

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 2/1/2019

Location Address: 2870 Stirling Road

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5142 04 00 300 & 5142 04 00 310

Zoning Classification: IM-2 Land Use Classification: Commerce

Existing Property Use: Office / Stor. / Vacant Sq Ft/Number of Units: 35,831SF exist'g

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): PACO Application

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: New Storage building for current Owner's expansion space to expand the building area to a total of 51,344 SF.

Number of units/rooms: N/A Sq Ft: 15,513 SF new

Value of Improvement: 1,500,000 Estimated Date of Completion: February 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: DMJ Properties, LLC, Mr. Donald Marshall Jr.

Address of Property Owner: 2870 Stirling Road, Hollywood FL 33020

Telephone: 954-843-0991 Fax: 954-843-0989 Email Address: dmjr@air-marshall.com

Name of Consultant/Representative/Agent (circle one): Perez and Associates, Architects

Address: 3045 N. Federal Hwy., Ste. 46, FTL 33306 Telephone: 954-567-2062

Fax: 954-567-2063 Email Address: frank@perezandassociates.com

Date of Purchase: 1972 Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Tony Gondola, VE Management, Inc. Address: 3499 NE 12th Terrace, Oakland Pk.

FL 33334 Email Address: tony@vemgt.com

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Date: 1/25/2019

PRINT NAME: Donald Marshall Jr Date: _____

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: Frank Perez Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: N/A Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan approval to my property, which is hereby made by me or I am hereby authorizing Frank Perez, Architect to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 28th day of January 2019

Notary Public
State of Florida



Signature of Current Owner

Donald Marshall Jr
Print Name

My Commission Expires: 03/1/22 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

ALTA/ACSM LAND TITLE SURVEY

SURVEY NOTES:

1. THE SURVEY, AS SHOWN HEREON, HAS BEEN PREPARED FOR DMJ PROPERTIES A FLORIDA LIMITED LIABILITY COMPANY, HEREINAFTER KNOWN AS THE CLIENT.

2. THE LEGAL DESCRIPTION, AS SHOWN HEREON, IS BASED ON THE DESCRIPTION SHOWN AS PARCEL 1 AND PARCEL 2, OF THE OWNERSHIP & ENCUMBRANCE REPORT, AS PREPARED BY NEAL R. KALIS, ESQ. OF KALIS KLEIMAN & WOLF, WHICH HAS AN EFFECTIVE DATE OF JANUARY 14, 2019

3. THE LANDS AS SHOWN HEREON ARE ONE AND THE SAME AS THAT WHICH IS DESCRIBED AS PARCEL 1 AND PARCEL 2, IN THE OWNERSHIP & ENCUMBRANCE REPORT, AS PREPARED BY NEAL R. KALIS, ESQ. OF KALIS KLEIMAN & WOLF, WHICH HAS AN EFFECTIVE DATE OF JANUARY 14, 2019

4. BENCH MARK REFERENCE:

BROWARD COUNTY B.M. No. 2358, ELEVATION 7.100 N.G.V.D. 1929, CONVERTED TO NAVD88, APPLYING THE CONVERSION FACTOR OF (-) 1.604

5. THE ELEVATION AS SHOWN HEREON, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

6. NO UNDERGROUND IMPROVEMENTS, UTILITIES OR FOUNDATIONS WERE LOCATED, OTHER THAN THOSE SHOWN THEREON..

7. FLOOD INFORMATION:

MAP NUMBER/COMMUNITY NUMBER-12011C/125113 CITY OF HOLLYWOOD
PANEL NUMBER/SUFFIX- 0566 H

FLOOD ZONE /BASE ELEVATION- X/ BASE FLOOD ELEVATION N/A

8. CITY OF HOLLYWOOD ZONE CODE: C1 (LOW INTENSITY COMMERCIAL DISTRICT) & IM2 (LOW/MEDIUM INTENSITY INDUSTRIAL MANUFACTURING DISTRICT)

9. BUILDING HEIGHTS HAVE NOT BEEN MEASURED.

10. PARKING SPACES:

93 PARKING SPACES ARE MARKED UP ON THE PAVEMENT.

11. DATE OF LAST FIELD WORK: December 20 & 21, 2018

12. FRONTIER ENGINEERING DEVELOPMENT LLC & FRANCISCO A. AGUIRRE, P.L.S., HAVE REVIEWED THE OWNERSHIP & ENCUMBRANCE REPORT, AS PREPARED BY NEAL R. KALIS, ESQ. OF KALIS KLEIMAN & WOLF, WHICH HAS AN EFFECTIVE DATE OF JANUARY 14, 2019 (BASE TITLE INFORMATION- ATTORNEYS' TITLE FUND SERVICES, LLC'S TITLE SEARCH REPORT UNDER FUND FILE NUMBER 681486 AND PROVIDED TO ME BY THE CLIENT AND RELATING TO RESTRICTIONS/EASEMENTS, ITEMS NUMBERS 1 THROUGH 5 INCLUSIVE.

- 1) APPLICABLE - NOT DESPICKTABLE
- 2) APPLICABLE - DEPICTED ON THIS SURVEY MAP
- 3) NOT APPLICABLE - NOT DEPICTED
- 4) NOT APPLICABLE - NOT DEPICTED
- 5) APPLICABLE - DEPICTED ON THIS SURVEY MAP

LIST OF TREES				
Number	Name	Diameter	Height	Canopy
P-1	Palm	1"	18'	10'
P-2	Palm	1"	18'	10'
P-3	Palm	1"	18'	10'
P-4	Palm	1.2"	22'	12'
P-5	Palm	1"	18'	10'
P-6	Palm	1"	18'	10'
P-7	Palm	1"	18'	10'
P-8	Palm	1"	8'	12'
P-9	Palm	0.40"	6'	6'
P-10	Palm	0.80"	6'	6'
P-11	Palm	0.40"	22'	10'
P-12	Palm	0.40"	22'	10'
P-13	Palm	0.40"	12'	10'
P-14	Palm	0.40"	22'	10'
P-15	Palm	0.40"	22'	10'
P-16	Palm	0.40"	22'	10'
P-17	Palm	0.40"	22'	10'
P-18	Palm	1.2"	7'	14'
P-19	Palm	0.40"	6'	6'
P-20	Palm	0.30"	4'	3'
P-21	Palm	2"	3'	3'
P-22	Palm	2"	3'	3'
P-23	Palm	1.80"	30'	20'
P-24	2-Palm	5"	10'	12'
P-25	Palm	5"	11'	14'
P-26	Palm	5"	11'	14'
P-27	Palm	0.4"	4'	6'
P-28	Palm	0.4"	4'	6'

List of manholes and catch basin

Type	Top of reem elevation	Inverted and direction	West
CB-1	8.17'	3.53'	North East South 3.25'
Diameter		18"	18"
Material		GS	GS
CB-2	8.14'	3.44"	3.09'
Diameter		18"	18"
Material		GS	GS
CB-3	8.19'	-	3.94'
Diameter		-	18"
Material		-	GS
CB-4	8.26'	-	3.90'
Diameter		-	18"
Material		-	GS
CB-5	8.66'	6.63'	-
Diameter		4"	-
Material		PVC	-
CB-6	8.39'	6.31'	6.39'
Diameter		6"	6"
Material		PVC	PVC
CB-7	8.36'	-	2.90'
Diameter		-	8"
Material		-	GS
CB-8	8.35'	3.15'	3.61'
Diameter		18"	8"
Material		GS	PVC
MH-1	8.65'	3.92'	3.71'
Diameter		8"	8"
Material		PVC	PVC

Legend

Find IR&C	: Found iron rod & cap
Find IP	: Found iron pipe
Find DH	: Found drill hole
SMN	: Set Mag nail
MH	: Man hole
CB	: Catch basin
CO	: Clean out
WM	: Water meter
WV	: Water valve
WW FC	: Water valve flow control
MW	: Monitoring well
HH	: Hand hole
X 7.77	: Elevation
P-1	: Palm tree
T-1	: Tree
AC	: Air condition
FPL	: Florida power & light transf.
C/L	: Center line
S/L	: Section line
EM	: Electric meter
WPP	: Wooden power pole
MLP	: Metal light pole
GS	: Galvanised steel
PVC	: Plastic pipe
C/L	= Center Line
S/L	= Section Line
NW	= North West
R/W	= RIGHT OF WAY
	= METAL FENCE
	= CHAIN LINK FENCE
O.H.P.L.	= OVERHEAD POWER LINES

FLOOD ZONE INFORMATION:

MAP # = 12011-C
COMMUNITY # = CITY OF HOLLYWOOD
PANEL # & SUFFIX = 0566-H
FLOOD ZONE = X
BASE FLOOD EL. = N/A
LOWEST FLOOR EL. = 7.70 BLDG. (NAVC
(FIRST FLOOR OF TWO-STORY BLDG.)
DATE OF FIRM = 08-18-2014

BENCHMARK REFERENCED = BCE B.M. #2358
ELEVATION NGVD 1929 = 7.10 (NGVD 1929)

LEGAL DESCRIPTION:

PARCEL 1

The East 132 feet of the West 264 feet of the West one-half (½) of the Northeast one-quarter (¼) of the Northwest one-quarter (¼) of the Northwest one-quarter (¼) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof;

PARCEL 2

The East 66 feet of the West 132 feet of the West one-half (½) of the Northeast one-quarter (¼) of the Northwest one-quarter (¼) of the Northwest one-quarter (¼) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof, said lands situated, lying in and being in Broward, County Florida.

