Beachside
RESIDENCES

3319 N. OCEAN DRIVE HOLLYWOOD FLORIDA

P.A.C.O. - FEBUARY 5, 2018
PRELIM. TAC - APRIL 16, 2018
FINAL TAC - MAY 14, 2018

PROJECT TEAM

ARCHITECT

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LANDSCAPE ARCHITECT

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PROJECT DATA

CODES:

FLORIDA BUILDING CODE, 6TH EDITION 2017
FLORIDA FIRE PREVENTION CODE, 6TH EDITION

JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

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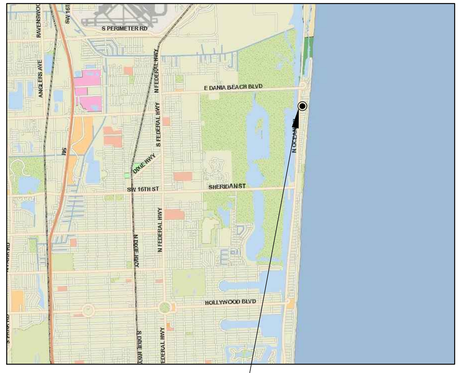
LOCATION MAP



NORTH

AERIAL

NORTH

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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
+ 3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD FL 33019

SHEET TITLE

TITLE PAGE

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17 18	PRELIM TAC
3	5-14-18	FINAL TAC

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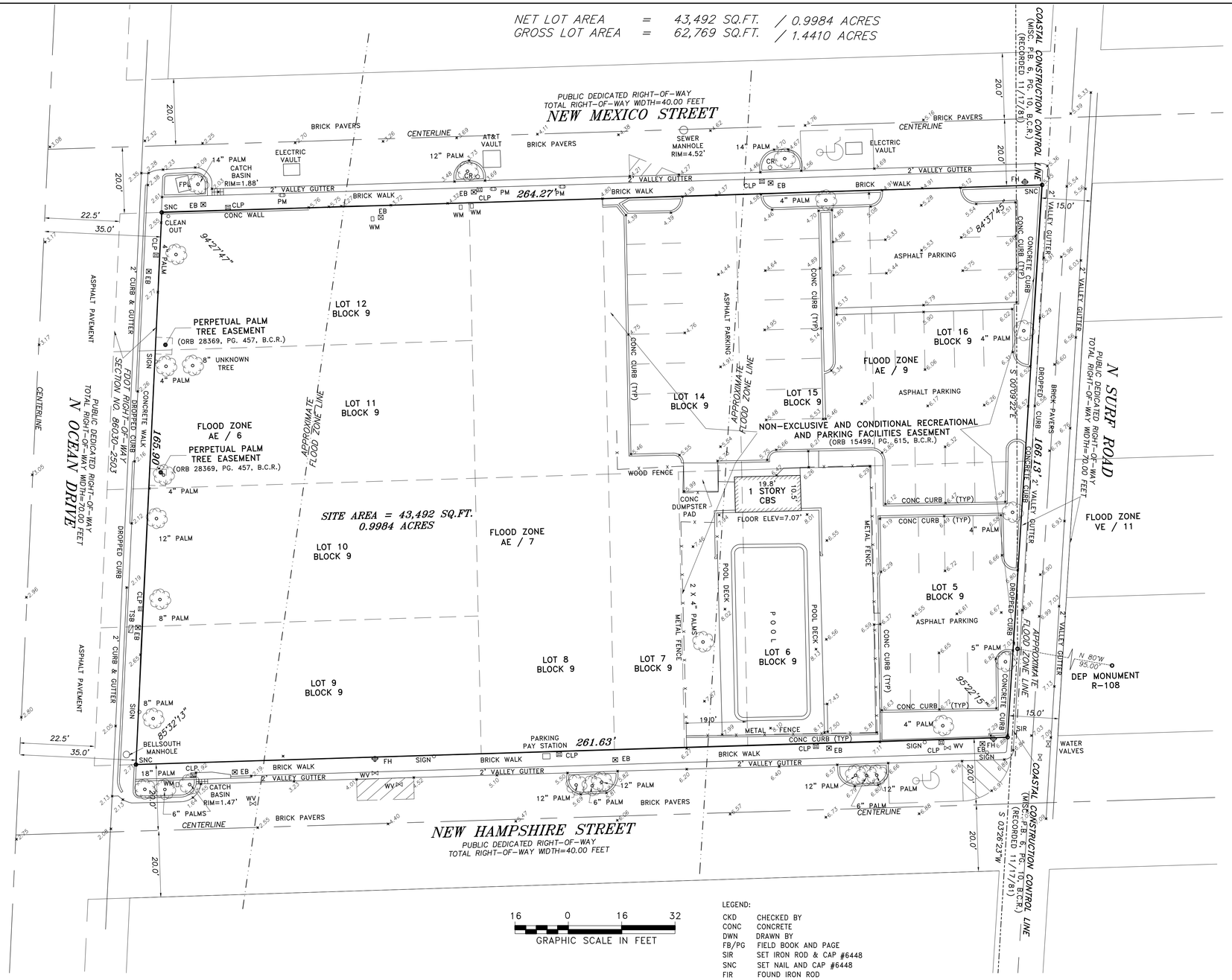
PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

T-1

NET LOT AREA = 43,492 SQ.FT. / 0.9984 ACRES
GROSS LOT AREA = 62,769 SQ.FT. / 1.4410 ACRES



LOCATION MAP (NTS)

NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

2. THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON OWNERSHIP AND EMCUMBRANCE REPORT PREPRED BY NERDINSKY LAW GROUP, P.A. EFFECTIVE DATE OF SEARCH MARCH 26, 2018 SAERCH FROM DATE: APRIL 28, 1924

   ITEM 1. RESTRICTIONS, CONDITIONS, RESERVATIONS, EASEMENTS, AND OTHER MATTERS CONTAINED ON THE PLAT OF HOLLYWOOD BEACH SECOND ADDITION, AS RECORDED IN PLAT BOOK 4, PAGE 6, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

   ITEM 2. NON-EXCLUSIVE AND CONDITIONAL RECREATIONAL AND PARKING FACILITIES EASEMENT AGREEMENT IN FAVOR OF OCEAN GRANDE BEACH CLUB CONDOMINIUM ASSOCIATION, INC., FILED JUNE 7, 1988, AS RECORDED IN O.R. BOOK 15499, PAGE 615, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

   ITEM 3. EASEMENT IN FAVOR OF BROWARD COUNTY, CONTAINED IN INSTRUMENT RECORDED IN O.R. BOOK 32599, PAGE 1510, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (DOES NOT AFFECTS)

   ITEM 4. PERPETUAL PALM TREE EASEMENT RECORDED IN O.R. BOOK 28369, PAGE 457, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AFFECTS/PLOTTED)

3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. BENCHMARK REFERENCE : BROWARD COUNTY BENCHMARK # 3941 ELEVATION= 8.53' (NAVD88)
8. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
9. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
10. THE PROPERTY HAS DIRECT ACCESS TO N OCEAN DRIVE, NEW MEXICO STREET, N SURF ROAD AND NEW HAMPSHIRE STREET A DEDICATED PUBLIC STREET AS SHOWN ON PLAT BOOK 34, PAGE 14, SAME BEING PAVED AND DEDICATED PUBLIC ROADWAYS MAINTAINED BY THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.
11. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
12. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AFFECTING THE PROPERTY, ACCORDING TO BROWARD COUNTY, FLORIDA.
13. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AFFECTING THE PROPERTY.
14. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

16 0 16 32
GRAPHIC SCALE IN FEET

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET IRON ROD & CAP #6448
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
B.C.R.	BROWARD COUNTY RECORDS
CBS	CONCRETE BLOCK STRUCTURE
A/C	AIR CONDITIONER
WM	WATER METER
WV	WATER VALVE
CO	CLEAN OUT
TSB	TRAFFIC SIGNAL BOX
CLP	CONCRETE LIGHT POLE
PM	PARKING METER
FH	FIRE HYDRANT
EB	ELECTRIC BOX
5.40	ELEVATIONS
ALTA	AMERICAN LAND TITLE ASSOCIATION
NSPS	NATIONAL SOCIATY OF PROFESSIONAL SURVEYORS

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	125113
PANEL NUMBER	0586 H
ZONE	AE
BASE FLOOD ELEV	6, 7 & 9
EFFECTIVE DATE	08/18/14

LAND DESCRIPTION:

LOTS 5, 6, 7, 8, 9, 10, 11 AND 12, LESS THE ROAD RIGHT-OF-WAY, TOGETHER WITH LOTS 13, 14, 15 AND 16, BLOCK 9, "HOLLYWOOD BEACH SECOND ADDITION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B) (NONE SUPPLIED), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18 AND 19 (NONE DISCLOSED) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
THE FIELD WORK WAS COMPLETED ON MARCH 20, 2018.

FOR THE FIRM BY: Richard E. Cousins

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

ALTA/NSPS LAND TITLE SURVEY

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
VVG REAL ESTATES INVESTMENTS, LLC

3319 N OCEAN DRIVE, HOLLYWOOD FL 33019
322 NEW MEXICO STREET, HOLLYWOOD FL 33019
3300 N SURF ROAD, HOLLYWOOD FL 33019

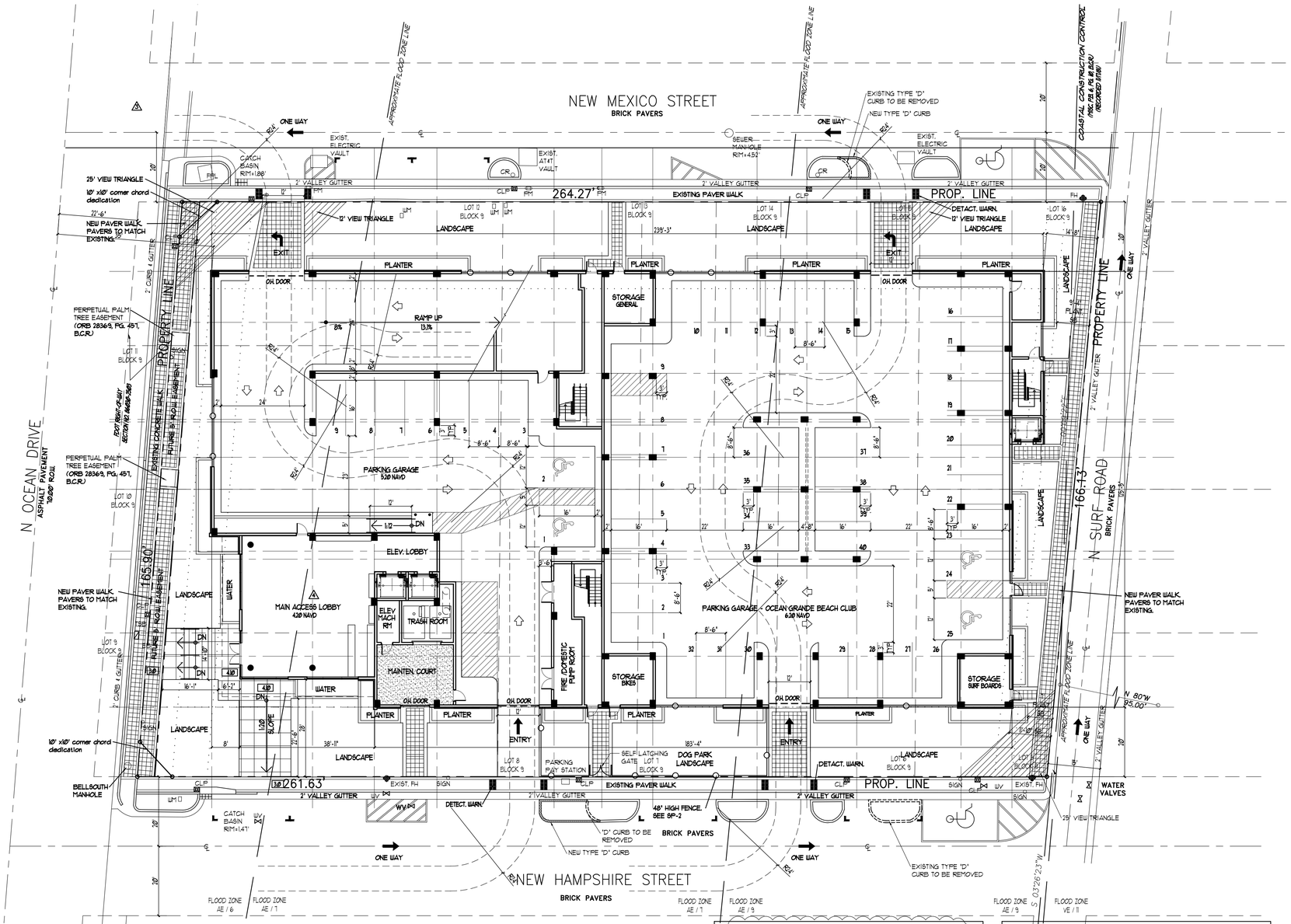
ALTA/NSPS LAND TITLE SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY AND IMPROVEMENTS SURVEY	10/24/17	DATA/COLL	AM	REC
UPDATE TO ALTA/NSPA LAND TITLE SURVEY	03/20/18	----	AM	REC
REVISED PER COMMENTS	04/20/18	----	AM	REC
REVISED PER COMMENTS	06/07/18	----	AC	REC

PROJECT NUMBER : 8522-17

SCALE : 1" = 16'

SHEET 1 OF 1 SHEET



ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
BUILDING TO BE FULLY SPRINKLED WITH A SUPERVISED FIRE SPRINKLER SYSTEM.

NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 10.0' N.A.V.D.

FEMA NOTE:
THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.

SITE LIGHTING NOTE:
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.

FIRE ALARM NOTE:
A FIRE ALARM SYSTEM IS REQUIRED AS PER F.F.P.C. 2014 NFPA 101 SECTION 30.3.4

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPTER 108 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

GREEN CERTIFICATION:
NATIONAL GREEN BUILDING STANDARD CERTIFICATION SILVER REQUIREMENTS

CLASSIFICATION OF STRUCTURE IN FLOOD HAZARD AREA:
PER ASCE 24-05:

STRUCTURE CATEGORY	CATEGORY II	
ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED (TABLE 5-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+10.00' N.A.V.D.
MINIMUN ELEVATION OF UTILITIES AND EQUIPTMENT (TABLE 7-1)	BFE +1 OR DFE WHICHEVER IS HIGHER	+10.00' N.A.V.D.

NOTE:
NOT WITHSTANDING INFORMATION PROVIDED HEREIN, ALL WORK PERFORMED BY THE G.C. AND THE SUB-CONTRACTORS, UNDER THIS SET OF CONSTRUCTION DOCUMENTS AND BUILDING PERMIT, MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FLORIDA BUILDING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION LIFE SAFETY CODE 101, THE FLORIDA FIRE PREVENTION CODES, AND ALL OTHER CODES AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT.

NOTE:
ENCLOSED AREAS THAT ARE IN THE A ZONE SHALL BE LIMITED TO BUILDING ACCESS AREAS, GARAGES AND STORAGE, AND MUST BE CONSTRUCTED OF FLOOD DAMAGE RESISTANT MATERIALS AND NOT BE FINISHED. ENCLOSED AREAS MUST NOT BE USED FOR HABITABLE OR RECREATIONAL PURPOSES.

NOTE:
ENCLOSED AREAS THAT ARE 300 SF OR MORE IN SIZE SHALL BE ENCLOSED BY COMPLIANT BREAKAWAY WALLS.

NOTE:
AS PER FEMA ELEVATION CERTIFICATE SECTION A9. PROVIDE 1 SQ. INCH PER 1 SQ. FT. OF GARAGE AREA IN FLOOD OPENINGS IN THE WALL AND/OR GARAGE DOOR.

NOTE:
Flood Vents are to be installed 12" above adjacent grade.

NOTE:
BDA system is required per NFPA 1, 11.10

NOTE:
ALL MACHINE ROOMS, ELECTRICAL, MECHANICAL AND OTHER EQUIPMENT WILL BE ABOVE THE REQUIRED FEMA BASE FLOOD 10.0' NAVD (+5'-10' A.F.F.)

NOTE:
RESTORATION OF ALL CITY OF HOLLYWOOD CRA STREETSCAPES, WHERE WORK IS DONE, TO BE DONE TO THE CRA STANDARDS.

NOTE:
WALL WET VENT OPENINGS OF 1 S.I. PER 1 S.F. RE TO BE PROVIDED.

LEGEND:

- SIDE WALK PAVERS TO MATCH CITY OF HOLLYWOOD RIGHT OF WAY IMPROVEMENTS
- LINE OF REQUIRE SETBACK
- LINE OF ROOF/ CANOPY OR BALCONY ABOVE
- STONE PAVERS AT MAIN ENTRY
- POWDER COATED ALUMINUM SCREEN/ FENCE
- BROOM FLOAT FININSH CONCRETE SLAB
- CURBING TO BE REMOVED
- NEW TYPE 'D' CURBING

NORTH

1 SITE PLAN
SCALE: 1/16" = 1'-0"

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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
SITE PLAN AND NOTES

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	6-25-18	BUILD. DEPT.

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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
SP-1

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LEGAL DESCRIPTION

LOTS 5, 6, 7, 8, 9, 10, 11 AND 12, LESS THE ROAD RIGHT-OF-WAY, TOGETHER WITH LOTS 13, 14, 15 AND 16, BLOCK 9, "HOLLYWOOD BEACH SECOND ADDITION", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESSES

3319 NORTH OCEAN DRIVE
HOLLYWOOD, FL 33019

SITE INFORMATION

EXISTING ZONING: BEACH RESORT RESIDENCIAL DISTRICT – BRT-25-R

△1 LAND USE DESIGNATION: MED-HIGH RESIDENTIAL

NET LOT AREA: 43,492.0 SQUARE FEET

GROSS LOT AREA: 62,769.0 SQUARE FEET (1.44 AC)

DENSITY:

ALLOWED	PROVIDED
25 UNIT PER GROSS AC 1.44 X 25 = 36 UNITS	36 UNITS

PARKING:

		REQUIRED	PROVIDED
UNITS	1 PER UNIT MIN.	= 36 SPACES	
	1.5 PER UNIT MAX.	= 54 SPACES	54 SPACES (INCL. 3 HC SPACES)
OCEAN GRANDE BEACH CLUB		40 SPACES (BASED ON AGREEMENT)	40 SPACES (INCL. 2 HC SPACES)
△1 TOTAL			94 SPACES (INCL. 2 HC SPACES)

LOADING:

		REQUIRED	PROVIDED
UNITS	1 PER 50 –100 UNITS	=0 SPACES	0 SPACES

SETBACKS:

		REQUIRED		PROVIDED	
		BASE	TOWER	BASE	TOWER
(a)	A1A (WEST)	10'–0"	20'–0"	10'–0"	32'–10"
(b)	CROSS STREET (NORTH)	20'–0"	25'–0"	20'–0"	31'–0"
(c)	CROSS STREET (SOUTH)	20'–0"	25'–0"	20'–0"	31'–0"
(d)	SURF ROAD (EAST)	10'–0"	15'–0"	10'–0"	28'–0"

BUILDING SUMMARY

BUILDING HEIGHT:

ALLOWED	PROVIDED
50'–0"	75'–0"

UNIT TYPES:

TOWNHOUSE –4 BED/ 4 1/2 BATH (3)
TOWNHOUSE –3 BED/ 2 1/2 BATH (7)
FLAT –3 BED/ 3 1/2 BATH (5)
FLAT –2 BED/ 2 1/2 BATH (15)
FLAT –1 BED/ 2 BATH (4)
FLAT –1 BED/ 1 1/2 BATH (2)

BUILDING AREAS: (AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS)

	enclosed space	balconies/ decks	total
FIRST FLOOR	3533	–	
SECOND FLOOR	1450	3961	
THIRD FLOOR	12245	12038	
FOURTH FLOOR	12456	1436	
FIFTH FLOOR	11199	5017	
SIXTH FLOOR	11188	4532	
SEVENTH FLOOR	11122	4744	
TOTAL	63,193 S.F.	31,728 S.F.	94,921 S.F.

VARIANCES:

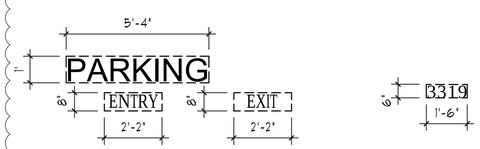
	REQUIRED	PROVIDED
BUILDING HEIGHT	50'–0"	75'–0"
ACTIVE USE LINER		
A1A	60% (138'–6")	18% (42'–0")
NEW HAMPSHIRE	60% (143'–6")	17% (39'–6")
NEW MEXICO	60% (124'–6")	0% (0'–0")

	SPACE	AREA AC	AREA NON AC	GROSS AREA AC	GROSS AREA NON AC	AREA NOT INCL.
1ST FL	RESIDENTIAL LOBBY	1854		1854		
	ULTILITY ROOMS		328			
	TRASH ROOM		227			
	STAIRWELLS		890		1679	
	ELEVATORS		234			
	GARAGE		24676			24676
2ND FL	LOBBY	208		208		
	STAIRWELLS		312			
	ELEVATORS		234			
	UTILITY ROOMS		674		5203	
	BALCONIES		3961			
	TRASH CHUTE		22			
	GARAGE		21387			21387
3RD FL	UNITS	11617		11617		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	RESTROOM		107			
	BALCONIES		7386		12668	
	WALKWAYS/DECKS		6681			
4TH FL	UNITS	11935		11935		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	BALCONIES		1436		1957	
5TH FL	UNITS	9573		10678		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	GYM	1105				
	BALCONIES		2347		5386	
	WALKWAYS/DECKS		2518			
6TH FL	UNITS	10667		10667		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	BALCONIES		1744		4756	
	WALKWAYS/DECKS		2491			
7TH FL	UNITS	10601		10601		
	STAIRWELLS		312			
	ELEVATORS		154			
	TRASH CHUTE		55			
	BALCONIES		1968		4933	
	WALKWAYS/DECKS		2444			
				57560	36582	46063
TOTAL GROSS AREA				94142 SF		

LOCATION	UNIT #	UNIT TYPE BED/ BATH	AREA AC	AREA TERRACE/ BALCONY	NET AREA AC	NET AREA BALCONY
3RD & 4TH FLOORS	TH–1	3/ 2½	2543	682	23552	7386
	TH–2	3/ 2½	2061	399		
	TH–3	3/ 2½	2203	399		
	TH–4	3/ 2½	2202	399		
	TH–5	4/ 4½	2759	1487		
	TH–6	4/ 4½	2759	1097		
	TH–7	3/ 2½	1996	399		
	TH–8	3/ 2½	2068	399		
	TH–9	3/ 2½	2202	399		
	TH–10	4/ 4½	2759	1726		
5TH FLOOR	501	1/ 2	1033	203	9573	2499
	502	2/ 2½	1102	178		
	503	2/ 2½	1067	220		
	504	2/ 2½	1154	464		
	505	2/ 2½	1154	463		
	506	1/2	965	228		
	507	1/ 1½	883	178		
	508	2/ 2½	983	177		
	509	2/ 2½	1232	388		
6TH FLOOR	601	2/ 2½	1094	325	10667	2041
	602	1/ 2	1033	174		
	603	2/ 2½	1102	153		
	604	2/ 2½	1067	156		
	605	2/ 2½	1154	207		
	606	2/ 2½	1154	209		
	607	1/ 2	965	158		
	608	1/ 1½	883	152		
	609	2/ 2½	983	152		
	610	2/ 2½	1232	355		
7TH FLOOR	701	3/ 3½	1527	423	10601	1968
	702	2/ 2½	1110	152		
	703	2/ 2½	1092	156		
	704	3/ 3½	1684	363		
	705	3/ 3½	1676	357		
	706	3/ 3½	1785	308		
	707	3/ 3½	1727	541		
TOTAL NET AREA					54393	13303

1 SITE AND BUILDING DATA
SCALE: NTS

△1



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FONT STYLE - CENTURY GOTHIC

NAME SIZE = 1.5 S.F.
FONT STYLE - CENTURY GOTHIC

NAME SIZE =1 S.F.
FONT STYLE - CENTURY GOTHIC

SIGNAGE DETAILS

ALL SIGNAGE TO BE NEON BACK LIT PIN MOUNTED CHANNEL LETTERS

ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT CODE BASED ON THE BRT-25-C ZONING DISTRICT.

NOTE:
A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.
A SEPARATE ELECTRICAL PERMIT IS REQUIRED FOR SIGNS REQUIRING ILLUMINATION.

TURTLE LIGHTING ORDINANCE
PROJECT SHALL ADHERE TO THE NEW DEVELOPMENT LIGHTING STANDARDS OF CHAPER 108 'LIGHTING REQUIREMENTS FOR MARINE TURTLE PROTECTION' OF THE CITY OF HOLLYWOOD CODE OF ORDINANCE.

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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
SITE AND BUILDING DATA

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
SP-0

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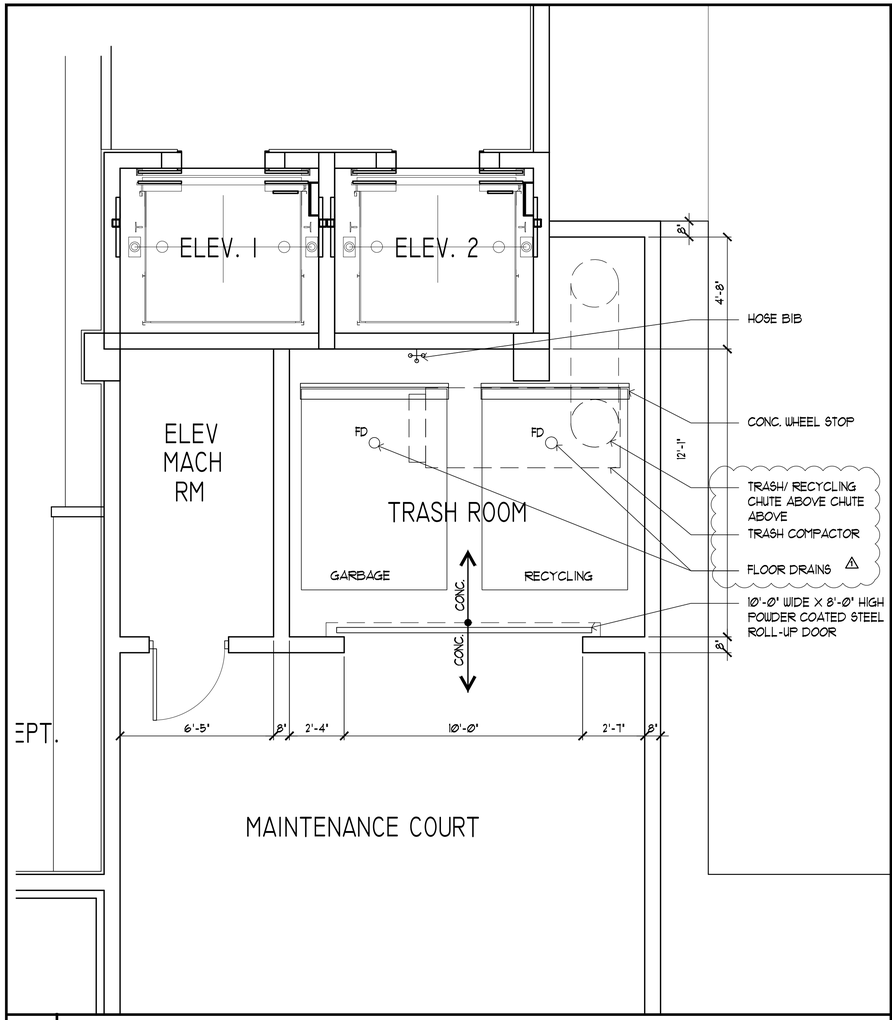
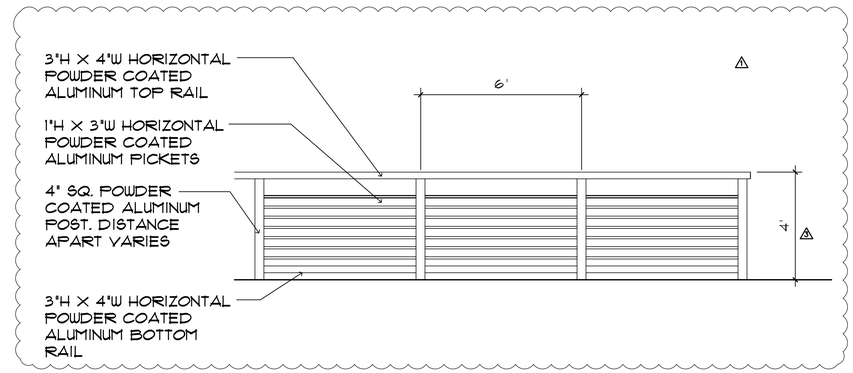
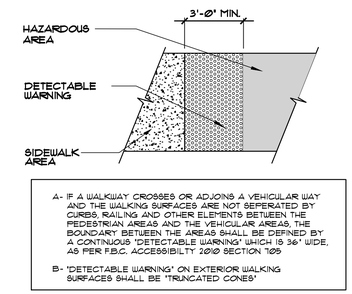


1 REFUSE ENCLOSURE DETAIL

FLOOR PLAN



2 DOG AREA FENCE (NTS)



6 DETECTABLE WARNING

ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

SLOPE AND RISE –
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMM RISE FOR ANY RUN SHALL BE 30 IN.

