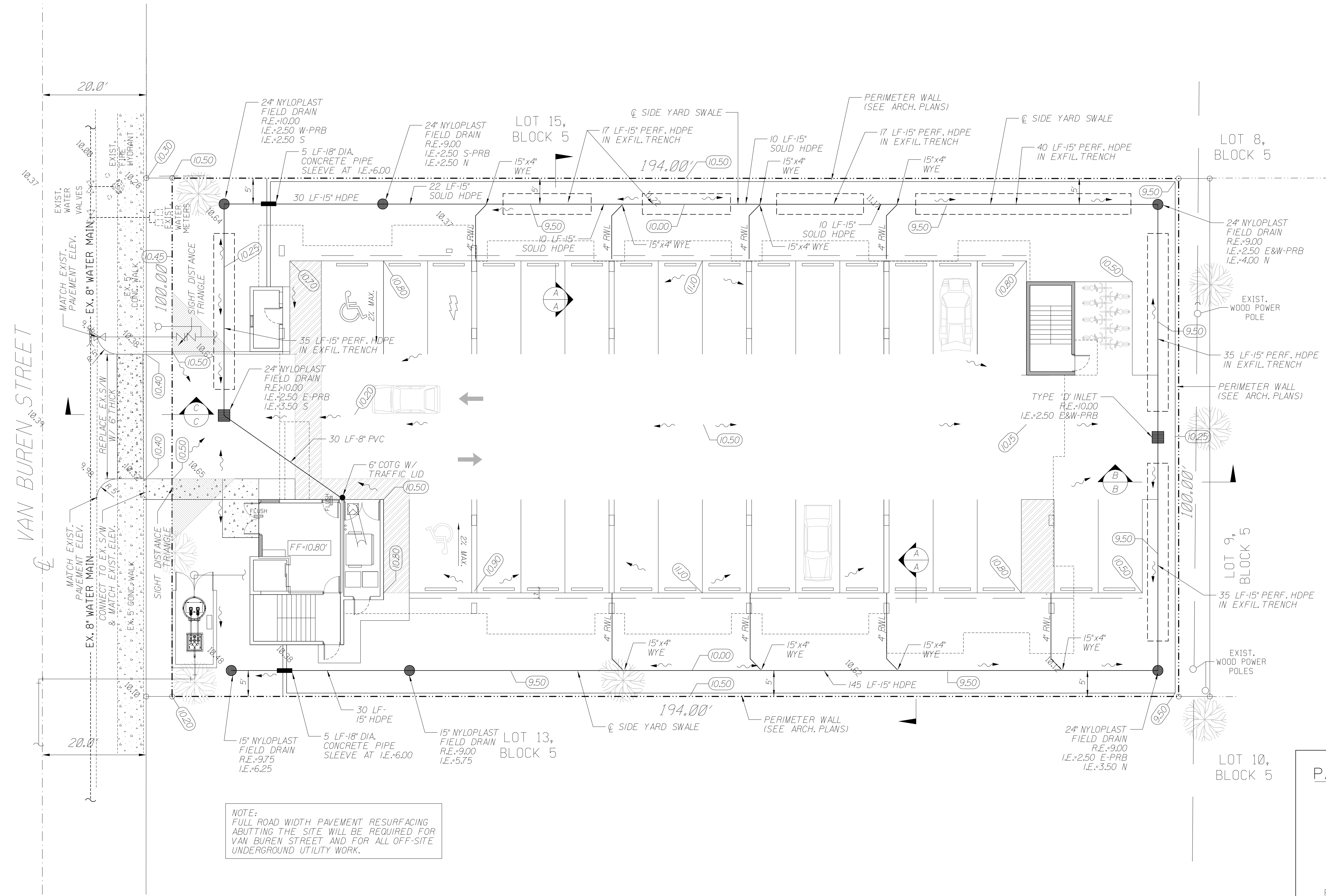
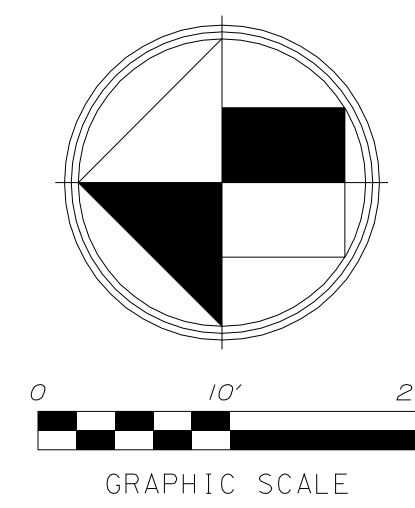


ATTACHMENT A

Application Package Part II



NOTE:
FULL ROAD WIDTH PAVEMENT RESURFACING
ABUTTING THE SITE WILL BE REQUIRED FOR
VAN BUREN STREET AND FOR ALL OFF-SITE
UNDERGROUND UTILITY WORK.

NOTE:
ELEVATIONS SHOWN HEREON ARE BASED
ON THE NORTH AMERICAN VERTICAL DATUM
OF 1988 (NAVD).

PAVING & DRAINAGE LEGEND

R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
	DIRECTION OF OVERLAND FLOW
P.R.B.	POLLUTION RETARDANT BASIN
F.F. = 10.00	FINISHED FLOOR ELEVATION
-----	EXISTING OR FUTURE UTILITIES
	LENGTH, SIZE OF STORM DRAIN
	EXISTING GRADE
	PROPOSED GRADE

REVISIONS:

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CLIENT:

Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

PROJECT:

Van Buren Apartments
2316-2318 Van Buren Street
HOLLYWOOD FLORIDA 33020

TASK:

**PAVING, GRADING AND
DRAINAGE PLAN**

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION NO. 8118
2699 Stirling Road, Suite 200
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-8655

DATE:

May 2018

SCALE:

1"=10'

DESIGNED BY:

G.C.B.

DRAWN BY:

F.M.

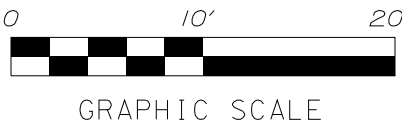
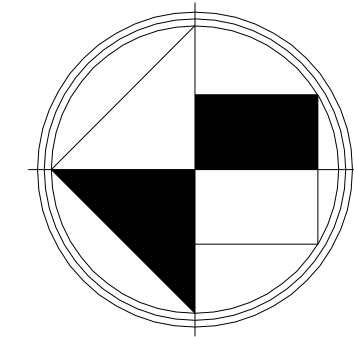
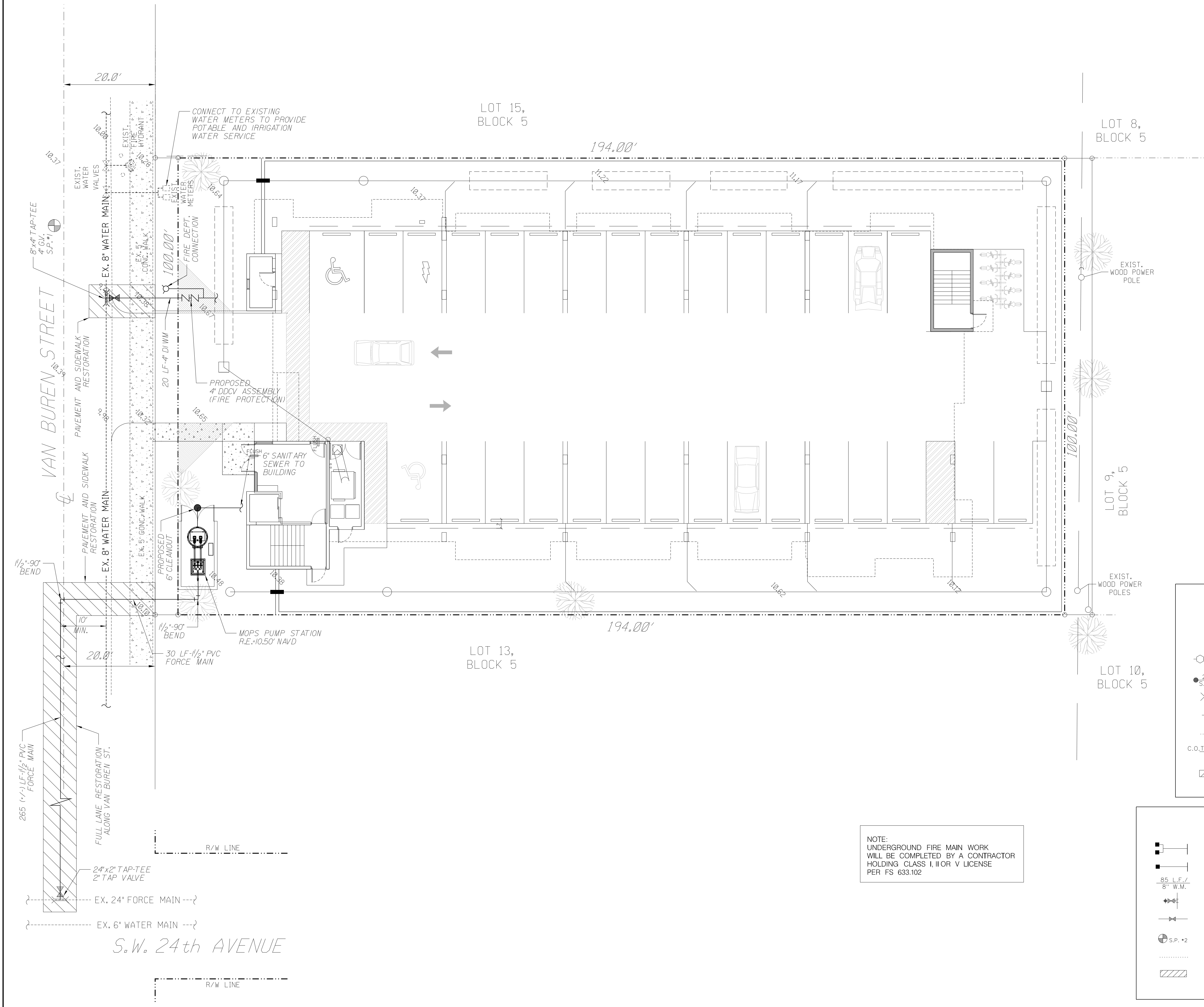
PROJECT NO.

18-0525

SHEET

C-2

GARY G. BLOOM, P.E.
FLA. LIC. NO. 79832
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER



SEWER LEGEND

- | | |
|------------------------------|------------------------------|
| R.E. | RIM ELEVATION |
| I.E. | INVERT ELEVATION |
| MANHOLE
R.E.
I.E. | MANHOLE DESIGNATION |
| 25 L.F./8"
S.S. @ 0.42% | LENGTH & SLOPE OF PIPE |
| DOUBLE LATERAL | DOUBLE SEWER LATERAL |
| SINGLE LATERAL | SINGLE SEWER LATERAL |
| EXISTING OR FUTURE UTILITIES | EXISTING OR FUTURE UTILITIES |
| C.O.T.G. | CLEAN OUT TO GRADE |
| D.I.P. PIPE | D.I.P. PIPE |

WATER LEGEND

- | | |
|---|---|
| DOUBLE WATER METER SERVICE | DOUBLE WATER METER SERVICE |
| SINGLE WATER METER SERVICE | SINGLE WATER METER SERVICE |
| 85 L.F./8" W.M. | LENGTH, SIZE & TYPE OF WATER MAIN |
| FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY | FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY |
| PROPOSED GATE VALVE | PROPOSED GATE VALVE |
| S.P. #2 | BACTERIOLOGICAL SAMPLING POINT |
| EXISTING OR FUTURE UTILITIES | EXISTING OR FUTURE UTILITIES |
| D.I.P. PIPE | D.I.P. PIPE |

NOTE:
UNDERGROUND FIRE MAIN WORK
WILL BE COMPLETED BY A CONTRACTOR
HOLDING CLASS I, II OR V LICENSE
PER FS 633.102

REVISIONS:	
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CLIENT: Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746	
PROJECT: Van Buren Apartments 2316-2318 Van Buren Street HOLLYWOOD FLORIDA 33020	TASK: WATER AND SEWER PLAN
GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS FLORIDA REGISTRATION NO. 8118 2699 Stirling Road, Suite 200 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655	
DATE: May 2018	SCALE: 1"=10'
DESIGNED BY: C.G.B.	DRAWN BY: F.M.
PROJECT NO. 18-0525	
SHEET C-3	
GARY G. BLOOM, P.E. FLA. LIC. NO. 19832 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER	

PAVING, GRADING AND DRAINAGE NOTES

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HORGANIC, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL, AS CLASSIFIED BY AASHTO M-45, FOUND WITHIN THE ROAD AND SHOULDER ARE TO BE REMOVED TO A DEPTH OF 12 INCHES TO EXPOSE THE FIRM MATERIAL. TO BE REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 1" LIFTS COMPACTED TO NOT LESS THAN 100% MODIFIED PROCTOR TO BE REWORKED FOR SUITABLE MATERIAL.
2. AASHTO T-99, THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYER REMOVED.
3. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE PROPOSED ROAD. ALL OBSTRUCTIONS DEEPER THAN 12 INCHES FOOT SHALL BE DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
4. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, OR A-2-4 IN ACCORDANCE WITH AASHTO M-45 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL. NOT MODIFIED BY WEIGHT OR VOLUME.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO, COMPRESSION, TENSILE, AND SHOCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:

4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929

8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.

10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.

12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.

5. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.

6. REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.

7. THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.



STRUCTURE TYPE	INLET	MANHOLE
B	3'-0" X 3'-0"	3'-0" X 3'-0"
C	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
M	5'-0" X 5'-0"	5'-0" X 5'-0"

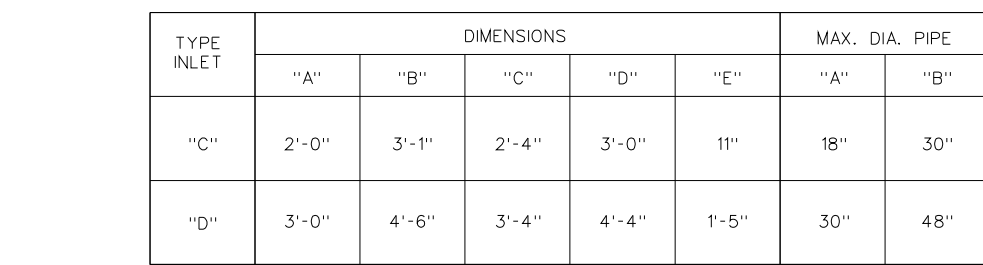
POLLUTION RETARDANT BASIN
DEBRIS BAFFLE DETAIL



D	BAFFLE DIA.
10"	15"
15"	24"
18"	30"
24"	36"
30"	48"
36"	54"



ELEVATION

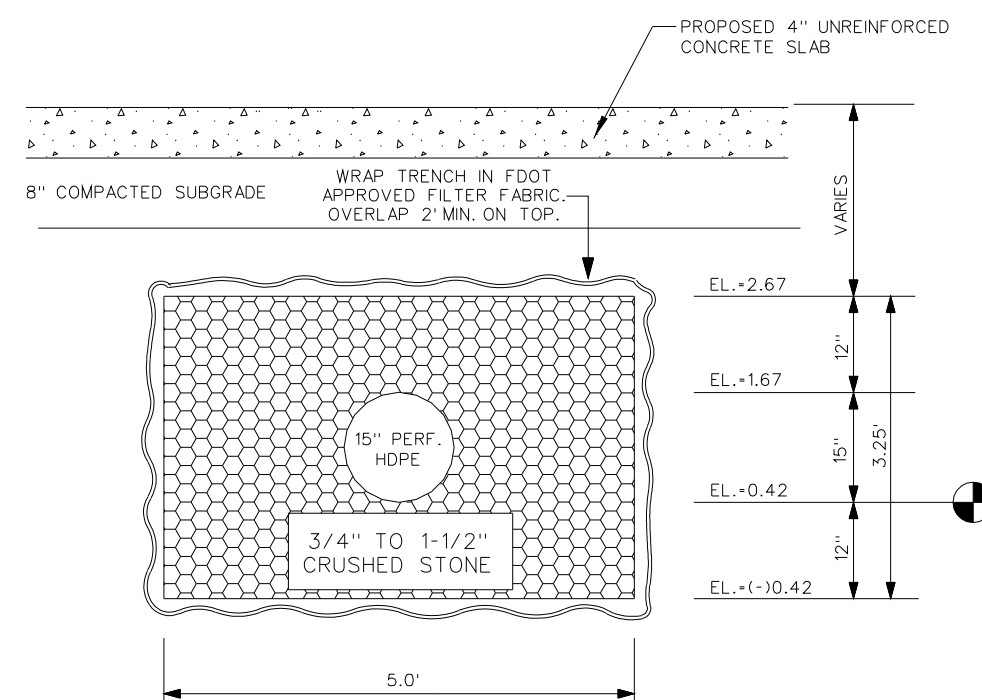


1. ALL CONCRETE SHALL BE 3000 PSI, 4" THICK 6" THICK (MIN.) AT DRIVEWAYS ONLY.
2. TYPE "A" JOINT TO BE USED AT P.C. AND P.T. OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK
3. TYPE "B" JOINT TO BE USED AT 5'-0" CENTER TO CENTER ON SIDEWALKS.
4. TYPE "C" JOINT TO BE USED WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
5. SIDEWALK SLOPES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.).
6. SIDEWALK SHALL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ADJACENT SECTION.
7. ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.

Diagram illustrating the cross-section of a concrete curb structure. The curb is 18" high and 8" wide at the base. The top surface is 6" wide. The curb is composed of three layers: PAVEMENT (top), ROCK BASE (middle), and SUBGRADE (bottom). The curb is reinforced with 1/2" R (reinforcement) and 2" R (reinforcement).

TYPE "D" CURB

NOTE: PLACES WHERE TYPE 'D' CURB
ARE UTILIZED IN LIEU OF WHEELSTOPS
THE STANDARD VERTICAL HEIGHT OF 6"
SHALL BE MODIFIED TO 5"



TRENCH CROSS SECTION

INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION
IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY
MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.

INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. TYPE "E MOD." IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P. UP TO 48" DIAMETER. INLETS RECEIVING PIPE LARGER THAN 48" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS. SEE F.D.O.T. STANDARD INDEXES 200, 201, & 232.

MATERIAL: INLET WAYS AND BASES MAY BE EITHER CAST-IN-PLACE CLASS II, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 P.S.I. CONCRETE.

POLLUTION CONTROL DEVICES: "SPECIAL" INLETS SHALL HAVE POLLUTION CONTROL DEVICE INSTALLED, CONSISTING OF HALF-ROUND GALVANIZED STEEL PLATE, OPEN AT THE BOTTOM, WELDED CLOSED AT TOP (OPTIONAL).

LOCKDOWN: PROVIDE EYEBOLT PER F.D.O.T. STANDARD INDEX 201.

COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 95% OF MAX. DRY DENSITY PER ASTM D-1557.

BACKFILL NOTES

COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 95% OF MAX. DRY DENSITY PER ASTM D-1557.

EXFILTRATION TRENCH

REVISIONS:

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Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

