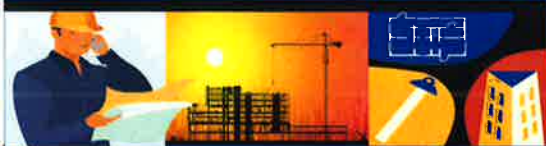


PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 09/17/2018

Location Address: GRIFFIN ROAD & SW 40TH AVE.

Lot(s): _____ Block(s): _____ Subdivision: _____

Folio Number(s): 5042 31 23 0020

Zoning Classification: COMMERCIAL(C-3) Land Use Classification: GENERAL BUSINESS

Existing Property Use: VACANT Sq Ft/Number of Units: 74,608SF LOT

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): File #: 18-DSP-62

- ☐ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Preliminary Site Plan Proposed 5,411 SF Convenience Store with 20 fuel positions

Number of units/rooms: 1 Sq Ft: 5,411

Value of Improvement: TBD Estimated Date of Completion: End of 2019

Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase

Name of Current Property Owner: RAZ PROPERTIES INC

Address of Property Owner: 3300 N 29 AVENUE, SUITE 101, HOLLYWOOD, FL

Telephone: _____ Fax: _____ Email Address: _____

Name of Consultant/Representative/Tenant (circle one): RYAN O. THOMAS

Address: 1000 CORPORATE DRIVE, SUITE 250 Telephone: (954) 202-7000

Fax: (954) 202-7070 Email Address: RTHOMAS@THOMASEG.COM

Date of Purchase: N/A Is there an option to purchase the Property? Yes () No (X)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: VICTOR SUTAPAHA - RACETRAC

PETROLEUM INC Address: 200 GALLERIA PARKWAY SE, SUITE 900, ATLANTA, GA 30339
Email Address: VSUTAPAHA@RACETRAC.COM

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 11/5/2018

PRINT NAME: Ryan Thomas, Authorized Representative

Date: 11/5/2018

Signature of Consultant/Representative: _____

Date: 11/5/2018

PRINT NAME: Ryan Thomas, President of Thomas Engineering Group

Date: 11/5/2018

Signature of Tenant: _____

Date: 11/5/2018

PRINT NAME: Ryan Thomas, Authorized Representative for RaceTrac Petroleum

Date: 11/5/2018

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan approval for RaceTrac Store to my property, which is hereby made by me or I am hereby authorizing Ryan Thomas to be my legal representative before the Technical Advisory (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 5 day of November

Notary Public

State of Florida

My Commission Expires: 11/19/19 (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____

Signature of Current Owner

Print Name

Ryan Thomas, authorized agent



November 5, 2018

City of Hollywood
2600 Hollywood Boulevard
Hollywood, FL 33022

**Re: Site Plan review for a service station (Racetrac).
File number 18-DSP-62**

The following is a response to staff comments. Below are the comments along with our responses in bold:

APPLICATION SUBMITTAL-Deandrea Moise

1. Plat determination letter, and County plat comments shall be required prior to submission for Final TAC. Furthermore, plat recordation shall be required prior to Board consideration.

Response: A plat determination letter has been attached. No replatting is required by Broward County.

2. Ownership and Encumbrance report (O & E) shall be revised as follows:
 - a. Be dated within 30 days of submittal package.
 - b. Indicate it was searched from time of platting or 1953 (earliest of the two).
 - c. Include hard copies for all listed encumbrances.
 - d. Listing and hard copy of any type of encumbrance abutting the property boundary for legal access to property (if none, state so).

Response: The O&E report meets all requirements listed above. Refer to the attached report.

3. ALTA Survey shall:
 - a. Based on and dated after O & E with a note stating such. Be sure to update note should there be any changes to the O & E.
 - b. Net property size in square feet and acreage
 - c. Include the existing residential/hotel units and/or commercial square footage

Response: Survey has been updated to include the requested information. See ALTA Survey attached.

4. On cover sheet:
 - a. Indicate current and future meeting dates (not submittal dates) on Cover Sheet and Title Block. Indicate specific Board/Committee (i.e. Preliminary TAC, Final TAC, PDB, etc.). Be sure that all dates are accurately reflected. Leave space for future meeting dates.
 - b. Revise "Vicinity Map" to show boundaries on the property.

Response: A Site Plan Entitlement Meeting Schedule has been added to the Cover Sheet and the vicinity map has been revised to show the boundaries of the property. Refer to sheet C-0.

5. Application needs to be revised, as no name was provided for Power of attorney.

Response: Refer to revised application attached.

6. Ensure that survey and site plan include total lot area and not just area of proposed development. Ensure consistency between the two.

Response: Survey and Site Plan have been revised to match. Refer to sheets PLS-1 and C1.1.

7. Is there any intent to sell other portions of the land or will the lease lines remain as lease line or possibly become lot lines?

Response: RaceTrac will be leasing the property from the current property owner. Proposed lease lines are shown on the Site Plan.

8. Provide documentation that application was signed by authorized individuals.

Response: An Authorization of Agent Letter has been previously provided. See attached.

9. Title block on some sheets are provide incorrect information as it relates to the project. Revise accordingly.

Response: See sheets A300, A011, & C100 Rev-1 Permit Comments dated 10/24/18 for revised title block.

10. Staff encourages Applicant to meet with surrounding homeowner's associations prior to submitting for any Boards. Provide update with next submittal.

Response: A meeting with the surrounding HOA will be scheduled prior to board submittal. The subject property was intended for commercial use agreements were previously made between the association and landlord for shared access and utility connections. These easements are shown on the Site Plan and Survey.

11. Additional comments will be forthcoming.

Response: Acknowledged.

12. Provide written responses to all comments with next submittal.

Response: See responses to comments in this Response Letter.

ZONING-Deandrea Moise

1. Service station is not a use permitted by right in all zoning districts and is only permitted by Special Exception. Special Exception is defined as a use not generally appropriate in a district but would be appropriate if it is consistent with the review criteria listed for Special Exceptions. Provide justification for Special Exception criteria with next submittal.

Response: A special Exception Justification Letter has been provided. See attached.

2. Provide the height of the canopy on elevations.

Response: See sheet C100 Rev-1 Permit Comments dated 10/24/18 for requested canopy height.

3. Include number fueling positions and pumps in tabular data.

Response: The Site Data table has been updated to show the number of fueling positions. Refer to the Site Plan on sheet C1.1.

4. Include total lot area and area of proposed development in tabular data.

Response: The total lot area and proposed site area have been added to the Site Data table. Refer to the Site Plan on sheet C1.1.

5. Provide landscape plan ensuring compliance with landscape requirements for code (buffer, landscape islands, pervious area, etc....). Be sure that all landscape islands are

Response: Landscape and Irrigation Plans have been provided. Refer to sheet L-1.0 through L-2.2

6. Provide a diagram illustrating compliance with the vehicular use area landscaping requirements. This shall include a breakdown of calculations for areas used.

Response: A Code Compliance Chart has been provided. Refer to the Landscape Plan on sheet L-1.0.

7. Provide note on plan:
 - a. Pumps are located at least 15' from any building base line.
 - b. Pumps are at least 25 feet from properties zoned residential.

Response: Notes have been added under the Site Plan Notes. Refer to the Site Plan on sheet C1.1.

8. Provide typical parking stall dimensions.

Response: Typical parking stall dimensions have been provided. Refer to the Site Plan on sheet C1.1.

9. Indicate on site plan two foot overhang for parking stalls. Please note that area within two foot overhang cannot be included in calculations for pervious area.

Response: Overhang has been provided and pervious area has been revised. Refer to the Site Plan on sheet C1.1.

10. Indicate on plans "D" or "F" curbing.

Response: Callouts have been revised for the curb & gutters. The proposed RaceTrac will utilize a modified type F curb throughout the site. Refer to Sheet SD-1 for curb & gutter details. See the Paving Plan and Site Plan on sheets C3.1 and C1.1, respectively.

11. What type of curbing is proposed for parking stalls adjacent to building? Use of bollards in place of curbing or car stop may require a variance.

Response: No curbing is proposed along the store front. The sidewalk is flush with the parking stalls and bollards will be used for pedestrian safety and building protection in place of curbing or wheel stop.

12. Indicate location, setback, and screening method for all mechanical equipment.

Response: Refer to the Site Plan (sheet C1.1) for locations and setbacks of equipment, and refer to the Landscape (sheet L-1.0) Plan for screening methods used. See sheet A300 Rev-1 Permit Comments dated 10/24/18, B/W version, for dashed in locations of rooftop mounted equipment fully screened by parapet walls.

13. Provide detail for dumpster enclosure.

Response: See sheet A010 Preliminary Submittal dated 09/14/18 and sheet A011 dated 10/24/18, for Dumpster Enclosure Plans and Details.

14. Work with Engineering to ensure that all encroachments into easements are acceptable.

Response: Acknowledged. All existing easements are currently shown on the Survey and Site Plan.

15. Additional comments will be forthcoming.

Response: Acknowledged.

ARCHITECTURE AND URBAN DESIGN-Deandrea Moise

1. Revise facades to incorporate additional material. Refer to Racetrac on Hollywood Boulevard near State Road 7.

Response: See sheet A300 Rev-1 Permit Comments dated 10/24/18 for incorporation of additional material BR-2, Boral Mt. Rushmore brick at building base.

2. Air/Vacuum station shall be relocated and shall not be visible from Griffin Road. It shall be screened appropriately with landscape material.

Response: Air/vacuum station has been relocated and appropriate landscape cover has been provided. Refer to the Site Plan and Landscape Plan on sheets C1.1 and L1.0, respectively.

3. Provide curbing at the end of driveway provided for shared access for future development to protect area from vehicular use.

Response: Curbing has been provided. Refer to the Site Plan and Paving Plan on sheets C1.1 and C3.1.

4. Enhance façades by enlarging the windows.

Response: See sheet A300 Rev-1 Permit Comments dated 10/24/18 for incorporation of additional large window to Front Façade.

5. Consider using fuel tank lid covers that absorb sound to minimize noise.

Response: We have reached out to the sub consultant doing the tank design to consider using sound minimizing fuel tank lid covers.

6. Consider installing landscape on the storefronts to add visual interest and to soften the building front.

Response: Landscape planters have been added to the store front as staff suggested.

7. Amend landscape buffers to include a multi-tiered and curvilinear landscape design.

Response: Landscape buffers have been amended. Refer to the Landscape Plan on sheet L-1.0.

8. Are there any future plans for the portion of land that is west of the proposed access on SW 49 Court?

Response: It is expected that the remaining land will be developed in the future although no specific design has been performed at this time.

SIGNAGE-Deandrea Moise

1. For review, full signage package shall be provided, including signage details, signs illustrated on Elevations, dimensions on Site Plan, etc.

Response: See Sign Package attached.

2. Include a note on plans that all signage will comply with Zoning and Land Development Regulations.

Response: A note has been added to the Site Plans Notes. Refer to the Site Plan on sheet C1.1.

3. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Response: Acknowledged.

4. Is any part of the canopy proposed to be illuminated? Clarify on plans.

Response: The “RaceTrac” sign and parallelogram underneath located on the canopy will be illuminated with LED lights. Refer to the Sign Package pages 30-35.

5. Remove graphic located on the front façade.

Response: Graphic has been removed from façade. See sheet A300 Rev-1 Permit Comments dated 10/24/18 for removal of Marketing Banner.

6. Additional comments will be forthcoming.

Response: Acknowledged.

LIGHTING-Deandre Moise

1. Provide note on Site Plan stating the maximum foot-candle level at all property lines shall not exceed 0.5 at all property lines (regardless proximity to residential).

Response: A note has been added to the Site Plan. Refer to sheet C1.1.

GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

1. New construction of, and major renovation to, a stand-alone building (other than single family detached dwelling or duplex) with more than 20,000 sq. ft. of total floor area shall be certified under the latest applicable version of the LEED Green Building Rating System of the USGBC, certified by the FGBC, or other recognizable certification program approved by the City Manager or his/her designee and shall comply with the Florida Building Code.

Response: The proposed total floor area is less than 20,000 sq.ft. which includes a 4,511 sq. ft. building and 1,666 sq. ft. of outdoor seating area.

2. New commercial or residential structure are required to construct the infrastructure necessary for future installation of an electric vehicle-charging station. Minimally, the following shall be installed: an empty three-quarter-inch

raceway from the branch circuit panel board to a location in the garage or a designated parking area, with a two-gang junction box with a blank plate; or a fully functional electric vehicle-charging station. Indicate location on plans.

Response: Infrastructure for Electric Vehicle Charging Station will be provided on the eastern side of the building to screen any future equipment associated with the charging station from the right of way. Refer to Site Plan for location.

ENGINEERING-Luis Lopez

1. Provide plan with truck path to show how fuel trucks access and service the fuel tanks, include turning radii and point of entry and exit to the site.

Response: A Circulation Plan has been provided. Refer to sheet C 1.5.

2. Provide plan to clearly show property lines and ownerships of the properties involving this project. New or confirmation of existing ingress/egress access easements will be required for access to SW 49 Court.

Response: Refer to Site Plan on sheet C1.1 for property lines, ownerships of properties and easements.

3. In the Site Data table on Sheet C-1.1, indicate the number of ADA accessible parking stalls required and provided.

Response: Site Data table has been updated. Refer to the Site Plan on sheet C1.1.

4. Minimum parking stall dimension is 8.5' by 19' or 17' with 2' overhang.

Response: Minimum parking stall dimension is met. Refer to the Site Plan on sheet C1.1.

5. Provide civil plans for the proposed work. Include items such as drainage improvements, water and sewer connections, curbing and details as well as change in elevations to show that handicap accessibility has been met. For water and sanitary sewer connection, show any pavement restoration and details required for connections within City rights-of-way.

Response: Refer to the Drainage Plan and Utility Plan on sheets C5.1 and C6.1, respectively.

6. Provide separate pavement markings and signage plan.

Response: See PMS Plan on sheet C1.3.

7. Provide bus shelter, amenities and associated easement on Griffin Road.

Response: We have begun communicating with Broward County Transit for any required bus shelter, amenities, and associated easement. A representative from Broward County Transit was present at the FDOT pre-application meeting and they had no objection to the proposed plan for the turn lane and bus shelter.

8. Extend sidewalk through driveway openings.

Response: Side walk has been extended through driveway openings. Refer to the Site Plan on sheet C1.1.

9. Provide FDOT Pre-Application Letter.

Response: FDOT Pre-Application Letter has been provided. See attached.

10. All outside agency permits must be obtained prior to issuance of City building permit. Review and approval from FDOT is required.

Response: FDOT review and approval will be obtained. Outside agency permits will be provided when they are received.

11. More comments may follow upon review of the requested information.

Response: Acknowledged.

12. It is requested that a separate detailed conceptual drawing showing only the existing and proposed traffic control devices (signing, pavement markings, laneage, lane use/widths, turning / corner radii, sight distance triangles, etc.) on the roadway network surrounding and within the site (ingress/egress) be provided. The existing means of illustrating these elements as shown on Sheet No. C-1.1 lacks detail and contains too much unrelated information to accurately review. Dimensions for all signing, pavement markings, radii, lane width/length, etc. should also be included.

Response: A Pavement, Marking & Signage (PMS) Plan has been provided. Please refer to sheet C1.3.

13. It is unclear as to what is going to be done with respect to the existing bus bay on the south side of Griffin Road. The plan appears to show that the bus bay will be located within the proposed eastbound right turn deceleration lane into the site and there is no detail showing how the existing bicycle lane will be accommodated. It will be necessary to obtain a permit from the Florida Department of Transportation to do anything within their right-of-way along State Road 818/Griffin Road (including adjusting existing drainage structures). In addition, FDOT may wish to have a traffic impact study performed to ensure that there is sufficient storage to accommodate site generated traffic using the existing exclusive westbound left turn at SW 40th Avenue.

Response: Acknowledged. We have begun communicating with both Broward County Transit and FDOT access for the proposed improvements. A representative from Broward County Transit was present at the FDOT pre-application meeting and they had no objection to the proposed plan for the turn lane and bus shelter. The proposed turnlane will provide the required 7' bicycle lane through the turn lane and connect back to the existing bike lane. No additional right of way is required for this improvement. All work on the FDOT right of way will be permitted through the FDOT Access Permit.

14. Please ensure that the traffic control plan requested above includes details for all point of access to the property, including those along SW 40th Avenue and SW 49th Court. It is anticipated that additional more technical comments will be made in conjunction with the review of a more detailed plan sheet.

Response: A Pavement Markings and Signage Plan has been provided. Refer to sheet C1.3.

LANDSCAPING-Guillermo Salazar

1. Provide a detailed tree disposition plan and landscape plan by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Provide tabular data chart on plan that identifies City of Hollywood landscape requirements and how they are being met for Perimeter landscape, Species diversity requirements, Interior landscape for at grade parking lots and vehicular use areas, open space, view triangle, planning and development board and historic preservation board and irrigation. Landscape plan should comply with all the requirements according to City of Hollywood Landscape manual, chapter 155.52, Article 9 LDR and section

6 landscape Plan details and specifications for technical review process. Landscape plan set to include and clarify what is been provided as per city code requirements for landscape for project type and what is provided for tree mitigation if any.

Response: Refer to Landscape Plans on sheets L-1.0-1.2.

2. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

Response: Refer to Irrigation Plans on sheets L-2.0-2.1.

3. No tree removals without a tree removal sub- permit. Supplemental arborist report might be required as needed to approve any tree removal permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal requirements.

Additional comments may be forthcoming at Building permit submittal.

According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual. Shade trees to be installed at a minimum size of 2" DBH/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/reclinata/canariensis, Bismarkia, and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT. Courtesy comment: Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org

Response: Acknowledged.

UTILITIES-Wilford Zaphyr

1. Provide plans showing how water and sewer services will be provided.

Response: Refer to the Utility Plan on sheet C6.1.

2. Provide water and sewer demand calculations on water and sewer plans.

Response: Water and Sewer demand calculations have been provided on the Utility Plan as per Broward County Standards for a convenience store with fueling stations.

3. Provide civil plans showing how stormwater runoff will be retained onsite. Plans must include existing elevations as shown on the survey.

Response: Refer to the Drainage Plan on sheet C5.1.

4. Provide cross sections across all property lines.

Response: Cross Sections have been provided. Refer to sheet C1.2.

5. Indicate how roof drainage will be collected and retained onsite.

Response: Refer to the Drainage Plan on sheet C5.1.

6. Provide pre vs post development drainage calculations.

Response: Drainage calculation have been provided. Refer to attachment.

7. Finished floor elevations (FFE) and bottom of equipment elevation must conform with section 154.50 of the City's Code of Ordinances. That is, lowest FFE and bottom of a/c and other equipment serving the building must be set at one foot above the FEMA Base Flood Elevation (BFE), or 6-inches above the highest adjacent crown of road elevation, whichever is higher.

Response: The Finished Floor Elevation is set at 6.50 NAVD which is 1.50 feet over FEMA and more than 6" above the highest crown of road. An existing SFWMD permit having the FFE set at 6.50 NAVD was considered when setting the finished floor elevation.

8. Landscape architect should coordinate with civil plans to ensure there aren't any conflicts with drainage system and landscaping

Response: Acknowledged.

BUILDING-Dean Decker

1. Application is substantially compliant.

Response: Acknowledged.

FIRE-Janet Washburn

1. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements for each building.

Response: A fire flow test was completed. See attached the Fire Flow Report.

2. As a result of that test, if needed, show any new fire hydrants on civil drawings. It's noted an existing fire hydrant will be relocated on pg. C-1.1 but unclear at this time if one is sufficient. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

Response: See the Fire Flow Report with calculation attached.

PUBLIC WORKS-Charles Lassiter

1. Application is substantially compliant.

Response: Acknowledged.

PARKS, RECREATION AND CULTURAL ARTS

1. Application is substantially compliant.

Response: Acknowledged.

COMMUNITY DEVELOPMENT-Clay Milan

1. Sheet C-1.1 – Seems like the project is over-parked?

Response: The applicant wishes to provide 36 parking spaces to accommodate the proposed RaceTrac.

2. Sheet A010 – Is the opening at north side of dumpster enclosure going to be gated?

Response: No, there is no gate included in the design.

3. Sheet A300 – exterior fan at outdoor seating area is shown on rendering, but it is not on plan.

Response: The rendering correctly shows the two fans. The fans are not documented in the civil set but will be in the full architectural building set. Amenities and building features will be included in the civil set for the Building Permit set.

4. Recommend eliminating exterior ladder to roof. Provide access from interior.

Response: RaceTrac architectural team did not wish to relocate the exterior ladder at this time. The current design does not support an interior ladder. The building interior would have to be redesigned to accommodate an interior ladder. The exterior ladder includes a locked gate to prevent use by unauthorized persons. The ladder is painted to match exterior building colors.

5. Include bicycle rack. Consider installing electric vehicle charging station.

Response: Bike rack and infrastructure for Electric Vehicle Charging Station will be provided. Refer to Site Plan on sheet C1.1 for location. Applicant doesn't wish to install electric vehicle charging station at this time.