CLEAR WIDTH –
1. MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR.
2. RAMPS THAT ARE PART OF A REQUIRED MEANS OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR

LANDINGS –
RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
1. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
2. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES
3. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY FBC ACCESSIBILITY 2010

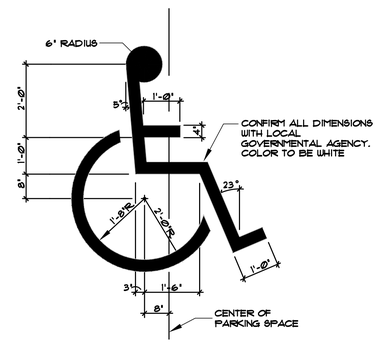
HANDRAILS –
IF A RAMP RUN HAS A RISE GREATER THAN 6 IN OR A HORIZONTAL PROJECTION GREATER THAN 72 IN THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS OR ADJACENT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 4.26 OF THE ADA CODE AND SHALL HAVE THE FOLLOWING FEATURES:
1. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG RAMPS SHALL ALWAYS BE CONTINUOUS.
2. HANDRAILS ON RAMPS WHICH ARE NOT CONTINUOUS SHALL EXTEND NOT LESS THAN 18" BEYOND THE SLOPED SEGMENT AT BOTH THE TOP AND BOTTOM, AND SHALL BE PARALLEL TO THE FLOOR OR GROUND SURFACE.
3. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2 INCH
4. GRIPPING SURFACES SHALL BE CONTINUOUS.
5. TOP OF HANDRAIL GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 IN AND 38 IN ABOVE RAMP SURFACES.
6. ENDS OF HANDRAILS SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST
7. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

CROSS SLOPES SURFACES –
THE CROSS SLOPE OR RAMP SURFACES SHALL BE NO GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY W/ CHAPTER 4 OF FBC 2010 ACCESSIBILITY CODE.

EDGE PROTECTION –
RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 2 IN HIGH

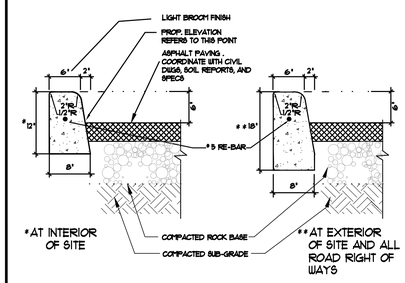
OUTDOOR CONDITIONS –
OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

3 SITE ACCESSIBILITY NOTES

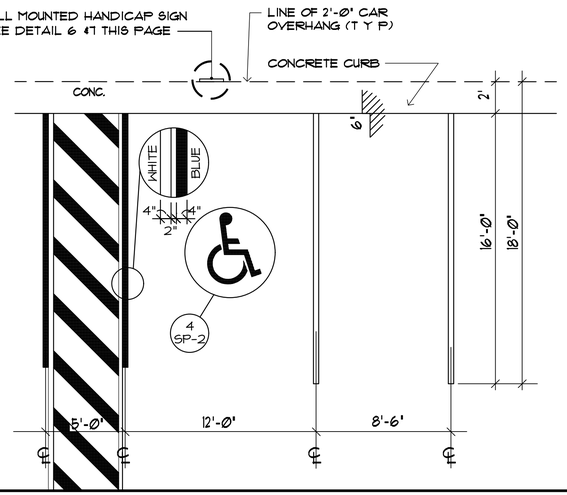


(NTS)

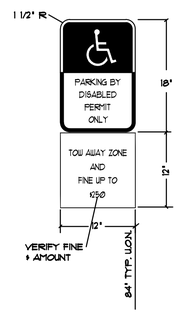
4 PAINTED H.C. SPACE SYMBOL



7 TYP. TYPE D CONCRETE CURB



8 TYP. PARKING SPACE DETAILS (NTS) (NTS)



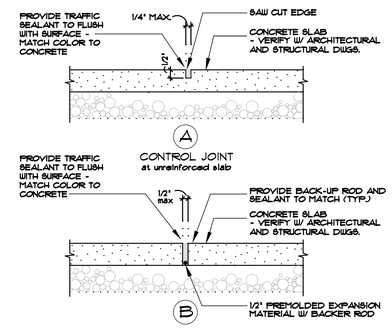
NOTES:

1. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
2. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6' FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 3'-0" CLEAR IF MOUNTED ON POST. WHERE SIGN IS MOUNTED ON BLDG, SIGN SHALL BE MOUNTED ON BUILDING WALL AT LOCATIONS DEPICTED ON SITE PLAN.

EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY" OR BEARING BOTH SYMBOL AND CAPTION. SUCH SYMBOL SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE GOVERNING AGENCY.

(NTS)

9 HANDICAPPED SIGNAGE DETAIL



(NTS)

10 TYP. CONC. SLAB JOINTS

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HOLLYWOOD FL 33019

SHEET TITLE
SITE DETAILS

REVISIONS

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PROJECT No.: 17198
DATE: 3-10-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
SP-2

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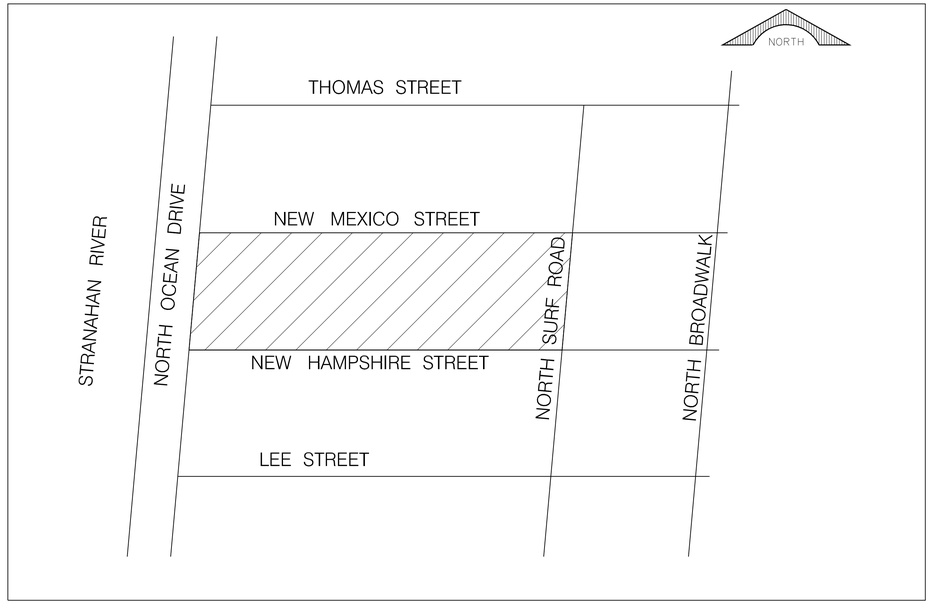
BEACHSIDE RESIDENCES

3319 N. OCEAN DRIVE
HOLLYWOOD, FLORIDA 33019

CIVIL ENGINEERING PLANS



LOCATION MAP
N.T.S.

SHEET NO.	TITLE
1	COVER SHEET
2	PAVING, GRADING & DRAINAGE PLAN
3	WATER & SEWER PLAN
4 – 5B	CONSTRUCTION DETAILS
6 – 8	STORMWATER POLLUTION PREVENTION PLAN

APPROVALS		
AGENCY	APPROVAL DATE	PERMIT NUMBER

DRAWINGS MAY BE OUT OF SCALE DUE TO XEROX REPRODUCTION ERROR.

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
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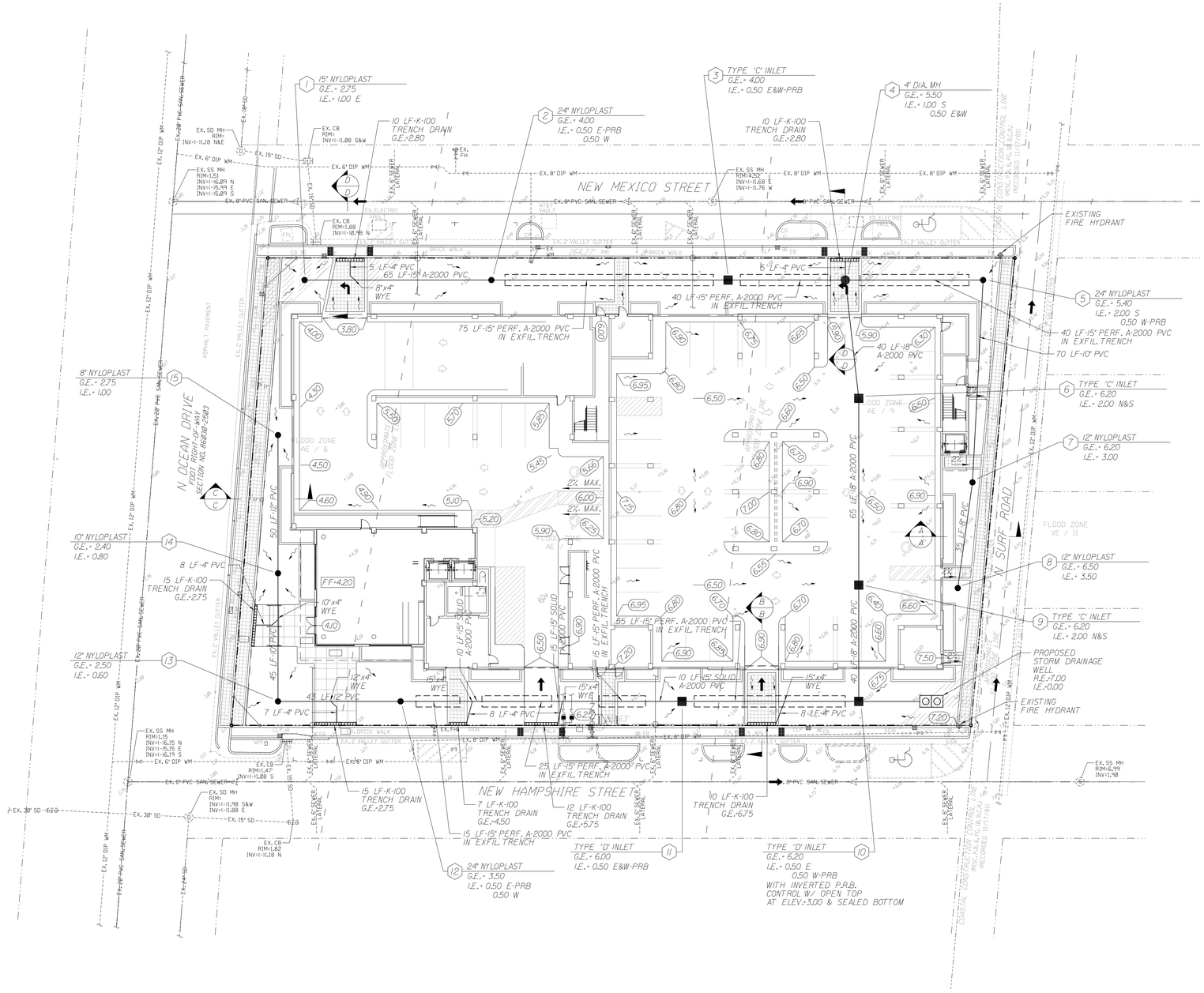
Fort Lauderdale, Florida 33312
Phone: (954) 986–9899
Fax: (954) 986–6655

PROJECT No. 18-0410
DESIGN DATE: May 2018

GARY G. BLOOM, P.E.
FLA. LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



20 10 0 20 40

GRAPHIC SCALE
1" = 20'

PAVING & DRAINAGE LEGEND

R.E.	RIM ELEVATION
G.E.	GRATE ELEVATION
I.E.	INVERT ELEVATION
— — — — —	RIDGE LINE
~~►	DIRECTION OF OVERLAND FLOW
150' @ 0.5%	PAVEMENT SLOPE
P.R.B.	POLLUTION RETARDANT BASIN
F.F.= 10.00	FINISHED FLOOR ELEVATION
.....	EXISTING OR FUTURE UTILITIES
CATCH BASIN G.E.= I.E.=	STRUCTURE DESIGNATION
100 L.F. / 15"	LENGTH, SIZE OF STORM DRAIN
7.50	EXISTING GRADE
(8.50)	PROPOSED GRADE
▨	D.I.P. PIPE

REVISIONS:
1. 2. 3. 4. 5. 6. 7. 8.

CLIENT:
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PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD **FLORIDA**

TASK:
PAVING, GRADING AND DRAINAGE PLAN

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• CONSTRUCTION MANAGERS
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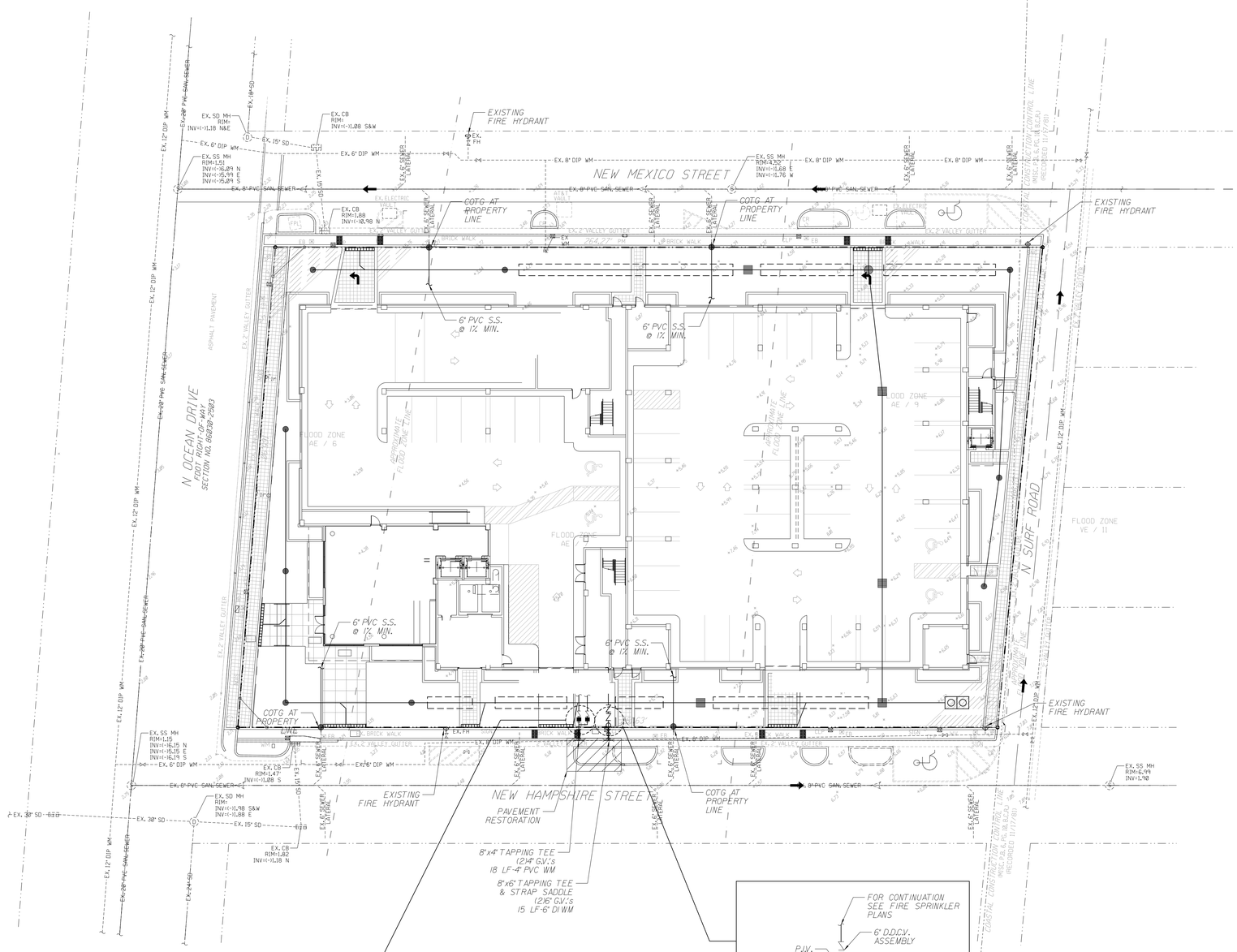
Phone: (954) 986-9899
Fax: (954) 986-6655
email: gary@ggbeng.com

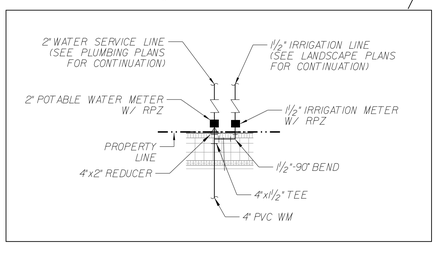
DATE:	SCALE:
April 2018	1"=20'
DESIGNED BY: G.G.B.	DRAWN BY: F.M.

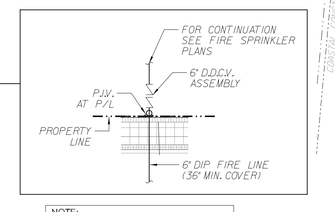
PROJECT NO. 18-0410

SHEET 2

GARY G. BLOOM, P.E.
FLA. LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER







NOTE:
UNDERGROUND FIRE MAIN WORK SHALL BE CONSTRUCTED BY A CONTRACTOR HOLDING A CLASS I, II OR V LICENSE PER FS 633.102.

SEWER LEGEND

R.E.	RIM ELEVATION
I.E.	INVERT ELEVATION
MANHOLE R.E.= I.E.=	MANHOLE DESIGNATION
25 L.F./8" S.S. @ 0.42%	LENGTH & SLOPE OF PIPE
	DOUBLE SEWER LATERAL
	SINGLE SEWER LATERAL
	EXISTING OR FUTURE UTILITIES
C.O.T.G.	CLEAN OUT TO GRADE
	D.I.P. PIPE

WATER LEGEND

	DOUBLE WATER METER SERVICE
	SINGLE WATER METER SERVICE
85 L.F./ 8" W.M.	LENGTH, SIZE & TYPE OF WATER MAIN
	FIRE HYDRANT, GATE VALVE & TEE ASSEMBLY
	PROPOSED GATE VALVE
S.P. #2	BACTERIOLOGICAL SAMPLING POINT
	EXISTING OR FUTURE UTILITIES
	D.I.P. PIPE

20 10 0 20 40
GRAPHIC SCALE
1" = 20'

REVISIONS:
1.
2.
3.
4.
5.
6.
7.
8.

CLIENT:
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PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK:
WATER AND SEWER PLAN

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
• FLORIDA REGISTRATION No. 818
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Fort Lauderdale, Florida 33312
Phone: (954) 986-8939
Fax: (954) 986-8635
email: gary@ggbeng.com

DATE:	SCALE:
April 2018	1"=20'
DESIGNED BY: G.G.B.	DRAWN BY: F.M.

PROJECT NO.
18-0410

SHEET
3

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

GENERAL NOTES

1. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ANY EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
2. UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PIERCE THE EARTH'S SURFACE" WITH THE WORK STARTED WITHIN FIVE WORKING DAYS AFTER ALL UNDERGROUND UTILITIES HAVE BEEN IDENTIFIED. THE NOTIFICATION NUMBER IS A ONE CALL SYSTEM STATEWIDE AT (800) 432-4770 . FAILURE TO COMPLY COULD RESULT IN FINES AND DAMAGES.

UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES

RED	ELECTRIC
YELLOW	GAS-OIL
ORANGE	COMMUNICATION, CATV
BLUE	WATER
GREEN	SEWER
PINK	SURVEY MARKINGS
WHITE	PROPOSED EXCAVATION

3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:

   FLORIDA POWER AND LIGHT COMPANY
   BELL SOUTH
   COMCAST CATV
   CITY OF HOLLYWOOD

4. ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
5. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
7. THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FP&L, BELL SOUTH, IRRIGATION SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
8. ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES, IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
10. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.
11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
12. COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

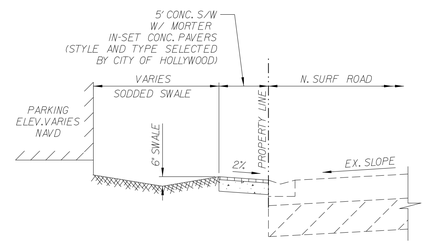
PAVEMENT MARKING AND SIGNING NOTES

1. THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 711-MINIMUM THICKNESS 90 MILS (ALKYD ONLY).
2. ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVISED FOR STREETS AND HIGHWAYS, AND FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
3. THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.
4. THESE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
5. ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.
6. REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.
7. THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.

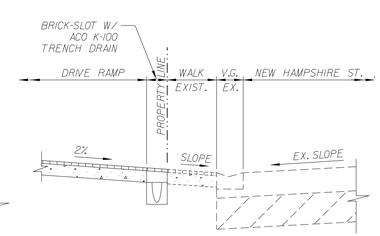
PAVING, GRADING AND DRAINAGE NOTES

1. ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD AND PARKING LOT AREA SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, AND REPLACED WITH THE SPECIFIED FILL MATERIAL IN MAXIMUM 1' LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT AND METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
3. ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH AND ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
4. FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3, or A-2-4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL, NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND LIMEROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
6. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
7. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
8. ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
9. SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1 FOOT OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DRAIN.
10. ALL SUBGRADE SHALL HAVE AN LBR OF 40, UNLESS OTHERWISE NOTED, AND SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
11. ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 AND HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM AND MAGNESIUM, UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
12. ASPHALT SHALL BE OF THE TYPE DESIGNATED ON THE DRAWINGS.
13. PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
14. CONCRETE SIDEWALK SHALL BE 4 INCHES THICK ON COMPACTED SUBGRADE, WITH 1/2 INCH EXPANSION JOINTS PLACED AT A MAXIMUM OF 75 FEET. CRACK CONTROL JOINTS SHALL BE 5 FEET ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6 INCHES THICK WITH 6" X 6" (10G.) WELDED WIRE MESH REINFORCEMENT.
15. PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:

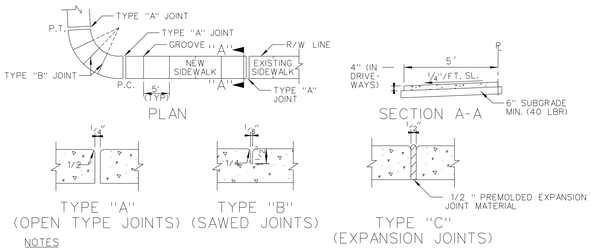
    RCP - REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76, CLASS III, WALL THICKNESS "B", LATEST EDITION.
    CMP - CORRUGATED METAL (ALUMINUM) PIPE, ASTM DESIGNATION M-196
    CMP (SMOOTH LINED) - CORRUGATED METAL ALUMINUM PIPE (SMOOTH LINES), ASTM DESIGNATION M-196
    SCP - SLOTTED CONCRETE PIPE, FDOT SECTIONS 941 AND 942.
    PVC - POLYVINYLCHLORIDE PIPE
    PCMP - PERFORATED CMP, FDOT SECTION 945
    DIP - DUCTILE IRON PIPE
    HDPEP - SMOOTH LINED HIGH DENSITY POLYETHYLENE, AASHTO M 294 TYPE S
16. ASPHALTIC CONCRETE TYPE S-III SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 331-1 THROUGH 331-6 OF F.D.O.T. STANDARD SPECIFICATIONS. ASPHALTIC CONCRETE TYPE S-1 SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF F.D.O.T. STANDARD SPECIFICATIONS.
17. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
18. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
19. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM SPECIFICATION A-615 AND A-305, LATEST REVISION.
20. ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
21. ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
22. ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 CEMENT MORTAR.
23. JOINTS IN CORRUGATED ALUMINUM PIPE SHALL EMPLOY CORRUGATED METAL BANDS OF SIMILAR METAL AND CORRUGATIONS WITH NEOPRENE, RAM-NEK, OR BITUMASTIC GASKETS INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
24. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 OF THE FLORIDA DOT STANDARD SPECIFICATIONS, LATEST REVISION.
26. ALL HANDICAP SPACES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS", CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
27. JOINTS IN HDPE PIPE SHALL BE ADS PRO LINK ST, HANCOR SURE-LOK OR APPROVED EQUAL.



SECTION "A-A"
N.T.S.



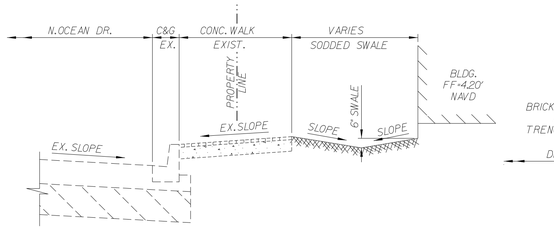
SECTION "B-B"
N.T.S.



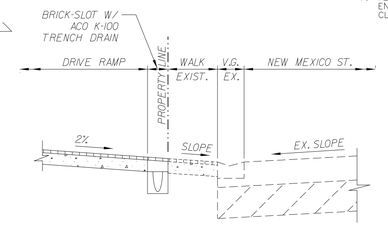
NOTES

1. ALL CONCRETE SHALL BE 3000 PSI, 4" THICK 6" THICK (MIN.) AT DRIVEWAYS ONLY.
2. TYPE "A" JOINT TO BE USED AT P.C. AND PT OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK
3. TYPE "B" JOINT TO BE USED AT 5'-0" CENTER TO CENTER ON SIDEWALKS.
4. TYPE "C" JOINT TO BE USED WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
5. SIDEWALK SLOPES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.).
6. SIDEWALK SHALL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ULTIMATE SECTION.
7. ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.

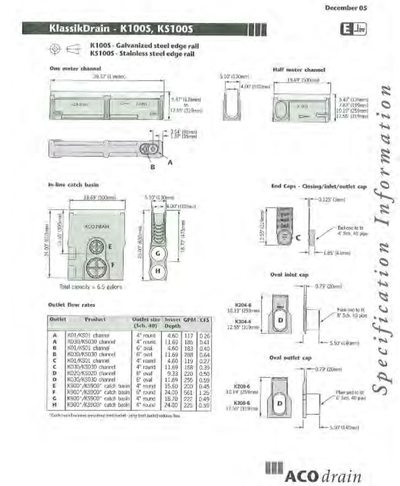
CONCRETE SIDEWALK DETAIL

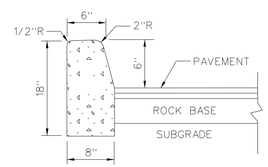


SECTION "C-C"
N.T.S.



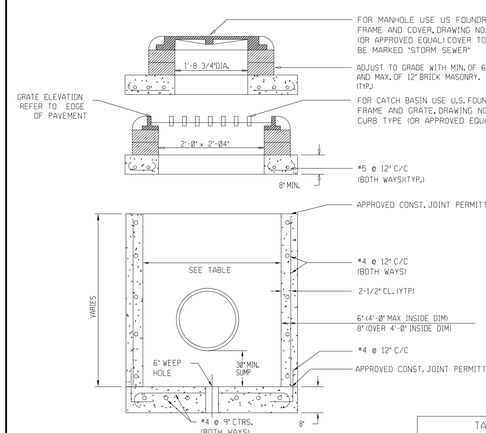
SECTION "D-D"
N.T.S.





TYPE "D" CURB

NOTE: PLACES WHERE TYPE 'D' CURB ARE UTILIZED IN LIEU OF WHEELSTOPS THE STANDARD VERTICAL HEIGHT OF 6" SHALL BE MODIFIED TO 5"



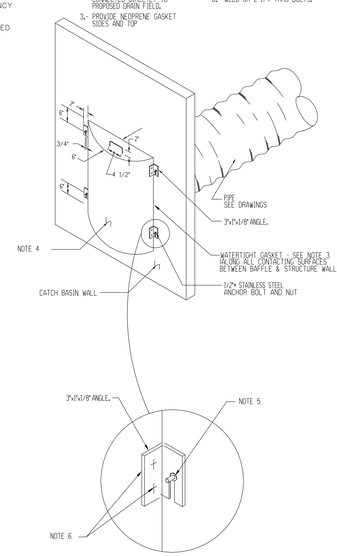
DRAINAGE STRUCTURES
N.T.S.

TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES		
STRUCTURE TYPE	INLET	MANHOLE
B	3'-0" X 3'-0"	3'-0" X 3'-0"
C	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
M	5'-0" X 5'-0"	5'-0" X 5'-0"

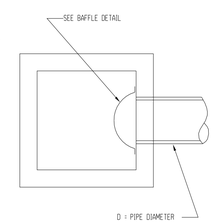
DRAINAGE STRUCTURES SECTION DETAILS

NOTE:

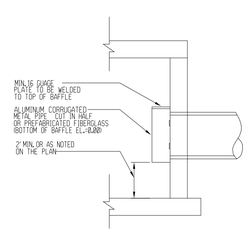
1.- CONTRACTOR TO VERIFY THAT BAFFLE WILL FIT STRUCTURE OR
2.- DEBRIS BAFFLE REQUIRED AT CATCH BASINS CONNECTED DIRECTLY TO PROPOSED DRAIN FIELD.
3.- PROVIDE NEOPRENE GASKET SIDES AND TOP
4.- SECTION OF A.C.M.P. CUT IN HALF OR EQUIVALENT PREFABRICATED FIBERGLASS. BAFFLE DIAMETER TO BE AS PER TABLE 1
5.- 1/2" GALVANIZED LAG BOLT IN LEAD SHIELD
6.- WELD OR 2-1/4" THRU BOLTS.



BRACKET DETAIL



PLAN

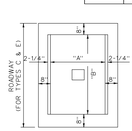


ELEVATION

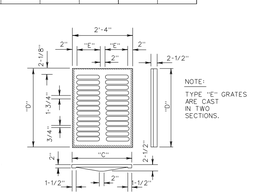
TABLE 1	
D	BAFFLE DIA.
10"	15"
15"	24"
18"	30"
24"	36"
30"	48"
36"	54"

POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL

TYPE INLET	DIMENSIONS					MAX. DIA. PIPE	
	"A"	"B"	"C"	"D"	"E"	"A"	"B"
"C"	2'-0"	3'-1"	2'-4"	3'-0"	11"	18"	30"
"D"	3'-0"	4'-6"	3'-4"	4'-4"	1'-5"	30"	48"

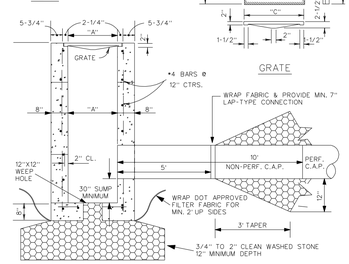


PLAN



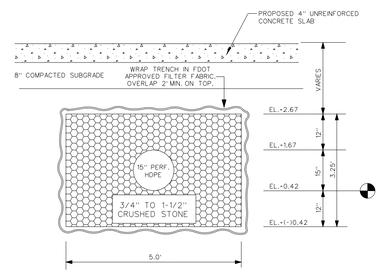
NOTE:
TYPE "E" GRATES ARE CAST IN TWO SECTIONS.