PROJECT:
Van Buren Apartments
2316-2318 Van Buren Street
HOLLYWOOD
FLORIDA 33020

CONSTRUCTION DETAILS

GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118

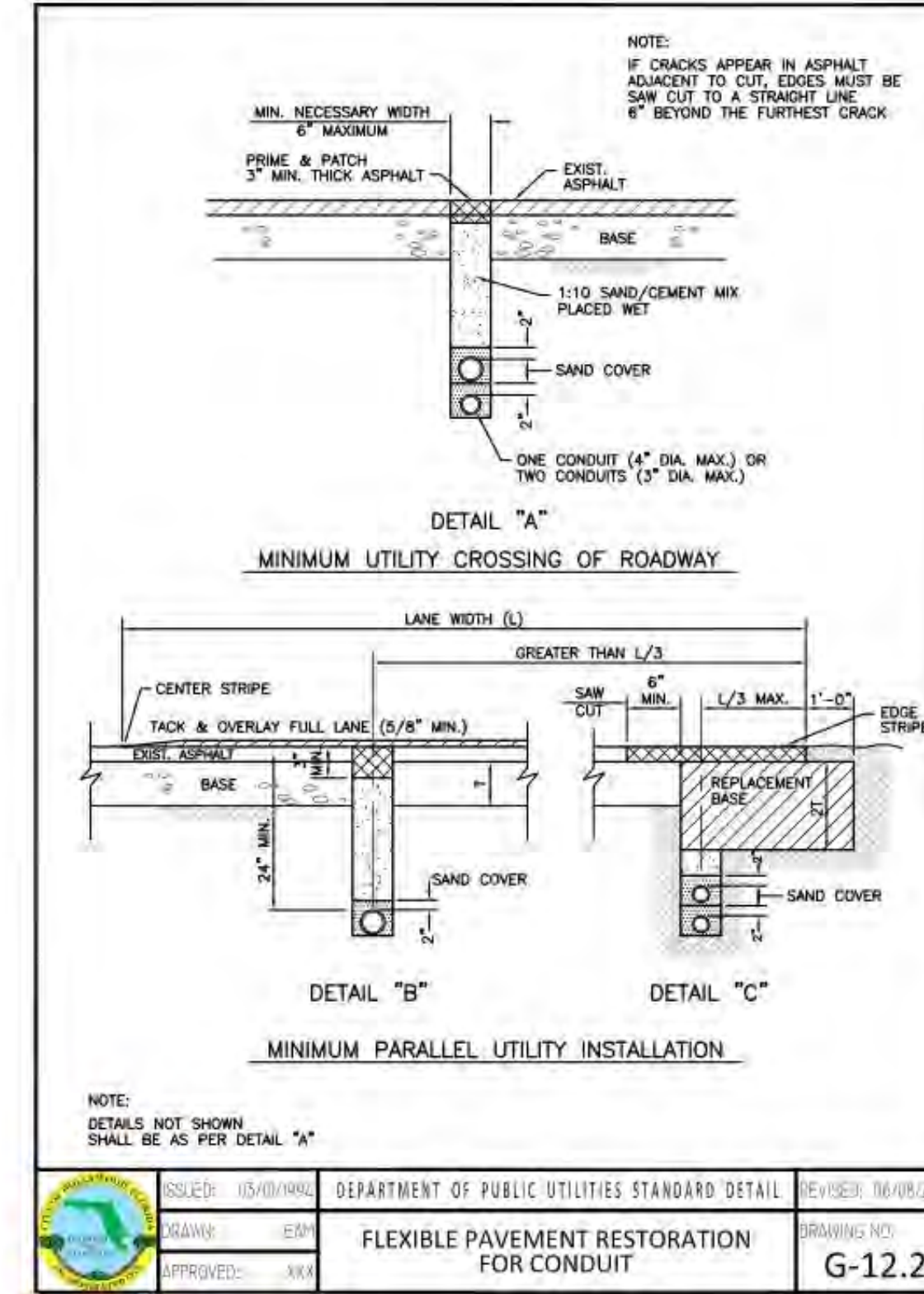
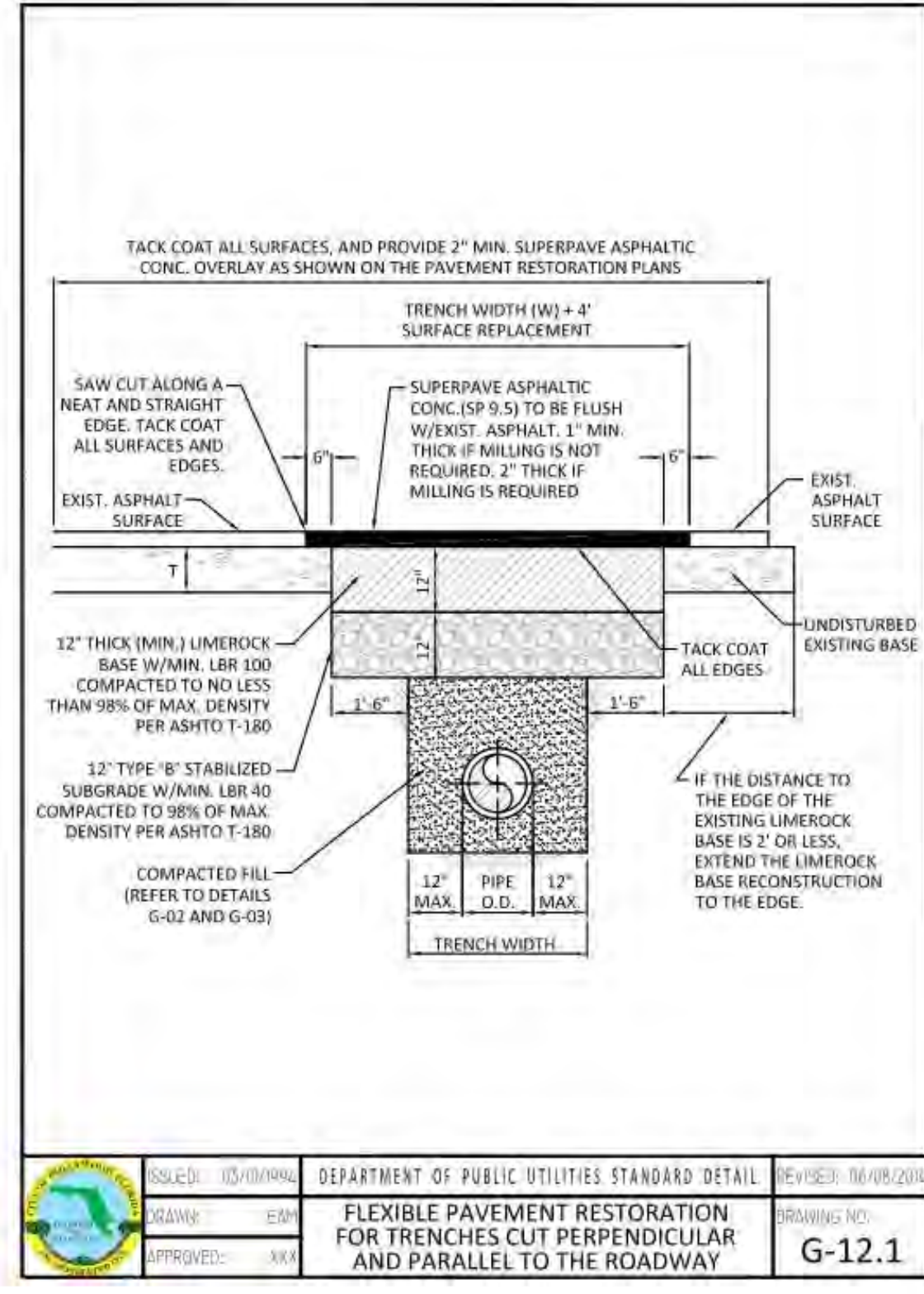
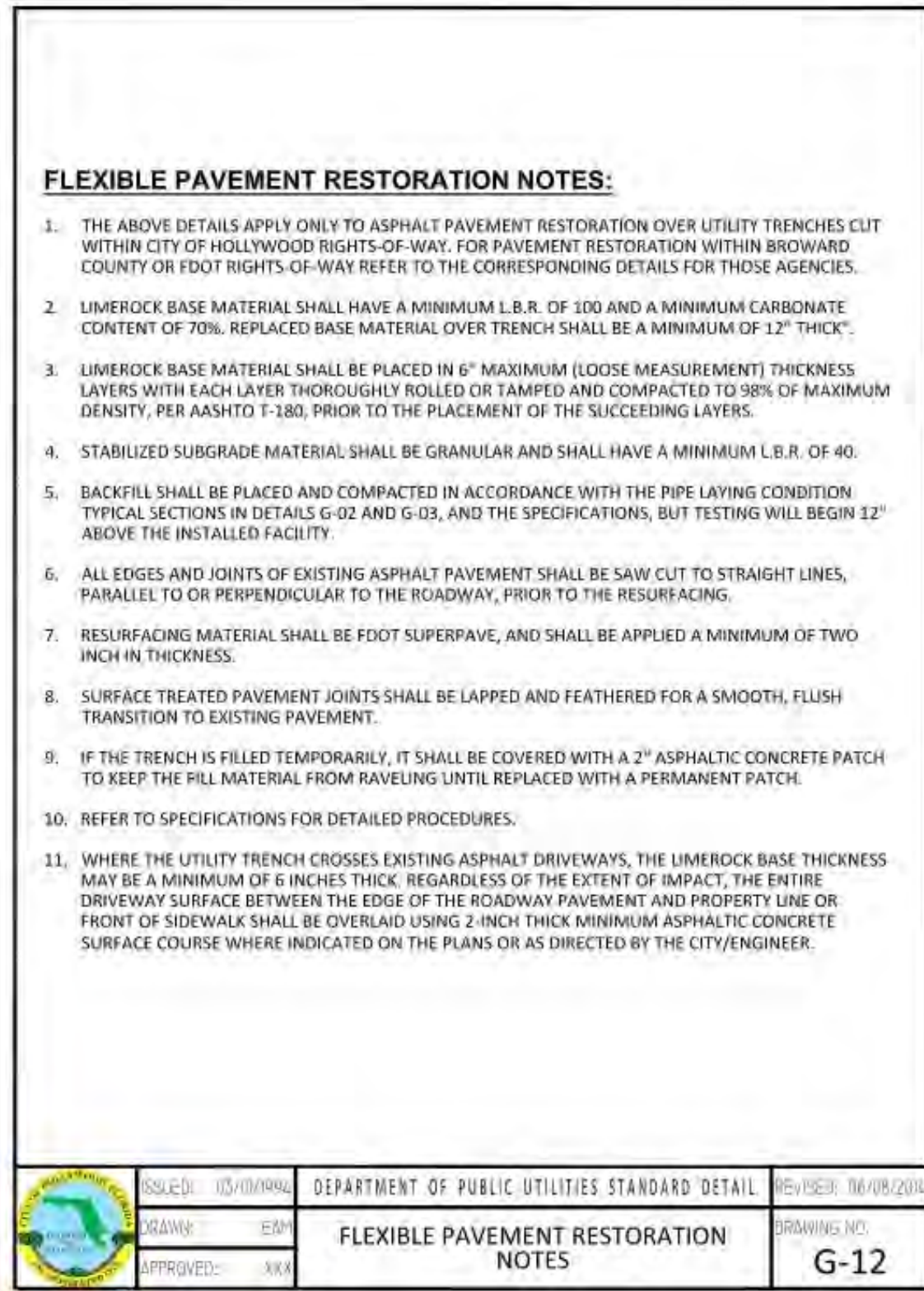
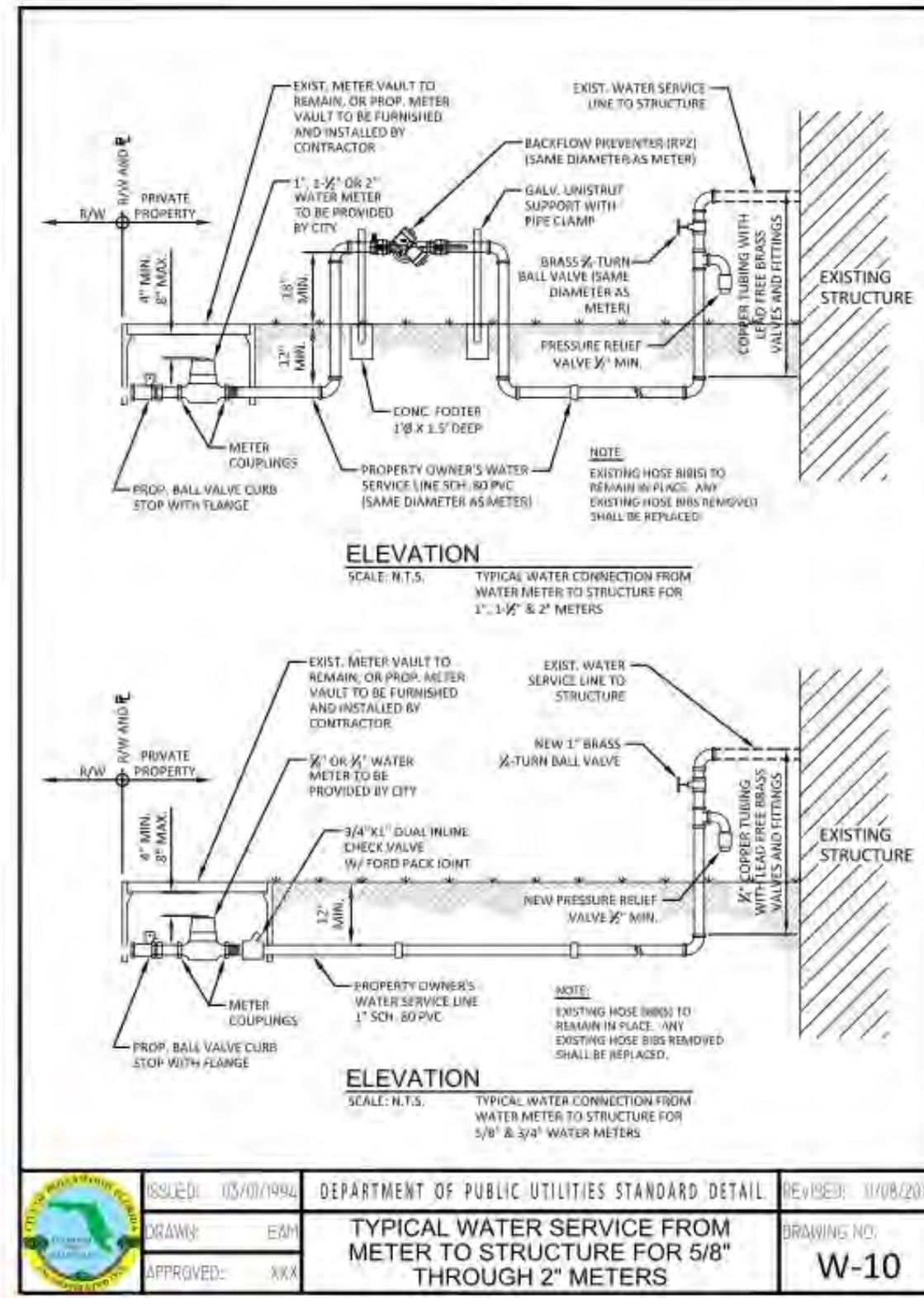
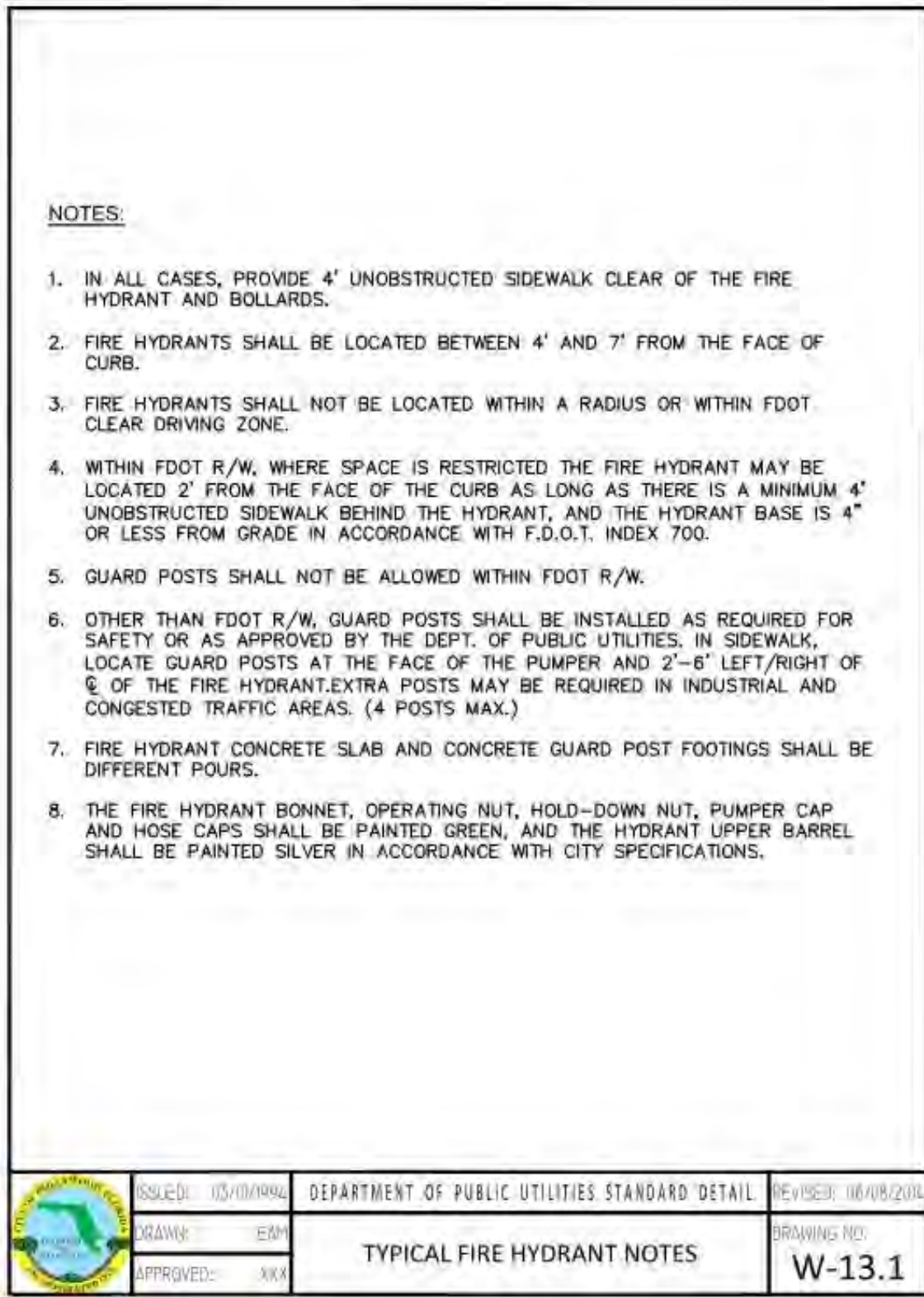
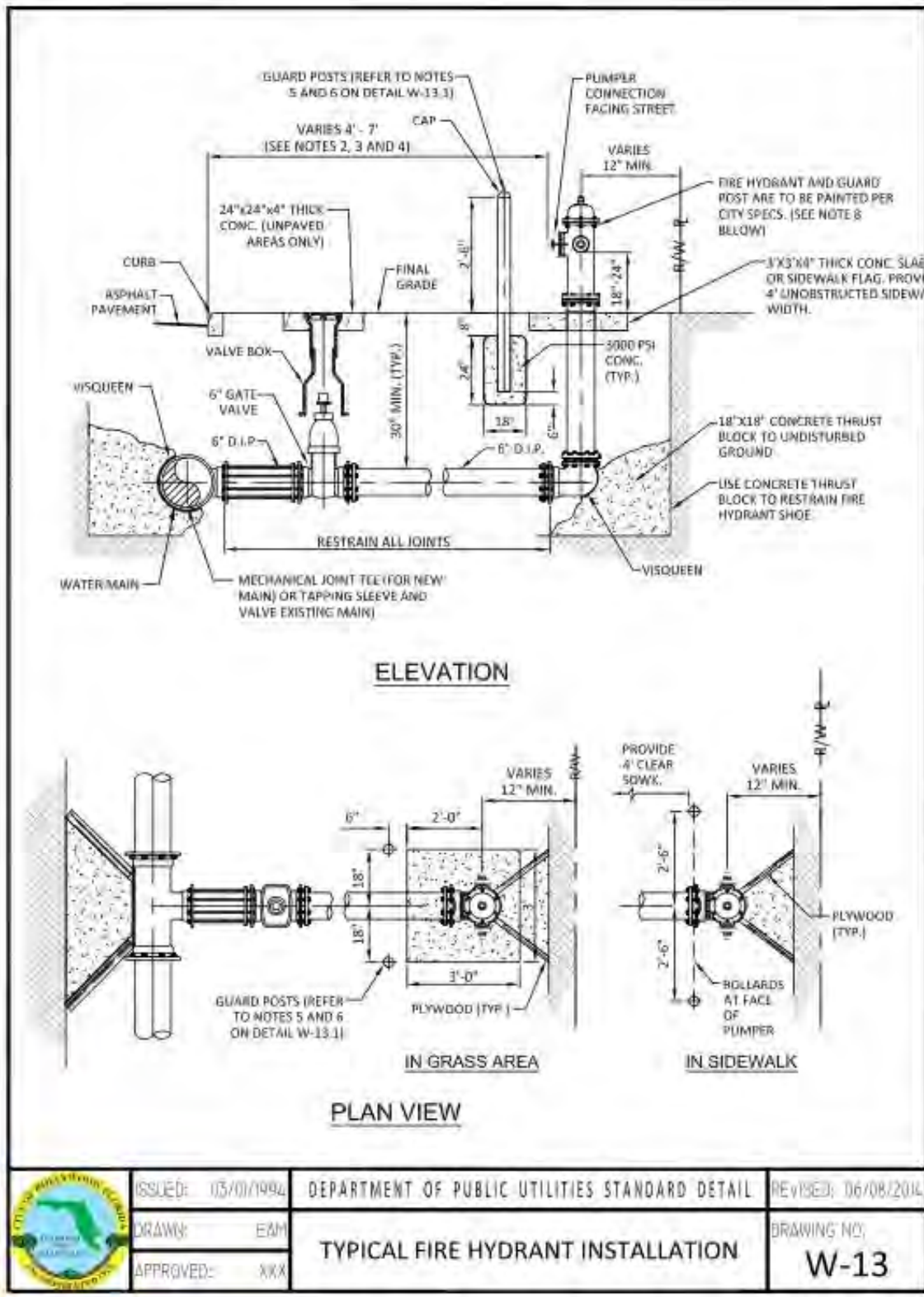
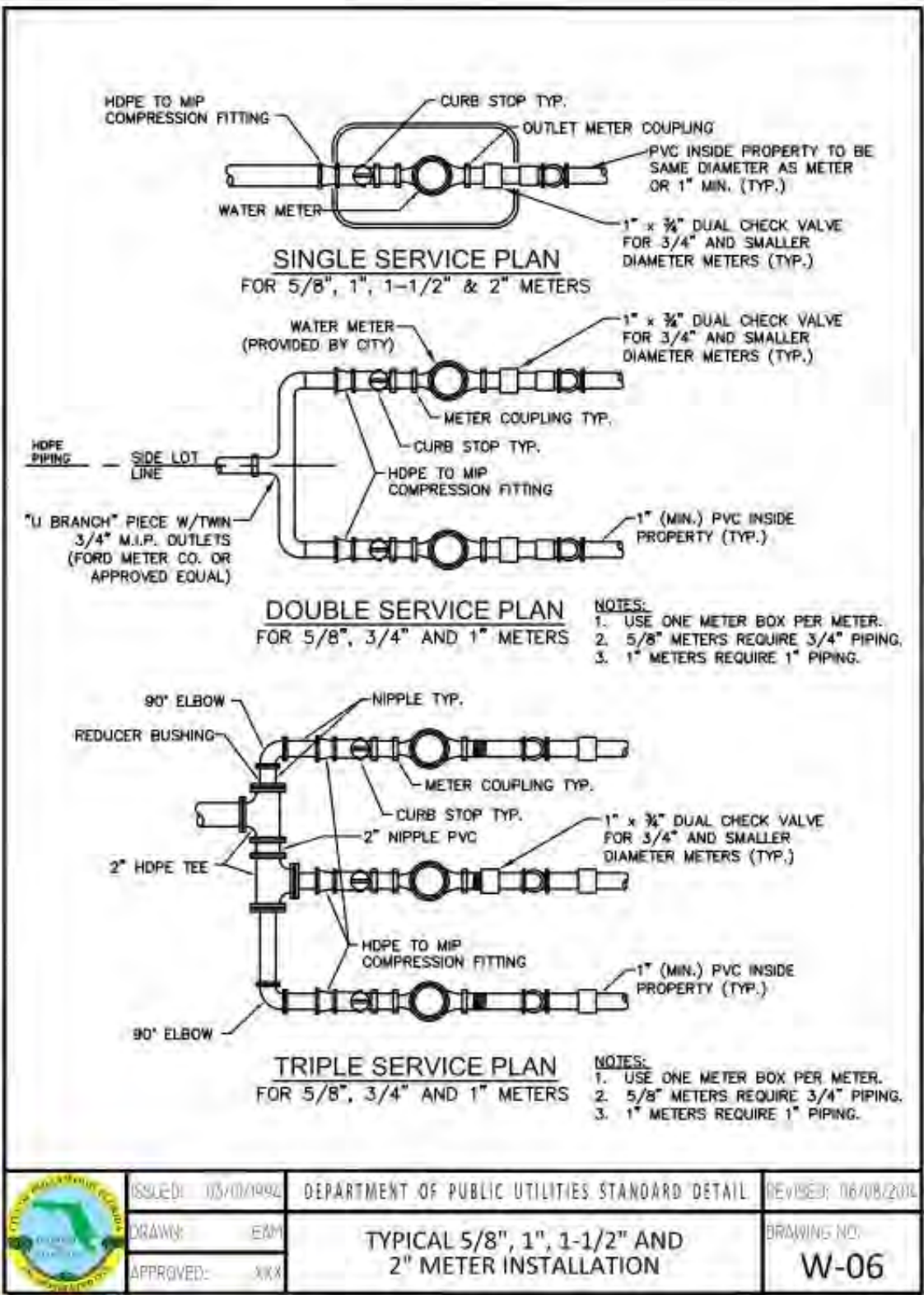
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
email: gary@ggbeng.com
Phone: (954) 986-9899
Fax: (954) 986-6655

DATE: May 2018	SCALE: N.T.S.
DESIGNED BY: G.G.B.	DRAWN BY: F.M.

