

ATTACHMENT A

Application Package

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

<http://www.hollywoodfl.org/DocumentCenter/Home/View/21>



APPLICATION TYPE (CHECK ONE):

- ☐ Technical Advisory Committee ☒ Historic Preservation Board
☐ City Commission ☐ Planning and Development Board

Date of Application: 04.23.18

Location Address: 1645 Adams St, Hollywood, FL 33020

Lot(s): 4E Block(s): 66 Subdivision: Hollywood 1-21 B

Folio Number(s): 5142 15 02 2390

Zoning Classification: Downtown Lakes Land Use Classification: 01

Existing Property Use: Single Family Sq Ft/Number of Units: _____

Is the request the result of a violation notice? () Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): No

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Historic Preservation Board
☐ City Commission ☐ Planning and Development

Explanation of Request: _____

Number of units/rooms: 2 Sq Ft: _____

Value of Improvement: \$35,000 Estimated Date of Completion: 11.30.17

Will Project be Phased? () Yes ☒ No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Kyle Briggs & Oldrich Karamon

Address of Property Owner: 1645 Adams St, Hollywood, FL 33020

Telephone: 415 812 9799 Fax: _____ Email Address: kyle.briggs@me.com

Name of Consultant/Representative/Tenant (circle one): _____

Address: _____ Telephone: _____

Fax: _____ Email Address: _____

Date of Purchase: August 2015 Is there an option to purchase the Property? Yes () No ()

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____

Email Address: _____

PLANNING DIVISION



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (internal use only): _____

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning and Development Services. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning and Development Services as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: _____ Date: 04.23.18

PRINT NAME: _____ Kyle Briggs _____ Oldrich Karamon _____ Date: 04.23.18

Signature of Consultant/Representative: _____ Date: _____

PRINT NAME: _____ Date: _____

Signature of Tenant: _____ Date: _____

PRINT NAME: _____ Date: _____

Current Owner Power of Attorney

I am the current owner of the described real property and that I am aware of the nature and effect the request for _____ to my property, which is hereby made by me or I am hereby authorizing _____ to be my legal representative before the _____ (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me
this _____ day of _____

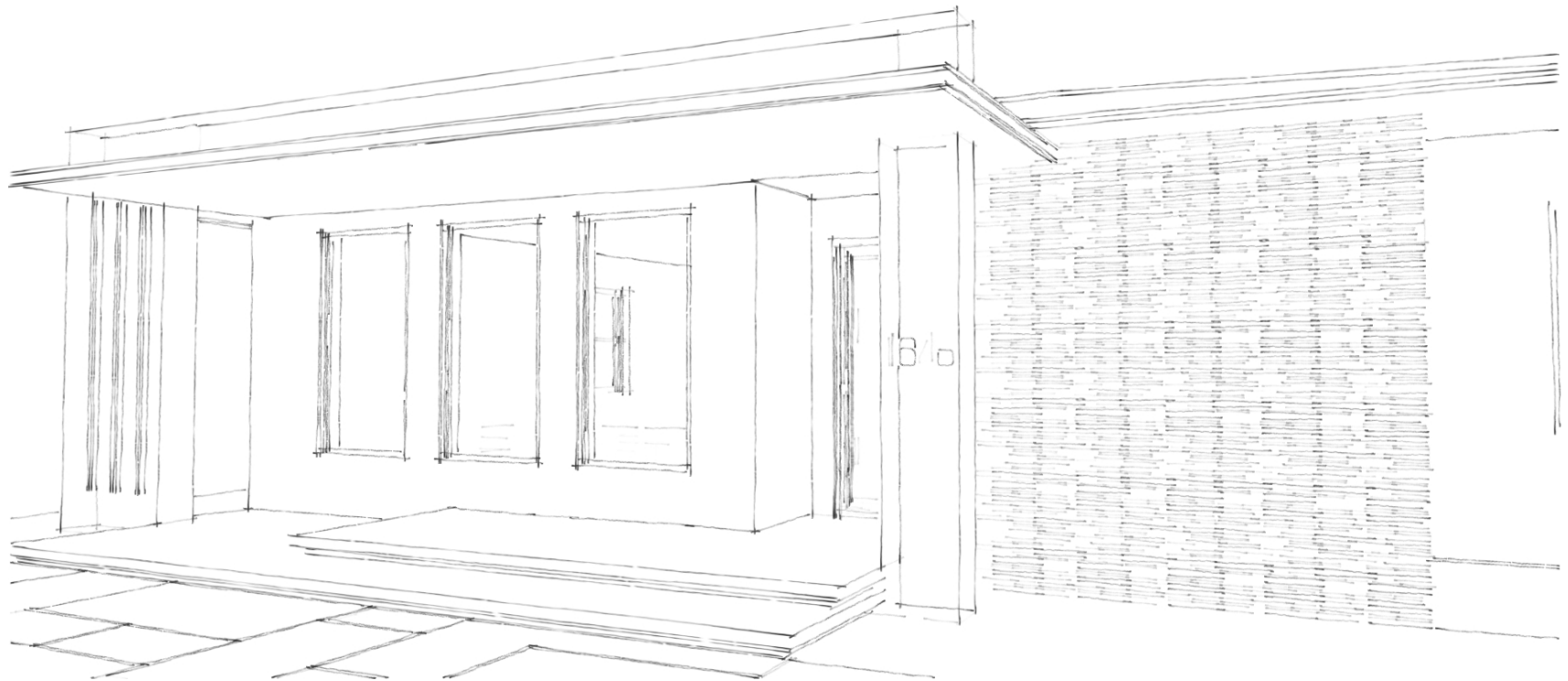
Signature of Current Owner

Notary Public

Print Name

State of Florida

My Commission Expires: _____ (Check One) ___ Personally known to me; OR ___ Produced Identification _____



1645 Adams Street
Hollywood, FL 33020

OK Residence

House Renovation

OK Residence

1645 Adams Street
Hollywood, FL 33020

Renders - Facade



OK Residence

1645 Adams Street
Hollywood, FL 33020

Renders - Facade



SUAT GURTAN 4350 NW 19 TH AVE STE "E"
954-471 - 6940

POMPANO BEACH, FLORIDA 33064
RA # 9830

A C P Design, Inc

2348 Vintage Drive Lighthouse Point, Florida 33064

954 - 655 - 6240, 954 - 753 - 9698

adiacole@gmail.com FL # P00000551115

May 9, 2018

Thomas Barnett

Director of Development Services

Department of Development Services

2600 Hollywood Blvd, Suite 315

Hollywood, FL 33022

RE: ***Criteria Statement - Project is consistent with all applicable criteria in***

Article 5 of Zoning and Land Development Regulations.

City of Hollywood Historic Preservation Board

Briggs-Karamon Residence - Single Family Home

1645 Adams St

Hollywood, Florida

33020

Dear Mr. Barnett,

On behalf of the application, Mr. Kyle Briggs and Mr. Oldrich Karamon, we would like to state that the Briggs-Karamon Residence is consistent with all of the applicable criteria found in Article 5 of the Zoning and Land Development Regulations.

The subject site is on an occupied parcel located on the east side of US-1 in an area zoned RS-9 Historic. Single-Family Residential is permitted on this site and a single-family residence currently exists on this lot.

The project is a renovation to an existing 1-story residence on site. The proposed design maintains the integrity and enhances some unique characteristics of the exterior of a post war modern small ranch style home.

Integrity of Location

This home was constructed in the early 50s when construction resumed after WWII and were the primary residences of soldiers and their young families familiar with the subtropical environment. The home's location has persevered its integrity for decades and will maintained with this proposed renovation.

Design

The new design respects the original floor plan of the home, but increases the interior living space and expands the parking area for the residents and their guests, opening it up more toward the street. All perimeter walls of the existing structure are respected in the redesign, with new materials such as stone, cedar planks and aluminum being utilized but in keeping with the major features of this ranch style home.

SUAT GURTAN 4350 NW 19 TH AVE STE "E"
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POMPANO BEACH, FLORIDA 33064
RA # 9830

A C P Design, Inc

2348 Vintage Drive Lighthouse Point, Florida 33064

954 - 655 - 6240, 954 - 753 - 9698

agiadzie@gmail.com

FL # P000000551115

Facing the street along the south side of the site, the building is designed with expanded ground level concrete slabs and a newly redesigned front façade and enclosed porch that lets in a lot of natural light. On the east side of the site, there will be a new outdoor area with pool, deck and barbeque area. The backyard is accessible through the house, on each side of the house and through the double gates on the north side of the property that opens onto the alley. Inside the building, the covered porch on the south side of the site, will be enclosed and increase the living space for the dining area, making it more livable. The existing garage on the north side of the property will be maintained. A new egress door is proposed to replace an existing sliding door onto the resurfaced deck planned on the east side of the site. All other rooms in the building will retain its existing size and design integrity.

Setting

The physical environment of this property will be properly enhanced as shown in the new landscape plan where most existing trees will maintain their position and the addition of new tropical plants will reflect the subtle modernity of the new façade.

Materials

The original materials associated with this style of post war ranch style home has been maintained throughout the decades: even though a new stone feature wall will adorn the renovated façade, the stucco exterior walls will be maintained. Due to the age of the original barrel roof and the problems its caused with leaks to the interior, it has been updated with a new flat concrete tile roof in 2017. Prior to purchase in 2015, all windows have been updated with hurricane impact and the proposed façade windows will match the existing. Stone slabs for the driveway and new open patio, plus wood details will be used to enhance the existing materials.

Workmanship

The style of ranch style homes during this period largely abandoned traditional residential styles based on historic precedent. The use of simple materials and architecture that was void of traditional detailing made it relatively inexpensive for builders at the time. The asymmetrical, horizontal emphasis to openings and deep low pitched roof will all be maintained in this renovation. The addition of the new architectural element to the façade is intended to emphasize the use of concrete and limited ornamentation while creating more depth and emphasis to the entry.

Association

Post war modern ranch style homes such as this were designed and built out of necessity at the time. Architectural detailing was not integral to the design and the interior layouts were in keeping with the era. The lack of ornament and smaller segmented interior spaces allows itself to be easily reimaged and modernized. The renovation proposed maintains the direct link between the property and new owners to whom this home now holds significance. It also seeks to speak to the new real estate market where a home's curb appeal is just as important as its interior layout and finishes.

To further reiterate the integrity of this property, below is our point by point response addressing the City of Hollywood Zoning and Land Development Regulations: Article 5, Sec 5.3, I. Design Procedures, 4. Design Criteria.

SUAT GURTAN 4350 NW 19 TH AVE STE "E"
954-471-6940

POMPANO BEACH, FLORIDA 33064
RA # 9830

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954-655-6240, 954-753-9698 acpdesign@gmail.com FL # P000000551115

a. General Criteria. All plans/architectural drawings shall be reviewed based upon the evaluation of compatibility with the City's Design Guidelines, including the following elements:

- (1) Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.*

RESPONSE:

For the new architectural details on the building, the project will use traditional materials such as concrete, wood, glass, aluminum, stone and stucco. The south elevation is visible to the street and keeps its sun exposure. The north elevation still maintains its view to the rear alley, which maintains the building's privacy. The use of overhangs "eyebrows" on both elevations provide for functionality for many aspects of our sub-tropical climate. The new driveway will be leveled with the existing sidewalk on the south side of the house and will maintain permeable land surface that meets the requirements of the city.

- (2) Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.*

RESPONSE:

The project will contain architectural details that are characteristic of the surrounding neighbourhood. All of our design features are derived from concepts of sub-tropical design and climate related solutions, while providing a social functionality for family living and social interaction.

- (3) Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.*

RESPONSE:

The project has been designed to fit into the scale of the surrounding neighbourhood and all City of Hollywood Design Criteria. The building retains its one-story design, but with a redesigned façade that features a clean architectural element with overhang and a new multi-vehicle

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RA # 9830

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ajiacie@gmail.com FL # P000000551115

driveway. The redesigned façade on the south side of the building has fenestrations visible to the street with an overhang that provide shade from the south sun. Glazing on the west side of the building is maintained, not altering any natural light to enter. The project is designed in accordance with the City of Hollywood Zoning Code and requires no variances.

- (4) *Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.*

RESPONSE:

The landscaping in the project will contain a variety of native and other compatible plant types and forms that will be carefully integrated with the existing landscape and paved areas. Most of the existing plants and trees are going to be preserved (either remain where they are or relocated on site). The selection and placement of species are found on tropical species to create visual framing, focal points, screens and passive areas with interior privacy towards the street and alley views.

On behalf of the applicants, Mr. Kyle Briggs and Mr. Oldrich Karamon, we look forward to presenting our application to the Historic Preservation Board. Please feel free to contact me with any additional questions or if you require any additional information.

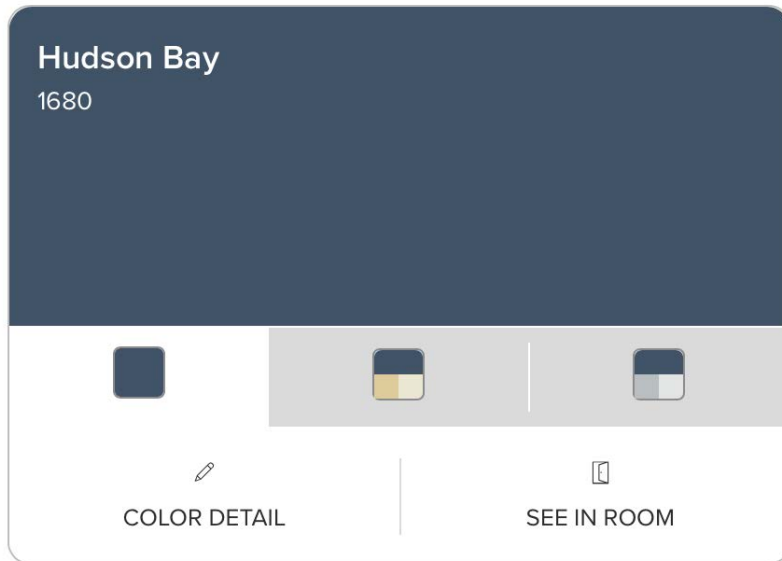
Sincerely,



OK Residence

Exterior Material List

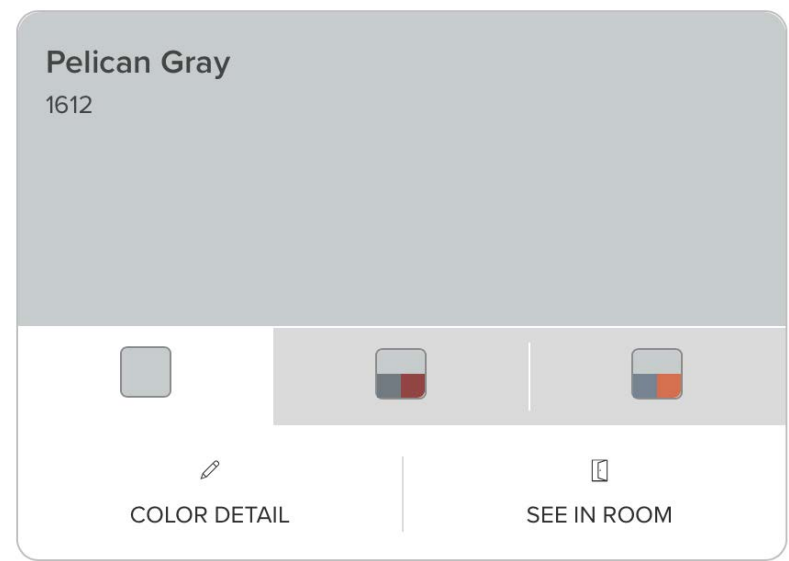
1645 Adams Street
Hollywood, FL 33020



Façade Wall (Benjamin Moore #1680)



Exterior Accent Wall (6" x 24" Stacked Stone Panels)



Exterior Walls (Benjamin Moore #1612)



Driveway (White Concrete tiles in mosaic pattern)

OK Residence

Existing Building Photos

1645 Adams Street
Hollywood, FL 33020



1645 Adams Street (south side of property)



1645 Adams Street (west side of property)



1645 Adams Street (east side of property)

OK Residence

Existing Street Photos

1645 Adams Street
Hollywood, FL 33020



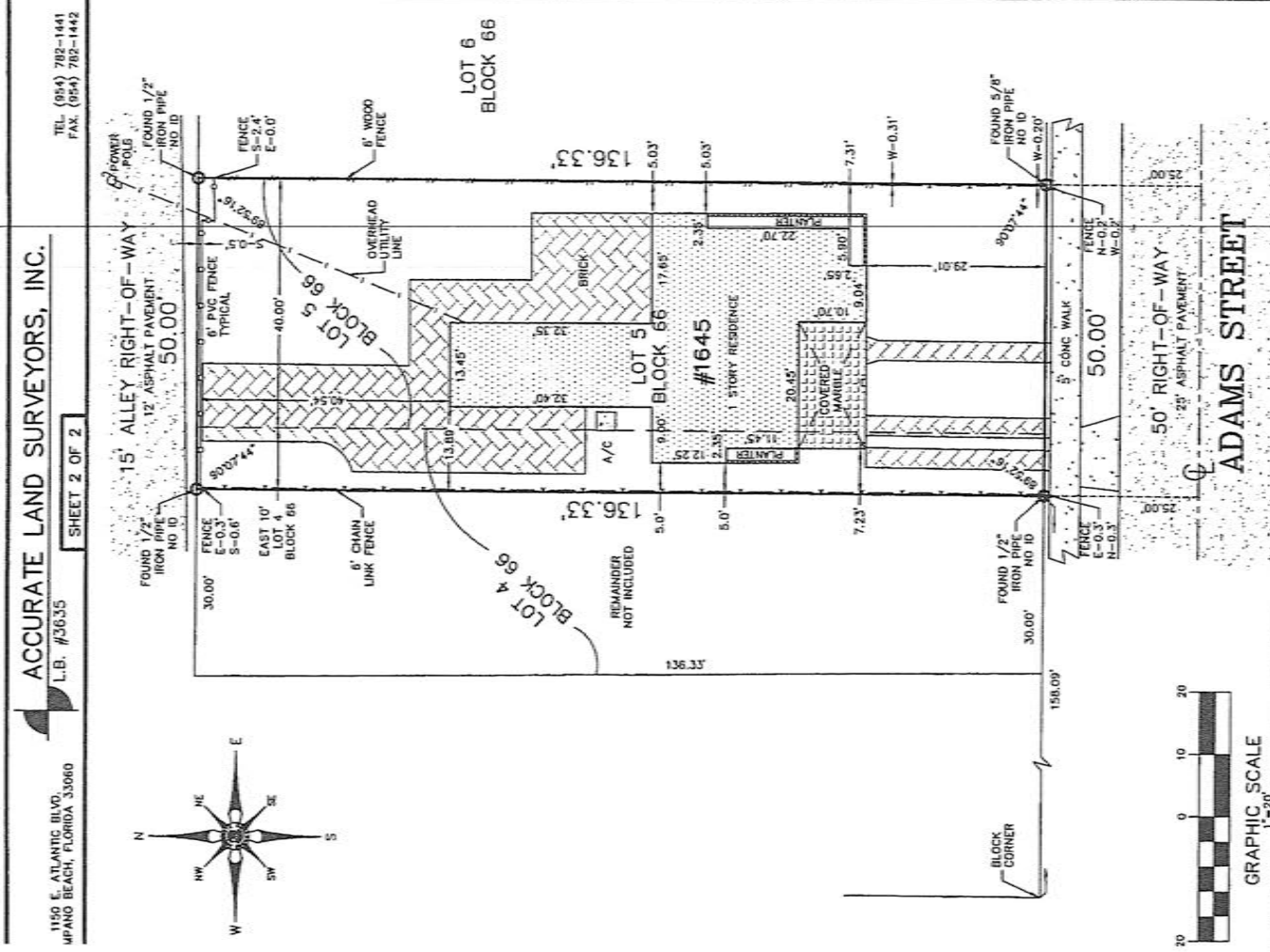
Left side: 1661 Adams Street



Right side: 1639 Adams Street



Opposite side of 1645 Adams Street



SURVEY IS MADE FOR MORTGAGE AND TITLE PURPOSES ONLY AND SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION PURPOSES.

CERTIFICATION:
This is to certify that I have recently surveyed the property described in the foregoing title caption and have set or found monuments as indicated on this sketch and that said above ground survey and sketch are accurate and correct to the best of my knowledge and belief. I further certify that this survey meets Minimum Technical Standards under Rule 5J-17.052 adopted by the Florida Board of Land Surveyors, January 11, 2010.

