

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☒ Planning and Development Board

Date of Application: 11- -2018

Location Address: 4301 McIntosh Road, Hollywood, FL (a portion of)

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 504225050010

Zoning Classification: PEDD Land Use Classification: PEDD

Existing Property Use: Vacant land Sq Ft/Number of Units: 0

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: Two (2) buildings Sq Ft: 303,796 SF

Value of Improvement: \$18 million Estimated Date of Completion: May 2020

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Broward County, Port Everglades Department

Address of Property Owner: 1850 Eller Drive, Fort Lauderdale, FL 33316

Telephone: (954) 468-3501 Fax: (954) 525-1910 Email Address: jorhernandez@broward.org

Name of Consultant/Representative Tenant (circle one): Port Everglades Int'l Logistics Center, LLC

Address: 1875 NW Corporate Blvd. #280, Boca Raton, FL 33431 Telephone: (305) 216-2110

Fax: _____ Email Address: eric.swanson@avisonyoung.com

Date of Purchase: _____ Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Debbie M. Orshefsky

Partner @ Holland & Knight Address: 515 E. Las Olas Blvd. Suite 1200

Fort Lauderdale, FL 33301 Email Address: debbie.orshefsky@hklaw.com

(954) 468-7871

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 11/13/2018

PRINT NAME: _____

GLENN A WILTSHIRE, DEPUTY PORT DIRECTOR
BROWARD COUNTY PORT EVERGLADES DEPARTMENT

Date: _____

Signature of Consultant/Representative: _____

Date: _____

PRINT NAME: _____

Debbie M. Orshefsky @ Holland & Knight

Date: _____

Signature of Tenant: _____

Date: 11/14/18

PRINT NAME: _____

Eric D. Swanson @ Port Everglades Int'l Logistics Center, LLC

Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Improvements to my property, which is hereby made by me or I am hereby authorizing Debbie Orshefsky to be my legal representative before the Planning and Development Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 13 day of November

Signature of Current Owner

Notary Public

State of Florida

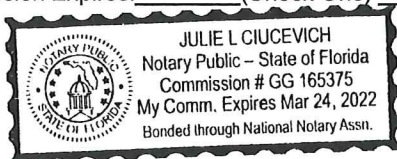
GLENN A WILTSHIRE

Print Name

My Commission Expires: _____

(Check One) ☒ Personally known to me; OR

☐ Produced Identification _____



November 21, 2018

Port Everglades International Logistics Center is the development of a new and modern Logistics Center at Port Everglades, including the relocation of existing Foreign Trade Zone and private tenants to enhance the throughput of cargo at Port Everglades on Port-owned property within the confines of Port Everglades, Broward County, Florida.

The project consists of two (2) Class "A" warehouse/office distribution buildings. Building one is 156,909 square feet that includes a two-story office that is approximately 10,000 square feet and the balance is warehouse space. Building two is 146,067 square feet that includes a two-story office component that is approximately 28,587 SF and the balance is warehouse space. Both buildings are dock-high and 32'-0" clear height. Building one is contemplated to have a single tenant while building two is contemplated to have multiple tenants.

The design and layout of the buildings is conducive to the intended building use and security of the truck court. Vehicular traffic movement within the site and the neighboring sites has been designed such that the truck access and circulation are separated from the automobile access and circulation. All parking spaces are conveniently arranged that include code required handicap spaces and sidewalks. The truck court will be secured by fences and gates.

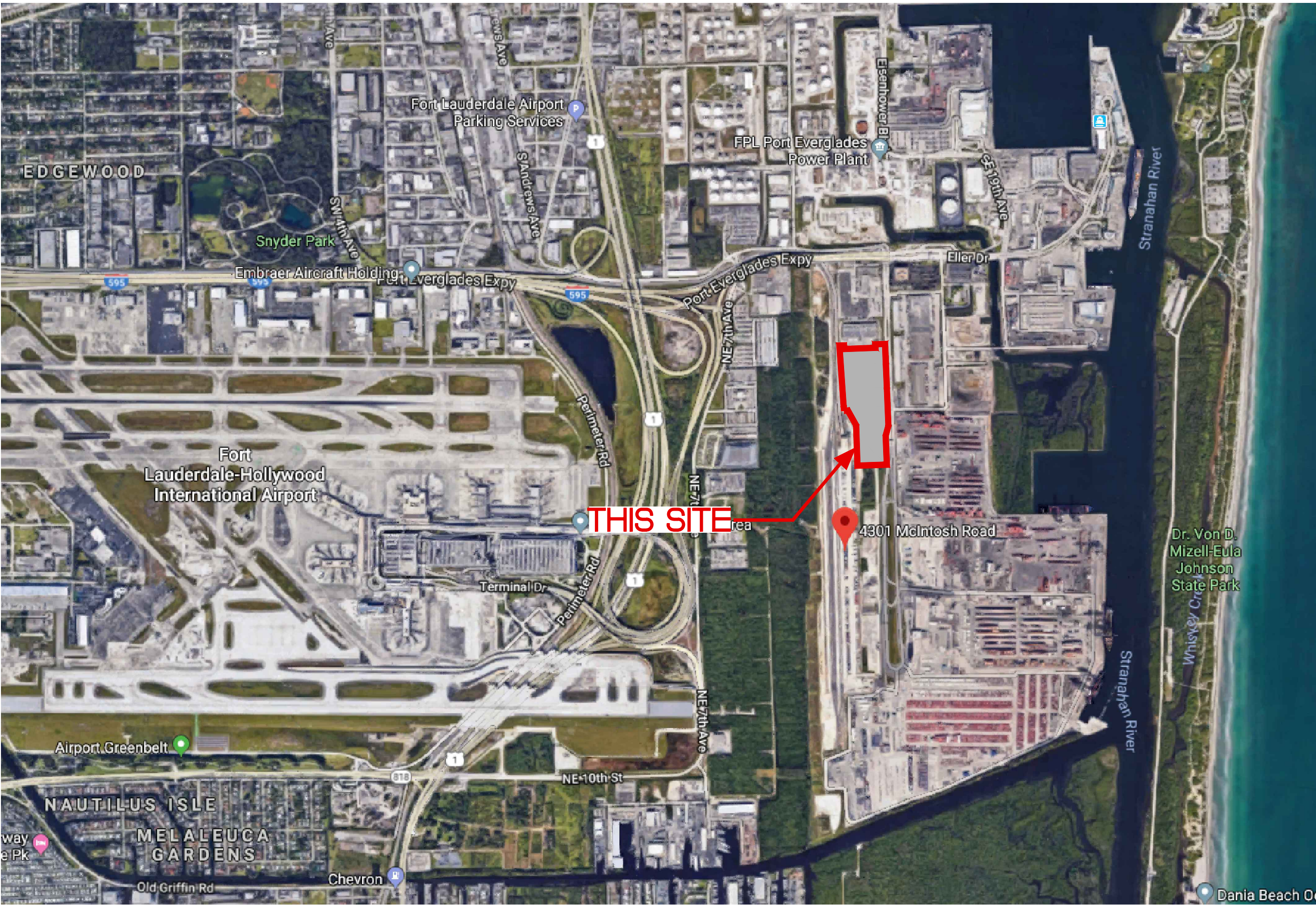
The buildings are constructed of concrete tilt-up load-bearing exterior wall panels, steel roof structure, hurricane impact resistant glazing in anodized aluminum frames, and has articulated entrance features at the office components that face the public street. The exterior building surface will have medium textured paint on the concrete walls. The façade articulation consists of linear reveals and deep recesses that emulate movement. The colors of the façades are light grey, dark grey and white. Sidewalks are provided at the office entrances. Since building two is considered to have multiple tenants, it has a covered ground floor colonnade at the office portion which will also feature a common lobby and common toilet rooms.

Air-conditioning and ventilation equipment will be located on the roof and will be screened from view by the parapets. There are trash enclosures for each building provided at the truck court made of concrete tilt-wall and painted to match the buildings.

This project is consistent with the existing building to the north, is constructed of the same materials and has a similar use in functionality. The buildings are proportionate in scale and massing. There will be lush tropical landscaping and irrigation in accordance with City Requirements.

PORT EVERGLADES INTERNATIONAL LOGISTICS CENTER

CITY OF HOLLYWOOD, FLORIDA



LOCATION MAP



PLANNING AND DEVELOPMENT BOARD
SUBMITTAL: 11/21/18

PROJECT TEAM

CLIENT:
PEILC LLC, c/o AVISON YOUNG
500 W CYPRESS CREEK ROAD, SUITE 350
FORT LAUDERDALE, FLORIDA 33309

ARCHITECT:
RLC ARCHITECTS, P.A.
14 SOUTHEAST 4TH STREET
BOCA RATON, FL 33432
PH: 561.393.6555
FAX: 561.395.0007

CIVIL (BY OWNER):
FLYNN ENGINEERING SERVICES, P.A.
241 COMMERCIAL BOULEVARD
LAUDERDALE BY THE SEA, FLORIDA 33308
PH: 954.522.1004
FAX: 954.522.7630

PORT EVERGLADES
INTERNATIONAL LOGISTICS CENTER
PEILC LLC, c/o AVISON YOUNG
CITY OF HOLLYWOOD, FLORIDA

REVISIONS

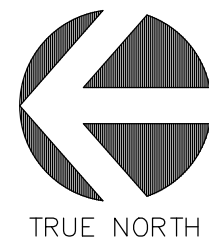
Drawing Title
COVER SHEET

Scale
Project No. 18048.00
Date

Principal: BWR
Project Director:
Project Manager:
Drafted by: SB
Checked by: CM

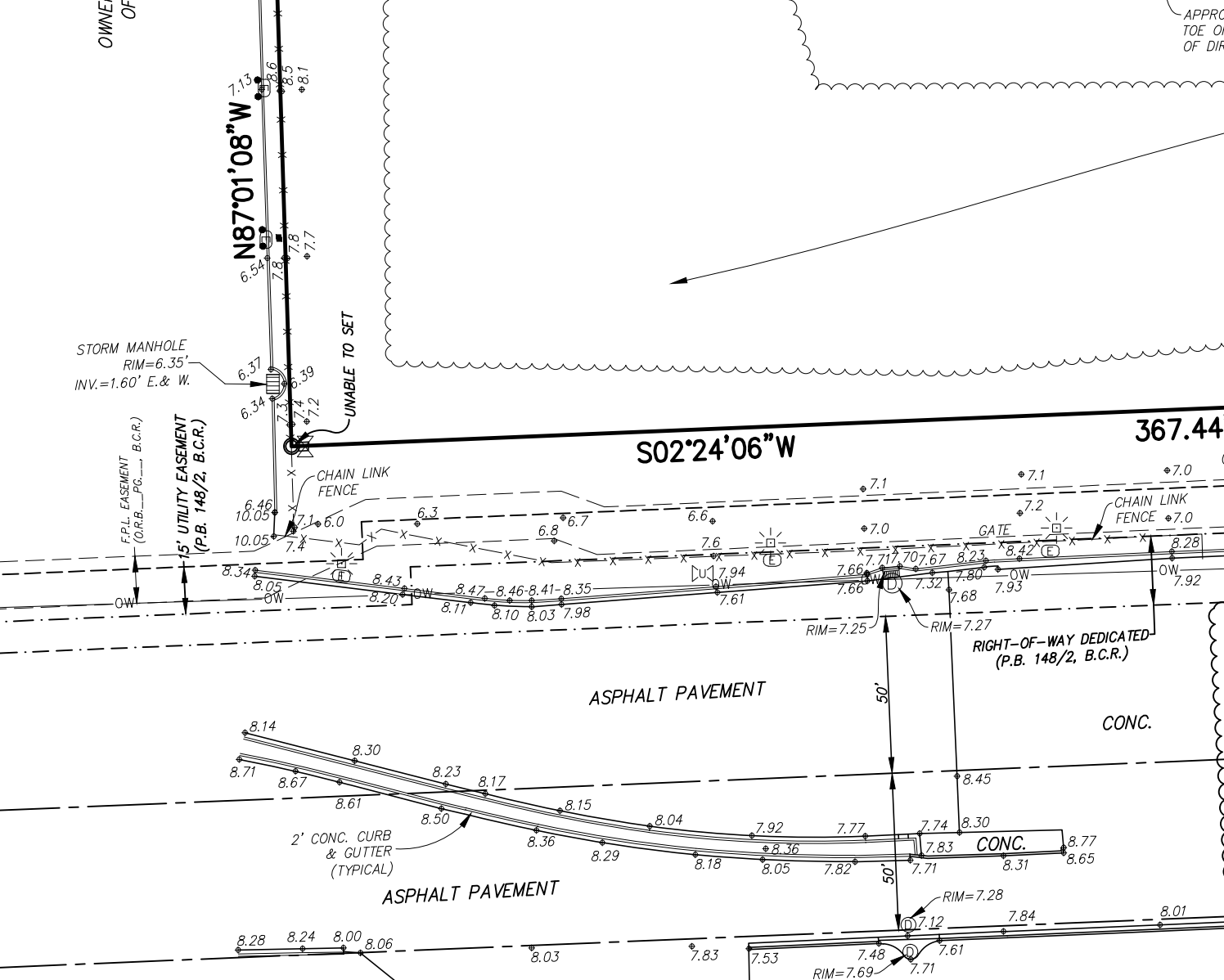
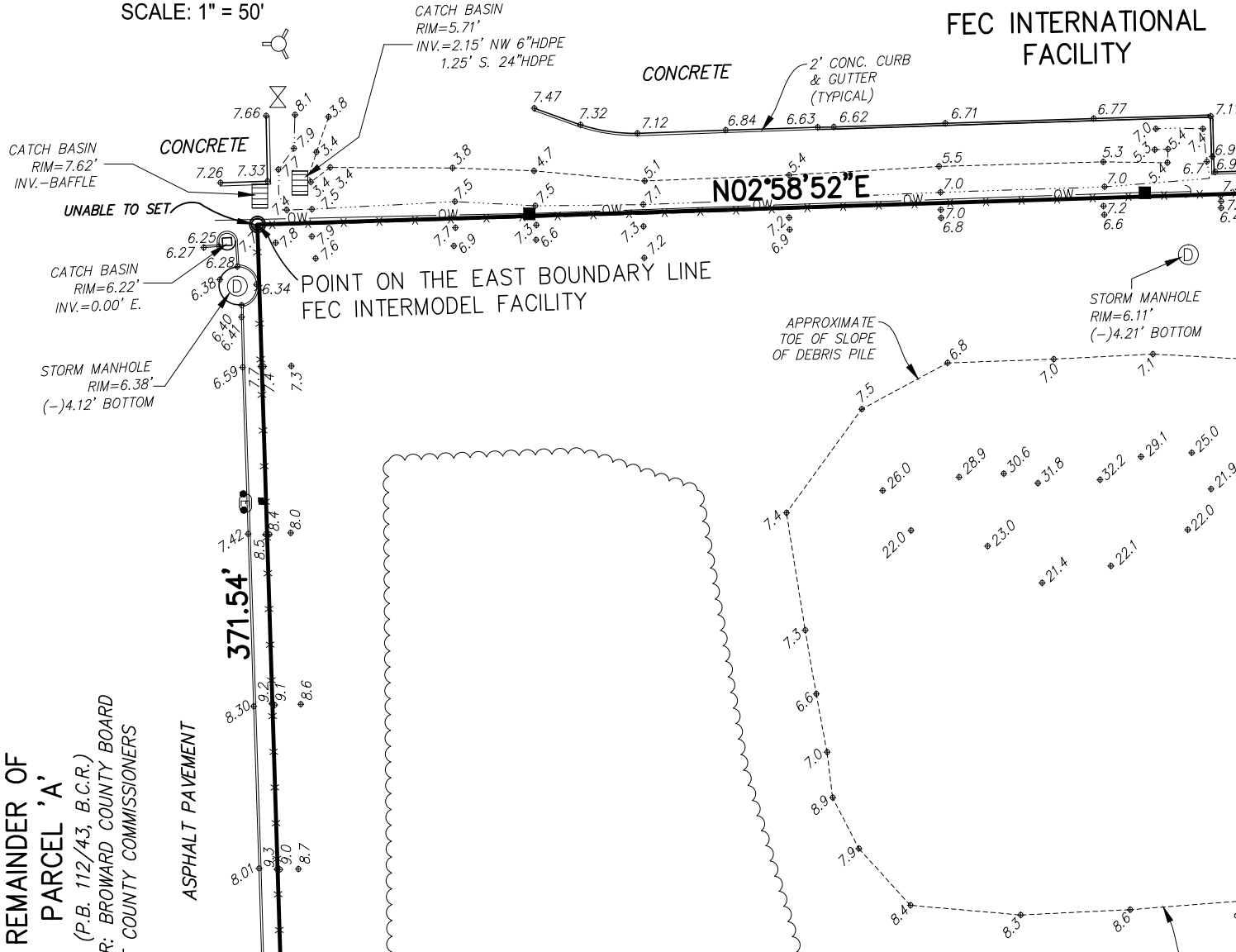
Sheet No.