PROJECT NO.
18-0525

SHEET
C-4

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER



REVISIONS: 1. _____ 2. _____ 3. _____ 4. _____ 5. _____ 6. _____ 7. _____ 8. _____	
CLIENT: Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746	
PROJECT: Van Buren Apartments 2316-2318 Van Buren Street HOLLYWOOD FLORIDA 33020	TASK: CONSTRUCTION DETAILS
GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS • FLORIDA REGISTRATION No. 8118 2699 Stirling Road, Suite 200 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655	
DATE: May 2018 DESIGNED BY: G.C.B.	SCALE: N.T.S. DRAWN BY: F.M.
PROJECT NO. 18-0525	
SHEET C-5	
GARY G. BLOOM, P.E. F.L.A. Lic. No. 19832 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER	

WATER SYSTEM:

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE LOCAL MUNICIPALITY AND APPLICABLE DEPARTMENT OF HEALTH AND REHABILITATION SERVICES STANDARDS. NO PHYSICAL CONNECTION OF NEW WATER MAINS TO EXISTING WATER MAINS SHALL BE MADE UNTIL SUCH TIME THAT THE NEW MAINS ARE CONFIRMED TO BE BACTERIOLOGICALLY SAFE AND THE HEALTH DEPARTMENT RELEASE HAS BEEN OBTAINED. TEMPORARY CONNECTIONS OF NEW MAINS TO ACTIVE MAINS FOR THE PURPOSE OF FILLING AND FLUSHING SHALL BE MADE BY A METHOD DEEMED ACCEPTABLE TO THE UTILITY PROVIDING SERVICE.

ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE COMPRESSION TYPE BELL AND SPIGOT JOINTS.

THE WATER SYSTEM SHALL BE HYDROSTATICALLY PRESSURE TESTED AND DISINFECTED PER AWWA / ANSI C601/05 AND TESTED FOR A PERIOD OF 2 HOURS AT NOT LESS THAN 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C600-05 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA:

$$L = S \cdot D^{0.5} \cdot 148 \cdot 000$$

WHERE:
L = ALLOWABLE LEAKAGE IN GALLONS / HOUR
S = PIPE LENGTH IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE IN PSI

TEST PRESSURE SHALL NOT VARY MORE THAN 5 PSI THROUGHOUT THE TEST. THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE BASED ON A MAXIMUM 2000 FEET WHEN THE LENGTH OF PIPE TESTED EXCEEDS 2000 FEET. THRUST BLOCKS AS SHOWN ON THE DETAIL SHEETS SHALL BE PROVIDED AT ALL BENDS UNLESS OTHERWISE NOTED ON PLANS. IF RESTRAINT JOINT PIPE IS SPECIFIED ON THE PLANS, IT SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF THE PIPE MANUFACTURER AND THE UTILITY DEPARTMENT. NO CONCRETE THRUST BLOCKS WILL BE ALLOWED EXCEPT FOR FIRE HYDRANTS.

BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA / ANSI C601-05, LATEST REVISION.

PVC WATER MAIN (PIPE (BLUE) SHALL MEET THE REQUIREMENTS OF AWWA C-300, 97 POLY(VINYL CHLORIDE) PRESSURE PIPE, CLASS 150 PIPE SHALL CONFORM TO REQUIREMENT OF SR 18.

ALL PVC PIPE SHALL BE SUITABLE FOR USE AS A PRESSURE CONDUIT. PROVISIONS MUST BE MADE FOR EXPANSION AND CONTRACTION AT EACH JOINT WITH AN ELASTOMERIC RING. THE BELL SHALL CONSIST OF AN INTEGRAL WALL SECTION WITH AN ELASTOMERIC RING WHICH MEETS THE REQUIREMENTS OF ASTM F-477 STANDARD SPECIFICATIONS. FOR ELASTOMERIC SEALS (GASKETS FOR JOINTING PLASTIC PIPE), THE WALL THICKNESS IN THE BELL SECTION SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-3139.

PVC PIPE SHALL BE DELIVERED TO THE JOB SITE FROM THE FACTORY AND STORED AT THE JOB SITE IN PALLETIZED UNITS OR BUNDLES TO PREVENT UNNECESSARY DEFLECTION PRIOR TO INSTALLATION. EACH PALLETIZED UNIT SHALL BE SIZED TO LIMIT THE STACKING OF PIPE NOT MORE THAN SIXTY (60) INCHES HIGH OR AS APPROVED BY THE ENGINEER.

CARE SHALL BE TAKEN DURING THE TRANSPORTING OF THE PIPE TO INSURE THAT THE BINDING AND TIE DOWN METHODS DO NOT DAMAGE OR DEFLECT THE PIPE IN ANY MANNER. PIPE BENT, DEFLECTED, OR OTHERWISE DAMAGED DURING SHIPPING WILL BE REJECTED.

PVC MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER.

FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON PRESSURE CLASS 350 THROUGH 12". ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND SEALED THE SAME AS PIPE IN ACCORDANCE WITH AWWA/ANSI C110/A21.10-05.

PVC AND D.I.P. PIPE SHALL BE DEFLECTED NO MORE THAN ONE HALF (1/2) THE MANUFACTURERS RECOMMENDATION.

JOINTS FOR BELL AND SPIGOT PVC/DIP PIPE AND FITTINGS SHALL BE MECHANICAL OR RUBBER GASKET (EITHER ON SPIGOT OR IN BELL) COMPRESSION TYPE. FITTINGS SPECIFIED IN ACCORDANCE WITH AWWA/ANSI STANDARD C111/A21.11-00, SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIFIC INSTALLATION.

ALL WATER MAINS SHALL HAVE CONTINUOUS DETECTOR TAPE 18 INCHES BELOW GRADE ALONG ALL WATER MAINS. DETECTOR TAPE SHALL HAVE BLUE SIDE-UP. 14 GAUGE MULTI STRAND WIRE SHALL BE ATTACHED TO ALL NON-CONDUCTIVE WATER MAIN. FACILITY FUTURE LOCATION, AN EXTRA 4" OF WIRE SHALL BE PROVIDED AT BLOWOFFS, FIRE HYDRANTS, ETC.

POLYETHYLENE ENCASEMENT/WRAP SHALL BE INSTALLED ON ALL IRON PIPES (INCLUDING VALVES, FITTINGS, SLEEVES, HYDRANTS, ETC. POLYWRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM ANSI/AWWA C105/A21.5-05 STANDARDS.

DUCTILE IRON WATER MAIN SEALCOAT SHALL BE COAL TAR EPOXY OR ASPHALT.

DUCTILE IRON PIPE JOINTS SHALL BE PUSH-ON TYPE AND RESTRAINED A MINIMUM DISTANCE AS SPECIFIED IN RESTRAINED DETAIL ON APPLICABLE DETAIL SHEET, USING MECA-10 OR APPROVED EQUAL USING TR-FLEX U.S. PIPE OR FLEX RING BY AMERICAN PIPE.

WATER MAIN STUBS FOR FUTURE EXTENSION INCLUDING ALL FITTINGS BACK TO TEE (1/2 PIPE LENGTH) AND TWO PIPE LENGTHS LONGER WILL BE RESTRAINT JOINT PIPE FOR THE LAST TWO LENGTHS. (AS REQUIRED BY ENGINEER OR UTILITY DEPT.)

DUCTILE IRON PIPE SHALL BE CLASS 350 AND SHALL BE CEMENT LINED AND SEALCOATED IN ACCORDANCE WITH AWWA / ANSI STANDARD C151/A21.51-02. WATER MAINS SHALL BE LAID WITH A MINIMUM 30" CLEAR COVER. DUCTILE IRON FITTINGS SHALL BE CLASS 350 THROUGH 12" AND CLASS 250 IN SIZES 16" AND LARGER. ALL FITTINGS SHALL BE CEMENT LINED AND SEALCOATED THE SAME AS PIPE IN ACCORDANCE WITH AWWA / ANSI STANDARDS C104/A21.4-03 AND C153/A21.53-00. NEOPRENE GASKETS SHALL BE USED.

ALL WATER MAINS SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAILS.

CONTRACTOR IS RESPONSIBLE FOR THE EXISTING ON-SITE WATER SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION AND APPROVAL BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE WHETHER, OR NOT NOTED ON PLANS, FOR RAISING OR LOWERING OF EXISTING GATE VALVE BOXES, METER BOXES, ETC. THAT MAY NEED ADJUSTMENT TO MEET PROPOSED FINISH GRADES.

ALL EXISTING WATER MAINS AND COMPONENTS DESIGNATED FOR REMOVAL ARE THE PROPERTY OF THE UTILITY. MATERIALS SHALL BE REMOVED FROM THE GROUND AS CAREFULLY AS POSSIBLE AND SALVAGED FOR UTILITY. SHOULD UTILITY REFUSE SAID WATER COMPONENTS, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR OFF-SITE DISPOSAL.

CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL WATER FIRE AND SEWER BUILDING CONNECTIONS.

DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO THE UTILITY FOR ALL PUBLIC WATER MAINS THAT ARE TO BE ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON THE CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS, UNLESS OTHERWISE REQUIRED BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT WATER PLANS, MYLAR, AND COMPUTER AIDED DESIGN PRIOR TO RECEIVING THE FINAL CERTIFICATION TO THE UTILITY. AS-BUILTS SHALL BE SIGNED AND SEALED BY A REGISTERED FLORIDA SURVEYOR.

MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS.

LANDSCAPING SHALL NOT BE INSTALLED WITHIN 6' OF ALL WATER MAINS AND SERVICES OR WITHIN A 5' RADIUS OF ALL FIRE HYDRANTS, UNLESS APPROVED BY THE ENGINEER.

WATER MAINS SHALL BE DEFLECTED OVER DRAINAGE AT ALL CONFLICTS.

ALL WATER SERVICES SHALL TERMINATE A MINIMUM OF 5' FROM BUILDING.

UNDERGROUND WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO BUILDING CONSTRUCTION AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND THE SOUTH FLORIDA BUILDING CODE, LATEST REVISION.

ALL WATER MAIN INSTALLATION SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.

WATER SERVICE LINES:

WATER SERVICES SHALL BE POLYETHYLENE TUBING (PE 3408) COMPLYING WITH APPLICABLE REQUIREMENTS FOR PE, AWWA C902-02 HIGH MOLECULAR WEIGHT PLASTIC MATERIAL ASTM D-2666, 250 PSI RATING (CTS-DD) SDR 9. SERVICE PIPE SHALL BE INSTALLED AS A SINGLE RUN WITHOUT UNIONS.

JOINTS FOR TUBING SHALL BE OF THE COMPRESSION TYPE UTILIZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL ALSO BE USED FOR TUBING SERVICES.

SERVICE LINES SHALL BE MARKED WITH 2" X 4" POST PAINTED BLUE.

ALL WATER SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

PIPE DEFLECTION SHALL BE NO MORE THAN ONE HALF OF THE MANUFACTURER'S RECOMMENDATION.

MINIMUM COVER SHALL BE 24".

ALL WATER SERVICE LINES UNDER PAVED AREAS SHALL BE SLEEVED IN SCHEDULE 40 PVC AND SHALL BE OF ONE SINGLE LENGTH WITHOUT UNIONS.

FORD STAINLESS INSERTS ARE REQUIRED FOR PLASTIC PIPE.

GATE VALVES:

GATE VALVES 4" AND LARGER SHALL BE MECHANICAL JOINT TYPE AND COMPLY WITH AWWA / ANSI STANDARD C509-01.

MECHANICAL JOINTS SHALL CONFORM TO AWWA / ANSI C111/A21.11-00.

ALL GATE VALVES ARE TO BE IRON BODY, BRONZE MOUNTED, DOUBLE DISK, NON-RISING STEM, RESILIENT SEAT TYPE, OPENING LEFT (COUNTER CLOCKWISE) THE INTERIOR LINING SHALL BE FUSION BONDED EPOXY ACCORDING TO AWWA 550-90 AND AN EXTERIOR EPOXY COAT (BOTH 40 MILS DFT.)

GATE VALVES 4" TO 12" SHALL HAVE A MAXIMUM WORKING PRESSURE OF 200 PSI AND BE TESTED AT 400 PSI. GATE VALVES SHALL BE RESILIENT SEATED MUELLER, CLOW RESILIENT WEDGE, M & H, OR APPROVED EQUAL, WITH RESTRAINT JOINTS.

GATE VALVES UNDER 4" IN SIZE SHALL BE BRONZE GATE VALVES CONFORMING TO MSS STANDARD PRACTICE SP-37. THEY SHALL BE DOUBLE DISK, NON-RISING STEM, OPEN LEFT (COUNTER CLOCKWISE) WITH OPERATING WHEEL, PEWTER AND POT METAL OPERATING WHEELS SHALL NOT BE PERMITTED. GATE VALVES SHALL MEET AWWA C500-02 STANDARDS.

VALVE BOXES SHALL BE CAST IRON EXTENSION TYPE WITH NOT LESS THAN 5-1/4" DIAMETER SHAFT AND WITH COVERS MARKED "WATER". PAINTED BLUE. USF 7500 OR APPROVED EQUAL.

GATE VALVES 18" AND LARGER WILL BE SUBSTITUTED WITH BUTTERFLY VALVES AS MANUFACTURED BY PRATT, DEZURIK, CLOW, OR APPROVED EQUAL.

BUTTERFLY VALVES ARE TO BE CAST OR DUCTILE IRON BODY; ALLOY CAST IRON OR DUCTILE IRON DISK; BODY MOUNTED ADJUSTABLE SEAT; ONE-PIECE STAINLESS STEEL SHAFT; SHORT OR LONG BODY TYPE WITH THE VALVE CLASS, SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN; AND ARE TO COMPLY WITH THE PROVISIONS OF AWWA C504-00, "RUBBER SEATED BUTTERFLY VALVES."

VALVE OPERATION IS TO BE APPROVED GEAR ACTUATORS, WITH SEALED ENCLOSURES (FOR BURIED OR SUBMERGED SERVICE), POSITION INDICATORS WILL BE FURNISHED AS REQUIRED. UNITS ARE TO BE EQUIPPED WITH 2" ACTUATING RODS, CAST IRON HANDWHEELS, OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION. APPURTENANCES ARE TO BE FURNISHED BY THE VALVE MANUFACTURER.

WATER SERVICE FITTINGS:

METER VALVES (ASTM B-62 LATEST) SHALL BE FORD ANGLE STOPS, MODEL #K4V3-342W FOR SINGLE SERVICES AND FORD MODEL #UV63-42W FOR DOUBLE SERVICES OR APPROVED EQUAL.

CURB STOPS SHALL BE OF THE INVERTED KEY TYPE WITH TEE-HEAD SHUT OFF. CURB STOPS SHALL BE MADE OF BRASS ALLOY IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A.

METER VALVES AND CORPORATION STOPS (FORD BALL CORP. NO. FC 202) SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A WITH EPOXY COATED DUCTILE IRON BODY STAINLESS STEEL SERVICE SADDLES BY FORD.

INLET THREAD FOR METER VALVES AND CURB STOPS SHALL BE AWWA TAPER THREAD IN ALL SIZES IN ACCORDANCE WITH ANSI / AWWA STANDARD C800-05. OUTLET CONNECTIONS SHALL HAVE A COMPRESSION TYPE FITTING SAME AS VALVES.

CONTRACTOR TO REVIEW WATER DETAILS TO DETERMINE EXTENT OF JURISDICTION OF WATER SERVICE AND METER MATERIALS (METERS, ETC.) SUPPLIED AND INSTALLED BY UTILITY.

FIRE HYDRANTS:

ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA / ANSI STANDARD C502-05 AND THE FOLLOWING DESIGN STANDARDS.

THE FIRE HYDRANTS SHALL BE OF THE COMPRESSION TYPE, OPENING AGAINST THE PRESSURE AND CLOSING WITH A 12" (12" MINIMUM) 5/4" WATER OPENING. THE HYDRANT SHALL BE EQUIPPED WITH (1) 2-1/2" HOSE NOZZLES AND (1) 5/4" PUMPER NOZZLE.

FIRE HYDRANTS SHALL BE FURNISHED WITH A SEALED OIL OR GREASE RESERVOIR LOCATED IN THE BONNET SO THAT ALL THREADED AND BEARING SURFACES ARE AUTOMATICALLY LUBRICATED WHEN THE HYDRANT IS OPERATED. THE DISASSEMBLY WILL BE DESIGNED FOR DISASSEMBLY BY USE OF A SHORT DISASSEMBLY WRENCH OR THE HYDRANT SHOE SHALL HAVE INTEGRAL CAST TIE BACK LUGS ON THE MAIN VALVE TO PERMIT THE MAIN VALVE ASSEMBLY AND VALVE SEAT TO BE REMOVED WITHOUT DIGGING EARTH OR DISASSEMBLING THE HYDRANT BARREL.

FIRE HYDRANTS SHALL BE FURNISHED WITH A BREAKABLE FEATURE THAT WILL BREAK CLEANLY UPON IMPACT. THIS SHALL CONSIST OF A TWO PART BREAKABLE SAFETY FLANGE WITH A BREAKABLE STEM COUPLING. THE UPPER AND LOWER BARRELS SHALL BE FLUTED AND RIBBED ABOVE AND BELOW THE SAFETY FLANGE OR HAVE AN EXTRA STRENGTH LOWER BARREL.

THE FIRE HYDRANT INTERNAL VALVE SHALL BE 5/4" MINIMUM. THE PENTAGONAL OPERATING NUTS AND THE CAP NUTS SHALL BE 1/2" POINT TO FLAT. DRAIN VALVE OUTLETS FOR THE HYDRANTS SHALL BE PLUGGED OR OMITTED. THE HYDRANTS SHALL OPEN COUNTER CLOCKWISE AND THE DIRECTION OF OPENING SHALL BE CAST ON THE TOP. THE BURY LENGTH, MEASURED FROM THE BOTTOM OF THE CONNECTION TO THE TIE BACK LINE AT THE HYDRANT SHALL BE THREE FEET SIX INCHES (42") MINIMUM OR AS REQUIRED BY PLAN.

THE HYDRANT SHALL BE EQUIPPED WITH A 6" MINIMUM MECHANICAL JOINT BASE INLET UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.

FIRE HYDRANTS SHALL BE MUELLER PAINTED TRAFFIC RED, OR AS OTHERWISE SPECIFIED ON PLANS, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY.

REFER TO WATER DETAILS FOR OTHER REQUIREMENTS / INFORMATION RELATED TO FIRE HYDRANTS.

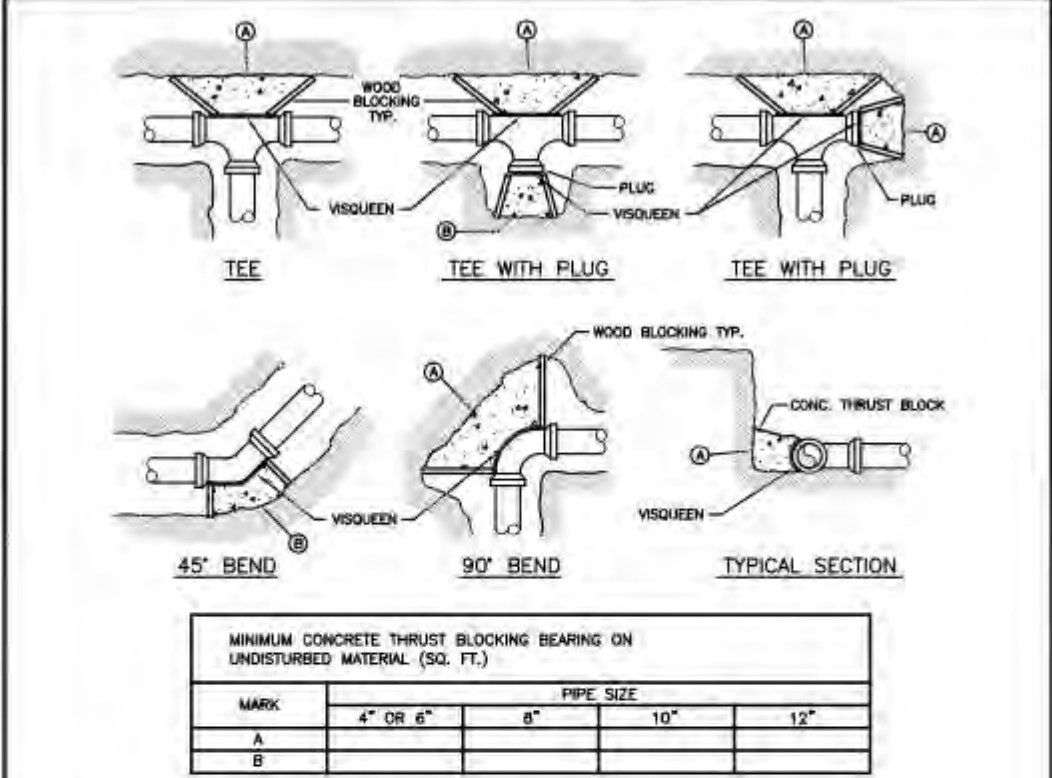
SANITARY SEWER:

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE BROWARD COUNTY BUILDING DEPARTMENT, LOCAL MUNICIPALITY AND THE WATER RESOURCE DIVISION, BROWARD COUNTY DEPARTMENT OF NATURAL RESOURCE PROTECTION.

UNLESS OTHERWISE NOTED OR APPROVED, ALL GRAVITY MAINS AND SERVICES UP TO 3' OUTSIDE OF BUILDING SHALL BE UNPLASTICIZED POLYVINYL CHLORIDE (PVC) NONPRESSURE PIPE CONFORMING TO ASTM D3034 AND SDR 35 WITH INTEGRAL WALL. SPIGOT JOINTS FOR PUSH-ON RUBBER GASKET TYPE JOINT SEALS CONFORMING TO ASTM D1869, UNLESS OTHERWISE SPECIFIED ON THE PLANS.

PVC FITTINGS SHALL BE OF MONOLITHIC CONSTRUCTION OF THE TYPE SPECIFIED BY THE MANUFACTURER OF THE PIPE. ALL MECHANICAL JOINTS, WELDS, OR THREADED JOINTS WILL BE PERMITTED. ALL JOINTS SHALL BE COMPRESSION GASKET TYPE.

THE JOINING OF PIPE ON THE JOB SHALL BE DONE IN STRICT ACCORDANCE WITH THE PIPE MANUFACTURER'S INSTALLATION INSTRUCTIONS. JOINTS ENTIRELY IN THE TRENCH UNLESS OTHERWISE DIRECTED BY THE ENGINEER, SPECIFIED ON THE PLANS.