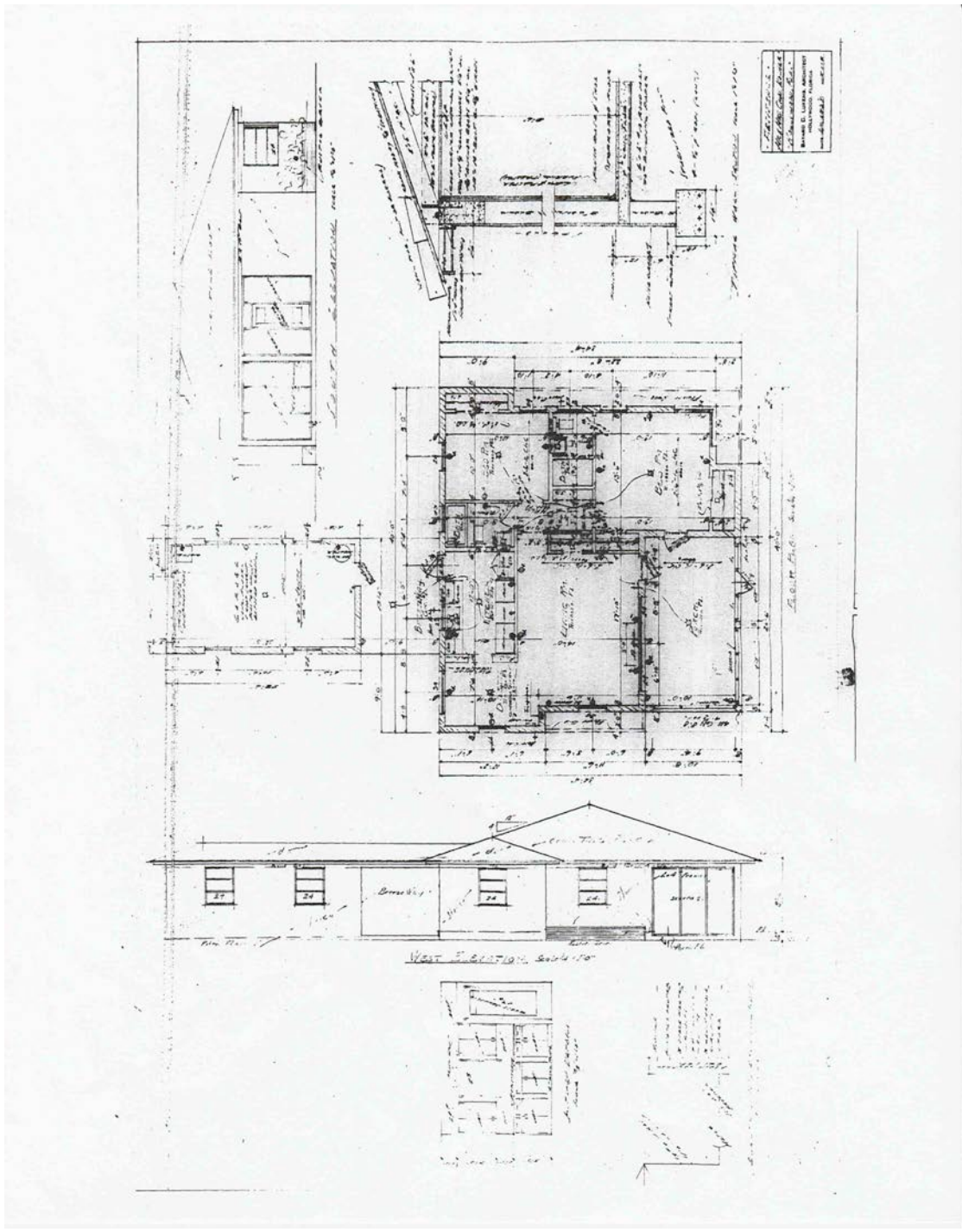
SEAL
Not valid without
the signature and the
original raised seal of a
Florida Licensed Surveyor
and Mapper.

DATE	BY		FIELD BOOK 15-2371
REVISIONS			
DATE OF SURVEY 7/20/15	DRAWN BY CBI	CHECKED BY JMS	SCALE 1"= 20' SKETCH NUMBER SU-15-2371

OK Residence

1645 Adams Street
Hollywood, FL 33020

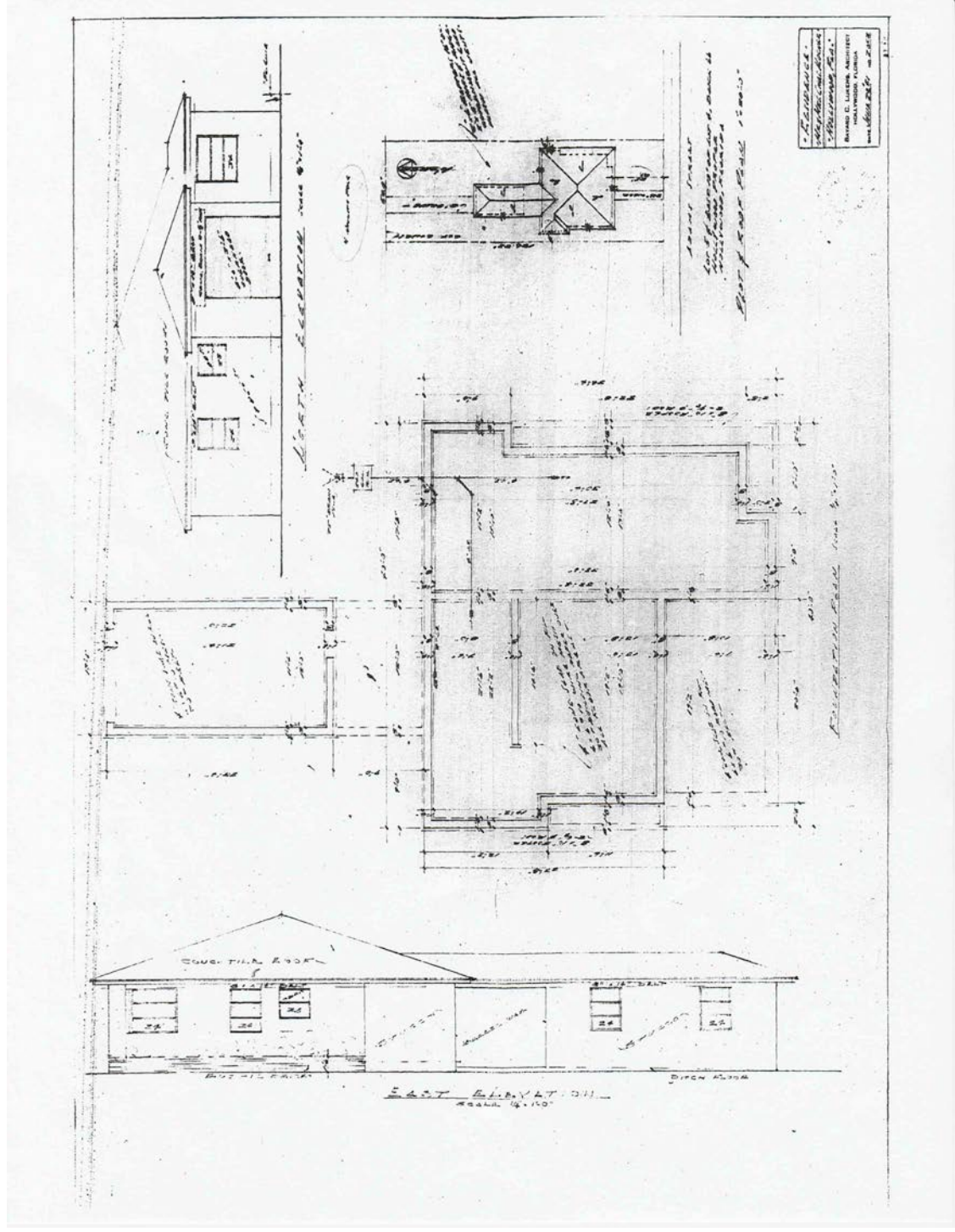
House Survey 2/4



OK Residence

1645 Adams Street
Hollywood, FL 33020

House Survey 3/4

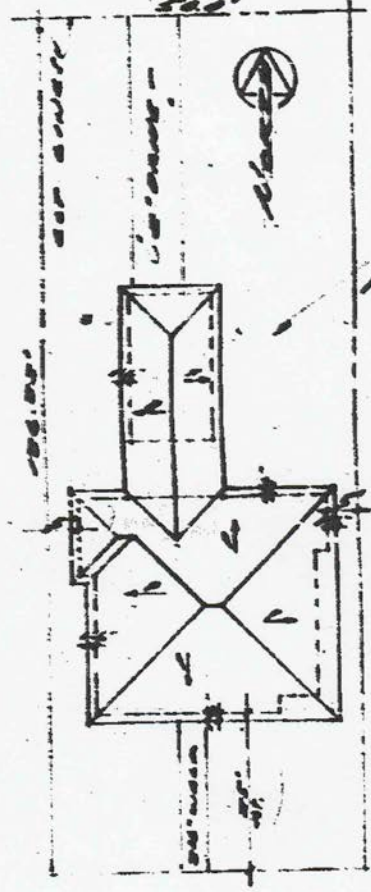


1645 Adams Street
Hollywood, FL 33020

Dist of Roof Plan 1"=20'-0"

LOT 5 & EAST 12' OF LOT 6, BLOCK 66
HOLLYWOOD PROPER
HOLLYWOOD, FLORIDA

1948 5.25.52



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Permit Search Results

[Search](#) > Properties located at/on/near '...1645...'

8 permits were found for
1645 ADAMS ST

View	Process #	Permit #	Description	Appl. Date	Permit Date
Details		B15-103764	FENCE-CHAIN LINK &/OR WOOD	7/23/2015	8/4/2015
Details		B15-103712	PAVING	7/21/2015	8/21/2015
Details		B15-103137	WINDOW &/OR DOOR REPLACEMENT	6/18/2015	6/19/2015
Details		E15-100204	SERVICE CHANGE	2/5/2015	2/5/2015
Details		B15-100187	WINDOW &/OR DOOR REPLACEMENT	1/14/2015	2/3/2015
Details		M14-101508	A/C CENTRAL (NEW)	12/17/2014	12/29/2014
Details		B9201367	FENCE-WOOD,CHAIN LINK,ETC.		3/4/1992
Details		B9002725	FENCE-WOOD,CHAIN LINK,ETC.		5/1/1990

OK Residence

Permit Search Results

1645 Adams Street
Hollywood, FL 33020

1645 Adams Street Charles Kocher
 Permit Description: R 10' 1A 4, 1B 5, 1C 66, Propane.
 Owner's Permit Address: 1645 Adams Street
 Classification of Construction: One 11,000.
 Single Family Res.

Permit Type	No.	Date Issued	To Whom	Features or Details
Shed	16933	2-20-51	Arnold Anderson	
Electrical	16934	6-20-51	R. Wade	1-1-50
Plumbing	6465	7-2-51	Dixie P.	9
Final Check	6465	8-13-51	Dixie P.	1
Final Check	6465	7-2-51	Dixie P.	1

INSPECTION 7-6-51
 Final Rough Pl. 7-12-51
 Temp. Rough Pl. 7-12-51
 Final Rough Pl. 8-14-51
 Rough Electric 8-14-51
 Temp. Final 8-14-51
 Final Electric 8-14-51
 Final Plumbing 8-30-51
 Rubbish Bond 8-30-51
 Cur. of Occupancy 8-30-51

11/5-2687-26
 40

PERMIT #
 92-7406
 ADDRESS
 MISSING

PERMIT #
 90-1255
 ADDRESS
 MISSING

Permit# _____

Date: 05.09.2018

LOT COVERAGE INFORMATION

If you are the applicant for a building permit for a SINGLE FAMILY RESIDENCE, please be aware that the following information is needed in order to process your request for any additions or accessory structures, including pools, decks, and the like:

1. 6817 SQUARE FEET OF YOUR LOT (length x width)
2. 1836 SQUARE FEET OF YOUR HOUSE
3. 8 SQUARE FEET OF ALL EXISTING IMPERVIOUS SURFACES (e.g. Driveways, walkways, decks, pools, storage, sheds, etc.)
1846 SQUARE FEET EXISTING PAVERS REMOVED
4. 92 SQUARE FEET OF THE ADDITION, AND OR...
5. 1968 SQUARE FEET OF THE PROPOSED ACCESSORY STRUCTURES, DRIVEWAYS, PAVEMENT, DECK, ETC
6. 3896 TOTAL SQUARE FEET OF THE IMPERVIOUS AREA ON YOUR LOT (Add Nos. 2 + 3 + 4 + 5)
7. 57% PERCENTAGE OF IMPERVIOUS LOT COVERAGE (Divide No.6 by No. 1)



ELEVATION CERTIFICATE, page 3

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1645 ADAMS STREET

City HOLLYWOOD

State FL ZIP Code 33020

FOR INSURANCE COMPANY USE

Policy Number:

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



FRONT VIEW 8/13/15



FRONT DOOR 8/13/15



REAR VIEW 8/13/15



REAR DOOR 8/13/15

ELEVATION CERTIFICATE, page 4

Building Photographs

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1645 ADAMS STREET

City HOLLYWOOD State FL ZIP Code 33020

FOR INSURANCE COMPANY USE

Policy Number:

Company NAIC Number:

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.





Thank You.

OK RESIDENCE

HOUSE RENOVATION ,ALTERATION, AND ADDITION



1645 ADAMS STREET,HOLLYWOOD FLORIDA 33020

INDEX:

- 1 COVER SHEET
- 2 PROPOSED SITE PLAN

- 3 EXISTING LANDSCAPING PLAN
- 4 PROPOSED LANDSCAPING PLAN
- 5 LANDSCAPING DETAILS
- 6 EXISTING SPRINKLER PLAN

- 7 PROPOSED FLOOR PLAN
- 8 EXISTING ELEVATIONS
- 9 PROPOSED ELEVATIONS
- 10 SECTIONS AND DETAILS
- 11 TRELLIS AND DETAILS
- 12 RENDERING LANDSCAPE PLAN
- 13 RENDERING ELEVATIONS

ALL IDEAS, DESIGNS PLANS AND SPECIFICATIONS ARE THE PROPERTY OF SUAT GURTAN ARCHITECT. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUAT GURTAN ARCHITECT. FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SUAT GURTAN ARCHITECT, ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT SHALL BE CONSIDERED A VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THIS DRAWING.

DESIGN INC.

2345 VINTAGE DR. LUGTUSUSE POINT, FL 33064
954-655-8240, 954-533-0898,
suaatgurtan@gmail.com
FL NO. P00000055115

SUAT GURTAN
ARCHITECT
4350 NW 23 AVENUE STEE
POMPANO BEACH, FLORIDA 33064
PH: (954) 471-6940 E-MAIL: suaat@gurtan.com

NEW ADDITION
AND RENOVATION
at
1260 N.E. 4 TH. COURT
BOCA RATON, FL 33432

JOB NO. **2017027**

DATE **10-26-2017**

REVISIONS

SHEET

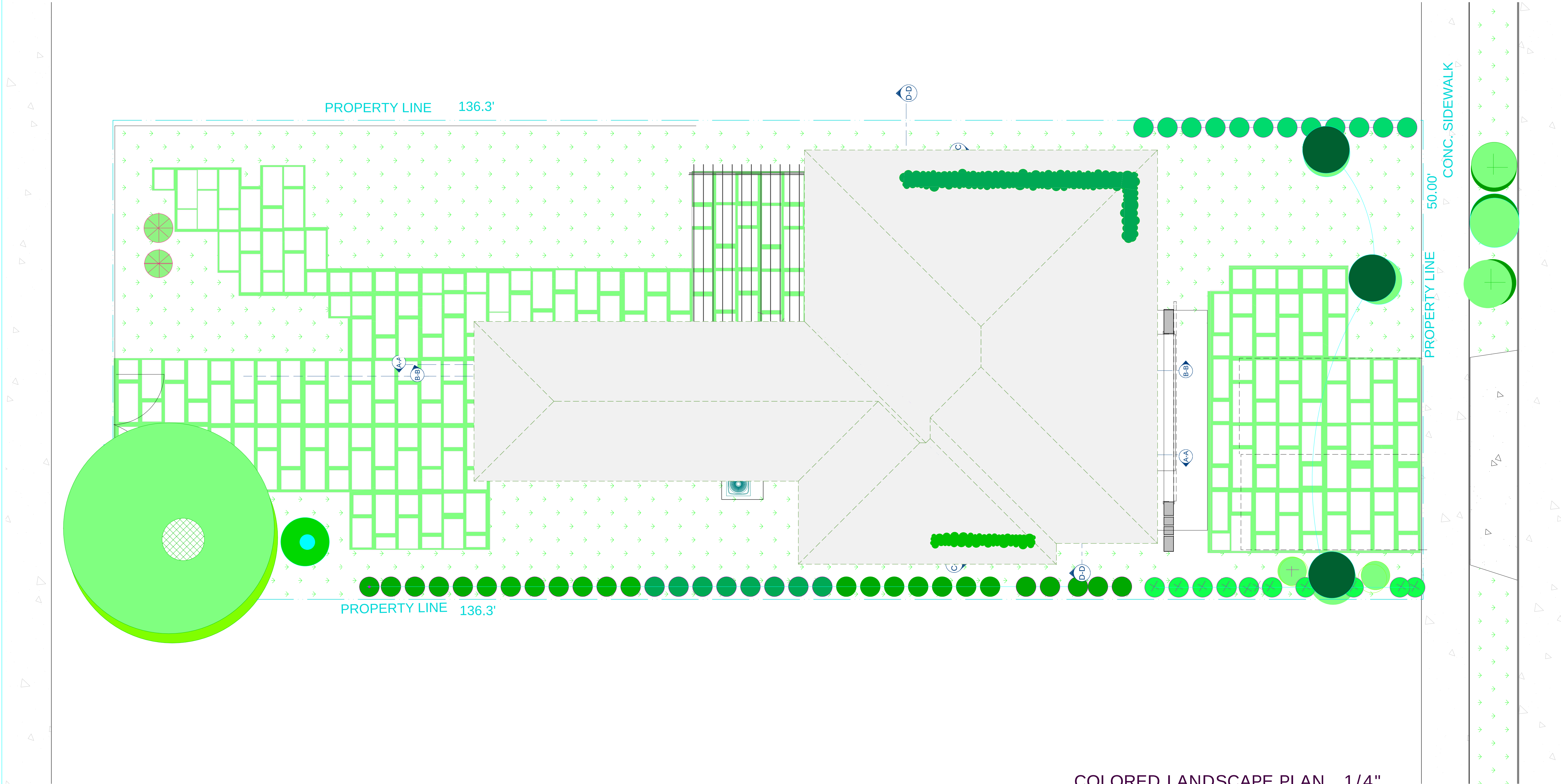
1

OF 18

REVIEWED BY
SUAT GURTAN R.A.
LICENCE # **98300**

SEAL

04-23-2018



COLORED LANDSCAPE PLAN 1/4"

ALL IDEAS, DESIGNS PLANS AND SPECIFICATIONS ARE THE PROPERTY OF SUAT GURTAN ARCHITECT INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SUAT GURTAN ARCHITECT INC. ENGINEERING OFFICE. NONE OF THIS IDEAS, DESIGNS PLANS AND SPECIFICATIONS ARE TO BE DISCLOSED TO ANY PERSON OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SUAT GURTAN ARCHITECT INC. DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN AT THIS DATE.

DESIGN INC.

2345 VINTAGE DR. LUGATU USE POINT, FL 33064
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NEW ADDITION
AND RENOVATION
at
1260 N.E. 4 TH. COURT
BOCA RATON, FL 33432

JOB NO. 2017027

DATE 10-26-2017

REVISIONS

SHEET

12

OF 18

REVIEWED BY
SUAT GURTAN R.A.
LICENCE # 98300

SEAL

04-23-2018

SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



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LICENCE # 98300

SEAL

04-23-2018

PROJECT CHARACTERISTICS:
CODES:

BUILDING CODE: FLORIDA BUILDING CODE 2017 6th. ED
ELECTRICAL CODE: FLORIDA BUILDING CODE 2017 6th ED
AND THE LATEST NEC (2014)

PLUMBING CODE: FLORIDA BUILDING CODE 2017 6 th. ED
ADA ACCESSIBILITY CODE: FLORIDA BUILDING CODE 2017 6 th. ED
FIRE & LIFE SAFETY CODE: FLORIDA BUILDING CODE 2017 6 th. ED
MECHANICAL CODE: FLORIDA BUILDING CODE 2017 6 th. ED

CONSTRUCTION TYPE: TYPE V-B, PROTECTED
BUILDING OCCUPANCY: RESIDENTIAL "R-2"

EXISTING RESIDENCE LIVING: 1271 SQFT
EXISTING RESIDENCE GARAGE: 348 SQFT
EXISTING RESIDENCE FRONT PORCH: 217 SQFT
EXISTING BUILDING COVERAGE: 1836 SQFT

NEW ALTERATION: 217 SQFT
NEW LIVING: 1488 SQFT
NEW ADDITION: 92 SQFT
NEW BLDG COVERAGE: 1928 SQFT

NEW DRIVEWAY, PATIO TRELLIS ETC.: 1968 SQFT
TOTAL IMPERVIOUS LOT COVERAGE: 3896 SQFT

SITE TABULATION:

LOT AREA: 6817 SQFT 100.0 %
IMPERVIOUS AREA: 3896 SQFT 57 %
PERVIOUS AREA: 3921 SQFT 43 %

SITE BACKGROUND:

ADDRESS: 1645 ADAMS ST., HOLLYWOOD, FL, 33020
LEGAL DESCRIPTION:
ALL OF LOT 5 AND THE EAST 10 FEET OF LOT 4, BOCK 6, OF TOWN OF
HOLLYWOOD ACCODING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD
COUNTY, FLORIDA.
SIZE OF PROPERTY: 0.15 ACRES (6816.5000 sq.ft.)
PRESENT ZONING: SINGLE FAMILY RESIDENTIAL DISTRICT
LAKES AREA MULTIPLE RESURCE LISTING

DISTRICT (RS6)
PRESENT LAND USE: SINGLE FAMILY HOME
YEAR BUILT: 1951
SETBACK REQUIREMENTS (MAIN STRUCTURE):

Front	Side/Interior	Side/Street	Rear
25 ft.; except lots in the Lakes Area-For lots with a lot line adjacent to a lake, setback is 80 ft.	The sum of the side yard setbacks shall be at least 25% of the lot width, but not to exceed 50 ft. with no side yard less than 7.5 ft.; except, platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback (only applies to one story additions and new construction of one story buildings). Any construction in excess of one story must meet the 25% rule with a minimum 7.5 ft. setback.	15 ft.	15% of the lot depth; 15 ft. min. 50 ft. max.; except Lots in the Lakes Area - For lots with a lot line adjacent to a lake, setback is 25 ft.