6. Is propane cage envisioned? Ice dispenser? If so, locate out of view of Griffin Rd and S 40th Ave.

Response: Yes, a propane cage and Ice dispensers will both be located on the opposite side of the building from S. 40th Ave. Refer to Site Plan on sheet C1.1 for location.

7. Reach out to Oakridge & Maple Ridge HOA.

Response: A meeting with the surrounding HOA will be scheduled prior to board submittal. The subject property was intended for commercial use agreements were previously made between the association and landlord for shared access and utility connections. These easements are shown on the Site Plan and Survey.

ECONOMIC DEVELOPMENT-Raelin Storey

1. Provide hours of operation for gas station and convenience store.

Response: The proposed RaceTrac will be operating 24-hours a day. A note has been added to the Site Plan C1.1.

PARKING-Harold King

1. Application is substantially compliant.

Response: Acknowledged.

ADDITIONAL COMMENTS-Deandrea Moise

1. Additional comments may be forthcoming.

Response: Acknowledged.

Should you have any questions, please do not hesitate to contact me at 954-202-7000. Thank you for your time and kind consideration with regards to this matter.

Sincerely,

THOMAS ENGINEERING, LLC

Kevin Betancourt, P.E.

Holland & Knight

515 East Las Olas Boulevard, Suite 1200 | Ft. Lauderdale, FL 33301 | T 954.525.1000 | F 954.463.2030
Holland & Knight LLP | www.hklaw.com

Debbie M. Orshefsky
954-468-7871
debbie.orshefsky@hklaw.com

November 5, 2018

Via Hand Delivery

Mr. Shiv Newaldass
Interim Development Services Director
Room 315
2600 Hollywood Blvd.
Hollywood, FL 33022-9045

Re: Special Exception Justification Statement Racetrac Market (18-DPS-62)

Dear Shiv:

The enclosed Special Exception Justification Statement Racetrac Market (18-DPS-62) is submitted in connection with Racetrac's Application for Site Plan Approval and Special Exception.

Sincerely yours,

HOLLAND & KNIGHT LLP


Debbie M. Orshefsky

Holland & Knight

515 East Las Olas Boulevard, Suite 1200 | Ft. Lauderdale, FL 33301 | T 954.525.1000 | F 954.463.2030
Holland & Knight LLP | www.hklaw.com

Debbie M. Orshefsky
954-468-7871
debbie.orshefsky@hklaw.com

SPECIAL EXCEPTION JUSTIFICATION STATEMENT **RACETRAC MARKET** **(18-DPS-62)**

General Information

The RaceTrac parcel is 1.71 acres in size and is currently a vacant parcel of land at the southeast corner of Griffin Road and SW 40th Street. RaceTrac intends to develop a fuel center (no service) with 20 fuel dispensers (10 fuel islands) and RaceTrac's signature, state of the art, 5,411 square foot convenience store that will provide a wide range of products for the public. The new RaceTrac fuel center provides the consumer with accessible fueling stations which are convenient and safe and a modern convenience store that provides the public with many products and choices. The new facility is designed to meet the needs of the modern consumer in every way.

RaceTrac Site Plan

The RaceTrac site has been designed to comply with all applicable City land use and zoning requirements and to be compatible with the adjacent neighborhoods. Further, RaceTrac has worked with the City's planning and zoning staff to develop a site plan that exceeds many of the City's requirements. The following are pertinent points regarding the RaceTrac site plan:

- Modified the current prototypical canopy elevations to closely match the previously approved RaceTrac located near Hollywood Blvd and SR7.
- Larger windows in the front façade are being provided as suggested by staff
- The building elevations consist of a combination of stone and brick to enhance the facades while bringing a contrast in color to the foundation of the building.
- The air and vacuum stand was relocated away from the street frontage buffers and is now being provided at the eastern portion of the building to be better screened from the public right of way.
- Enhanced right of way buffer landscaping with multi-tier shrub areas to compliment the code required hedges.
- Front elevation foundation planters are now being provided as previously suggested by staff.
- Distributed open space lot trees in the buffer to aesthetically enhance the site from the Griffin Road right of way.
- Preserved existing large specimen's palms along SW 40th Avenue.

Specific Special Exception Criteria

1. *The proposed use must be consistent with the principles of the City's Comprehensive Plan.*

The property is designated General Business on the City land use plan and Commercial on the County land use plan and is zoned Medium Intensity Commercial District (C-3). The existing land use designations and zoning recognize that this parcel is suitable and desirable for commercial development that serves the public traveling on a major corridor.

In addition, the RaceTrac parcel was planned to provide neighborhood and traffic corridor commercial uses when it was platted as a commercial corner adjacent the Maple Ridge community as "Parcel B" of the "Maple Ridge" plat recorded at Plat Book 167 page 38; Parcel B is restricted to "75,000 SF Commercial". The proposed RaceTrac use service station is the type of use that is contemplated by and consistent with the existing land use designation, zoning and plat note restriction.

2. *The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment or other real properties within the vicinity.*

The existing land use pattern surrounding the subject property is characterized by established residential uses and scattered commercial uses. The subject property's location at the intersection of Griffin Road and SW 40th Avenue make it well suited for the proposed service station use. To complement the service station, the proposed RaceTrac Market will be a state of the art facility with expanded and upscale offerings in the convenience store such a soft yogurt service (Swirl World), gourmet coffee offerings and a wide range of food options for locals, as well as travelers. The site is designed to minimize backups at the pump and to provide safe and convenient access to and from the pumps, convenience store and adjacent roadways.

3. *That there will be provisions for the safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.*

As reflected on the site plan, safe traffic movement is provided for both pedestrian and vehicular access. Vehicular access points are proposed at the west, north and south ends, respectively, which are to provide for better circulation to both the service station patrons and the fuel tankers to safely maneuver around the site while the dispensers are in use. Additionally, the proposed access points will be shared with future developments adjacent to the site. Pedestrian access from the adjacent rights of ways will be provided using a cross walk and bollards at the store front parking areas to enhance pedestrian safety and circulation.

4. *That there are setbacks, buffering and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances and all other similar plans adopted by the City.*

All setbacks and buffering requirements in the Code have been met or exceeded. The service station use has been designed to minimize noise, light, dust, and any other pollution requirements by incorporating the following design features:

- Delivery trucks and fuel drops are designed to remain on the front of the site towards the road where noise is already generated by existing traffic. Additionally all building equipment is mounted on the roof and screened by a parapet that muffles the noise.
- Interior and exterior site lighting is recessed and LED which hides the bulbs from view and allows the light to be directed downward which prevents any “spillover” of light off the property. The site is “Dark Sky Compliant” which means that site lighting meets the International Dark Sky Associations’ requirements for reducing waste of ambient light.
- Multiple measures are incorporated into the fueling station facilities to safeguard the area from fuel contamination, these measures include:
 - Fuel tanks are double-walled and monitored with sensors and other measures to prevent leaks and overflows, exceeding state and federal environmental safety requirements.
 - Nozzles cutoff to prevent overflow of vehicular gas tanks.
 - Dispenser piping has shutoff valves to prevent leaks if a car hits the dispenser.
 - Veeder Root cuts off flow if a loss of pressure is detected in either the outer or inner wall of the product piping or tanks.
 - A shutoff valve prevents the tanker from overflowing the underground tank when dropping product.

5. *The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety or appearance of the neighborhood or other adjacent uses by reason of orientation intensity or relation to the neighborhood or other adjacent uses.*

The service station use will be located along a major roadway and is appropriate to serve the traveling public, as well as local residents, as contemplated by the land use designation, zoning and plat note restriction. The fuel dispensers, fuel islands, gas tanks and accessory features have been designed and oriented to be compatible with the adjacent properties and neighborhoods.

6. *The subject parcel must be adequate in shape and size to accommodate the proposed use.*

This parcel was designed to be a commercial use. As reflected on the site plan, the RaceTrac parcel is of sufficient size and shape to accommodate the service station use, as well as the proposed RaceTrac Market and the enhanced buffering and amenities provided.

7. *The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.*

Service stations are a permitted Special Exception use in the C-3 zoning district in which this site is located. As set forth above, the RaceTrac service station use complies with the standards in the Code for the granting of a Special Exception.



October 17, 2018

Ryan O. Thomas, Project Engineer
Thomas Engineering Group, LLC
1000 Corporate Drive, Suite 250
Fort Lauderdale, Florida 33334

Dear Mr. Thomas:

Re: Platting requirements for a parcel legally described as a portion of Parcel B, "Maple Ridge," according to the Plat thereof, as recorded in Plat Book 167, Page 38, of the Public Records of Broward County, Florida. This parcel is generally located on the southeast corner of Southwest 40 Avenue and Griffin Road, in the City of Hollywood.

This letter is in response to your correspondence regarding the Broward County Land Use Plan's platting requirements for a proposed non-residential development on the above referenced parcel.

Planning Council staff has determined that replatting would not be required by Policy 2.13.1 of the Broward County Land Use Plan. Policy 2.13.1 would not require replatting of parcels included in plats approved by the Broward County Commission and recorded after June 4, 1953. Information from the Broward County Records, Taxes and Treasury Division indicates that the above referenced plat was recorded on August 30, 1999.

It is recommended that you contact Broward County's Planning and Development Management Division at 954-357-6666, to inquire about whether additional County review, such as a plat note modification, may be required. Further, some jurisdictions may be more restrictive and require platting in more situations than the Broward County Land Use Plan. The City of Hollywood's platting requirements should be investigated.

The contents of this letter are not a judgment as to whether this development proposal complies with the Broward County Trafficways Plan, permitted uses and densities, local zoning, the land development regulations of the municipality or the development review requirements of the Broward County Land Use Plan, including concurrency requirements.

If you have any additional questions concerning the Broward County Land Use Plan's platting requirements, please contact Garrett McAllister, Planner, at your convenience.

Ryan O. Thomas, PE
October 17, 2018
Page Two

Respectfully,



Barbara Blake Boy
Executive Director

BBB:GSM

cc: Dr. Wazir Ishmael, City Manager
City of Hollywood

Shiv Newaldass, Interim Director, Development Services
City of Hollywood





Florida Department of Transportation

RICK SCOTT
GOVERNOR

3400 West Commercial Boulevard
Fort Lauderdale, FL 33309

MIKE DEW
SECRETARY

September 18, 2018

THIS PRE-APPLICATION LETTER IS VALID UNTIL – **September 18, 2019**
THIS LETTER IS NOT A PERMIT APPROVAL

Kevin A. Betancourt
Thomas Engineering Group LLC
1000 Corporate Drive, Suite 250,
Fort Lauderdale, FL 33334

Dear Kevin A. Betancourt:

RE: **September 18, 2018** - Pre-application Meeting for **Category E Driveway** Date of Pre-application Meeting: **August 23, 2018**
Broward- Hollywood, Urban; SR 818; Sec. # 86015; MP: 7.2
Access Class - 05; Posted Speed - 45; SIS - Influence Area; Ref. Project:

Request: Right-in/right-out driveway on south side of SR 818/Griffin Road, located approximately 260 feet east of SW 40th Ave.

SITE SPECIFIC INFORMATION

Project Name & Address: **RaceTrac – 3990 Griffin Road**
Applicant/Property Owner: **RAZ Properties Inc**
Parcel Size: **1.71 Acres** Development Size: **20 FP/Gas Station + 5,411 SF/Convenience Store**

WE APPROVE YOUR REQUEST

This decision is based on your presentation of the facts, site plan and survey - please see the **conditions** and **comments** below. You may choose to review this concept further with the District Access Management Review Committee (AMRC).

Conditions:

- **A minimum driveway length of 30 feet, as measured from the ultimate right-of-way line to the first conflict point shall be provided.**
- **A combined bus bay/ right turn lane shall be provided and must meet FDOT standards.**

Comments:

- **Broward County Transit should assess the proposed bus bay during the time of permit.**
- Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application for more than one acre of "disturbed area" as defined by the Florida Department of Environmental Protection (FDEP).
- The applicant shall donate the right-of-way to the Department if right-of-way dedication is required to implement the improvements,
- All driveways not approved in this letter must be fully removed and the area restored.
- Dimensions between driveways are measured from the near edge of pavement to near edge of pavement and for median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note required improvements, if any. This letter shall be submitted with any further reviews and for permitting. The Department's personnel shall review permit plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. **Note, this letter does not guarantee permit approval.** The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department. For right-of-way dedication requirements go to: <https://gis.dot.state.fl.us/OneStopPermitting>; click on Statewide Permit News; Scroll down to District 4; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Geysa Sosa, P.E. at the District Permits Office with any questions regarding permits – Tel. # 954-777-4377, or e-mail: geysa.sosa@dot.state.fl.us.

Sincerely,

Ashok Sampath, M.S.

District Access Management Manager

cc: Roger Lemieux

File: S:\Transportation Operations\Traffic Operations\Access Management\1. Pre-Apps and Variance\2018-08-23\1. 86015 MP 7.200 SR 818_RaceTrac Gas Station\86015 MP 7.200 SR 818_RaceTrac Gas Station.docx

www.dot.state.fl.us

FIRE FLOW CALCULATIONS

for

RaceTrac-Hollywood

3990 Griffin Road, Hollywood, Florida 33312
Property ID #504231230020

Prepared for:

RaceTrac Petroleum, Inc.

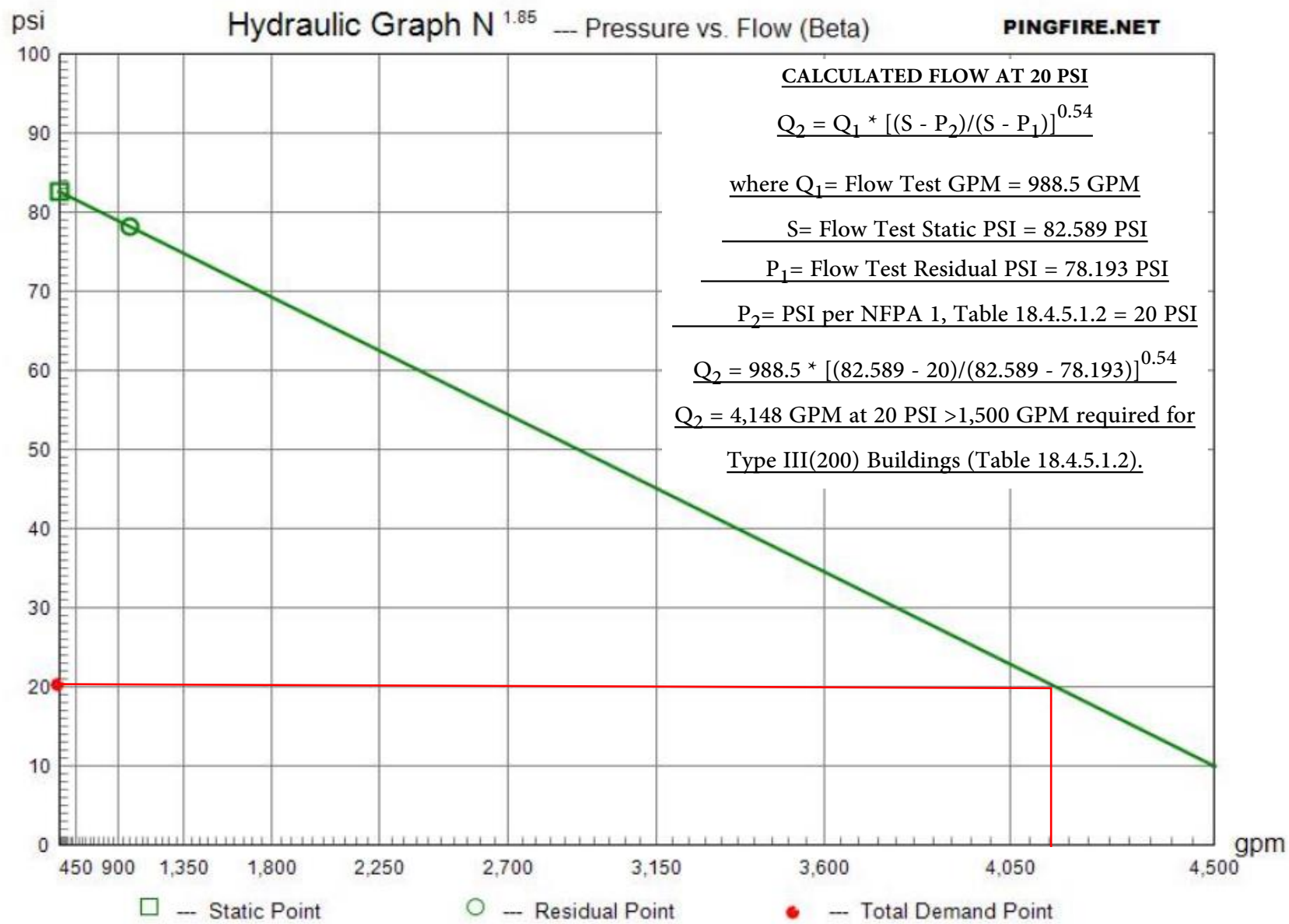
Prepared by



1000 Corporate Drive, Suite 250
Ft Lauderdale, FL 33334
954-202-7000

Kevin Betancourt, P.E.
Florida Professional Engineer License No. 83361

October 19, 2018



WO# 1044730
End. 11:50 am



BOARD OF COUNTY COMMISSIONERS
WATER AND WASTEWATER SERVICES (WWS)
2555 W. COPANS RD., BLDG. 1
POMPANO BEACH FL 33069
(954) 831-3250 FAX (954) 831-0789

FIRE HYDRANT PRESSURE & FLOW TEST APPLICATION

Instructions:

Complete the following and indicate service required by placing a check mark in the appropriate square. Sign, date, and return to WWS along with payment. Please include a map or sketch illustrating the location of the testing area or hydrants to be tested.

(1) APPLICATION FOR:

- ☐ 24-Hour Pressure Test with Chart Reading.....\$150.00
- ☒ Pressure and Flow Test including 24 hour chart recording.....\$200.00
- ☐ Tapping into Main (if necessary to accomplish any of the above, in addition to all other charges).....\$300.00

(2) APPLICANT NAME: Justine Leonor

Contact Person

(3) COMPANY NAME: Thomas Engineering Group

(4) MAILING ADDRESS: 6300 NW 31st Avenue, Ft. Lauderdale, FL 33309
Number, Street, City, State and Zip Code

(5) LOCATION ADDRESS: SEC 7 Griffin Rd & SW 40th Ave.
Number, Street, City, and Zip Code

(6) PHONE NO: (954) 202-7000 **FAX NO:** (954) 202-7070

(7) E-MAIL ADDRESS: jleonor@thomaseg.com

(8) SIGNATURE: *Justine Leonor* **DATE:** 10/8/2018

Allow a maximum of ten (10) working days to be notified of results of test(s).
Customer is contacted by phone.