- NOTES:
- THRUST BLOCKS ARE TO BE USED IN COMBINATION WITH, AND NOT IN LIEU OF, MECHANICAL JOINT RESTRAINTS AS REQUIRED BY THE CITY. REFER TO THRUST RESTRAINT DESIGN TABLE IN STANDARD DETAIL G-10.
 - THE AREAS IN THE TABLE ARE BASED ON POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL BEARING AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE BISECTING THE INCLUDING ANGLE OF THE FITTING.
 - POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
 - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 - DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
 - CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
 - TABLE TO BE COMPLETED BY DESIGN ENGINEER.

ISSUED:	REVISION:	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISION:	NO. / REV. / DATE
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WATER NOTES CONTINUED:

- VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY. VALVE BOXES SHALL BE TYLER BRAND, NO SUBSTITUTIONS.
- FIRE HYDRANTS: PRESENTLY CITY OF HOLLYWOOD UTILITIES SPECIFICATIONS ALLOW ONLY MANUFACTURER'S TRENCH MODEL SUPER CENTER-IRON 200 5/8" SIZE REFERENCE CATALOG NO. A-422 AND AMERICAN DARTLINE MODEL B-84 B 5/8" SIZE. ANY DEVIATION FROM REQUIRED SPECIFICATIONS WILL REQUIRE CITY OF HOLLYWOOD UTILITIES APPROVAL.
- ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
- ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C300 LATEST REVISION AND CLASS 350. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESSES CONFORMING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
- FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
- ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY, ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
- GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEAT AND SHALL MEET ANSI/AWWA C500-01 SPECIFICATIONS, LATEST REVISION. VALVES MUST BE MUELLER (O.A.E.). VALVE BOXES SHALL BE TYLER UNION. CONTROL/GATE VALVES 3" AND SMALLER SHALL BE MIBCO T-133 U.F. NO SUBSTITUTIONS.
- PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DI) OR 36" (PVC).
- MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2'; AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURERS RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
- TAPPING SLEEVES SHALL BE MUELLER H-535 (O.A.E.) TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANSI/AWWA C509-01. ALL TAPPING VALVES SHALL HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL SIZE CUTTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

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CONNECTION OF PVC PIPE TO MANHOLES SHALL BE MADE WITH "KOR-NEAL" MANHOLE COUPLINGS CORRESPONDING TO THE SIZE AND TYPE OF SEWER PIPE OR OTHER ADAPTERS AS MAY BE APPROVED BY THE UTILITY.

INFLUENT AND EFFLUENT SEWERS SHALL BE GROUTED IN PLACE USING A TYPE I WATERPROOF EXPANDING GROUT ACCEPTABLE TO THE ENGINEER. ALL OPENINGS AND JOINTS SHALL BE SEALED WATERTIGHT. REFER TO GENERAL NOTES FOR NON-SHRINK GROUT.

LIFT HOLES THROUGH PRECAST STRUCTURES ARE NOT PERMITTED. A. FLOW CHANNEL SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO FLOW STREAM. REFER TO DETAILS.

OUTSIDE DROPPED CONNECTIONS WILL BE REQUIRED WHEN THE VERTICAL DISTANCE BETWEEN PIPE LINES EXCEEDS 16 FEET (12' MINIMUM) CONNECTIONS, WHERE REQUIRED, SHALL BE CAST MONOLITHICALLY WITH THE MANHOLE ELEMENTS AS SHOWN ON DETAILS.

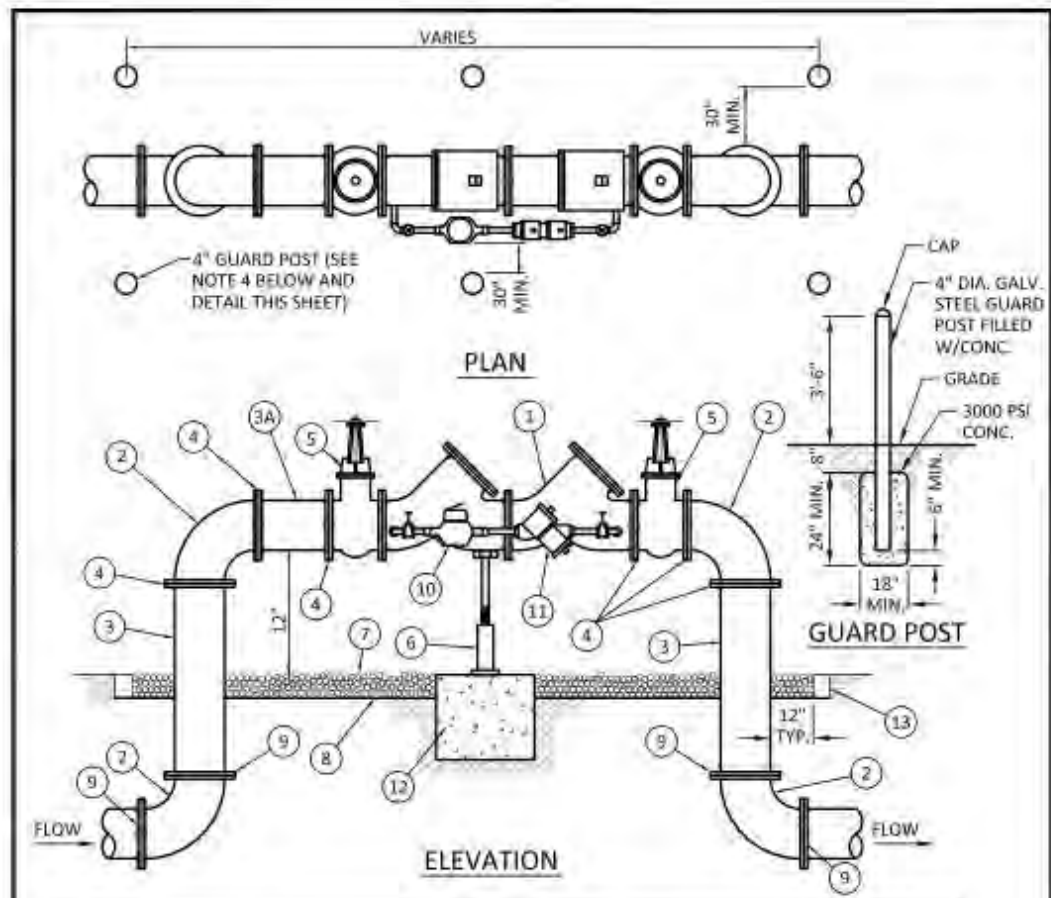
THE 10" AND FRAME SHALL BE CAST OF 3000-POUND GRAY IRON CONFORMING TO ASTM A-48, CLASS 30 AND SHALL BE OF UNIFORM QUALITY, FREE OF BLOW HOLES, POROSITY, CRACKS, AND OTHER OBVIOUS VISUAL DEFECTS. THE COMBINED WEIGHT OF THE FRAME AND LID SHALL NOT BE LESS THAN 420 POUNDS, AND THE LID SHALL WEIGH A MINIMUM OF 160 POUNDS. THE SEATING SURFACES BETWEEN FRAMES AND COVERS SHALL BE MACHINED TO FIT TRUE. NO PLUGGING OR FILLING WILL BE ALLOWED. CASTING PATTERNS SHALL CONFORM TO THOSE DESIGNATED BY THE GOVERNING UTILITY.

THE LID SHALL HAVE THE WORDS "(PREFERABLY AS REQUIRED BY THE UTILITY)" CAST IN ALL MANHOLE COVERS. CASTINGS SHALL BE CLEANED AND COATED WITH A COAL TAR PITCH VARNISH WHICH IS TOUGH WHEN COLD BUT NOT TACKY OR BRITTLE. PICK TYPE LIFTING HOLES WILL BE CAST INTO LIDS, BUT SHALL NOT GO CLEAR THROUGH THE LID.

MINIMUM COVER ON PUBLIC SANITARY SEWER PIPE SHALL BE 36" ABOVE PVC PIPE, AND 30" ABOVE D.I.P.

ALL MANHOLE LIDS SHALL BE PROVIDED WITH WATERTIGHT POLYETHYLENE MANHOLE INSERTS AS APPROVED BY THE UTILITY DEPARTMENT.

INSIDE SURFACES OF MANHOLES TO BE TREATED WITH TWO COATS COPPERS BITUMASTIC 300-M OR EQUAL. MINIMUM DRY THICKNESS 16 MILS. MANHOLES SHALL BE CURED TWENTY-ONE (21) DAYS BEFORE COATING. MANHOLES SHALL BE PAINTED AT FACTORY PRIOR TO DELIVERY OR ON-SITE WITH ONE COAT (BLACK) OUTSIDE OR AS REQUIRED BY THE UTILITY. FIRST COAT TO BE RED, SECOND COAT TO BE BLACK, UNLESS OTHERWISE SPECIFIED ON THE PLANS.



ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4\"/>	7	N/A	PEA GRAVEL (4\"/>
2	4	4\"/>	8	N/A	PLASTIC LINER/WEED STOP (5 MILS)
3	2	4\"/>	9	4	RESTRAINED JOINTS
3a	1	4\"/>	10	1	LOW FLOW METER
4	2	4\"/>	11	3	VALVE, BYPASS DOUBLE CHECK
5	2	4\"/>	12	1	36\"/>
6	1	SCREW JACK/ANCHORED	33	1	P.T. 2X4 LUMBER ALL AROUND

- NOTES:
- TEES ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
 - ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
 - ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
 - PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
 - MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
 - GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.

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WATER NOTES CONTINUED:

- PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FLYWHEEL GUARDS MANUFACTURED TO ASTM A 536-80. TWIST OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE TBA FROM IRI, MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

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THE ENGINEER AND UTILITY SHALL INSPECT INSIDE OF MANHOLE AFTER EACH APPLICATION OF COAT OF PAINT.

UPON COMPLETION OF THE WORK A LAMPING INSPECTION SHALL BE MADE OF THE COMPLETED SYSTEM ALONG WITH AN INFILTRATION AND / OR EXFILTRATION TEST. AFTER ALL TESTING INCLUDED IN THIS CONTRACT HAS BEEN COMPLETED, THE CONTRACTOR WILL PROVIDE A TELEVIEWED INSPECTION OF THE SEWER LINES PRIOR TO BEING ACCEPTED FOR USE AND A SECOND TELEVIEWED INSPECTION AND LAMPING PRIOR TO RELEASE OF ONE-YEAR MAINTENANCE BOND.

MANHOLE JOINTS WILL BE SEALED WITH RAMNEK OR APPROVED EQUAL AND ANTI-CRACK CEMENT INSIDE AND OUT.

ALL SANITARY SEWER GRAVITY MAINS AND SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AUTHORITY.

A MINIMUM OF 10-FOOT HORIZONTAL CLEARANCE IS REQUIRED BETWEEN ALL UTILITY PIPE AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS. LANDSCAPING SHALL NOT BE INSTALLED WITHIN A MINIMUM OF 6' OF ALL SANITARY SEWER MAINS AND LATERALS.

ALL SEWER LATERALS SHALL TERMINATE AT THE PROPERTY LINE AND / OR A MINIMUM OF 5' FROM BUILDING, UNLESS OTHERWISE SPECIFIED ON THE PLANS. APPROVED BY THE UTILITY. INSPECTION OF THE SEWER LINES PRIOR TO BEING ACCEPTED FOR USE AND A SECOND TELEVIEWED INSPECTION AND LAMPING PRIOR TO RELEASE OF ONE-YEAR MAINTENANCE BOND.

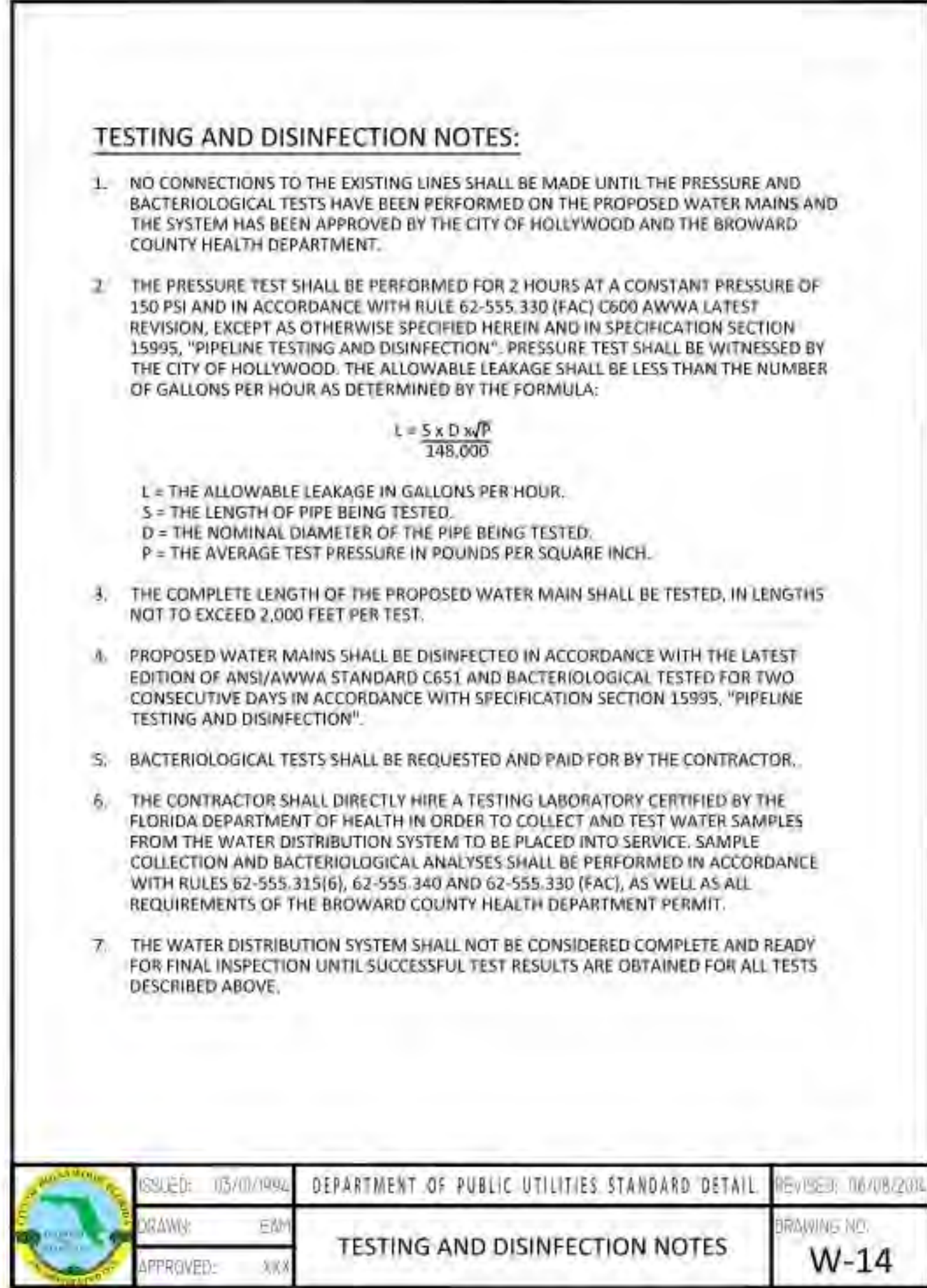
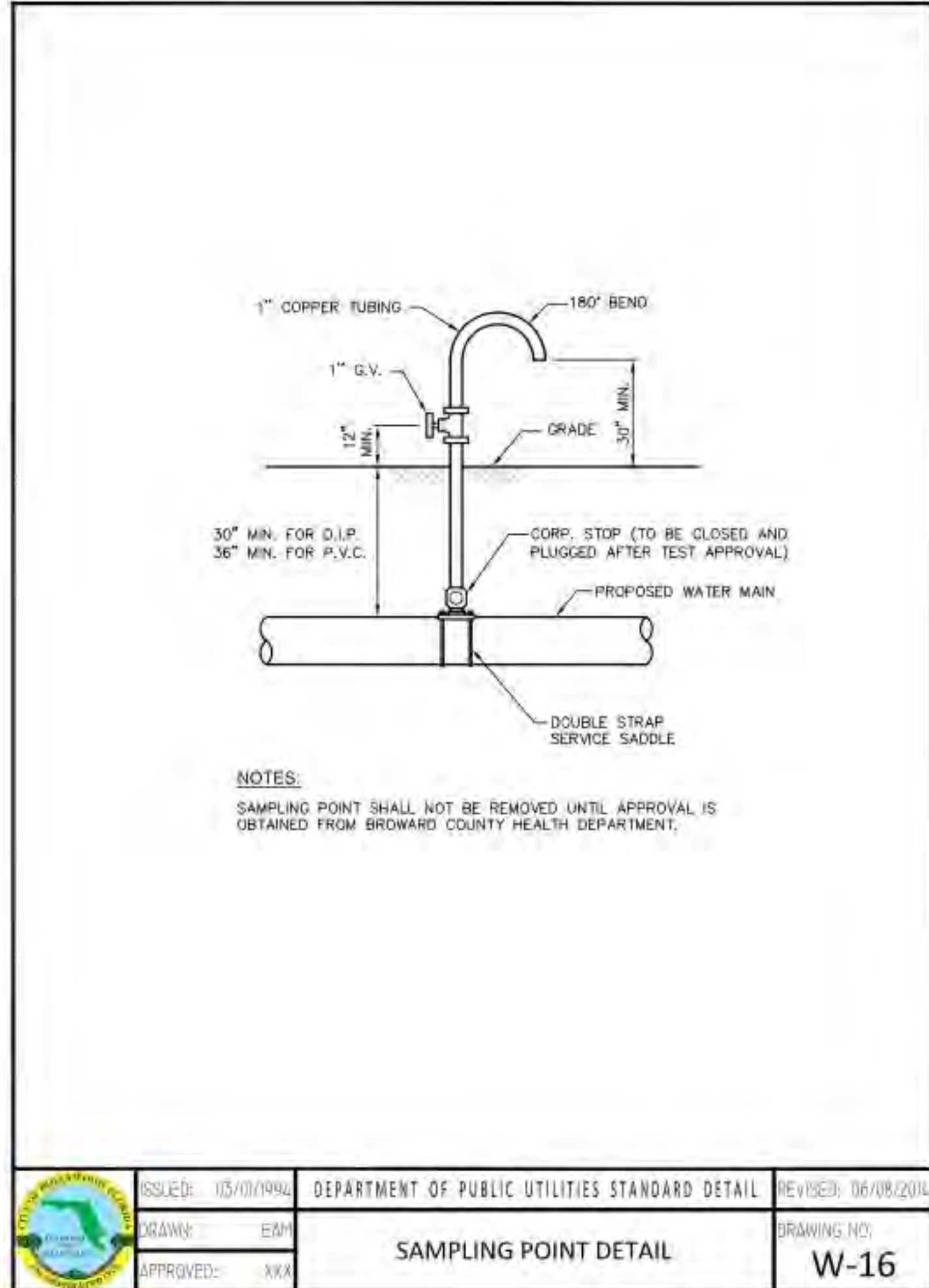
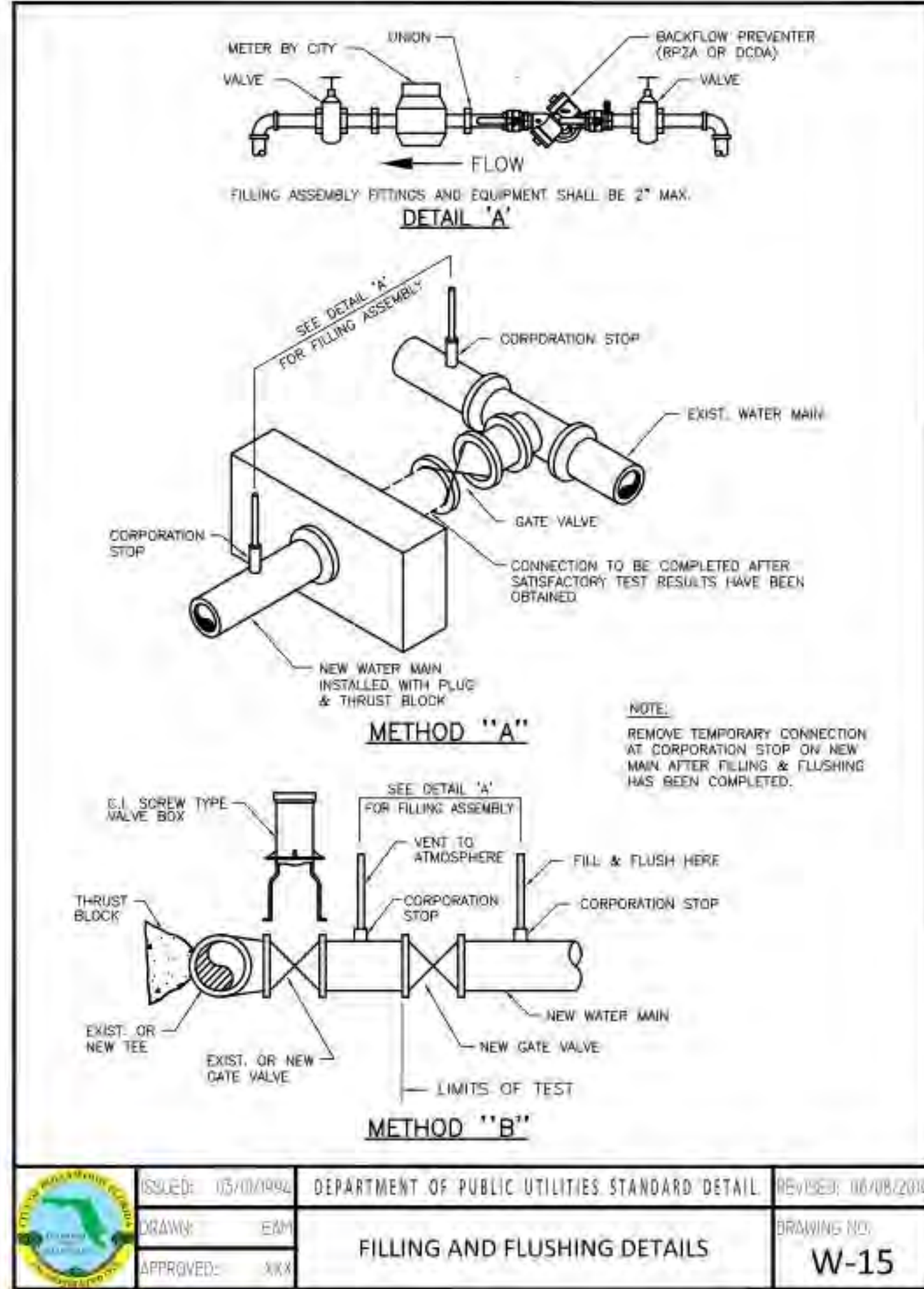
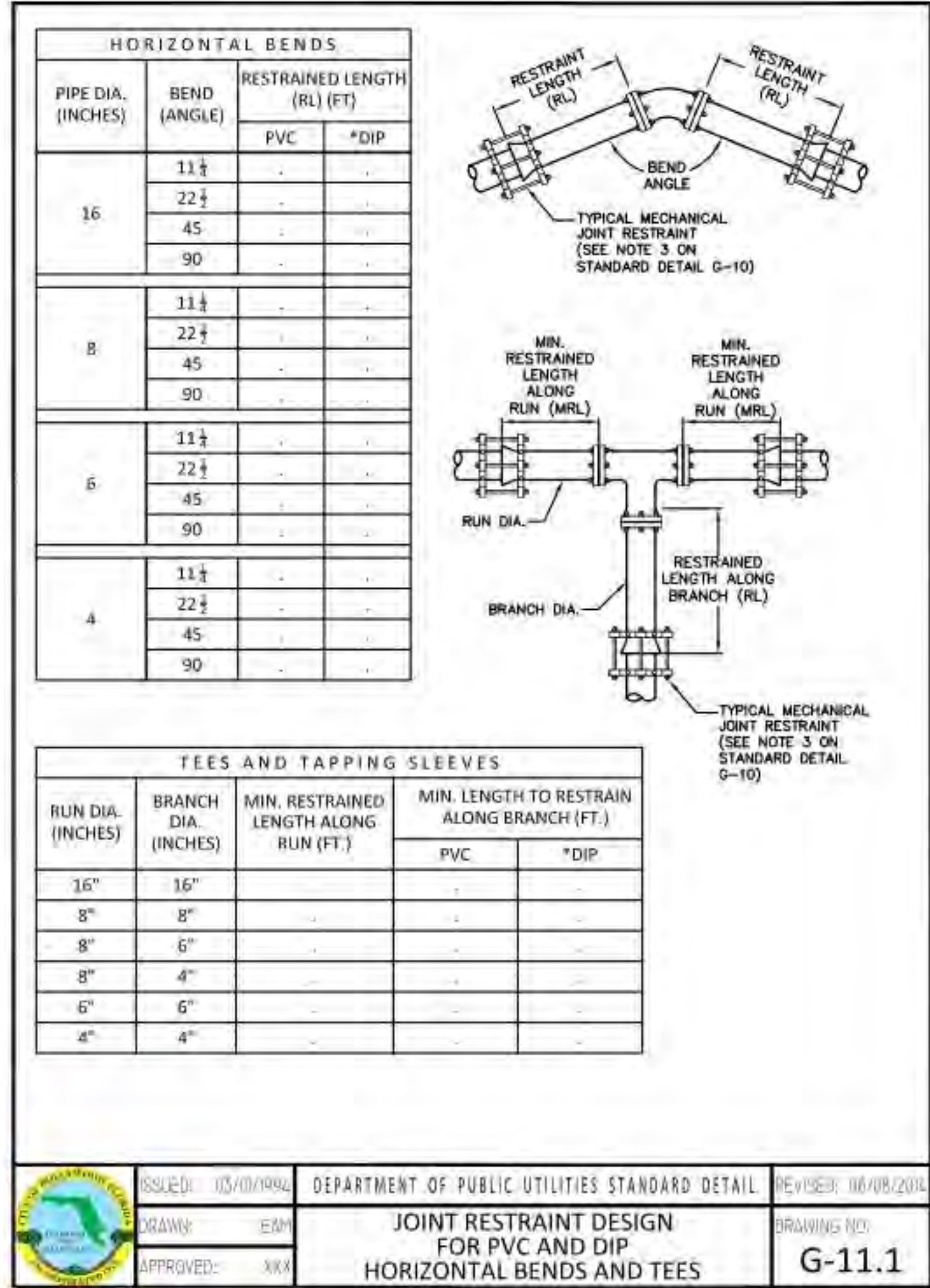
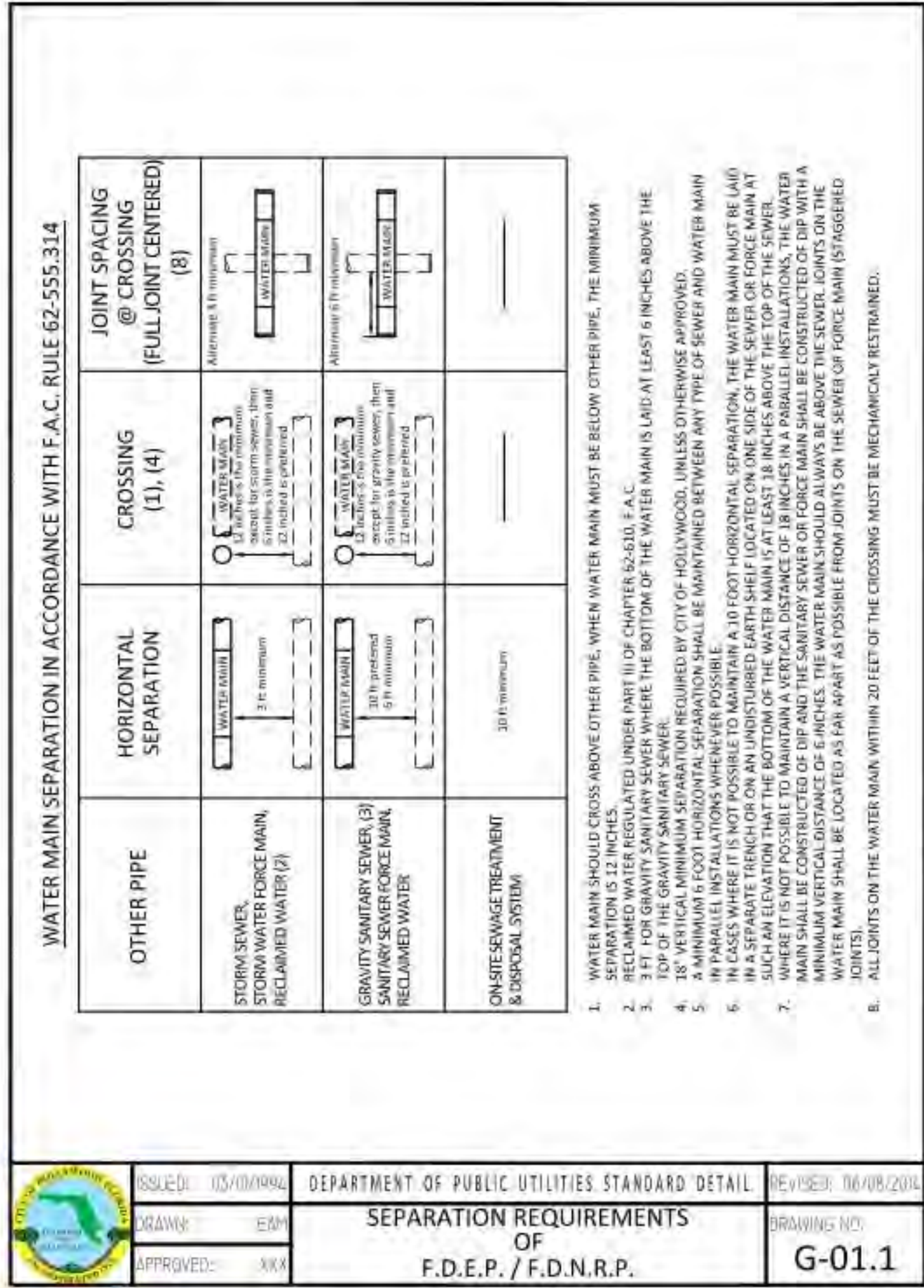
MANHOLE JOINTS WILL BE SEALED WITH RAMNEK OR APPROVED EQUAL AND ANTI-CRACK CEMENT INSIDE AND OUT.