GRATE



LONGITUDINAL SECTION

EXFILTRATION TRENCH



TRENCH CROSS SECTION

INLET NOTES

BEVELED EDGES: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".

FOUNDATION MATERIAL: WHERE MATERIAL UNSATISFACTORY FOR FOUNDATION IS ENCOUNTERED, ALL SUCH MATERIAL MUST BE REMOVED DOWN TO SATISFACTORY MATERIAL AND BACKFILLED TO SUBGRADE WITH CLEAN SAND.

GRATES: CAST IRON IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS.

INLET TYPES: INLETS ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN HEREON. TYPE "E MOD." IS A TYPE "E" TURNED 90° TO RECEIVE R.C.P. UP TO 48" DIAMETER. INLETS RECEIVING PIPE LARGER THAN 48" DIAMETER SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARDS. SEE F.D.O.T. STANDARD INDEXES 200, 201, & 232.

MATERIAL: INLET WALLS AND BASES MAY BE EITHER CAST-IN-PLACE CLASS I, 2500 P.S.I. CONCRETE OR PRECAST CLASS II, 4000 P.S.I. CONCRETE.

POLLUTION CONTROL DEVICES: "SPECIAL" INLETS SHALL HAVE POLLUTION CONTROL DEVICE INSTALLED, CONSISTING OF HALF-ROUND GALVANIZED STEEL PLATE, OPEN AT THE BOTTOM, WELDED CLOSED AT TOP (OPTIONAL).

LOCKDOWN: PROVIDE EYEBOLT PER F.D.O.T. STANDARD INDEX 201.

BACKFILL NOTES

COMPACT TRENCH BACKFILL AND SOIL WITHIN MIN. 5' OF TRENCH TO MIN. 95% OF MAX. DRY DENSITY PER ASTM D-1557.

REVISIONS: 1. 2. 3. 4. 5. 6. 7. 8.

CLIENT: Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746
kaller@bellsouth.net

PROJECT: BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK: CONSTRUCTION DETAILS

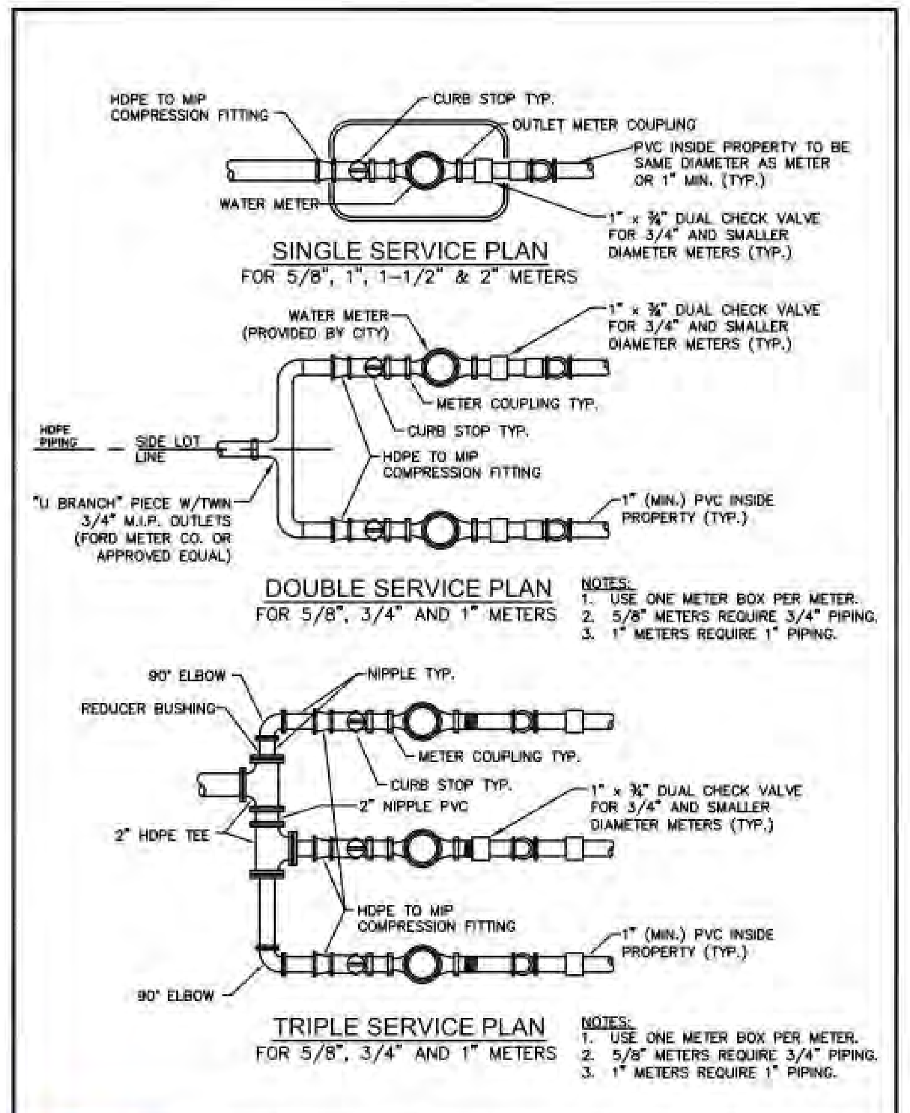
GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
Phone: (954) 986-8839
Fax: (954) 986-6655
email: gary@ggbeng.com
2899 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312

DATE: April 2018	SCALE: N.T.S.
DESIGNED BY: G.G.B.	DRAWN BY: F.M.

PROJECT NO. 18-0410

SHEET 4

GARY G. BLOOM, P.E.
FLA. LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



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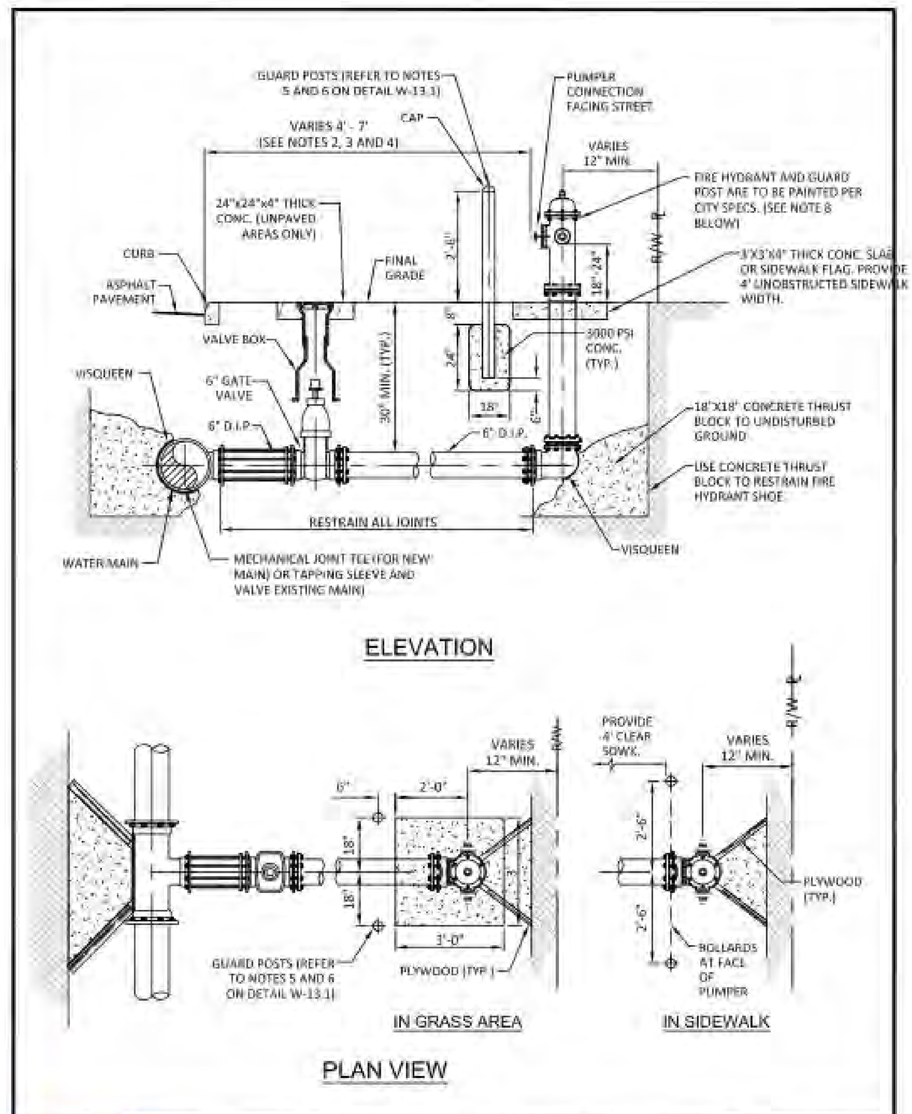
DRAWN: EAM | APPROVED: XXX

TYPICAL 5/8", 1", 1-1/2" AND 2" METER INSTALLATION

DRAWING NO. W-06



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TYPICAL FIRE HYDRANT INSTALLATION

DRAWING NO. W-13

NOTES:

1. IN ALL CASES, PROVIDE 4' UNOBSTRUCTED SIDEWALK CLEAR OF THE FIRE HYDRANT AND BOLLARDS.
2. FIRE HYDRANTS SHALL BE LOCATED BETWEEN 4' AND 7' FROM THE FACE OF CURB.
3. FIRE HYDRANTS SHALL NOT BE LOCATED WITHIN A RADIUS OR WITHIN FDOT CLEAR DRIVING ZONE.
4. WITHIN FDOT R/W, WHERE SPACE IS RESTRICTED THE FIRE HYDRANT MAY BE LOCATED 2' FROM THE FACE OF THE CURB AS LONG AS THERE IS A MINIMUM 4' UNOBSTRUCTED SIDEWALK BEHIND THE HYDRANT, AND THE HYDRANT BASE IS 4" OR LESS FROM GRADE IN ACCORDANCE WITH F.D.O.T. INDEX 700.
5. GUARD POSTS SHALL NOT BE ALLOWED WITHIN FDOT R/W.
6. OTHER THAN FDOT R/W, GUARD POSTS SHALL BE INSTALLED AS REQUIRED FOR SAFETY OR AS APPROVED BY THE DEPT. OF PUBLIC UTILITIES. IN SIDEWALK, LOCATE GUARD POSTS AT THE FACE OF THE PUMPER AND 2'-6' LEFT/RIGHT OF ℄ OF THE FIRE HYDRANT.EXTRA POSTS MAY BE REQUIRED IN INDUSTRIAL AND CONGESTED TRAFFIC AREAS. (4 POSTS MAX.)
7. FIRE HYDRANT CONCRETE SLAB AND CONCRETE GUARD POST FOOTINGS SHALL BE DIFFERENT POURS.
8. THE FIRE HYDRANT BONNET, OPERATING NUT, HOLD-DOWN NUT, PUMPER CAP AND HOSE CAPS SHALL BE PAINTED GREEN, AND THE HYDRANT UPPER BARREL SHALL BE PAINTED SILVER IN ACCORDANCE WITH CITY SPECIFICATIONS.

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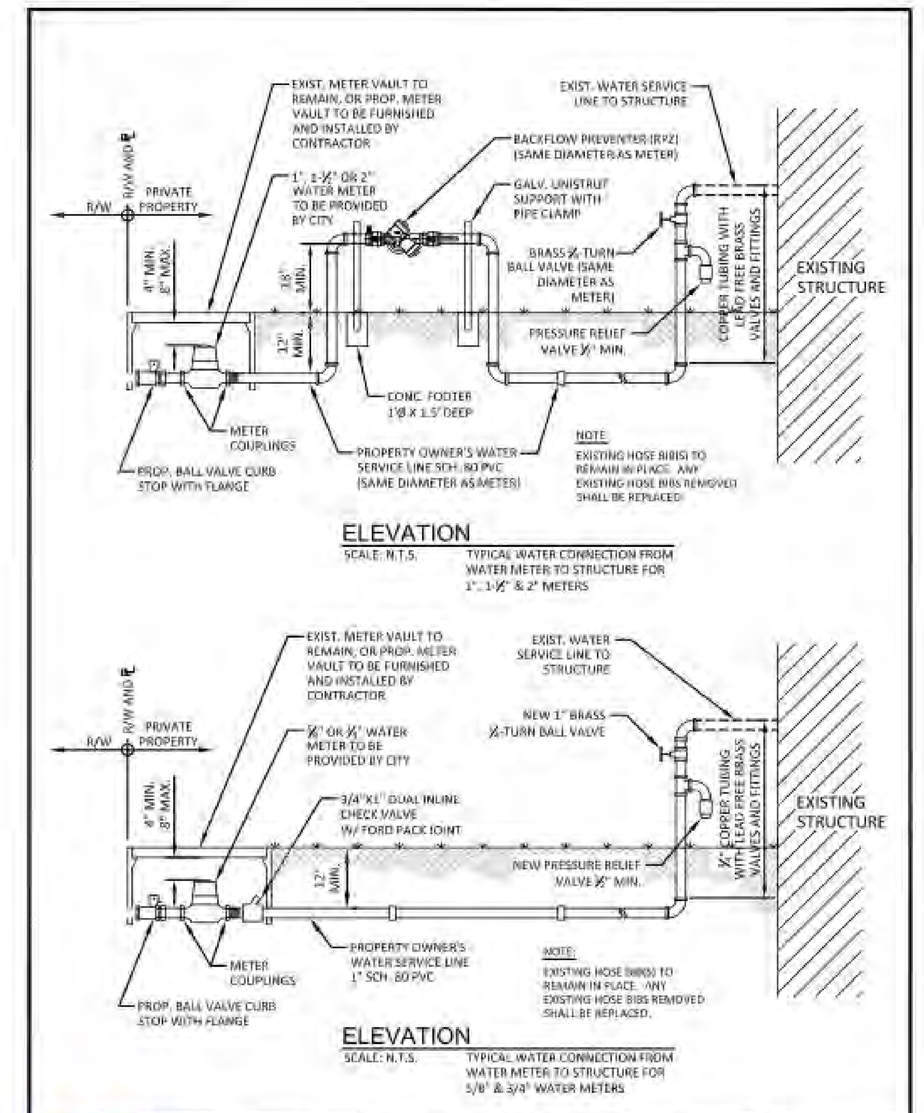
TYPICAL FIRE HYDRANT NOTES

DRAWING NO. W-13.1



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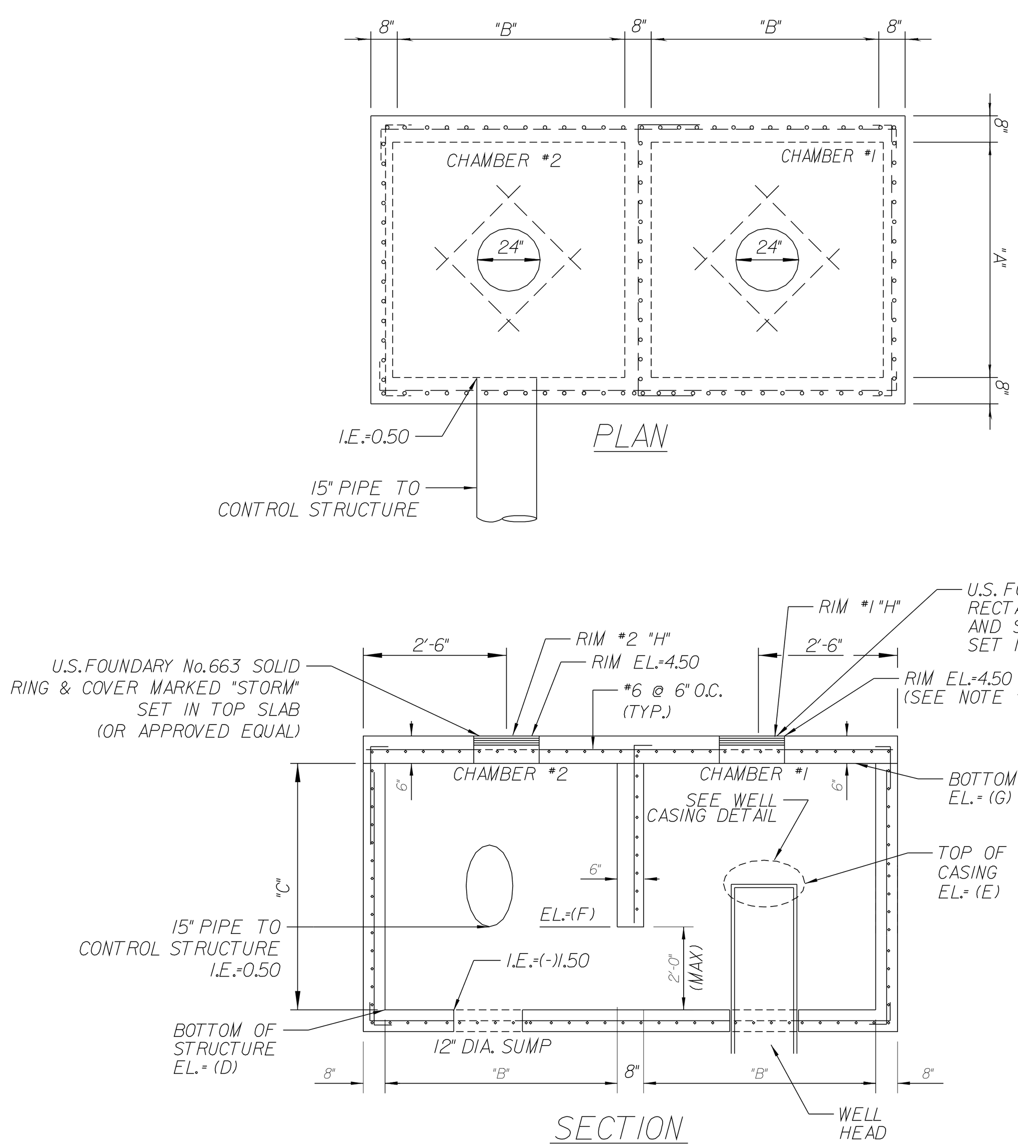
TYPICAL WATER SERVICE FROM METER TO STRUCTURE FOR 5/8" THROUGH 2" METERS

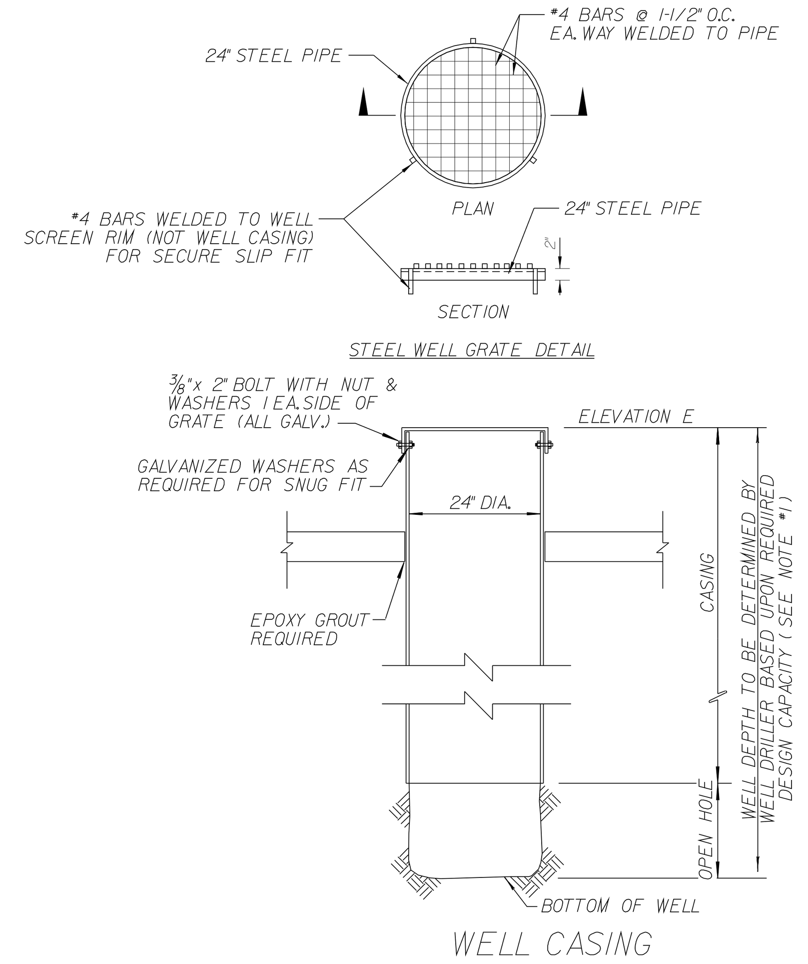
DRAWING NO. W-10



WELL STRUCTURE No. 1

NOTES:

1. MIN. DRAINAGE WELL CAPACITY REQUIRED IS 269 GPM FER FOOT OF HEAD.
2. A CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH AT WHICH THE WATER CONTAINS A MINIMUM 10,000 PPM OF TOTAL DISSOLVED SOLIDS
3. WELL DRILLER SHALL OBTAIN A D.E.P. CLASS V, GROUP 5 PERMIT AND PROVIDE THE ENGINEER WITH COPY OF PERMIT.
4. WELL DRILLER SHALL PROVIDE THE ENGINEER WITH CERTIFICATION OF CAPACITY AND COMPLETION OF CONSTRUCTION UPON COMPLETION OF INSTALLATION.
5. CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH (100' MIN, PROVIDED BY WELL DRILLER.) WITH AN ADD/DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID.



WELL STRUCTURE SCHEDULE										
STRUCTURE NUMBER	DIMENSION (FT)			ELEVATION NAVD					CASING DIAMETER (IN)	WEIR CREST EL. (NGVD)
	A	B	C(*)	D	E	F	G	H		
S-1	3.5'	3.5'	5.50	(-)1.50	2.00	0.50	4.00	4.50	24	N/A

NOTES:

* WALL HEIGHTS NOTED ARE ONLY APPROXIMATE, FINAL HEIGHT WILL BE BASED ON PLAN DESIGN AND REFLECTED ON PRECAST SHOP DRAWINGS.

**

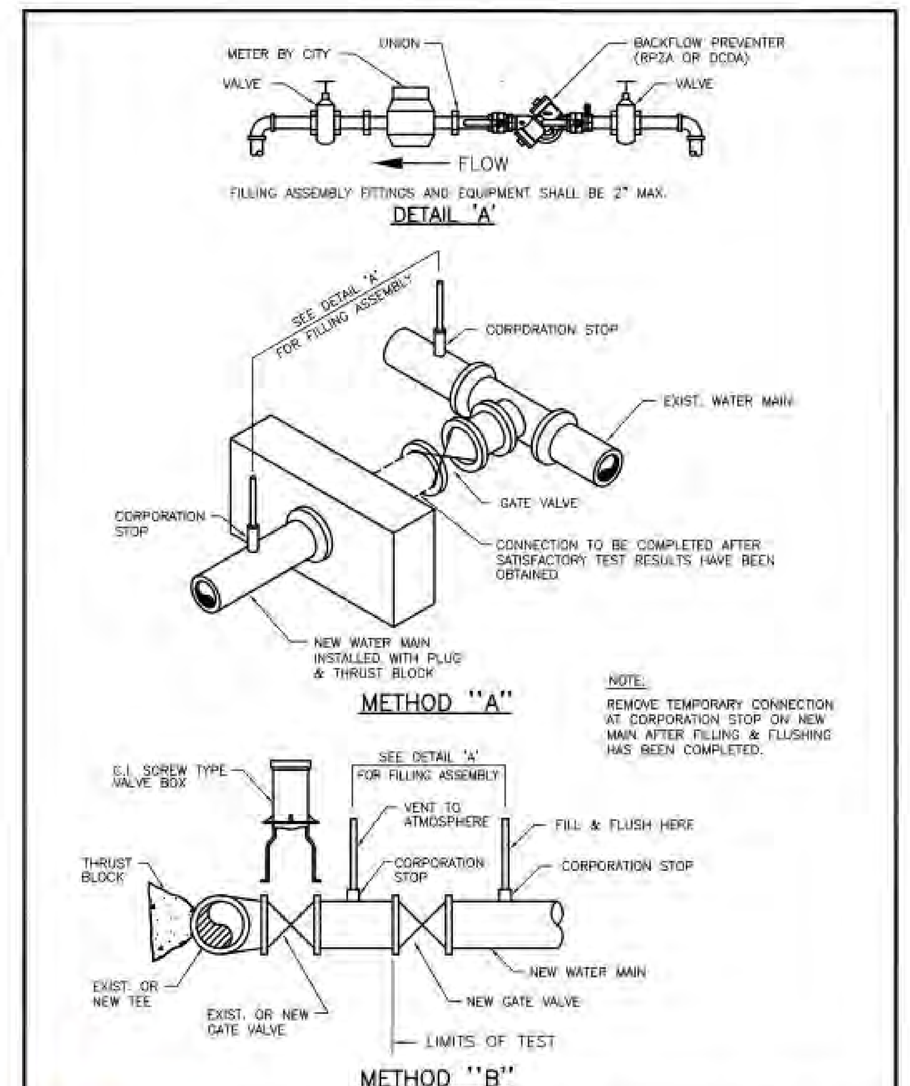
MINIMUM STRUCTURE BOTTOM ELEVATION TO BE AS REQUIRED TO PROVIDE A MINIMUM 2'-0" SUMP BELOW LOWEST PIPE INVERT OR 2'-0" BELOW ELEVATION 'F'.

DRAINAGE WELL LOCATION:
26degrees/01minutes/46.79 seconds North
80 degrees/06 minutes/57.78 seconds west

WELL STRUCTURE NOTES:

1. SEE PLAN FOR RIM OR GRATE ELEVATIONS.
2. TOP SLAB OPENINGS TO HAVE ADDITIONAL No.8 BARS AROUND OPENINGS, UNLESS OTHERWISE SPECIFIED BY FABRICATOR.
3. PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS DESIGNED ON PLAN. CHAMBERS TO HAVE U.S.F. 663 RING AND AA COVER .
4. TOP SLAB OPENINGS SIZES WITHIN EACH CHAMBER SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING & COVER
5. STEEL REINFORCEMENT AND SLAB AND WALL TICKENESS SHALL BE RESPONSIBILITY OF STRUCTURE FABRICATOR PER PLAN DESIGN AND LAYOUT CONDITIONS.SITE CONTRACTOR TO PROVIDE STRUCTURE FABRICATOR WITH LOADING CONDITIONS ASSOCIATED WITH CONSTRUCTION EQUIPTMENT (TOWER CRANE.BACKHOE/FRONT END LOADER/EC.) TO WHICH THESE STRUCTURES MAY BE SUBJECT TO DURING THE DURATION OF CONSTRUCTION.

WELL STRUCTURE DETAIL



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FILLING AND FLUSHING DETAILS

DRAWING NO. W-15

TESTING AND DISINFECTION NOTES:

1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{S \times D \times \sqrt{P}}{148{,}000}$$

L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

ISSUED: 03/01/1994 | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | REVISED: 06/08/2014
DRAWN: EAM | APPROVED: XXX

TESTING AND DISINFECTION NOTES

DRAWING NO. W-14

REVISIONS:
1.
2.
3.
4.
5.
6.
7.
8.

CLIENT:
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PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK:
CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS • CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
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DATE:	SCALE:
April 2018	N.T.S.
DESIGNED BY:	DRAWN BY:
G.G.B.	F.M.

PROJECT NO. 18-0410

SHEET 5

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

WATER SYSTEM:

ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO STANDARDS OF THE LOCAL MUNICIPALITY AND APPLICABLE DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES STANDARDS. NO PHYSICAL CONNECTION OF NEW WATER MAINS TO ACTIVATE WATER MAINS SHALL BE MADE UNTIL SUCH TIME THAT THE NEW MAINS ARE CONFIRMED TO BE BACTERIOLOGICALLY SAFE AND THE HEALTH DEPARTMENT RELEASE HAS BEEN OBTAINED. TEMPORARY CONNECTIONS OF NEW MAINS TO ACTIVE MAINS FOR THE PURPOSE OF FILLING AND FLUSHING SHALL BE MADE BY A METHOD DEEMED ACCEPTABLE TO THE UTILITY PROVIDING SERVICE.

ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE COMPRESSION TYPE BELL AND SPIGOT JOINTS.

THE WATER SYSTEM SHALL BE HYDROSTATICALLY PRESSURE TESTED AND DISINFECTED PER AWWA / ANSI C651/05 AND TESTED FOR A PERIOD OF 2 HOURS AT NOT LESS THAN 150 PSI IN ACCORDANCE WITH ANSI / AWWA STANDARD C600-05 WITH AN ALLOWABLE LEAKAGE AS DETERMINED BY THE FOLLOWING FORMULA:

$L = S\ D\ P^{0.5} / 148,000$ WHERE:
L = ALLOWABLE LEAKAGE IN GALLONS / HOUR
S = PIPE LENGTH IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE IN PSI

TEST PRESSURE SHALL NOT VARY MORE THAN 5 PSI THROUGHOUT THE TEST.THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE BASED ON A MAXIMUM 2000 FEET WHEN THE LENGTH OF PIPE TESTED EXCEEDS 2000 FEET. THRUST BLOCKS AS SHOWN ON THE DETAIL SHEETS SHALL BE PROVIDED AT ALL BENDS UNLESS NOTED OTHERWISE ON PLANS. IF RESTRAINT JOINT PIPE ISSPECIFIED ON THE PLANS, IT SHALL BE INSTALLED TO MEET THE REQUIREMENTS OF THE PIPE MANUFACTURER AND THE UTILITY DEPARTMENT.NO CONCRETE THRUST BLOCKS WILL BE ALLOWED EXCEPT FOR FIRE HYDRANTS.

BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA / ANSI C651-05 LATEST REVISION.

PVC WATER MAIN PIPE (BLUE) SHALL MEET THE REQUIREMENTS OF AWWA C-900.97 "POLYVINYL CHLORIDE (PVC) PRESSURE PIPE", CLASS 150 PIPE SHALL CONFORM TO REQUIREMENT OF SDR 18.

ALL PVC PIPE SHALL BE SUITABLE FOR USE AS A PRESSURE CONDUIT.PROVISIONS MUST BE MADE FOR EXPANSION AND CONTRACTION AT EACH JOINT WITH AN ELASTOMERIC RING. THE BELL SHALL CONSIST OF AN INTEGRAL WALL SECTION WITH AN ELASTOMERIC RING WHICH MEETS THE REQUIREMENTS OF ASTM F-477 STANDARD SPECIFICATIONS FOR ELASTOMERIC SEALS (GASKETS FOR JOINTING PLASTIC PIPE). THE WALL THICKNESS IN THE BELL SECTION SHALL CONFORM TO THE REQUIREMENTSOF ASTM D-3139.

PVC PIPE SHALL BE DELIVERED TO THE JOB SITE FROM THE FACTORY AND STORED AT THE JOB SITE IN PALLETIZED UNITS OR BUNDLES TO PREVENT UNNECESSARY DEFLECTION PRIOR TO INSTALLATION. EACH PALLETIZED UNIT SHALL BE SIZED TO LIMIT THE STACKING OF PIPE NOT MORE THAN SIXTY (60) INCHES HIGH OR AS APPROVED BY THE ENGINEER.

CARE SHALL BE TAKEN DURING THE TRANSPORTING OF THE PIPE TO INSURE THAT THE BINDING AND TIE DOWN METHODS DO NOT DAMAGE OR DEFLECT THE PIPE IN ANY MANNER. PIPE BENT, DEFLECTED, OR OTHERWISE DAMAGED DURING SHIPPING WILL BE REJECTED.

PVC MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER.

FITTINGS SHALL BE MECHANICAL JOINT DUCTILE IRON PRESSURE CLASS 350 THROUGH 12". ALL FITTINGS SHALL BE CEMENT MORTAR LINED AND SEALED THE SAME AS PIPE IN ACCORDANCE WITH AWWA/ANSI C110/A21.10-03.

PVC AND D.I.P. PIPE SHALL BE DEFLECTED NO MORE THAN ONE HALF(1/2) THE MANUFACTURERS RECOMMENDATION.

JOINTS FOR BELL AND SPIGOT PVC/DIP PIPE AND FITTINGS SHALL BE MECHANICAL OR RUBBER GASKET (EITHER ON SPIGOT OR IN BELL)COMPRESSION TYPE AS SPECIFIED IN ACCORDANCE WITH AWWA/ANSI STANDARD C111/A21.11-00. SPECIAL FITTINGS AND JOINTS SHALL BE CONSIDERED FOR SPECIFIC INSTALLATION.

ALL WATER MAINS SHALL HAVE CONTINUOUS DETECTOR TAPE 18 INCHES BELOW GRADE ALONG ALL WATER MAINS. DETECTOR TAPE SHALL HAVE BLUE SIDE-UP. A 14 GAUGE MULTI STRAND WIRE SHALL BE ATTACHED TO ALL NON-CONDUCTIVE WATER MAIN TO FACILITATE FUTURE LOCATION. AN EXTRA 4' OF WIRE SHALL BE PROVIDED AT BLOWOFFS, FIRE HYDRANTS, ETC.

POLYETHYLENE ENCASEMENT/WRAP SHALL BE INSTALLED ON ALL IRON PIPESINCLUDING VALVES, FITTINGS, SLEEVES, HYDRANTS, ETC. POLYWRAP SHALL BE INSTALLED IN ACCORDANCE WITH THE MINIMUM ANSI/AWWA C105/A21.5-05 STANDARDS.

DUCTILE IRON WATER MAIN SEALCOAT SHALL BE COAL TAR EPOXY OR ASPHALT.

DUCTILE IRON PIPE JOINTS SHALL BE PUSH-ON TYPE AND RESTRAINED A MINIMUM DISTANCE AS SPECIFIED IN RESTRAINEND DETAIL ON APPLICABLE DETAIL SHEET, USING MEGA-LUG OR APPROVED EQUAL USING TR-FLEX U.S. PIPE OR FLEX RING BY AMERICAN PIPE.

WATER MAIN STUBS FOR FUTURE EXTENSION INCLUDING ALL FITTINGS BACK TO TEE (IF STUB LENGHTS IS LEES THAN TWO PIPE LENGTH)LENGHTS WILL BE RESTRAINT JOINT PIPE FOR THE LAST TWO LENGTHS. (AS REQUIRED BY ENGINEER OR UTILITY DEPT.)

DUCTILE IRON PIPE SHALL BE CLASS 350 AND SHALL BE CEMENT LINED AND SEALCOATED IN ACCORDANCE WITH AWWA / ANSI STANDARD C151/A21.51-02. WATER MAINS SHALL BE LAID WITH A MINIMUM 30" CLEAR COVER. DUCTILE IRON FITTINGS SHALL BE CLASS 350 THROUGH 12" AND CLASS 250 IN SIZES 16" AND LARGER. ALL FITTINGS SHALL BE CEMENT LINED AND SEALCOATED THE SAME AS PIPE IN ACCORDANCE WITH AWWA / ANSI STANDARDS C104/A21.4-03 AND C153/A21.53-00. NEOPRENE GASKETS SHALL BE USED.

ALL WATER MAINS SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAILS.

CONTRACTOR IS RESPONSIBLE FOR THE EXISTING ON-SITE WATER SYSTEM UNTIL FINAL INSPECTION, CERTIFICATION AND APPROVAL BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE WHETHER, OR NOT NOTED ON PLANS FOR RAISING OR LOWERING OF EXISTING GATE VALVE BOXES, METER BOXES, ETC. THAT MAY NEED ADJUSTMENT TO MEET PROPOSED FINISH GRADES.

ALL EXISTING WATER MAINS AND COMPONENTS DESIGNATED FOR REMOVAL ARE THE PROPERTY OF THE UTILITY. MATERIALS SHALL BE REMOVED FROM THE GROUND AS CAREFULLY AS POSSIBLE AND SALVAGED FOR UTILITY.SHOULD UTILITY REFUSE SAID WATER COMPONENTS, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR OFF-SITE DISPOSAL.

CONTRACTOR TO REFER TO ARCHITECTURAL (PLUMBING) PLANS TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL WATER FIRE AND SEWER BUILDING CONNECTIONS.

DEVELOPER IS RESPONSIBLE TO DEDICATE UTILITY EASEMENTS TO THE UTILITY FOR ALL PUBLIC WATER MAINS THAT ARE TO BE ULTIMATELY OWNED AND MAINTAINED BY THE UTILITY. EASEMENTS TO BE GRANTED UPON THE CONCLUSION OF THE WORK FROM AS-BUILT PIPE LOCATIONS, UNLESS OTHERWISE REQUIRED BY THE UTILITY.

CONTRACTOR IS RESPONSIBLE TO DELIVER AS-BUILT WATER PLANS, MYLAR, AND COMPUTER DISK TO THE ENGINEER OF RECORD PRIOR TO FINAL CERTIFICATION TO THE UTILITY. AS-BUILTS SHALL BE SIGNED AND SEALED BY A REGISTERED FLORIDA SURVEYOR.

MAINTAIN A 10-FOOT HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES AND BUILDING STRUCTURES, UNLESS OTHERWISE SHOWN ON THE PLANS.

LANDSCAPING SHALL NOT BE INSTALLED WITHIN 6' OF ALL WATER MAINS AND SERVICES OR WITHIN A 5' RADIUS OF ALL FIRE HYDRANTS, UNLESS APPROVED BY THE ENGINEER.

WATER MAINS SHALL BE DEFLECTED OVER DRAINAGE AT ALL CONFLICTS.

ALL WATER SERVICES SHALL TERMINATE A MINIMUM OR 5' FROM BUILDING.

UNDERGROUND WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL PRIOR TO BUILDING CONSTRUCTION AS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND THE SOUTH FLORIDA BUILDING CODE, LATEST REVISION.

ALL WATER MAIN INSTALLATION SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 FAC.

WATER SERVICE LINES:

WATER SERVICES SHALL BE POLYETHYLENE TUBING (PE 3408) COMPLYING WITH APPLICABLE REQUIREMENTS FOR PE, AWWA C902-02 HIGH MOLECULAR WEIGHT PLASTIC MATERIAL ASTM D-2666, 250 PSI RATING (CTS-OD) SDR 9. SERVICE PIPE SHALL BE INSTALLED AS A SINGLE RUN WITHOUT UNIONS.

JOINTS FOR TUBING SHALL BE OF THE COMPRESSION TYPE UTILIZING A TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL ALSO BE USED FOR TUBING SERVICES.

SERVICE LINES SHALL BE MARKED WITH 2" X 4" POST PAINTED BLUE.

ALL WATER SERVICES SHALL BE BEDDED AND BACKFILLED PER STANDARD TRENCH DETAIL.

PIPE DEFLECTION SHALL BE NO MORE THAN ONE HALF OF THE MANUFACTURER'S RECOMMENDATION.

MINIMUM COVER SHALL BE 24".

ALL WATER SERVICE LINES UNDER PAVED AREAS SHALL BE SLEEVED IN SCHEDULE 40 PVC AND SHALL BE OF ONE SINGLE LENGTH WITHOUT UNIONS.

FORD STAINLESS INSERTS ARE REQUIRED FOR PLASTIC PIPE.

GATE VALVES:

GATE VALVES 4" AND LARGER SHALL BE MECHANICAL JOINT TYPE AND COMPLY WITH AWWA / ANSI STANDARD C509-01.

MECHANICAL JOINTS SHALL CONFORM TO AWWA / ANSI C111/A21.11-00

ALL GATE VALVES ARE TO BE IRON BODY, BRONZE MOUNTED, DOUBLE DISK, NON-RISING STEM, RESILIENT SEAT TYPE, OPENING LEFT (COUNTER CLOCKWISE). THE INTERIOR LINING SHALL BE FUSION BONDED EPOXY ACCORDING TO AWWA 550-90 AND AN EXTERIOR EPOXY COAT (BOTH 40 MILLS DFT.)

GATE VALVES 4" TO 12" SHALL HAVE A MAXIMUM WORKING PRESSURE OF 200 PSI AND BE TESTED AT 400 PSI. GATE VALVES SHALL BE RESILIENT SEATED MUELLER, CLOW RESILIENT WEDGE, M & H, OR APPROVED EQUAL, WITH RESTRAINT JOINTS.

GATE VALVES UNDER 4" IN SIZE SHALL BE BRONZE GATE VALVES CONFORMING TO MSS STANDARD PRACTICE SP-37. THEY SHALL BE DOUBLE DISK, NON-RISING STEM, OPEN LEFT (COUNTER CLOCKWISE) WITH OPERATING WHEEL. PEWTER AND POT METAL OPERATING WHEELS SHALL NOT BE PERMITTED. GATE VALVES SHALL MEET AWWA C500-02 STANDARDS.

VALVE BOXES SHALL BE CAST IRON EXTENSION TYPE WITH NOT LESS THAN 5-1/4" DIAMETER SHAFT AND WITH COVERS MARKED "WATER", PAINTED BLUE. USF 7500 OR APPROVED EQUAL.

GATE VALVES 18" AND LARGER WILL BE SUBSTITUTED WITH BUTTERFLY VALVES AS MANUFACTURED BY PRATT, DEZURIK, CLOW, OR APPROVED EQUAL.

BUTTERFLY VALVES ARE TO BE CAST OR DUCTILE IRON BODY; ALLOY CAST IRON OR DUCTILE IRON DISK; BODY MOUNTED ADJUSTABLE SEAT; ONE-PIECE STAINLESS STEEL SHAFT; SHORT OR LONG BODY TYPE; WITH THE VALVE CLASS, SHAFT SIZE AND OTHER SPECIAL REQUIREMENTS SELECTED IN ACCORDANCE WITH THE SPECIFIC DESIGN; AND ARE TO COMPLY WITH THE PROVISIONS OF AWWA C504-00, "RUBBER SEATED BUTTERFLY VALVES."

VALVE OPERATION IS TO BE APPROVED GEAR ACTUATORS, WITH SEALED ENCLOSURES FOR BURIED OR SUBMERGED SERVICE. POSITION INDICATORS WILL BE FURNISHED AS REQUIRED. UNITS ARE TO BE EQUIPPED WITH 2" ACTUATING NUTS, CAST IRON HANDWHEELS, OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION. APPURTENANCES ARE TO BE FURNISHED BY THE VALVE MANUFACTURER.

WATER SERVICE FITTINGS:

METER VALVES (ASTM B-62 LATEST) SHALL BE FORD ANGLE STOPS MODEL #KV43-342W FOR SINGLE SERVICES AND FORD MODEL #UV63-42W FOR DOUBLE SERVICES OR APPROVED EQUAL.

CURB STOPS SHALL BE OF THE INVERTED KEY TYPE WITH TEE-HEAD SHUT OFF. CURB STOPS SHALL BE MADE OF BRASS ALLOY IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A.

METER VALVES AND CORPORATION STOPS (FORD BALL CORP. NO. FC 202) SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM SPECIFICATION B62-82A WITH EPOXY COATED DUCTILE IRON BODY STAINLESS STEEL SERVICE SADDLES BY FORD.

INLET THREAD FOR METER VALVES AND CURB STOPS SHALL BE AWWA TAPER THREAD IN ALL SIZES IN ACCORDANCE WITH ANSI / AWWA STANDARD C800-05. OUTLET CONNECTIONS SHALL HAVE A COMPRESSION TYPE FITTING SAME AS VALVES.

CONTRACTOR TO REVIEW WATER DETAILS TO DETERMINE EXTENT OF JURISDICTION OF WATER SERVICE AND METER MATERIALS (METERS, ETC.) SUPPLIED AND INSTALLED BY UTILITY.

FIRE HYDRANTS:

ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA / ANSI STANDARD C502-05 AND THE FOLLOWING DESIGN STANDARDS:

THE FIRE HYDRANTS SHALL BE OF THE COMPRESSION TYPE, OPENING AGAINST THE PRESSURE AND CLOSING WITH THE LINE PRESSURE WITH (1)-5 1/4" VALVE OPENING. THE HYDRANT SHALL BE EQUIPPED WITH (2)-2 1/2" HOSE NOZZLES AND (1)-5 1/4" PUMPER NOZZLE.

FIRE HYDRANTS SHALL BE FURNISHED WITH A SEALED OIL OR GREASE RESERVOIR LOCATED IN THE BONNET SO THAT ALL THREADED AND BEARING SURFACES ARE AUTOMATICALLY LUBRICATED WHEN THE HYDRANT IS OPERATED. THE HYDRANT WILL BE DESIGNED FOR DISASSEMBLY BY USE OF A SHORT DISASSEMBLY WRENCH OR THE HYDRANT SHOE SHALL HAVE INTEGRAL CAST TIE BACK LUGS ON THE MAIN VALVE TO PERMIT THE MAIN VALVE ASSEMBLY AND VALVE SEAT TO BE REMOVED WITHOUT DIGGING EARTH OR DISASSEMBLING THE HYDRANT BARREL.

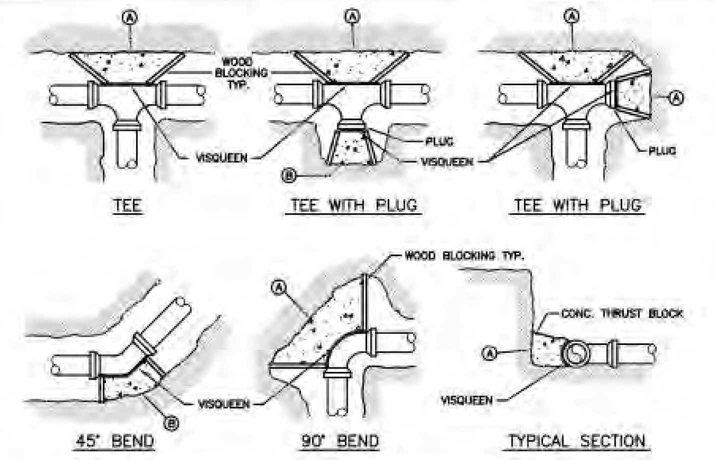
FIRE HYDRANTS SHALL BE FURNISHED WITH A BREAKABLE FEATURE THAT WILL BREAK CLEANLY UPON IMPACT. THIS SHALL CONSIST OF A TWO PART BREAKABLE SAFETY FLANGE WITH A BREAKABLE STEM COUPLING. THE UPPER AND LOWER BARRELS SHALL BE FLUTED AND RIBBED ABOVE AND BELOW THE SAFETY FLANGE OR HAVE AN EXTRA STRENGTH LOWER BARREL.

THE FIRE HYDRANT INTERNAL VALVE SHALL BE 5 1/4" MINIMUM. THE PENTAGONAL OPERATING NUTS AND THE CAP NUTS SHALL BE 1 1/2" POINT TO FLAT. DRAIN VALVE OUTLETS FOR THE HYDRANTS SHALL BE PLUGGED OR OMITTED. THE HYDRANTS SHALL OPEN COUNTER CLOCKWISE AND THE DIRECTION OF OPENING SHALL BE CAST ON THE TOP. THE BURY LENGTH, MEASURED FROM THE BOTTOM OF THE CONNECTING PIPE TO THE GROUND LINE AT THE HYDRANT SHALL BE THREE FEET SIX INCHES (42") MINIMUM OR AS REQUIRED BY PLAN.

THE HYDRANT SHALL BE EQUIPPED WITH A 6" MINIMUM MECHANICAL JOINT BASE INLET UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.

FIRE HYDRANTS SHALL BE MUELLER PAINTED TRAFFIC RED OR AS OTHERWISE SPECIFIED ON PLANS, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY.

REFER TO WATER DETAILS FOR OTHER REQUIREMENTS / INFORMATION RELATED TO FIRE HYDRANTS.

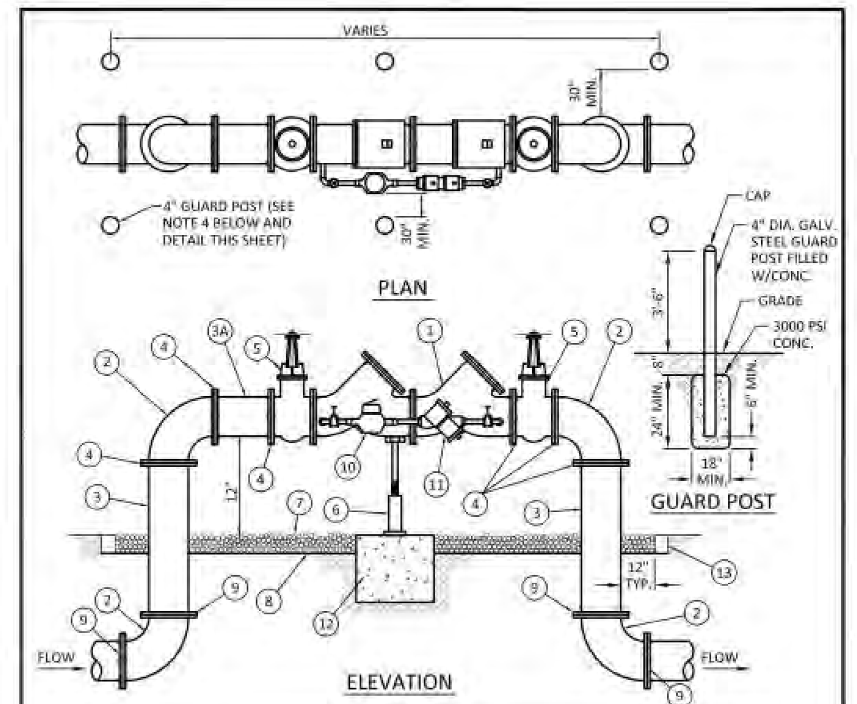


MINIMUM CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL (SQ. FT.)				
MARK	PIPE SIZE			
	4" OR 6"	8"	10"	12"
A				
B				

NOTES:

1. THRUST BLOCKS ARE TO BE USED IN COMBINATION WITH, AND NOT IN LIEU OF, MECHANICAL JOINT RESTRAINTS AS REQUIRED BY THE CITY. REFER TO THRUST RESTRAINT DESIGN TABLE IN STANDARD DETAIL G-10.
2. THE AREAS IN THE TABLE ARE BASED ON _____ POUNDS PER SQUARE FOOT SOIL BEARING AGAINST THE UNDISTURBED TRENCH WALL AND ARE TO REPRESENT THE MINIMUM VERTICAL PROJECTED AREA AT THE THRUST BLOCK IN A PLANE PERPENDICULAR TO THE LINE BISECTING THE INCLUDING ANGLE OF THE FITTING.
3. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EVACUATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
4. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
5. DO NOT COVER COUPLING OR JOINTS WITH CONCRETE.
6. CONCRETE TO BE 2500 P.S.I. MINIMUM 28 DAY STRENGTH.
7. TABLE TO BE COMPLETED BY DESIGN ENGINEER.

ISSUED: 03/01/1994 | DRAWN: EAM | APPROVED: XXX | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | THRUST BLOCK DESIGN | REVISED: 06/08/2014 | DRAWING NO. G-10



MATERIALS

ITEM	QTY.	DESCRIPTION	ITEM	QTY.	DESCRIPTION
1	1	4",6",8" VALVE,DOUBLE CHECK	7	N/A	PEA GRAVEL (4" DEEP)
2	4	4",6",8" BEND-90°	8	N/A	PLASTIC LINER/WEED STOP (5 MILS)
3	2	4",6",8" D.I.P. SPOOL PIECE	9	4	RESTRAINED JOINTS
3A	1	4",6",8" D.I.P. SPOOL PIECE (24" LONG)	10	1	LOW FLOW METER
4	7	4",6",8" FLANGE, D.I.P.	11	1	VALVE, BYPASS DOUBLE CHECK
5	2	4",6",8" GATE VALVE (SEE NOTE 6)	12	1	16"X16"X16" CONC. SUPPORT
6	1	SCREW JACK/ANCHORED	13	1	P.T. 2X4 LUMBER ALL AROUND

NOTES:

1. FIELD ADJUST AND CUT ITEM 3 TO THE PROPER LENGTH.
2. ALL PIPING SHALL BE D.I.P. CL 50/52 AS APPLICABLE TO MINIMUM STANDARDS.
3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
4. PROTECTIVE 4" GALV. GUARD POSTS SHALL BE SPACED EVENLY APART AS SHOWN ABOVE OR IN ACCORDANCE WITH INSPECTOR'S DIRECTIONS.
5. MAY USE 45° BENDS (SEE DETAIL W-07.2) WHEN WORKING AREA IS NOT LIMITED, AS DIRECTED BY CITY.
6. GATE VALVES SHALL BE CHAINED AND LOCKED TOGETHER TO PREVENT TAMPERING.

ISSUED: 03/01/1994 | DRAWN: EAM | APPROVED: XXX | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | TYPICAL 4", 6" AND 8" DOUBLE CHECK DETECTOR ASSEMBLY FOR FIRE SPRINKLER SERVICE (90° BENDS) | REVISED: 06/08/2014 | DRAWING NO. W-03

WATER NOTES:

1. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE.
2. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)]
3. AT ALL UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. [FAC 62-555.314(2); EXCEPTIONS ALLOWED UNDER FAC 62-555.314(5)].
4. NEW UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT TO BE DUCTILE IRON PIPE (D.I.P.) WHEN CROSSING BELOW SANITARY SEWER MAINS.
5. POLYETHYLENE ENCASEMENT MATERIAL SHALL BE USED TO ENCASE ALL BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, RODS, AND APPURTENANCES IN ACCORDANCE WITH AWWA C105, METHOD A. THE POLYETHYLENE TUBING SHALL BE CUT TWO FEET LONGER THAN THE PIPE SECTION AND SHALL OVERLAP THE ENDS OF THE PIPE BY ONE FOOT. THE POLYETHYLENE TUBING SHALL BE GATHERED AND LAPPED TO PROVIDE A SNUG FIT AND SHALL BE SECURED AT QUARTER POINTS WITH POLYETHYLENE TAPE. EACH END OF THE POLYETHYLENE TUBING SHALL BE SECURED WITH A WRAP OF POLYETHYLENE TAPE.
6. THE POLYETHYLENE TUBING SHALL PREVENT CONTACT BETWEEN THE PIPE AND BEDDING MATERIAL, BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT AND WATERTIGHT ENCLOSURE. DAMAGED POLYETHYLENE TUBING SHALL BE REPAIRED IN A WORKMANLIKE MANNER USING POLYETHYLENE TAPE, OR THE DAMAGED SECTION SHALL BE REPLACED. POLY WRAP WILL NOT BE PAID FOR AS A SEPARATE BID ITEM. IT SHALL BE CONSIDERED TO BE A PART OF THE PRICE BID FOR WATER MAINS.
7. FIRE HYDRANT BARRELS SHALL BE ENCASED IN POLY WRAP UP TO THE GROUND SURFACE AND THE WEEP HOLES SHALL NOT BE COVERED BY THE POLY WRAP.
8. GATE VALVES FOR USE WITH PIPE LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE RATED FOR TWO HUNDRED (200) PSI WORKING PRESSURE, NON-SHOCK, BLOCK PATTERN, SCREWED BONNET, NON-RISING STEM, BRASS BODY, AND SOLID WEDGE. THEY SHALL BE STANDARD THREADED FOR PVC PIPE AND HAVE A MALLEABLE IRON HANDWHEEL. GATE VALVES LESS THAN THREE INCHES (3") IN DIAMETER SHALL BE NIBCO-SCOTT T-113 LF WITH NO SUBSTITUTIONS ALLOWED. LARGE GATE VALVES OVER 3" THRU 16" IN DIAMETER, MUST BE RESILIENT SEAT AND BIDIRECTIONAL FLOW ONLY. MANUFACTURERS: MUELLER, AMERICAN DARLING, AVK, OR CITY APPROVED EQUAL. VALVES FOR SPECIAL APPLICATION WILL REQUIRE CITY UTILITY APPROVAL.

ISSUED: 03/01/1994 | DRAWN: EAM | APPROVED: XXX | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | WATER SYSTEM NOTES | REVISED: 06/08/2014 | DRAWING NO. W-01

WATER NOTES CONTINUED:

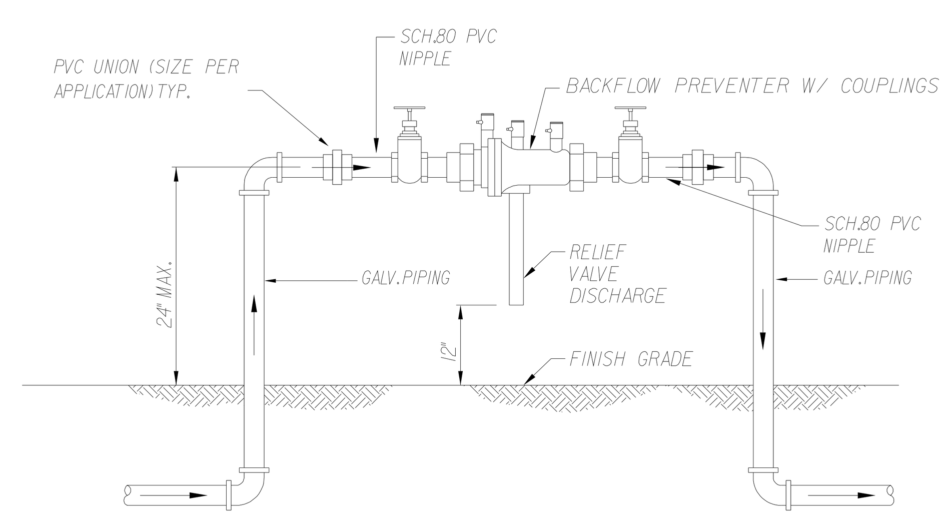
9. VALVE BOXES AND COVERS FOR ALL SIZE VALVES SHALL BE OF CAST IRON CONSTRUCTION AND ADJUSTABLE SCREW-ON TYPE. THE LID SHALL HAVE CAST IN THE METAL THE WORD "WATER" FOR THE WATER LINES. ALL VALVE BOXES SHALL BE SIX INCH (6") NOMINAL DIAMETER AND SHALL BE SUITABLE FOR DEPTHS OF THE PARTICULAR VALVE. THE STEM OF THE BURIED VALVE SHALL BE WITHIN TWENTY-FOUR INCHES (24") OF THE FINISHED GRADE UNLESS OTHERWISE APPROVED BY THE CITY. VALVE BOXES SHALL BE TYLER BRAND, NO SUBSTITUTES.
10. FIRE HYDRANTS: PRESENTLY CITY OF HOLLYWOOD UTILITIES SPECIFICATIONS ALLOW ONLY MANUFACTURERS: MUELLER MODEL SUPER CENTURION 200 5¼" SIZE REFERENCE CATALOG NO. A-423 AND AMERICAN DARLING MODEL B-84-B 5¼" SIZE. ANY DEVIATION FROM REQUIRED SPECIFICATIONS WILL REQUIRE CITY OF HOLLYWOOD UTILITIES APPROVAL.
11. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C.
12. ALL PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C900 LATEST REVISION AND CLASS DR 18. ALL DIP WATER MAINS SHALL BE DUCTILE IRON PRESSURE CLASS 350, WITH WALL THICKNESS COMPLYING WITH CLASS 52. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-02 AND BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03.
13. FITTINGS SHALL BE DUCTILE IRON, MEETING ANSI/AWWA C153/A21.53-00 SPECIFICATIONS, WITH 350 PSI MINIMUM WORKING PRESSURE. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-03. ALL DUCTILE IRON PIPE AND FITTINGS MUST BE MANUFACTURED IN THE UNITED STATES OF AMERICA.
14. ALL DUCTILE IRON PIPE TO BE MECHANICAL JOINTS, WRAPPED IN POLY. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY DESIGN.
15. GATE VALVES 4" AND LARGER SHALL BE RESILIENT SEAT AND SHALL MEET ANSI/AWWA C-509-01 SPECIFICATIONS, LATEST REVISION. VALVES MUST BE MUELLER (O.A.E.). VALVE BOXES SHALL BE TYLER UNION. CONTROL/GATE VALVES 3" AND SMALLER SHALL BE NIBCO T-133 LF. NO SUBSTITUTIONS.
16. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
17. ALL TRENCHING, PIPE LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTING MUST COMPLY WITH THE CITY OF HOLLYWOOD SPECIFICATIONS.
18. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" (DIP) OR 36" (PVC).
19. MINIMUM CLEARANCE BETWEEN STORM STRUCTURES AND WATER MAINS SHALL BE 2', AND MAXIMUM DEFLECTION PER EACH JOINT SHALL BE 50% OF MANUFACTURES RECOMMENDATION (MAXIMUM) WHERE DEFLECTION IS REQUIRED.
20. TAPPING SLEEVES SHALL BE MUELLER H-615 (O.A.E.). TAPPING VALVES 4" AND LARGER SHALL BE RESILIENT WEDGE TYPE MEETING ANSI/AWWA C509-01. ALL TAPPING VALVES SHALL HAVE A CAST-IN ALIGNMENT RING AND BE CAPABLE OF ACCEPTING A FULL-SIZE CUTTER.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING CONFLICTS WITH WATER MAINS PLACED AT MINIMUM COVER. IN CASE OF CONFLICT, WATER MAIN SHALL BE LOWERED TO PASS UNDER CONFLICTS WITH 18" MINIMUM SEPARATION. NO ADDITIONAL PAYMENT SHALL BE DUE TO CONTRACTOR FOR LOWERING THE MAIN OR THE ADDITIONAL FITTINGS USED THEREON.

