

PLANNING DIVISION



File No. (internal use only): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471

Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: August 20, 2018

Location Address: Harding Plaza - SE corner of Federal HWY & Harding St
Lot(s): Parcel A & Parcel A Block(s): _____ Subdivision: Harding Plaza & Harding Plaza II
Folio Number(s): 5142 10 54 0010 & 5142 10 61 0010

Zoning Classification: RAC - FH-2 Land Use Classification: RAC
Existing Property Use: Shopping Center & vacant ;and Sq Ft/Number of Units: 25,794 SF

Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 18-DP-39

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: Redevelop Harding Plaza, demolish northern portion of shopping center to allow for a new WAWA station with restaurant and relocate existing tenants to new retail building in vacant parcel south of shopping center.

Number of units/rooms: _____ Sq Ft: 21,723
Value of Improvement: \$8,000,000.00 Estimated Date of Completion: December, 2020

Will Project be Phased? (X) Yes () No If Phased, Estimated Completion of Each Phase
Construct new retail building by late 2019, relocate tenants by end of 2019. Start demolition of northern section shopping center and construction of new WAWA in the 1st quarter of 2020. Completion of entire project end on 2020.

Name of Current Property Owner: Harding Hollywood Investment, LLC & ESJ Hollywood Invest, LLC
Address of Property Owner: 19950 W Country Club Dr. Ste 800 - Aventura, FL 33180
Telephone: 727-452-6205 Fax: _____ Email Address: rb@esj.us

Name of Consultant/~~Representative~~/Tenant (circle one): Keith M Poliakoff, Esq - Saul Ewing Arnstein & Lehr LLC
Address: 200 E Las Olas Blvd Ste 1000, Ft Lauderdale, FL 33301 Telephone: 954-713-7644
Fax: 954-208-8204 Email Address: keith.poliakoff@saul.com

Date of Purchase: 1/18/2007 Is there an option to purchase the Property? Yes () No (X)
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Eduardo L Carcache, PE
CKE Group, Inc. Address: 15500 New Barn Rd - Ste 106 - Miami Lakes, FL 33014
305-558-4124 Email Address: carcache@ckegroup.com

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GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____

Date: 8/16/18

PRINT NAME: Arnaud Sitbon

Date: _____

Signature of Consultant/Representative: _____

Date: 8/17/18

PRINT NAME: Eduardo L Carcache

Date: _____

Signature of Tenant: _____

Date: _____

PRINT NAME: _____

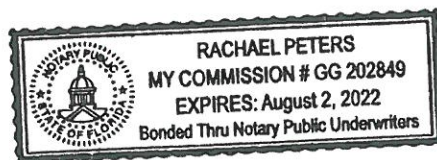
Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for Site Plan _____ to my property, which is hereby made by me or I am hereby authorizing _____ Keith M Poliakoff, Esq _____ to be my legal representative before the _____ All _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this 16 day of August

Notary Public
State of Florida



Signature of Current Owner

Arnaud Sitbon

Print Name

My Commission Expires: _____ (Check One) ☒ Personally known to me; OR ☐ Produced Identification _____



August 17, 2018

Alexandra Carcamo, Principal Planner
City of Hollywood
2600 Hollywood Blvd., Suite 315
Hollywood, Florida 33022-9045

FILE NUMBER: 18-DP-39

SUBJECT: Site Plan Review for a new service station and an addition of approximately 6,500 sq. ft. of retail space to an existing commercial plaza (Harding Plaza).

RESPONSE TO COMMENTS

SITE DATA

Owner/Applicant: Harding Hollywood Investment LLC & ESJ Hollywood Invest LLC
Address/Location: Generally located on the southeast corner of Federal Highway and Harding Street.
Net Area of Property: 114,968 Sq. Ft. (2.639 Acres)
Land Use: Regional Activity Center
Zoning: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
Existing Use of Land: Commercial

ADJACENT LAND USE

North: Regional Activity Center (RAC)
South: Regional Activity Center (RAC)
East: Regional Activity Center (RAC)
West: Regional Activity Center (RAC)

ADJACENT ZONING

North: Government Use District (GU)
South: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)
East: Federal Highway Low-Medium Intensity Multi-Family District (FH-1)
West: Federal Highway Medium-High Intensity Mixed-Use District (FH-2)

APPLICANTS MUST ADDRESS ALL COMMENTS AND FINDINGS AS IDENTIFIED BY MEMBERS OF THE TECHNICAL ADVISORY COMMITTEE BOTH IN WRITING (IDENTIFY PAGE NUMBER OF THE CORRECTION) AND ON THE SITE PLAN (ALL CHANGES MUST BE IDENTIFIED, I.E. BUBBLED).

A. APPLICATION SUBMITTAL

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Provide plat determination letter from the County. Should platting be necessary, prior to Final TAC submittal County Plat comments are required. Plat shall be submitted for recordation prior to submitting for Planning and Development Board. Include several copies of plat documents in future submittals.

Properties are platted. Copy of the plats are included in the set

2. ALTA Survey shall be based on and dated after O&E with a note indicating as such and vice versa. Work with the Engineering Division to ensure the Survey is accurate.

Updated survey included.

3. On survey, clarify if the square footage provided is net or gross.

Updated survey included.

4. Ensure that O&E Report, Survey, and Site Plan are consistent. Legal Descriptions should match on all documents.

Updated Survey and site plan to match O & E Report.

5. Ensure all sheets provided are listed on the sheet index.

Updated cover sheet to include all sheets.

6. Indicate current and future meeting dates (not submittal dates) on Cover Sheet and Title Block. Indicate specific Board/Committee (i.e. Preliminary TAC, Final TAC, PDB, etc.).

Added to cover sheet and title block.

7. Is project phased? If so, provide a phasing plan.

Added phasing plan, refer to sheet CO.1.

8. Staff has identified several Variances. Provide Variance Box listing each Variance with “required” and “provided” amounts. Once justification (criteria analysis) is provided with next submittal Staff will evaluate applicability of request. Coordinate with Planning for required Variances (wheel stop, landscape setback, front drive, etc.).

Refer to variance box on sheet C-0 which describes the variances being requested.

9. Meet with planning to redesign the public area/corner/entrance of the proposed service station to meet the intent of the regulations; decorative bollards should be considered for public seating area.

Met with staff on July 10 and worked thru main issues.

10. Proposed retail elevations along Federal Highway are not cohesive. Redesign accordingly.

Modified design of retail building to be cohesive with WAWA regarding materials and colors.

11. Provide proposed elevations of the existing Family Dollar.

Proposed elevations included in set, refer to sheet A-4.

12. Provide details of all regulatory signage and pavement markings. Work with the Engineering Division to ensure signage provided will adequately serve proposed circulation.

Refer to pavement marking plans, sheets C-7 and C-7.1.

13. Provide details and height of all existing and proposed fences and gates. All fencing shall be decorative.

Refer to sheets C-8 and A-6.

14. Provide details and height of dumpster enclosure. Shall be cohesive with the building design.

Refer to sheets C-8 and A-6.

15. Staff encourages Applicant to meet with surrounding civic associations prior to submitting for any Boards. Provide update with next submittal.

Being scheduled.

16. Provide written responses to all comments with next submittal.

Attached.

B. ZONING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Service station is not a use permitted by right in all zoning districts and is only permitted by Special Exception. Special Exception is defined as a use not generally appropriate in a district, but would be appropriate if it is consistent with the review criteria listed for Special Exceptions. Provide justification for Special Exception criteria with next submittal.

Refer to justification provided.

2. Revise site data table to comply with current zoning regulations (parking setbacks, parking calculations, active use calculations, etc.).

Refer table provided on sheet C-0..

3. Project is required to install electric vehicle charging station infrastructure, refer to Ordinance O-2016-02.

A conduit from the electrical panel to a parking space next to the building is provided in compliance with the ordinance. In addition WAWA has submitted this site to TESLA for their consideration of a vehicle charging station. Actual installation of the charging station at this time will depend on Tesla's decision.

4. Parking spaces are larger than required. Parking stalls shall be 8.5 x 19 feet long or 17 feet with a 2 foot grass overhang. Dimension stalls and revise accordingly; this should help in meeting the required setbacks along Harding and Federal Highway.

Revised plans accordingly.

5. Provide a berm along Harding Street.

Provided, refer to sheet L-1.

6. Work with Public Works and Engineering Division to ensure adequate and safe access is provided for garbage truck to access garbage and recycling area.

Adequate access to trash is provided. Nether Public Works or Engineering Division has provided any comments or objection regarding access to trash.

7. Provide different material when pedestrian connection traverses vehicular areas.

Stamped concrete provided at the front facing Federal Highway in order to make this look more like a pedestrian plaza. Keep in mind only fuel trucks will be going thru this drive.

C. ARCHITECTURE AND URBAN DESIGN

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Site shall be redesigned to properly address the frontage along Federal Highway and corner. Meet with Staff to discuss design comments for the site and building.

Design updated per several meetings with staff.

2. Transparency shall be provided on all street frontages.

Clear glass provided on all building elevations along Federal Highway.

3. Provide material samples with next submittal. All renderings shall reflect actual proposed landscape material. Work with the City's Landscape Architect to ensure species proposed are appropriate.

Samples and renderings included.

4. Utilize permeable pavement in the parking lot. Make sure all pavement is highly reflective “cool” pavement.

Concrete paving is provided next to WAWA building, under pump canopy and at underground fuel tanks. Concrete specified to have a minimum solar reflectance of 0.30.

5. Utilize energy star certified roofing material for the store and canopy.

Note added on cover sheet, part of Green elements incorporated in the project.

Terrence Comiskey A.I.A., Architect (tcomiskey@hollywoodfl.org) 954-921-3900

1. Sheet A-1: Glass storefront in Retail Building should face Federal Highway Corridor.

The front facing Federal Highway has glass the entire length; however, a knee wall is also provided as an anti-ramming precaution to provide some protection in case vehicles on Federal Highway accidentally veer into the building.

2. What are the façade improvements being done to the east and north elevations of the existing Dollar Store.

Refer to sheet A-4 for Dollar Store elevation upgrades.

3. Sheet L-1: Shade trees should be planted along the Federal Highway Corridor.

Added shade trees, see L-1.

4. Are both new dumpster enclosures detailed the same?

Details provided refer to C-8 and A-6.

D. SIGNAGE

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Monument sign does not comply with regulations. Redesign accordingly.

New signage package included.

2. Provide façade dimensions on sign plan to ensure the proposed wall sign is compliant.

New signage package included.

3. Canopy sign size not provided. Provide with next submittal to ensure compliance.

Included in new sign package.

4. Cabinet/box signs are not permitted.

Noted.

5. All existing signs on site shall be removed.

Noted.

6. All signs, which are electrically illuminated by neon or other means, shall require a separate electrical permit and inspection. Separate permits are required for each sign.

Understood.

7. Include note indicating all signage shall be in compliance with the Zoning and Land Development Regulations.

Note included on sign package.

E. LIGHTING

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Include note on Site Plan stating the maximum foot-candle level at all property lines (maximum 0.5 if adjacent to residential).

Note added on PH-01.

2. All lights and lighting on service station shall be designed and arranged as to not cause a direct glare into adjacent properties.

Note added on PH-1.

F. GREEN BUILDING & ENVIRONMENTAL SUSTAINABILITY

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Submittal shall indicate compliance with Green Building Ordinance. Review and adjust drawings as necessary. Indicate on drawings Green Building certification to be achieved.

Commercial Green building practices incorporated into the plans are listed on sheet C-0. The stand-alone buildings are under 20,000 SF and do not require certification.

G. ENGINEERING

Luis Lopez, City Engineer (llopez@hollywoodfl.org) 954-921-3251

Clarissa Ip, Engineering Support Services Manager (cip@hollywoodfl.org) 954-921-3915

1. Provide the Harding Plaza and the Harding Plaza II plats.

Included.

2. Sheet C-1, indicate the clearance between fueling stations on plan.

Dimensions added on sheet C-1.

3. Parking spaces for the Air Stations are counted towards the required parking.

Those spaces are counted, however, the parking provided meets code, see parking analysis on sheet C-0.

4. On the survey, please identify the location of the easements numbered in the list (Schedule B-1).

Updated survey attached.

5. Sheet C-3, is the 8" PVC SAN main existing? Please clarify.

Yes, 8" line is existing, added notes on sheet C-3.1.

6. Parking details on Sheet C-4 and Sheet C-7.1 are not consistent with parking stall dimensions on Sheet C-1.

Revised details on C-4 and C-7.1.

7. Show sight triangles on civil and landscape plans.

Added on civils and landscape plans.

8. Provide plan with truck path to show how fuel trucks access and service the fuel tanks, include turning radii and point of entry and exit to the site.

Added truck path – Refer to sheet C0-2.

9. Indicate location of existing and proposed public sidewalks.

Refer to sheets C-1 and C-1.1. Also SD-1 show existing ones to be removed.

10. Will there be a Unity of Title for the two parcels?

The parcels are under separate ownership.

11. Coordination with the proposed US1 Complete Streets project may be necessary.

We will.

12. Provide FDOT Pre-Application Letter.

Attached.

13. All outside agency permits must be obtained prior to issuance of City building permit. Review and approval from FDOT is required.

Noted.

14. More comments may follow upon review of the requested information.

Understood.

H. LANDSCAPING

Guillermo Salazar, Landscape Reviewer (gsalazar@hollywoodfl.org) 954-921-3900

1. Provide an updated tree survey of the property or arborist report with all information for existing trees on site. Landscape table on survey should include tree number, tree species, common name, estimated ht./spread, and caliper diameter of trunks – provided property survey lacks this information.

See L-2 tree disposition plan, information provided

2. Provide a detailed landscape plan by a Landscape Architect that complies with all the requirements according to City of Hollywood Landscape manual, chapter 155.52, Article 9 LDR and section 6 landscape Plan details and specifications for technical review process. Landscape plan set to include and clarify what is been provided as per city code requirements for landscape for project type. Submit a landscape tree disposition plan/landscape plan chart and calculation clarifying and list trees that are been offered as compensation mitigation inch by inch for proposed new landscape.

Provided information, see L-1 landscape plan (upsized trees/mitigation provided) & L-2 tree disposition inches to be removed.

3. Provide a corrected landscape plan showing the correct value of inches of DBH of proposed large trees to be removed. Explain and clarify as part of the notes on the L-1 sheet what is required and what is been provided for the required One hundred and thirty seven (137) trees required on site as per landscape code requirement and what will be provided in regard to total DBH inches removed with new tree compensation/mitigation inch by inch. 100% Tree trust fund contribution is not acceptable until all landscape mitigation opportunities have been exhausted like: Installation of mitigation trees/ palms to meet maximum allowable capacity on site, planting of mitigation offsite on city property or public right-of-way, substitution of tree species and/or increase in DBH to 4" 6" 8" etc. Some of the proposed palm trees do not meet the minimum height DBH requirements or approved shade trees as per city of Hollywood.

Revised to 152 trees required by code; (required mitigation provided with upsized trees, shortfall contribution shall be paid into tree fund as required by owner) see landscape plan and legend for upsized trees.

All Landscape plans to provide the following:

4. Provide information for existing trees on site including location, species, estimated ht./spread, and caliper diameter of trunks

Provided see L-2 tree disposition plan.

5. Provide a detailed tree disposition plan and landscape plan by a registered professional licensed Landscape Architect in the State of Florida that compliments the building architecture and uses, provides for shade, beautifies the site, accentuates site features, and serves as a buffer where appropriate. Provide tabular data chart on plan that identifies City of Hollywood landscape requirements and how they are being met for Perimeter landscape, Interior landscape for at grade parking lots and vehicular use areas, open space, view triangle, planning and development board and historic preservation board and irrigation.

Revised and provided, see L-1 landscape plan and charts.

6. Provide irrigation plans for an automatic underground irrigation system for the project. Irrigation plans shall be prepared, signed and sealed by a registered professional licensed to do such design under State of Florida Statute 481.303(6)(c) or as otherwise prescribed under Florida Statutes.

Provided, see L-4 irrigation plans.

7. Additional comments may be forthcoming.

Understood.

8. According to Chapter 155.52 of the Code of Ordinances and the City of Hollywood Landscape Manual. Shade trees to be installed at a minimum size of 2" caliper/ 12' height. Existing trees meeting this criteria may be used as credit toward total requirement. Palm trees count toward tree requirements on a 3:1 basis, meaning 3 palms equal 1 broadleaf tree. The following palm species are the exception and count 1:1 as trees: Royal Palm, Phoenix sylvestris/Medjool/reclinata/canariensis, Bismarkia, and Coconut. Minimum height requirements for all palms at planting is 8' of GW or CT.

Revised, See L-1 landscape plan for information shown, upsized trees as well.

Courtesy comment: Coordinate meeting with Guillermo Salazar Landscape plan reviewer for any further questions or clarifications at gsalazar@hollywoodfl.org. No tree removals without a tree removal sub- permit. Supplemental arborist report might be required as needed to approve any tree removal permit. Applicant to submit a complete Broward County Uniform Building Application and separate application for tree removal and planting sub-permit. Submit approved and signed total final landscape installation estimate from Landscape contractor/installer for two separate sub-permits in separate to comply with existing pending city code tree planting and removal requirements.

Agreed

I. UTILITIES

Wilford Zephyr, Engineer (wzephyr@hollywoodfl.org) 954-924-2985

Alicia Vereas-Feria, Engineer (avereas-feria@hollywoodfl.org) 954-921-3302

1. Submit drainage calculations and soils report to verify lengths of exfiltration trench provided.

Calculations and soils report included.

2. For bubble-up structure to function as intended, should lower rim elevation to 6.5 feet NAVD.

Revised and lowered to 6.5' NAVD.

3. Sheet C-5.1, Section 3, indicate swale retention area without landscape.

4. Provide water and sewer demands table.

Refer to sheet C3.1.

5. Update plans to show how to provide water service to proposed retail shops.

Refer to sheet C3.1.

6. Coordinate with fire department to show location of fire line taps if needed.

No fire lines proposed.

7. Landscape architect should coordinate with civil plans to locate plantings outside of the dedicated bubble up retention area.

Revised see L-1 landscape plan, approved species in retention area

8. Sheet L-4 needs to be coordinated with civil plans to indicate location of proposed irrigation meter.

Revised, irrigation meter shown see L-4 irrigation plan

J. BUILDING

Dean Decker, Chief Building Official (ddecker@hollywoodfl.org) 954-921-3025

1. Application is substantially compliant.

Thank you.

K. FIRE

Janet A. Washburn, Fire Marshal/Division Chief (jwashburn@hollywoodfl.org) 954-921-3554

Fire review is limited to water supply for firefighting purposes and fire dept. access. A full architectural review will be completed when an application and plans are submitted to the third floor building dept.

Understood.

1. Water supply must meet NFPA 1, 18.4.5.2. In order to determine the minimum fire flow for firefighting purposes, a hydrant flow test will need to be scheduled through our underground utilities dept., 954-921-3046. After the results are completed, the civil engineer shall show on civil drawings the calculations using table 18.4.5.1.2. showing that the project meets the minimum fire flow requirements.

Flow test requested and pending results.

2. As a result of that test, show any existing and new fire hydrants on civil drawings. A copy of the completed hydrant flow test and engineer's calculations are required at the next submittal.

Calculations attached.

3. A Knox box will be required for the retail buildings in the event Fire needs to access the building after hours. If Wawa is open 24/7 a Knox box is not required for that store.

Knox box will be provided for retail building, see note on A-1. WAWA is open 24/7.

4. Fire department access is required into and around the shopping plaza. The minimum unobstructed access for width of access roads is 20' per NFPA 1, 18.2.34.1.1. Our turning radius is 28'.5" interior radius, 38' centerline of the turning radius, and 45' exterior. Please show on the site plan.

Refer to sheets C-1 and C1.1.

L. PUBLIC WORKS

Charles Lassiter, Environmental Services Supervisor (classiter@hollywoodfl.org) 954-967-4207

1. No comments received.

M. PARKS, RECREATION AND CULTURAL ARTS

David Vazquez, Assistant Director (dvazquez@hollywoodfl.org) 954-921-3404

1. Application is substantially compliant.

N. COMMUNITY DEVELOPMENT

Clay Milan, Community Development Manager (cmilan@hollywoodfl.org) 954-921-3271

1. Rendering of WAWA shows access to roof via external ladder at south elevation, which is visible from roadway. Suggest eliminating exterior ladder in favor of internal ladder. How is roof accessed on the new building?

WAWA does not have the flexibility to move the roof access to the interior; however, the ladder has been relocated to the east elevation so it will not be visible from Federal Highway. The roof access at the retail building will be thru a roof hatch in one of the tenant spaces.

2. Is any work being done on the Family Dollar store structure?

Just refreshing façade. Refer to sheet A-4.

3. Notify Hollywood Lakes Civic Association – meetings are held 2nd Tuesday at 7:00 p.m. at 1301 S. Ocean Dr. Contact Terry Cantrell, President, at info@hollywoodlakes.com

Noted.

O. ECONOMIC DEVELOPMENT

*Raelin Storey, Communications, Marketing, & Economic Development Director,
(rstorey@hollywoodfl.org) 954-921-3098*

1. Application is substantially compliant.

Thank you.

P. POLICE DEPARTMENT

*Christine Adamcik, Police (cadamcik@hollywoodfl.org) 954-967-4371
Steven Bolger, Police (sbolger@hollywoodfl.org) 954-967-4500
Doreen Avitabile, Police (davitabile@hollywoodfl.org) 954-967-4371*

1. Application is substantially compliant.

Thank you.

Note: Blueprint Crime Prevention Observations/Recommendations per ACPI (American Crime Prevention Institute) reference the addressed premises.

The effects of good exterior lighting can be generally summarized as safety, security, identification, attraction, beautification, environmental integrity and utility. It is essential to bear in mind that all of these effects are influenced by fixture and system design. Lighting will allow for natural surveillance to the building, therefore provide visibility and help define the border definition for the property at night. Lighting will also allow for spillover light to the existing property.

Lighting plan provided, refer to PH-1.

CPTED Strategies

1. Provide clear border definition of controlled spaces. Examples of border definition may include buildings, fences, pavement treatment, landscaping, signs, lighting, to express ownership and define public, semi-public, and private space, natural territorial reinforcement occurs. Also, clearly mark the public paths, so it will make private areas harder for non-employees to access.

Noted.

External Lighting

2. Parking lots, vehicle roadways, pedestrian walkways and building entryways should have “adequate” levels of illumination. The American Crime Prevention Institute recommends the following levels of external illumination:

-Parking Lots	3-5	foot candles
-Walking Surfaces	3	foot candles
-Recreational Areas	2-3	foot candles
-Building Entryways	5	foot candles

- a. These levels may be subject to reduction in specific circumstances where after hours use is restricted.
- b. Illuminate entrances, exits, fire escapes, parking lots, etc.
- c. Fully illuminate the exterior of the building and grounds at night.
- d. Research types of Security Lighting, such as LED, Metal Halide, etc.
- e. A system of lighting fixture identification should be developed.
- f. The lighting fixture identification system should enable anyone to easily report a malfunctioning fixture.
- g. Exterior lighting should be controlled by automatic devices (preferably by photocell).
- h. Exterior lighting fixture lenses should be fabricated from polycarbonate, break-resistant materials.
- i. Plant materials, particularly tree foliage, should not interfere with or obscure exterior lighting.
- j. Light fixtures below 10' in grade should be designed to make access to internal parts difficult (i.e. security screws, locked access panels).
- k. If exterior lights are not being used at night, exterior motions-detection lighting should be installed to detect the presence of intruders.
- l. Lighting fixtures selected must do more than just providing ample, glare-free lighting.
- m. Lighting fixtures must also be reliable, easy to maintain, able to withstand the elements and protected from vandalism.
- n. Good lighting deters crime and produces a more secure surrounding.

Noted. Refer to PH-1.

Landscaping

3. Landscaping should be kept well maintained.

Understood.

4. Plant growth within three feet of any walking surface (including informal pathways), parking lots or areas, recreation areas or building entryways should not exceed two feet in height.

Understood.

5. Trees should be trimmed at least six feet from the lowest foliage to the ground.

Understood.

6. Make sure light fixtures are not obstructed by any landscaping.

Noted.

7. Position landscaping as not to obstruct any of the light fixtures ability to provide adequate lighting to all entry, exit, walkway, and parking areas.

Noted.

Building(s) Perimeter Doors

8. Signs posted at all building perimeter entry/exit points should provide clear direction for employees and patrons.

Noted.

9. Perimeter doors should be designed for “heavy duty” (ANSI Grade III) applications.

They will be.

10. Exterior doors not used as designated entry points, should be locked to prevent entry from the exterior.

Noted.

Natural Access Control

11. Access control is an important means of reducing criminal accessibility/opportunity, especially into areas where a person with criminal intent would not be easily observed.

Noted.

12. Passive examples include a highly visible gate or entry way through which all users of a property must enter.

Provided.

13. Active examples include appropriate use of door and window locks, security fencing, or similar security barriers, to discourage unwanted access into private space or in dark or unmonitored areas.

Provided.

14. Proper security of the perimeter of the property enhances access control.

Noted.

15. Use signs to direct visitors or patrons to building entrance/exit way points, along with parking.

Noted.

16. Bollards should be used surrounding businesses.

Provided where appropriate.

Natural Surveillance

17. Public entrances should be clearly defined by walkways and signage.

They are.

18. Use a single, clearly identifiable, point of entry/exit.

Provided.

19. Maintain clear visibility from the business to the street, sidewalks, parking areas & passing vehicles.

Provided.

20. Do not cover up windows with advertising or display material that will affect visibility.

Noted.

21. Windows and exterior doors should be free of obstructions, so employees can exercise natural surveillance inside of the businesses, and all points of entry/exit.

Noted.

22. Dumpsters and loading area, (drop off/pick up) should be clearly visible and not create blind spots or hiding areas. Dumpsters should also be enclosed.

Noted.

23. Parking area, walkways and exterior of property should be well lit.

They are.

24. Parking areas should be visible from the windows and side parking areas should be visible from the street.

They are.

25. Restrooms should be located at the front of the businesses for employee observation.

Noted.

26. Secure storage area in Business, if bathroom is open to customers.

Noted.

27. Parking area behind retail buildings 1-4 is not visible from main roadway. This can encourage loitering and other illegal activities.

Understood, however, code requires building to be next to the street. Adequate lighting has been provided to minimize temptations for loitering.

CCTV

28. CCTV provides surveillance that can detect criminal activity and record the footage, which can be useful in an investigation. Conspicuous CCTV is another type of deterrent to a criminal. There are some difficulties in monitoring parking facilities because of shadows, spaces between parked vehicles; and columns, ramps, and walls in parking garages; that is why lighting is also essential in these areas.

Noted.

Internal Circulation and Control

29. There should not be recessed areas in corridors that could be used for hiding or loitering.

Noted.

Corridors

30. Corridors should be well-lit with no dark areas.

Noted.

31. Increased light, reflective paint colors, and graphics on hallway wall surfaces should be used to increase the perception of openness and constant movement.

Noted.

General Locations

32. Mechanical, electrical, HVAC, or other equipment, located outside the building should be surrounded by a protective enclosure.

Roof top.

Non-Pedestrian Building Entry Points

33. Sturdy fencing should enclose locations where gas and electric utilities enter buildings.

Noted.

Fencing

34. Wrought Iron fencing provides natural surveillance throughout the property. Example – If used, the entrance/exit way of the premises will provide a clear and defined border definition of the property.

N/A

35. Perimeters should be defined by landscaping or fencing.

They are.

Signage

36. Please make sure all areas of the premises are identified with proper signage to identify all areas for public/employees and are easily viewed day/night. Also use signs to direct patrons to parking, entrance & exit ways.

Provided.

Freezers and Coolers- Wawa

37. May serve as safe rooms.

Noted.

38. Should be capable of being unlocked from the inside.

Noted.

39. Should have an alarm or communication device inside the freezer and cooler.

Noted.

40. Employees should have clear sight lines of entrance areas from their workstation and have a communication link with security staff or other employees, in case of an emergency. Also, be familiar with the Emergency Plan that the business should have in place.

Noted.

Q. DOWNTOWN AND BEACH CRA

Jorge Camejo, Executive Director (jcamejo@hollywoodfl.org) 954-924-2980

Susan Goldberg, Deputy Director (sgoldberg@hollywoodfl.org) 954-924-2980

1. Not applicable.

R. PARKING

Harold King, Parking Administrator (hking@hollywoodfl.org) 954-921-3549

Tamikia Bacon, Parking Operations Manager (tbacon@hollywoodfl.org) 954-921-3548

1. Application is substantially compliant.

Thank you.

S. ADDITIONAL COMMENTS

Alexandra Carcamo, Principal Planner (acarcamo@hollywoodfl.org) 954-921-3471

1. Additional comments may be forthcoming.

Understood.

The Technical Advisory Committee finds this application substantially compliant with the requirements of Preliminary Review; therefore, the Applicant should submit for Final TAC review.

Please be advised, in the future any additional review by the TAC may result in the payment of additional review fees.

If these comments have not been addressed within 120 days of this dated report the application will expire. As a result, a new application and fee will be required for additional review by the TAC.

Note that any use proposed for the site shall be consistent with Zoning and Land Development Regulations.

Should you have any questions, please do not hesitate to contact your Project Planner at 954-921-3471.

I hope you find that the comments have been addressed in a satisfactory manner. Please feel free to contact me if you have any questions or require additional information regarding this project.

Sincerely,

Eduardo L. Carcache, PE

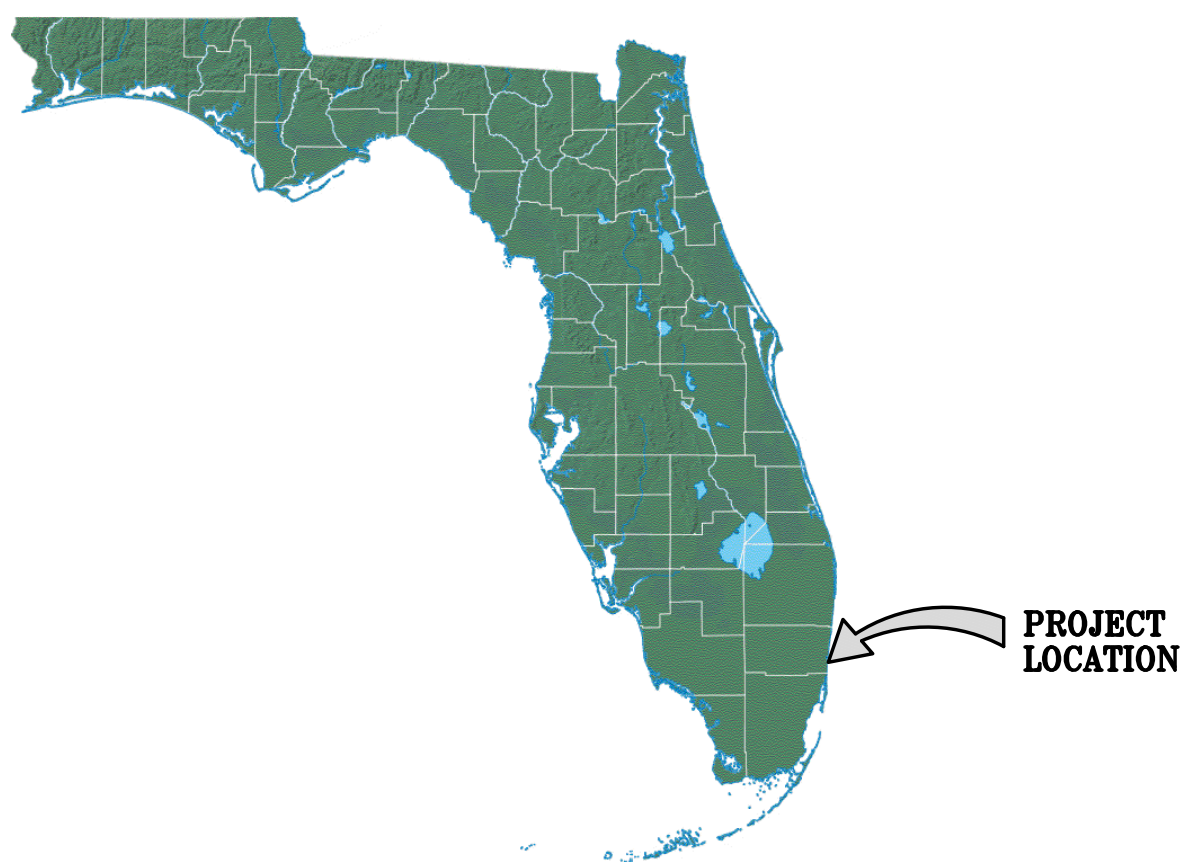
CKE Group, Inc.
Architects & Engineers
15500 New Barn Road - Suite 106
Miami Lakes, Florida 33014
Tel (305) - 558-4124
carcache@ckegroup.com

C: Keith Poliakoff via email keith.poliakoff@saul.com

HARDING PLAZA REDEVELOPMENT

Wawa / Retail Stores

FEDERAL HIGHWAY & HARDING ST.
CITY OF HOLLYWOOD, FLORIDA



OWNERS:

**HARDING/HOLLYWOOD INVESTMENTS, LLC
& ESJ HOLLYWOOD INVESTMENTS, LLC**
19950 WEST COUNTRY CLUB ROAD
SUITE 800
AVENTURA, FL 33180
(727) 452-6205
ATTN: ARNAVD SITBON / RICHARD BERK

TENANT:

WAWA, INC.
2201 WEST SAMPLE ROAD
POMPANO BEACH, FL 33073
(321) 243-6148
ATTN: ROBERT GRASSMAN III

ARCHITECTS (RETAIL):

CKE GROUP, INC.
15500 NEW BARN ROAD, SUITE 106
MIAMI LAKES, FLORIDA 33014
(305) 558-4124
ATTN: EDUARDO L. CARCACHE

ARCHITECTS (WAWA):

CUHACI & PETERSON
930 WOODCOCK ROAD – SUITE 101
ORLANDO, FLORIDA 32803
(407) 661-9100
ATTN: SUE LEVERENCE

ENGINEER:

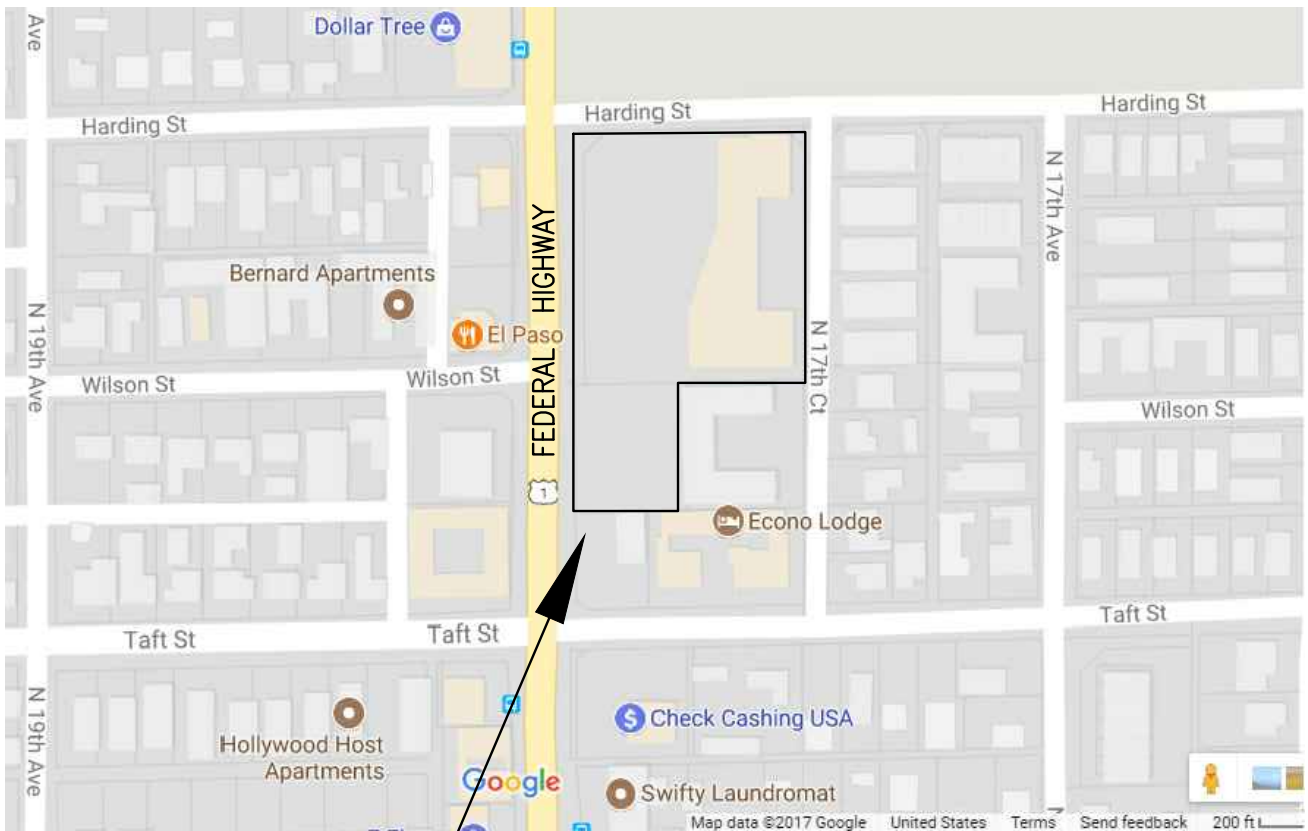
CKE GROUP, INC.
15500 NEW BARN ROAD, SUITE 106
MIAMI LAKES, FLORIDA 33014
(305) 558-4124
ATTN: EDUARDO L. CARCACHE

SURVEYOR:

FORTIN, LEAVY, SKILES, INC.
180 NE 168TH STREET
NORTH MIAMI BEACH, FLORIDA 33162
(305) 653-4493

LANDSCAPE:

**RICHARD BARTLETT
LANDSCAPE, INC.**
12773 W. FOREST HILL BLVD. SUITE 213
WELLINGTON, FLORIDA 33414
(561) 795-0443
ATTN: RICHARD BARTLETT



JOB SITE LOCATION

LOCATION PLAN
N.T.S.



LEGAL DESCRIPTION:

PARCEL 1: FOLIO# 5142 10 54 0010
PARCEL "A" OF HARDING PLAZA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 137, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: FOLIO# 5142 10 61 0010
PARCEL "A" OF HARDING PLAZA II, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 179, PAGE 5 & 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:
BENEFICIAL EASEMENTS RIGHTS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT AND COVENANT RUNNING WITH THE LAND, BY AND BETWEEN, HARDING HOLLYWOOD INVESTMENTS, LLC AND ESJ HOLLYWOOD INVESTMENT, LLC RECORDED MARCH 9, 2009 IN OFFICIAL RECORDS BOOK 46038, PAGE 1379, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

INDEX OF DRAWINGS:

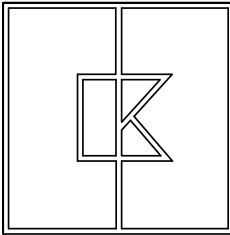
- COVER SHEET**
- PLAT #1**
- PLAT #2**
- SURVEY**
- SD-1 SITE DEMOLITION PLAN**
- C-0 OVERALL SITE PLAN**
- C-0.1 PHASING PLAN**
- C-0.2 TRUCK ACCESS PLAN**
- C-1 SITE PLAN (WAWA)**
- C-1.1 SITE PLAN (RETAIL)**
- C-2 PAVING & DRAINAGE PLAN (WAWA)**
- C-2.1 PAVING & DRAINAGE PLAN (RETAIL)**
- C-3 UTILITY PLAN (WAWA)**
- C-3.1 UTILITY PLAN (RETAIL)**
- C-4 SITE DETAILS**
- C-5 SITE DETAILS**
- C-5.1 SITE DETAILS**
- C-6 POLLUTION PREVENTION DETAILS**
- C-7 PAVEMENT MARKINGS PLAN (WAWA)**
- C-7.1 PAVEMENT MARKINGS PLAN (RETAIL)**
- C-8 TRASH ENCLOSURE DETAILS**
- PH-0 SITE LIGHTING**
- L-1 LANDSCAPE PLAN**
- L-2 TREE DISPOSITION PLAN**
- L-3 SPECIFICATIONS**
- L-4 IRRIGATION PLAN**
- A-1 FLOOR PLAN - RETAIL**
- A-2 EXTERIOR ELEVATIONS (RETAIL)**
- A-3 EXTERIOR ELEVATIONS (RETAIL)**
- A-4 EXTERIOR ELEVATIONS (DOLLAR STORE)**
- A-5 WAWA BUILDING**
- A-6 WAWA CANOPY**

ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

EDUARDO L. CARCACHE, PE 31914
CKE GROUP, INC. COA-4432

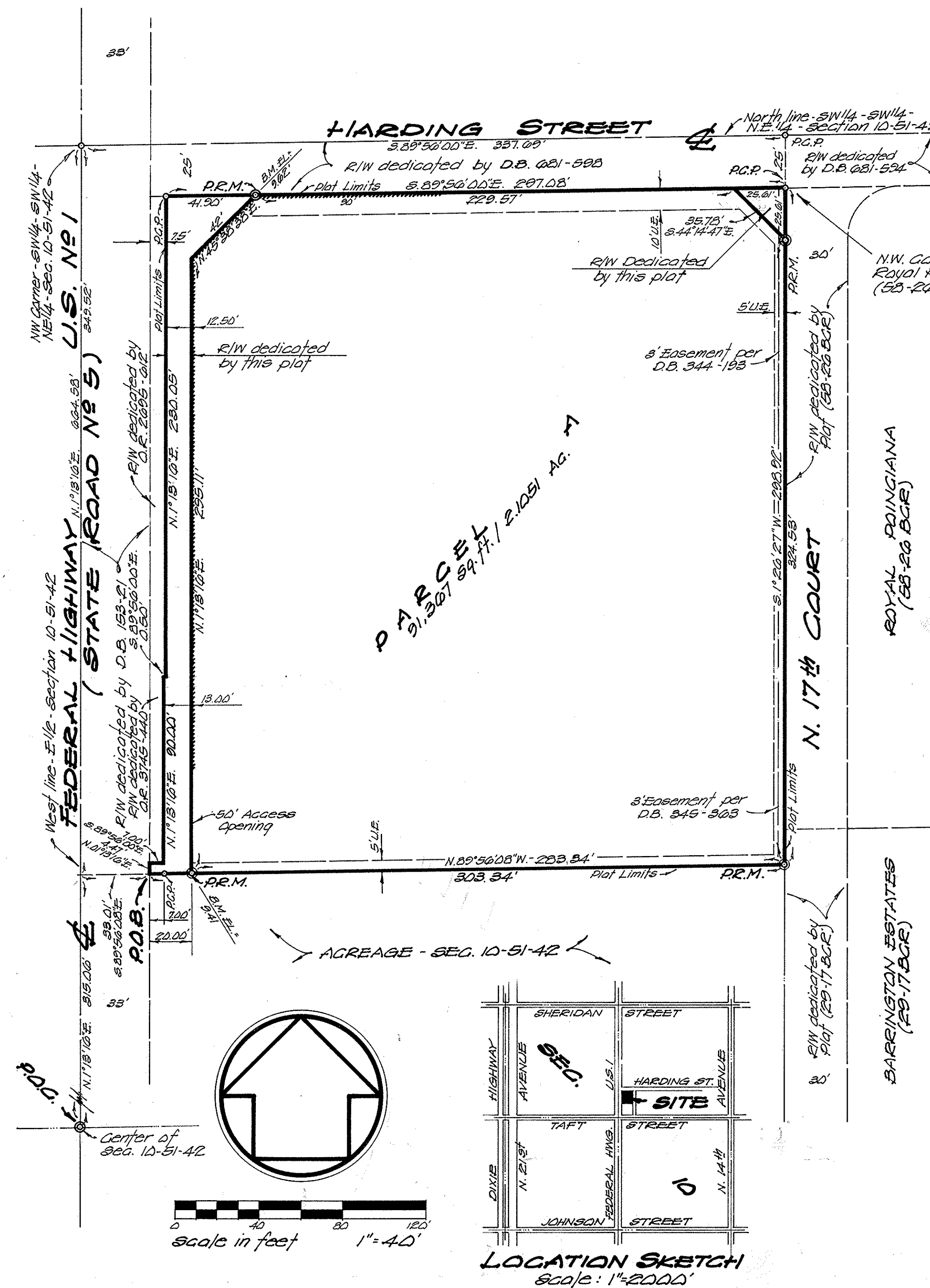
MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018



This instrument prepared by:
BERRY AND GALVIN
 SURVEYORS - ENGINEERS
 3129 N. 29 AVE. SUITE 300
 HOLLYWOOD, FLORIDA 33020

HARDING PLAZA

A PLAT OF A PORTION OF THE NE 1/4 OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
 CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA.



DESCRIPTION:

A parcel of land in the NE 1/4 of the SW 1/4 of the NE 1/4 of the NE 1/4 of Section 10, Township 51 South, Range 42 East, described as follows:

Commencing at the center of said Section 10; thence, N. 01°13'16"E. (assumed bearing) along the west line of the NE 1/4 of said Section 10, also being the centerline of Federal Highway (U.S. N°1), a distance of 315.06 feet; thence, S. 89°56'08"E. 33.01 feet to a line 33 feet east of and parallel with said west line and the POINT OF BEGINNING; thence, N. 01°13'16"E. along said parallel line 447 feet; thence, S. 89°56'00"E. 7.00 feet to a line 40 feet east of and parallel with said west line; thence, N. 01°13'16"E. along said parallel line 90.00 feet; thence, S. 89°56'00"E. 0.50 feet to a line 40.50 feet east of and parallel with said west line; thence, N. 01°13'16"E. along said parallel line 230.05 feet to a line 25.00 feet south of and parallel with the north line of the SW 1/4 of the NE 1/4 of said Section 10, also being the centerline of Harding Street; thence, S. 89°56'00"E. along said parallel line 297.08 feet; thence, S. 01°26'27"W. 324.53 feet; thence, N. 89°56'08"W. 303.34 feet to the POINT OF BEGINNING.