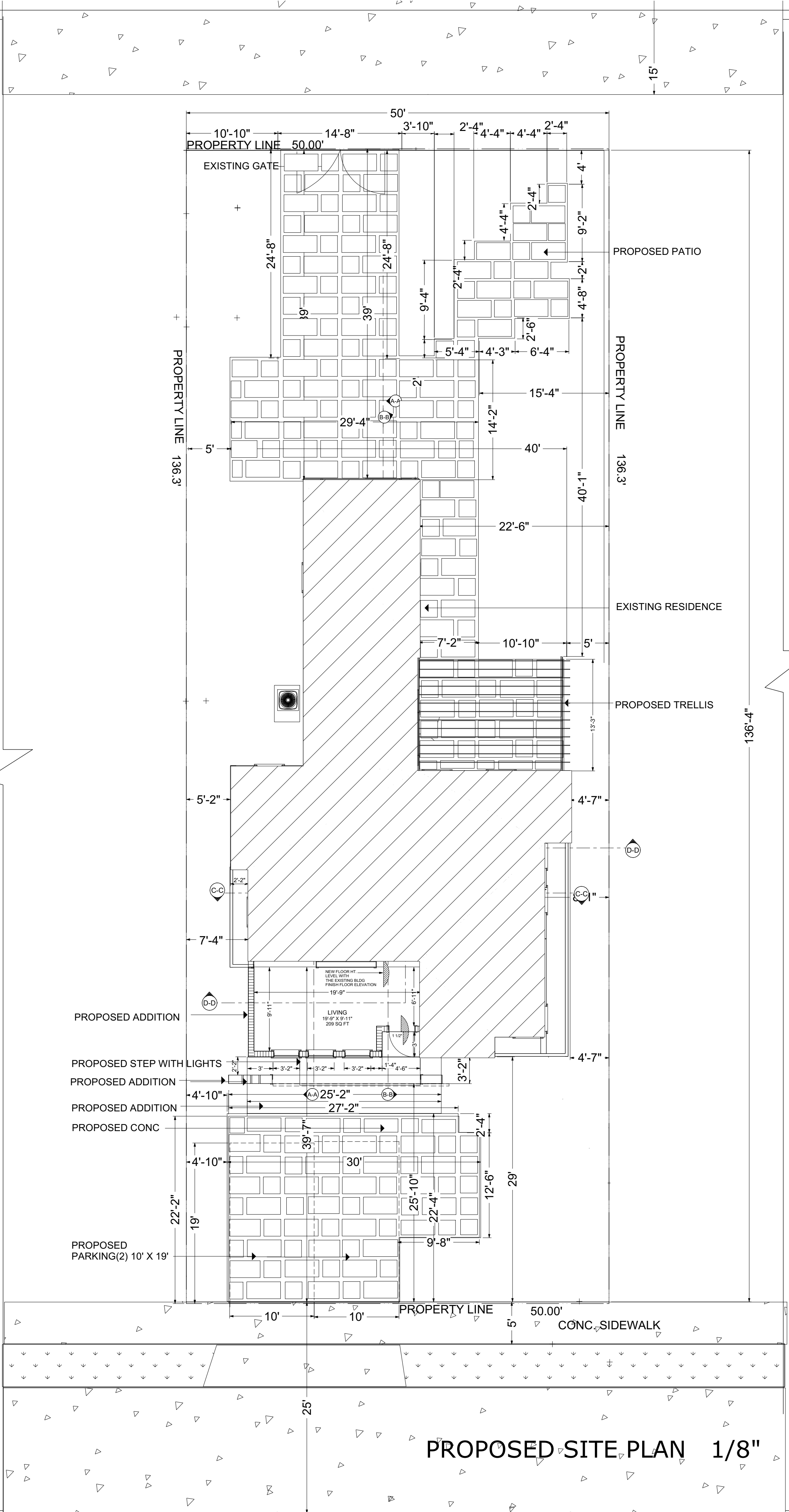
LOCATION MAP NTS

REAR PROPERTY VEHICLE ACCESS:
(2) 4'-0"W X 6'-0" H. GATE EXISTING

PARKING CODE REQUIREMENT:
2 PARKING REQUIRED
2 PARKING PROPOSED

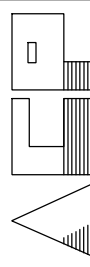
NOTES:

THE INFORMATION CONTAINED ON THIS SITE PLAN
SETBACKS,EASEMENTS, BUILDING AND PROPERTY LINES
WAS OBTAINED FROM, AND REFLECTS THE INFORMATION
CONTAINED ON THE SURVEY THAT THE OWNER PROVIDED.



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WITHOUT THE WRITTEN PERMISSION OF THIS OFFICE. WRITTEN
DIMENSIONS SHALL HAVE PRECEDENCE OVER
DIMENSIONS SHOWN ON THIS DRAWING. ANY
AND BE RESPONSIBLE FOR ALL DIMENSIONS AND
CONDITIONS SHOWN BY THIS DRAWINGS.

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FL INC. P0000005115

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NO.	DESCRIPTION

SHEET

2

OF 18

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SUAT GURTAN R.A.
LICENCE # 98300

SEAL

04-23-2018

WINDOW SCHEDULE														
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	TYPE	ARCH	DESCRIPTION	CODE	COMMENTS
W04	W04-3050FX	3	1	3050FX	36 "	60 "	38"X62"			FIXED GLASS		FIXED GLASS		
W05	W05-3030SH	4	1	3030SH	36 "	36 "	38"X38"			SINGLE HUNG		SINGLE HUNG		
W07	W07-3040SH	6	1	3040SH	36 "	48 "	38"X50"			SINGLE HUNG		SINGLE HUNG		

DOOR SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	TYPE	DESCRIPTION	THICKNESS	TEMPERED	CODE	COMMENTS
D01	D01-2068	1	1	2068 L IN	24"	80"	26"X82 1/2"	HINGED	HINGED-DOOR P04	1 3/8"			
D02	D02-2668	3	1	2668 L IN	30"	80"	32"X82 1/2"	HINGED	HINGED-DOOR P04	1 3/8"			
D03	D03-2668	1	1	2668 R EX	30"	80"	32"X83"	HINGED	EXT. HINGED-PANEL	1 3/8"			
D04	D04-2668	3	1	2668 R IN	30"	80"	32"X82 1/2"	HINGED	HINGED-DOOR P04	1 3/8"			
D05	D05-3068	1	1	3068 L IN	36"	80"	38"X82 1/2"	HINGED	HINGED-GLASS	1 3/4"			
D06	D06-5068	2	1	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD	4 DR. BIFOLD-LOUVERED	1 3/8"			
D07	D07-5068	1	1	5068 L/R EX	60"	80"	62"X83"	DOUBLE HINGED	EXT. DOUBLE HINGED-PANEL	1 3/4"			
D08	D08-9080	1	1	9080	108"	96"	110"X99"	GARAGE	GARAGE-GARAGE DOOR CHD05	1 3/4"			

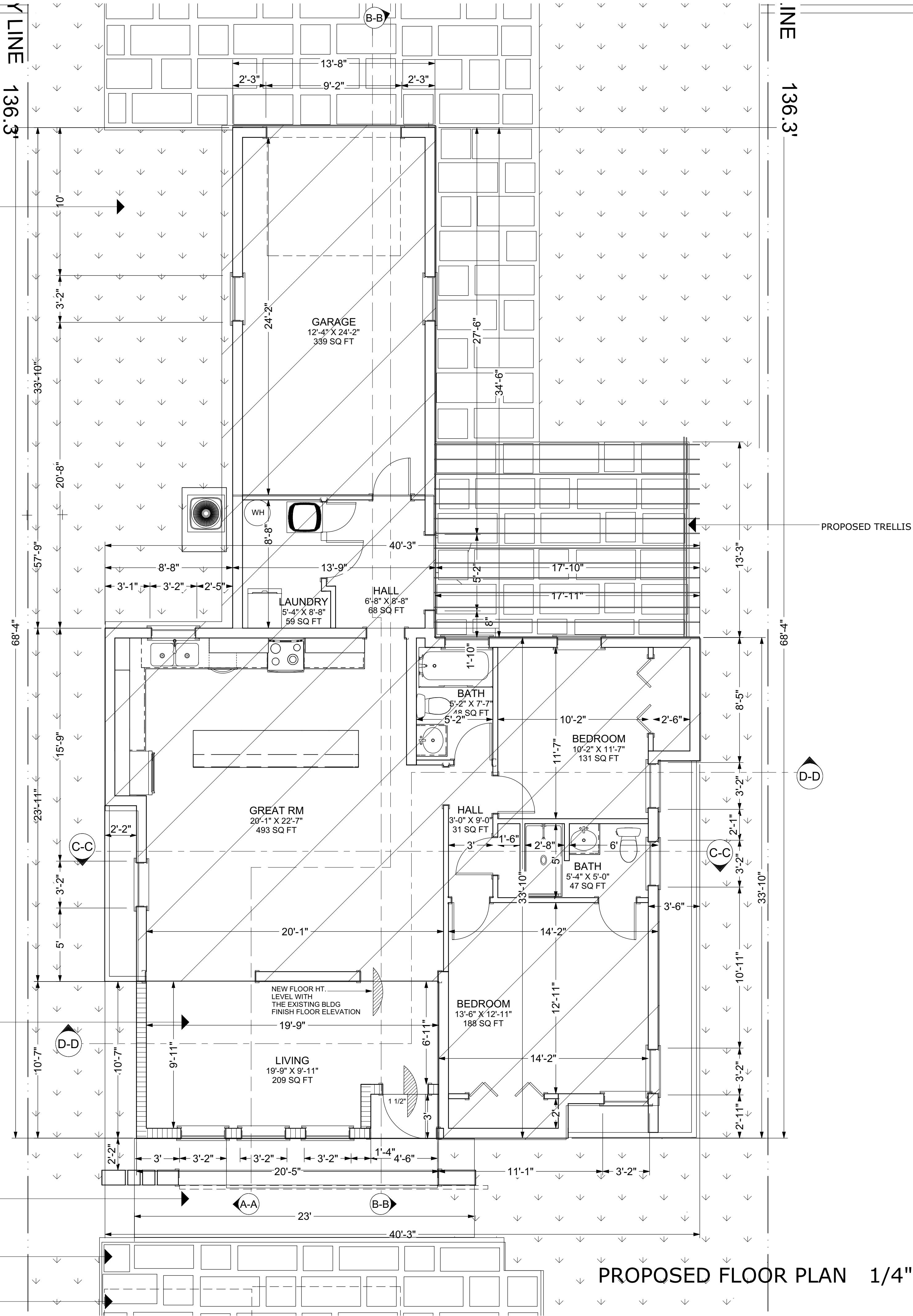
PROPOSED PATIO

PROPOSED RENOVATION

PROPOSED ADDITION

PROPOSED DRIVEWAY

PROPOSED PARKING (2)



PROPOSED FLOOR PLAN 1/4"

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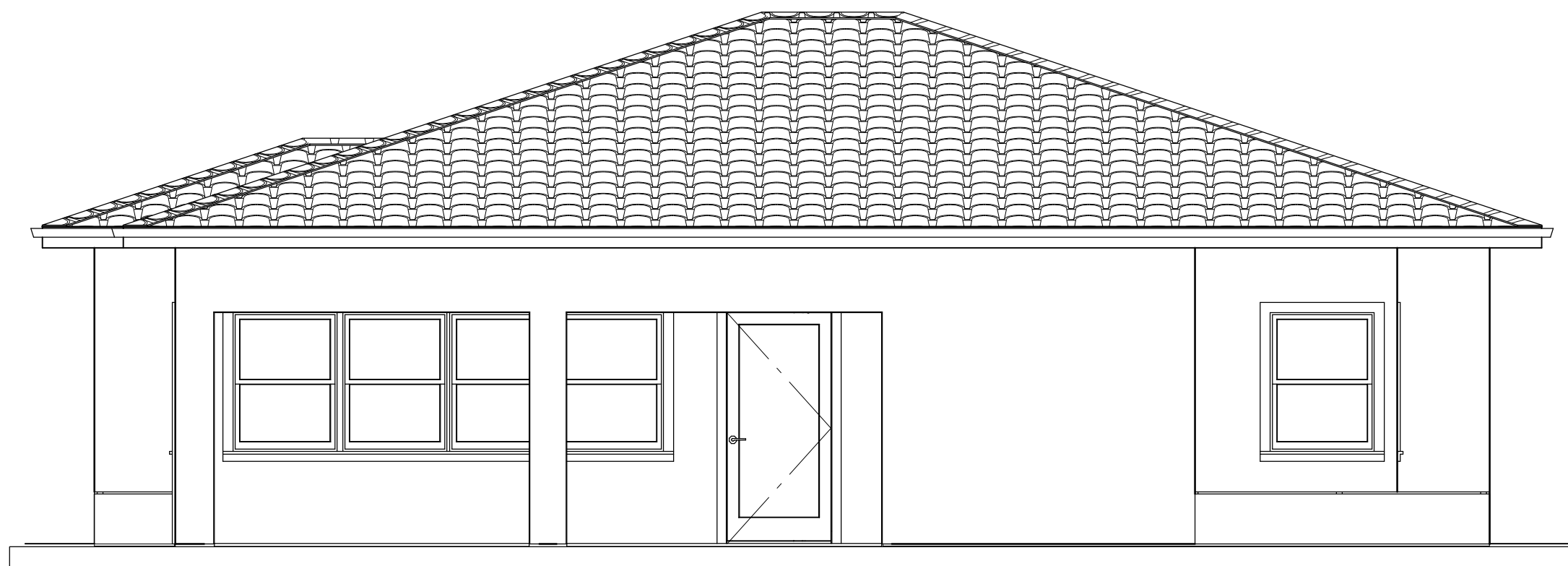
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OF 18

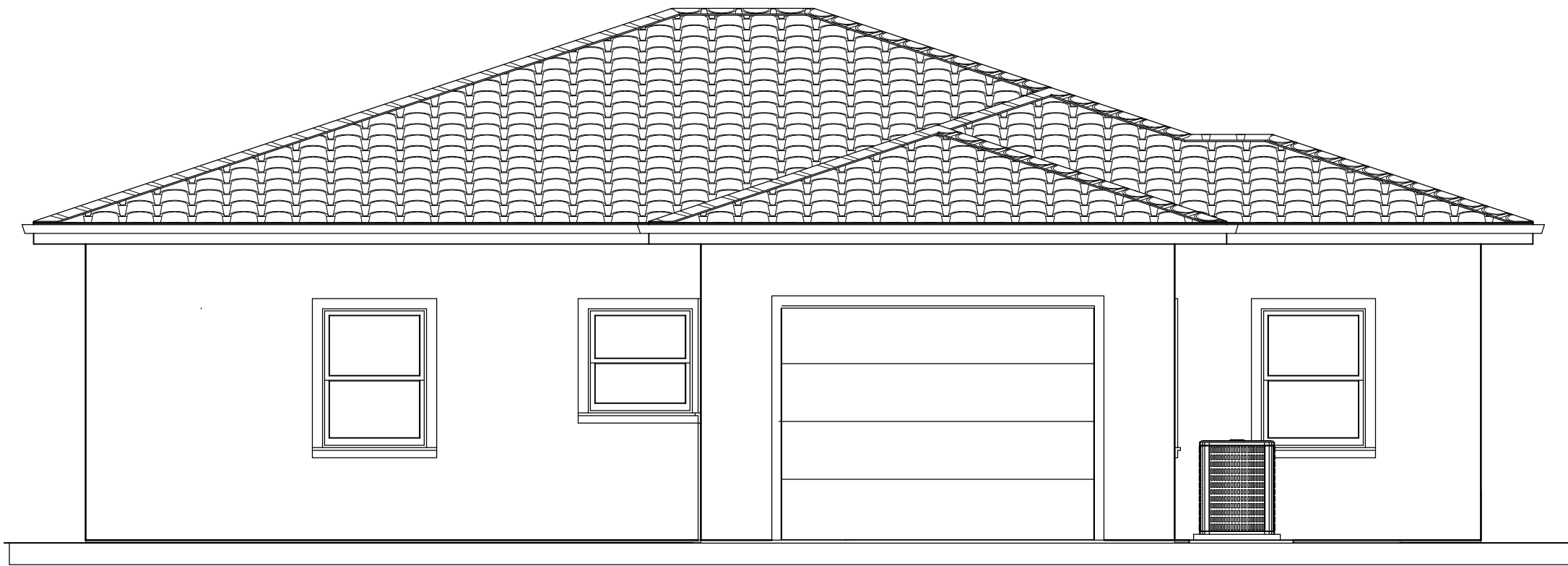
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SUAT GURTAN R.A.
LICENCE # 98300

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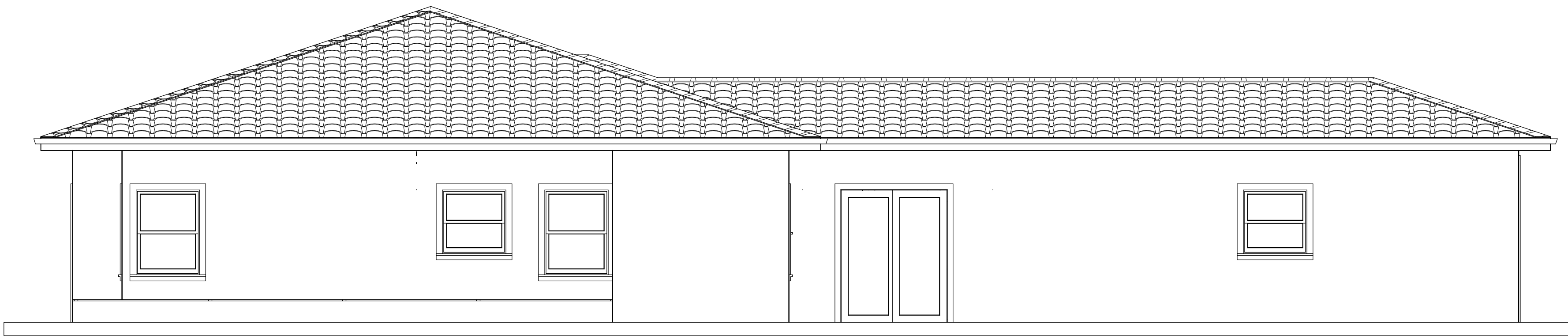
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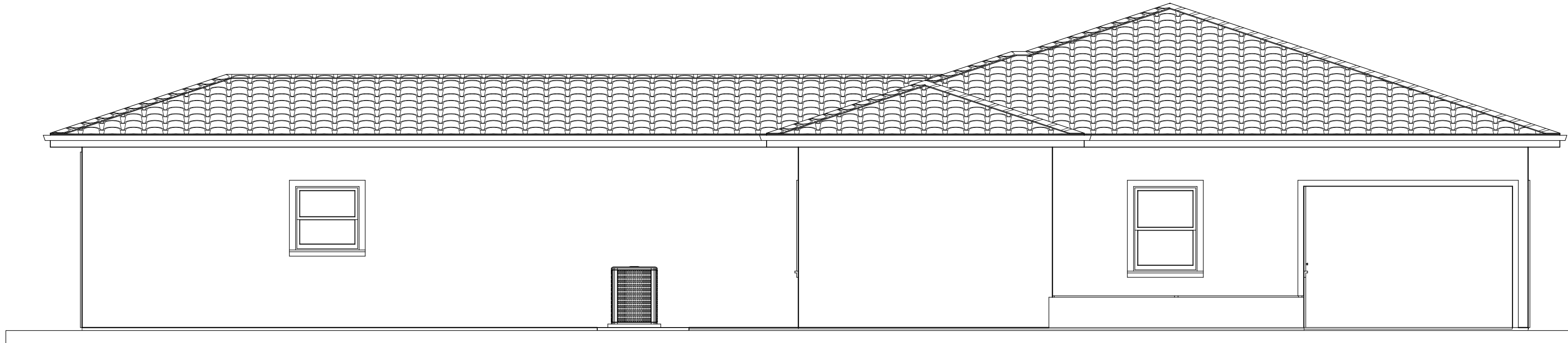
EXISTING SOUTH ELEVATION 1/4"



EXISTING NORTH ELEVATION 1/4"



EXISTING EAST ELEVATION 1/4"



EXISTING WEST ELEVATION 1/4"