CERTIFICATION::

TO: DMJ PROPERTIES, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1.2, 3.4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14 OF TABLE A THEREOF, THE FIELD WORK WAS COMPLETED ON 12/21/2018.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FRANCISCO A. AGUIRRE, P.L.S.
REGISTERED LAND SURVEYOR No. 3354
STATE OF FLORIDA

PROPERTY ADDRESS
2870 STIRLING ROAD, HOLLYWOOD, FL. 33020

SURVEYOR'S NOTE:

NOT VALID WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

LAST DAY OF FIELD SURVEY: 12-21-2018

REVISIONS:

No DATE:

SCALE:

1" = 30.0'

PROJECT NO:

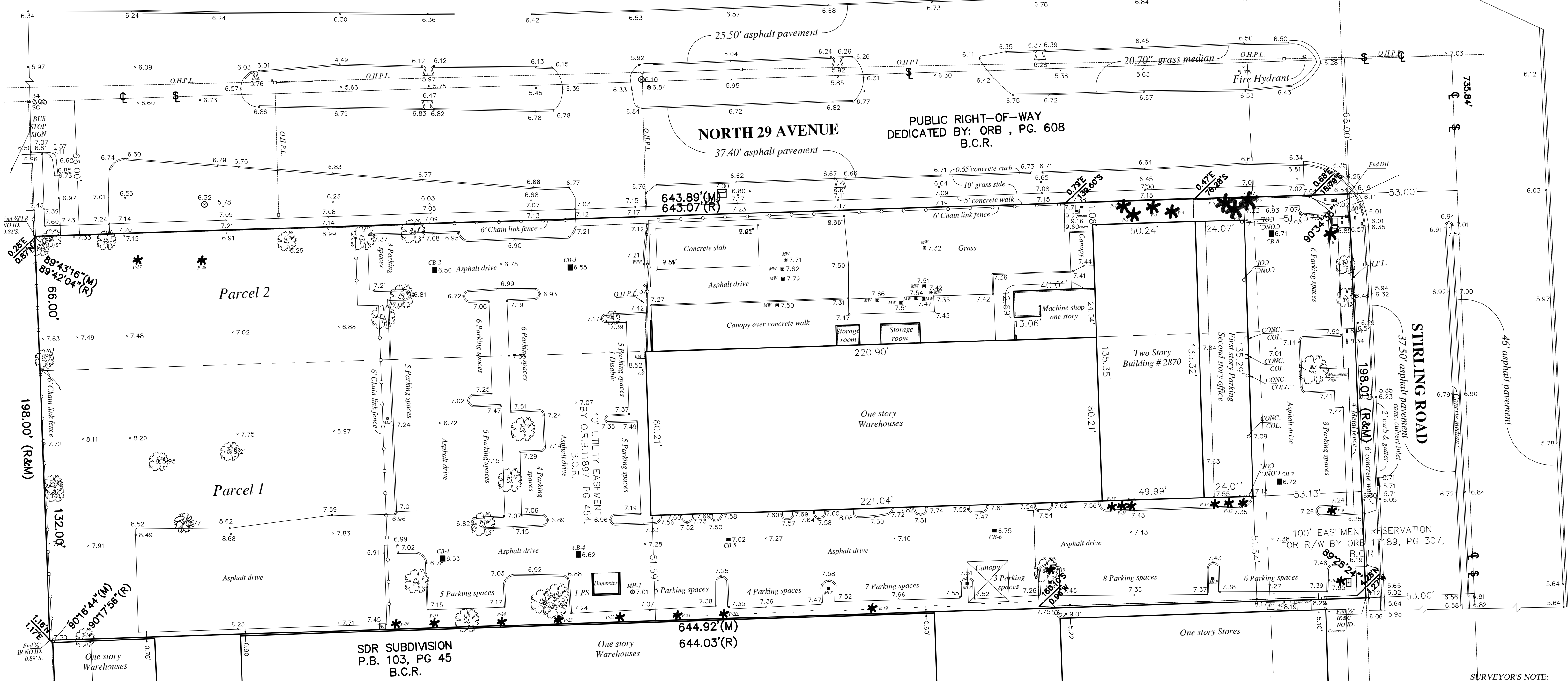
19-103



LOCATION MAP

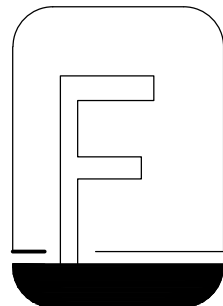
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



PRELIMINARY 02-01-2019

THIS SURVEY IS NOT COVERED BY A PROFESSIONAL LIABILITY INSURANCE



FRONTIER

ENGINEERING|DEVELOPMENT

2418-A HOLLYWOOD BLVD- HOLLYWOOD, FLORIDA, 33020
PHONE: (954) 678-2030 FL. L.B. CERTIFICATE No. LB8042
email: info@myfloridaengineering.com

PROJECT:

ALTA/ACSM
LAND TITLE SURVEY
2870 STIRLING ROAD
HOLLYWOOD, FLORIDA 33020

CLIENT:

DMJ PROPERTIES, LLC

LAST DAY OF FIELD SURVEY: 12-21-2018

REVISIONS:

No DATE:

SCALE:

1" = 30.0'

PROJECT NO:

19-103

FIRE / EMERGENCY EQUIPMENT ACCESS

DENOTES 45' OUTSIDE AND 20'-5" INSIDE RADIUS FOR FIRE VEHICLE ACCESS

NEW BUILDING TO HAVE FIRE PROTECTION

GATE NOTES:
PROVIDE A KNOX LOCK FOR MANUAL GATES.
AUTOMATIC GATES (IF PROVIDED) MUST FAIL IN THE OPEN POSITION DURING LOSS OF POWER.

ADDRESS NOTE
BUILDINGS SHALL HAVE ADDRESS NUMBERS 6" MINIMUM HEIGHT, PLAINLY VISIBLE FROM STREET OR INTERIOR DRIVES, TYP.

LEGAL DESCRIPTION:

PARCEL 1
THE EAST 132 FEET OF THE WEST 264 FEET OF THE WEST ONE-HALF (1/2) OF THE NORTHEAST ONE-QUARTER (1/4) OF THE NORTHEAST ONE-QUARTER (1/4) OF THE NORTHEAST ONE-QUARTER (1/4) OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, LESS THE NORTH 53 FEET THEREOF.

PARCEL 2
THE EAST 66 FEET OF THE WEST 132 FEET OF THE WEST ONE-HALF (1/2) OF THE NORTHEAST ONE-QUARTER (1/4) OF THE NORTHEAST ONE-QUARTER (1/4) OF THE NORTHEAST ONE-QUARTER (1/4) OF SECTION 4, TOWNSHIP 51 SOUTH, RANGE 42 EAST, LESS THE NORTH 53 FEET THEREOF, SAID LANDS SITUATED, LYING IN AND BEING IN BROWARD, COUNTY FLORIDA.

FLOOD ZONE INFORMATION:

COMMUNITY * = 12011-C
FLOOD ZONE = 0566-H
FLOOD ZONE = X
BASE FLOOD EL. = N/A
LOWEST FLOOR EL. = 928' BLDG.
(FIRST FLOOR OF EXISTING TWO-STORY BLDG.)
DATE OF FIRM = 08-18-2014

ZONING DATA

4.4 IM INDUSTRIAL AND MANUFACTURING DISTRICTS.

B. IM-2 LOW/MEDIUM INTENSITY INDUSTRIAL AND MANUFACTURING DISTRICT.

THIS DISTRICT IS INTENDED TO PROVIDE SUITABLE STANDARDS FOR DEVELOPMENT AND MAINTENANCE OF OFFICE, HEAVY COMMERCIAL, LIGHT MANUFACTURING, AND INDUSTRIAL USES OF A NON-OBJECTIONABLE NATURE.

MAIN PERMITTED USES
COMMERCIAL, CONSIGNMENT SHOP, HOTELS AND MOTELS, LIGHT INDUSTRIAL AND MANUFACTURING, OFFICES, PAWN SHOP, SELF-STORAGE FACILITY, THRIFT SHOP, WAREHOUSE.

SITE DATA

ZONING: IM-2
LAND USE: COMMERCE

TOTAL SITE AREA = 127,677 SQ.FT.
AFFECTED SITE AREA = 47,53,812 SF (421X)
TOTAL SITE AREA - 293 ACRES

BUILDING AREAS:
EXISTING BUILDING: 35,831 SF
OFFICE - 16,857 SF
STORAGE - 18,974 SF

NEW BUILDING - 15,513 SF
STORAGE - 15,513 SF

TOTAL BUILDING AREA - 51,344 SF

NEW BUILDING TO HAVE FIRE PROTECTION
(EXISTING BUILDING HAS FIRE PROTECTION)

LOT COVERAGE 40.94% (90% ALLOWABLE)

SETBACKS

	REQUIRED	PROPOSED
FRONT, STIRLING RD STREET (WEST)	15 FEET 10 FEET 10 FEET	53'-2" 43'-6" 60'-0"
SIDE (EAST)	0 FEET	60'-0"
REAR (SOUTH)	0 FEET	59'-8"

LOT COVERAGE 40.94% (90% ALLOWABLE)

BUILDING HT. ALLOWED 35 FT. PROPOSED 34'-8"

EXISTING PORTION OF PROPERTY TO BE DEVELOPED IS PARTLY PAVED AS EXISTING VIA AND THE BALANCE HAS BEEN UTILIZED FOR MISCELLANEOUS STORAGE AND EXISTING SOD HAS BEEN MOVED TO MAINTAIN A CLEAN APPEARANCE.

PERVIOUS / IMPERVIOUS AREA CALCS.