Said lands lying and being in the City of Hollywood, Broward County, Florida, and containing 26,262 square feet or 2.2099 Acres, more or less.

BROWARD COUNTY PLANNING COUNCIL:

This is to certify that the Broward County Planning Council approved this plat subject to its compliance with dedication of rights-of-way for trafficways by resolution adopted this 25th day of May, 1988.

By: John Cook 9/2/88
 Chairperson Date:

This plat complies with the resolution of the Broward County Planning Council of the above date and is approved and accepted for record this 2nd day of February, 1988.

By: William S. Kunkel
 Administrator or Designee

SURVEYOR'S NOTES:

- © P.R.M. indicates Permanent Reference Monuments.
- o P.G.P. indicates Permanent Control Points.
- P.O.C. indicates Point of Commencement.
- P.O.B. indicates Point of Beginning.
- B.M. E.L. indicates Benchmark Elevation.
- U.E. indicates Utility Easement.
- Sq. ft. indicates Square Footage.
- Ac. indicates Acreage.
- indicates Non-Vehicular Access line.
- R/W indicates Right-of-way.

Right-of-way dedicated by this plat = 4895 square feet / 0.1124 Acres.

Bearings shown are based assumed meridian. There may be additional restrictions that are not recorded on this plat that may be found in the Public Records of this county.

This plat is restricted to 25,000 square feet of Commercial use. This note is required by Chapter 5, Article IX, Broward County Code of Ordinances, and may be amended by agreement with Broward County.

Benchmark of Origin: Broward County Benchmark N° 2845, Nail & Tab of P.I. of N. 19th Avenue and Harding Street - Elevation = 9.99

BROWARD COUNTY OFFICE OF PLANNING:

This plat is hereby approved and accepted for record.

By: David Routh 2-2-89
 Director Date:

BROWARD COUNTY ENGINEERING DIVISION:

This plat is approved and accepted for record.

By: Henry P. Cook 2-2-89
 Henry P. Cook Date
 Director of Engineering
 Fla. Reg. P.E. N° 12506

BROWARD COUNTY FINANCE & ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION:

This instrument was filed for record this 3 day of February, 1988, and recorded in Plat Book 137, page 42, Record Verified.

Attest: L. A. Heister
 County Administrator

By: R. J. Miligiano
 Deputy

BROWARD COUNTY FINANCE & ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION:

This is to certify that this plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record by the Board of County Commissioners of Broward County, Florida, this 16th day of August, 1988.

Attest: L. A. Heister
 County Administrator

By: Phillip S. Flanagan
 Deputy

By: Dick E. Drusman
 Chairperson - County Commission

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That ALVIN DOPPELT, is the owner in fee simple of the lands shown and described hereon and has caused the lands to be subdivided and platted in the manner shown hereon and to be known as **HARDING PLAZA**, a plat of a portion of the NE 1/4 of Section 10, Township 51 South, Range 42 East, City of Hollywood, Broward County, Florida.

All thoroughfares and easements shown on this plat are hereby dedicated to the perpetual use of the public for proper purposes.

In Witness Whereof, ALVIN DOPPELT, has caused these presents to be signed this 2nd day of MAY, 1988.

Witness: Alvin Doppel
 Alvin Doppel
 Witness: Ramona Ann Doppel
 Ramona Ann Doppel

ACKNOWLEDGEMENT:

STATE OF ILLINOIS } S.S.
 COUNTY OF COOK }

I HEREBY CERTIFY: That on this day personally appeared before me ALVIN DOPPELT, to me well known and known to be the person described in and who executed the foregoing plat and instrument of dedication and severally acknowledged the execution thereof to be his free act and deed.

Witness my signature and official seal of the City of Chicago, Cook County, Illinois, this 26 day of MAY, 1988.

My Commission Expires:

December 30, 1990

CITY COMMISSION:

This is to certify that this plat was approved and accepted for record by the City Commission of Hollywood, Florida, by Resolution N° 88-177 adopted this 8th day of June, 1988, and that by said Resolution all thoroughfares shown on this plat were accepted in the name of said City, and all previous plats of this land are cancelled and superseded.

Attest: Maureen J. Lander Approved: M. Bergman Approved: Maria Guibanti
 City Clerk City Engineer Mayor

SURVEYOR'S CERTIFICATION:

I, JOHN A. BROTT, hereby certify that the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision.

The survey data shown conforms to the applicable requirements of Chapter 177, Florida Statutes, and the applicable sections of 21 HH-6, Florida Administrative Code.

The Permanent Reference Monuments (P.R.M.'s) have been set where indicated and in accordance with Section 177.091 of said Chapter 177. The Permanent Control Points (P.C.P.'s) will be set within one year of the date this plat is recorded or prior to the expiration of the bond of other surety for the construction of the required improvements.

The Benchmarks shown are referenced to the National Geodetic Vertical Datum (NGVD) of 1929 in conformity with standards adopted by the National Ocean Survey for third order control.

Dated at Hollywood, Broward County, Florida, this 1st day of August, 1988.

By: John A. Brott
 John A. Brott
 Registered Land Surveyor N° 3805
 State of Florida

HARDING PLAZA II

A PORTION OF THE WEST 1/2 OF THE S.W. 1/4 OF THE S.W. 1/4 OF THE N.E. 1/4 OF
SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA
SEPTEMBER 2008

CFN # 108948106,
Page1 of 2
Recorded 10/30/2009 at 09:46 AM

LEGAL DESCRIPTION:

THE EAST 143 FEET OF THE WEST 183
FEET OF THE NORTH 165 FEET OF THE SOUTH 315 FEET OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE
SOUTHWEST 1/4 OF THE NORTHEAST 1/4, IN SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY,
FLORIDA.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA. CONTAINING 23,599
SQUARE FEET, OR 0.54 ACRES, MORE OR LESS.

DEDICATION STATE OF FLORIDA COUNTY OF BROWARD) SS

KNOWN ALL MEN BY THESE PRESENTS THAT ESJ HOLLYWOOD INVESTMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY,
OWNER OF THE LANDS DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED AS SHOWN
HEREON, SAID PLAT TO BE KNOWN AS "HARDING PLAZA II".

ALL UTILITY EASEMENTS AS SHOWN HEREON ARE DEDICATED FOR THE USE OF THE PUBLIC FOR PROPER PURPOSES.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL, IN THE STATE OF FLORIDA, COUNTY OF BROWARD,
THIS 17 DAY OF November 2008.

WITNESS:

1) Arache Nicolas
PRINT NAME: Arache Nicolas

BY: Arnaud Sitbon, MANAGER

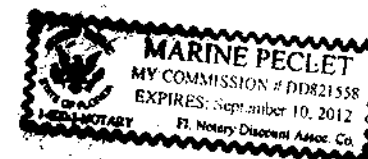
2) David Tellul
PRINT NAME: David Tellul

ACKNOWLEDGMENT STATE OF FLORIDA COUNTY OF MIAMI-DADE) SS

I HEREBY CERTIFY: THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME ARNAUD SITBON, AS MANAGER OF ESJ
HOLLYWOOD INVESTMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY AUTHORIZED TO DO BUSINESS IN THE STATE OF
FLORIDA, TO ME WELL KNOWN TO BE PERSON DESCRIBED AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND WHO
ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR USES AND PURPOSES
THEREIN EXPRESSED.

WITNESS MY HAND AND SEAL THIS
17 DAY OF November, 2008

Marise Pectet
NOTARY PUBLIC
STATE OF FLORIDA AT LARGE



MY COMMISSION EXPIRES September 10, 2012

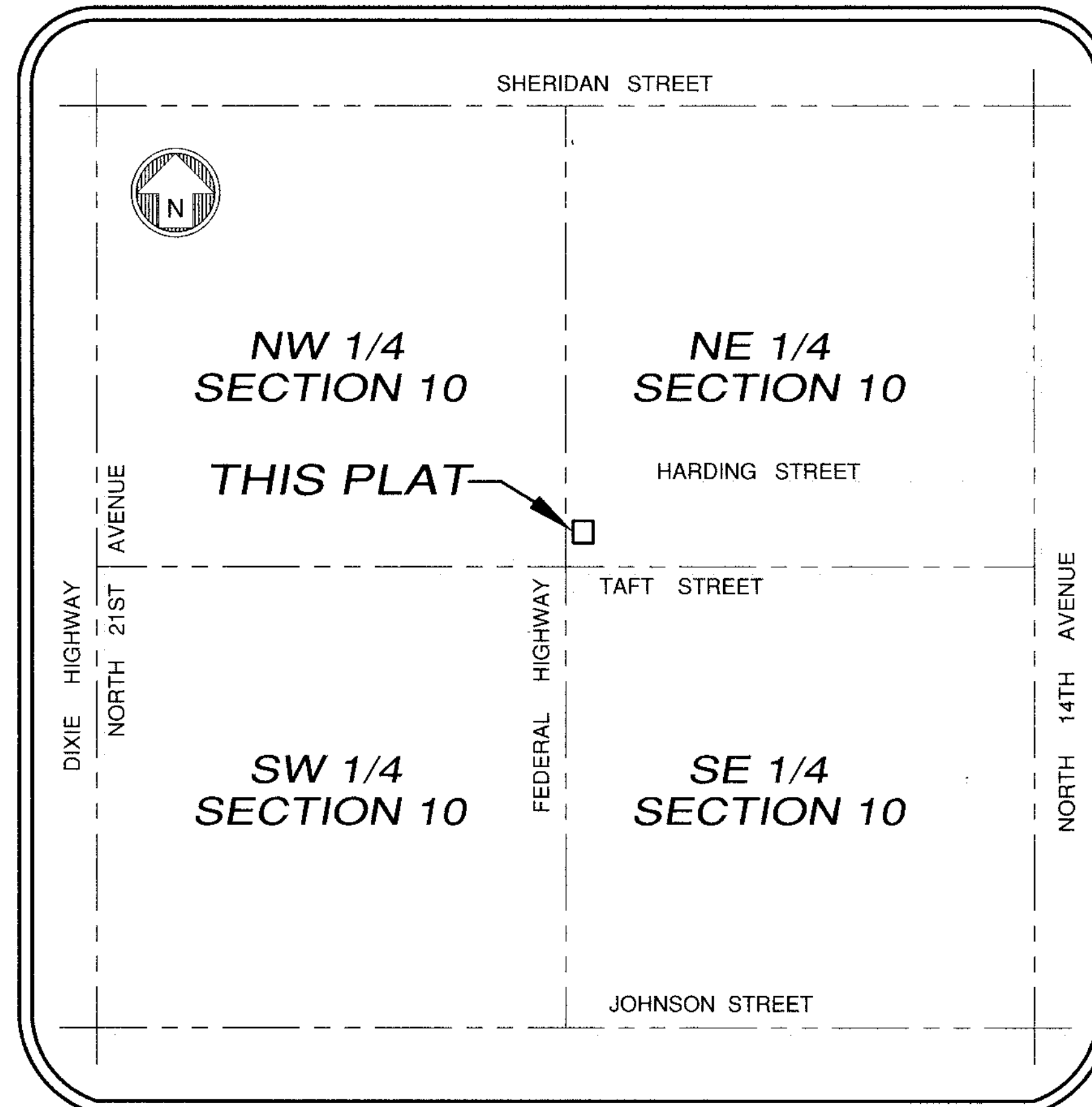
CITY OF HOLLYWOOD CITY COMMISSION:

THIS IS TO CERTIFY THAT THIS PLAT WAS APPROVED AND ACCEPTED BY THE CITY COMMISSION OF HOLLYWOOD, FLORIDA,
BY RESOLUTION NO. 8-2008-346 ADOPTED THIS 5 DAY OF Nov A.D., 2008 AND THAT BY SAID RESOLUTION
ALL EASEMENTS SHOWN ON THIS PLAT WERE ACCEPTED IN THE NAME OF SAID CITY AND ALL PREVIOUS PLATS OF THIS
LAND ARE CANCELLED AND SUPERSEDED. UPON ADOPTION OF A RESOLUTION APPROVING THE PLAT, THE MAYOR SHALL
EXECUTE THE PLAT.

"NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF A BUILDING
WITHIN THIS PLAT UNTIL SUCH TIME AS THE DEVELOPER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFIRMATION FROM
BROWARD COUNTY THAT ALL APPLICABLE IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE."

ATTEST: Patricia A. Cerny CITY CLERK: PATRICIA A. CERNY APPROVED: Jonathan Vogt CITY ENGINEER: JONATHAN VOGT

APPROVED BY: Peter Bober
MAYOR: PETER BOBER



LOCATION SKETCH
LYING IN THE NORTHEAST 1/4 OF
SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA
SCALE: 1" = 700'

BROWARD COUNTY PLANNING COUNCIL:

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS
COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS 26 DAY OF June 2008.

BY: William
CHAIRPERSON

THAT THIS PLAT COMPLIES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE
AND IS APPROVED AND ACCEPTED FOR RECORD THIS 28 DAY OF October 2008.

BY: Director
EXECUTIVE DIRECTOR OR DESIGNEE

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION:

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN HEREBY APPROVED AND ACCEPTED FOR RECORD THIS 23 DAY OF
October 2009

BY: Richard Torrese 10/23/09
RICHARD TORRESE, P.E., DIRECTOR
PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 40263

BY: Robert P. Legg, Jr. 10/20/09
ROBERT P. LEGG, JR.,
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NUMBER LS4030

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES, AND WAS
ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA THIS 13 DAY OF
January 2009.

ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR
BY: Deputy DEPUTY
COUNTY COMMISSIONERS
BROWARD COUNTY, FLORIDA
OCT 1st 1915

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - RECORDING SECTION:

THIS IS TO CERTIFY: THAT THIS PLAT WAS FILED FOR RECORD ON THIS 30 DAY OF OCTOBER, 2009, AND
RECORDED IN PLAT BOOK 179 AT PAGE 5 RECORD VERIFIED

ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR
BY: Mary C. Williams DEPUTY

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT

THIS IS TO CERTIFY: THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED
FOR RECORD THIS 26 DAY OF OCTOBER, 2009

BY: Dan M. Bandy
DIRECTOR/DESIGNEE

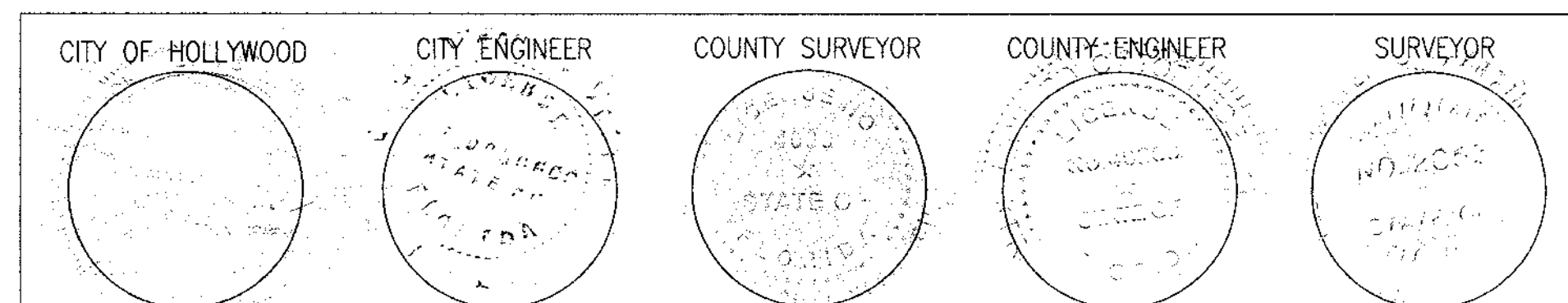
SURVEYORS' CERTIFICATION:

I HEREBY CERTIFY: THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS RECENTLY
SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THE PLAT
COMPLIES WITH THE APPLICABLE REQUIREMENTS OF FLORIDA STATUTES CHAPTER 177, PART 1, FLORIDA STATUTES
AND WITH ALL SURVEY SECTION OF CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, AND FURTHER THAT THE
PERMANENT REFERENCE MONUMENTS WERE SET THIS 16th DAY OF January, 2009 IN ACCORDANCE WITH
SECTION 177.091 OF SAID CHAPTER 177. THE BENCHMARKS SHOWN HEREON ARE REFERENCED TO NATIONAL
GEODETIC VERTICAL DATUM OF 1929 AND CONFORM TO STANDARDS ADOPTED BY THE NATIONAL OCEAN SURVEY FOR
THIRD ORDER CONTROL STANDARDS. PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE YEAR OF THE DATE
THIS PLAT IS RECORDED OR PRIOR TO THE EXPIRATION OF THE BOND OR OTHER SURETY INSURING CONSTRUCTION
OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

BY: Daniel C. Fortin
DANIEL C. FORTIN, FOR THE FIRM
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NUMBER LS2853

FORTIN, LEAVY, SKILES, INC.,
CERTIFICATE OF AUTHORIZATION NUMBER: LB3653
180 NE 168TH STREET, NORTH MIAMI BEACH, FL 33162
305-653-4493 VOICE AND 305-651-7152 FAX

EMBOSSSED SEALS



PREPARED BY:
FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS & SURVEYORS AND MAPPERS
180 N.E. 168th STREET NORTH MIAMI BEACH, FLORIDA.
PH.: 305-653-4493 / FAX: 305-651-7152
O.N.: (080322) AUTOCAD NO.: (071173-P) REFERENCE: (2007-159)
FIELD BOOK: 598-37,38 SJD REVISED (2/20/09)

HARDING PLAZA II

A PORTION OF THE WEST 1/2 OF THE S.W. 1/4 OF THE S.W. 1/4 OF THE N.E. 1/4 OF
SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST,
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA
SEPTEMBER 2008

SHEET 2 OF 2

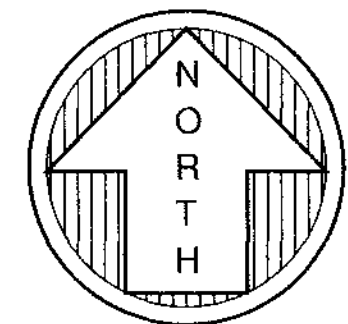
179 6

CFN #108948106

Page2 of 2

NOTES:

1. THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF N01°13'16"E FOR THE WEST LINE OF THE EAST 1/2 OF SECTION 10, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, AS SHOWN ON PLAT BOOK 137, PAGE 42.
2. BENCHMARK ELEVATIONS, ELEVATIONS ARE RELATIVE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929, BASED ON CITY OF HOLLYWOOD BENCHMARK, ELEVATION 8.264, LOCATED NAIL & TAB AT THE POINT OF INTERSECTION OF HARDING STREET AND 17TH COURT.
3. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
4. IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY JANUARY 6, 2014, WHICH DATE IS FIVE (5) YEARS FROM THE DATE OF APPROVAL OF THIS PLAT BY BROWARD COUNTY, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME; AND/OR
5. IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE, AND THE ROCK BASE FOR INTERIOR ROADS HAVE NOT BEEN SUBSTANTIALLY COMPLETED BY JANUARY 6, 2014, WHICH DATE IS FIVE (5) YEARS FROM THE DATE OF APPROVAL OF THIS PLAT BY BROWARD COUNTY, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THIS REQUIREMENT MAY BE SATISFIED FOR A PHASE OF THE PROJECT, PROVIDED A PHASING PLAN HAS BEEN APPROVED BY BROWARD COUNTY. THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.
6. THIS PLAT IS RESTRICTED TO 10,000 SQUARE FEET OF COMMERCIAL USE (FIRST FLOOR) AND 10,000 SQUARE FEET OF OFFICE (SECOND FLOOR). FREESTANDING BANKS AND DRIVE THRU BANK FACILITIES ARE NOT PERMITTED WITHIN THE COMMERCIAL SQUARE FOOTAGE, AND BANKS AND COMMERCIAL/RETAIL USES ARE NOT PERMITTED WITHIN THE OFFICE SQUARE FOOTAGE WITHOUT THE APPROVAL OF THE BOARD OF COUNTY COMMISSIONERS WHO SHALL REVIEW AND ADDRESS THESE USES FOR INCREASED IMPACTS.
7. THIS NOTE IS REQUIRED BY CHAPTER 5, ARTICLE IX, BROWARD COUNTY CODE OF ORDINANCES, AND MAY BE AMENDED BY APPROVAL OF THE BROWARD COUNTY BOARD OF COUNTY COMMISSIONERS. THE NOTATION AND ANY AMENDMENTS THERETO ARE SOLELY INDICATING THE APPROVED DEVELOPMENT LEVEL FOR PROPERTY LOCATED WITHIN THE PLAT AND DO NOT OPERATE AS A RESTRICTION IN FAVOR OF ANY PROPERTY OWNER INCLUDING AN OWNER OR OWNERS OF PROPERTY WITHIN THIS PLAT WHO TOOK TITLE TO THE PROPERTY WITH REFERENCE TO THIS PLAT.
8. THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091 (SUBSECTION 28) FLORIDA STATUTES. ALL PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
9. ACCESS TO HARDING PLAZA P.B. 137, PG. 42 FROM HARDING PLAZA II PER RECIPROCAL EASEMENT AGREEMENT AND COVENANT RUNNING WITH THE LAND AS RECORDED IN O.R.B. 46038, PG. 1379.



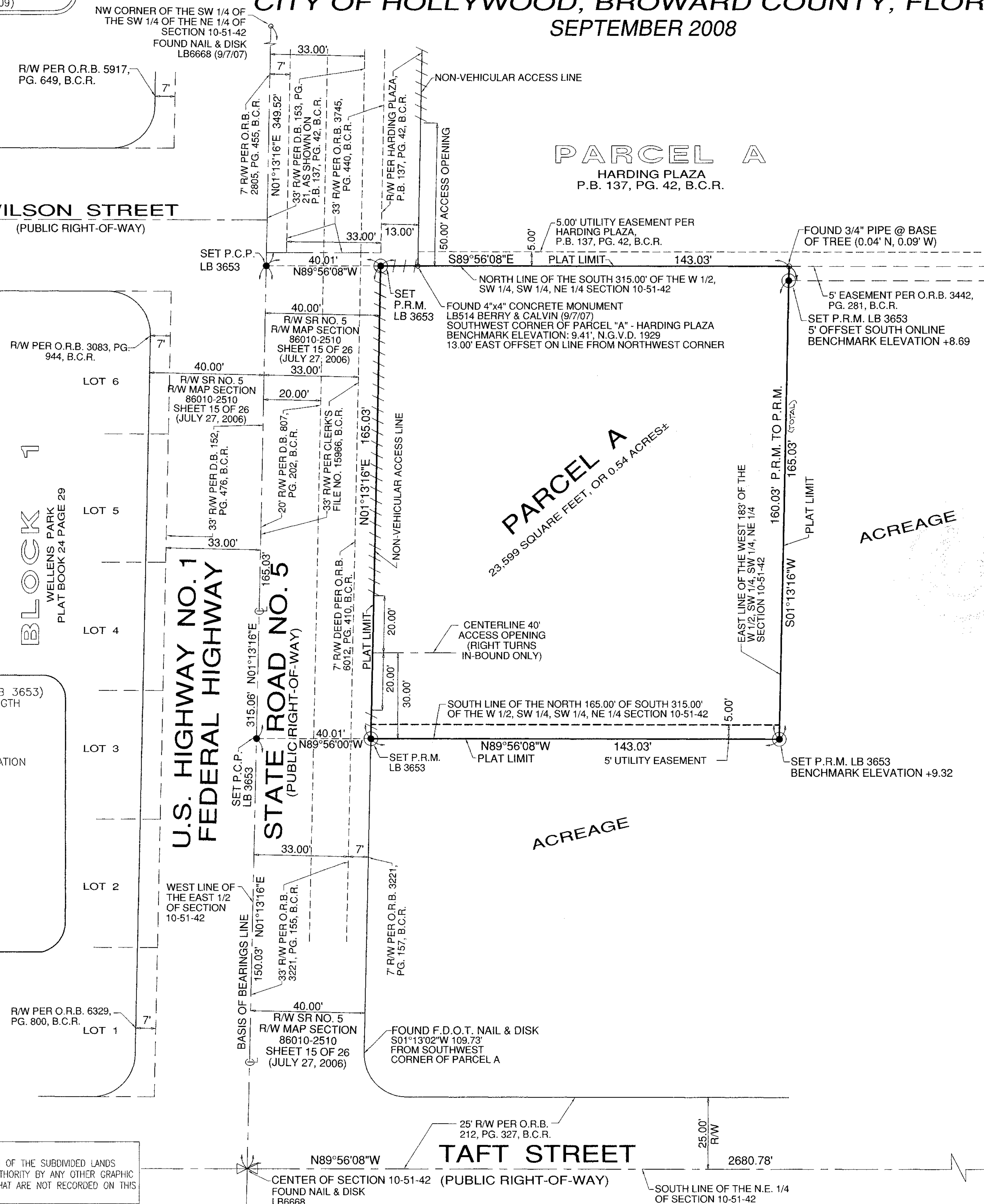
GRAPHIC SCALE
0 10 20 40 60
(IN FEET)
1 inch = 20 ft.

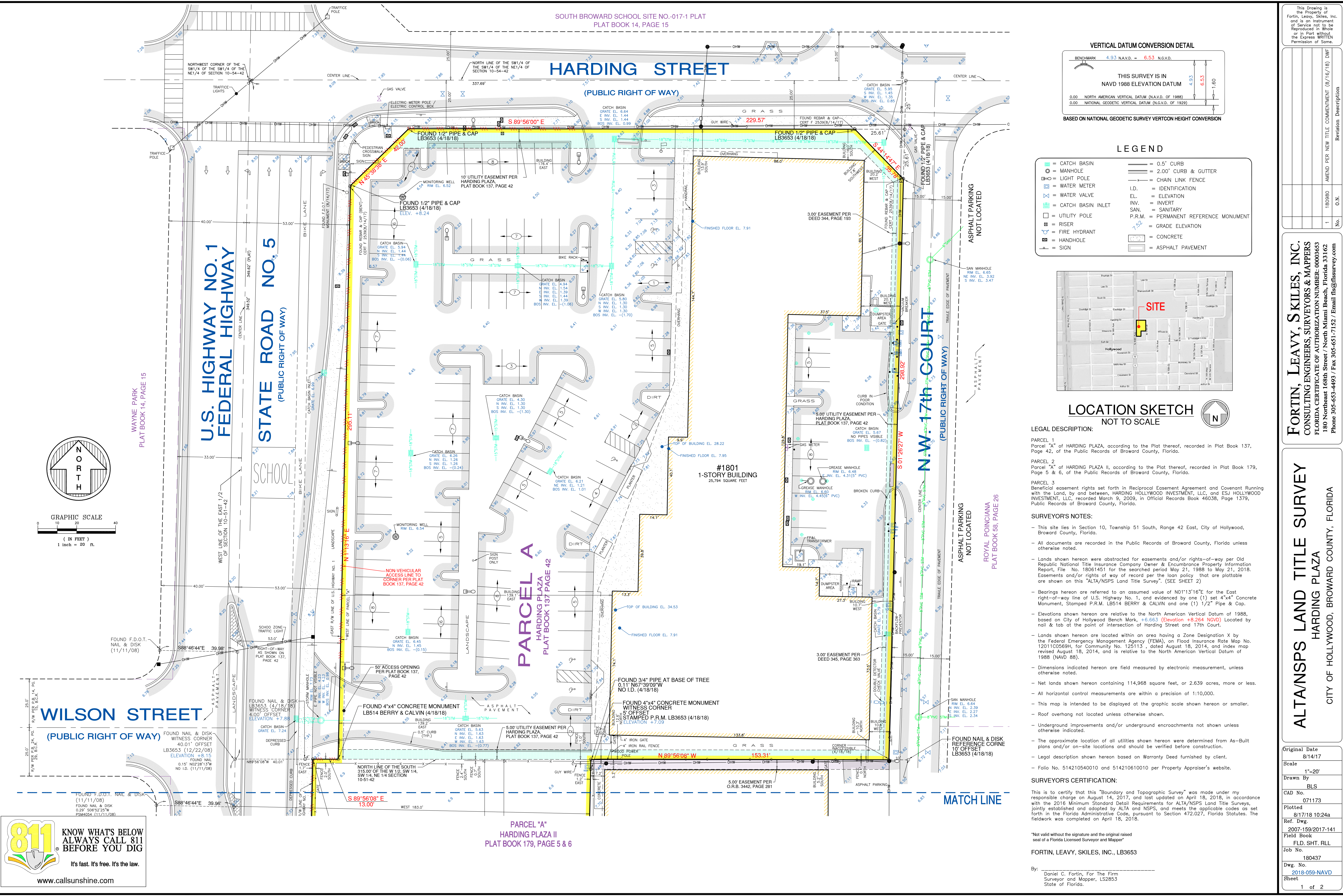
LEGEND:

- P.R.M. = PERMANENT REFERENCE MONUMENT (LB 3653) (4"x4" CONCRETE MONUMENT, 24" LENGTH - BRASS DISC)
- P.C.P. = PERMANENT CONTROL POINT
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- O.R.B. = OFFICIAL RECORD BOOK
- F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
- /// = NON-VEHICULAR ACCESS LINE
- ℄ = CENTERLINE OF ROADWAY
- D.B. = DEED BOOK
- PG. = PAGE
- NO. = NUMBER
- LS = LAND SURVEYOR
- LB = LICENSE BUSINESS
- ± = MORE OR LESS
- EL = ELEVATIONS
- P.B. = PLAT BOOK
- R/W = RIGHT-OF-WAY
- B.C.R. = BROWARD COUNTY RECORDS
- SR = STATE ROAD

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

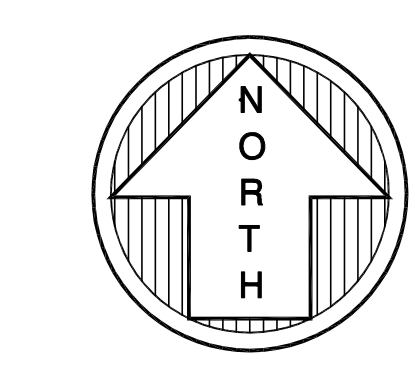




SOUTH BROWARD SCHOOL SITE NO. 017-1 PLAT
PLAT BOOK 14, PAGE 15

HARDING STREET
(PUBLIC RIGHT OF WAY)

**U.S. HIGHWAY NO. 1
FEDERAL HIGHWAY**
STATE ROAD NO. 5
(PUBLIC RIGHT OF WAY)



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

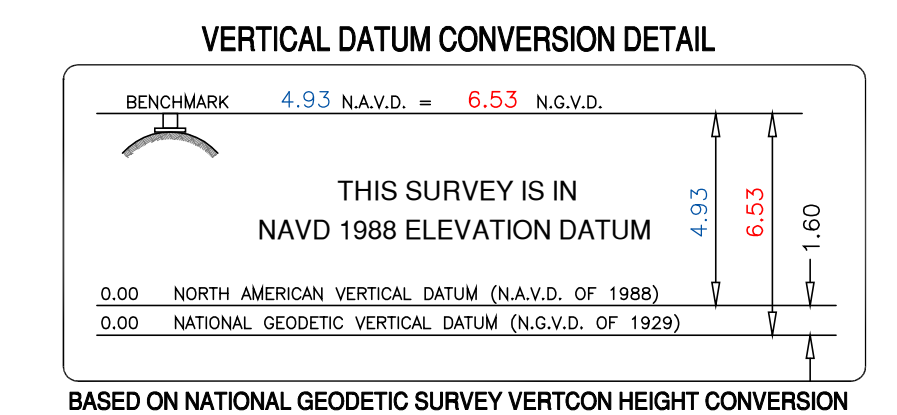
WILSON STREET
(PUBLIC RIGHT OF WAY)

N.W. 17th COURT
(PUBLIC RIGHT OF WAY)

ASPHALT PARKING
NOT LOCATED

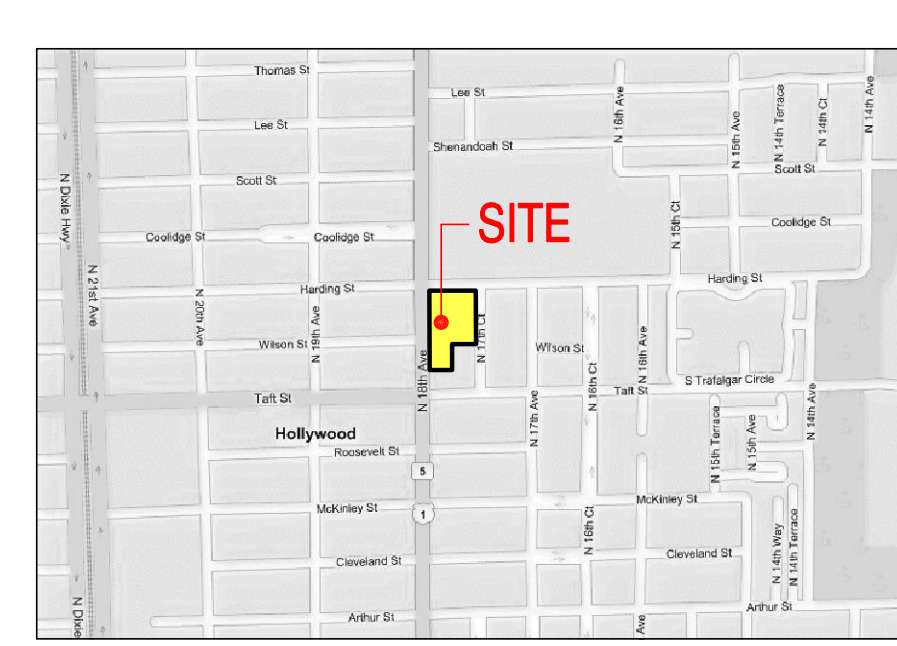
ROYAL POINCIANA
PLAT BOOK 58, PAGE 26

MATCH LINE



LEGEND

	CATCH BASIN		0.5' CURB
	MANHOLE		2.00' CURB & GUTTER
	LIGHT POLE		CHAIN LINK FENCE
	WATER METER		IDENTIFICATION
	WATER VALVE		ELEVATION
	CATCH BASIN INLET		INVERT
	UTILITY POLE		SANITARY
	RISER		PERMANENT REFERENCE MONUMENT
	FIRE HYDRANT		GRADE ELEVATION
	HANDHOLE		CONCRETE
	SIGN		ASPHALT PAVEMENT



LOCATION SKETCH
NOT TO SCALE

LEGAL DESCRIPTION:

PARCEL 1.
Parcel "A" of HARDING PLAZA, according to the Plat thereof, recorded in Plat Book 137, Page 42, of the Public Records of Broward County, Florida.

PARCEL 2.
Parcel "A" of HARDING PLAZA II, according to the Plat thereof, recorded in Plat Book 179, Page 5 & 6, of the Public Records of Broward County, Florida.

PARCEL 3.
Beneficial easement rights set forth in Reciprocal Easement Agreement and Covenant Running with the Land, by and between, HARDING HOLLYWOOD INVESTMENT, LLC, and ESJ HOLLYWOOD INVESTMENT, LLC, recorded March 9, 2009, in Official Records Book 46038, Page 1379, Public Records of Broward County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 10, Township 51 South, Range 42 East, City of Hollywood, Broward County, Florida.
- All documents are recorded in the Public Records of Broward County, Florida unless otherwise noted.
- Lands shown hereon were abstracted for easements and/or rights-of-way per Old Republic National Title Insurance Company Owner's Encumbrance Property Information Report, File No. 18061451 for the searched period May 21, 1988 to May 21, 2018. Easements and/or rights of way of record per the loan policy that are plottable are shown on this "ALTA/NSPS Land Title Survey". (SEE SHEET 2)
- Bearings hereon are referred to an assumed value of N01°13'16"E for the East right-of-way line of U.S. Highway No. 1, and evidenced by one (1) set 4"x4" Concrete Monument, Stamped P.R.M. LB514 BERRY & CALVIN and one (1) 1/2" Pipe & Cap.
- Elevations shown hereon are relative to the North American Vertical Datum of 1988, based on City of Hollywood Bench Mark, +6.663 (Elevation +8.264 NGVD) Located by nail & tab at the point of intersection of Harding Street and 17th Court.
- Lands shown hereon are located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 1201100569H, for Community No. 125113, dated August 18, 2014, and index map revised August 18, 2014, and is relative to the North American Vertical Datum of 1988 (NAVD 88).
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Net lands shown hereon containing 114,968 square feet, or 2.639 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon based on Warranty Deed furnished by client.
- Folio No. 514210540010 and 514210610010 per Property Appraiser's website.

SURVEYOR'S CERTIFICATION:

This is to certify that this "Boundary and Topographic Survey" was made under my responsible charge on August 14, 2017, and last updated on April 18, 2018, in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on April 18, 2018.

*Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper

FORTIN, LEAVY, SKILES, INC., LB3653

By: Daniel C. Fortin, For The Firm
Surveyor and Mapper, LS2853
State of Florida.

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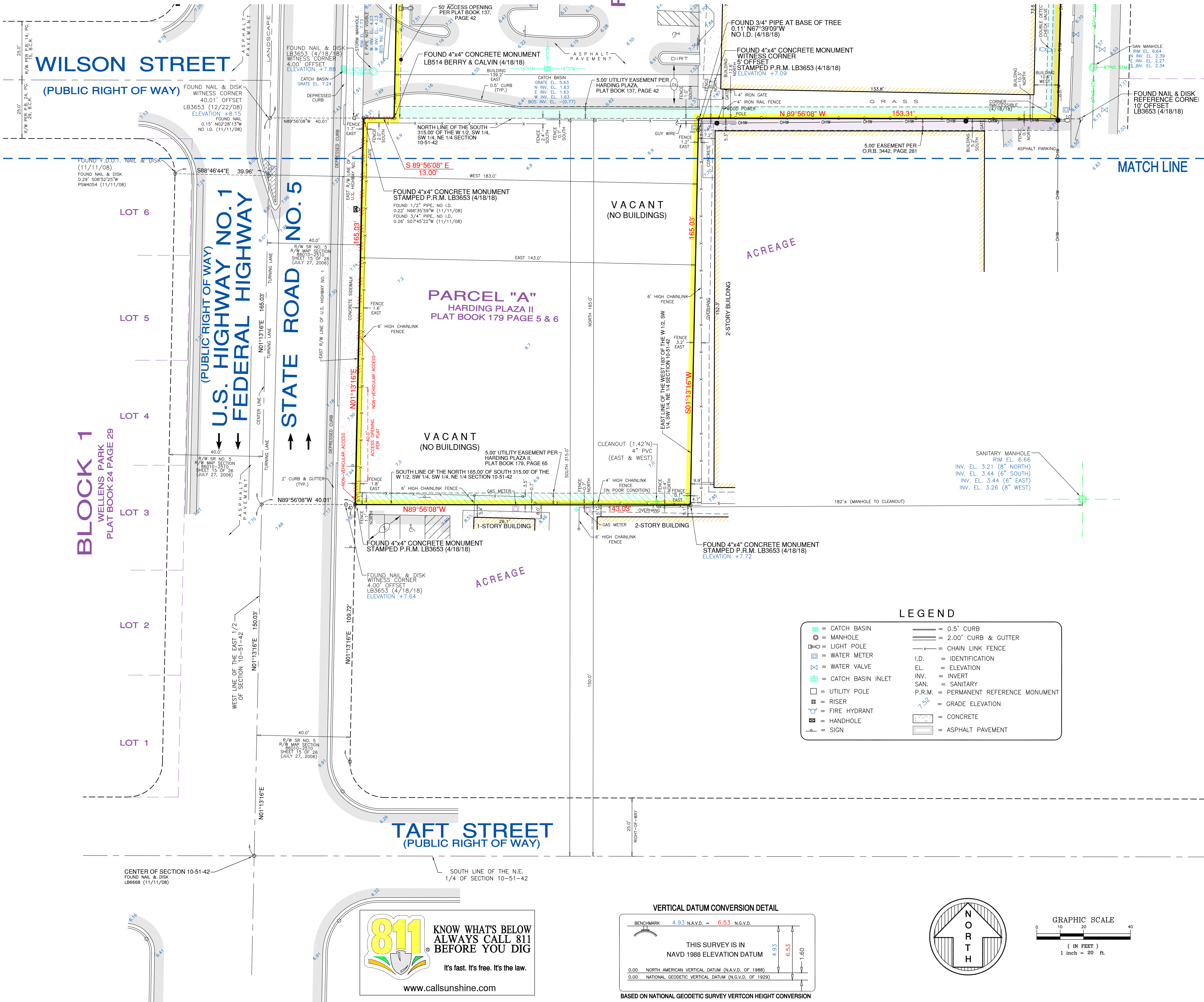
This Drawing is the Property of Fortin, Leavy, Skiles, Inc. and is an instrument of Service not to be Reproduced in Whole or in Part without the Express WRITTEN Permission of Same.

FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@flsurvey.com

ALTANSPS LAND TITLE SURVEY
HARDING PLAZA
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

Revision	Description	No.	O.N.
1	AMEND PER NEW TITLE COMMITMENT (8/16/18) DWF	1	O.N.

Original Date: 8/14/17
Scale: 1"=20'
Drawn By: BLS
CAD No.: 071173
Plotted: 8/17/18 10:24a
Ref. Dwg.: 2007-159/2017-141
Field Book: FLD. SHT. RLL
Job No.: 180437
Dwg. No.: 2018-059-NAVD
Sheet: 1 of 2



Lands shown hereon were abstracted for easements and/or rights-of-way per Old Republic National Title Insurance Company Owner & Encumbrance Property Information Report, File No. 18061451 for the searched period May 21, 1988 to May 21, 2018. Easements and/or rights of way of record per the loan policy that are plottable are shown on this "ALTA/NSPS Land Title Survey".

DOCUMENTS OF RECORD

Warranty Deed recorded January 25, 2007 in Official Records Book 43494, Page 1070, of the Public Records of Broward County, Florida.

Encumbers parcel.

Warranty Deed recorded January 25, 2007 in Official Records Book 43494, Page 1073, of the Public Records of Broward County, Florida.

Encumbers parcel.

Mortgage, Assignment of Rents and Security Agreement in favor of City National Bank of Florida recorded June 7, 2017 in Official Records Instrument No. 114428391, of the Public Records of Broward County, Florida.

Encumbers parcel but not subject to location. Blanket in nature.

Assignment of Leases and Rents recorded June 7, 2017 in Official Records Instrument No. 114428392, of the Public Records of Broward County, Florida.

Encumbers parcel but not subject to location. Blanket in nature.

UCC-1 Financing Statement recorded June 7, 2017 in Official Records Instrument No. 114428393, of the Public Records of Broward County, Florida.

Encumbers parcel but not subject to location. Blanket in nature.

Assignment of Agreements Affecting Real Estate recorded June 7, 2017 in Official Records Instrument No. 114428394, of the Public Records of Broward County, Florida.

Encumbers parcel but not subject to location. Blanket in nature.

Notice of Commencement recorded February 9, 2018 in Official Records Instrument No. 114882927, of the Public Records of Broward County, Florida.

Encumbers parcel but not subject to location. Blanket in nature.

City of Hollywood Claim of Liens recorded May 10, 2018 in Official Records Instrument No. 115067874, of the Public Records of Broward County, Florida.

Encumbers parcel but not subject to location. Blanket in nature.

Matters on the plat of HARDING PLAZA, according to the plat thereof, as recorded in Plat Book 137, Page 42.

Right-of-Way per plat that adjoins Parcel 1 and Easements per plat that encumber Parcel 1 are shown on survey.

Matters set forth on the plat of HARDING PLAZA II, according to the plat thereof, as recorded in Plat Book 179, Page 5.

Right-of-Way per plat that adjoins Parcel 2 and Easements per plat that encumber Parcel 2 are shown on survey.

Easement Grant from LOUIS COHEN and ROSE COHEN, to CITY OF HOLLYWOOD, recorded November 28, 1939, in Deed Book 344, Page 193.

Document not provided.

Easement Grant from B.J. OSOWSKI and HARRIET E. OSOWSKI, to CITY OF HOLLYWOOD, recorded December 20, 1939, in Deed Book 345, Page 363.

Document not provided.

Easement from S.E.M. DEVELOPMENT CORPORATION, to CITY OF HOLLYWOOD, recorded June 14, 1967, in O.R.B. 3442, Page 281.

Adjoins but does not encumber Parcels 1 and 2 and is shown on survey.

Hold Harmless Agreement, by and between, CITY OF HOLLYWOOD, and P. DUBUC & SONS INC., recorded February 7, 2001, in O.R.B. 31255, Page 1175; Assignment of Hold Harmless Agreement recorded August 23, 2004, in O.R.B. 38067, Page 785; Limited Release of Indemnity Agreement recorded September 29, 2005, in O.R.B. 40611, Page 1844.

Encumbers Parcel 2 but not subject to location. Building and driveway no longer exist.

Short Form Lease and matters contained in unrecorded lease referred to therein, by and between, HARDING HOLLYWOOD INVESTMENT, LLC, and FAMILY DOLLAR STORES OF FLORIDA, INC., recorded June 1, 2007, in O.R.B. 44119, Page 1874.

Encumbers Parcel 1 but not subject to location. Blanket in nature. Not a survey matter.

Assignment of Lease Agreement recorded in Official Records Instrument No. 114620026.

Encumbers parcel but not a survey matter.

Reciprocal Easement Agreement and Covenant Running with the Land, by and between, HARDING HOLLYWOOD INVESTMENT, LLC, and ESJ HOLLYWOOD INVESTMENT, LLC, recorded March 9, 2009, in O.R.B. 46038, Page 1379.