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JOB NO **2017027**

DATE **10-26-2017**

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8

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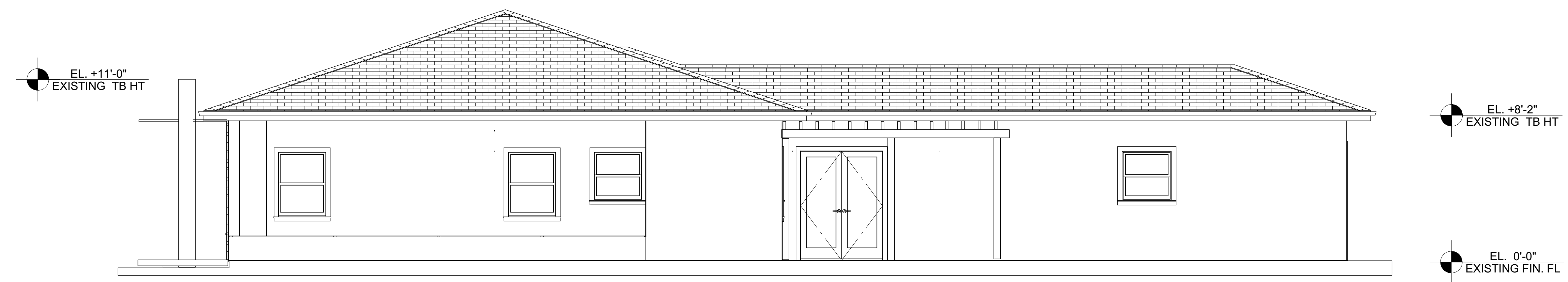
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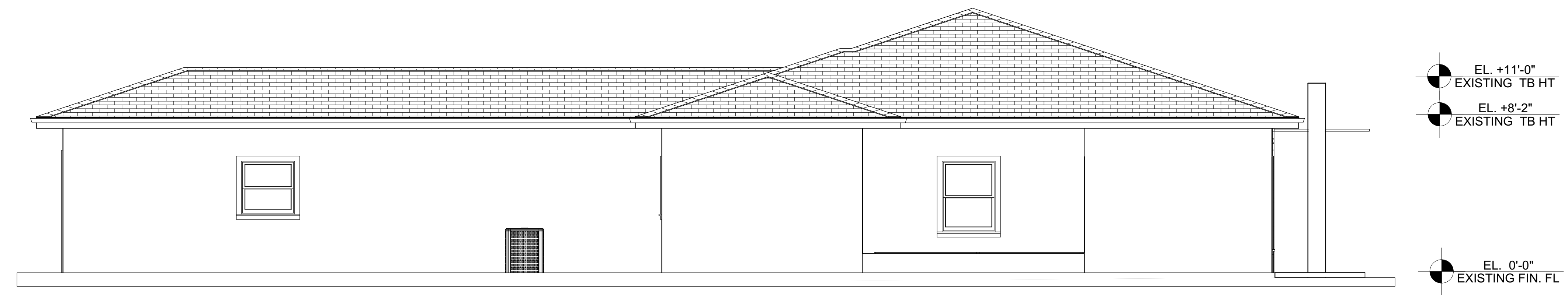
SOUTH ELEVATION 1/4"



NORTH ELEVATION 1/4"



EAST SIDE ELEVATION 1/4"



WEST SIDE ELEVATION 1/4"

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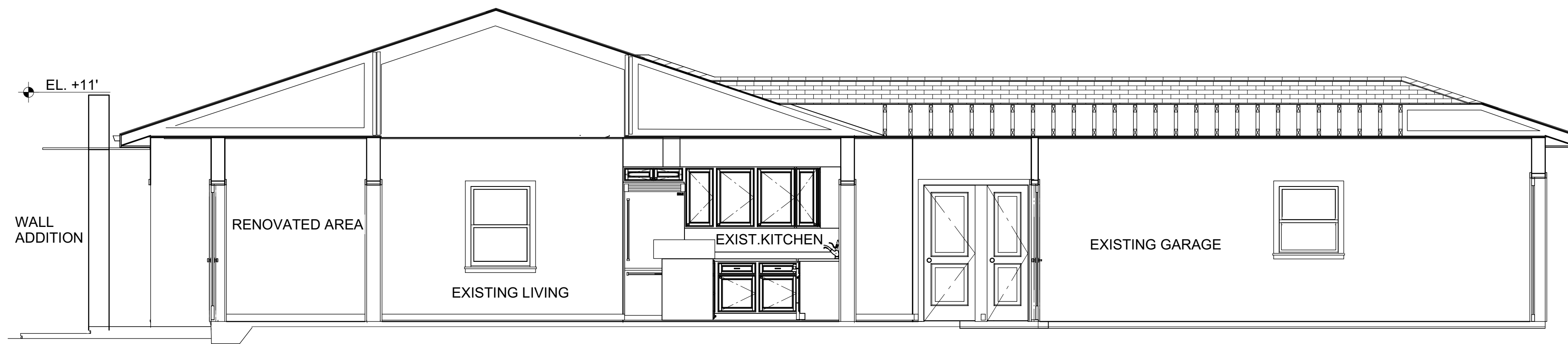
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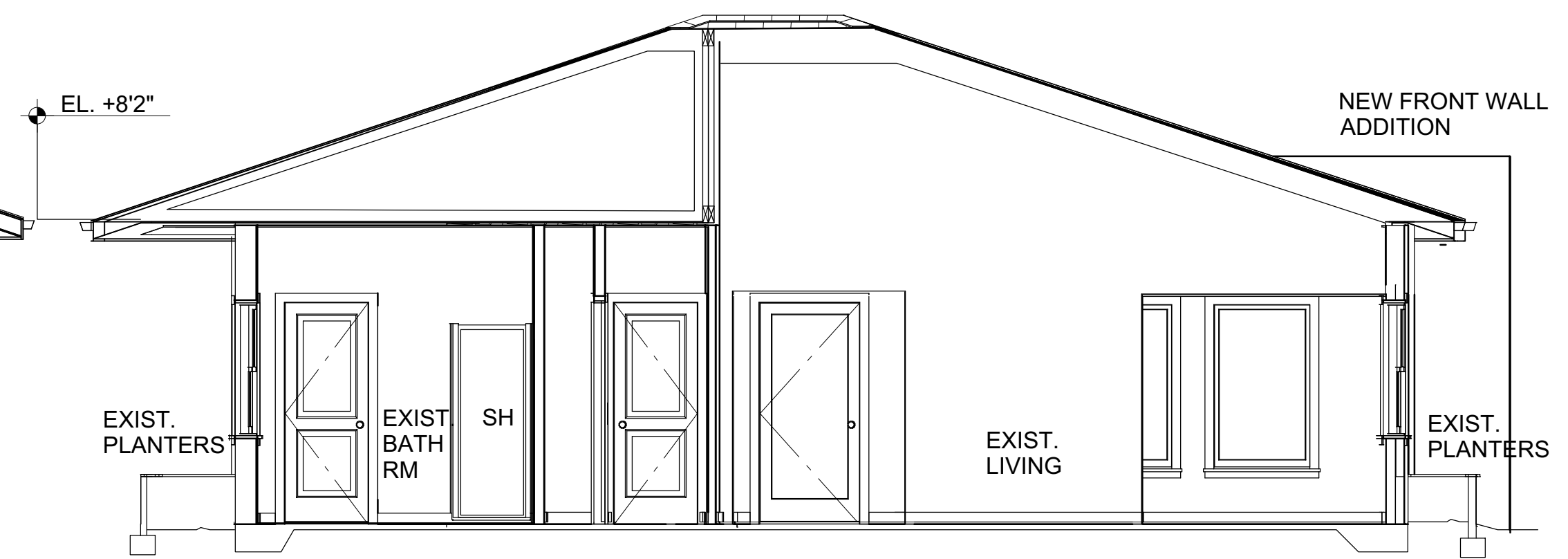
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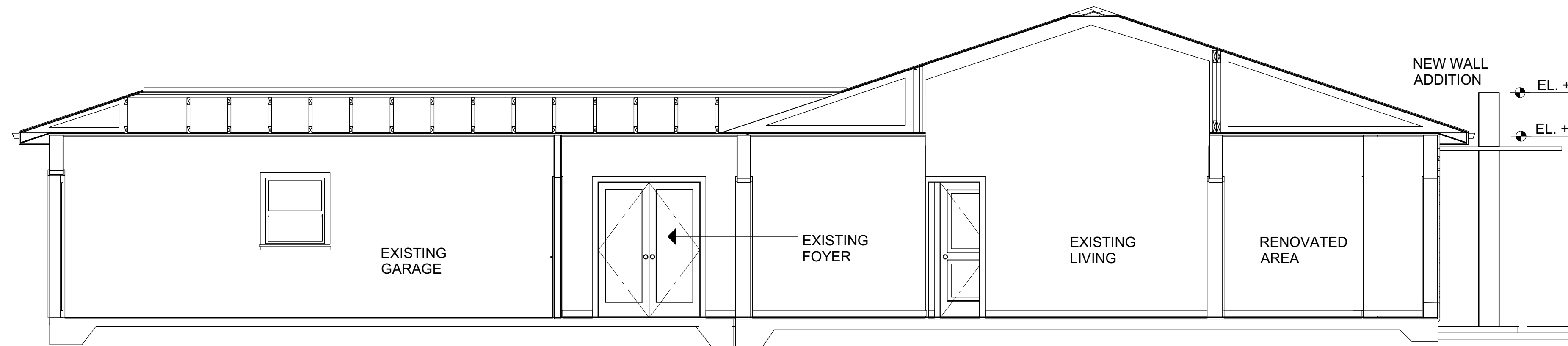
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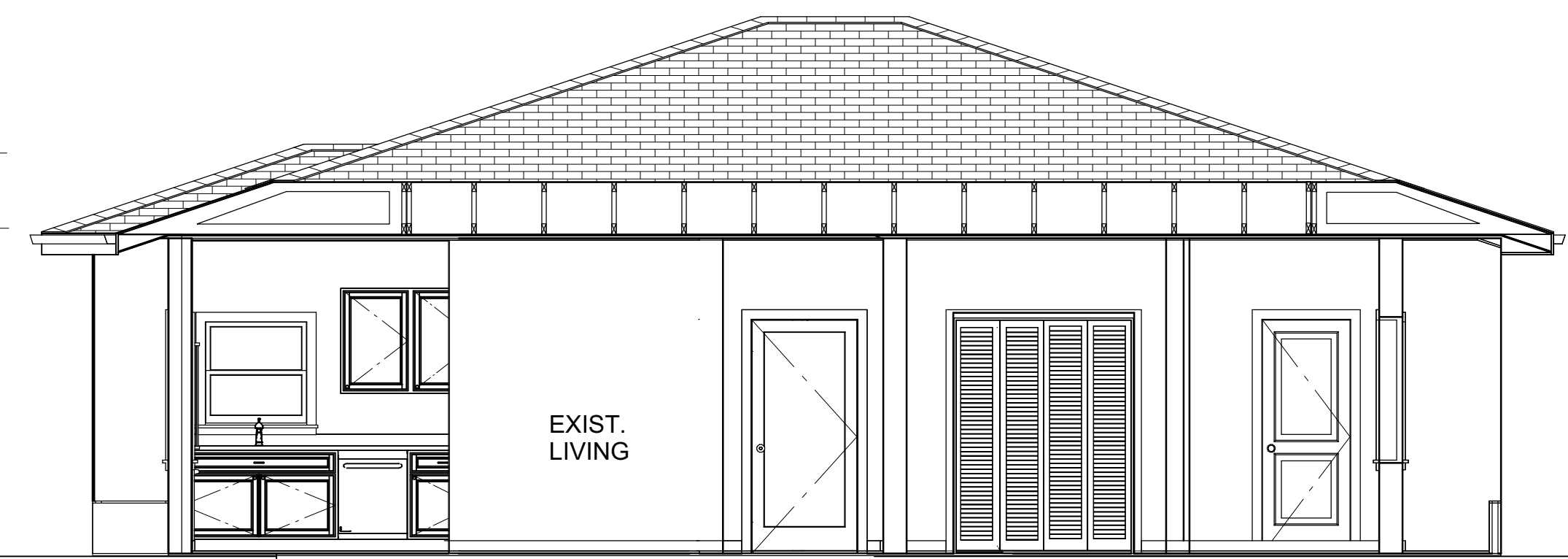
A-A SECTION 3/16"



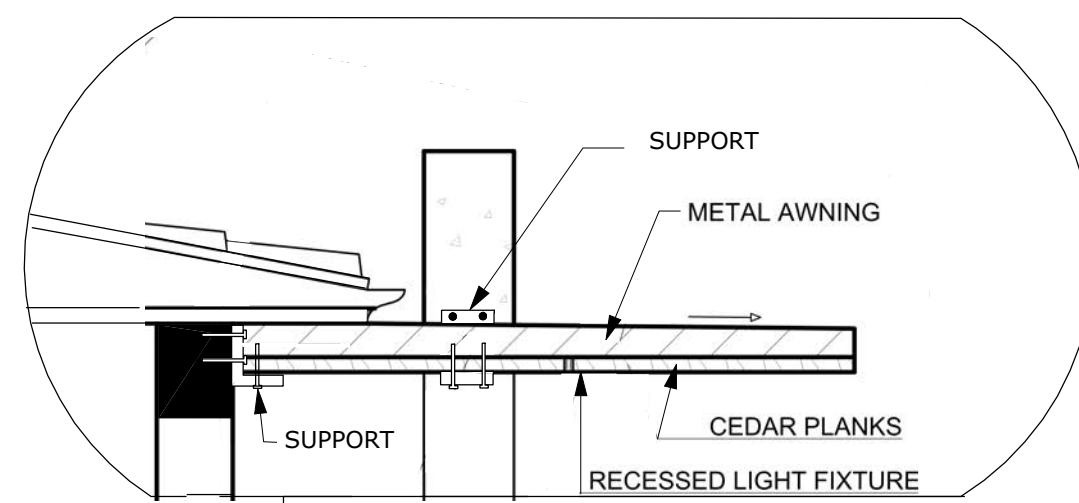
C-C SECTION 3/16"



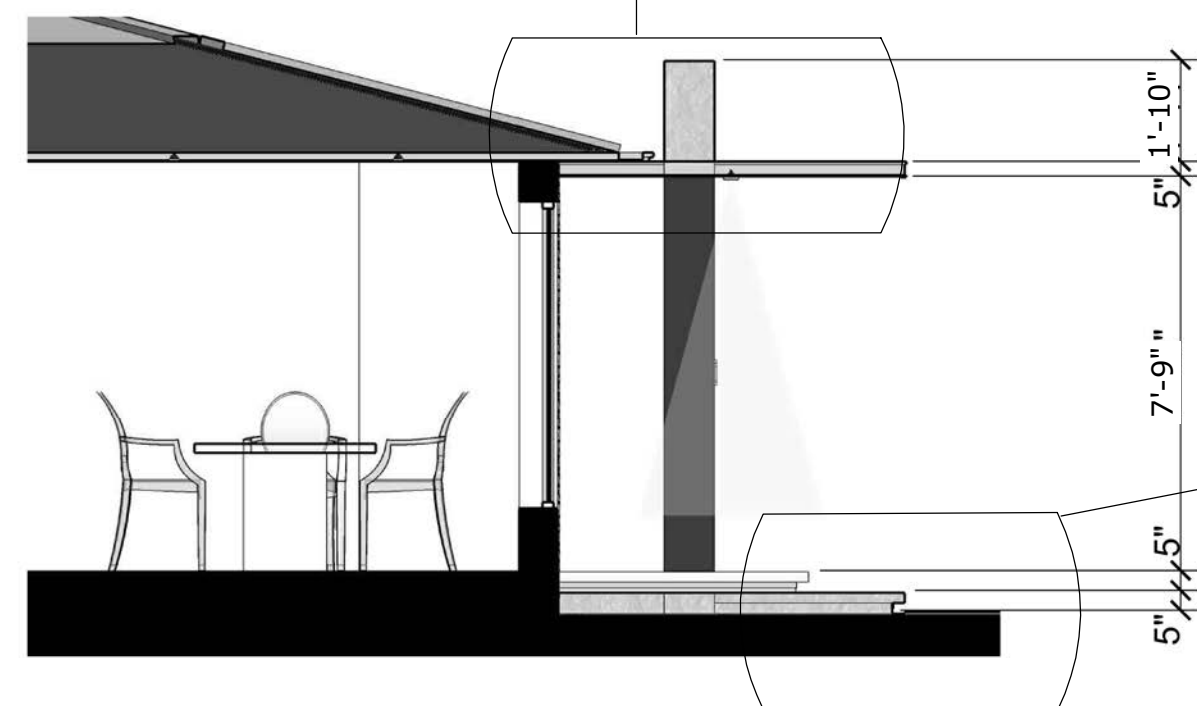
B-B SECTION 3/16"



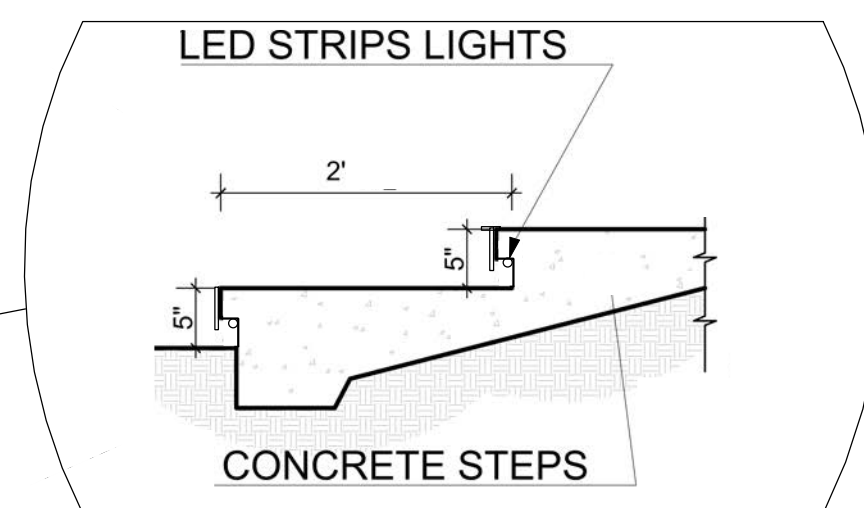
D-D SECTION 3/16"