APPLICATION PACKAGE CAN BE SUBMITTED BY:

Mail: Broward County WWS
PO Box 669300
Pompano Beach, FL 33066-9300

In Person: Broward County WWS
Customer Service Office
2555 W. Copans Rd., Bldg. 1
Pompano Beach, FL 33069

RCV'D BY: KA
DATE RECEIVED

OCT 08 2018

CHECK #: 10951
AMOUNT: \$ 200.00

MAKE CHECKS PAYABLE TO: Broward County WWS



BOARD OF COUNTY COMMISSIONERS
Public Works Department
WATER AND WASTEWATER SERVICES (WWS)
2555 W. COPANS RD., POMPANO BEACH FL 33069
(954) 831-3250 FAX (954) 831-0789

HYDRANT FLOW AND PRESSURE TEST RESULTS

DATE: Oct. 15, 2018

WORK ORDER: 1044730

CUSTOMER NAME: Thomas Engineering Group

ADDRESS: 6300 NW 31st Avenue, Ft. Lauderdale, FL 33309

PHONE # 954-202-7000

FAX# 954-202-7070

LOCATION: Griffin Road & SW 40th Avenue

HYDRANT #1: PHR31704001

LOGGER SN# 206277

HYDRANT #2: PHR32001401

LOGGER SN# 341205

HYDRANT # 1	DATE	TIME	PRESSURE
STATIC	10/15/2018	11:25:15 AM	82.589
RESIDUAL	10/15/2018	11:32:05 AM	78.193

HYDRANT # 2	DATE	TIME	
FLOW One	10/15/2018	11:32:05 AM	988.5
PRESSURE	10/15/2018	11:32:05 AM	78.193

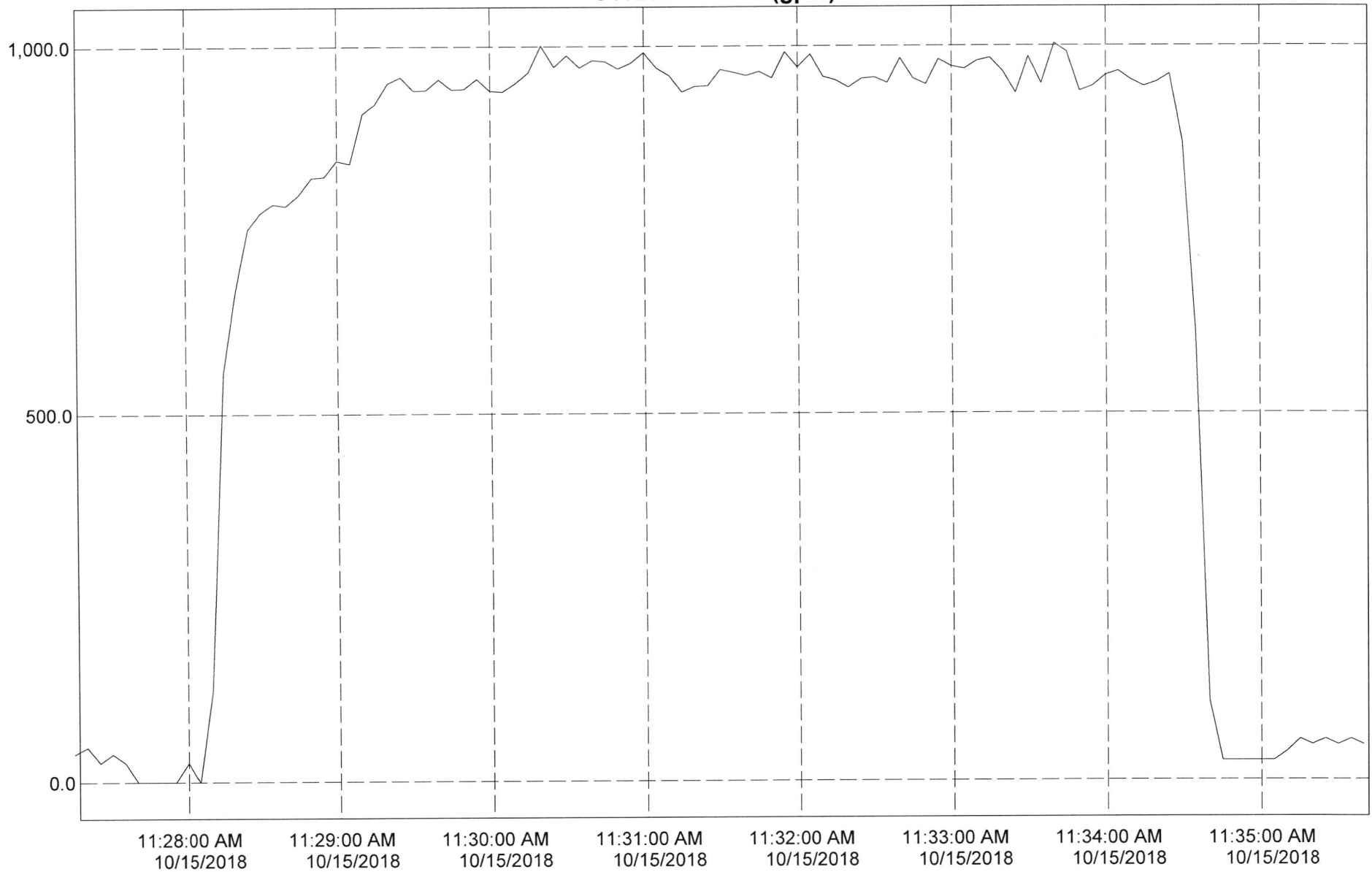
Flow calculated with a discharge coefficient of .90

EQUIPMENT USED:

TELOGER model HPR-31 (Serial numbers listed above)

POLLARD DIFFUSER 2.5 in

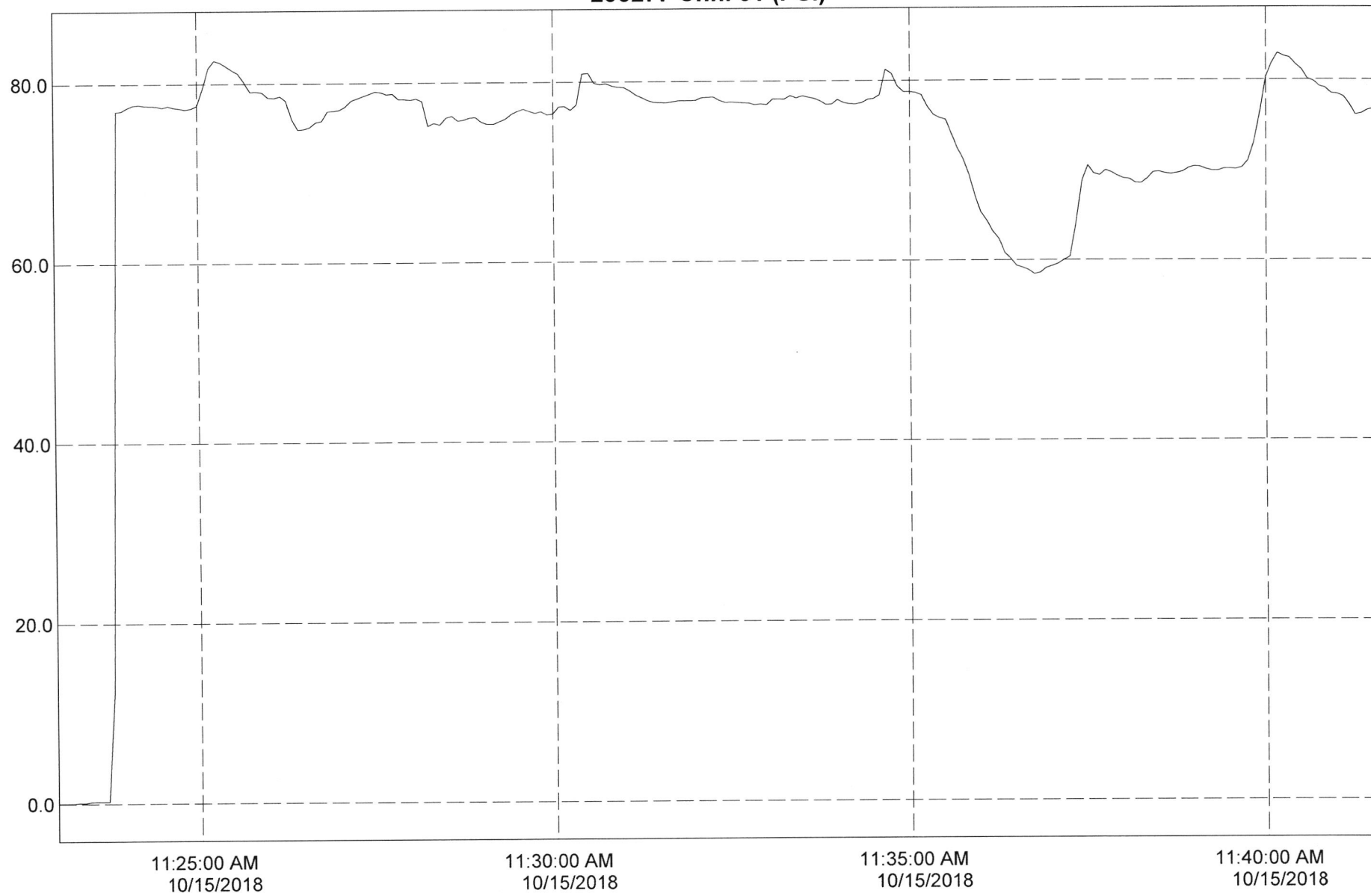
341205 Chnl 01 (gpm)



Channel Plot 1:

	Time	341205 Chnl 01 Flow Rate	341205 Chnl 01 Flow Total
1973	10/15/2018 11:30:40 AM	980.9	7,977.4
1974	10/15/2018 11:30:45 AM	979.3	8,059.0
1975	10/15/2018 11:30:50 AM	969.1	8,139.7
1976	10/15/2018 11:30:55 AM	976.9	8,221.1
1977	10/15/2018 11:31:00 AM	991.3	8,303.7
1978	10/15/2018 11:31:05 AM	970.4	8,384.6
1979	10/15/2018 11:31:10 AM	960.1	8,464.6
1980	10/15/2018 11:31:15 AM	937.6	8,542.8
1981	10/15/2018 11:31:20 AM	945.2	8,621.5
1982	10/15/2018 11:31:25 AM	946.0	8,700.4
1983	10/15/2018 11:31:30 AM	967.9	8,781.0
1984	10/15/2018 11:31:35 AM	964.2	8,861.4
1985	10/15/2018 11:31:40 AM	959.7	8,941.3
1986	10/15/2018 11:31:45 AM	965.0	9,021.8
1987	10/15/2018 11:31:50 AM	956.4	9,101.5
1988	10/15/2018 11:31:55 AM	991.7	9,184.1
1989	10/15/2018 11:32:00 AM	970.8	9,265.0
1990	10/15/2018 11:32:05 AM	988.5	9,347.4
1991	10/15/2018 11:32:10 AM	958.1	9,427.2
1992	10/15/2018 11:32:15 AM	953.5	9,506.7
1993	10/15/2018 11:32:20 AM	943.5	9,585.3
1994	10/15/2018 11:32:25 AM	955.2	9,664.9
1995	10/15/2018 11:32:30 AM	957.2	9,744.7
1996	10/15/2018 11:32:35 AM	949.3	9,823.8
1997	10/15/2018 11:32:40 AM	982.9	9,905.7
1998	10/15/2018 11:32:45 AM	955.6	9,985.3
1999	10/15/2018 11:32:50 AM	947.7	10,064.3
2000	10/15/2018 11:32:55 AM	981.3	10,146.1
2001	10/15/2018 11:33:00 AM	972.0	10,227.1
2002	10/15/2018 11:33:05 AM	968.3	10,307.8
2003	10/15/2018 11:33:10 AM	979.3	10,389.4
2004	10/15/2018 11:33:15 AM	983.3	10,471.3
2005	10/15/2018 11:33:20 AM	964.6	10,551.7
2006	10/15/2018 11:33:25 AM	935.5	10,629.6
2007	10/15/2018 11:33:30 AM	984.9	10,711.7
2008	10/15/2018 11:33:35 AM	948.1	10,790.7
2009	10/15/2018 11:33:40 AM	1,002.8	10,874.3
2010	10/15/2018 11:33:45 AM	991.3	10,956.9
2011	10/15/2018 11:33:50 AM	938.0	11,035.1
2012	10/15/2018 11:33:55 AM	944.8	11,113.8
2013	10/15/2018 11:34:00 AM	959.3	11,193.7
2014	10/15/2018 11:34:05 AM	965.0	11,274.2
2015	10/15/2018 11:34:10 AM	953.1	11,353.6
2016	10/15/2018 11:34:15 AM	944.3	11,432.3
2017	10/15/2018 11:34:20 AM	950.6	11,511.5
2018	10/15/2018 11:34:25 AM	960.9	11,591.6

206277 Chnl 01 (PSI)



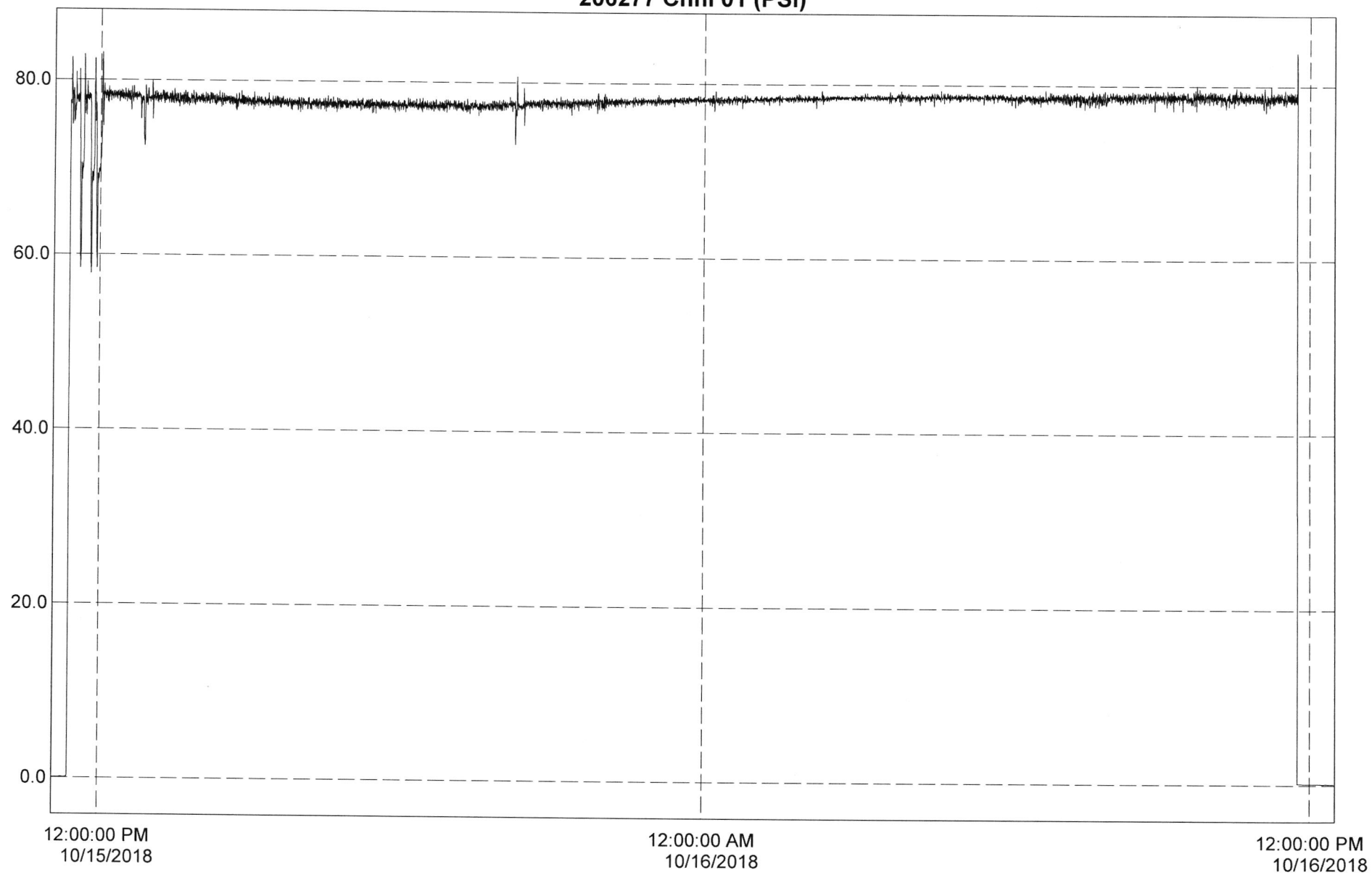
Channel Plot 1:

	Time	206277 Chnl 01 Avg
1903	10/15/2018 11:23:40 AM	0.244
1904	10/15/2018 11:23:45 AM	12.405
1905	10/15/2018 11:23:50 AM	76.923
1906	10/15/2018 11:23:55 AM	76.996
1907	10/15/2018 11:24:00 AM	77.363
1908	10/15/2018 11:24:05 AM	77.656
1909	10/15/2018 11:24:10 AM	77.705
1910	10/15/2018 11:24:15 AM	77.582
1911	10/15/2018 11:24:20 AM	77.558
1912	10/15/2018 11:24:25 AM	77.534
1913	10/15/2018 11:24:30 AM	77.363
1914	10/15/2018 11:24:35 AM	77.558
1915	10/15/2018 11:24:40 AM	77.363
1916	10/15/2018 11:24:45 AM	77.289
1917	10/15/2018 11:24:50 AM	77.167
1918	10/15/2018 11:24:55 AM	77.265
1919	10/15/2018 11:25:00 AM	77.558
1920	10/15/2018 11:25:05 AM	79.365
1921	10/15/2018 11:25:10 AM	81.685
1922	10/15/2018 11:25:15 AM	82.589
1923	10/15/2018 11:25:20 AM	82.369
1924	10/15/2018 11:25:25 AM	81.978
1925	10/15/2018 11:25:30 AM	81.514
1926	10/15/2018 11:25:35 AM	81.148
1927	10/15/2018 11:25:40 AM	80.195
1928	10/15/2018 11:25:45 AM	79.072
1929	10/15/2018 11:25:50 AM	79.121
1930	10/15/2018 11:25:55 AM	79.048
1931	10/15/2018 11:26:00 AM	78.437
1932	10/15/2018 11:26:05 AM	78.388
1933	10/15/2018 11:26:10 AM	78.584
1934	10/15/2018 11:26:15 AM	78.071
1935	10/15/2018 11:26:20 AM	76.02
1936	10/15/2018 11:26:25 AM	74.847
1937	10/15/2018 11:26:30 AM	74.896
1938	10/15/2018 11:26:35 AM	75.116
1939	10/15/2018 11:26:40 AM	75.653

Channel Plot 1:

	Time	206277 Chnl 01 Avg
1992	10/15/2018 11:31:05 AM	78.999
1993	10/15/2018 11:31:10 AM	78.535
1994	10/15/2018 11:31:15 AM	78.242
1995	10/15/2018 11:31:20 AM	77.9
1996	10/15/2018 11:31:25 AM	77.705
1997	10/15/2018 11:31:30 AM	77.68
1998	10/15/2018 11:31:35 AM	77.631
1999	10/15/2018 11:31:40 AM	77.729
2000	10/15/2018 11:31:45 AM	77.851
2001	10/15/2018 11:31:50 AM	77.851
2002	10/15/2018 11:31:55 AM	77.851
2003	10/15/2018 11:32:00 AM	77.875
2004	10/15/2018 11:32:05 AM	78.193
2005	10/15/2018 11:32:10 AM	78.242
2006	10/15/2018 11:32:15 AM	78.266
2007	10/15/2018 11:32:20 AM	77.875
2008	10/15/2018 11:32:25 AM	77.656
2009	10/15/2018 11:32:30 AM	77.68
2010	10/15/2018 11:32:35 AM	77.631
2011	10/15/2018 11:32:40 AM	77.582
2012	10/15/2018 11:32:45 AM	77.558
2013	10/15/2018 11:32:50 AM	77.363
2014	10/15/2018 11:32:55 AM	77.46
2015	10/15/2018 11:33:00 AM	77.387
2016	10/15/2018 11:33:05 AM	77.998
2017	10/15/2018 11:33:10 AM	77.998
2018	10/15/2018 11:33:15 AM	77.973
2019	10/15/2018 11:33:20 AM	78.364
2020	10/15/2018 11:33:25 AM	78.095
2021	10/15/2018 11:33:30 AM	78.339
2022	10/15/2018 11:33:35 AM	78.169
2023	10/15/2018 11:33:40 AM	78.046
2024	10/15/2018 11:33:45 AM	77.778
2025	10/15/2018 11:33:50 AM	77.363
2026	10/15/2018 11:33:55 AM	77.411
2027	10/15/2018 11:34:00 AM	77.9
2028	10/15/2018 11:34:05 AM	77.558

206277 Chnl 01 (PSI)





- ① Static - 2062~~7~~77 PHR- 317 04001
- ② Flow - 341205 PHR- 32001401

Table 18.4.5.2.1 Minimum Required Fire Flow and Flow Duration for Buildings

Fire Flow Area ft ² (× 0.0929 for m ²)					Fire Flow gpm† (× 3.785 for L/min)	Flow Duration (hours)
I(443), I(332), II(222)*	II(111), III(211)*	IV(2HH), V(111)*	II(000), III(200)*	V(000)*		
0–22,700	0–12,700	0–8200	0–5900	0–3600	1500	2
22,701–30,200	12,701–17,000	8201–10,900	5901–7900	3601–4800	1750	
30,201–38,700	17,001–21,800	10,901–12,900	7901–9800	4801–6200	2000	
38,701–48,300	21,801–24,200	12,901–17,400	9801–12,600	6201–7700	2250	
48,301–59,000	24,201–33,200	17,401–21,300	12,601–15,400	7701–9400	2500	
59,001–70,900	33,201–39,700	21,301–25,500	15,401–18,400	9401–11,300	2750	3
70,901–83,700	39,701–47,100	25,501–30,100	18,401–21,800	11,301–13,400	3000	
83,701–97,700	47,101–54,900	30,101–35,200	21,801–25,900	13,401–15,600	3250	
97,701–112,700	54,901–63,400	35,201–40,600	25,901–29,300	15,601–18,000	3500	
112,701–128,700	63,401–72,400	40,601–46,400	29,301–33,500	18,001–20,600	3750	
128,701–145,900	72,401–82,100	46,401–52,500	33,501–37,900	20,601–23,300	4000	4
145,901–164,200	82,101–92,400	52,501–59,100	37,901–42,700	23,301–26,300	4250	
164,201–183,400	92,401–103,100	59,101–66,000	42,701–47,700	26,301–29,300	4500	
183,401–203,700	103,101–114,600	66,001–73,300	47,701–53,000	29,301–32,600	4750	
203,701–225,200	114,601–126,700	73,301–81,100	53,001–58,600	32,601–36,000	5000	
225,201–247,700	126,701–139,400	81,101–89,200	58,601–65,400	36,001–39,600	5250	
247,701–271,200	139,401–152,600	89,201–97,700	65,401–70,600	39,601–43,400	5500	
271,201–295,900	152,601–166,500	97,701–106,500	70,601–77,000	43,401–47,400	5750	
Greater than 295,900	Greater than 166,500	106,501–115,800	77,001–83,700	47,401–51,500	6000	
		115,801–125,500	83,701–90,600	51,501–55,700	6250	
		125,501–135,500	90,601–97,900	55,701–60,200	6500	
		135,501–145,800	97,901–106,800	60,201–64,800	6750	
		145,801–156,700	106,801–113,200	64,801–69,600	7000	
		156,701–167,900	113,201–121,300	69,601–74,600	7250	
		167,901–179,400	121,301–129,600	74,601–79,800	7500	
		179,401–191,400	129,601–138,300	79,801–85,100	7750	
		Greater than 191,400	Greater than 138,300	Greater than 85,100	8000	

*Types of construction are based on NFPA 220.