Benefits and encumbers parcels. Use restrictions encumber parcels but not subject to location. Blanket in nature. Not a survey matter.

Security/Lien Agreement Installation of Required Improvements, by and between, BROWARD COUNTY, and ESJ HOLLYWOOD INVESTMENT, LLC, recorded October 30, 2009, in O.R.B. 46633, Page 539.

Encumbers Parcel 2 but not subject to location. Blanket in nature. Not a survey matter.

Memorandum of Lease recorded in Official Records Book 49059, Page 1930.

Encumbers parcel but not a survey matter.

Matters set forth in unrecorded Lease evidenced by Memorandum of Lease, by and between HARDING HOLLYWOOD INVESTMENT, LLC, and SUBWAY REAL ESTATE, LLC, recorded January 9, 2013, in O.R.B. 49404, Page 1226.

Encumbers Parcel 1 but not subject to location. Blanket in nature. Not a survey matter.

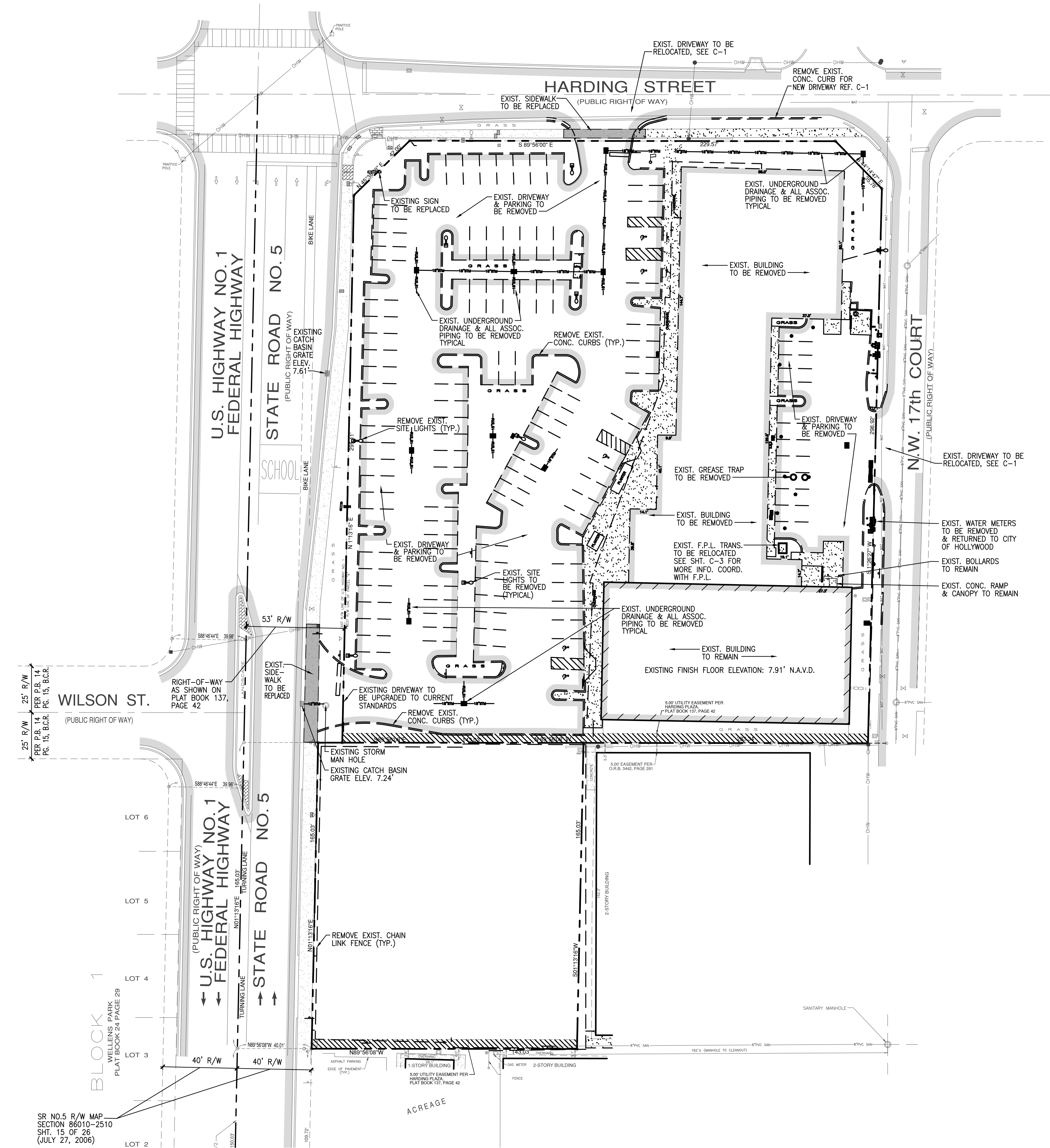
This Drawing is the Property of Fortin, Leavy, Skiles, Inc. and is an Instrument of Service not to be Reproduced in Whole or in Part without the Express WRITTEN Permission of Same.

No.	O.N.	AMEND PER NEW TITLE COMMITMENT (6/16/18) DWF	Revision Description
1	180980		

FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@flsurvey.com

ALTANSPPS LAND TITLE SURVEY
HARDING PLAZA II
CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA

Original Date	9/7/07
Scale	1"=20'
Drawn By	BLS
GAD No.	071173
Plotted	8/17/18 10:24a
Ref. Dwg.	2007-159/2017-141
Field Book	F.L.D. SHT RLL
Job No.	180437
Dwg. No.	2018-059-NAVD
Sheet	2 of 2

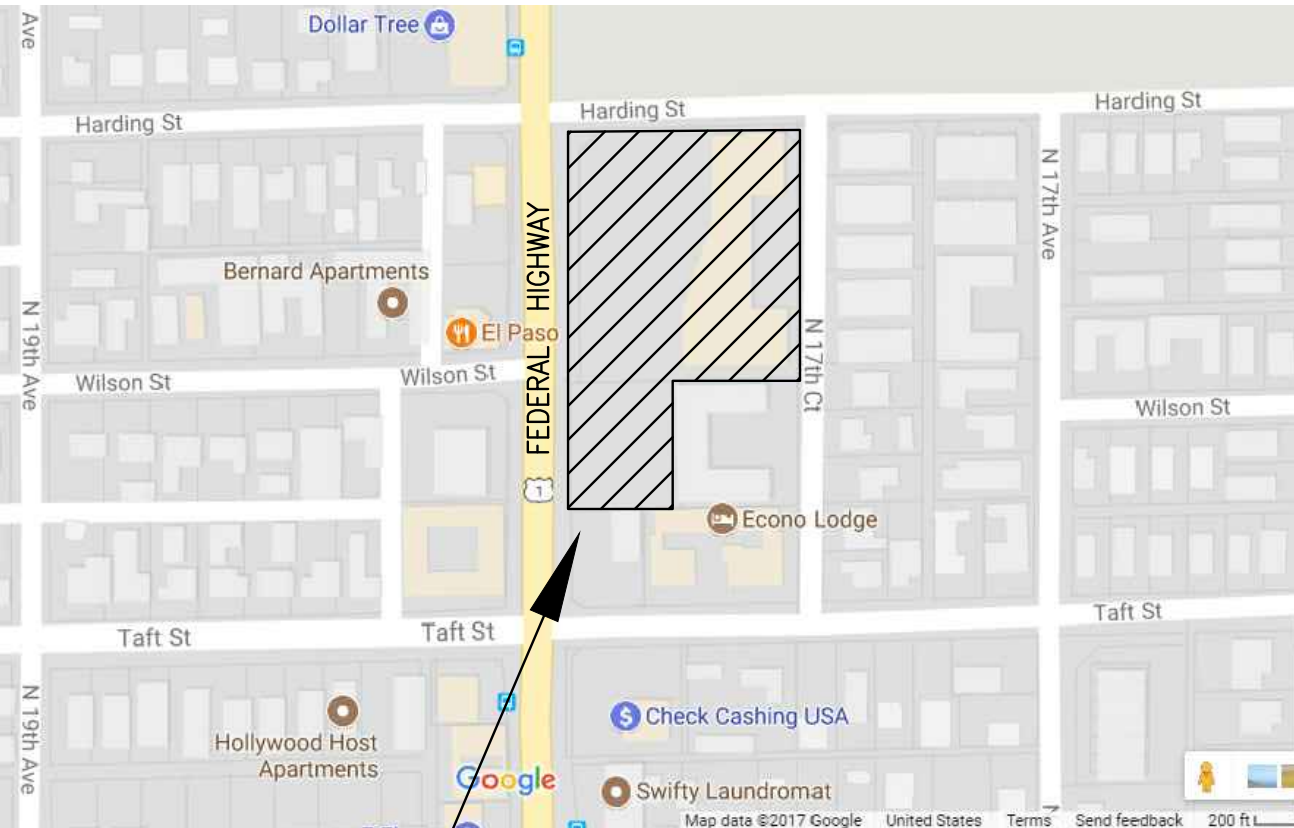


DEMOLITION NOTES

- FOR TREES AND/OR LANDSCAPE REMOVAL AND/OR RELOCATION, REFER TO LANDSCAPE DRAWINGS.
- ALL EXISTING PAVEMENT MARKINGS AND SIGNS TO BE REMOVED.
- EXISTING ASPHALT PAVEMENT AND BASE TO BE REMOVED (DEPTH OF BASE REMOVAL BASED ON PROPOSED GRADES)
- DENOTES TO BE REMOVED
- DENOTES TO REMAIN

GENERAL NOTES

- SEE SURVEY FOR DESCRIPTION OF EXISTING FEATURES WITHIN SITE.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF EXISTING ON SITE FACILITIES ABOVE AND UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLISHED MATERIALS, THE FILLING OF ALL DEPRESSIONS CAUSED BY DEMOLITION, AND THE GRADING OF THESE AREAS SO AS NOT TO BE OBJECTIONABLE TO VIEW. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF HIS WORK.
- REMOVE ALL VEGETATION, ROLL AND COMPACT AREAS BEFORE REPLACING FILL. FILL SHALL BE PLACED IN 12" LAYERS LOOSE MEASURE AND COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180-78. FILL SHALL BE LOCALLY ACCEPTABLE AND SUITABLE FOR FILL PURPOSES. THE TOP 12" OF FILL OR CUT UNDER PAVEMENT BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180-78.
- THE CONTRACTOR SHALL BE REQUIRED TO STABILIZE SLOPED AREAS. THE CONTRACTOR SHALL GRADE AND SEED OR SOD THE AREA WITH THE PROVISION THAT HE SHALL MAINTAIN THE SEEDED OR SODDED AREA AS REQUIRED UNTIL SUCH TIME THAT THERE IS SUITABLE GROWTH TO ADEQUATELY PROTECT THE EMBANKMENT. THE MAXIMUM ALLOWABLE SLOPE SHALL BE 2 : 1. CONTRACTOR SHALL MATCH EXISTING GRADES AND ALL PROPERTY LINES AROUND SITE, UNLESS OTHERWISE SHOWN ON GRADING PLAN. FINISHED GRADING AND LANDSCAPING BY LANDSCAPE CONTRACTOR. GENERAL CONTRACTOR IS TO GRADE ALL LANDSCAPED AREAS TO WITHIN 4" (.33') OF FINISHED GRADES. ALL GRADES SHOWN ON GRADING PLAN ARE FINISHED GRADES.
- DIMENSIONS, BUILDING LOCATION AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT TIME OF LAYOUT. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- ALL CONSTRUCTION OF UTILITIES TO BE IN ACCORDANCE WITH LOCAL BUILDING CODES.
- IT IS THE CONTRACTOR'S FULL RESPONSIBILITY TO FURNISH AND INSTALL WATER SERVICES AS REQUIRED. LINES TO BE INSTALLED SHOULD BE EXTENDED FROM THE CLOSEST WATER MAIN CAP PLUGGED AT BUILDING. SEE C-3 FOR REQUIRED WATER SERVICE SIZE.
- LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
- GENERAL CONTRACTOR IS TO INCLUDE IN BID ALL UTILITY COSTS NECESSARY TO PROVIDE COMPLETE ELECTRICAL SERVICE, SEWER TIE-IN, TAP FEES, CONNECTION COSTS, AND WATER SERVICE AS REQUIRED BY LOCAL CODES AND UTILITY COMPANIES.
- THE CONTRACTOR SHALL BE REQUIRED TO EXTEND AND CONNECT SANITARY SEWER TO THE EXISTING SEWER SYSTEM. IF SEWER IS NOT ADJACENT TO SITE, THE CONTRACTOR SHALL BE REQUIRED TO EXTEND THE SANITARY SEWER SERVICE TO THIS SITE IN ACCORDANCE WITH THE PLANS. SANITARY SEWER LINE TO BE CONNECTED AT A MINIMUM 2% SLOPE USING A MINIMUM PIPE, MATCHING EXISTING PIPE MATERIAL, UNLESS OTHERWISE SPECIFIED.
- CONCRETE SIDEWALKS TO BE 3,000 P.S.I. CONCRETE, 4" THICK, WITH 6x6 - W1.4 x W1.4 WELDED WIRE MESH REINFORCED UNLESS OTHERWISE NOTED.
- ALL CONCRETE CURB TO BE CONSTRUCTED OF 3,000 P.S.I. CONCRETE.
- THE CONCRETE TRASH ENCLOSURE APRON SHALL BE 6" THICK OF 3,000 P.S.I. CONCRETE REINFORCED WITH #4 BARS @ 16" O.C. EACH WAY.
- COMMERCIAL DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY, COUNTY, OR STATE HIGHWAY DEPARTMENT, WHICHEVER APPLIES.
- ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- THE CONTRACTOR IS ADVISED THAT THE SOILS REPORT IS A PART OF THE BIDDING DOCUMENTS. IF THE SOILS REPORT IS NOT RECEIVED WITH THE BID SET, IT IS THE BIDDER'S RESPONSIBILITY TO OBTAIN AND REVIEW THE SOILS REPORT PRIOR TO SUBMITTING FINAL BID.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C.K.E. GROUP, INC. AND CITY OF HOLLYWOOD PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.



LOCATION PLAN

N.T.S.

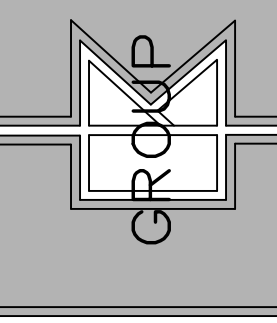


HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

project no: 1581
scale: AS SHOWN
date: 05-14-18
drawn by: a.v.

SD-1

CKE GROUP
INCORPORATED
engineering • architecture • planning



MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

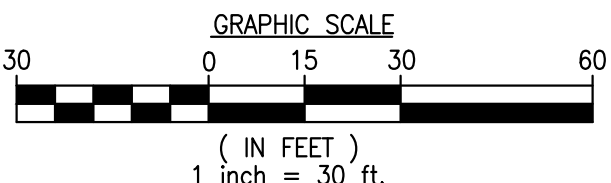
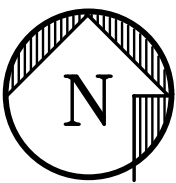


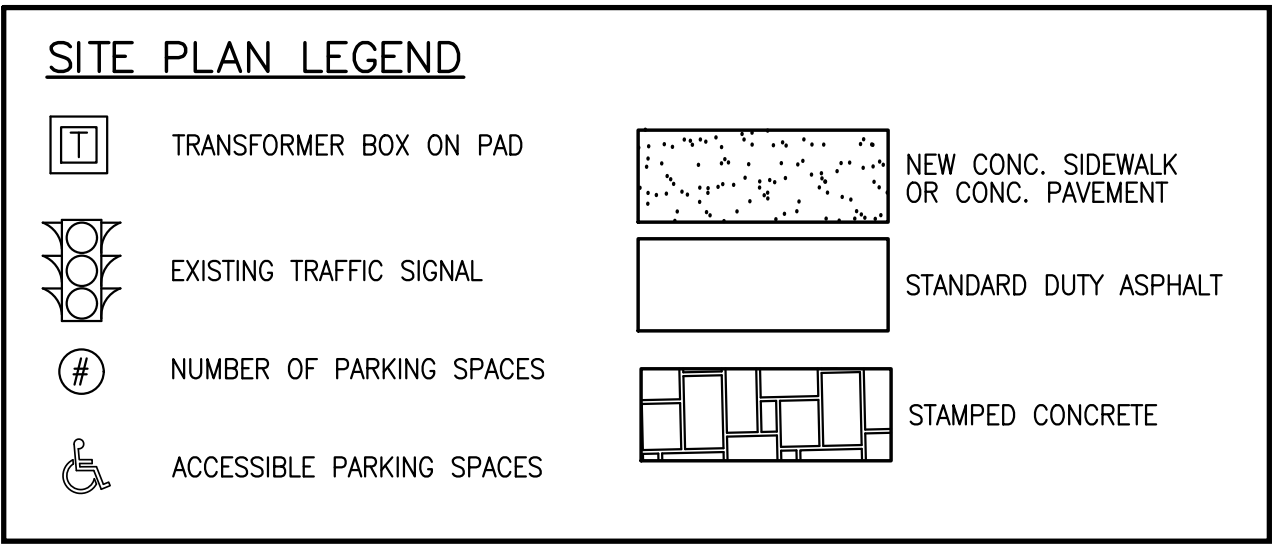
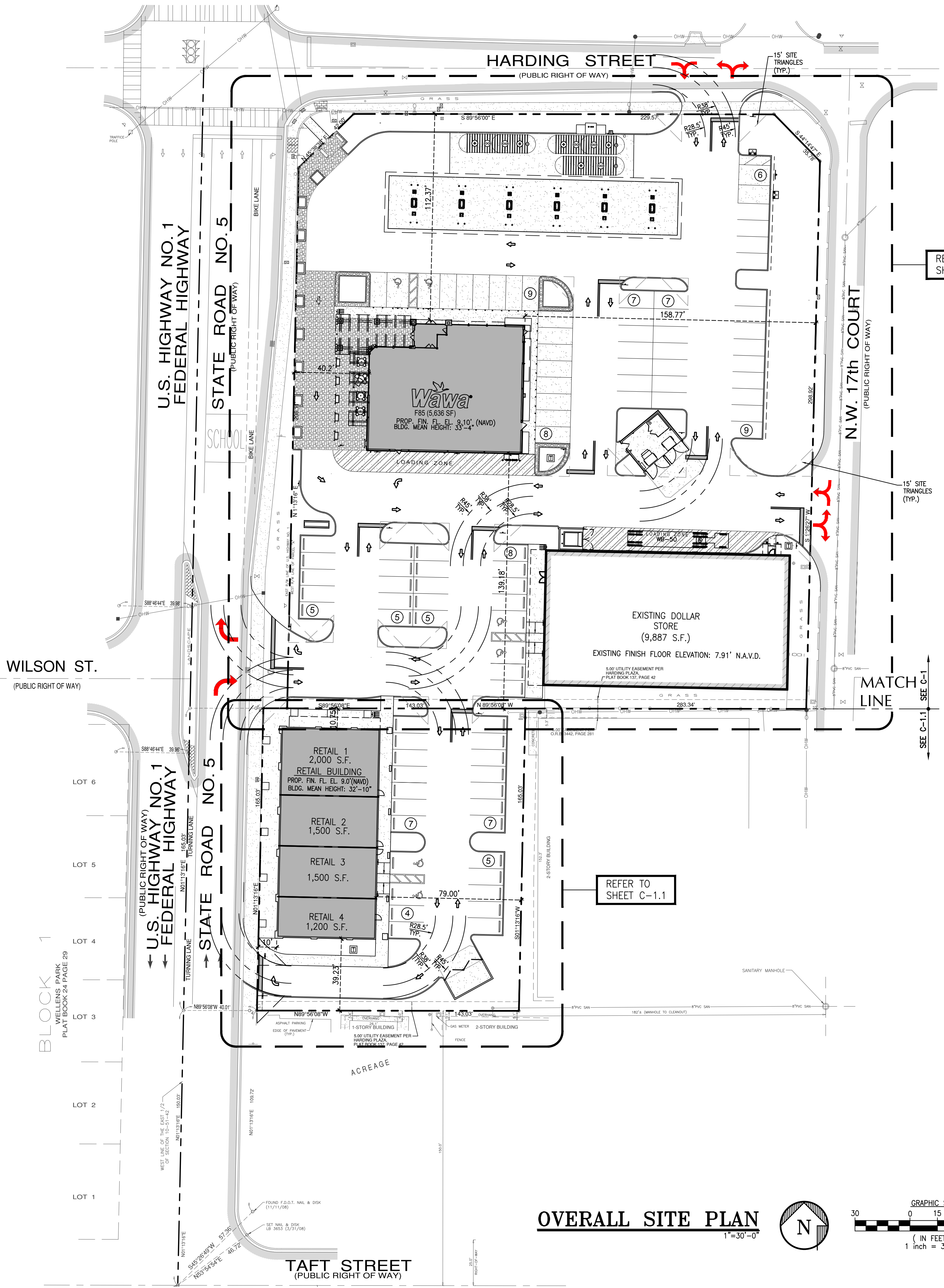
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

SITE DEMOLITION PLAN

1"=30'-0"





COMMERCIAL GREEN BUILDING PRACTICES INCORPORATED INTO PLANS

- (Per Ordinance 0-2011-06)
- Energy Star Approved Roofing Materials.
 - At least 80% of plants, trees and grass per the South Florida Water Management District recommendations (latest edition). Landscape plan, reviewed and approved by a landscape architect, shall be submitted with permit application. Landscaping shall be verified by inspection prior to final certificate of occupancy.
 - Utilize LED lights for over 90% of parking lot lighting.
 - Refrigerant: All building HVAC&R systems are free of CFU's and Halons.
 - Redevelopment of existing site - Locate the building on a site that has existing hardscape or buildings that must be replaced by the new development and has existing utility connections to the site.
 - Access to public transportation - The site is located within 1/4 mile of existing rail node or 1/4 mile of at least 1 active bus stop.
 - Sidewalks - Provide sidewalks for all paths to adjacent city streets that are minimum 4' wide with concrete or other firm, slip resistant surfaces.
 - Reduce heat island effect - Utilize a cool-roof that will have a Solar Reflectance Index equal to or greater than 78, which reduces the heat island effect.
 - Durable Exterior Materials-Building design shall include durable exterior building wall and window materials to prevent damage from high winds. The exterior surface of a minimum of 80% of walls shall be concrete or brick masonry. Windows shall have impact resistant glazing.
 - Low flow toilet fixtures. The toilets shall have a maximum water use of 1.28 gpf. Urinals shall have a maximum water use of 0.5 gpf. Calculations must be submitted with plans. System must pass all required inspections by plumbing inspector.



LEGAL DESCRIPTION:

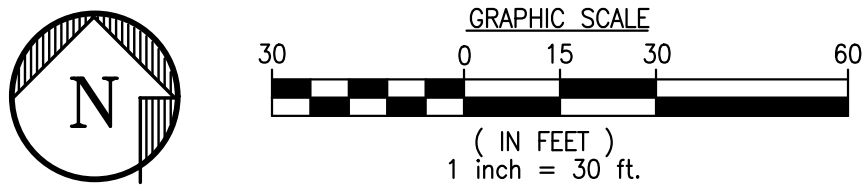
PARCEL 1: FOLIO# 5142 10 54 0010
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PARCEL 3:
BENEFICIAL EASEMENTS RIGHTS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT AND COVENANT RUNNING WITH THE LAND, BY AND BETWEEN, HARDING HOLLYWOOD INVESTMENTS, LLC AND ESJ HOLLYWOOD INVESTMENT, LLC RECORDED MARCH 9, 2009 IN OFFICIAL RECORDS BOOK 46038, PAGE 1379, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SITE AND CODE DATA									
DESCRIPTION			HARDING PLAZA						
CURRENT ZONING			FH-2 (Federal Highway Medium-High Intensity Mixed-Use District)						
CURRENT LAND USE			RAC - Regional Activity Center						
CURRENT USE			Commercial Shopping Center and Vacant Land						
1 GENERAL INFORMATION									
DESCRIPTION			TYPE				GROSS BUILDING AREA		
NON-RESIDENTIAL			New Retail				6,200 SF		
			Existing Retail Dollar Store				9,887 SF		
			Service Station (12 fuel dispensers) w/Convenience Store				5,636 SF 5,346 SF canopy		
FAR			3.0 Allowed				0.19 Provided		
TOTAL SITE AREA			114,968 (NET) SF (2.639 Acres)						
TOTAL BUILDING			21,723 SF				18.90%		
TOTAL VEHICULAR USE AREA			62,428 SF				54.30%		
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)			16,489 SF				26.41% of vehicular use area		
TOTAL OPEN SPACE AREA			30,817 SF				26.80%		
2 SETBACKS									
NEW RETAIL			EXISTING RETAIL			SERVICE STATION AND CONVENIENCE STORE			
DESCRIPTION	ALLOWED MIN MAX	PROVIDED	DESCRIPTION	ALLOWED MIN MAX	PROVIDED	DESCRIPTION	ALLOWED MIN MAX	PROVIDED	
FRONT (WEST)	10'-0"/30'-0"	10'-0"	FRONT (WEST)	10'-0"/30'-0"	139'-9"	FRONT (WEST)	10'-0"/30'-0"	40'-0"	
REAR (EAST)	0'-0"	72'-0"	REAR (EAST)	0'-0"	10'-6"	REAR (EAST)	0'-0"	158'-6"	
SIDE (NORTH)	10'-0"	336'-0"	SIDE (NORTH)	0'-0"	0'-0"	SIDE (NORTH)	0'-0"	112'-0"/34' canopy	
SIDE (SOUTH)	0'-0"	38'-8"	SIDE (SOUTH)	0'-0"	240'-5"	SIDE (SOUTH)	0'-0"	303'-9"/138'-9"	
3 MINIMUM ACTIVE USES									
FRONTAGE			REQUIRED			PROVIDED			
Federal Highway (489.5 FT)			60%			186.8' (38.16%)			
4 HEIGHTS PROVIDED									
NEW RETAIL			EXISTING RETAIL DOLLAR STORE			SERVICE STATION AND CONVENIENCE STORE			
DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	DESCRIPTION	ALLOWED MAXIMUM	PROVIDED	
HEIGHT	140'-0"	32'-7"	HEIGHT	140'-0"	24'-0"	HEIGHT	140'-0"	33'-4"	
5 PARKING DATA									
DESCRIPTION			MINIMUM 3 PER 1000 SF / MAXIMUM 5 PER 1000 SF				REQUIRED MINIMUM	REQUIRED MAXIMUM	
NEW RETAIL			Standard parking spaces for 6,200 SF				19 sp	31 sp	
EXISTING RETAIL DOLLAR STORE			Standard parking spaces for 9,887 SF				30 sp	49 sp	
SERVICE STATION/CONVENIENCE STORE			Standard parking spaces for 5,636 sf				17 SP	28 SP	
TOTAL STANDARD PARKING SPACES							66 sp	108 sp	
							PROVIDED 87 SPACE		
							INCLUDING 2 AT AIR HOSES		
6 PROJECT SUMMARY									
SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION									
SPECIAL EXCEPTION		SERVICE STATION (WAWA)							
VARIANCE		FRONT SETBACK (WAWA)			REQUIRED	PROVIDED	Part of Plaza to allow exit of fueling truck		
					10'-0"/30'-0"	40'-0"			
		FRONT DRIVE (WAWA)			Not Allowed				
		MINIMUM ACTIVE USES - FEDERAL HWY.			60%	38.16%			
		10 FT PERIPHERAL LANDSCAPE BUFFER			10'-0"	5 FT			
		WHEEL STOPS (WAWA)			ALL Parking	Bollards at spaces next to building only			

OVERALL SITE PLAN



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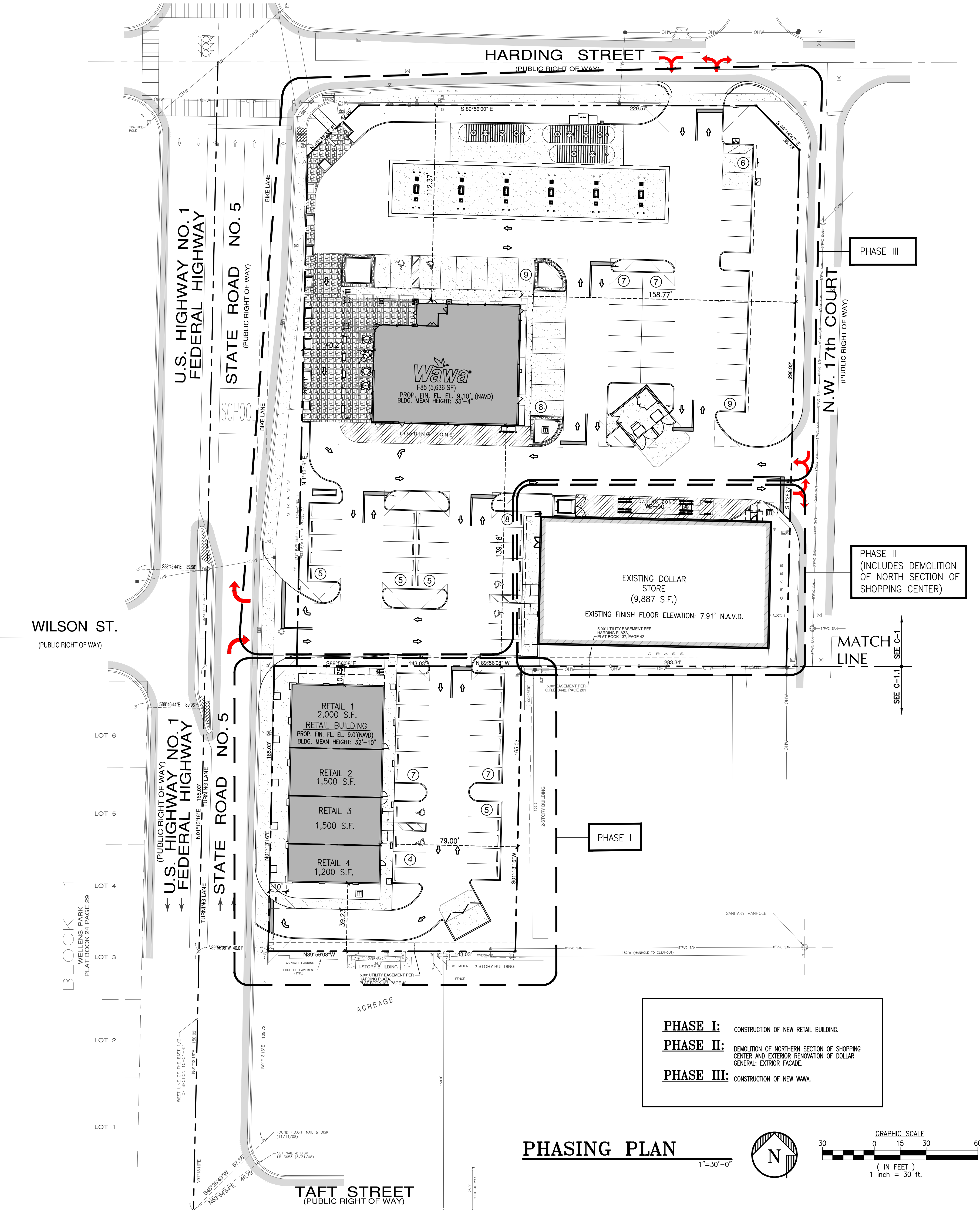
HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

project no: 1581
scale: AS SHOWN
date: 05-14-18
drawn by: a.v.

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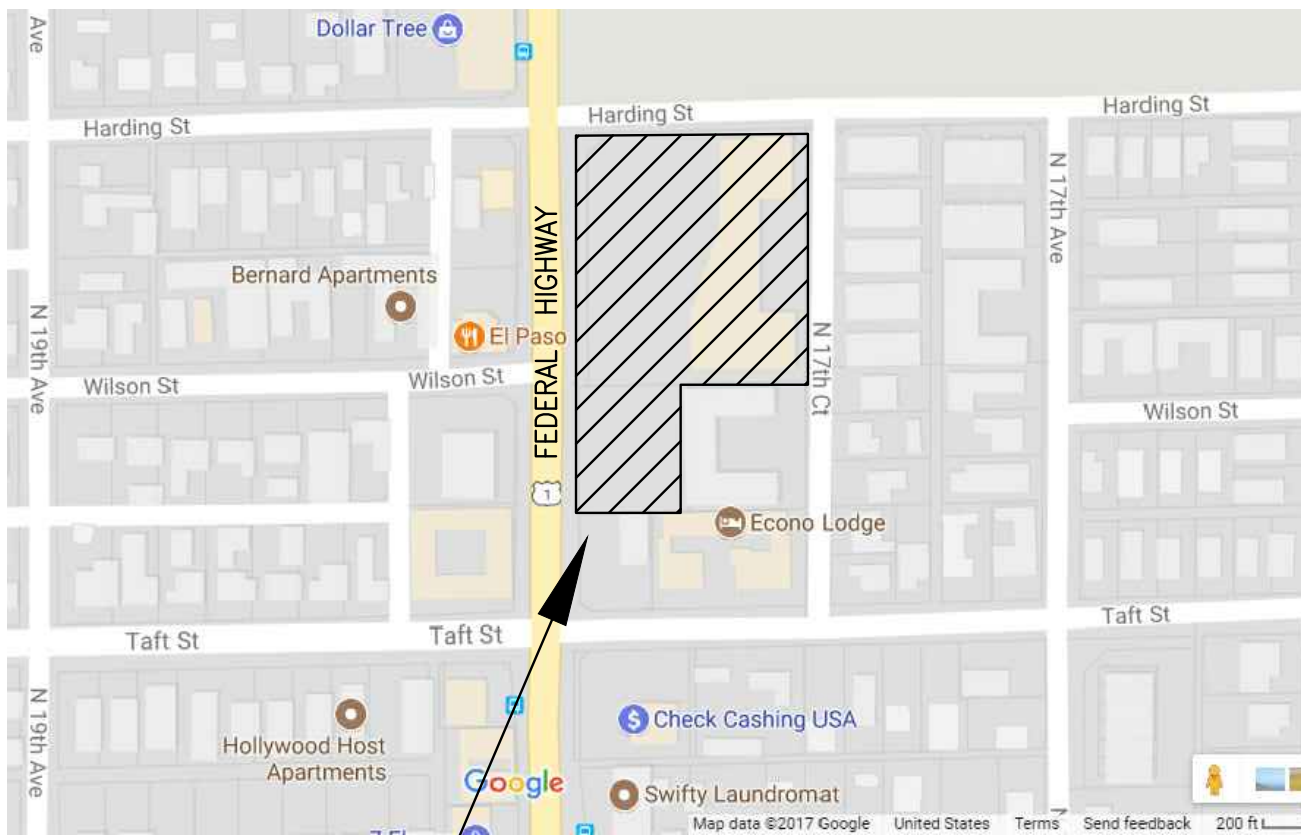
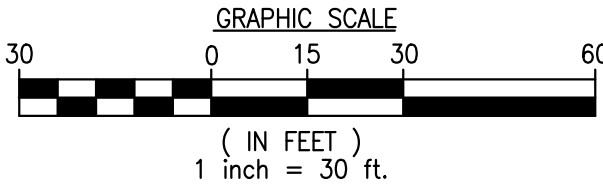
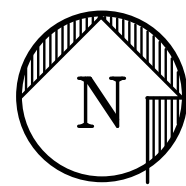
MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124



PHASING PLAN

- PHASE I:** CONSTRUCTION OF NEW RETAIL BUILDING.
PHASE II: DEMOLITION OF NORTHERN SECTION OF SHOPPING CENTER AND EXTERIOR RENOVATION OF DOLLAR GENERAL EXTERIOR FACADE.
PHASE III: CONSTRUCTION OF NEW WAWA.



LOCATION PLAN



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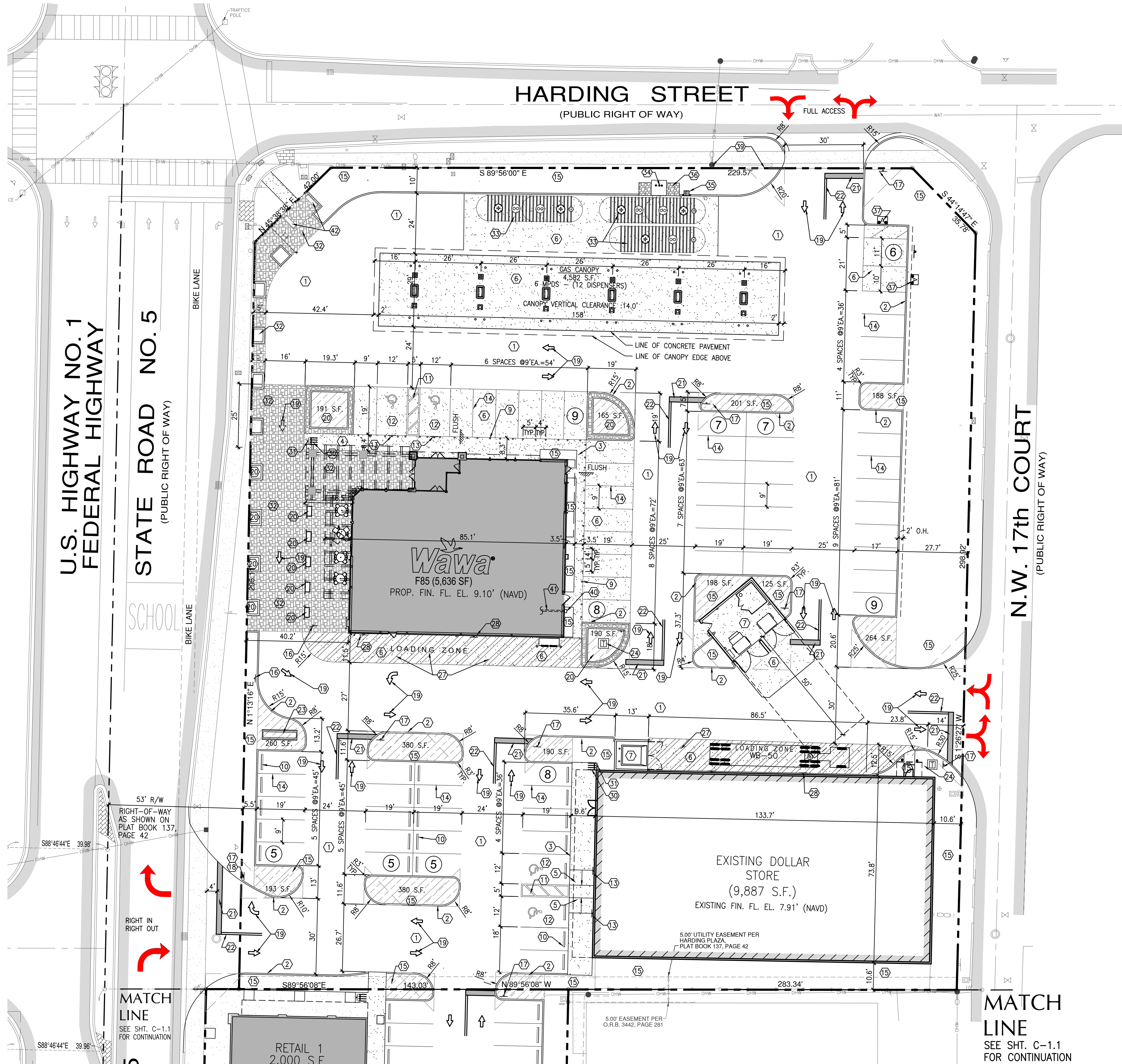
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revisions seal

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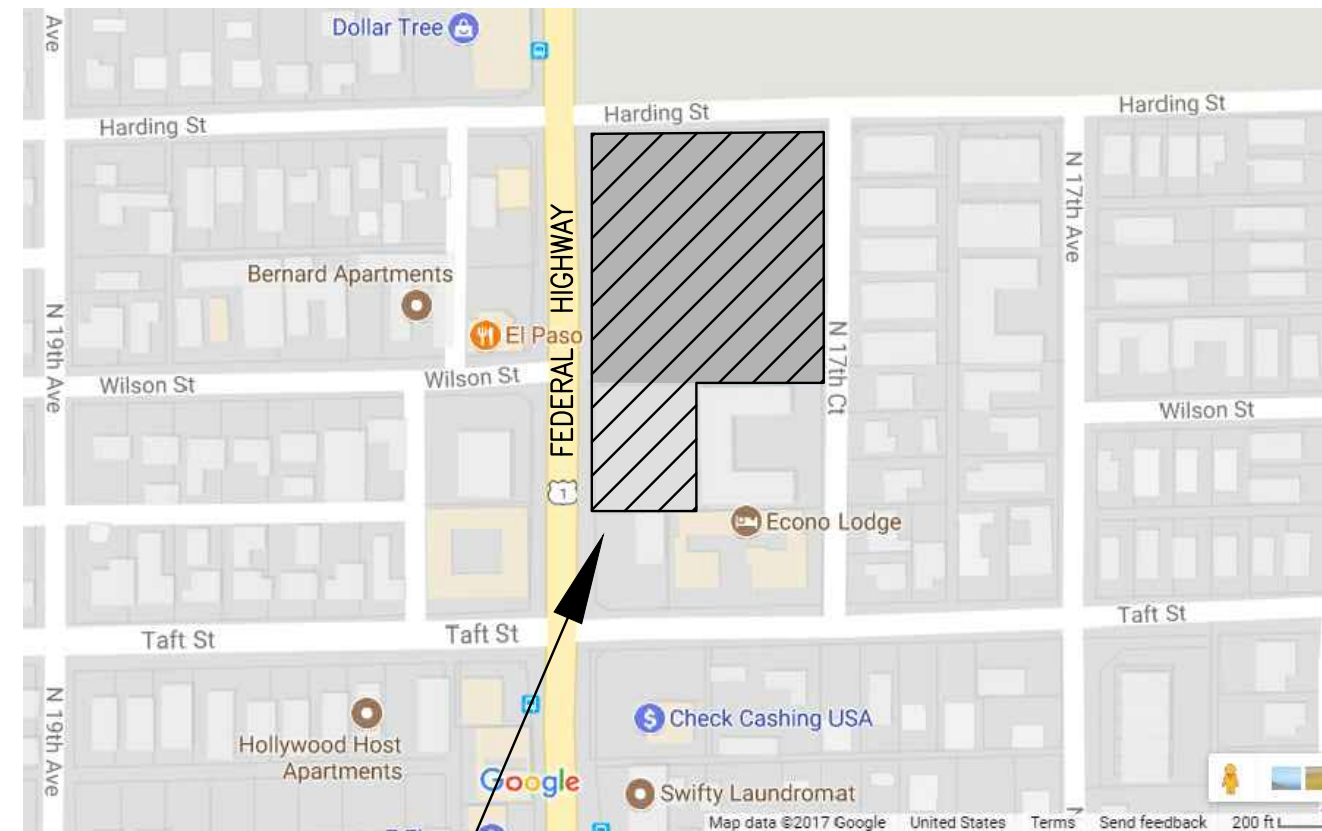
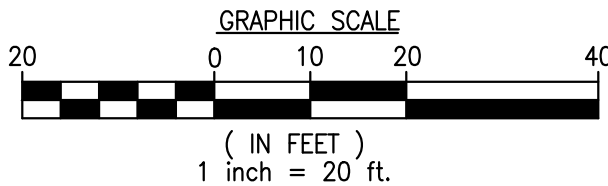
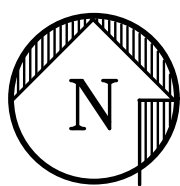
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SITE PLAN

1"=20'-0"



LOCATION PLAN

N.T.S.