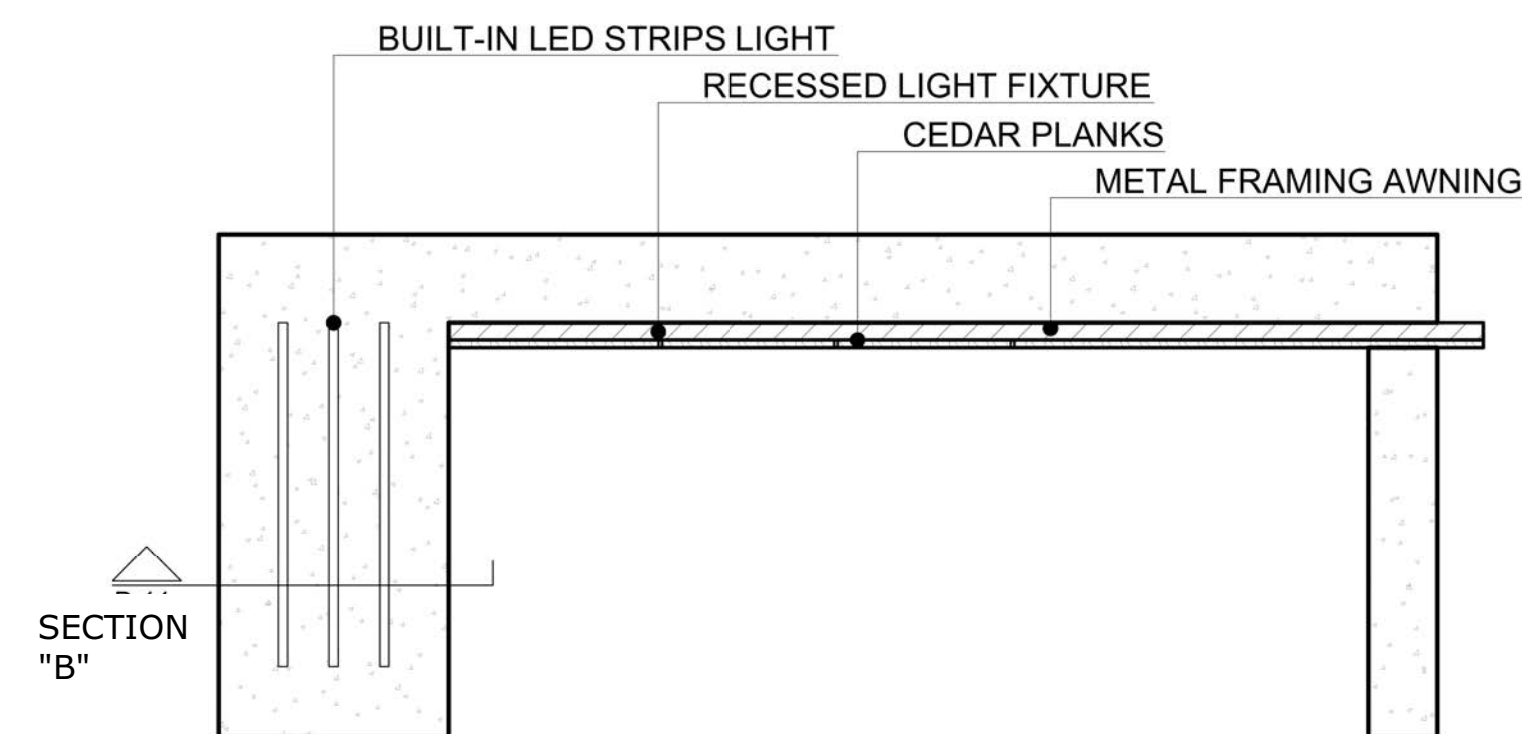
DETAIL 5 NTS



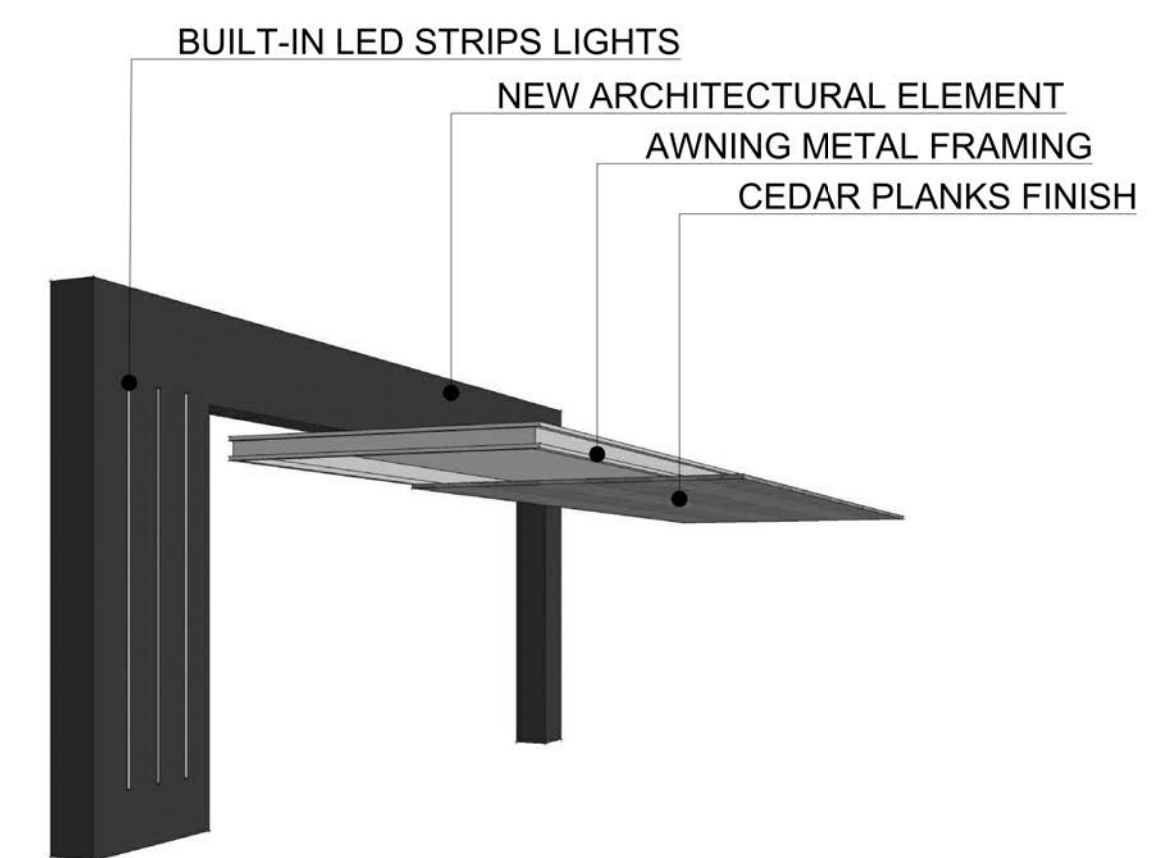
SECTION "A " NTS



DETAIL 6 NTS



ELEVATION NTS



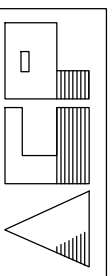
PERSPECTIVE NTS



SECTION "B" NTS

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BOCA RATON, FL 33432

JOB NO 2017027

DATE 10-26-2017

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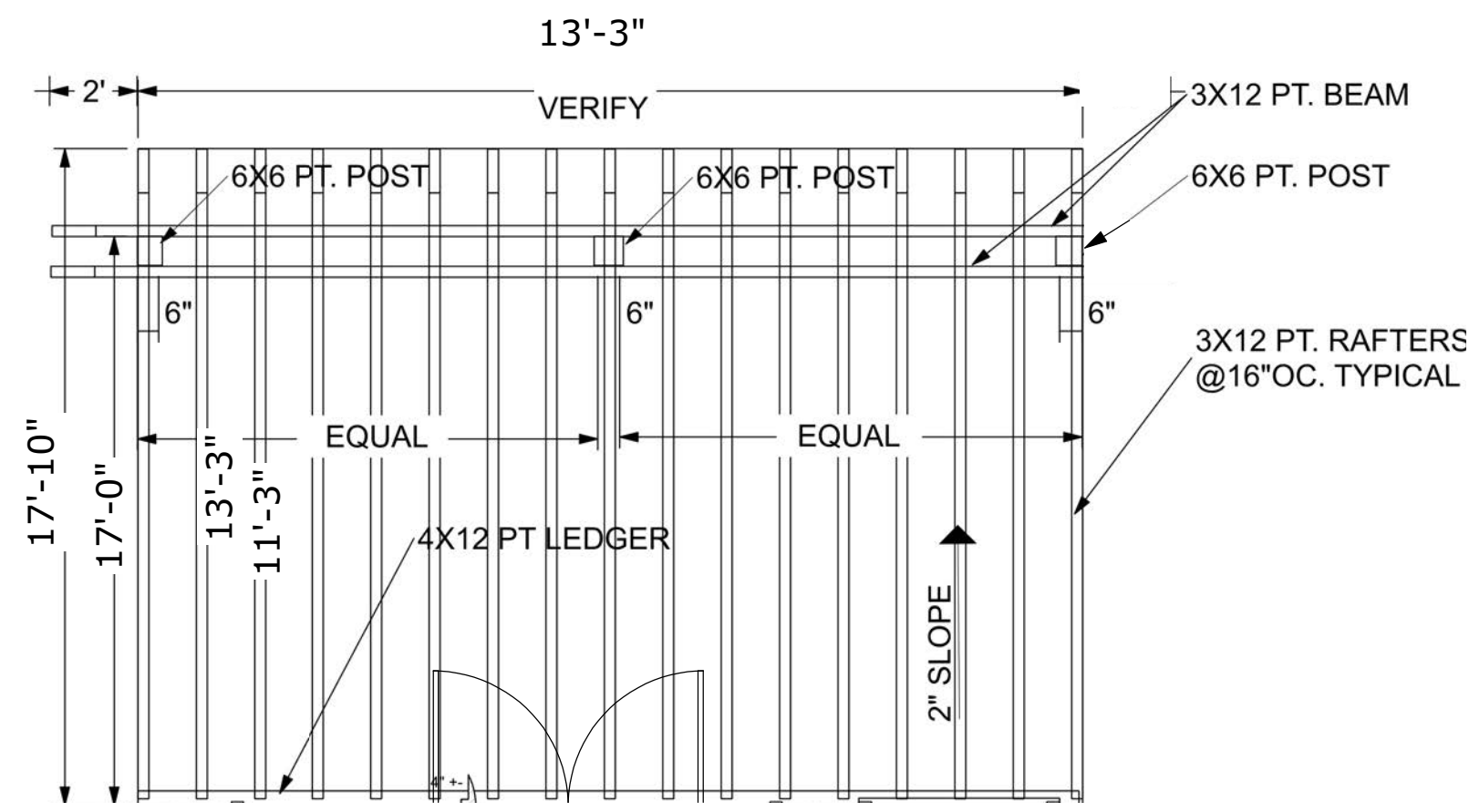
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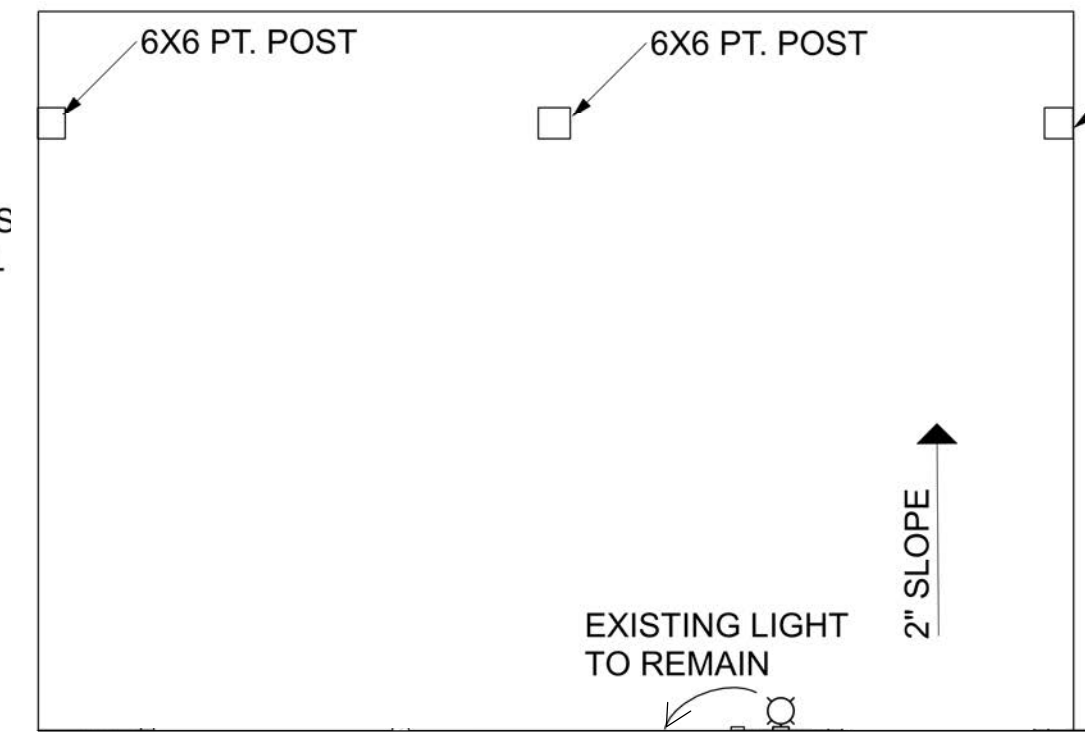
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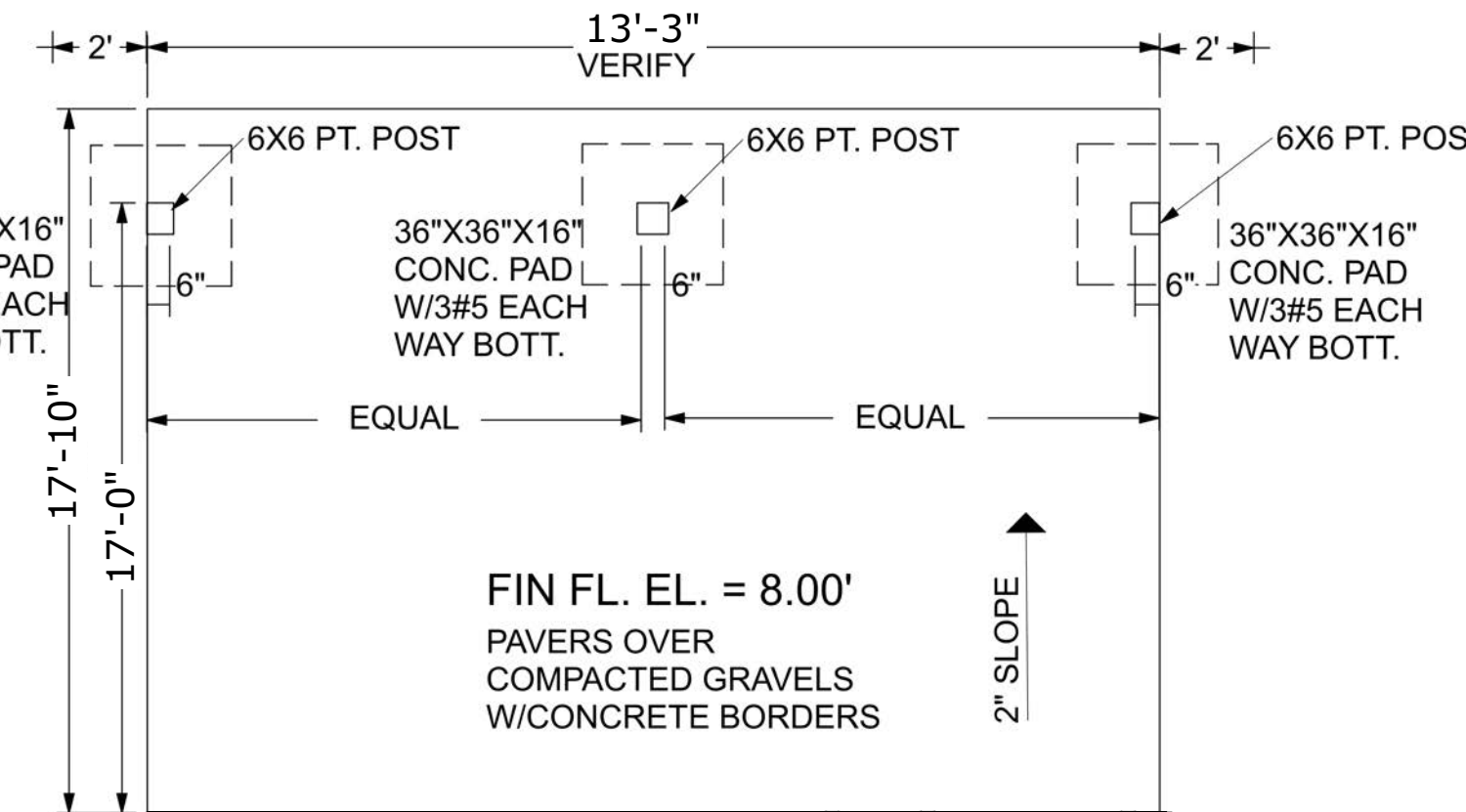
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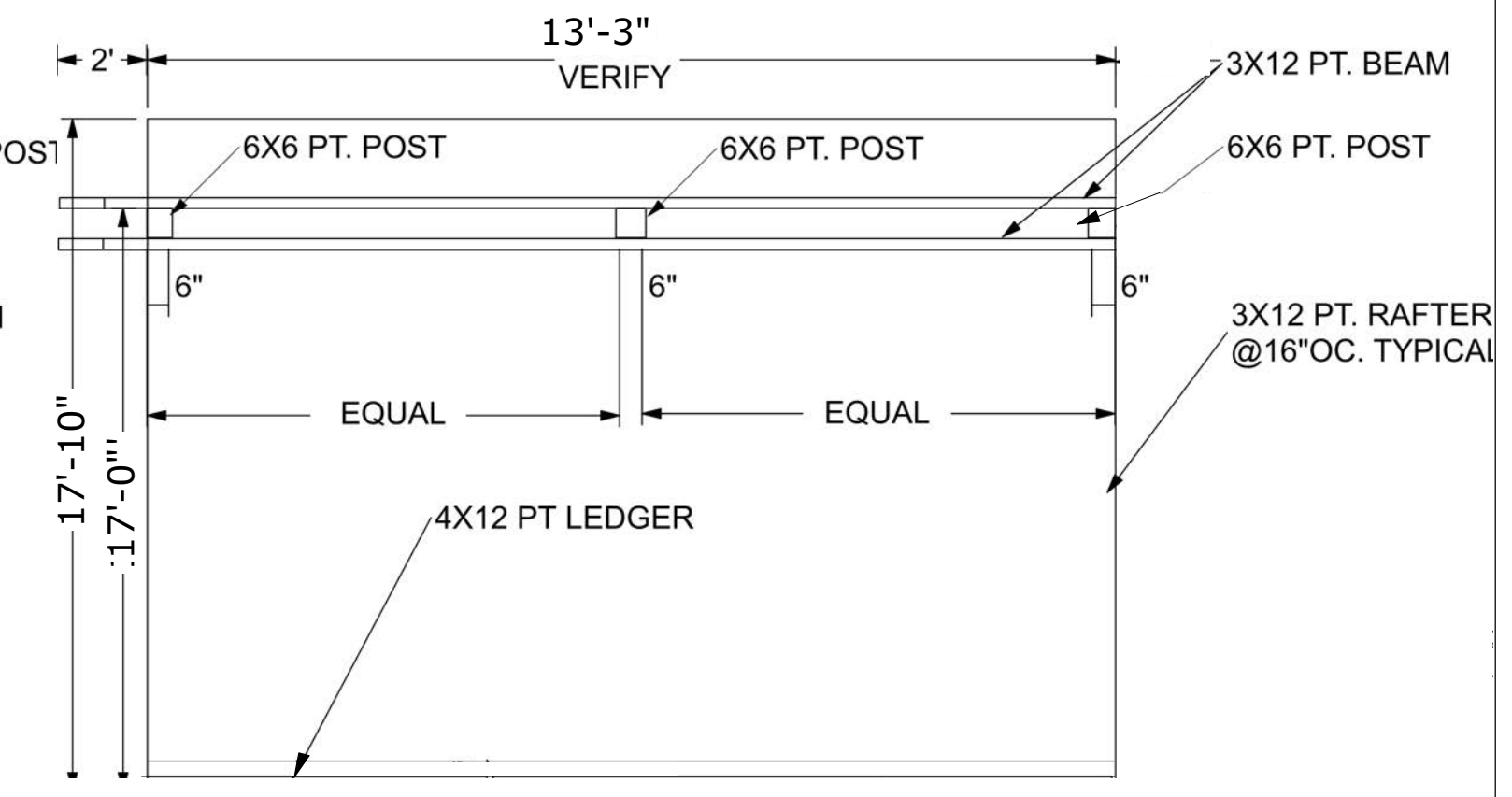
TRELLIS DETAIL NTS