A0.00



PLANNING AND
DEVELOPMENT
BOARD 11/21/18

1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. The land description shown hereon was provided by the Client.
4. No underground improvements were located.
5. Bearings shown are relative to said plat, based on the north line of Parcel A (P.B. 148/2, B.C.R. having a bearing of S87°02'41"E).
6. The property described hereon lies within Flood Zone D, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, Community Panel No. 125113 0578 H, dated 08/18/2014.
7. Elevations shown hereon are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988).
8. Benchmark Description: National Geodetic Survey benchmark, ID: DM1518, Station Name: 872 2956 A, Elevation = 10.60 (NAVD 1988).
9. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
10. This map is intended to be displayed at a scale of 1:600 (1" = 50').
11. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in

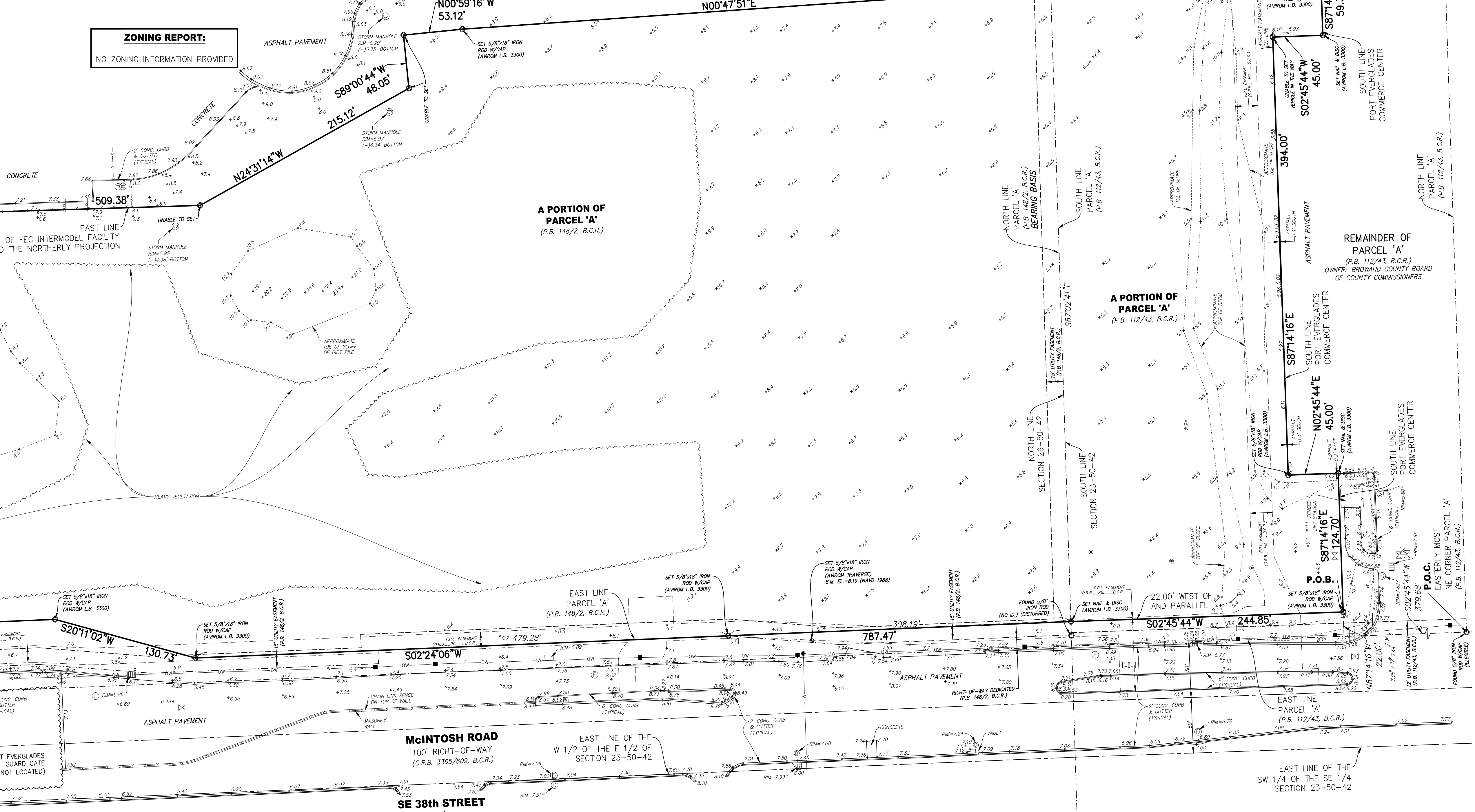


LEGEND	
	BENCHMARK
	CATCH BASIN
	CLEAN OUT
	CONCRETE LIGHT POLE
	CONCRETE UTILITY POLE
	CURB INLET
	DRAINAGE MANHOLE
	ELECTRIC HANDHOLE
	ELECTRIC SERVICE BOX
	EXISTING ELEVATION
	GUY ANCHOR
	OVERHEAD WIRES
	SANITARY MANHOLE
	SEWER VALVE
	SIGN (UNLESS NOTED)
	UNKNOWN VALVE
	WATER METER
	WATER VALVE
	FIRE HYDRANT

A PORTION OF PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE, RECORDED IN PLAT BOOK 112, PAGE 43, TOGETHER WITH A PORTION OF PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION THREE, RECORDED IN PLAT BOOK 148, PAGE 2, BOTH OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT THE EASTERLY MOSNORTHEAST CORNER OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE; THENCE SOUTH 02°45'44" WEST, ALONG THE EAST LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE, A DISTANCE OF 379.68 FEET; THENCE NORTH 87°14'16" WEST, A DISTANCE OF 22.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 02°45'44" WEST, ALONG A LINE 22.00 FEET WEST AND PARALLEL WITH THE EAST LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE, A DISTANCE OF 244.85 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE; THENCE SOUTH 02°24'06" WEST, A DISTANCE OF 308.19 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION THREE; THENCE CONTINUE SOUTH 02°24'06" WEST, ALONG THE SAID EAST LINE OF PARCEL A AND THE SOUTHERLY PROJECTION THEREOF, A DISTANCE OF 479.28 FEET; THENCE SOUTH 20°11'02" WEST, A DISTANCE OF 130.73; THENCE SOUTH 02°24'06" WEST, A DISTANCE OF 367.44 FEET; THENCE NORTH 87°01'08" WEST, A DISTANCE OF 371.54 FEET TO A POINT ON THE EAST BOUNDARY LINE OF A SURVEY FOR THE FEC INTERMODAL FACILITY, PREPARED BY CRAVEN THOMPSON AND ASSOCIATES, INC. SKETCH NO. 11-0082.001 AND DATED 05/02/2012; THENCE NORTH 02°58'52" EAST, ALONG SAID EAST LINE OF FEC INTERMODAL FACILITY AND THE NORTHERLY PROJECTION THEREOF, A DISTANCE OF 509.38 FEET; THENCE NORTH 24°31'14" WEST, A DISTANCE OF 215.12 FEET; THENCE SOUTH 89°00'44" WEST, A DISTANCE OF 48.05 FEET; THENCE NORTH 00°59'16" WEST, A DISTANCE OF 53.12 FEET; THENCE NORTH 00°47'51" EAST, A DISTANCE OF 773.09 FEET TO

12. this survey were field measured to a horizontal positional accuracy of 0.10'.
13. Adjacent property owner information shown hereon was obtained from the Broward County Property Appraiser's website.
14. Abbreviation Legend: ALTA = American Land Title Association; B.C.R. = Broward County Records; B.M. = Benchmark; C = Centerline; CONC. = Concrete; L.E. = Elevation; F.B. = Field Book; ID. = Identification; L.B. = Licensed Business; NAVD = North American Vertical Datum; NPS = National Society of Professional Surveyors; O.R.B. = Official Records Book; OW = Overhead Wires; P.B. = Plat Book; PG. = Page; P.L.S. = Professional Land Surveyor; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; W/CAP = With Surveyors Cap.
15. In the process of conducting the fieldwork, the Surveyor observed evidence of recent earth moving work, building construction or building additions.
16. The Surveyor has no knowledge of changes in right-of-way lines and there are no observed evidence of recent street or sidewalk construction or repairs.
17. In the process of conducting the fieldwork, the Surveyor observed no field markers of delineated wetlands.
18. PROPERTY ADDRESS: 4301 McIntosh Road, Hollywood



THE WESTERLY MOST SOUTHWEST CORNER OF A LEASE TO PORT EVERGLADES COMMERCE CENTER AS SHOWN ON PORT EVERGLADES SKETCH NO. 2004P4801 AND DATED 05/23/2003, THE FOLLOWING FIVE COURSES AND DISTANCES ARE ALONG THE SOUTH LINE OF SAID PORT EVERGLADES COMMERCE CENTER; THENCE SOUTH 87°14'17" EAST, A DISTANCE OF 59.30 FEET; THENCE SOUTH 02°45'44" WEST, A DISTANCE OF 45.00 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 394.00 FEET; THENCE NORTH 02°45'44" EAST, A DISTANCE OF 45.00 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 124.70 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE LYING AND BEING IN BROWARD COUNTY, FLORIDA AND CONTAINING 725,580 SQUARE FEET (16.6570 ACRES) MORE OR LESS.

THIS IS TO CERTIFY that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 11, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on February 27, 2017.

Date of Map: _____

JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300
EMAIL: john@aviromsurvey.com



50 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2594 / www.AVIROMSURVEY.com

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[illegible]

(P.B. 112, PG. 43, B.C.R.)
& A PORTION OF PARCEL 'A'
(P.B. 148, PG. 2, B.C.R.)

CITY OF HOLLYWOOD
BROWARD COUNTY, FLORIDA

JOB #:	10427		
SCALE:	1" = 50'		
DATE:	02/27/2017		
BY:	W.R.E.		
CHECKED:	J.T.D.		
F.B.	1816	PG.	45-53
SHEET:	1 OF 1		



SITE PLAN

Sheet Title

Job Title

**PORT EVERGLADES
INTERNATIONAL LOGISTICS CENTER**

4301 MCINTOSH ROAD, HOLLYWOOD, FLORIDA

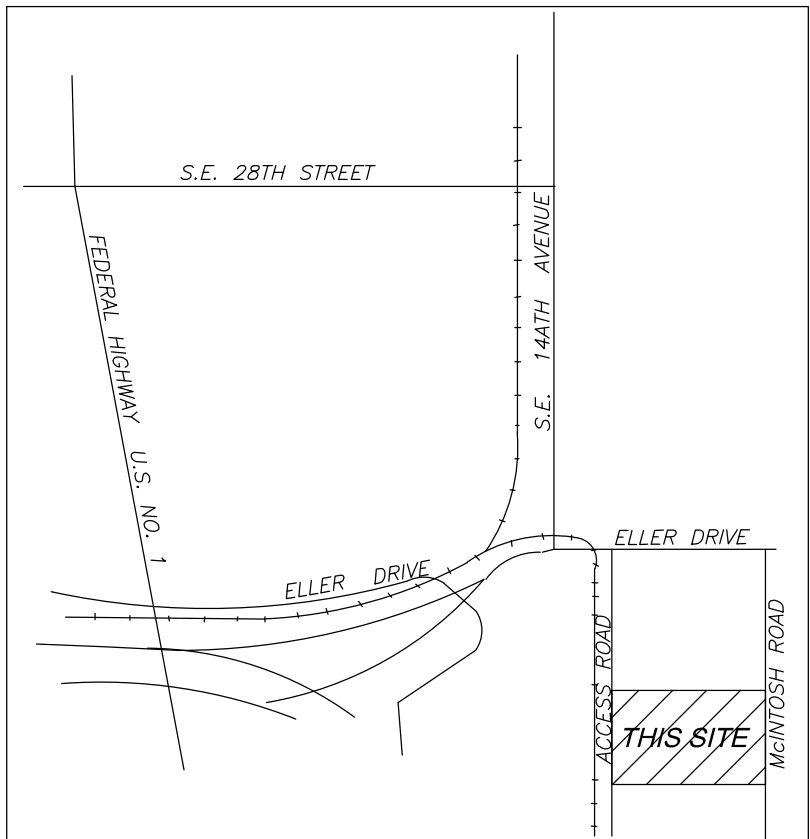
Job Title



1	01/17/19	UPDATE PARKING #

SEAL

Scale: 1"=50'	Date 08/06/18
Job No. 17-1347.00	Plot Date 01/17/19
Drawn by DRS	Sheet No. SP1.00
Proj. Mgr. DRS	
Appr. by DRS	1 of 14



NTS Sec 23, Twp 50, Rng 42

SETBACK TABLE	REQUIRED	PROVIDED
FRONT YARD (NORTH) – Port Everglades	0'	82'
SIDE YARD (WEST) – Port Everglades	0'	12'
SIDE YARD (EAST) – Port Everglades	0'	12'
REAR YARD (SOUTH) –Port Everglades	0'	130'

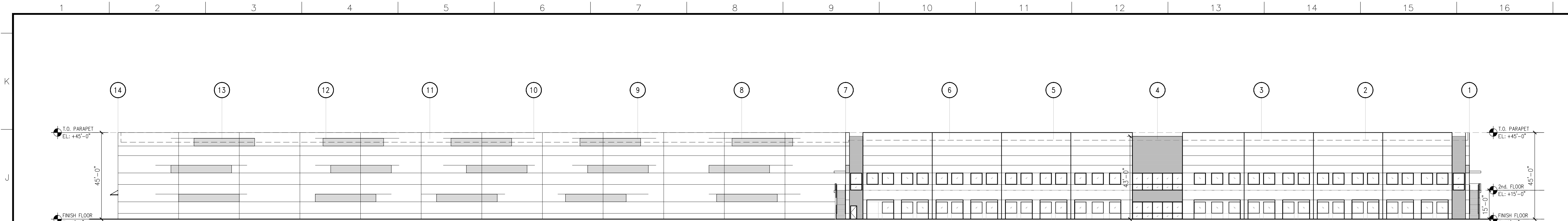
PARKING DATA: BLDG '1'	SF	RATIO	REQUIRED	PROVIDED
OFFICE	10,957	1/250SF	44	44
WAREHOUSE	145,952	1/1000SF	146	61
BLDG '2'				
OFFICE	28,587	1/250SF	115	115
(WAREHOUSE, DISTRIBUTION/GENERAL)	116,965	1/1000SF	117	88
* ADDITIONAL PARKING PROVIDED IN TRAILER PARKING SPACES (Ø3/SPACE)				132
TOTAL	302,976		422	440
SURPLUS			8	+18
TOTAL HANDICAP PARKING (432 + 8 HC SPACES)			8	8
TRAILER PARKING SPACES PROVIDED*			0	44*

LOAD ZONE REQUIREMENTS:	SF	REQUIRED	PROVIDED
TOTAL BUILDING SF = 302,976	302,976	0	34
(LOADING DOCKS W/ OVERHEAD DOOR)			

A PORTION OF PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE, RECORDED IN PLAT BOOK 112, PAGE 43, TOGETHER WITH A PORTION OF PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION THREE, RECORDED IN PLAT BOOK 148, PAGE 2, BOTH OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

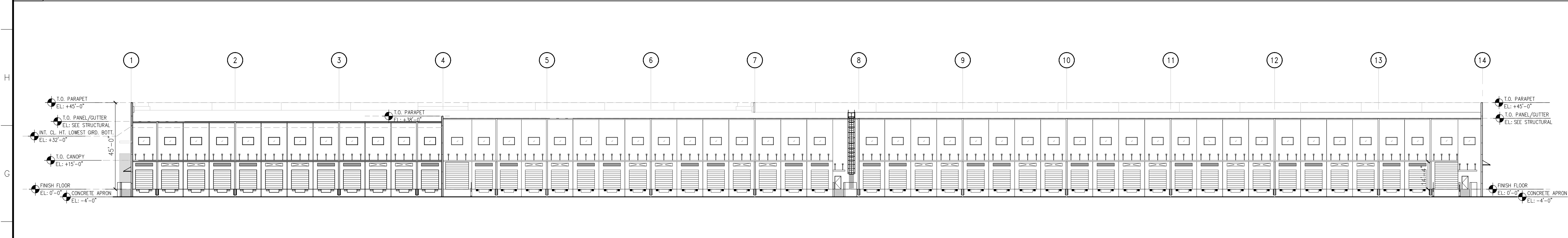
COMMENCING AT THE EASTERLY MOST NORTHEAST CORNER OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE; THENCE SOUTH 02°45'44" WEST, ALONG THE EAST LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE, A DISTANCE OF 379.68 FEET; THENCE NORTH 87°14'16" WEST, A DISTANCE OF 22.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 02°45'44" WEST, ALONG THE WEST LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE, A DISTANCE OF 244.85 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION ONE; THENCE SOUTH 02°24'06" WEST, A DISTANCE OF 308.19 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL A, PORT EVERGLADES INDUSTRIAL PARK SECTION THREE; THENCE CONTINUE SOUTH 02°24'06" WEST, ALONG THE SAID EAST LINE OF SAID PARCEL A, AND THE SOUTHERLY PROJECTION THEREOF, A DISTANCE OF 479.28 FEET; THENCE SOUTH 20°11'07" WEST, ALONG THE SAID SOUTHERLY PROJECTION THEREOF, A DISTANCE OF 301.00 FEET; THENCE NORTH 87°01'08" WEST, A DISTANCE OF 371.54 FEET TO THE POINT OF BEGINNING; OR, ALTERNATELY, A DISTANCE OF 48.05 FEET, THENCE NORTH 00°56'16" WEST, A DISTANCE OF 53.12 FEET; THENCE NORTH 00°44'57" EAST, A DISTANCE OF 773.09 FEET TO THE WESTERLY MOST SOUTHWEST CORNER OF A LEASE TO PORT EVERGLADES COMMERCE CENTER AS SHOWN ON PORT EVERGLADES SKETCH NO. 200404801 AND DATED 05/23/2003, THE FOLLOWING FIVE COURSES AND DISTANCES ARE ALONG THE SOUTH LINE OF SAID PORT EVERGLADES COMMERCE CENTER: THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 59.30 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 59.30 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 59.30 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 59.30 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 59.30 FEET; THENCE NORTH 02°45'44" EAST, A DISTANCE OF 45.00 FEET; THENCE SOUTH 87°14'16" EAST, A DISTANCE OF 124.70 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE LYING AND BEING IN BROWARD COUNTY, FLORIDA AND CONTAINING 725,580 SQUARE FEET (16.6570 ACRES) MORE OR LESS.