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CONSTRUCTION NOTES:

- | | |
|--|---|
| <ul style="list-style-type: none">① ASPHALT PAVEMENT AS PER DETAIL.② 6" P.C.C. TYPE 'D' CURB AS PER DETAIL③ P.C.C. CURB EDGE SIDEWALK AS PER DETAIL. (FLUSH WITH PAVEMENT)④ CONCRETE SIDEWALK AS PER DETAIL⑤ P.C.C. HANDICAP RAMP - MAX SLOPE 1:12⑥ 6" CONCRETE PAVEMENT COLOR: GRAY WITH A MIN. SOLAR REFLECTANCE OF 0.30⑦ TRASH & RECYCLE ENCLOSURE REFER TO ARCH. DWGS.⑧ METAL HALIDE PARKING LIGHT REFER TO PH-1.⑨ STEEL BOLLARDS AS PER DETAIL.⑩ YELLOW POLYMER WHEEL STOP AS PER DETAIL⑪ 6" WHITE STRIPES AT 60" (PER FDOT INDEX No.17346)⑫ HANDICAP PARKING AS PER DETAIL.⑬ HANDICAP SIGN 7'-0" A.F.P. (TO BE POSTED ON WALL WHERE POSSIBLE)⑭ 4" WHITE STRIPES (TYPICAL AT PARKING SPACES)⑮ LANDSCAPE AREA.⑯ STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)⑰ STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")⑱ STANDARD F.D.O.T. "RIGHT TURN ONLY" SIGN. R3-5R⑲ TRAFFIC ARROWS PAINTED WHITE⑳ PLANTERS | <ul style="list-style-type: none">㉑ 24" WHITE STOP BAR (THERMOPLASTIC)㉒ 6" DOUBLE YELLOW SOLID STRIPES (THERMOPLASTIC)㉓ FUEL PRICING SIGN㉔ TRANSFORMER PAD㉕ 6" WHITE STRIPE (THERMOPLASTIC)㉖ 6" YELLOW STRIPE (THERMOPLASTIC)㉗ 18" YELLOW STRIPE-45° @ 4' O.C. W/24" HIGH LETTERS㉘ "NO PARKING-LOADING ZONE" SIGN㉙ BUILDING SIGN㉚ BICYCLE RACK BY HUNTCO MODEL BR-5 OR APPROVED EQUAL FINISH: POWER COATED RED, SUPPLIED AND INSTALLED BY G.C.㉛ "BICYCLE PARKING" SIGN㉜ STAMPED CONCRETE㉝ UNDERGROUND FUEL TANKS.㉞ 6"x6" VENT STACK PAD.㉟ "E" STOP WITH (2) BOLLARDS㊱ 5' WIDE ROCK BED㊲ 4'x3' AIR MACHINE PAD W/ (2) BOLLARDS.㊳ NOT USED㊴ EXISTING POLE AND GUY WIRE㊵ PROVIDE 2-GANG JUNCTION BOX WITH BLANK PLATE FOR FUTURE VEHICLE CHARGING STATION.㊶ PROVIDE 3/4" CONDUIT FROM FOR FUTURE VEHICLE CHARGING STATION.㊷ BENCHES - SEE DETAIL ON SHEET C-4 |
|--|---|

SITE PLAN LEGEND

- | | |
|---|--|
| <ul style="list-style-type: none"> TRANSFORMER BOX ON PAD EXISTING TRAFFIC SIGNAL NUMBER OF PARKING SPACES ACCESSIBLE PARKING SPACES | <ul style="list-style-type: none"> NEW CONC. SIDEWALK STANDARD DUTY ASPHALT HEAVY DUTY ASPHALT (REFER TO SHT. C-2 FOR H.D. ASPHALT) STAMPED CONCRETE SHOWS MINIMUM 190 S.F. REQUIRED LANDSCAPING |
|---|--|

NOTES

- ALL PAVEMENT MARKINGS ARE TO COMPLY WITH CITY OF HOLLYWOOD ENGINEERING STANDARDS/MUTCD.
- PAVEMENT MARKING MATERIAL = PAINT (UNLESS OTHERWISE NOTED) ALL MARKINGS TO RECEIVE TWO (2) COATS OF PAINT. SECOND COAT JUST BEFORE OPENING.
- ALL SIGNS BY SEPARATE PERMIT.
- ALL RADI AND DIMENSIONS ARE FROM FACE OF CURB/EDGE OF PAVEMENT.
- ALL RADI TO BE 3' TYPICAL UNLESS OTHERWISE NOTED.

HARDING PLAZA REDEVELOPMENT

FEDERAL HIGHWAY & HARDING ST.

HOLLYWOOD, FLORIDA

project no: 1581
scale: AS SHOWN
date: 05-14-18
drawn by: A.V.

C-1

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15500 NEW BARN ROAD

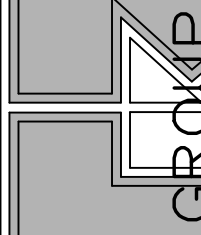
SUITE 106

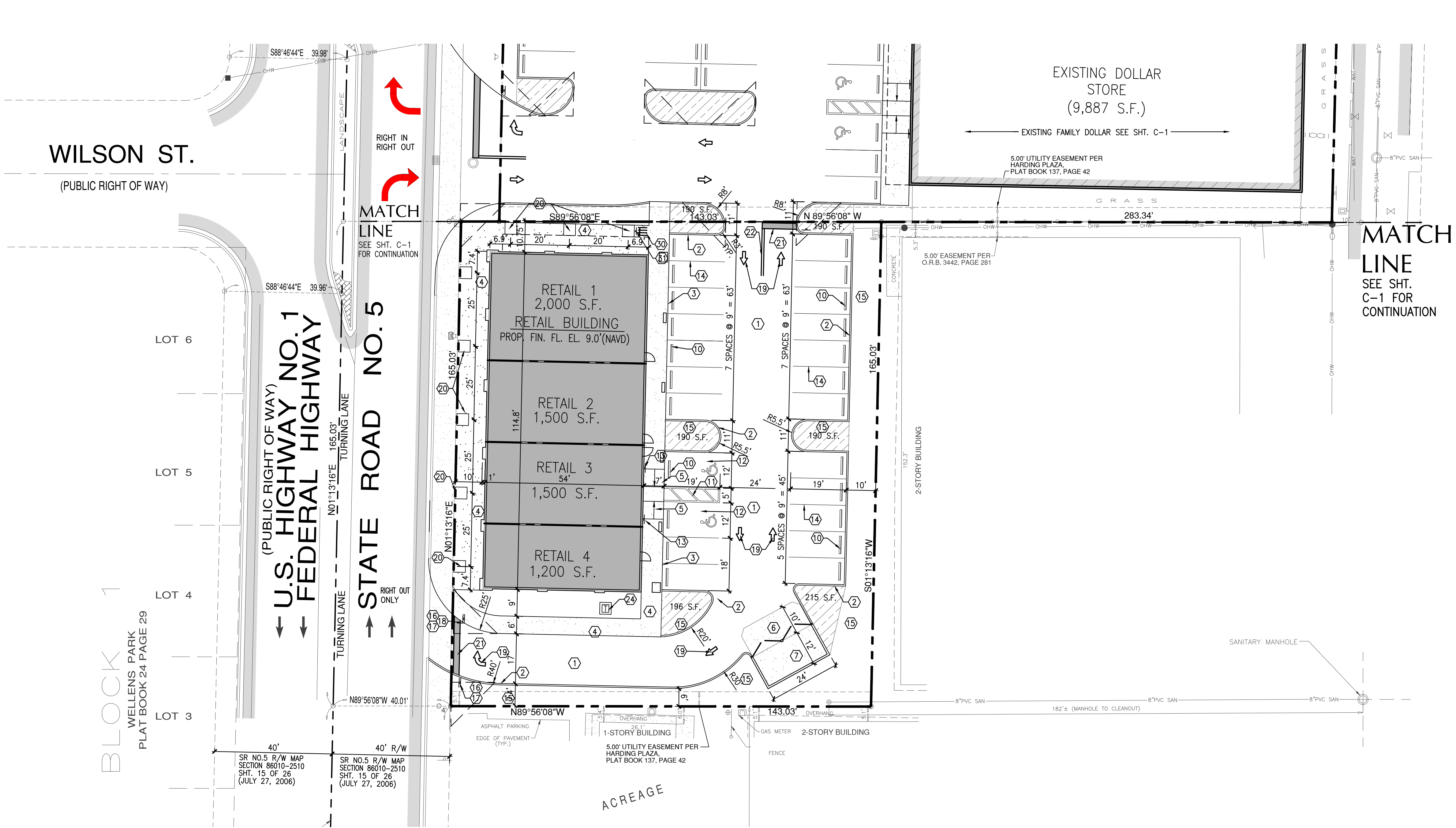
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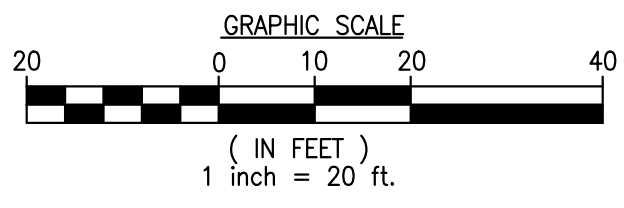
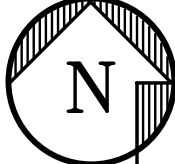
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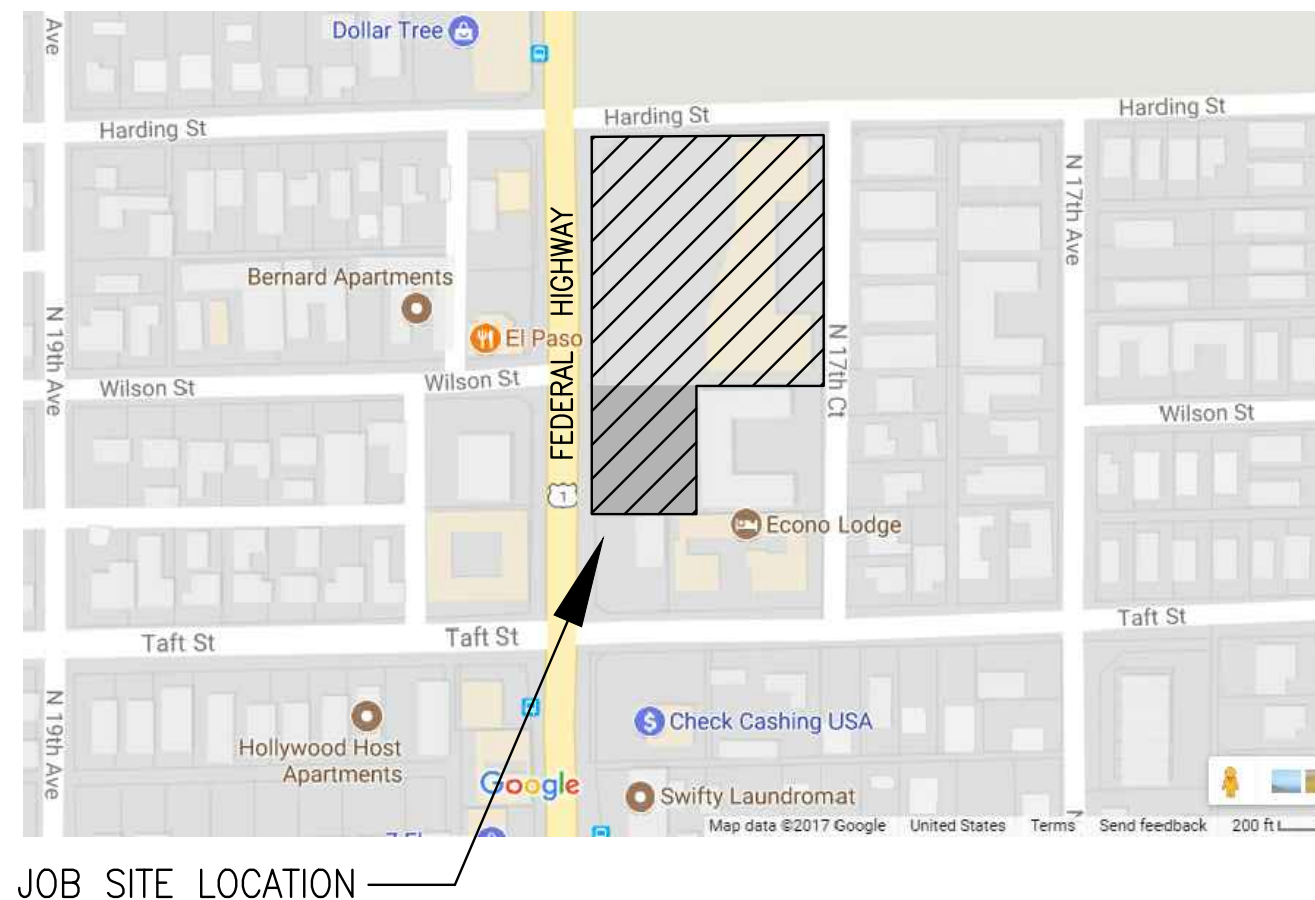
SITE PLAN



SITE PLAN LEGEND	
	TRANSFORMER BOX ON PAD
	EXISTING TRAFFIC SIGNAL
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	NEW CONC. SIDEWALK
	STANDARD DUTY ASPHALT
	HEAVY DUTY ASPHALT (REFER TO SHT. C-2.1 FOR H.D. ASPHALT)
	STAMPED CONCRETE
	SHOWS MINIMUM 190 S.F. REQUIRED LANDSCAPING

- NOTES**
- ALL PAVEMENT MARKINGS ARE TO COMPLY WITH MIAMI-DADE COUNTY ENGINEERING STANDARDS/MUTCD.
 - PAVEMENT MARKING MATERIAL = PAINT (UNLESS OTHERWISE NOTED). ALL MARKINGS TO RECEIVE TWO (2) COATS OF PAINT. SECONOT COAT JUST BEFORE OPENING.
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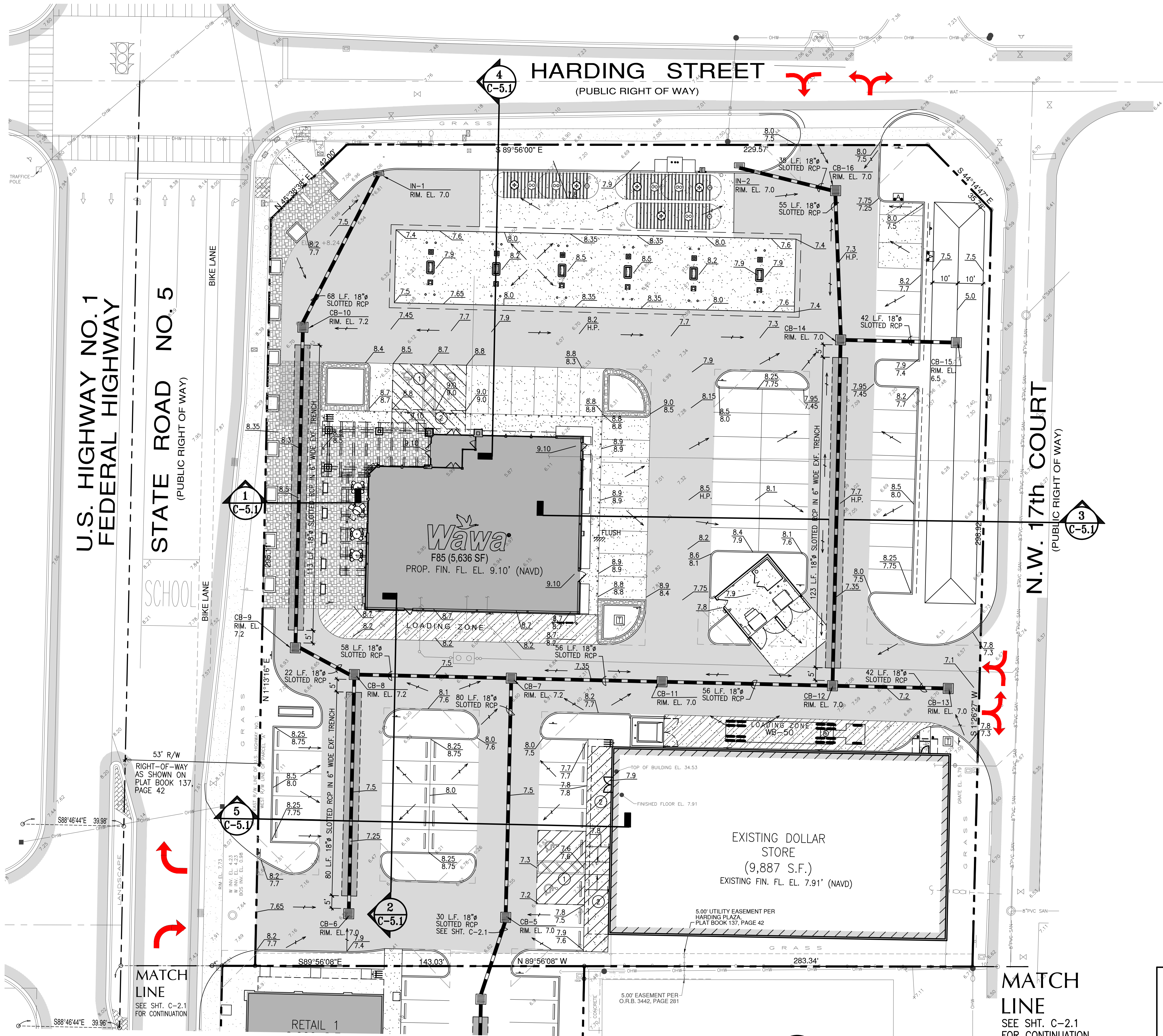
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revisions seal

C-1.1

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124



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PROPOSED DRAINAGE SCHEDULE

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	"p"	7.2'				
CB-2	"p"	7.2'				
CB-3	"p"	7.0'				
CB-4	"p"	7.0'				
CB-5	"p"	7.0'				
CB-6	"p"	7.0'				
CB-7	"p"	7.2'				
CB-8	"p"	7.2'				
CB-9	"p"	7.2'				
CB-10	"p"	7.2'				
CB-11	"p"	7.0'				
CB-12	"p"	7.0'				
CB-13	"p"	7.0'				
CB-14	"p"	7.0'				
CB-15	"p"	6.5'				
CB-16	"p"	7.0'				
IN-1	"p"	7.0'				
IN-2	"p"	7.0'				

* PROVIDE POLLUTION RETARDANT BAFFLES AT ALL EXFILTRATION TRENCHES

LEGEND

- PROF. DIRECTION OF DRAINAGE FLOW ARROW
- EXISTING ELEVATION
- PROP. TOP OF CURB & FINISHED GRADE ELEV. PROPOSED ELEVATIONS
- G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE
- SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% SLOPE ALONG PATH AND MAX. 2% CROSS SLOPE.
- NEW CONC. SIDEWALK
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- STAMPED CONCRETE
- SHOWS MINIMUM 190 S.F. REQUIRED LANDSCAPING

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CKE GROUP INCORPORATED
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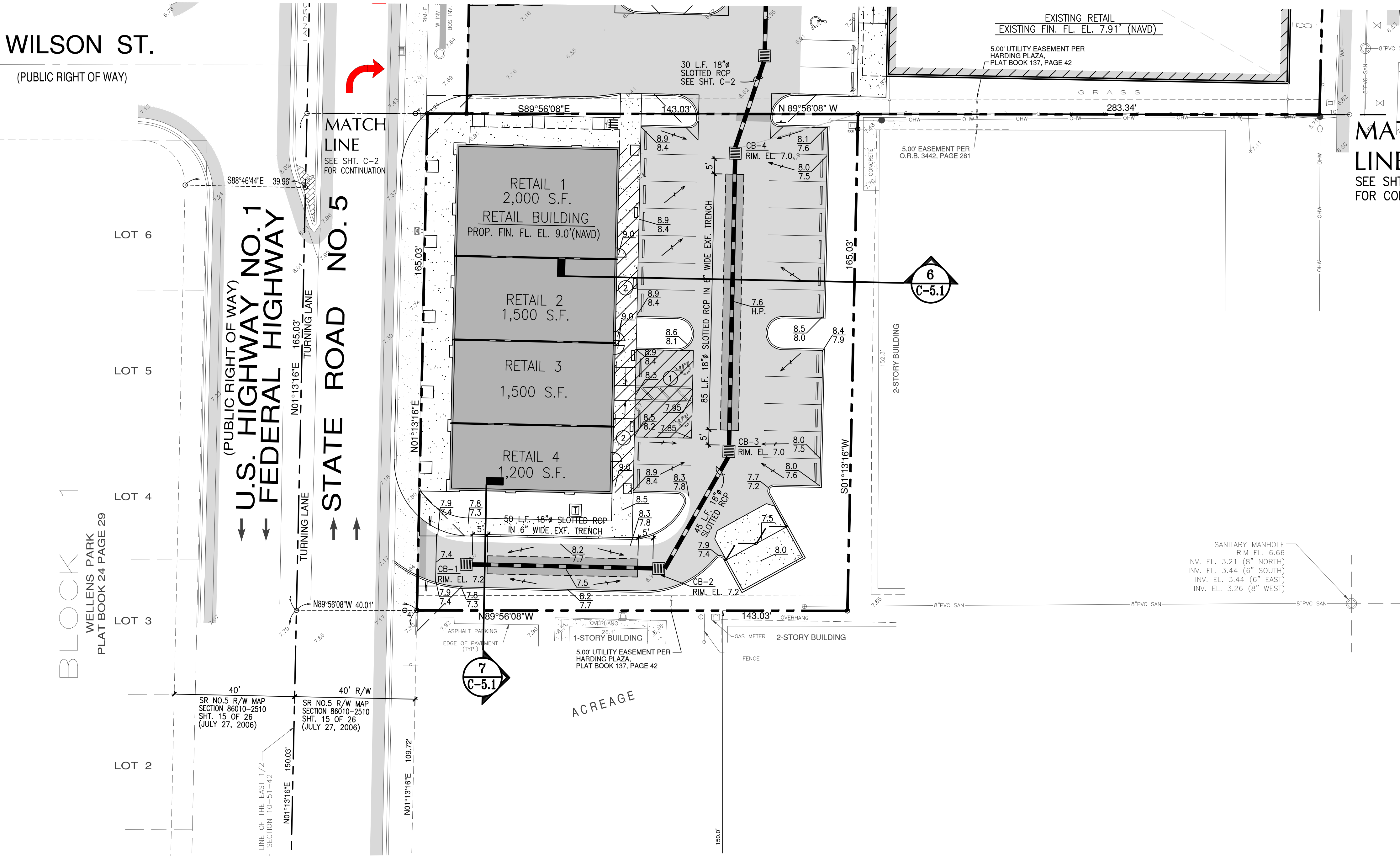
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SUITE 106

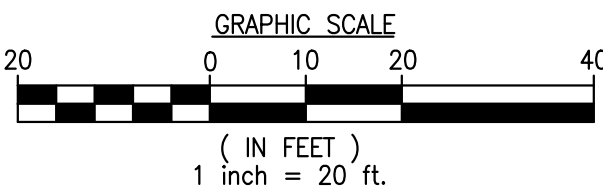
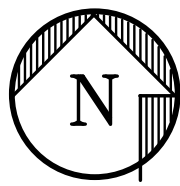
MIAMI LAKES, FLORIDA 33014

(305) 558-4122

WILSON ST.
(PUBLIC RIGHT OF WAY)



PAVING & GRADING PLAN
1"=20'-0"



LOCATION PLAN
N.T.S.

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LEGEND

- PROP. DIRECTION OF DRAINAGE FLOW ARROW
- EXISTING ELEVATION
- PROP. TOP OF CURB & FINISHED GRADE ELEV. PROPOSED ELEVATIONS
- G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE
- SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% SLOPE ALONG PATH AND MAX. 2% CROSS SLOPE.
- NEW CONC. SIDEWALK
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- STAMPED CONCRETE
- SHOWS MINIMUM 190 S.F. REQUIRED LANDSCAPING

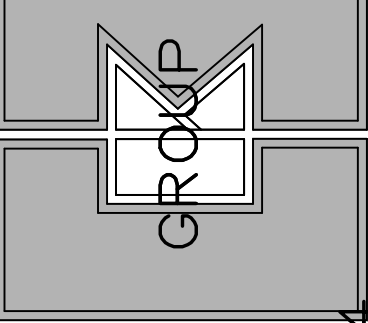
HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

project no: 1581
scale: AS SHOWN
date: 05-14-18
drawn by: a.v.

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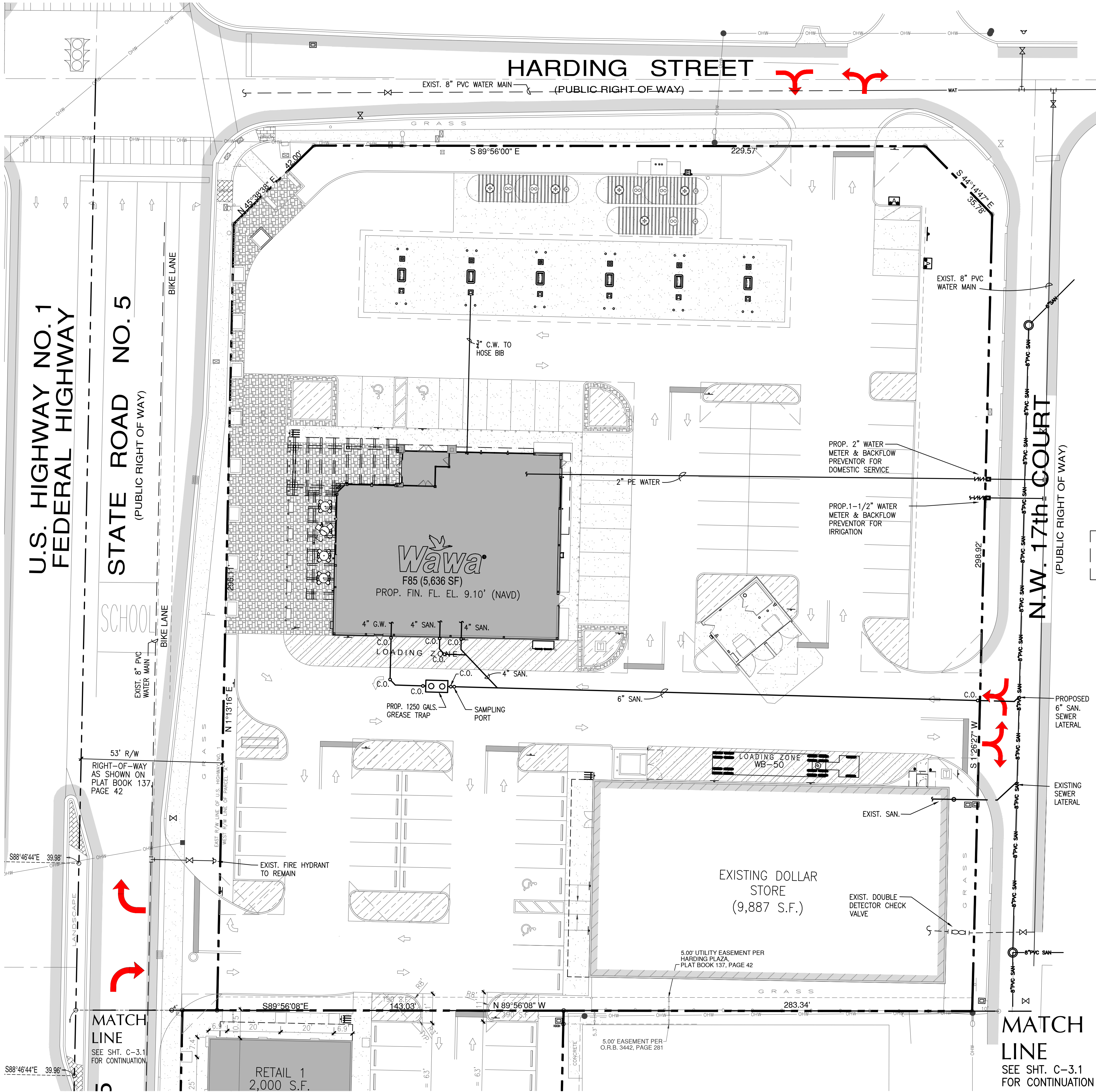
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15500 NEW BARN ROAD

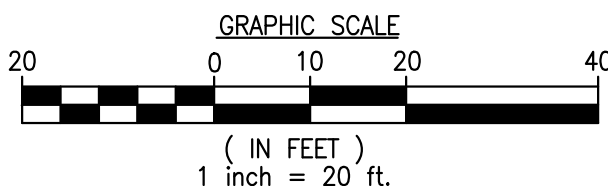
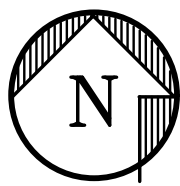
SUITE 106

MIAMI LAKES, FLORIDA 33014

(305) 558-4124



SITE UTILITY PLAN
1"=20'-0"



LOCATION PLAN
N.T.S.

LEGAL DESCRIPTION:

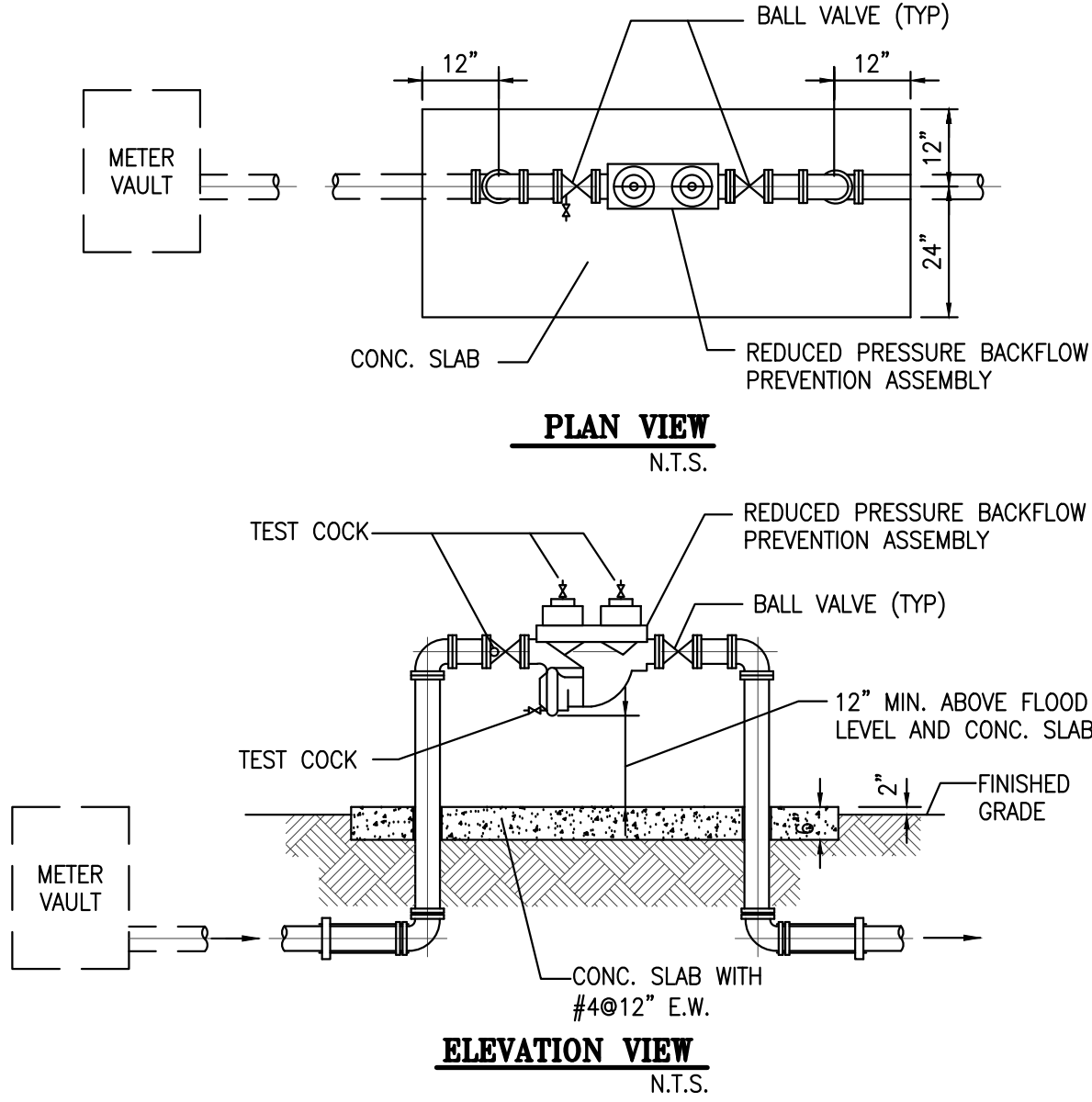
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PROPOSED WATER AND SEWER DEMAND TABLE

	USE	SIZE	DEMAND	TOTAL
WATER	WAWA	5,636 S.F.	10 GALS/100 S.F.	564 GALS PER DAY
	NEW RETAIL	6,200 S.F.	10 GALS/100 S.F.	620 GALS PER DAY
	EXIST. DOLLAR STORE	9,887 S.F.	10 GALS/100 S.F.	989 GALS PER DAY
	TOTAL			2,173 GALS PER DAY
SEWER	WAWA	5,636 S.F.	10 GALS/100 S.F.	564 GALS PER DAY
	NEW RETAIL	6,200 S.F.	10 GALS/100 S.F.	620 GALS PER DAY
	EXIST. DOLLAR STORE	9,887 S.F.	10 GALS/100 S.F.	989 GALS PER DAY
	TOTAL			2,173 GALS PER DAY



REDUCED PRESSURE ZONE
BACKFLOW PREVENTER
FOR WATER SERVICE 3/4" THRU 2"

GENERAL NOTES:

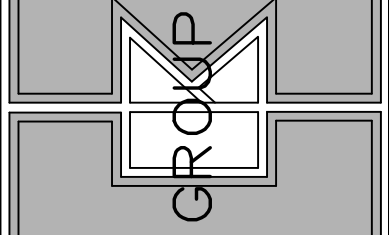
1. ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB, STEAMER CONNECTION TO FACE ROADWAY.
2. LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
3. BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
4. ALL CLEAN-OUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
5. ON-SITE SANITARY SEWER TO BE PRIVATELY MAINTAINED.
6. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
7. MINIMUM SLOPE OF SANITARY WASTE = 1%.
8. CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70FT.
9. NO SOLVENT WELD SHALL BE USED.
10. REFER TO CITY OF HOLLYWOOD PUBLIC WORKS STANDARD DETAILS FOR ADDITIONAL DETAILS.
11. REFER TO SHEET CE-1 FOR SITE LIGHTING.
12. CLEANOUTS AT SIDEWALK TO BE FLUSH WITH TOP OF SIDEWALK

NOTE:
GENERAL CONTRACTOR TO COORDINATE REMOVAL, DISCONNECT AND RELOCATION OF ALL POLES AND UTILITIES WITH PROPER UTILITY COMPANIES (FP&L, GAS, AT&T, ETC.).

HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

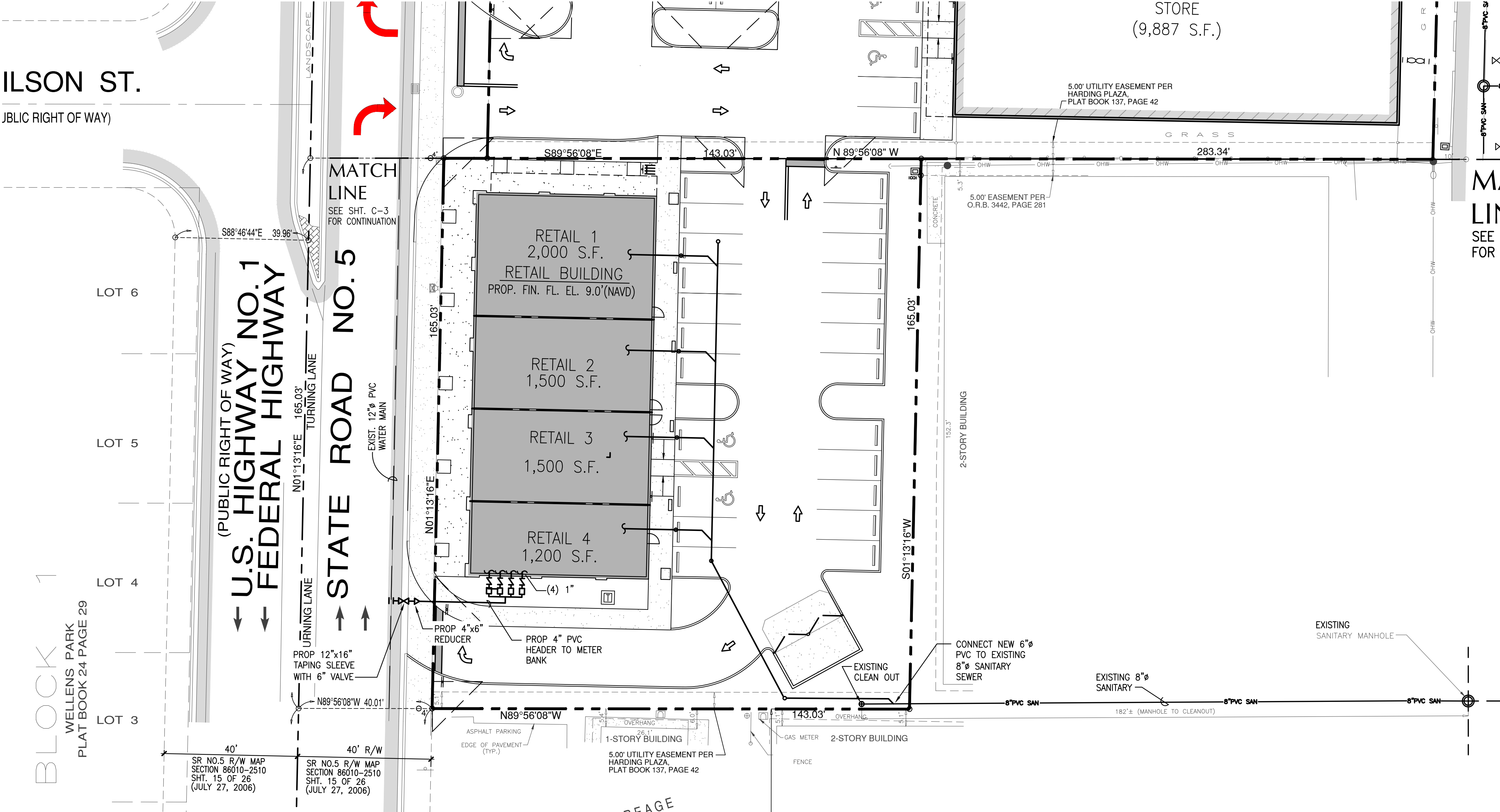
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date: 05-14-18
drawn by: a.v.

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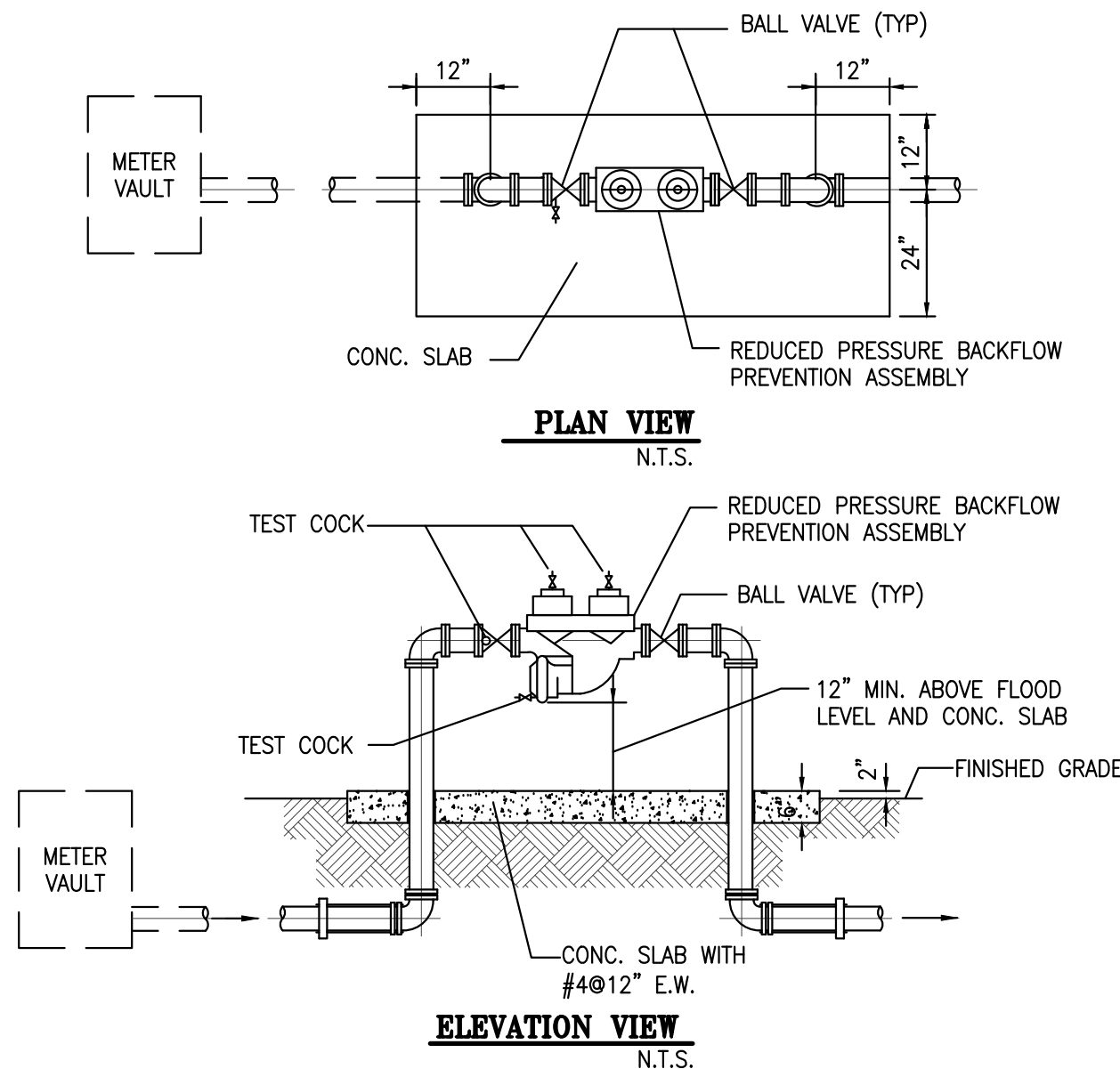
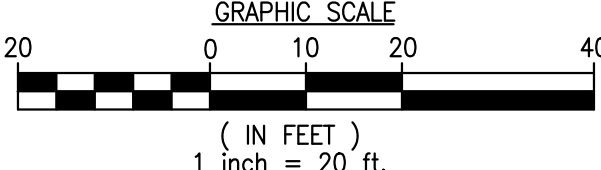
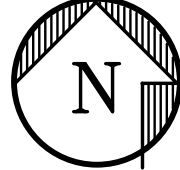


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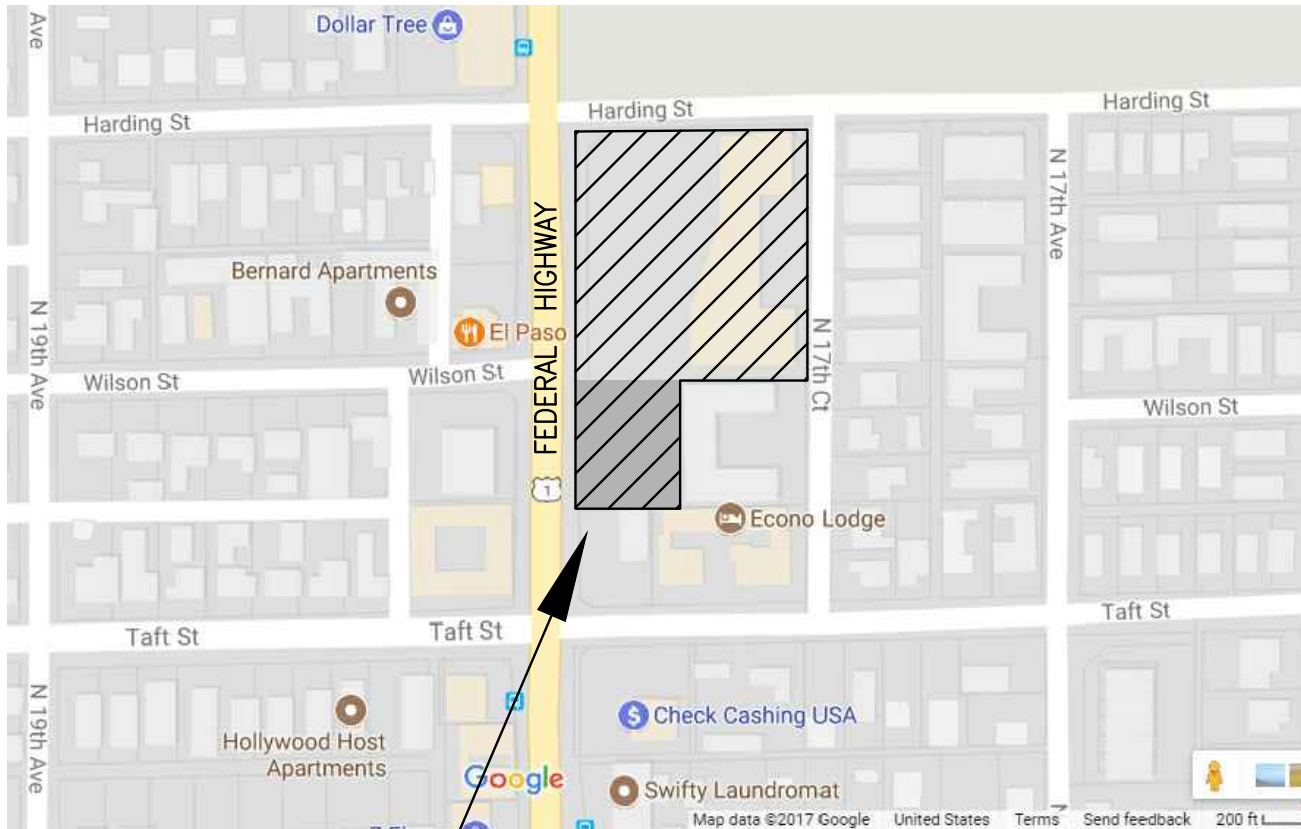
SITE UTILITY PLAN



REDUCED PRESSURE ZONE
BACKFLOW PREVENTER
FOR WATER SERVICE 3/4" THRU 2"

- GENERAL NOTES:**
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 5. ON-SITE SANITARY SEWER TO BE PRIVATELY MAINTAINED.
 6. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
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 11. REFER TO SHEET PH-1 FOR SITE LIGHTING.
 12. CLEANOUTS AT SIDEWALK TO BE FLUSH WITH TOP OF SIDEWALK.

NOTE:
GENERAL CONTRACTOR TO COORDINATE REMOVAL, DISCONNECT AND RELOCATION OF ALL POLES AND UTILITIES WITH PROPER UTILITY COMPANIES (FPL, GAS, AT&T, ETC.).



LOCATION PLAN



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FEDERAL HIGHWAY & HARDING ST.

