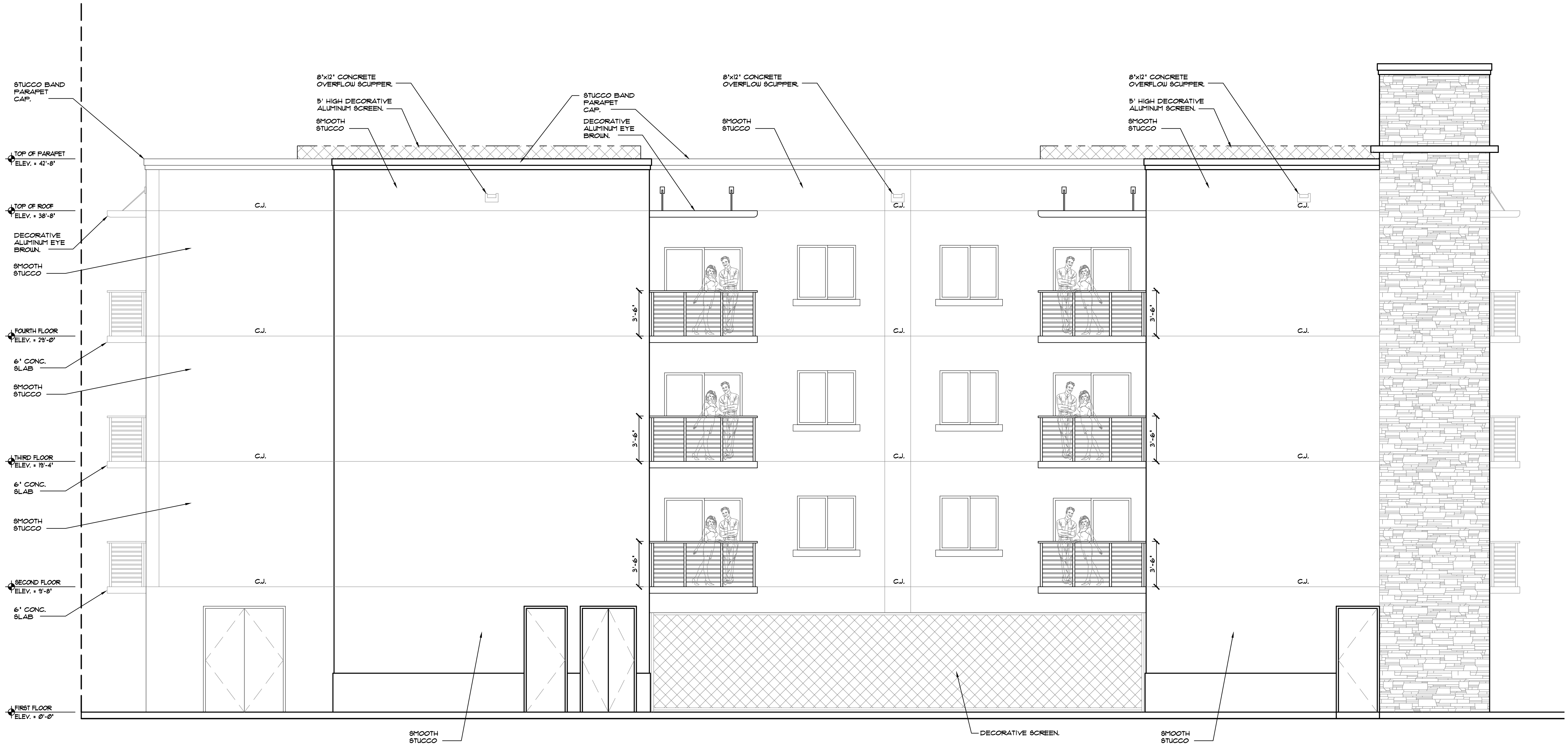
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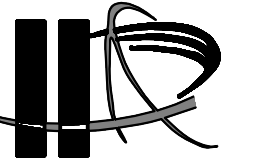
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1 EAST ELEVATION (ALLEY STREET)
SCALE: 1/4"=1'-0"