EXISTING IMPERVIOUS - 62,924 SF
BUILDING FOOTPRINT - 25,453 SF
COVERED PARKING - 2,509 SF
WALKWAYS, DUMPSTER - 2,667 SF
VUA - 32,295 SF

NEW IMPERVIOUS - 39,546 SF
BUILDING FOOTPRINT - 15,513 SF
SIDEWALKS - 1,706 SF
VUA - 22,335 SF

TOTAL IMPERVIOUS AREA - 102,470 SF (80.25%)
PERVIOUS AREA - 26,200 SF (19.75%)

VUA LANDSCAPE CALCULATIONS

VEHICULAR USE AREA - 50,729 SF
EXISTING - 30,443 SF
NEW - 20,320 SF

REQ'D INT. VUA LANDSCAPING - 12,682 SF (25%)

PROVD INTERIOR VUA LANDSCAPING - 11,848 SF (23.3%)
EXISTING - 6,764 SF (PROVIDED - 22.1%)
NEW - 5,084 SF (PROVIDED - 25.0%)

PERIMETER LANDSCAPE BUFFERS -

	REQ'D - 15 FT (644.92')	PROVD - 7 FT EXIST'G AVG.
FRONT YARD - BUFFER	15 FT	7 FT
REAR SETBACK	10 FT	10 FT
SIDE STREET SETBACK	9 FT	10 FT
SIDE INT. SETBACK	10 FT	10 FT

PARKING CALCULATIONS:

OFFICE - 16,857 SF / 250 = 67.42 SP
STORAGE - 34,487 SF / 1000 = 34.48 SP

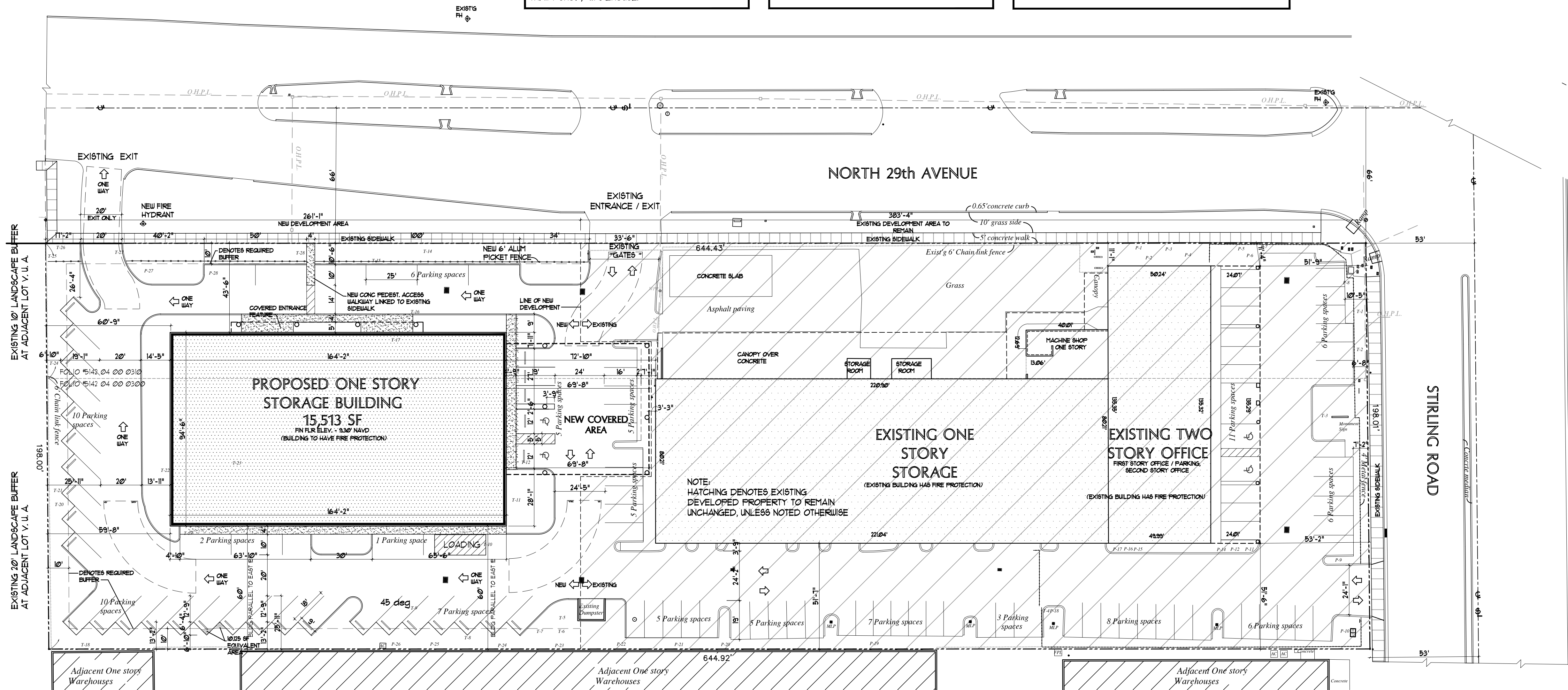
PARKING REQ'D - 102 SPACES
PARKING PROVIDED - 108 SPACES

NEW - 4 SPACES
EXISTING - 61 SPACES
ACCESSIBLE SPACES:
NEW - 4 SPACES, 2 REQUIRED
EXISTING - 61 SPACES, 2 PROVIDED
TOTAL SPACES - 4 PROVIDED

LOADING SPACE REQ'D = 2 SPACES
PROVIDED - 1 SPACE - NEW BUILDING
MULTIPLE SPACES AT EXISTING BUILDING

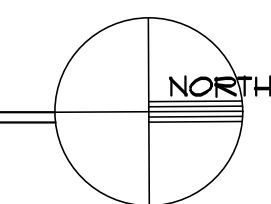
VEHICULAR AREA ILLUMINATION NOTE:
ALL NEW VEHICULAR AREAS SHALL HAVE LIGHTING LEVELS AS REQUIRED AND SHALL NOT EXCEED 0.5 FC AT PERIMETER OF NEW DEVELOPMENT. EXISTING AREAS TO REMAIN UNCHANGED.

NOTE:
SIGNAGE IS NOT PART OF THIS PROPOSAL AND ANY FUTURE SIGNAGE WILL BE BY OTHERS.



SITE PLAN

SCALE: 1" = 30'-0"
1 inch = 30 ft.
GRAPHIC SCALE (IN FEET)



REVISIONS

△

Perez
ASSOCIATES
ARCHITECTURE & PLANNING

3045 N. FEDERAL HIGHWAY
SUITE 46
FORT LAUDERDALE, FL 33306
TELEPHONE (954) 567-2062
FAX (954) 567-2063
EMAIL: info@perezandassociates.com

REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for
D M J PROPERTIES, LLC
2810 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE 1/25/2019

SCALE AS NOTED

JOB NO. 2018 37

FILE DMJ PROP

SHEET NO.

SP-10

GENERAL PLANTING REQUIREMENTS

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. For City of Fort Lauderdale Utilities call 1-954-828-8000. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations..

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be filled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

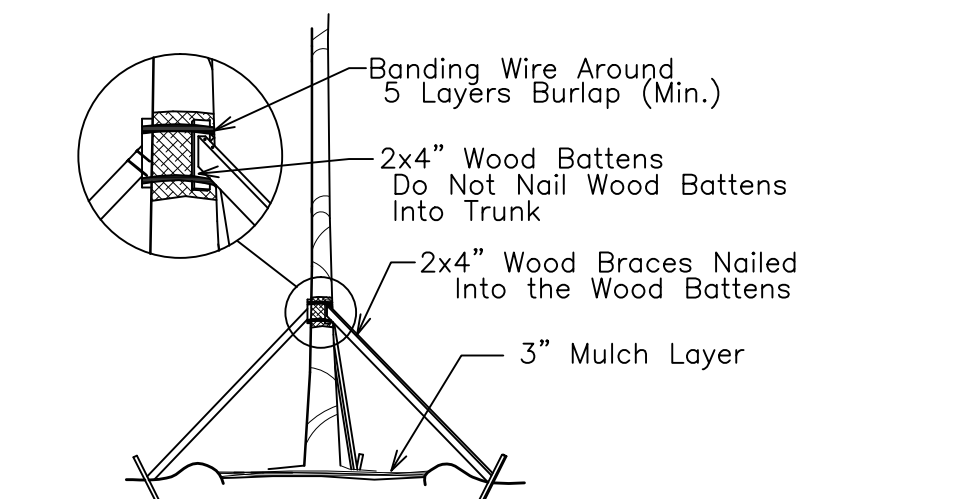
All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodd areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

All open areas not covered by trees, palms, shrubs, vines or ground covers shall receive Stenotaphrum secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All noted s.f. shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

Please refer to the planting details for a graphic representation of the above notes.

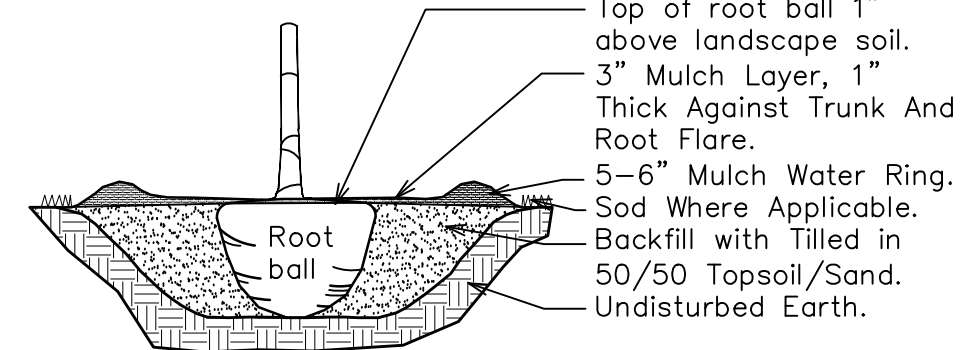
All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of the Thomas White, ASLA-ISA.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.