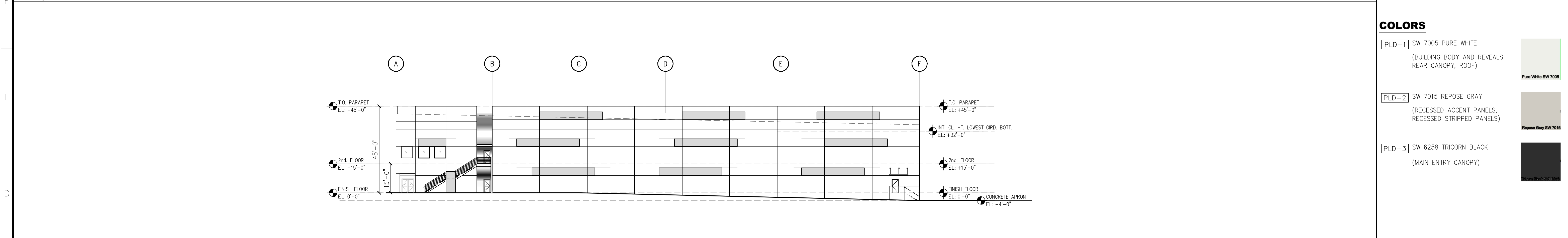
4 BUILDING 2 EAST ELEVATION

A2.00 SCALE: 1"=20'-0"



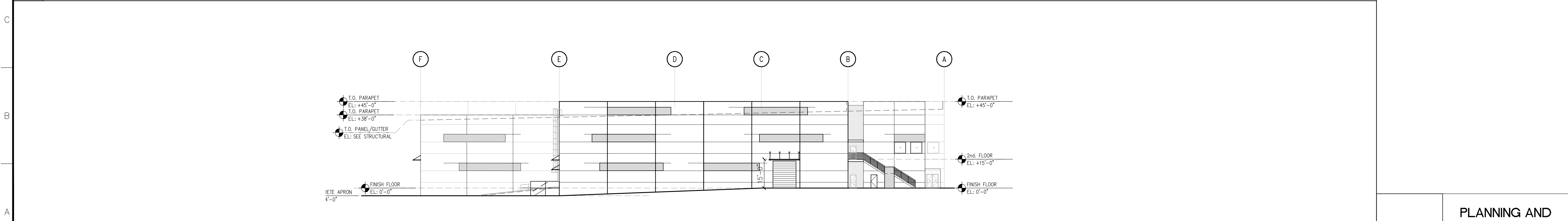
3 BUILDING 2 WEST ELEVATION

A2.00 SCALE: 1"=20'-0"



2 BUILDING 2 NORTH ELEVATION

A2.00 SCALE: 1"=20'-0"



1 BUILDING 2 SOUTH ELEVATION

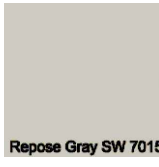
A2.00 SCALE: 1"=20'-0"

COLORS

PLD-1 SW 7005 PURE WHITE
(BUILDING BODY AND REVEALS,
REAR CANOPY, ROOF)



PLD-2 SW 7015 REPOSE GRAY
(RECESSED ACCENT PANELS,
RECESSED STRIPPED PANELS)



PLD-3 SW 6258 TRICORN BLACK
(MAIN ENTRY CANOPY)



PLANNING AND
DEVELOPMENT
BOARD 11/21/18

PORT EVERGLADES
INTERNATIONAL LOGISTICS CENTER
PEILC LLC, c/o AVISON YOUNG
CITY OF HOLLYWOOD, FLORIDA

REVISIONS

Drawing Title
ELEVATIONS
BUILDING 2

Scale
Project No. 18048.00
Date

Principal: BWR
Project Director:
Project Manager:
Drafted by: SB
Checked by: CM

Sheet No.

A2.00

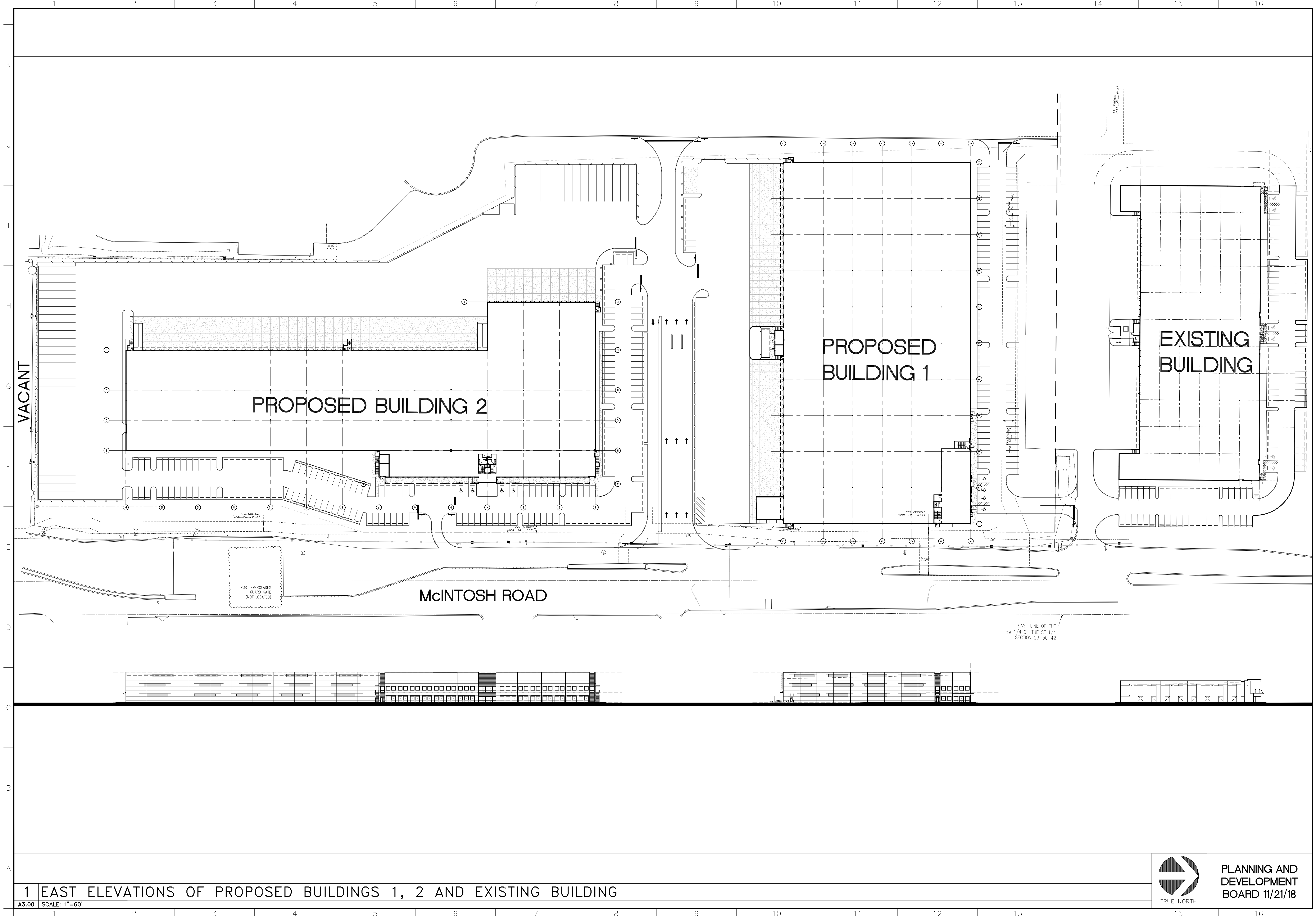
RLC Architects

14 SE 14th Street, Suite 200, Ft. Lauderdale, FL 33302
Tel 954 393 6555 Fax 954 395 0007
Web www.rlcarchitects.com

COPYRIGHT RLC ARCHITECTS, P.A., 2018
STATE OF FLORIDA REGISTERED ARCHITECTS No. A24001060

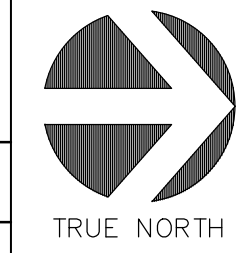
THE DRAWINGS AND ALL THE IDEAS, ARRANGEMENTS, DESIGNS AND PLANS
HEREIN ARE THE PROPERTY OF RLC ARCHITECTS, P.A. AND NO PART THEREOF
SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR
BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF
RLC ARCHITECTS, P.A.

BRUCE W. RETZSCH, AIA



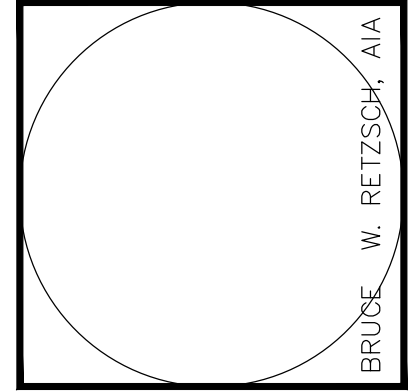
1 EAST ELEVATIONS OF PROPOSED BUILDINGS 1, 2 AND EXISTING BUILDING

A3.00 SCALE: 1"=60'



PLANNING AND
DEVELOPMENT
BOARD 11/21/18

RLC Architects
14 SE 4th Street, Boca Raton, FL 33432
Tel 561 393 6555 Fax 561 395 0007
Web www.rlcarchitects.com
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CITY OF HOLLYWOOD, FLORIDA

REVISIONS

Drawing Title
**ELEVATION PROFILE
FROM MCINTOSH RD**
Scale
Project No. 18048.00
Date

Principal: BWR
Project Director:
Project Manager:
Drafted by: SB
Checked by: CM

Sheet No.
A3.00



1 AERIAL BIRD'S EYE VIEW RENDERING

A4.00 SCALE: NOT TO SCALE

PLANNING AND
DEVELOPMENT
BOARD 11/21/18

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BRUCE W. RETZSCH, AIA

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Drawing Title
AERIAL BIRD'S
EYE VIEW
RENDERING

Scale
Project No. 18048.00
Date

Principal: BWR
Project Director:
Project Manager:
Drafted by: SB
Checked by: CM

Sheet No.

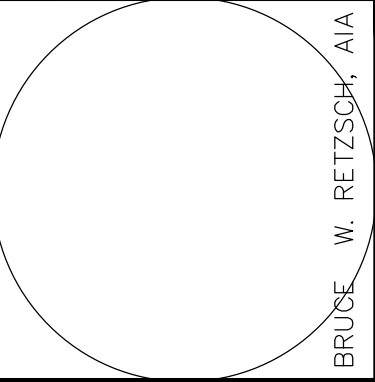
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1	BUILDING 1 RENDERING
A5.00	SCALE: NOT TO SCALE

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Drawing Title
**BUILDING 1
RENDERING**

Scale
Project No. 18048.00
Date

Principal: BWR
Project Director:
Project Manager:
Drafted by: SB
Checked by: CM

Sheet No.
A5.00



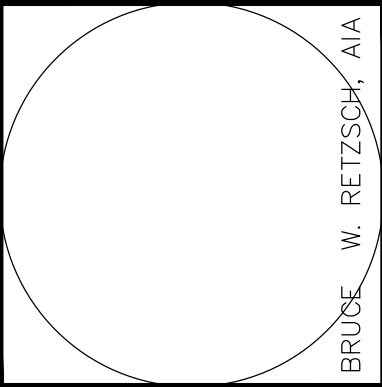
1 BUILDING 2 RENDERING														
A6.00	SCALE: NOT TO SCALE													

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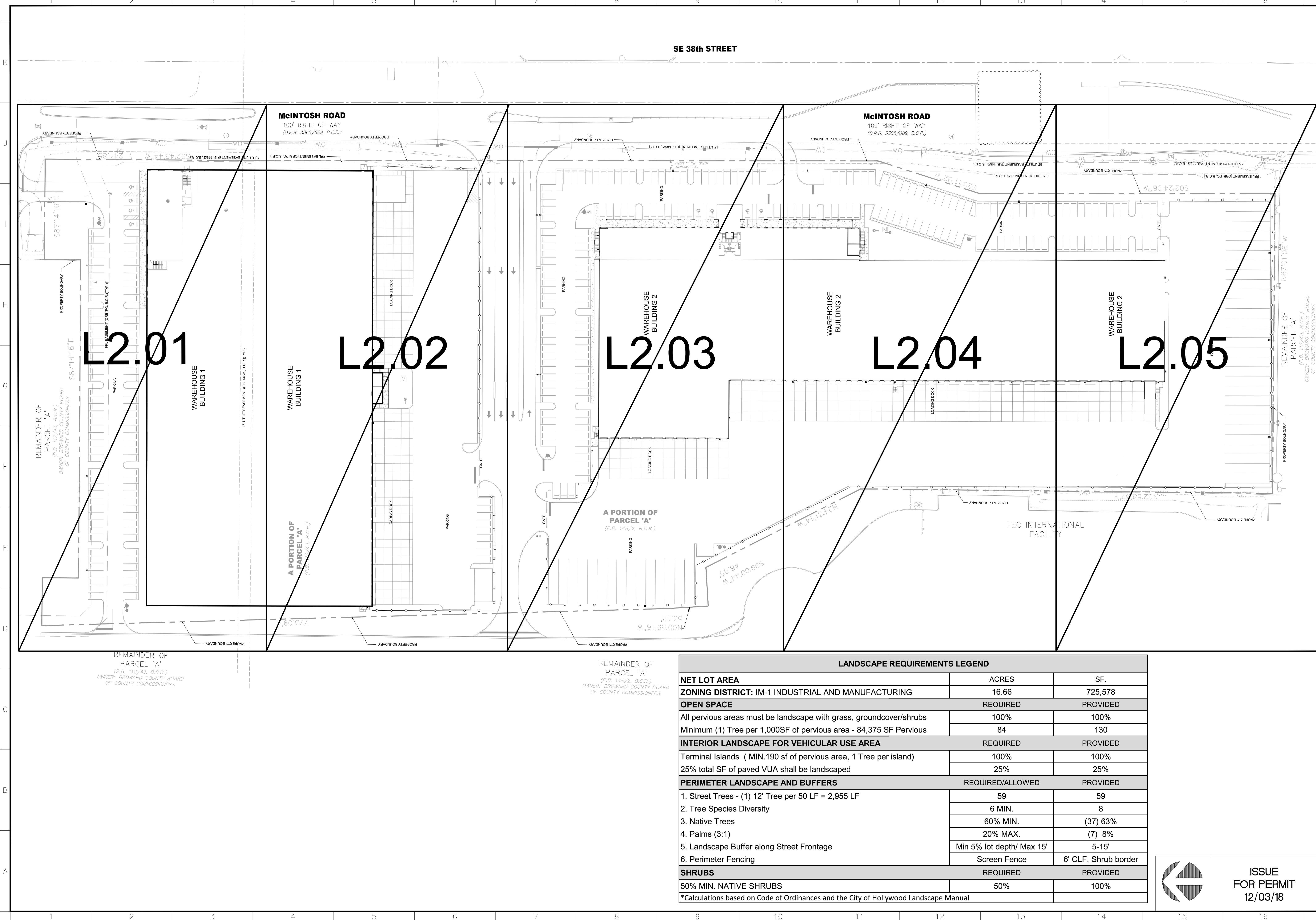
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CITY OF HOLLYWOOD, FLORIDA

REVISIONS	

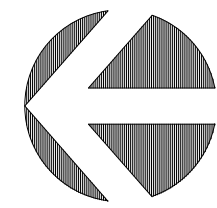
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BUILDING 2 RENDERING	
Scale	
Project No.	18048.00
Date	

Principal:	BWR
Project Director:	
Project Manager:	
Drafted by:	SB
Checked by:	CM

Sheet No.
A6.00



LANDSCAPE REQUIREMENTS LEGEND		
NET LOT AREA	ACRES	SF.
ZONING DISTRICT: IM-1 INDUSTRIAL AND MANUFACTURING	16.66	725,578
OPEN SPACE	REQUIRED	PROVIDED
All pervious areas must be landscape with grass, groundcover/shrubs	100%	100%
Minimum (1) Tree per 1,000SF of pervious area - 84,375 SF Pervious	84	130
INTERIOR LANDSCAPE FOR VEHICULAR USE AREA	REQUIRED	PROVIDED
Terminal Islands (MIN.190 sf of pervious area, 1 Tree per island)	100%	100%
25% total SF of paved VUA shall be landscaped	25%	25%
PERIMETER LANDSCAPE AND BUFFERS	REQUIRED/ALLOWED	PROVIDED
1. Street Trees - (1) 12' Tree per 50 LF = 2,955 LF	59	59
2. Tree Species Diversity	6 MIN.	8
3. Native Trees	60% MIN.	(37) 63%
4. Palms (3:1)	20% MAX.	(7) 8%
5. Landscape Buffer along Street Frontage	Min 5% lot depth/ Max 15'	5-15'
6. Perimeter Fencing	Screen Fence	6' CLF, Shrub border
SHRUBS	REQUIRED	PROVIDED
50% MIN. NATIVE SHRUBS	50%	100%
*Calculations based on Code of Ordinances and the City of Hollywood Landscape Manual		



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12/03/18

REVISIONS

Drawing Title

PLANTING PLAN
INDEX

Scale: 1" = 50'-0"

Project No. 118018

Date

Principal:

Project Director:

Project Manager:

Drafted by:

Checked by:

CD

CJS

SMC

CJS

CD

Sheet No.