HOLLYWOOD, FLORIDA

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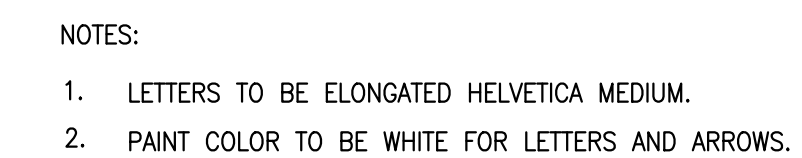
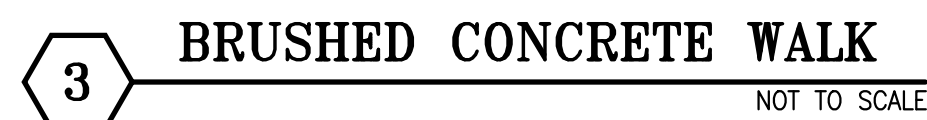
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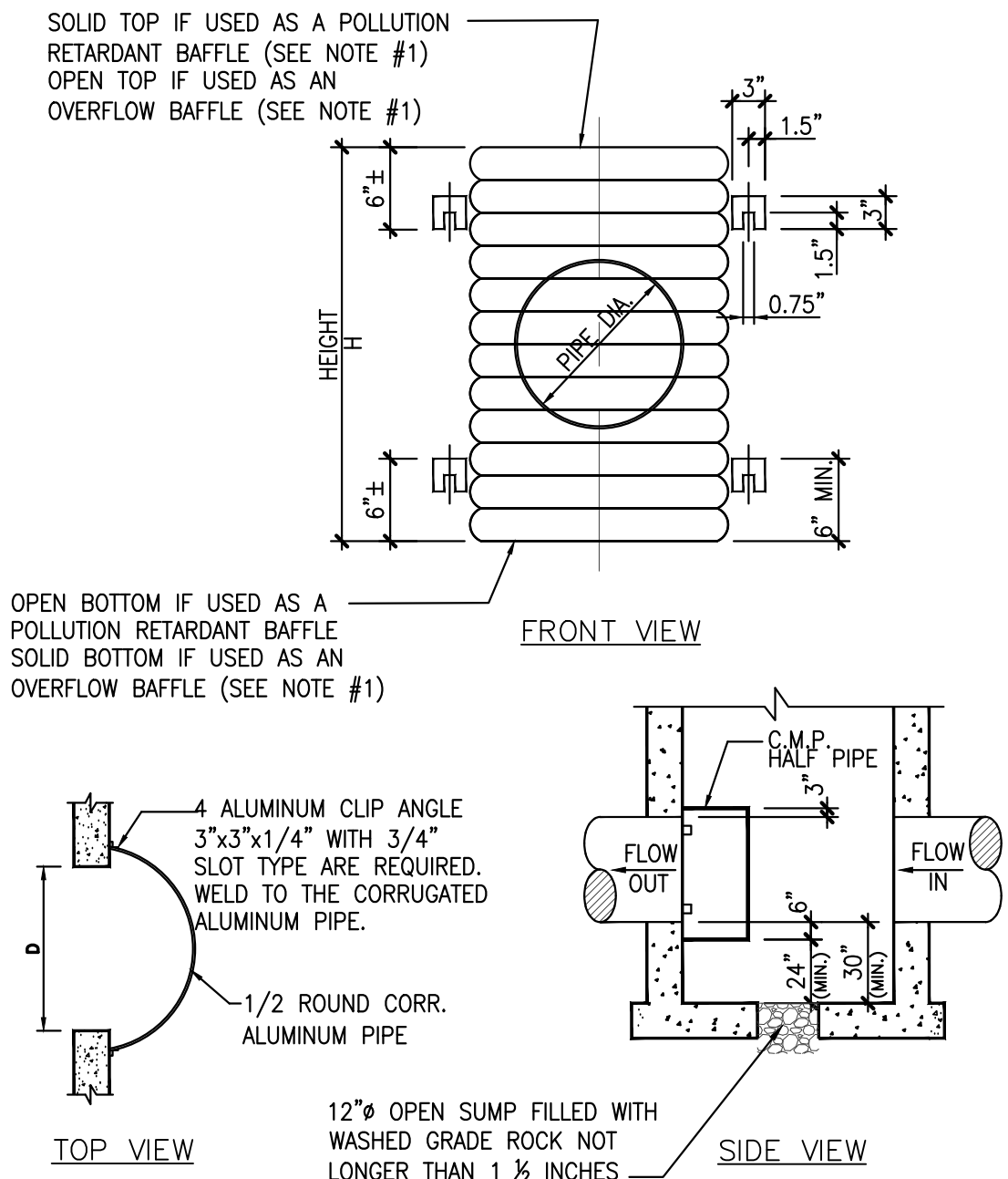
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1. ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
2. DESIGNS ARE PER 175 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).



POLLUTION RETARDANT BAFFLE DETAIL

NOT TO SCALE

(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)

STANDARD DIMENSIONS			
PIPE DIA.	D (INCHES)	T (GAUGE)	H (INCHES MIN)
10"	15"	16	15"
15"	24"	16	21"
18"	30"	16	27"
24"	36"	16	33"
30"	42"	14	39"
36"	48"	14	45"
42"	54"	14	51"

NOTES:

1. ALUMINUM SHEET OF SAME THICKNESS (GAGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING.
2. BAFFLE SHALL BE AS MANUFACTURED BY SOUTHERN CULVERT OR ENGINEER'S APPROVED EQUAL.
3. NEOPRENE GASKET (3/8"x 2") SHALL BE INSTALLED AT ALL BAFFLES.

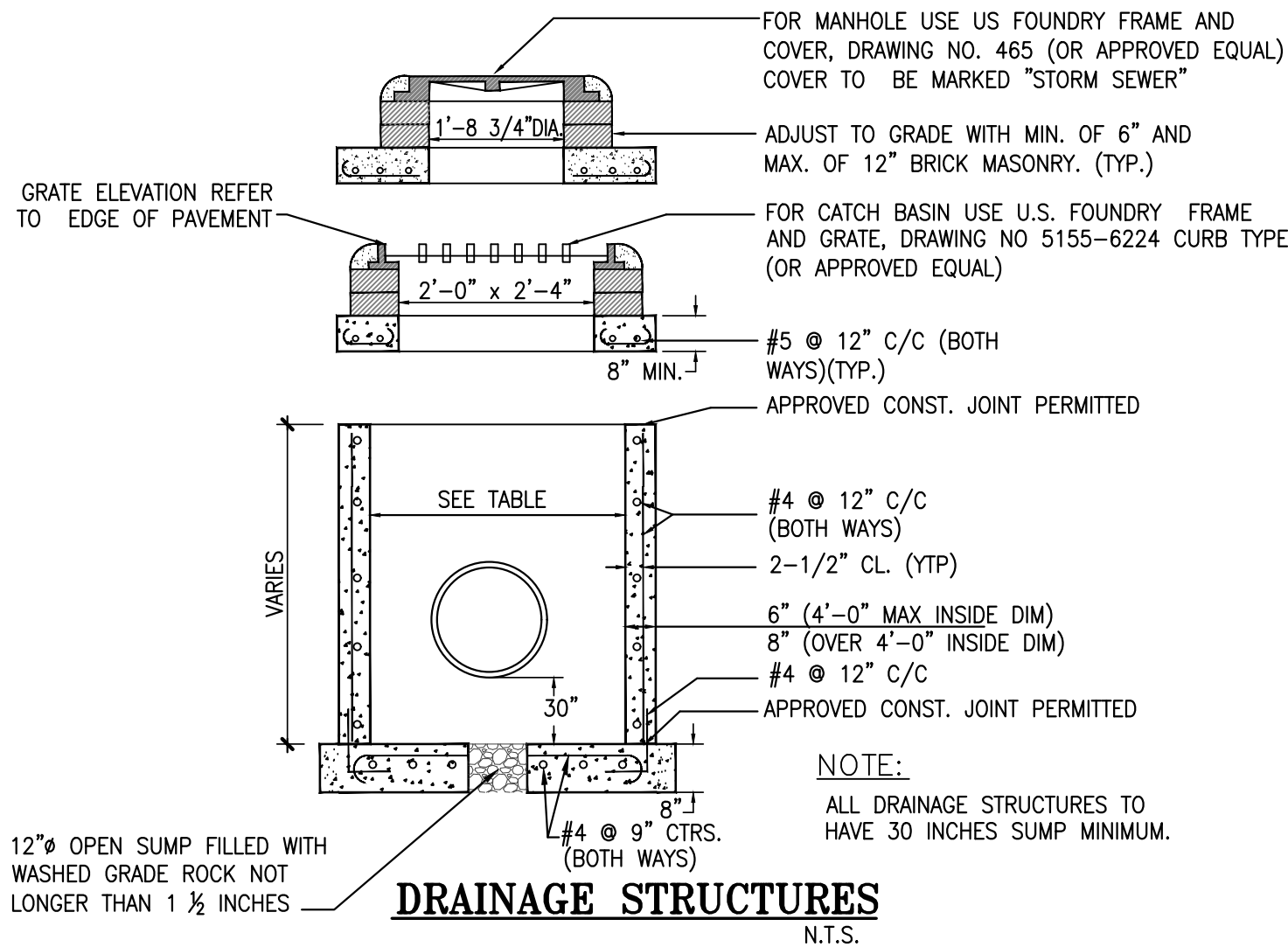


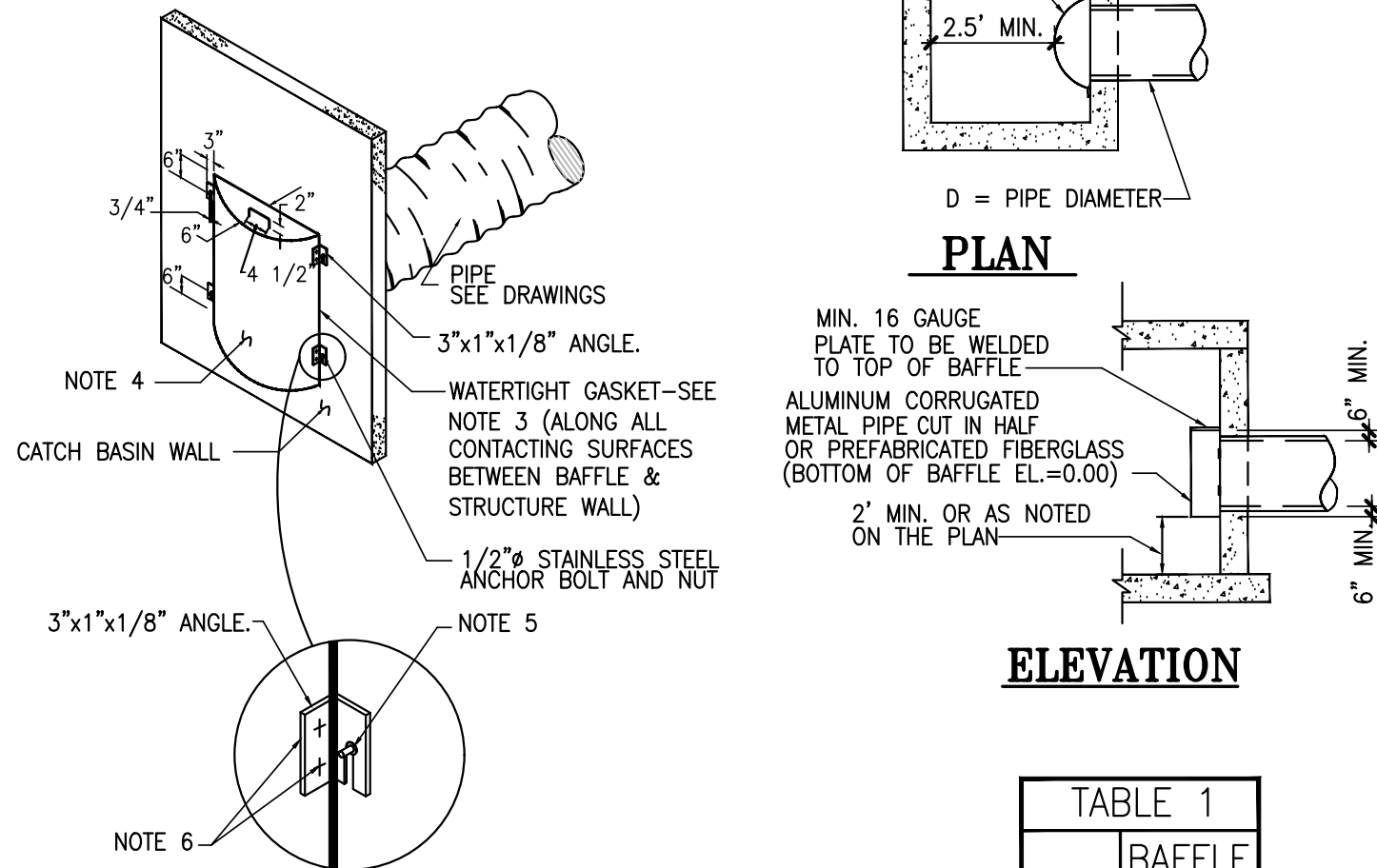
TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES		
STRUCTURE TYPE	INLET	MANHOLE
B	3'-0" X 3'-0"	3'-0" X 3'-0"
C	3'-0" X 4'-0"	3'-0" X 4'-0"
D	3'-0" X 5'-0"	3'-0" X 5'-0"
F	4'-0" X 4'-0"	4'-0" X 4'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	5'-0" X 6'-0"	5'-0" X 6'-0"
J	6'-0" X 6'-0"	6'-0" X 6'-0"
K	4'-0" X 6'-0"	4'-0" X 6'-0"
L	3'-0" X 6'-0"	3'-0" X 6'-0"
M	5'-0" X 5'-0"	5'-0" X 5'-0"

DRAINAGE STRUCTURES SECTION DETAILS

NOT TO SCALE

(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)

- NOTE:**
- 1.-CONTRACTOR TO VERIFY THAT BAFFLE WILL FIT STRUCTURE I.D.
 - 2.-DEBRIS BAFFLE REQUIRED AT CATCH BASINS CONNECTED DIRECTLY TO PROPOSED DRAIN FIELD.
 - 3.-PROVIDE NEOPRENE GASKET SIDES AND TOP
 - 4.-SECTION OF A.C.M.P. CUT IN HALF OR EQUIVALENT PREFABRICATED FIBERGLASS. BAFFLE DIAMETER TO BE AS PER TABLE 1
 - 5.-1/2" GALVANIZED LAG BOLT IN LEAD SHIELD
 - 6.-WELD OR 2-1/4" THRU BOLTS.

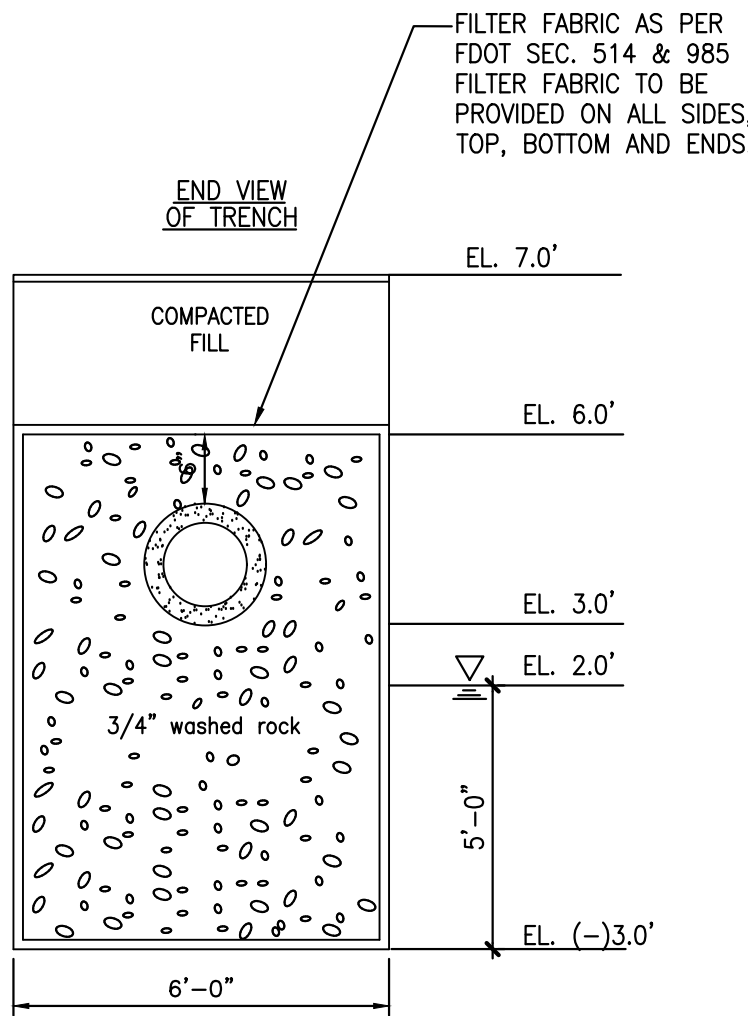


POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL

NOT TO SCALE

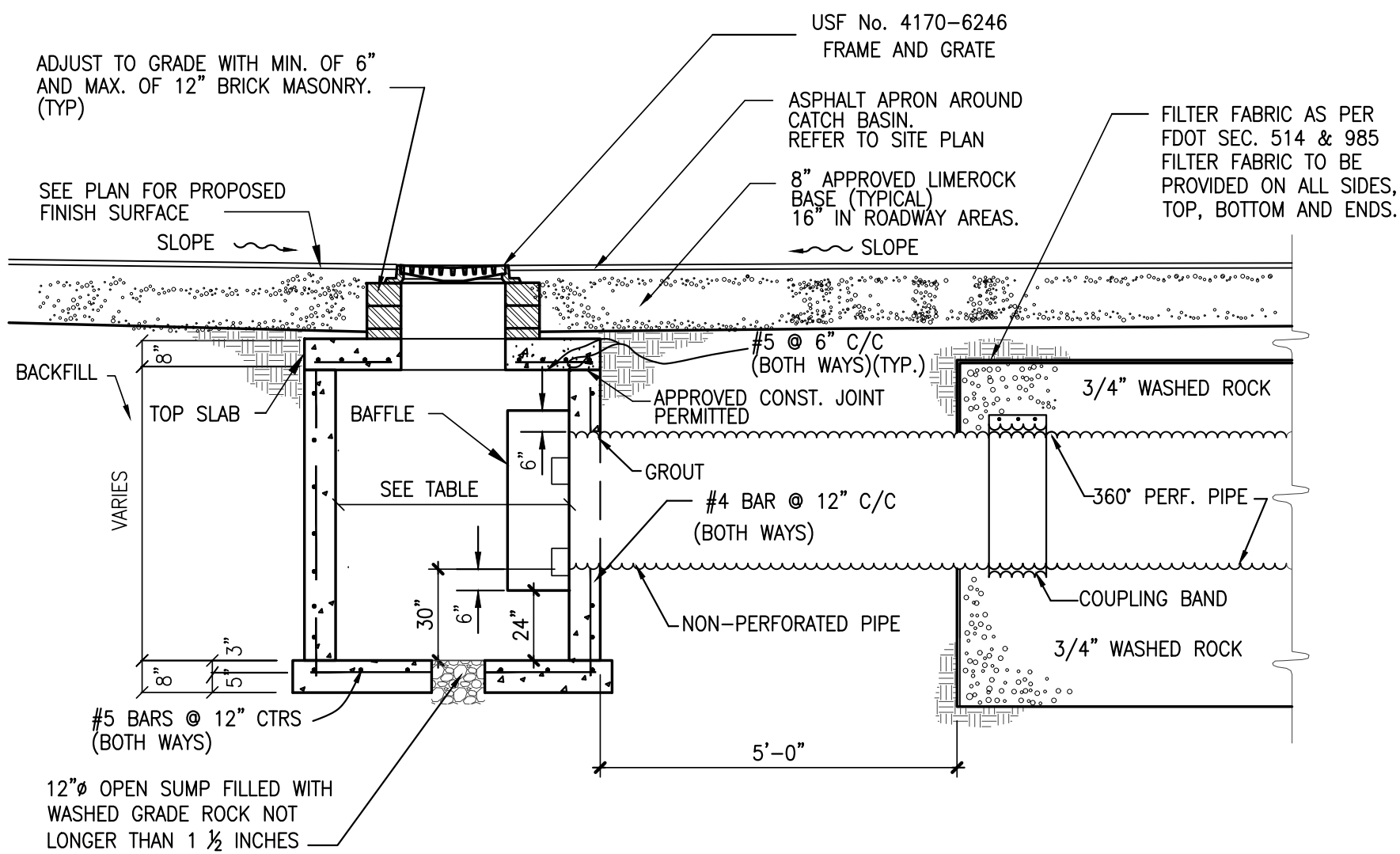
(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)

D	BAFFLE DIA.
10"	15"
15"	24"
18"	30"
24"	36"
30"	48"
36"	54"



EXFILTRATION TRENCH

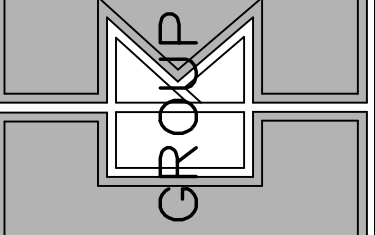
NOT TO SCALE



CATCH BASIN W/ EXFILTRATION TRENCH

NOT TO SCALE

(PER CITY OF HOLLYWOOD-UTILITIES DEPT. STANDARD DETAIL)



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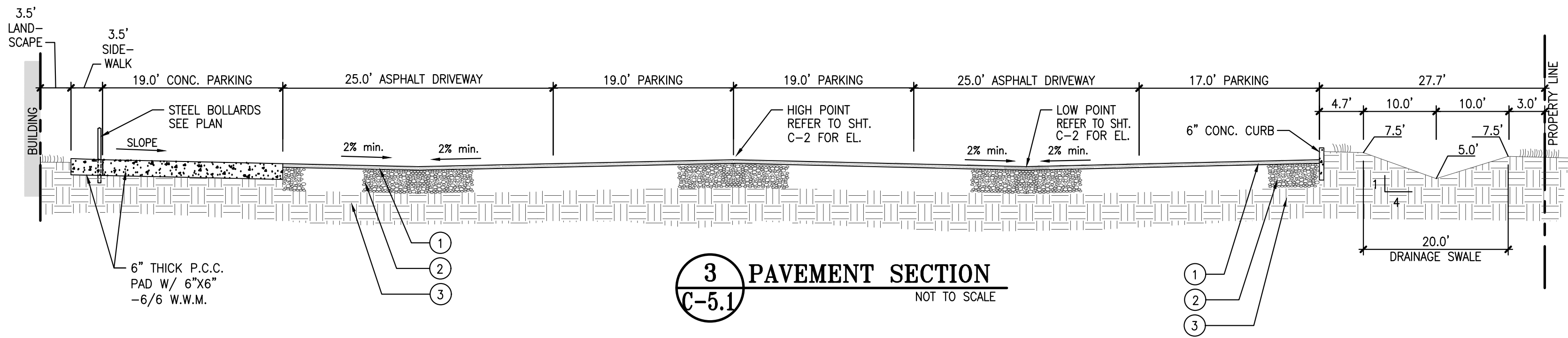
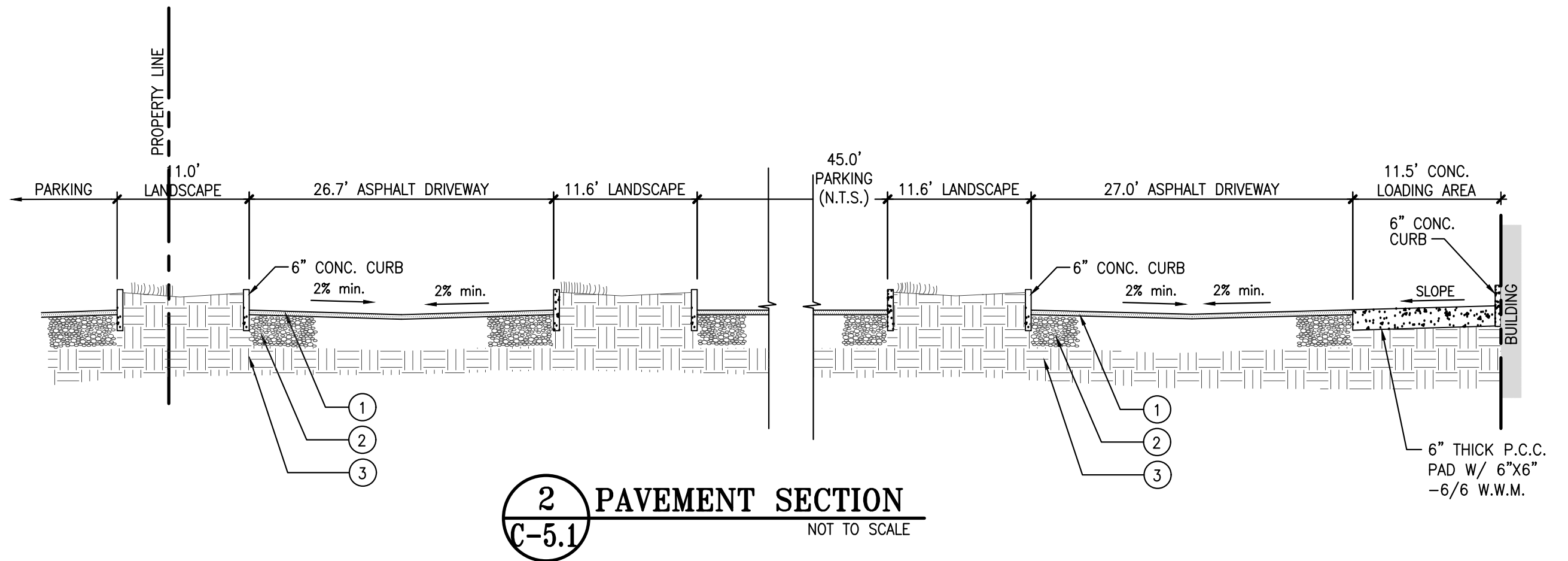
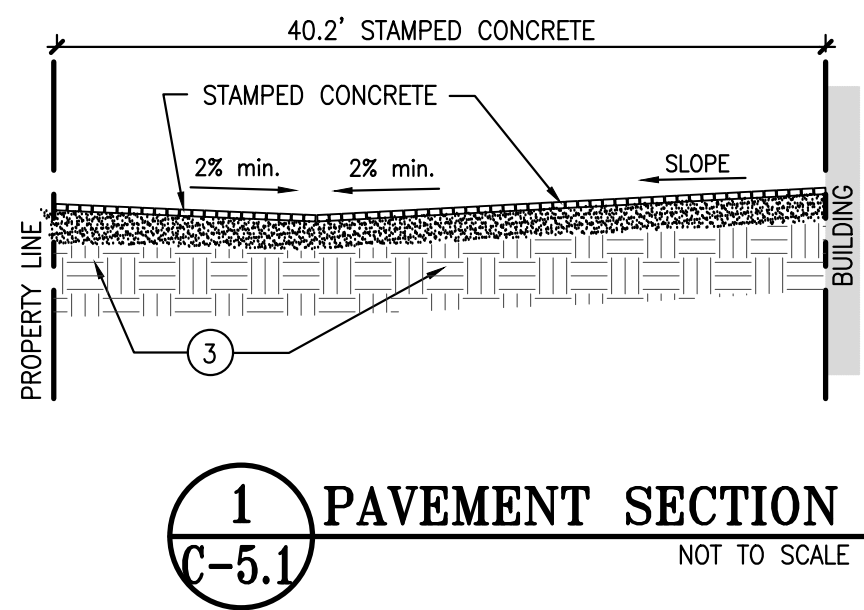
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15500 NEW BARN ROAD

SUITE 106

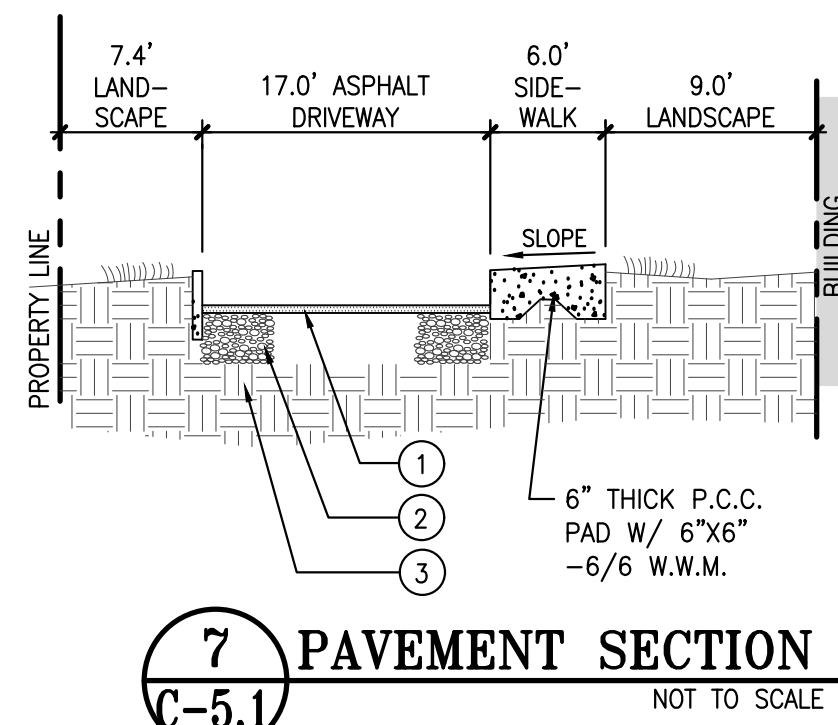
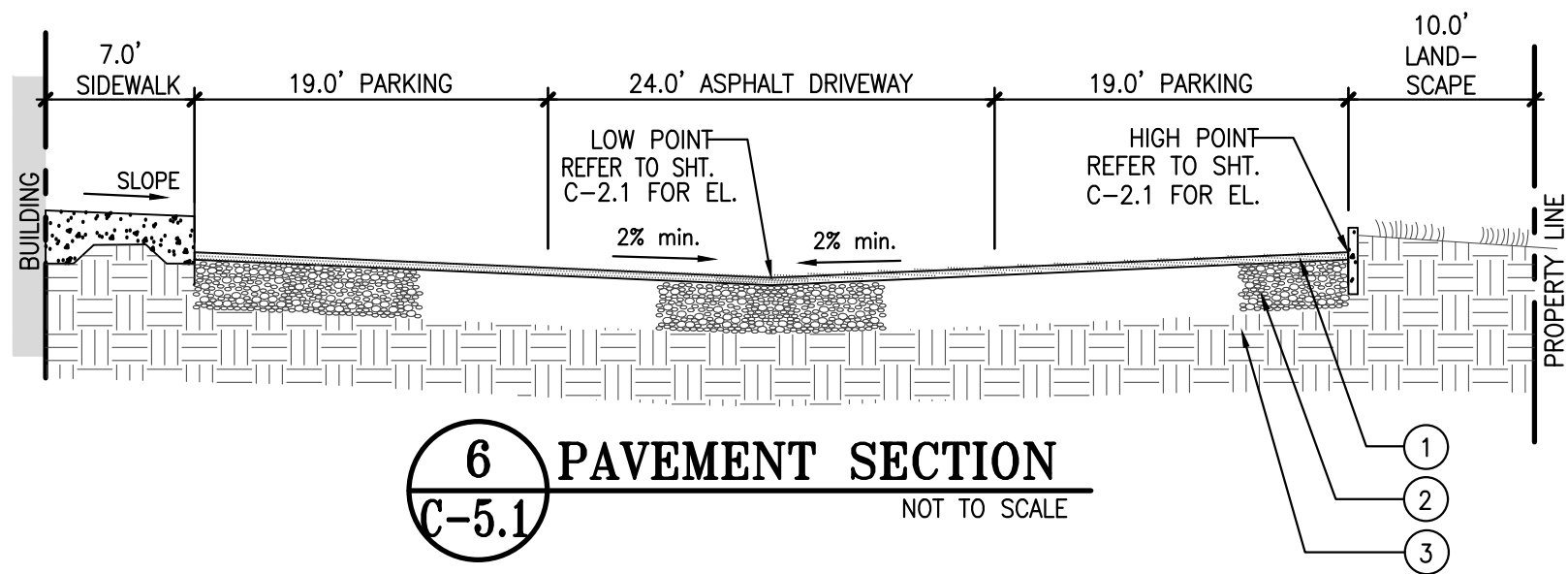
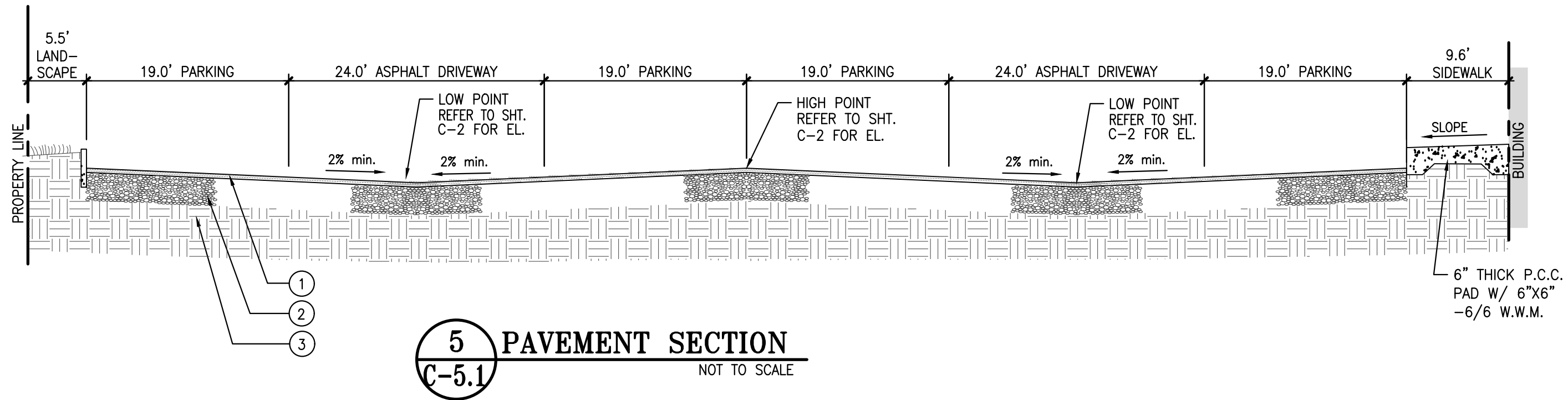
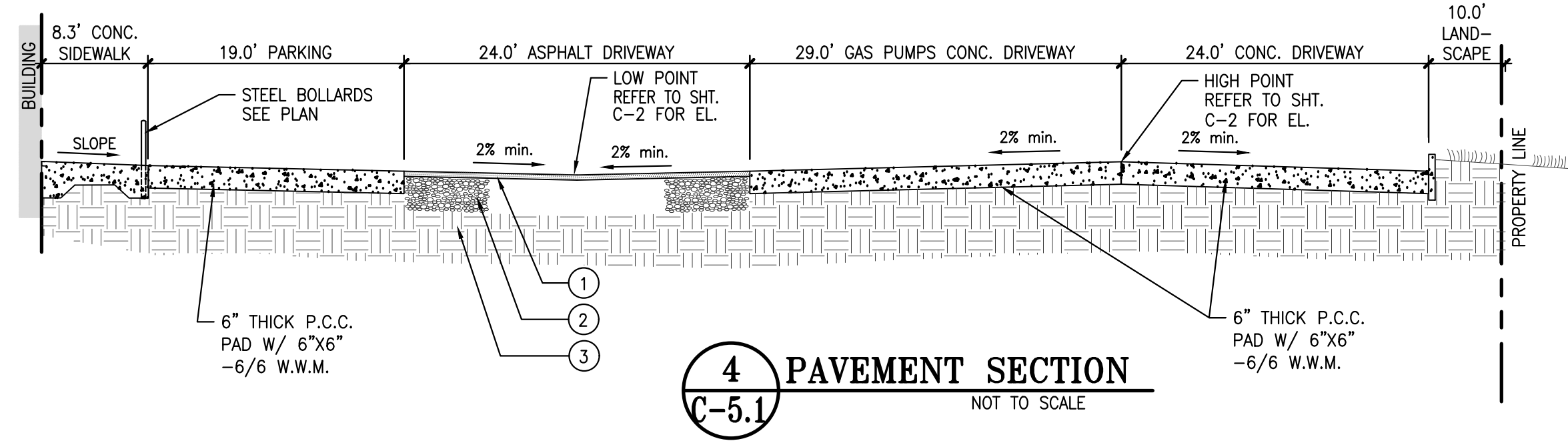
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- LEGEND**
- ① 1 1/2" TYPE S-III ASPHALTIC CONCRETE AT PARKING
2" TYPE S-III ASPHALTIC CONCRETE AT DRIVES
 - ② 6" LIMEROCK BASE AT PARKING - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.
 - ③ 8" LIMEROCK BASE AT DRIVES - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.
 - ④ 12" SUBGRADE - MIN LBR=40 - 98% COMPACTION, DRY DENSITY, AS PER AASHTO T-180

NOTE:
REFER TO SOILS REPORT FOR DETAILED SPECS.



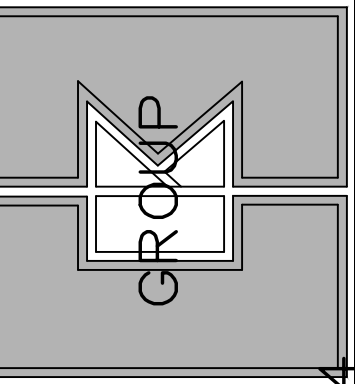
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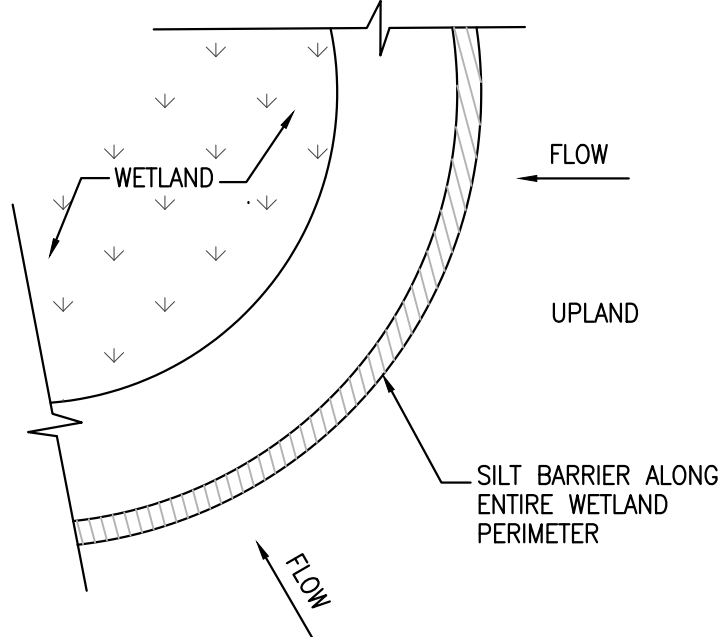
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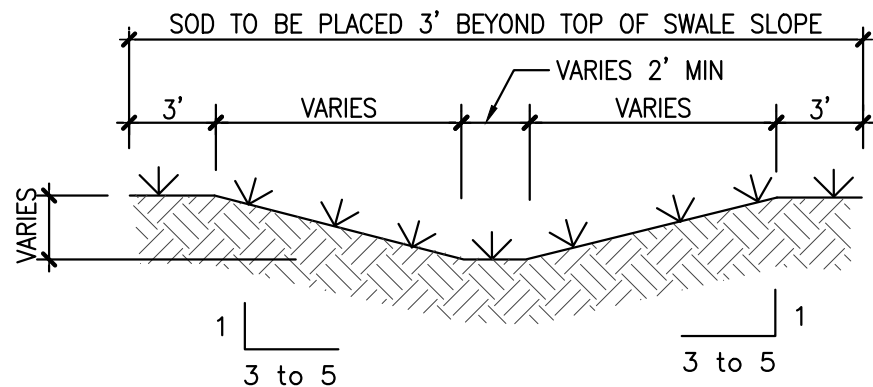
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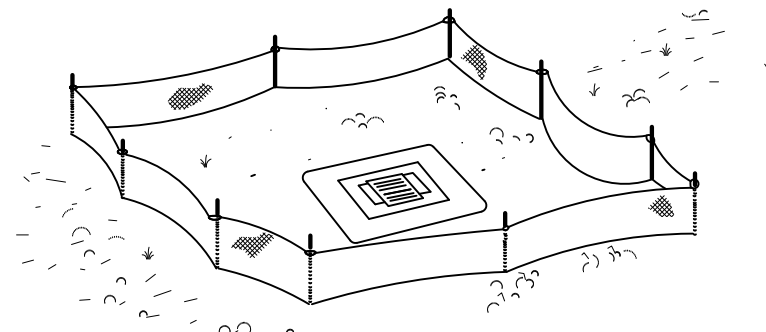
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SILT BARRIER
Figure 1