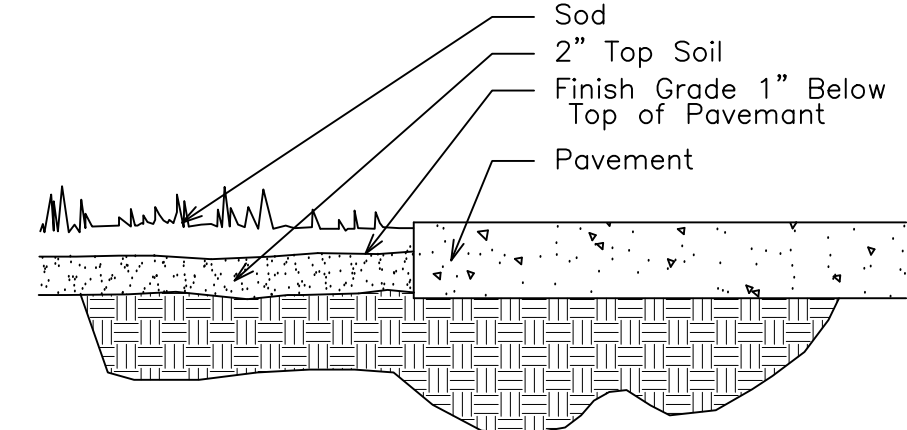
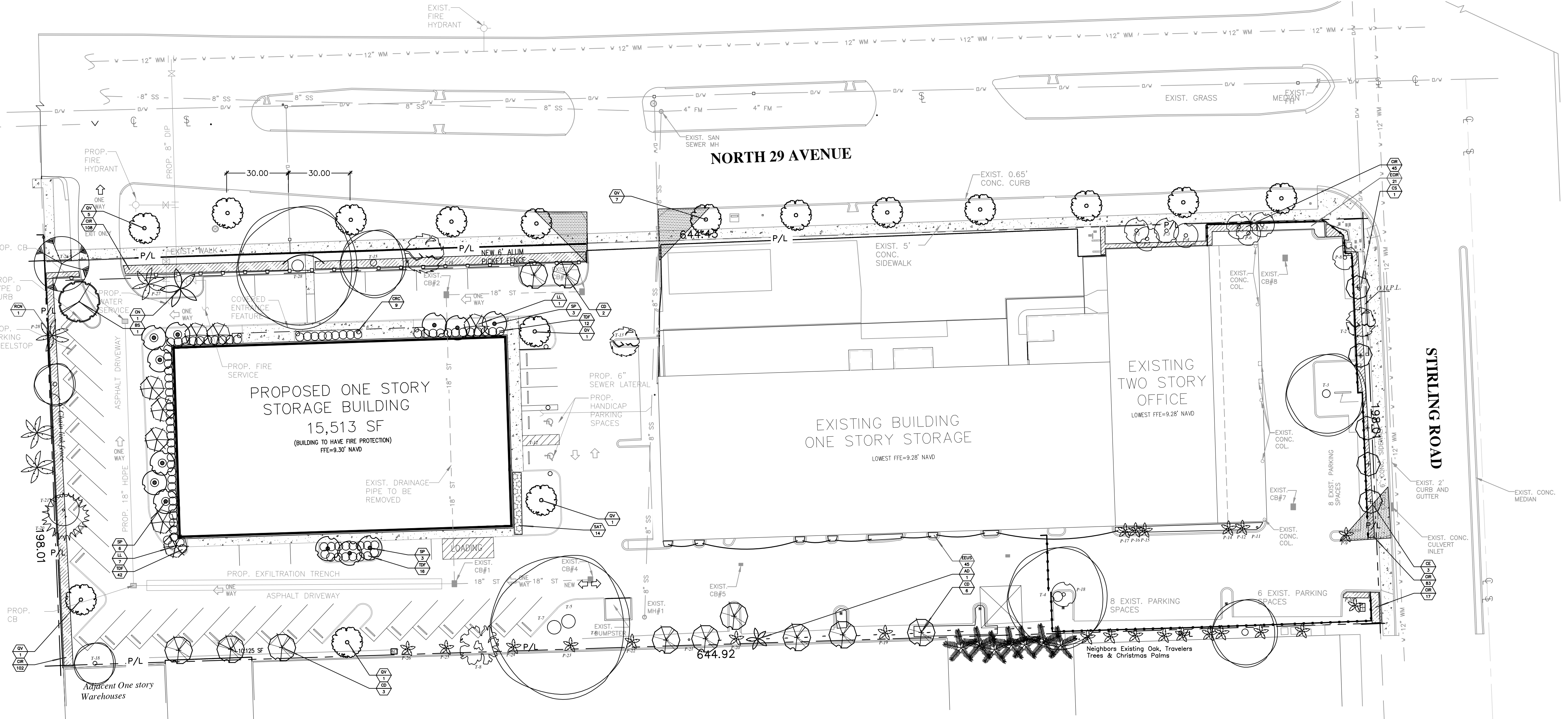
TREE/PALM BRACING DETAIL

NTS



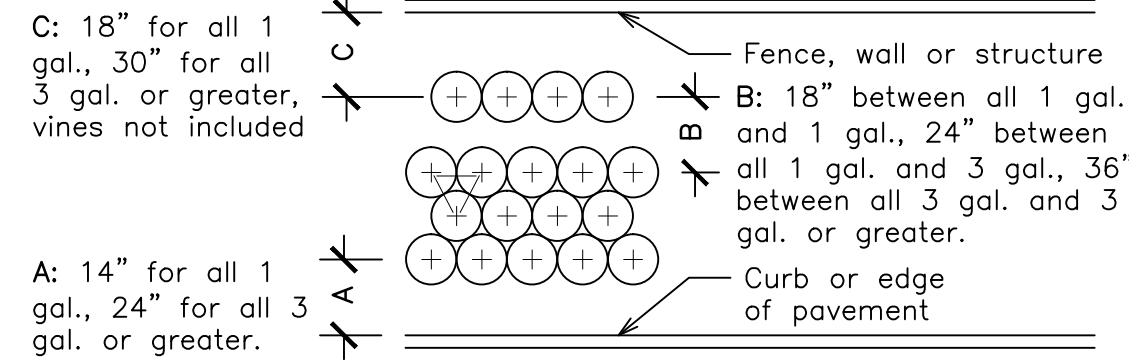
TREE/PALM PLANTING DETAIL

NTS



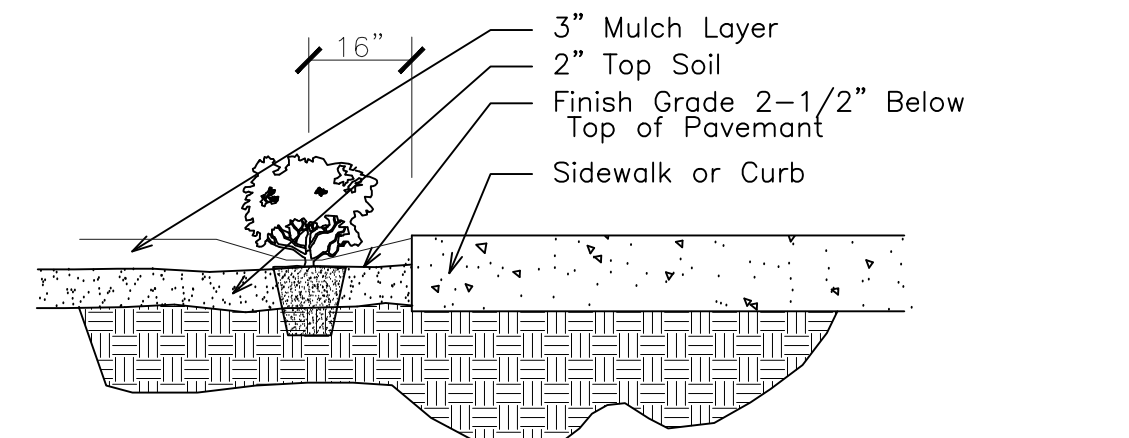
SOD INSTALLATION DETAIL

NTS



TYPICAL PLANT SPACING DETAIL

NTS

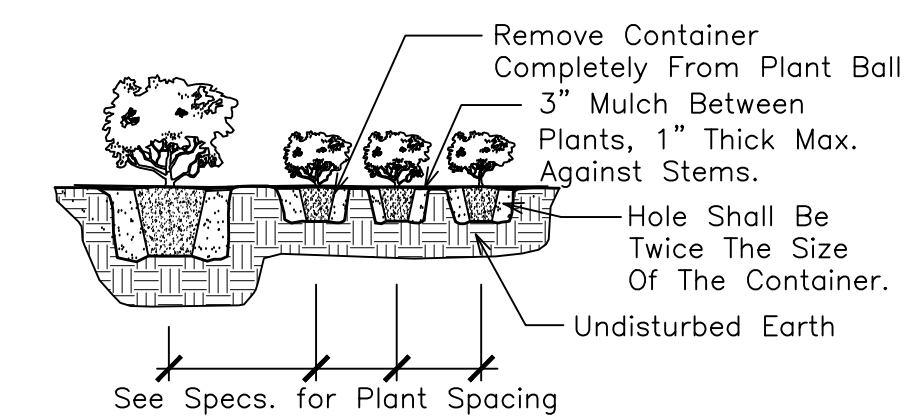


SHRUB INSTALLATION DETAIL

NTS

CITY OF HOLLYWOOD PLANTING CALCULATIONS			
LANDSCAPE QUANTITY REQUIREMENTS			
Buffer Tree Requirement: One Tree per every 1,000 square feet of pervious area		Required	Provided
25,207 Square Feet of Pervious (Net Lot) Area.		28	40
Parking: One Tree per 190 S.F. of Terminal Islands			
		Required	Provided
		15	15
Street Trees: One Per 50' of Street Frontage			
588 Feet of North 29th Avenue minus 55' of two driveway widths.		Required	Provided
		12	12
Interior Landscape:			
51,126 25% of the Total S.F. of the Paved VUA Shall be Landscape.		Required	Provided
		12782	12682