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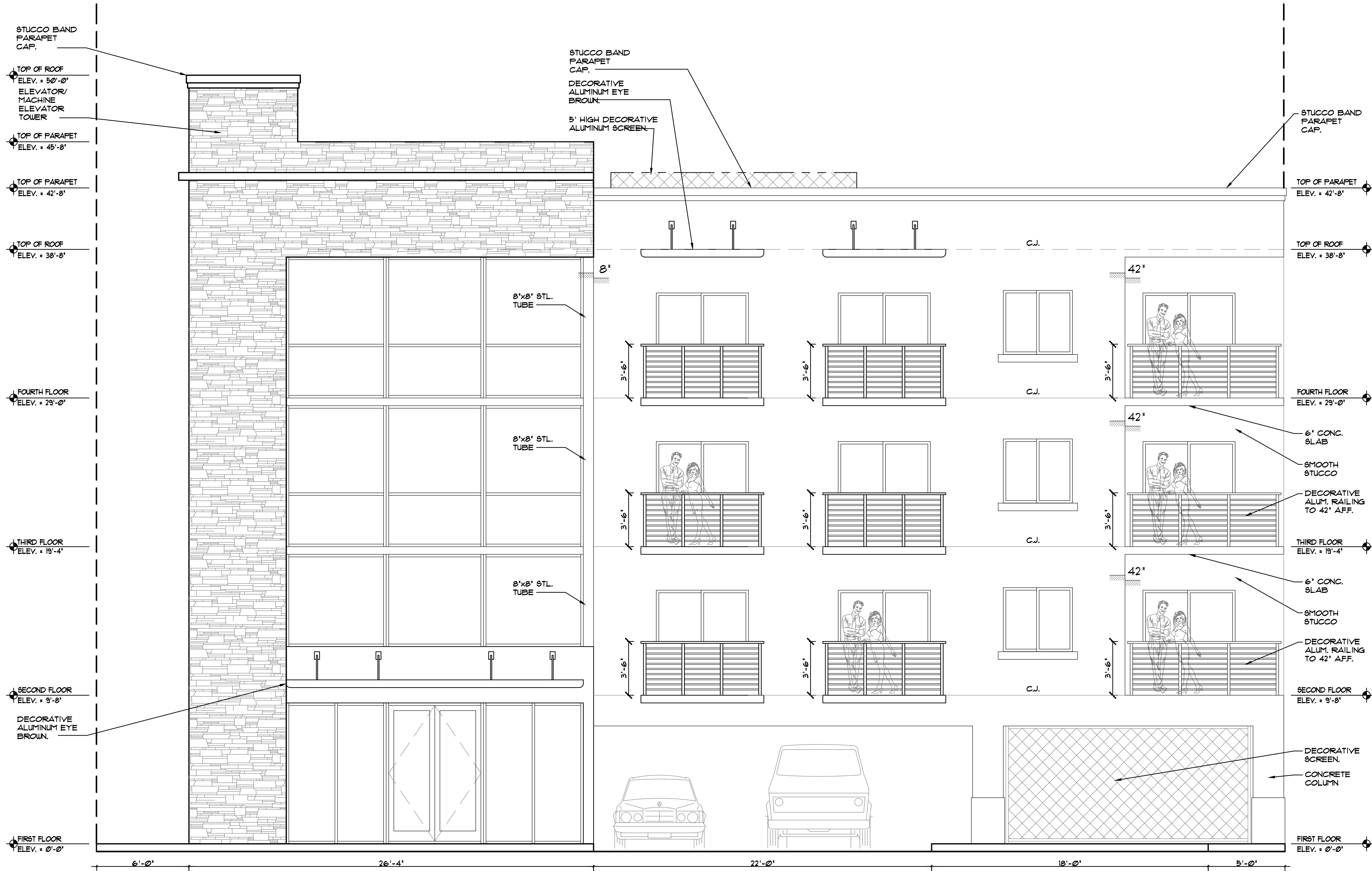
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1 NORTH ELEVATION (ROOSEVELT STREET)
SCALE: 1/4"=1'-0"



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2	C.C.