L1.00

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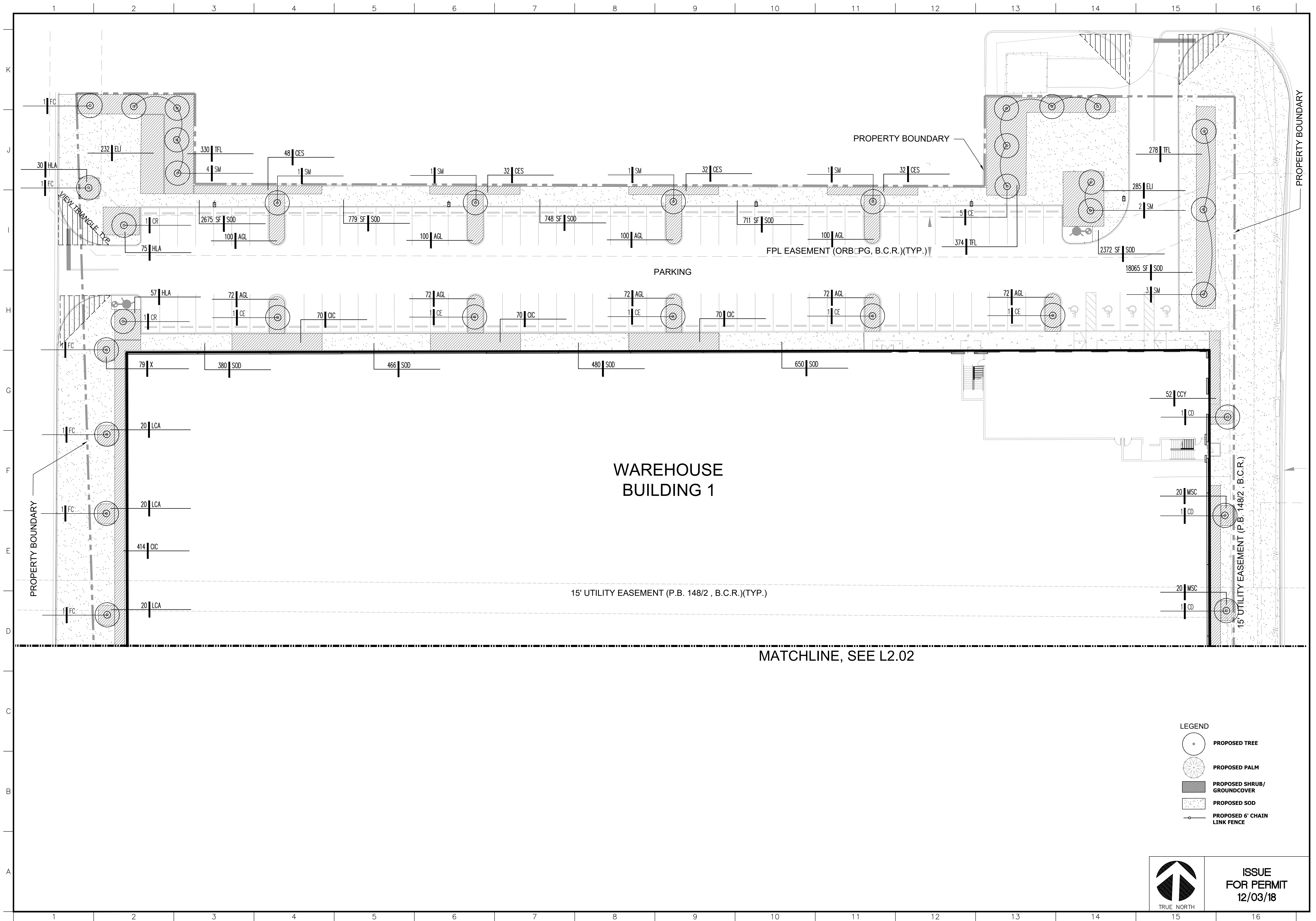
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DULAND
DESIGN

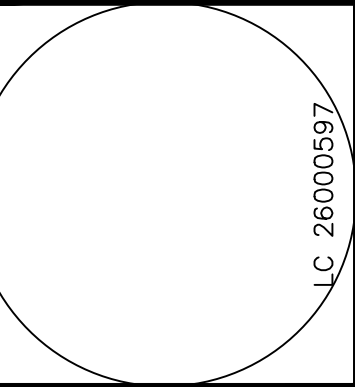
planners landscape architects

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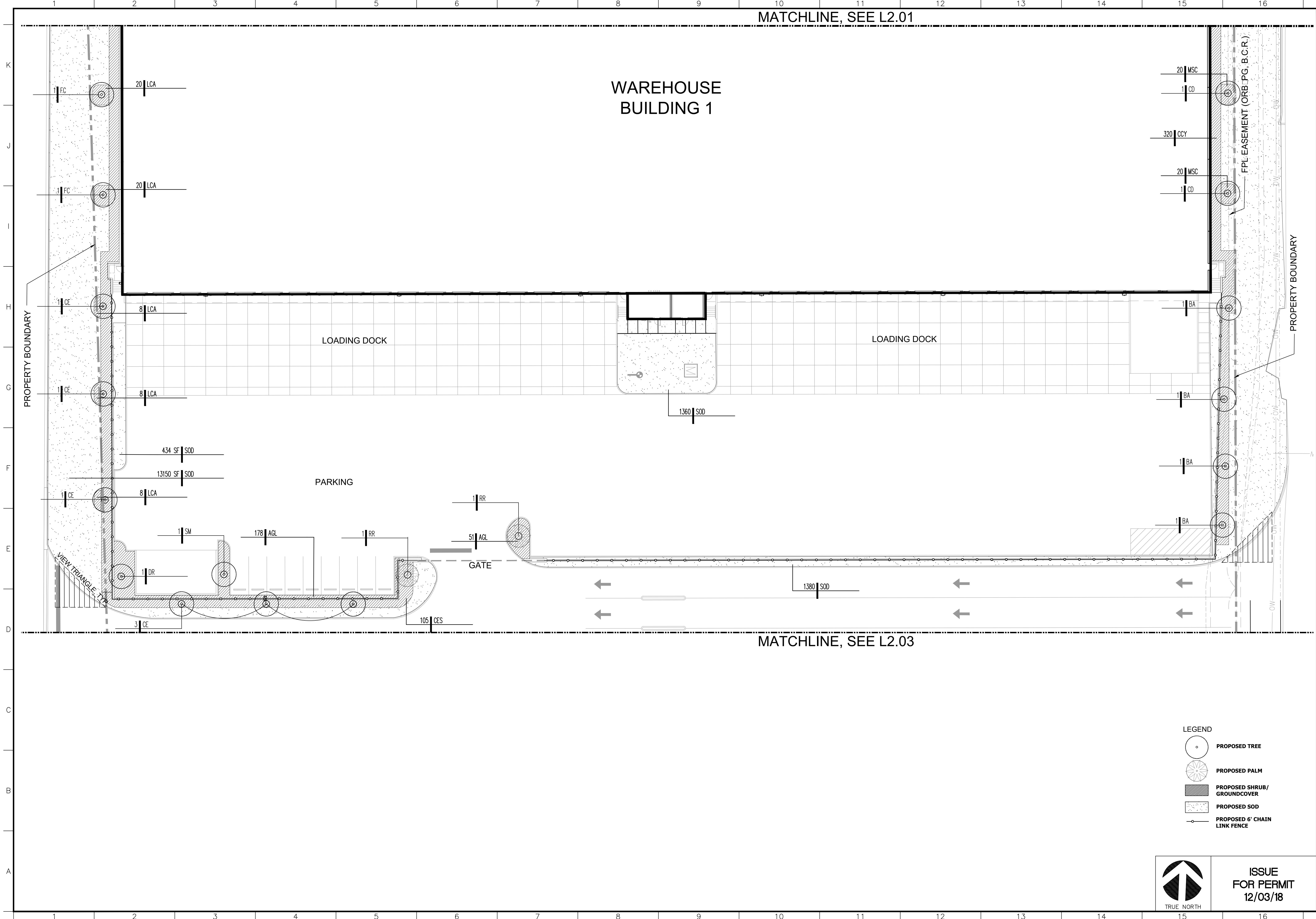
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REVISIONS

Drawing Title	
PLANTING PLAN	
Scale	1" = 20' - 0"
Project No.	118018
Date	
Principal: CD	
Project Director: CJS	
Project Manager: SMC	
Drafted by: CJS	
Checked by: CD	

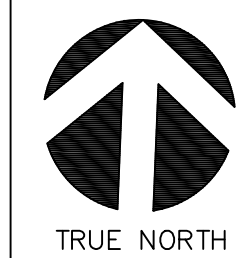
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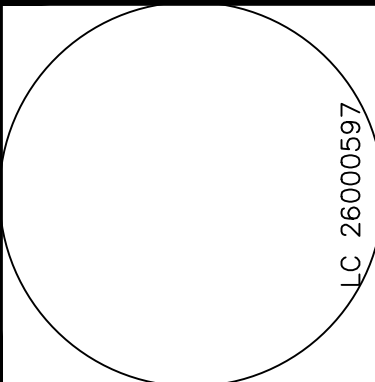
LEGEND

- PROPOSED TREE
- PROPOSED PALM
- PROPOSED SHRUB/ GROUND COVER
- PROPOSED SOD
- PROPOSED 6' CHAIN LINK FENCE



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12/03/18

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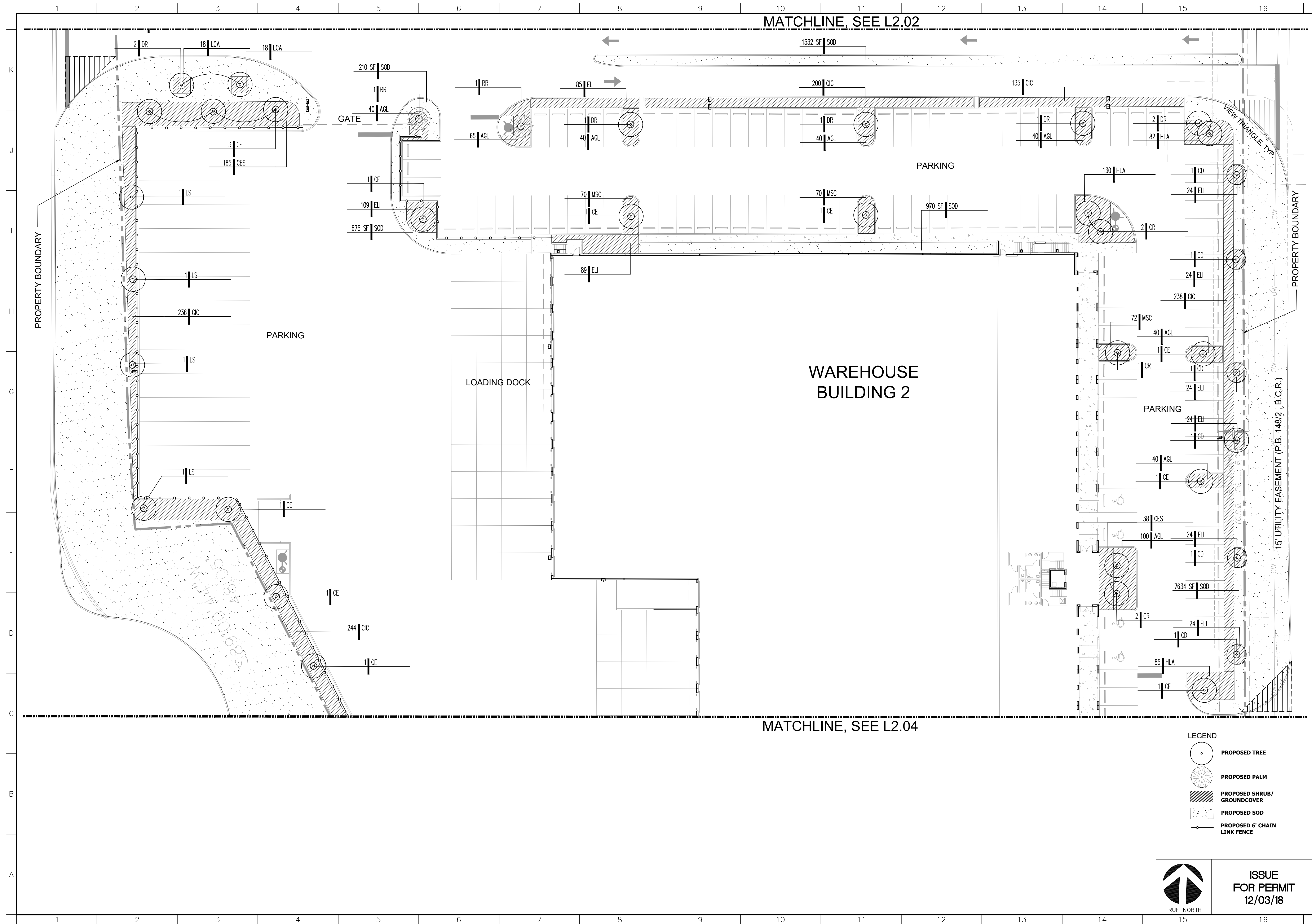


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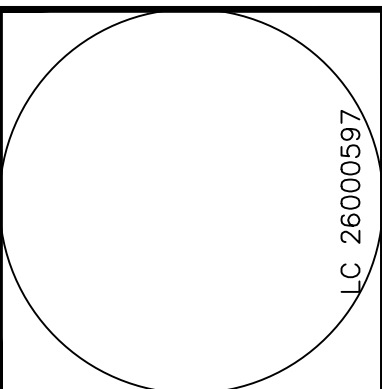
Drawing Title	PLANTING PLAN
Scale	1" = 20' - 0"
Project No.	118018
Date	
Principal:	CD
Project Director:	CJS
Project Manager:	SMC
Drafted by:	CJS
Checked by:	CD

Sheet No.
L2.02



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Drawing Title

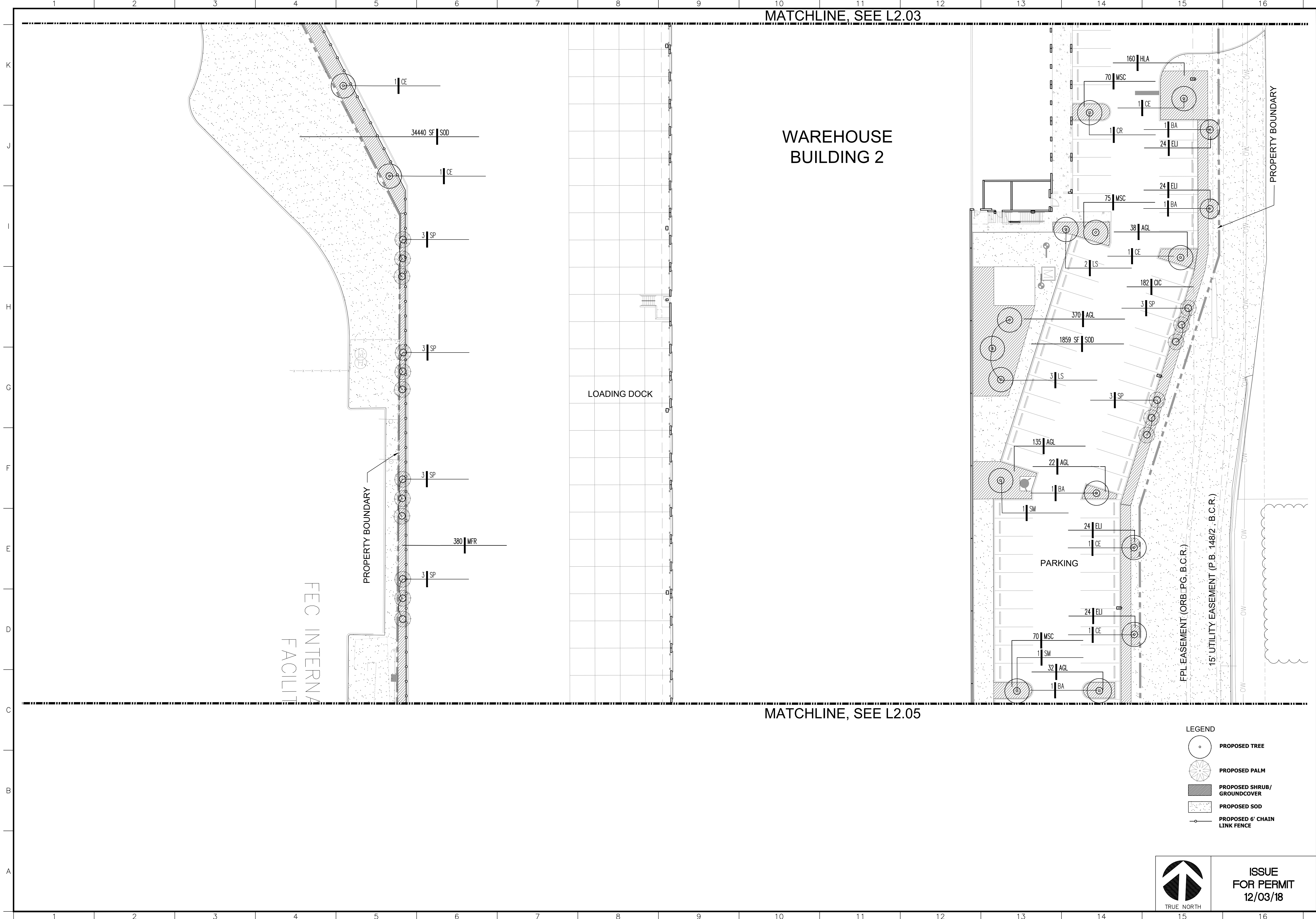
PLANTING PLAN

Scale 1" = 20' - 0"
Project No. 118018
Date

Principal:	CD
Project Director:	CJS
Project Manager:	SMC
Drafted by:	CJS
Checked by:	CD

Sheet No.