†Measured at 20 psi (139.9 kPa).



[illegible]

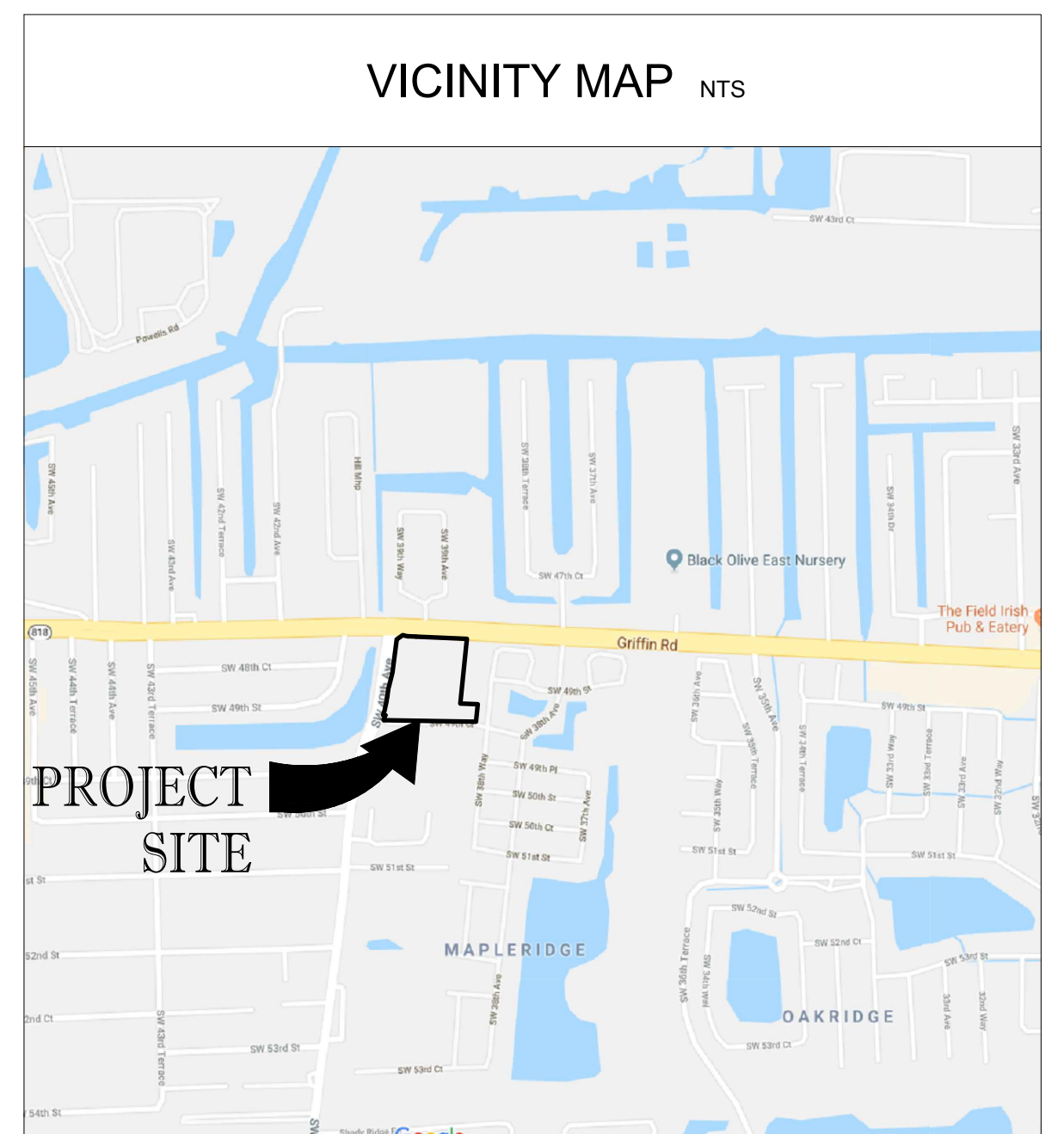
SITE DEVELOPMENT PLANS

FOR



RACETRAC MARKET

3990 GRIFFIN ROAD
HOLLYWOOD, FL
RACETRAC PROJECT NO. 1365
RACETRAC STORE NO. TBD
FOLIO NUMBER: 504231230020



Know what's below.
Call before you dig.

SITE PLAN ENTITLEMENT MEETING SCHEDULE	
PRELIMINARY TECHNICAL ADVISORY COMMITTEE (PRE-TAC)	10/08/2018
FINAL TECHNICAL ADVISORY COMMITTEE (TAC)	11/19/2018

GENERAL NOTES:

- 1 IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL
2 AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTION ACCORDING TO AGENCY
3 INSTRUCTIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER
4 THE WORK, INCLUDING LANDSCAPING.
5 CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER'S CONSTRUCTION MANAGER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO USE
6 IN THE PROJECT. FAILURE TO SUBMIT SHOP DRAWINGS BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
7 CONSTRUCTION MANAGER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY FOR PERFORMANCE OF THE ITEM.
8 WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND
9 UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY WITH OTHER
10 CONTRACTORS AND UTILITY COMPANIES.
11 MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.
12
13 CONTRACTOR SHALL REVIEW SLOPE REPORTS AND BORINGS PRIOR TO BIDDING THE PROJECT AND COMMENCING CONSTRUCTION.
14 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL
15 REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE, AND OTHER INFORMATION AS REQUIRED. ANY WORK
16 PERFORMED PRIOR TO NOTIFYING THE ENGINEER OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE
17 CONTRACTOR'S EXPENSE.
18 THE CONTRACTOR SHALL USE EACH PLAN IN CONJUNCTION WITH THE ENTIRE SET OF DRAWINGS AND JOB SPECIFICATIONS. DO NOT REMOVE OR DEMOLISH
19 ANYTHING WITHOUT THE ENGINEER'S PERMISSION AND COORDINATING WITH ALL ELECTRICAL, PLUMBING, MECHANICAL, GENERAL TRADES, AND UTILITY COMPANIES AS THEY
20 EFFECT THE OVERALL PROJECT.
21 ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS
22 (S)S) AND STANDARDS AND WITH WATER MAINS AND SEWERAGE AND WASTEWATER SERVICES (WWS) STANDARDS AND SPECIFICATIONS.
23 PLANS ARE IN ACCORDANCE WITH WWS MINIMUM DRAWING REQUIREMENTS DATED JANUARY 2013.
24 STATE PLANE COORDINATES WILL BE SUPPLIED FOR THE DESIGN AND RECORD DRAWINGS.
25 THE VERTICAL DATUM USED FOR THESE PLANS WAS NAVD83.
26 THE LOCATION OF ANY OF THIS SET OF DRAWINGS IS RELIANT UPON THE DRAWINGS CLEARLY SHOWING ALL EXISTING AND PROPOSED ABOVE GROUND
27 STRUCTURES, ASPHALT, PAVING, LANDSCAPING, WALLS, FENCES, UNDERGROUND PIPING, UNDERGROUND STRUCTURES, DUCT BANKS, TRANSFORMERS,
28 POLES, STORM WATER STORAGE AREAS, PAVERS, ELECTRIC CABLE, AND OTHER FACILITIES WITHIN RIGHTS OF WAY AND EXISTING AND PROPOSED POTABLE
29 WATER MAINS AND SEWERAGE. THE ENGINEER'S AUTHORIZES ONLY THE ITEMS SHOWN ON THESE DRAWINGS TO BE WITHIN SAID
30 POTABLE WATER/ RECLAIMED WATER/ WASTEWATER EASEMENTS."
- 31 RECORD DRAWINGS SHALL INCLUDE COLOR PHOTOGRAPHS OF ALL CONNECTIONS TO EXISTING WWS INFRASTRUCTURE AS WELL AS ALL CRITICAL UTILITY CROSSINGS AND ALL OTHER CRITICAL FEATURES. RECORD DRAWINGS SHALL BE SUBMITTED IN PDF AND DWG FORMATS. RECORD DRAWINGS WILL ALSO BE
32 PROVIDED TO WWS IN JPEG FORMAT ON CD OR DVD MEDIA. SEE MINIMUM DRAWING REQUIREMENTS FOR PIPING PROJECTS FOR DETAILS."

LEGAL DESCRIPTION:

A PORTION OF PARCEL "B", "MAPLE RIDGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 167, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID PARCEL "B", SAID POINT LYING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GRIFFIN ROAD (STATE ROAD NO. 818) AS SHOWN ON SAID PLAT; THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, ALSO BEING THE NORTHERLY LINE OF SAID PARCEL "B", THE FOLLOWING THENCE (3) COURSES AND DISTANCES: 1) SOUTH 76°52'46" EAST 31.69 FEET TO THE BEGINNING OF A NON-TANGENT CIRCULAR CURVE CONCAVE SOUTHERLY, FROM WHICH A RADIAL LINE BEARS SOUTH 01°29'31" WEST; 2) EASTERLY ON THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5662.58 FEET, A CENTRAL ANGLE OF 0°39'37", FOR AN ARC DISTANCE OF 48.14 FEET TO A POINT OF TANGENCY; 3) SOUTH 67°15'42" EAST 154.53 FEET; THENCE SOUTH 02°35'40" WEST 287.47 FEET; 4) THE NORTH 07°11'15" WEST 79.92 FEET; 5) THE WESTERLY LINE OF SAID PARCEL "B", ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF SW 40TH AVENUE AS SHOWN ON SAID PLAT; THENCE ON SAID WESTERLY AND EASTERLY LINE, THE FOLLOWING THENCE (3) COURSES AND DISTANCES: 1) NORTH 14°06'17" EAST 68.24 FEET; 2) NORTH 07°15'43" EAST 200.00 FEET; 3) NORTH 55°11'29" EAST 44.54 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 74,608 SQUARE FEET (1.7128 ACRES). MORE OR LESS.

PREPARED BY



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

6300 NW 31ST AVE
FT. LAUDERDALE, FL. 33309

PH: (954) 202-7000
FX: (954) 202-7070

www.ThomasEngineeringGroup.com

PROJECT TEAM

SURVEYOR

PULICE LAND SURVEYORS, INC.
JOHN F. PULICE
PROFESSIONAL LAND SURVEYOR
5381 NOB HILL ROAD
SURISE, FL 33351
PHONE: (954) 572-1777

ENGINEER

ENGINEER
THOMAS ENGINEERING GROUP, LLC
KEVIN A. BETANCOURT
6300 NW 31ST AVE
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PHONE: (954) 202-7000
FAX: (954) 202-7070

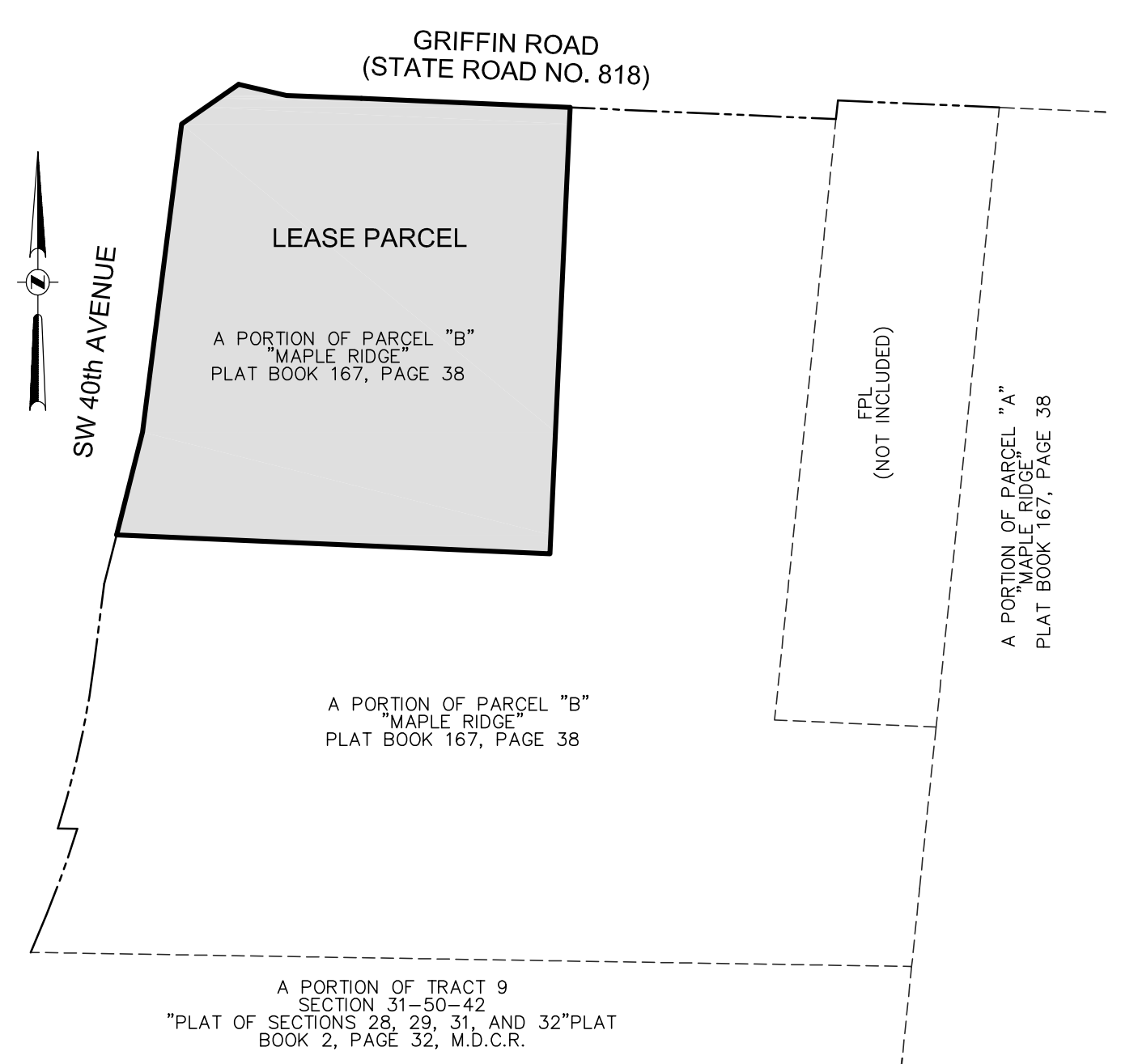
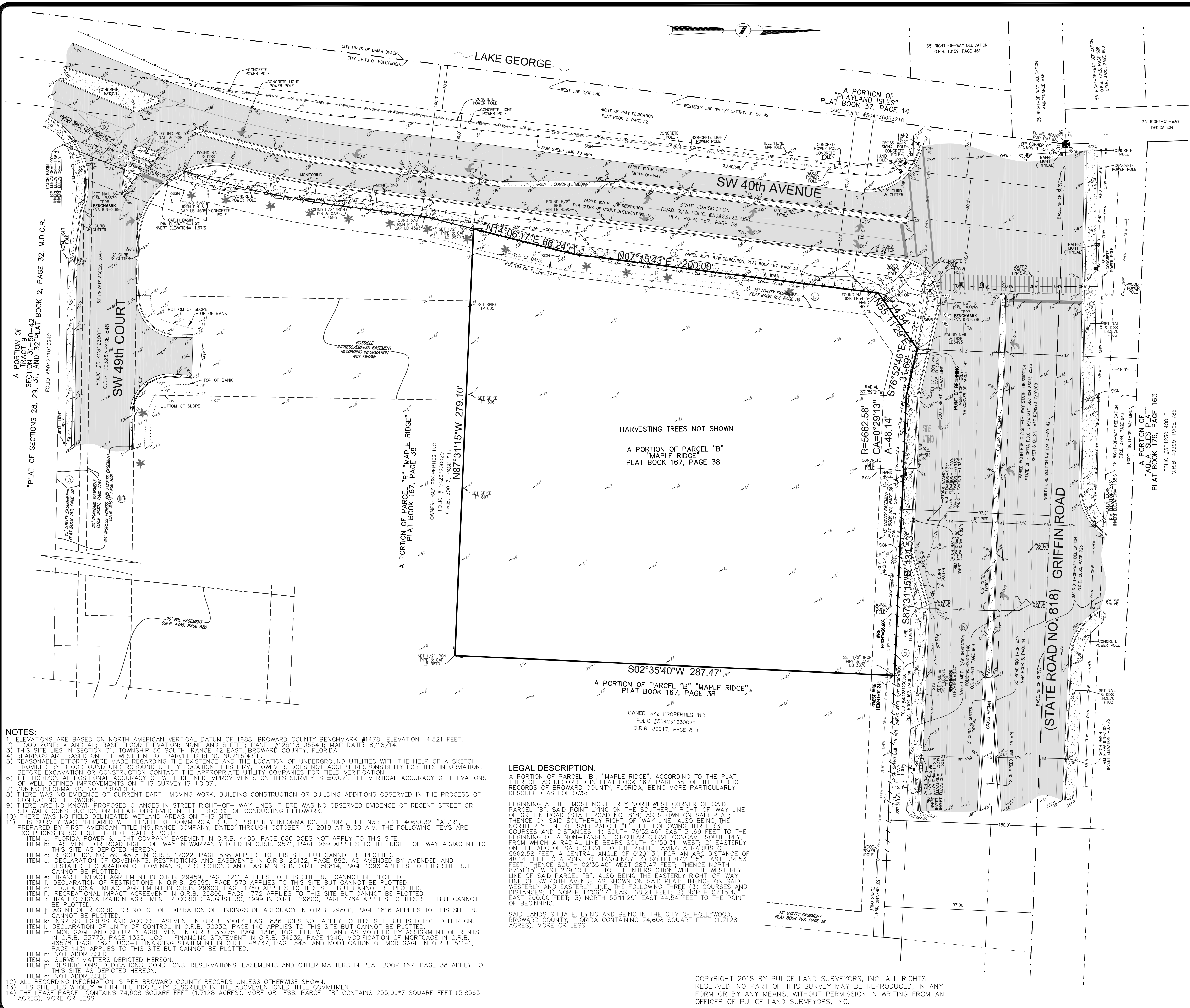
OWNER / DEVELOPER

RACETRAC PETROLEUM, INC.
200 GALLERIA PARKWAY SE
SUITE 900 ATLANTA, GA 30339

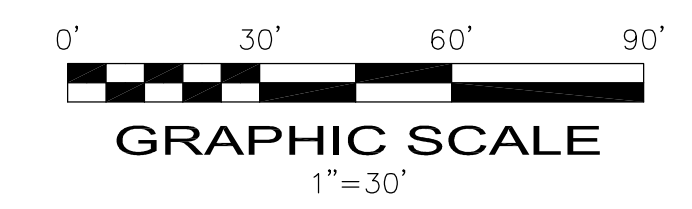
VICTOR SUTAPAHA
ENGINEERING PROJECT MANAGER
PHONE: (770) 431-7600 EXT. 1064

SHEET INDEX OF DRAWINGS					
SHEET	NAME	BY OTHERS	PLAN DATE	REVISION	PLAN DATE
C0.0	COVER SHEET		09/17/2018		
PLS-1	BOUNDARY AND TOPOGRAPHIC SURVEY	PULICE LAND SURVEYORS, INC.	08/02/2018		
ES-1	EROSION CONTROL PLAN		10/10/2018		
D-1	DEMOLITION PLAN		10/10/2018		
C1.1	SITE PLAN		09/17/2018		
C1.2	CROSS SECTIONS		10/10/2018		
C1.3	PAVEMENT MARKING & SIGNAGE PLAN		10/10/2018		
C1.4	CIRCULATION PLAN		10/10/2018		
C2.1	GRADING PLAN		10/10/2018		
C3.1	PAVING PLAN		10/10/2018		
C4.1	JOINTING PLAN		10/10/2018		
C5.1	DRAINAGE PLAN		10/10/2018		
C5.2	DRAINAGE DETAILS		10/10/2018		
C6.1	UTILITY PLAN		10/10/2018		
C6.2	UTILIY DETAILS		10/10/2018		
C6.3	UTILIY DETAILS		10/10/2018		
SD1	RACETRAC STANDARD DETAILS		10/10/2018		
SD2	RACETRAC STANDARD DETAILS		10/10/2018		
SD3	RACETRAC STANDARD DETAILS		10/10/2018		
SD4	RACETRAC STANDARD DETAILS		10/10/2018		
L-1.0	LANDSCAPE PLAN		10/10/2018		
L-1.1	LANDSCAPE STANDARD DETAILS		10/10/2018		
L-1.2	LADSCAPE STANDARD SPECIFICATIONS		10/10/2018		
L-2.0	IRRIGATION PLAN		10/10/2018		
L-2.1	IRRIGATION STANDARD DETAILS		10/10/2018		
L-2.2	IRRIGATION STANDARD SPECIFICATIONS		10/10/2018		
A010	DUMPSTER ENCLOSURE ELEVATIONS	HFR & ASSOCIATES	10/24/2018		
A011	DUMPSTER ENCLOSURE DETAILS	HFR & ASSOCIATES	10/24/2018		
A300	EXTERIOR ELEVATIONS	HFR & ASSOCIATES	10/24/2018		
C100	FUEL CANOPY ELEVATIONS	HFR & ASSOCIATES	10/24/2018		

		<p>RACETRAC PETROLEUM, INC. 3990 GRIFFIN ROAD HOLLYWOOD, FLORIDA 33312</p>		<p>COVER SHEET</p>		<p>DATE 09/17/2018</p>	
<p>RACETRAC MARKET</p>		<p>3990 GRIFFIN ROAD Hollywood, Florida 33312</p>		<p>SCALE AS DRAWN-BY</p>		<p>DATE 09/17/2018</p>	
<p>C0.0</p>		<p>1</p>		<p>DRAWING NAME: COVER SHEET</p>		<p>DATE 09/17/2018</p>	
<p>SHEET NO.</p>		<p>VERSION</p>		<p>DATE</p>		<p>DATE</p>	



- LEGEND**
- CONCRETE
 - ASPHALT PAVEMENT
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND COMMUNICATION LINE
 - UNDERGROUND WATER LINE
 - CENTERLINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - BROWARD COUNTY RECORDS
 - TRAVELER POINT (FOR FIELD INFORMATION ONLY)
 - RADIUS
 - CENTRAL ANGLE
 - ARC LENGTH
 - FLORIDA DEPARTMENT OF TRANSPORTATION
 - PALM TREE
 - MIAMI-DADE COUNTY RECORDS



CERTIFICATION:

TO RACETRAC PETROLEUM, INC., A GEORGIA CORPORATION; FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 5, 6(a), 6(b), 9, 10(a), 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 & 21 OF TABLE A THEREOF.