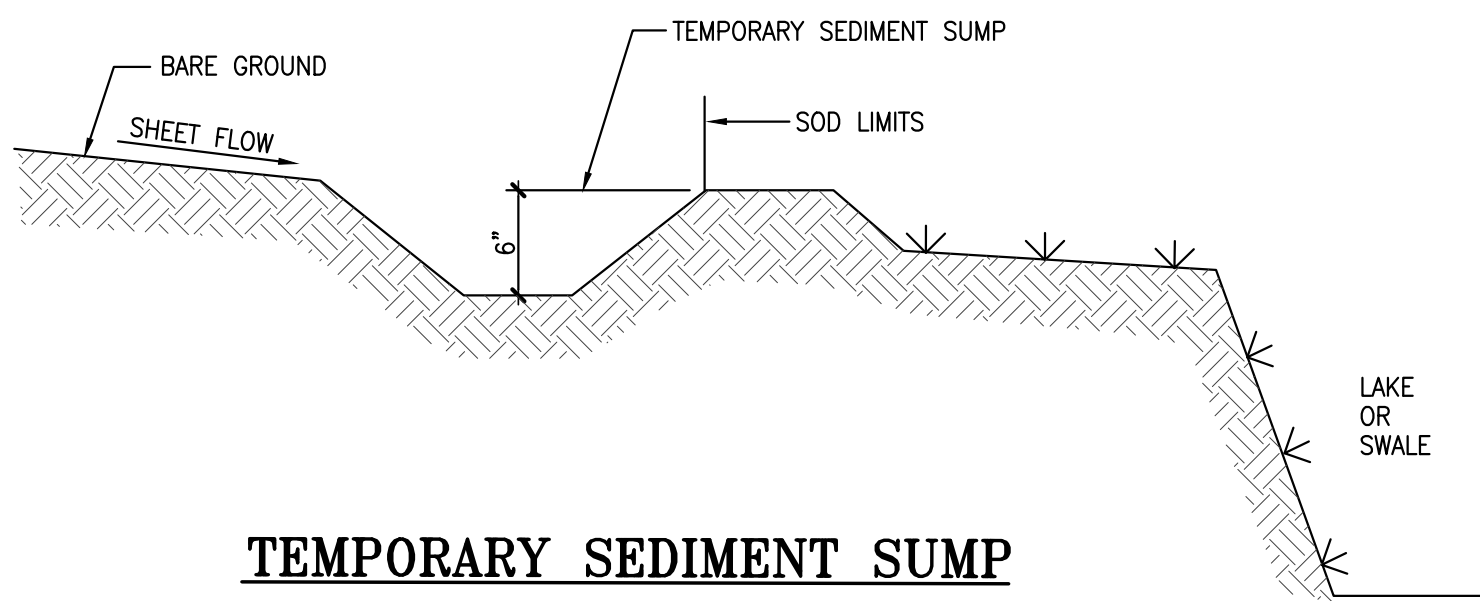


TYPICAL SWALE SECTION
Figure 4

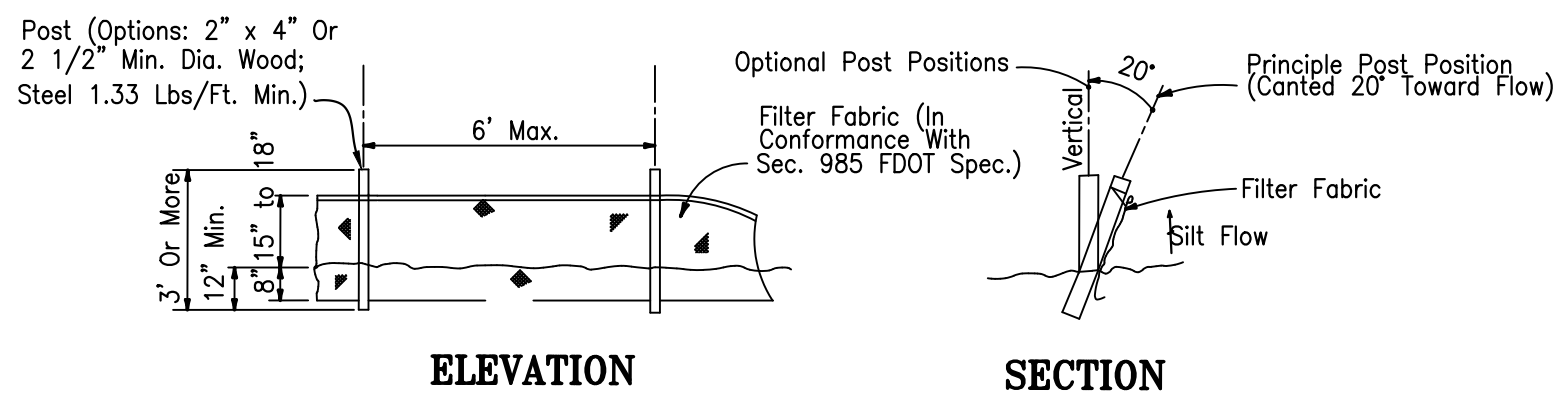


Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

SILT FENCE APPLICATIONS
Figure 7

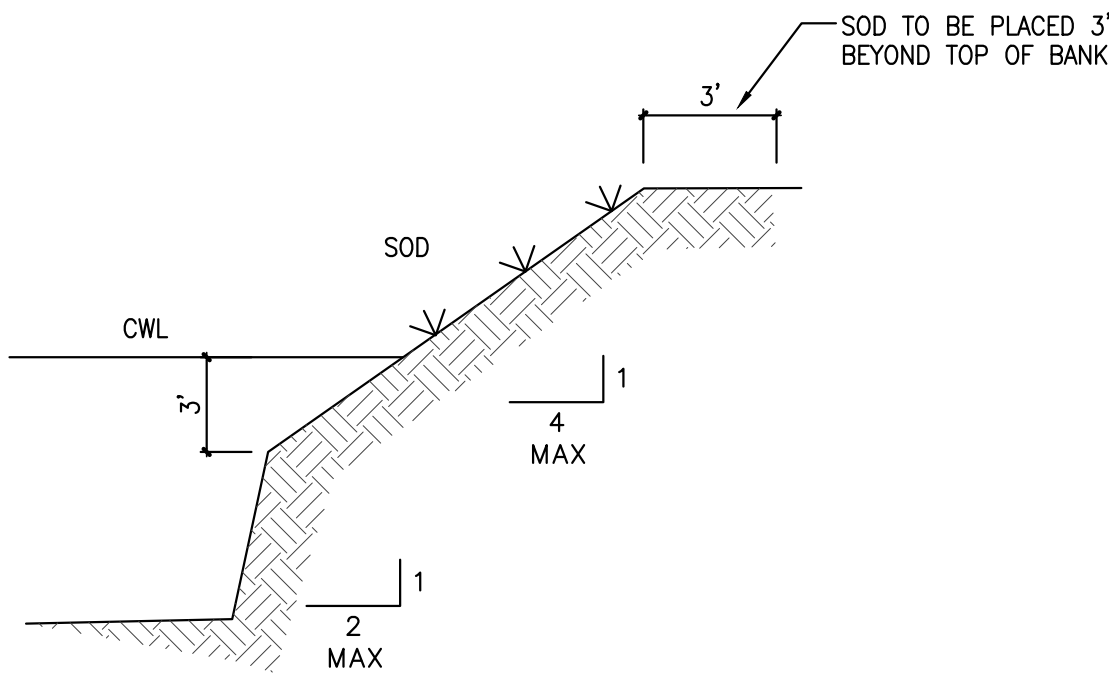


TEMPORARY SEDIMENT SUMP
Figure 10

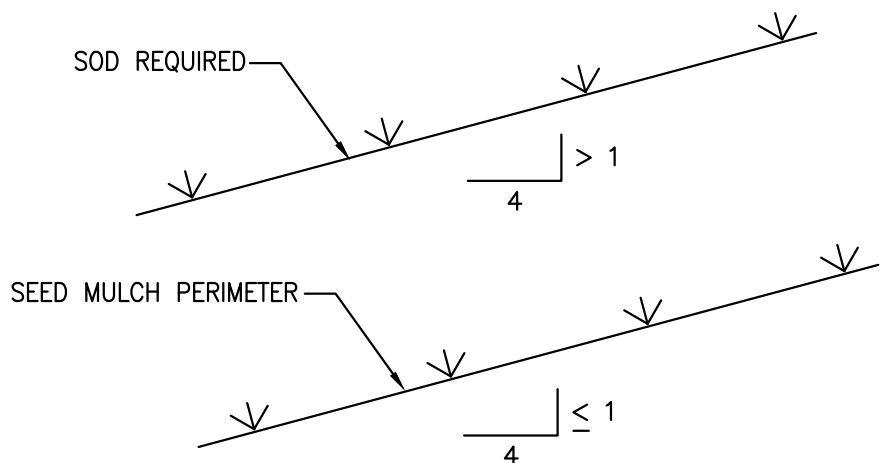


Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

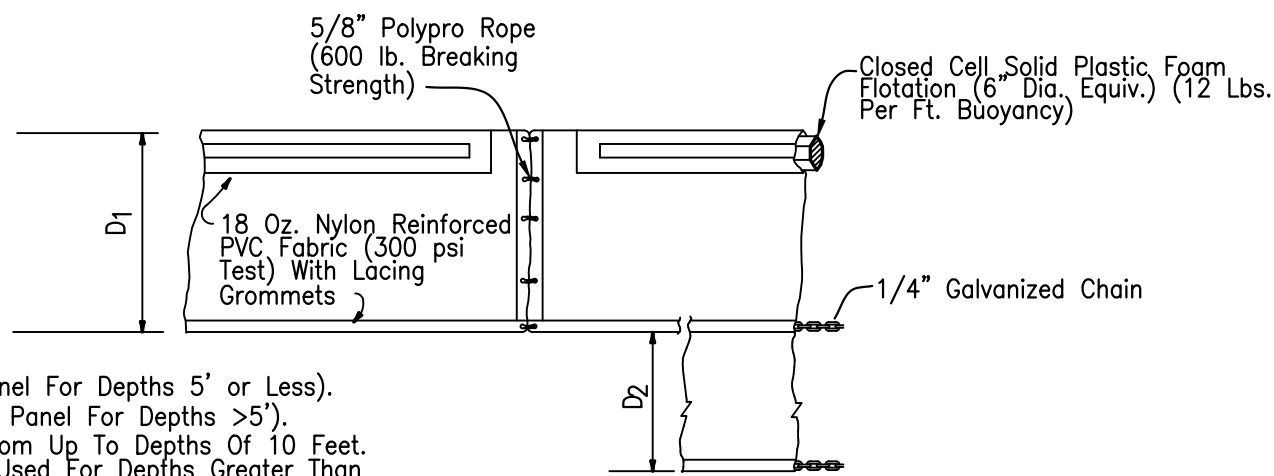
TYPE III SILT FENCE
Figure 2



TYPICAL RETENTION/DETENTION POND SECTION
Figure 5



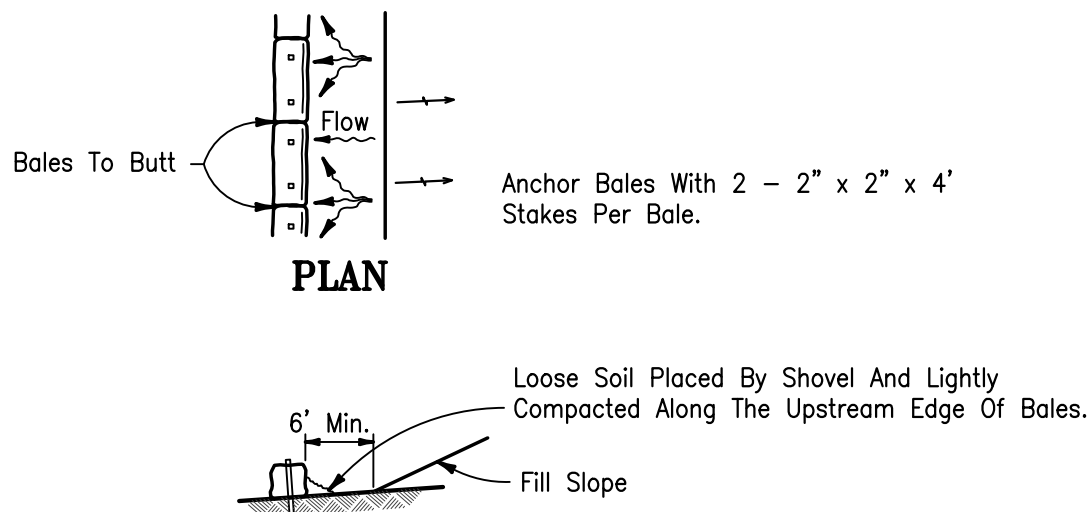
GRASS SLOPES
Figure 8



SOD ALONG CURB AND AROUND INLET
Figure 9

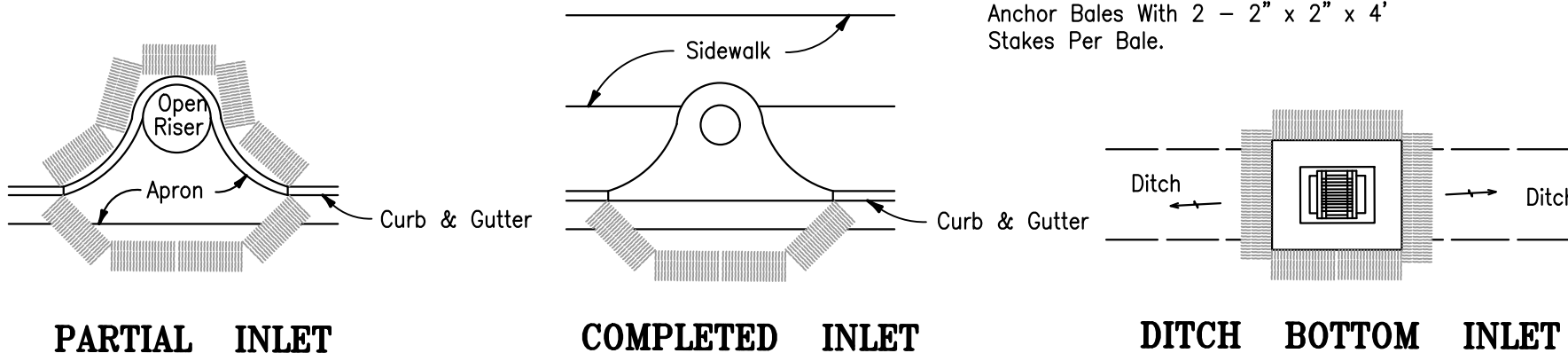
D₁ = 5' Std. (Single Panel For Depths 5' or Less).
D₂ = 5' Std. (Additional Panel For Depths > 5').
Curtain To Reach Bottom Up To Depths Of 10 Feet.
Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS



TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

BARRIERS FOR FILL SLOPES



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
Figure 6

Best Management Practices

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C.. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION

1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.

1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.

1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.

1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS

2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.

2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

SECTION 3 GENERAL EROSION CONTROL

3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slop cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.

3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.

3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.

3.4 All gross slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.

3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.

3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.

4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.

4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:

a. In general erosion shall be controlled at the furthest practical upstream location.

b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.

4.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 5 CONTROL OF WIND EROSION

5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:

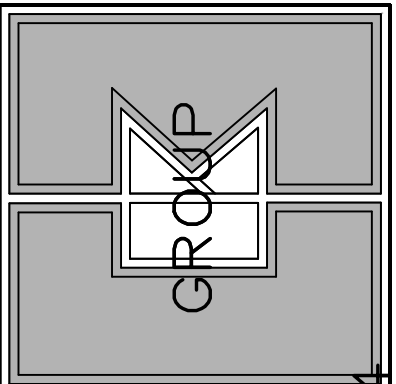
a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.

b. As soon as a practical after completion of construction, bare earth areas shall be vegetated.

c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

NOTES

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



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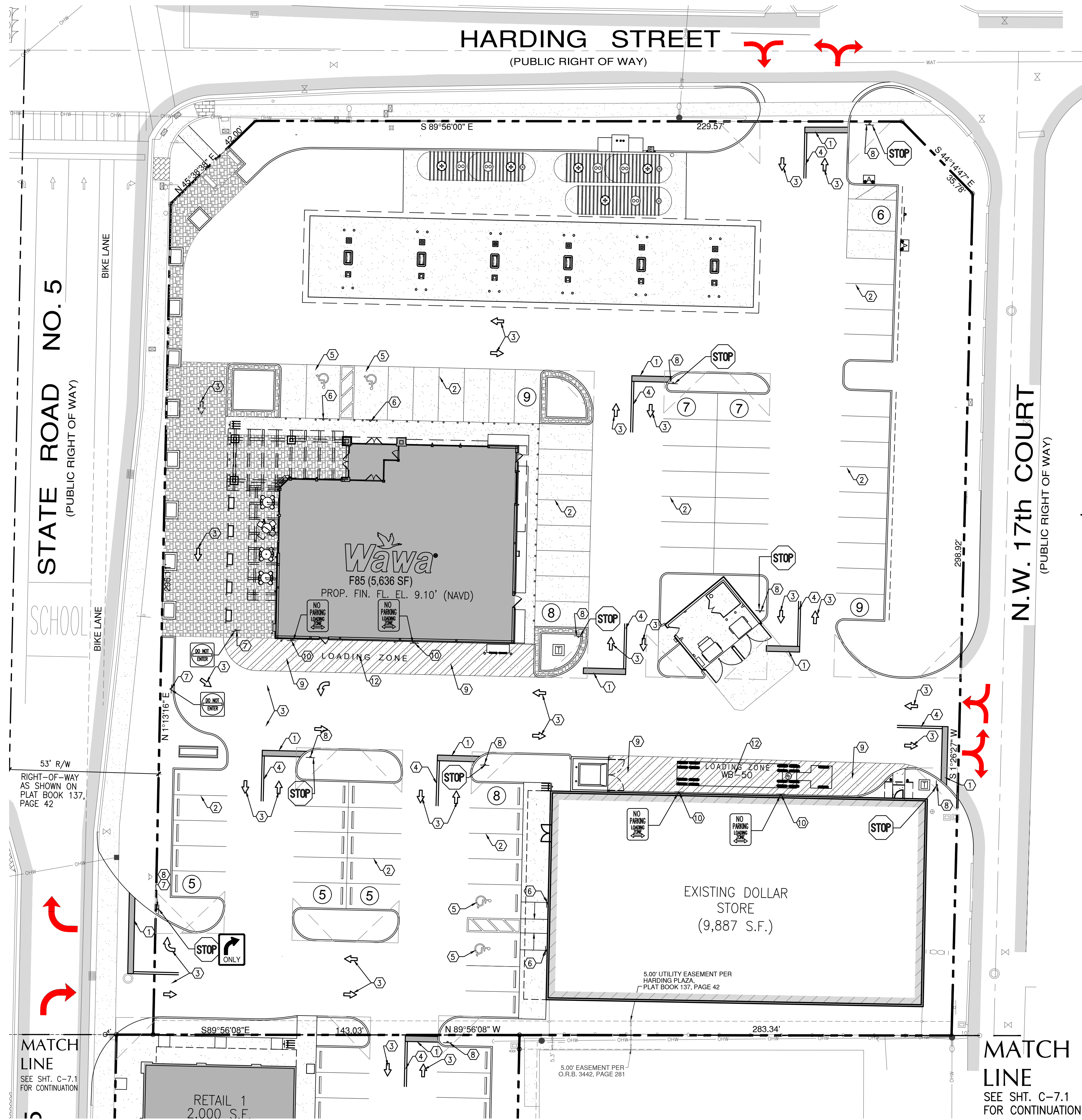
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project no: 1581
scale: AS SHOWN
date: 05-14-18
drawn by: AV

C-6

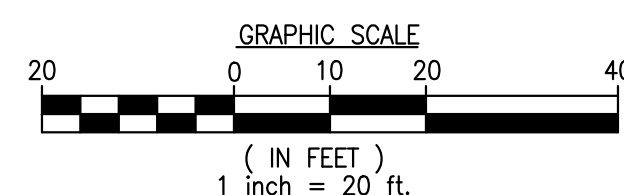
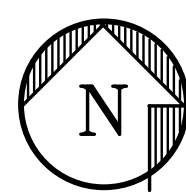
MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

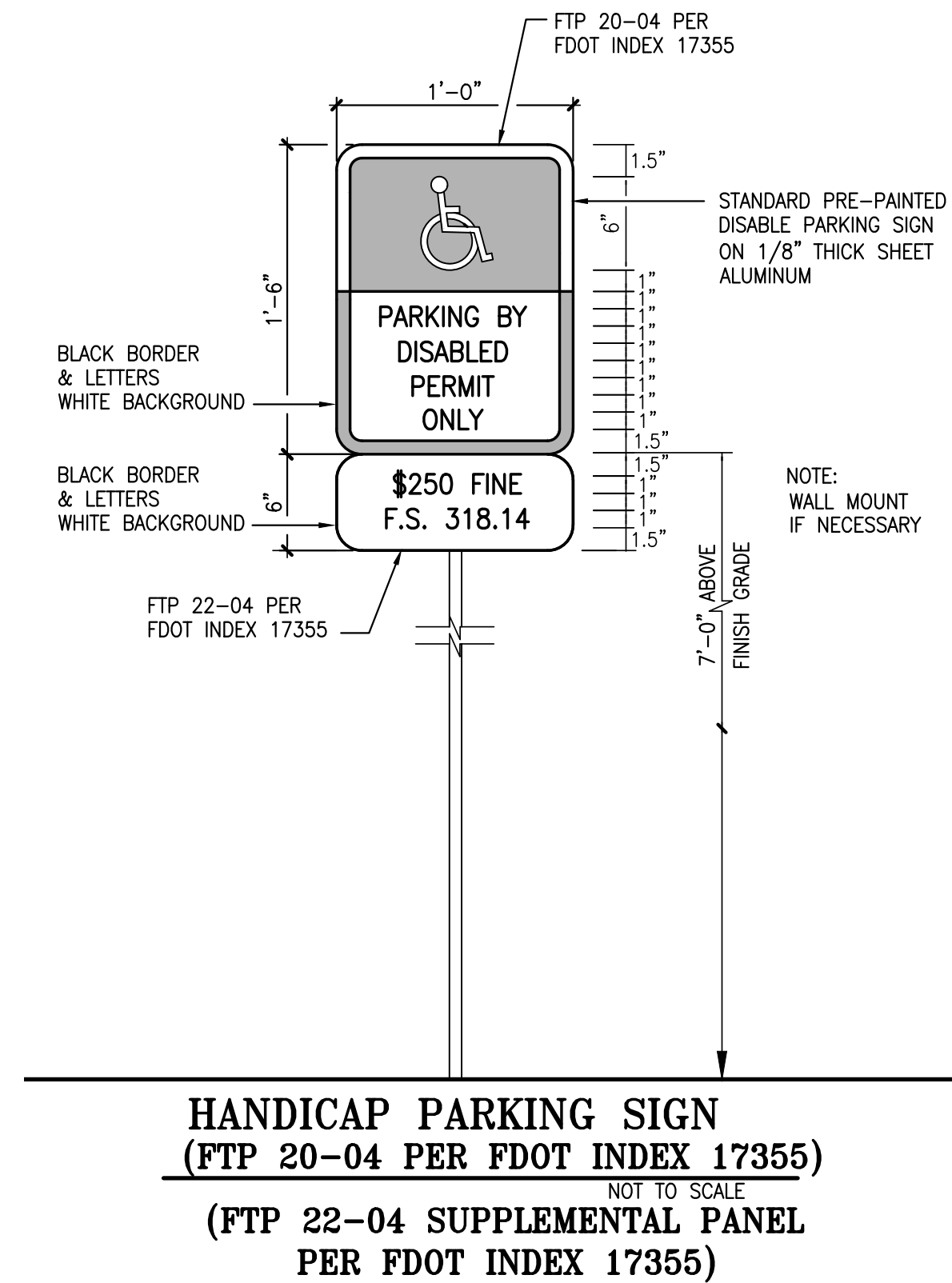


PAVEMENT MARKINGS PLAN

1"=20'-0"



N.W. 17th COURT
(PUBLIC RIGHT OF WAY)



CONSTRUCTION NOTES:

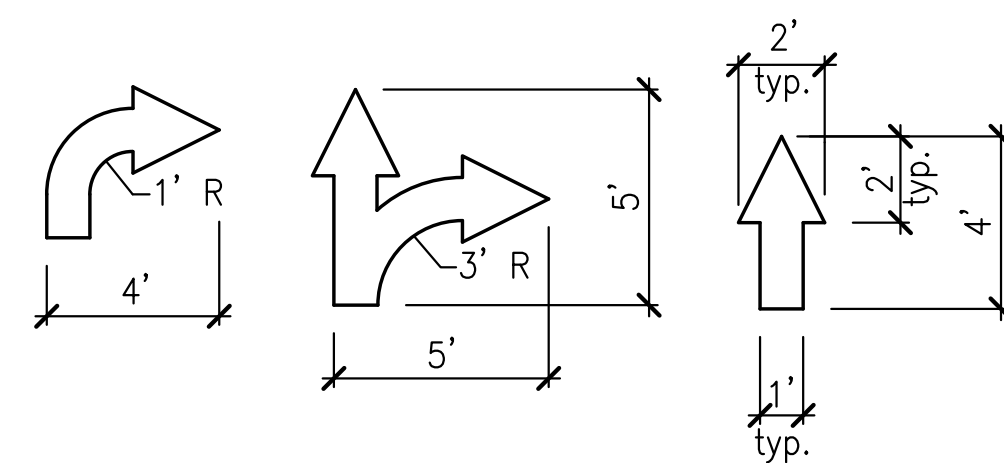
- 1 24" STOP BAR WHITE (THERMOPLASTIC)
- 2 2-4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- 3 TRAFFIC ARROWS PAINTED WHITE.
- 4 2-4" YELLOW STRIPES (THERMOPLASTIC)
- 5 HANDICAP PARKING AS PER DETAIL.
- 6 HANDICAP SIGN 7'-0" A.F.P.
- 7 STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- 8 STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- 9 18" YELLOW STRIPES @ 45° AT 4' c/c (THERMOPLASTIC)
- 10 "NO PARKING - LOADING ZONE" SIGN
- 11 STD. F.D.O.T. HIGH INTENSITY "RIGHT TURN ONLY" SIGN (R3-5R) (36"x30")
- 12 PAVEMENT MARKING, THERMOPLASTIC 24" HIGH WHITE LETTERS: "LOADING AREA"
- 13 PAVEMENT MARKING REFER TO DETAIL THIS SHEET.

NOTE:
REFER TO SHT. C-7.1 FOR
ADDITIONAL DETAILS



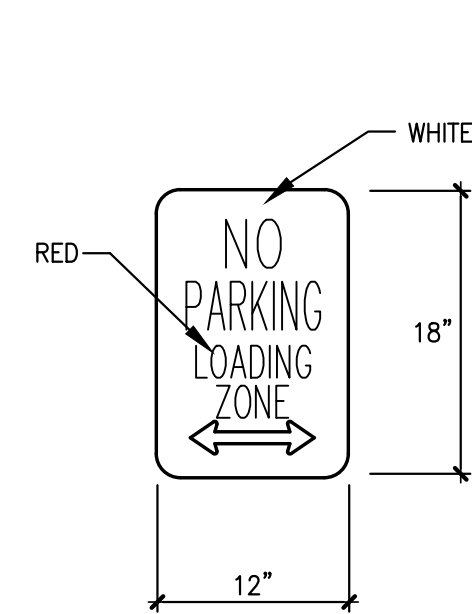
LOCATION PLAN

N.T.S.

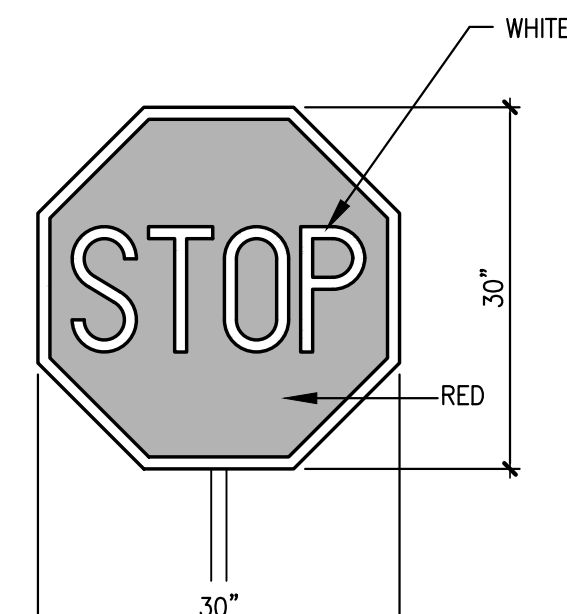


PAINTED ARROWS

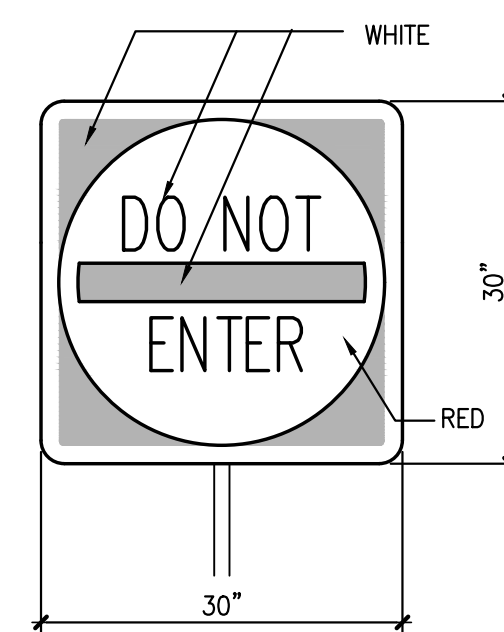
PER F.D.O.T. INDEX 17346 NOT TO SCALE



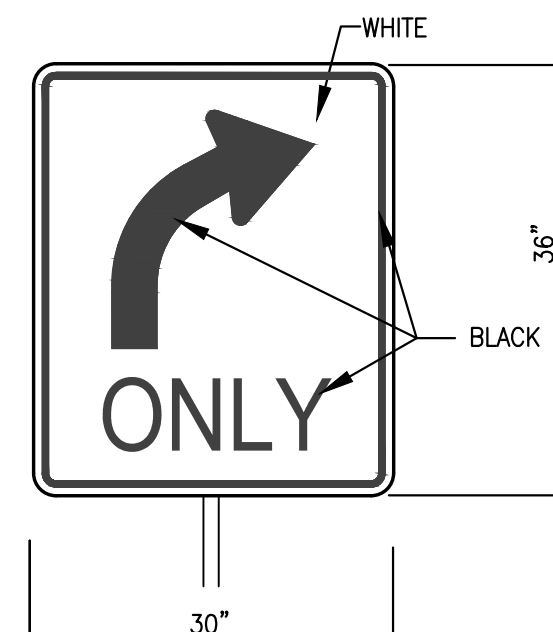
R7-6



R1-1



R5-1



R3-5R

STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS

SCALE: N.T.S.

MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
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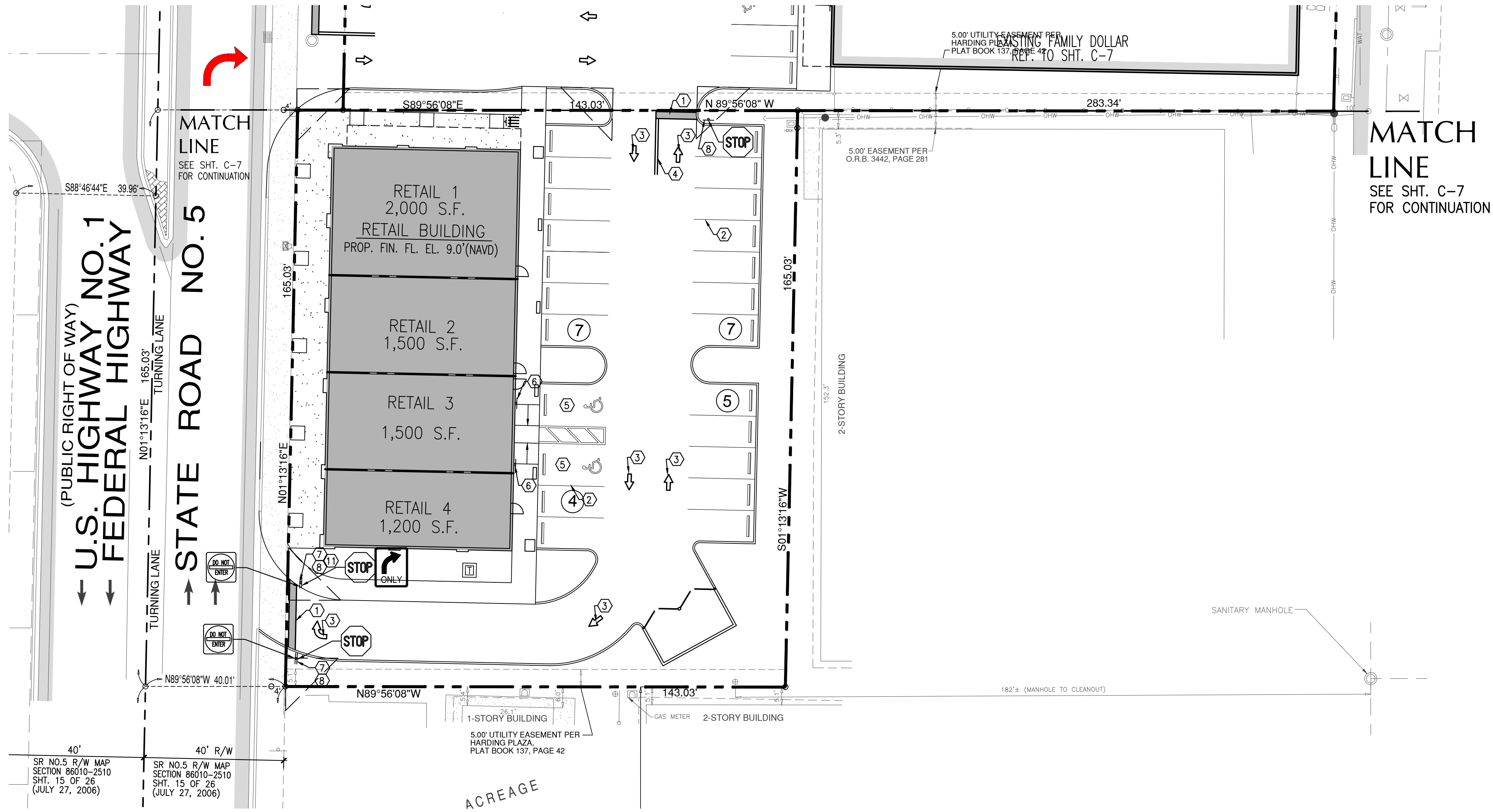
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scale: AS SHOWN
date: 05-14-18
drawn by: A.V.

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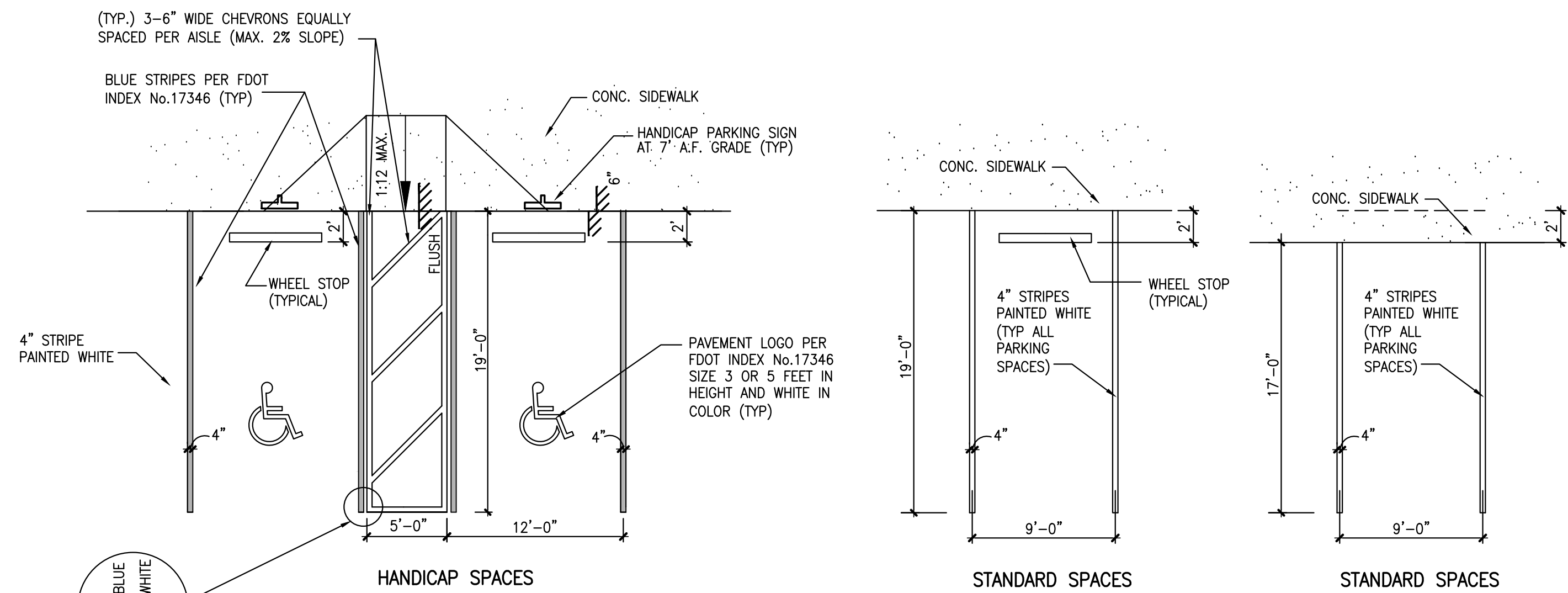
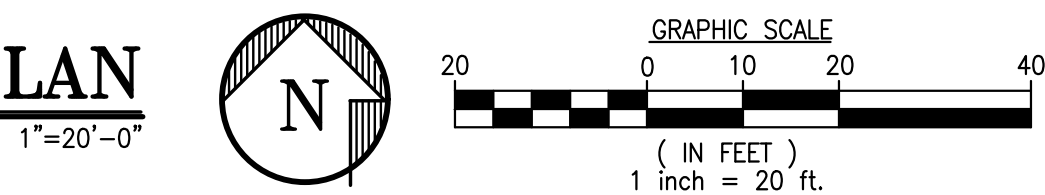
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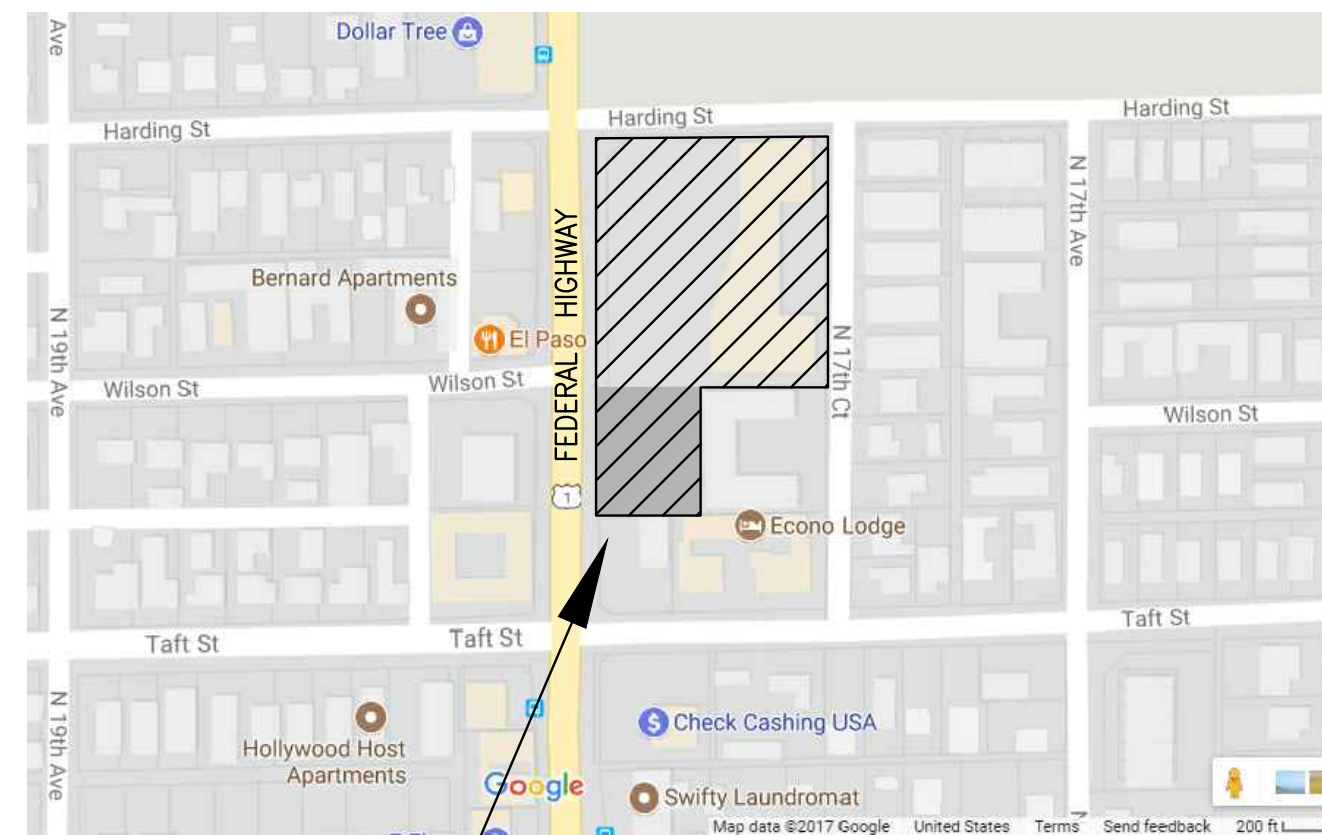
PAVEMENT MARKINGS PLAN



11 12 14 HANDICAP AND STANDARD PARKING DETAILS

NOT TO SCALE

NOTE:
REFER TO SHT. C-7 FOR
ADDITIONAL DETAILS



LOCATION PLAN



CONSTRUCTION NOTES:

- 24" STOP BAR WHITE (THERMOPLASTIC)
- 2-4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
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- NOT USED.