ISSUED: 03/01/1994 | DRAWN: EAM | APPROVED: XXX | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | WATER NOTES | REVISED: 06/08/2014 | DRAWING NO. W-01.1

WATER NOTES CONTINUED:

22. PIPE JOINT RESTRAINT SHALL BE PROVIDED BY THE USE OF DUCTILE IRON FOLLOWER GLANDS MANUFACTURED TO ASTM A 536-80. TWIST-OFF NUTS SHALL BE USED TO ENSURE PROPER ACTUATING OF THE RESTRAINING DEVICES. THE MECHANICAL JOINT RESTRAINING DEVICES SHALL HAVE A WORKING PRESSURE OF 250 PSI MINIMUM, WITH A MINIMUM SAFETY FACTOR OF 2:1, AND SHALL BE EBAA IRON INC., MEGALUG OR APPROVED EQUAL. JOINT RESTRAINTS SHALL BE PROVIDED AT A MINIMUM OF THREE JOINTS (60 FEET) FROM ANY FITTING.
23. WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE THE SIDES OF A TRENCH, THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING OR BRACING AS MAY BE NECESSARY TO SUPPORT THE SIDES OF THE EXCAVATION TO ENSURE PERSONNEL SAFETY, AND TO PREVENT MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SEQUENCE, METHODS AND MEANS OF CONSTRUCTION, AND FOR THE IMPLEMENTATION OF ALL OSHA AND OTHER SAFETY REQUIREMENTS.

ISSUED: 03/01/1994 | DRAWN: EAM | APPROVED: XXX | DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL | WATER NOTES | REVISED: 06/08/2014 | DRAWING NO. W-02



REDUCED PRESSURE ZONE
BACKFLOW PREVENTER DETAIL
2" DIAMETER AND SMALLER
N.T.S.

REVISIONS:
1.
2.
3.
4.
5.
6.
7.
8.

CLIENT:
Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746
kaller@bellsouth.net

PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK:
CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-6655
email: gary@ggbeng.com

DATE:	SCALE:
April 2018	N.T.S.
DESIGNED BY:	DRAWN BY:
G.G.B.	F.M.

PROJECT NO.
18-0410

SHEET
5A

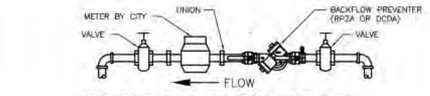
GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1), (4)	JOINT SPACING @ CROSSING (FULL JOINT CENTERED) (8)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (7)	10ft (3.0 m) minimum; 3 ft minimum	18" min. vertical separation (except for storm sewers, there is no this is the minimum and 12" is preferred)	Maximum 6 ft (2 m) minimum
GRAVITY SANITARY SEWER, (3) SANITARY SEWER FORCE MAIN, RECLAIMED WATER	10ft (3.0 m) minimum; 30 ft preferred 9 ft minimum	18" min. vertical separation (except for gravity sewers, there is no this is the minimum and 12" is preferred)	Maximum 6 ft (2 m) minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft minimum	———	———

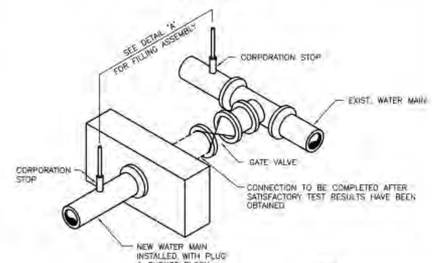
1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. WATER MAIN SHALL BE LOCATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. 18" VERTICAL MINIMUM SEPARATION REQUIRED BY CITY OF HOLLYWOOD, UNLESS OTHERWISE APPROVED.
5. IN A STACKED CONFIGURATION, WATER MAIN SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON A SHELF WITH AT LEAST 9 FEET OF HORIZONTAL SEPARATION WHENEVER POSSIBLE, AND AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN A PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF EQUIVALENT WATER MAIN PIPE AND SHALL BE CONSTRUCTED OR EQUIPPED WITH A MAXIMUM OF 6 FT. OF WATER MAIN PIPE WITH NO JOINTS WITHIN 10 FEET OF THE SEWER. CROSSINGS OF THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
8. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM / APPROVED: XXX	SEPARATION REQUIREMENTS OF F.D.E.P. / F.D.N.R.P.	DRAWING NO: G-01.1



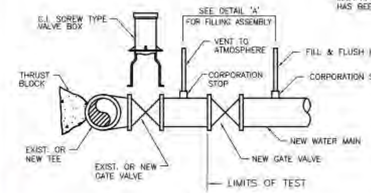
FILLING ASSEMBLY FITTINGS AND EQUIPMENT SHALL BE 2" MAX.

DETAIL 'A'



METHOD "A"

NOTE:
REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN AFTER FILLING & FLUSHING HAS BEEN COMPLETED.



METHOD "B"

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM / APPROVED: XXX	FILLING AND FLUSHING DETAILS	DRAWING NO: W-15

TESTING AND DISINFECTION NOTES:

1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL THE PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED ON THE PROPOSED WATER MAINS AND THE SYSTEM HAS BEEN APPROVED BY THE CITY OF HOLLYWOOD AND THE BROWARD COUNTY HEALTH DEPARTMENT.
2. THE PRESSURE TEST SHALL BE PERFORMED FOR 2 HOURS AT A CONSTANT PRESSURE OF 150 PSI AND IN ACCORDANCE WITH RULE 62-555.330 (FAC) C600 AWWA LATEST REVISION, EXCEPT AS OTHERWISE SPECIFIED HEREIN AND IN SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION". PRESSURE TEST SHALL BE WITNESSED BY THE CITY OF HOLLYWOOD. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:

$$L = \frac{S \times D \times \sqrt{P}}{148{,}000}$$

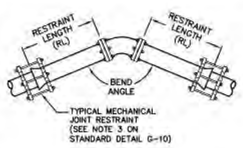
L = THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
S = THE LENGTH OF PIPE BEING TESTED.
D = THE NOMINAL DIAMETER OF THE PIPE BEING TESTED.
P = THE AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH.

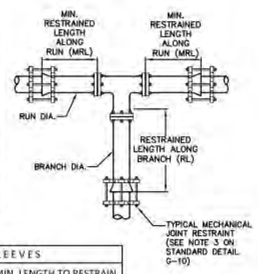
3. THE COMPLETE LENGTH OF THE PROPOSED WATER MAIN SHALL BE TESTED, IN LENGTHS NOT TO EXCEED 2,000 FEET PER TEST.
4. PROPOSED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI/AWWA STANDARD C651 AND BACTERIOLOGICAL TESTED FOR TWO CONSECUTIVE DAYS IN ACCORDANCE WITH SPECIFICATION SECTION 15995, "PIPELINE TESTING AND DISINFECTION".
5. BACTERIOLOGICAL TESTS SHALL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL DIRECTLY HIRE A TESTING LABORATORY CERTIFIED BY THE FLORIDA DEPARTMENT OF HEALTH IN ORDER TO COLLECT AND TEST WATER SAMPLES FROM THE WATER DISTRIBUTION SYSTEM TO BE PLACED INTO SERVICE. SAMPLE COLLECTION AND BACTERIOLOGICAL ANALYSES SHALL BE PERFORMED IN ACCORDANCE WITH RULES 62-555.315(6), 62-555.340 AND 62-555.330 (FAC), AS WELL AS ALL REQUIREMENTS OF THE BROWARD COUNTY HEALTH DEPARTMENT PERMIT.
7. THE WATER DISTRIBUTION SYSTEM SHALL NOT BE CONSIDERED COMPLETE AND READY FOR FINAL INSPECTION UNTIL SUCCESSFUL TEST RESULTS ARE OBTAINED FOR ALL TESTS DESCRIBED ABOVE.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM / APPROVED: XXX	TESTING AND DISINFECTION NOTES	DRAWING NO: W-14

HORIZONTAL BENDS

PIPE DIA. (INCHES)	BEND (ANGLE)	RESTRAINED LENGTH (RL) (FT) PVC	RESTRAINED LENGTH (RL) (FT) *DIP
16	11 1/4	.	.
	22 1/2	.	.
	45	.	.
	90	.	.
8	11 1/4	.	.
	22 1/2	.	.
	45	.	.
	90	.	.
6	11 1/4	.	.
	22 1/2	.	.
	45	.	.
	90	.	.
4	11 1/4	.	.
	22 1/2	.	.
	45	.	.
	90	.	.

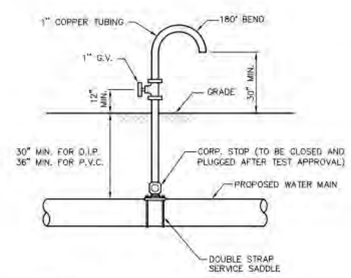




TEES AND TAPPING SLEEVES

RUN DIA. (INCHES)	BRANCH DIA. (INCHES)	MIN. RESTRAINED LENGTH ALONG RUN (FT.)	MIN. LENGTH TO RESTRAIN ALONG BRANCH (FT.) PVC	MIN. LENGTH TO RESTRAIN ALONG BRANCH (FT.) *DIP
16"	16"		.	.
8"	8"	.	.	.
8"	6"	.	.	.
8"	4"	.	.	.
6"	6"	.	.	.
4"	4"	.	.	.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM / APPROVED: XXX	JOINT RESTRAINT DESIGN FOR PVC AND DIP HORIZONTAL BENDS AND TEES	DRAWING NO: G-11.1



NOTES:

SAMPLING POINT SHALL NOT BE REMOVED UNTIL APPROVAL IS OBTAINED FROM BROWARD COUNTY HEALTH DEPARTMENT.

ISSUED: 03/01/1994	DEPARTMENT OF PUBLIC UTILITIES STANDARD DETAIL	REVISED: 06/08/2016
DRAWN: EAM / APPROVED: XXX	SAMPLING POINT DETAIL	DRAWING NO: W-16

REVISIONS:
1. 2. 3. 4. 5. 6. 7. 8.

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kaller@bellsouth.net

PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK:
CONSTRUCTION DETAILS

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 818
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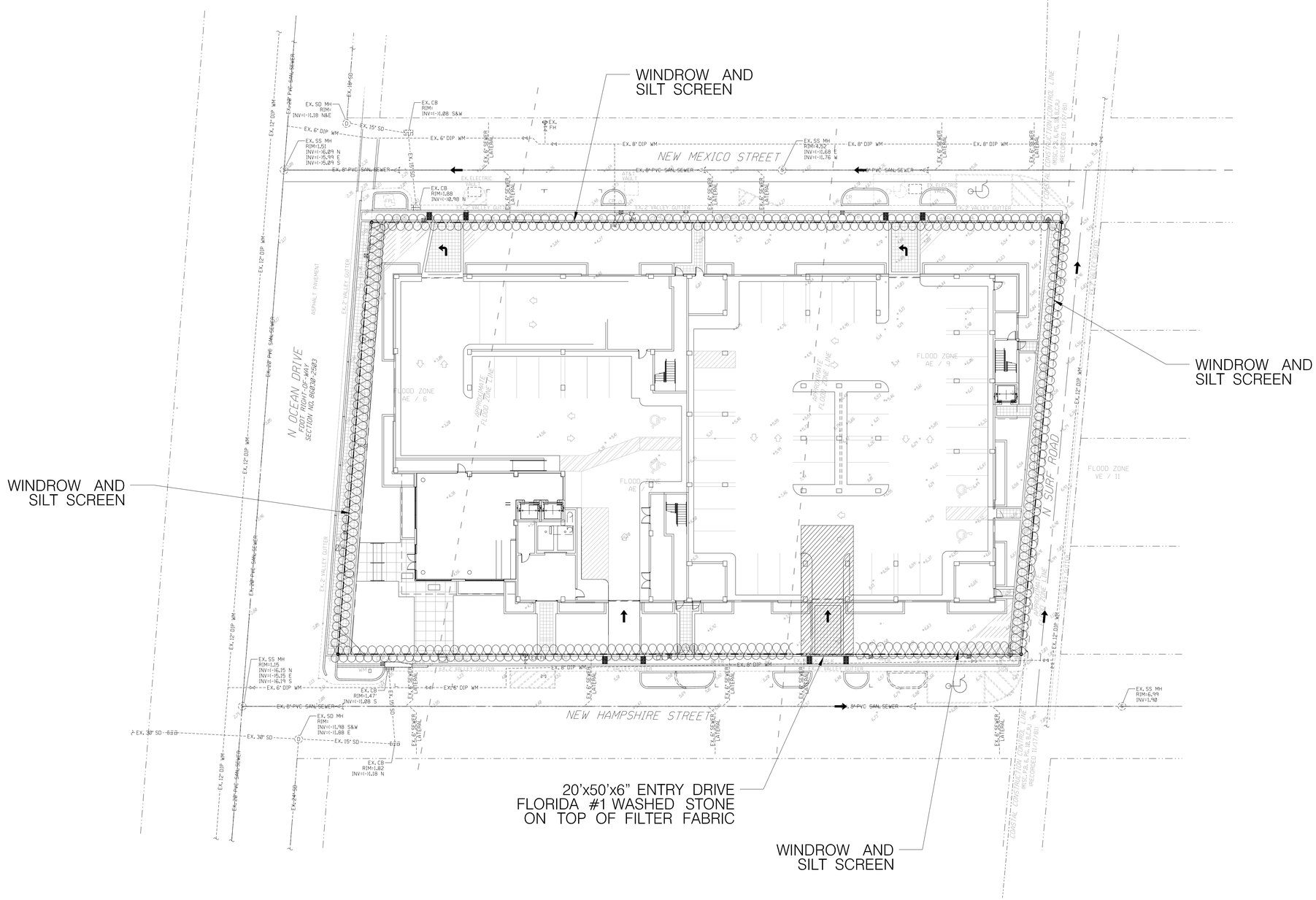
Fort Lauderdale, Florida 33312
Phone: (954) 986-8699
Fax: (954) 986-8655
email: gary@gbeng.com

DATE: April 2018	SCALE: N.T.S.
DESIGNED BY: G.G.B.	DRAWN BY: F.M.

PROJECT NO. 18-0410

SHEET 5B

GARY G. BLOOM, P.E.
FLA LIC. No. 59832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

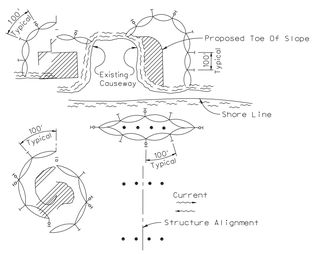

WINDROW AND SILT SCREEN
WINDROW AND SILT SCREEN
WINDROW AND SILT SCREEN
WINDROW AND SILT SCREEN
20'x50'x6" ENTRY DRIVE FLORIDA #1 WASHED STONE ON TOP OF FILTER FABRIC
NEW MEXICO STREET
NEW HAMPSHIRE STREET
N OCEAN DRIVE
N SURF ROAD
FLOOD ZONE AE / 6
FLOOD ZONE AE / 9
FLOOD ZONE VE / 11
FLOOD ZONE AE
APPROXIMATE FLOOD ZONE LINE
EX. 8" PVC SAN. SEWER
EX. 6" DIP WM
EX. 8" DIP WM
EX. 12" DIP WM
EX. 2' VALLEY GUTTER
EX. 6" SEWER LATERAL
EX. ELECTRIC
ASPHALT PAVEMENT
EX. SS MH RIM=4.52 INV=(-)1.68 E INV=(-)1.76 W
EX. SS MH RIM=1.51 INV=(-)6.09 N INV=(-)5.99 E INV=(-)5.09 S
EX. SD MH RIM= INV=(-)1.18 N&E
EX. CB RIM= INV=(-)1.08 S&W
EX. CB RIM=1.68 INV=(-)0.98 N
EX. SS MH RIM=1.15 INV=(-)6.15 N INV=(-)6.15 E INV=(-)6.19 S
EX. CB RIM=1.47 INV=(-)1.08 S
EX. SD MH RIM= INV=(-)1.98 S&W INV=(-)1.88 E
EX. CB RIM=1.82 INV=(-)1.18 N
EX. SS MH RIM=6.99 INV=1.90
EX. 30" SD
EX. 15" SD
EX. 24" SD
EX. 18" SD
EX. 12" DIP WM
EX. 8" PVC SAN. SEWER
EX. 6" DIP WM
EX. 8" DIP WM
EX. 2' VALLEY GUTTER
EX. 6" SEWER LATERAL
EX. ELECTRIC
ASPHALT PAVEMENT
EX. 2' VALLEY GUTTER
EX. 12" DIP WM
EX. 8" PVC SAN. SEWER
EX. 6" DIP WM
EX. 8" DIP WM
EX. 2' VALLEY GUTTER
EX. 6" SEWER LATERAL
EX. 12" DIP WM
EX. 8" PVC SAN. SEWER
EX. 24" SD
EX. 30" SD
EX. 15" SD
EX. 12" DIP WM
EX. 8" PVC SAN. SEWER
EX. 6" DIP WM
EX. 8" DIP WM
EX. 2' VALLEY GUTTER
EX. 6" SEWER LATERAL
EX. 12" DIP WM
EX. 8" PVC SAN. SEW

GENERAL NOTES

1. Floating turbidity barriers are to be paid for under the contract unit price for Floating Turbidity Barrier, LF.
2. Staked turbidity barriers are to be paid for under the contract unit price for Staked Turbidity Barrier, LF.

LEGEND

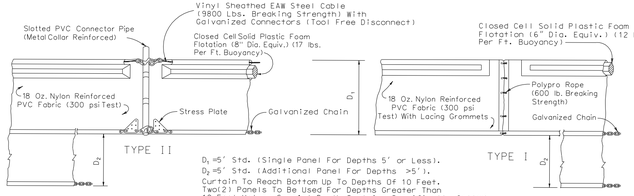
- Pile Locations
- Dredge Or Fill Area
- Mooring Buoy w/Anchor
- Anchor
- Barrier Movement Due To Current Action



NOTES:

1. Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
2. Number and spacing of anchors dependent on current velocities.
3. Deployment of barrier around pile locations may vary to accommodate construction operations.
4. Navigation may require segmenting barrier during construction operations.
5. For additional information see Section 104 of the Standard Specifications.

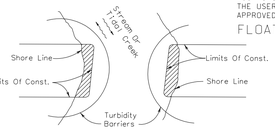
TURBIDITY BARRIER APPLICATIONS



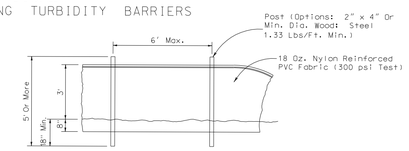
D_1 =5' Std. (Single Panel For Depths 5' or Less).
D_2 =5' Std. (Additional Panel For Depths >5').
Curtain To Reach Bottom Up To Depths Of 10 Feet. Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.

NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS



Note:
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractors option unless otherwise specified in the plans. however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.



STAKED TURBIDITY BARRIER

TURBIDITY BARRIER DETAILS PER FDOT INDEX NO. 103

PROJECT:

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM
TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.25 INCHES OR MORE

INSPECTOR..... DATE:.....
INSPECTOR'S QUALIFICATIONS:
.....
.....
.....
DAYS SINCE LAST RAINFALL..... AMOUNT OF LAST RAINFALL ..... INCHES

STABILIZATION MEASURES

INSPECTION AREA DESCRIPTION OF LOCATION	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? YES/NO	STABILIZED WITH	CONDITION

STABILIZATION REQUIRED:
.....
.....
.....
TO BE PERFORMED BY:..... ON OR BEFORE:.....

PAGE 1OF 4

PROJECT:

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM
STRUCTURAL CONTROLS

DATE:.....

EARTH DIKES/SWALES

DIKE OR SWALE	FROM	TO	IS DIKE/SWALE STABILIZED ?	IS THERE EVIDENCE OF BYPASS OR OVERTOPPING

MAINTENANCE REQUIRED FOR EARTH DIKES/SWALES:
.....
.....
.....
TO BE PERFORMED BY:..... ON OR BEFORE:.....

CATCH BASIN/CURB INLET/OUTFALL TURBIDITY CONTROLS

STRUCTURE/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE	ARE EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING ?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING	DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL

MAINTENANCE REQUIRED FOR CATCH BASIN/CURB INLETS/OUTFALLS TURBIDITY CONTROLS:
.....
.....
.....
TO BE PERFORMED BY:..... ON OR BEFORE:.....

PAGE 2 OF 4

PROJECT:

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM
SEDIMENT BASIN

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT ?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN:
.....
.....
.....
TO BE PERFORMED BY:..... ON OR BEFORE:.....

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT BE TRACKED OF TO ROAD ?	IS THE GRAVEL COVER IN A FULLOW WITH SEDIMENT	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE TO LEAVE THE SITE ?	IS THE DIGGERY BENEATH THE ENTRANCE WORKING (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE:
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.....
.....
TO BE PERFORMED BY:..... ON OR BEFORE:.....

PAGE 3 OF 4

PROJECT:

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN:
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REASONS FOR CHANGES:
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.....
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.
.....
SIGNATURE:.....
DATE:.....

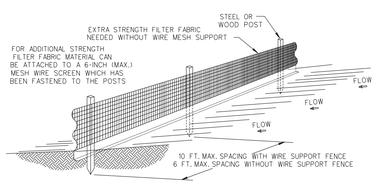
PAGE 4 OF 4

NOTE TO CONTRACTOR:

THIS IS THE CONTRACTORS CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 1 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURSDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQURED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MANTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIROMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

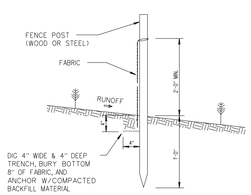
EROSION CONTROL NOTES DETAIL D9.1



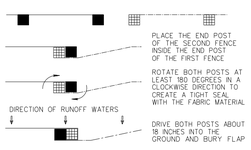
NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2

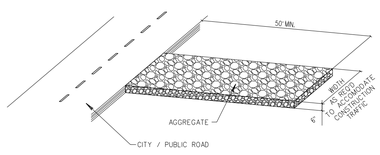


SILT FENCE SECTION
NOT TO SCALE



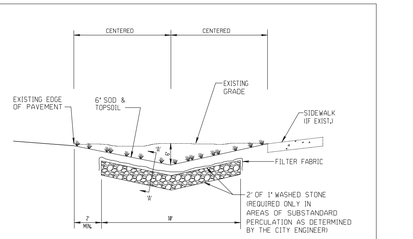
ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THINK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C



SECTION 'A'-'A'
NOT TO SCALE

NOTE:

1. CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL D10.1

REVISIONS:
1. 2. 3. 4. 5. 6. 7. 8.

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(954) 920-5746
kaller@bellsouth.net

PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK:
STORMWATER POLLUTION PREVENTION PLAN

GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 818
Phone: (954) 986-0899
Fax: (954) 986-0635
email: gary@ggbeng.com
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312

DATE:	SCALE:
April 2018	N.T.S.
DESIGNED BY: G.G.B.	DRAWN BY: F.M.

PROJECT NO. 18-0410

SHEET 7

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER

STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION CAUSED BY STORM WATER RUN OFF.AN EROSION PROTECTION PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINT AIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL,STATE AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT

DURING CONSTRUCTION,STORM WATER DRAINAGE WILL BE PROVIDED BY UTILIZATION OF THE EXISTING DRAINAGE COLLECTION SYSTEM IN THE STREET RIGHT OF WAY OF POLK STREET AND NORTH 19TH AVENUE.THE EXISTING SYSTEM CONVEYS STORM WATER RUNOFF VIA DRAINAGE PIPES TO THE ATLANTIC OCEAN. AFTER STORMWATER UTILITIES ARE INSTALLED,STORM WATER DRAINAGE WILL BE PROVIDED BY CATCH BASINS,EXFILTRATION TRENCH AND DRAINAGE WELLS. DURING VARIOUS PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL UTILIZE STAKED SILT FENCE AND/OR HAY BALE S OR OTHER BEST MANAGEMENT PRACTICES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS SET FORTH BY LOCAL,STATE AND FEDERAL REQUIRMENTS.

TIMING OF CONTROLS/MEASURES

IT IS THE CONTRACTOR IS RESPONSIBE FOR THE TIMING OF CONTROLS AND MEASURES AS REQUIRED TO MEET REQUIREMENTS.

CERTIFICATION OF COMPLIANCE WITH FEDERAL,STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL,STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS,THE FOLLOWING PERMITS HAVE BEEN OBTAINED.

- _ERP APPLICATION__
- __BRO COUNTY DPEP

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED.BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM,OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION,THE INFORMATION SUBMITTED IS,TO THE BEST OF MY KNOWLEDGE AND BELIEF,TRUE,ACCURATE,AND COMPLETE.I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION,INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN.IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES:

SEQUENCE OF MAJOR ACTIVITIES:

1. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
2. DEMO AND CLEAR SITE
3. INSTALL UNDERGROUND UTILITIES.
4. COMPLETE FINAL GRADING OPERATIONS.
5. CONTINUE WITH E&S CONTROL MEASURES.
6. START BUILDING FOUNDATION.
7. CONTINUE WITH E&S CONTROL MEASURES.
8. COMPLETE BUILDING CONSTRUCTION.
9. CONTINUE WITH E&S CONTROL MEASURES.
10. COMPLETE CURB AND SIDEWALK CONSTRUCTION
11. REMOVE ACCUMULATED SEDIMENTS FROM STORM WATER MANAGEMENT SYSTEM.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES,THE SILT FENCES AND HAY BALES WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY PORTIONS OF THE SITE. AS CONSTRUCION PROCEEDS,THE CONTRACTOR MUST BE DILIGENT TO UN-INSTALL AND RE-INSTALL PORTIONS OR ALL OF THE SILT FENCE OR HAY BAYS OR TAKE OTHER MEASURES NECESSARY TO MAINTAIN THE SYSTEM IN ACCORDANCE WITH ALL REGULATIONS.

ENDANGERED SPECIES AND CRITICAL HABITAT

1. ARE THERE ENDANGERED SPECIES ON SITE? NO.
2. ARE THERE CRITICAL HABITAT ON SITE? NO.

IF YES TO EITHER QUESTION,PLEASE EXPLAIN.

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE GRADING,DRAINAGE & EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED,MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE GRADING,DRAINAGE & EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES,AS REQUIRED,TO ENSURE THE SITE MEETS ALL FEDERAL,STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE GRADING,DRAINAGE & EROSION CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES (IF APPLICABLE):

1. HAY BALE BARRIER: HAY BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
   A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
   B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
   C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
   D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT.IF NECESSARY,MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.

   REFER TO EROSION CONTROL DETAILS FOR CONSTRUCTING THE HAY BALE BARRIER. ALSO REFER TO THE GRADING,DRAINAGE & EROSION CONTROL PLAN FOR PROPER LOCATION
2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
   A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
   B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.

   REFER TO THE EROSION CONTROL DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.
3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS.THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED.THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN,RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE MINIMIZED.
7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
8. DUST CONTROL: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL TREATMENT WITHIN 30 DAYS SHALL BE STABILIZED.
9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.
11. TEMPORARY REGRASSING : IF, AFTER 14 DAYS FROM SEEDING,THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER,THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.
14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL,AS A MINIMUM,BE SEEDED.THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION.SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.