1	JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
2	BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
3	VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
4	STATE OF FLORIDA

NO.	REVISIONS	BY
1		
2		
3		
4		

BOUNDARY AND TOPOGRAPHIC SURVEY
ALTA/NSPS LAND TITLE SURVEY

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

PROPOSED RACETRAC SITE
GRIFFIN ROAD & SW 40th AVENUE
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33312

FILE: RACETRAC PETROLEUM, INC.

DRAWN BY: M.D.

CHECKED BY: J.P.P.

SCALE: 1" = 30'

SURVEY DATE: 7/27/18

ORDER NO.: 65355

NOTES:

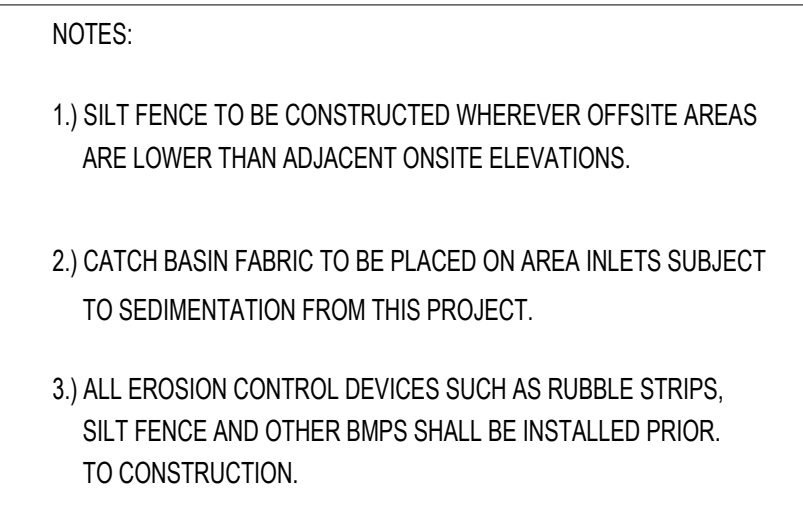
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #1478; ELEVATION: 4.521 FEET.
- FLOOD ZONE BASE FLOOD ELEVATION: NONE AND 5 FEET; PANEL #25113 0554H; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 31, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON THE WEST LINE OF PARCEL B BEING N07°15'43"E.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES WITH THE HELP OF A SKETCH PROVIDED BY BLOODHOUND UNDERGROUND UTILITY LOCATION. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION, BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- ZONING INFORMATION NOT PROVIDED.
- THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
- THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
- THERE WAS NO FIELD DELINEATED WETLAND AREAS ON THIS SITE.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMERCIAL (FULL) PROPERTY INFORMATION REPORT, FILE NO: 2021-4069032-"A"/R1, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED THROUGH OCTOBER 15, 2018 AT 8:00 A.M. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SCHEDULE B-II OF SAID REPORT:
 - ITEM a: FLORIDA POWER & LIGHT COMPANY EASEMENT IN O.R.B. 4485, PAGE 686 DOES NOT APPLY TO THIS SITE.
 - ITEM b: EASEMENT FOR ROAD RIGHT-OF-WAY IN WARRANTY DEED IN O.R.B. 9571, PAGE 969 APPLIES TO THE RIGHT-OF-WAY ADJACENT TO THIS SITE AS DEPICTED HEREON.
 - ITEM c: RESOLUTION NO. R08-4525 IN O.R.B. 17022, PAGE 838 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM d: DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS IN O.R.B. 25132, PAGE 882, AS AMENDED BY AMENDED AND RESTATED DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS IN O.R.B. 50814, PAGE 1096 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM e: TRANSIT IMPACT AGREEMENT IN O.R.B. 29459, PAGE 1211 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM f: DECLARATION OF UNIT OF CONTROL IN O.R.B. 00332, PAGE 146 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM g: EDUCATIONAL IMPACT AGREEMENT IN O.R.B. 29800, PAGE 1760 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM h: RECREATIONAL IMPACT AGREEMENT IN O.R.B. 29800, PAGE 1772 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM i: TRAFFIC SIGNALIZATION AGREEMENT RECORDED AUGUST 30, 1999 IN O.R.B. 29800, PAGE 1784 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM j: AGENT OF RECORD FOR NOTICE OF EXPIRATION OF FINDINGS OF ADEQUACY IN O.R.B. 29800, PAGE 1816 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM k: INGRESS, EGRESS AND ACCESS EASEMENT IN O.R.B. 30017, PAGE 836 DOES NOT APPLY TO THIS SITE BUT IS DEPICTED HEREON.
 - ITEM l: DECLARATION OF UNIT OF CONTROL IN O.R.B. 00332, PAGE 146 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM m: MORTGAGE AND SECURITY AGREEMENT IN O.R.B. 33775, PAGE 1316, TOGETHER WITH AND AS MODIFIED BY ASSIGNMENT OF RENTS IN O.R.B. 33775, PAGE 1325, UCC-1 FINANCING STATEMENT IN O.R.B. 34632, PAGE 1940, MODIFICATION OF MORTGAGE IN O.R.B. 46505, PAGE 1821, UCC-1 FINANCING STATEMENT IN O.R.B. 48737, PAGE 545, AND MODIFICATION OF MORTGAGE IN O.R.B. 51141, PAGE 1431 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM n: NOT ADDRESSED.
 - ITEM o: SURVEY MATTERS DEPICTED HEREON.
 - ITEM p: RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS IN PLAT BOOK 167, PAGE 38 APPLY TO THIS SITE AS DEPICTED HEREON.
 - ITEM q: NOT ADDRESSED.
- ALL RECORDING INFORMATION IS PER BROWARD COUNTY RECORDS UNLESS OTHERWISE SHOWN.
- THIS SITE LIES WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE ABOVEMENTIONED TITLE COMMITMENT.
- THE LEASE PARCEL CONTAINS 74,608 SQUARE FEET (1.7128 ACRES), MORE OR LESS. PARCEL "B" CONTAINS 255,097 SQUARE FEET (5.8563 ACRES), MORE OR LESS.

LEGAL DESCRIPTION:

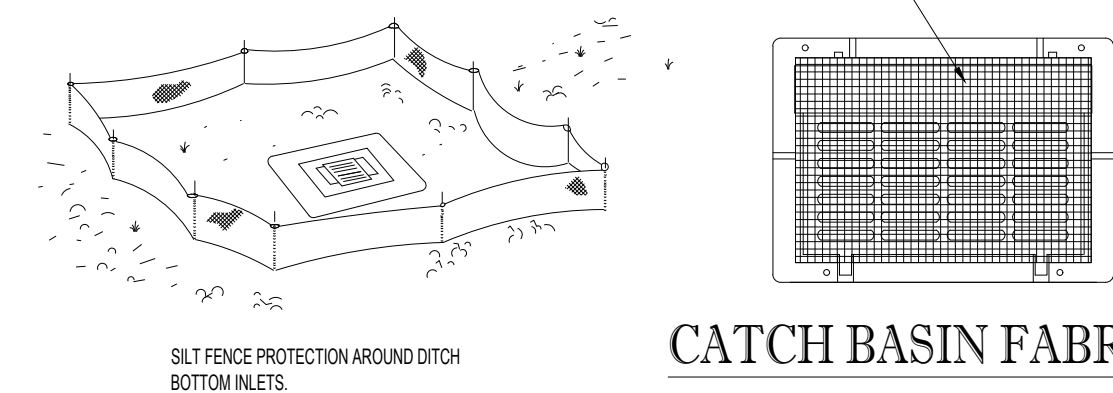
A PORTION OF PARCEL "B", "MAPLE RIDGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 167, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID PARCEL "B", SAID POINT LYING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GRIFFIN ROAD (STATE ROAD NO. 818) AS SHOWN ON SAID PLAT; THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, ALSO BEING THE NORTHERLY LINE OF SAID PARCEL "B", THE FOLLOWING THREE (3) DISTANCES: 1) SOUTH 76°52'46" EAST 31.69 FEET TO THE BEGINNING OF A NON-TANGENT CIRCULAR CURVE CONCAVE SOUTHERLY; FROM WHICH A RADIAL LINE BEARS SOUTH 07°59'31" WEST; 2) EASTERLY ON THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 5662.58 FEET, A CENTRAL ANGLE OF 0°29'13", FOR AN ARC DISTANCE OF 48.14 FEET TO A POINT OF TANGENCY; 3) SOUTH 87°31'15" EAST 134.53 FEET, THENCE SOUTH 07°35'40" WEST 287.47 FEET, THENCE NORTH 87°31'15" WEST 279.10 FEET TO THE INTERSECTION WITH THE WESTERLY LINE OF SAID PARCEL "B", ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF SW 40th AVENUE, AS SHOWN ON SAID PLAT; THENCE ON SAID WESTERLY AND EASTERLY LINE, THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) NORTH 14°06'17" EAST 68.24 FEET; 2) NORTH 07°15'43" EAST 200.00 FEET; 3) NORTH 55°11'29" EAST 44.34 FEET TO THE POINT OF BEGINNING.

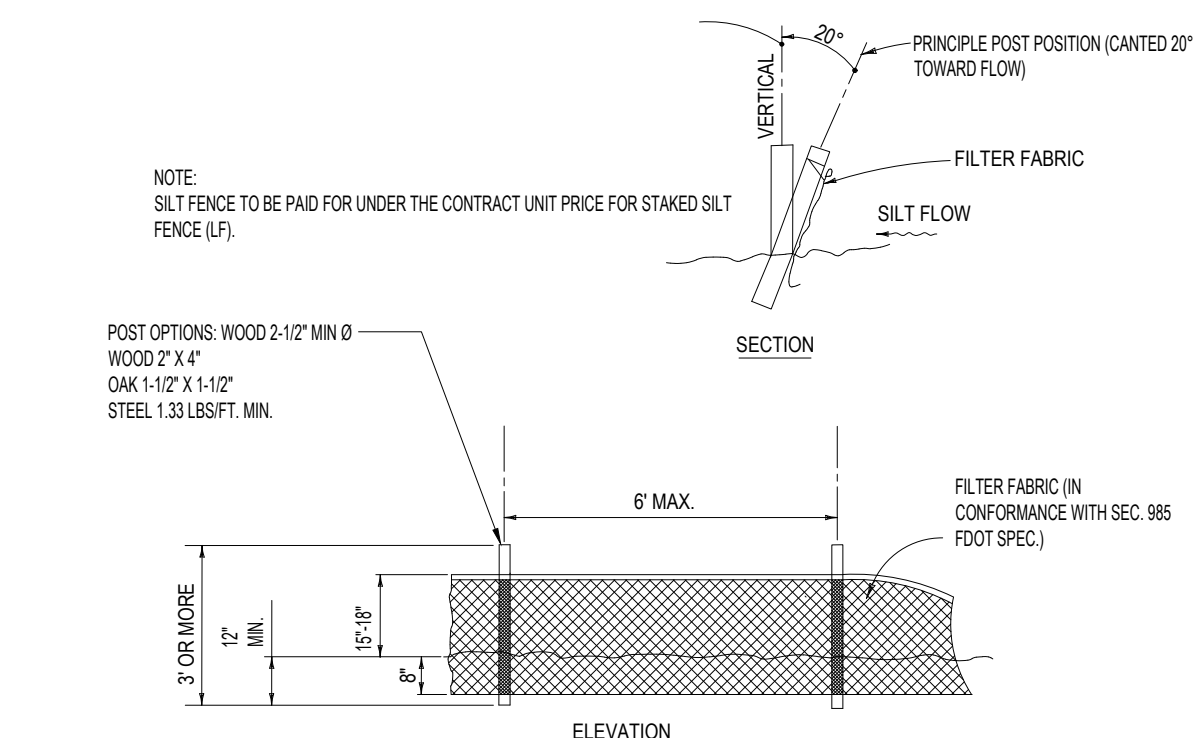
SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 74,608 SQUARE FEET (1.7128 ACRES), MORE OR LESS.



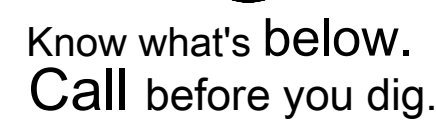
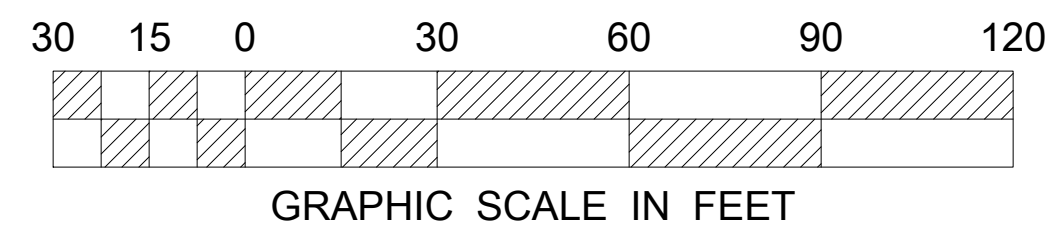
1. CONTRACTOR SHALL MAINTAIN EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED.
2. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
3. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S DIRECTIONS.
4. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED ON A DAILY BASIS AND REPAIRED, ADJUSTED AND MAINTAINED AS NEEDED OR REQUIRED BY GOVERNING AGENCIES AT NO ADDITIONAL EXPENSE TO THE OWNER TO PROVIDE EROSION AND SEDIMENT CONTROL FOR THE SITES AND AREAS OF CONSTRUCTION AND NEARBY AREAS AS STATED.
5. ALL GRADED AREAS SHALL BE STABILIZED WITH A PERMANENT FAST GROWING COVER AND/ OR MULCH UPON COMPLETION OF GRADING OPERATIONS. COMPLETION OF GRADING OPERATIONS DOES NOT MEAN AT THE END OF THE PROJECT AS SOON AS FINAL GRADES ARE ESTABLISHED IN EACH AREA.
6. THE CONTRACTOR SHALL STABILIZE WITH A TEMPORARY GRASS OR PERMANENT SOD. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR. SILT SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE.
7. THE CONTRACTOR SHALL PROVIDE PROTECTIVE INTERFERENCE TO PREVENT EROSION OF SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
8. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED EROSION CONTROL MEASURES AND THE AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION.
9. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES PRIOR TO ANY EARTHWORK OPERATIONS.
10. CONTRACTOR SHALL MAINTAIN SILT FENCES FOR THE DURATION OF THE PROJECT UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
11. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
12. THE CONTRACTOR SHALL CONSTRUCT THE SILT FENCING AS SHOWN AT THE PERIMETER OF THE SITE PLAN PRIOR TO LAND CLEARING ACTIVITIES.
13. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NPDES STORMWATER REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL EROSION DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRADED AREAS ARE COMPLETE.
15. THE CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON SHALL BE IN PLACE. CLEARING AND GRUBBING OPERATIONS WILL BE ENGAGED IN ONLY AS NECESSARY TO ALLOW THE PLACEMENT OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN HEREON UNTIL ALL SUCH MEASURES ARE IN PLACE.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STURPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.



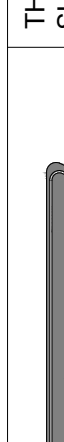

CATCH BASIN FABRIC

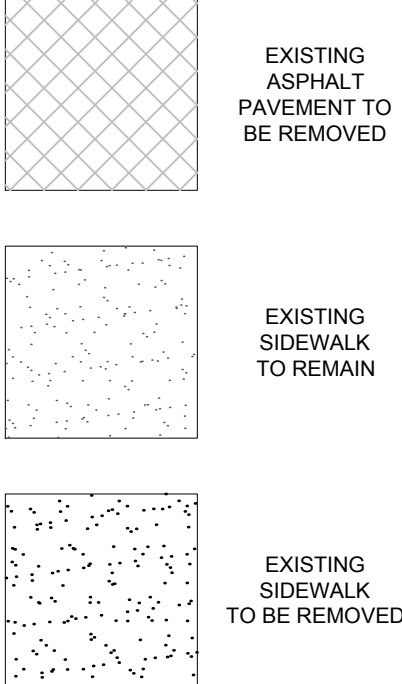


SILT FENCE DETAIL
(F.D.O.T. INDEX 102, SHEET 03 OF 03)