L2.03



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LC 26000597

DULAND DESIGN

planner landscape architect

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REVISIONS

Drawing Title

PLANTING PLAN

Scale 1" = 20' - 0"

Project No. 118018

Date

Principal: CD

Project Director: CJS

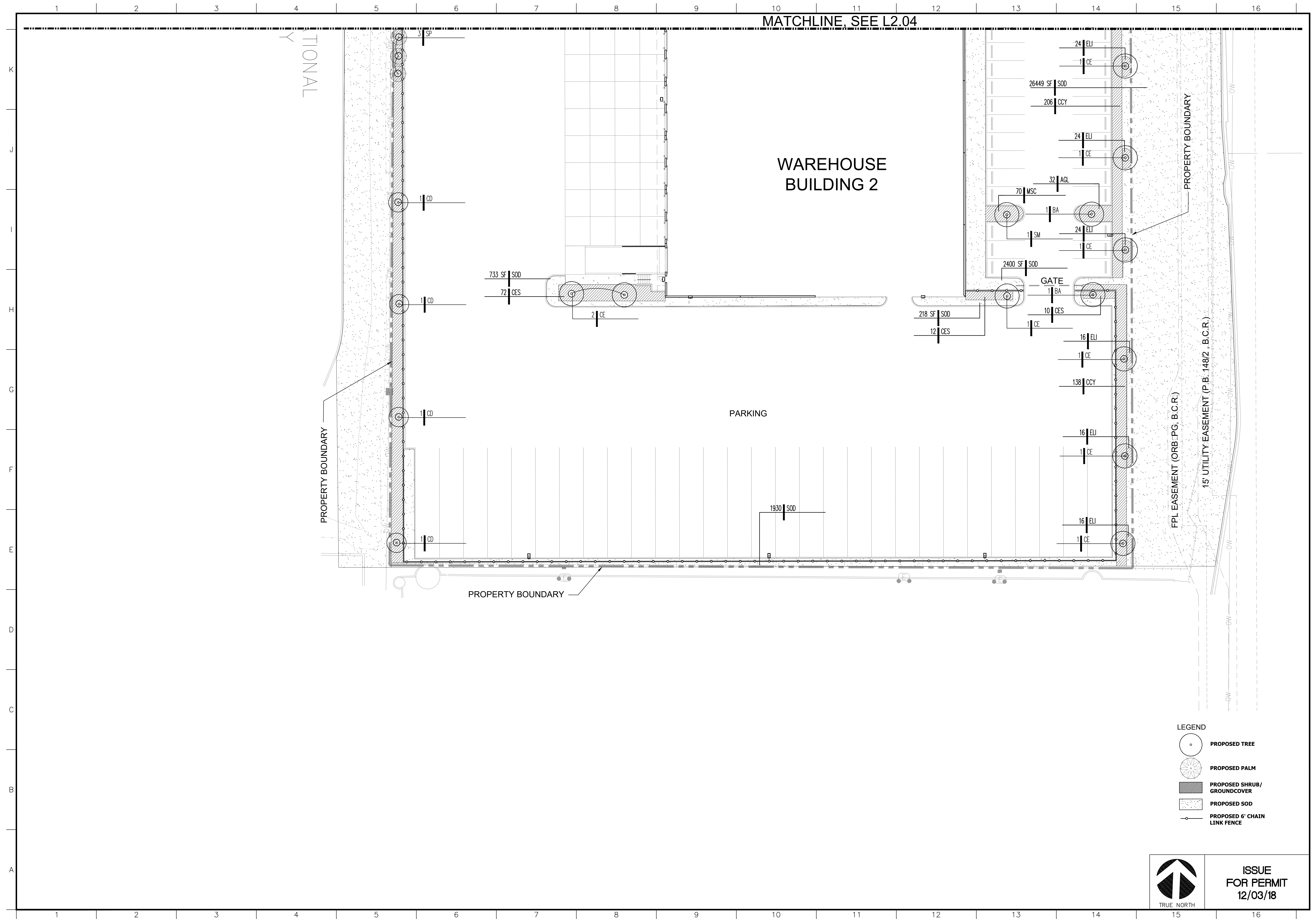
Project Manager: SMC

Drafted by: CJS

Checked by: CD

Sheet No.

L2.04



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**DULAND
DESIGN**
planners landscape architects

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Drawing Title

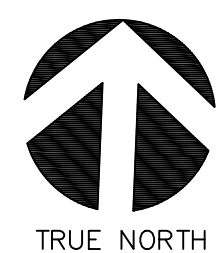
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Project No. 118018
Date

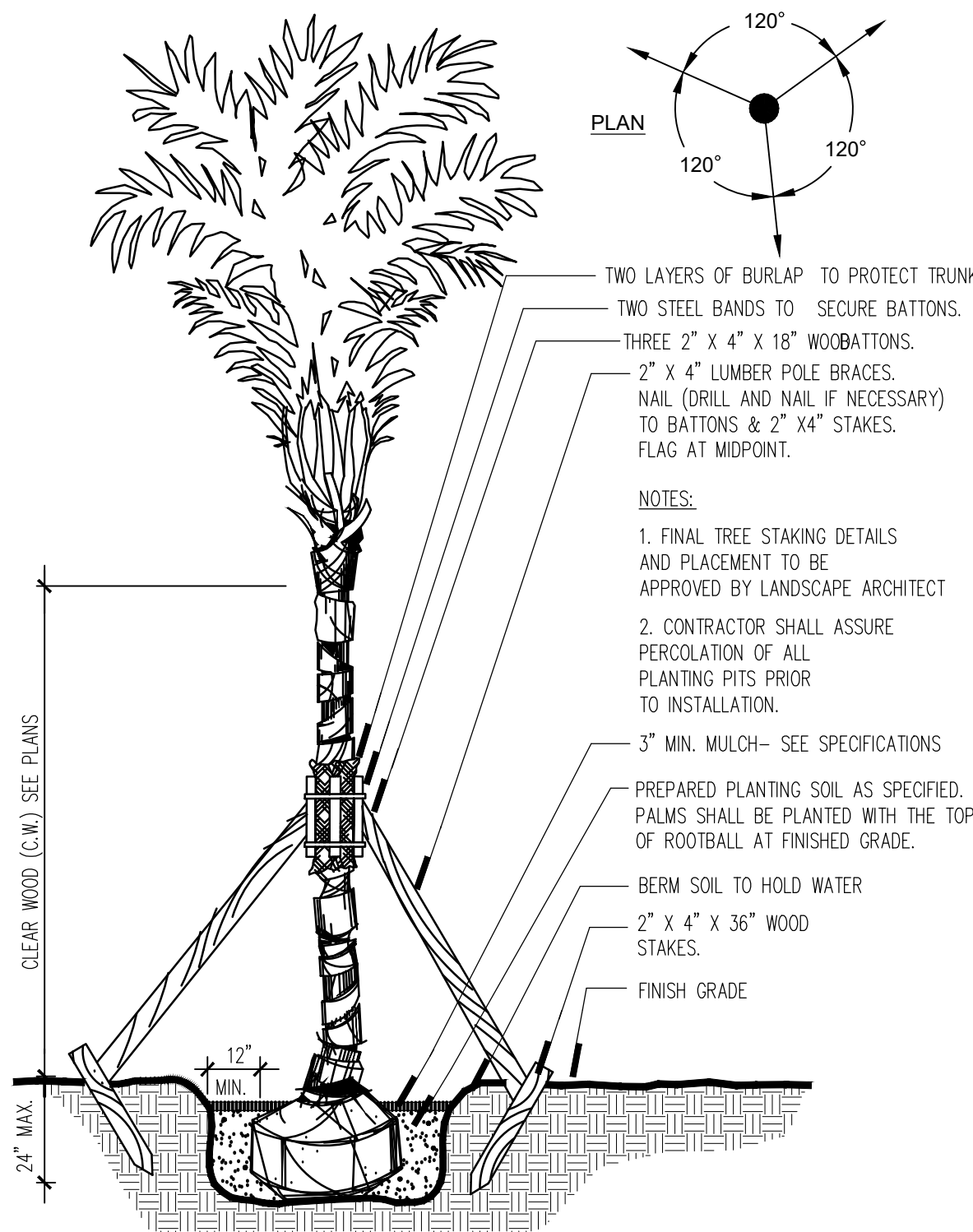
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Project Director:	CJS
Project Manager:	SMC
Drafted by:	CJS
Checked by:	CD

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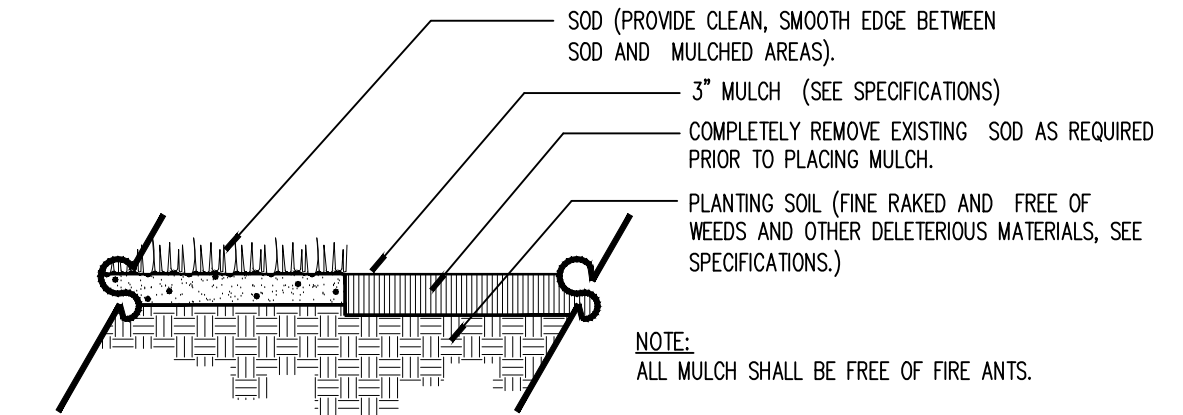
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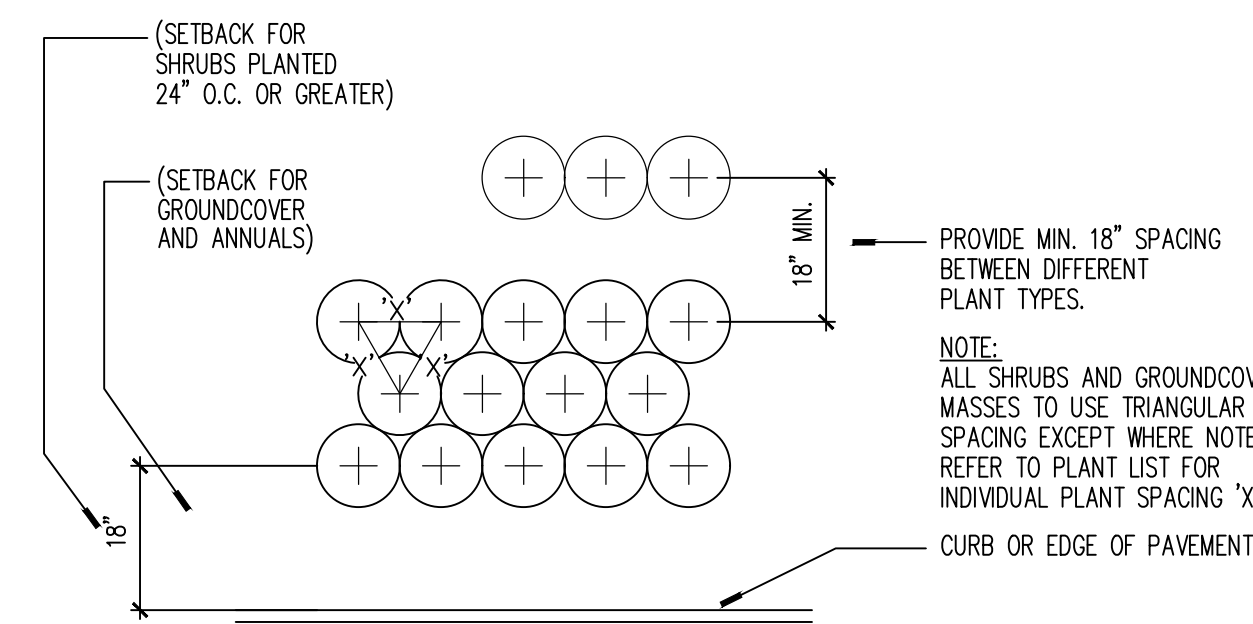
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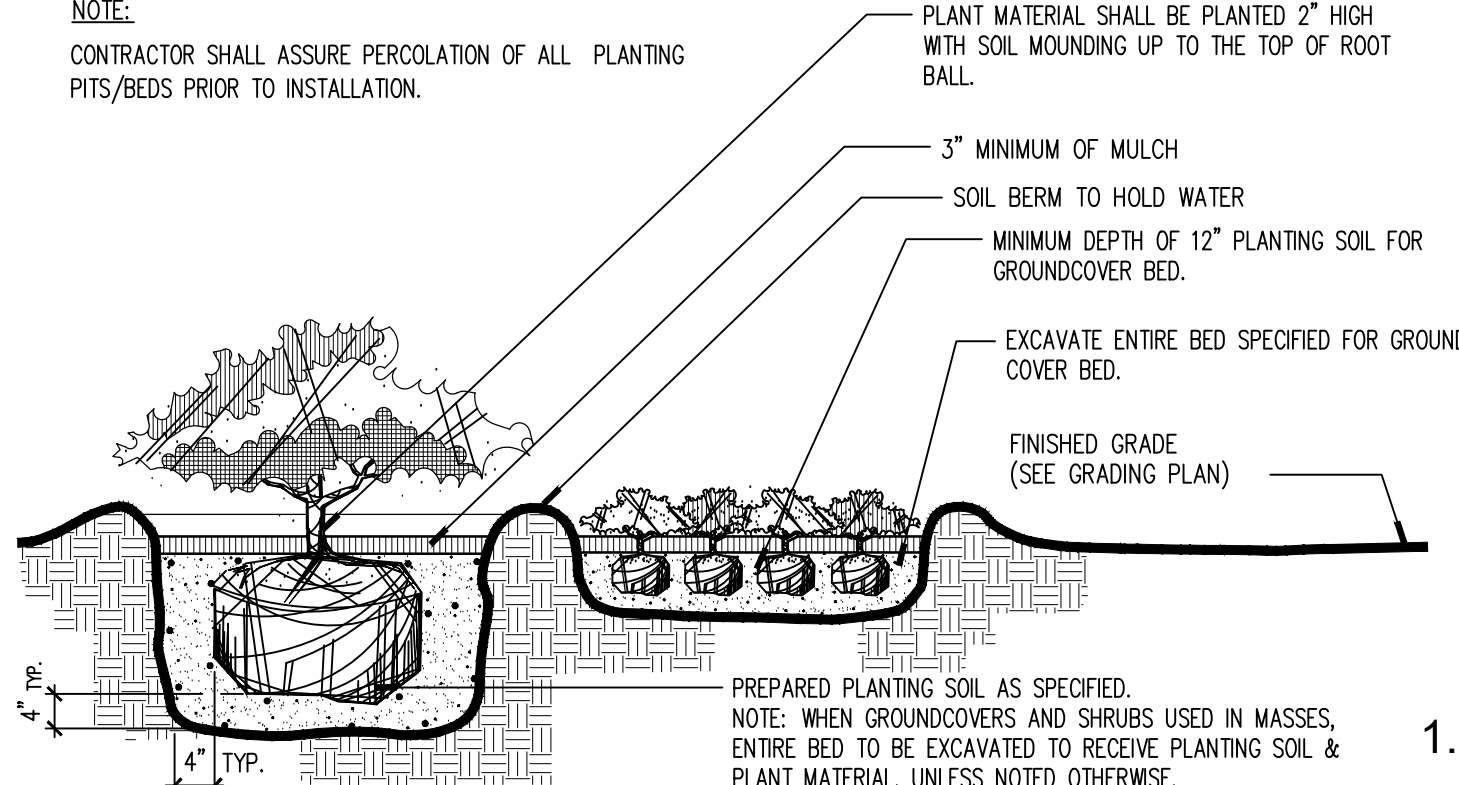
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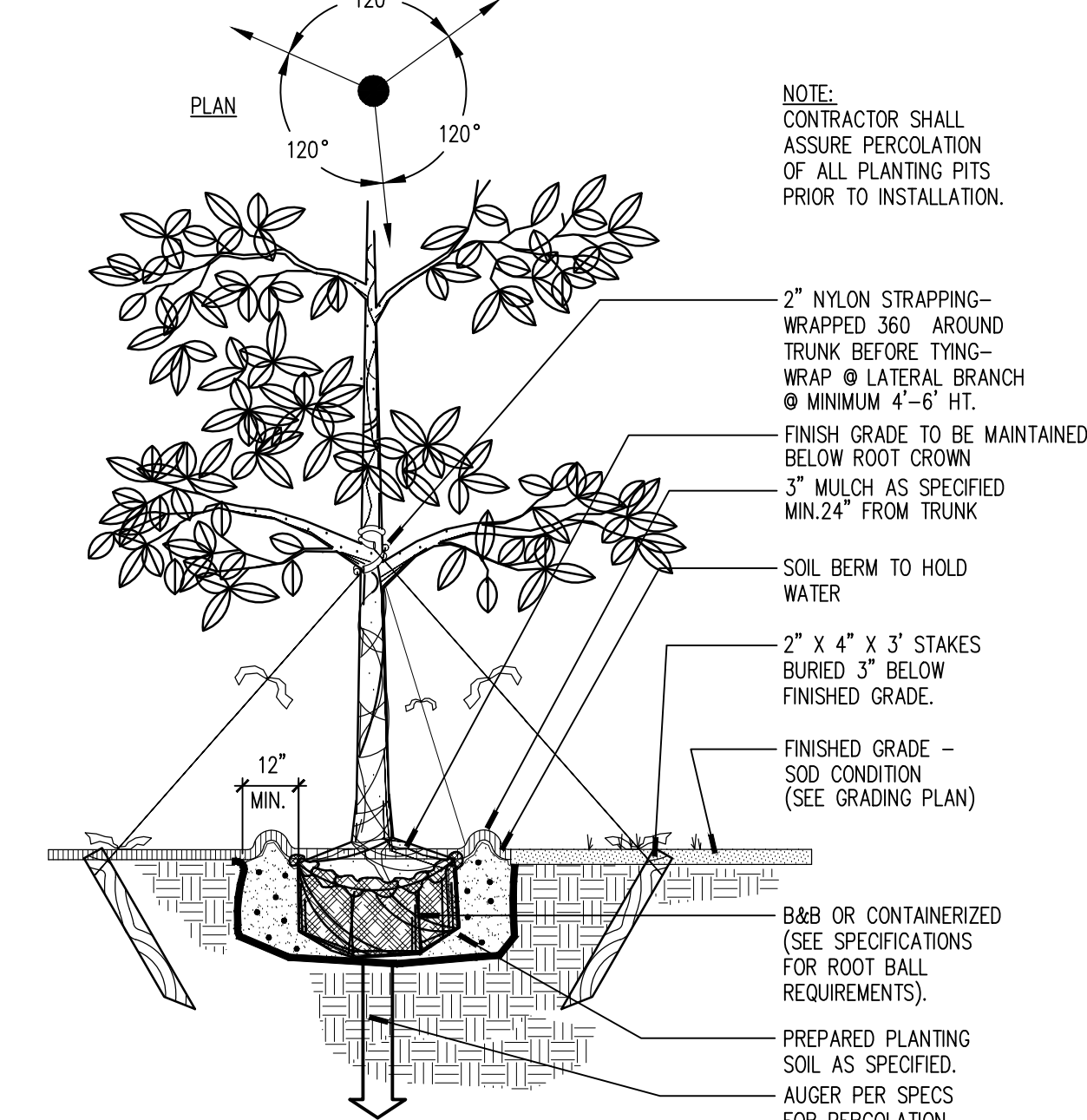
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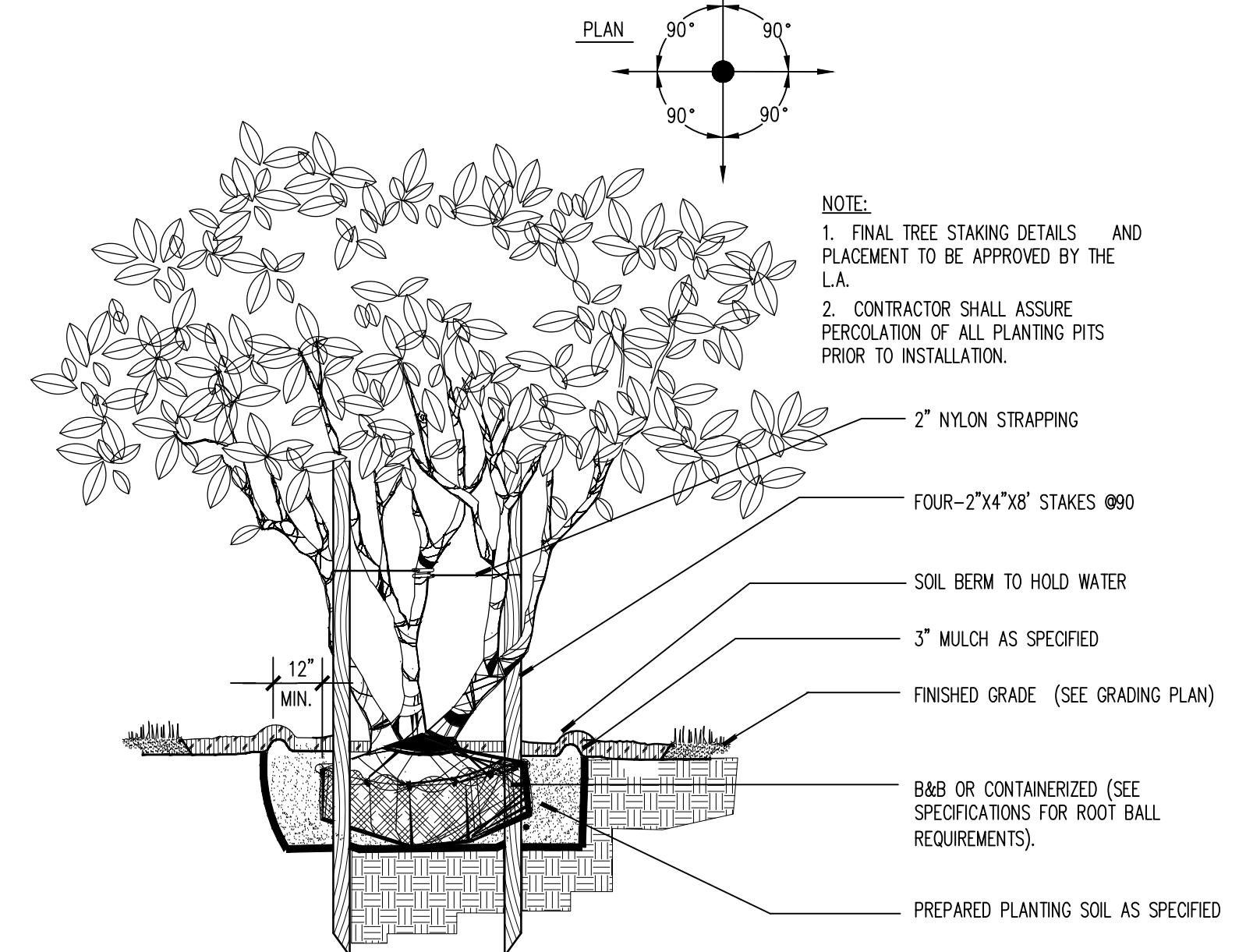
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3 SHRUB AND GROUNDCOVER SECTION
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SCALE: N.T.S.