ALL SANITARY SEWER GRAVITY MAINS AND SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETELY INSPECT THE EXISTING SANITARY SEWER SYSTEM AND / OR LIFT STATION, IF APPLICABLE, IN ADVANCE OF ANY WORK AND NOTIFY THE ENGINEER IN ADVANCE OF ANY DEFICIENCIES. SHOULD THE CONTRACTOR COMMENCE WORK WITHOUT FIRST INSPECTING THE EXISTING SANITARY SEWER SYSTEM AND / OR LIFT STATION, THEN THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING ON-SITE SANITARY SEWER SYSTEM PAST FINAL INSPECTION AND ACCEPTANCE OF THE UTILITY AND APPROVAL BY THE GOVERNING AUTHORITY. CONTRACTOR TO INCLUDE THE COST OF CLEANING, REPAIRING, AND TESTING EXISTING SEWER MAINS AND LATERALS AS REQUIRED FOR NEW CONSTRUCTION.

- WATER NOTES:
- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
 - NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVERTING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-630, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVERTING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-630, F.A.C. (AC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
 - AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED AND/OR OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE AT LEAST 30 THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVERTING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-630, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVERTING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-630, F.A.C. (AC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)).
 - NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
 - POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, BODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SHRUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
 - THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING



REVISIONS:	
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CLIENT:	
Kaller Architects 2417 Hollywood Boulevard Hollywood, Florida 33020-6605 (954) 920-5746	

PROJECT:	
Van Buren Apartments 2316-2318 Van Buren Street HOLLYWOOD FLORIDA 33020	CONSTRUCTION DETAILS

TASK:	
GGB Engineering, Inc. CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS • FLORIDA REGISTRATION NO. 8118 2699 Stirling Road, Suite 200 Fort Lauderdale, Florida 33312 Phone: (954) 986-9899 Fax: (954) 986-8655	

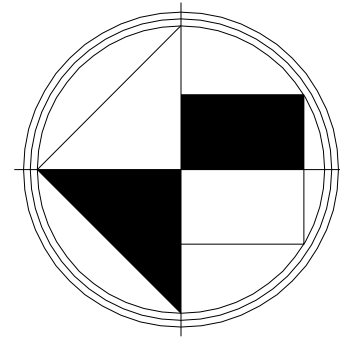
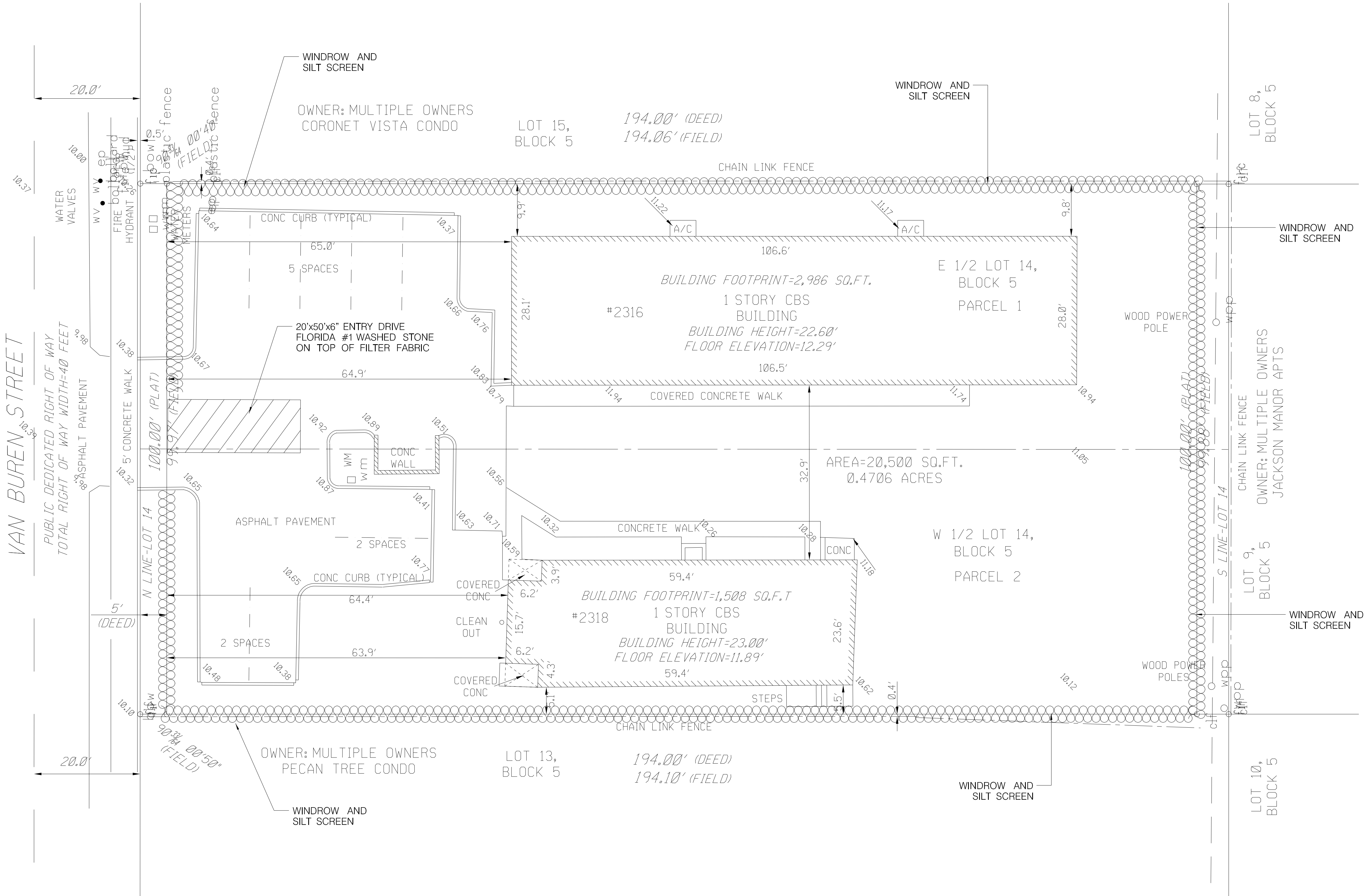
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May 2018	N.T.S.

DESIGNED BY:	
G.C.B.	F.M.

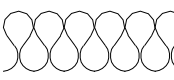
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GARY G. BLOOM, P.E. FLA. LIC. NO. 79832 NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER	



LEGEND

 DENOTES WINDROW AND SILT SCREEN
ALONG PROPERTY LINE DURING
CONSTRUCTION OF GRADING AND DRAINAGE

REVISIONS:		CLIENT:		PROJECT:		TASK:	
1.		Kaller Architects		Van Buren Apartments		GGB Engineering, Inc.	
2.		2417 Hollywood Boulevard		2316-2318 Van Buren Street		CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS	
3.		Hollywood, Florida 33020-6605		HOLLYWOOD FLORIDA 33020		• CONSTRUCTION MANAGERS	
4.		(954) 920-5746		STORMWATER POLLUTION		FLORIDA REGISTRATION No. 8118	
5.				PREVENTION PLAN		email: gary@ggbing.com	
6.						2699 Stirling Road, Suite C-202	
7.						Fort Lauderdale, Florida 33312	
8.						Phone: (954) 986-9899	
						Fax: (954) 986-8655	
DATE:		May 2018		SCALE:		1" = 10'	
DESIGNED BY:		G.G.B.		DRAWN BY:		F.M.	
PROJECT NO.		18-0525		SHEET		C - 8	

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER

ENT: **Kaller Architects**
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

STORMWATER POLLUTION PREVENTION PLAN

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
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2699 Stirling Road, Suite C-202

PROJECT NO.
18-0525

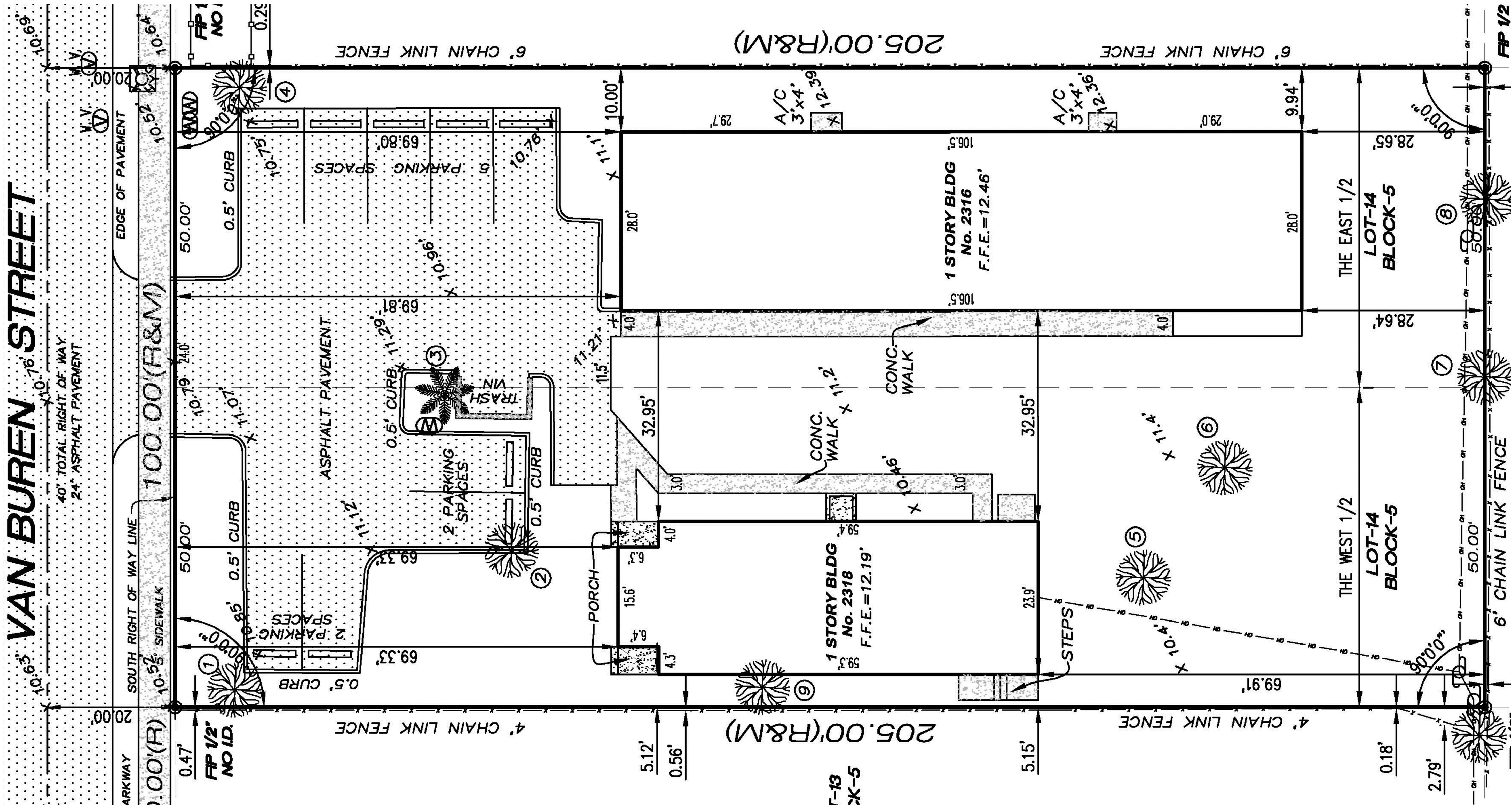
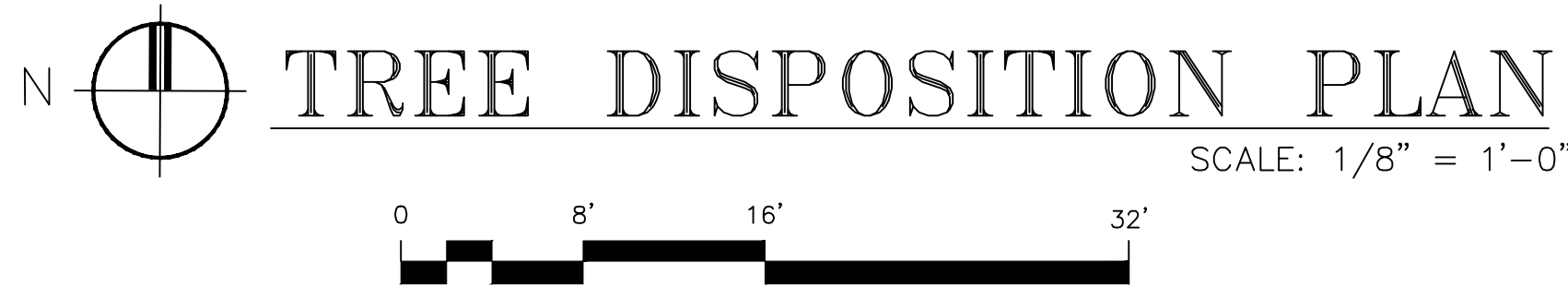
GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER

STORM WATER POLLUTION PREVENTION PLAN									
SITE DESCRIPTION		GENERAL				HAZARDOUS PRODUCTS			
		THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.		3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.				• SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.	
		SEQUENCE OF MAJOR ACTIVITIES:		4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.				• THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.	
		SEQUENCE OF MAJOR ACTIVITIES: 1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES. 2. DEMO AND CLEAR SITE 3. INSTALL UNDERGROUND UTILITIES. 4. COMPLETE FINAL GRADING OPERATIONS. 5. CONTINUE WITH ERS CONTROL MEASURES. 6. START BUILDING FOUNDATION. 7. CONTINUE WITH ERS CONTROL MEASURES. 8. COMPLETE BUILDING CONSTRUCTION. 9. CONTINUE WITH ERS CONTROL MEASURES. 10. COMPLETE CURB AND SIDEWALK CONSTRUCTION 11. REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM.		5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.		OTHER CONTROLS		• DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.	
				6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE MINIMIZED.		WASTE DISPOSAL (IF APPLICABLE):		• TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.	
				7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.		WASTE MATERIALS		• A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.	
				8. DUST CONTROL: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL TREATMENT WITHIN 30 DAYS SHALL BE STABILIZED.		ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.		• THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.	
				9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDING AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.		HAZARDOUS WASTE		• PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.	
				10. TEMPORARY GRASSING: THE SEEDING OR SEEDING AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.		CONCRETE TRUCKS		NON-STORM WATER DISCHARGES	
				11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSING AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.		CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.		IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:	
				12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.		SPILL CONTROL PRACTICES		• WATER FROM WATER LINE FLUSHING	
				13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.		IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:		• PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).	
				14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL AS A MINIMUM BE SEEDDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SODDED.		MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.		• UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).	
				STRUCTURAL PRACTICES (IF APPLICABLE):		MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA. ON-SITE EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUIVALENT), SAND, SODIUM, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.		ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.	
				1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.		ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.		CONTRACTOR'S CERTIFICATION	
				2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.		THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.		I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.	
				3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.		THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.			
				4. SEDIMENT BASIN: (NOT APPLICABLE)		MATERIAL MANAGEMENT PRACTICES			
						THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.		THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ON-SITE.	
						GOOD HOUSEKEEPING			
						THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.			
						• AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.			
						• ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.			
						• PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL, ORIGINAL MANUFACTURER'S LABEL.			
						• SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.			
						• WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.			
						• MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.			
						• THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.			