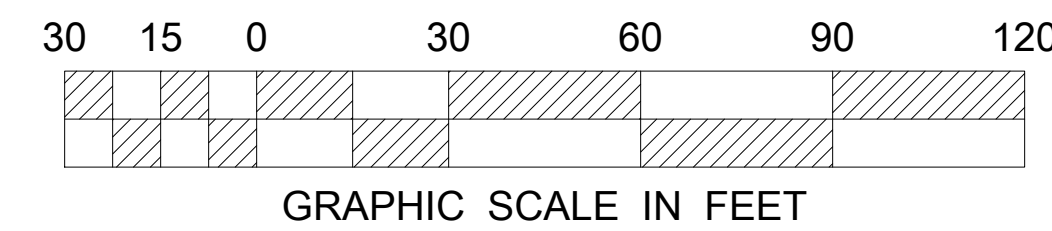


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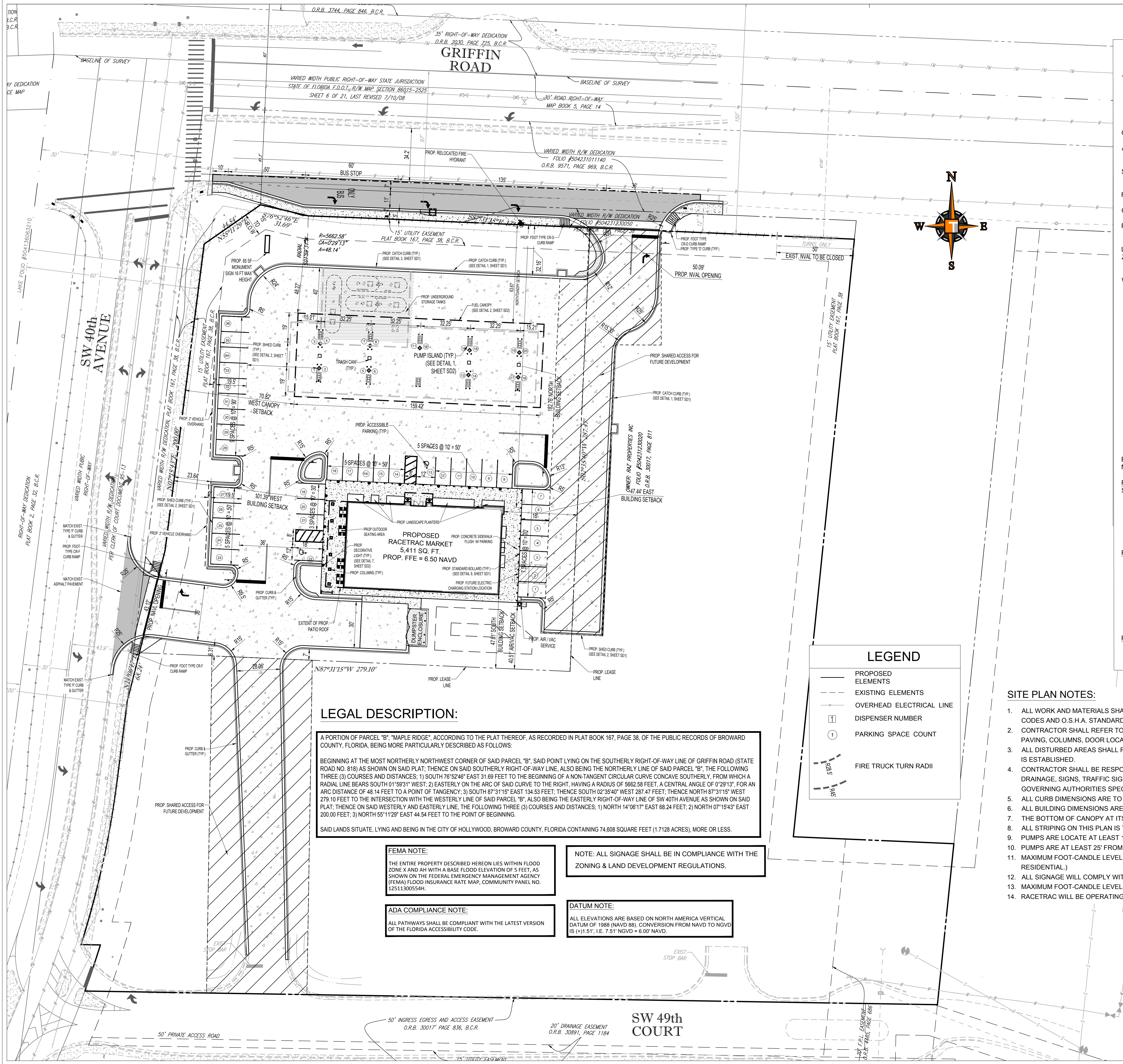
EROSION CONTROL PLAN				THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: NO REUSE OR RENAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.		 6550 N.W. 135 TH AVE. FORT LAUDERDALE, FL 33309 TEL: (954) 252-7900 FX: (954) 252-7900 www.ThomasEngineeringGroup.com				PRELIMINARY TAC MEETING FINAL TAC MEETING		10/08/2018 11/19/2018		DATE	
RACETRAC MARKET		3990 GRIFFIN ROAD Hollywood, Florida 33312													
DATE		09/17/2018													
SCALE		1" = 30'													
DRAWN-BY		AG													
DRAWING NAME:															
ES-1		1													
SHEET NO.		VERSION													



- NOTES**
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO
- ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE AND LOCAL UTILITY COMPANY REQUIREMENTS.
- ALL DEMOLITION DEBRIS TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.



CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.



SITE DATA

THIS PLAN REFERENCES AN ALTA/ACSM LAND TITLE SURVEY BY:

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD, SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777 FAX: (954) 572-1778 LB#3870

OWNER: RAZ PROPERTIES INC.
APPLICANT: RACETRAC C/O THOMAS ENGINEERING GROUP, LLC
SITE ADDRESS: GRIFFEN RD & SW 40TH AVE. HOLLYWOOD, FL 33023
FOLIO: 5042 31 23 0020
CURRENT USE: VACANT
PROPOSED USE: 5,411 SF SERVICE STATION (20 FUEL POSITIONS) W/ ACCESSORY USE CONVENIENCE STORE
LAND USE DESIGNATION: GBUS (GENERAL BUSINESS)
ZONING DESIGNATION: C-3 (MEDIUM INTENSITY COMMERCIAL DISTRICT)

WATER/WASTEWATER SERVICE PROVIDER: CITY OF HOLLYWOOD

TOTAL SITE AREA 228,297 SF (5.24 AC)
GROSS LOT AREA (TOTAL PARCEL) 69,805 SF (1.71 AC)
LEASE AREA 82,029 SF (1.88 AC)
AFFECTED AREA(INCLUDES SHARED ACCESS)

	EXISTING	PROVIDED
PERVIOUS LANDSCAPE OPEN SPACE	74,608 SF	18,313 SF
TOTAL	74,608 SF (1.71 AC)	18,313 SF (0.42 AC) (24.5%)
IMPERVIOUS BUILDING AREA (FOOTPRINT)	0 SF	6,177 SF
VEHICULAR USE AREA (VUA)	0 SF	44,458 SF
SIDEWALK AND MISC. CONCRETE AREA	0 SF	5,450 SF
CANOPY AREA (INCLUDED IN VUA)	0 SF	8,609 SF
TOTAL	0 SF (0.00 AC)	56,295 SF (1.29 AC) (75.5%)

	REQUIRED	PROPOSED
BUILDING FLOOR AREA	60' MAX	5,411 SF
MAX. BLDG. HEIGHT:		25'
REQUIRED PARKING	REQUIRED	PROPOSED
SERVICE STATION W/ RETAIL	23 SPACES	36 SPACES
STANDARD PARKING (10' X 18') (1 PER 250 SF)	22 SPACES	34 SPACES
HANDICAP PARKING (12' X 18') (1 PER 25 STANDARD SPACES)	1 SPACE	2 SPACES

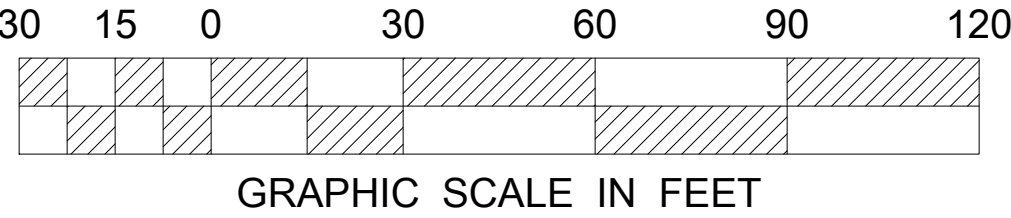
PROPOSED SETBACKS:	REQUIRED	PROPOSED
BUILDING		
FRONT (NORTH)	15'	182.76' BLDG., 68.67' CANOPY
REAR(SOUTH)	0'	47.61' BLDG., 164.77' CANOPY
SIDE (EAST)	0'	47.44' BLDG., 44.87' CANOPY
SIDE (WEST)	15'	101.39' BLDG., 70.82' CANOPY
PROPOSED LANDSCAPE BUFFERS:	REQUIRED	PROPOSED
FRONT (NORTH)	5'	21.41'
SIDE (WEST)	5'	18.25'

SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH BROWARD COUNTY AND/OR CITY OF HOLLYWOOD REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TOWERS, SLOPE PAVING, COLUMNS, DOOR LOCATIONS, AND UTILITY ENTRANCES.
- ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED PER PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- ALL CURB DIMENSIONS ARE TO THE FACE OF GUTTER OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE FACE OF STRUCTURAL CMU.
- THE BOTTOM OF CANOPY AT ITS LOWEST POINT IS TO BE 16 FEET ABOVE THE FINISH FLOOR ELEVATION OF THE BUILDING.
- ALL STRIPING ON THIS PLAN IS TO BE PAINTED WITHIN 48 HOURS OF COMPLETED PAVING UNLESS OTHERWISE NOTED.
- PUMPS ARE LOCATE AT LEAST 15' FROM ANY BUILDING BASE LINE.
- PUMPS ARE AT LEAST 25' FROM PROPERTIES ZONED RESIDENTIAL.
- MAXIMUM FOOT-CANDLE LEVEL AT ALL PROPERTY LINES SHALL NOT EXCEED 0.5 (REGARDLESS OF PROXIMITY TO RESIDENTIAL.)
- ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.
- MAXIMUM FOOT-CANDLE LEVELS SHALL NOT EXCEED 0.5 AT ALL PROPERTY LINES.
- RACETRAC WILL BE OPERATING 24-HOURS PER DAY.

HATCH LEGEND

6" THICK CONCRETE PAVING	8" REINFORCED CONCRETE FOR DUMPSTER ENCLOSURE, TANK AREA & CURB BACKING
4" THICK CONCRETE SIDEWALK	PROP. ASPHALT PAVEMENT



LEGEND

- PROPOSED ELEMENTS
- EXISTING ELEMENTS
- OVERHEAD ELECTRICAL LINE
- DISPENSER NUMBER
- PARKING SPACE COUNT
- FIRE TRUCK TURN RADII

LEGAL DESCRIPTION:

A PORTION OF PARCEL "B", "MAPLE RIDGE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 167, PAGE 38, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID PARCEL "B", SAID POINT LYING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF GRIFFIN ROAD (STATE ROAD NO. 818) AS SHOWN ON SAID PLAT; THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE, ALSO BEING THE NORTHERLY LINE OF SAID PARCEL "B", THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) SOUTH 76°52'46" EAST 31.69 FEET TO THE BEGINNING OF A NON-TANGENT CIRCULAR CURVE CONCAVE SOUTHERLY, FROM WHICH A RADIAL LINE BEARS SOUTH 01°59'11" WEST; 2) EASTERLY TO THE RIGHT, HAVING A RADIUS OF 5662.58 FEET, A CENTRAL ANGLE OF 0°29'13"; FOR AN ARC DISTANCE OF 48.14 FEET TO A POINT OF TANGENCY; 3) SOUTH 87°31'15" EAST 134.53 FEET; THENCE SOUTH 02°35'40" WEST 287.47 FEET; THENCE NORTH 87°31'15" WEST 279.10 FEET TO THE INTERSECTION WITH THE WESTERLY LINE OF SAID PARCEL "B", ALSO BEING THE EASTERLY RIGHT-OF-WAY LINE OF SW 40TH AVENUE AS SHOWN ON SAID PLAT; THENCE ON SAID WESTERLY AND EASTERLY LINE, THE FOLLOWING THREE (3) COURSES AND DISTANCES: 1) NORTH 14°06'17" EAST 68.24 FEET; 2) NORTH 07°15'43" EAST 200.00 FEET; 3) NORTH 55°11'29" EAST 44.54 FEET TO THE POINT OF BEGINNING.
SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA CONTAINING 74,608 SQUARE FEET (1.7128 ACRES), MORE OR LESS.

FEMA NOTE:
THE ENTIRE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE X AND AH WITH A BASE FLOOD ELEVATION OF 5 FEET, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 125131300554H.

ADA COMPLIANCE NOTE:
ALL PATHWAYS SHALL BE COMPLIANT WITH THE LATEST VERSION OF THE FLORIDA ACCESSIBILITY CODE.

NOTE: ALL SIGNAGE SHALL BE IN COMPLIANCE WITH THE ZONING & LAND DEVELOPMENT REGULATIONS.

DATUM NOTE:
ALL ELEVATIONS ARE BASED ON NORTH AMERICA VERTICAL DATUM OF 1988 (NAVD 88), CONVERSION FROM NAVD TO NGVD IS (+11.51'), I.E. 7.51' NGVD = 6.00' NAVD.

10/8/2018
11/9/2018

PRELIMINARY TAC MEETING
FINAL TAC MEETING

DATE

THOMAS ENGINEERING GROUP, LLC

6000 NW 31ST AVE
FOLIO #5042 31 23 0020
PH: (954) 572-1777
WWW.THOMASENGINEERINGGROUP.COM

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 63381
Expiring 5/2018

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PERMISSION OF
RACETRAC
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SITE PLAN

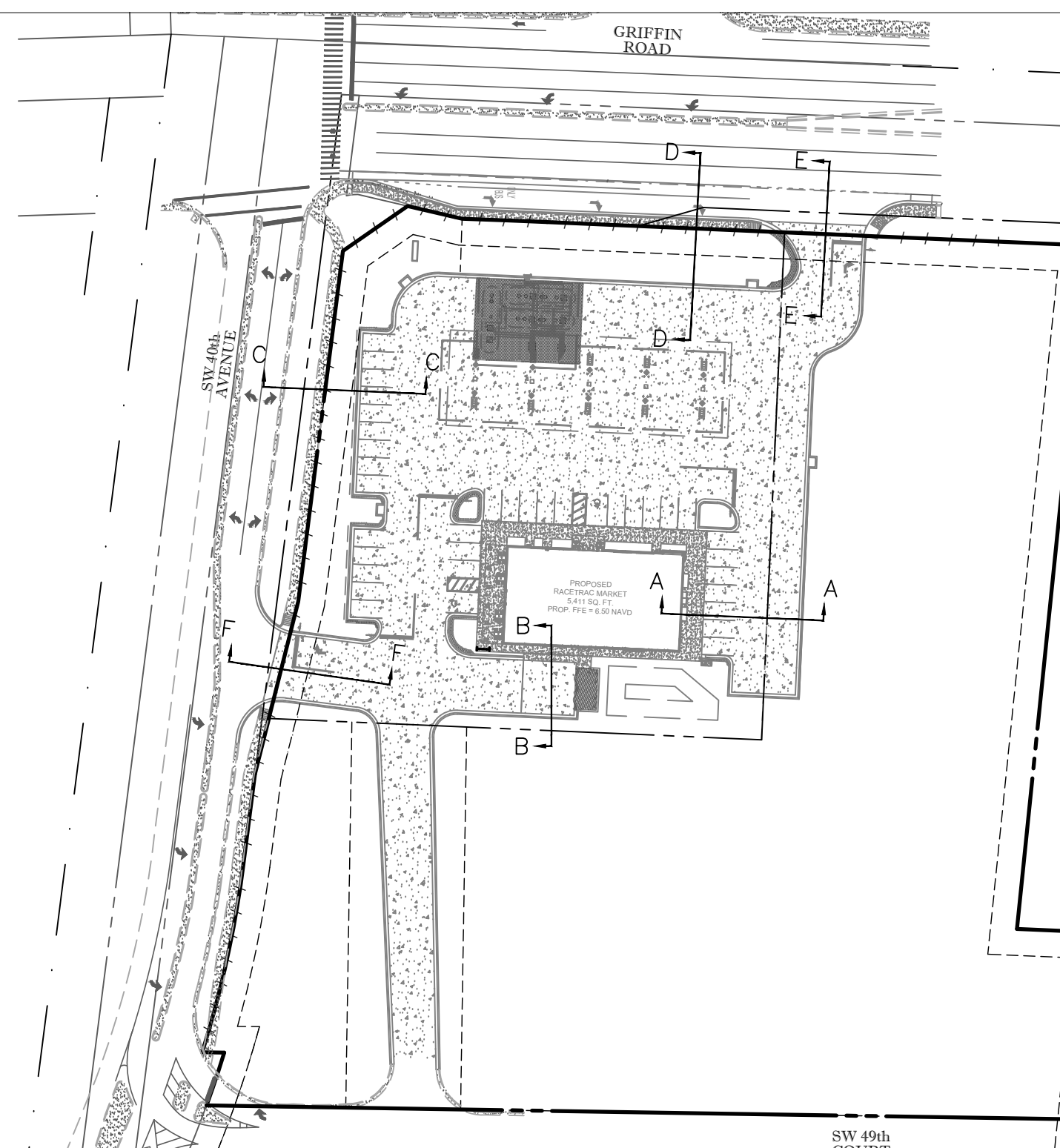
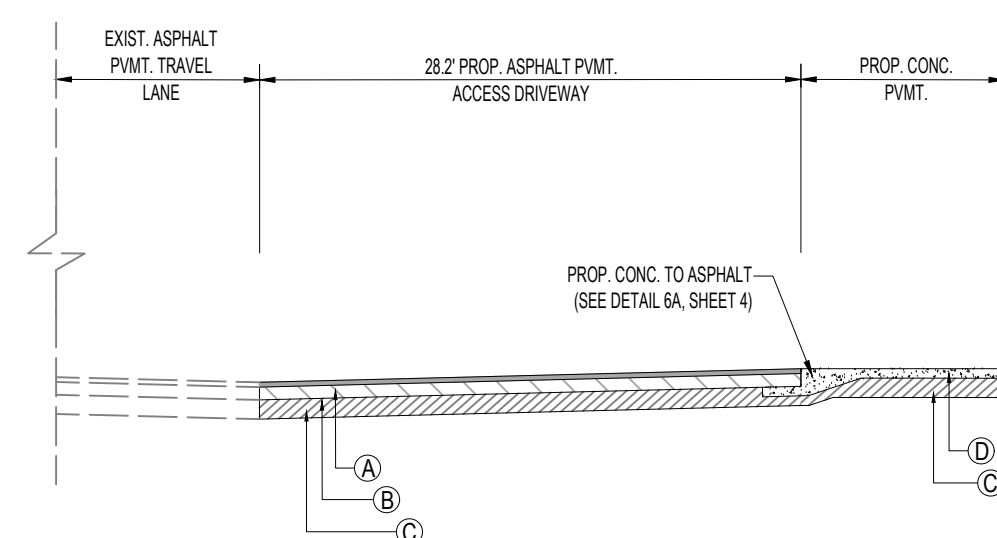
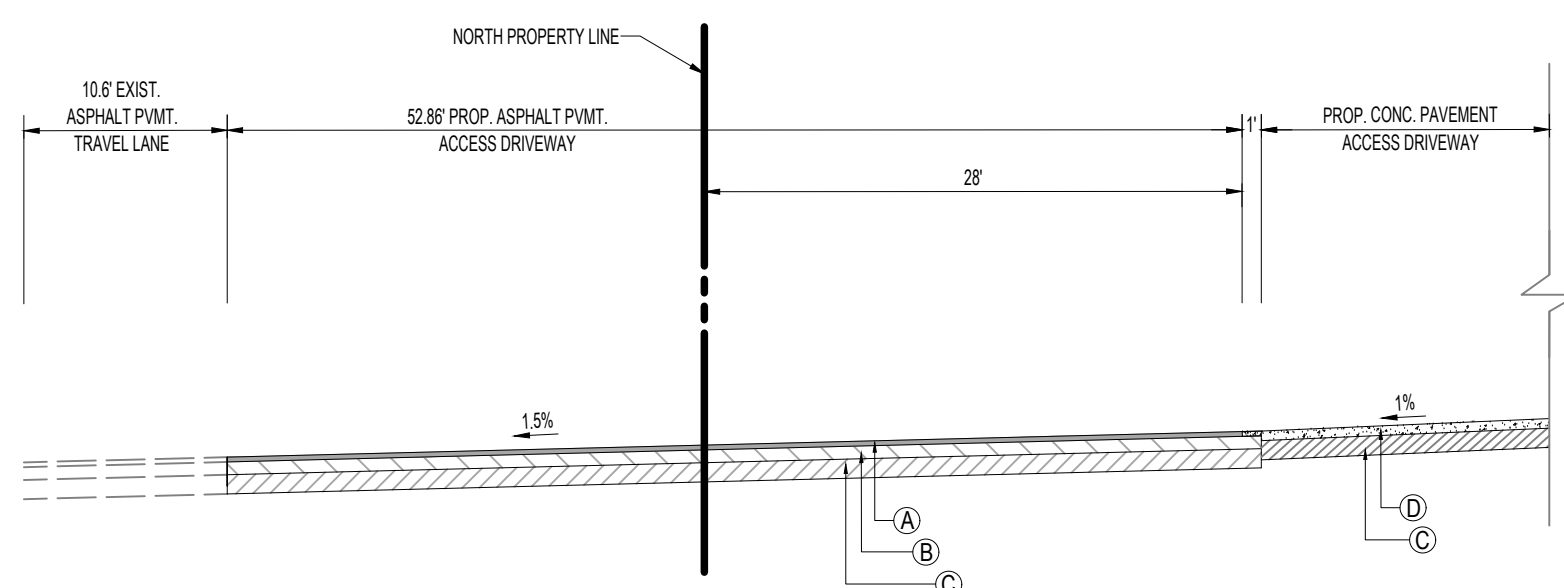
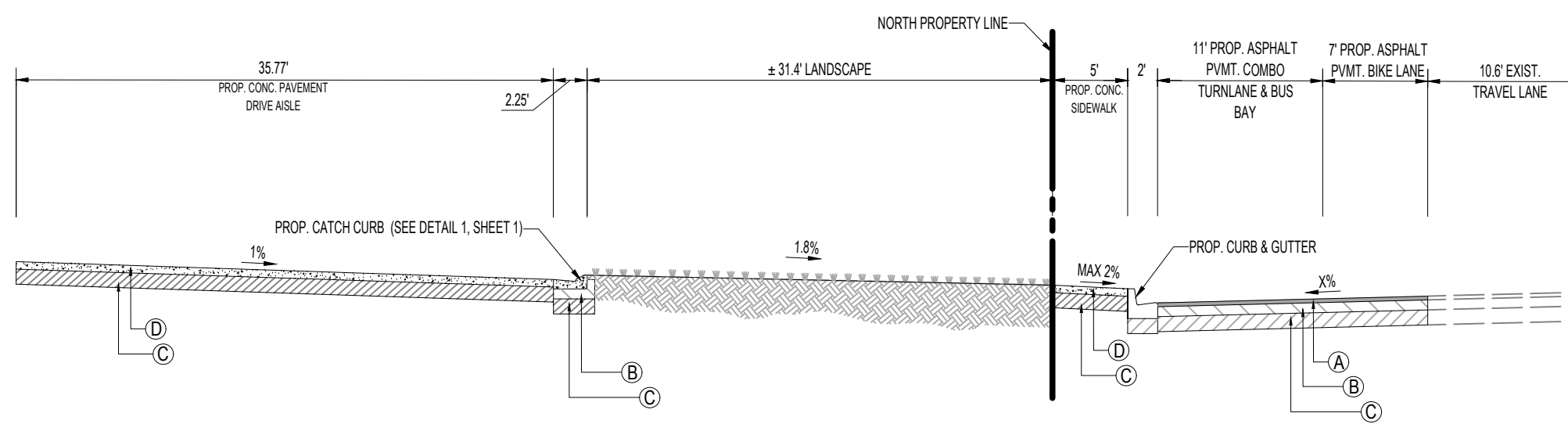
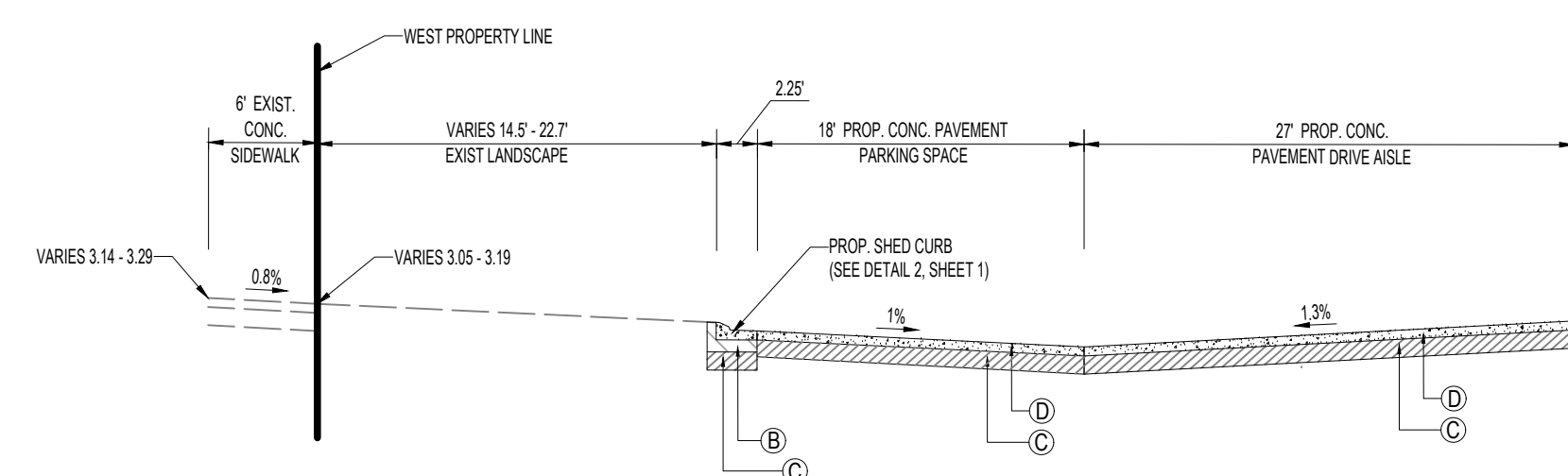
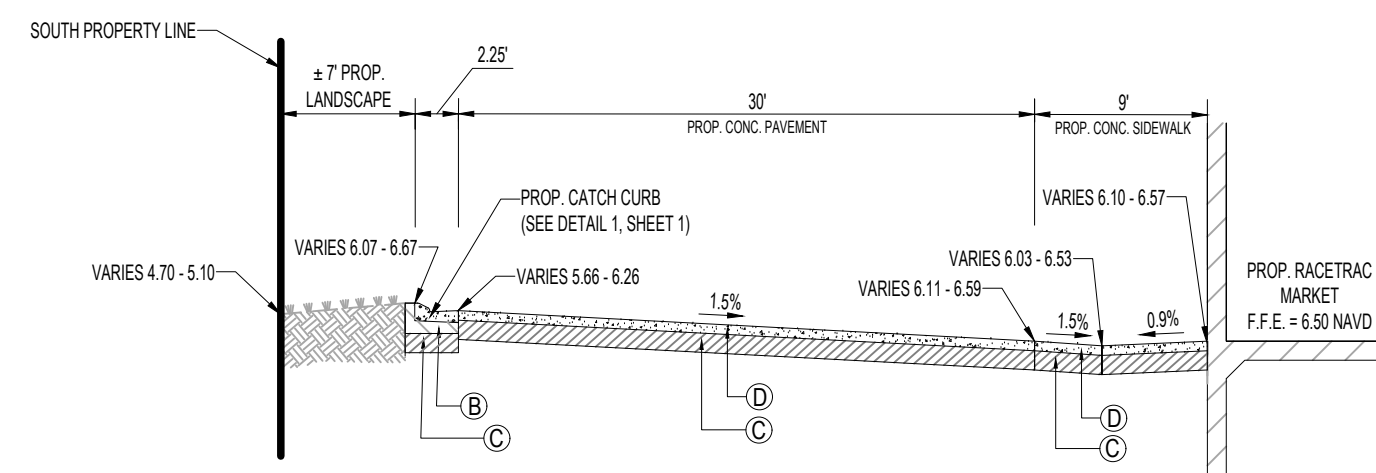
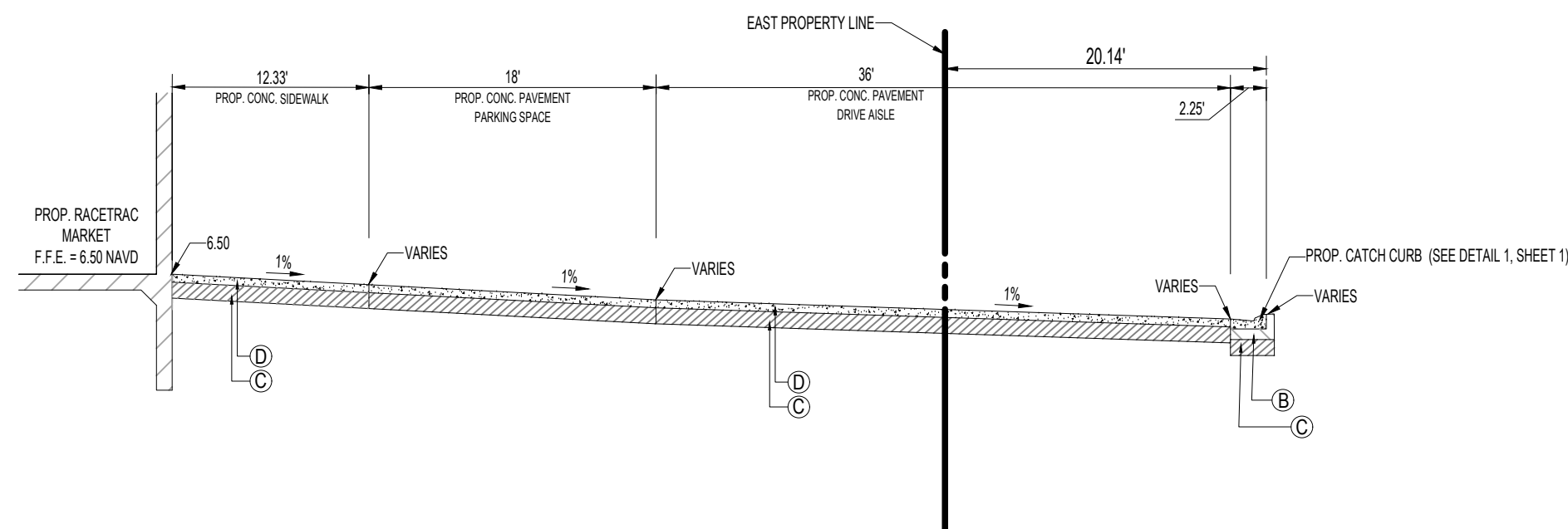
RACETRAC MARKET