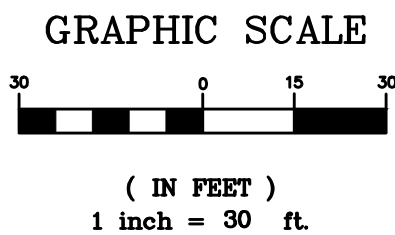
CITY OF HOLLYWOOD SITE PLAN INFORMATION			
Property Use: Commerce			
Property Zoning: IM-2			
Gross Site Area:	127,877 Sq. Feet	=	* 2.93 Acres
Building Area:	51,344 Sq. Feet	=	* 40.21%
Paving/Driveway Area (VUA):	51,126 Sq. Feet	=	* 40.04%
Total Impervious Areas:	102,470 Sq. Feet	=	* 80.26%
Landscape Area:	25,207 Sq. Feet	=	* 19.74%
Total Pervious Areas:	25,207 Sq. Feet		



SHRUB PLANTING DETAIL

NTS

PLANT LIST					
Code	Drought	QTY.	Botanical Name / Common Name	Specifications	
EXISTING-RELOCATED TREES/PALMS					
EAD	V	9	Adonidia mentillii / Christmas Palm	16' CT	
EBB	V	1	Bucida buceras / Black Olive	30x18'	
EBS (N)	V	1	Bursera simarubra / Gumbo Limbo	25x25'	
EDD (N)	V	2	Coccoloba diversifolia / Pigeon Plum	14-30' OA.Ht.	
ECN	V	1	Cocos nucifera / Coconut Palm	4' CT	
EIM	V	1	Jacaranda mimosifolia / Jacaranda	25x20'	
EPE	V	5	Ptychosperma elegans / Solitaire Palm	12' CT	
EQV (N)	V	8	Quercus virginiana / Live Oak	25-40x15-70'	
ESM (N)	V	1	Sweetenia mahogany / Mahogany	25x20'	
ESP (N)	V	9	Sabal palmetto / Cabbage Palm	12-20' CT	
RCN	V	1	Relocated Cocos nucifera / Coconut Palm	4' CT	
PROPOSED TREES/PALMS					
AD	V	1	Adonidia mentillii / Christmas Palm	12' CT Sng. Trunk	1 Palm
BS (N)	V	1	Bursera simarubra / Gumbo Limbo	12x6-7', 2' Cal. DBH	2
GD (N)	V	11	Coccoloba diversifolia / Pigeon Plum	10x5-6', 2' Cal. DBH	2
CE (N)	V	3	Conocarpus erectus sericeus / Silver Buttonwood	12x5-6', 2' Cal. DBH, Multi-4 Trunk Min.	8
CN	V	1	Cocos nucifera / Coconut Palm	6' CT	1 Palm
CS (N)	V	1	Cordia sebestena / Orange Geiger	10x5-6', 2' Cal. DBH	2
LI	V	8	Lagerstroemia indica / Crape Myrtle 'Muskogee'	12x5-6', 2' Cal. DBH, Multi-4 Trunk Min.	8
QV (N)	V	16	Quercus virginiana / Live Oak	14 x 6-7', 3' Cal. DBH	3
SP (N)	V	12	Sabal palmetto / Cabbage Palm	12-20' CT, Staggered Hts.	12
		67	Total Trees / Palms (Palms Counted 3:1)		162
		51	Native Trees / Palms		157.9
		76%	Native Trees / Palms		
ACCENTS / SHRUBS / GROUND COVERS					
QIR (N)	V	355	Chrysobalanus icaco Red Tip' / Cocoplum	24x24', 24' OC	
ORC (N)	V	9	Clusia rosea / Small Leaf Clusia	36x24', 30' OC	
ECIR (N)	V	21	Existing Chrysobalanus icaco Red Tip' / Cocoplum	5-6' OA.Ht.	
EELUS	V	45	Existing Eugenia uniflora / Surinam Cherry	4-6' OA.Ht.	
SAT	V	14	Schefflera arboricola 'Trinette' / Variegated Arboricola	24x24', 24' OC	
TDF (N)	V	70	Tripsacum dactyloides / Fakahatchee Grass	36x24', 40' OC	
		514	Total Shrubs		
		455	Native Shrubs		
		89%	Native Shrubs		
SOD					
Sod	M	By GC	S.F. Stenotaphrum secundatum / St. Augustine 'Palmetto'	Solid application - no gaps between seams	
	(N)		Florida Native Plant Species		
	M		Moderate Drought Tolerance		
	V		Very Drought Tolerant		



THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST
2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
tcwhite@bellsouth.net
954-253-2265