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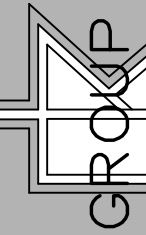
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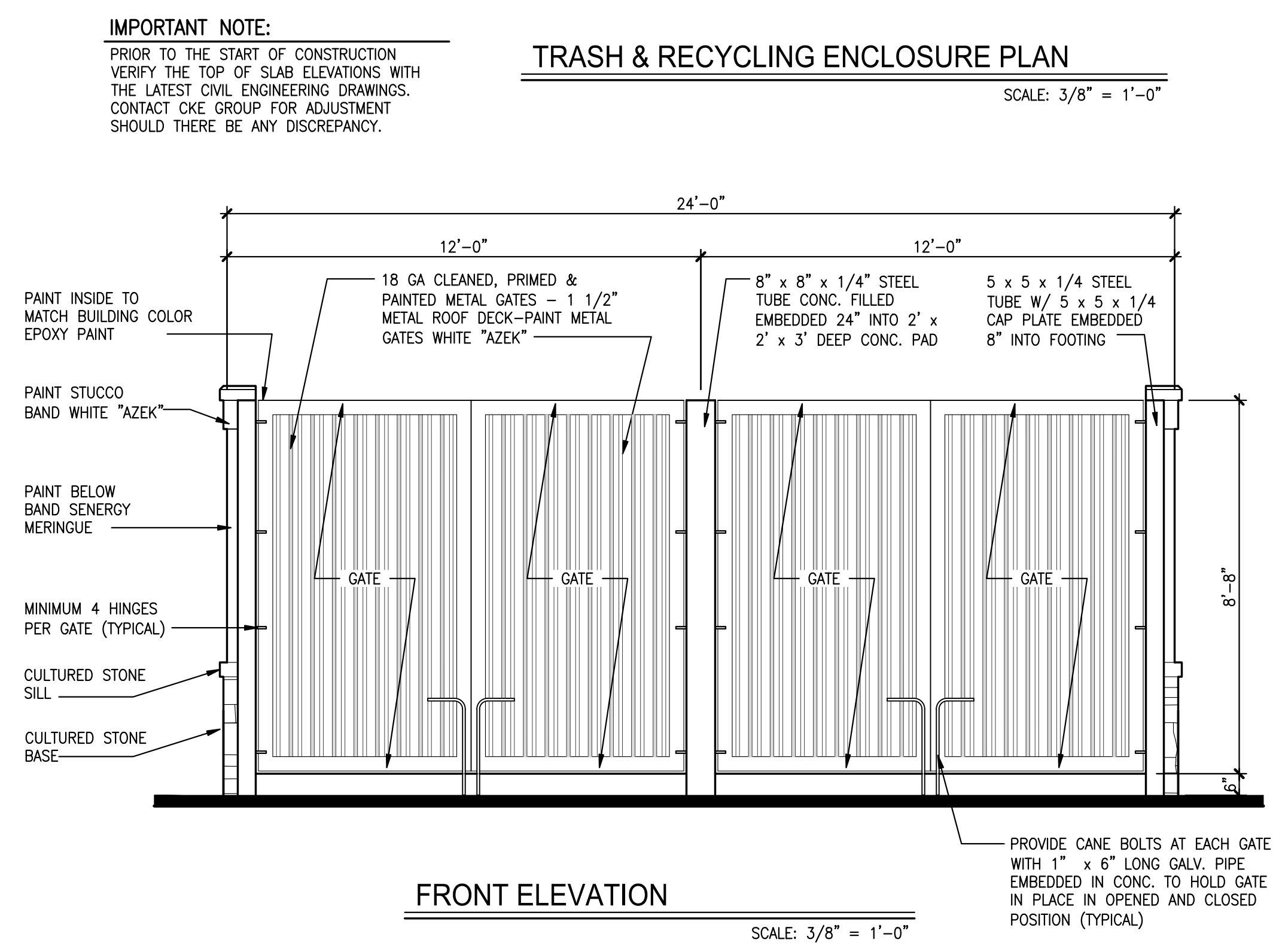
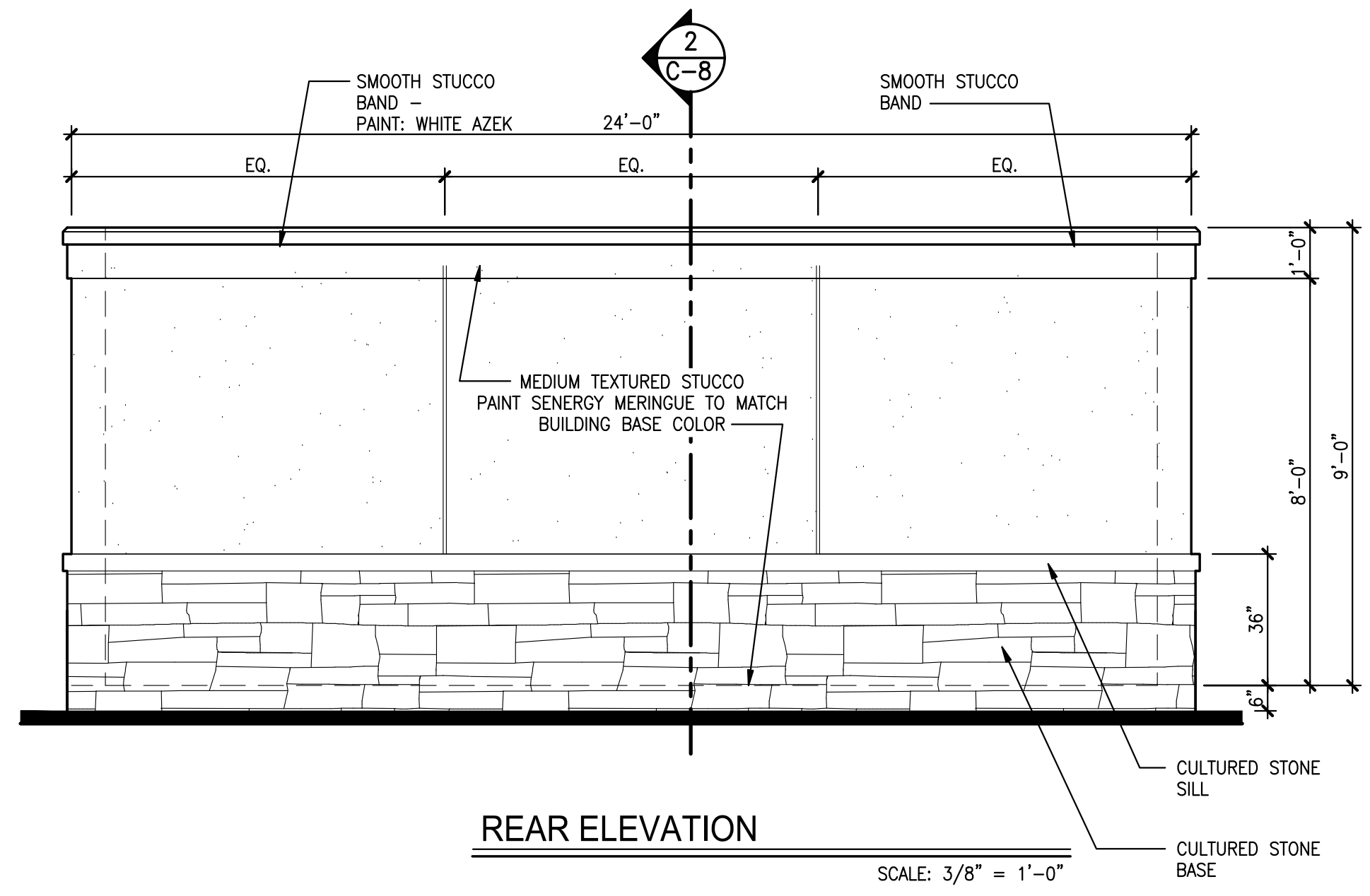
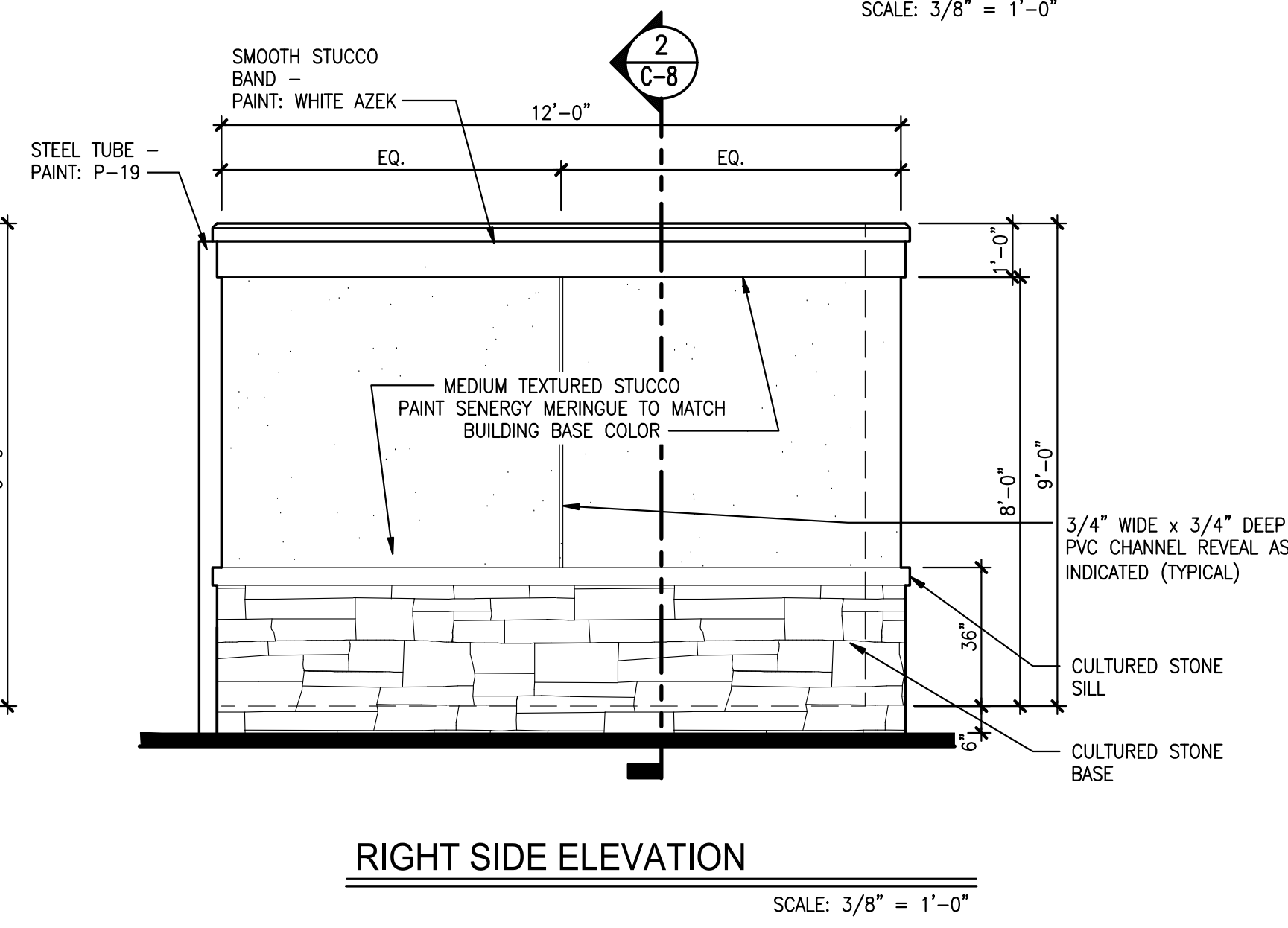
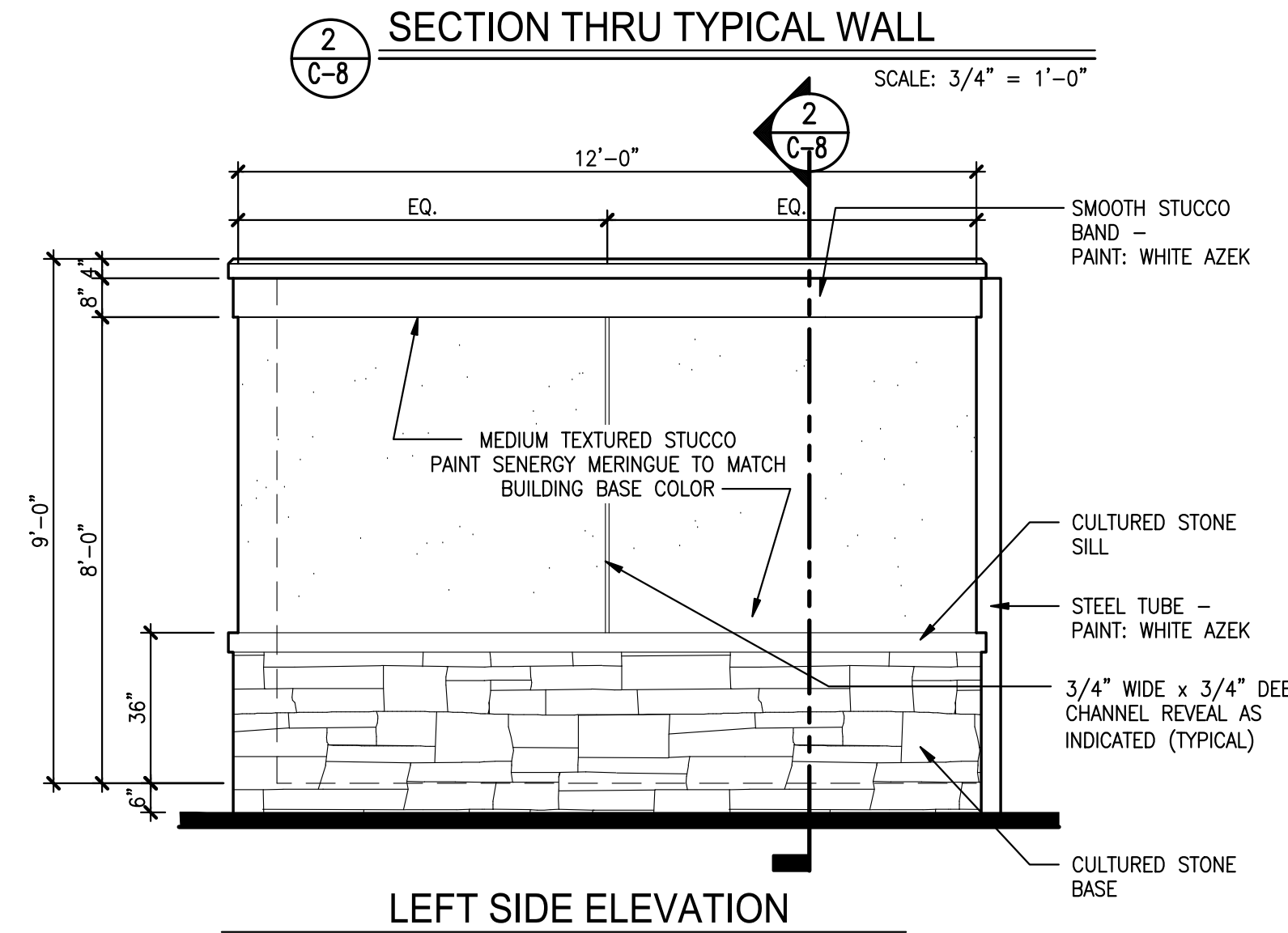
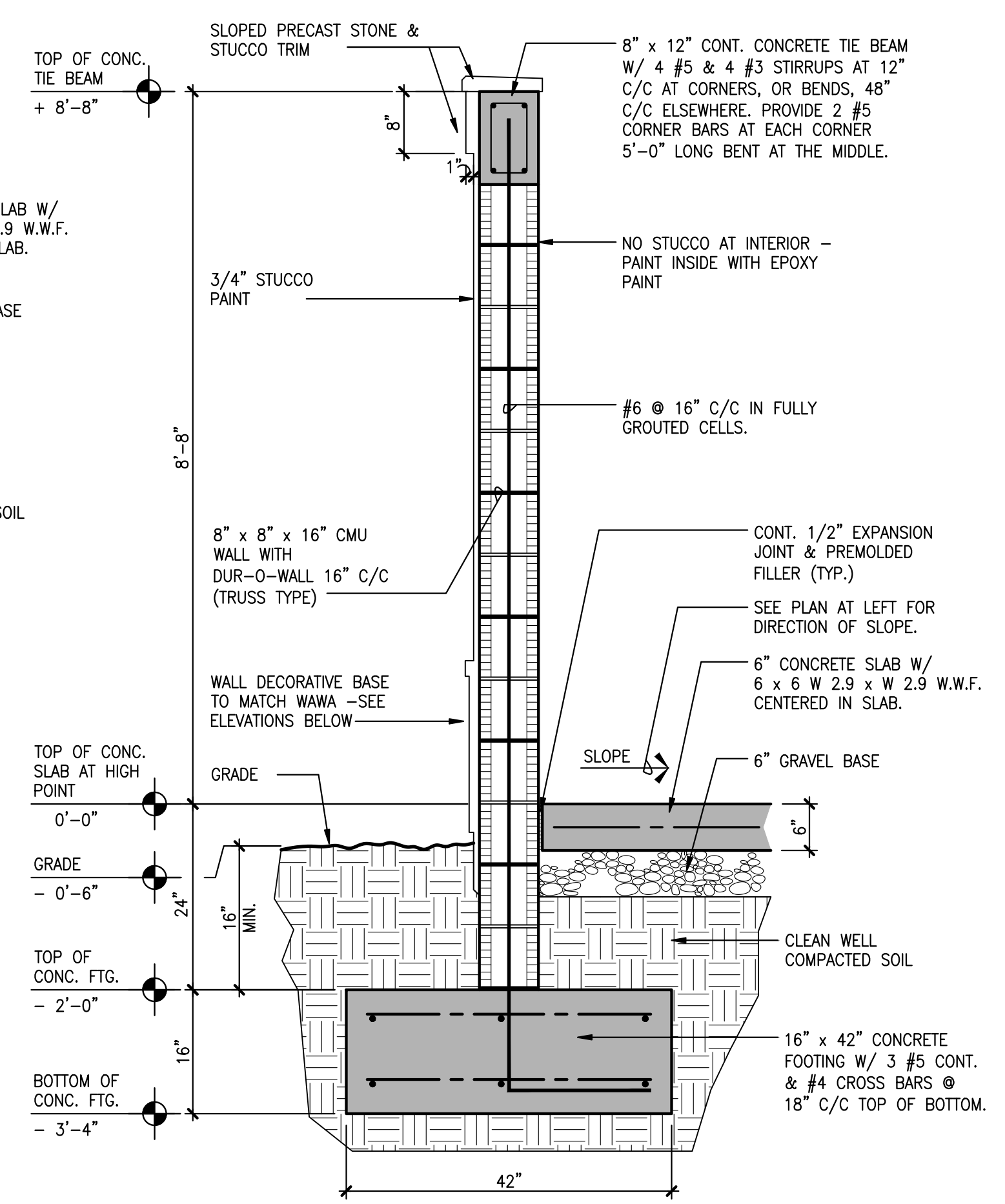
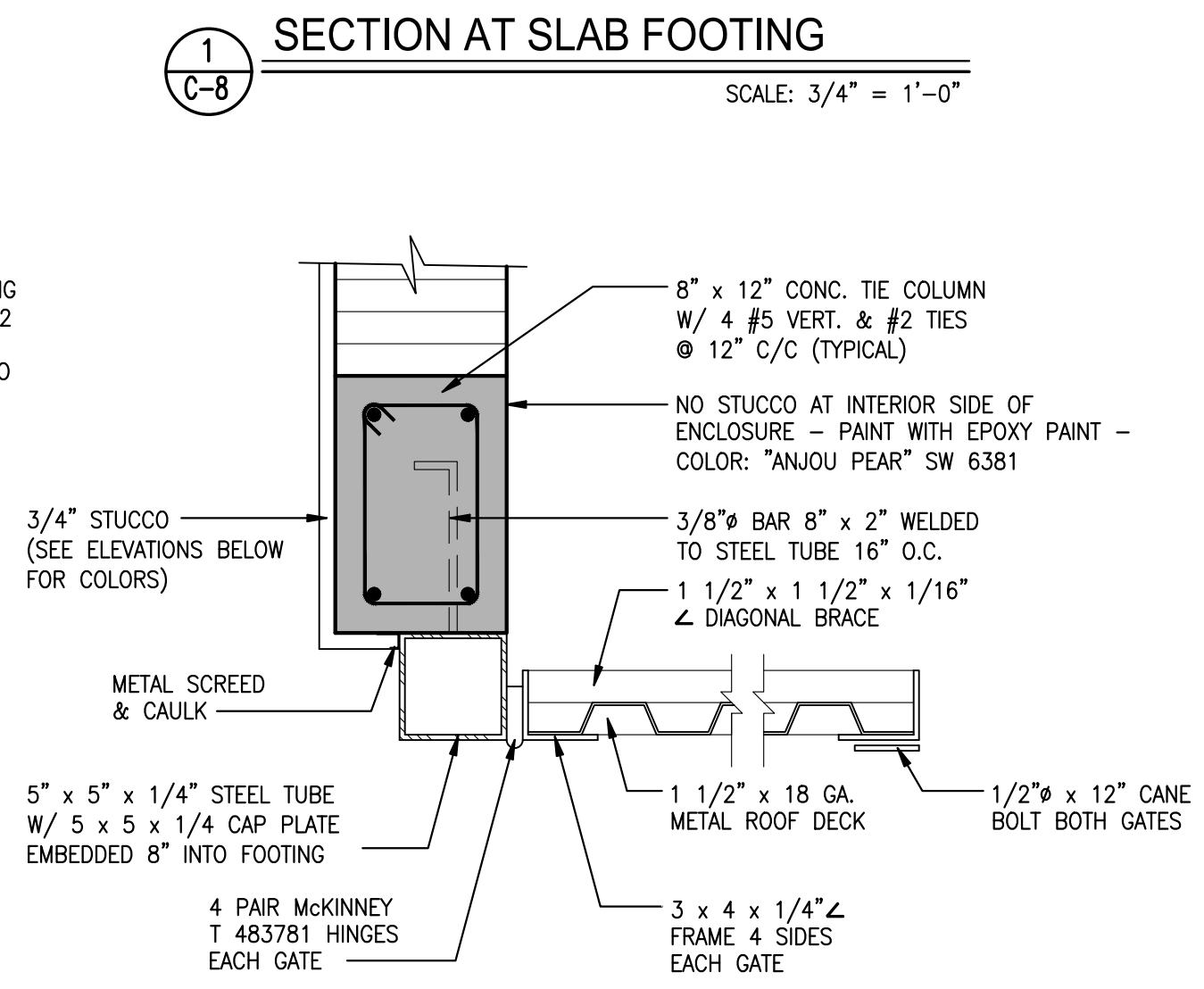
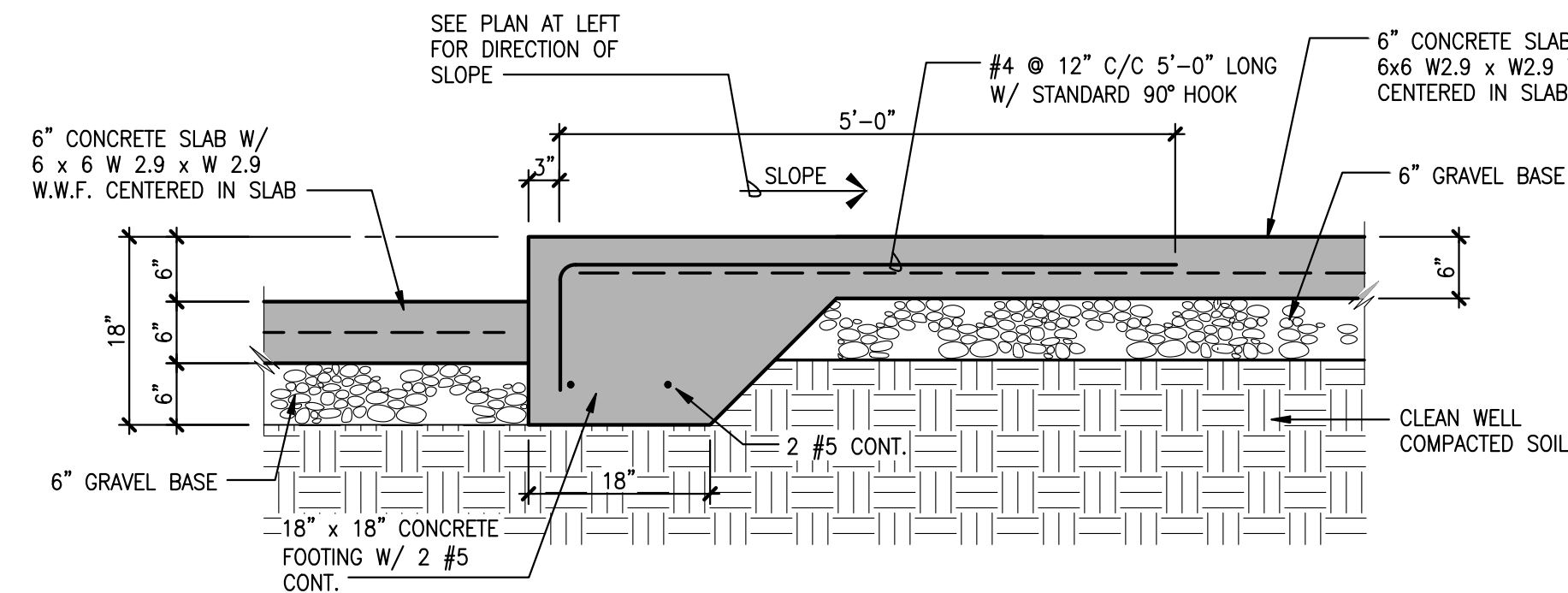
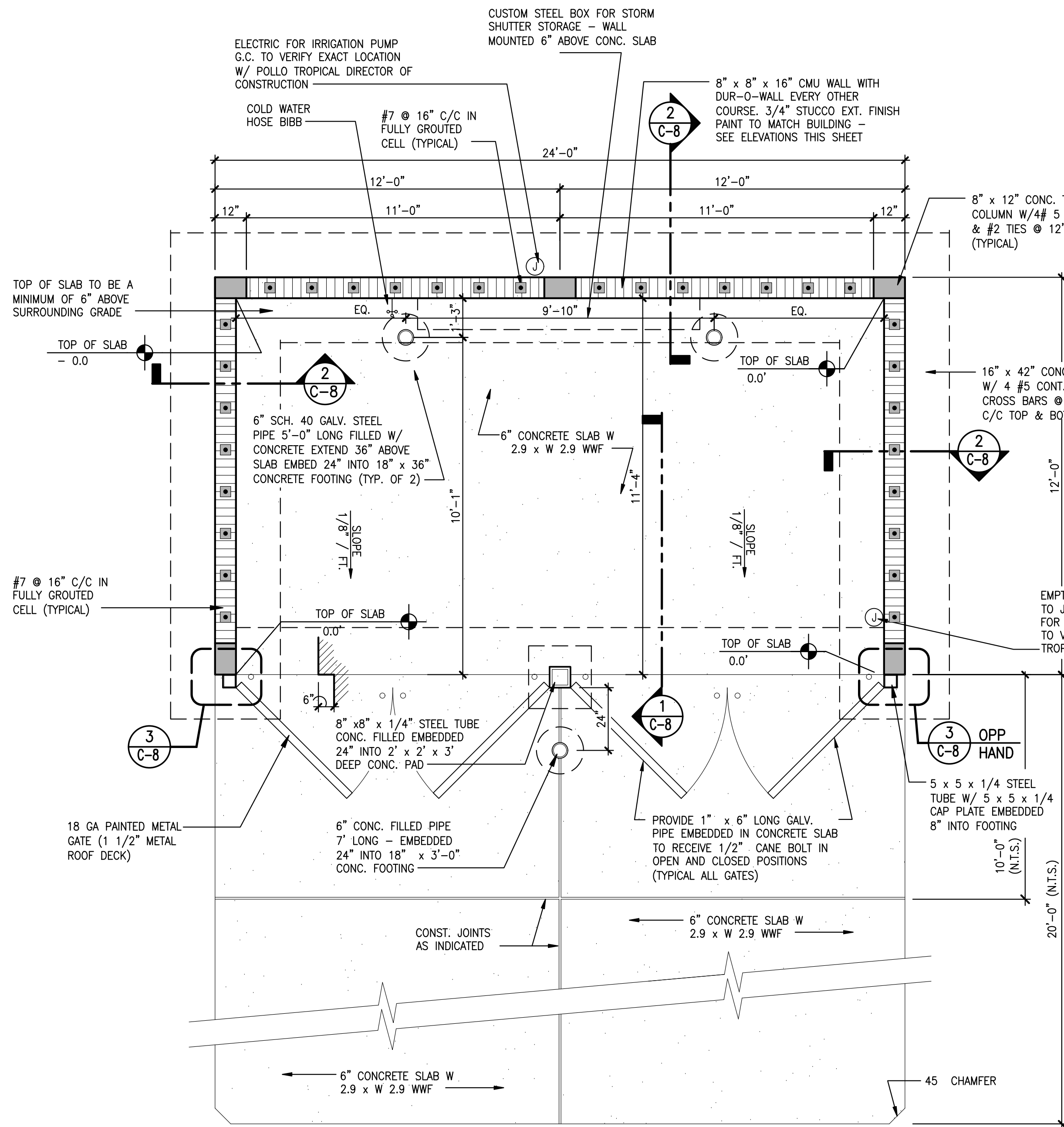
C-7.1

15500 NEW BARN ROAD

SUITE 106

MIAMI LAKES, FLORIDA 33014

(305) 558-412



IMPORTANT NOTE:
PRIOR TO THE START OF CONSTRUCTION
VERIFY THE TOP OF SLAB ELEVATIONS WITH
THE LATEST CIVIL ENGINEERING DRAWINGS.
CONTACT CKE GROUP FOR ADJUSTMENT
SHOULD THERE BE ANY DISCREPANCY.

TRASH & RECYCLING ENCLOSURE PLAN
SCALE: 3/8" = 1'-0"

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HARDING PLAZA REDEVELOPMENT

FEDERAL HIGHWAY & HARDING ST.

HOLLYWOOD, FLORIDA

project no: 1581

scale: AS SHOWN

date: 05-14-18

drawn by: a.v.

revisions

seal

15500 NEW BARN ROAD

SUITE 106

MIAMI LAKES, FLORIDA 33014

(305) 558-4124

MEETING DATES:

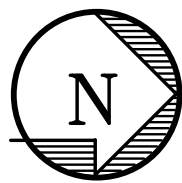
PRELIMINARY TAC - JUNE 18, 2018

FINAL TAC - SEPTEMBER 4, 2018

C-8

SITE LIGHTING PLAN

1"=30'-0"



NOTE:
- ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES.
CONCRETE BASES TO BE LOCATED 5 FT. BEHIND CURB.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	2	A1	SINGLE	12019	1.010	B3-U0-G3	134.2	268.4	Cree Lighting	ARE-EDG-3M-DA-06-E-UL-WH-700-57K
	3	A4	SINGLE	8891	1.010	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-WH-700-57K
	2	B1	SINGLE	12678	1.010	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-WH-700-57K
	1	B3	2 @ 90 DEGREES	12678	1.010	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-WH-700-57K
	4	B4	SINGLE	9549	1.010	B1-U0-G2	134	536	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-WH-700-57K
	4	B5	SINGLE	16153	1.010	B2-U0-G3	202	808	CREE, INC.	ARE-EDG-4MB-DA-12-E-UL-WH-525-57K
	24	C2	SINGLE	8924	1.010	B3-U0-G1	92	2208	CREE, INC.	CAN-304-SL-RD-04-E-UL-WH-700-57K
	25	D1	SINGLE	1652	1.010	B2-U0-G0	27.2	680	Cree Inc	KR6-20L-35K-120V + KR6T-SSGC-FF
	2	D2	SINGLE	880	1.000	B1-U0-G0	19.5	39	USA ILLUMINATION	DL2 3230-10-2-LRTA4-8320-C1-30-NC-120V-W
	2	S1	SINGLE	2011	1.000	B0-U5-G2	46.9	93.8	SCOTT ARCHITECTURAL LIGHTING	WC1 SCOTT S9131-L23-35K-BS
	6	W1	SINGLE	4210	1.010	B1-U0-G1	43	258	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-WH-350-57K
	1	W2	SINGLE	6216	1.010	B2-U0-G2	70	70	CREE, INC.	SEC-EDG-4M-WM-04-E-UL-WH-525-57K

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	27.66	38	13	2.13	2.92
DELIVERY	4.49	5.4	3.3	1.36	1.64
ENTRANCES & EXITS	4.19	10.0	0.8	5.24	12.50
PARKING	3.43	12.3	0.8	4.29	15.38
UNDEFINED	1.21	49.0	0.0	N.A.	N.A.

LUM NO.	LABEL	MTG. HT.
1	A1	20.5
2	A1	20.5
3	A4	20.5
4	A4	20.5
5	A4	20.5
6	B1	20.5
7	B1	20.5
8	B3	20.5
9	B4	20.5
10	B4	20.5
11	B4	20.5
12	B4	20.5
13	B5	20.5
14	B5	20.5
15	B5	20.5
16	B5	20.5
17	C2	18.21
18	C2	18.21
19	C2	18.21
20	C2	18.21
21	C2	18.21
22	C2	18.21
23	C2	18.21
24	C2	18.21
25	C2	18.21
26	C2	18.21
27	C2	18.21
28	C2	18.21
29	C2	16.21
30	C2	16.21
31	C2	16.21
32	C2	16.21
33	C2	16.21
34	C2	16.21
35	C2	16.21
36	C2	16.21
37	C2	16.21
38	C2	16.21

LUM NO.	LABEL	MTG. HT.
39	C2	16.21
40	C2	16.21
41	D1	9
42	D1	9
43	D1	9
44	D1	13.5
45	D1	9
46	D1	9
47	D1	9
48	D1	9
49	D1	9
50	D1	9
51	D1	9
52	D1	9
53	D1	9
54	D1	9
55	D1	9
56	D1	9
57	D1	9
58	D1	13.5
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63	D1	13.5
64	D1	13.5
65	D1	13.5
66	D2	13.5
67	D2	13.5
68	S1	9
69	S1	9
70	W1	15
71	W1	15
72	W1	15
73	W1	15
74	W1	15
75	W1	15
76	W2	15

project no: 1581
scale: AS SHOWN
date: 05-14-18
drawn by: a.v.

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revisions seal

15500 NEW BARN ROAD

• SUITE 106

•

MIAMI LAKES, FLORIDA

•

33014

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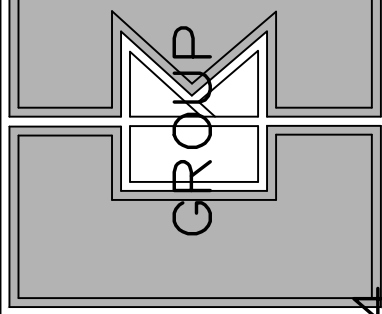
(305) 558-412

HARDING PLAZA REDEVELOPMENT

FEDERAL HIGHWAY & HARDING ST.

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"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)

U.S. HIGHWAY NO. 1
FEDERAL HIGHWAY

STATE ROAD NO. 5
(PUBLIC RIGHT OF WAY)

WILSON ST.
(PUBLIC RIGHT OF WAY)

U.S. HIGHWAY NO. 1
FEDERAL HIGHWAY

STATE ROAD NO. 5
(PUBLIC RIGHT OF WAY)

TAFT STREET
(PUBLIC RIGHT OF WAY)

HARDING STREET
(PUBLIC RIGHT OF WAY)

N.W. 17th COURT
(PUBLIC RIGHT OF WAY)

SITE AND CODE DATA

DESCRIPTION CURRENT ZONING CURRENT LAND USE CURRENT USE	HARDING PLAZA RM-2 Regional Highway Medium-High Intensity Mixed-Use District RAC - Regional Activity Center Commercial Shopping Center and Vacant Land
--	--

1 GENERAL INFORMATION

DESCRIPTION	TYPE	GROSS BUILDING AREA
NON-RESIDENTIAL	New Retail	6,200 SF
	Existing Retail Dollar Store	9,887 SF
	Service Station (12 Fuel Dispensers) w/ Convenience Store	5,636 SF
	3.0 Allowed	5,346 SF canopy
		0.19 Provided
TOTAL SITE AREA	114,068 (NET) SF (2.639 Acres)	
TOTAL BUILDING	23,723 SF	18.90%
TOTAL VEHICULAR USE AREA	62,428 SF	54.30%
INTERIOR LANDSCAPE AREA (MINUS PERIMETER LANDSCAPE SET BACK AREA)	16,183 SF	26.41% of vehicular use area
TOTAL OPEN SPACE AREA	30,817 SF	26.80%

2 SETBACKS

NEW RETAIL		EXISTING RETAIL		SERVICE STATION AND CONVENIENCE STORE	
DESCRIPTION	ALLOWED MIN-MAX	DESCRIPTION	ALLOWED MIN-MAX	DESCRIPTION	ALLOWED MIN-MAX
FRONT (WEST)	10'-0"/30'-0"	FRONT (WEST)	13'-0"/30'-0"	FRONT (WEST)	10'-0"/30'-0"
REAR (EAST)	0'-0"	REAR (EAST)	0'-0"	REAR (EAST)	0'-0"
SIDE (NORTH)	30'-0"	SIDE (NORTH)	0'-0"	SIDE (NORTH)	0'-0"
SIDE (SOUTH)	0'-0"	SIDE (SOUTH)	240'-0"	SIDE (SOUTH)	0'-0"

3 MINIMUM ACTIVE USES

FRONTAGE	REQUIRED	PROVIDED
Federal Highway (480' 5 FT)	60%	106.8' (SR 16%)

4 HEIGHTS PROVIDED

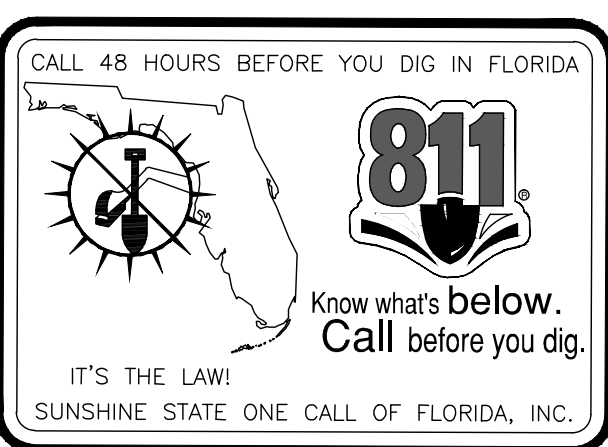
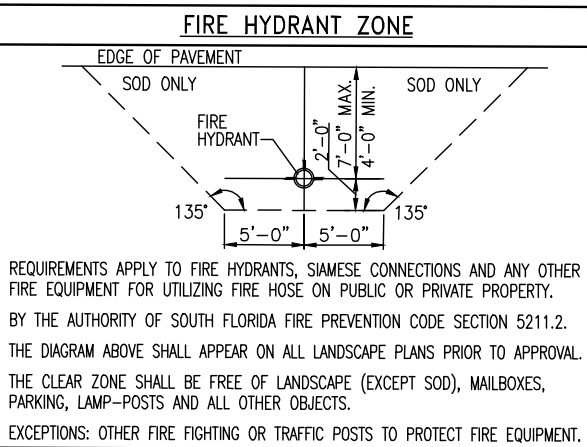
NEW RETAIL		EXISTING RETAIL DOLLAR STORE		SERVICE STATION AND CONVENIENCE STORE	
DESCRIPTION	ALLOWED MINIMUM	DESCRIPTION	ALLOWED MINIMUM	DESCRIPTION	ALLOWED MINIMUM
HEIGHT	34'-0"	HEIGHT	34'-0"	HEIGHT	34'-0"

5 PARKING DATA

DESCRIPTION	MINIMUM 3 PER 1000 SF / MAXIMUM 5 PER 1000 SF	REQUIRED MINIMUM	REQUIRED MAXIMUM
NEW RETAIL	Standard parking spaces for 6,200 SF	19 SP	31 SP
EXISTING RETAIL DOLLAR STORE	Standard parking spaces for 9,887 SF	30 SP	40 SP
SERVICE STATION/CONVENIENCE STORE	Standard parking spaces for 5,636 sf	17 SP	28 SP
		66 SP	108 SP
TOTAL STANDARD PARKING SPACES		PROVIDED BY SPACE INCLUDING 2 AT AIR HOSES	

6 PROJECT SUMMARY

SUMMARY OF REQUESTS: VARIANCES, MODIFICATIONS AND SPECIAL EXCEPTION	REQUIRED	PROVIDED
SPECIAL EXCLUSION VARIANCE		
FRONT SETBACK (WAWA)	10'-0"/30'-0"	40'-0"
FRONT DRIVE (WAWA)	Not Allowed	Part of Plans to allow exit of fueling truck
MINIMUM ACTIVE USES - FEDERAL HWY.	60%	38.16%
10 FT PLURIMATERIAL LANDSCAPE BUFFER	10'-0"	9'-1"
WHEEL STOPS (WAWA)	ALL Parking	Ballards at spaces next to building only

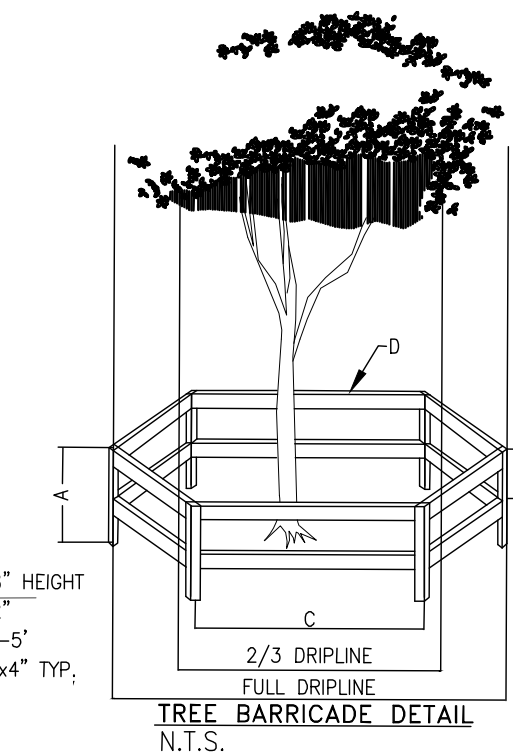


DROUGHT TOLERANCE= SFWM
* MODERATE
** VERY

GREEN BUILDING ORDINANCE REQUIRED SECTION 151.153#16 80% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).

LANDSCAPE LEGEND

DROUGHT TOLERANCE	NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
**	NO	PHO	2	PHOENIX DACTYLIFERA / "MEJOL"	14' C.T.	F.G. SPECIMEN "MATCHED"
**	YES	ILE	33	ILEX CASSINE / DAHOON HOLLY	16'-18' X 8'	F.G. 5' C.T. 3.5" CAL@DBH (UPSIZED MITIGATION)
**	YES	LIV	11	QUERCUS VIRGINIANA / "CATHEDRAL"	16'-18' X 10'	F.G. 6' C.T. 4.0" CAL@DBH (UPSIZED MITIGATION)
**	YES	SAB	10	SABAL PALMETTO / CABBAGE PALM	14'-16'-18' HGT.	F.G. (5)EXISTING TO REMAIN-RELOCATE 4
**	YES	OAK	16	QUERCUS VIRGINIANA / LIVE OAK	16'-18' X 12'	F.G. 6' C.T. 4.0" CAL@DBH (UPSIZED MITIGATION)
**	YES	CYP	8	ACER RUBRUM / RED MAPLE	16'-18' X 12'	F.G. 6' C.T. 4.0" CAL@DBH (UPSIZED MITIGATION)
*	NO	PTY	6	PTYCHOSPERMA ELEGANS / ALEXANDER PALM	10'-12' GREYWOOD	F.G. "MATCHED"
**	YES	CLU	3	CLUSIA ROSEA / PITCH APPLE	14'-16' X 6'	F.G. 3.5" CAL@DBH "STANDARD" (UPSIZED MITIGATION)
**	YES	CON	21	CONOCARPUS SERICEUS / SILVER BUTTWOOD	12' X 6'	F.G. 5' C.T. 2" CAL@DBH "STANDARD"
*	NO	JAS	679	JASMINUM VOLUBILE / WAX JASMINE	16"x16"	24" O.C. FULL TO BASE
*	NO	PSI	6	PSIDIA LITTORALE / CATTLEY GUAVA	12' X 6'	F.G. 2"CAL@DBH 5' C.T. "MULTI-STEM"
*	NO	LAL	14	LAGERSTROMIA INDICA / "NATCHEZ" CRAPE MYRTLE	16'-18' X 8'	F.G. 3.5" CAL@DBH "STANDARD" (UPSIZED MITIGATION)
*	NO	AGE	2	PTYCHOSPERMA ELEGANS / ALEXANDER PALM	10'-12' GREYWOOD	F.G. DOUBLE "MATCHED"
**	YES	ROY	3	ROYSTONIA ELATA / FLORIDA ROYAL PALM	10' GREYWOOD	F.G. 10' GREYWOOD "MATCHED" (UPSIZED MITIGATION)
**	YES	COC	2	COCOLOBIA DIVERSIFOLIA / PIGEON PLUM	20'-22" HGT.	EXISTING TO REMAIN
*	NO	ARG	2	TABERJIA ARGENTEA / YELLOW TRUMPET	16'-22' HGT.	EXISTING TO REMAIN
*	NO	BUC	3	BUCIDIA BUCERAS / BLACK OLIVE	34'-40' HGT.	EXISTING TO REMAIN
**	YES	BUR	15	BURSERIA SIMARUBA / GUMBO LIMBO	16'-18' X 12'	F.G. 6' C.T. 4.0" CAL@DBH(2-EX.RELOCATED)UPSIZED MITIGATION
**	YES	VOM	365	ILEX VOMITORIA / STOKES' DWARF YAUPOIN	14"x14"	24" O.C. FULL TO BASE
*	YES	FOR	80	FORESTIERA SEGREGATA / FLORIDA PRIVET	24"x18"	24" O.C. FULL TO BASE
**	YES	*CHR	79	CHRYSOBALANUS ICACO / "RED TIP"	48"x24"	24" O.C. FULL TO BASE
**	YES	MUH	194	MUHLBERGIA CAPILLARS / PINK MUHLY	14"x14"	24" O.C. FULL TO BASE
**	NO	RED	3	CORDYLINE FRUTICOSA / "RED SISTER"	30"x24"	AS SHOWN- MULTI-STEM FULL
**	YES	CHR	404	CHRYSOBALANUS ICACO / "RED TIP"	24"x18"	24" O.C. FULL TO BASE
*	NO	CRI	1	CRINUM AUGUSTUM / QUEEN EMMA	36"x36"	AS SHOWN
*	NO	BRO	3	MAECHNEA BLANCHETIANA / GIANT ORANGE BROMELIAD	24"x24"	AS SHOWN
*	NO	ARB	109	SCHOFFLERIA ARBORICOLA / GREEN ARBORICOLA	24"x18"	24" O.C. FULL TO BASE
*	NO	TRA	732	TRACHELOSPERMUM ASIATICUM / ASIATIC JASMINE	6" 1 GAL. FULL	12" O.C.
*	NO	EVO	15	EVOLVULUS GLOMERATUS / BLUE DAZE	6" 1 GAL. FULL	AS SHOWN
*	NO	POR	30	PORTULACA / PURSLANE	6" 1 GAL. FULL	AS SHOWN



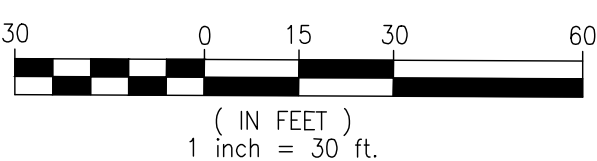
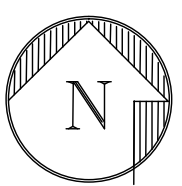
EXISTING TREES TO REMAIN REQUIRED BARRICADES

NOTE:

CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT. ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS. LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

OVERALL LANDSCAPE PLAN

1"=30'-0"



LEGAL DESCRIPTION:

PARCEL 1: FOLIO# 5142 10 54 0010
PARCEL "A" OF HARDING PLAZA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 137, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2: FOLIO# 5142 10 61 0010
PARCEL "A" OF HARDING PLAZA II, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 179, PAGE 5 & 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BENEFICIAL EASEMENTS RIGHTS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT AND COVENANT RUNNING WITH THE LAND, BY AND BETWEEN, HARDING HOLLYWOOD INVESTMENTS, LLC AND ESJ HOLLYWOOD INVESTMENT, LLC RECORDED MARCH 9, 2009 IN OFFICIAL RECORDS BOOK 46038, PAGE 1379, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LANDSCAPE DATA

DESCRIPTION	REQUIRED	PROVIDED
1 TREE PER 1,000 S.F. PERVIOUS AREA: (30,817.00 S.F.)	31	31
PERIMETER BUFFER: 1 TREE PER 20 L.F. (1,394.40)	70	70
1 TREE PER 190 S.F. TERMINAL ISLAND:	23	23
STREET TREES: 1 PER 50 L.F. STREET FRONTAGE: 500 L.F.	10	10
AT GRADE PARKING 1 TREE PER 20 L.F.	18	18
INTERIOR LANDSCAPE AREA - 25.00% OF (V.U.A.):	15,607.00	16,489.00
TOTAL TREES:	152	152
NATIVE/S.F.W.M. TREES 80% MIN.:	122	122 (80%)
NATIVE/S.F.W.M. SHRUBS 80% MIN.:	1,535/80%	1,919/100%

NOTES

- SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
- ALL EXISTING TREES SHALL BE TRIMMED AND SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI), A300-2005", CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION AS PER CITY OF HOLLYWOOD. (SEE DETAIL)
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- LANDSCAPE CONTRACTOR SHALL NOT INSTALL PLANT MATERIALS WITHIN ROOTBALLS OF TREES AND OR PALMS AND SHOULD BE INSTALLED OUTSIDE ROOTBALL AREAS AS REQUIRED.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+ - 1") THAN THE FINISHED GRADE.
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SHOWN PRIOR TO SUBMISSION OF BIDS, REQUIRED (2) APPROVALS AS FOLLOWS: ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT & "CITY OF HOLLYWOOD'S LANDSCAPE PLAN REVIEWER" FOR CONSIDERATION AND REQUIRED APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8' FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED. TREES SHALL BE MAINTAINED WITH SIX (6') CLEAR TRUNK TO KEEP CONTINUALLY ALLOWANCE FOR CLEAR NATURAL VISUAL SURVEILLANCE TO THE SITE. SHRUBBERY SHALL NOT EXCEED THREE (3') AT MATURITY; TREES SHALL BE PLANTED 15' FROM LIGHT STANDARDS TO MAINTAIN ILLUMINATION LEVELS AS SPECIFIED.
- LANDSCAPE CONTRACTOR TO CALL THE CITY OF HOLLYWOOD LANDSCAPE INSPECTOR AT (954)921-3471 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO INSTALLATION AS REQUIRED.
- LANDSCAPE CONTRACTOR TO CONTACT CITY LANDSCAPE INSPECTOR PRIOR TO RELOCATION OF EXISTING TREES OR PALMS FOR CONDITION OF EXISTING MATERIAL AND SHALL BE APPROVED UPON INSPECTION OR IF DEEMED NOT FEASIBLE, THAN A NEW TREE/PALM SHALL BE INSTALLED IF REQUIRED.
- EXISTING TREES SHALL BE PRUNED AND MAINTAINED TO HAVE 6'-8" MINIMUM CLEARANCE OVER SIDEWALKS AS REQUIRED.

MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

L-1

HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

project no.:
scale: AS SHOWN
date: 05-14-18
drawn by: RICK BARTLETT
revisions seal

15500 NEW BARN ROAD

SUITE 106

MIAMI LAKES, FLORIDA 33014

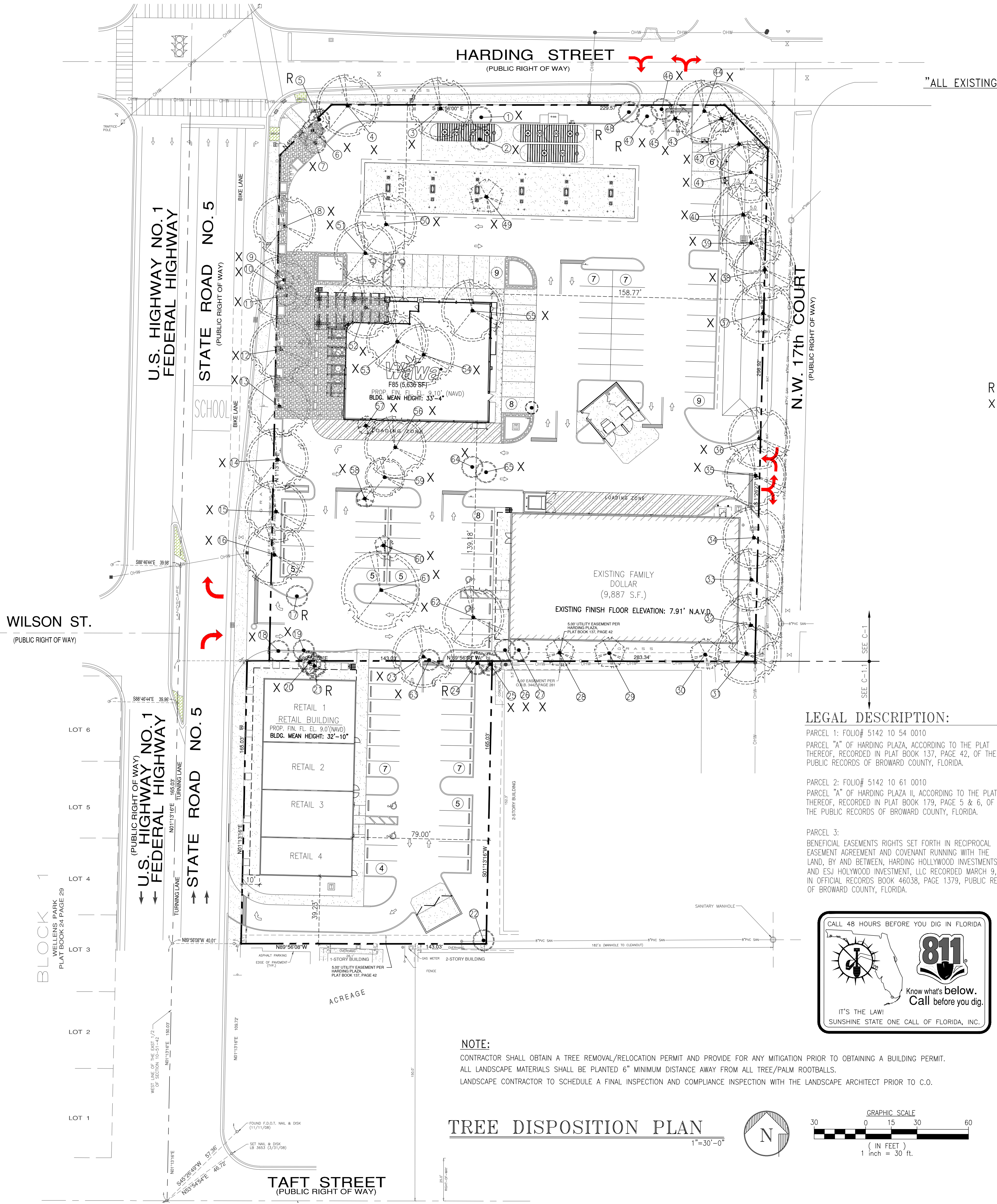
(305) 558-412

CKE GROUP
INCORPORATED
engineering • architecture • planning

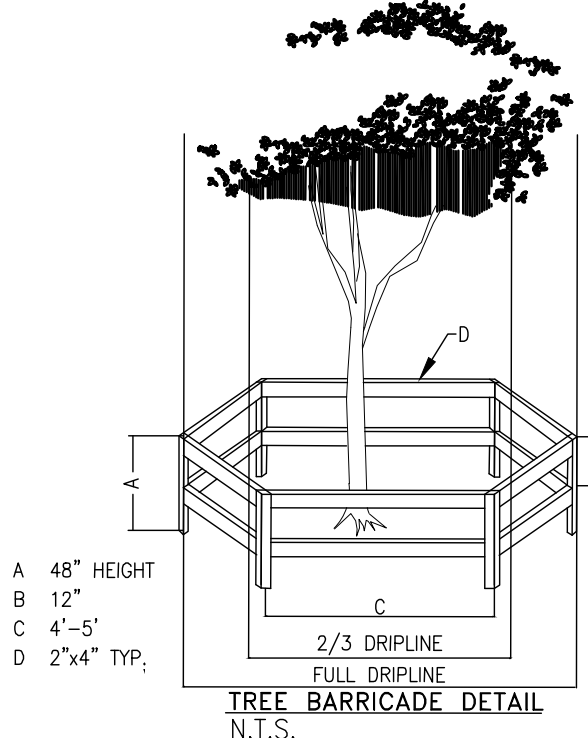
HARDING PLAZA REDEVELOPMENT

project no.:
scale: AS SHOWN
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drawn by: RICK BARTLETT
revisions seal

L-1



"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



- TREE BARRICADE NOTES:**
1. ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36" ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FULL TRENCH WITH FIBROGLASS-WATERING, SUCH AS LANKS OR WOOD SHAWINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TORN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
 2. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2003 - CURRENT EDITION RESPECTIVELY.
 3. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
 4. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
 5. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
 6. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
 7. TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
 8. TRANSPLANT TREE WITH 60" TREE SPAD OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
 9. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH , OR SLIGHTLY HIGHER (+ - 1") THAN THE FINISHED GRADE.

EXISTING TREES TO REMAIN REQUIRED BARRICADES

SEE SHEET L-1 LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

R = TO BE RELOCATED
X = TO BE REMOVED (462.5" D.B.H. CALIPER INCHES)– OWNER TO PROVIDE 462.5" D.B.H. CALIPER INCHES SHORTFALL REQUIRED MITIGATION OFFSITE PLANTING OR INTO TREE TRUST FUND CONTRIBUTION.

EXISTING LANDSCAPE MATERIALS

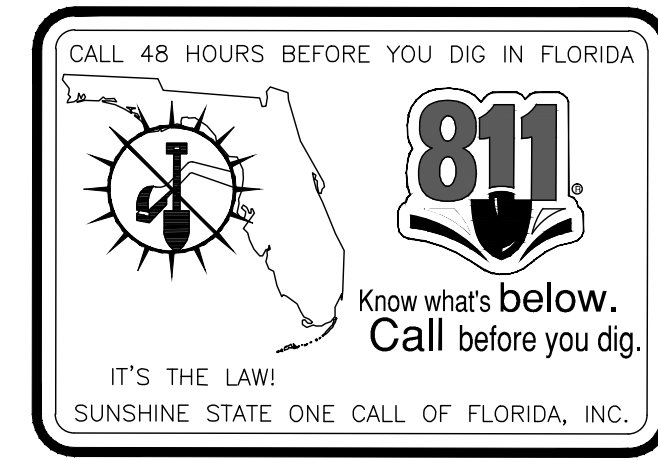
KEY	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS	CONDITION
1	SAB	1	SABAL PALMETTO / CABBAGE PALM	14'-16" X 15'	(1) TO BE REMOVED (11".0 CALIPER)	FAIR
2	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	(1) TO BE REMOVED (10".0 CALIPER)	POOR/DECAY
3	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	26'-28" X 32'	(1) TO BE REMOVED (10.5" CALIPER)	GOOD
4	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	28'-30" X 45'	(1) TO BE REMOVED (18.5" CALIPER)	FAIR/HATRACKED
5	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	EXISTING TO BE RELOCATED (10".0 CALIPER)	GOOD
6	SAB	1	SABAL PALMETTO / CABBAGE PALM	14'-16" X 15'	(1) TO BE REMOVED (6".0 CALIPER)	POOR
7	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	(1) TO BE REMOVED (9".0 CALIPER)	POOR
8	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	36'-38" X 40'	(1) TO BE REMOVED (19".0 CALIPER)	GOOD
9	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	6'-8" X 5'	(1) TO BE REMOVED (2.5 CALIPER)	POOR
10	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	36'-38" X 40'	(1) TO BE REMOVED (17".0 CALIPER)	POOR
11	SAB	1	SABAL PALMETTO / CABBAGE PALM	6' X 8'	(1) TO BE REMOVED (14".0 CALIPER)	POOR
12	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	34'-36" X 38'	(1) TO BE REMOVED (10".0 CALIPER)	GOOD
13	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	38'-40" X 42'	(1) TO BE REMOVED (19.5" CALIPER)	GOOD
14	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	38'-40" X 44'	(1) TO BE REMOVED (17.5" CALIPER)	GOOD
15	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	36'-38" X 40'	(1) TO BE REMOVED (20".0 CALIPER)	GOOD
16	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	38'-40" X 42'	(1) TO BE REMOVED (21.5" CALIPER)	GOOD
17	SAB	1	SABAL PALMETTO / CABBAGE PALM	14'-16" X 15'	EXISTING TO BE RELOCATED (8".0 CALIPER)	GOOD
18	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	(1) TO BE REMOVED (8".0 CALIPER)	POOR
19	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	(1) TO BE REMOVED (10".0 CALIPER)	POOR/DECAY
20	BUR	1	BURSERIA SIMARUBA / GUMBO LIMBO	10'-12" X 7'	(1) TO BE REMOVED (3".0 CALIPER)	FAIR
21	BUR	1	BURSERIA SIMARUBA / GUMBO LIMBO	12'-14" X 8'	EXISTING TO BE RELOCATED (5".0 CALIPER)	GOOD
22	SAB	1	SABAL PALMETTO / CABBAGE PALM	14'-16" X 8'	EXISTING TO REMAIN (12.5" CALIPER)	GOOD
23	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	38'-40" X 36'	(1) TO BE REMOVED (16".0 CALIPER)	FAIR
24	BUR	1	BURSERIA SIMARUBA / GUMBO LIMBO	14'-16" X 12'	EXISTING TO BE RELOCATED (3.5" CALIPER)	GOOD
25	BUR	1	BURSERIA SIMARUBA / GUMBO LIMBO	16'-18" X 8'	(1) TO BE REMOVED (3.5" CALIPER)	FAIR
26	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	(1) TO BE REMOVED (9".0 CALIPER)	POOR/DECAY
27	SAB	1	SABAL PALMETTO / CABBAGE PALM	18'-20" X 15'	EXISTING TO REMAIN (10.5" CALIPER)	POOR/DECAY
28	COC	1	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	16'-18" X 16'	EXISTING TO REMAIN (4.0" CALIPER)	FAIR
29	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	16'-18" X 20'	EXISTING TO REMAIN (6.0" CALIPER)	GOOD
30	COC	1	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	20'-22" X 20'	EXISTING TO REMAIN (8.0" CALIPER)	FAIR
31	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	20'-22" X 25'	EXISTING TO REMAIN (8.0" CALIPER)	FAIR
32	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	38'-40" X 36'	EXISTING TO REMAIN (12.5" CALIPER)	FAIR
33	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	34'-36" X 36'	EXISTING TO REMAIN (12.5" CALIPER)	FAIR
34	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	38'-40" X 36'	EXISTING TO REMAIN (13.0" CALIPER)	FAIR
35	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	36'-38" X 36'	(1) TO BE REMOVED (13".0 CALIPER)	FAIR/DAMAGES
36	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	36'-38" X 36'	(1) TO BE REMOVED (12.5" CALIPER)	GOOD
37	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	36'-38" X 36'	(1) TO BE REMOVED (12.5" CALIPER)	POOR/DECAY
38	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	36'-38" X 36'	(1) TO BE REMOVED (10.5" CALIPER)	FAIR
39	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	36'-38" X 36'	(1) TO BE REMOVED (14.0" CALIPER)	FAIR
40	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	36'-38" X 36'	(1) TO BE REMOVED (11.5" CALIPER)	FAIR
41	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	40'-42" X 40'	(1) TO BE REMOVED (14.0" CALIPER)	FAIR
42	BUC	1	BUCCIDA BUCERAS / BLACK OLIVE	40'-42" X 40'	(1) TO BE REMOVED (12.5" CALIPER)	FAIR
43	BOT	1	CALLISTEMON VIMINALIS/WEeping BOTLEBRUSH	10'-12" X 8'	(1) TO BE REMOVED (3.0" CALIPER)	POOR
44	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	40'-42" X 45'	(1) TO BE REMOVED (19.5" CALIPER)	GOOD
45	BOT	1	CALLISTEMON VIMINALIS/WEeping BOTLEBRUSH	10'-12" X 8'	(1) TO BE REMOVED (2.5" CALIPER)	POOR
46	QUE	1	COCOS PLUMOSA / QUEEN PALM	0	(1) TO BE REMOVED (0" CALIPER)	DEAD STUMP
47	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	EXISTING TO BE RELOCATED (9.5" CALIPER)	GOOD
48	SAB	1	SABAL PALMETTO / CABBAGE PALM	14'-16" X 15'	EXISTING TO BE RELOCATED (10".0 CALIPER)	GOOD
49	ARG	1	TABEBUIA ARGENTEA / YELLOW TRUMPET	14'-16" X 12'	(1) TO BE REMOVED (5.5" CALIPER)	FAIR
50	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	34'-36" X 40'	(1) TO BE REMOVED (22.5" CALIPER)	FAIR
51	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	34'-36" X 38'	(1) TO BE REMOVED (14".0 CALIPER)	GOOD
52	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	34'-36" X 38'	(1) TO BE REMOVED (13".0 CALIPER)	GOOD
53	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	34'-36" X 38'	(1) TO BE REMOVED (12".0 CALIPER)	GOOD
54	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	38'-40" X 45'	(1) TO BE REMOVED (12.5" CALIPER)	POOR/DAMAGES
55	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	32'-34" X 38'	(1) TO BE REMOVED (10".0 CALIPER)	GOOD
56	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	38'-40" X 45'	(1) TO BE REMOVED (22.5" CALIPER)	FAIR
57	BOT	1	CALLISTEMON VIMINALIS/WEeping BOTLEBRUSH	4' X 4'	(1) TO BE REMOVED (2.5" CALIPER)	POOR
58	BOT	1	CALLISTEMON VIMINALIS/WEeping BOTLEBRUSH	6'-8" X 4'	(1) TO BE REMOVED (2.5" CALIPER)	POOR
59	BUR	1	BURSERIA SIMARUBA / GUMBO LIMBO	14'-16" X 8'	(1) TO BE REMOVED (8.5" CALIPER)	FAIR
60	BOT	1	CALLISTEMON VIMINALIS/WEeping BOTLEBRUSH	8'-10" X 4'	(1) TO BE REMOVED (2.5" CALIPER)	POOR
61	SWI	1	SWIETENIA MAHOGANI / MAHOGANY	40'-42" X 48'	(1) TO BE REMOVED (28.5" CALIPER)	GOOD
62	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	36'-38" X 40'	(1) TO BE REMOVED (19".0 CALIPER)	GOOD
63	SAB	1	SABAL PALMETTO / CABBAGE PALM	10'-12" X 8'	(1) TO BE REMOVED (14".0 CALIPER)	FAIR
64	SAB	1	SABAL PALMETTO / CABBAGE PALM	18'-20" X 12'	(1) TO BE REMOVED (9".0 CALIPER)	FAIR
65	SAB	1	SABAL PALMETTO / CABBAGE PALM	16'-18" X 15'	(1) TO BE REMOVED (10.5" CALIPER)	POOR

LEGAL DESCRIPTION:

PARCEL 1: FOLIO# 5142 10 54 0010
PARCEL "A" OF HARDING PLAZA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 137, PAGE 42, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

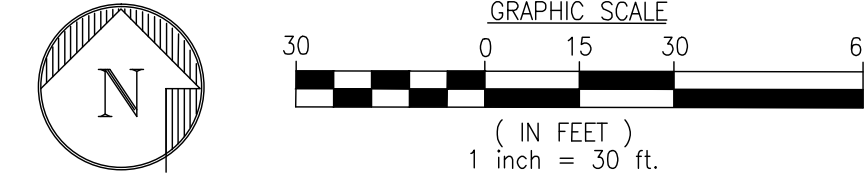
PARCEL 2: FOLIO# 5142 10 61 0010
PARCEL "A" OF HARDING PLAZA II, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 137, PAGE 5 & 6, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3:
BENEFICIAL EASEMENTS RIGHTS SET FORTH IN RECIPROCAL EASEMENT AGREEMENT AND COVENANT RUNNING WITH THE LAND, BY AND BETWEEN, HARDING HOLLYWOOD INVESTMENTS, LLC AND ESJ HOLLYWOOD INVESTMENT, LLC RECORDED MARCH 9, 2009 IN OFFICIAL RECORDS BOOK 46038, PAGE 1379, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



NOTE:
CONTRACTOR SHALL OBTAIN A TREE REMOVAL/RELOCATION PERMIT AND PROVIDE FOR ANY MITIGATION PRIOR TO OBTAINING A BUILDING PERMIT.
ALL LANDSCAPE MATERIALS SHALL BE PLANTED 6" MINIMUM DISTANCE AWAY FROM ALL TREE/PALM ROOTBALLS.
LANDSCAPE CONTRACTOR TO SCHEDULE A FINAL INSPECTION AND COMPLIANCE INSPECTION WITH THE LANDSCAPE ARCHITECT PRIOR TO C.O.

TREE DISPOSITION PLAN



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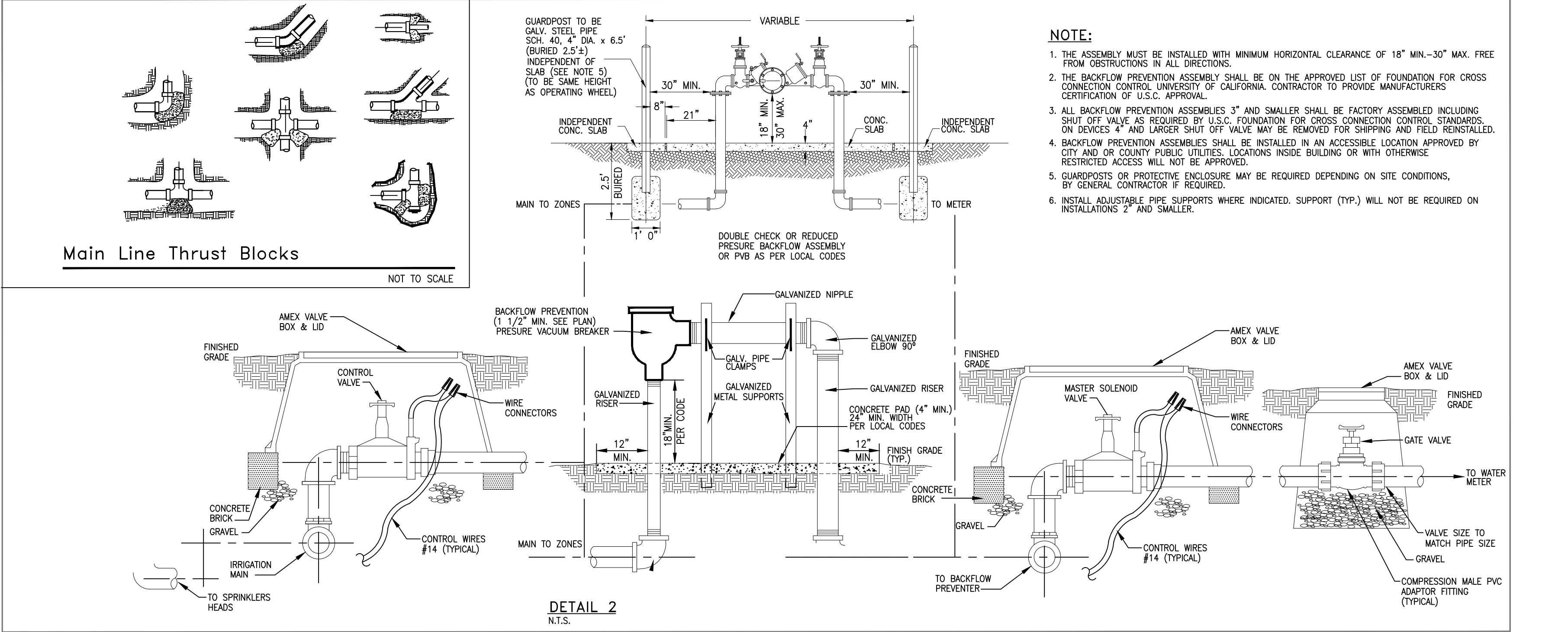
HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

project no.: RB#18-03-2098
scale: AS SHOWN
date: 05-14-18
drawn by: RICK BARTLETT

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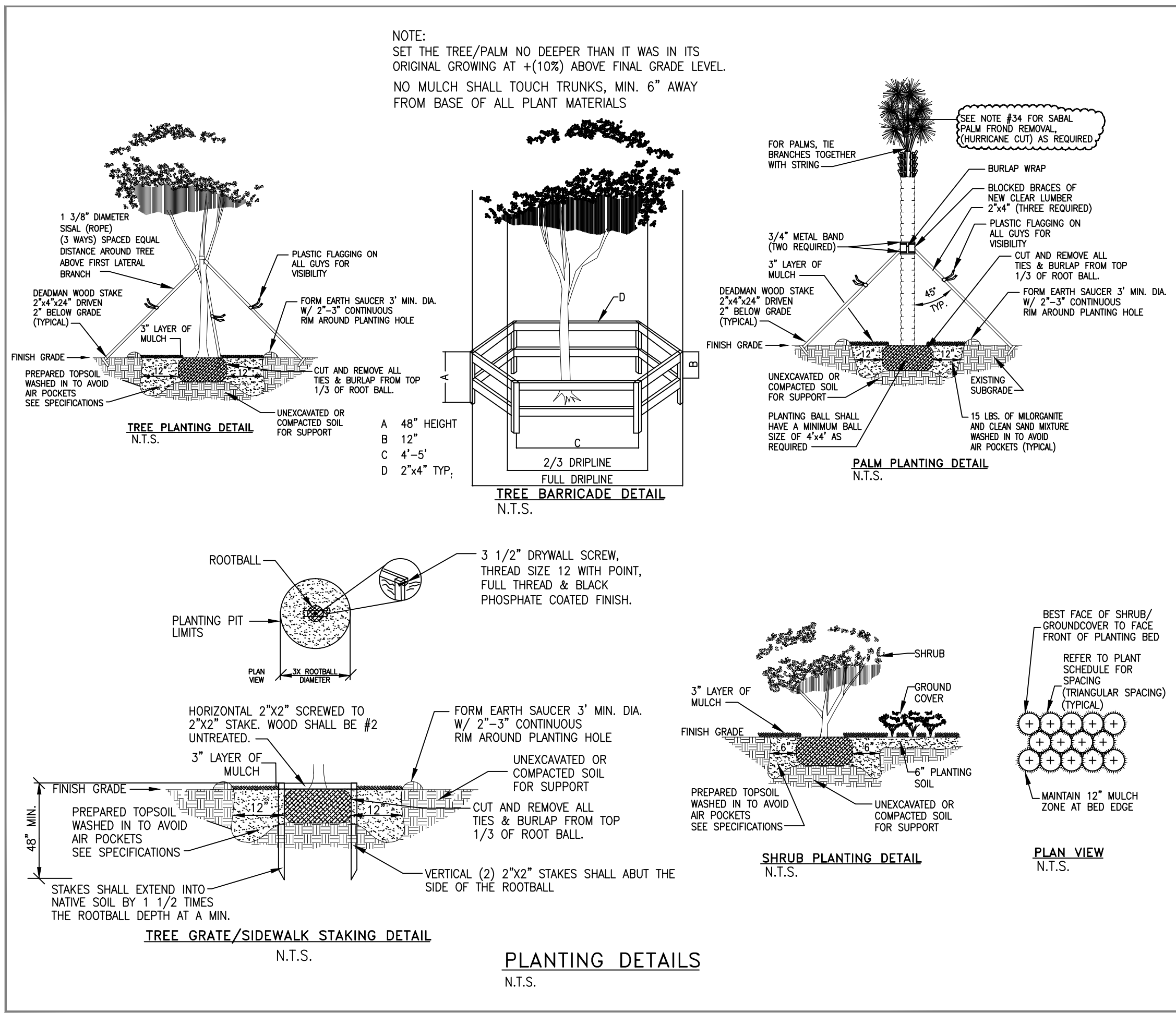
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L-2



- IRRIGATION SPECIFICATIONS**
- HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION & SHALL BE PAINTED FLAT BLACK; IF APPROVED.
 - ALL MAINS AND SLEEVES MUST BE PVC SCH 40 AND BURIED A MINIMUM OF 24" BELOW FINISH GRADE.
 - ALL LATERALS MUST BE PVC SCH 160 AND BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
 - PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PLUMBING BUILDING CODE APPENDIX (F) PART V-A-1.1:
PIPE SIZE (INCHES) DEPTH OF COVER (INCHES)
1/2-2 1/2 18"-24"
3-5 24"-30"
6 AND LARGER 30"-36"
 - CONTRACTOR TO SIZE PIPING (UNLESS OTHERWISE SHOWN) AND ADJUST SPRAY HEADS LOCATION TO CONFORM WITH WATER REQUIREMENTS OF ACTUAL LANDSCAPING FOR ADEQUATE WATER COVERAGE.
 - IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS AND MAINTAIN A 50% MIN. OVERLAP USING RUST FREE WATER.
 - IRRIGATION CONTRACTOR TO PROVIDE 35 PSI AT ALL HEADS.
 - HEADS TO BE INSTALLED IN PLANTERS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
 - IRRIGATION CONTRACTOR TO FURNISH CONTROLLER TIME CLOCK TO BE LOCATED IN MECHANICAL ROOM OR APPROVED LOCATION; SEE DETAIL.
 - BUILDING CONTRACTOR TO SUPPLY ELECTRICAL HOOK UP.
 - ALL WORK MUST BE DONE AS PER LOCAL CODES. CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1.1," INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) .
 - SYSTEM IS TO BE DESIGNED (IF NOT SHOWN ON PLAN) AND INSTALLED BY A QUALIFIED, LICENSED, AND INSURED LANDSCAPE IRRIGATOR.
 - SPRINKLER SYSTEM SHALL BE GUARANTEED FOR ONE YEAR AGAINST MECHANICAL DEFECTS.
 - IRRIGATION CONTRACTOR TO USE #14 DIRECT BURIAL LOW VOLTAGE WIRE AND INSTALLED UNDER SIDE OF MAIN LINES, TO INSURE PROTECTION AND LOCATING OF SAME, SLEEVED UNDER PAVEMENT AND WALKS, SPLICED ONLY AT VALVE LOCATIONS. ALL SPLICES SHALL BE MADE WATER PROOF. CONTROL WIRES SHALL BE COLOR CODED. ONE EXTRA WIRE SHALL BE RAN WITH EACH ZONE VALVE. IF K-RAINS NOT REQUIRED SEE PLAN FOR VALVE LOCATIONS.
 - ALL IRRIGATION LINE LOCATIONS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO ADJUST TRENCHING IN FIELD FOR EXISTING CONDITIONS, PLANTINGS AND STRUCTURES AS REQUIRED.
 - IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION OR UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE IRRIGATION CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
 - ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ON IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPERVIOUS SURFACE SUCH AS SIDEWALKS, ETC.. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.

IRRIGATION LEGEND			
SYMBOL	MODEL NUMBER	AREA	GPM
	TORO SPRY NOZZLES 570 W/ 6" & 12" SPRINKLER BODY	-	-
	FULL - 15' F	15' RAD	4.00
	270' - 15' 270'	15' RAD	3.00
	HALF - 15' H	15' RAD	2.00
	QUARTER - 15' Q	15' RAD	1.00
	SIDE STRIP - 4' SST	4'x30'	1.45
	SIDE STRIP - 9' SST	9'x18'	1.20
	CENTER STRIP - 4' CST	4'x30'	1.20
	END STRIP - 4' EST	4'x15'	0.60
	TORO SERIES S700 GEAR DRIVEN ROTARY SPRINKLER	43' RAD	2.77
	TORO MODEL NO. 304-00-03 STREAM ROTOR SPRINKLER	28' RAD	1.36
	TORO MODEL NO. 308-00-03 STREAM ROTOR SPRINKLER	28' RAD	2.72
	TORO MODEL NO. 311-00-03 STREAM ROTOR SPRINKLER	28' RAD	3.39
	WATER METER & BACKFLOW PREVENTER (SIZE AS SHOWN)		
	CASED IN WELL (SIZE AS SHOWN - SEE IRRIGATION PLAN)		
	MAIN TO BE PVC SCH. 40 (SIZE AS SHOWN)		
	K-RAIN ZONING VALVE (X-ZONES) (IF SHOWN)		
	TORO SERIES 252 LOW VOLTAGE AUTOMATIC VALVE (SIZE AS SHOWN)		
	RUST CONTROL DEVICE (IF SHOWN)		
	TIMER CONTROL AS SHOWN ON PLAN		
	TORO RAIN SENSOR DEVICE MODEL # 850-74		



LANDSCAPE SPECIFICATIONS

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY, COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK. THE LANDSCAPE PLANS SHALL NOT BE UTILIZED FOR STAKING, LAYOUT OR LOCATIONS OF ANY SITE STRUCTURE OR FEATURE INCLUDING BUT NOT LIMITED TO BUILDINGS, SIGNS, SIDEWALKS, EASEMENTS, UTILITIES OR ROADWAYS.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID, UNLESS OTHERWISE NOTED.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH / FLORIMULCH, & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).
- ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
- ALL TREES FIELD GROWN (LIRIO CAN TREES NOT ACCEPTABLE), UNLESS OTHERWISE SHOWN.
- LANDSCAPER TO FURNISH ALL MATERIALS AND LABOR INCLUDING PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMITS, ETC., NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE BY OTHERS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, SOUND, HEALTHY VIGOROUS, FREE FROM PLANT FROM THE TOP OF BA TO FIRST BRANCHING OR HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPER CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- PLANT MATERIALS ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BA TO FIRST BRANCHING OR BASE OF THE LOWEST FROND); GAL (GALLON CAN); 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HVY (INDICATES HEAVY); MIN (INDICATES MINIMUM).
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SPECIFIED SHALL BE MADE PRIOR TO THE SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+1") THAN THE FINISHED GRADE.
- DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.
26. COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD BY WEIGHT OR "MILORGANITE". NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
INITIAL FERTILIZATION OF TREES, SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:
5 LBS. OR 14.5 CUPS / PALMS
3 LBS. OR 8.70 CUPS / 12"-16" MATERIAL
2 LBS. OR 5.60 CUPS / 8"-12" MATERIAL
0.69 LBS. OR 2.00 CUPS / 6"-8" MATERIAL
0.19 LBS. OR 1/2 CUP / 3 GAL. MATERIAL
0.10 LBS. OR 1/4 CUP / 1 GAL. MATERIAL
FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:
SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. CONTAINER, 1/4 LB. PER 1 GAL. CONTAINER) AND GROUNDCOVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F.; A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD), AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER 1 GAL. PLANTS, 2 PER 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER. APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURERS RECOMMENDATION.
27. SUPER ABSORBENT POLYMER, "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, ACRYLAMIDE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY, USING THE FOLLOWING AMOUNTS:
1 PAC PER TREE - 36" BALL SIZE
2 PACS PER TREE - OVER 36" BALL SIZE
1 PAC PER 20 GAL. CONTAINER
0.5 PACS PER 7-10 GAL. CONTAINER
0.25 PACS PER 3 GAL. CONTAINER
0.12 PACS PER 1 GAL. CONTAINER
28. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
29. PLANTING SOIL: PLANTING SOIL SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.
30. WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER.
31. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
32. SITE PREPARATION: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES, AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER.
33. MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTling PLANTS TO PROPER GRADES OR UPRIGHT POSITIONS AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATIONS. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS SHALL BE REPAIRED PROMPTLY.
34. CONTRACTOR TO REMOVE ALL REMAINING FRONDS ON NEWLY PLANTED SAND PALMS WITH THE EXCEPTION OF THE CENTER BUD TO INSURE BETTER SURVIVABILITY AND LESS WATER STRESS PROBLEMS OF THE PALM, THIS GIVING HIGHER SURVIVOR RATE OF THE SAME. (NOTE: OTHER PALM SPECIES THE BRANCHES TOGETHER WITH BIODEGRADABLE TWINE TO A TIGHT BUNDLE AROUND BUD FOR PROTECTION AS REQUIRED).
35. ALL APPLICABLE FEDERAL, STATE, AND LOCAL PERMITS SHALL BE OBTAINED PRIOR TO ANY REMOVAL, RELOCATION, OR INSTALLATION OF PLANT MATERIALS INDICATED WITHIN THE PLANS OR PLAN DOCUMENTS.
36. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS.

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PLANNING

THE FOLLOWING DRAWINGS ARE INSTRUMENTS OF SERVICES TO THE STATE OF FLORIDA. ANY REVISIONS, AMENDMENTS, AND PLANS MUST BE MADE IN ACCORDANCE WITH THE FLORIDA BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS. ANY REVISIONS, AMENDMENTS, AND PLANS MUST BE MADE IN ACCORDANCE WITH THE FLORIDA BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS. ANY REVISIONS, AMENDMENTS, AND PLANS MUST BE MADE IN ACCORDANCE WITH THE FLORIDA BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS. ANY REVISIONS, AMENDMENTS, AND PLANS MUST BE MADE IN ACCORDANCE WITH THE FLORIDA BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS.

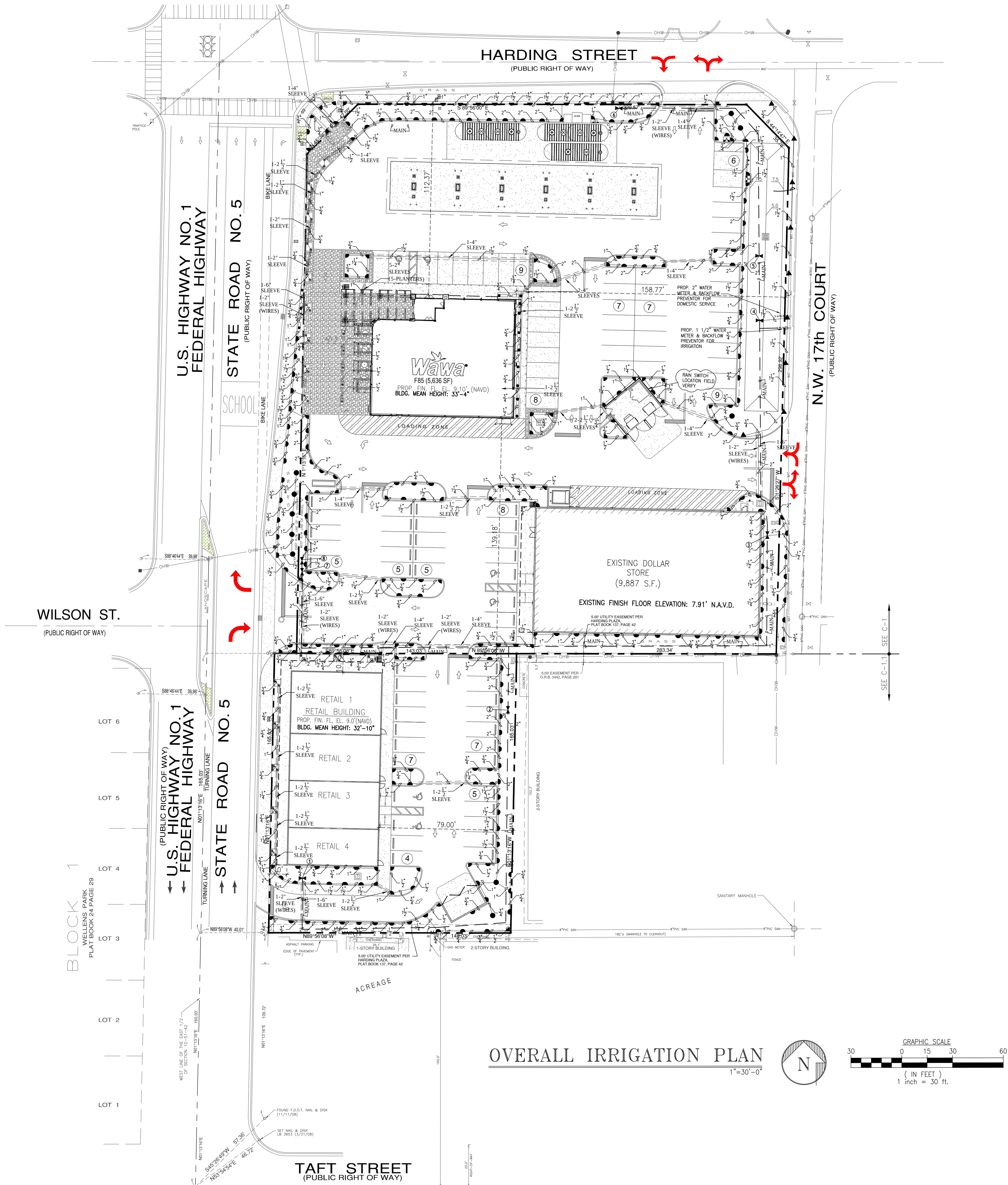
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HOLLYWOOD RETAIL SITE
FEDERAL HIGHWAY & WILSON ST.
HOLLYWOOD, FLORIDA

project no: RB18-03-2098
scale: AS SHOWN
date: 10-12-17
drawn by: AV RICK BARTLETT

15500 NEW BARN ROAD SUITE 106 MIAMI LAKES, FLORIDA 33014 (305) 558-4124

L-3



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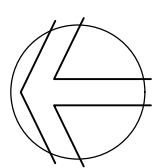
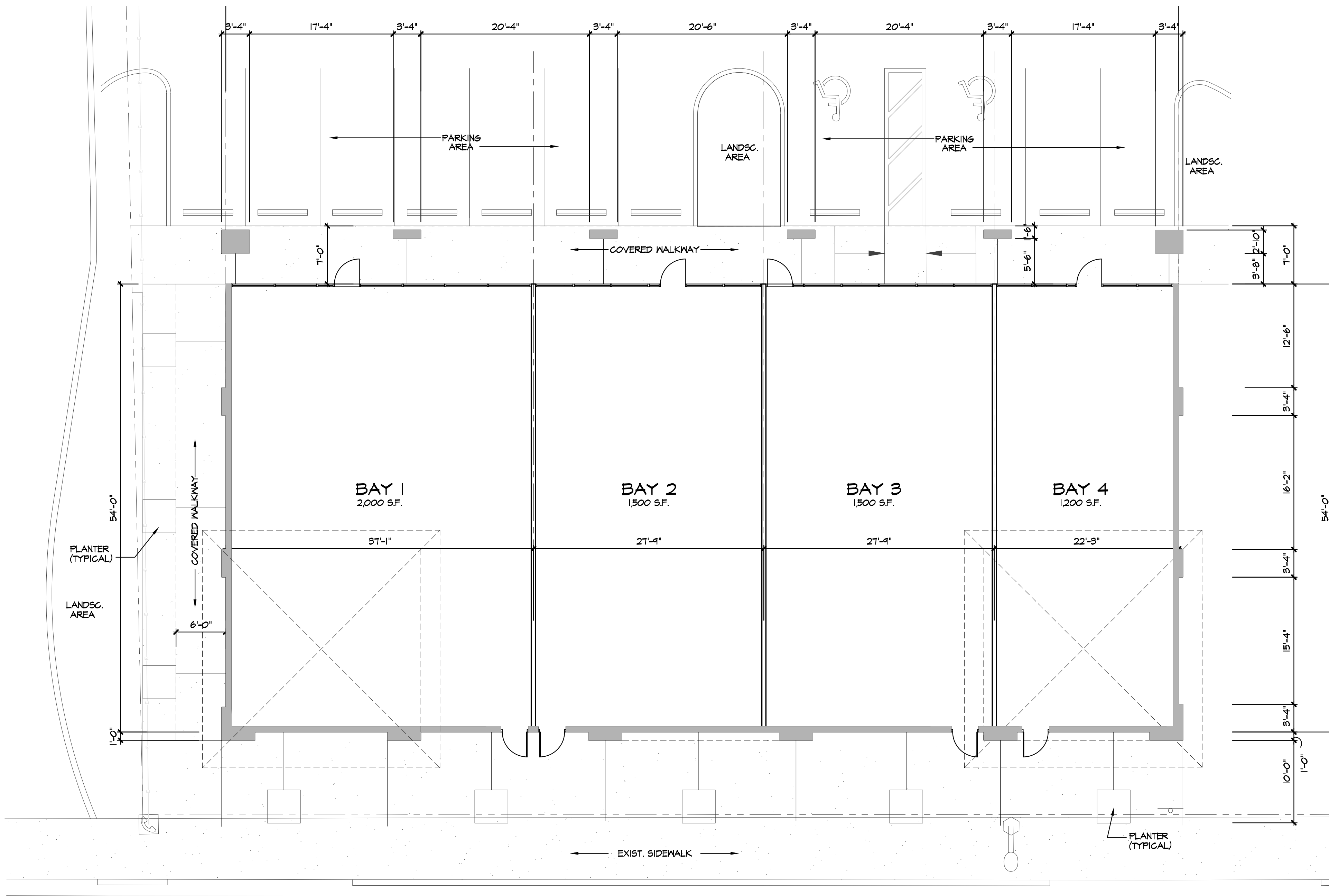
HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

project no: RBL#18-03-2098
scale: AS SHOWN
date: 05-16-18
drawn by: AV. revisions seal

15500 NEW BARN ROAD • SUITE 106 • MIAMI LAKES, FLORIDA 33014 • (305) 558-4124

L-4



FLOOR PLAN

1/8" = 1'-0"

NOTES:

- 1) HVAC AND MECHANICAL EQUIPMENT WILL BE LOCATED IN THE ROOF AND WILL BE SCREENED BY A 36" PARAPET WALL.
- 2) KNOX BOX WILL BE PROVIDED AT THE BUILDING - SEE ELEVATIONS ON SHEET A-3 FOR LOCATION.

MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

project no. 1516
scale, AS SHOWN
date, 04-20-17
drawn by, L.V.

08/16/18 (13 COMMENTS)
revisions seal

HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA

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15500 NEW BARN ROAD

SUITE 106

MIAMI LAKES, FLORIDA 33014

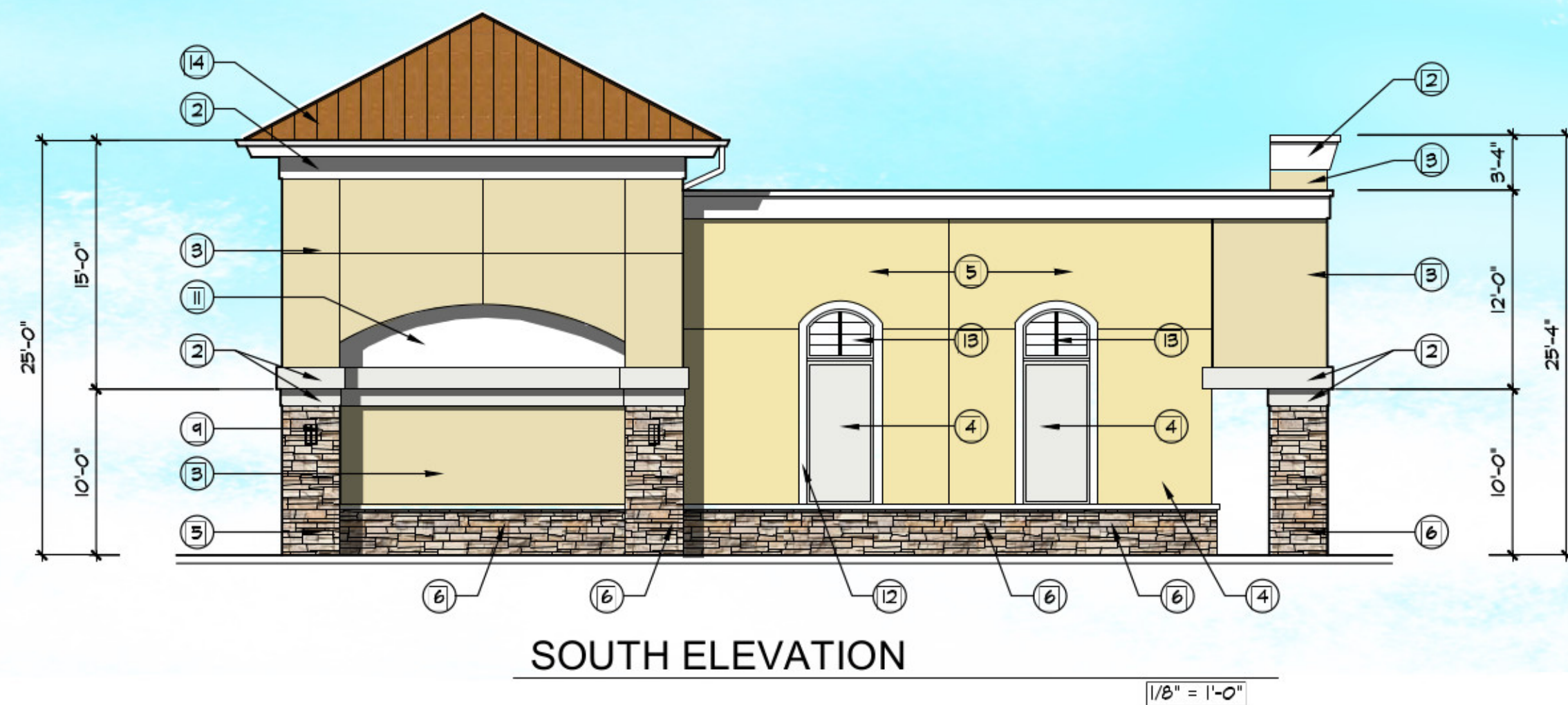
(305) 558-4124

A-1



WEST ELEVATION
STATE ROAD No.5

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

FINISHES SCHEDULE			
MARK	DESCRIPTION	COLOR/CAT No.	NOTES
(1)	ALUMINUM COPING	PREFINISHED WHITE	
(2)	EIPS CORNISE / BAND	WHITE	MATCH NATURAL WICKER
(3)	STUCCO	SENERGY MERINGUE	
(4)	PAINTED STUCCO	BM NATURAL WICKER	
(5)	PAINTED STUCCO	LIGHT YELLOW	MATCH WOODLAND CREAM
(6)	STONE BASE	CULTURED STONE	SOUTHWEST BLEND
(7)	STOREFRONT DOOR	BRUSH ALUM FRAMES	
(8)	STOREFRONT WINDOW	BRUSH ALUM FRAMES	
(9)	WALL SCOFF	T.B.D.	
(10)	ALUMINUM CANOPY	MAPES CANOPY	MATCH METAL ROOF
(11)	PAINTED STUCCO	WHITE	
(12)	EIPS/STUCCO TRIM	WHITE	
(13)	DECORATIVE LOUVERS	WHITE	
(14)	METAL ROOF	ATLAS INT. STANDING SEAM	COPPERTONE #23

NOTE: ALL SIGNAGE UNDER SEPARATE PERMIT

MEETING DATES:
PRELIMINARY TAC - JUNE 18, 2018
FINAL TAC - SEPTEMBER 4, 2018

project no. 1518
scale: AS SHOWN
date: 04-20-17
drawn by: L.V.

08/16/18
revisions

seal

HARDING PLAZA REDEVELOPMENT
FEDERAL HIGHWAY & HARDING ST.
HOLLYWOOD, FLORIDA