STRUCTURAL PRACTICES (IF APPLICABLE):

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA.
   THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:
   A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.
   B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED,BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED AREAS.
   C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA ($S < 5\%$) AND WHERE SHEET OR OVERLAND FLOWS ($Q < 0.5$ CFS) ARE TYPICAL.THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS.
3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY.SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
4. SEDIMENT BASIN: (NOT APPLICABLE)

OTHER CONTROLS

WASTE DISPOSAL (IF APPLICABLE):

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER.THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL.ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT,THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS,WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT,THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS,WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE.THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS.THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT AS NEEDED TO REMOVE ANY EXCESS MUD,DIRT OR ROCK TRACKED FROM THE SITE.DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

[X] Concrete	[X] Fertilizers	[X] Wood
[X] Asphalt	[X] Petroleum Based Products	[X] Masonry Blocks
[X] Tar	[X] Cleaning Solvents	[X] Roofing Materials
[X] Detergents	[X] Paints	[X] Metal Studs
[ ] _______	[ ] _______	[ ] _______

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT,ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND,IF POSSIBLE,UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE,ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED;THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF,MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.ONCE APPLIED,FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA.THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN,THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE.EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS,DUST PANS,MOPS,RAGS, GLOVES,GOGGLES,LIQUID ABSORBENT (i.e.KITTY LITTER OR EQUAL), SAND,SAWDUST,AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY,REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE.A DESCRIPTION OF THE SPILL,WHAT CAUSED IT,AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS,WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING.THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP.THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE,IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

NO MORE THAN 5 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT,AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.

ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER;IF A REPAIR IS NECESSARY,IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT,TEARS,TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS,AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS,WASHOUTS,AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED.
  THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER,ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS,OR STORM WATER MANAGEMENT PLANS.
  THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS,MAINTENANCE AND REPAIR ACTIVITIES,AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT.THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER LINE FLUSHING
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
- UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

RESPONSIBLE FOR/DUTIES	BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	SIGNATURE
GENERAL CONTRACTOR		
SUB-CONTRACTOR		
SUB-CONTRACTOR		
SUB-CONTRACTOR		
SUB-CONTRACTOR		

REVISIONS:
1.
2.
3.
4.
5.
6.
7.
8.

CLIENT:
Kaller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746
kaller@bellsouth.net

PROJECT:
BEACHSIDE RESIDENCES
3319 N. OCEAN DRIVE
HOLLYWOOD FLORIDA

TASK:
STORMWATER POLLUTION PREVENTION PLAN

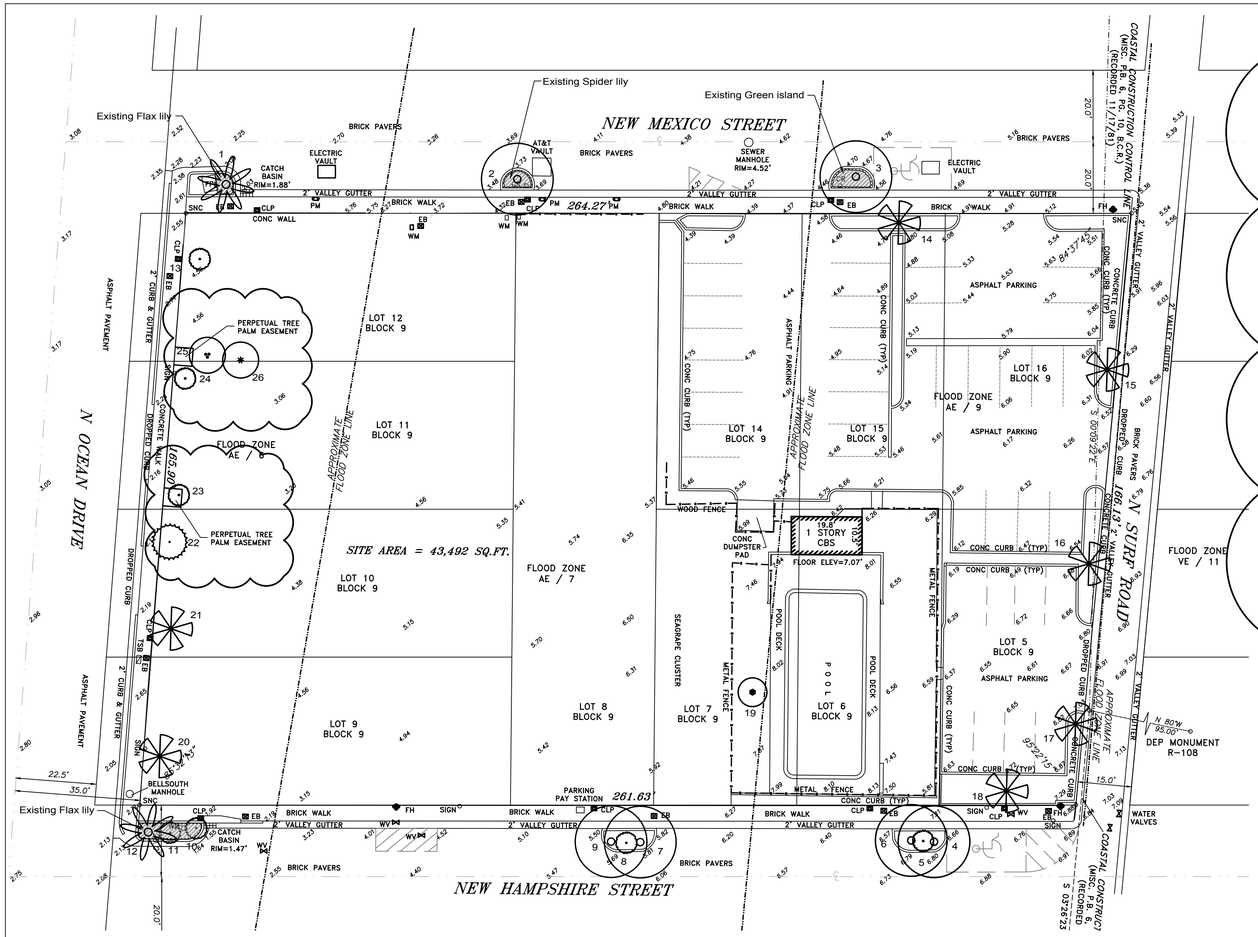
GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118
2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312
Phone: (954) 986-9899
Fax: (954) 986-6655
email: gary@ggbeng.com

DATE:	SCALE:
April 2018	N.T.S.
DESIGNED BY:	DRAWN BY:
G.G.B.	F.M.

PROJECT NO.
18-0410

SHEET
8

GARY G. BLOOM, P.E.
FLA LIC. No. 19832
NOT VALID UNLESS SIGNED AND SEALED BY ENGINEER



EXISTING TREES INVENTORY

	Common/Botanical name	Size	Condition	Action
1	Medjool Date Palm/*Phoenix dactylifera*	14"C 14' CT	80% good	Remain
2	Coconut Palm/*Cocos nucifera*	12" C 20' CT	75% good	Remain
3	Coconut Palm/*Cocos nucifera*	14" 20' CT	65% good	Remain
4	Coconut Palm/*Cocos nucifera*	12" 20' CT	65% good	Relocate
5	Thatch Palm/*Thrinax radiata*	6" C 6' CT	75% good	Relocate
6	Coconut Palm/*Cocos nucifera*	12"C 18" CT	70% good	Relocate
7	Coconut Palm/*Cocos nucifera*	12"C 14" CT	65% good	Remain
8	Thatch Palm/*Thrinax radiata*	6" C 6' CT	80% good	Remain
9	Coconut Palm/*Cocos nucifera*	12"C 16" CT	65% good	Remain
10	Thatch Palm/*Thrinax radiata*	6" C 6' CT	80% good	Remain
11	Thatch Palm/*Thrinax radiata*	6" C 6' CT	80% good	Remain
12	Medjool Date Palm/*Phoenix dactylifera*	18"C 14' CT	65% good	Remain
13	Thatch Palm/*Thrinax radiata*	4"C 35' CT	75% good	Remove/Mitigate
14	Foxtail Palm/ *Vodyetia bifurcata* *	4"C 7' OAH	dead	Remove/Mitigate
15	Foxtail Palm/ *Vodyetia bifurcata* *	4"C 8' OAH	10% poor	Remove/Mitigate
16	Foxtail Palm/ *Vodyetia bifurcata* *	4"C 10' OAH	5% dead	Remove/Mitigate
17	Foxtail Palm/ *Vodyetia bifurcata* *	5"C 12' OAH	20% poor	Remove/Mitigate
18	Foxtail Palm/ *Vodyetia bifurcata* *	4"C 7' OAH	5% dead	Remove/Mitigate
19	Adinidia Palm/*Adonidia merrilli*	8"C 7' CT double	60% fair	Remove/Mitigate
20	Foxtail Palm/ *Vodyetia bifurcata*	8"C 16' CT	50% fair	Remove/Mitigate
21	Foxtail Palm/ *Vodyetia bifurcata*	8"C 16' CT	50% fair	Remove/Mitigate
22	Sabal Palm/*Sabal palmetto*	12"C 12' CT	80% good	Remove/Mitigate
23	Thatch Palm/*Thrinax radiata*	8"C 8/22' CT double	70% good	Relocate
24	Thatch Palm/*Thrinax radiata*	8"C 12/24' CT double	80% good	Relocate
25	Ligustrum/*Ligustrum japonicum*	8" 12'x8' multistem	50% fair	Remove/Mitigate
26	Frangipani/*Plumeria* spp	5"C 16'x8'	70% good	Remove/Mitigate

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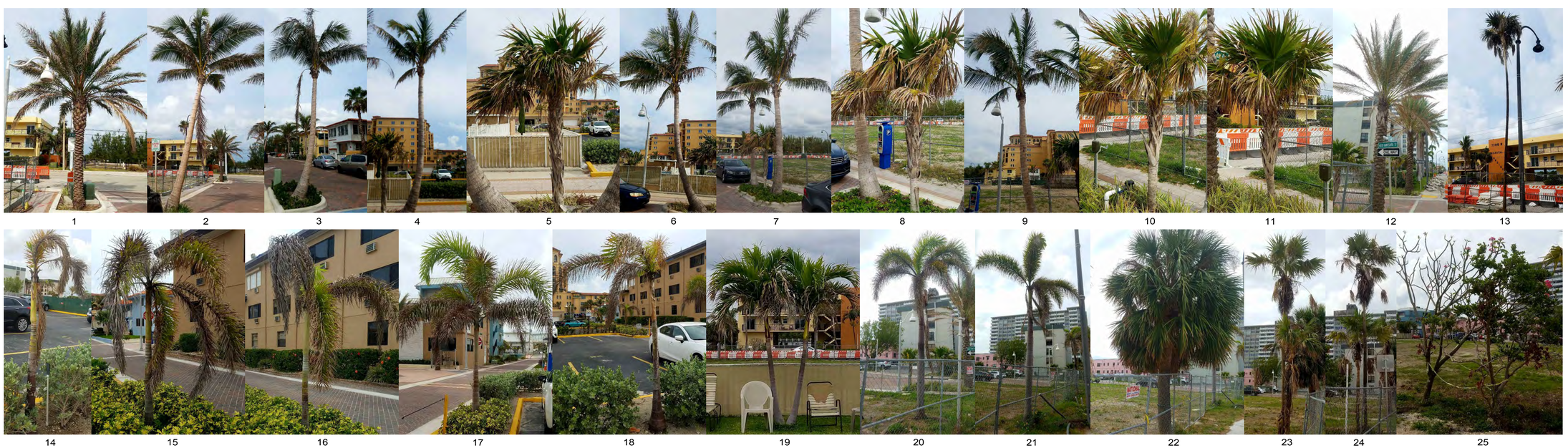


Gabriela Fojt
LA 6667277

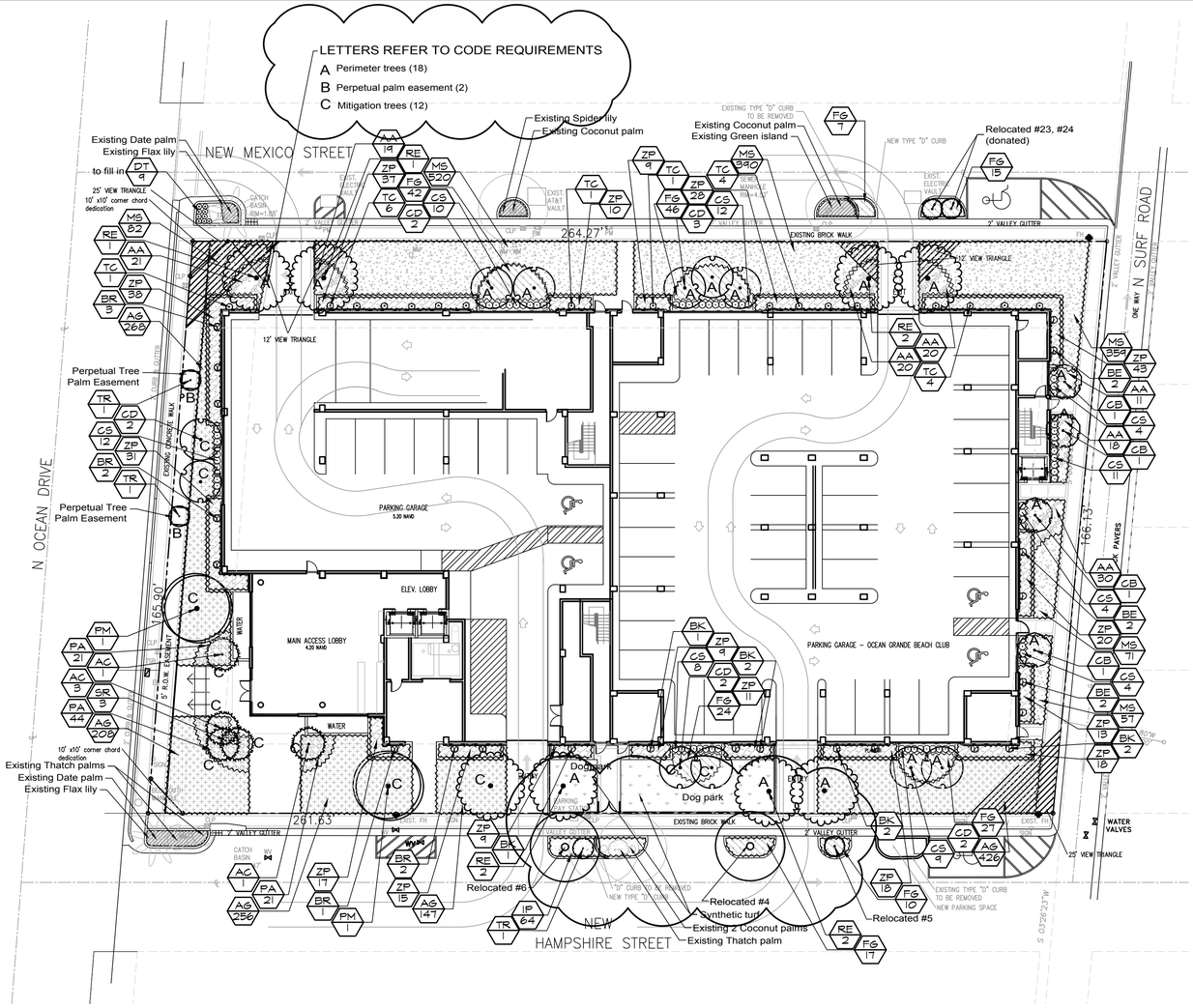
The Mirror of Paradise Inc.
3924 N. Ocean Blvd.
Fort Lauderdale
FL 33308
Tel (954) 478 3064
www.florida-landscape.com

SCALE	1" = 20'-0"
DESIGNED BY	GF GW
DRAWN BY	GF GW
CHECKED BY	GF GW
CAD DWG.	
DATE	04.26.18
REVISIONS	
Per City comments	05.14.18
Per City comments	06.26.18

BEACHSIDE RESIDENCES CONDOMINIUM

3319 N. OCEAN BLVD
HOLLYWOOD, FL 33019

TREE REMOVAL PLAN



PLANT SCHEDULE GROUND LEVEL

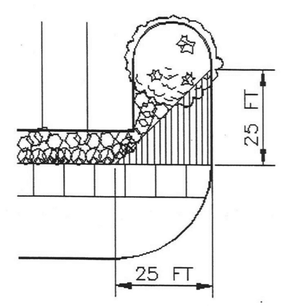
TREES	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
AC	Adonidia merrillii single / Christmas Palm, matched	12' CT single	AS SHOWN	5
CD	Coccoloba diversifolia / Pigeon Plum	12' OA 2" DBH	AS SHOWN	11
CB	Cordia boissieri / White Geiger	12' OA 2" DBH	AS SHOWN	4
PM	Phoenix dactylifera 'Medjool' / Date Palm	16' CT with nut	AS SHOWN	2
RE	Roystonea elata / Florida Royal Palm	8' GW Matched	AS SHOWN	8
TR	Thrinax radiata / Florida Thatch Palm	8' CT	AS SHOWN	3

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
BK	Bougainvillea x 'Barbara Karst' / Bougainvillea Karst	25 gal	AS SHOWN	8
BE	Bougainvillea x 'Palm Beach' purple / Palm Beach Bougainvillea	25 gal	AS SHOWN	6
BR	Bougainvillea x 'Raspberry Ice' / Raspberry Ice Bougainvillea Trellis	25 gal	AS SHOWN	8
CS	Clusia guttifera / Small Leaf Clusia	7 gal 3' OA	36" O.C.	74
DT	Dianella tasmanica / Flax Lily	3 gal	fill in ex	9
SR	Strelitzia reginae / Orange Bird Of Paradise	15 gal	AS SHOWN	3
TC	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine	25 gal	AS SHOWN	17

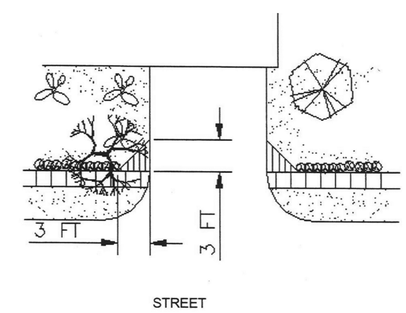
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
AA	Agapanthus africanus / Lily of the Nile	3 gal 18" OA	24" O.C.	139
AG	Arachis glabrata / Perennial Peanut	4"	18" O.C	1,305
FG	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	24" O.C.	188
IP	Ipomoea pes-caprae / Railroad vine	1 gal	18" O.C	64
MS	Mimosa strigillosa / Sensitive Plant	1 gal	18" O.C	1,479
PA	Plumbago auriculata / Blue Plumbago	3 gal 15"OA	24" O.C.	86
ZP	Zamia pumila / Coontie	3 gal 15"OA	24" O.C.	326

Mulch all beds as indicated on detail

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PLANT, SOD AND MULCH AMOUNTS FOR BIDDING PURPOSES.
PLAN DRAWING TAKES PRECEDENCE OVER ANY QUANTITY SCHEDULES.



VIEW TRIANGLE AT CORNER



VIEW TRIANGLE AT ACCESSWAY

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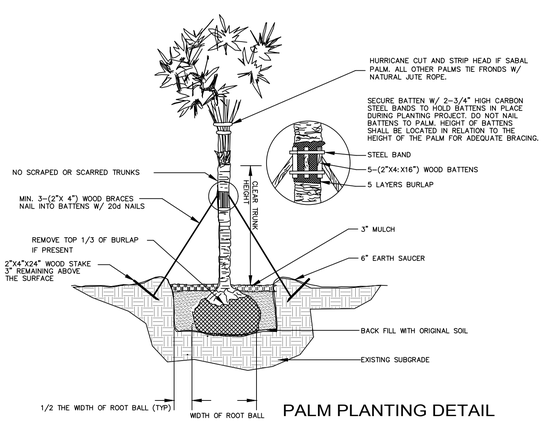
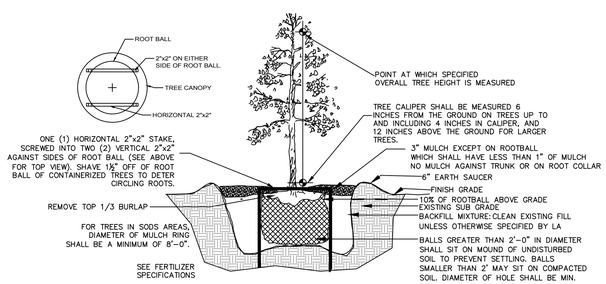
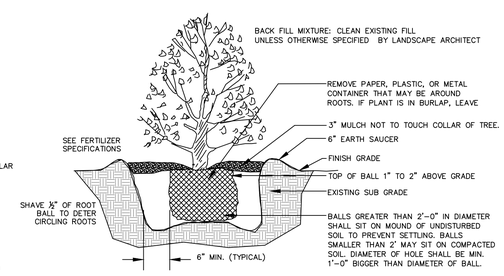


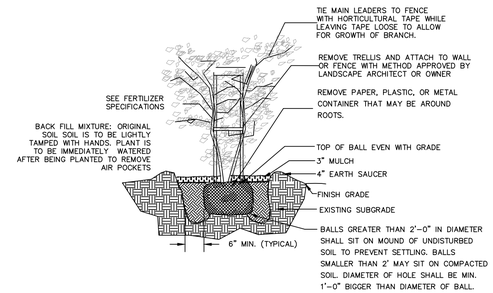
PALM PLANTING DETAIL



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



VINE PLANTING DETAIL

Gabriela Fojt
LA 6667277

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Per City comments	05.14.18
Per City comments	06.25.18

BEACHSIDE RESIDENCES CONDOMINIUM
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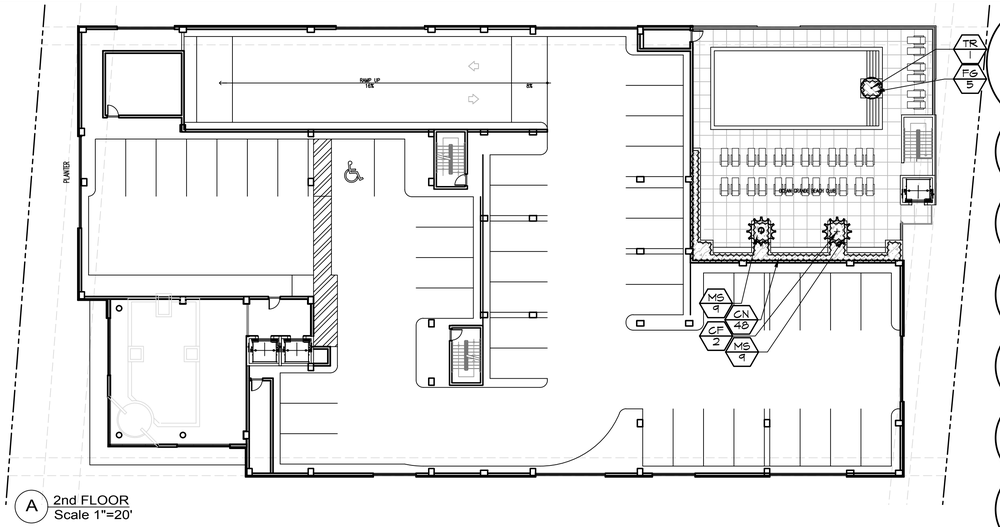
HOLLYWOOD, FL 33019

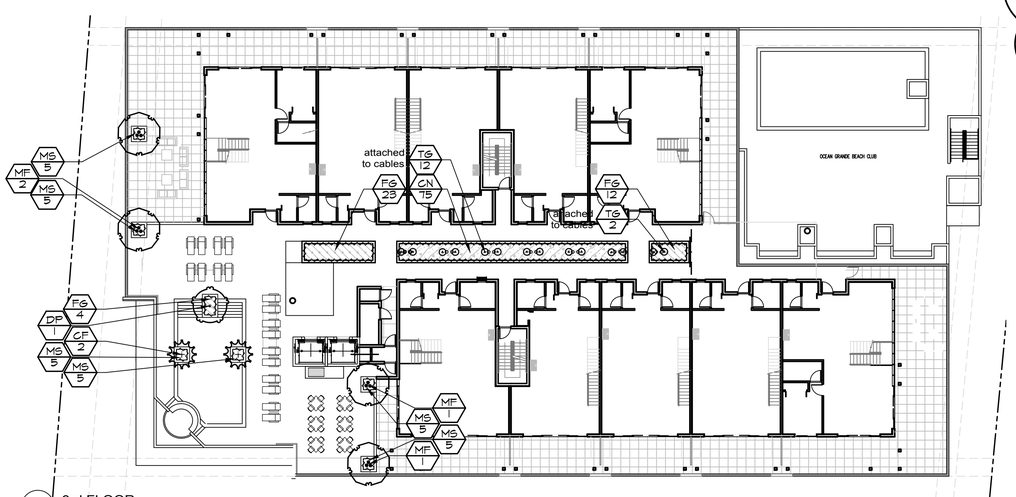
LANDSCAPE PLAN - 1ST FLOOR, PLANT LIST



A 2nd FLOOR
Scale 1"=20'

PLANT SCHEDULE SECOND FLOOR

TREES	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
CF	Coccothrinax argentata / Florida Silver Palm	6' OA	AS SHOWN	2
TR	Thrinax radiata / Florida Thatch Palm	8' CT	AS SHOWN	1
SHRUB AREAS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**SPACING**	**QTY**
CN	Clusia rosea 'Nana' / Dwarf Pitch Apple	3 gal 15"OA	24" O.C.	48
FG	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	24" O.C.	5
MS	Mimosa strigillosa / Sensitive Plant	1 gal	18" O.C	18



B 3rd FLOOR
Scale 1"=20'

PLANT SCHEDULE THIRD FLOOR

TREES	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
CF	Coccothrinax argentata / Florida Silver Palm	6' OA	AS SHOWN	2
DP	Dictyosperma album / Princess Palm	6' CT	AS SHOWN	1
MF	Myrcianthes fragrans / Sompson's stopper	12' OA, min 3 trunks1.5" each	AS SHOWN	4
SHRUBS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**SPACING**	**QTY**
TG	Thunbergia grandiflora / Sky Flower	25 gal pole grown	AS SHOWN	14
SHRUB AREAS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**SPACING**	**QTY**
CN	Clusia rosea 'Nana' / Dwarf Pitch Apple	3 gal 15"OA	24" O.C.	75
FG	Ficus microcarpa 'Green Island' / Green Island Ficus	3 gal 12" OA	24" O.C.	39
MS	Mimosa strigillosa / Sensitive Plant	1 gal	18" O.C	30

City of Hollywood Landscape Requirements BRT-25

Condition	Requirement	Provided
PERIMETER LANDSCAPE		
-One Tree per 50' of street frontage (858/50=18)	18	18
(7 Royal Palm, 4 Geiger, 7 Pigeon Plum)		
MITIGATION TREES AND PALMS	12	12
(1 Royal Palm ,2 Date Palm, 4 Pigeon Plum, 5 Adonidia palms)		
VEHICULAR USE AREA		
-Terminal Islands at ends of all parking areas	N/A	N/A
OPEN SPACE (Min 40% open landscape area)		
-Site area 43,492SF x 40%	17,397sf	9950sf
-One Tree per 1000SF open space (17,397/1000)	18	30
-Required tree species/variety	3	5
-Minimum 60% of required trees as Native	11	17
-Maximum 50% of required trees may be palms	9 (max)	9
DESIGN REVIEW		
-Complies with Design Review Guidelines for Landscaping	YES	YES
VIEW TRIANGLE		
-Clear site triangles at all drives and intersections	YES	YES
IRRIGATION		
-Provide 100%+ coverage by auto sprinkler system	YES	YES
(In accordance with City of Hollywood and SFWMD)		
OTHER		
-Apply Xeriscape principles to proposed landscape design	YES	YES
-Utilize plant species compatible with highly saline areas	YES	YES
-Trees to be 12'oah, 2" DBH at time of planting	YES	YES
-Palms to have minimum 8'CT at time of planting	YES	YES
-50% of all required shrubs to be Florida Native	YES	YES

- A city of Hollywood tree removal/relocation permit will be required for any tree removal or relocation as part of this project. Application is available online from public works section of city website, or in RM308 in City Hall.

GENERAL LANDSCAPE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
2. CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
3. ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, MARCH 1998
4. PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF MILORGANITE PER 6 CU. YDS.
5. TREES & PALMS GUARANTEED TO BE IN HEALTHY THRIVING CONDITION FOR ONE YEAR FROM PROJECT COMPLETION.
6. APPLY 3" MELALEUCA\EUCALYTUS MULCH AROUND ALL PLANTS WITHIN 2 DAYS.
7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
8. WHERE THERE IS A DISCREPENCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
9. ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SODDED WITH FLORATAM SOD. SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS
10. ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 50% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
11. TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
12. ROOT FLARES TO BE SET ABOVE GRADE AND VISIBLE WITH ROOT SYSTEMS 10% ABOVE FINAL GRADE AT TIME OF PLANTING.
13. LANDSCAPING SHALL COMPLY WITH ALL ZONING AND LAND DEVELOPMENT REGULATIONS.

HOLLYWOOD LANDSCAPE NOTES

1. PLANT MATERIAL WILL NOT BE PLANTED INTO ROOT BALLS OF TREES AND PALMS.
2. THERE WILL BE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER.

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SUNSHINE STATE ONECALLING OF FLORIDA, INC.
IT'S THE LAW

NOTE:
INDICATED UTILITIES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR UTILITY DAMAGE.

JOB CONDITIONS:

Any building construction material or foreign material shall be removed from planting areas and replaced with acceptable top soil.

Care shall be taken not to disturb or damage any underground construction or utilities. Any damage to these facilities during the planting operations will be repaired at the expense of the Landscape Contractor in a manner approved by the Owner. Where underground obstructions will not permit the planting materials in accordance with the plans, new locations shall be approved by the Landscape Architect.

Landscape work shall be coordinated with the landscape irrigation work. Landscape Contractor shall ensure that no plantings will interfere with the proper coverage. Landscape Contractor shall point out situations where minor adjustments or relocation or addition of sprinklers heads may be most beneficial for the landscape work as a whole.

PLANT MATERIAL:

Plant species and size shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, LATEST EDITION. All plant material shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS, latest edition published by the Florida Department Agriculture and Consumer Services. All plants not otherwise specified as Florida Fancy, or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Grade Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly-knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and shrubs for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the Plant List, the plants furnished shall be normal for the variety.

All container grown material shall be healthy, vigorous, well-rooted plants and established in the container. The plants shall have tops which are good quality and are in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container long enough for the new fibrous roots to have developed enough to hold the root mass together when removed from the container. Root bound plants will not be accepted.