THOMAS WHITE, ASLA-ISA
RLA 11100

Revision Dates

Landscape Plan
DMJ Properties, LLC
2870 Stirling Road
Hollywood, Florida 33020

Sheet Description
Landscape Plan

Release Date
1-25-2019

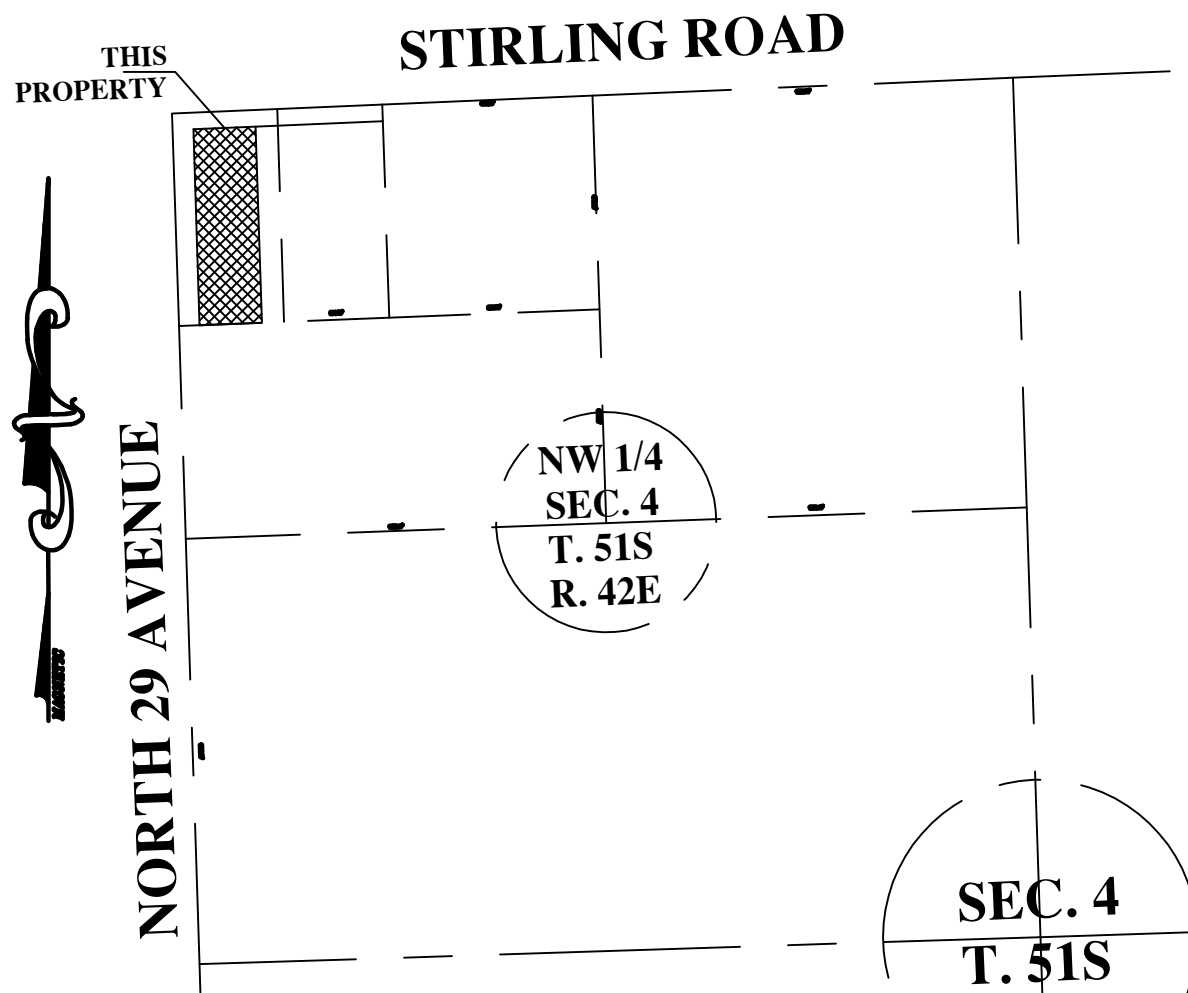
Project Number

Drawing Number
L-2
SHEET 2 OF 3

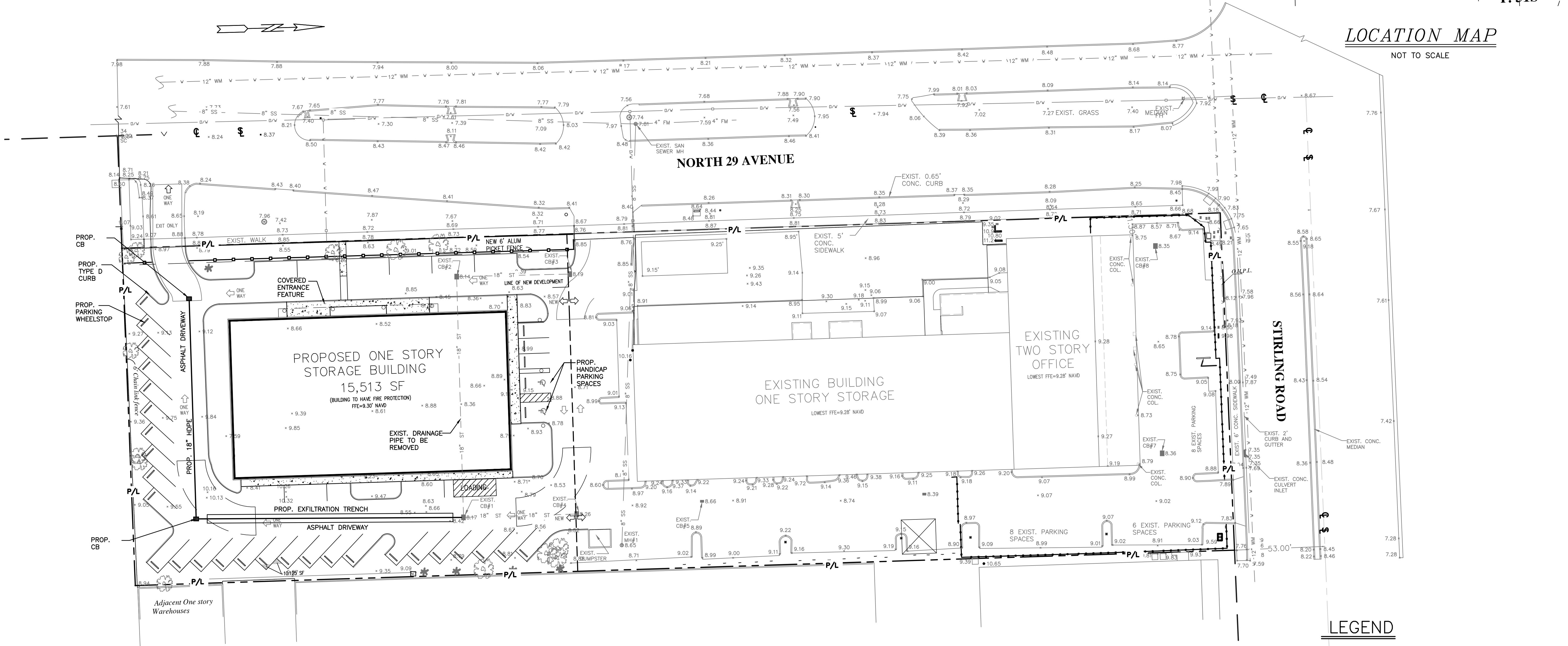
LEGAL DESCRIPTION:

PARCEL 1
The East 132 feet of the West 264 feet of the West one-half (1/2) of the Northeast one-quarter (1/4) of the Northwest one-quarter (1/4) of the Northwest one-quarter (1/4) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof;

PARCEL 2
The East 66 feet of the West 132 feet of the West one-half (1/2) of the Northeast one-quarter (1/4) of the Northwest one-quarter (1/4) of the Northwest one quarter (1/4) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof, said lands situated, lying in and being in Broward, County Florida.



LOCATION MAP
NOT TO SCALE



- LEGEND**
- | | | | | | |
|--|--------------------------------------|--|----------------------------------|--|---------------------------------------|
| | PROPOSED CONCRETE | | PROPOSED ASPHALT | | EXISTING PIPING AND APPURTENANCES |
| | PROPOSED CATCH BASIN | | ASPHALT TO BE REMOVED | | EXISTING CATCH BASIN |
| | PROPOSED ELEVATION | | EXISTING ELEVATION | | EXISTING UTILITY POLE |
| | PROPOSED SURFACE FLOW | | EXISTING MANHOLE (AS DESIGNATED) | | EXISTING APPURTENANCES (AS INDICATED) |
| | PROPOSED WATER METER | | EXISTING FENCE | | |
| | PROPOSED CLEANOUT | | | | |
| | PROPOSED RPZ BACKFLOW PREVENTER | | | | |
| | PROPOSED DOUBLE DETECTOR CHECK VALVE | | | | |
| | PROPOSED PIPING | | | | |

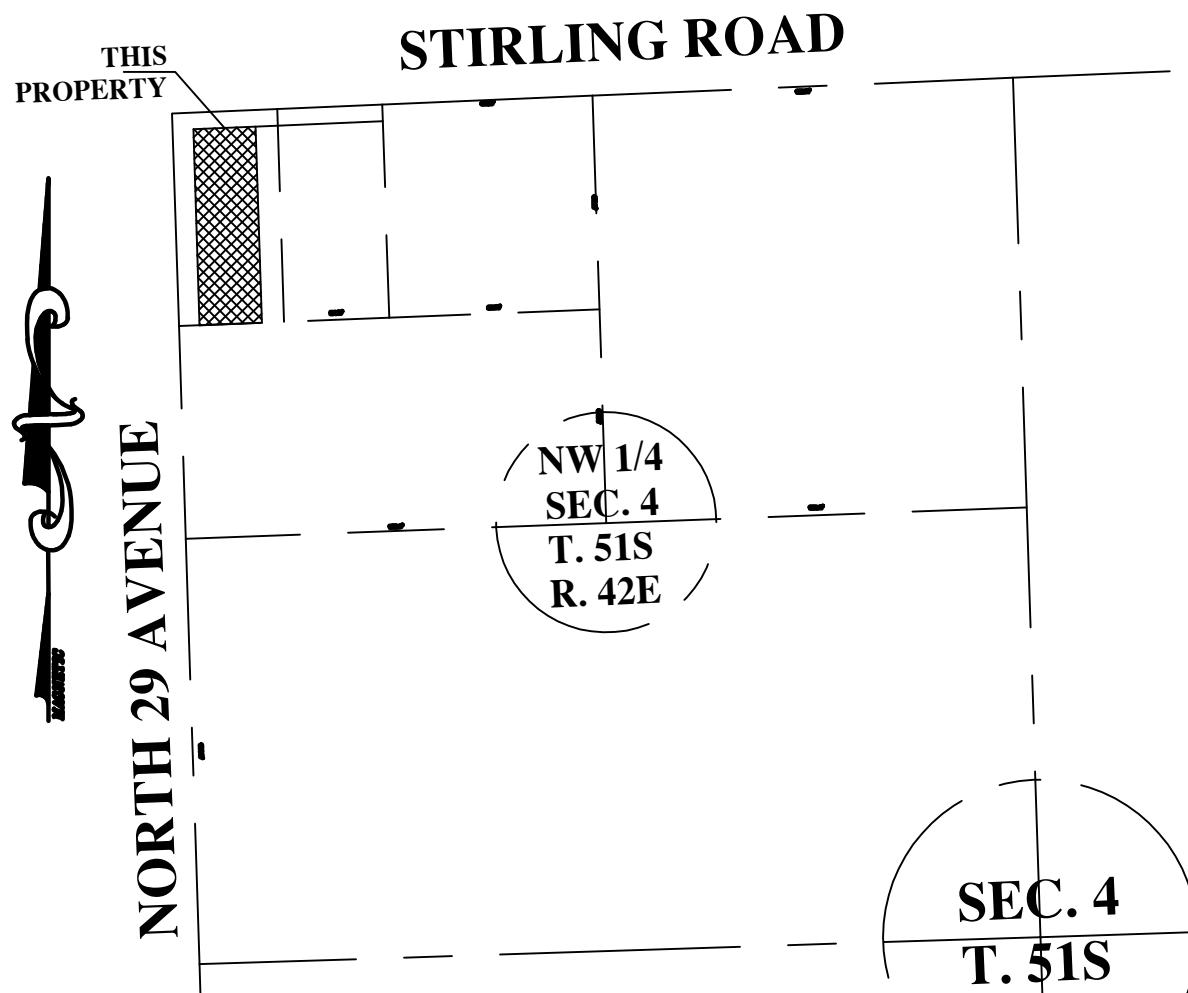
PAVING, GRADING & DRAINAGE PLAN (DRC SUBMITTAL)
SCALE 1" = 30'-0"

PROPOSED STORAGE FACILITY FOR DMJ PROPERTIES LLC 2870 STIRLING ROAD HOLLYWOOD FL				NO. OF SHEETS: -			
SHEET NO.: C-1				CAD FILE NO. 18-43			
REVISIONS							
NO.	DATE	BY	CHK'D	DESCRIPTION			
							
HOLLAND ENGINEERING INC. civil engineers 1120 SE 280 AVENUE - FORT LAUDERDALE - FL 33316 (954)367-0371							
SUSAN C. HOLLAND, PE license no. 41831							
CA7325							
DRAWN BY: NKW		SCALE: 1"=30'		DESIGNED BY: SCH		DATE: 01/15/19	
CHECKED BY: SCH		FIELD BOOK: N/A		FLA. REG. ENG. NO. 41831			
FINAL APPROVAL							