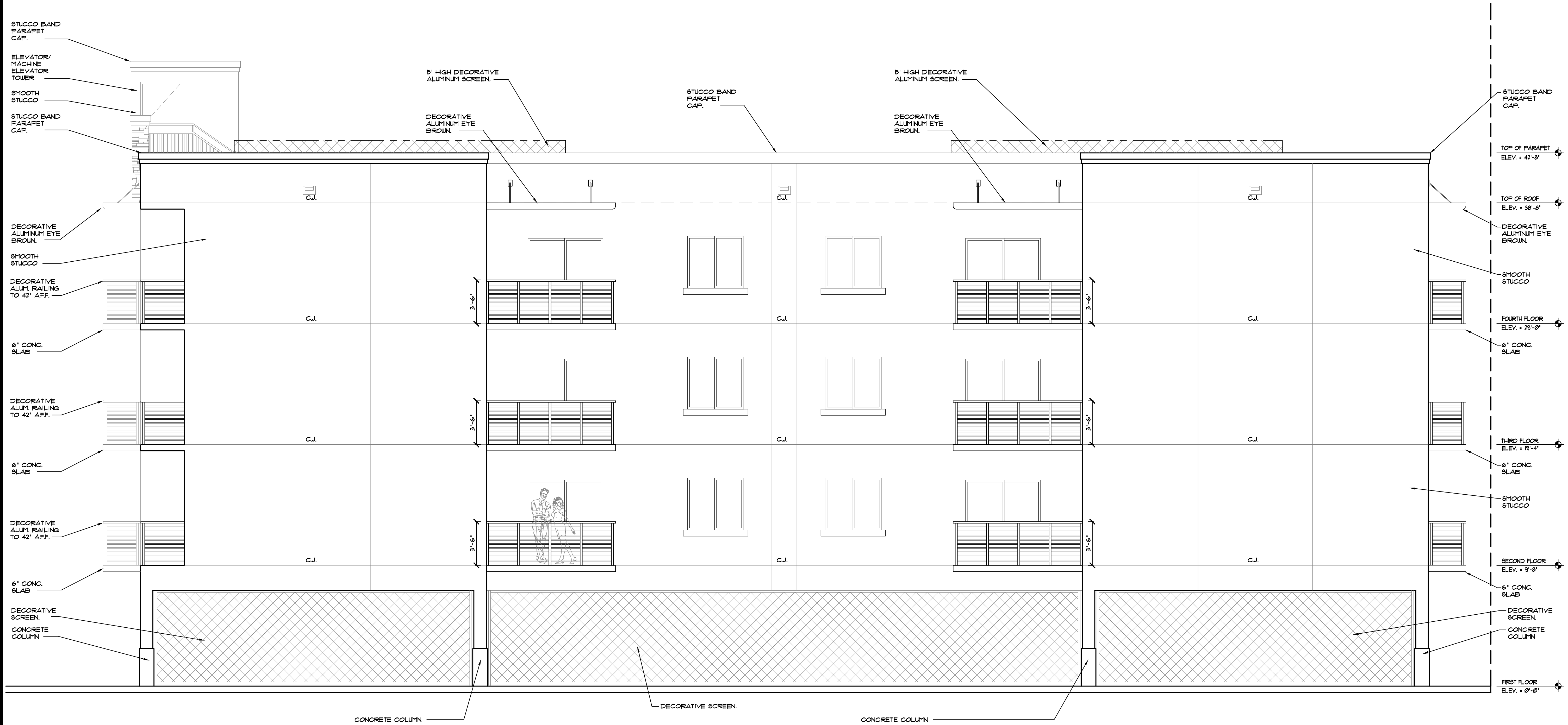
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XLT INVESTMENT CORP.
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1 WEST ELEVATION
SCALE: 1/4"=1'-0"



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