2316-2318 Van Buren Street - Hollywood, Florida

Tree #	Type	DBH	Height	Canopy	Disposition			Condition
					Remove	Remain	Relocate	
1	Live Oak/Quercus virginiana	18"	30'	750 SF	x			Fair/Good
2	Royal Poinciana/Delonix regia	14"	40'	750 SF	x			Fair/Good
3	Queen Palm/Syagrus romanzoffiana	8"	12'	100 SF	x			Fair/Good
4	Live Oak/Quercus virginiana	24"	35'	750 SF	x			Fair/Good
5	Live Oak/Quercus virginiana	18"	35'	750 SF	x			Fair/Good
6	Live Oak/Quercus virginiana	30"	35'	750 SF	x			Fair/Good
7	Black Olive/Bucida buceras	12"	15'	100 SF	x			Fair/Good
8	Live Oak/Quercus virginiana	11"	16'	400 SF	x			Fair/Good
9	Dracanea/Dracanea sp	11"	13'	50 SF	x			Fair/Good

MITIGATION
EXISTING CONDITIONS
TOTAL DBH to be removed = 138"
TOTAL Palms to be removed = 1



DRWG. TITLE : TREE DISPOSITION PLAN

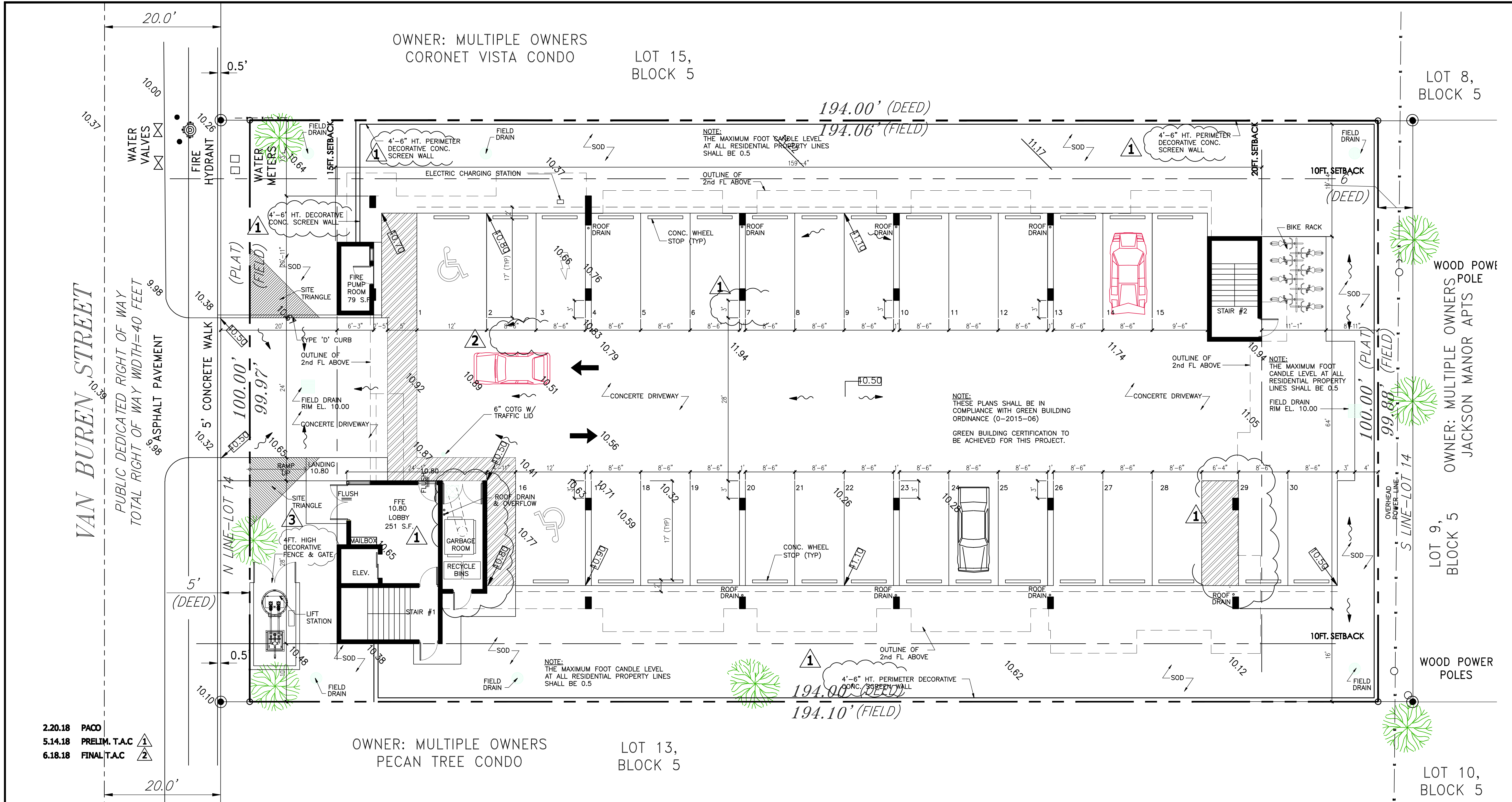
PROJECT : VAN BUREN
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

CLIENT : JOSEPH B KALLER AND ASSOCIATES

SEAL

PROJECT NO. 18-125
DRAWN BY WKT
DESIGNED BY WKT
CHECKED BY WKT
DATE : 05-25-18
DWG. NO. LE-1
SHT. NO. 1 of 1
REVISIONS :
07-11-18
07-23-18

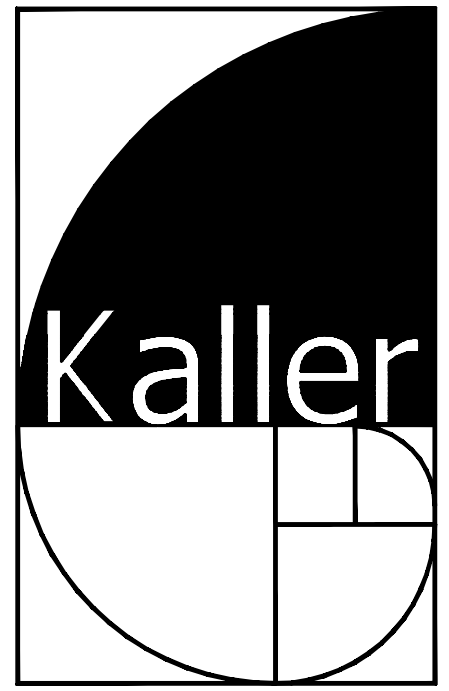
TONNING
& ASSOCIATES, INC.
Landscape Architecture & Land Planning
Landscape Architect - Florida License #6666709
4855 NW 92 Terrace
Coral Springs, Florida 33067
Tel. 561-414-8265 Email: wtonning@tonningandassociates.com



SITE INFORMATION		
PROPOSED ZONING:	DIXIE HIGHWAY MEDIUM INTENSITY MULTI FAMILY DISTRICT, DH-2	
LAND USE DESIGNATION:	REGIONAL ACTIVITY CENTER	
NET LOT AREA:	19,394 SF/ 0.44 ACRES	
FAR:	1.75	1.65
BUILDABLE AREA:	35,877.7 SF	31,976 SF
PARKING:	REQUIRED	PROVIDED
UNITS	1 PER UNIT MIN. = 27 SPACES	27 SPACES
GUESTS	1 PER 10 UNITS MIN. = 3 SPACES	3 SPACES
TOTAL	= 30 SPACES	30 SPACES INCLD. 2 HC SPACES
LOADING:	REQUIRED	PROVIDED
UNITS	NOT REQ. LESS THAN 50 UNITS	0 SPACE

SETBACKS:		
	REQUIRED	PROVIDED
(a) FRONTAGE (VAN BUREN ST.)	15'-0"	15'-0"
(b) SIDE INTERIOR (WEST)	10'-0"	10'-0"
(c) SIDE INTERIOR (EAST)	10'-0"	10'-0"
(d) REAR	20'-0"	20'-0"
OPEN SPACE:	REQUIRED 3,878 (20%)	PROVIDED 7,104 (36%)
BUILDING SUMMARY	ALLOWED	PROVIDED
BUILDING HEIGHT:	4 STORIES/ 45'-0"	4 STORIES/ 42'-0"

BUILDING SUMMARY		
	ALLOWED	PROVIDED
BUILDING HEIGHT:	4 STORIES/ 45'-0"	4 STORIES/ 42'-0"
GROSS BUILDING AREA:		
	INTERIOR	BALCONY
FIRST FLOOR	833	-
SECOND FLOOR	10,381	1,114
THIRD FLOOR	10,381	896
FOURTH FLOOR	10,381	896
TOTAL	31,976	2,906
UNIT TYPES:	INTERIOR	BALCONY
TYPE A	794	81
TYPE B	819	66
TYPE C	1,319	81
TYPE D	1,218	141 (2nd fl)
TYPE E	1,050	144



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SEAL
JOSEPH B. KALLER
FLORIDA P.E. # 0009239

PROJECT TITLE
VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SITE PLAN & SITE INFORMATION

REVISIONS		
No.	DATE	DESCRIPTION
1	5.14.18	PRELIM. T.A.C
2	6.18.18	FINAL T.A.C
3	6.18.18	FINAL T.A.C

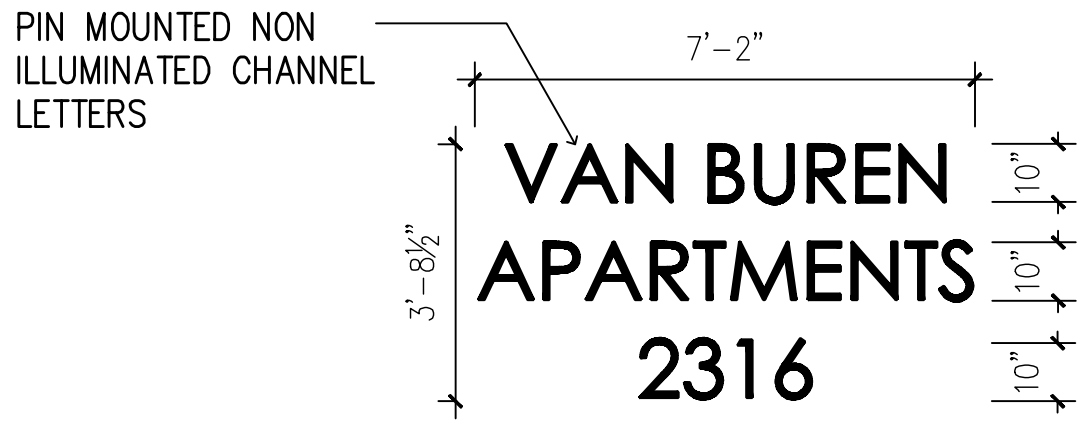
PROJECT No.: 17139
DATE: 4.30.18
DRAWN BY: R. HALL
CHECKED BY: JBK

SHEET

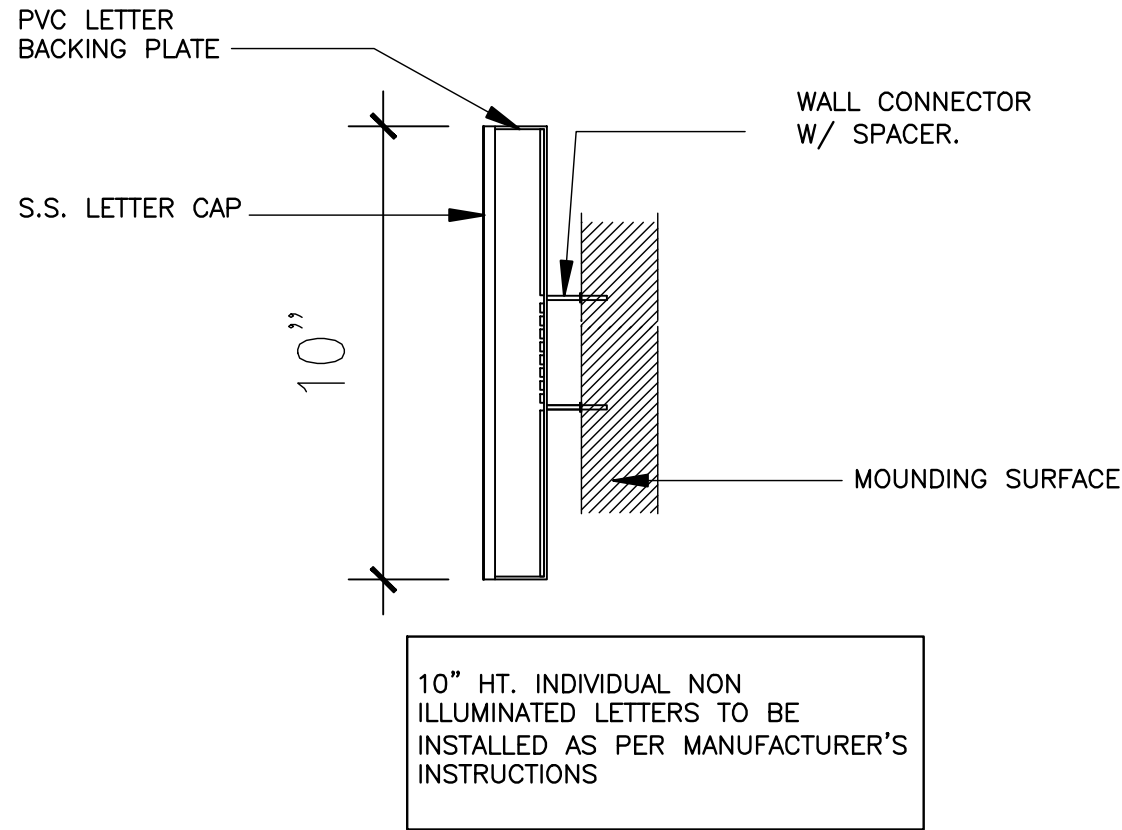
SP-1

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2.20.18 PACO
5.14.18 PRELIM. T.A.C
6.18.18 FINAL T.A.C



1 WALL MOUNTED SIGN NTS



2 SIGN DETAIL NTS



3 PIN MOUNTED LETTER IMAGE NTS

NOTE:
SEPARATE SIGN PERMIT REQUIRED.

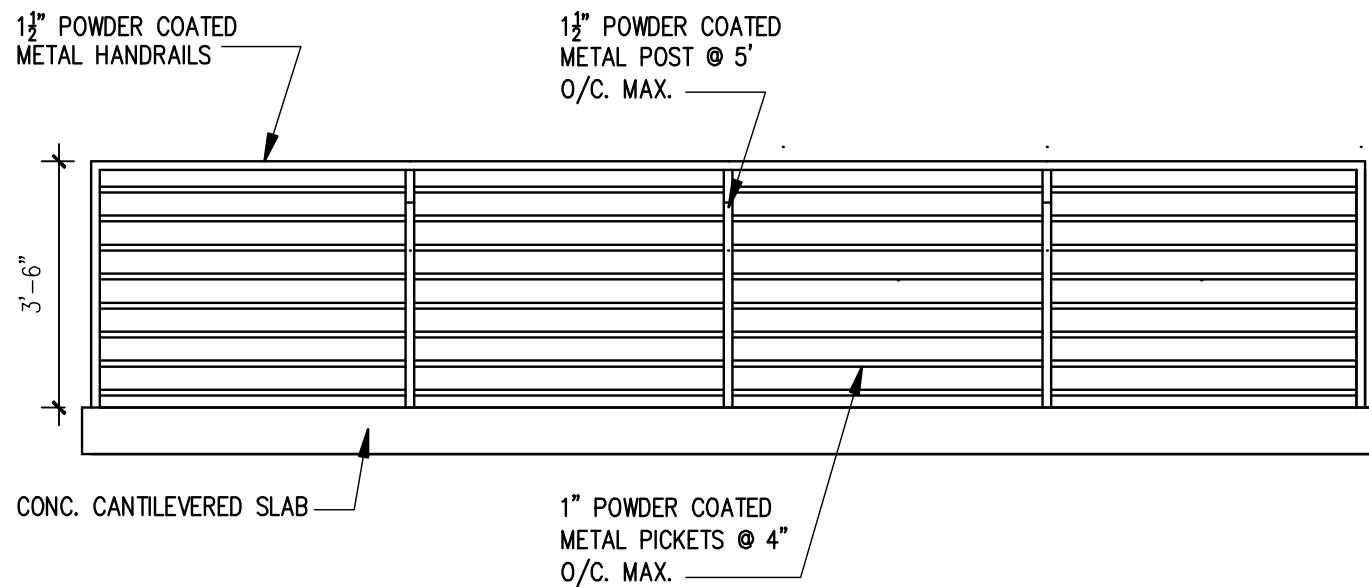
MINIMUM SIZE REQUIRED IS 25S.F.
MAXIMUM SIZE ACCEPTABLE IS 150 S.F.

SIGNAGE PROVIDED
PIN MOUNTED SIGNAGE 26 S.F
FACING VAN BUREN STREET.

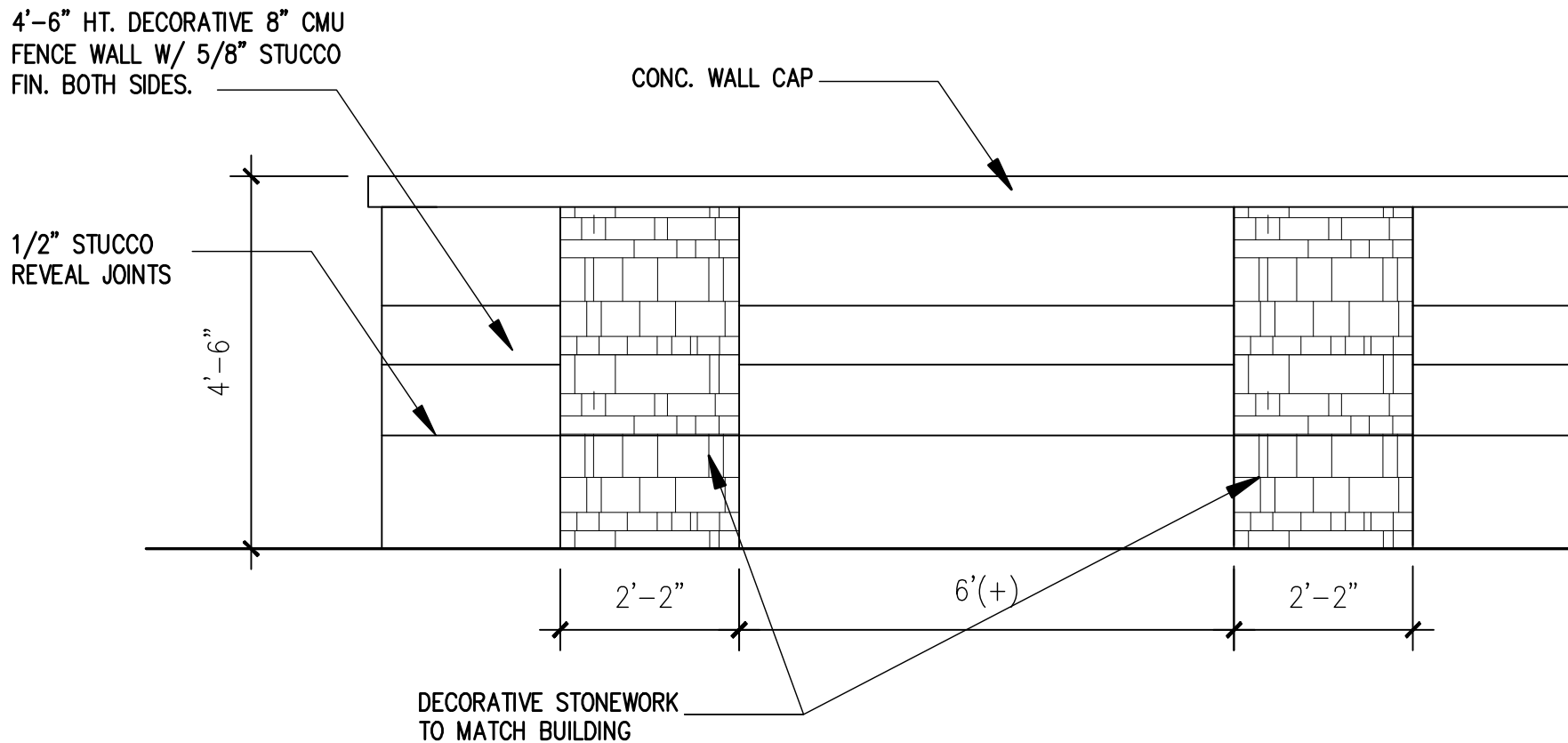
ALL NEW SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

SIGN NOTES

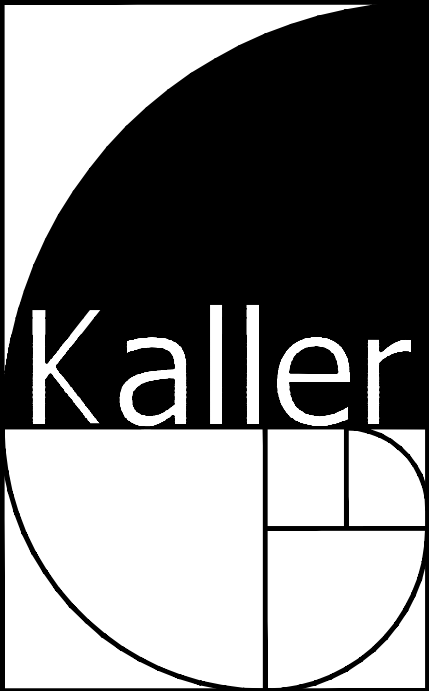
4 SIGN NOTES



5 BALCONY DETAIL SCALE: 3/8" = 1'-0"



6 SITE FENCE WALL DETAIL SCALE: 1/2" = 1'-0"



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SEAL

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PROJECT TITLE
VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
DETAILS