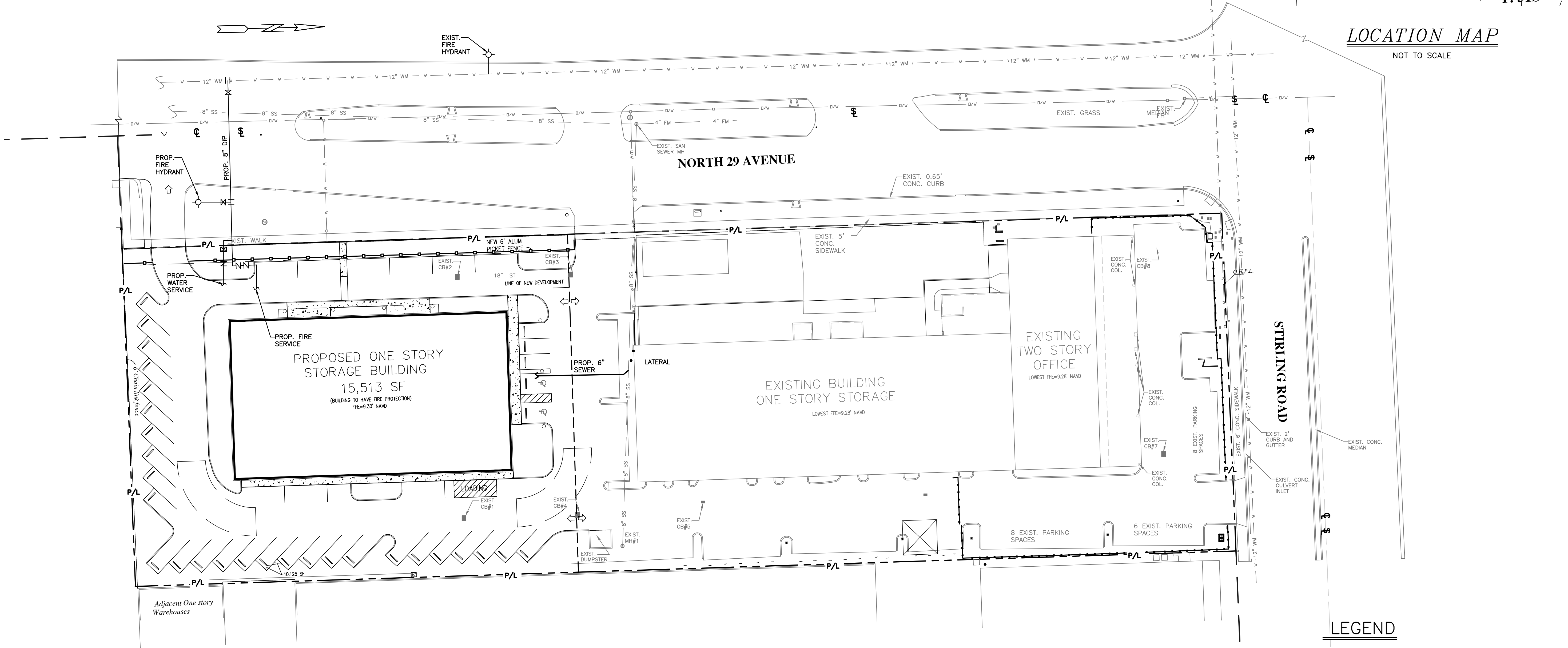
LEGAL DESCRIPTION:

PARCEL 1
The East 132 feet of the West 264 feet of the West one-half (1/2) of the Northeast one-quarter (1/4) of the Northwest one-quarter (1/4) of the Northwest one-quarter (1/4) of Section 4, Township 51 South, Range 42 East, less the North 53 feet thereof;

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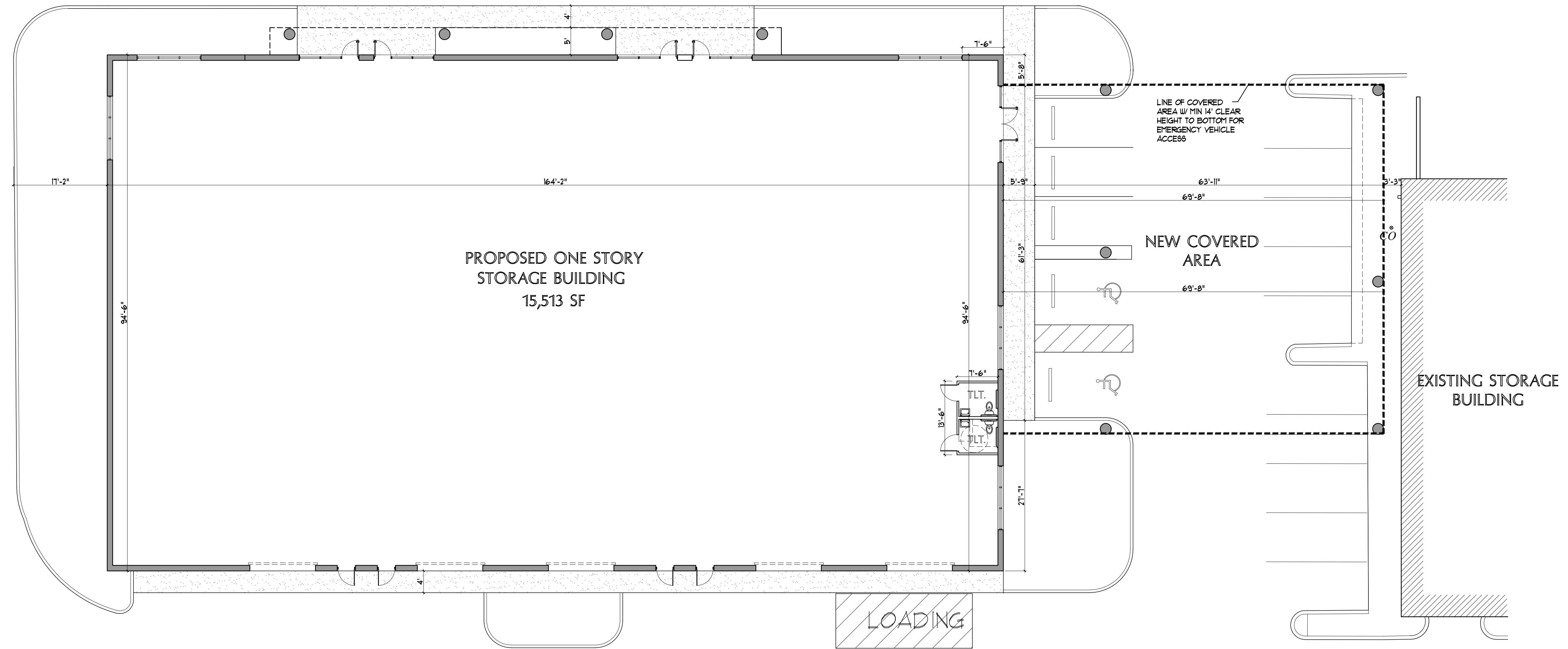
LOCATION MAP
NOT TO SCALE



- LEGEND**
- | | | | | | |
|--|--------------------------------------|--|----------------------------------|--|---------------------------------------|
| | PROPOSED CONCRETE | | PROPOSED ASPHALT | | EXISTING PIPING AND APPURTENANCES |
| | PROPOSED CATCH BASIN | | ASPHALT TO BE REMOVED | | EXISTING CATCH BASIN |
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| | PROPOSED CLEANOUT | | | | |
| | PROPOSED RPZ BACKFLOW PREVENTER | | | | |
| | PROPOSED DOUBLE DETECTOR CHECK VALVE | | | | |
| | PROPOSED PIPING | | | | |

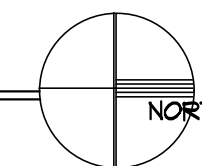
WATER AND SEWER PLAN (DRC SUBMITTAL)
SCALE 1" = 30'-0"

NO. OF SHEETS: -				SHEET NO.: C-2				CAD FILE NO. 18-43			
PROPOSED STORAGE FACILITY FOR DMJ PROPERTIES LLC 2870 STIRLING ROAD HOLLYWOOD FL											
REVISIONS											
NO.	DATE	BY	CHK'D	DESCRIPTION							
CA7325											
 HOLLAND ENGINEERING INC. civil engineers 280 AVENUE - FORT LAUDERDALE - FL 33316 1120 SE (954)367-0371											
SUSAN C. HOLLAND, PE license no. 41831											
DRAWN BY: NKW				DESIGNED BY: SCH				CHECKED BY: SCH			
SCALE: 1"=30'				DATE: 01/15/19				FIELD BOOK: N/A			
FINAL APPROVAL								FLA. REG. ENG. NO. 41831			



PRELIMINARY FLOOR PLAN

SCALE: 3/32" = 1'-0"



REVISIONS

△

PEREZ
ASSOCIATES
ARCHITECTURE & PLANNING

3045 N. FEDERAL HIGHWAY
SUITE 46
FORT LAUDERDALE, FL 33306
TELEPHONE (954) 567-2062
FAX (954) 567-2063
EMAIL:
info@perezandassociates.com

REG. No. AA 26000661
SEAL

PROPOSED STORAGE FACILITY for:

D M J PROPERTIES, LLC

2810 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE 1/25/2019

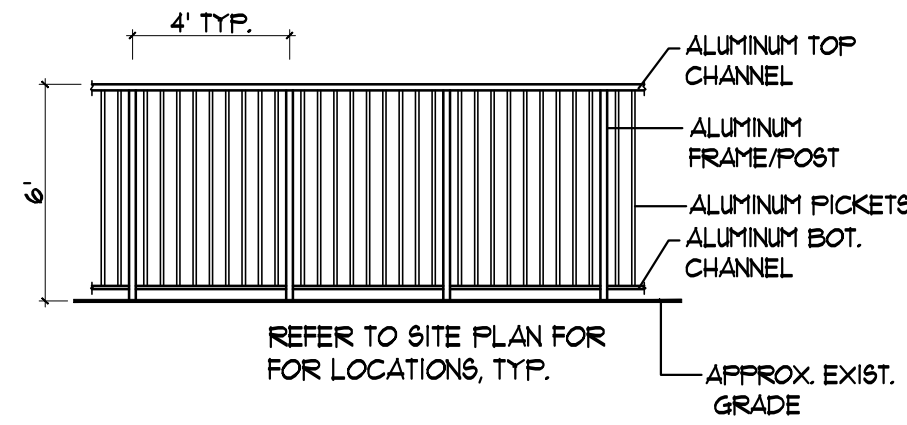
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JOB NO. 2018 37