4 SHADE TREE SECTION
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SCALE: N.T.S.



5 MULTI-TRUNK TREE SECTION
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SCALE: N.T.S.

PLANT LIST			
* Denotes Florida Native Species			
Plants installed pursuant to this Code shall conform to, or exceed, the minimum standards for Florida Number One as provided in the most current edition of "Grades and Standards for Nursery Plants, Part I and II," prepared by the State of Florida Department of Agriculture and Consumer Services.			
All landscape planting areas shall be irrigated by 100% coverage automatic sprinkler system designed and constructed in accordance with the City of Hollywood Code of Ordinances and the regulations set forth by the South Florida Water Management District			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES LARGE			
CE	* CONOCARPUS ERECTUS 'GREEN'	GREEN BUTTONWOOD	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
DR	DELONIX REGIA	ROYAL POINCIANA	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
FC	* FICUS CITRIFOLIA	SHORT LEAF FIG	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
SM	* SWIETENIA MAHAGONI	MAHOGANY	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
TREES MEDIUM			
CR	* CLUSIA ROSIA	AUTOGRAPH TREE	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
LS	LYSILOMA SABICU	HORSEFLESH MAHOGANY	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
TREES SMALL			
BA	BULNESIA ARBOREA	VERAWOOD	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
CD	* COCCOLOBA DIVERSIFOLIA	PIGEON PLUM	45 GALLON 12' PLANTED HT. X 5' SP., 2" CAL., SINGLE TRUNK
PALM			
SP	* SABAL PALMETTO	FLORIDA SABAL PALM	18-28' CT., HEAVY SLICK TRUNKS, HURRICANE CUT
RR	* ROYSTONEA REGIA	FLORIDA ROYAL PALM	8' GREYWOOD MIN., HEAVY CLEAN TRUNK
SHRUBS			
CCY	* CAPPARIS CYNOPHALLOPHORA	JAMAICAN CAPER	3 GALLON 24" PLANTED HT. MIN., FULL TO BASE, 30" O.C.
CES	* CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTONWOOD	3 GALLON 24" PLANTED HT. MIN., FULL TO BASE, 30" O.C.
CIC	* CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	3 GALLON 24" PLANTED HT. MIN., FULL TO BASE, 30" O.C.
MFR	* MYCIANTHES FRAGRANS	SIMPSON'S STOPPER	3 GALLON 24" PLANTED HT. MIN., FULL TO BASE, 30" O.C.
GROUNDCOVER			
AGL	ARACHIS GLABRATA	PERENNIAL PEANUT	1 GALLON 6" PLANTED HT. MIN., FULL TO BASE, 18" OC.
ELI	* ERNODEA LITTORALIS	GOLDEN BEACH CREEPER	1 GALLON 10" PLANTED HT. MIN., FULL TO BASE, 18" OC.
HLA	* HYMENOCALLIS LATIFOLIA	SPIDER LILY	1 GALLON 10" PLANTED HT. MIN., FULL TO BASE, 24" OC.
LCA	LANTANA CAMARA 'NEW GOLD'	LANTANA 'NEW GOLD'	1 GALLON, 12" HT. MIN., FULL CLUMP, 24" OC.
MSC	MICROSORUM SCOLOPENDRIUM	WART FERN	1 GALLON 6" PLANTED HT. MIN., FULL TO BASE, 18" OC.
TFL	* TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GALLON 24" PLANTED HT. MIN., HEAVY FULL
MISCELLANEOUS			
SOD	PASPALUM NOTATUM FLUGGE	BAHIAGRASS	STAGGERED PANELS
		RECYCLED MULCH	NO CYPRESS MULCH OR DYED MULCH

GENERAL NOTES

- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
- All recommended trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
- In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.
- All planting beds shall be excavated to a minimum depth of twenty-four (24") inches and backfilled with a suitable soil of 50% muck soil mix. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean and friable condition. The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturers specifications at the time of installation and prior completion of pit backfilling also in conjunction with note 15. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)- tablets for 3 gal container, three (3)- tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
- All planting areas not covered with trees, shrubs and groundcovers shall receive a 3" layer of recycled hardwood log mulch, which is to be watered-in after installation. Only non-cypress mulch shall be used.
- All plant material shall be thoroughly watered in at the time of planting. No dry material shall be permitted.
- All newly-planted landscape areas shall be irrigated by a fully automatic system adjusted to provide 100% coverage.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.

- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by Landscape Architect prior to planting.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
- All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
- There shall be no additions, deletions or substitutions without written approval of the Landscape Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of six (6) months from final acceptance by the Owner or Owner's representative.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
- All land-side landscape areas shall be irrigated from a non-potable water source and Irrigation shall have at least 50% overlap.
- Landscape areas to be maintained to edge of pavement in right-of-way.
- New Landscape areas within the right-of-way shall be hand-watered until established.

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DULAND DESIGN
plant landscape architect

PORT EVERGLADES
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CITY OF HOLLYWOOD, FLORIDA

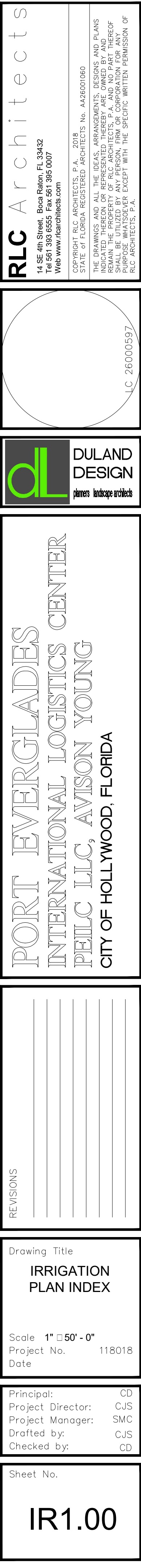
REVISIONS

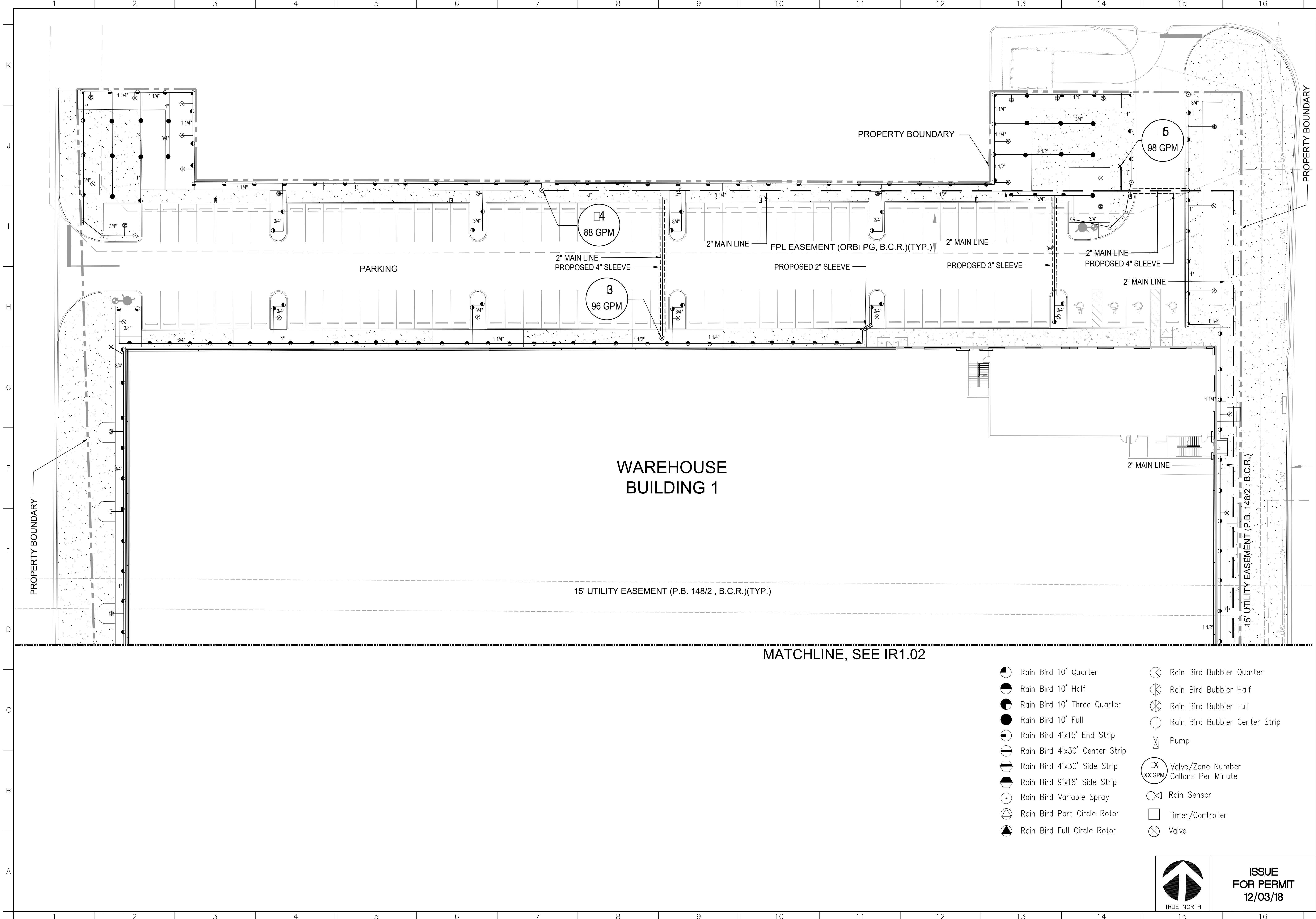
Drawing Title
PLANTING NOTES AND DETAILS

Scale 1" = 20' - 0"
Project No. 118018
Date

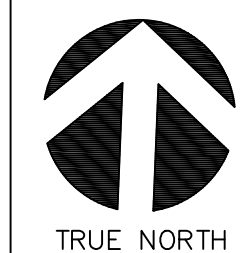
Principal: CD
Project Director: CJS
Project Manager: SMC
Drafted by: CJS
Checked by: CD

Sheet No.
L3.01





- | | |
|-------------------------------|--------------------------------|
| Rain Bird 10' Quarter | Rain Bird Bubbler Quarter |
| Rain Bird 10' Half | Rain Bird Bubbler Half |
| Rain Bird 10' Three Quarter | Rain Bird Bubbler Full |
| Rain Bird 10' Full | Rain Bird Bubbler Center Strip |
| Rain Bird 4'x15' End Strip | Pump |
| Rain Bird 4'x30' Center Strip | Valve |
| Rain Bird 4'x30' Side Strip | Rain Sensor |
| Rain Bird 9'x18' Side Strip | Timer/Controller |
| Rain Bird Variable Spray | Valve |
| Rain Bird Part Circle Rotor | |
| Rain Bird Full Circle Rotor | |



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DULAND DESIGN
landscape architecture