3990 GRIFFIN ROAD
Hollywood, Florida 33312

DATE
SCALE
DRAWN-BY
DRAWING NAME
F180082 - SITE PLAN

09/17/2018
1" = 30'
AG
C-1.1
1

DATE
VERSION



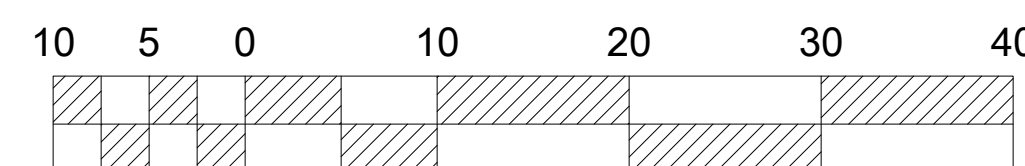
PAVEMENT LEGEND

- (A) WEARING SURFACE: (ASPHALT AREAS ONLY)**
1.5-INCHES OF SP-9.5 FINE MIX ASPHALTIC CONCRETE (2 LIFTS). BITUMINOUS ASPHALT COARSE MAY BE INSTALLED IN SEPARATE 0.75' FIRST LIFT TO ALLOW MOBILIZATION OF EQUIPMENT. THE SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL ALL OTHER WORK ON THE SITE HAS BEEN COMPLETED. UPON COMPLETION OF SECOND LIFT OF ASPHALT, ANY SCRATCHES, GROUDES, OR LOSS OF AGGREGATE WILL NOT BE ACCEPTED. CONTRACTOR TO REMEDY ALL HOLES, BLEMISHES, ETC. PRIOR TO THE UNIFORM INSTALLATION OF SECOND LIFT. AFTER SECOND LIFT OF ASPHALT IS INSTALLED, TRAFFIC ROLLING IS REQUIRED.
- (B) LIME ROCK BASE: (ASPHALT/VEHICULAR PAVERS AREAS)**
LIME ROCK BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM 8" THICKNESS AND COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180 (LBR 100). OTHER SUBSTITUTES SHALL BE PER DOT SPECIFICATIONS AND PROVIDE EQUIVALENT STRUCTURAL NUMBER AS ABOVE (MIN LBR 100) WITH ENGINEER'S APPROVAL.
- (C) SUB-BASE: 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).**
- (D) CONCRETE PAVEMENT:**
6" THICK 4000 P.S.I. CONCRETE FOR VEHICULAR USE AREAS (VUA) AND 4" THICK FOR NON VUA SIDEWALK.
- (E) 12" COMPACTED SUBGRADE: (WALKWAYS AND CONCRETE PAVEMENT)**
12" COMPACTED TO 98% MAXIMUM DRY DENSITY PER AASHTO T-180.
- (F) BRICK PAVERS**
- (G) SAND: 1.5" OF CLEAN SCREENED SAND OR CONCRETE SAND.**



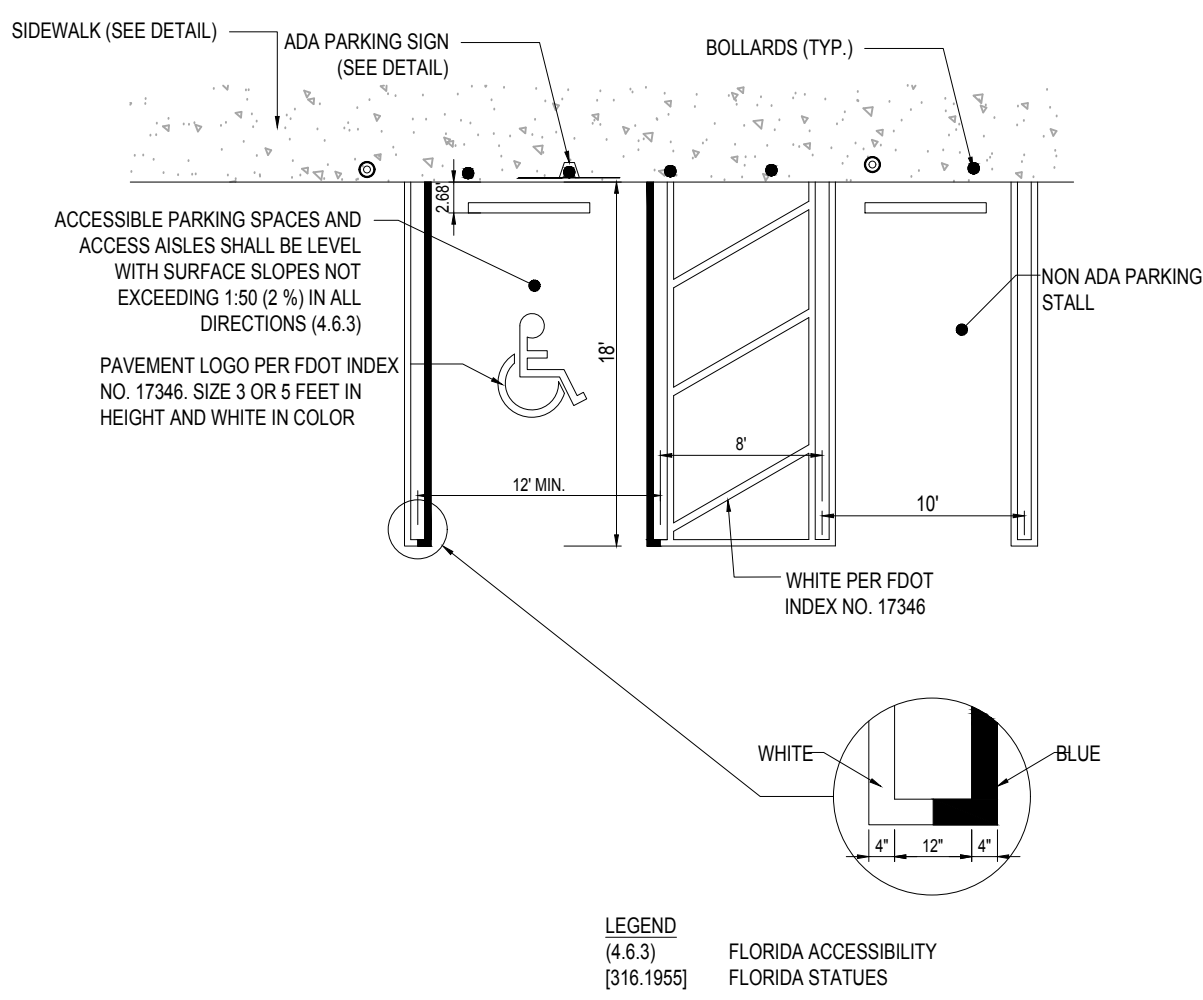
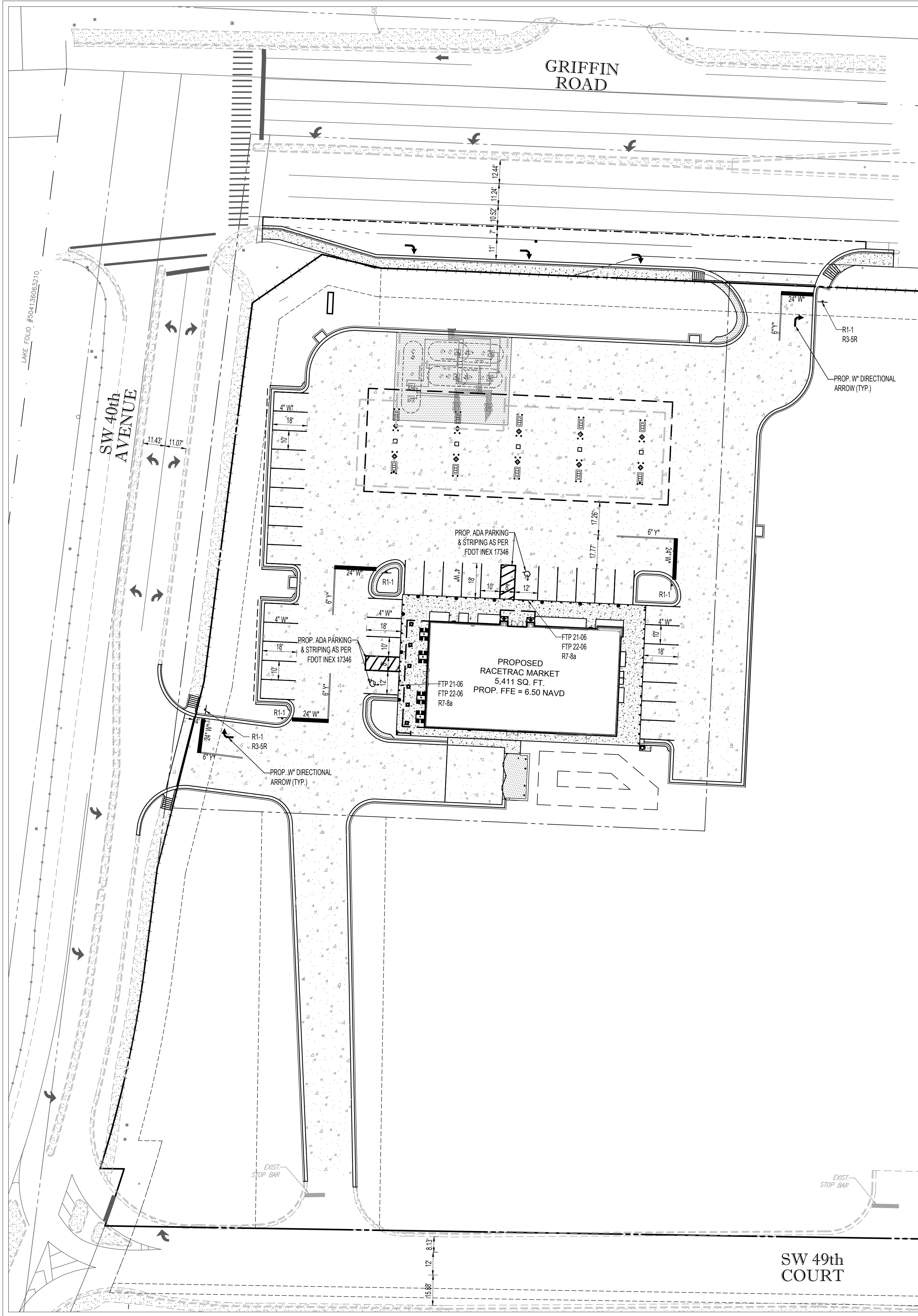
Know what's below.
Call before you dig.

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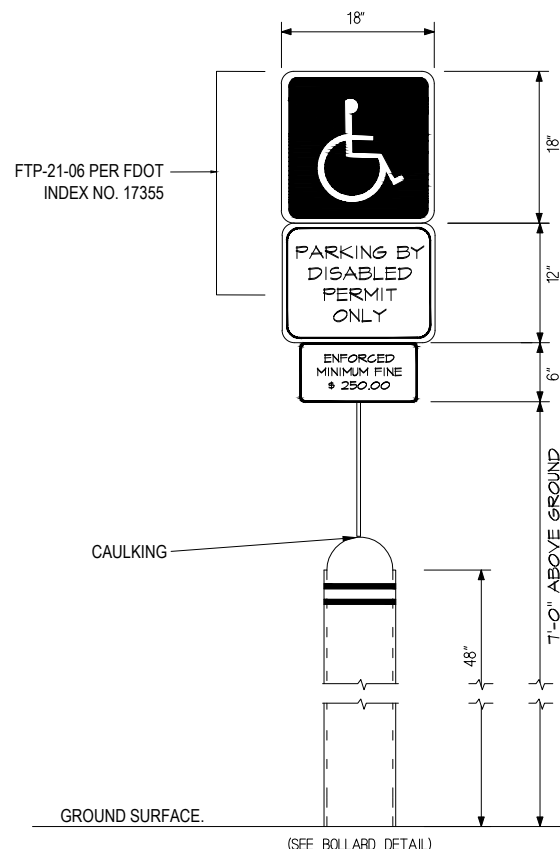


GRAPHIC SCALE IN FEET

[illegible]



1 ACCESSIBLE PARKING SPACE - ADA COMPLIANT
SCALE: NONE



2 ACCESSIBLE PARKING SIGNS
N.T.S.



- ENGINEERING NOTES:
1. ALL STRIPING & SIGNS TO MEET MUTCD & BCTED MINIMUM STANDARDS.
 2. ALL MARKING TO BCTED MINIMUM STANDARDS
 3. ALL MARKING, EXCEPT PARKING SPACE STRIPING TO BE THERMOPLASTIC.
 4. ALL SIGNS TO BE MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS 7' ABOVE THE ADJACENT GRADE.
 5. ALL SIGNS TO BE MOUNTED ON BROWARD COUNTY STANDARD SQUARE POST.