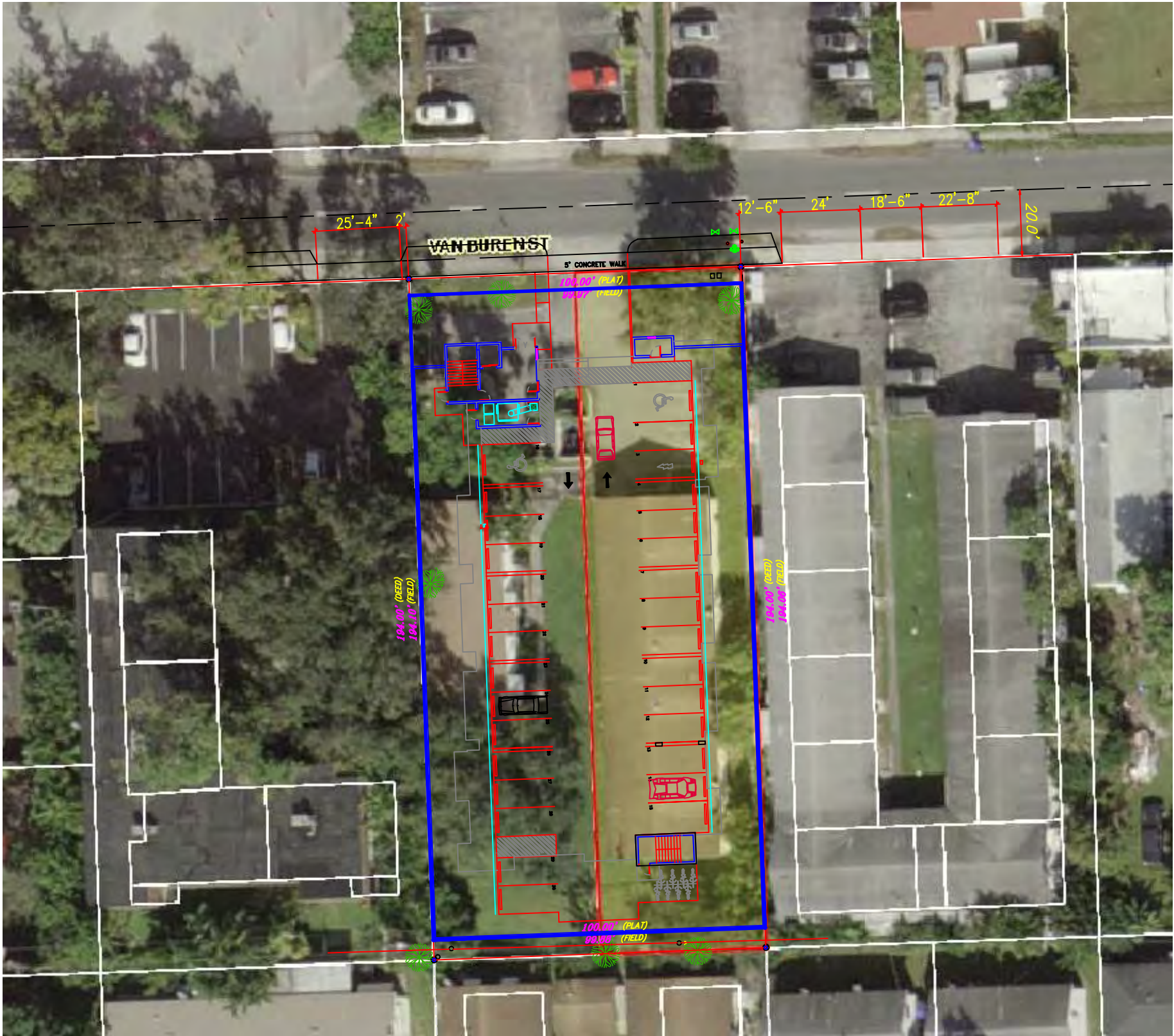
REVISIONS		
No.	DATE	DESCRIPTION
1	5.14.18	PRELIM. T.A.C
2	6.18.18	FINAL T.A.C

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DATE: 4.30.18
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CHECKED BY: JBK

SHEET

SP-2



2.20.18 PACD
5.14.18 PRELIM. TAC
6.18.18 FINAL TAC



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SEAL

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PROJECT TITLE
VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
SITE PLAN WITH
ADJACENT PROPERTIES
AND CURB CUTS

REVISIONS		
No.	DATE	DESCRIPTION
1	5.14.18	PRELIM. TAC
2	6.18.18	FINAL TAC

PROJECT No.: 17139
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SHEET

SP-3



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1

PHOTOMETRIC PLAN



SCALE: 1/8" = 1'-0"

Filename: 2316-2018-05-29.AGI

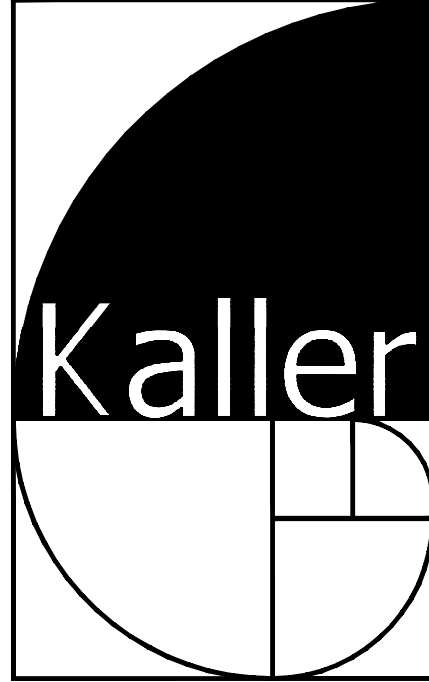
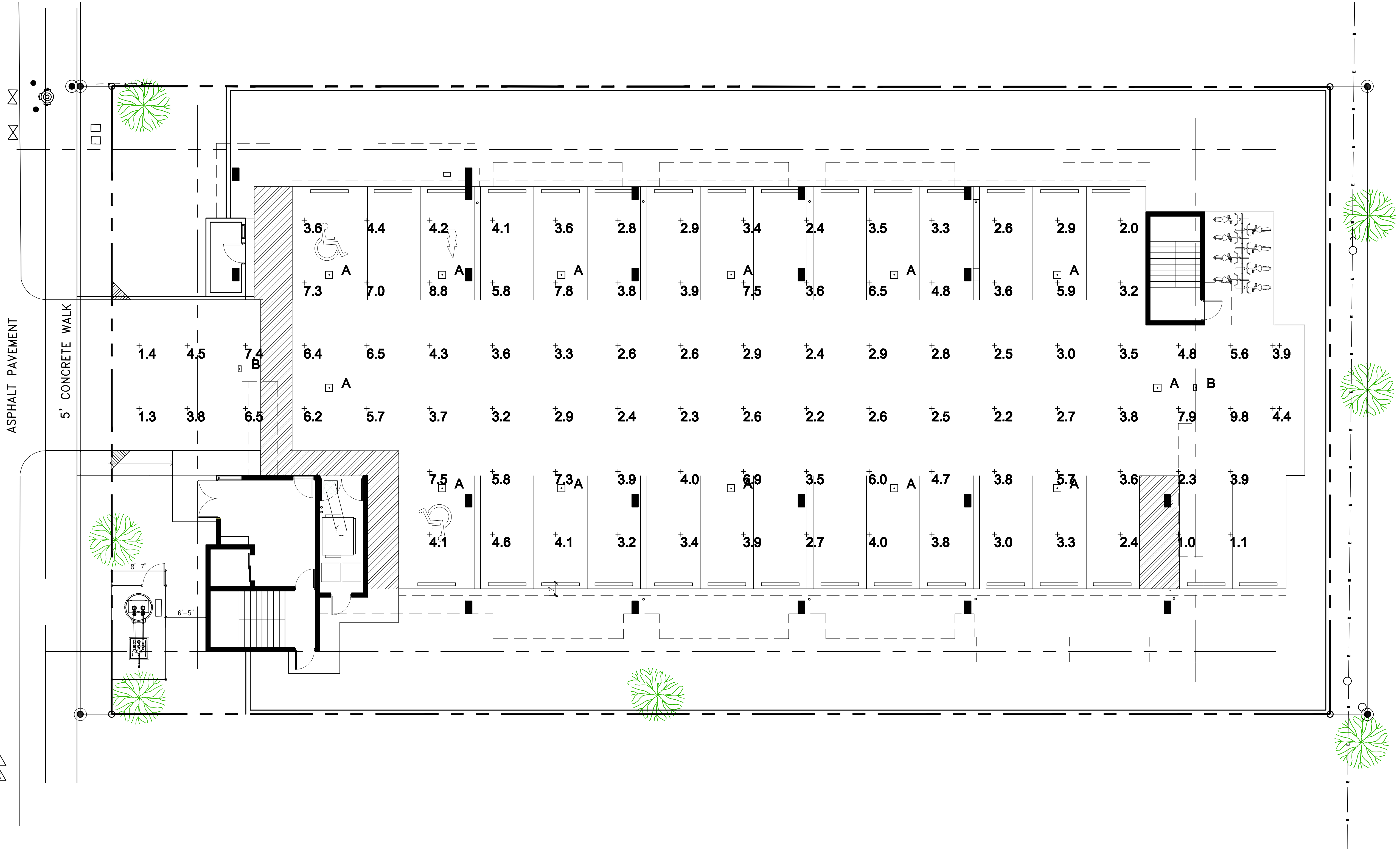
2316 - 2318 VAN BUREN STREET
HOLLYWOOD
EXTERIOR LIGHTING

Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
⬢	13	A	CREE LTGR: IG-NM-5S-A-40K-UL-WH / MTD AT 9' AFF	0.900	3910
⬢	2	B	CREE LTGR: XSPWA3FC-U WALL MTD AT 10' AFF	0.900	4187

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
AREA	Illuminance	Fc	4.11	9.8	1.0	4.11	9.80

2.20.18 PACO
5.14.18 PRELIM. T.A.C
6.18.18 FINAL T.A.C

1
2



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SEAL

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PROJECT TITLE

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2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE

PHOTOMETRIC PLAN

REVISIONS

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SHEET

PH-1

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1

SECOND FLOOR PLAN



SCALE: 1/8" = 1'-0"

- 2.20.18 PACO
5.14.18 PRELIM. T.A.C
6.18.18 FINAL T.A.C

1
2



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PROJECT TITLE

VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE

SECOND FLOOR PLAN

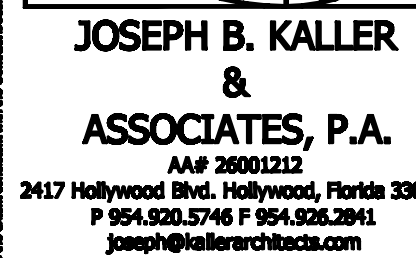
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No.	DATE	DESCRIPTION
1	5.14.18	PRELIM. T.A.C
2	6.18.18	FINAL T.A.C

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PROJECT No.: 17139
DATE: 4.30.18
DRAWN BY: R. HALL
CHECKED BY: JBK

SHEET

A-1



JOSEPH B. KALLER
FLORIDA R.A. # 0009239

SHEET TITLE
3rd & 4th FLOOR PLAN

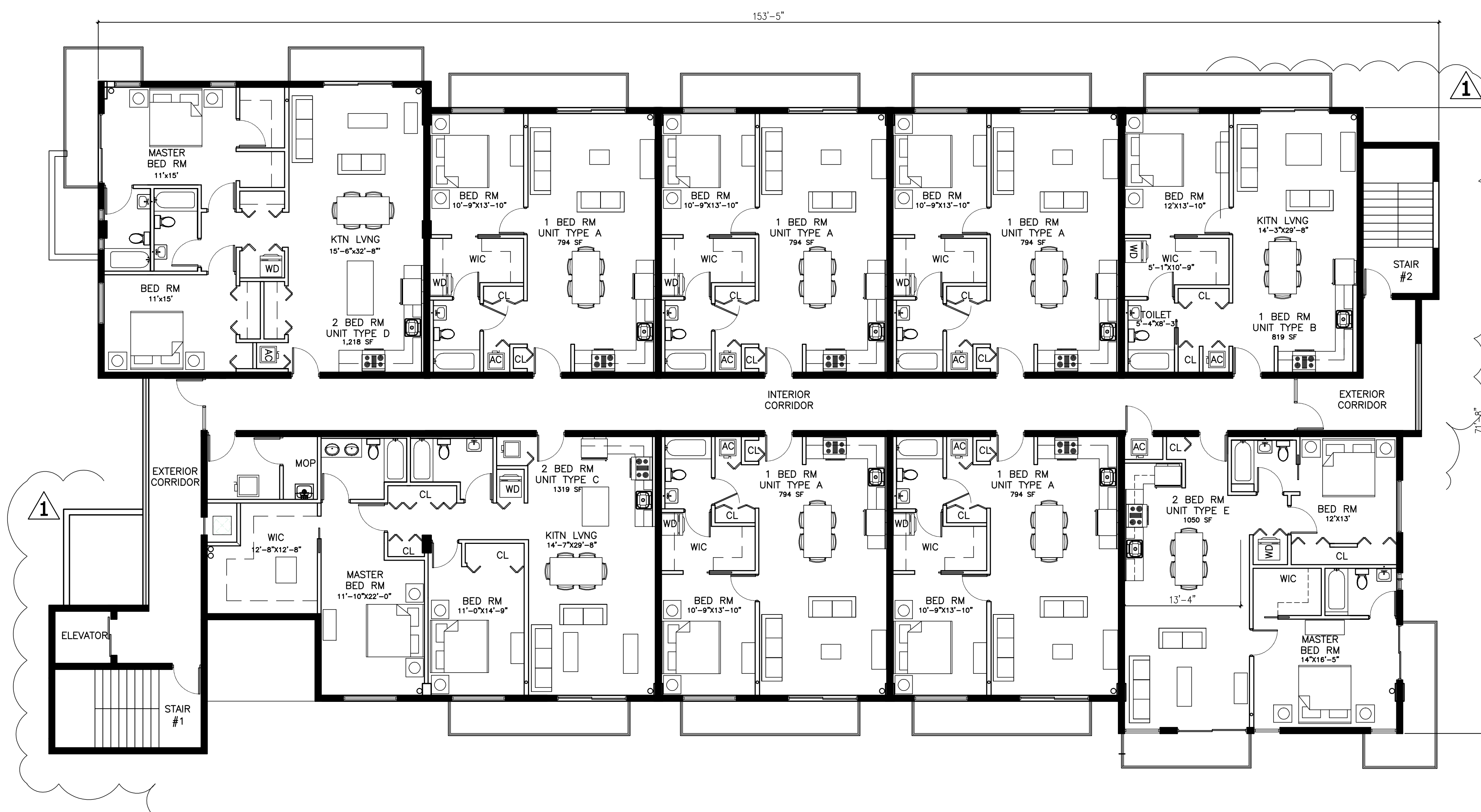
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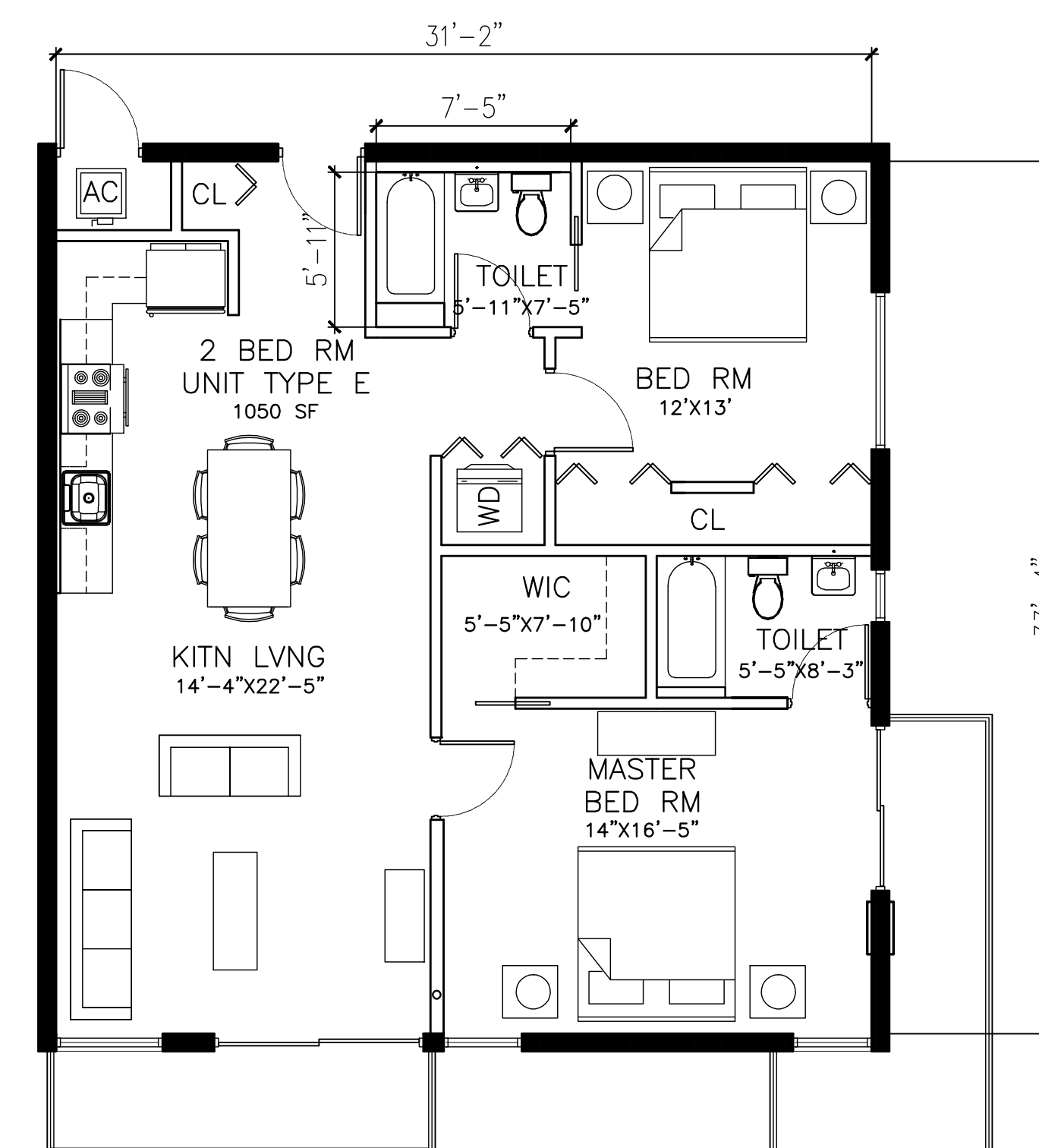
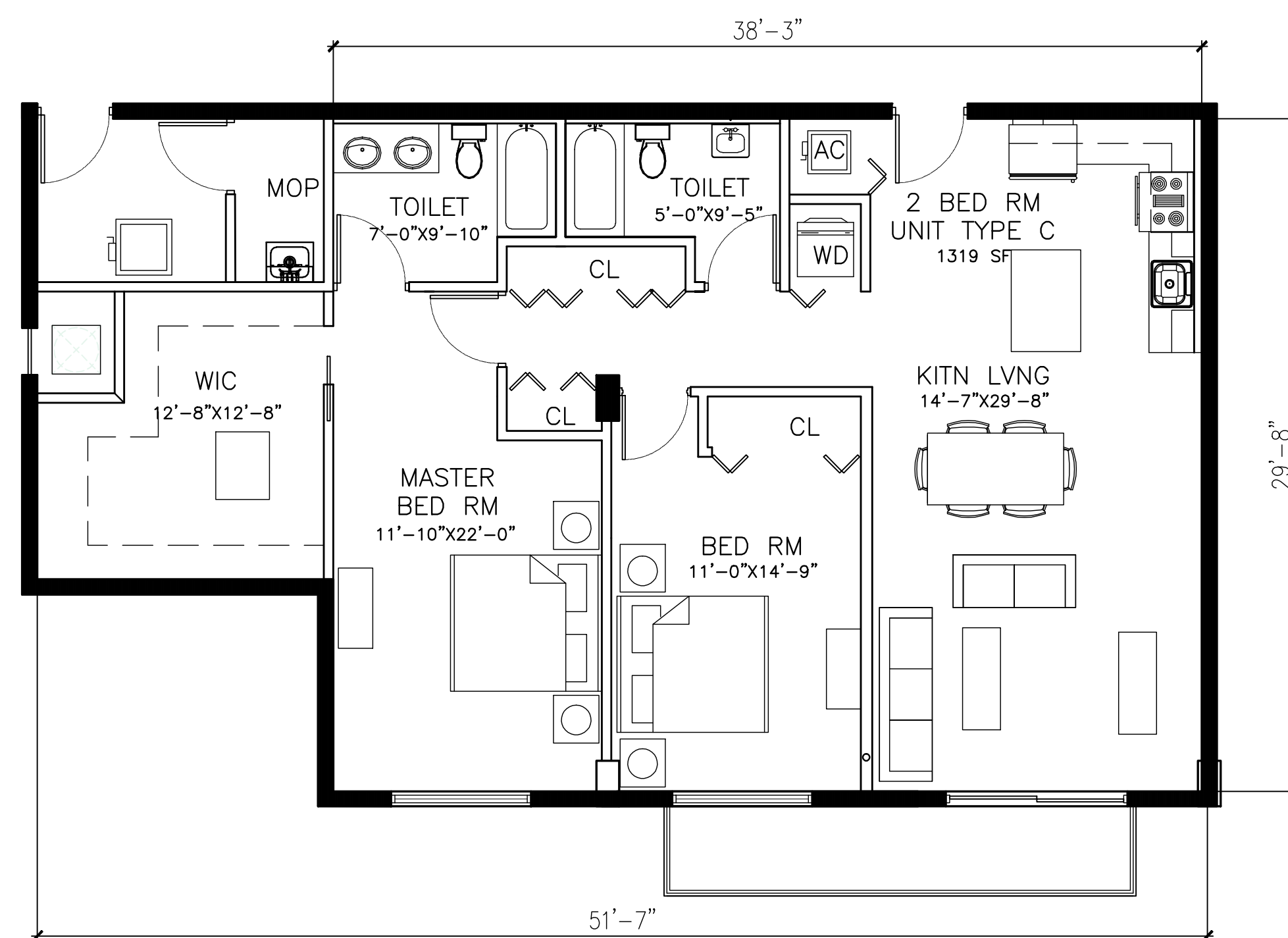
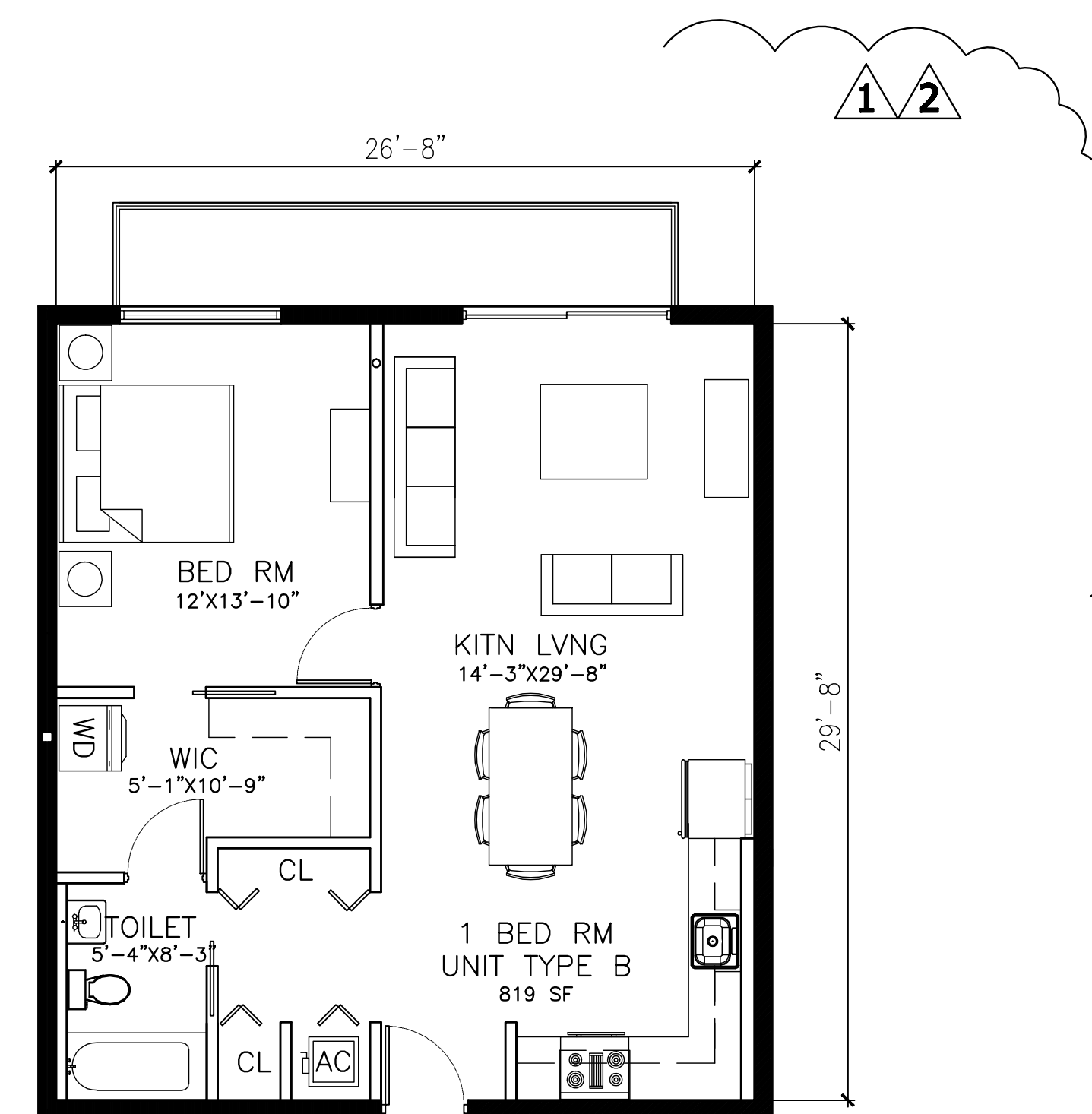
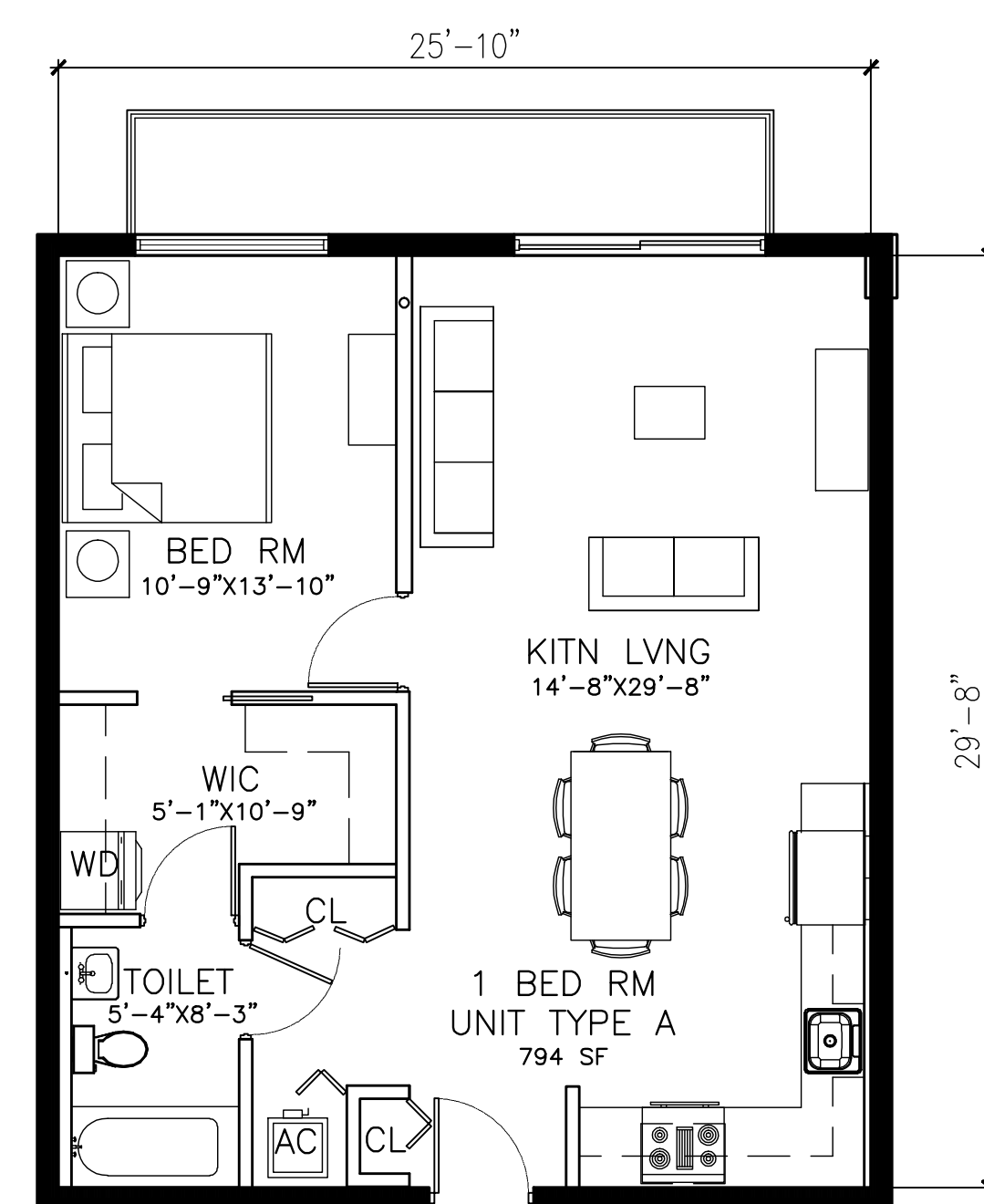
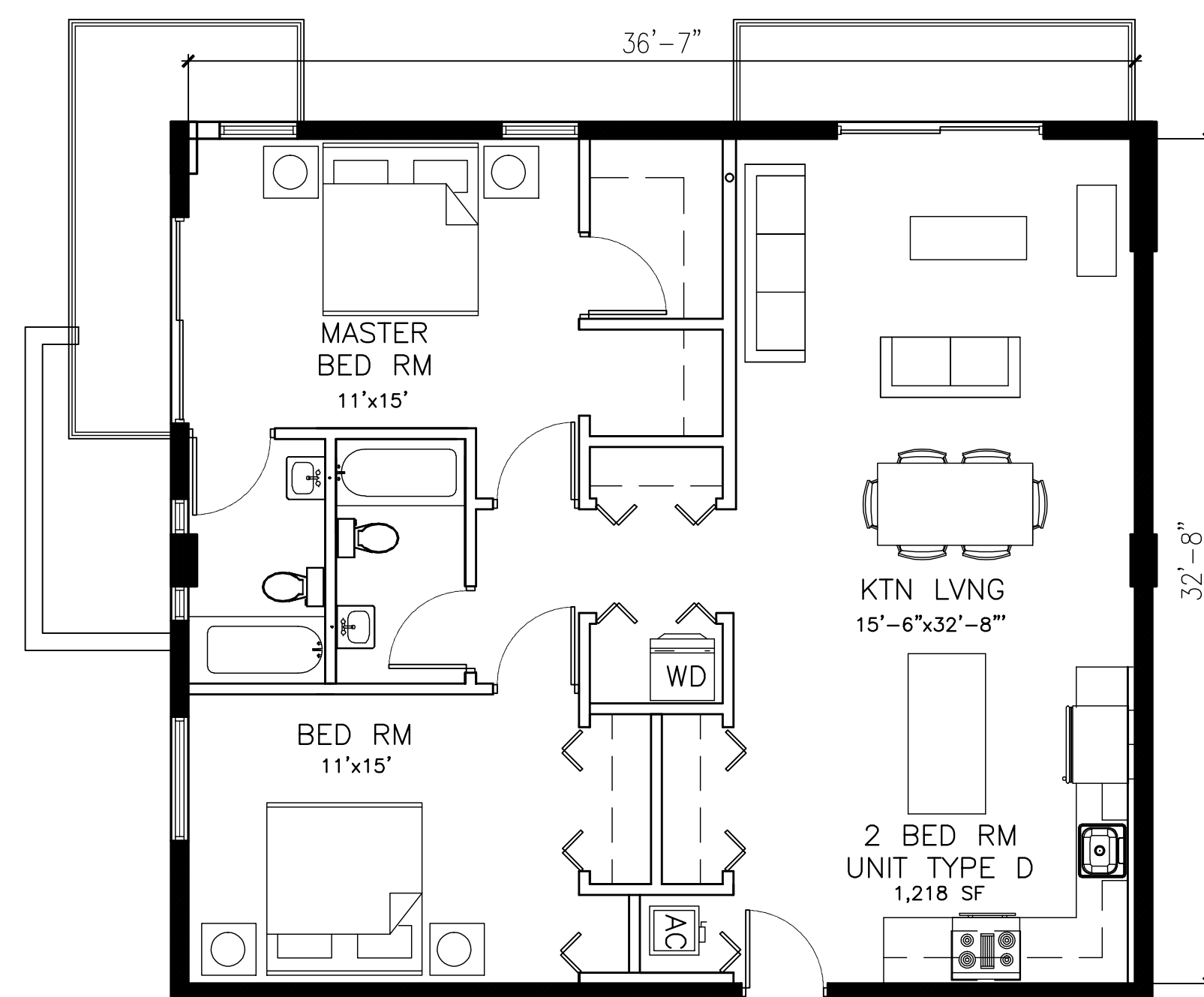
PROJECT No.: 17139
DATE: 4.30.18
DRAWN BY: R. HALL
CHECKED BY: JBK