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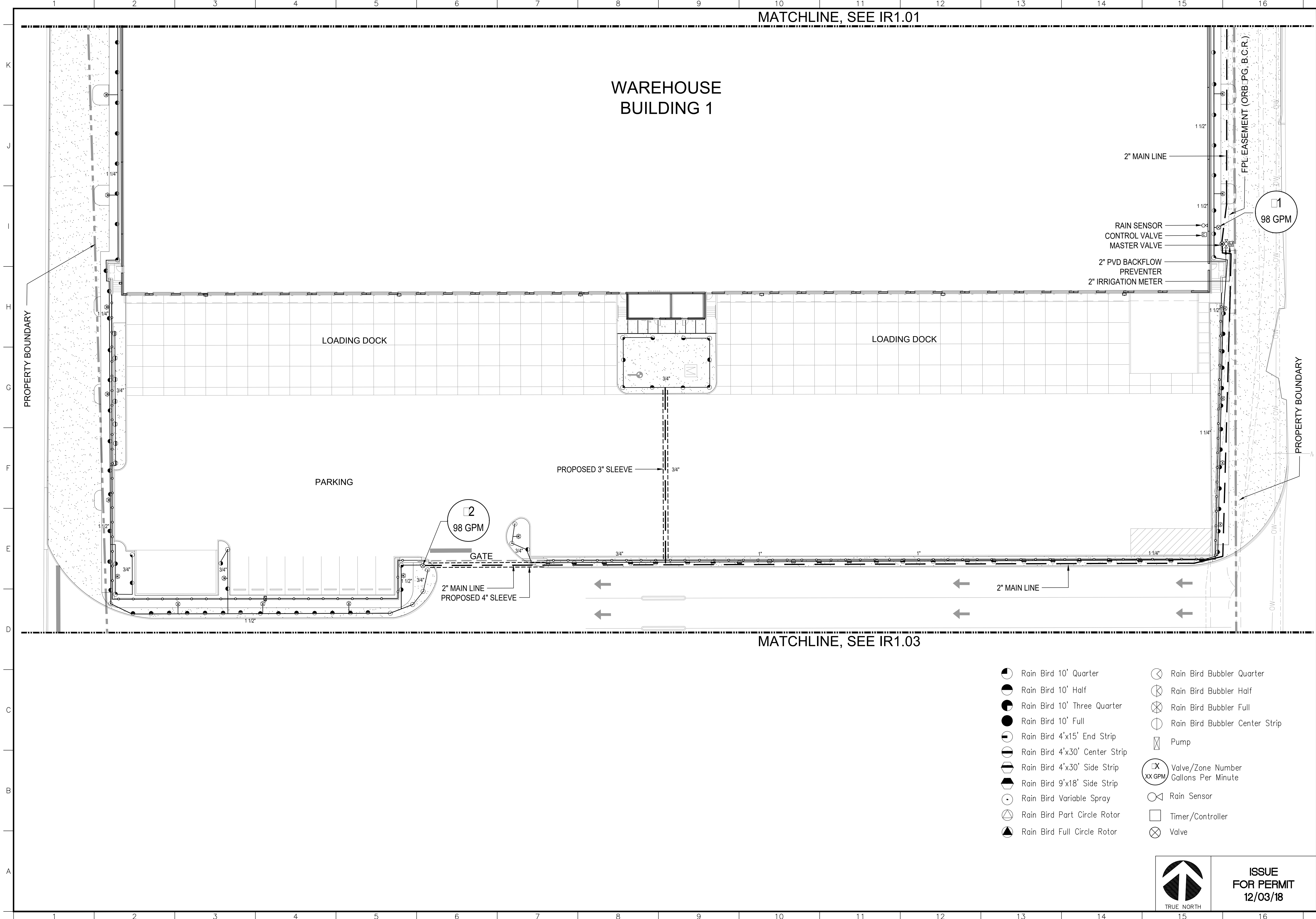
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Drawing Title
**IRRIGATION
PLAN**

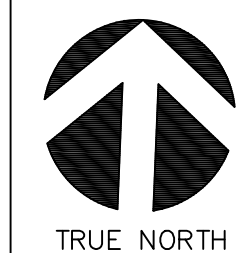
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IR1.01

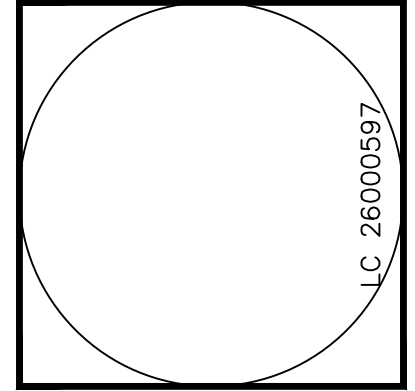


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| | Rain Bird 10' Half | | Rain Bird Bubbler Half |
| | Rain Bird 10' Three Quarter | | Rain Bird Bubbler Full |
| | Rain Bird 10' Full | | Rain Bird Bubbler Center Strip |
| | Rain Bird 4'x15' End Strip | | Pump |
| | Rain Bird 4'x30' Center Strip | | Valve/Zone Number
XX GPM Gallons Per Minute |
| | Rain Bird 4'x30' Side Strip | | Rain Sensor |
| | Rain Bird 9'x18' Side Strip | | Timer/Controller |
| | Rain Bird Variable Spray | | Valve |
| | Rain Bird Part Circle Rotor | | |
| | Rain Bird Full Circle Rotor | | |



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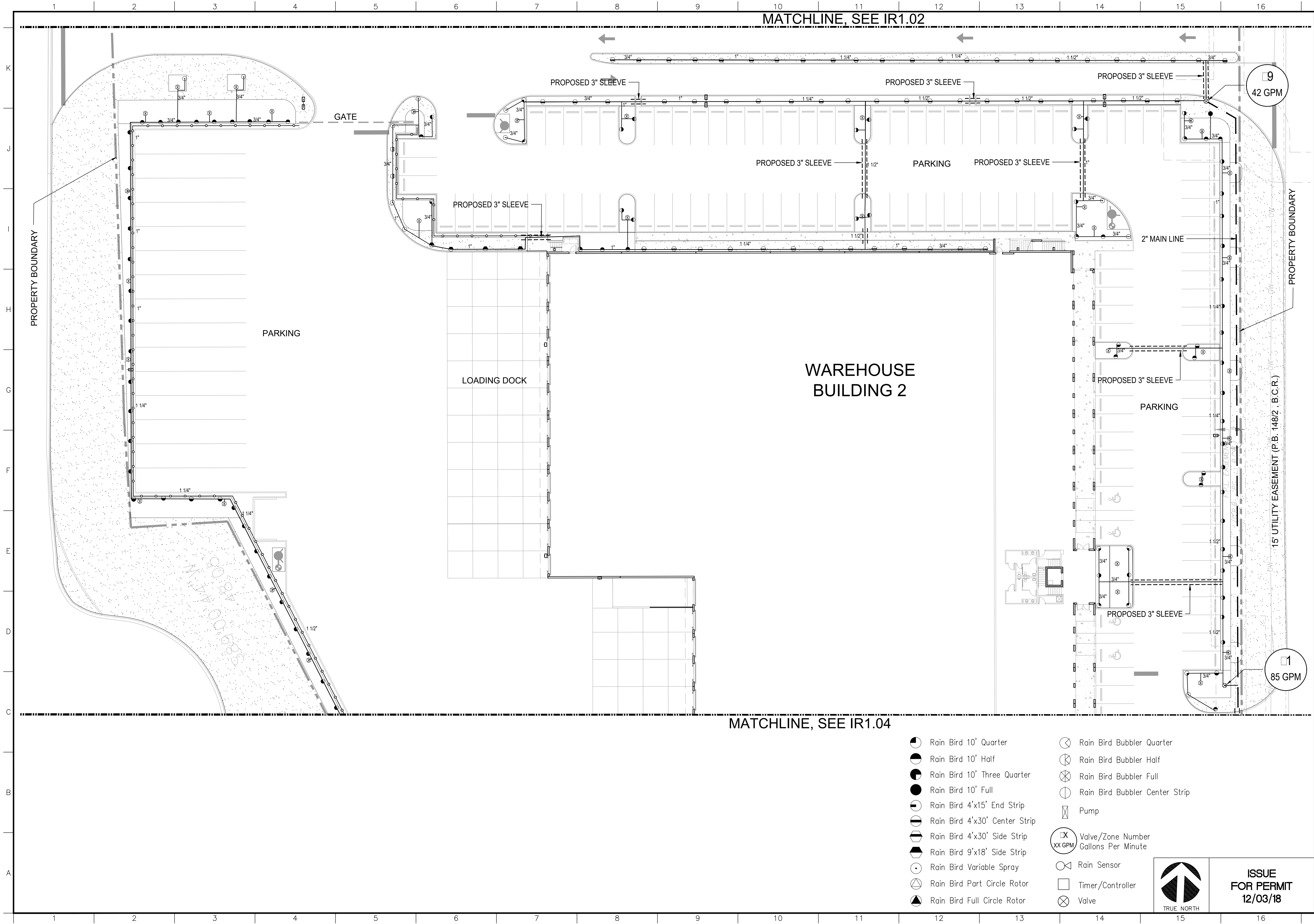
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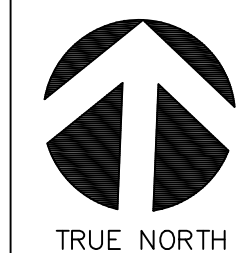
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Project Manager: SMC
Drafted by: CJS
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Sheet No.
IR1.02



- | | |
|-------------------------------|--------------------------------|
| Rain Bird 10' Quarter | Rain Bird Bubbler Quarter |
| Rain Bird 10' Half | Rain Bird Bubbler Half |
| Rain Bird 10' Three Quarter | Rain Bird Bubbler Full |
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**DULAND
DESIGN**
landscape architects

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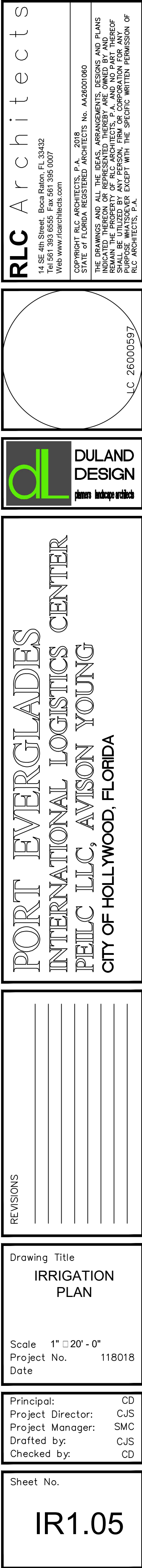
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IR1.03



IRRIGATION NOTES & SPECIFICATIONS

1.0 GENERAL IRRIGATION NOTES

- 1.1 SUMMARY: Includes but not limited to;
- A. Furnishing and installing sprinkler system as described in Construction Documents complete with accessories necessary for proper functioning.

1.2 SYSTEM DESCRIPTION:

- A. Design Requirements
1. Layout of Irrigation Heads
- a. Location of heads shown in the drawing is approximate. Actual placement may vary as is required to achieve full even coverage without spraying on to buildings, sidewalks, fences, etc.
- b. During layout consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.

1.3 QUALITY ASSURANCE:

- A. Regulatory Requirements:
1. Work and materials shall be in accordance with latest rules and regulations and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
- B. Pre-Installation Conference:
1. Meet with Owner and Landscape Architect to discuss and clarify all aspects of job requirements prior to commencing work of this Section.
- C. System Adjustments:
1. Minor adjustments in the system will be permitted to avoid fixed obstructions.

1.4 SUBMITTALS:

- A. Record Drawings
1. Prepare an accurate as built-drawing as instillation proceeds to be submitted prior to final inspection. Drawings shall include:
- a. Detail and dimension changes made during construction
- b. Significant details and dimensions not shown in original Bidding Documents.
2. Maintain, at job site, one copy of Contract Documents (as defined in General Conditions) and relevant shop drawings.
3. Clearly mark each document "PROJECT RECORD COPY" and maintain in good condition for use of the Landscape Architect and Owner.
4. As-built drawing shall be clearly drawn on reproducible mylar.
5. Submit product literature for all sprinklers, valves, pipe, wire, wire connectors and controller.
6. Final payment for system will not be authorized until accurate and complete submittals are delivered to the Landscape Architect.
- B. Instruction manual:
1. Provide instruction manual which lists complete instructions for system operation and maintenance.

1.5 PRODUCT STORAGE

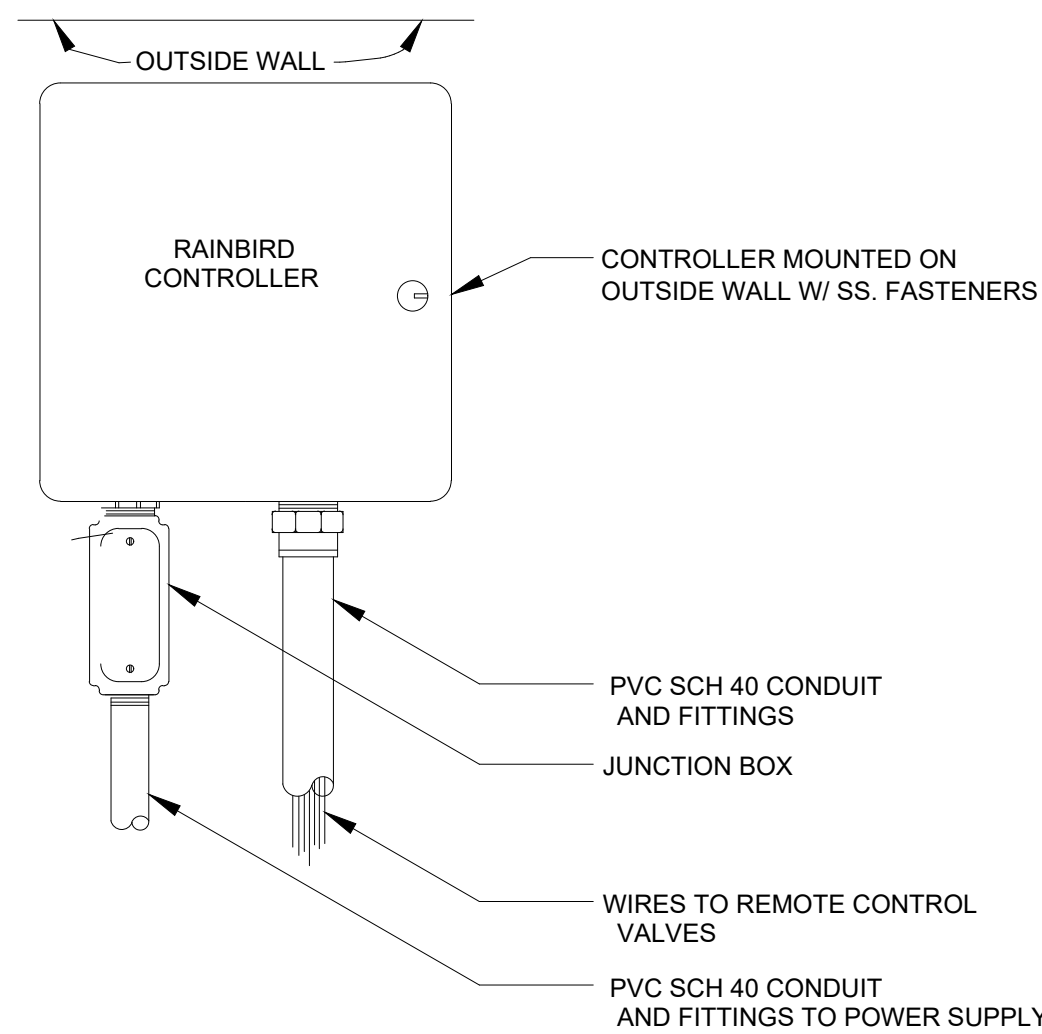
- A. During construction and storage, protect materials from damage and prolonged exposure to sunlight.

1.6 WARRANTY

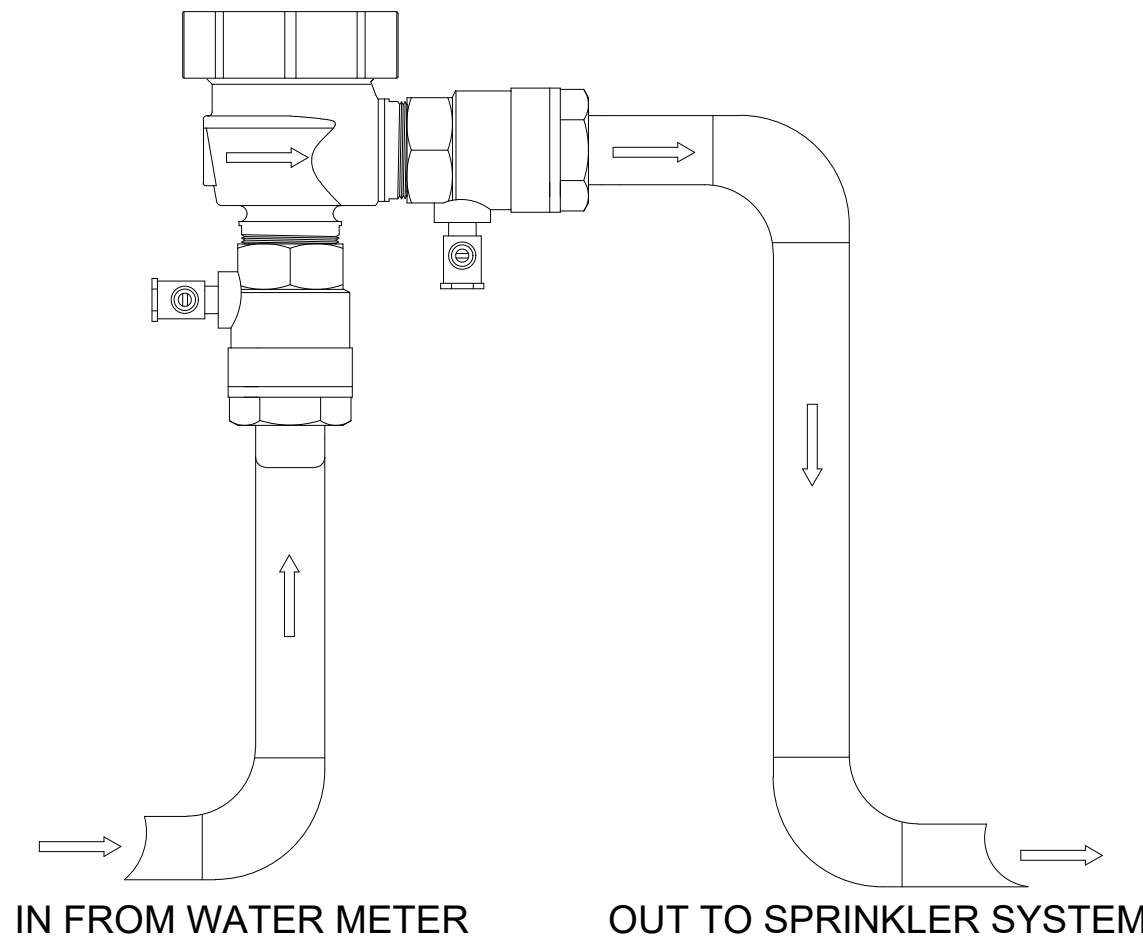
- A. Standard one (1) year warranty stipulated in General Conditions shall include:
1. Completed System including parts and labor.
2. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches for one (1) year following final acceptance.
3. System adjustment to supply proper coverage to areas to receive water.