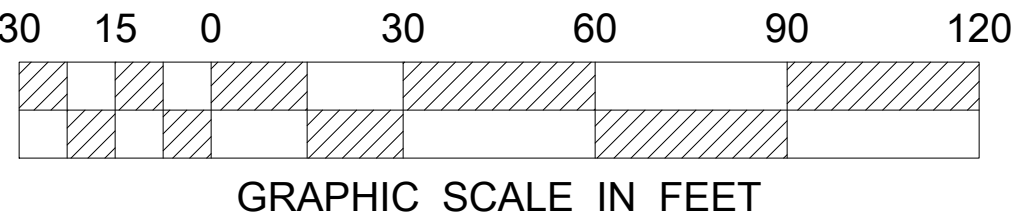
- BCTED NOTE:**
1. ALL R1-1 AND R5-1 SIGNING SHALL BE FABRICATED USING DIAMOND GRADE SHEETING AS PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARD, (CURRENT EDITION)
 2. ALL TRAFFIC CONTROL DEVICES MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.

LEGEND	
R1-1	STOP SIGN (30" x 30")
R3-5R	RIGHT TURN ONLY (30" x 30")
R7-8a	VAN ACCESSIBLE (12" x 6")
FTP 21-06	ACCESSIBLE PARKING (18" x 30")
FTP 22-06	FINE \$250 MAX (12" x 6")
DY	DOUBLE YELLOW
W	WHITE
Y	YELLOW
	THERMOPLASTIC

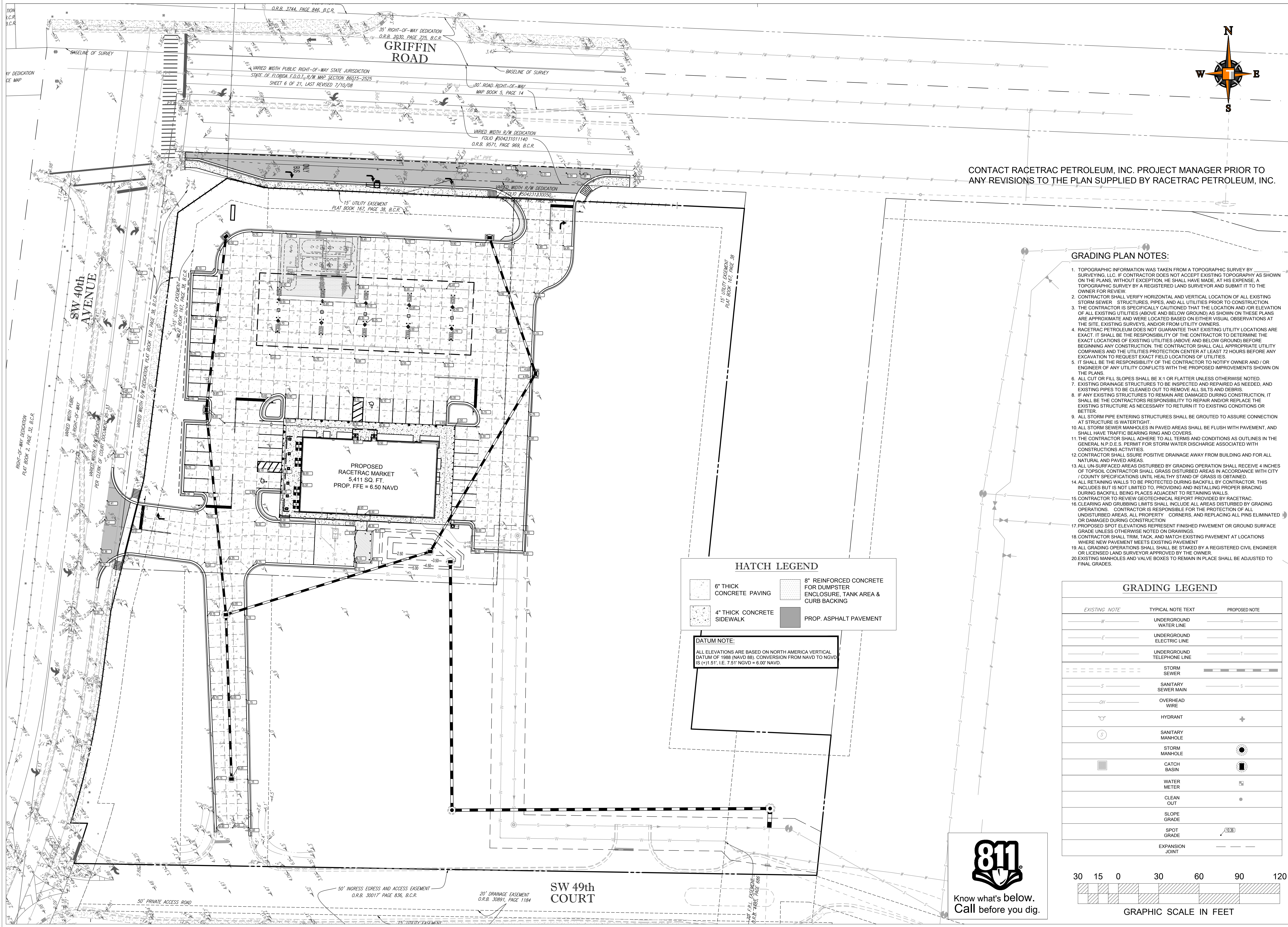
THERMOPLASTIC RETROREFLECTIVITY REQUIREMENTS
WHITE 250 MILLICANDELAS
YELLOW 175 MILLICANDELAS



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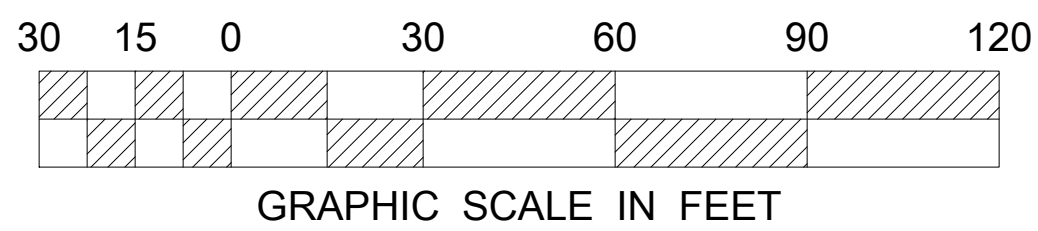


10/08/2018	PRELIMINARY TAC MEETING	NO.	
11/19/2018	FINAL TAC MEETING	NO.	
THOMAS ENGINEERING GROUP 6300 NW 31ST AVE FORT LAUDERDALE, FL 33309 PH: (954) 922-7000 www.ThomasEngineeringGroup.com			
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RACETRAC PETROLEUM, INC. 3990 GRIFFIN ROAD HOLLYWOOD, BROWARD COUNTY FLORIDA 33312			
PAVEMENT MARKING & SIGNAGE PLAN		RACETRAC MARKET	
DATE		09/17/2018	
SCALE		1" = 30'	
DRAWN-BY		AG	
DRAWING NAME:			
C1.3		1	
SHEET NO.		VERSION	



- GRADING PLAN NOTES:**
1. TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY SURVEYING, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS.
 4. RACETRAC PETROLEUM DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND / OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 6. ALL CUT OR FILL SLOPES SHALL BE X:1 OR FLATTER UNLESS OTHERWISE NOTED.
 7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
 8. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 9. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
 11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINES IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTIONS ACTIVITIES.
 12. CONTRACTOR SHALL SURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
 13. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY / COUNTY SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
 14. ALL RETAINING WALLS TO BE PROTECTED DURING BACKFILL BY CONTRACTOR. THIS INCLUDES BUT IS NOT LIMITED TO, PROVIDING AND INSTALLING PROPER BRACING DURING BACKFILL BEING PLACES ADJACENT TO RETAINING WALLS.
 15. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY RACETRAC.
 16. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
 17. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
 18. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
 19. ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
 20. EXISTING MANHOLES AND VALVE BOXES TO REMAIN IN PLACE SHALL BE ADJUSTED TO FINAL GRADES.

GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	OVERHEAD WIRE	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	WATER METER	
	CLEAN OUT	
	SLOPE GRADE	
	SPOT GRADE	
	EXPANSION JOINT	



10/8/2018
11/19/2018

PRELIMINARY TAC MEETING
FINAL TAC MEETING

NO.

DATE

THOMAS ENGINEERS, INC.

6000 NW 31ST AVE
FORT LAUDERDALE, FL 33309
PH: (954) 922-7000
www.thomasengineers.com

FLORIDA BUSINESS REGISTRATION NO. 27928

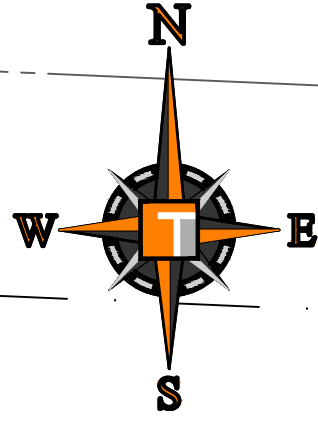
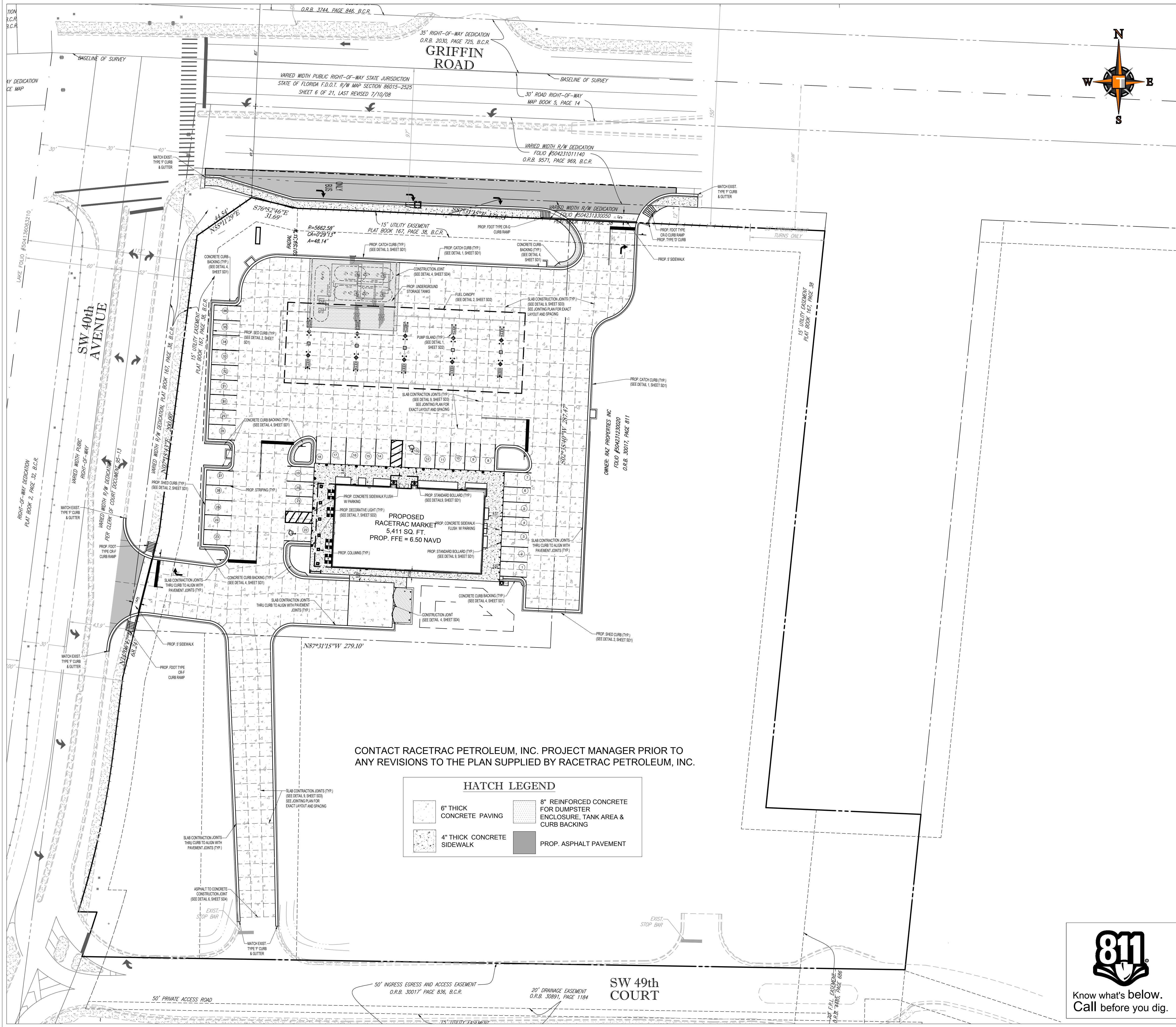
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3990 GRIFFIN ROAD
HOLLYWOOD, BROWARD COUNTY
FLORIDA 33312

GRADING PLAN
RACETRAC MARKET

DATE 09/17/2018
SCALE 1" = 30'
DRAWN-BY AG
DRAWING NAME:

C2.1 1
SHEET NO. VERSION



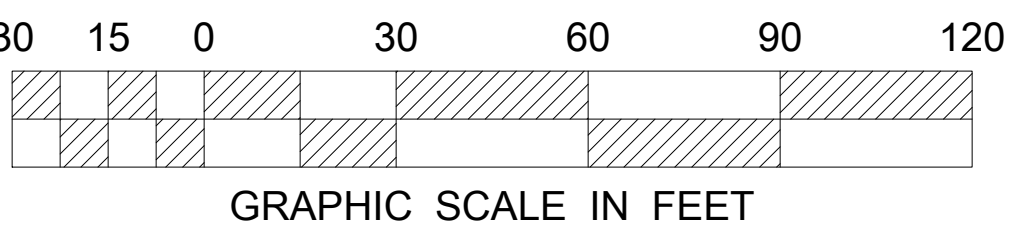
- PAVING PLAN NOTES:**
- STANDARD DUTY PAVEMENT AREAS SHALL BE PORTLAND CEMENT CONCRETE. DETAILS OF THE STANDARD DUTY CONCRETE PAVEMENT ARE PROVIDED ON DETAIL SHEETS.
 - AREA OVER TANKS AND DUMPSTER PAD TO BE 8" THICK 4000 PSI W/ FIBER MESH AND #5 REBAR PLACED 18 INCHES ON CENTER EACH WAY. APPROACH IN FRONT OF DUMPSTER TO BE 8" THICK 4000 PSI W/ FIBER MESH AND #5 REBAR PLACED 18 INCHES ON CENTER EACH WAY.
 - NOTIFY OWNER 3 DAYS PRIOR TO POUR OF INITIAL SECTION OF DRIVEWAY PAVING. RACETRAC REPRESENTATIVE TO APPROVE INITIAL POUR.
 - TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
 - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" LATEST EDITION. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE STATE DOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES. CONTRACTOR SHALL REVIEW ALL TRAFFIC CONTROL DEVICES WITH DOT PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING.
 - SEE IRRIGATION PLAN AND MEP PLANS PRIOR TO PAVING FOR LOCATION OF PROPOSED SLEEPING AND CONDUITS. EXTRA CONDUIT SHALL BE PLACED UNDER DRIVEWAYS FOR FUTURE USE.
 - ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT OF 1990.
 - CONTRACTOR SHALL INSTALL CONSTRUCTION/EXPANSION JOINTS AT THE END OF A DAYS POUR AT ALL RADIUS POINTS, OR MAXIMUM 30' O.C. SPACING. CONTROL JOINTS SHALL BE PLACED AT MAXIMUM 15' IN BOTH DIRECTIONS.
 - CONTRACTOR TO SUBMIT A JOINTING PLAN TO THE CONSTRUCTION MANAGER PRIOR TO THE BEGINNING OF ANY PAVING WORK.
 - PAVING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR THE SCREENING WALLS AND THE DUMPSTER PADS.
 - ALL DISCREPANCIES FOUND BY CONTRACTOR RELATED TO UNDERGROUND UTILITIES OR OTHER APPURTENANCES SHALL BE RESOLVED TO THE SATISFACTION OF OWNER AND ENGINEER PRIOR TO PLACEMENT OF ANY PAVING. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND ANY CONDUITS IN SUBGRADE OF AREAS TO BE PAVED, AND NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND PRIOR TO INSTALLATION OF ANY PAVING.
 - EXISTING MANHOLE TOPS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES. IF NECESSARY, RE-ADJUSTMENTS SHALL BE PERFORMED UPON COMPLETION OF PAVING AND FINE GRADING TO ENSURE A SMOOTH TRANSITION.
 - ALL JOINTS SHALL EXTEND THROUGH THE CURB.
 - COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
 - ALL PAVEMENT TO BE SLOPED FOR POSITIVE DRAINAGE.
- CONSTRUCTION NOTES:**
- CONTRACTOR TO SAW-CUT AT ALL LOCATIONS OF REMOVAL OF EXISTING CONC. SIDEWALK, CONC. CURB AND ASPHALT UNLESS OTHERWISE NOTED. ALL BASE AND SUBBASE MATERIAL SHALL BE REMOVED WITHIN THE PROPOSED LANDSCAPED AREA.
 - CONTRACTOR TO MATCH EXIST. GRADES AND TO CONSTRUCT A SMOOTH TRANSITION FROM EXISTING FACILITIES TO PROPOSED.
 - CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE AND DISPOSE PER LOCAL ORDINANCES.
 - CONTRACTOR TO ENSURE ALL CONSTRUCTION IS IN ACCORDANCE WITH CITY DESIGN STANDARDS.
 - CONTRACTOR TO SOD ALL DISTURBED AREAS. SODDING INCLUDES MAINTAINING SLOPE AND SOD UNTIL COMPLETION AND ACCEPTANCE OF THE TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST.
 - ALL EXISTING TRAFFIC SIGNS DISTURBED DURING CONSTRUCTION SHALL BE REINSTALLED WHERE APPLICABLE BY THE CONTRACTOR.
 - THESE PLANS REFLECT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT THAT ACTUAL PHYSICAL CONDITIONS PREVENT THE APPLICATION OF THESE STANDARDS OR THE PROGRESSION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED AREA.
 - THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, STORM DRAINS, UTILITIES, AND OTHER FACILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES DUE TO HIS/HER CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
 - NOTIFY SUNSHINE STATE ONE CALL (1-800-432-4770) PRIOR TO CONSTRUCTION.
 - PROJECT BASED ON DESIGN SURVEY PREPARED BY OTHERS. DURATION OF CONSTRUCTION IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 600.
 - THE CONTRACTOR SHALL NOT ENCR OACH ONTO PRIVATE PROPERTY WITHOUT EASEMENTS NECESSARY FOR COMPLETION OF THE WORK.
 - THE EXISTING UNDERGROUND UTILITIES SHOWN ARE PER ABOVE GROUND SURVEY DATA AND UTILITY AS-BUILT DATA. THIS INFORMATION DOES NOT WARRANT EXACT SIZE AND LOCATION OF THE UTILITIES. ALSO, THERE MAY BE ADDITIONAL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION THAT MAY BE AFFECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING UTILITIES DURING THE COURSE OF CONSTRUCTION.
 - PLEASE SEE MEP PLANS FOR CONTINUATION OF ROOF LEADERS.
 - 2.0% MAXIMUM SLOPE ON HANDICAP SPACES AND ADA ACCESS WAYS.
 - ALL SIDEWALKS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2.0%.
 - ALL GRADE SHOTS ARE TO BE EDGE OF PAVEMENT (EOP) UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS REFERENCE NAVD 1988. (ADD 1.51' TO CONVERT TO NGVD 1929).

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

HATCH LEGEND			
	6" THICK CONCRETE PAVING		8" REINFORCED CONCRETE FOR DUMPSTER ENCLOSURE, TANK AREA & CURB BACKING
	4" THICK CONCRETE SIDEWALK		PROP. ASPHALT PAVEMENT

LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND TELEPHONE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	OVERHEAD WIRE	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	WATER METER	
	CLEAN OUT	

Know what's below.
Call before you dig.



10/30/2018
11/19/2018

PRELIMINARY TAC MEETING
FINAL TAC MEETING

NO.

6300 NW 31ST AVE
FORT LAUDERDALE, FL 33309
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www.ThomasWilliamsEng.com

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RACETRAC PETROLEUM, INC.
3990 GRIFFIN ROAD
HOLLYWOOD, FLORIDA 33312

DATE
SCALE
DRAWN-BY
DRAWING NAME:

09/17/2018
1" = 30'
AG
C3.1

1
VERSION

DATE