TRELLIS POST LOCATION NTS



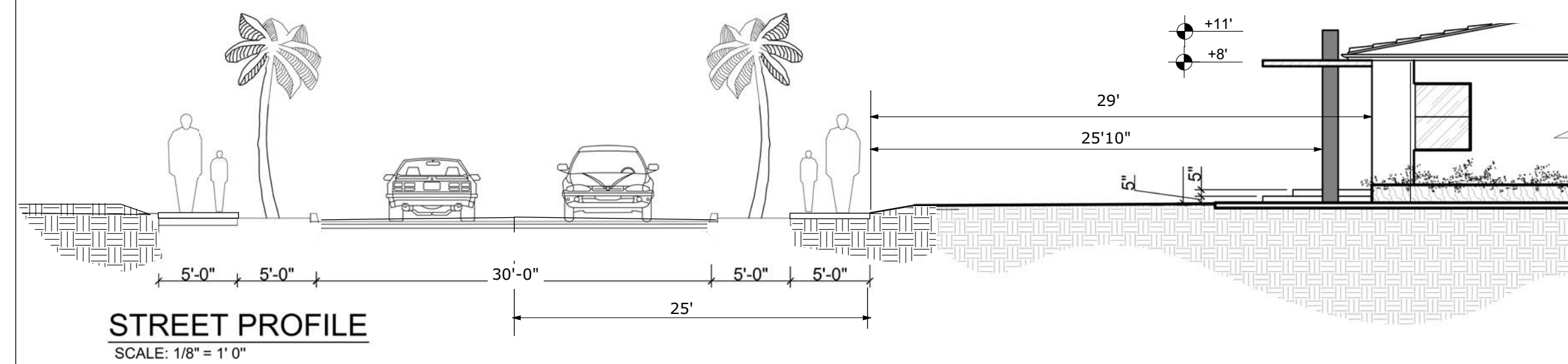
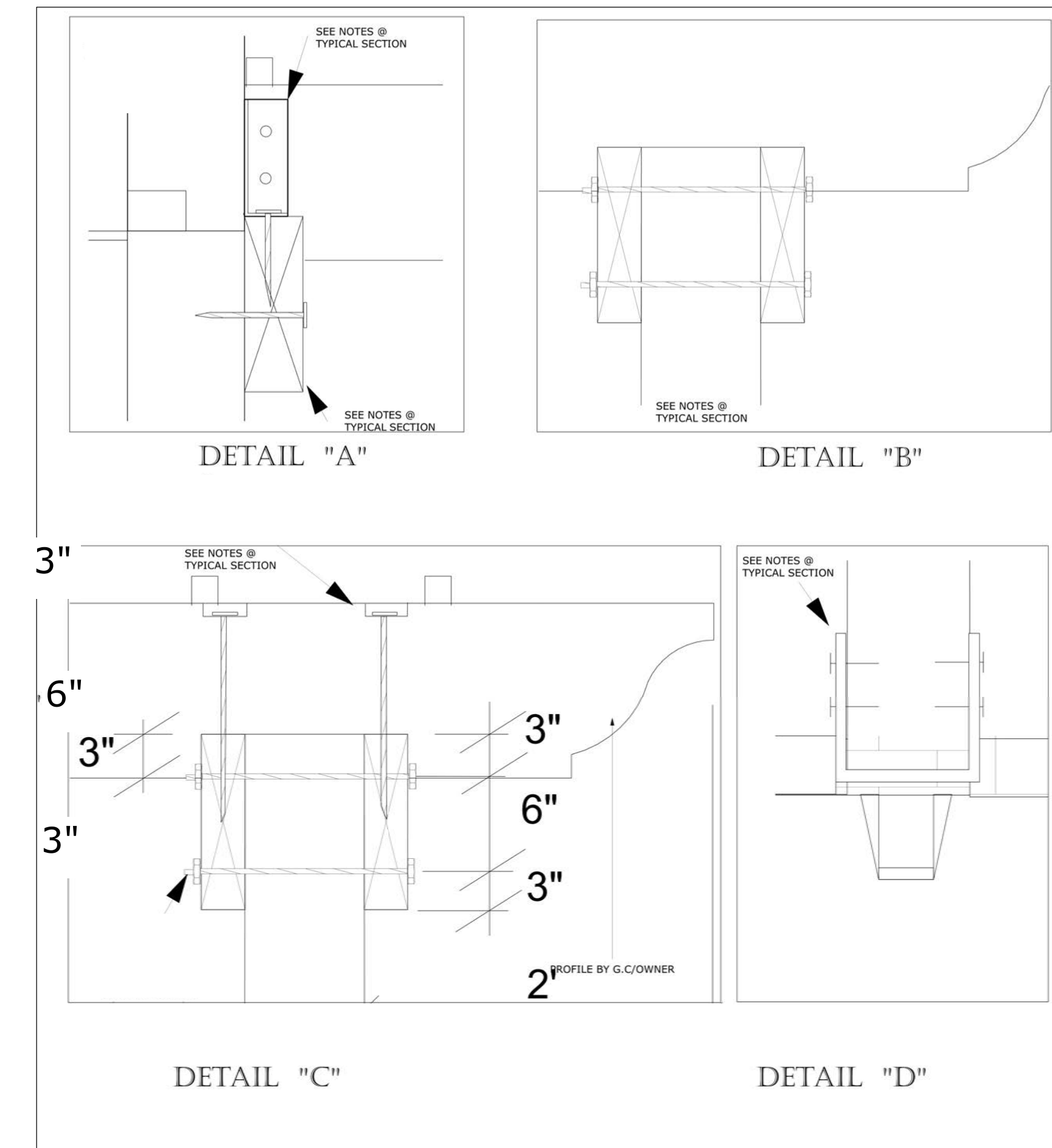
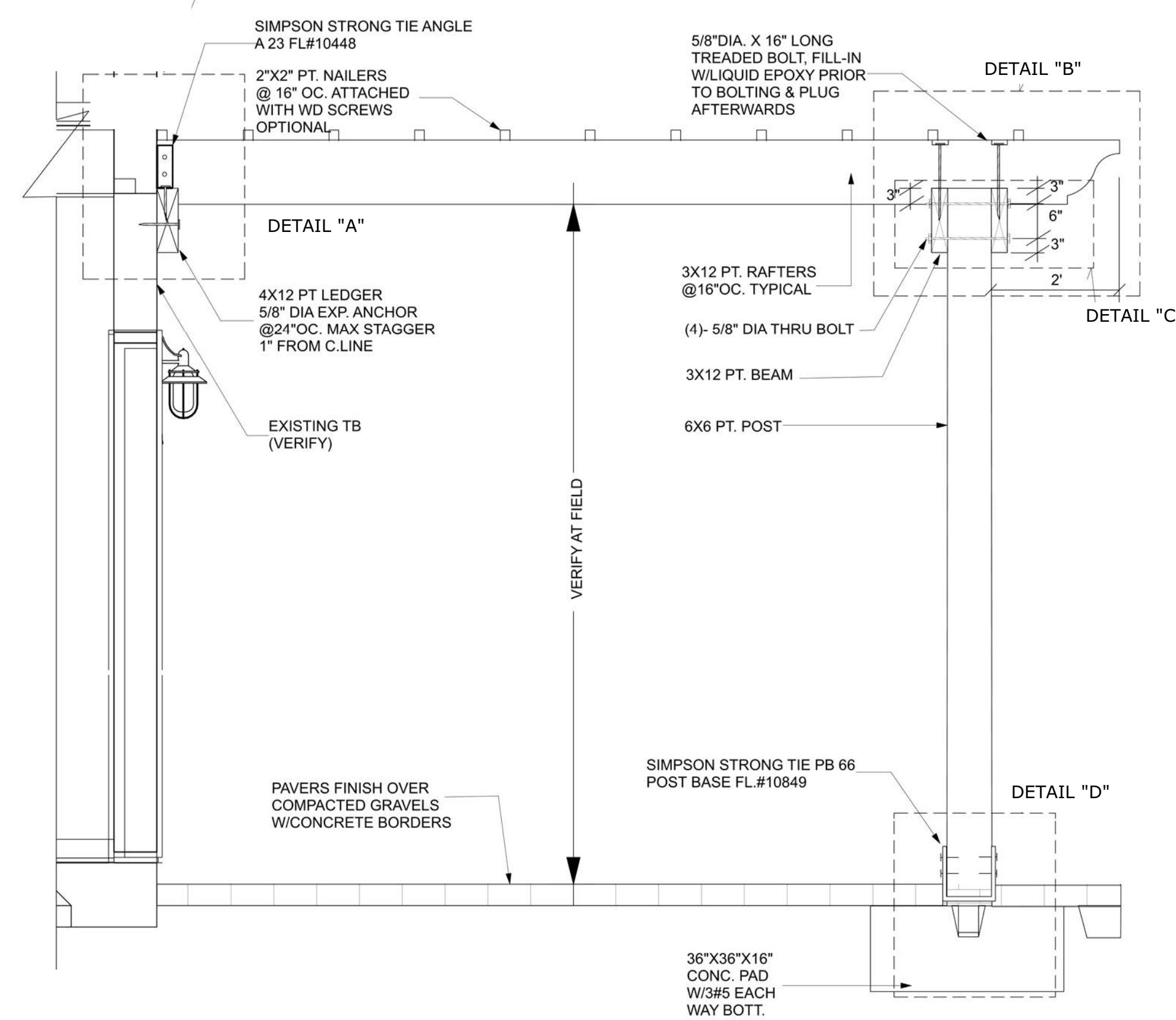
TRELLIS FOUNDATION PLAN NTS



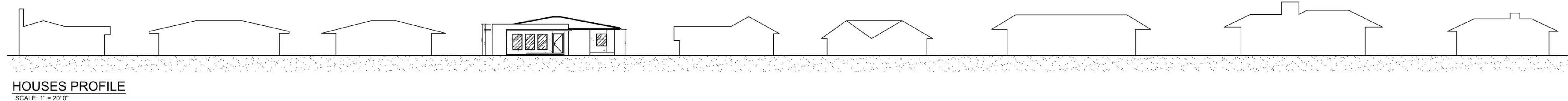
TRELLIS BEAMS LOCATIONS NTS



EXISTING WOOD GATE NTS



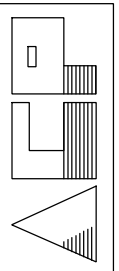
STREET PROFILE
SCALE: 1/8" = 1' 0"



HOUSES PROFILE
SCALE: 1" = 20' 0"

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LICENCE # 98300

SEAL

04-23-2018

PROJECT CHARACTERISTICS:
CODES:

BUILDING CODE:

FLORIDA BUILDING CODE 2017 6th. ED
EXISTING AND ALTERATION LEVEL 2

ELECTRICAL CODE:

FLORIDA BUILDING CODE 2017 6th ED
AND THE LATEST NEC (2014)

PLUMBING CODE:

FLORIDA BUILDING CODE 2017 6 th. ED

ADA ACCESSIBILITY CODE:

FLORIDA BUILDING CODE 2017 6 th. ED

FIRE & LIFE SAFETY CODE:

FLORIDA BUILDING CODE 2017 6 th. ED

MECHANICAL CODE:

FLORIDA BUILDING CODE 2017 6 th. ED

CONSTRUCTION TYPE:

TYPE V-B, PROTECTED

BUILDING OCCUPANCY:

RESIDENTIAL "R-2"

EXISTING RESIDENCE LIVING:

1271 SQFT

EXISTING RESIDENCE GARAGE:

348 SQFT

EXISTING RESIDENCE FRONT PORCH:

217 SQFT

EXISTING BUILDING COVERAGE:

1836 SQFT

NEW ALTERATION:

217 SQFT

NEW LIVING:

1488 SQFT

NEW ADDITION:

92 SQFT

NEW BLDG COVERAGE:

1928 SQFT

NEW DRIVEWAY, PATIO TRELLIS ETC.: 1968 SQFT

TOTAL IMPERVIOUS LOT COVERAGE: 3896 SQFT

SITE TABULATION:

LOT AREA: 6817 SQFT 100.0 %

IMPERVIOUS AREA: 3896 SQFT 57 %

PERVIOUS AREA: 3921 SQFT 43 %

SITE BACKGROUND:

ADDRESS: 1645 ADAMS ST., HOLLYWOOD, FL, 33020

LEGAL DESCRIPTION:

ALL OF LOT 5 AND THE EAST 10 FEET OF LOT 4, BOCK 6, OF TOWN OF
HOLLYWOOD ACCODING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 1, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD
COUNTY, FLORIDA.

SIZE OF PROPERTY: 0.15 ACRES (6816.5000 sq.ft.)

PRESENT ZONING: SINGLE FAMILY RESIDENTIAL DISTRICT
LAKES AREA MULTIPLE RESURCE LISTING

DISTRICT (RS6)

PRESENT LAND USE: SINGLE FAMILY HOME

YEAR BUILT: 1951

SETBACK REQUIREMENTS (MAIN STRUCTURE):

Front	Side/Interior	Side/Street	Rear
25 ft.; except lots in the Lakes Area-For lots with a lot line adjacent to a lake, setback is 80 ft.	The sum of the side yard setbacks shall be at least 25% of the lot width, but not to exceed 50 ft. with no side yard less than 7.5 ft.; except, platted and recorded lots of 50 ft. or less in width may have a 5 ft. setback (only applies to one story additions and new construction of one story buildings). Any construction in excess of one story must meet the 25% rule with a minimum 7.5 ft. setback.	15 ft.	15% of the lot depth; 15 ft. min. 50 ft. max.; except Lots in the Lakes Area - For lots with a lot line adjacent to a lake, setback is 25 ft.



LOCATION MAP NTS

REAR PROPERTY VEHICLE ACCESS:
(2) 4'-0"W X 6'-0" H. GATE EXISTING

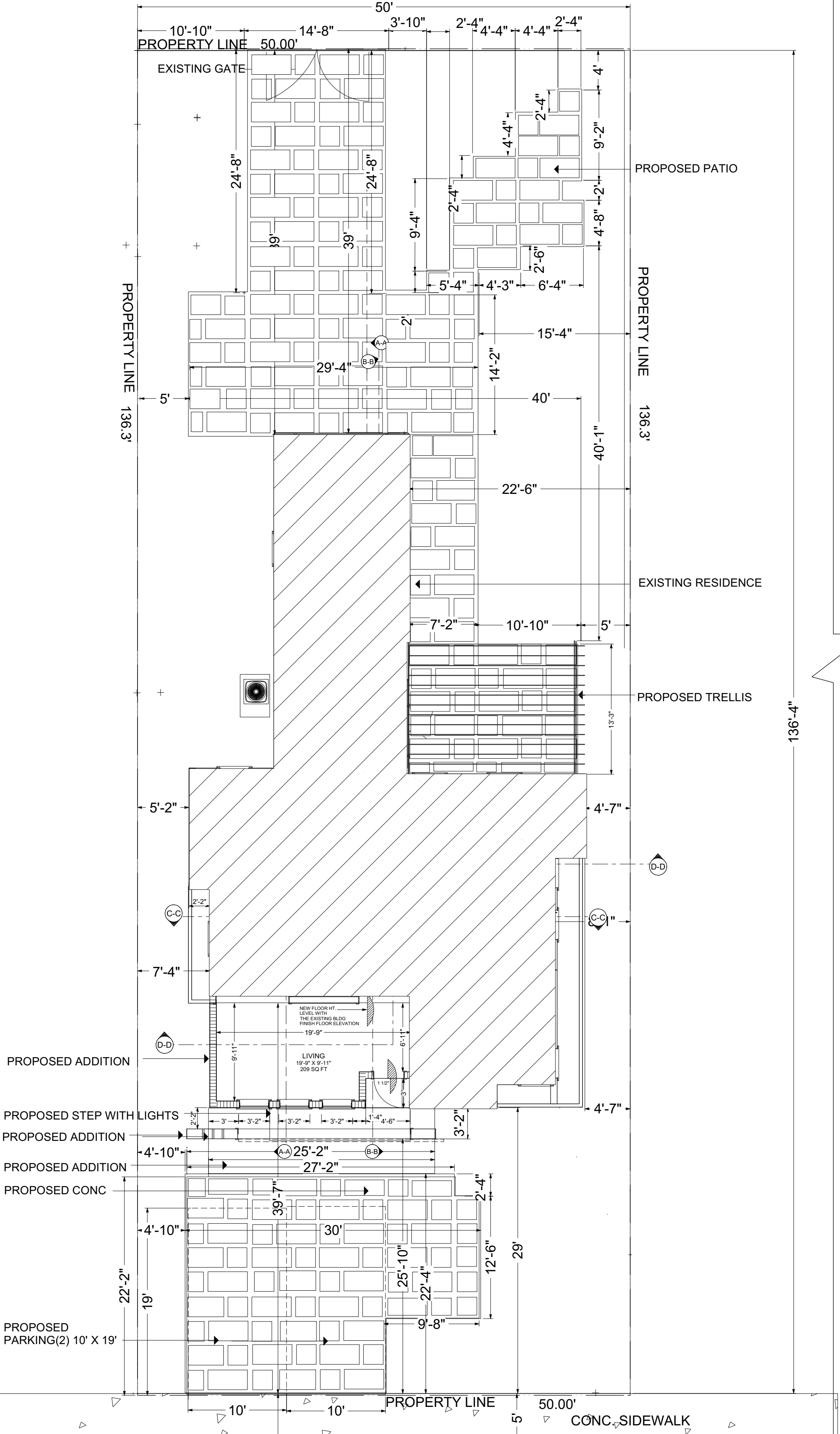
PARKING CODE REQUIREMENT:

2 PARKING REQUIRED

2 PARKING PROPOSED

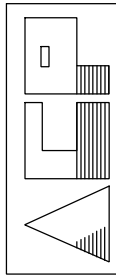
NOTES:

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NEW ADDITION
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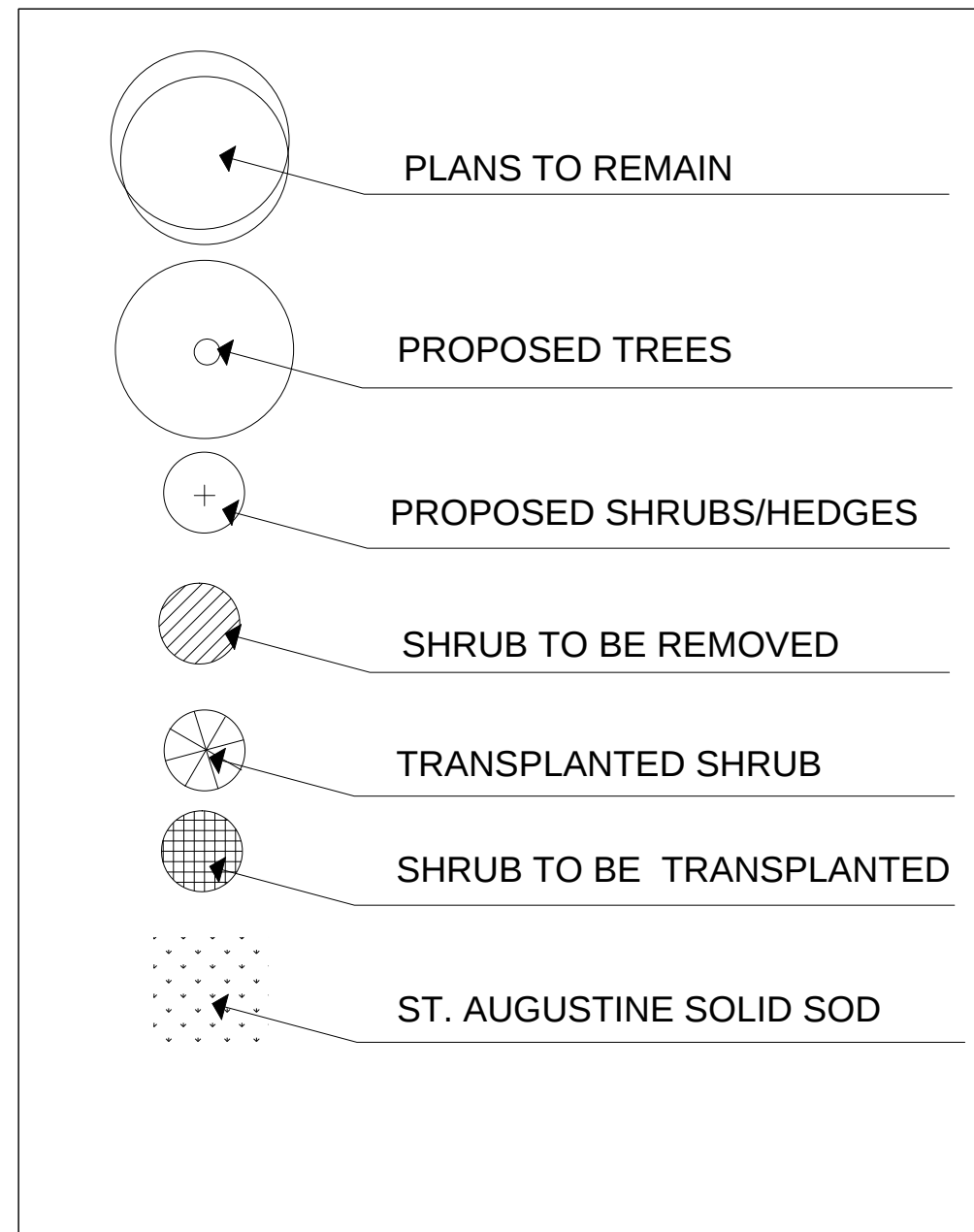
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04-23-2018



LANDSCAPE CODE REQUIREMENTS SINGLE FAMILY DISTRICT (RS) PER CITY OF HOLLYWOOD LANDSCAPE MANUAL				
CODE REQUIREMENTS	APPLICATION	TOTAL QTY.	REQUIRED	PROVIDED
SECTION NO: 2.1 RECOMMENDED FOR (RS)	TREES: THREE (3) IN FRONT & ONE (1) IN REAR	5	4	5
	SHRUBS: FIFTEEN (15) IN FRONT & TEN (10) IN REAR	56	25	56
SINGLE FAMILY DISTRICT (RS)				
PERIMETER LANDSCAPE NO:1	ONE 12" STREET TREE PER 50 LINEAR FEET	5	1	3
OPEN SCALE NO:2	MIN. OF 20% OF REQUIRED TO BE PERVIOUS FRONT YARD = 1,450 SF X 20% = 290 SF	1,450 SF	290 SF	850 SF
SECTION NO: 3.2 MIN. NO. OF SPECIES	TREES	1-10	2	3
SECTION NO: 3.5 PALM SIZE	PALMS: (3) PALMS = (1) HARDWOOD TREE	4	3	4
SECTION NO: 3.4 NATIVE PLANT REQUIREMENTS	TREES: 60% OF REQUIRED TO BE NATIVE	5	4	3
	SHRUBS: 50% OF REQUIRED TO BE NATIVE	56	25	56
IRRIGATION NO: 7	PROVIDE 100% COVERAGE SITE HAS 100% EXISTING IRRIGATION TO REMAIN	-	100%	100%

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LANDSCAPE NOTES AND SPECIFICATION BRIEFS

LANDSCAPE CONTRACTOR ("L.C.") TO VERIFY ALL SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO DIGGIGING. COORDINATING SUCH EFFORTS WITH OWNER, GENERAL CONTRACTOR ("G.C."), AND/OR UTILITY COMPANY REPRESENTATIVES.

ALL PLANT MATERIAL FLORIDA NO. 1 OR BETTER AS PER FLORIDA STATE AGRICULTURE BOARD. L.C. IS RESPONSIBLE FOR VERIFYING QUALITY OF QUESTIONABLE MATERIAL BY SECURING THE OPINION OF THE COUNTY AGENT.

PLANT LIST AND QUANTITIES ARE A COURTESY ITEM. L.C. IS BIDDING THE PLAN. L.C. TO VERIFY LIST AND QUANTITIES FOR HIS BID. NOTIFY DESIGNER OF DIFFERENCES, UNNAMED, UNKEYED OR ILLEGIBLE ITEMS.

NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SO NOTED AND OWNER-APPROVED DURING BIDDING PERIOD. AFTER CONTRACT AWARDING TO L.C., PLANT MATERIAL SUPPLY IS THE L.C.'S RESPONSIBILITY, AND HE SHALL TAKE STEPS TO INSURE AVAILABILITY AT INSTALLATION TIME.

ALL PLANT MATERIAL AND SOD TO BE DISEASE AND PEST FREE.

PLANT MATERIAL SHALL BE SYMMETRICAL AS PER VARIETY AND SHALL CONFORM TO SPECIFIED SIZES AS MINIMUMS. HT.=HEIGHT ONCE PLANTED; SPR=SPREAD; CT.=CLEAR TRUNK OF WOOD; B&B=BAILED AND BURLAPPED ROOT SYSTEM; O.C.=ON CENTER TRIANGULAR SPACING; O.A.=OVER ALL. ALL MATERIAL TO BE PRUNED INTO SHAPE AS REQUIRED, REMOVING BROKEN AND WILD, SINGLE-BRANCH GROWTH PRIOR TO FIELD MEASUREMENTS.

ALL ROADROCKS, ASPHALT, AND OTHER SIMILAR MATERIALS SHALL BE REMOVED IN ALL PLANTING BEDS AND THAT THERE SHALL BE SUITABLE PLANTING SOIL TO A DEPTH OF 30".

ALL TREES TO BE SINGLE-TRUNKED WITH CLEAR TRUNKS AS CALLED FOR. MULTI-STEM OR MULTI-TRUNK TREES TO BE INDIVIDUAL PLANTS FORMING THE PLANT, NOT SUCKERING BRANCHES ABOVE GRADE.