Site water shall be verified by Contractor prior to submission of bids.

The use of natural material is strongly encouraged for balled and burlapped plants. All synthetic material shall be completely removed from root ball PRIOR to planting.

At time of bid, Contractor shall submit a written schedule of all sources for coconut palms as well as seed sources for coconuts. Coconuts shall be certified Malayan Green with a certified seed source from Jamaica.

TREES:

The most critical factor for selecting a healthy Florida Number 1 tree is the structure. This consists of one central main trunk and leader. Branches are considered competing if they are 2/3 the diameter of the leader or greater. Competing branches may be acceptable if they occur above 50% of the overall height of the tree. Caliper of tree should meet specifications. Leader (center trunk) may have slight (<15 degree) bow (Tabebuia caraiba excluded), but must be intact with apical (leading) bud.

Branches should be spread evenly (staggered, alternating) through the tree branches spaced no closer than 4".

Canopy should be full to specifications with little or no openings or holes. A thinning canopy will be taken into consideration with field dug plant material.

Trees should have no open wounds or damage, flush cuts, chlorosis, shorter or taller than specified height, girdling roots, undersize loose root ball, crossing branches, smaller than normal leaves.

10% of root ball shall be above grade after planting. Root ball tying ropes removed from trunk and top of root ball.

MULTIPLE TRUNK TREES:

Trees having no distinct leader. Trunks on these trees should not be touching and free of damage and similar in size. Canopy should be full and uniform.

RELOCATED TREES:

These trees may not conform to grades and standards, yet do have quality criteria which effect the health, longevity and safety of the tree (and person which may contact tree). This is NOT meant to be a guideline for transplanting trees, but rather the criteria by which relocated trees will meet Town, County, State or governing agency guidelines. Trees which require excessive pruning should NOT be used. Damaged or dead relocated trees will be replaced with appropriate number of caliper inches and species equal to relocated or dead tree, as approved by the Landscape Architect.

No more than 20% of the foliage should be removed for any reason (excluding Sabal Palms). Trees should be corrected for any structural defects, touching branches, dead or rotting wood, V-shaped branching or branching which may effect human safety issues post relocation. Topping a relocated tree is not acceptable.

Damage to the trunk/branches will not exceed 10% of the trunk diameter and 2" in height.

Any major limb or canopy pruning will be qualified and performed by a Certified Arborist.

IRRIGATION

Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by owner and Landscape Architect.

MATERIALS LIST:

Landscape Contractor shall be responsible for verifying all quantities for material shown on drawings prior to submitting a bid. Planting plan shall take precedence over the plant list. Final quantity of sod and mulch shall be verified.

SUBSTITUTIONS:

No substitutions shall be made without the approval from the Landscape Architect and/or the Owner. Intended substitutions shall be indicated on the bid.

MEASUREMENTS:

Canopy Trees- Height shall be measured from the ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Caliper (d.b.h.) will be measured 4'-6" above grade.

Shrubs- Height shall be measured from the ground. Spread shall be measured to the end of branching equally around the shrub mass.

Palms- Clear trunk (C.T.) shall be measured from the ground to the point where the mature aged trunk joins the immature or green part of the trunk or head.

Overall height (O.A.) shall be measured from the ground to the tip of the unopened bud.

IRRIGATION:

100% irrigation coverage shall be provided. Provide bubblers on separate zones for all newly planted and transplanted trees unless alternate approach to provide additional water is approved by Owner and Landscape Architect.

GUARANTEE:

All new plant materials shall be guaranteed for one year from the time of acceptance and shall be alive and in satisfactory growth for each specific kind of plant at the end of the guarantee period. The Landscape Contractor shall not be responsible for damage caused by vandalism, violent wind storms or other acts of God beyond control. Replacement shall occur within two weeks of rejection and guaranteed six months from date of installation. Landscape Contractor shall repair damage to other plants or lawns during plant replacements at no additional cost.

MULCH:

Mulch shall not contain sticks 1/4" in diameter or stones. Apply 3" of mulch except on top of tree rootballs and against woody shrubs. Rootballs will receive less than 1" mulch with no mulch touching trunk or root collar. Do not apply mulch against the trunks of woody shrubs.

SOD:

All sod shall be installed in such a manner that there is an even surface, staggered pattern. Sod will be green in color and in good health. NO overlap, gaps, damage, insects, disease and less than 10% chlorosis will be permitted. All gaps will be filled with clean native soil.

STAKING:

Landscape Contractor to suggest alternate means of staking for approval with Landscape Architect if staking methods shown are not feasible due to site conditions.

FERTILIZER:

Manufacturer's Specification: Submit manufacturer's specification sheet(s) for approval of product. Submit tags from bags of fertilizer used on site to the Architect. Submit copies of the manufacturer's specifications or analysis of all fertilizer for approval.

Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. Tablet fertilizer shall be delivered in unopened containers or boxes. All bags, containers or boxes shall be fully labeled with the manufacturer's analysis.

Fertilizer shall be slow release with ratio greater than 3 to 1 nitrogen to phosphorous applied on top of backfill, per manufacturer's recommendations.

All shall comply with the State of Florida fertilizer laws.

CLEANUP:

Landscape Contractor shall at all times keep job site clean and free from accumulation of waste material, debris and rubbish.

INSPECTION:

Upon written request from the Contractor, Owner and/or Landscape Architect shall perform inspection to determine completion of Contract.

ACCEPTANCE:

Following inspection, Contractor will be notified, in writing, by Owner and/or Landscape Architect of acceptance of completion with regards to plant material and workmanship according to Contract.

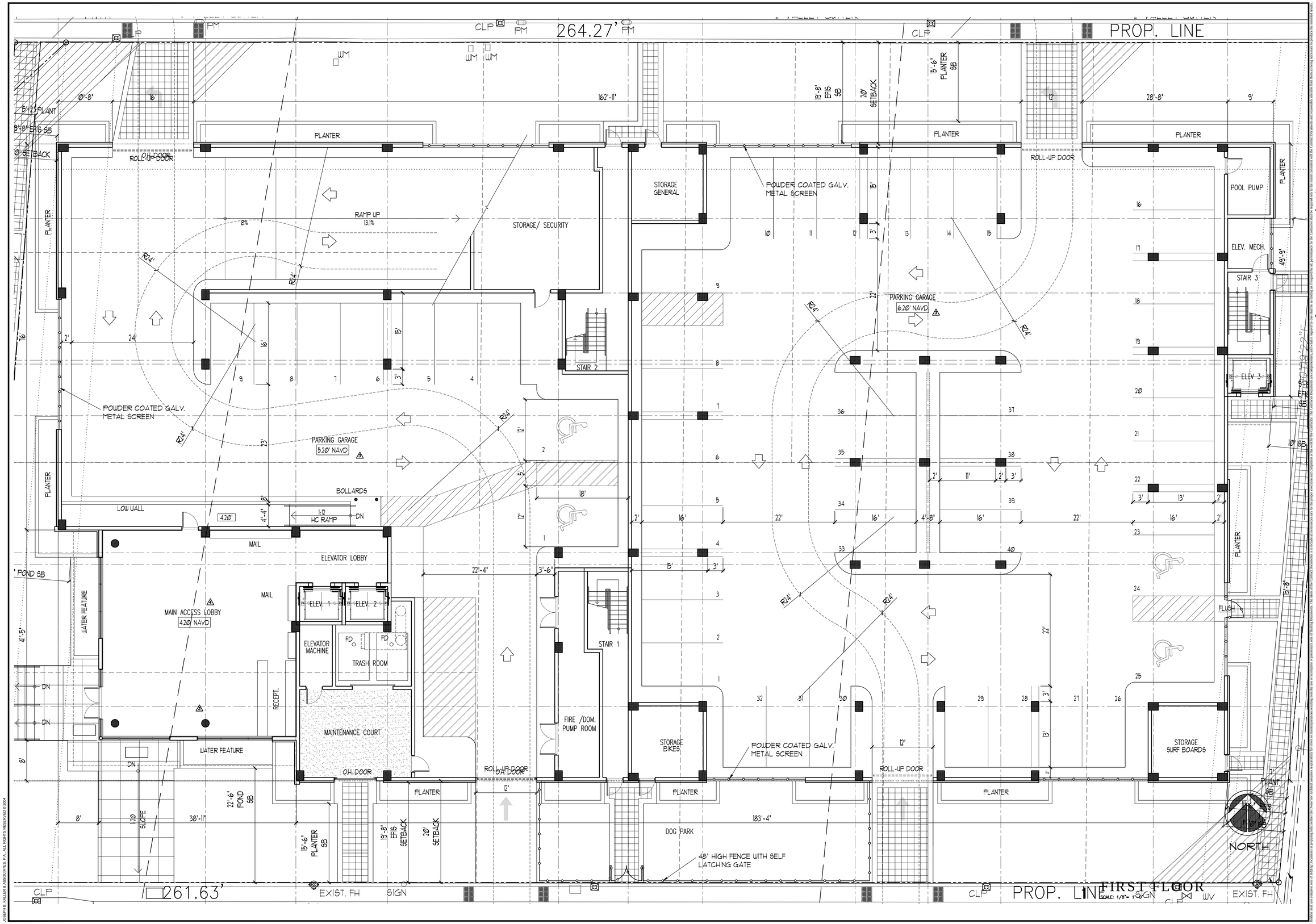
Gabriela Fojt
LA 6667277

The Mirror of Paradise Inc.
3924 N. Ocean Blvd.
Fort Lauderdale
FL 33308
Tel (954) 478 3064
www.florida-landscape.com

SCALE	AS NOTED
DESIGNED BY	GF GW
DRAWN BY	GF GW
CHECKED BY	GF GW
CAD DWG.	
DATE	04.26.18
REVISIONS	
Per City comments	05.14.18
Per City comments	06.25.18

BEACHSIDE RESIDENCES CONDOMINIUM
3319 N. OCEAN BLVD
HOLLYWOOD, FL 33019

LANDSCAPE PLAN - 2ND AND 3RD FLOOR
CODE REQUIREMENTS, NOTES



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SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE

BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE

FIRST FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	6-18-18	BUILD. DEPT.

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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-1

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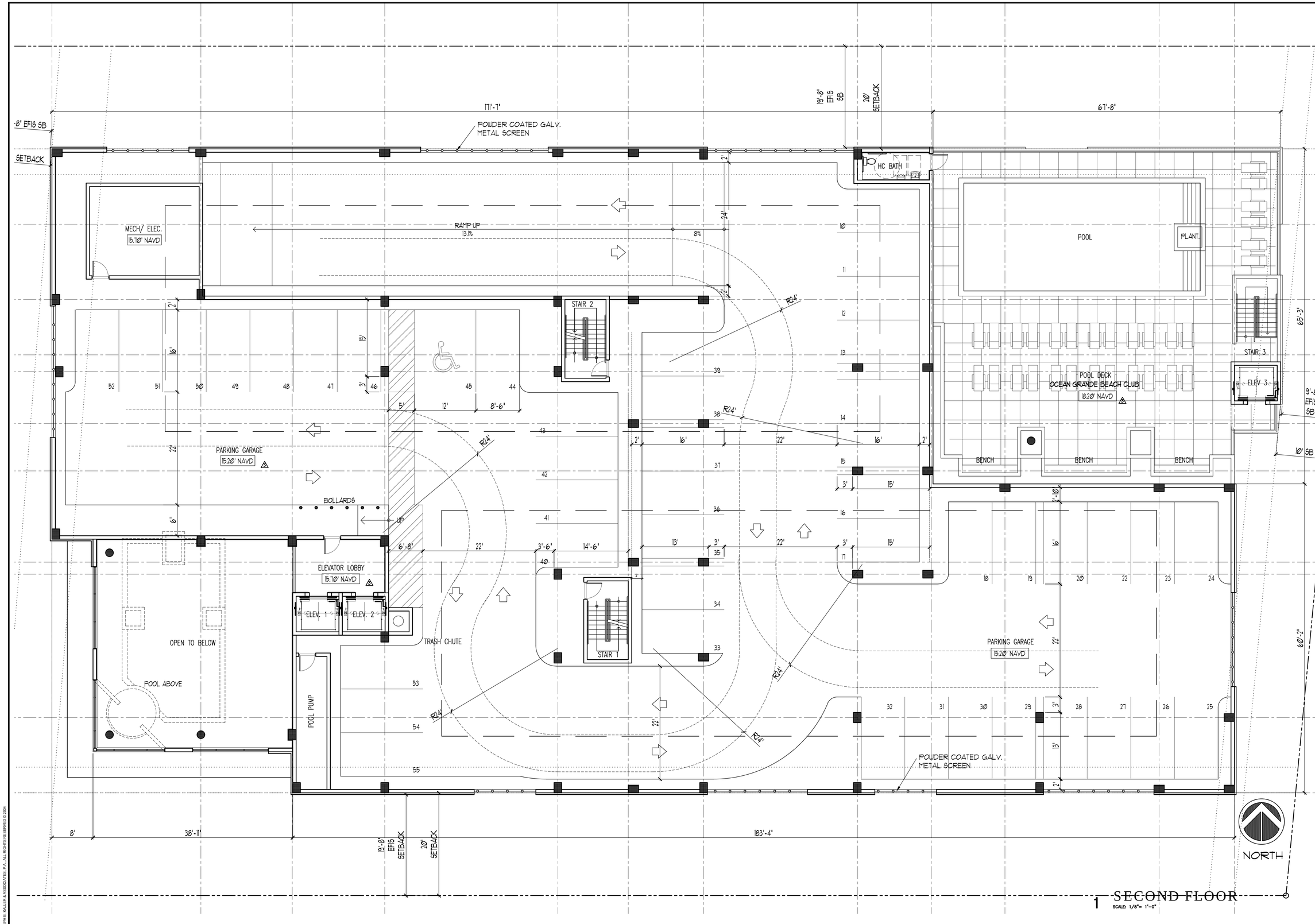

1 SECOND FLOOR
SCALE: 1/8"= 1'-0"

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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
SECOND FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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SHEET
A-2

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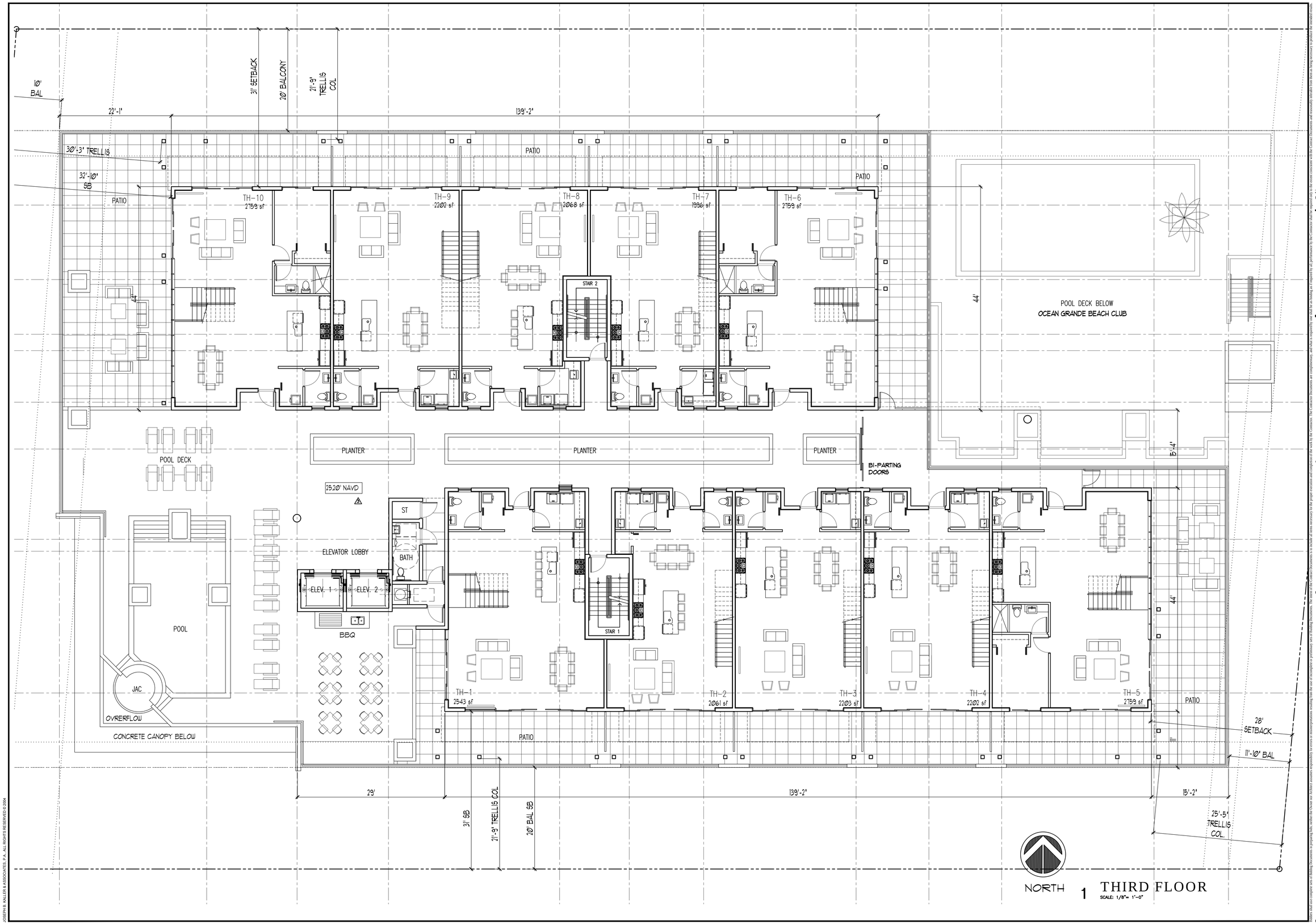

1 THIRD FLOOR
SCALE: 1/8"= 1'-0"

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PROJECT TITLE

BEACHSIDE RESIDENCES
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3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE

THIRD FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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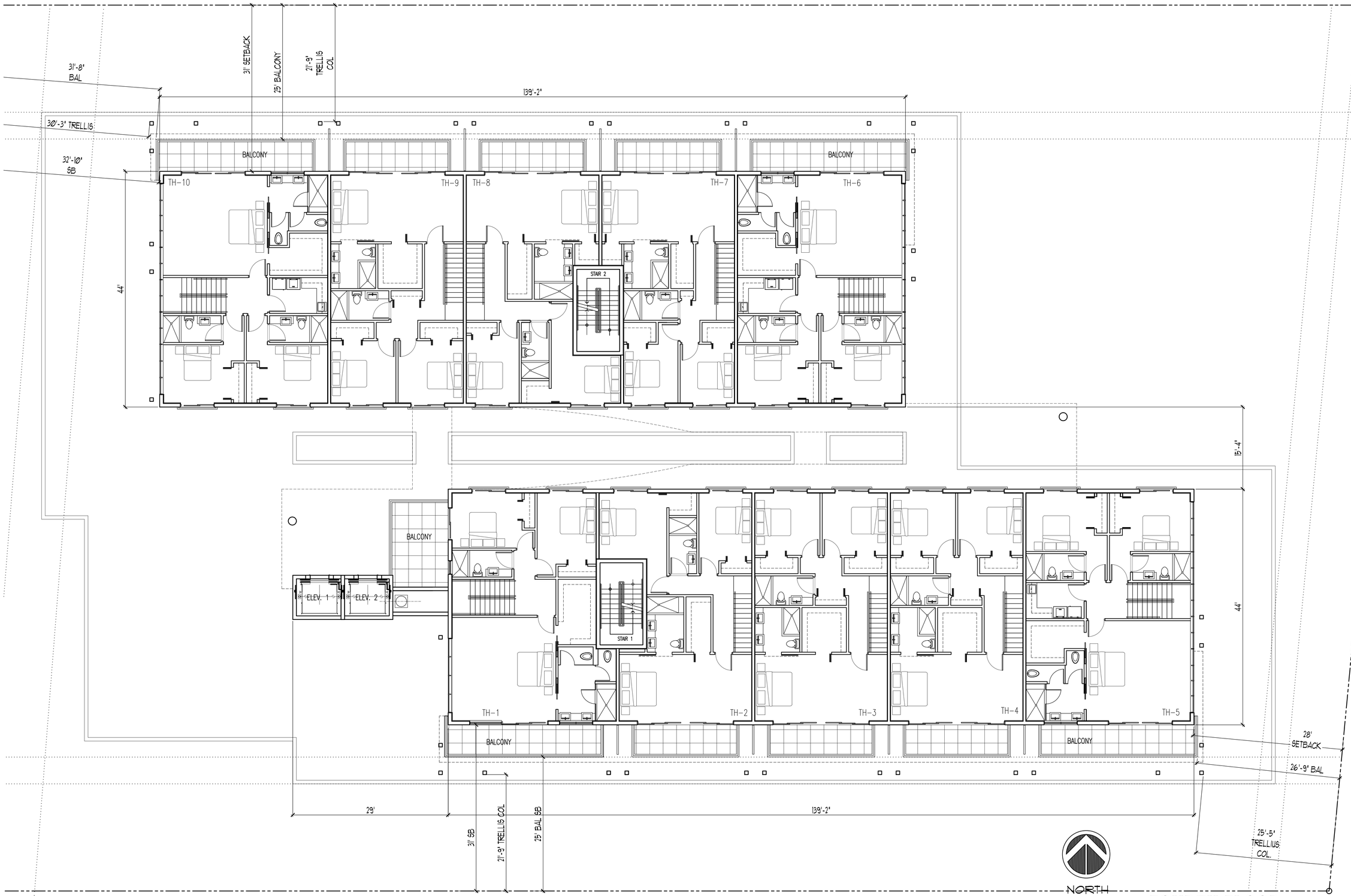
PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-3



1 FOURTH FLOOR
SCALE: 1/8"= 1'-0"

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PROJECT TITLE

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3300 N. SURF RD. + 322 NEW MEXICO ST
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HOLLYWOOD, FL 33019

SHEET TITLE

FOURTH FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-4

1 FIFTH FLOOR
SCALE: 1/8"= 1'-0"

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HOLLYWOOD, FL 33019

SHEET TITLE

FIFTH FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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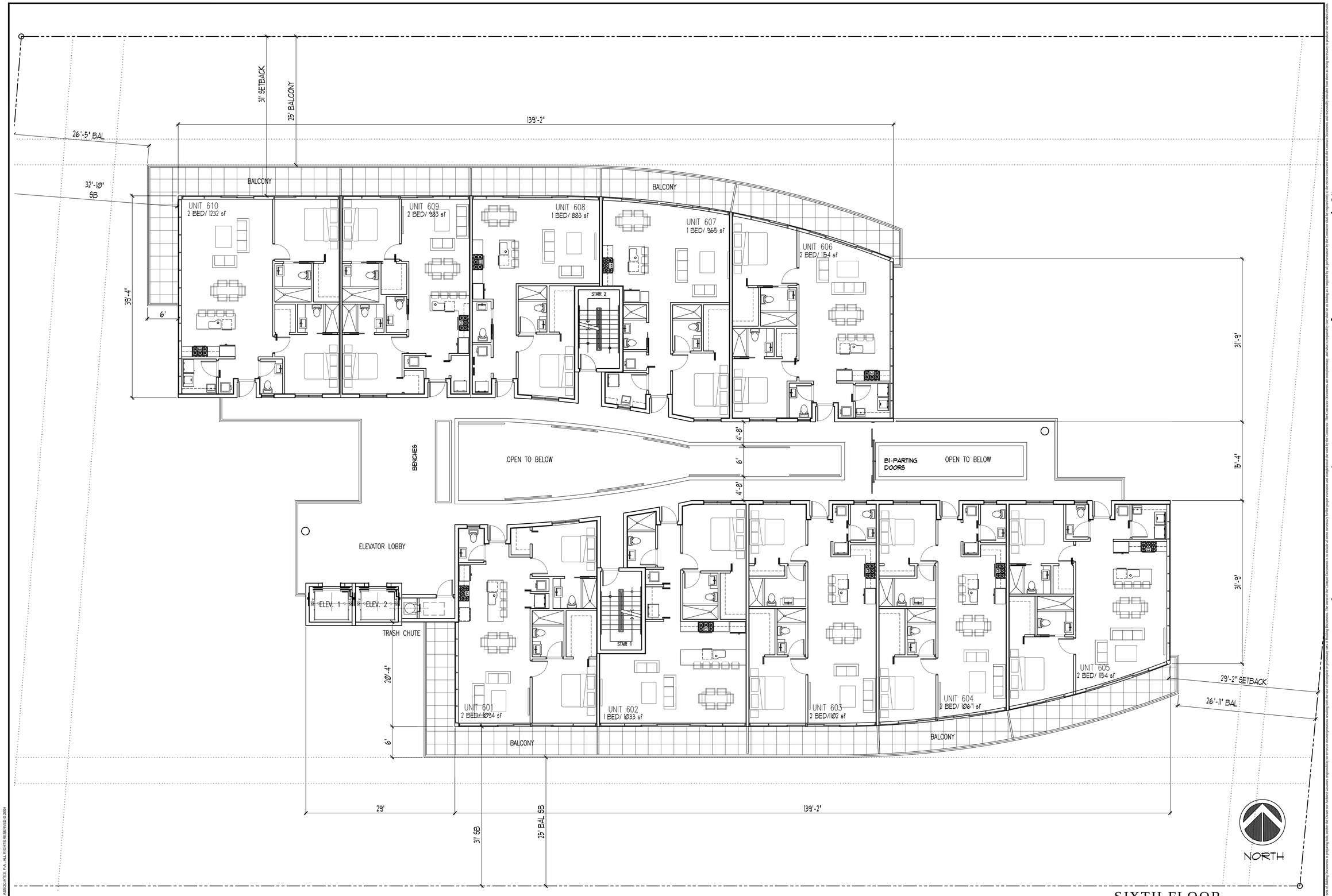
SHEET

A-5



1 SIXTH FLOOR
SCALE: 1/8"= 1'-0"

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PROJECT TITLE

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3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE

SIXTH FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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SHEET

A-6

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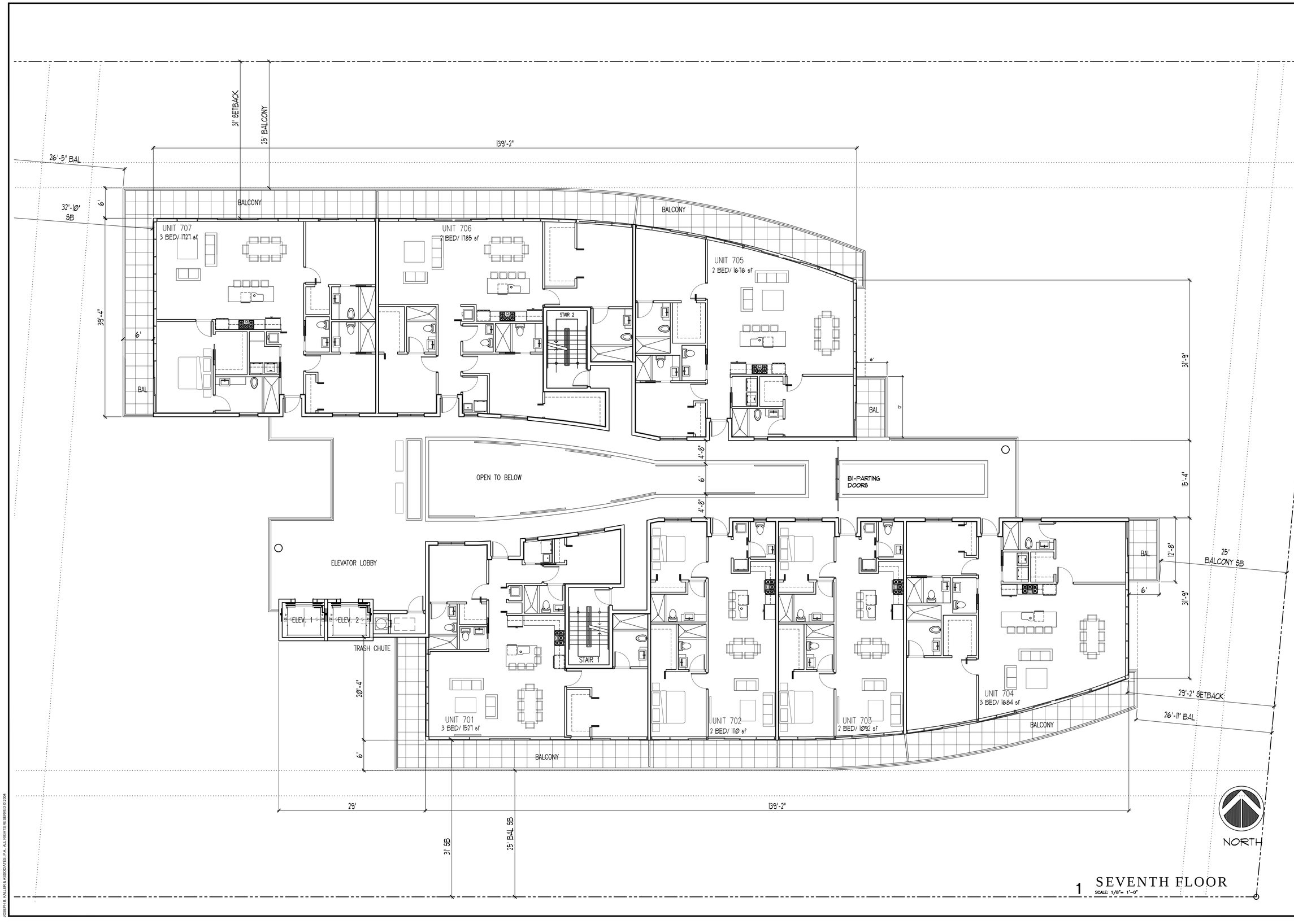

1 SEVENTH FLOOR
SCALE: 1/8"= 1'-0"

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3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE

SEVENTH FLOOR PLAN

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-17	FINAL TAC

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PROJECT No.: 17198
DATE: 2-20-18
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SHEET