SHEET

A-2



2.20.18	PACO	
5.14.18	PRELIM. T.A.C	1
6.18.18	FINAL T.A.C	2



2.20.18 PACO
5.14.18 PRELIM. T.A.C. 1
6.18.18 FINAL T.A.C. 2

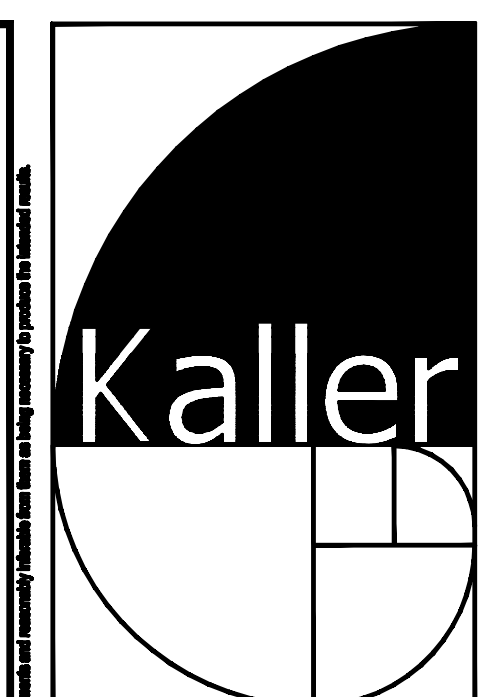
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PROJECT No.: 17139
DATE: 4.30.18
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SHEET

A-3



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PROJECT TITLE
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2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE

UNIT FLOOR PLANS

JOSEPH B. KALLER
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PROJECT TITLE
VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET

of the Contract Documents is to include

SHEET TITLE

ROOF PLAN

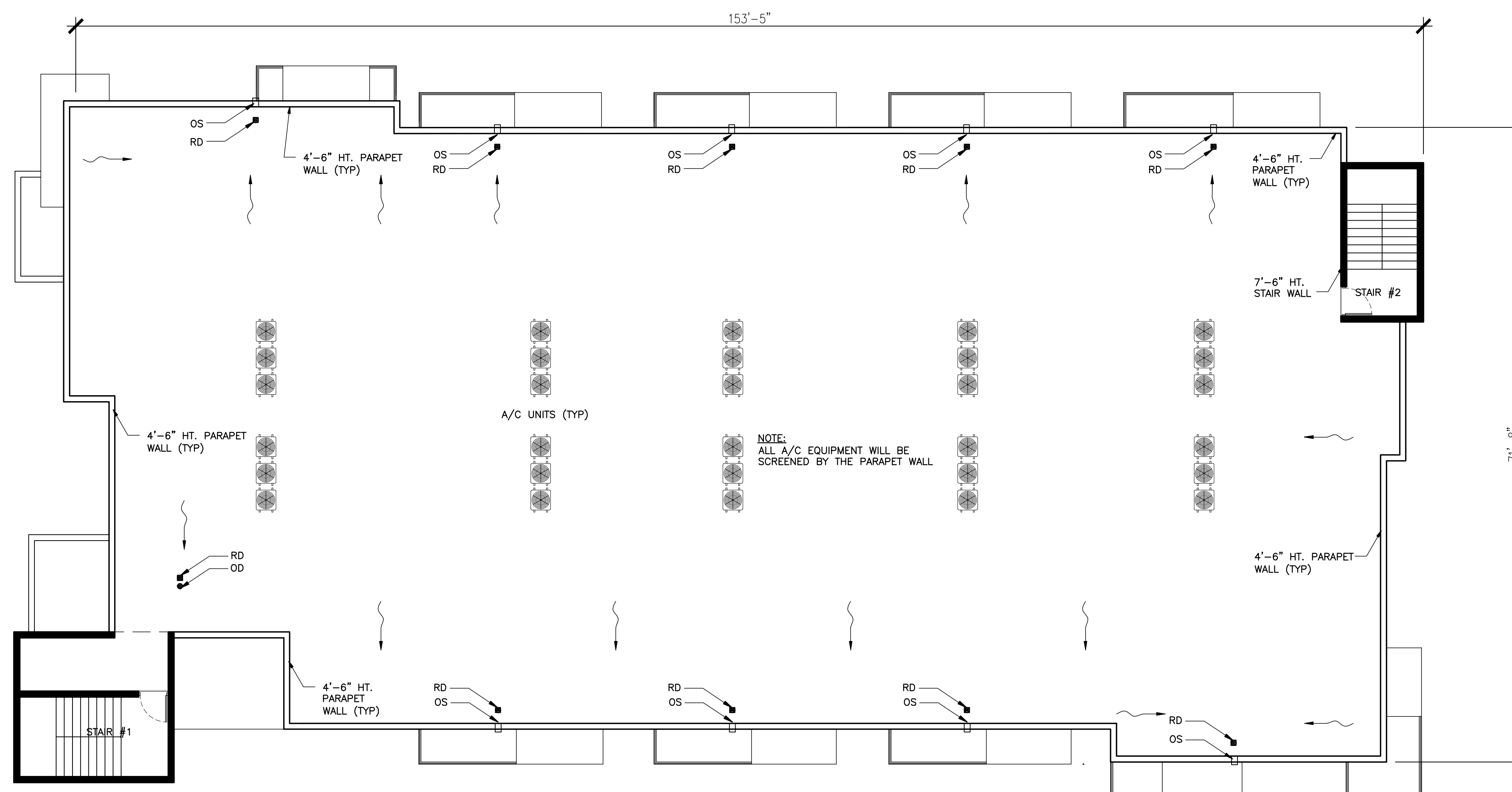
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DATE: 4.30.18
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CHECKED BY: JBK

SHEET

A-4



2.20.18 PACO
5.14.18 PRELIM. T.A.C **1**
6.18.18 FINAL T.A.C **2**



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

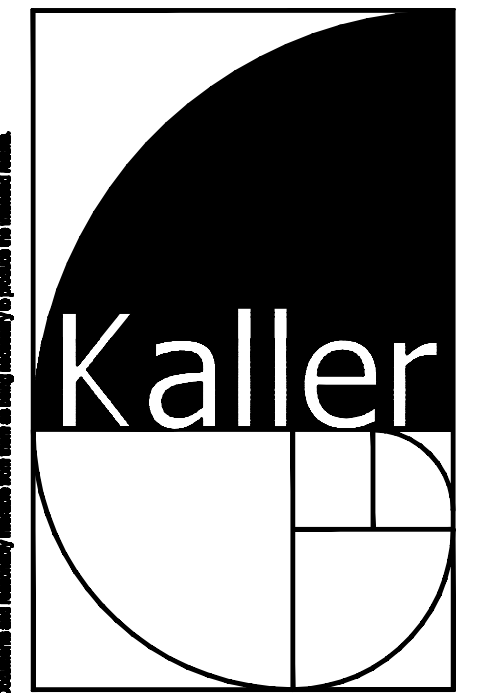


WEST ELEVATION

SCALE: 1/8" = 1'-0"

2.20.18 PACO
5.14.18 PRELIM. T.A.C
6.18.18 FINAL T.A.C

1
2



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PROJECT TITLE
VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

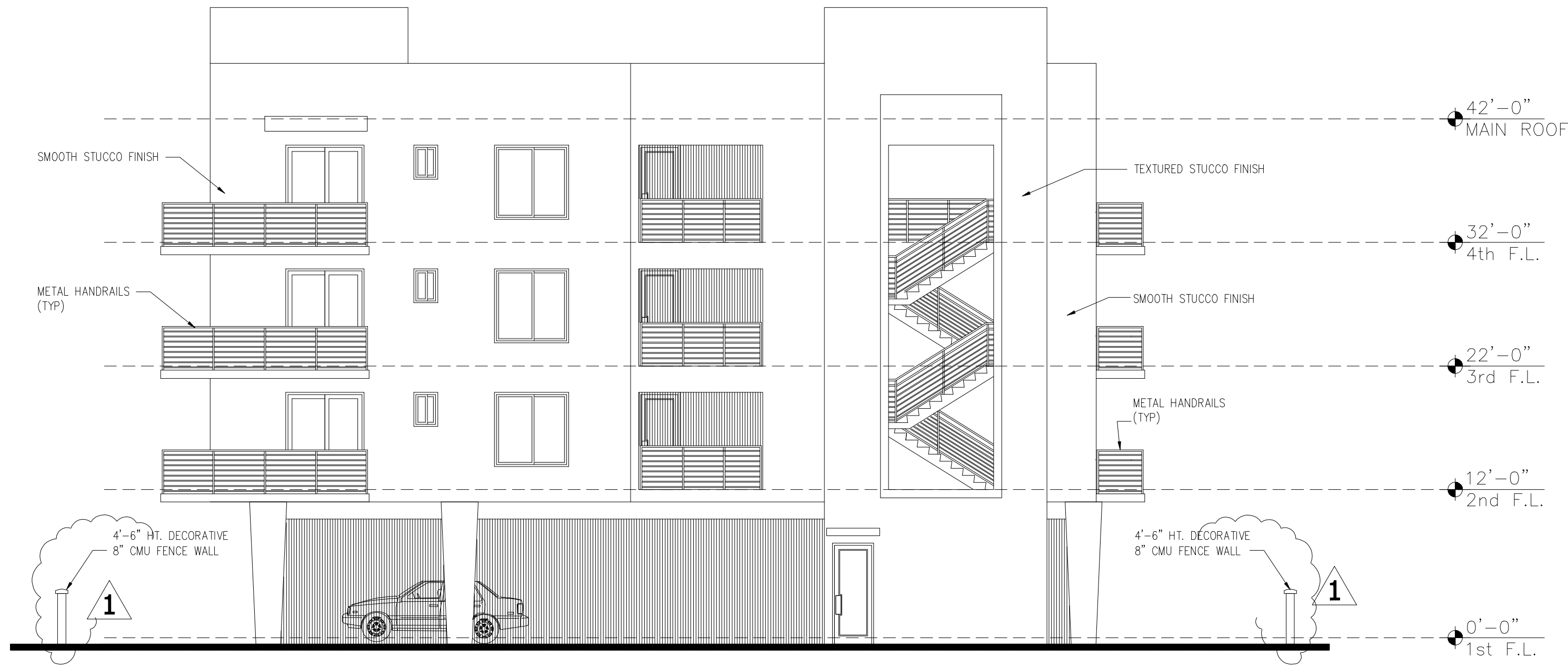
SHEET TITLE
BUILDING ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	5.14.18	PRELIM. T.A.C
2	6.18.18	FINAL T.A.C
3	6.18.18	FINAL T.A.C

PROJECT No.: 17139
DATE: 4.30.18
DRAWN BY: R. HALL
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SHEET

A-5



SOUTH ELEVATION

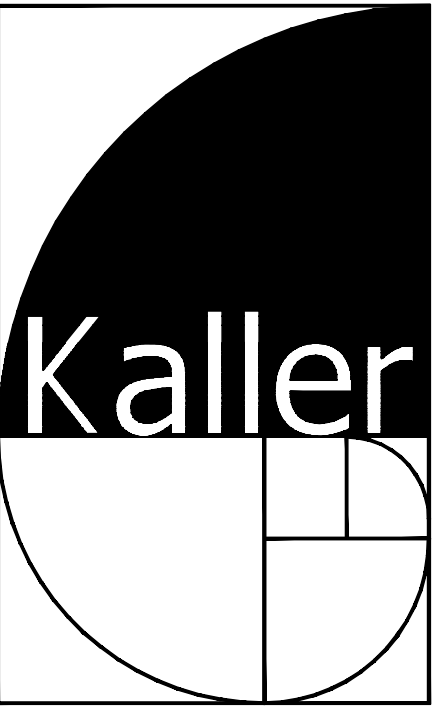
SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

2.20.18 PACO
5.14.18 PRELIM. T.A.C 1
6.18.18 FINAL T.A.C 2



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PROJECT TITLE
VAN BUREN APARTMENTS
2316-2318 VAN BUREN STREET
HOLLYWOOD, FLORIDA 33020

SHEET TITLE
BUILDING ELEVATIONS
MEETING DATE: 6.18.18

REVISIONS		
No.	DATE	DESCRIPTION
1	5.14.18	PRELIM. T.A.C
2	6.18.18	FINAL T.A.C
3	6.18.18	FINAL T.A.C

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PROJECT No.: 17139
DATE: 4.30.18
DRAWN BY: R. HALL
CHECKED BY: JBK

SHEET

A-6



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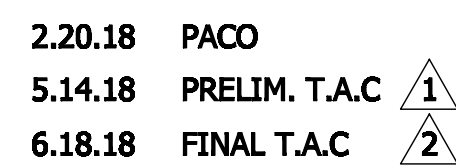
SHEET TITLE

**CONTEXTUAL STREET
ELEVATION**

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SHEET

A-7



2324 VAN BUREN ST.