GROUND COVERS SHALL BE PLANTED WITH A MINIMUM OF 75 % COVERAGE WITH ONE HUNDRED (100) PRECENT COVERAGE OCCURING WITHIN THREE (3) MONTHS OF ISTALLATION.

ALL TREES AND SHRUBS WILL BE PLANTED IN A PLANTING SOIL CONSISTING OF A MIXTURE OF FIFTY (50) PRECENT CLEAN BROWN SAND PLANTING HOLES WILL BE TWICE THE SIZE OF BALL OF THE TREE OR SHRUB BEING PLANTED. THE BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD (1/3) OF THE BALL OF MATERIAL.

FERTILIZER - TRI-OS K 15-7-10 (MIX NO. 2532) OR EQUAL APPLIED AT AN AVERAGE RATE OF TWO POUNDS PER TREE; 1/4 POUND PER 3 GALLON SHRUB; AND 1/8 POUND PER 1 GALLON SHRUB. THIS MIXED THOROUGHLY INTO PLANTING SOIL MIXTURE PRIOR TO PLACEMENT AND BACKFILLING.

ALL BED AREA FOR ANNUALS, GROUND COVERS, ETC. TO RECEIVE MINIMUM 4" DEEP PLANTING SOIL.

ALL PLANT PITS MINIMUM OF 12" AROUND SIDES AND BOTTOM OF ALL TREE ROOT BALLS AND 6" AROUND ALL SIDES AND BOTTOM OF SHRUB ROOT AREA.

ALL PLANTING TO BE THOROUGHLY HAND WATERED AND BACK-WASHED DURING AND AFTER PLANTING TO REMOVE ALL AIR VOIDS IN PLANTING AREA. VERIFY WATER SOURCE DURING BIDDING WITH OWNER'S AGENT.

ALL PLANTS REQUIRING STAKING AND GUYING SHALL HAVE THEM TO KEEP PLANTS UPRIGHT, USING NORMALLY ACCEPTED NURSERYMEN'S TECHNIQUES, VARYING WITH SIZE AND VARIETY OF PLANT MATERIAL.

NO NAILS TO BE DRIVEN INTO PLANT TISSUE FOR STAKING AND GUYING. USE STRAPPING WITH BURLAP TO PROTECT ALL TISSUE FROM WOOD BLOCKING.

SABAL HEADS TO BE JUTE OR BURLAP-TIED TO 2" X 2" WOOD SUPPORTS, FASTENED TO TRUNK AS L.C. DEEMS NECESSARY.

ALL SOLID SOD TO BE PLACED OVER GRADED AND HAND-RAKED GRADES, FREE FROM ALL VISIBLE ROCKS AND DEBRIS WITH TIGHT JOINTS. SOD AREAS TO BE RAKED TO UNIFORM GRADES WITH NO VISIBLE LOWS OR HIGHS ACROSS SOD AREAS.

ALL SOD TO FOLLOW BED LINES; TREES IN SODED AREAS TO HAVE A 24" SQUARE OR CIRCLE, MULCH BED AT TREE BASE. NO SOD SHALL BE INSTALLED ON FRIDAYS AND SATURDAYS UNLESS OWNER APPROVED PRIOR TO INSTALLATION.

ALL PLANTING BEDS, HEDGE ROWS, TREE CIRCLES OR SQUARES TO RECEIVE A MINIMUM 3" DEPTH OF SHREDDED MULCH GRADE "A", THROUGHOUT PROJECT PLANTINGS.

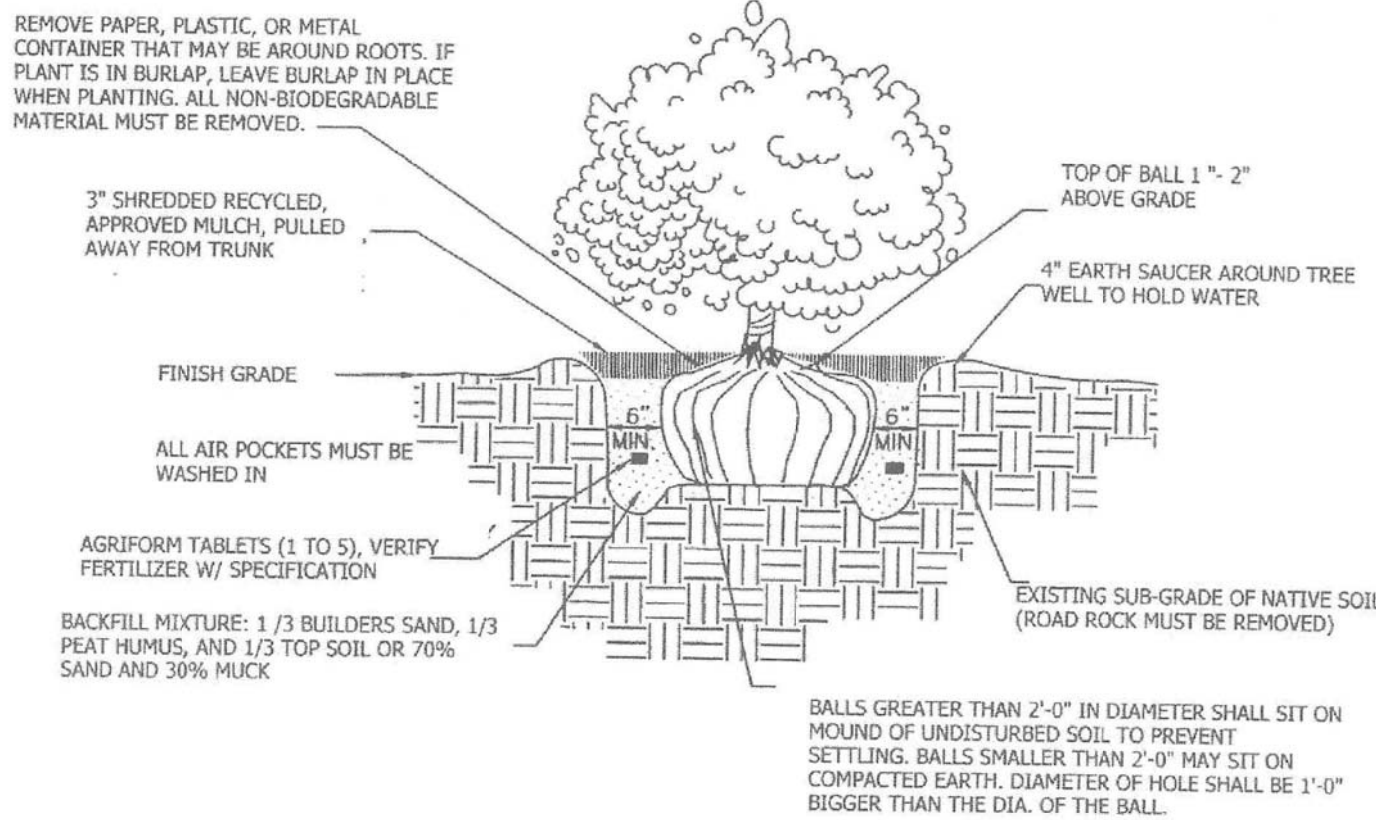
AFTER MULCHING, APPLY SCOTT'S PRO-GROW ORNAMENTAL HERBICIDE 2 (O.H.2), USING A SALT AND PEPPER APPLICATION METHOD, APPLYING 1 POUND PER 435 SQUARE FEET OVER MULCH AREA AND WATER IN WITH 1/8" TO 1/4" OF WATER IMMEDIATELY AFTER APPLICATION, WASHING ALL PARTICLES OFF ORNAMENTAL FOLIAGE. ALTERNATE HERBICIDES WILL BE CONSIDERED DURING BIDDING PROCESS.

PLANT MAINTENANCE BY L.C. BEGINS WITH FIRST INSTALLATION AND CONTINUES UNTIL FINAL INSPECTION AND OWNER'S ACCEPTANCE OF WORK. MAINTENANCE INCLUDES: WATERING, CULTIVATION, WEEDING, PRUNING, SPRAYING FOR WEEDS AND INSECTS, REMOVAL OF DEAD MATERIAL FROM SITE AND ITS EQUAL REPLACEMENT, GUYING AND STAKING, FLAGGING OR GUYS, MOWING, WOUND PAINTING, RESETTNG FALLEN MATERIAL, ETC. ALL AS PER NORMAL NURSERYMEN'S ACCEPTED PRACTICES.

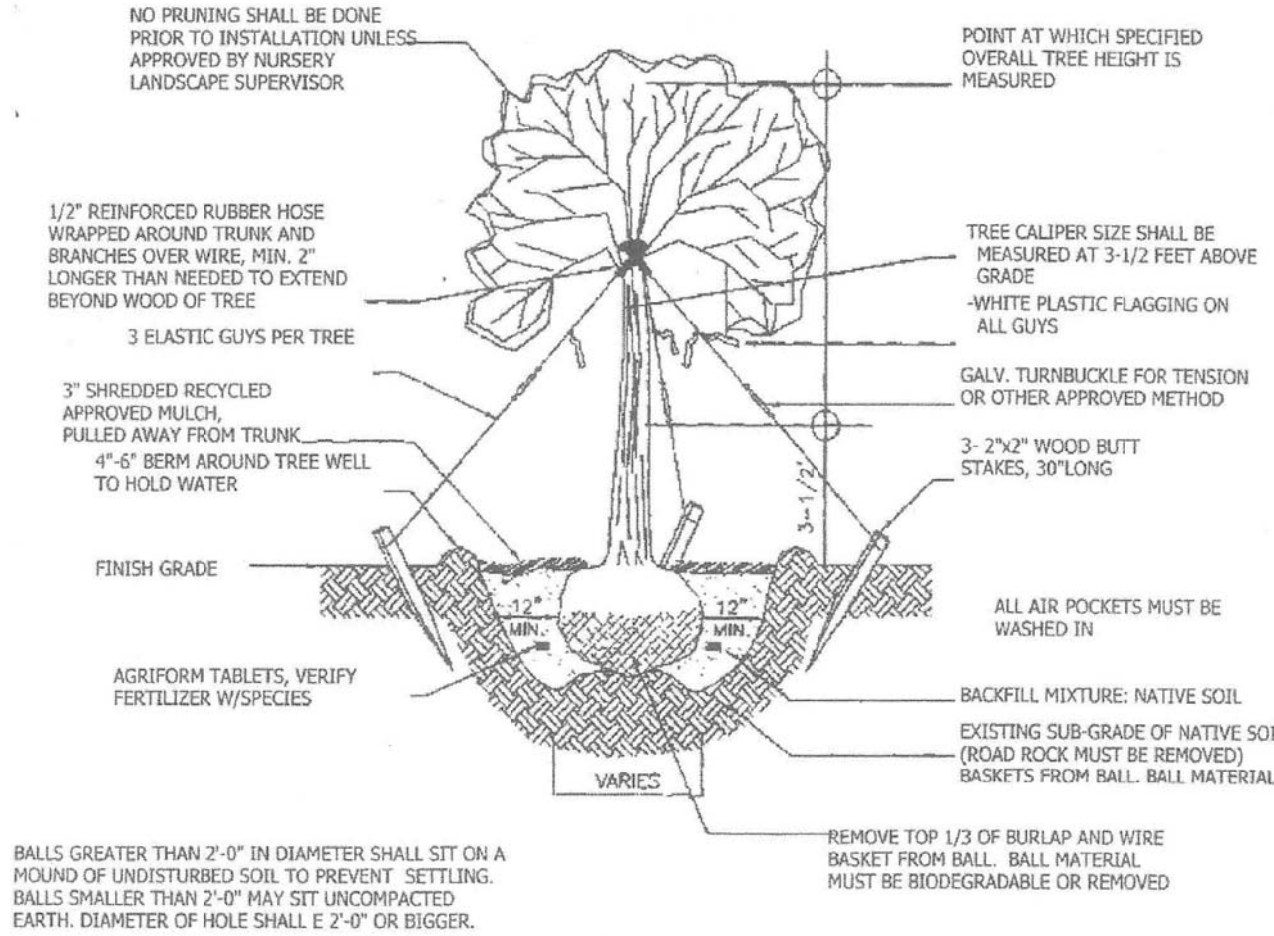
TWELVE (12) MONTH GUARANTEE SHALL EXIST FOR ALL MATERIAL; SIXTY (60) DAYS GUARANTEE FOR SOD. GUARANTEE PERIOD BEGINS WITH FINAL INSPECTIONS AND OWNER'S ACCEPTANCE OF WORK. MATERIAL TO BE REPLACED WITH REASONABLE SPEED FROM NOTIFICATION BY OWNER. THIS GUARANTEE SUPERSEDES ANY OTHER GUARANTEE FROM L.C.

L.C. SHALL LEAVE A CLEAN SITE DAILY, FREE FROM ALL HIS DEBRIS AND WORK EVIDENCE AS PRACTICABLE.

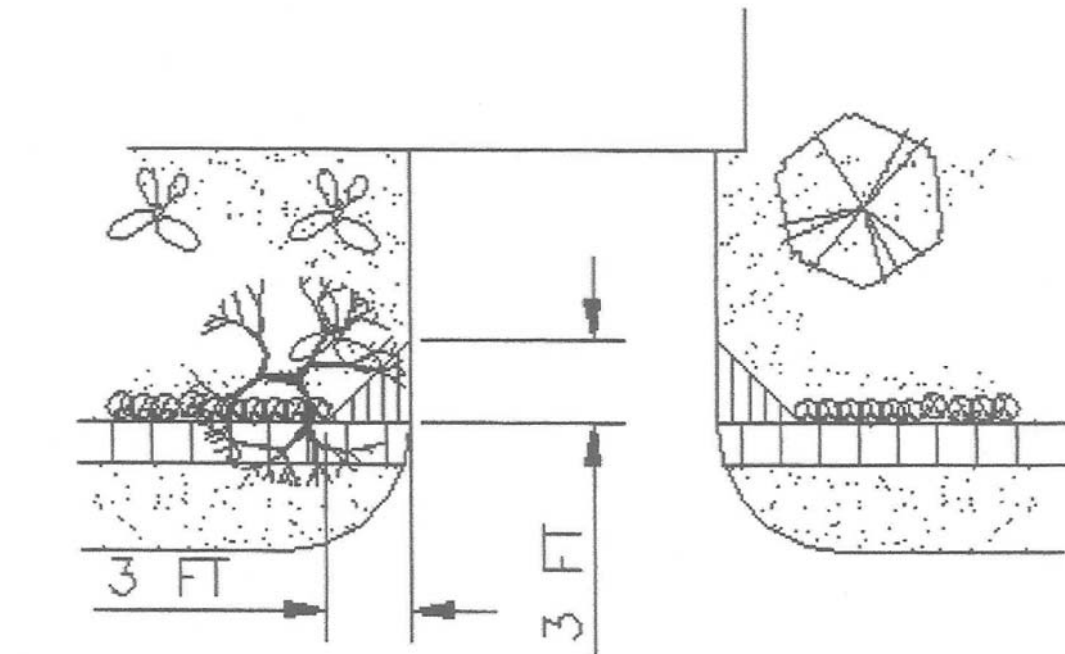
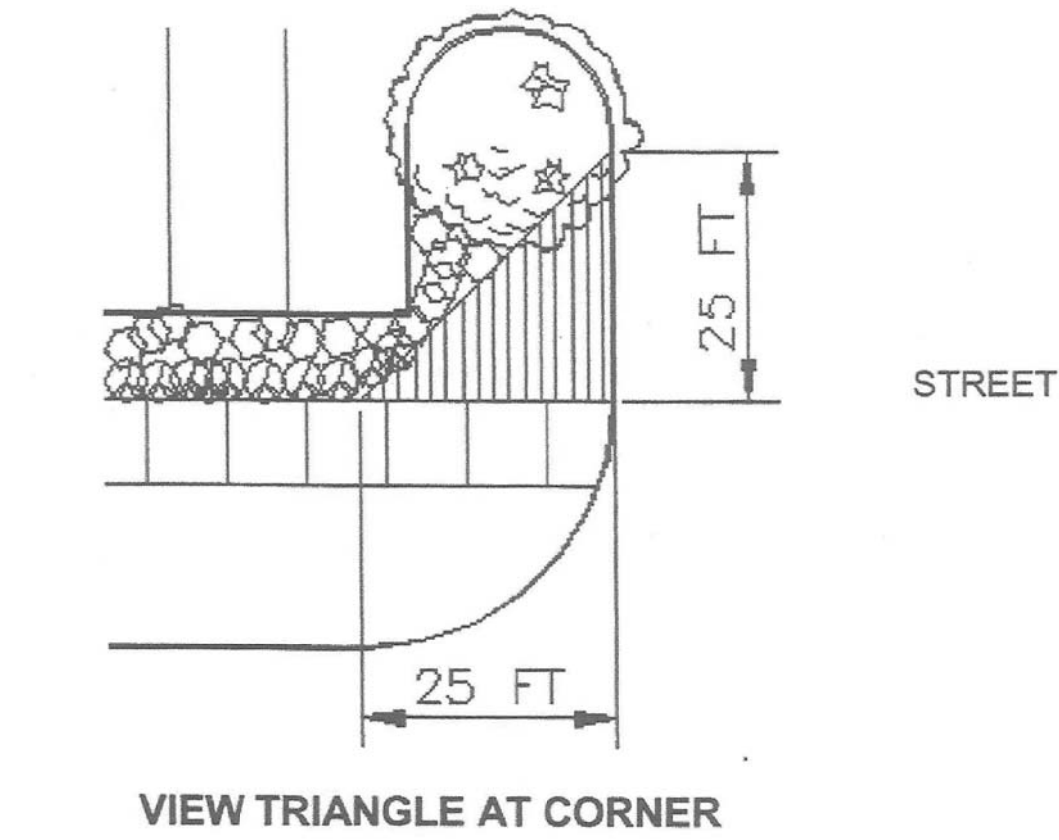
L.C. SHALL MEET AND COMPLY WITH ALL APPLICABLE CODES/ ORDINANCES AND SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND OTHER ON-SITE TRADES.