1.7 MAINTENANCE

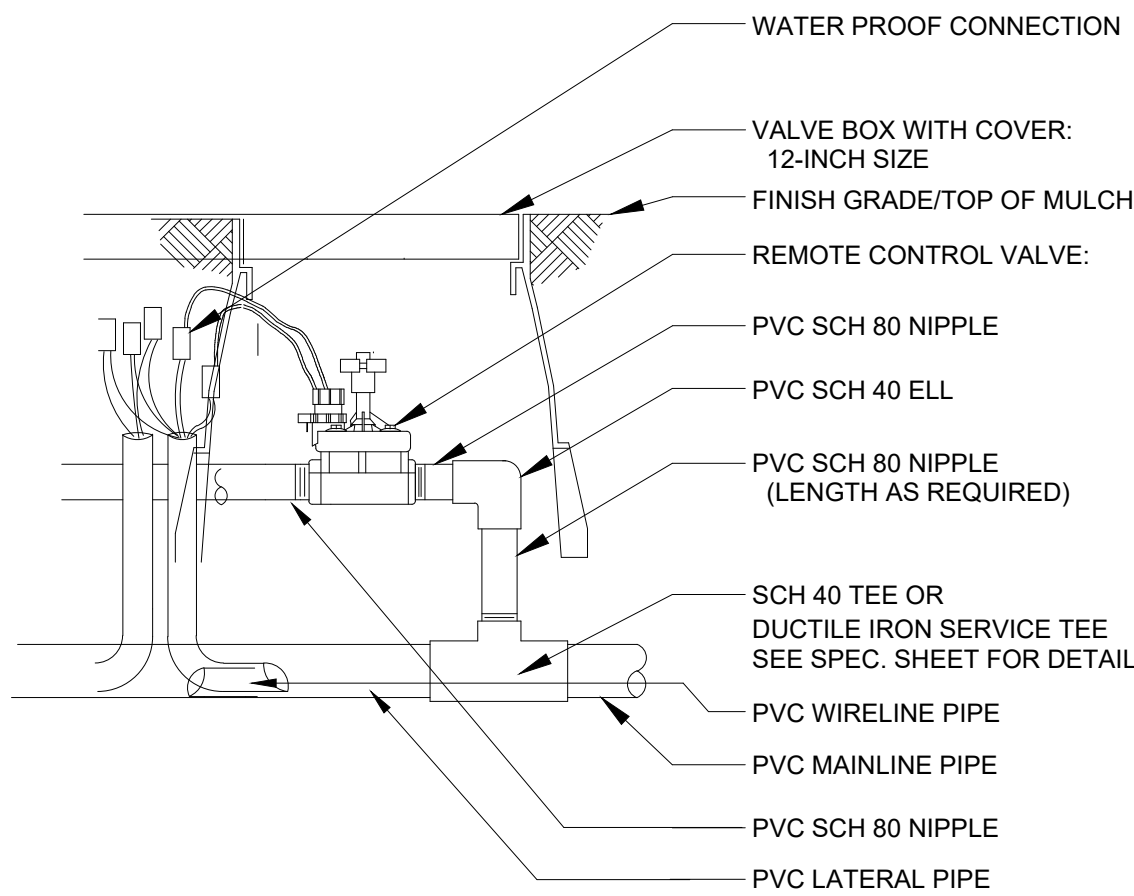
- A. Extra Materials:
1. In addition to installed system, furnish Owner with the following items at close-out:
- a. Two sprinkler head bodies of each size and type.
- b. Two nozzles for each size and type.
- c. Two adjusting keys for each sprinkler head cover type.



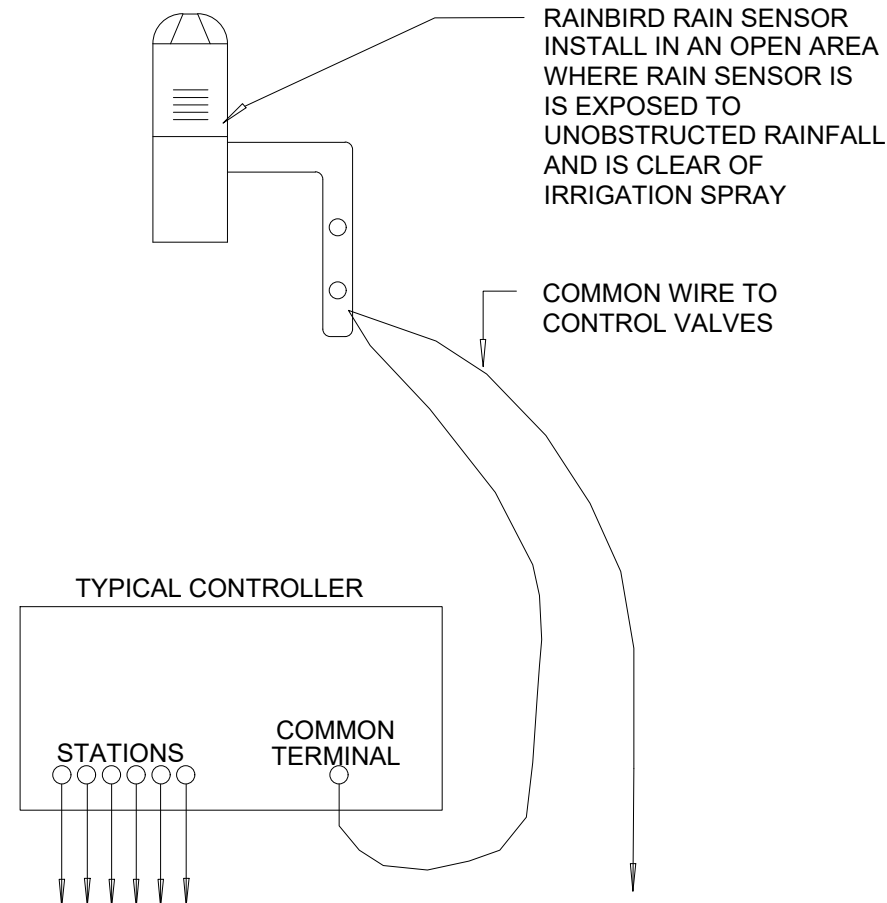
CONTROLLER



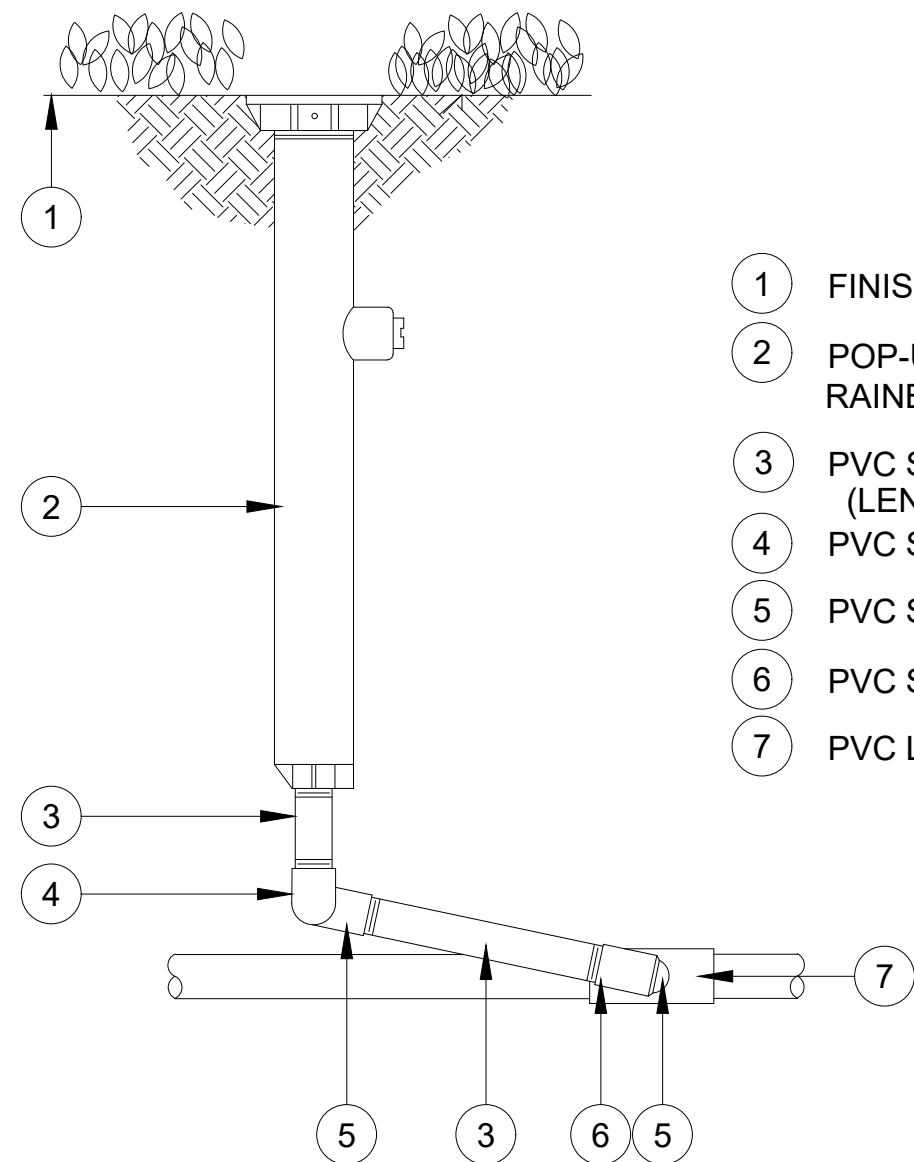
BACKFLOW PREVENTER



ICV VALVE



AUTOMATIC RAIN SENSOR



SPRAY HEAD

- ① FINISH GRADE/TOP OF MULCH
- ② POP-UP SPRAY SPRINKLER: RAINBIRD MANUFACTURE
- ③ PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- ④ PVC SCH 40 ELL
- ⑤ PVC SCH 40 STREET ELL
- ⑥ PVC SCH 40 TEE OR ELL
- ⑦ PVC LATERAL PIPE

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2.0 PRODUCTS

2.1 PIPE, PIPE FITTINGS AND CONNECTIONS

- A. Pipes shall be continuously and permanently marked with the Manufacturers name, size, schedule, type and working pressure.
- B. Pipe:
1. Pressure Lines: as indicated on plans.
2. Lateral Lines: as indicated on plans.
3. Risers: schedule. 80 PVC, gray.
- C. Fittings:
1. Schedule 40 PVC
- D. Sleeving:
1. Schedule 40 PVC

2.2 SPRINKLER HEADS:

- A. Conform to requirements shown on Drawings as to type, radius of throw, pressure and discharge.

2.3 AUTOMATIC SPRINKLER SYSTEM

- A. Control valves shall be the size and type indicated on Drawings.
- B. Control wire shall be UL listed, color coded copper conductor direct burial size 14. Tape control wire to the bottom of main line every ten feet. Where control wire leaves main it shall be enclosed in Class 200 PVC conduit. Use 3-M DBY waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common wire may serve only one controller.
- C. Add one extra control wire from panel to valves for use if a wire fails and mark it in the control box as an extra wire. This wire shall be a different color than the others.

2.4 VALVES

- A. Electric Valves:
1. Make and model shown on the Drawings.
- B. Gate Valves:
1. Bronze construction, angle type, 150 pound class, threaded connections, with cross-type operating handle designed to receive operating key.
- C. Automatic Controller:
1. Make and model shown on Drawings.
- D. Backflow Preventer
1. Make and model shown on Drawings

2.5 VALVE ACCESSORIES:

- A. Valve boxes:
1. Ametek or Brooks rectangular heavy-duty valve box with locking lid or Landscape Architect approved equal.
2. Do not install more than one (1) valve in a single box.
3. Valve boxes shall be large enough for easy removal or maintenance of valves.

3.0 EXECUTION

3.1 PREPARATION

- A. Protection
1. Work of others damaged by this Section during course of its work shall be replaced or repaired by original installer at this Section's expense.

3.2 INSTALLATION

- A. Trenching and Backfilling:
1. Over-excavate trenches by two (2") inches and bring back to indicated depth by filling with fine, rock-free, soil or sand.
2. Cover pipe both top and sides with two (2") inches of material specified in the paragraph above. In no case shall there be less than two (2") inches of rock-free soil or sand surrounding the pipe.
3. Do not cover pressure main, sprinkler pipe or fittings until the Landscape Architect has inspected and approved the system.

B. Installation of Plastic Pipe:

1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by Manufacturer.
2. Unless otherwise indicted on Drawings, install main lines with a minimum cover of twelve (12") inches based on finish grade.
3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of eighteen (18") inches below finish grade or as shown on drawings.
4. Locate no sprinkler head closer than twelve (12") inches from building foundation. Heads immediately adjacent to mowing strips, walks or curbs shall be one (1") inch below top of mowing strip, walk or curb and have a minimum of one (1") inch clearance between head and mowing strip, walk or curb.
5. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain approval of Landscape Architect prior to proceeding with work.
6. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will result.
7. Make solvent weld joints in the following manner:
- a. Clean mating pipe and fitting with a clean, dry cloth and apply one (1) coat of P-70 primer to each.
- b. Apply a uniform coat of 711 solvent to outside of pipe.
- c. Apply solvent to fitting in a similar manner.
- d. Reapply a light coat of solvent to pipe and quickly insert fitting.
- e. Give pipe or fitting a quarter turn to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting socket.
- f. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.
- g. Wipe off solvent appearing on outer shoulder of fitting.
- h. Do not use an excessive amount of solvent thereby causing an obstruction to form on the inside of the pipe.
- i. Allow joints to set for at least 24 hours before applying pressure to PVC pipe.
8. Tape threaded connection with teflon tape.
9. Install concrete thrust blocks wherever change of direction occurs in a PVC main pressure line unless otherwise detailed on Drawings.
- C. Control Valves and Controller:
1. Install controller, control wires and valves in accordance with Manufacturers recommendations and according to applicable electrical code.
2. Install valves in plastic boxes with reinforced heavy-duty plastic covers. Locate valve box tops at finish grade.
3. Install remote control valves in valve boxes positioned over valve so that all parts can be reached for service. Set cover of valve box even with finish grade.
4. Install all valve boxes over nine (9") inches of gravel for drainage.
- D. Sprinkler Heads:
1. Prior to instillation of sprinkler heads, open control valves and use full head of water to flush out the system.
2. Set sprinkler heads perpendicular to finish grade.
3. Set lawn sprinkler heads adjacent to existing walks, curbs and other paved areas to grade.

3.3 FIELD QUALITY CONTROL:

- A. Flushing and Testing:
1. Test pressure lines at at minimum sustained pressure of 100 psi for four (4) hours. Notify Landscape Architect 24 hours prior to test. Do not backfill lines until approved by Landscape Architect.

3.4 ADJUSTMENT AND CLEANING:

- A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or raising of heads shall be part of the original contract with no additional charge to the Owner.
- B. Adjust sprinkler heads for proper distribution and trim to ensure spray does not fall on building.
- C. Adjust watering time of valves to provide proper amounts of water to all plants

3.5 DEMONSTRATION

- A. After system is installed and approved, instruct Owners Representative in complete operation and maintenance.

FLORIDA BUILDING CODE- APPENDIX F PIPE INSTALLATION-DEPTH OF COVER	
VEHICLE TRAFFIC AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 2 1/2"	18" TO 24"
3" TO 5"	24" TO 30"
6" OR GREATER	30 TO 36"
NON-TRAFFIC AND NON-CULTIVATED AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/4"	6" TO 12"
1 1/2" TO 2"	12" TO 18"
2 1/2" TO 3"	18" TO 24"
4" OR LARGER	24" TO 36"

FLORIDA BUILDING CODE- APPENDIX F PART V- A-6	
WATER PIPE SIZE	SLEEVE SIZE
3/4"	1 1/2"
1"	2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
3"	6"
4"	8"
SLEEVES TO EXTEND A MIN. 3' BEYOND ALL PAVED AREAS, BACKFILL AND COMPACTION PER APPENDIX F	

MATERIALS

- Irrigation Controller Rain Bird ESP LX-ME Modular
- Master valve: 2" Rain Bird PEB Series to be buried in 10" round valve box
- 2" Pressure Vacuum Breaker valve PVB Backflow Device
- Nine 1 1/2" Electric Rain Bird valves PEB Series to be buried in 10" round valve boxes
- Rain Bird rain sensor RSD series
- All zone pipes to be PVC Schedule 160, mainline to be Schedule 40 and all sleeves to be Schedule 40
- Zone wires to be 14 gauge irrigation direct burial wire
- Sprinkler heads to be 4",6" or 12" Rain Bird 1800 mist pop-up. Rain Bird mist shrub adapter to be used in shrubs. Rain Bird 5004 Rotor sprinklers to be used in large field areas. All heads are to be connected with flexible swing pipe.

WATER SOURCE

- 2" Irrigation meter

INSTALLATION

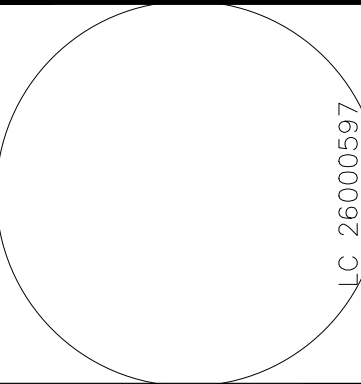
- Zone pipes to be covered with 6"-12" of clean fill
- Four zone system- see plan for GPM

NOTES

- Any irrigation materials shown outside the property line on this plan are shown that way for graphic clarity only. All parts to be installed within the limits of the property and landscaped areas.
- All materials will be installed according the the latest building codes set forth by the local building departments and the Florida Building Department.

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