FILE DMG PROP

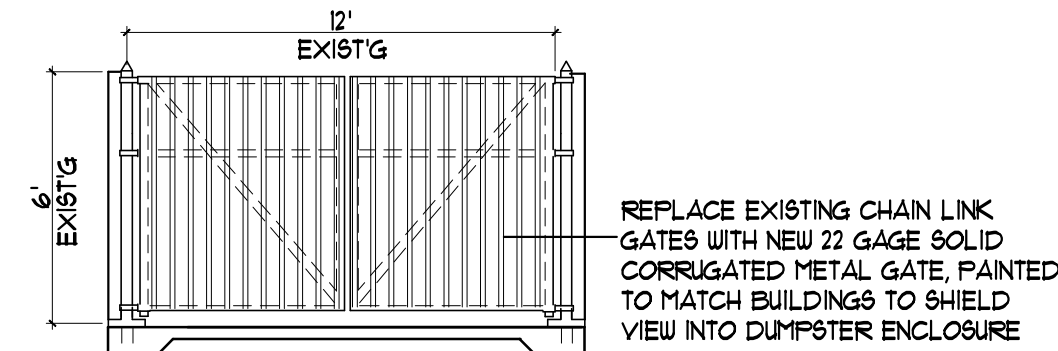
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A-10



TYPICAL FENCE
(TO MATCH EXISTING)

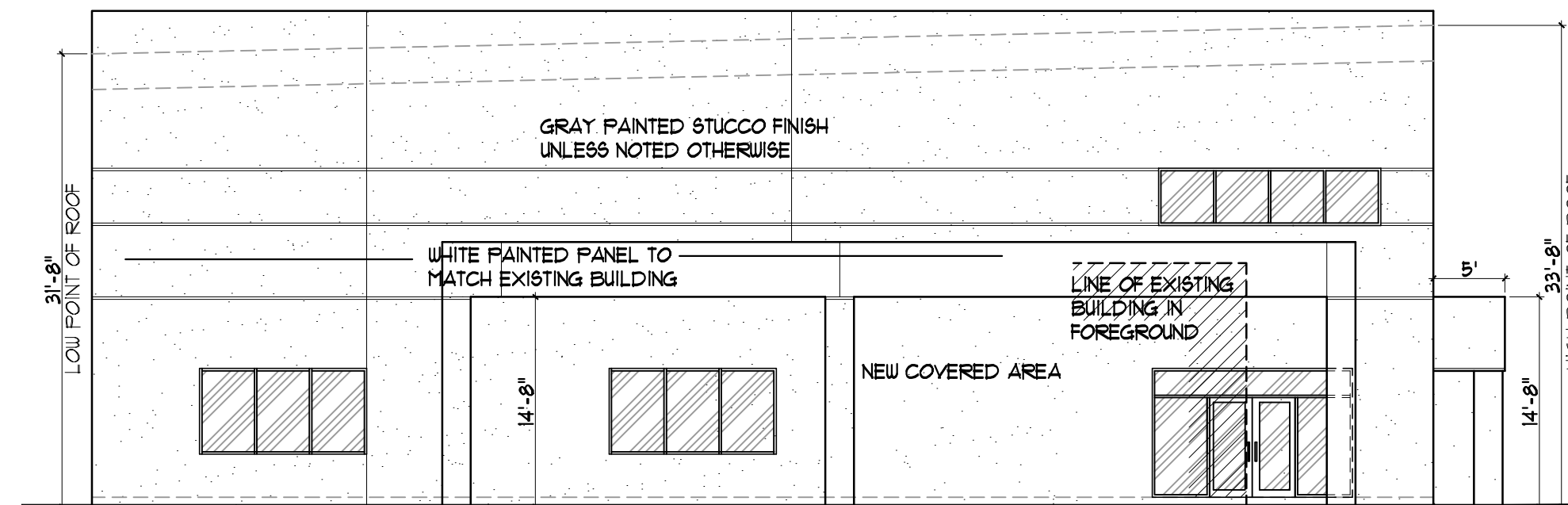
NTS



GATE DETAIL

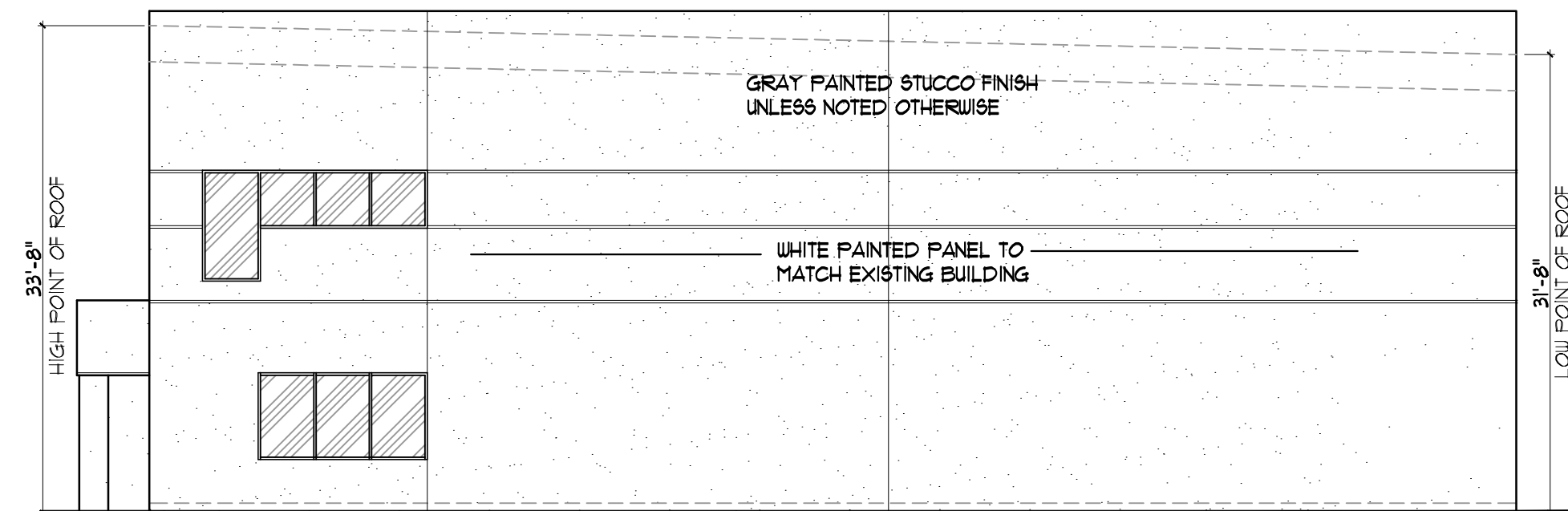
DUMPSTER ENCLOSURE

EXISTING 12' WIDE DUMPSTER TO RECEIVE NEW GATES AND HARDWARE AND PAINTED TO MATCH BUILDING



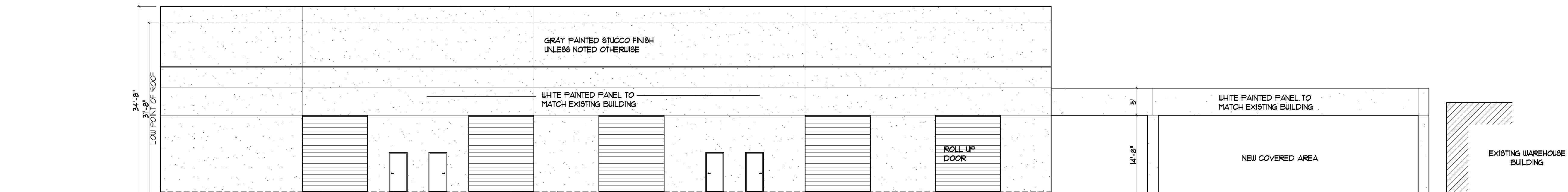
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

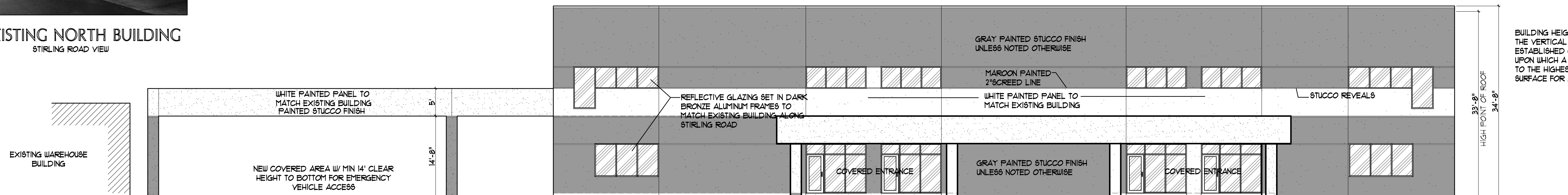


EAST ELEVATION

SCALE: 3/32" = 1'-0"



EXISTING NORTH BUILDING
STIRLING ROAD VIEW



WEST ELEVATION

SCALE: 3/32" = 1'-0" (N. 29th AVENUE)

PRELIMINARY ELEVATIONS

REVISIONS

△

PEREZ ASSOCIATES
ARCHITECTURE & PLANNING

3045 N. FEDERAL HIGHWAY
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FORT LAUDERDALE, FL 33306
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PROPOSED STORAGE FACILITY for:

D M J PROPERTIES, LLC

2810 STIRLING ROAD
HOLLYWOOD, FLORIDA

DATE 1/25/2019

SCALE AS NOTED

JOB NO. 2018 31

FILE DMJ PROP

SHEET NO.

A-20