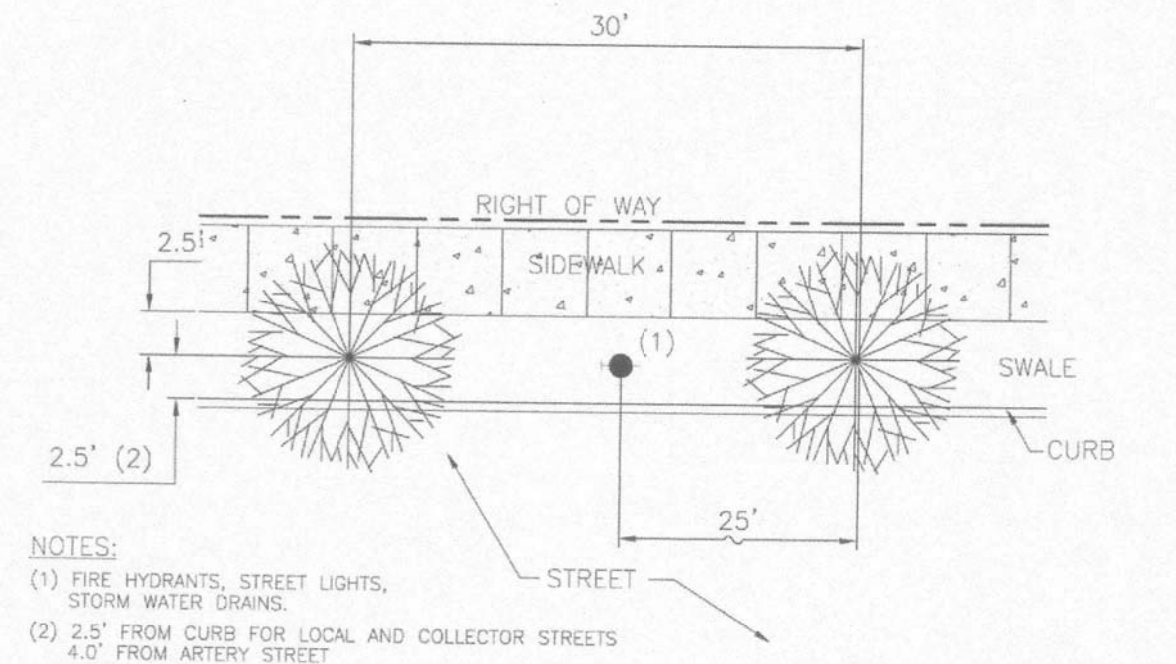
SHRUB PLANTING DETAIL NTS



SHRUB PLANTING DETAIL NTS



VIEW TRIANGLE AT ACCESSWAY NTS

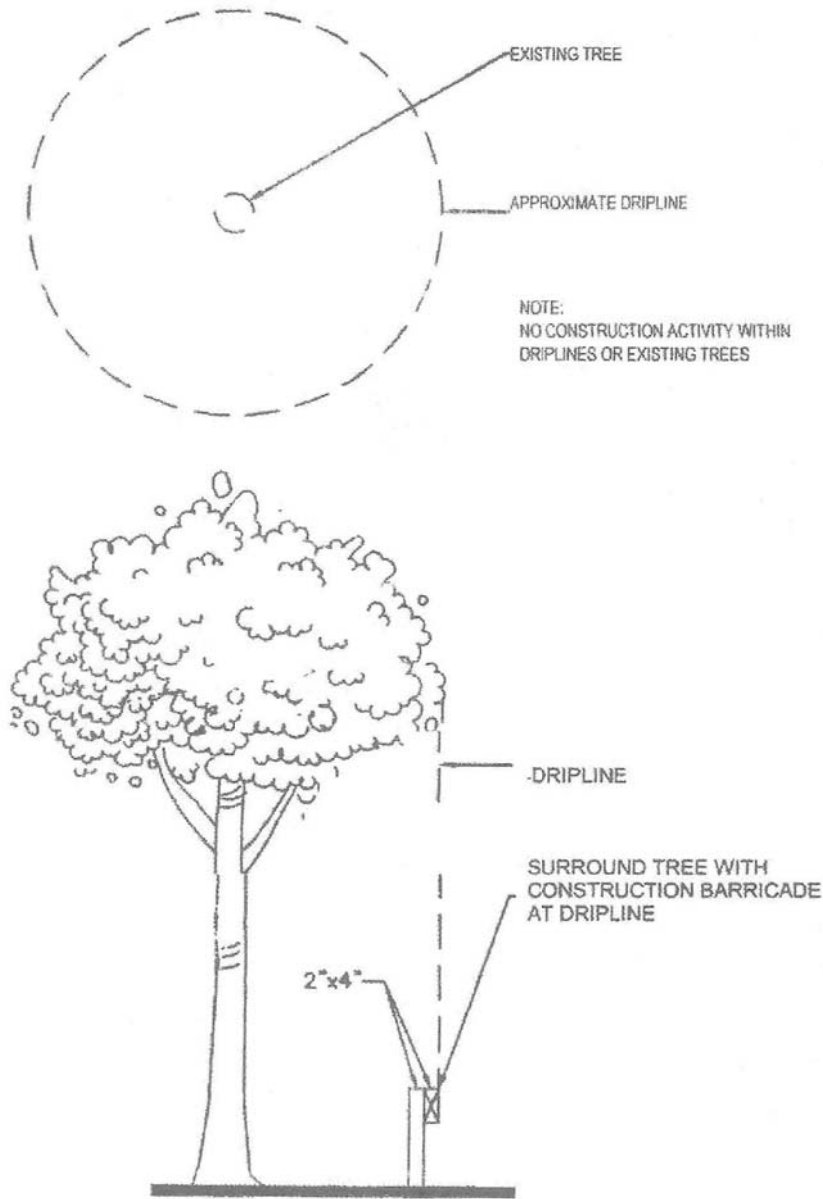


STREET TREE LOCATION NTS

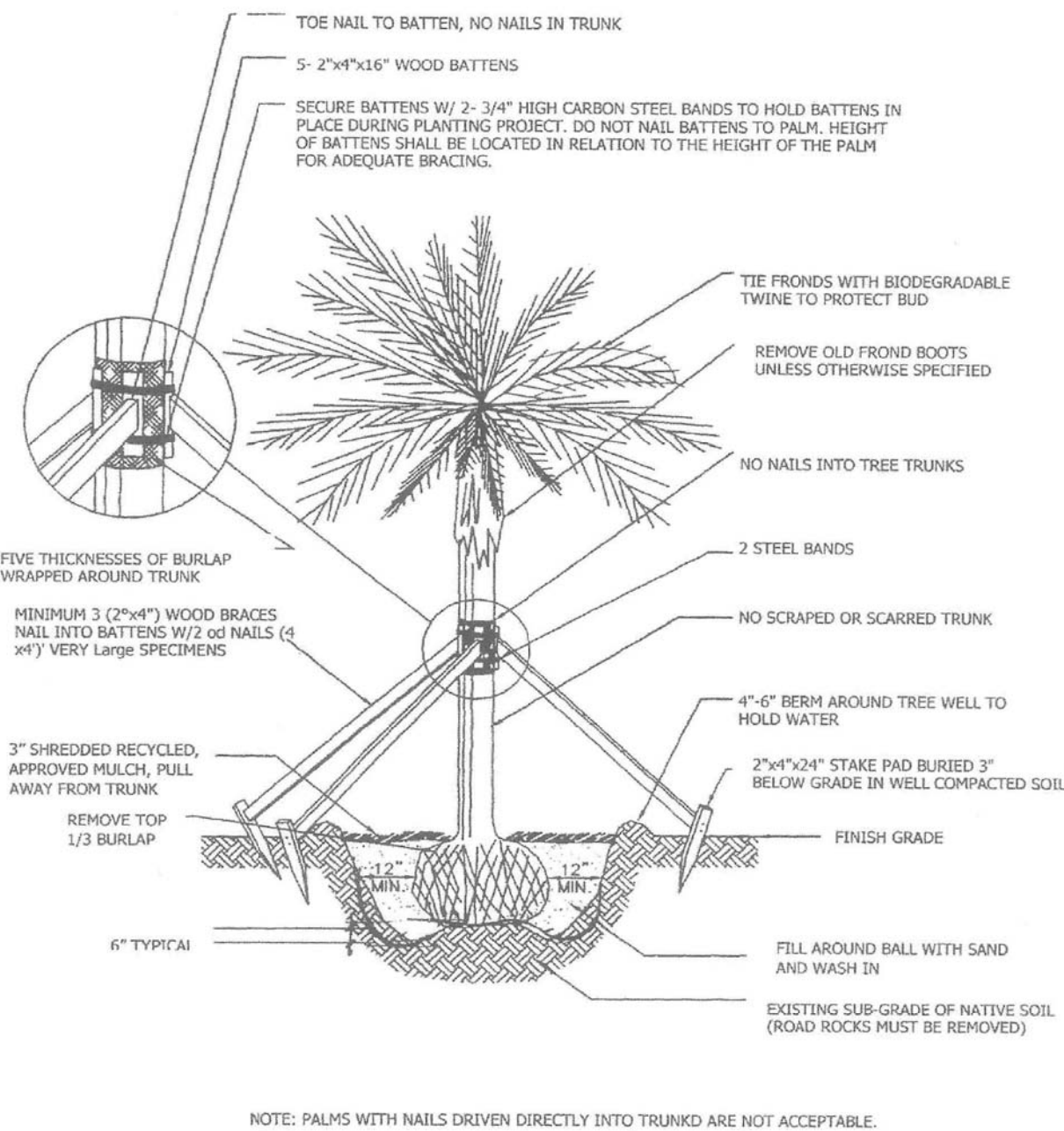
If a tree is planted under an overhead utility line, it must be a species that will not grow tall enough to interfere with the line. Florida Power and Light Company recommends keeping trees a minimum distance of 10 feet away from the power line (*"Plant the RIGHT TREE in the RIGHT PLACE"* by FP&L). A species from the following list, or one approved by the Office of Planning Director or his designee should be used:

Black Ironwood
Glaucus Cassia
Silver Buttonwood
Tree Ligustrum
Yellow or Pink Tabs
Dahoon Holly
Weeping Bottlebrush
Geiger Tree
Kopsia
Florida Thatch Palm
Pindo Palm
Thatch Palm

Krugiodendron ferreum
Cassia surattensis
Conocarpus erectus sericeus
Ligustrum spp.
Tabebuia spp.
Ilex cassine
Callistemon viminalis
Cordia sebastina
Kopsia ilavida
Thrinax radiata
Butia capitolota
Thrinax spp.



TEMPORARY CONSTRUCTION BARRICADE NTS



TYPICAL PALM STAKING DETAIL NTS

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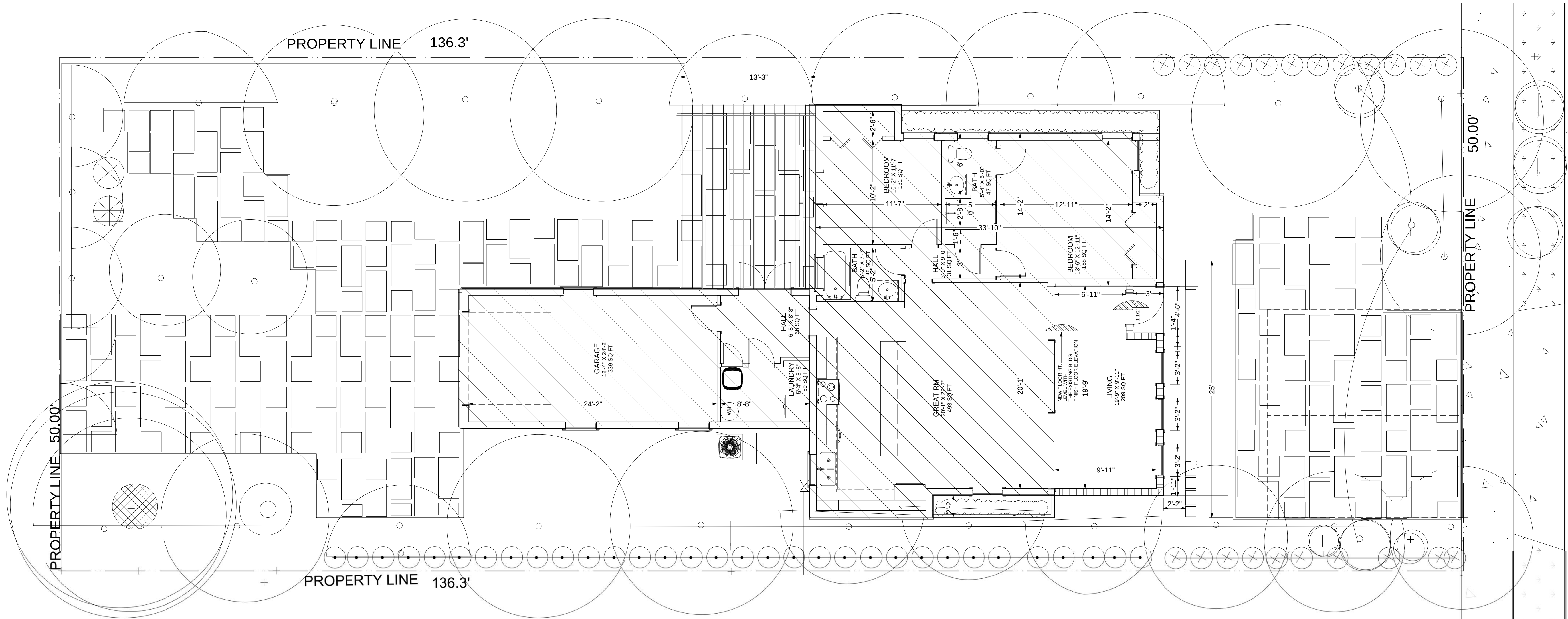
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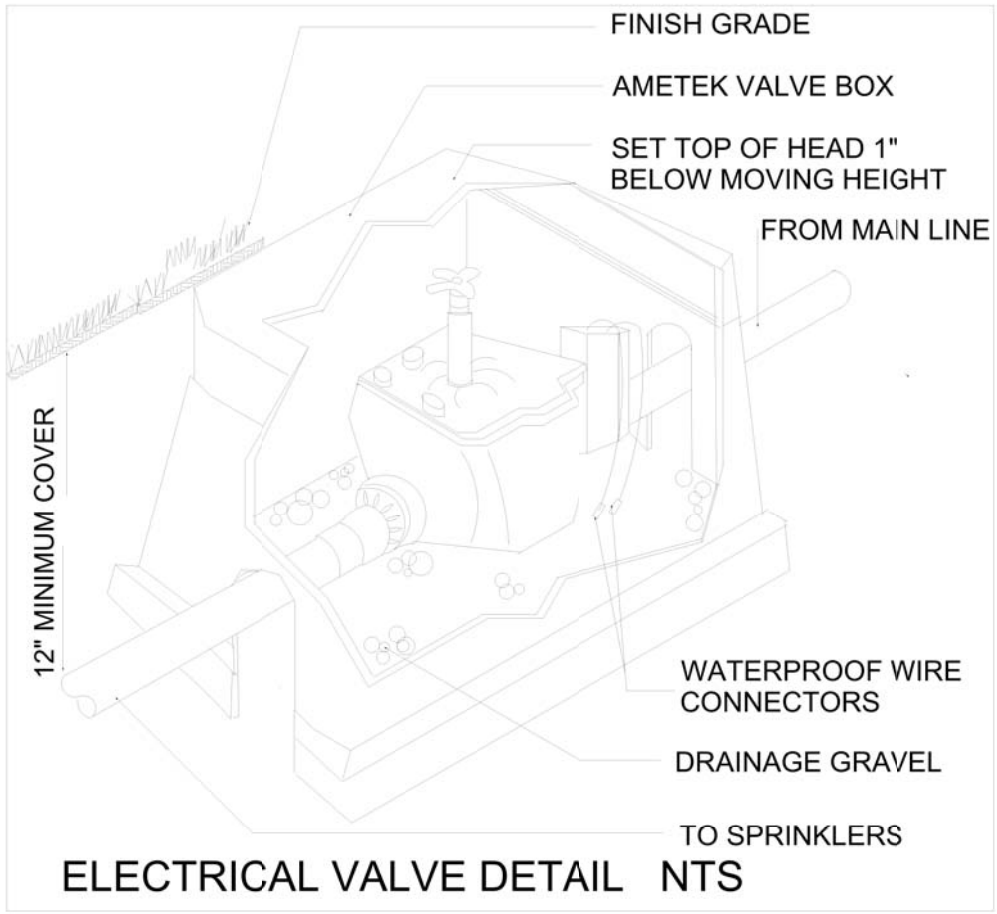
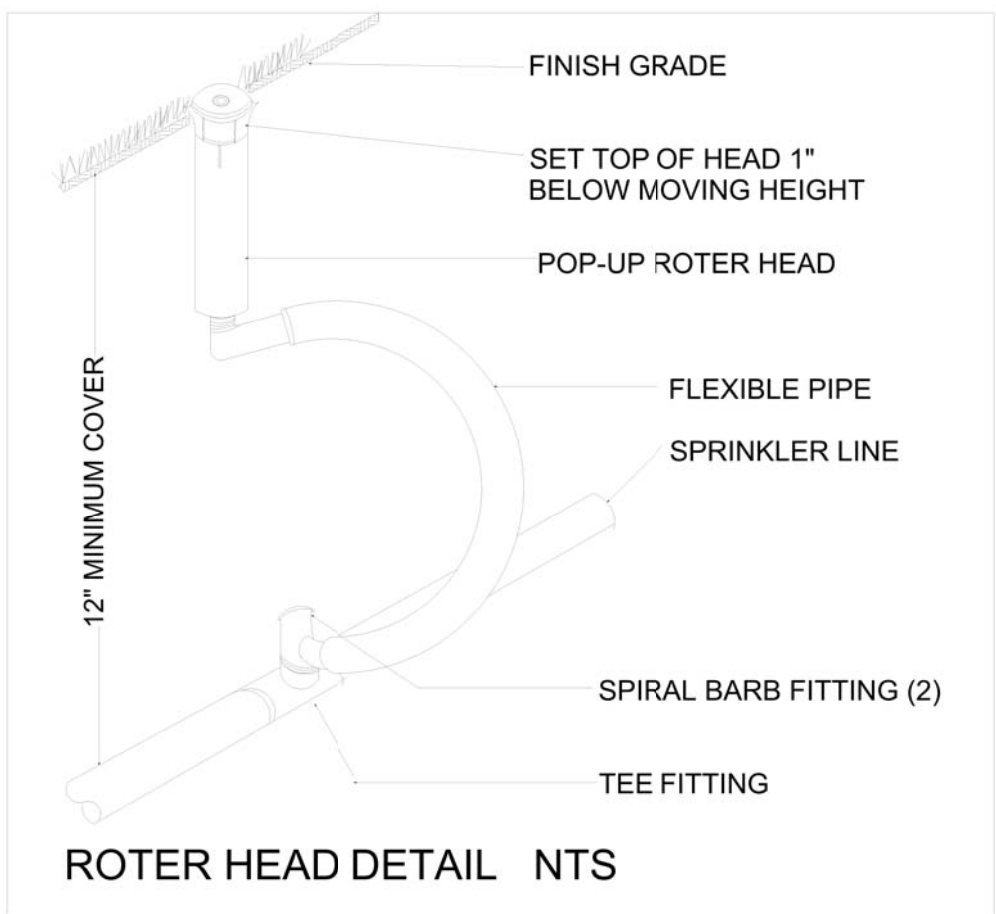
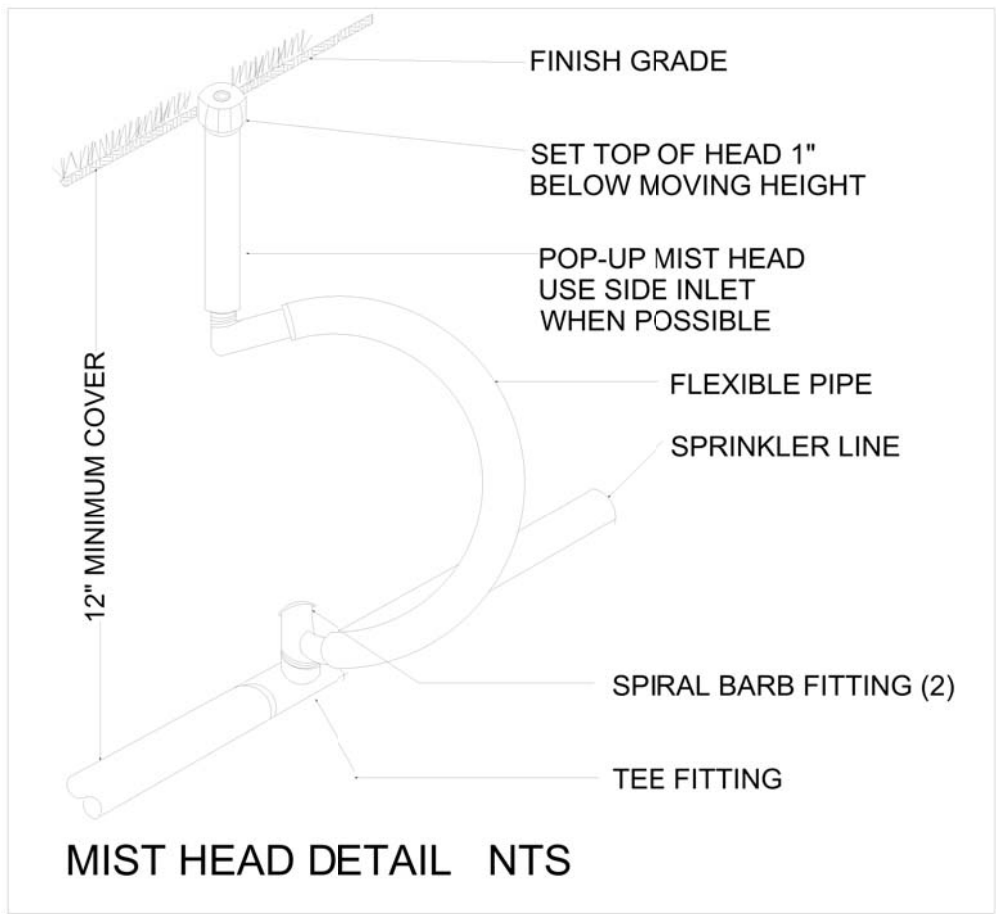
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EXISTING SPRINKLER PLAN 3/16"



IRRIGATION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITIES TO VERIFY LOCATIONS. THE CONTRACTOR IS ALSO ADVISED TO VISIT THE SITE PRIOR TO INSTALLING THE SYSTEM TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- QUANTITIES, IF SHOWN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO SUBMITTING BIDS. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO STATE AND/OR LOCAL CODES.
- IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING SLEEVES, VALVES AND HEADS SHALL BE INSTALLED WITHIN PROPERTIES LANDSCAPED AREA. ALL PIPING BELOW PAVEMENT SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLANS.
- SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC., SHALL BE OFFSET A MINIMUM OF 12" TO PREVENT DAMAGE FROM VEHICLES, PEDESTRIANS AND MAINTENANCE EQUIPMENT.
- POP-UP HEADS SHALL BE OFFSET 12" AND SHRUB RISERS 18". ALL HEADS INSTALLED ADJACENT TO ROADWAYS WITHOUT CURBING SHALL BE OFFSET 18".
- ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
- PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE ROUTING SHOWN ON THE PLAN IS SCHEMATIC ONLY AND SHALL BE ADJUSTED IN FIELD TO RESPOND TO EXISTING CONDITIONS.
- PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITIES BELOW FIVE FEET PER SECOND.
- ALL SLEEVING SHALL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MINIMUM OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MINIMUM OF 24" BELOW FINISH GRADE.
- THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR DEVICE SHALL BE INSTALLED IN TANDEM WITH THE CONTROLLER.
- CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ROUTED IN MAIN LINE TRENCH AND BURIED TO A MINIMUM OF 24". ALL SPLICES SHALL BE INSTALLED TO THE FURTHEST VALVES EACH DIRECTION FROM THE

CONTROLLER.

- AUTOMATIC VALVE LOCATIONS ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED FOR ON-SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX. THE FLOW ADJUSTMENT FEATURE OF VALVES SPECIFIED SHALL BE USED TO BALANCE OPERATING PRESSURE THROUGHOUT THE SYSTEM.
- WATERING TIME PER STATION SHALL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURERS LITERATURE FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC; SYSTEM PIPE SIZE 1" OR GRATER SHALL BE CLASS 160 PVC. SYSTEM MAIN SHALL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS SHALL BE SOLVENT WELD SCH. 40 PVC. SYSTEM MAIN SHELL HAVE 24" MINIMUM COVER, ALL OTHER PIPING SHALL HAVE 12" MINIMUM COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MINIMUM OF 3' FROM ANY TREE OR PALM.
- ALL GLUE JOINTS SHALL BE CLEANED, SANDED, TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING TO ASTM-D2564.
- AS-BUILT SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

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