A-7

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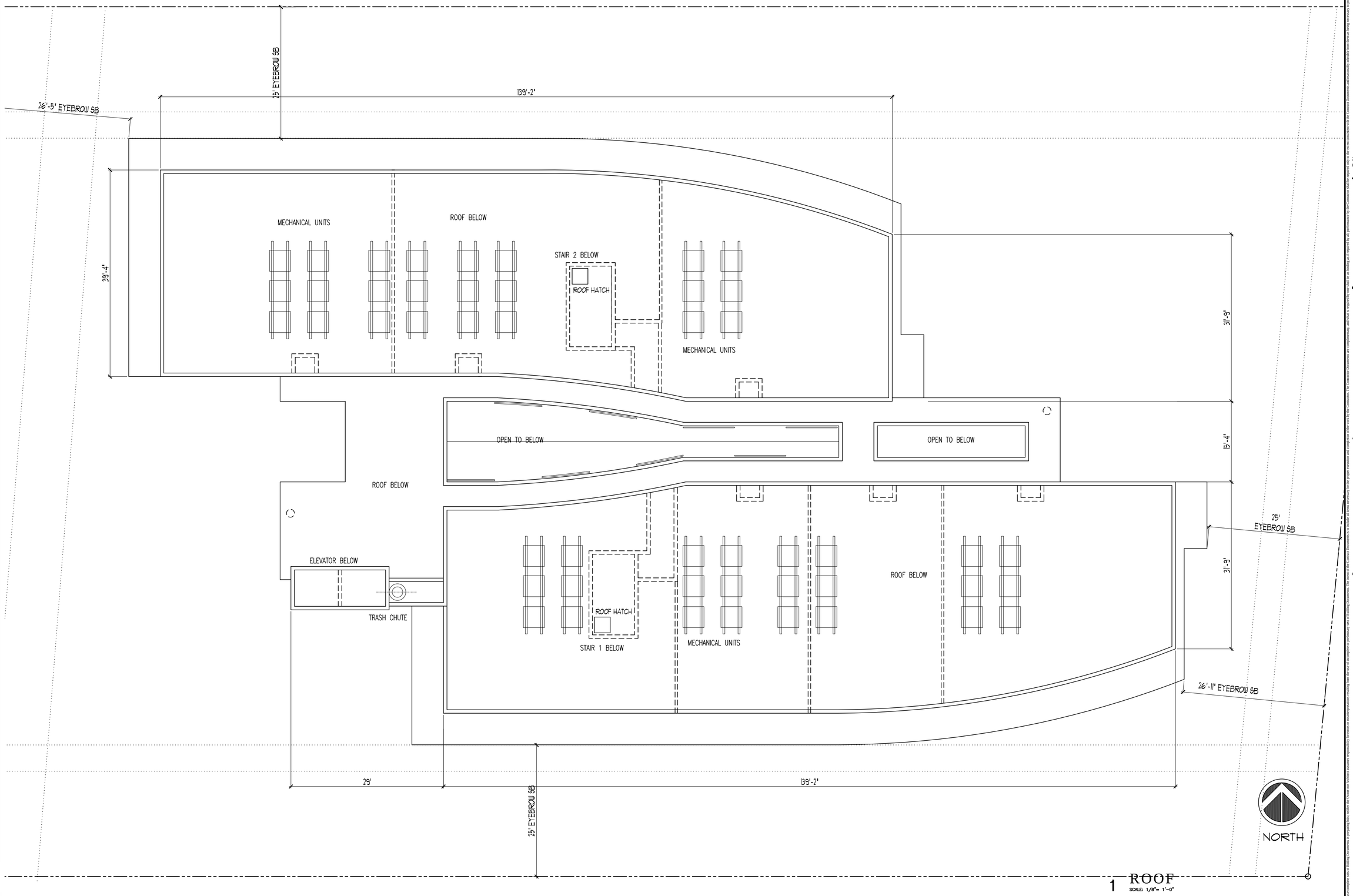

1 ROOF
SCALE: 1/8"= 1'-0"

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PROJECT TITLE

BEACHSIDE RESIDENCES
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HOLLYWOOD, FL 33019

SHEET TITLE

ROOF

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC

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PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET

A-8

1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
12. CONCRETE EYEBROW
13. VERTICAL PLANT CABLE TRELLIS
14. THREE DEMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN
20. BRONZE FRAMED SPANDREL GLASS

1 WEST ELEVATION
SCALE: 1/8"= 1'-0"

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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	7-26-18	PLANNING

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PROJECT No.: 17198
DATE: 2-20-18
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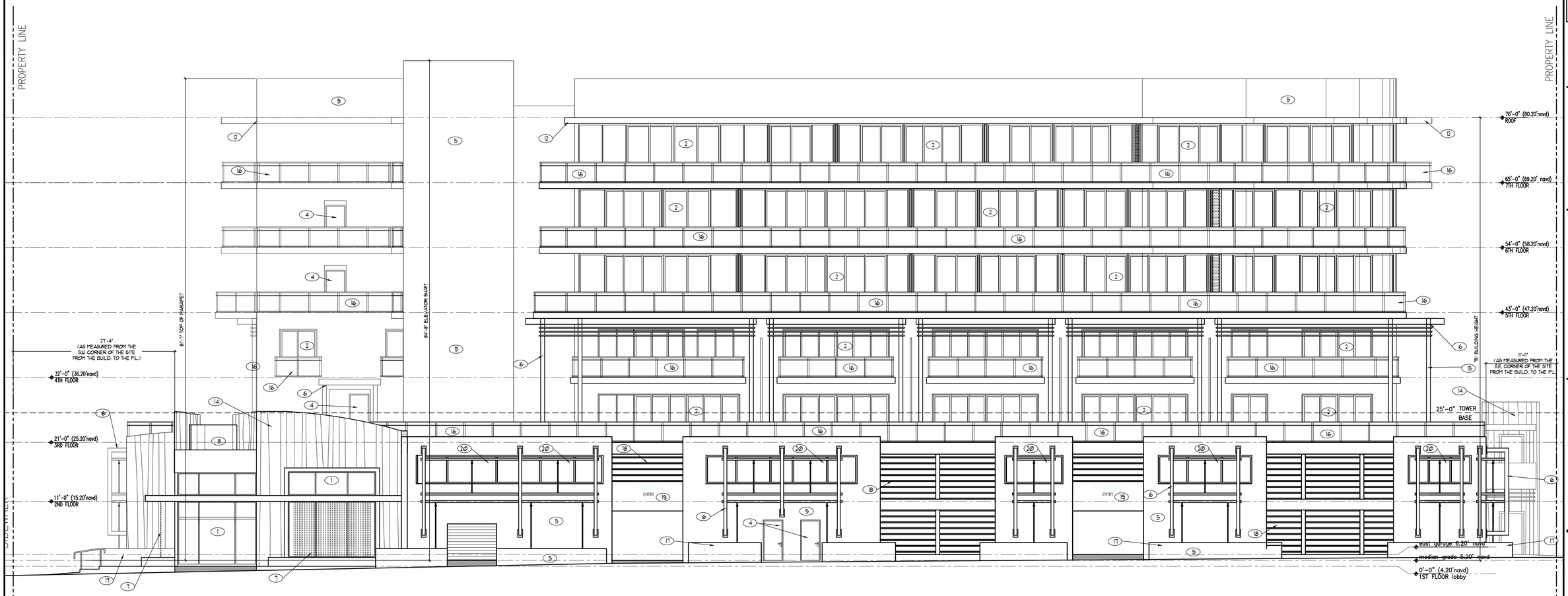
SHEET
A-9



NOTE:
THE WEST PROPERTY LINE IN THE SOUTH ELEVATION MERGES TOWARDS THE BUILDING HEADING NORTH.

NOTE:
THE EAST PROPERTY LINE IN THE SOUTH ELEVATION VEERS AWAY FROM THE BUILDING HEADING NORTH.

1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
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4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
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19. REVERSE CHANNEL LETTER BACKLIT SIGN
20. BRONZE FRAMED SPANDREL GLASS

1 SOUTH ELEVATION
SCALE: 1/8"= 1'-0"

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PROJECT TITLE
BEACHSIDE RESIDENCES
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3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS

No.	DATE	DESCRIPTION
1	4-6-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	7-26-18	PLANNING

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PROJECT No.: 17198
DATE: 2-20-18
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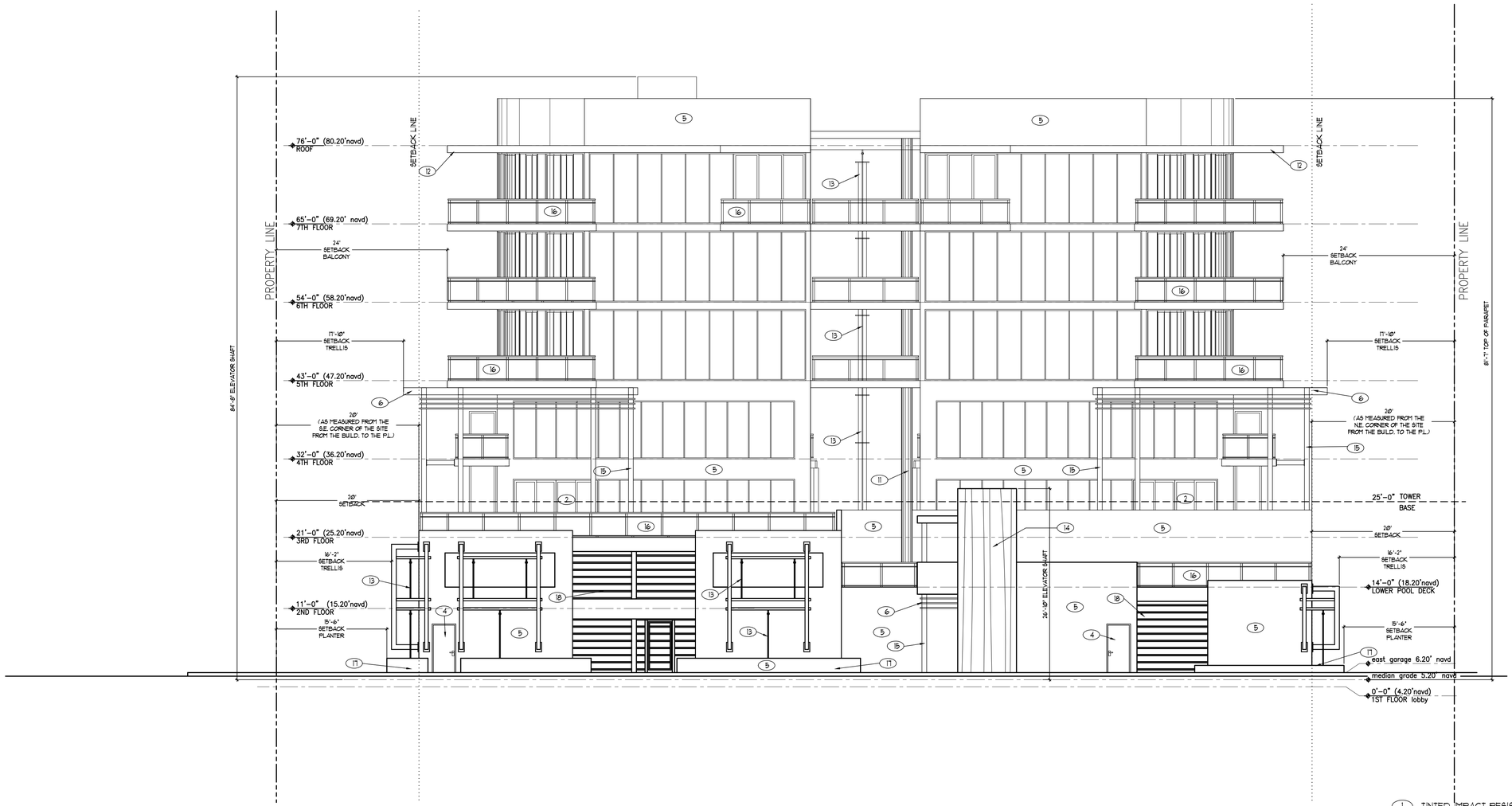
SHEET
A-10



1. TINTED IMPACT RESISTANT STOREFRONT
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17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN
20. BRONZE FRAMED SPANDREL GLASS

1 EAST ELEVATION
SCALE: 1/8"= 1'-0"

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SEAL

JOSEPH B. KALLER
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PROJECT TITLE
BEACHSIDE RESIDENCES
3300 N. SURF RD. + 322 NEW MEXICO ST
3319 N. OCEAN DRIVE + VACANT SITES
HOLLYWOOD, FL 33019

SHEET TITLE
ELEVATIONS

REVISIONS

No.	DATE	DESCRIPTION
1	4-10-18	OWNER REV
2	4-17-18	PRELIM TAC
3	5-14-18	FINAL TAC
4	7-26-18	PLANNING

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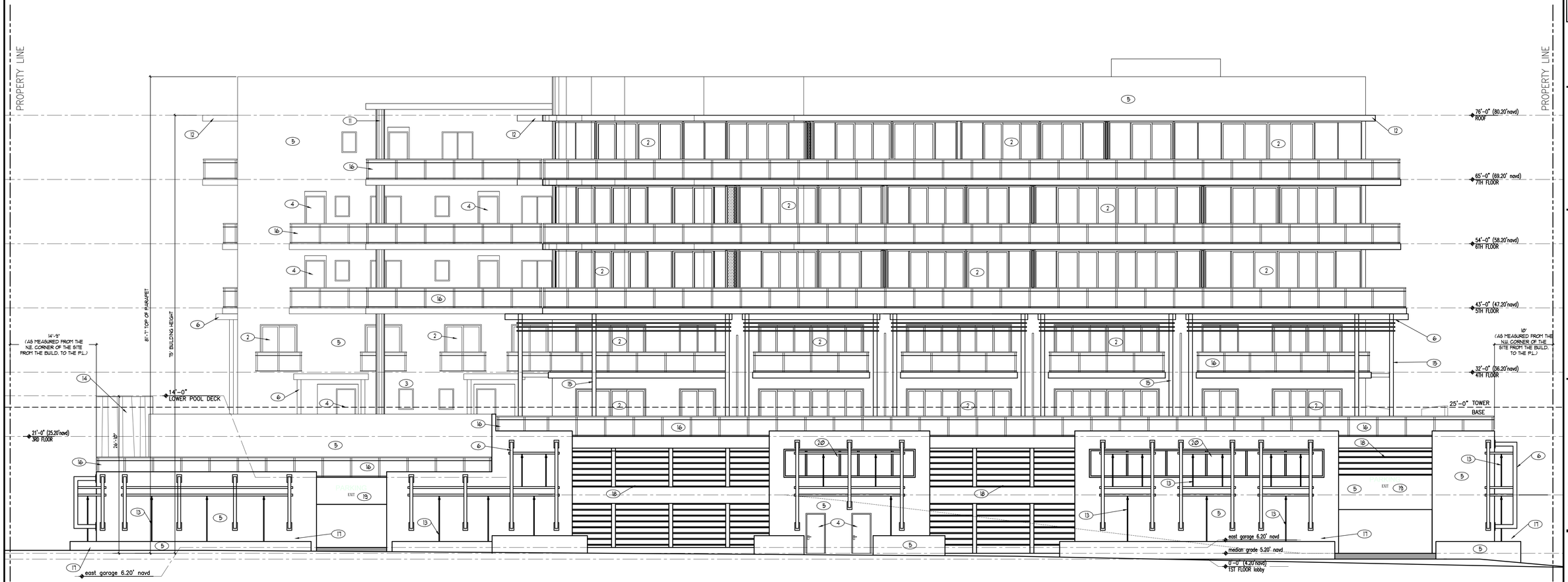
PROJECT No.: 17198
DATE: 2-20-18
DRAWN BY: TMS
CHECKED BY: JBK

SHEET
A-11



NOTE:
THE EAST PROPERTY LINE IN THE NORTH ELEVATION MERGES TOWARDS THE BUILDING HEADING SOUTH.

1. TINTED IMPACT RESISTANT STOREFRONT
2. TINTED IMPACT RESISTANT SLIDING GLASS DOORS
3. TINTED IMPACT RESISTANT WINDOWS
4. IMPACT RESISTANT PAINTED HOLLOW METAL DOORS
5. SMOOTH STUCCO WALL FINISH
6. POWDER COATED GALVANIZED METAL TRELLIS
7. WATERFALL WATER FEATURE
8. GLASS ENCLOSED SPA
9. IMPACT RESISTANT PAINTED METAL ROLL UP DOOR
10. CONCRETE CANOPY
11. CONCRETE COLUMN
12. CONCRETE EYEBROW
13. VERTICAL PLANT CABLE TRELLIS
14. THREE DEMENSIONAL PRECAST CONCRETE WALL FEATURE
15. POWDER COATED METAL COLUMN
16. IMPACT RESISTANT ALUMINUM AND GLASS RAILING
17. RAISED PLANTERS
18. POWDER COATED GALVANIZED METAL SCREEN
19. REVERSE CHANNEL LETTER BACKLIT SIGN
20. BRONZE FRAMED SPANDREL GLASS

NOTE:
THE WEST PROPERTY LINE IN THE NORTH ELEVATION VEERS AWAY FROM THE BUILDING HEADING SOUTH.

1 NORTH ELEVATION
SCALE: 1/8"= 1'-0"

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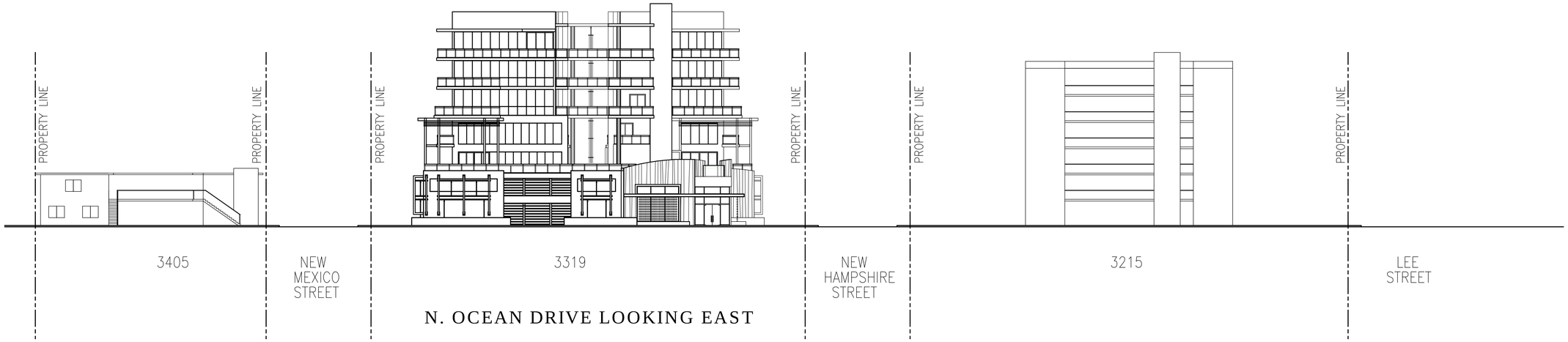
SHEET
A-12



N. OCEAN DRIVE LOOKING EAST

NEW HAMPSHIRE STREET LOOKING NORTH

NEW MEXICO STREET LOOKING SOUTH

1 CONTEXTUAL STREET ELEVATION

SCALE: 1"= 20'-0"

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CONTEXTUAL STREET ELEVATION

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SHEET

A-13

Builders shall and compute work of Building Documents in preparing bids, verifies the Owner or Architect assumes responsibility for errors or misinterpretations resulting from the use of incomplete or preliminary sets of Building Documents. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. The Contractor shall be responsible for all performance by the Contractor shall be required by or implied by the Contract Documents and shall be binding as if required by or implied by the Contract Documents.

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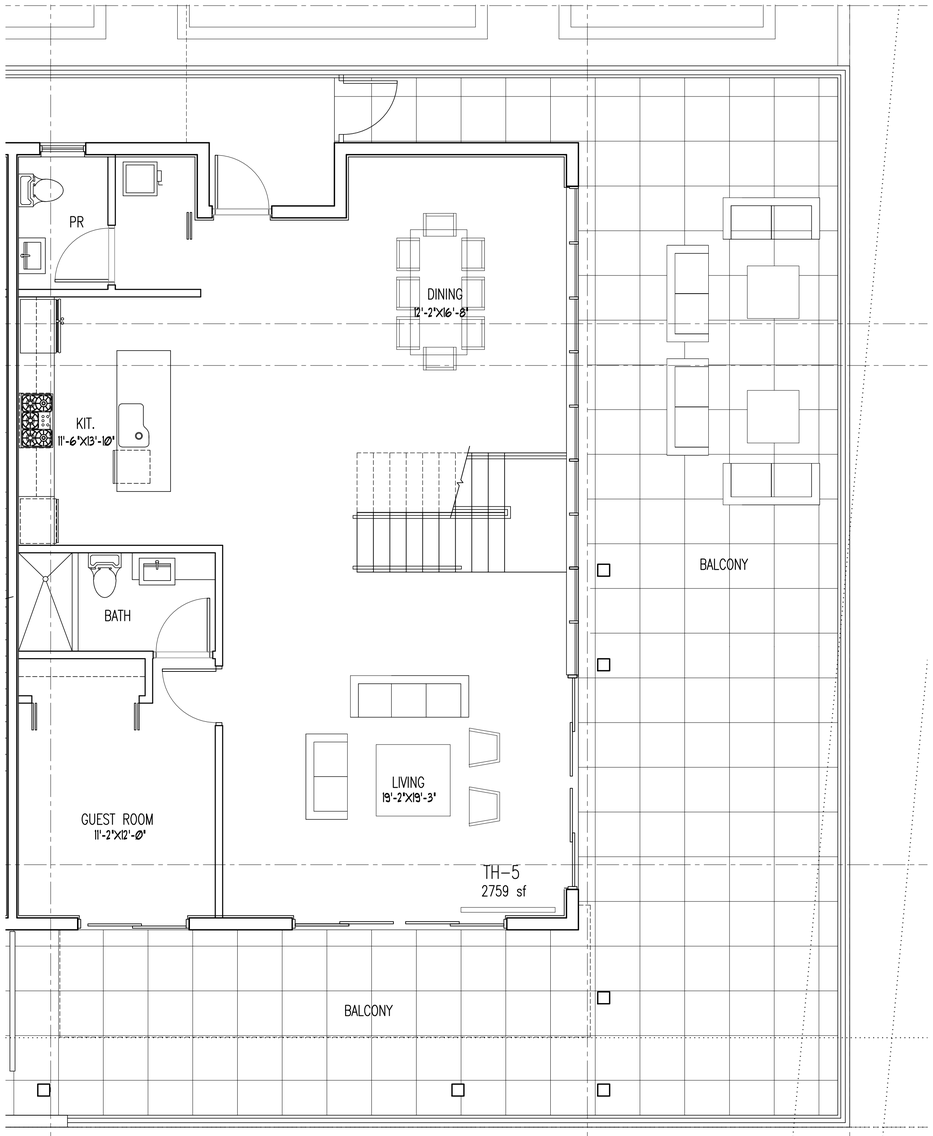
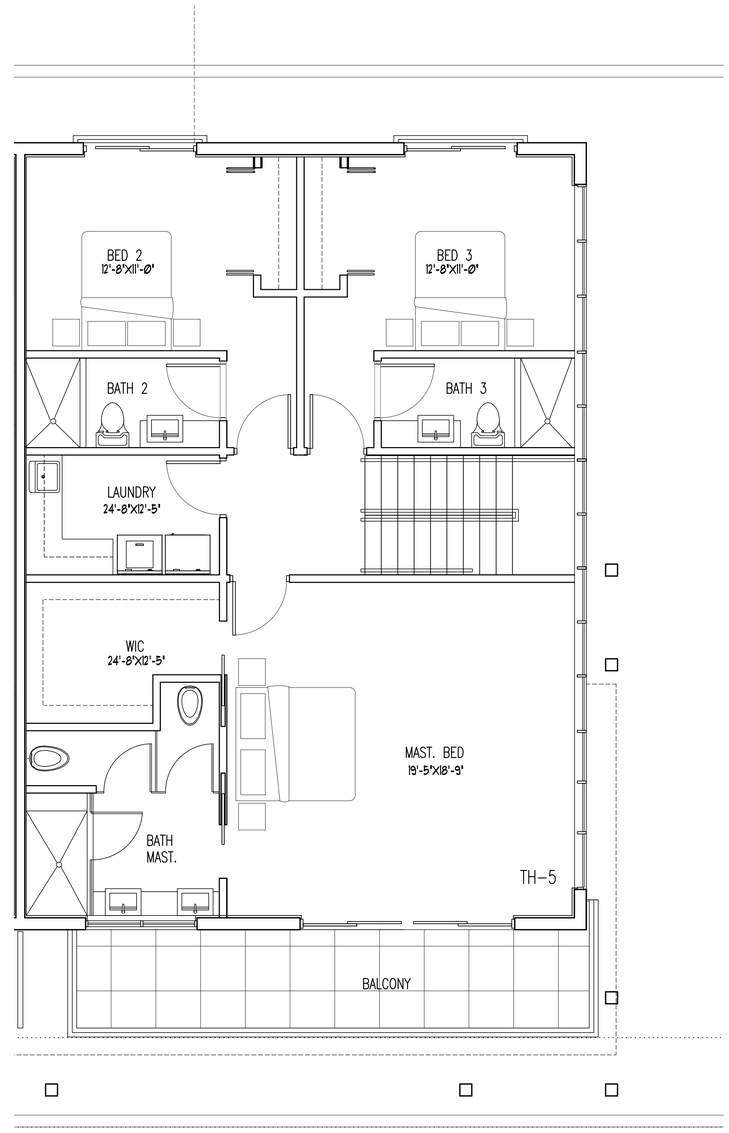


LEVEL ONE

TOWNHOUSE 5

4 BEDROOM/ 4 1/2 BATHROOMS



LEVEL TWO

NORTH

1 TYPICAL UNIT PLANS

SCALE: 1/4"= 1'-0"

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SHEET TITLE

UNIT BLOW UP PLANS

REVISIONS

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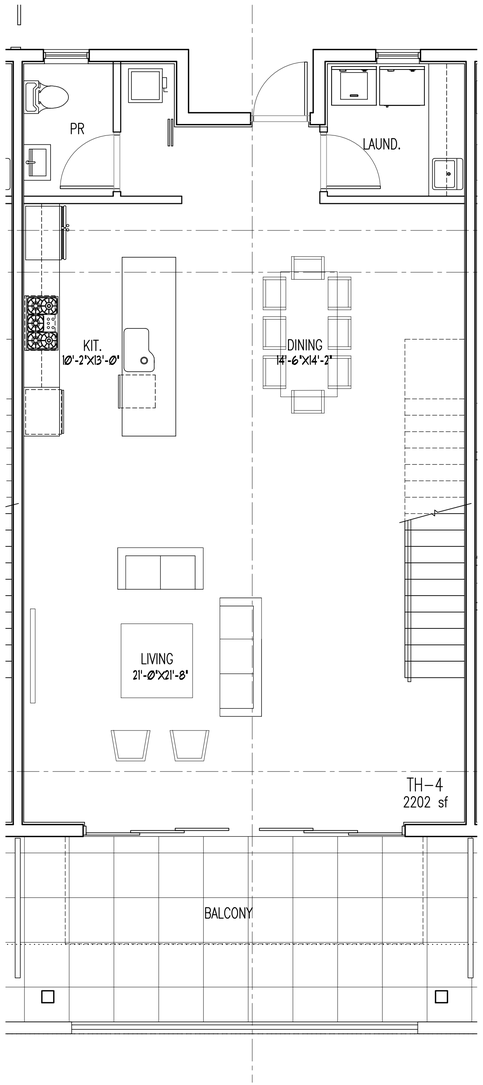
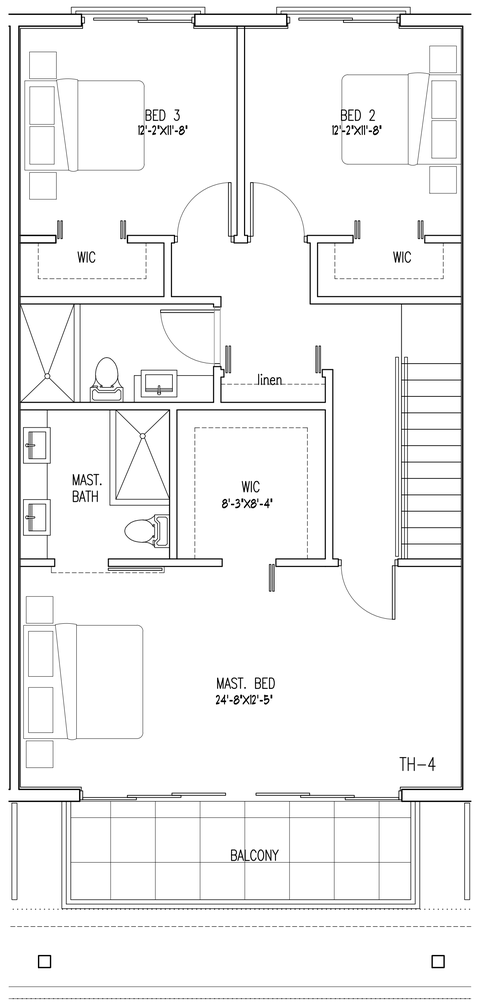
SHEET

A-14



LEVEL ONE



LEVEL TWO

TOWNHOUSE 4

3 BEDROOM/ 2 1/2 BATHROOMS

NORTH

1 TYPICAL UNIT PLANS

SCALE: 1/4"= 1'-0"

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UNIT BLOW UP PLANS

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SHEET

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UNIT 501
1 BEDROOM/ 2 BATHROOMS

UNIT 504
2 BEDROOM/ 2 1/2 BATHROOMS

UNIT 704
3 BEDROOM/ 3 1/2 BATHROOMS

NORTH

1 TYPICAL UNIT PLANS
SCALE: 1/4"= 1'-0"

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SHEET
A-16

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